



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: Point Park University		Phone Number: (412) 392-8092	
Address: 201 Wood St.	City: Pittsburgh	State: Pennsylvania	Zip Code: 15222
2. Applicant/Company Name: Point Park University		Phone Number: (412) 392-8092	
Address: 201 Wood Street	City: Pittsburgh	State: Pennsylvania	Zip Code: 15222
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: Deconstruction Forbes Ave Buildings, 320, 322, 330			
4. Development Location: Pittsburgh, PA			
5. Development Address: 320, 322, 330 Forbes Avenue, Pittsburgh, PA 15222			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	NA		
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: / /	Occupancy Date: / /	Project Cost: \$700,000 De-construction

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list):

10. Select the Type of Work:

<input type="checkbox"/> New Construction, New	<input type="checkbox"/> Renovation, Interior New
<input type="checkbox"/> Construction,	<input type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use

11. Describe the Development: The intent of the development is to deconstruct/recycle the three existing buildings to provide space for  
**construction of the Point Park University New Pittsburgh Playhouse (application for new construction will come separately)**

12. Is a Land Operations Permit needed?                       YES                       NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: XXO N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

14. Gross Floor Area:  
 Existing to be Razed: 35,000 sq  
 ft Existing to be Retained: 0 sq  
 ft Retained Area to be Renovated: 0 sq  
 ft To be Constructed: 0 sq  
 ft Building Footprint:  sq  
 ft

15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	3	36	NA	NA
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):


16. Number of Dwelling Units:  
 Existing to Remain: NA Proposed: NA

17. Lot Area: 14,278 sq ft

18. On Site Parking: XXO N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A  
 Actual: \_\_\_\_\_  
 Required: \_\_\_\_\_

19. Please check any of the following items that will be part of the proposed work:  N/A  
 Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm  
 Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed



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**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<input type="text" value="0"/> New Water Service Connection(s)	<input type="text" value="3"/> Termination of Existing Water Service Tap(s)
<input type="text" value="0"/> New Sewer Service Connection(s)	<input type="text" value="3"/> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?       Yes       No

Applicant Signature:



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Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



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DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

**Department of City Planning**

200 Ross Street, Fourth Floor  
Pittsburgh, PA 15219  
(412) 255-2200  
[pittsburghpa.gov/dcp/](http://pittsburghpa.gov/dcp/)

**Department of City Planning  
Zoning Office Counter**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219 (412)  
255-2246  
[pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/)

**City Zoning Code**

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety  
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219 (412)  
255-2175  
[www.city.pittsburgh.pa.us/bbi/](http://www.city.pittsburgh.pa.us/bbi/)

**Department of Public Works (DPW)  
Bureau of Engineering and Construction**

City-County Building, Room 301  
441 Grant Street  
Pittsburgh, PA 15219  
(412) 255-2883  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Department of Public Works (DPW)  
Public Space Management**

**Permit Office**  
611 Second Avenue  
Pittsburgh, PA 15219  
(412) 255-2370  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Pittsburgh Water and Sewer Authority (PWSA)**

Penn-Liberty Plaza I  
1200 Penn Avenue  
Pittsburgh, PA 15222  
Permits (412) 255-2443; Engineering (412) 255-8987  
[www.pgh2o.com](http://www.pgh2o.com)  
Refer to the PWSA Procedures Manual for Developers.

**Allegheny County Health Department (ACHD)**

Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224 (412) 578-8036  
[www.achd.net/plumbing/index.html](http://www.achd.net/plumbing/index.html)

**Allegheny County Health Department (ACHD)**

Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224 (412) 578-8044  
[www.achd.net/food/foodstart.html](http://www.achd.net/food/foodstart.html)

**Allegheny County Health Department (ACHD)**

Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
[www.achd.net/housing/commenvironstart.html](http://www.achd.net/housing/commenvironstart.html)



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PAID

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(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <b>VILLAGE GREEN HOLDING LLC</b>		Phone Number: <b>(248) 932-2703</b>	
Address: <b>10833 NORTH-WESTERN HWY</b>	City: <b>FARMINGTON HILLS</b>	State: <b>MI</b>	Zip Code: <b>48334</b>
2. Applicant/Company Name: <b>WILLIAM S. TITL</b>		Phone Number: <b>(412) 402-4000</b>	
Address: <b>1500 FERRIS BLVD</b>	City: <b>PITTSBURGH</b>	State: <b>PA</b>	Zip Code: <b>15219</b>
Applicant/Contractor ID: (assigned by the City) <b>MARCARO CONSTRUCTION COMPANY</b>			
3. Development Name: <b>MORROW PARK CITY APARTMENTS</b>			
4. Development Location: <b>CORNER OF BAUM BOULEVARD AND LIBERTY AVENUE</b>			
5. Development Address: <b>5216 LIBERTY AVENUE</b>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) <b>N/A</b>			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)		<b>VACANT AUTO LOT AND VACANT GOODWILL BUILDING</b>	
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction:		Start Date: <b>12 / 1 / 13</b>	Occupancy Date: <b>4 / 1 / 14</b>
		Project Cost: <b>\$ 36 M</b>	
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to <a href="http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html">http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html</a> and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): <b>6 STORY APARTMENT BLDG W/ 2 LEVELS UNDERGROUND PARKING</b>			
10. Select the Type of Work:			
<input checked="" type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development: <b>CONSTRUCTION OF 6 STORY 215 UNIT APARTMENT BUILDING WITH 2 LEVELS OF UNDERGROUND PARKING CONTAINING A TOTAL OF 181 PARKING SPACES</b>			
12. Is a Land Operations Permit needed? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <a href="http://www.city.pittsburgh.pa.us/bbi/">http://www.city.pittsburgh.pa.us/bbi/</a> )			



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**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

13. Proposed Number of New Structures or Building Additions:  N/A  
 Residential     Commercial     Recreational     Industrial     Institutional

14. Gross Floor Area:  
 Existing to be Razed: APPROX. 22,500 sq ft  
 Existing to be Retained: NONE sq ft  
 Retained Area to be Renovated: NONE sq ft  
 To be Constructed: 208,740 sq ft  
 Building Footprint: 36,075 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	N/A	N/A	6	72'0" MAX
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

	N/A	N/A

16. Number of Dwelling Units:  
 Existing to Remain: N/A      Proposed: 215

17. Lot Area: 57,065 sq ft

18. On Site Parking:  N/A

	Existing	Proposed
Full (8 1/2' x 19')	N/A	124
Compact (7 1/4' x 16')	N/A	50
Handicap (13 1/2' x 19')	N/A	7

Off-Street Loading Spaces:  N/A  
 Actual: 2  
 Required: 3

19. Please check any of the following items that will be part of the proposed work:  N/A  
 Demolition     HVAC (Interior)     HVAC (Exterior)     Electrical     Fire Alarm  
 Fire Protection/Sprinklers     Deck Construction     Commercial Cooking Hood     Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing     New Construction of Plumbing     No Plumbing Work is Proposed



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21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u>  2  </u> New Water Service Connection(s)	<u>  0  </u> Termination of Existing Water Service Tap(s)
<u>  1  </u> New Sewer Service Connection(s)	<u>  0  </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way. *Entry signs*
- Modification or reconstruction of City curbs. *(NEW CURB CUT ON LIBERTY AVENUE)*
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?       Yes       No

Applicant Signature: *[Handwritten Signature]*







City Apartments Located at Liberty and Baum

AERIAL @ LIBERTY & BAUM

5-1-2013

Scale

**BKV**  
GROUP



City Apartments Located at Liberty and Baum

5-1-2013

Scale

Birdseye - North



City Apartments Located at Liberty and Baum

5-1-2013

Scale

Northeast Perspective



City Apartments Located at Liberty and Baum

5-1-2013

Scale

Northwest Perspective



City Apartments Located at Liberty and Baum

5-1-2013

Scale

Southwest Perspective

**BKV**  
GROUP



City Apartments Located at Liberty and Baum

5-1-2013

Scale

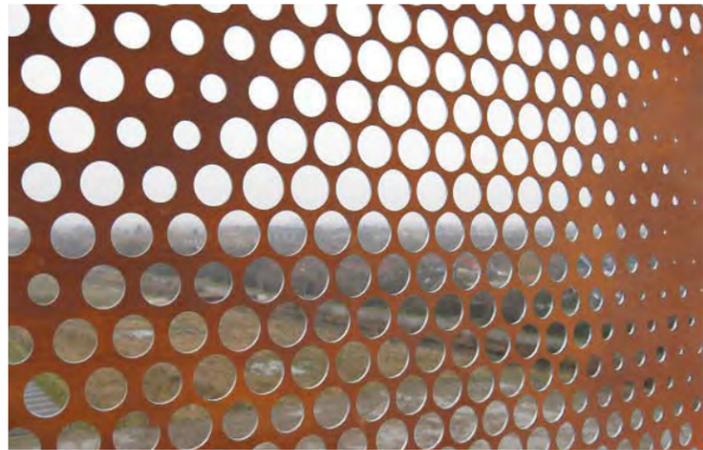
Southeast Perspective

BKV  
GROUP



EXTERIOR MATERIALS

03.18.2013



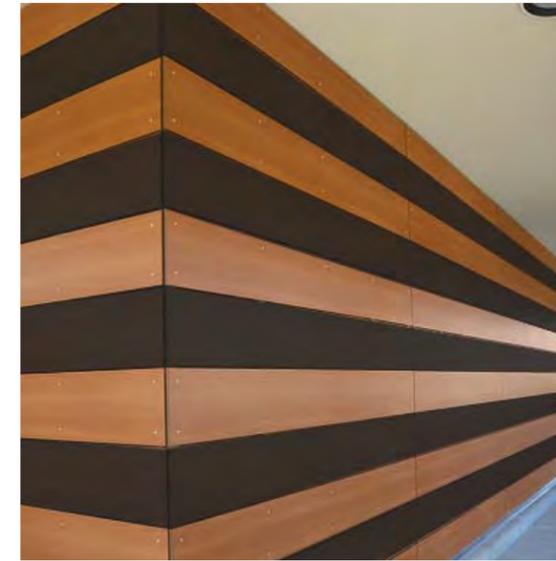
PERF METAL



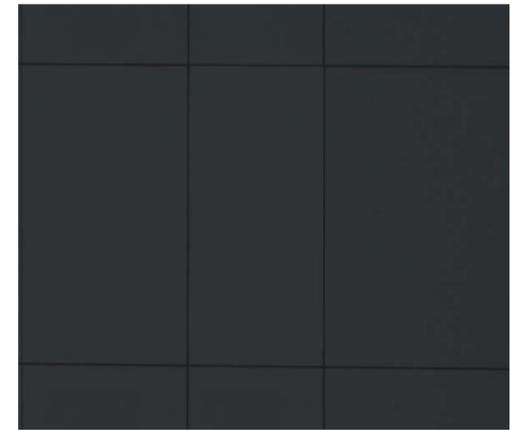
PAINTED STEEL CHANNELS



CORRUGATED METAL PANEL WHITE



LAMINATED WOOD PANELS



FIBER CEMENT PANELS CHARCOAL



FIBER CEMENT PANELS SILVER



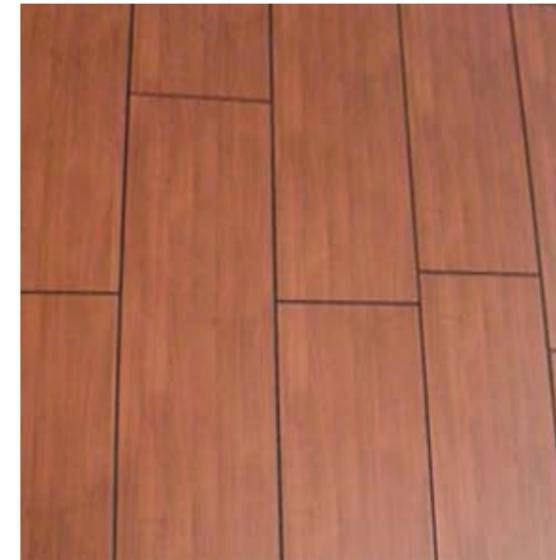
GROW WALLS



ALUMINUM WINDOW FRAMES



CORRUGATED METAL PANEL CHARCOAL



LAMINATED WOOD PANELS



FIBER CEMENT PANELS WHITE



- Liberty Avenue**
- Skyline Honeylocust
  - Appalachian Sedge
  - White Gayfeather

- Baum Boulevard**
- Japanese Zelkova
  - Prairie Dropseed
  - Little Bluestem

- Powhatten Avenue**
- Swamp White Oak
  - Prairie Dropseed
  - Little Bluestem



REVISIONS	No.	DATE

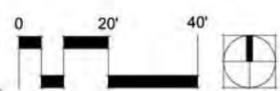
DATE	04-12-13
DRAWN BY	JES
CHECKED BY	JES
COMMISSION NO.	1899.01

SITE  
PLAN

**L100**

CITY APARTMENTS - LANDSCAPE PLAN

June 12, 2013





NORTH ELEVATION

CORONADO  
from 88ft to 100ft to 120ft  
ADJACENT HOUSING  
100ft

ADJACENT HOUSING  
67ft

COURTYARD MARRIOTT

CITY APARTMENTS  
64'-6"ft from 1st floor  
(67'-6" from average grade)

unknown

unknown

71ft      80ft      72ft      68ft



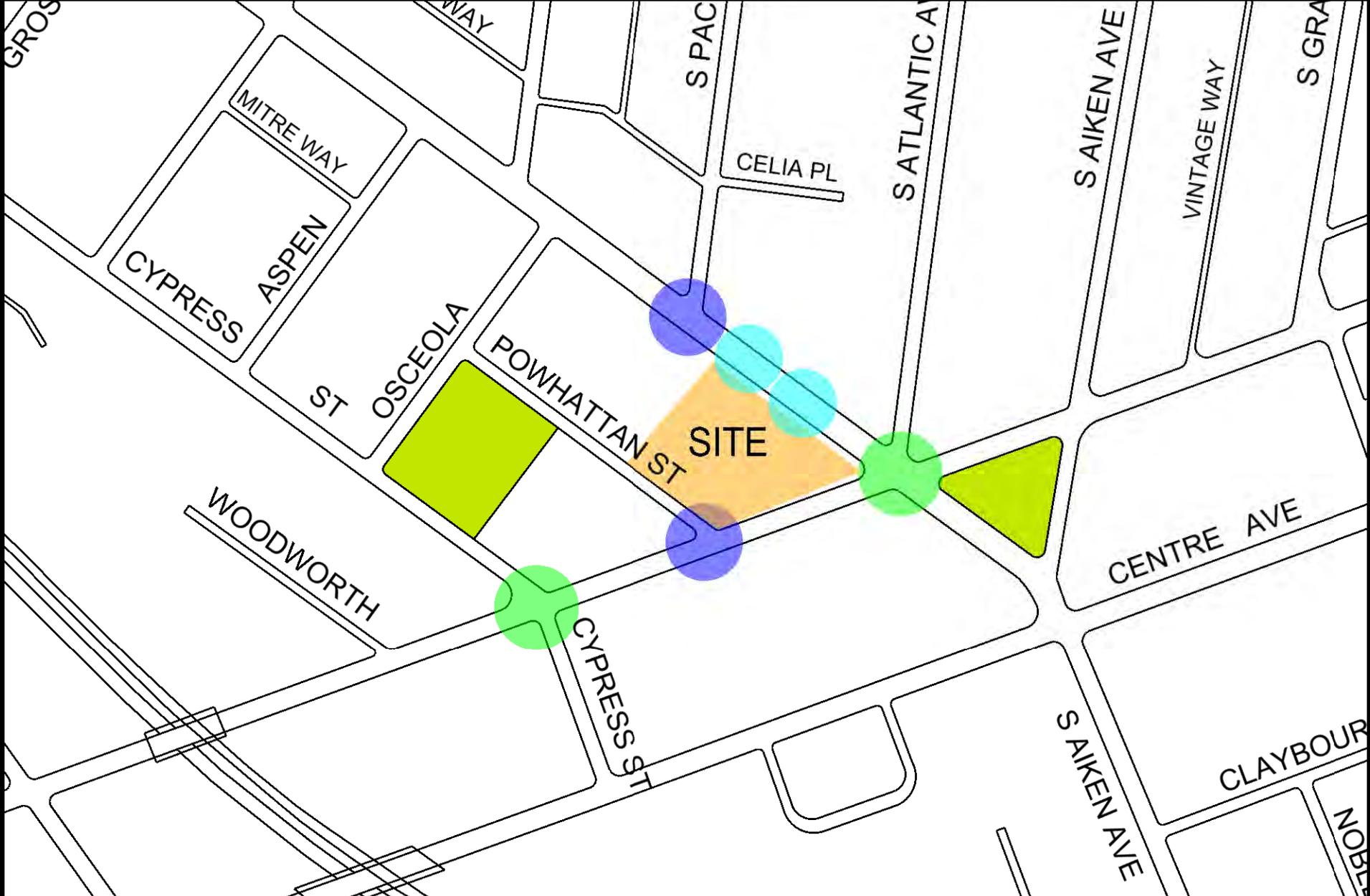
CONCEPTUAL ELEVATION

City Apartments

North Elevations

**BKV**  
GROUP

PROJECT: 12301



Legend:

- - Signalized Study Intersection
- - Unsignalized Study Intersection
- - Site Driveway (Garage and Loading)

SCALE: N.T.S.

Trans  
Associates

Transportation Solutions for Today and Tomorrow  
Twin Towers Suite 400 / 4955 Steubenville Pike  
Pittsburgh, Pennsylvania 15205 / (412) 490-0630

PROJECT NO. VILLA00 - 12301

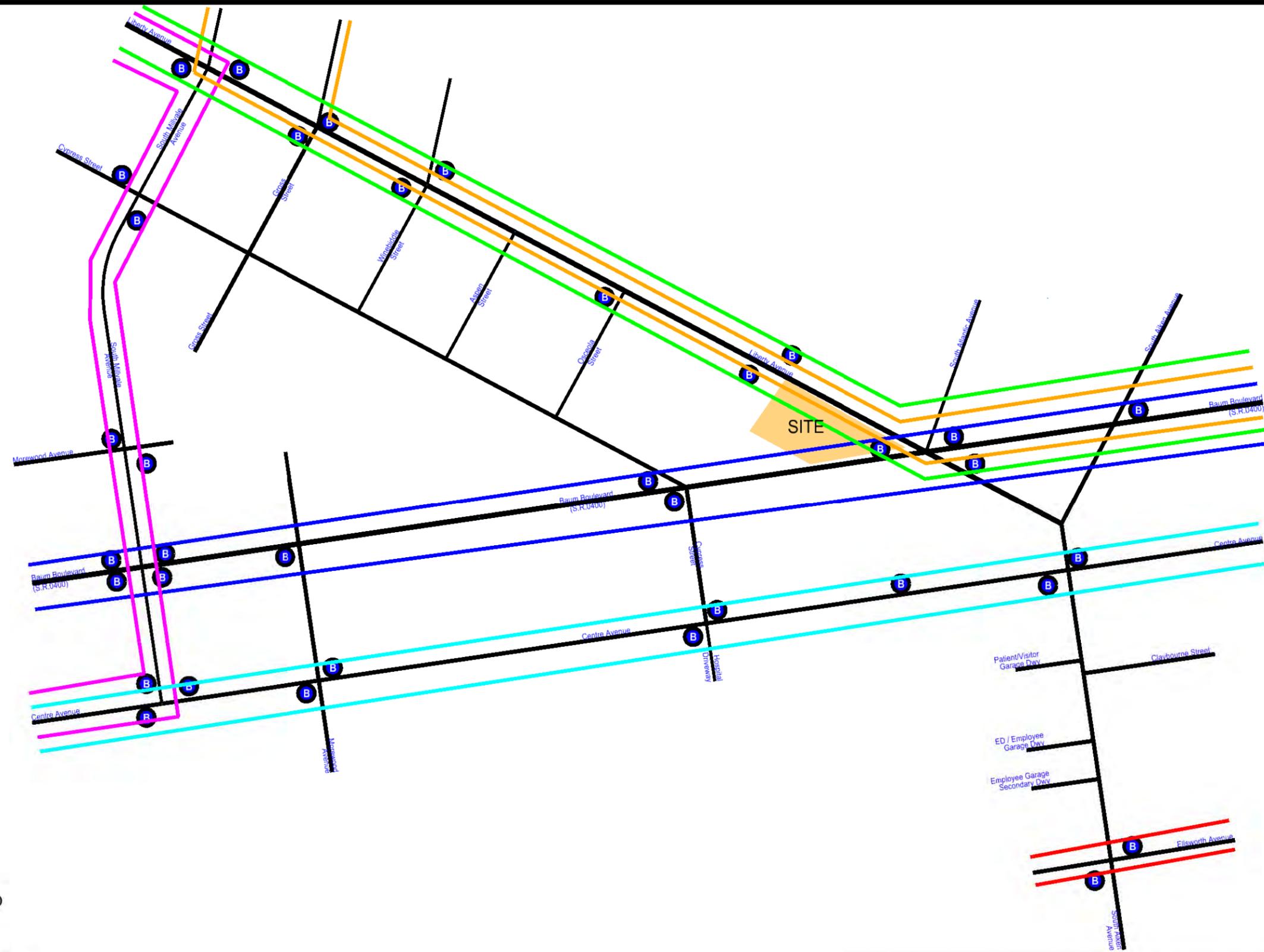
PROJECT: Village Green Apartment Development  
Transportation Study

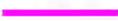
TITLE: Study Intersections

FIGURE  
4

D.B. mds  
C.B. caj  
REV.

FILE NAME: 12301/12301



- Legend**
-  - Bus Stop
  -  - 54
  -  - 64
  -  - 71A, 71C, 82
  -  - 75
  -  - 77
  -  - 86

 SCALE: N.T.S.	 Transportation Solutions for Today and Tomorrow <small>Two Towers, Suite 400 / 425, Shadedome Plaza          Pittsburgh, Pennsylvania 15222 / (412) 490-0930</small>	PROJECT NO. VILLO00 - 12301	FIGURE
		PROJECT: Village Green Apartment Development Transportation Study	5
		TITLE: Port Authority of Allegheny County Bus Routes and Stops	D.B. cad C.B. cal REV. _____

PLOTTED: 11/20/11



Legend:

**123** - 2019 Base 95th Percentile Queue Length (feet)

**123** - 2019 Combined 95th Percentile Queue Length (feet)



SCALE: 1" = 200'



Transportation Solutions for Today and Tomorrow  
Twin Towers, Suite 400 /4955 Steubenville Pike  
Pittsburgh, Pennsylvania 15205 / (412) 490-0630

PROJECT NO. VILLA00 - 12301

PROJECT: Village Green Apartment Development  
Transportation Study

TITLE: A.M. Peak Hour  
Queue Lengths

FIGURE

26

D.B. MDS  
C.B. CAJ  
REV. \_\_\_\_\_

PLOTTED: 11/20/11

FILE NAME: 150401



Legend:



- 2019 Base 95th Percentile Queue Length (feet)



- 2019 Combined 95th Percentile Queue Length (feet)



SCALE: 1" = 200'



Transportation Solutions for Today and Tomorrow  
Twin Towers, Suite 400 /4955 Steubenville Pike  
Pittsburgh, Pennsylvania 15205 / (412) 490-0630

PROJECT NO. VILLA00 - 12301

PROJECT: Village Green Apartment Development  
Transportation Study

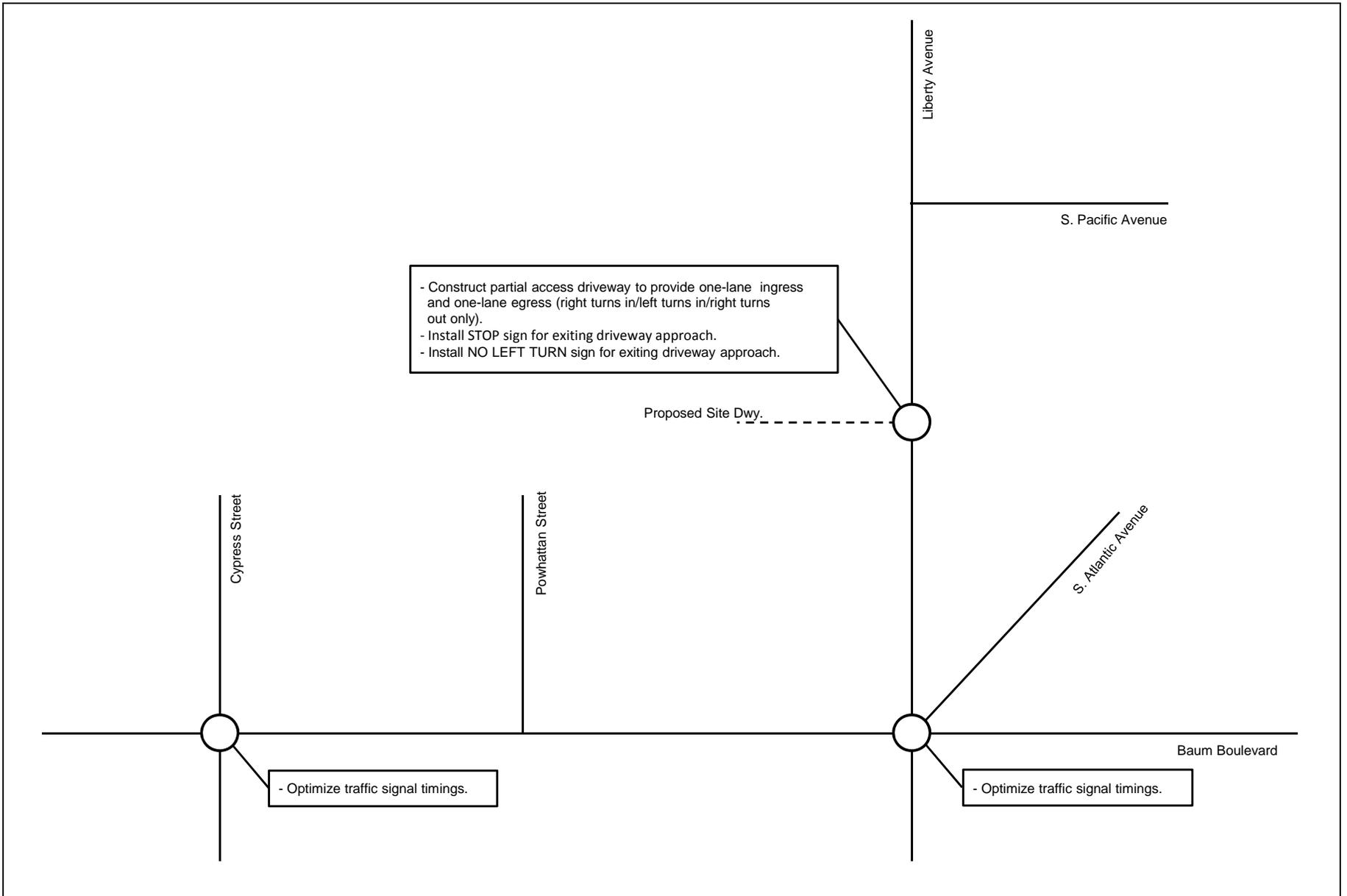
TITLE: P.M. Peak Hour  
Queue Lengths

FIGURE

27

D.B. MDS  
C.B. CAJ  
REV. \_\_\_\_\_

FILE NAME: 150401



- Construct partial access driveway to provide one-lane ingress and one-lane egress (right turns in/left turns in/right turns out only).  
 - Install STOP sign for exiting driveway approach.  
 - Install NO LEFT TURN sign for exiting driveway approach.

- Optimize traffic signal timings.

- Optimize traffic signal timings.

 SCALE : N.T.S.	 Transportation Solutions for Today and Tomorrow Twin Towers, Suite 400 / 4955 Steubenville Pike Pittsburgh, Pennsylvania 15205 / (412) 490-0630	PROJECT NO. VILLA00-12301	FIGURE <b>28</b>
		PROJECT: Village Green Apartment Development Transportation Study	
		TITLE: <b>Recommended Improvements</b>	D.B. <u>MDS</u>
			C.B. <u>CAJ</u>
			REV. _____



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**ZONING APPLICATION**

The Zoning Application can be used for the following:

- New Construction of a 1-Family or 2-Family Dwelling;
- Repairs, Alterations, Additions to, and/or Extensions of either a 3-Family or larger Residential Dwelling or a Non-Residential Structure.

**PROPERTY OWNER/APPLICANT INFORMATION**

Property Owner Name: <u>PMC PROPERTY GROUP</u>		Phone Number: (215) <u>241-0200</u>	
Address: <u>1411 WALNUT ST.</u>	City: <u>PHILADELPHIA</u>	State: <u>PA</u>	Zip Code: <u>19102</u>
Applicant/Company Name: <u>STRADA ARCHITECTURE</u>		Phone Number: (412) <u>263-3800</u>	
Address: <u>975 LIBERTY AVE.</u>	City: <u>PITTSBURGH</u>	State: <u>PA</u>	Zip Code: <u>15222</u>
Applicant/Contractor ID: (assigned by the City)			

**PROJECT INFORMATION**

**Address where Work will Occur:** 717 LIBERTY AVENUE

**Location of Work:** PITTSBURGH, PA

**If a Certificate of Occupancy exists, the following is required:**

Certificate of Occupancy#: \_\_\_\_\_ Date Issued: \_\_\_\_\_ Existing Use of Property: \_\_\_\_\_

Estimated Construction: Start Date: / / TBD Occupancy Date: / / TBD Project Cost: \$ TBD

**Check the appropriate structure type:**

<input type="checkbox"/> Residential, 1-Family Dwelling	<input checked="" type="checkbox"/> Non-Residential (Floors 1-5)
<input type="checkbox"/> Residential, 2-Family Dwelling	
<input checked="" type="checkbox"/> Residential, 3-Family or Larger Dwelling (Floors 12-23)	

**Select the Type(s) of Work from the following categories:**

<input type="checkbox"/> <b>New Construction of:</b>	<input checked="" type="checkbox"/> <b>Addition to or</b> <input type="checkbox"/> <b>Extension of:</b>	<input checked="" type="checkbox"/> <b>Alteration or</b> <input type="checkbox"/> <b>Repair Type:</b>
<input type="checkbox"/> 1-Family Dwelling Structure	<input checked="" type="checkbox"/> Existing Primary Use Structure	<input type="checkbox"/> Structural, Interior <input checked="" type="checkbox"/> Structural, Exterior
<input type="checkbox"/> 2-Family Dwelling Structure	<input type="checkbox"/> Existing Accessory Structure	<input checked="" type="checkbox"/> Aesthetic, Interior <input checked="" type="checkbox"/> Aesthetic, Exterior

**New Certificate of Occupancy is Needed**

**Describe the Work:** CONVERSION OF FLOORS 12-23 TO APARTMENTS - 144 TOTAL UNITS. EXTENSION OF EXISTING STAIR TOWER. NEW M/E/P/FP.

