



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Point Park University		Phone Number: (412) 391-4100	
Address: 201 Wood St.	City: Pittsburgh	State: PA	Zip Code: 15222
2. Applicant/Company Name: Mosities Const. Co.		Phone Number: (412)923-2255	
Address: 4839 Cambells Run Rd., Pittsburgh		State: PA	Zip Code: 15205
Applicant/Contractor ID:(assigned by the City) BL-000644			
3. Development Name: Academic Thayer Hall			
4. Development Location: between 3rd Ave & Boulevard of the Allies @ Wood St.			
5. Development Address: 205 Wood St., Pittsburgh, PA 15222			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: Jan. 2014	Occupancy Date: Aug. 2014	Project Cost: \$ 10,000,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Dormitory, Educational Classroom space (general), Office (general)

10. Select the Type of Work:

<input type="checkbox"/> New Construction, New	<input type="checkbox"/> Renovation, Interior
<input type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use

11. Describe the Development:

New rooftop generator & generator enclosure to be constructed atop existing 2 story building for Life Safety upgrades to Academic Thayer Hall.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	0	sq ft
Existing to be Retained:	181,720	sq ft
Retained Area to be Renovated:	30,000	sq ft
To be Constructed:	1,800	sq ft
Building Footprint:	21,050	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	10	123'-10"		
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				
Library Stacks Building	3	29'-4"	2	20'-4"

16. Number of Dwelling Units:
 Existing to Remain: 60 Proposed: 28

17. Lot Area: 24,000 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm

Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<input style="width: 50px; text-align: center;" type="text" value="0"/> New Water Service Connection(s)	<input style="width: 50px; text-align: center;" type="text" value="0"/> Termination of Existing Water Service Tap(s)
<input style="width: 50px; text-align: center;" type="text" value="0"/> New Sewer Service Connection(s)	<input style="width: 50px; text-align: center;" type="text" value="0"/> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



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Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



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DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html

NOTE: ALL SIGNATURES MUST BE MADE WITH A BLACK FELT TIP PEN



REVISION OF MARKET SQUARE PLAN No 1
P B VOL 122 p 56-57

PARCEL "A" PARCEL "B"

4 STORY GLASS & MASONRY BUILDING

6 STORY GLASS & MASONRY BUILDING

N 27°07'47" E

120.40'

2 STORY MASONRY BUILDING

New generator & enclosure

10 STORY MASONRY BUILDING

COLONEL WOOD'S PLAN OF PITTSBURGH UNRECORDED

LOT No 1

8 STORY BRICK & MASONRY BUILDING

8 STORY BRICK FRAME & PERMA-STONE BLDG No 212 (TO BE RAZED)

N 63°49'13" W 200.97'

N 63°49'13" W 200.96'

THIRD AVENUE 48.05'

N 27°07'07" E

40.06'

N 27°07'07" E 120.40'

WOOD STREET 60.07'

1ST FLOOR SKYWALK

NOTES:

- All distances referred to on this Plan are U.S. Standard.
- All construction and use is required to be in accordance with the law and with approved development plans on file with the City of Pittsburgh. It is understood and agreed that such development plans on file exist for the purpose of public regulation and do not establish any private rights, duties, easements, servitudes or covenants.
- Being a resubdivision of BLOCK 1-N LOTS 93,102,106,109 & 114 in the Allegheny County Block and Lot System
- Interior structure lines shown thus ---- are shown for convenience of reference only and are approximate.
- Courses and coordinates referred to on this Plan were obtained by interpolation using existing coordinate values of existing DPW monuments shown on the PPP Place Plan of Lots, Plan Book Volume 128 p 20-33

KNOW ALL MEN BY THESE PRESENTS, That Point Park College, a Corporation incorporated under the laws of the Commonwealth of Pennsylvania, does hereby adopt this Plan as its Plan of Lots of its property, situate in the 1st Ward, City of Pittsburgh, County of Allegheny, Commonwealth of Pennsylvania.

In witness whereof, the undersigned Officers for said Corporation have hereunto set their hands and seals this 23rd day of January 1998.

Katherine L. Stead President
[Signature] Secretary

COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF ALLEGHENY)

Before me, the subscriber, a Notary Public in and for said Commonwealth and County personally appeared *Katherine L. Stead* the President of Point Park College, who being duly sworn deposed and saith that (he, she) was personally present at the execution of the adoption, release and dedication and saw the common and corporate seal of said corporation duly affixed and that the above release and dedication was duly signed and sealed by and as for the act and deed of the said Point Park College, for the uses and purposes therein mentioned and that the name of this deponent subscribed to the said release and dedication as President of said corporation, in attestation of the due execution and delivery of said release and dedication is this deponent's own and proper respective handwriting.

Katherine L. Stead
President

Sworn and subscribed before me this day,

WITNESS MY HAND AND NOTARIAL SEAL THIS 23rd day of January 98

Notary Seal
Howard T. Gillman, Notary Public
Pittsburgh, Allegheny County
My Commission Expires July 8, 2000

WE, Point Park College, owners of this Plan do hereby certify that the title of this property is in the name of Point Park College as recorded in Deed Book Volume 3529 p 45; 4290 p 385; 4622 p 331 & 9451 p 256. We further certify that there is no mortgage, lien or encumbrance against this property.

[Signature]
Secretary

I, Jeffrey G. Puskar, a Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify, to the best of my knowledge, information and belief, that this plan correctly represents the lots, lands, streets and highways as surveyed and plotted by me for the owners or agents.