**Provide the Square Footage (sq. ft.) of each of the items listed below, even if the answer is zero:**

Lot Area: <u>16,243 S.F.</u>	Existing Structure to be Retained: <u>372,461 S.F.</u>
Building Footprint: <u>15,395 S.F.</u>	Retained Space to be Renovated/Altered: _____
Existing Structure to be Razed: <u>0</u>	New Structure to be Constructed: <u>2,352 S.F.</u>

Provide the Structure Height(s):	EXISTING		PROPOSED	
	Stories	Feet	Stories	Feet
Main Structure	24	301'-8"	24	301'-8"
Proposed Addition/Extension			12 (STAIRS ONLY)	301'-8"
Accessory Structure:				
Accessory Structure:				
Accessory Structure:				

**On-Site Parking:** New Total Number of Spaces After Work is Complete: N/A

**Please check any of the following items that will be part of the proposed work:**

<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Electrical	<input checked="" type="checkbox"/> Fire Alarm	<input checked="" type="checkbox"/> Fire Protection/Sprinklers
<input checked="" type="checkbox"/> HVAC (Interior)	<input checked="" type="checkbox"/> HVAC (Exterior)	<input type="checkbox"/> Commercial Cooking Hood	<input type="checkbox"/> N/A

**Please check the following items that pertain to any work proposed on private plumbing:**  
(i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing  New Construction of Plumbing  No plumbing work is proposed

**Applicant will be applying for Visitability Tax Credit?**  Yes  No

NOTE: NEW STAIR TOWER

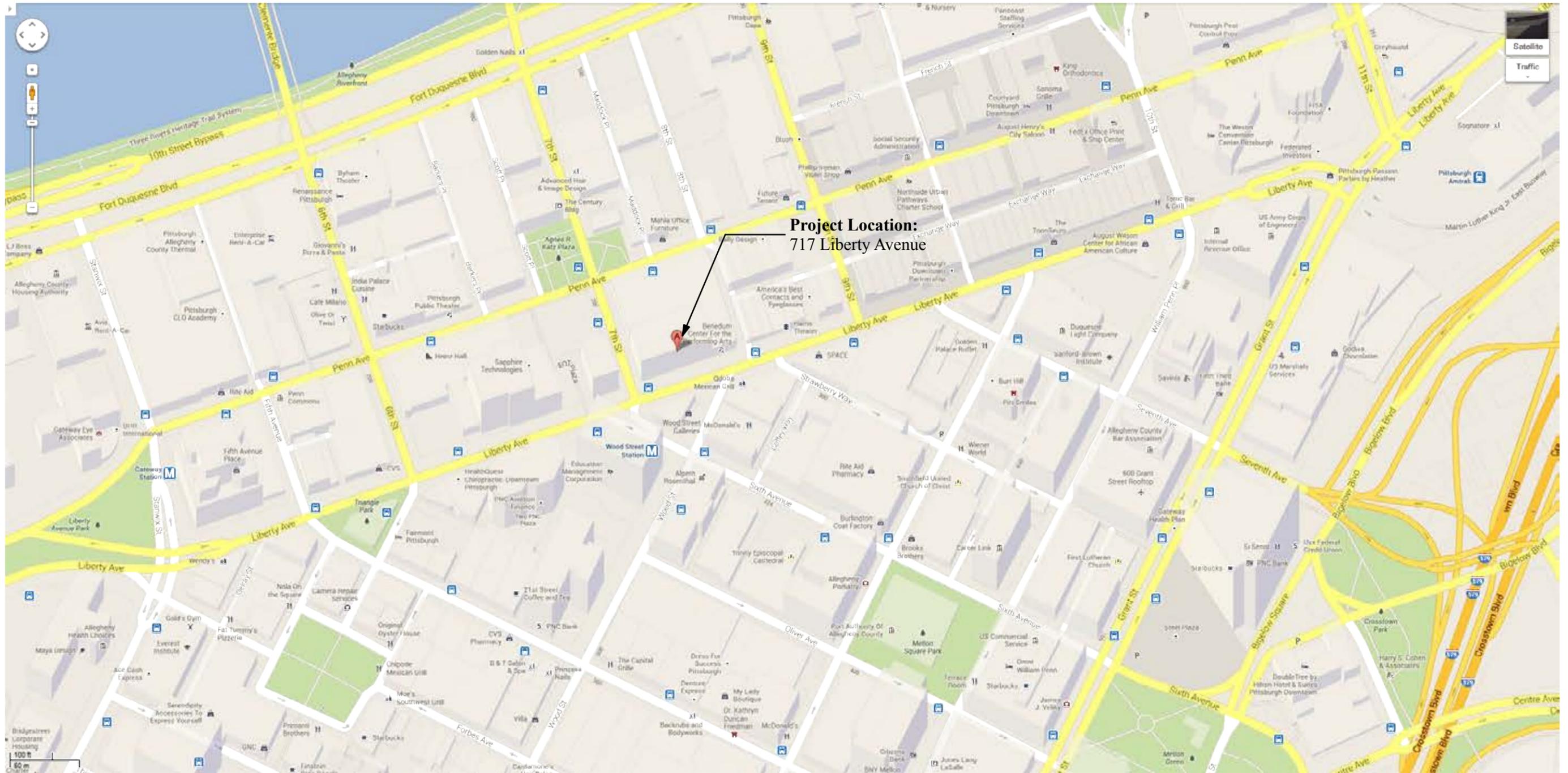


# 717 Liberty Avenue

Planning Commission Set - June 25, 2013

**Strada**

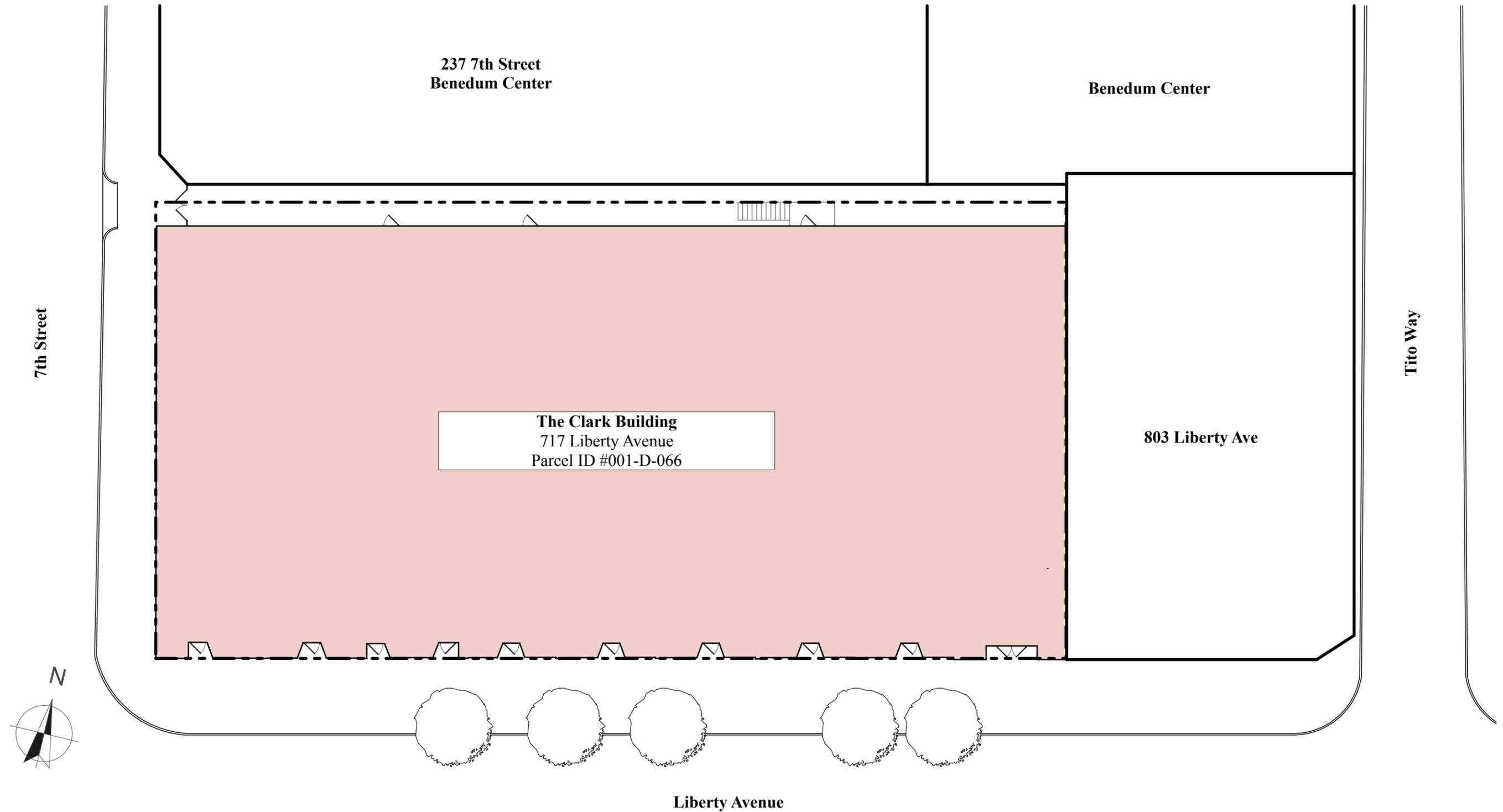
Architecture 925 Liberty Avenue  
Interiors Pittsburgh, PA 15222  
Landscapes 412.263.3800  
Urban Design www.stradallc.com  
©2013 Strada Architecture LLC.



**Project Location:**  
717 Liberty Avenue

### Site Vicinity Map

NOT TO SCALE



**Site Plan**

Scale: 1" = 20'



**Liberty Avenue (south) and Tito Way (east) elevations**



**Liberty Avenue (south) and 7th Street (west) elevations**



Alley (north) and 7th Street (west) elevations



View of north alley



**Alley (north) elevation and existing stair tower**



**Liberty Avenue (south) street level facade**

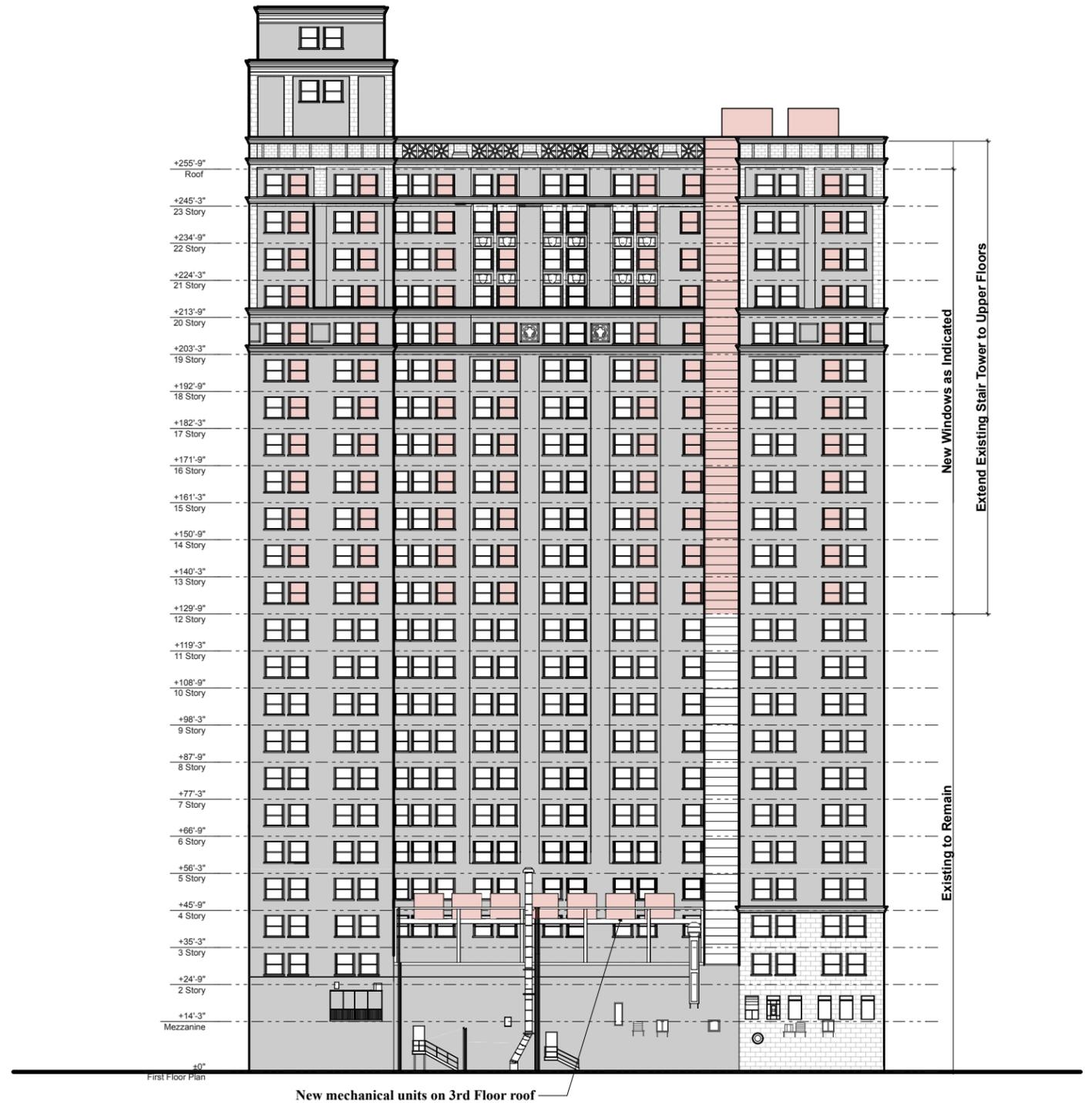


**7th Street (west) street level facade**



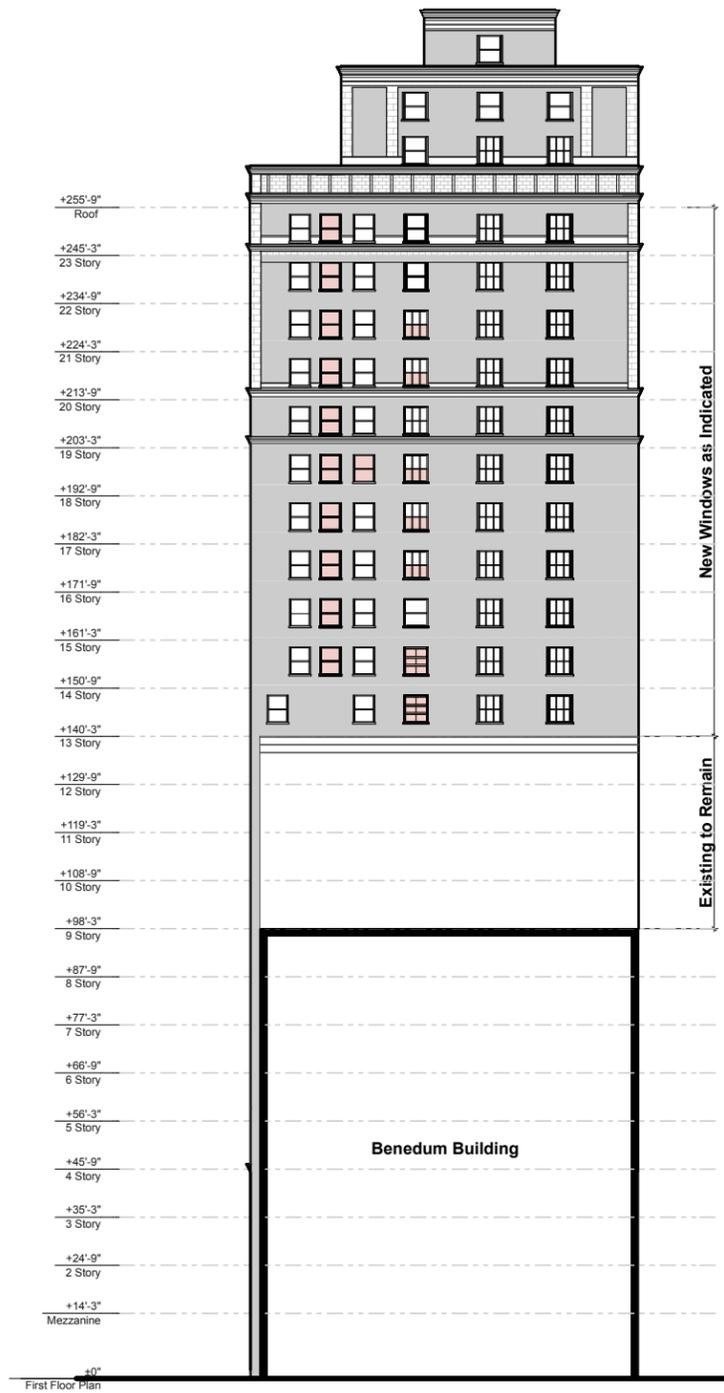
**South Elevation - Liberty Avenue**

Scale: 1" = 40'



**North Elevation - Alley**

Scale: 1" = 40'



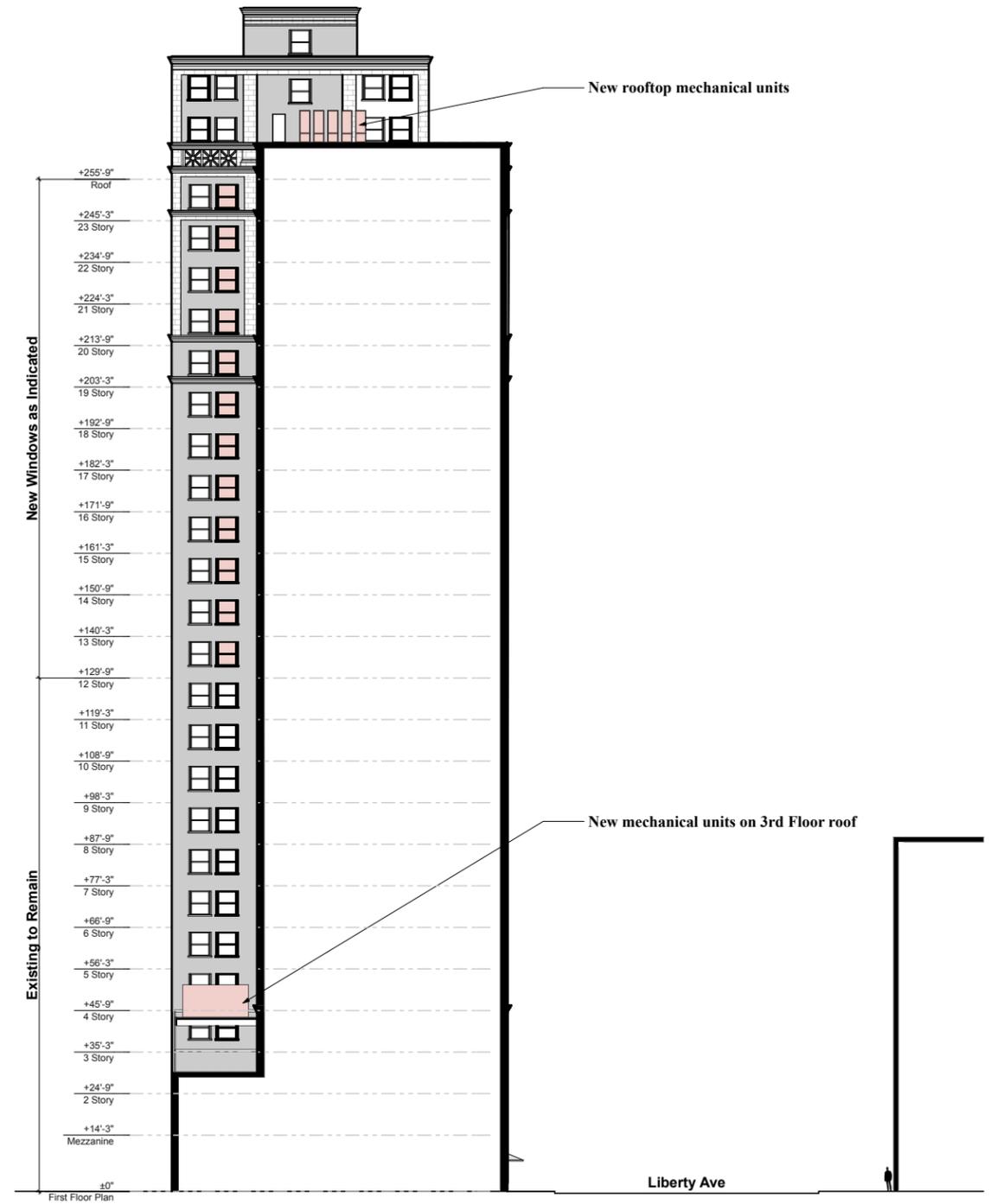
**East Elevation - Tito Way**

Scale: 1" = 40'



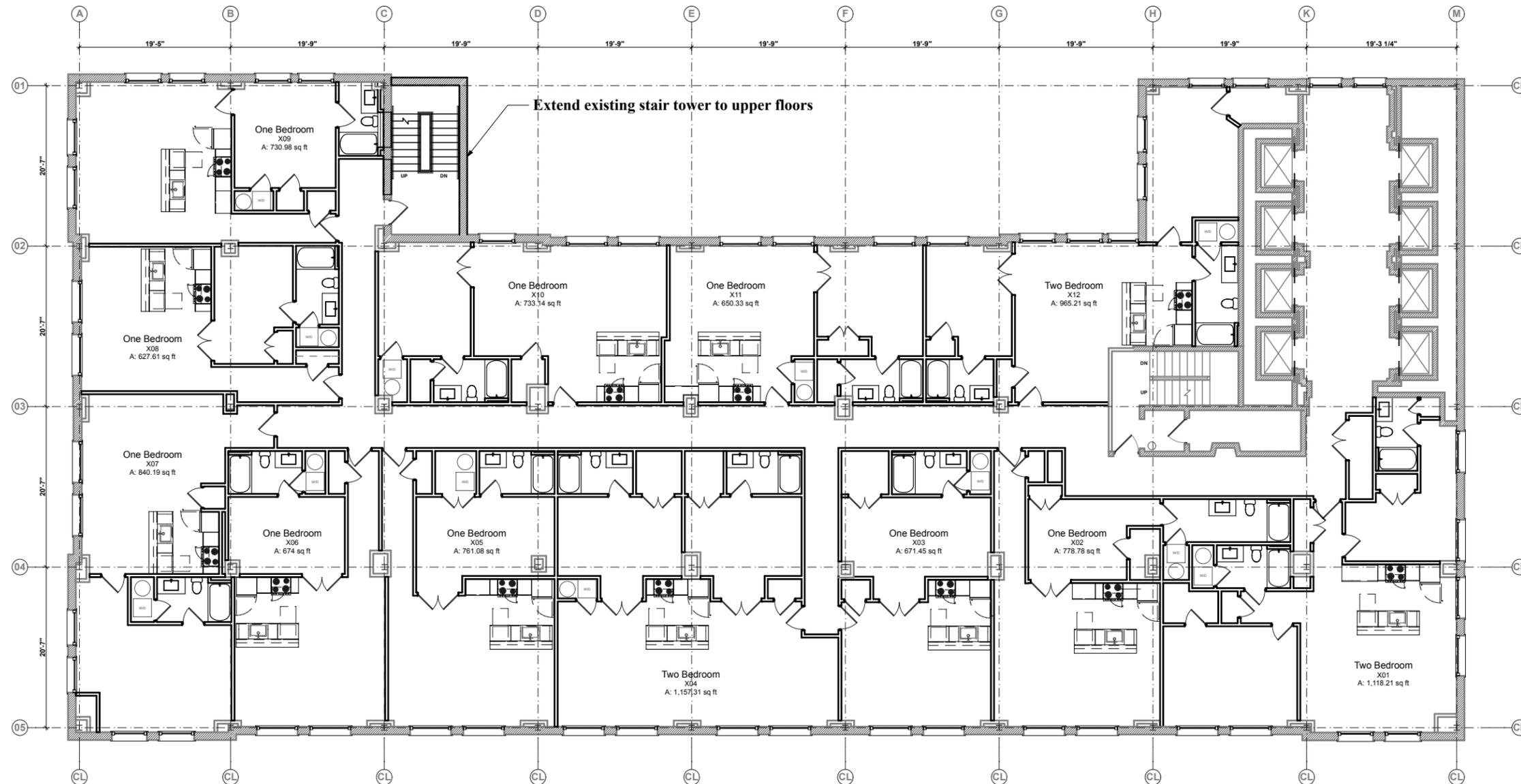
**West Elevation - 7th Street**

Scale: 1" = 40'



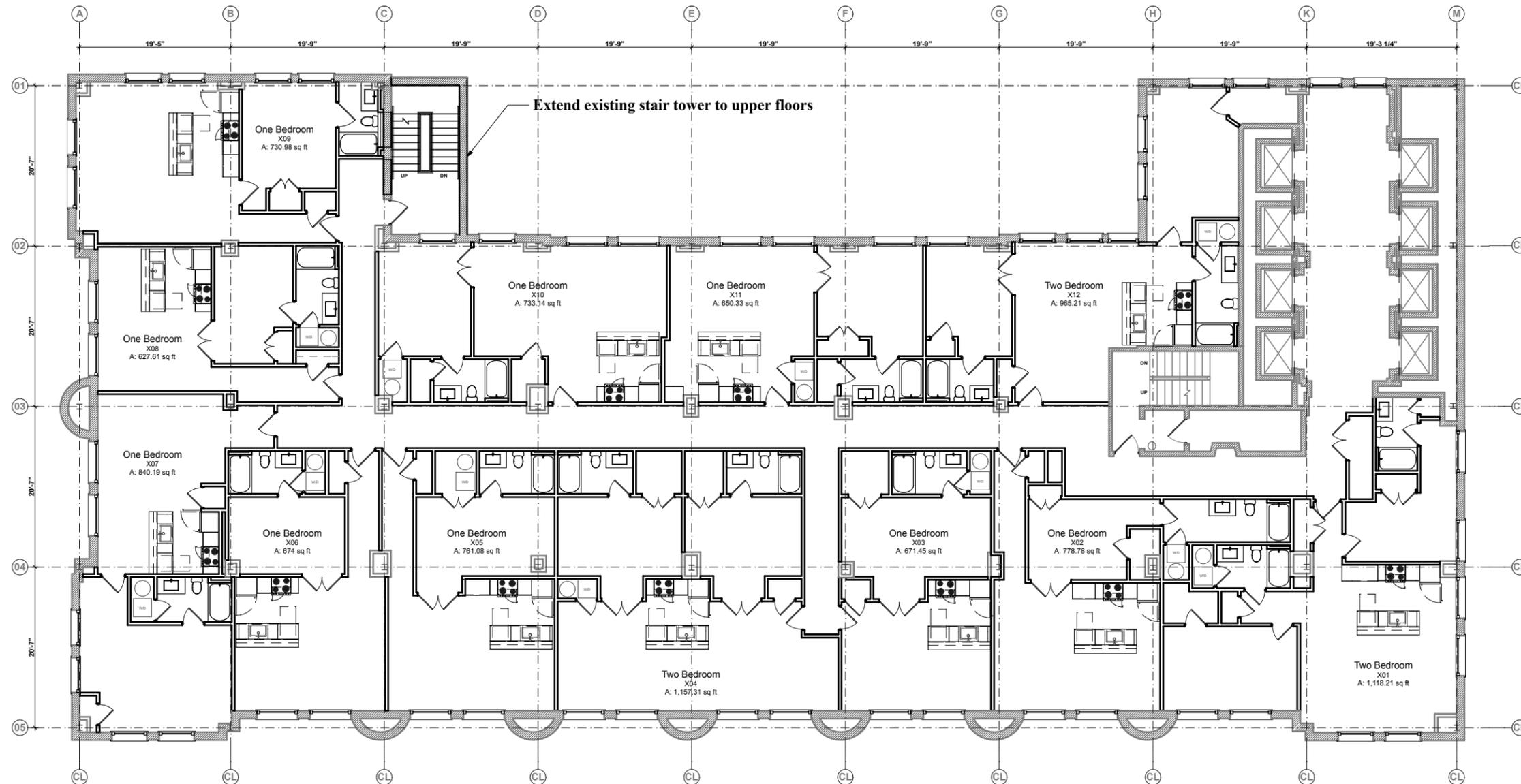
**Section Looking West**

Scale: 1" = 40'



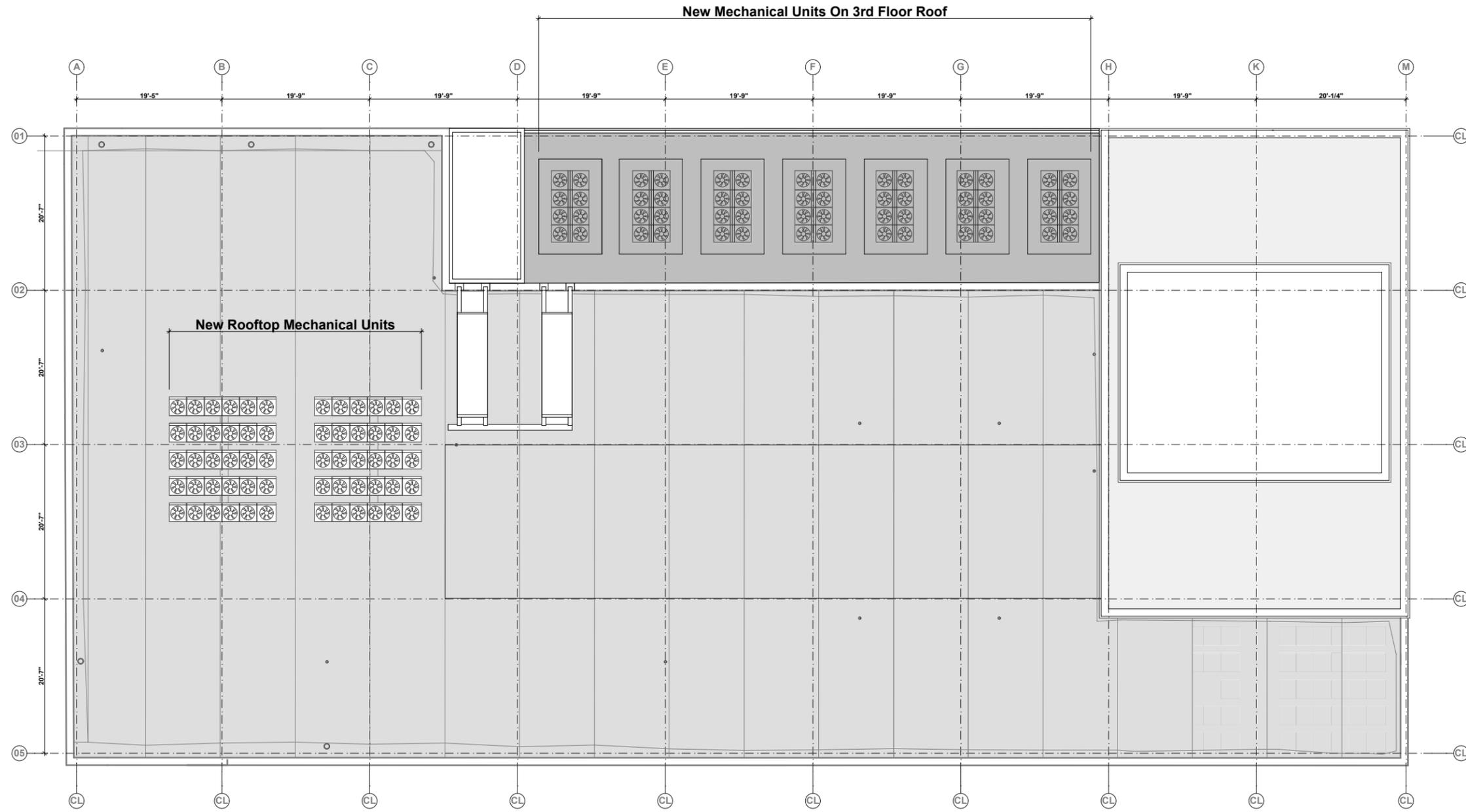
### Typical Apartment Layout Floors 12-19

Scale: 1/16" = 1'-0"



### Typical Apartment Layout Floors 20-23

Scale: 1/16" = 1'-0"



**Roof Plan**

Scale: 1/16" = 1'-0"

2CP# 768



CITY OF PITTSBURGH  
DEPARTMENT OF CITY PLANNING  
ZONING • DEVELOPMENT REVIEW  
200 ROSS STREET • THIRD FLOOR  
PITTSBURGH • PENNSYLVANIA • 15219

### ZONE CHANGE PETITION

Address

Owner:	<u>The Housing Authority of the City of Pittsburgh(HACP)</u>	<u>The Urban Redevelopment Authority of Pittsburgh(URA)</u>
Address:	<u>200 Ross Street, Pittsburgh, PA 15219</u>	<u>200 Ross Street, Pittsburgh, PA 15219</u>
Phone:	<u>412.456.5000</u>	<u>412.255.6418</u>

Applicant / Agent:	<u>The Urban Redevelopment Authority of Pittsburgh</u>
Address:	<u>200 Ross Street, Pittsburgh, PA 15219</u>
Phone:	<u>Contact: Kyra Strausman, Director of Real Estate 412.255.6418</u>

Property owners or representatives of property described who join this petition.

Owner's Name	Property
HACP	107-H-100, 70-E-375
URA	70-E-300, 70-E-325

*If additional space is required, list on a separate sheet and attach.*

Block & Lot:	<u>107-H-100(URA), 70-E-375(URA)</u> <u>70-E-300(URA), 70-E-325(URA)</u>	Ward: <u>28th</u>
Sq. ft. of site:	<u>1,131,253sf</u>	or, number of acres: <u>25.97ac.(includes Fairwood)</u>
Existing Zoning	<u>RM-M</u>	Proposed Zoning: <u>UI</u>

Present use of site:

Vacant (former public housing property and infrastructure)

Proposed use & improvements: *(attach map of proposed zone change area)*

Expansion of existing industrial park

*(if additional space is required, attach a separate sheet)*

The proposed Zone Change is appropriate and desirable and that this use will not be detrimental to the immediate neighborhood because:

Expansion of industrial district will allow reuse of a vacant site, create employment opportunities within the City and will expand the City tax base

The proposed application will comply with the conditions specified in the Code by:

Individual Site Plan submissions by individual developers shall be made in conformance with the Code.

**NOTICE TO ANYONE WHO JOINS THIS PETITION:**

Despite any statements of proposed use made above, enactment of this ordinance will permit involved property to be used for any of the uses listed in the classification table of the Zoning Ordinance.

**STATEMENT OF TRUTH**

COMMONWEALTH OF PENNSYLVANIA, COUNTY OF ALLEGHENY

Deponent, being duly sworn, says that they are the:

- Owner of record of the property for which this application is made, and that all the statements and data furnished with this application is true and correct.
- Authorized agent for the owner of record of the property for which this application is made and as such has express authority to bind such owner to all terms and conditions of any Occupancy permit issued pursuant to this application, and that all the statements and data furnished with this application are true and correct.

Sworn to and subscribed before me this 17<sup>th</sup> day of May 2013.

[Signature] Notary Public      [Signature] Applicant (signature)      Kyra Straussman, Director of Real Estate, URA Applicant (printed)

COMMONWEALTH OF PENNSYLVANIA  
 Notarial Seal  
 Miranda Gula, Notary Public  
 Green Tree Boro, Allegheny County  
 My Commission Expires Sept. 9, 2013  
 Member Pennsylvania Association of Notaries

**RECORD OF ACTIONS** (to be completed by City Planning)

Address  Check #

Date Filed  Land Use #

Zoning District  Zone Change #

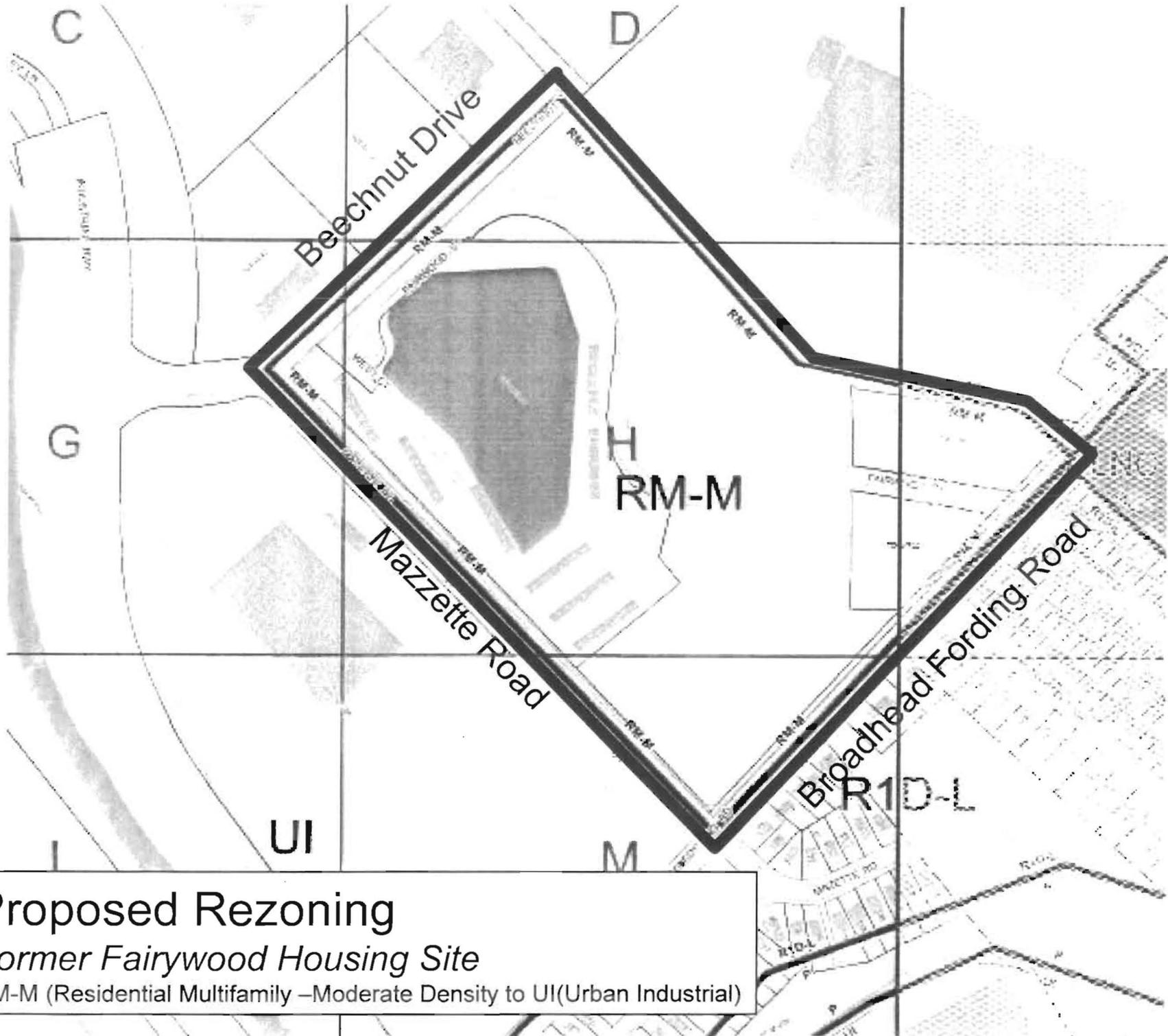
Proposed Zoning

**Planning Commission recommendation**

Approved       Denied      DATE OF ACTION

**City Council action**

Approved       Denied      DATE OF ACTION



# Proposed Rezoning

*Former Fairywood Housing Site*

RM-M (Residential Multifamily –Moderate Density to UI(Urban Industrial)



Department of City Planning

Luke Ravenstahl  
Mayor

Noor Ismail, AICP  
Director

June 18, 2013

Dear Resident:

Enclosed with this letter is a description regarding:

Re: Zone Change Petition No. 768                      LUC File No. C-768

which has been filed for property in your vicinity. This application is presently being considered by the Pittsburgh City Planning Commission, which will be taking action in the near future.

This petition has been filed by the Urban Redevelopment Authority of Pittsburgh, agent on behalf of the property owners Urban Redevelopment Authority of Pittsburgh and the Housing Authority of the City of Pittsburgh, to rezone approximately 26 acres of property having frontage on the northwesterly side of Broadhead Fording Road between Mazzette Road and Windgap Avenue in the 28<sup>th</sup> Ward. The proposed zone change is from RM-M, Residential Multi-Unit, Moderate Density District to UI, Urban Industrial District (see enclosed map). The reason for the request as stated by the applicant is to allow for future redevelopment of the property.

The plans submitted as part of this application are on file in the Land Use Control Office at 200 Ross Street, 3<sup>rd</sup> Floor. They may be examined between the hours of 8:00 a.m. and 3:00 p.m., Monday through Friday.

The Planning Commission is interested in obtaining the opinion of residents concerned with this matter. A response form is enclosed for your convenience, and we urge you to respond. A public hearing has been scheduled before the Planning Commission on **Tuesday, July 9, 2013 at 2:00 p.m.** on the 1<sup>st</sup> floor of the John P. Robins Civic Building, 200 Ross Street. Your attendance and testimony will be appreciated. It will ultimately be the decision of City Council and the Mayor after a recommendation by the Planning Commission whether to change the zoning category. Enactment of this reclassification will permit involved property to be used for any kind of use allowed in the proposed district as clarified in the Zoning Ordinance.

Testimony presented by individuals will be limited to THREE MINUTES EACH. In addition, any person who intends to testify in behalf of an organization such as a chamber of commerce, community club, etc., shall provide a "Letter of Authorization" from the appropriate duly appointed officers before testifying. Prepared comments, statistics or reports in printed form may be presented to the Commission to support testimony or in lieu of testimony. Testimony should not be read from a prepared statement, but may be generalized or summarized as testimony with the prepared statement handed to the Commission for their review. You may call [412] 255-2241 if additional information is necessary.

Yours Truly,

Susan Tymoczko, Zoning Administrator

Enclosures





DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

4-25-13

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <b>Hertz Gateway Center, LP</b>		Phone Number: ( 412 ) 392-6000	
Address: <b>603 Stanwix St. Suite 400</b>	City: <b>Pittsburgh</b>	State: <b>Pennsylvania</b>	Zip Code: <b>15222</b>

2. Applicant/Company Name: <b>Hertz Gateway Center, LP</b>		Phone Number: ( 412 ) 392-6000	
Address: <b>603 Stanwix St. Suite 400</b>	City: <b>Pittsburgh</b>	State: <b>Pennsylvania</b>	Zip Code: <b>15222</b>

Applicant/Contractor ID:(assigned by the City) **BL006061**

3. Development Name: **Four Gateway Center Restaurant**

4. Development Location: **Corner of Liberty Avenue & Stanwix St.**

5. Development Address: **444 Liberty Avenue, Pittsburgh, PA 15222**

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:

Present Use of Site:  
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: <b>Building #14198/Restaurant #80012</b>	Date Issued: <b>Building - 07/15/1960</b> <b>Restaurant - 09/21/2000</b>	Existing Use of Property: <b>Office Building</b>
--	---	--

8. Estimated Construction: Start Date: <b>5 / 20 / 13</b>	Occupancy Date: <b>10 / 01 / 2013</b>	Project Cost: <b>\$500,000.</b>
---	---------------------------------------	---------------------------------

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [http://www.city.pittsburgh.pa.us/cp/html/land\\_use\\_control\\_and\\_zoning.html](http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **104 Restaurant, Liquor License (General)**

10. Select the Type of Work:

New Construction, New     Renovation, Interior

New Construction,     Renovation, Exterior

Change in Use Only     Renovation, Change in Use

11. Describe the Development: **Interior renovation to existing restaurant.**  
**New 24' x 74' restaurant addition, one story.**

12. Is a Land Operations Permit needed?     YES     NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13. Proposed Number of New Structures or Building Additions:**  N/A  
 Residential     Commercial     Recreational     Industrial     Institutional

**14. Gross Floor Area:**

Existing to be Razed: \_\_\_\_\_ sq ft

Existing to be Retained: \_\_\_\_\_ sq ft

Retained Area to be Renovated: 10,341 sq ft

To be Constructed: 1,776 sq ft

Building Footprint: 19,991 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	2	284'		
Proposed Addition/Extension			1	16'

Provide Accessory Structure Type(s) and Height(s):


**16. Number of Dwelling Units:**

Existing to Remain: 0                      Proposed: 0

**17. Lot Area:** 54,582 sq ft (1,253 acres)

**18. On Site Parking:**  N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A

Actual: \_\_\_\_\_

Required: \_\_\_\_\_

**19. Please check any of the following items that will be part of the proposed work:**  N/A

Demolition     HVAC (Interior)     HVAC (Exterior)     Electrical     Fire Alarm

Fire Protection/Sprinklers     Deck Construction     Commercial Cooking Hood     Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
(i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing     New Construction of Plumbing     No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u>0</u> New Water Service Connection(s)	<u>0</u> Termination of Existing Water Service Tap(s)
<u>0</u> New Sewer Service Connection(s)	<u>0</u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?       Yes       No

Applicant Signature:

*Debra A. Drury, General Manager*

# HERTZ GATEWAY CENTER, LP

ADDITION TO FOUR GATEWAY CENTER

EDDIE MERLOT'S  
RESTAURANT

DESIGN SUBMISSION FOR PLANNING REVIEW



JUNE 25, 2013

# **HERTZ GATEWAY CENTER, LP**

## **TABLE OF CONTENTS**

- **DEVELOPMENT REVIEW APPLICATION**
- **LOCATION MAP, SITE PLAN AND PLAZA ROUTES**
- **PHOTO INDEX OF EXISTING CONDITIONS AND SURROUNDING CONTEXT**
- **CONTEXTUAL PHOTO RENDERING OF PROPOSED ADDITION**
- **INDEX OF PROPOSED ADDITION ARCHITECTURAL DRAWINGS**
  - C001 - ARCHITECTURAL SITE PLAN (Rev H)**
  - C002 - ARCHITECTURAL SITE DETAILS (Rev G)**
  - A001 - ARCHITECTURAL FLOOR PLAN (Rev F)**
  - A002 - ARCHITECTURAL ROOF PLAN & DETAILS (Rev G)**
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- **RESPONSES TO CDAP's URBAN DESIGN TARGETS DATED JUNE 10, 2013**
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**HERTZ GATEWAY CENTER, LP**  
**DEVELOPMENT REVIEW APPLICATION**



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

*(Zoning Use Only)*

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Address: <b>603 Stanwix St. Suite 400</b>	City: <b>Pittsburgh</b>	State: <b>Pennsylvania</b>	Zip Code: <b>15222</b>
2. Applicant/Company Name: <b>Hertz Gateway Center, LP</b>		Phone Number: ( 412 ) 392-6000	
Address: <b>603 Stanwix St. Suite 400</b>	City: <b>Pittsburgh</b>	State: <b>Pennsylvania</b>	Zip Code: <b>15222</b>
Applicant/Contractor ID:(assigned by the City) <b>BL006061</b>			
3. Development Name: <b>Four Gateway Center Restaurant</b>			
4. Development Location: <b>Corner of Liberty Avenue &amp; Stanwix St.</b>			
5. Development Address: <b>444 Liberty Avenue, Pittsburgh, PA 15222</b>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: <b>Building #14198/Restaurant #80012</b>	Date Issued: <b>Building - 07/15/1960 Restaurant - 09/21/2000</b>	Existing Use of Property: <b>Office Building</b>	
8. Estimated Construction:	Start Date: <b>7 / 1 / 13</b>	Occupancy Date: <b>10 / 01 / 2013</b>	Project Cost: <b>\$500,000.</b>

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [http://www.city.pittsburgh.pa.us/cp/html/land\\_use\\_control\\_and\\_zoning.html](http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **104 Restaurant, Liquor License (General)**

10. Select the Type of Work:

New Construction, New     Renovation, Interior

New Construction,         Renovation, Exterior

Change in Use Only         Renovation, Change in Use

11. Describe the Development: **Interior renovation to existing restaurant.  
New 24' x 74' restaurant addition, one story.**

12. Is a Land Operations Permit needed?                     YES                     NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13. Proposed Number of New Structures or Building Additions:**  N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

**14. Gross Floor Area:**

Existing to be Razed: \_\_\_\_\_ sq ft  
 Existing to be Retained: \_\_\_\_\_ sq ft  
 Retained Area to be Renovated: 10,341 sq ft  
 To be Constructed: 1,942 sq ft  
 Building Footprint: 19,991 sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	<b>22</b>	<b>284'</b>		
Proposed Addition/Extension			<b>1</b>	<b>16'</b>

Provide Accessory Structure Type(s) and Height(s):


**16. Number of Dwelling Units:**  
 Existing to Remain: 0      Proposed: 0

**17. Lot Area:** 54,582 sq ft (1.253 acres)

**18. On Site Parking:**  N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A  
 Actual: \_\_\_\_\_  
 Required: \_\_\_\_\_

**19. Please check any of the following items that will be part of the proposed work:**  N/A

Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm  
 Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<input type="text" value="0"/> New Water Service Connection(s)	<input type="text" value="0"/> Termination of Existing Water Service Tap(s)
<input type="text" value="0"/> New Sewer Service Connection(s)	<input type="text" value="0"/> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES                       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street                     
  Private Property                     
  Not Applicable  
 Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?                       Yes                       No

Applicant Signature: \_\_\_\_\_



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219**

**Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9**

**Residential Uses**

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

**Non-Residential Uses**

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

**DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION**

**Department of City Planning**

200 Ross Street, Fourth Floor  
Pittsburgh, PA 15219  
(412) 255-2200  
[www.city.pittsburgh.pa.us/cp/](http://www.city.pittsburgh.pa.us/cp/)

**Department of City Planning  
Zoning Office Counter**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2246  
[www.city.pittsburgh.pa.us/cp/html/land\\_use\\_control\\_and\\_zoning.html](http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html)

**City Zoning Code**

<http://www.municode.com/resources/gateway.asp?sid=38&pid=13525>

**Department of Public Safety  
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2175  
[www.city.pittsburgh.pa.us/BBI/](http://www.city.pittsburgh.pa.us/BBI/)

**Department of Public Works (DPW)  
Bureau of Engineering and Construction**

Bureau of Public Space Management  
City-County Building, Room 301  
414 Grant Street  
Pittsburgh, PA 15219  
(412) 255-8850  
[www.city.pittsburgh.pa.us/pw/](http://www.city.pittsburgh.pa.us/pw/)

**Department of Public Works (DPW)  
Permit Office**

611 Second Avenue  
Pittsburgh, PA 15219  
(412) 255-2382  
[www.city.pittsburgh.pa.us/pw/](http://www.city.pittsburgh.pa.us/pw/)

**Pittsburgh Water and Sewer Authority (PWSA)**

Permit Counter  
441 Smithfield Street, Second Floor  
Pittsburgh, PA 15222  
(412) 255-2443  
[www.pgh2o.com](http://www.pgh2o.com)  
*Refer to the PWSA Procedures Manual for Developers.*

**Allegheny County Health Department (ACHD)**

Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224  
(412) 578-8036  
[www.achd.net/progstartfolder/plumbingstart.html](http://www.achd.net/progstartfolder/plumbingstart.html)

**Allegheny County Health Department (ACHD)**

Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224  
(412) 578-8044  
<http://www.achd.net/food/foodstart.html>

**Allegheny County Health Department (ACHD)**

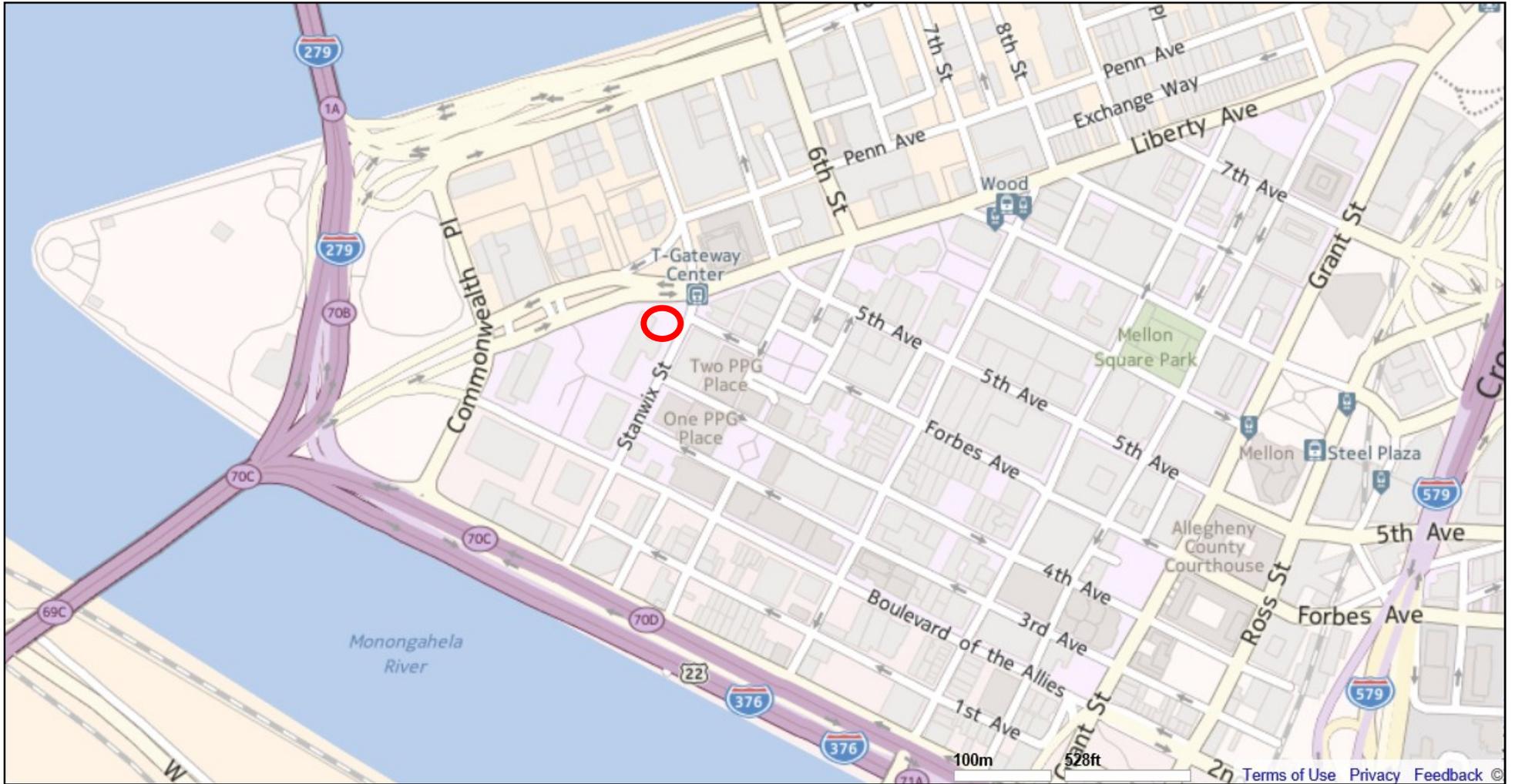
Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
<http://www.achd.net/housing/commenvironstart.html>

**HERTZ GATEWAY CENTER, LP**

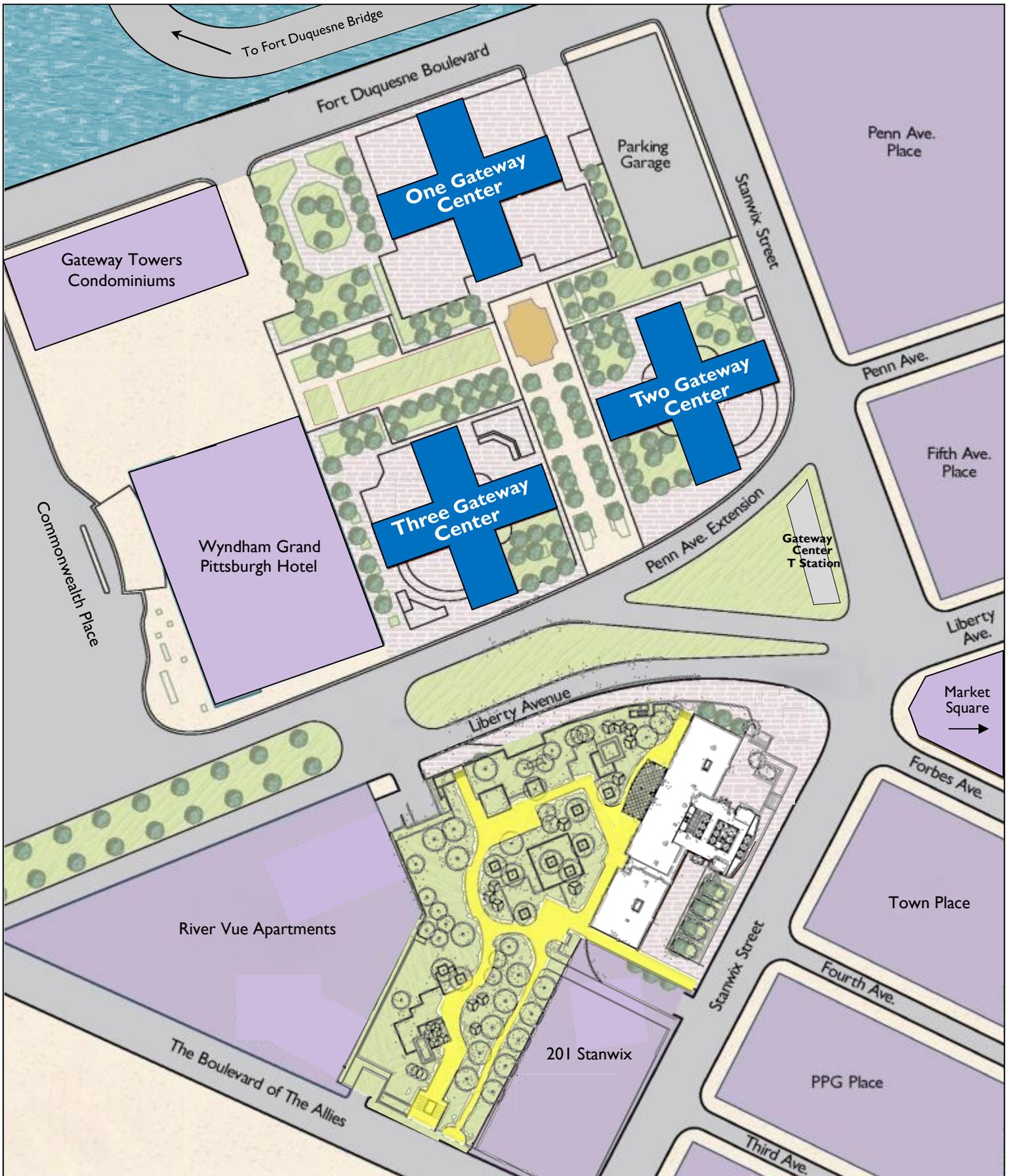
**LOCATION MAP**

**SITE PLAN**

**PLAZA ROUTES**

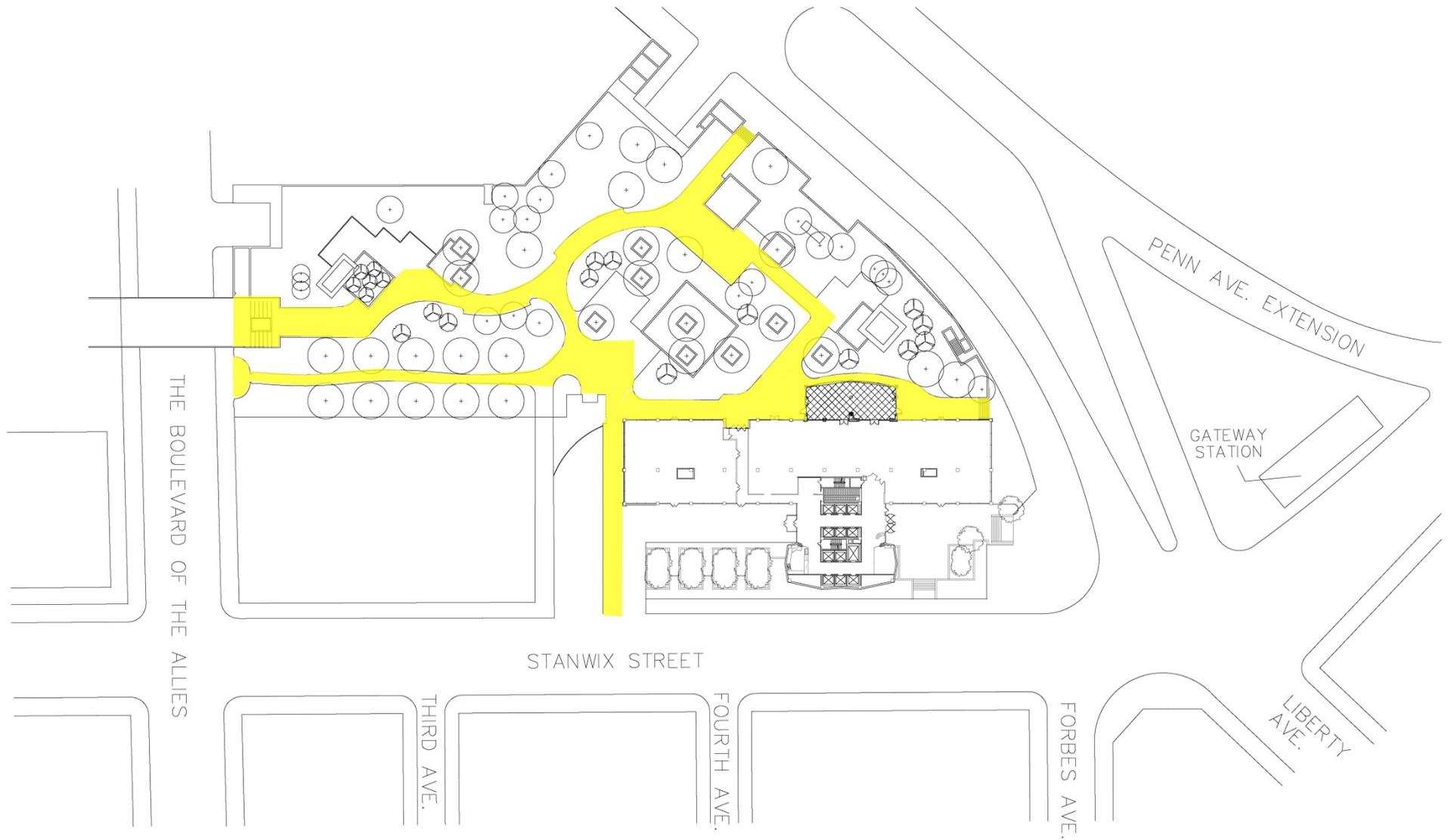


**HERTZ GATEWAY CENTER, LP**  
**LOCATION MAP**



**HERTZ GATEWAY CENTER, LP  
SITE PLAN**





**HERTZ GATEWAY CENTER, LP  
PEDESTRIAN WALKWAYS**

**HERTZ GATEWAY CENTER, LP**

**PHOTO INDEX OF  
EXISTING CONDITIONS  
AND  
SURROUNDING CONTEXT**



# HERTZ GATEWAY CENTER, LP

## PHOTO INDEX



## A. LIBERTY AVENUE

View of "site" from entrance into the Gateway Center Garage



## **B. LIBERTY AVENUE**

View of "site" standing next to Visit Pittsburgh's former kiosk



### **C. LIBERTY AVENUE**

View of “site” from sidewalk traveling east toward Stanwix Street



#### **D. LIBERTY AVENUE**

View of "site" from sidewalk traveling east toward Stanwix Street



## **E. LIBERTY AVENUE**

View of “site” from steps entering Hertz Plaza at Gateway Center



## **F. LIBERTY AVENUE**

View of “site” at pedestrian crosswalk from One, Two & Three Gateway Centers’ plaza



## G. LIBERTY AVENUE

View of "site" exiting the Port Authority's Gateway T Station



**H. FOUR GATEWAY CENTER**  
Rooftop view of "site"



## **I. THE BOULEVARD OF THE ALLIES**

View of "site" when entering the plaza from The Boulevard



**J. HERTZ PLAZA AT GATEWAY CENTER**  
Inside plaza view of “site” walking toward Liberty Avenue

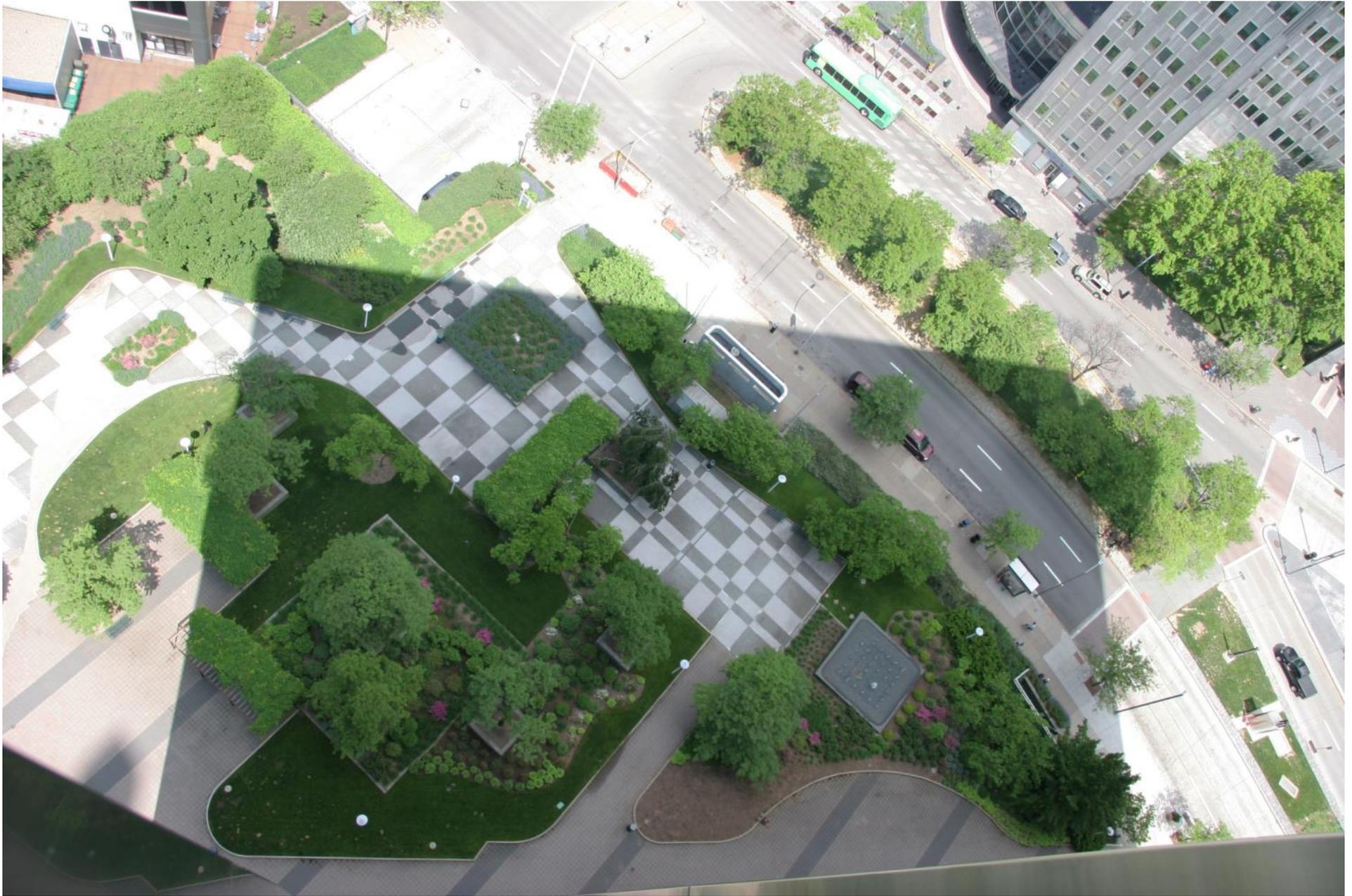


### **K. HERTZ PLAZA AT GATEWAY CENTER**

Inside plaza view of “site” (i.e. 3 adjacent window bays with white drapes)  
walking toward Liberty Avenue



**HERTZ GATEWAY CENTER, LP**  
**LANDSCAPING PHOTO INDEX**



**1. View of plaza's landscaping from rooftop of Four Gateway Center**



**2. View of plaza’s landscaping from “site” looking toward Post Gazette Building**



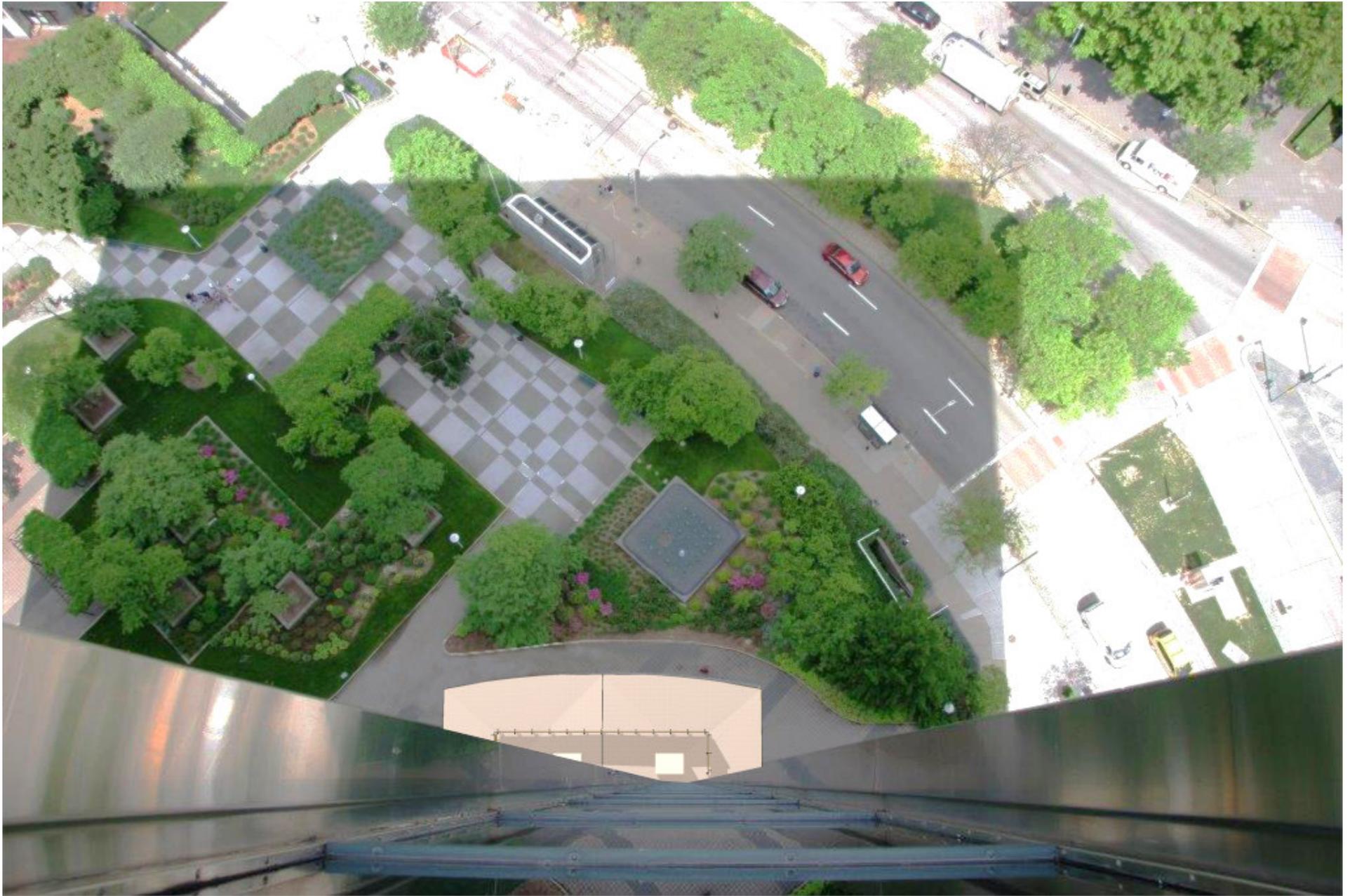
**3. View of plaza's landscaping from "site" looking toward Wyndham Hotel**



**4. View of plaza's landscaping from "site" looking toward One, Two and Three Gateway Center**

**HERTZ GATEWAY CENTER, LP**

**CONTEXTUAL PHOTO RENDERING  
OF PROPOSED ADDITION**



**PHOTO RENDERING OF PROPOSED ADDITION**

View of "site" from rooftop of Four Gateway Center



**PHOTO RENDERING OF PROPOSED ADDITION**  
View of "site" from 12<sup>TH</sup> Floor of Three Gateway Center



**PHOTO RENDERING OF PROPOSED ADDITION**

View of "site" from steps on Liberty Avenue



**PHOTO RENDERING OF PROPOSED ADDITION**

View of "site" from Hertz Plaza at Four Gateway Center

**HERTZ GATEWAY CENTER, LP**

**INDEX OF PROPOSED ADDITION  
ARCHITECTURAL DRAWINGS**

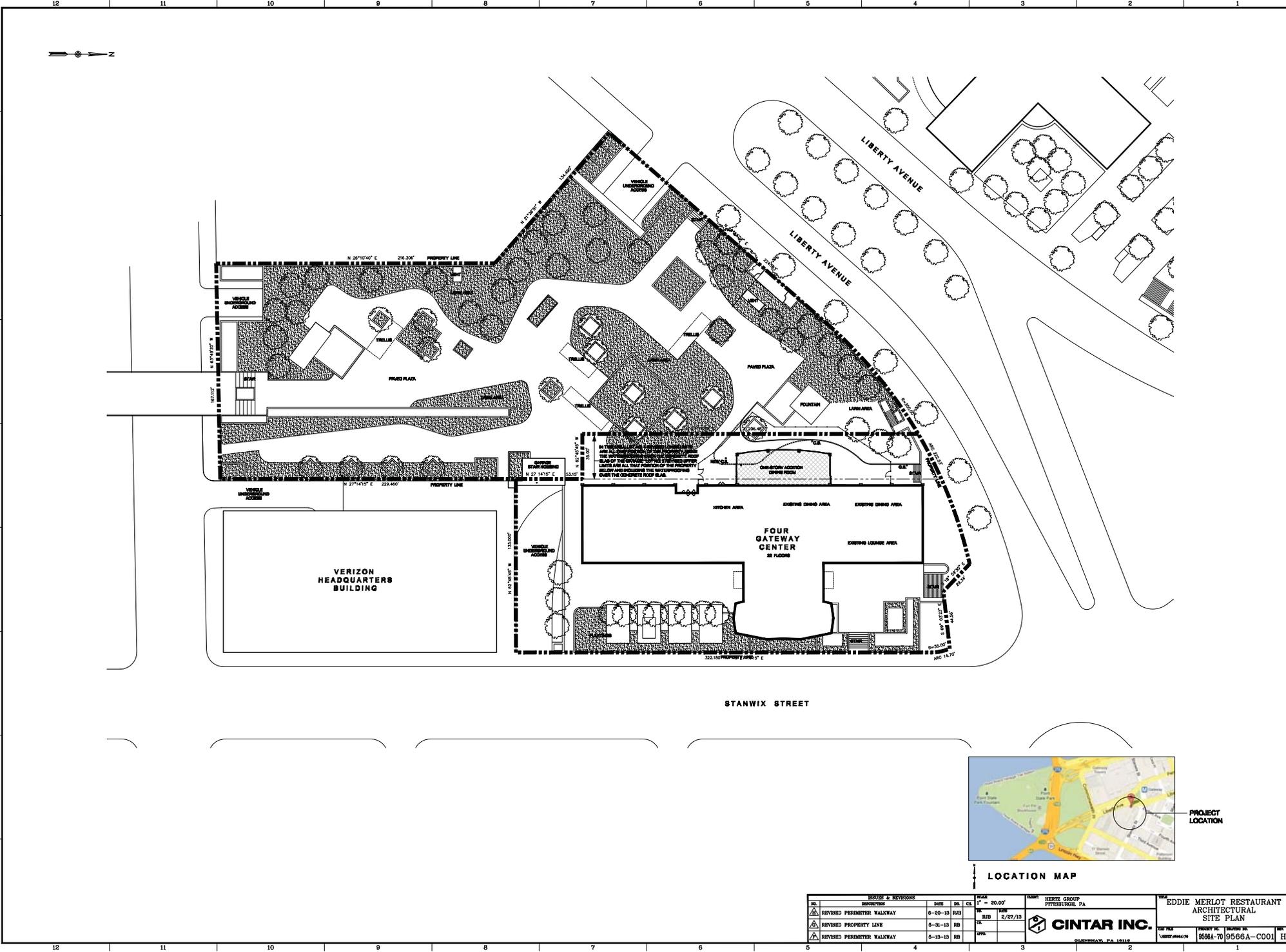
**C001 - ARCHITECTURAL SITE PLAN (Rev H)**

**C002 - ARCHITECTURAL SITE DETAILS (Rev G)**

**A001 - ARCHITECTURAL FLOOR PLAN (Rev F)**

**A002 - ARCHITECTURAL ROOF PLAN & DETAILS (Rev G)**

**A003 - ARCHITECTURAL EXTERIOR ELEVATIONS (Rev J)**



NOTES:  
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
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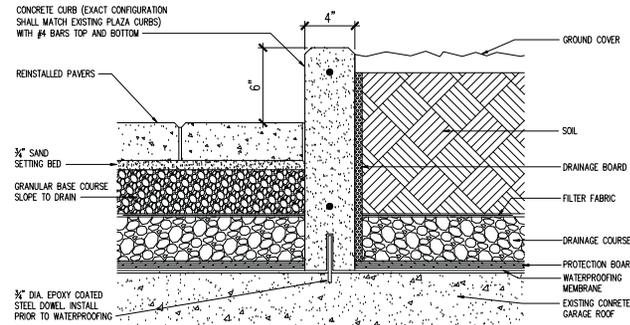
PROJECT LOCATION

LOCATION MAP

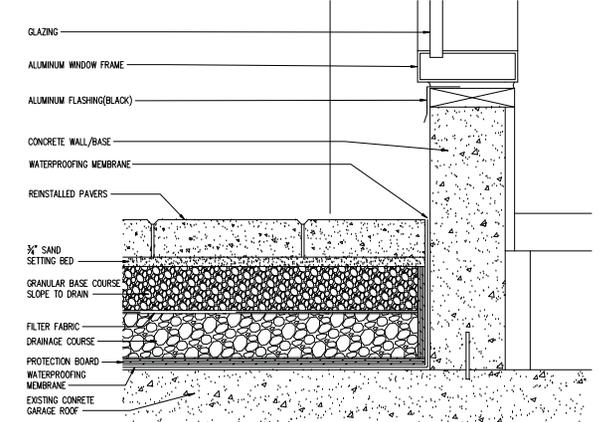
REVISED PERIMETER WALKWAY				REVISED PERIMETER WALKWAY				REVISED PERIMETER WALKWAY						
NO.	DESCRIPTION	DATE	BY	CHK.	NO.	DESCRIPTION	DATE	BY	CHK.	NO.	DESCRIPTION	DATE	BY	CHK.
1	REVISED PERIMETER WALKWAY	0-20-13	RJB		1	REVISED PERIMETER WALKWAY	0-20-13	RJB		1	REVISED PERIMETER WALKWAY	0-20-13	RJB	
2	REVISED PROPERTY LINE	0-31-13	RB		2	REVISED PROPERTY LINE	0-31-13	RB		2	REVISED PROPERTY LINE	0-31-13	RB	
3	REVISED PERIMETER WALKWAY	0-13-13	RB		3	REVISED PERIMETER WALKWAY	0-13-13	RB		3	REVISED PERIMETER WALKWAY	0-13-13	RB	

SCALE	1" = 20.00'
DATE	2/27/13
PROJECT	EDDIE MERLOT RESTAURANT ARCHITECTURAL SITE PLAN
CLIENT	HERVY GROUP PITTSBURGH, PA
ARCHITECT	CINTAR INC. PITTSBURGH, PA 15116
PROJECT NO.	8566A-70
TITLE	8566A-C001 H



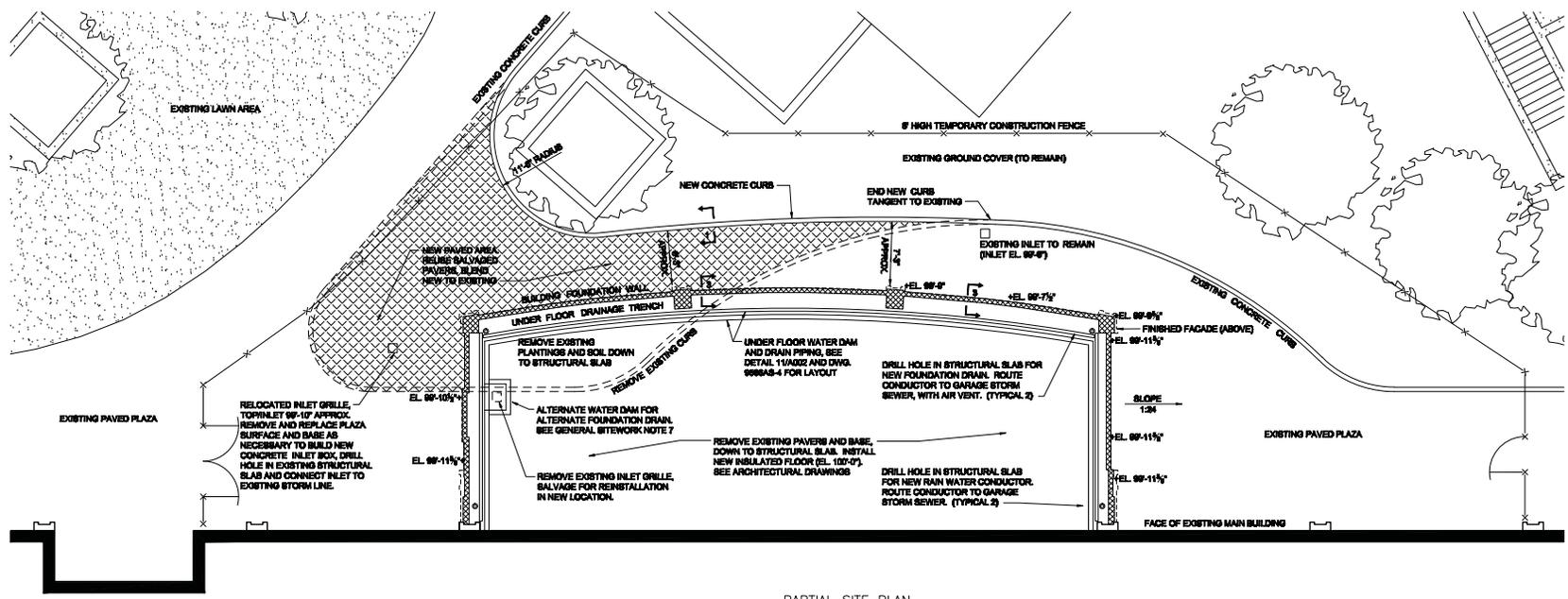
DETAIL 1  
SCALE: 3" = 1'-0"



DETAIL 3  
SCALE: 3" = 1'-0"

**GENERAL SITEWORK NOTES**

1. REPLACE CURBS AND PLANTING AREA SOIL DISTURBED BY CONSTRUCTION. NEW CURB PROFILE TO MATCH EXISTING PLAZA CURBS.
2. SALVAGE DEMOUNTED PLAZA PAVERS FOR REINSTALLATION. REWORK PLAZA SURFACES TO INSURE ALL SURFACE WATER FLOWS AWAY FROM THE NEW BUILDING PERIMETER AND THAT ALL NEW AND REWORKED SURFACES SLOPE TO A PLAZA DRAIN. ELEVATION OF NEW PLAZA DRAIN SHALL INSURE THAT EXISTING PLAZA AREAS SERVED BY THE ABANDONED DRAIN WILL BE SERVED BY THE NEW ONE. SLOPE OF NEW PLAZA SURFACES SHALL NOT EXCEED A RATIO OF 1:24.
3. WATER PROOF MEMBRANE SHALL BE "BEST MATERIALS" AES-425M-3G POLYIMIDE EPOXY COATING.
4. PROTECTION BOARD SHALL BE "DOW" P.B.U.I. STYROFOAM "PLAZAMATE", 1/2" THICK, 8 PSL OR "POLYGUARD" ASPHALTIC PROTECTION BOARD, 1/2" THICK, MINERAL FIBER CORE, 400 PSL.
5. FILTER FABRIC SHALL BE "DOW-KLOTH" NON-WOVEN POLYPROPYLENE 3.5 OZ. FABRIC.
6. THOROUGHLY CLEAN TOP OF EXISTING STRUCTURAL GARAGE SLAB WHERE NEW CONSTRUCTION WILL BE PLACED.
7. PLUG ABANDONED PLAZA DRAIN INLET WITH LEAN CONCRETE. ALTERNATE IF THE EXISTING TOP SURFACE OF THE GARAGE ROOF STRUCTURE PROVIDES A POSITIVE SLOPE TO THE DRAIN FROM ALL PORTIONS OF THE SOUTH HALF OF THE UNDER FLOOR DRAINAGE TRENCH. THIS EXISTING DRAIN MAY BE USED AS THE DRAIN FOR THE TRENCH AND THE NEW SOUTH DRAIN MAY BE ELIMINATED. REROUTE WATER DAM AROUND EXISTING DRAIN.
8. USE CAST IRON PIPING FOR ALL NEW PIPE EXTENSIONS AND CONNECTIONS.



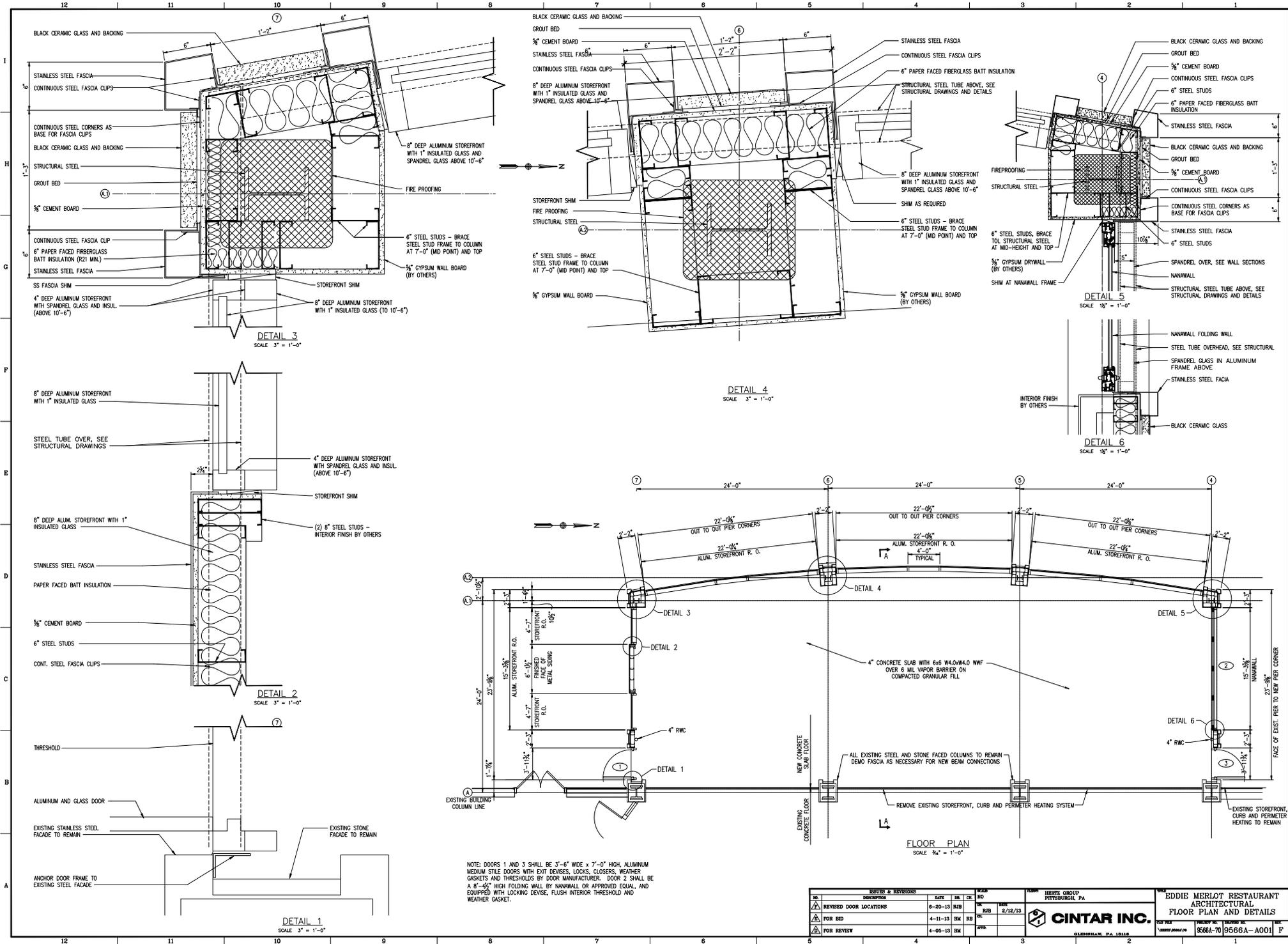
PARTIAL SITE PLAN  
SCALE: 1/4" = 1'-0"

NOTE: EXISTING FIRST FLOOR ELEVATION FOR THIS DRAWING ONLY: EL. +0.00'

NO.	REVISIONS & REFERENCES	DATE	BY	CHK.	SCALE	PROJECT	DATE
1	REVISED PERIMETER WALKWAY	0-11-13	RJB	OK	1" = 20.00'	HERTZ GROUP PITTSBURGH, PA	5/21/13
2	REVISED PERIMETER WALKWAY	0-10-13	RB	OK			
3	REVISED PERIMETER WALKWAY	0-13-13	RB	OK			

**CINTAR INC.**  
PITTSBURGH, PA 15116

PROJECT NO: 8566A-00  
8566A-00-02 G

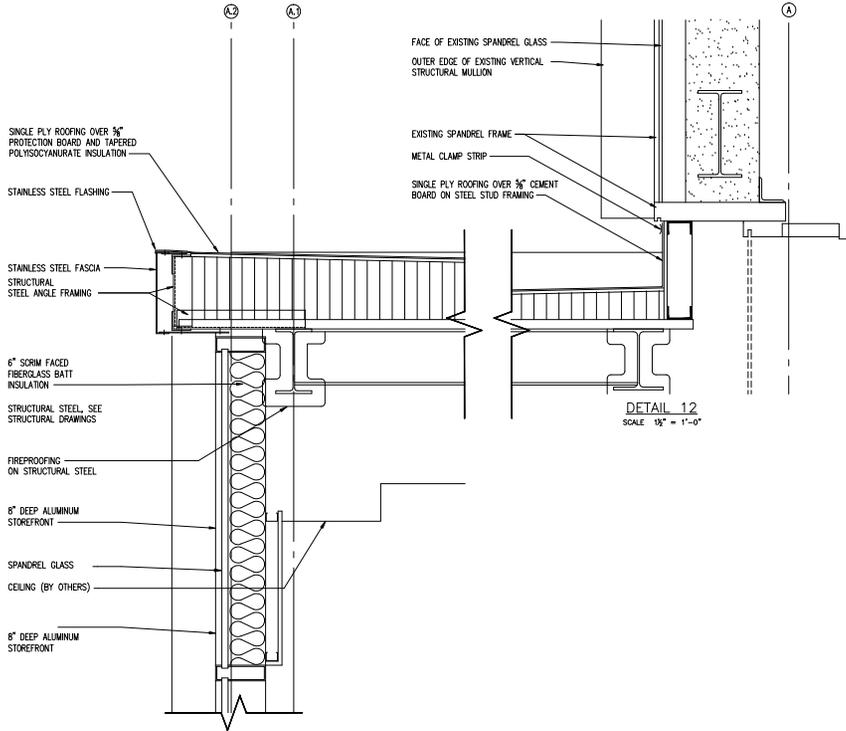


NOTE: DOORS 1 AND 3 SHALL BE 3'-6" WIDE x 7'-0" HIGH, ALUMINUM MEDIUM STILE DOORS WITH EXIT DEVICES, LOCKS, CLOSERS, WEATHER CASSETS AND THRESHOLDS BY DOOR MANUFACTURER. DOOR 2 SHALL BE A 8'-0" HIGH FOLDING WALL BY NANAWALL OR APPROVED EQUAL, AND EQUIPPED WITH LOCKING DEVICE, FLUSH INTERIOR THRESHOLD AND WEATHER GASKET.

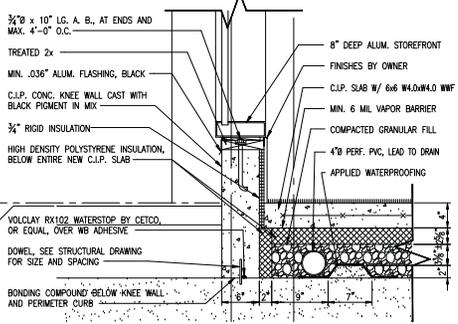
REVISED DOOR LOCATIONS				REVISIONS			
NO.	DESCRIPTION	DATE	DR.	CHK.	NO.	DATE	BY
1	FOR BID	4-11-15	BM	KH	1	2/12/15	
2	FOR REVIEW	4-05-15	BM	ZPA	2		

EDDIE MERLOT RESTAURANT  
 ARCHITECTURAL  
 FLOOR PLAN AND DETAILS

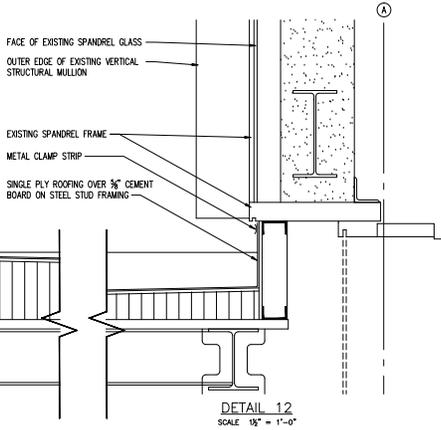
**CINTAR INC.**  
 ARCHITECTS  
 5666-A-10 [9566A-A001]



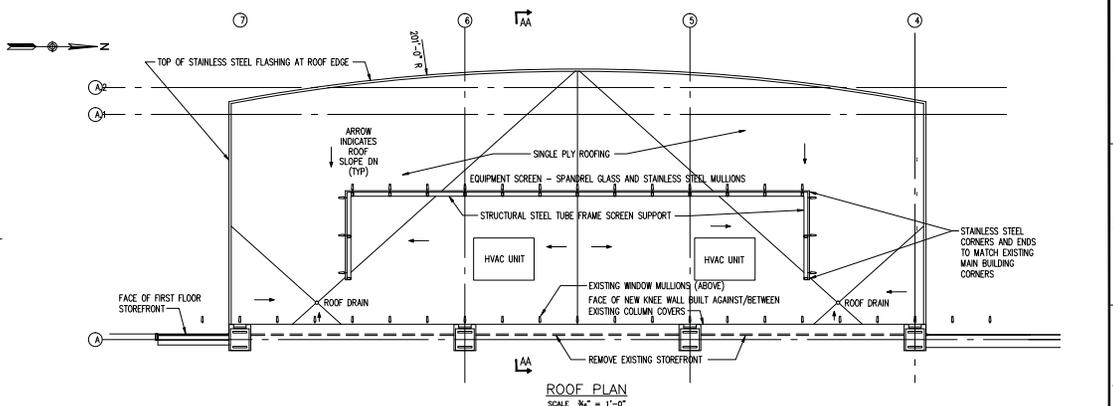
DETAIL 10  
SCALE 1/2" = 1'-0"



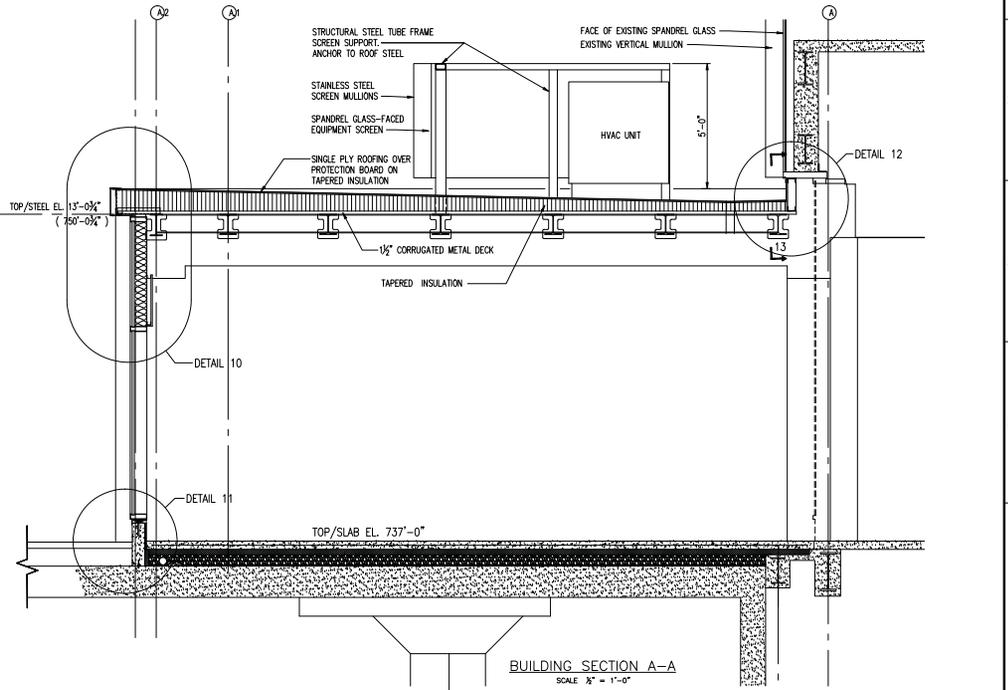
DETAIL 11  
SCALE 1/2" = 1'-0"



DETAIL 12  
SCALE 1/2" = 1'-0"



ROOF PLAN  
SCALE 3/4" = 1'-0"



BUILDING SECTION A-A  
SCALE 3/8" = 1'-0"

**ROOF SYSTEM**

RIGID (TAPERED) INSULATION SHALL BE AS MANUFACTURED BY CARLSLE, POLYISOCYANURATE, MIN. 4" (R-20). THE ROOFING SYSTEM SHALL BE AS DESIGNATED "DESIGN A" BY CARLSLE, WITH A 90 MIL. REINFORCED FULLY ADHERED BLACK EPDM MEMBRANE. INSULATION WITH APPROVED VAPOR BARRIER SHALL BE ADHERED TO THE DECK IN COMPLIANCE WITH CARLSLE INSTRUCTIONS. THE COMPLETED SYSTEM TO BE WARRANTED FOR 20 YEARS MINIMUM.

THE ROOFING SYSTEM MUST BE INSTALLED BY A CARLSLE AUTHORIZED ROOFING APPLICATOR, IN COMPLIANCE WITH SHOP DRAWINGS AS APPROVED BY CARLSLE SYNTAC.

ALL ROOFING COMPONENTS SHALL BE OF CARLSLE MANUFACTURE, OR ACCEPTED BY CARLSLE AS COMPATIBLE.

PROVIDE SUITABLE WALKWAY PADS AT POINTS OF ROOF ACCESS AND AT ROOFTOP EQUIPMENT, THE EXTENT TO BE FIELD DETERMINED.

**ROOF DRAIN**

ZURN Z125-G, 6 3/4" DIAMETER, CAST IRON, WITH 2 3/4" I.D. CAST IRON CONDUCTOR

**WATERSTOP**

THE WATERSTOP AT THE BASE OF THE PERIMETER KNEE WALL SHALL BE VOLCLAY RX 102, APPLIED OVER CURED WB ADHESIVE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, AS SUPPLIED BY CETCO (<http://www.cetco.com>)

**HIGH DENSITY POLYSTYRENE INSULATION (UNDERFLOOR)**

ALL UNDERFLOOR AND PERIMETER INSULATION SHALL BE HIGH STRENGTH EXTRUDED POLYSTYRENE INSULATION BOARD, AS MANUFACTURED BY OWENS CORNING. ALL INSULATION SHALL BE INSTALLED TO A MINIMUM THICKNESS AS INDICATED ON THE DRAWINGS. ALL INSULATION BELOW THE FLOOR SLAB SHALL HAVE AN ALLOWABLE COMPRESSIVE STRENGTH OF 60 PSI, MINIMUM, AND A THERMAL RESISTANCE OF R-5.0 / INCH. OF THICKNESS, MINIMUM.

**PVC DRAINAGE PIPE (UNDER FLOOR AT THREE SIDES)**

THE MATERIAL USED IN THE MANUFACTURE OF THE PIPE SHALL BE DOMESTICALLY PRODUCED RIGID POLYVINYL CHLORIDE (PVC) COMPOUND, TYPE 1, GRADE 1, TRADE NAME DESIGNATION H707 PVC, WHITE OR GRAY IN COLOR. UNDERFLOOR DRAINAGE PIPE TO BE PERFORATED AND INSTALLED WITH PERFORATIONS DOWN. PIPE TO BE A NOMINAL 4" DIAMETER, SCHEDULE 40, MINIMUM WALL THICKNESS OF .237", MANUFACTURED IN COMPLIANCE WITH ASTM D2665.

**COLD FORMED STEEL FRAMING**

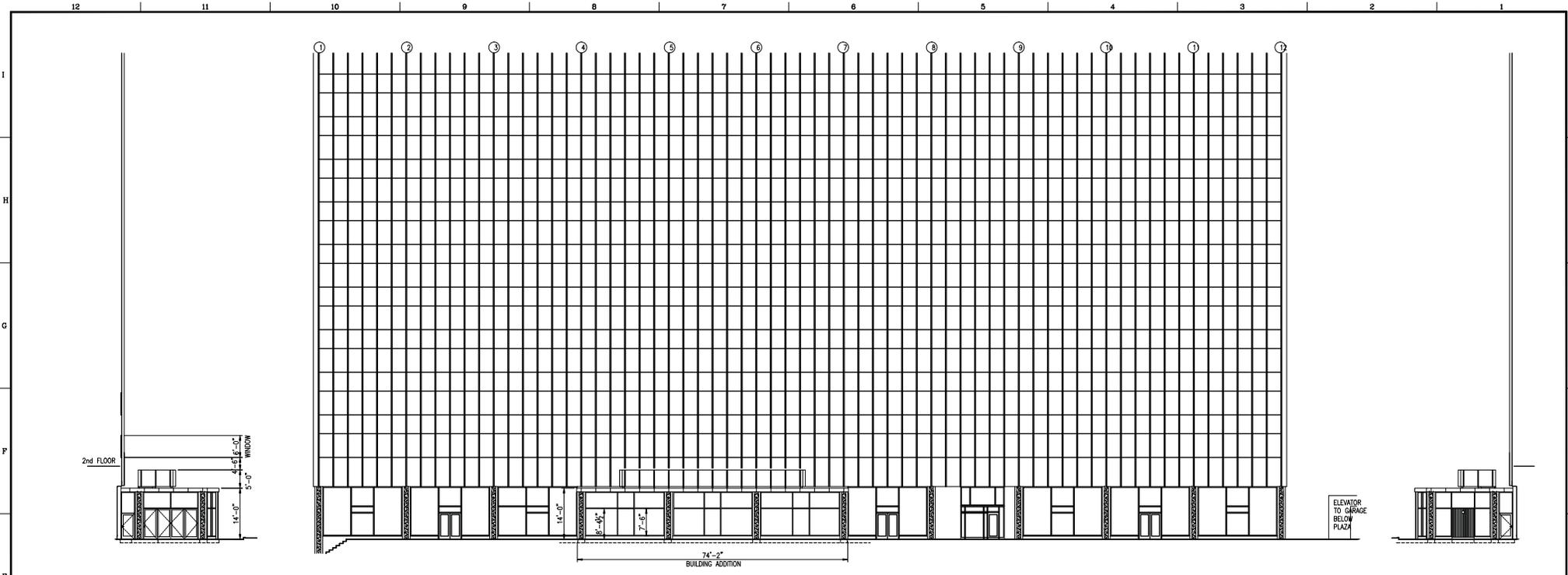
STEEL STUDS SHALL BE 33 KSI, LOAD BEARING TYPE, 20 GAUGE, C60 GALVANIZED, WITH 1 1/2" FLANGES AND 1/2" RETURNS. ANCHOR STUD FRAMING TO STRUCTURAL STEEL AND BRACE PER MANUFACTURER'S RECOMMENDATIONS.

**CEMENT BOARD**

CEMENTIOUS SHEATHING BOARD SHALL BE 3/8" USG DUROCK, OR APPROVED EQUAL. COVER ALL BOARD WITH TYVEK BUILDING WRAP

NO.	REVISION & REVISIONS	DATE	BY	CHK	APP	FIGURE NO.	CLAS.	PROJECT	DATE	SCALE
1	REVISION ROOF AND SECTIONS	6-19-13	RJB			2/12/13		HERTZ GROUP PITTSBURGH, PA		
2	FOR BID	4-11-13	BM	RJB						
3	REVISION ROOF EDGE AND EQUIP. SCREEN	6-20-13	RJB							

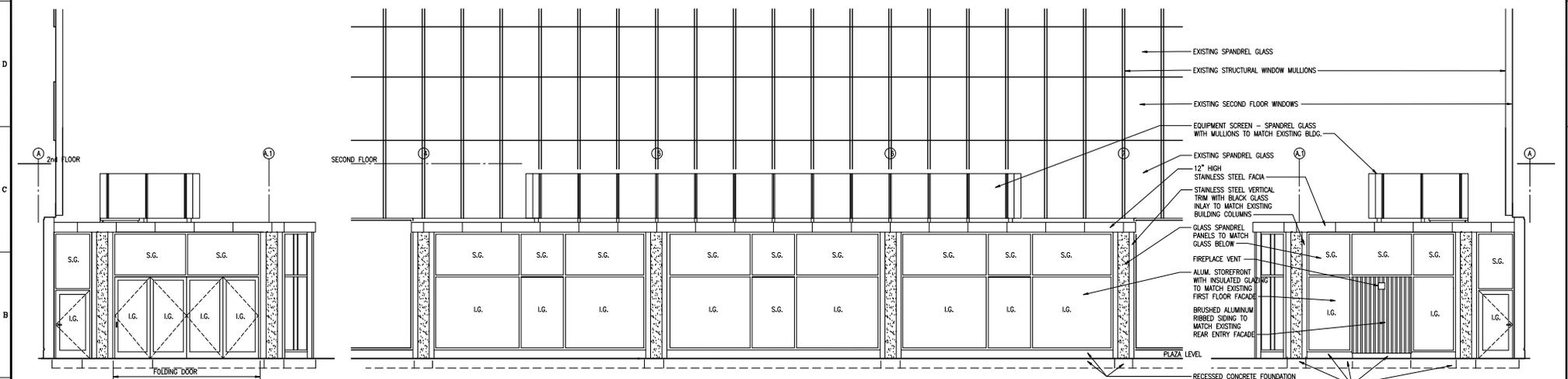
**CINTAR INC.**  
 855A-70 9566A-A002  
 G



**NORTH ELEVATION**  
SCALE 3/32" = 1'-0"

**WEST ELEVATION**  
SCALE 3/32" = 1'-0"

**SOUTH ELEVATION**  
SCALE 3/32" = 1'-0"



**ENLARGED NORTH ELEVATION**  
SCALE 1/4" = 1'-0"

**ENLARGED WEST ELEVATION**  
SCALE 1/4" = 1'-0"

**ENLARGED SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"

- EXISTING SPANDREL GLASS
- EXISTING STRUCTURAL WINDOW MULLIONS
- EXISTING SECOND FLOOR WINDOWS
- EQUIPMENT SCREEN - SPANDREL GLASS WITH MULLIONS TO MATCH EXISTING BLDG.
- EXISTING SPANDREL GLASS
- 12" HIGH STAINLESS STEEL FACIA
- STAINLESS STEEL VERTICAL TRIM WITH BLACK GLASS INLAY TO MATCH EXISTING BUILDING COLUMNS
- GLASS SPANDREL PANELS TO MATCH GLASS BELOW
- FIREPLACE VENT
- ALUM. STOREFRONT WITH INSULATED GLAZING TO MATCH EXISTING FIRST FLOOR FACADE
- BRUSHED ALUMINUM RIBBED SIDING TO MATCH EXISTING REAR ENTRY FACADE
- RECESSED CONCRETE FOUNDATION WALL (STAINED BLACK ABOVE GRADE)

REVISED ELEVATIONS				REVISIONS & REVISIONS				DATE		BY		CHK		APP		DATE		BY		CHK		APP	
1	REVIS	1	1	6-13-13	RJB	1	1	2/12/13															
2	FOR	1	1	4-11-13	BM	1	1																
3	REVIS	1	1	6-20-13	RJB	1	1																

EDDIE MERLOT RESTAURANT  
ARCHITECTURAL  
EXTERIOR ELEVATIONS

**CINTAR INC.**

1666A-70 9566A-A003

**HERTZ GATEWAY CENTER, LP**

**RESPONSES TO CDAP's URBAN DESIGN TARGETS  
DATED JUNE 10, 2013**

# **HERTZ GATEWAY CENTER, LP**

## **ADDITION TO FOUR GATEWAY CENTER EDDIE MERLOT'S RESTAURANT**

### **RESPONSE TO CDAP'S COMMENTS DATED JUNE 10, 2013**

- 1. The panel commends your efforts and commitment to address challenges of the building addition. Because this is an architecturally significant building in Pittsburgh's history and popular Downtown public open space, the proposed building addition must be considerate of context and current and future uses. The panel appreciates the consideration of existing architectural character, but felt that the proposed addition contrasted the design of the First Floor of the Four Gateway Building. It was recommended that the height of the addition be lowered below the building base to better relate to the existing structure. Additionally, it was suggested that the size and height of the connection point between the addition and the main structure be revisited. By extending the length and lowering the height of the transition point, the addition can separate itself from the existing building, allowing flexibility in design.**

Hertz Gateway Center, LP appreciates CDAP's recommendations. Please refer to Architectural drawings labeled A-002 and A-003. The design of the proposed addition now incorporates the above recommendations as follows:

- The height of the addition has been lowered to match the horizontal transition line between the building's first floor and tower,
- The parapet has been eliminated, and
- The connection point between the building and the proposed addition has been lengthened.

- 2. While we appreciate changes to the site plan to allow circulation around the addition and through Four Gateway Center's Plaza, CDAP was concerned about the narrowing sidewalk width at the Southwest corner of the restaurant. The panel recognizes that you are trying to disturb as little of the site as possible; however, it was suggested that you straighten the curve of the landscape bed to prevent traffic pinch points. Additionally, a wider approach could facilitate broader connections to the existing open spaces.**

Hertz Gateway Center, LP thanks CDAP for bringing this potential traffic pinch point to our attention. Please refer to the drawings labeled C-001 and C-002. The layouts of the curb-line, pavers and landscaping have been adjusted to broaden the connection to the existing open spaces.

3. **The panel appreciates the use of high quality building materials and thoughtful detailing to match the existing exterior. Because minimal detailing is signature to the Four Gateway design, the panel suggested revisiting the detailing at the top of the addition columns. As currently designed, the column and parapet are in the same plane which is different than the existing building. By changing the plane of these elements, the detailing can better integrate with the original design. Additionally, the panel suggested matching the spandrel glass and transparent glass to create a consistency in the design. Since the spandrel glass is opaque, consider a mirrored finish or etched backing that will give the appearance of full height transparent glass.**

Hertz Gateway Center, LP also wants the addition's design to integrate with and complement the building's original design. Please refer to Architectural drawing labeled A-002 and A-003. CDAP's recommendations have been incorporated as follows:

- The parapet has been eliminated,
- A 12" horizontal stainless steel cap has replaced the band of in-laid black spandrel glass at the top of the structure,
- A screen of green spandrel glass, matching the building's, will shield the required roof top units, and
- The vision and spandrel glass on the north, west and south elevations will match to create the appearance of full height transparent glass.

**HERTZ GATEWAY CENTER, LP**

**BUILDING MATERIALS INFORMATION**

# CURTAINWALL



10092012



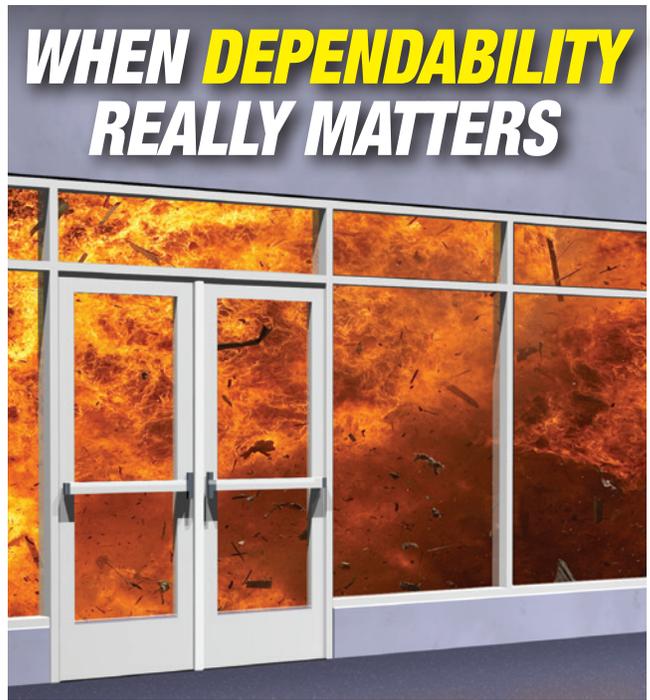
*More recycled content, eco-efficient finishes*

# TUBELITE®

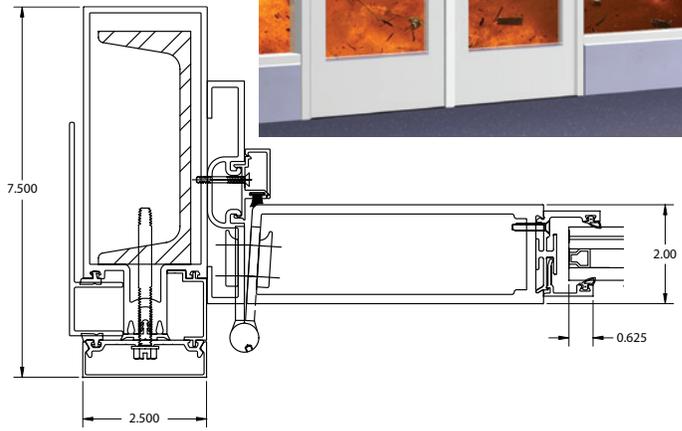
**DEPENDABLE**

LEADERS IN ECO-EFFICIENT STOREFRONT,  
CURTAINWALL AND ENTRANCE SYSTEMS

# FORCEFRONT BLAST CURTAINWALL & DOORS



- Blast Hazard Mitigation: Designed for conformance with GSA ISC Security Design Criteria and Department of Defense UFC 4-010-01 requirements. Blast performance exceeding 6 psi - 42 psi-msec.
- Nominal 1" I.G. tested with .035 and .060 DuPont™ SentryGlas® Interlayers.
- ForceFront Blast Curtainwall Framing with 5½" inch back member and ForceFront Blast 6" Wide Stile Door.
- Door Sizes: 3'0" x 7'0" single and 6'0" x 7'0" pairs.
- Curtainwall System Glass DLO Sizes: (5/8" glass bite)  
 (Transom) - 1.035" x 73½" (w) x 47¼" (h)  
 (Top Row) - 1.035" x 52¼" (w) x 47¼" (h)  
 (Bottom Row) - 1.060" x 52¼" (w) x 81" (h)
- Door Glass DLO Sizes: (5/8" glass bite)  
 (LH - .035 interlayer) - 1.035" x 21<sup>13</sup>/<sub>16</sub>" (w) x 65<sup>7</sup>/<sub>16</sub>" (h)  
 (RH - .060 interlayer) - 1.060" x 21<sup>13</sup>/<sub>16</sub>" (w) x 65<sup>7</sup>/<sub>16</sub>" (h)
- Both Curtainwall and doors are dry glazed and glazing can be done at the jobsite.
- Anchor options: F, T & U type for ease of installation
- Recycled aluminum framing on all extrusions



Product	ForceFront - Blast	400 Series	200 Series	300 ES
Application	Low to Mid-Rise Curtainwall & High Performance Storefronts with GSA TS01-2003 Performance Condition 3a	Mid-Rise Curtainwall & High Performance Storefronts	Low- to Mid-Rise Curtainwall & High Performance Storefronts	Mid-Rise Curtainwall & High Performance Storefronts
Face Width	2-1/2"	2-1/2"	2"	2-1/4"
Backmember Depths	5-1/2"	3-5/8", 4", 5", 5-1/2", 6", 7", & 8"	2-1/2", 4", & 6"	3-3/4", 5-3/4"
Face Depths	3/4"	5/8", 3/4", 1", 1-1/2", 2", 2-1/2"	1/2", 3/4", 1", 1-1/2", 2"	3/4"
Overall Depths	7-1/2"	5-1/2" to 11-3/4"	4-1/4" to 9-1/4"	6" to 8"
Glass Thickness	1.060" SentryGlas®	1"	1"	1"
Air Infiltration	0.01 CFM/Ft.2*	0.01 CFM/Ft.2	0.01 CFM/Ft.2	0.01 CFM/Ft.2
Dynamic Water	15 PSF*	15 PSF	15 PSF	15 PSF
Structural Overload	90 PSF*	90 PSF	90 PSF	67.5 PSF
CRF	68*	66 aluminum pressure plate 76 fiberglass pressure plate	66	72
U Value	0.67*	0.52 aluminum pressure plate 0.42 fiberglass pressure plate	0.66	0.46
Sound Transmission	32*	32 STC	32 STC	31 STC

\* Same performance as 400 Series Curtainwall

# 400 SERIES CURTAINWALL

Designed for low- and mid-rise applications, the durable framework of the 400 Series provides exceptional structural performance reducing the need for steel reinforcing. This system has a sightline of 2-1/2" and the strength of variable-depth backmembers from 4" to 8". An exterior screw-applied pressure bar secures the glass. Snap-on covers, available in a wide range of colors, allow for different finishes on interior and exterior exposed surfaces. Silicone glazed verticals are available for a seamless appearance.



400 Series CW, Champagne Gold Paint; Crown Cork & Seal; Architect: Ballinger Architects; Glazing Contractor: Hutt's Glass; Photography: Esto Photographics



400 Series CW, 14000 Series SF; Sandstone Paint; East Tennessee State University Library; Architect: Ken Ross Architects / David Leonard Associates; Glazing Contractor: Keller Glass

# 200 SERIES CURTAINWALL

The 200 series is an economical curtainwall system with a wide range of low- to mid-rise applications including atriums and clerestory. This exterior glazed pressure bar system with 2" face dimension is ideal for curving and compatible with all Tubelite entrances.

Snap-on cover finishes, available in a variety of colors, allow for contrasting interior and exterior finishes on exposed framing. Silicone glazed verticals can be selected to provide a sleek uninterrupted surface.

Both our 200 and 400 Series Curtainwall systems are subjected to rigorous testing by an independent agency, ensuring that you get the highest quality curtainwall products that the industry has to offer.



Standard Entrance NS, 200 Series CW, 400 Series CW; Bronze Anodized; 2/90 Sign Systems; Architect: True North Architects; Glazing Contractor: Glass Design



200 Series CW; Clear Anodized; Brothers Int. Distribution Center; Architect: Allen & Hoshall Inc.; Glazing Contractor: Pitman Glass

## TUBELITE® INFORMATION

Look to any of the following resources and learn more about how Tubelite can be the dependable supplier for all your storefront, entrance and curtainwall needs.

### www.tubeliteinc.com

Visit our home page for in-depth information about how Tubelite's products and people can benefit you.

### 800-866-2227

Glazing contractors get quick, correct answers from our Front Line customer service team — cross-trained personnel with expertise in all areas of Tubelite's operation.

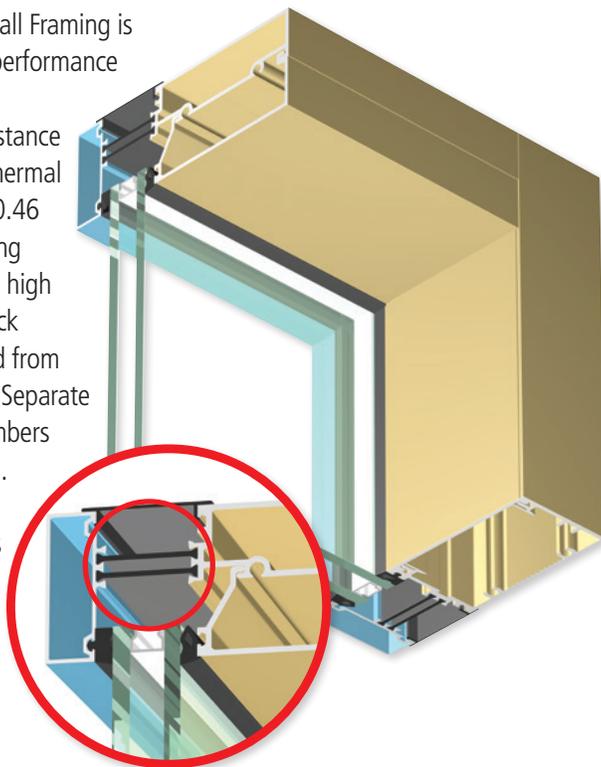
### CD-ROM

View Tubelite product configurations and design details from your own PC. Our CD-ROM provides an electronic guide to specifying Tubelite storefronts, entrances and curtainwall systems.

### Design Manual

See our design manual for test reports from independent certification laboratories, full and quarter size details, guide specifications, recommended applications, hardware and other information describing the full line of Tubelite products.

Tubelite 300ES Series Curtainwall Framing is designed for superior thermal performance using Therml=Block insular technology. Condensation Resistance (CRF) is increased to 72, and Thermal Conduction (Uc) is reduced to 0.46 using clear non-coated insulating glass (\*0.25 potential Uc using high performance glass.) 1" inch thick insulating glass can be installed from the building interior or exterior. Separate interior and exterior frame members allow different finishes on each. The exterior face has a 2 1/4" sightline. Overall system depths of 6" or 8". 300ES is ideal for curtainwall applications up to 4 stories tall and offers reduced field installation time and expense.



## Therml=Block™

*Tubelite thermal entrances use Therml=Block to provide superior insulation through increased aluminum separation and air space, while also increasing strength and reducing stress.*

## STANDARD AND CUSTOM FINISHES

In addition to our stocked Clear and Bronze anodized, and White painted colors, we offer five more anodized finishes and nineteen standard painted colors. Blended standard and custom colors are also available, providing you with an infinite variety. More than a palette of pretty colors, our finishes are tough and backed by some of the best warranties in the industry.

See Tubelite's Standard Finish Color Guide for detailed information on the exceptional performance, integrity and weatherability of our durable anodized finishes. This guide also gives specifications for color retention, erosion resistance and gloss retention of our high-quality, painted finishes.



**AAMA 2605  
10 YEAR FINISH  
WARRANTY**

70% Kynar premium painted finishes are guaranteed for 10 years against fading, chalking, and gloss reduction.



*More recycled content, eco-efficient finishes*

# TUBELITE®

**DEPENDABLE**

LEADERS IN ECO-EFFICIENT STOREFRONT,  
CURTAINWALL AND ENTRANCE SYSTEMS

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www.Tubeliteinc.com



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## SUPERNEUTRAL SERIES

# SNX 62/27, SN 68, SN 62, SN 54 & SNR 43

MORE NATURAL LIGHT. LESS HEAT GAIN. GREATER ENERGY SAVINGS.

### SUNGUARD SUPERNEUTRAL 68

Project: University of Michigan  
Cardiovascular Center



### SNX 62/27

- High light transmission
- Neutral reflected & transmitted color
- SunGuard's highest light-to-solar-gain ratio: LSG 2.30
- Solar control: 0.27 SHGC

### SuperNeutral 68

- Highest light transmission
- Neutral reflected & transmitted color
- Can be laminated to deliver sound attenuation, security, safety and hurricane protection
- Solar control: 0.38 SHGC

### SuperNeutral 62

- High light transmission
- Neutral to slight blue reflected color
- Can be laminated to deliver sound attenuation, security, safety and hurricane protection
- Solar control: 0.31 SHGC

### SuperNeutral 54

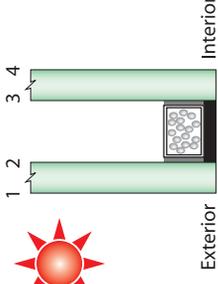
- Less glare transmitted to the interior
- Neutral outdoor appearance
- Best in class CRI (Color Rendering Index)
- Solar control: 0.28 SHGC

### SNR 43

- Medium visible light transmission: 43%
- Light silver-blue exterior appearance
- Solar control: 0.23 SHGC
- #2 surface coating

SuperNeutral products are available through independent Guardian Select Fabricators

To learn more, call us at **1-866-GuardSG (482-7374)** or visit us online **[www.SunGuardGlass.com](http://www.SunGuardGlass.com)**



## SUPERNEUTRAL SERIES PERFORMANCE DATA INSULATING GLASS UNITS

Appearance	Product	Outboard Substrate	Inboard Substrate	Transmission			Reflectance			U-Value		Relative Heat Gain	Shading Coefficient	Solar Heat Gain Coefficient	Light to Solar Gain (LSG)
				Visible Light %	Ultra-violet %	Solar Energy %	Visible Light In %	Visible Light Out %	Solar Energy Out %	Winter Nighttime	Summer Daytime				
Coating #2 Surface															
Ultra Clear	SNX 62/27	UltraWhite	UltraWhite	63	6	24	11	12	48	0.28	0.27	65	0.30	<b>0.27</b>	2.37
Ultra Clear	SN 68	UltraWhite	UltraWhite	69	32	36	11	12	39	0.29	0.28	93	0.44	<b>0.39</b>	1.79
Ultra Clear	SN 62	UltraWhite	UltraWhite	64	15	28	11	14	40	0.29	0.27	76	0.36	<b>0.32</b>	2.00
Ultra Clear	SN 54	UltraWhite	UltraWhite	55	17	25	13	18	41	0.29	0.27	69	0.33	<b>0.28</b>	1.93
Light Silver	SNR 43	UltraWhite	UltraWhite	44	18	20	28	14	50	0.29	0.27	56	0.26	<b>0.23</b>	1.92
Clear	SNX 62/27	Clear	Clear	62	6	23	11	12	39	0.28	0.27	65	0.31	<b>0.27</b>	2.30
Clear	SN 68	Clear	Clear	68	29	33	11	12	32	0.29	0.28	90	0.43	<b>0.38</b>	1.80
Clear	SN 62	Clear	Clear	62	14	27	11	14	33	0.29	0.27	75	0.36	<b>0.31</b>	1.99
Clear	SN 54	Clear	Clear	54	15	23	13	18	33	0.29	0.27	68	0.32	<b>0.28</b>	1.91
Light Silver	SNR 43	Clear	Clear	43	17	19	27	14	42	0.29	0.27	56	0.26	<b>0.23</b>	1.88
Green	SNX 62/27	Green	Clear	52	3	18	9	11	11	0.28	0.27	59	0.28	<b>0.25</b>	2.13
Green	SN 68	Green	Clear	58	14	24	9	11	9	0.29	0.28	73	0.34	<b>0.30</b>	1.90
Green	SN 62	Green	Clear	53	7	20	9	13	10	0.29	0.27	64	0.30	<b>0.27</b>	1.98
Green	SN 54	Green	Clear	46	7	17	10	18	10	0.29	0.27	59	0.27	<b>0.24</b>	1.88
Green	SNR 43	Green	Clear	36	8	14	21	14	14	0.29	0.27	50	0.23	<b>0.21</b>	1.77
Dark Green	SNX 62/27	TwilightGreen	Clear	46	2	16	8	11	8	0.28	0.27	54	0.25	<b>0.22</b>	2.07
Dark Green	SN 68	TwilightGreen	Clear	51	8	20	8	11	7	0.29	0.28	64	0.30	<b>0.27</b>	1.92
Dark Green	SN 62	TwilightGreen	Clear	47	4	17	8	13	7	0.29	0.27	58	0.27	<b>0.24</b>	1.97
Dark Green	SN 54	TwilightGreen	Clear	41	4	15	9	17	8	0.29	0.27	53	0.25	<b>0.22</b>	1.85
Dark Green	SNR 43	TwilightGreen	Clear	32	5	12	18	13	11	0.29	0.27	46	0.21	<b>0.19</b>	1.72
Light Gray	SNX 62/27	CrystalGray	Clear	45	4	17	8	11	19	0.28	0.27	55	0.25	<b>0.22</b>	1.99
Light Gray	SN 68	CrystalGray	Clear	49	17	24	8	11	16	0.29	0.28	72	0.34	<b>0.30</b>	1.65
Light Gray	SN 62	CrystalGray	Clear	45	8	19	8	13	16	0.29	0.27	62	0.29	<b>0.26</b>	1.77
Light Gray	SN 54	CrystalGray	Clear	39	9	17	9	17	17	0.29	0.27	57	0.26	<b>0.23</b>	1.68
Silver Gray	SNR 43	CrystalGray	Clear	31	10	13	17	13	21	0.29	0.27	48	0.22	<b>0.20</b>	1.59
Coating #3 Surface															
Bronze	SNX 62/27 (#3)	Bronze	Clear	38	2	14	7	10	19	0.28	0.27	65	0.31	<b>0.27</b>	1.40
Green	SNX 62/27 (#3)	Green	Clear	52	3	18	10	10	11	0.28	0.27	76	0.36	<b>0.32</b>	1.66
Dark Green	SNX 62/27 (#3)	TwilightGreen	Clear	46	2	16	9	10	8	0.28	0.27	67	0.32	<b>0.28</b>	1.66
Light Gray	SNX 62/27 (#3)	CrystalGray	Clear	45	4	17	8	10	20	0.28	0.27	73	0.34	<b>0.30</b>	1.49
Gray	SNX 62/27 (#3)	Gray	Clear	31	2	12	6	10	15	0.28	0.27	58	0.27	<b>0.24</b>	1.28

SN 68 or SN 62 may also be used on the #3 surface with a tinted or coated outboard lite.

- The performance values shown are nominal and subject to variations due to manufacturing tolerances.
- Guardian performance data are calculated in accordance with the LBNL Window 5.2 computer analysis using an air mass of 1.5.
- Glass may require heat strengthening or tempering to resist potential thermal stresses. SNR 43 must be heat-treated.
- Guardian recommends edge deletion for all commercial low-E coatings.
- Guardian reserves the right to change product performance characteristics without notice or obligation.

## SunGuard IS 20 Interior Surface Coating

# Achieve a lower u-factor in a double- or triple-glaze unit.

Balancing energy performance requirements with design aesthetics is a challenge every architect has to face. The greater the challenge, the more likely you'll find a solution among Guardian's growing selection of SunGuard Advanced Architectural Glass products. SunGuard IS 20 is one of the newest ways we help you Build With Light®.

### A new option for lower u-factor requirements.

In the U.S. and Canada, current and projected Energy Codes, as well as high-performance "Green" building codes, are pushing for lower u-factor requirements. SunGuard IS 20 from Guardian helps architects meet these codes by bringing the u-value performance of double-glaze units closer to that of triple-glaze, and by improving triple-glaze performance in buildings and climates where maximum heat flow resistance is desired.

### An interior-surface coating for significant energy savings.

SunGuard IS 20 is designed to be used on the #4 surface of a double-glazed unit, or on the #6 surface of a triple-glazed unit. As documented in the performance chart below, SunGuard IS 20 delivers lower u-values, less solar heat gain, and significant energy savings when combined with other low-E SunGuard coatings in IG units.\*

### Smoother and clearer than pyrolytics.

SunGuard IS 20 holds several distinct advantages over pyrolytic hard coats as well. Unlike pyrolytics, which have a rough surface, SunGuard IS 20 is smooth to the touch and easy to clean. What's more, SunGuard IS 20 lacks the visible haze of hard coats, delivering a high visible light transmission.

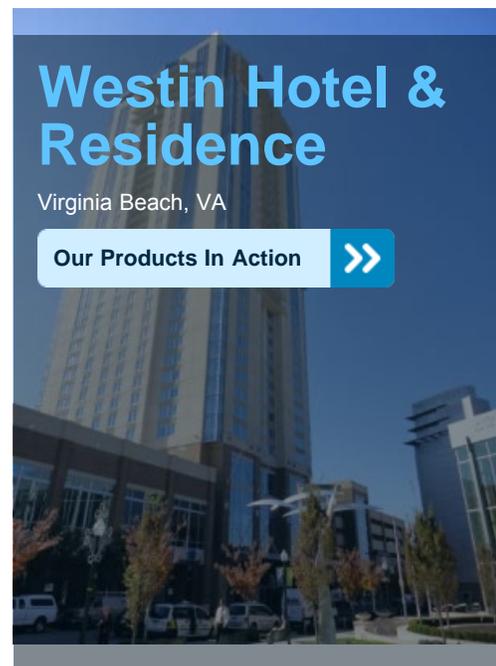
### Performance Benefits and Characteristics

- Lowers U-value in both double- and triple-glazed units
- High visible light transmission
- Neutral color with low haze and ultra-smooth surface
- Can be cleaned with common glass cleaners

[SNX 67/27](#)
[SNR 43](#)
[IS 20](#)
[SunGuard EC](#)

## Westin Hotel & Residence

Virginia Beach, VA

[Our Products In Action](#)


- Durable
- Thousands of dollars in potential energy savings
- Helps projects qualify for LEED credits
- Available through the Guardian Select network of independent fabricators to meet tight project deadlines

Product	Visible Light			UV Trans %	SHGC	U-Value		Light-to-Solar Gain
	Trans %	Reflect Out %	Reflect In %			Air	Argon	
SNX 62/27	62	11	12	6	0.26	0.28	0.24	2.35
SNX 62/27 + IS 20	60	11	13	6	0.25	0.23	0.20	2.36
SuperNeutral 68	68	11	12	29	0.37	0.29	0.25	1.82
SuperNeutral 68 + IS 20	66	11	13	28	0.36	0.24	0.20	1.83
SuperNeutral 62	62	11	14	14	0.31	0.29	0.24	2.02
SuperNeutral 62 + IS 20	60	12	13	13	0.30	0.23	0.20	2.03
SuperNeutral 54	54	13	18	15	0.28	0.29	0.25	1.95
SuperNeutral 54 + IS 20	52	13	18	14	0.27	0.24	0.20	1.97
SNR 43	43	27	14	17	0.22	0.29	0.24	1.94
SNR 43 + IS 20	42	26	14	16	0.21	0.23	0.20	1.95

Glass configuration: 6 mm clr / 1/2" air space / 6 mm clr. U-value measured is winter/night. SHGC measured with argon fill. Primary low-E coatings are on the #2 surface; SunGuard IS 20 coating is on #4 surface.

Click here for the [SunGuard IS 20 flyer](#) — and other ways to Build With Light.



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# STOREFRONTS AND ENTRANCES



10092012



*More recycled content, eco-efficient finishes*

# TUBELITE®

**DEPENDABLE**

LEADERS IN ECO-EFFICIENT STOREFRONT,  
CURTAINWALL AND ENTRANCE SYSTEMS

Tubelite® has been in the business of fabricating and distributing architectural aluminum products for the glass and glazing industry since 1945. Storefront, entrance and curtainwall systems are available directly from Tubelite® and from a network of independent distributors. Tubelite's corporate office, fabrication, warehouse, and shipping operations are located in our Walker (Grand Rapids), Michigan facility, and the extrusion plant is in Reed City, Michigan.

Our promise to you is quality in everything we do; fast, reliable and consistent delivery; and responsible, courteous service with a personal touch.

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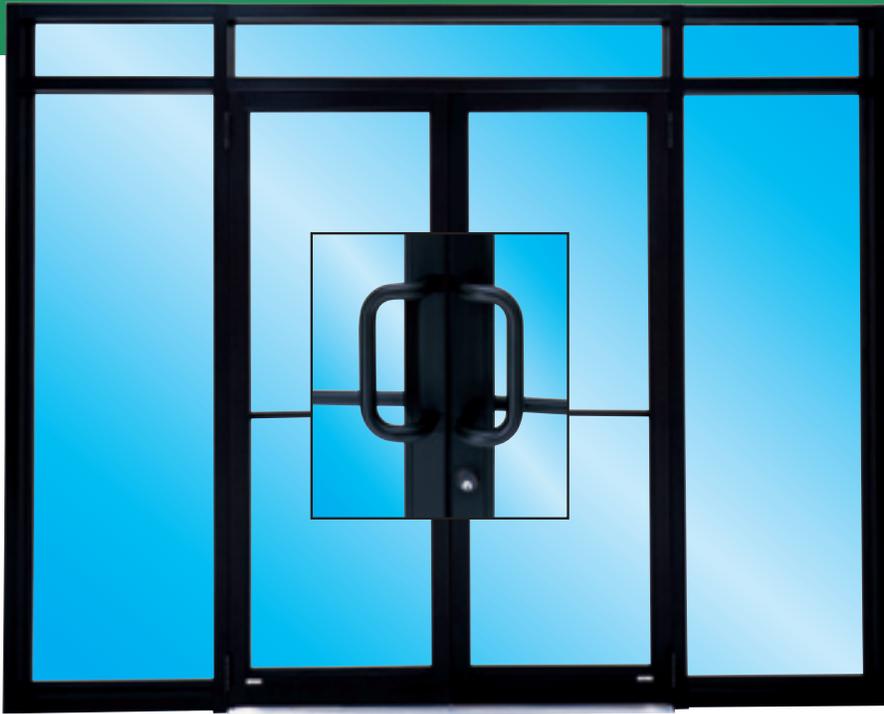
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**TUBELITE®**  
**DEPENDABLE**

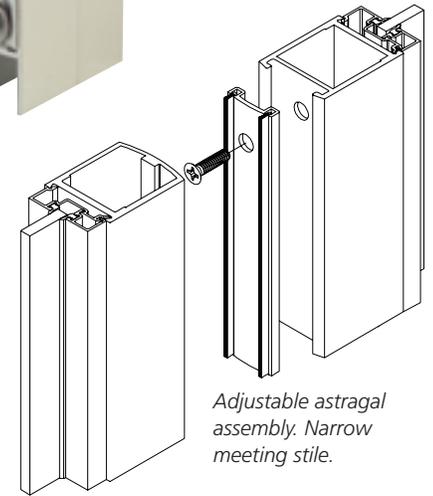
LEADERS IN ECO-EFFICIENT STOREFRONT,  
CURTAINWALL AND ENTRANCE SYSTEMS



*14000 Series Center Glazed Storefront,  
0A Clear Anodized; Owner: Nuway  
Construction Headquarters, Elkhart, IN;  
Tubelite Dealer: Quality Glass*



*Standard Narrow Stile  
1-3/4" x 2-1/8" Door with  
10" Bottom Rail; 0A Clear  
Anodized Finish; 1/4" Glass*



*Adjustable astragal  
assembly. Narrow  
meeting stile.*

## STANDARD ENTRANCES

Our Narrow Stile Doors are designed for light to medium use in commercial and retail applications. Standard doors have exterior installation of glass or panels, with 2-1/8" width stiles and top rails, and the option of 4", 7-1/2" or 10" bottom rails for ADA compliance. The smooth design of Tubelite's door hardware features a convenient pull handle and push bar with lock location 36" above the finished floor. Stock doors and frames are anodized with clear or dark bronze finishes, and readily available for quick delivery.

## DURABLE TIE-ROD CONSTRUCTION

The strength and flexibility of steel tie-rod construction is what holds it all together and makes our doors endure. Tie-rod assembly is as durable as welded corner construction, but superior in many ways. Tubelite doors can be modified, disassembled or resized right in the field. No other door offers you this much strength and flexibility.

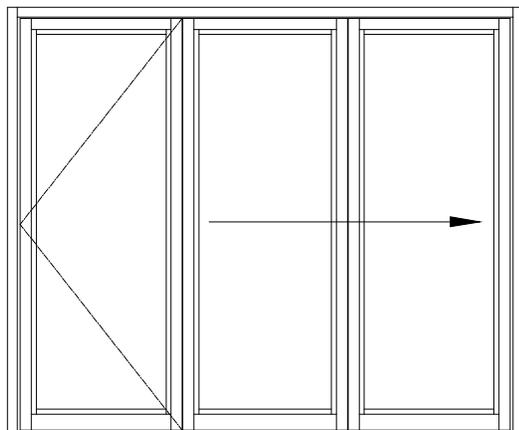


## WE LISTEN

Members of our management staff personally visit our glazing contractor clients regularly. We learn what works and what doesn't — from their perspective, not ours. The result is solutions that work — solutions tailored for the field — so jobs get done right the first time.

STANDARD & MODIFIED DOORS (1/8" WALL)	NARROW STILE	MEDIUM STILE	WIDE STILE
Application	Average traffic, offices, strip centers	Moderate traffic, retail stores	Heavy traffic, public buildings
Vertical Stile 1-3/4" x	2-1/8"	4"	5"
Top Rail 1-3/4" x	2-1/8"	4"	5"
Bottom Rail 1-3/4" x	4", 7-1/2", 10"	6-1/2", 7-1/2", 10"	6-1/2", 7-1/2", 10"
Glass Sizes	3/16", 1/4", 3/8", 1"	3/16", 1/4", 3/8", 1"	3/16", 1/4", 3/8", 1"

Note: Dimensions do not include 1/2" glass stops.



3 PANEL -- AUTO SHOWROOM OPTION

### PINNACLE BI-FOLD DOORS

UTILIZES TUBELITE ALUMINUM ENTRANCE DOORS  
SAME OPTIONS AS TYPICAL ENTRANCE OR THERMAL ENTRANCE DOOR

LEAFS

FLUSH BOLTS / 3 POINT LEVER LOCKS FOR HARDWARE

CLOSER OPTIONS FOR MAN-DOORS

MULTIPLE THRESHOLD OPTIONS TO MEET JOB SPECIFIC REQUIREMENTS

TOP HUNG FROM TRACK WHICH HOUSES ROLLERS AND PIVOT BLOCKS

ADJUSTABLE UP, DOWN, LEFT AND RIGHT AFTER INSTALLATION

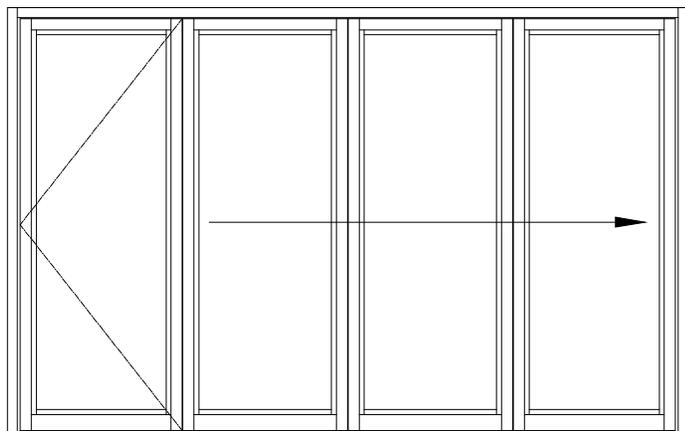
LIMITATIONS:

MAX PANEL WEIGHT: 220LBS

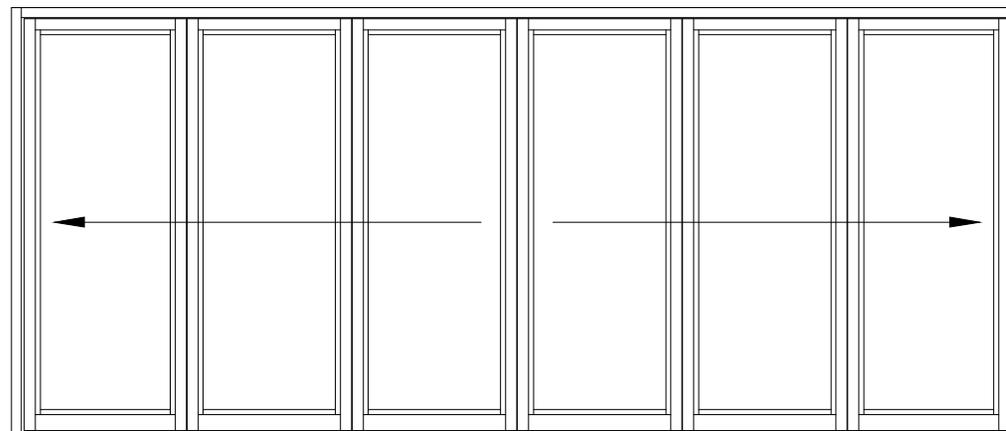
MAX PANEL SIZE: 3'3 X 9'10

MAX PANEL THICKNESS: 2.75"

MAXIMUM OPENING: 52'-0"



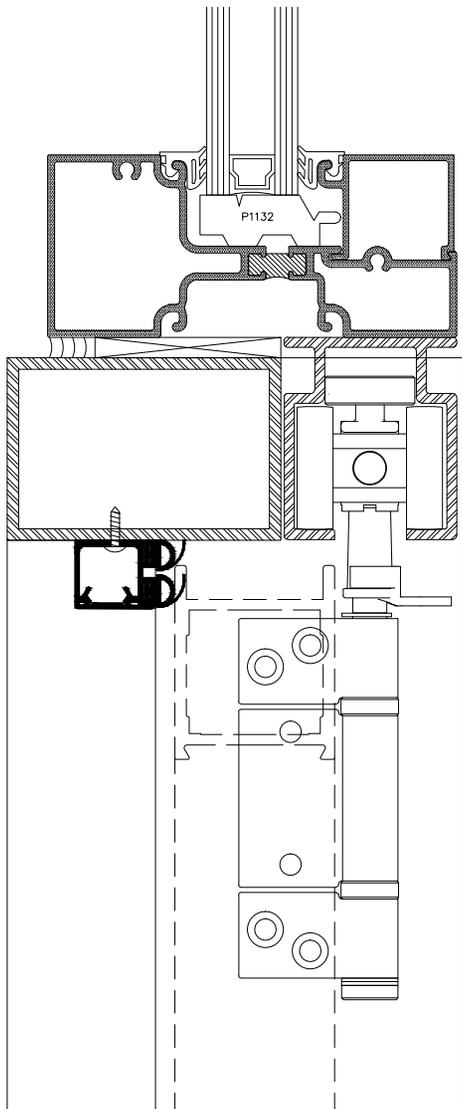
4 PANEL -- MOCK-UP



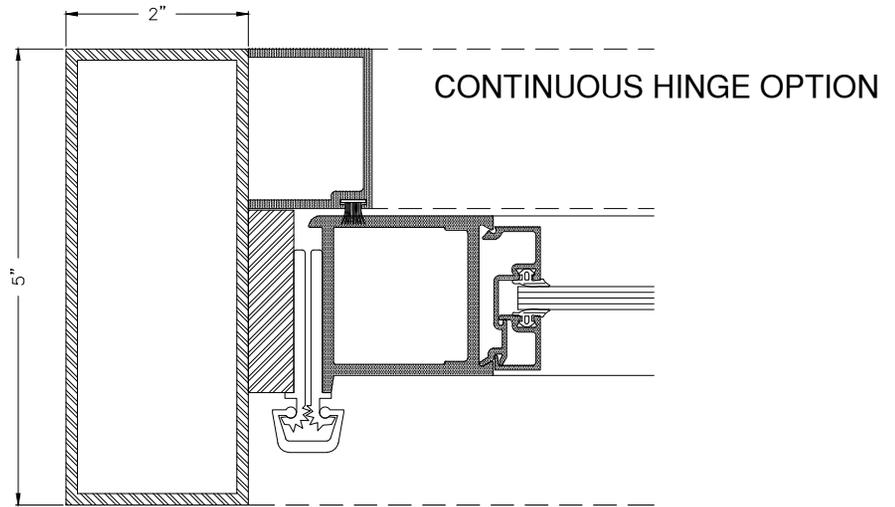
6 PANEL OPTION (NO MAN DOOR)

PINNACLE BI-FOLD DOOR  
PROPOSAL DETAILS  
STOREFRONT INSTALLATION

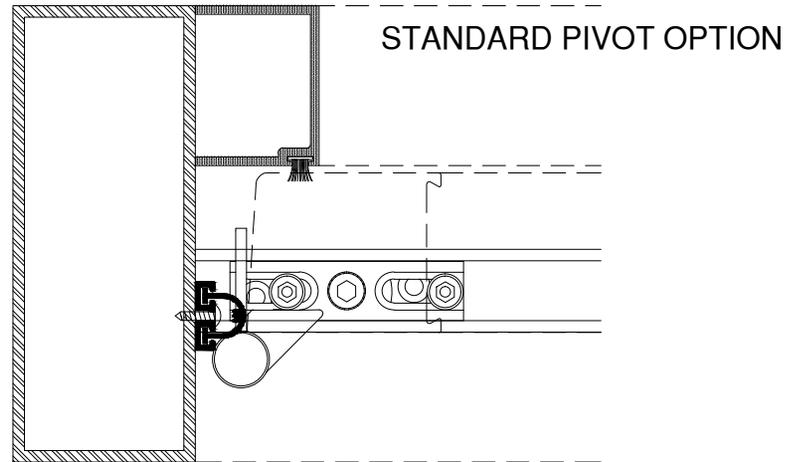




TRACK AT INSIDE OF SYSTEM



CONTINUOUS HINGE OPTION



STANDARD PIVOT OPTION

PINNACLE BI-FOLD DOOR  
 PROPOSAL DETAILS  
 STOREFRONT INSTALLATION





# VERSICO'S VERSIGARD® DUSTED NON-REINFORCED EPDM MEMBRANES

.060



- Fully adhered application allows for installation on any roof slope
- Ballasted applications provide excellent fire protection for the insulation and deck, superior energy efficiency, and the ability to perform as a "Cool Roof"

## Versico's QAT Seam Technology

With Versico's Quick-Applied Tape (QAT) Seam technology, most of the labor to create seams between membrane panels is completed in a quality-controlled, state-of-the-art environment. This process results in a reliable seam with greater peel and shear strengths and with no entrapped air bubbles. Consistent placement of the QAT also maximizes the splice area and results in a high-quality seam. Versico QAT is available on all VersiGard EPDM membranes up to 30' (9 m) in width, providing the fastest way to complete a seam in today's roofing market.

## Overview

VersiGard 45-mil (1.14 mm) and 60-mil (1.52 mm) thick roofing membranes are non-reinforced Ethylene Propylene Diene Terpolymer (EPDM) based elastomeric homogeneous roof coverings. These roofing membranes may be used for new single-ply roof construction and re-roofing applications. These membranes are available in widths of up to 50' (15 m) and lengths of up to 200' (60 m). All membranes are dusted. VersiGard non-reinforced membranes are Fire Retardant (FR) membranes that are specially formulated to inhibit spread of flame and meet or exceed code body testing criteria for the fire retardant roofing membranes.

## Features and Benefits

- Meets lightweight requirements
- Provides a monolithic assembly
- No special equipment required for installation
- EPDM has more than 45 years of proven performance
- Available with Quick Applied Tape (QAT)
- Ability to be installed over a variety of decks
- Full line of Quick Applied (QA) accessories
- Membranes are available in widths of up to 50' and lengths of up to 200' for faster installations and less seaming

## Installation

VersiGard 45-mil (1.14 mm) and 60-mil (1.52 mm) thick membranes are typically utilized in Fully Adhered (.060" only), Ballasted Roofing Systems and Loose-Laid Protected Roofing Systems.

**Fully Adhered Roofing System:** insulation is mechanically attached or adhered to the roof deck. The substrate and membrane are coated with Versico's EPDM Bonding Adhesive. The membrane is then rolled into place and broomed down. To complete seams between two adjoining membrane panels, apply primer to the splice area in conjunction with Versico's QAT. As an alternative, Versico's hand-applied QA Seam Tape may be used.

**Ballasted Roofing Systems:** insulation is loose-laid over the roof deck. Membrane is loose-laid over the insulation and secured with a minimum 10 lbs (4.5 Kg) of ballast per square foot. Inverted Ballasted (Design C) Roofing System is a similar system with the insulation installed on top of the membrane. To complete seams between two adjoining membrane panels, apply primer to the splice area in conjunction with Versico's QAT alternative, Versico's hand-applied QA Seam Tape may be used.

CONSULT VERSICO'S SPECIFICATIONS FOR COMPLETE INSTALLATION INFORMATION.



A SINGLE SOURCE FOR SINGLE-PLY ROOFING

Versico, PO Box 1289, Carlisle, PA 17013  
Tel: **800.992.7663** Fax: 717.960.4036 Web: **www.versico.com**

## Precautions

1. Use proper stacking procedures to ensure sufficient stability of the materials.
2. Exercise caution when walking on a wet membrane. Membranes are slippery when wet.
3. Membranes with QAT should not be exposed to prolonged jobsite storage temperatures in excess of 90°F (32°C), otherwise the shelf life of the QAT may be affected.
4. When membranes with QAT are used, shade the tape end of the rolls until ready to use in warm, sunny weather.

<b>VERSIGARD DUSTED EPDM TYPICAL PROPERTIES AND CHARACTERISTICS</b>				
Property	Test Method	SPEC. (Pass)	<del>.045</del>	<del>.060</del>
Tolerance on nominal thickness, %	ASTM D412	± 10	<del>± 10</del>	<del>± 10</del>
Weight, lbm/ft <sup>2</sup> (kg/m <sup>2</sup> )			<del>0.26 (1.3)</del>	<del>0.35 (1.7)</del>
Tensile Strength, min, psi (Mpa)	ASTM D412	1305 (9)	<del>1600 (11.0)</del>	<del>1600 (11.0)</del>
Elongation, Ultimate, min, %	ASTM D412	300	<del>480</del>	<del>465</del>
Tear Strength, min, lbf/in (kN/m)	ASTM D624 (Die C)	150 (26.3)	<del>200 (35.0)</del>	<del>200 (35.0)</del>
Factory Seam Strength, min	Modified ASTM D816	Membrane Rupture	<del>Membrane Rupture</del>	<del>Membrane Rupture</del>
Resistance to Heat Aging* Properties after 28 days @ 240°F (116°C)	ASTM D573			
Tensile Strength, min, psi (Mpa)	ASTM D412	1205 (8.3)	<del>1500 (10.3)</del>	<del>1450 (10.0)</del>
Elongation, Ultimate, min, %	ASTM D412	200	<del>225</del>	<del>280</del>
Tear Strength, min, lbf/in (kN/m)	ASTM D624	125 (21.9)	<del>215 (37.6)</del>	<del>215 (37.6)</del>
Linear Dimensional Change, max, %	ASTM D1204	± 1.0	<del>-0.4</del>	<del>-0.50</del>
Ozone Resistance* Condition after exposure to 100 pphm Ozone in air for 168 hours @ 104°F (40°C) Specimen is at 50% strain	ASTM D1149	No Cracks	<del>No Cracks</del>	<del>No Cracks</del>
Brittleness Temp., max, °F (°C)*	ASTM D746	-49 (-45)	<del>-49 (-45)</del>	<del>-49 (-45)</del>
Resistance to Water Absorption* After 7 days immersion @ 158°F (70°C) Change in mass, max, %	ASTM D471	+8, -2	<del>+2.0</del>	<del>+2.0</del>
Water vapor Permeance* Max, perms	ASTM E 96 (Proc. B or BW)	0.10	<del>0.05</del>	<del>0.03</del>
Resistance to Outdoor (Ultraviolet) Weathering* Xenon-Arc, 7560 kJ/m <sup>2</sup> total radiant exposure at 0.70 W/m <sup>2</sup> irradiance, 80°C black panel temp.	ASTM G155	No Cracks No Cracking	<del>No Cracks No Cracking</del>	<del>No Cracks No Cracking</del>
* Not a Quality Control Test due to the time required for the test or the complexity of the test. However, all tests are run on a statistical basis to ensure overall long-term performance of the sheeting.				

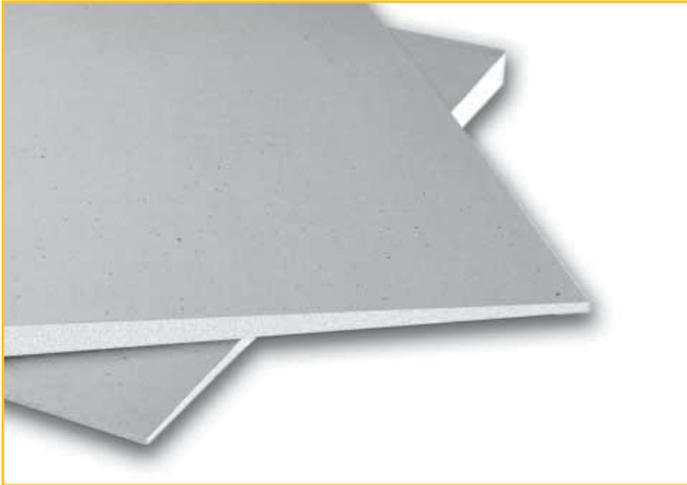
Note: VersiGard non-reinforced EPDM membrane meets or exceeds the minimum requirements set forth by ASTM D 4637 for Type I non-reinforced EPDM single-ply roofing membranes.

## LEED INFORMATION

Pre-consumer Recycled Content	0%
Post-consumer Recycled Content	3%
Manufacturing Location(s)	Carlisle, PA Greenville, IL
Solar Reflective Index	9

1/4" SLOPE

# VERSICO'S TAPERED MP-H POLYISO



## Product Description

Tapered MP-H is a sloped rigid roof insulation panel composed of a closed-cell polyisocyanurate foam core bonded during the manufacturing process to fiber-reinforced facers. Tapered MP-H is designed to promote positive drainage and prevent ponding water. For best results, use Versico's Tapered Shop Drawings.

## Features and Benefits

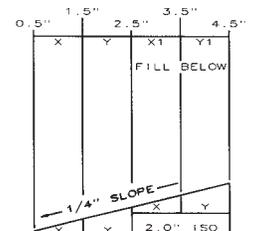
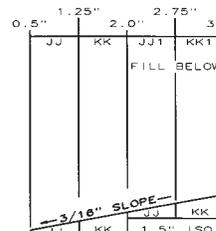
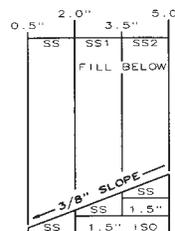
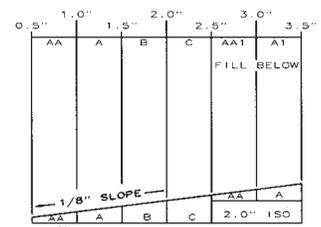
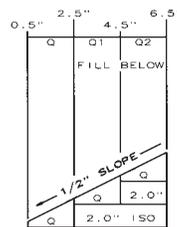
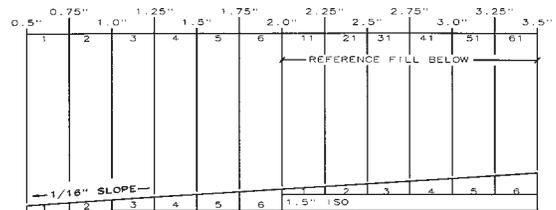
- Tapered MP-H polyiso insulation provides the highest R-value per inch of commercially available insulation products
- Environmentally friendly construction with 0% ozone-depleting components and CFC free
- Approved for direct application to steel decks

## Panel Characteristics

- Available in 4' x 4' (1220 mm x 1220 mm) in thickness of 1/2" (12 mm) minimum to 4.0" (102 mm) maximum in a single layer
- Available slopes are 1/16" (2 mm), 1/8" (3mm), 3/16" (5mm), 1/4" (6 mm), 3/8" (10 mm) and 1/2" (12mm) per foot
- Available in two grades of compressive strengths per ASTM C1289-06a, Type II, Class 1, Grade 2 (20 psi), Grade 3 (25 psi)

## Applications

- Constructions requiring Class A ratings
- Single-Ply Roof Systems (Ballasted, Mechanically Attached, Fully Adhered)



A SINGLE SOURCE FOR SINGLE-PLY ROOFING

Versico, PO Box 1289, Carlisle, PA 17013  
Tel: 800.992.7663 Fax: 717.960.4036 Web: [www.versico.com](http://www.versico.com)

## Installation

### BALLASTED SINGLE-PLY SYSTEMS

Each Tapered MP-H panel is loosely laid on the roof deck. Butt edges and stagger joints of adjacent panels. Install the roof membrane according to the manufacturer's specifications.

### MECHANICALLY ATTACHED SINGLE-PLY SYSTEMS

Each Tapered MP-H panel must be secured to the roof deck with fasteners and plates (appropriate to the deck type). Butt edges and stagger joints of adjacent panels. Install the roof membrane according to the manufacturer's specifications.

### FULLY ADHERED SINGLE-PLY SYSTEMS

Each Tapered MP-H panel must be secured to an approved roof deck with fasteners and plates (appropriate to deck type) or can be adhered using Versico's DASH™ adhesive. Butt edges and stagger joints of adjacent panels. Install the roof membrane according to manufacturer's specifications.

## Tapered MP-H Codes and Compliances

- ASTM C1289-06, Type II, Class 1, Grade 2 (20 psi), Grade 3 (25 psi)
- International Building Code (IBC) Section 2603  
**NOTE: Please be aware the Federal Specification HH-1-1972/GEN has been replaced.**

FLORIDA BUILDING CODE APPROVAL FL#1296  
MIAMI-DADE COUNTY, FLORIDA NOA NO: 04-1018.01

## Underwriters Laboratories, Inc.

- Component of Class A Roof Systems (UL 790)
- Hourly Rated P series roof assemblies (UL 263) P 225, 230, 59, 302, 303, 508, 510, 514, 519, 701, 710, 713, 717, 718, 719, 720, 722, 723, 727, 728, 729, 730, 732, 734, 735, 739, 741, 742, 743, 819, 824, 827, 828
- Insulated metal deck assemblies - (UL 1256) nos. 120, 123, 292
- Tapered MP-H classified by ULC

## TYPICAL PROPERTIES AND CHARACTERISTICS\*\* POLYISO FOAM CORE ONLY

Property	Test Method	Value
Compressive Strength	ASTM D1621 ASTM 1289-06	20 psi* minimum (138 kPa, Grade 2)
Dimensional Stability	ASTM D2126	2% linear change (7 days)
Moisture Vapor Transmission	ASTM E96 12.10	< 1 perm (57.5 ng/(Pa•s•m²))
Water Absorption	ASTM C209	< 1% volume
Service Temperature		-100°F to 250°F -73°C to 122°C

\*Also available in 25 psi minimum, Grade 3

\*\* Typical properties and characteristics are based on samples tested and are not guaranteed for all samples of this product. This data and information is intended as a guide and does not reflect the specification range for any particular property of this product.

## Warnings and Limitations

Insulation must be protected from open flame and kept dry at all times. Install only as much insulation as can be covered the same day by completed roof-covering material. Versico will not be responsible for specific building and roof design by others, for deficiencies in construction or workmanship, for dangerous conditions on the jobsite or for improper storage and handling. Technical specifications shown in this literature are intended to be used as general guidelines only and are subject to change without notice. Call Versico for more specific details, or refer to PIMA Technical Bulletin No. 109: Storage & Handling Recommendations for Polyiso Roof Insulation.

## Other Polyiso Products by Versico

- SECURSHIELD POLYISO BONDED TO COATED GLASS FACER
- MP-HCG POLYISO BONDED TO COATED GLASS FACER
- MP-HF POLYISO BONDED TO FOIL
- MP-HNB POLYISO BONDED TO ORIENTED STRAND BOARD
- MP-HWF POLYISO BONDED TO WOOD FIBERBOARD
- TAPERED MP-HCG POLYISO BONDED TO COATED GLASS FACER
- TAPERED MP-HWF TAPERED POLYISO BONDED TO WOOD FIBERBOARD
- MP-H POLYISO



Foamed plastic as roof deck construction material with resistance to an internal fire exposure only for use in construction no.(s) 120 and 123. See UL Directory of Products Certified for Canada and UL Roofing Materials and Systems Directory. 99DL.



# PLAN PGH ▶

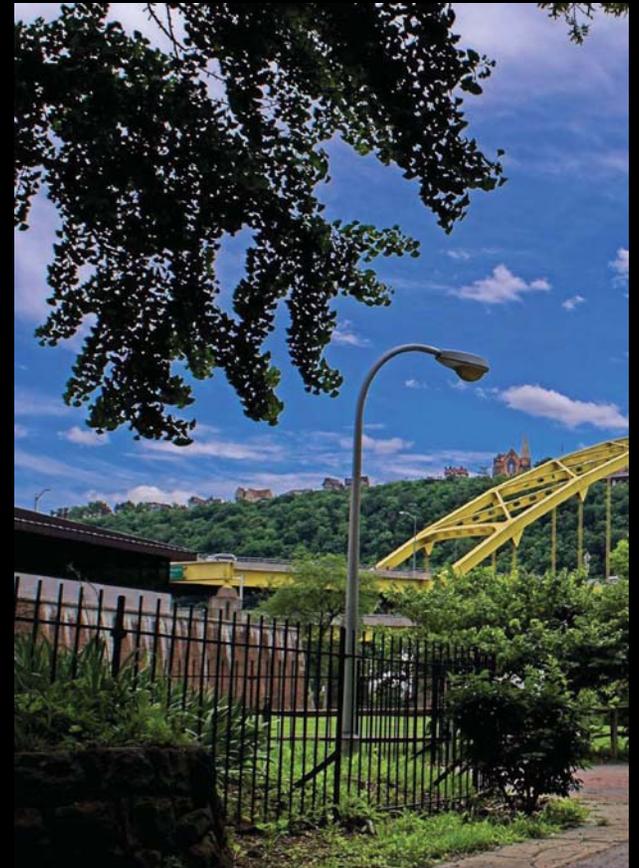


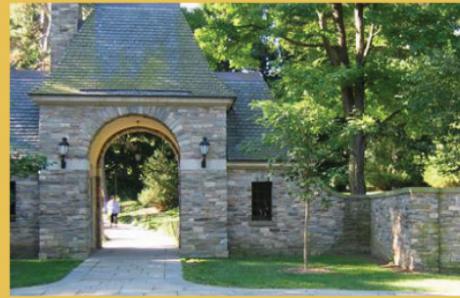
open space, parks  
and recreation



# OpenSpacePGH P.C. Briefing Format

- Why are we doing OpenSpacePGH?
- What do we have today?
- How do we pay for all of this?
- What did residents tell us that they want?
- What did our analysis say?
- What did that public input and analysis turn into?
- Where do we go from here?
- Questions & Answers





# OpenSpacePGH Overview

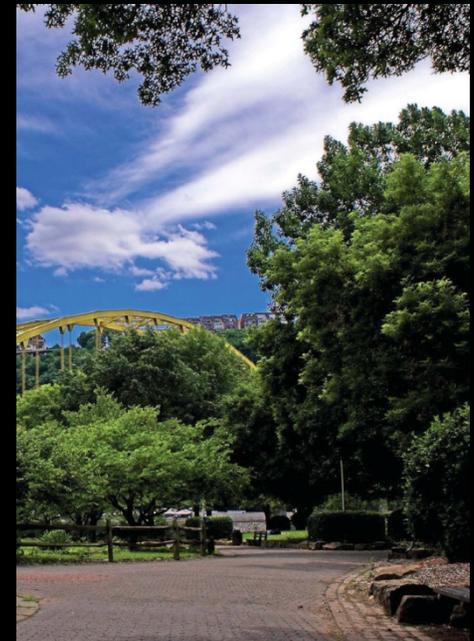
# What is OpenSpacePGH?

- One of the twelve components of PlanPGH
- A joint project of CitiParks and the DCP
- A guide to the optimal use of the City's Open Space
- A document based on data analysis and public input to be the gameplan for the City's open spaces
- 25-year Vision



# Who's leading this process?

- Project Management (DCP & CitiParks)
- Management Committee (21 Members)
  - City Departments / Agencies, Non-Profits, Community Groups, Foundations
- Green Ribbon Committee (43 Members)
  - Advocacy Non-Profits, Residents, Community Groups
  - Representing all sectors of the City
- Consultants
  - MIG (Portland, OR) – Open Space Trends, Public Facilitation, Analysis
  - BAE (New York, NY) – Economic Analysis
  - Local consultants – Public Facilitation



# What is OpenSpacePGH Not?

- It's not a mandate – all of these recommendations will require additional actions (funding, public process) before they are able to be implemented.
- It's not a feasibility study – we do not have specific locations for all new facilities and parks, nor financing secured to complete them at this time.
- It's not a master plan – recommendations for parks, greenways, vacant lot strategies will need further work to be implemented.

# Why Open Space?

- Population changes over time
  - Park system built for 670,000 population, 305,000 now
  - Created an informal layer of vacant and distressed properties that the City has to deal with the effects of.
- Change in park / recreation trends
  - Mobile population, able to travel further for better facilities and focused on more than just neighborhood recreation
  - Wider variety of interests and demands for our public open space
- Incorporation of the natural system into the urban environment
- Set the developable framework of the City by determining what we take off-line

# OPENSOURCEPGH - What are we looking at?

- Parks (146 – Regional/Community/Neighborhood)
- Recreation Areas / Facilities



# OPENSOURCEPGH - What are we looking at?

- Hillside
- Riverfronts



# OPENSOURCEPGH - What are we looking at?

- Vacant and Distressed Properties
- Tax Delinquent Properties
- Condemnations

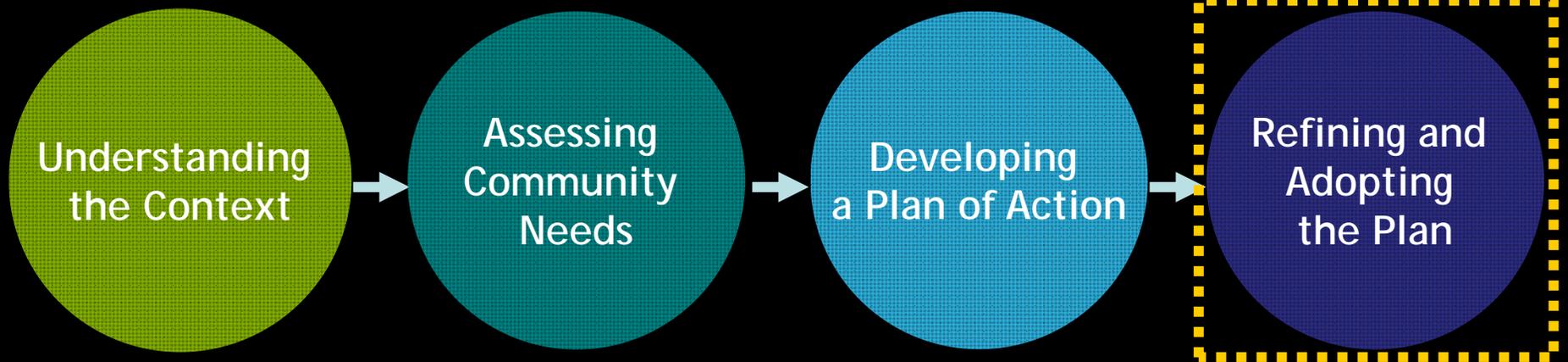




PLAN PGH

open space, parks  
and recreation

## Four Phases:





What do we have today?

# What do we have today?

- 3,000+ acres of land (11% of Pittsburgh!)
  - 6.7% in comparable cities
- Within the parks
  - Sports fields (100+)
    - 4<sup>th</sup> in the nation
  - Sports courts (~200)
  - Playgrounds (121 – 2x cities of comparable size/density)
  - Benches, barbecues, shelters, picnic tables...
  - Specialized features (bike track, dog parks, bocce, lawn bowling, spray parks)





# What do we have today?

- Regional parks
- Trails
- Major facilities
  - 18 outdoor pools, 1 indoor pool (4<sup>th</sup> in US)
  - 25 senior and recreation centers
  - Specialized facilities ...

*ice rink, tennis center,  
environmental center*



# What do we have today?

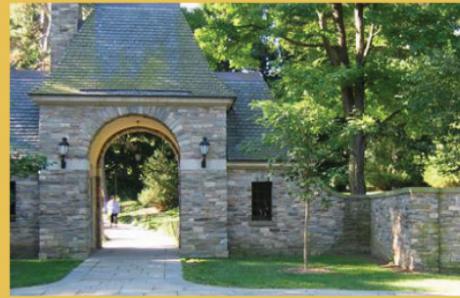
- Recreation programs
  - Organized classes and leagues
  - Farmers markets and food programs
  - Special events in the neighborhoods
    - 26 free outdoor concerts in 2010
  - Special events for the city
    - Great Race
    - International Children's Festival



# The City is not the only one...

- Other public agencies
- Institutions
- Non-profits
- Volunteer organizations
- Private entities





How do we pay for all of this?

# City of Pittsburgh

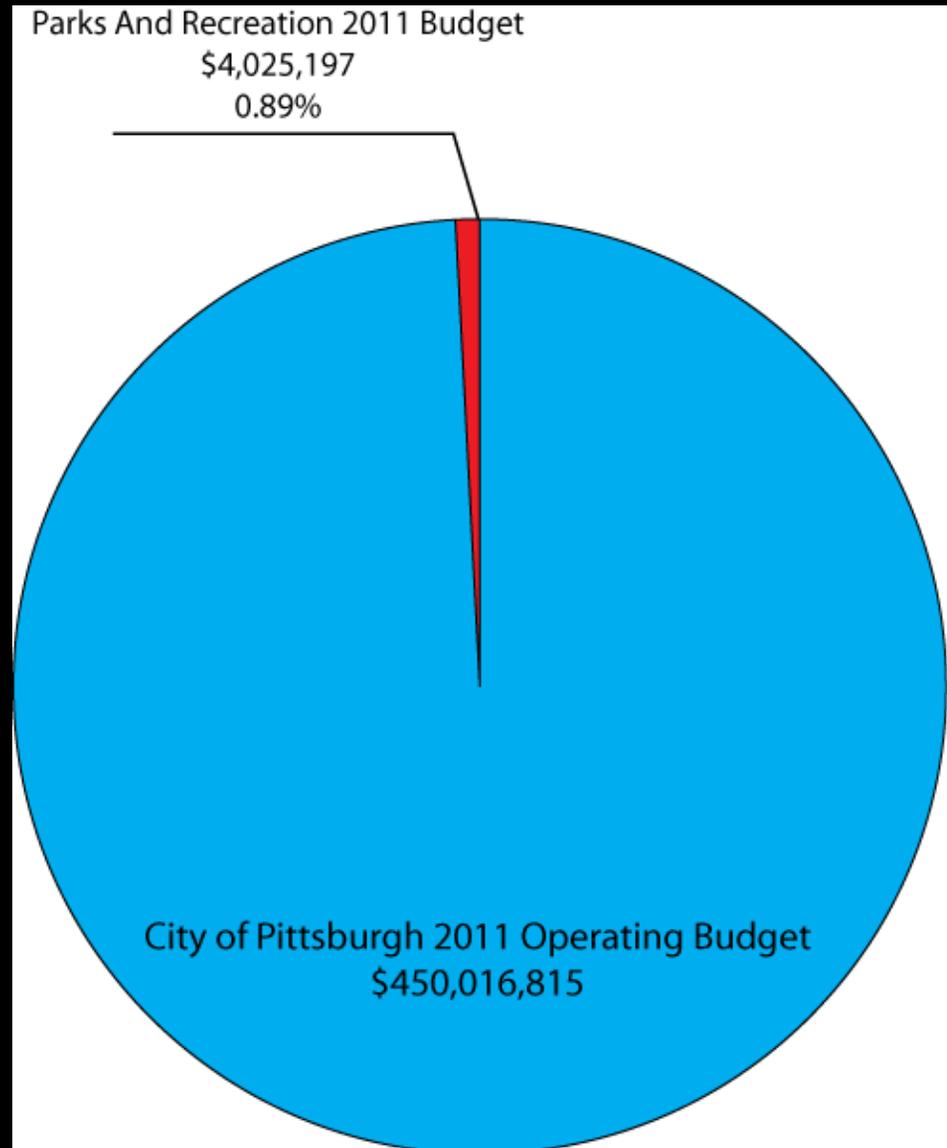
- Citiparks
  - Run recreation and senior centers
  - Run major facilities
  - Operate the pools
  - Offer programming and events
- Department of Public Works
  - Grounds maintenance
  - Fields maintenance
  - Field scheduling
  - Snow removal
  - Capital projects



**Citiparks**  
City of Pittsburgh | Dept. of Parks and Recreation

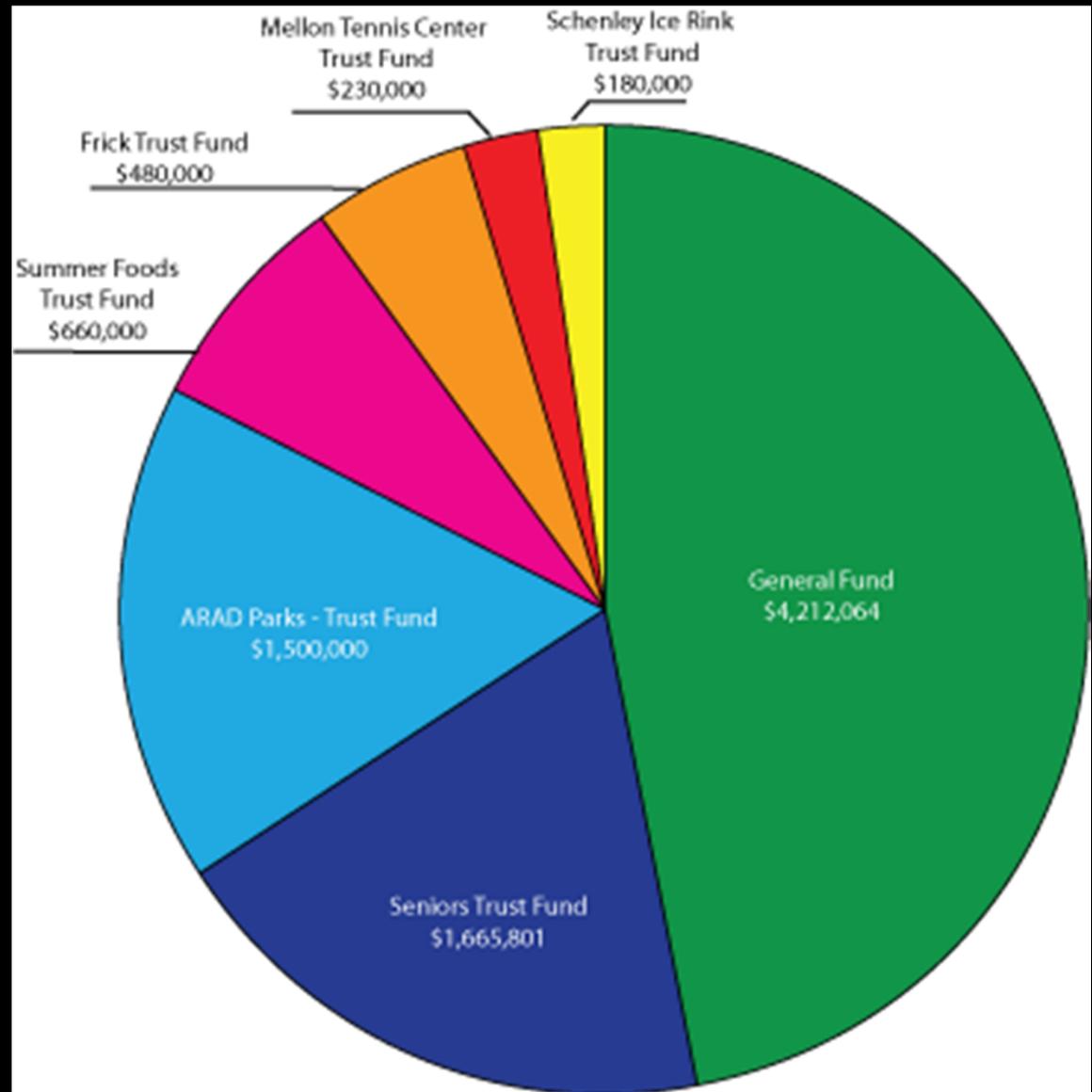
# Citiparks

- Less than 1% of city budget is allocated to Citiparks



# Citiparks Operating Funds

- General Fund
- Trust Funds
- ARAD



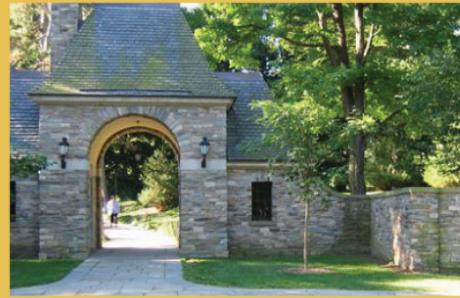
# Department of Public Works

- Reorganizations
- Now part of Public Works
  - Crews are shared between streets, parks and other functions
- Responsible for capital projects ~\$5.5 million annually
- ARAD funding helps



# The City is not the only one...





What did residents tell us they want?

# How did people weigh in?

- Stakeholder Interviews
- Focus Groups
- Intercept Outreach
- Questionnaire (18+)
- Questionnaire (youth)
- Survey
- Green Ribbon Committee
- Website



PLANPGH Exchange - OPENSACEPGH - OPENSACE Adult Survey - Mozilla Firefox

File Edit View History Bookmarks Tools Help

http://exchange.planpgh.com/portal/openspace/openspace\_survey\_a?surveyInProgress=true

ESPN CNN FB LinkedIn PG OS FM CTZ PNC VZW PA TWC PGH TWC Oak-MD 1&1 Campos ER

PLANPGH Exchange - OPENSACEPGH...

Search

Consultation Home > OPENSACEPGH > OPENSACE Adult Survey

OPENSACE Adult Survey

Click on a step in the survey

Help

Page 1 - About You

Page 2

Page 3

Page 1 - About You

This survey should take about ten minutes--thank you for your input!

\* What is your age?

18-24

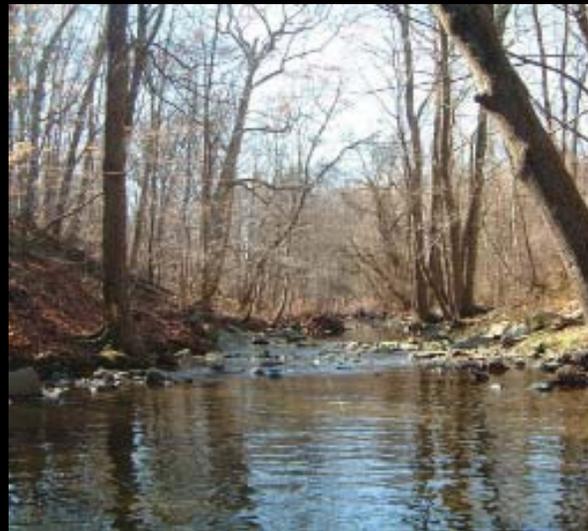
# What did they tell us?

- Defining Pittsburgh
  - The rivers
  - The neighborhoods
- Using parks and open spaces
  - Close to home parks
- Most important facilities
  - Playground
  - Picnic area
  - Ballfield
- Variety needed in system
  - Bicycle facilities
  - Gardening
  - Vikingball



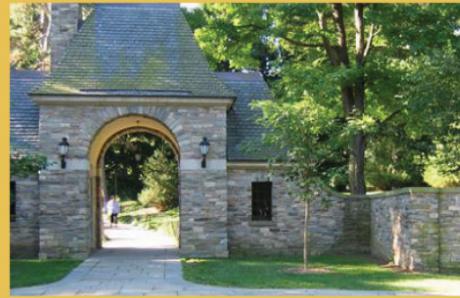
# What did they tell us?

- Open space priorities
  - Cleaning up illegal dumps
  - Preventing pollution from reaching our rivers
  - Stormwater retention
  - Trails
  - Restore/protect hillsides, creeks and forests



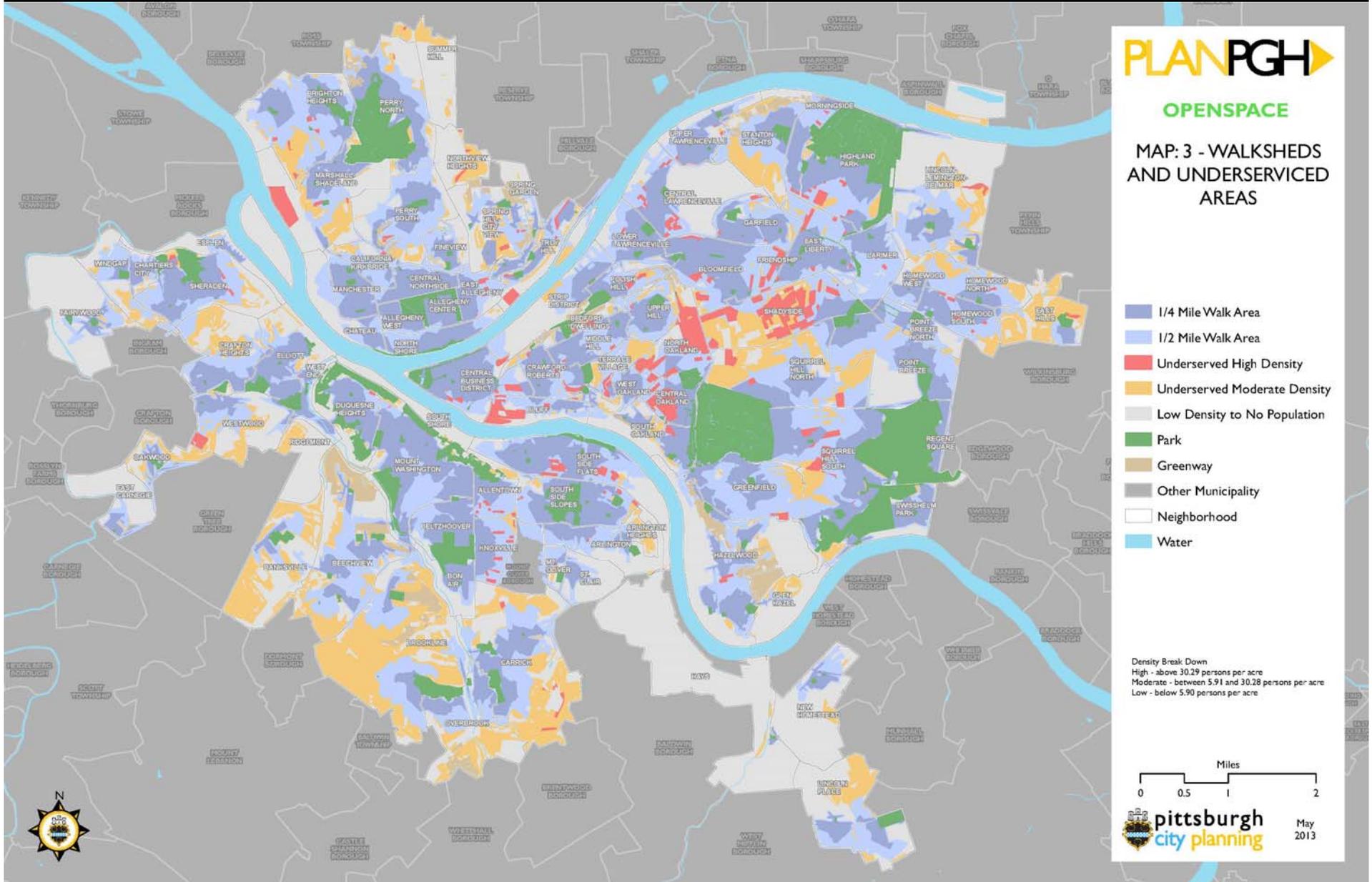
# What did they tell us?

- Parks are maintained well
  - 56.8% rate parks maintenance as “excellent” or “very good”
  - Less satisfaction with maintenance in low-income neighborhoods
- Interest, but not overwhelming support, for closing facilities
  - 63.8% are interested in closing small parks/facilities to support larger parks/facilities
  - 68.2% are interested in closing facilities to support the remainder of the park
- Little interest in add'l resident-driven revenue generation
  - Only 12.2% of residents favor new taxes for open space
  - Park sponsorship and further volunteer maintenance suggested as alternatives

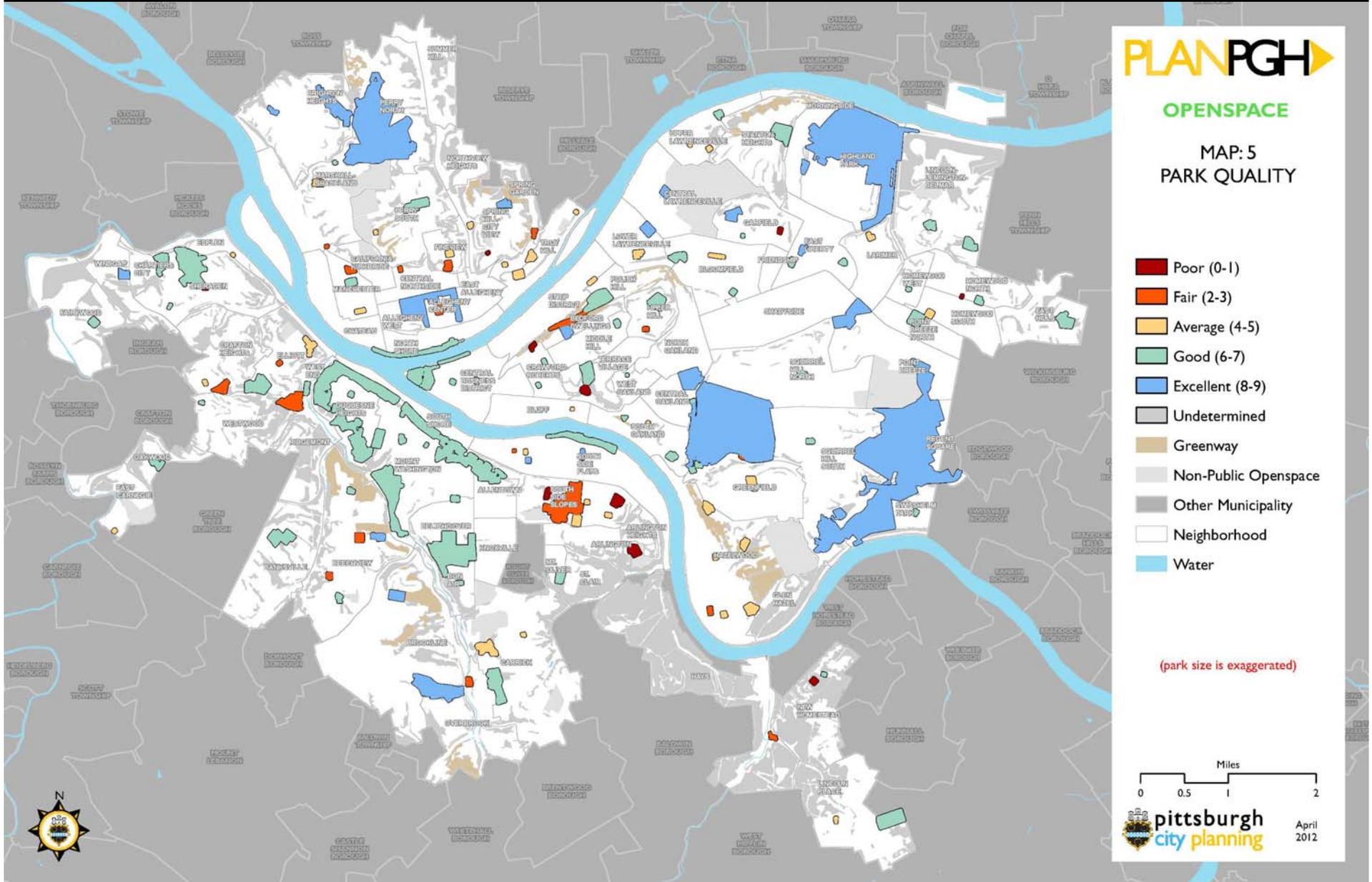


What did our analysis say?

# Analysis - Walksheds

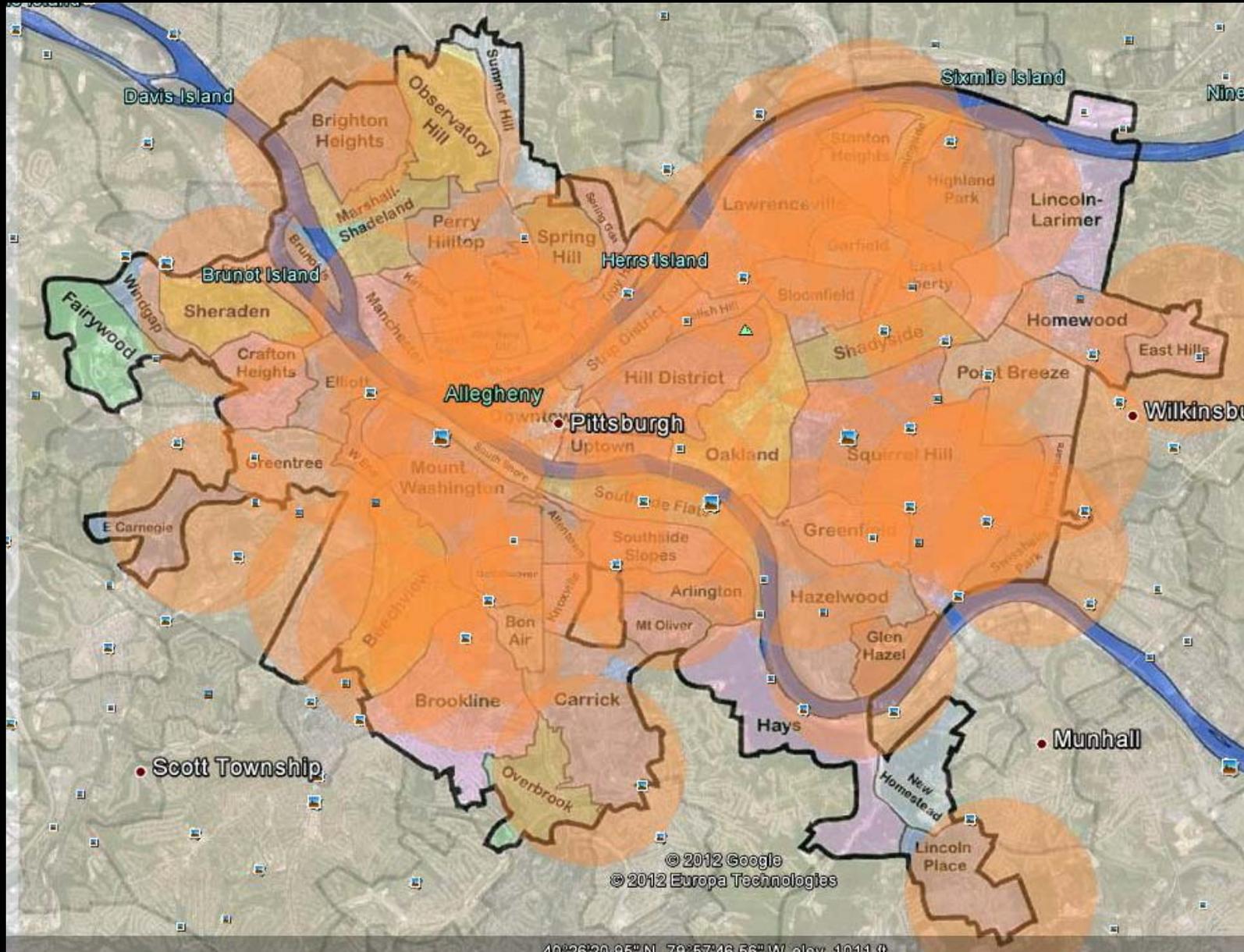


# Analysis - Park Quality

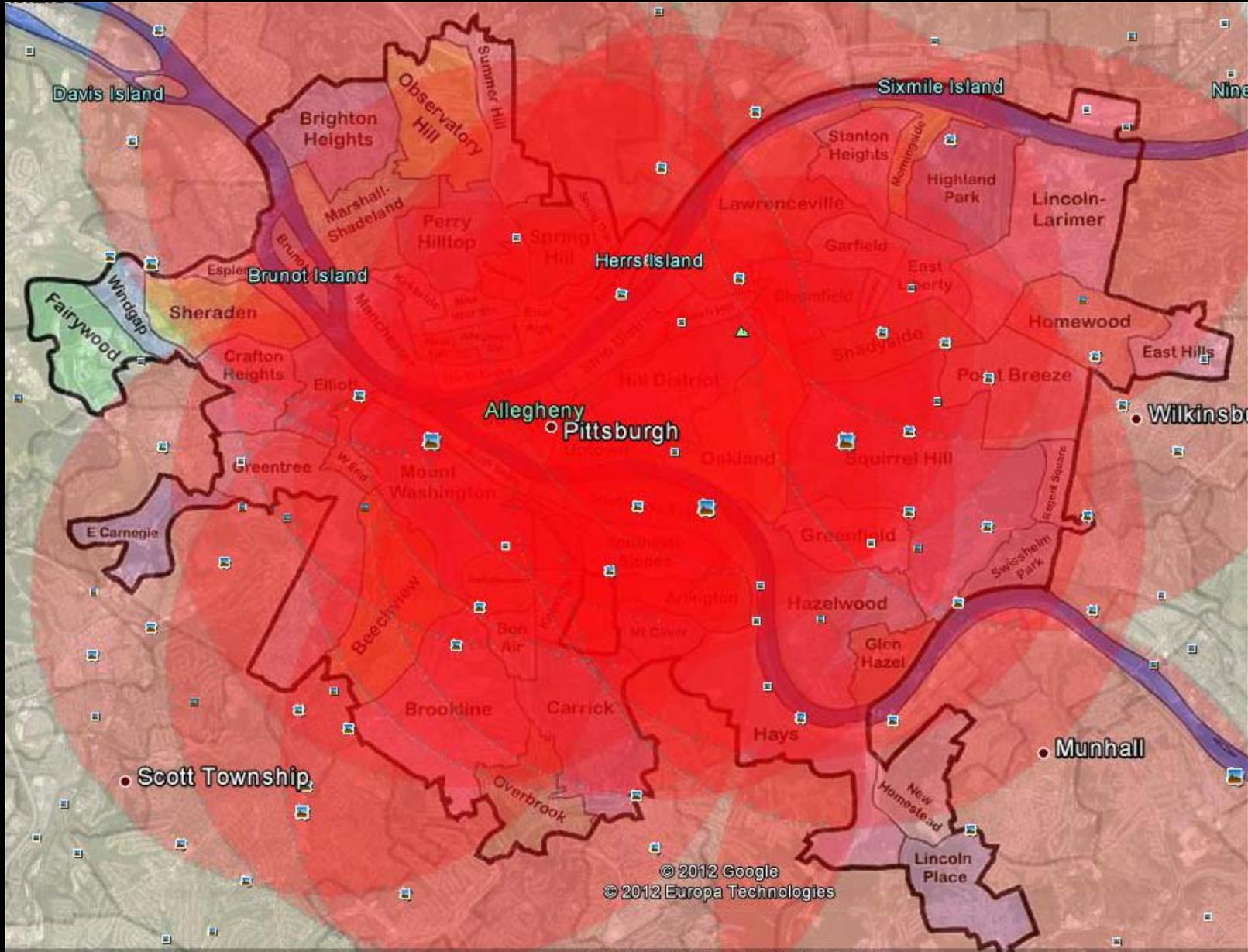




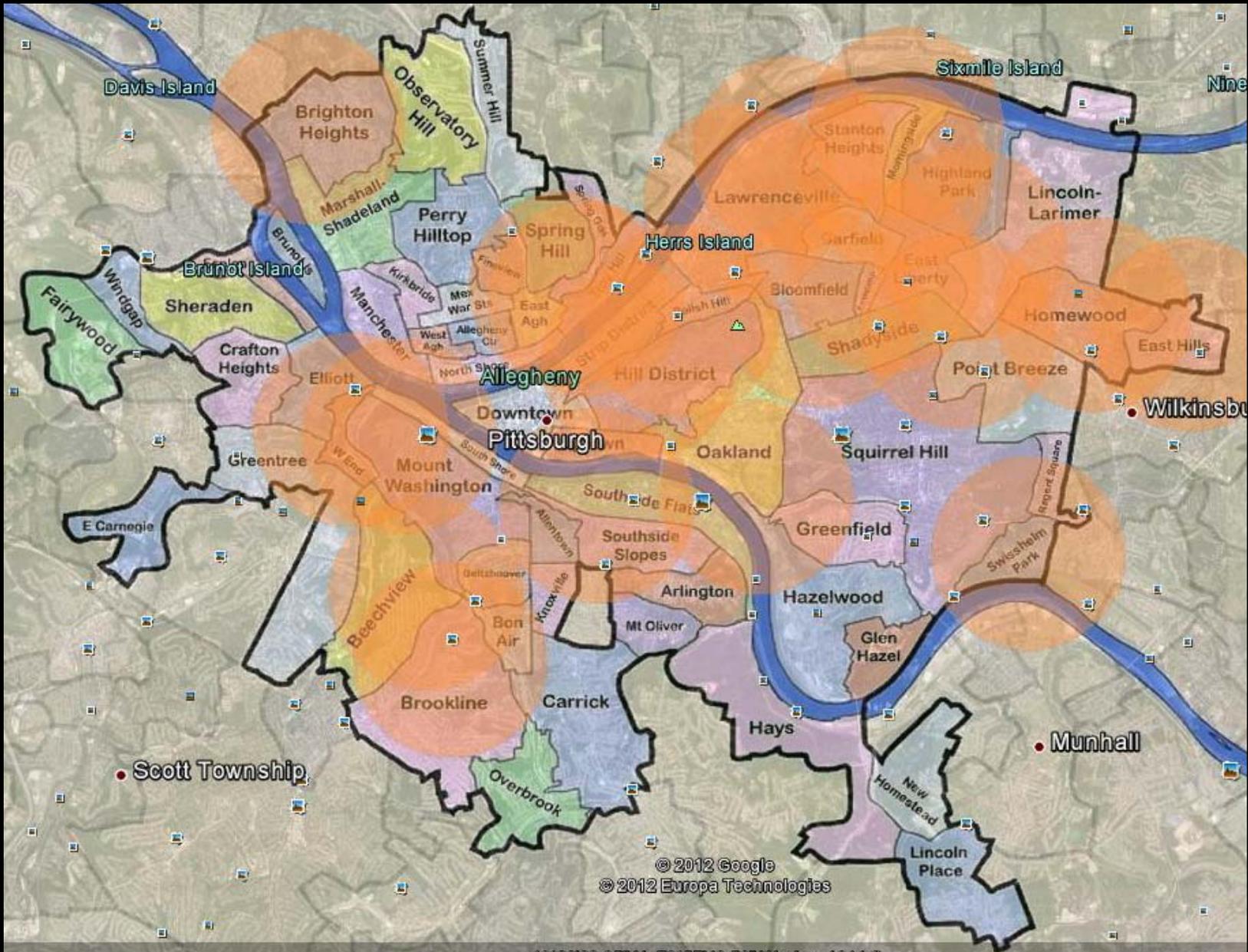
# Analysis - Facilities (Tennis)



# Analysis - Facilities (Pools)

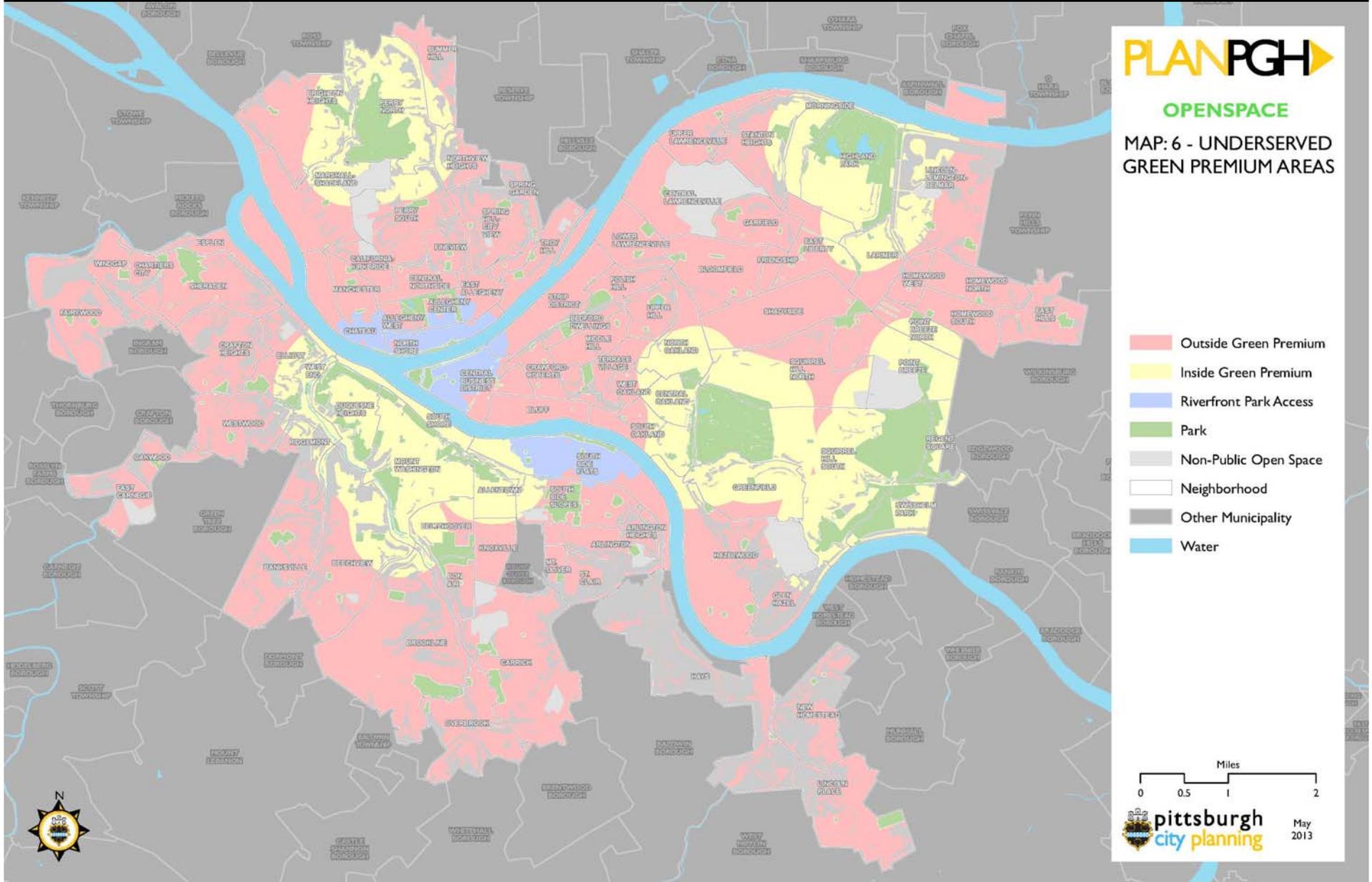


# Analysis - Facilities (Spray)





# Analysis - Economic Values

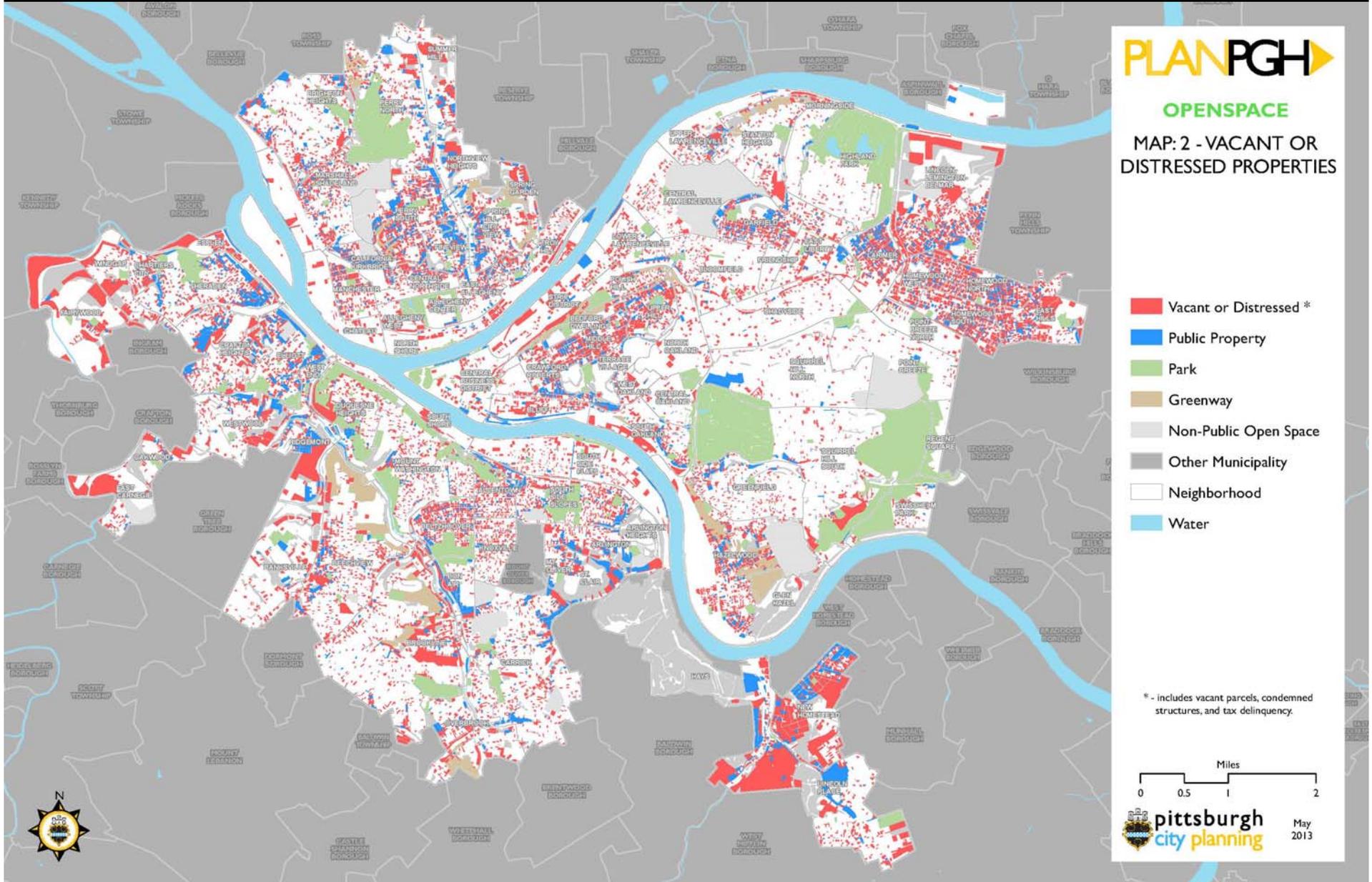


# Needs Assessment Highlights

- Good availability of open spaces and parks
  - But not for everyone
  - Benefits of regional parks not shared by all
  - “Official” open space not available to all
- Differences in quality by location and park type
  - Neighborhood and special use parks
  - Lower income or African-American neighborhoods
- Many “typical” recreation facilities
  - Distribution may be uneven
  - “Big ticket” facilities are aging, inflexible



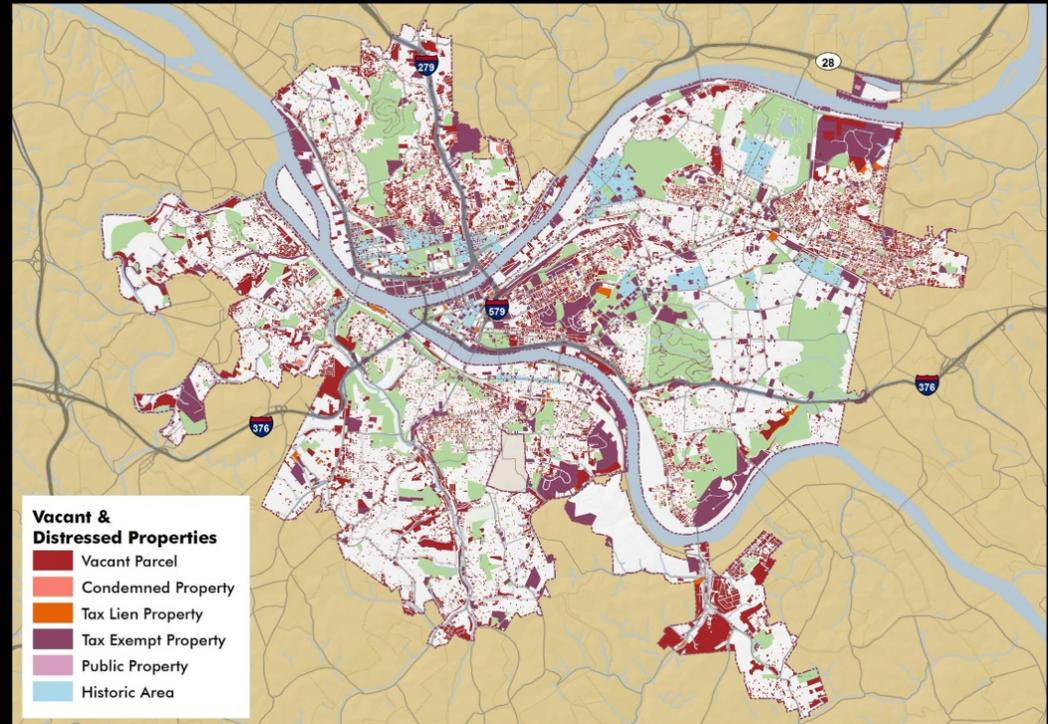
# Analysis - Suitability of Vacant Land



# Suitability Analysis Summary

By the numbers...

- 5,603 acres
- 35,040 parcels
- 18.7% of Pittsburgh



- A "Coarse Screen"
- Competing ideas for some land
  - Riverfront Park vs. Redevelopment
  - Community Garden vs. Green Infrastructure

# Suitability Analysis Categories

- Parks (Regional, Community, Neighborhood, Riverfront)
- Community Gardens / Urban Agriculture
- Urban Forest Production
- Greenway / Habitat
- Redevelopment
- Neighborhood / Transportation Support
- Energy Production
- Green Infrastructure / Stormwater Management
- Watershed Quality
- Trail Connections / Linkages



What did that public input and analysis  
turn into?

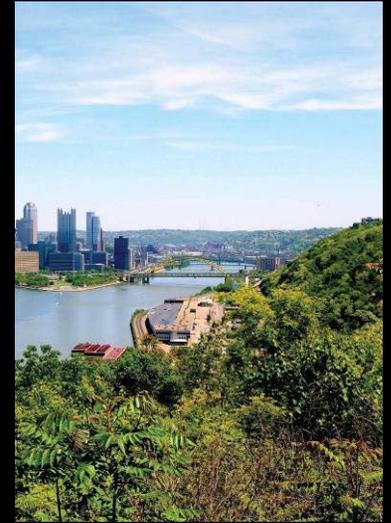
# OpenSpacePGH Goals

- TRANSITION to the right size and mix of opportunities and resources.
- INTEGRATE natural resources into the system.
- ACTIVATE people and place according to their changing needs and desires.
- STEWARD the system with greater innovation and collaboration.
- DOCUMENT progress towards these goals.



# Transition

- Investments in existing parks
- Repurposing land and parks
- Phasing out and removing facilities
- Increasing equity by focusing on underserved neighborhoods
- Filling gaps with new parks or open spaces
- Enhancing Regional Parks
- New Riverfront Parks



# Transition Programs / Activities

- Strategic investment in new facilities

- Diversifying play experiences
- Regional sports complex / Fields
- Regional-scale special events venue
- More outdoor recreation opportunities
- More spray parks



- Renewed and more sustainable approach to existing facilities

- Rebuilt community centers
- Renewed swimming pools

- Transitioning Vacant Land

- Vacant Lot Toolkit
- Vacant Land Project Funding



# How does this apply to neighborhoods?

- Individual Park Recommendations

- Riverfront Parks
- Regional Parks
- Community Parks
- Neighborhood Parks
- Changes to Neighborhood Parks
- New Neighborhood Parks or other methods to provide public open space (Plaza Program, Pavement-to-Parks)



- Park Facility Recommendations

- Fields; Pools; Courts; Dog Parks; Spray Parks; Play Areas

- Vacant Land Strategies

- Suitability Analysis
- Temporary Reclamation
- Community Projects



**Southside Park**

Figure G20: Southside Park



**Sector 7 - Southside/Hilltop East**

Southside Park (57.5 ac.) is located in the South Side Slopes neighborhood (15203), and is mostly undeveloped forested hillside. The site contains upper and lower areas of flat land: the lower area has a lighted rectangular field and the upper area has a ball field. The park lacks a formal entrance and parking, and has unrealized potential given its location and large size.

**Recommendation:**

**REDEVELOP**

- Designate this site as a signature community park.
- Develop a master plan for future development of this park as a community park with a trails and outdoor recreation focus. Consider incorporating Arlington Park into this master plan effort.
- Develop a network of multi-use trails with varying levels of difficulty and multiple trailheads.
- Adventure recreation should be considered at the lower section of this park due to its topography, entrance, and proximity to the Carson Street business district.
- Provide on-site parking – consider locating it off South 21<sup>st</sup> Street.

**Friendship Park**

Figure G32: Friendship Park



**Sector 12 - Upper East End**

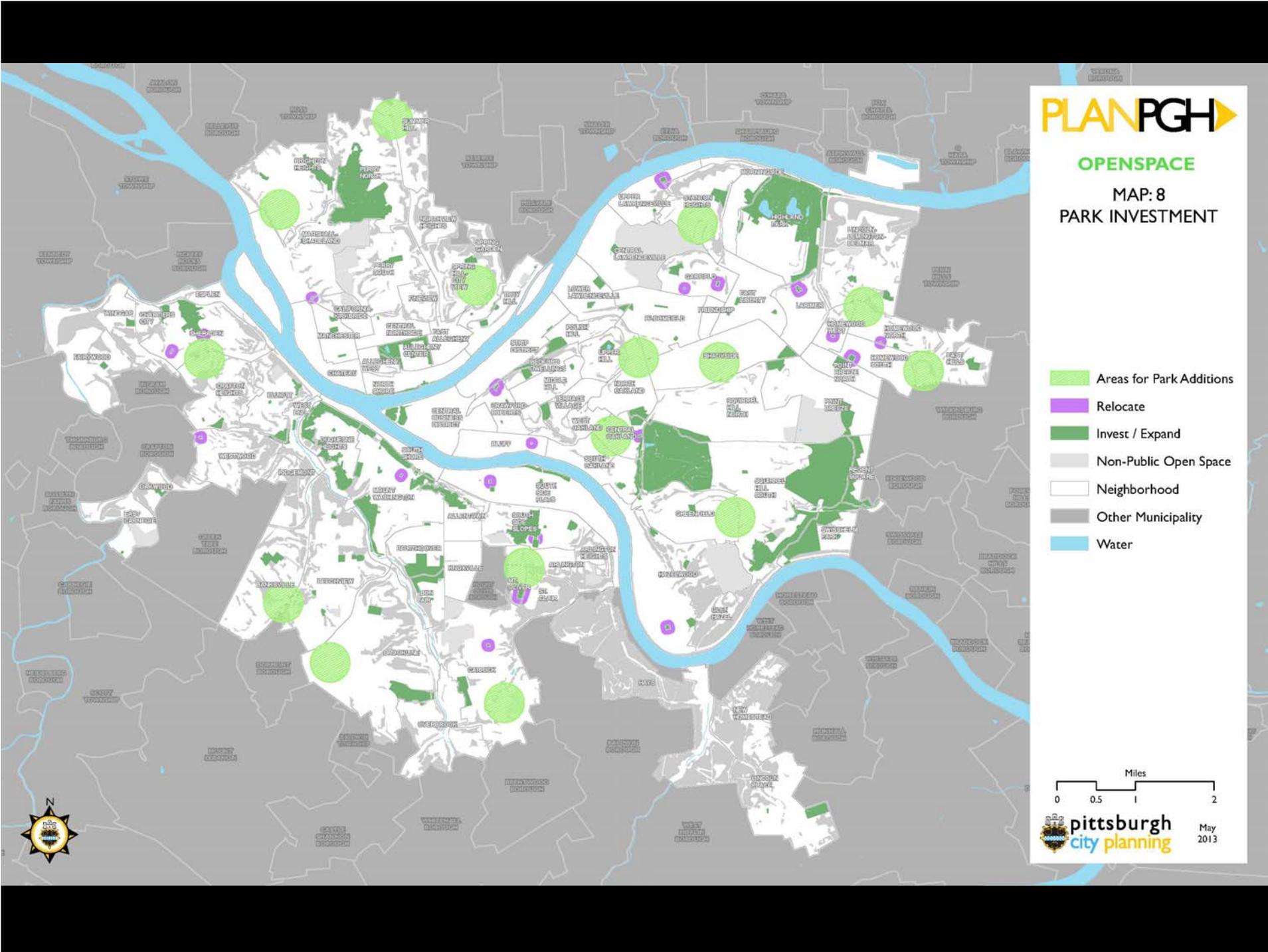
Friendship Park (2.0 ac.) is located in the neighborhood of Bloomfield (15232), situated across Friendship Avenue from Western Pennsylvania Hospital. The park is a landscaped green space forming a wide median in the Friendship Ave. couplet. Friendship Park is formal in layout, with an internal pathway system, seating and plazas. The Bloomfield Development Corporation completed a Neighborhood Vision Plan in October 2010, which noted the small amount of land devoted to park uses in the area. Friendship Park is located in close proximity to high density low income households and serves as their only neighborhood park. Though it is an attractive space, it does not currently fulfill the neighborhood park function with active recreation spaces. Since there are no opportunity sites in the ¼ mile vicinity to provide a new neighborhood park, Friendship Park needs to fulfill this function.

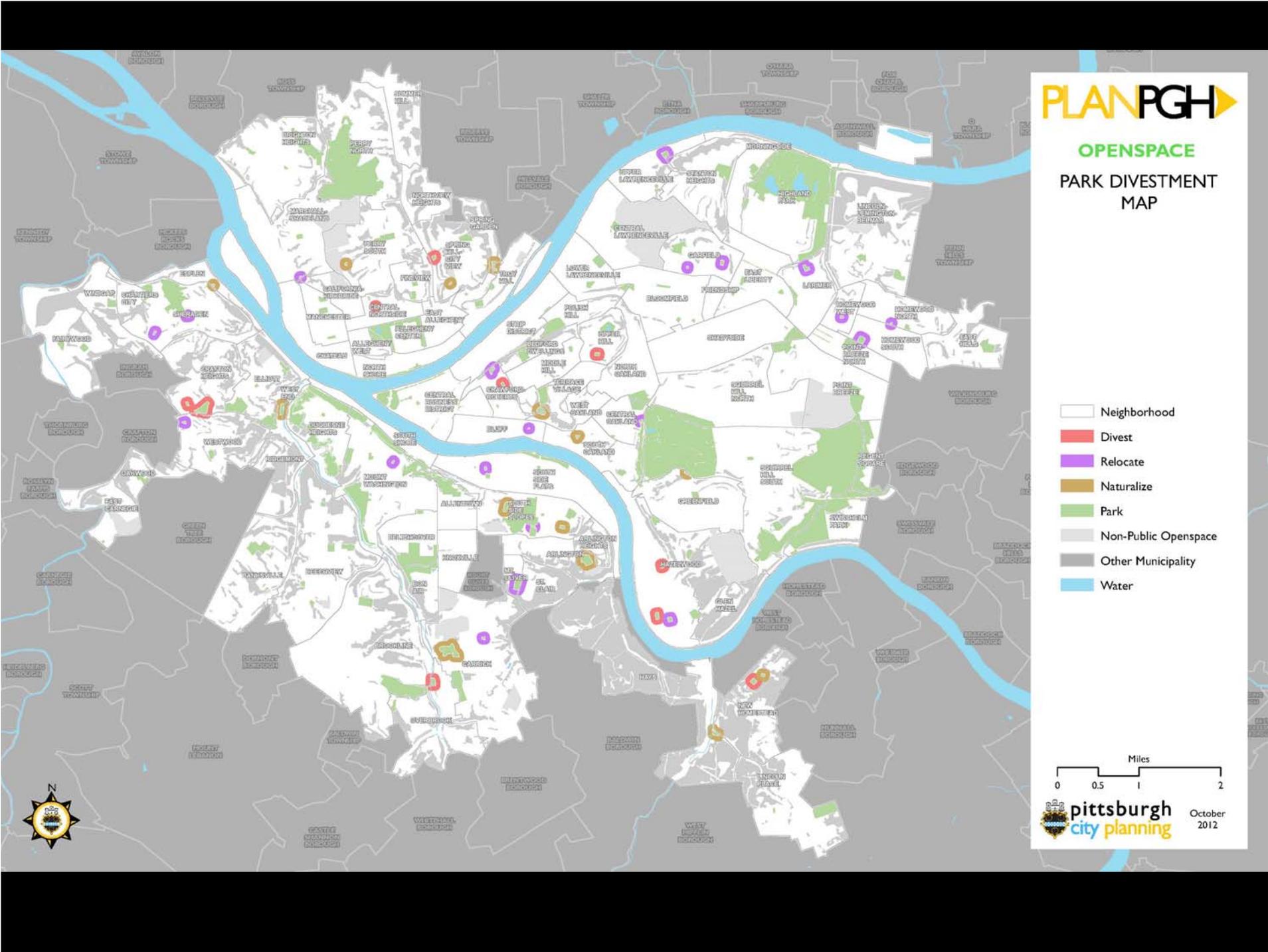
**Recommendation:**

**INVEST**

- Add appropriately designed urban neighborhood park features to improve the variety of experiences at Friendship Park. Any new features should be designed and laid out to respect the formal, urban character of the site. Urban parks such as Madison Square Park in New York City, the North Park Blocks in Portland, or even private squares in the South End of Boston provide examples of formal urban park spaces that gracefully incorporate active recreation features in a context-appropriate manner.
- Include a children's play area, customized for this formal space.
- Consider adding basketball (unfenced), bocce or other small scale active recreation facilities.
- A spray park could be considered as an option for this site. Due to the formal park layout, a spray park at this location should take the form of a plaza with water jets that can be turned off and on.
- Develop and implement a tree replacement plan in advance of the eventual decline of the existing mature canopy.
- Address the issues identified in the Neighborhood Vision Plan.

- Areas for Park Additions
- Relocate
- Invest / Expand
- Non-Public Open Space
- Neighborhood
- Other Municipality
- Water





# PLAN PGH

## OPENSOURCE

### PARK DIVESTMENT MAP

- Neighborhood
- Divest
- Relocate
- Naturalize
- Park
- Non-Public Openspace
- Other Municipality
- Water



# How does this apply to neighborhoods?

- Individual Park Recommendations
  - Riverfront Parks
  - Regional Parks
  - Community Parks
  - Neighborhood Parks
  - Changes to Neighborhood Parks
  - New Neighborhood Parks or other methods to provide public open space (Plaza Program, Pavement-to-Parks)
- Park Facility Recommendations
  - Fields; Pools; Courts; Dog Parks; Spray Parks; Play Areas
- Vacant Land Strategies
  - Suitability Analysis
  - Temporary Reclamation
  - Community Projects



FIELD to be  
ADDED

FIELD to be  
ELIMINATED



# How does this apply to neighborhoods?

- Individual Park Recommendations

- Riverfront Parks
- Regional Parks
- Community Parks
- Neighborhood Parks
- Changes to Neighborhood Parks
- New Neighborhood Parks or other methods to provide public open space (Plaza Program, Pavement-to-Parks)



- Park Facility Recommendations

- Fields; Pools; Courts; Dog Parks; Spray Parks; Play Areas

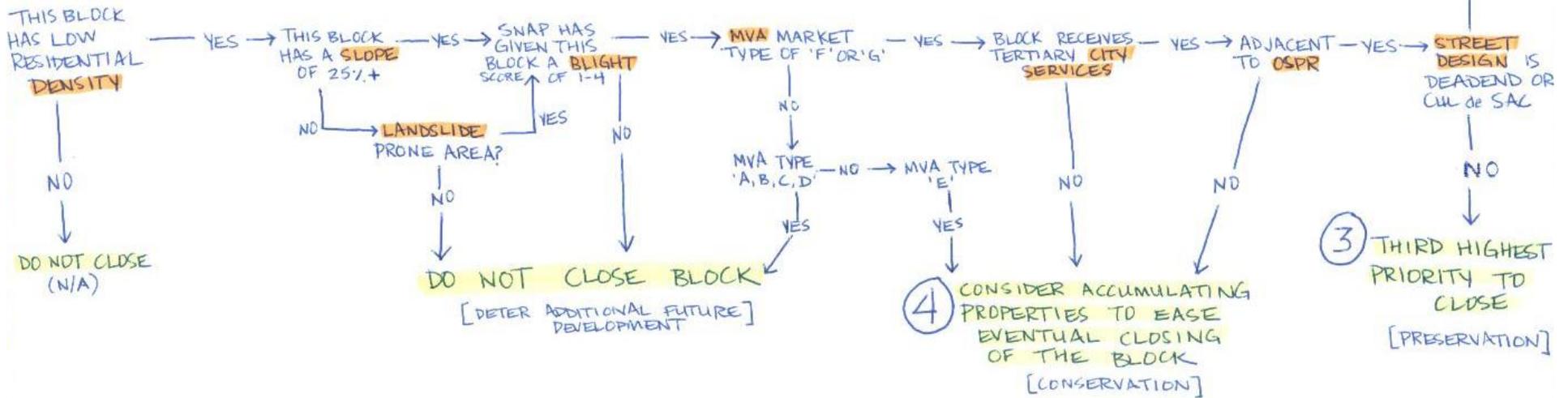
- Vacant Land Strategies

- Suitability Analysis
- Temporary Reclamation
- Community Projects
- Managing Hillside Development



# ASSESSING HILLSIDE BLOCKS TO POTENTIALLY TAKE OFF CITY GRID

**FACTORS** to consider  
**STRATEGY** suggestion



- OTHER FACTORS TO CONSIDER:
- N'HOOD POPULATION TRENDS
  - SOIL CONDITIONS
  - ZONING OVERLAY DISTRICTS
  - STRUCTURAL DENSITY











# Integrate Policies

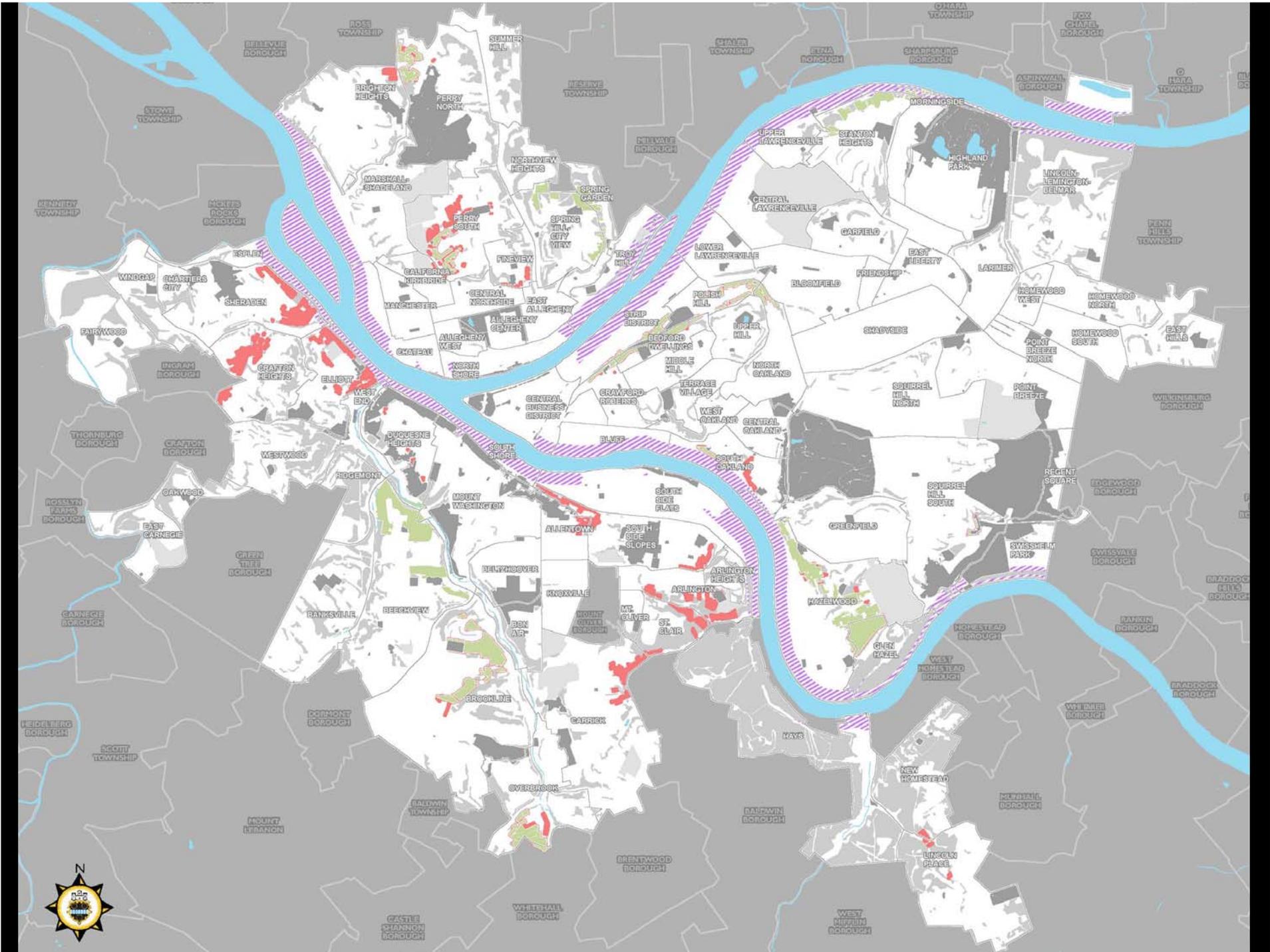
- Healthy rivers and streams
- Maximized stormwater management potential
- Hillside, view and scenic resource protection
- Enhanced urban forest
- Ecologically healthy system
- Trails and connections



# Integrate Programs / Activities

- Enhance Parks, Open Space, and Green Infrastructure
  - Green Infrastructure / Stormwater Management, Hillside Regulation, Riverfront Access, Partnership Development
- Provide More Non-Motorized River Access
- Enhancing Urban Forestry Program
- Natural Resource Manager (Conservation, Invasives)
- Expanding and Enhancing Greenways
- Managing Invasive Species
- Update Signage / Wayfinding
- Expand Multi-Use Trails
- Develop Network of Hiking Trails





# What does this mean for Greenways?

## **New Greenways (long-term):**

- Partnerships between community groups and City on assembling continuous hillside properties
- Trail building partnerships

## **Existing Greenways (short term):**

- Filling gaps, vacating streets
- Encourage usage (trail building) to deter unwanted activities and encourage stewardship



# Activate Policies

- Enhanced and culturally relevant community outreach
- Recreation Programming
  - Direct provider and Facilitator
  - Customized, locally focused recreation programs
  - Programs that support active living, fitness, social engagement and cultural understanding
  - Programs and facilities to connect people with nature
- Activate spaces through design



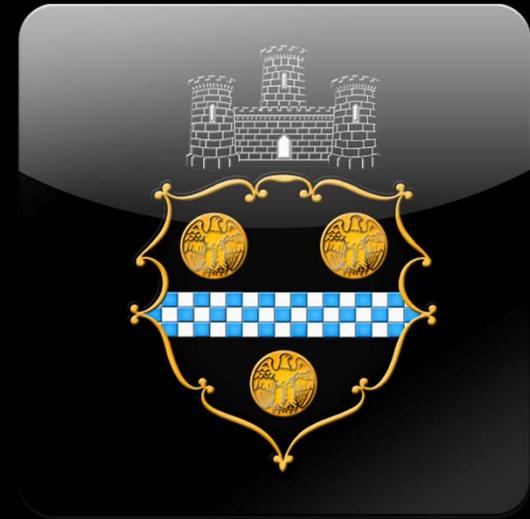
# Steward Programs / Activities

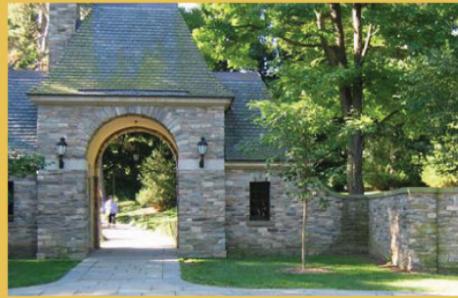
- Growing Partnerships with Outside Agencies
- Reinstating a Park Ranger Program
- Expanding Asset Management Program
- Enterprise and Funding Development Manager
- Vacant Lands Coordinator
- Initiatives to Retain Talent



# Document Policies

- Unified data collection / management
- Data-driven decisions
- Land use & zoning code updates
- OpenSpacePGH progress reporting





Where do we go from here?

# Public Process in 2013

- OpenSpace Community Conversations (Jan thru Apr)
  - 14 meetings representing 17 neighborhoods
  - ~400 attendees
  - Generally supportive of OpenSpacePGH's direction
  - Questions on funding (esp. larger park projects)
  - Questions on sequencing
  - Groups want to chip in and get involved



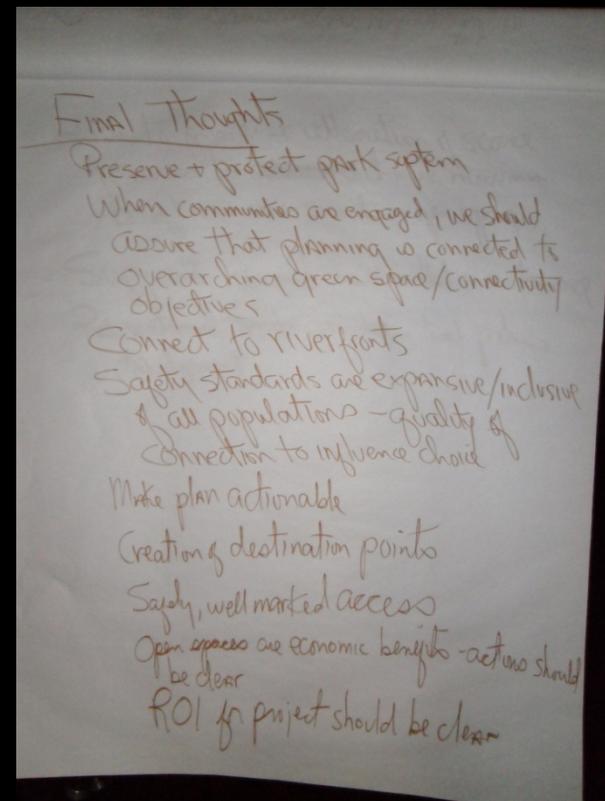
# Public Meetings and Review Process

- Five Public Meetings (May 7-15)
  - Hill District, Larimer, Knoxville, Oakland, Northside
  - Overview; “Using the Plan” intro; setting regional priorities
  - More informational in nature



# Public Meetings and Review Process

- 30-Day Public Review of Draft (Online, Libraries)
  - Comments received and incorporated into final draft
- Planning Commission Hearing & Action – July 9



# Where do we start?

- Creating Pittsburgh model of “Pavement-to-Parks”
- Continue to build partnerships
- Vacant Lot Toolkit
  - Partially funded, pursuing additional funds (DCNR)
- Fundraising from a strategy for big ticket items
- Community meetings over divesting / naturalizing parks
  - Help free up City / DPW resources for parks being used



# PLAN PGH ▶



open space, parks  
and recreation





**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**ZONING APPLICATION**

The Zoning Application can be used for the following:

- New Construction of a 1-Family or 2-Family Dwelling;
- Repairs, Alterations, Additions to, and/or Extensions of either a 3-Family or larger Residential Dwelling or a Non-Residential Structure.

**PROPERTY OWNER/APPLICANT INFORMATION**

Property Owner Name: <u>PMC PROPERTY GROUP</u>		Phone Number: <u>(215) 241-0700</u>	
Address: <u>1411 WALNUT STREET</u> City: <u>PHILADELPHIA</u>		State: <u>PA</u>	Zip Code: <u>19102</u>
Applicant/Company Name: <u>STRADA ARCHITECTURE</u>		Phone Number: <u>(412) 263-3800</u>	
Address: <u>975 LIBERTY AVE.</u> City: <u>PITTSBURGH</u>		State: <u>PA</u>	Zip Code: <u>15222</u>
Applicant/Contractor ID: (assigned by the City)			

**PROJECT INFORMATION**

**Address where Work will Occur:** 435 6<sup>th</sup> AVENUE

**Location of Work:** PITTSBURGH, PA

**If a Certificate of Occupancy exists, the following is required:**

Certificate of Occupancy#: \_\_\_\_\_ Date Issued: \_\_\_\_\_ Existing Use of Property: \_\_\_\_\_

Estimated Construction: Start Date: / / T.B.D. Occupancy Date: / / T.B.D. Project Cost: \$ T.B.D.

**Check the appropriate structure type:**

<input type="checkbox"/> Residential, 1-Family Dwelling	<input checked="" type="checkbox"/> Non-Residential
<input type="checkbox"/> Residential, 2-Family Dwelling	
<input type="checkbox"/> Residential, 3-Family or Larger Dwelling	

**Select the Type(s) of Work from the following categories:**

<input type="checkbox"/> <b>New Construction of:</b>	<input type="checkbox"/> <b>Addition to or</b> <input type="checkbox"/> <b>Extension of:</b>	<input checked="" type="checkbox"/> <b>Alteration or</b> <input type="checkbox"/> <b>Repair Type:</b>
<input type="checkbox"/> 1-Family Dwelling Structure	<input type="checkbox"/> Existing Primary Use Structure	<input checked="" type="checkbox"/> Structural, Interior <input type="checkbox"/> Structural, Exterior
<input type="checkbox"/> 2-Family Dwelling Structure	<input type="checkbox"/> Existing Accessory Structure	<input checked="" type="checkbox"/> Aesthetic, Interior <input checked="" type="checkbox"/> Aesthetic, Exterior

**New Certificate of Occupancy is Needed**

**Describe the Work:** CONVERSION OF FORMER OFFICE BUILDING TO HOTEL AND RESTAURANT.

**Provide the Square Footage (sq. ft.) of each of the items listed below, even if the answer is zero:**

Lot Area: <u>20,600 SF</u>	Existing Structure to be Retained: <u>191,400 S.F.</u>
Building Footprint: <u>20,600 SF</u>	Retained Space to be Renovated/Altered: <u>191,400 S.F.</u>
Existing Structure to be Razed: <u>0</u>	New Structure to be Constructed: <u>0</u>

	EXISTING		PROPOSED	
	Stories	Feet	Stories	Feet
Main Structure	<u>9 + BASEMENT</u>	<u>150'-0"</u>	<u>SAME</u>	<u>SAME</u>
Proposed Addition/Extension				
Accessory Structure:				
Accessory Structure:				
Accessory Structure:				

**On-Site Parking:** New Total Number of Spaces After Work is Complete: N/A

**Please check any of the following items that will be part of the proposed work:**

<input checked="" type="checkbox"/> Demolition	<input checked="" type="checkbox"/> Electrical	<input checked="" type="checkbox"/> Fire Alarm	<input checked="" type="checkbox"/> Fire Protection/Sprinklers
<input checked="" type="checkbox"/> HVAC (Interior)	<input checked="" type="checkbox"/> HVAC (Exterior)	<input checked="" type="checkbox"/> Commercial Cooking Hood	<input type="checkbox"/> N/A

**Please check** the following items that pertain to any work proposed on private plumbing: (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing  New Construction of Plumbing  No plumbing work is proposed

**Applicant will be applying for Visitability Tax Credit?**  Yes  No