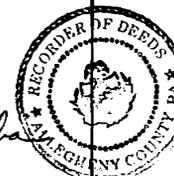
DATE JEFFREY G. PUSKAR SU-046302-E

COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF ALLEGHENY)

Recorded in the Recorders Office for the recording of deeds, plans etc., in said County in Plan Book Volume 207 page 39

Given under my hand and seal this 11th day of February 1998

Michael A. Bell
Recorder



TOTAL PLAN AREA= 0.555 ACRES OR 24,192.46 S.F.
IMPROVEMENT SUBDIVISION SITE PLAN
POINT PARK JUNIOR COLLEGE

SITUATE IN
1ST WARD, CITY OF PITTSBURGH, ALLEGHENY CO., PA

PREPARED FOR
POINT PARK JUNIOR COLLEGE
BEING A RESUBDIVISION OF PART OF LOT 281 AND ALL OF LOTS 282, 283 AND 284 IN THE COLONEL WOOD'S PLAN OF PITTSBURGH UNRECORDED

DECEMBER 1997
0' 20' 40' 60' 1"=20'

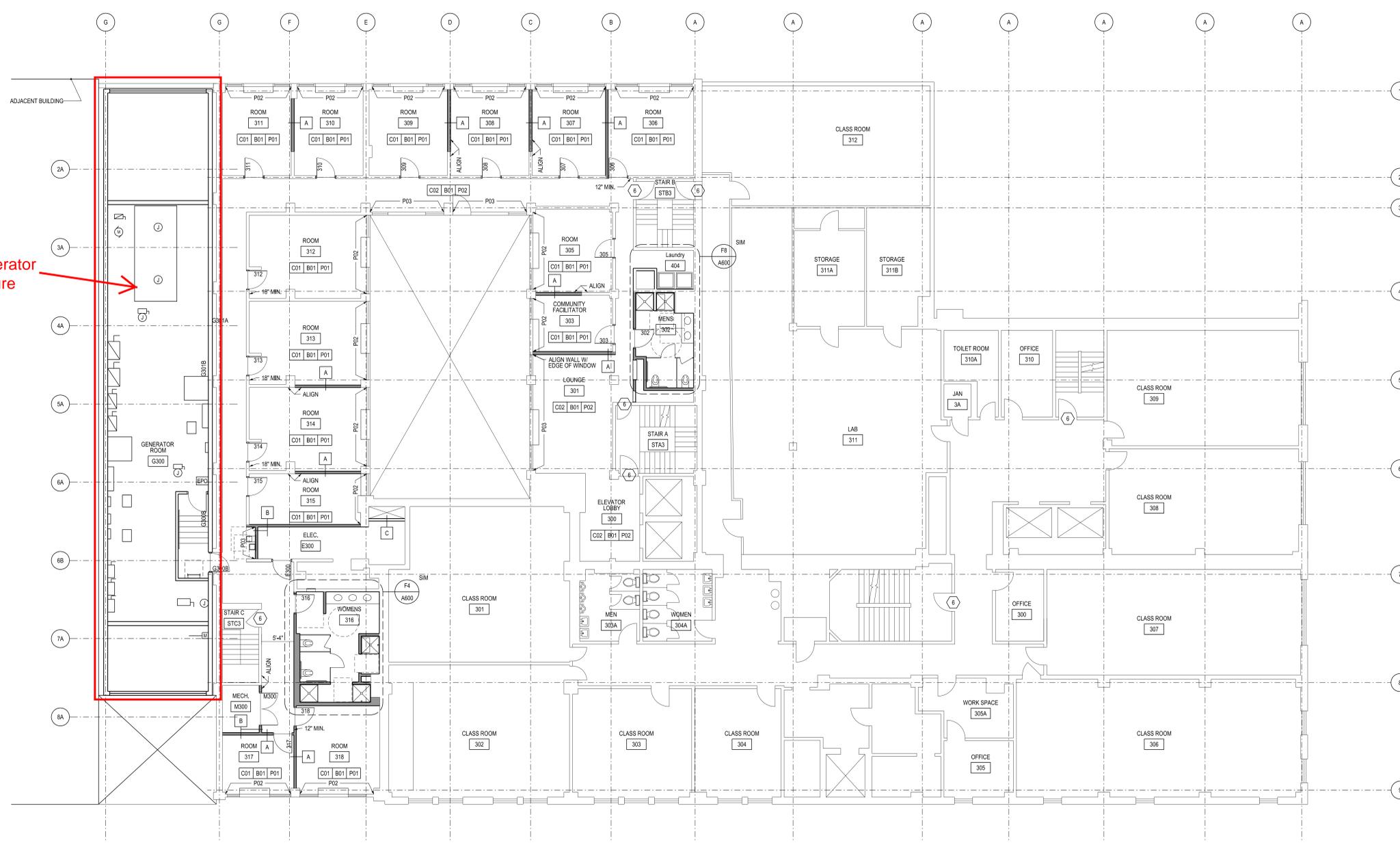
PREPARED BY
JEFFREY G. PUSKAR
PROFESSIONAL LAND SURVEYOR
106 HIDDEN VALLEY CIRCLE
PITTSBURGH, PENNSYLVANIA 15227
(412)-698-8467

CITY OF PITTSBURGH
DEPARTMENT OF CITY PLANNING
APPROVED FEBRUARY 10, 1998

CITY PLANNING COMMISSION

CHAIRPERSON

ATTEST: *[Signature]*
SECRETARY



New generator & enclosure

E1 THIRD FLOOR PLAN
1/8"=1'-0"

FINISH LEGEND

CARPET C01 MANUF: PSYCHEDELIC COLLECTION: INTERFACE FLOR STYLE #: CHELLE WARP COLOR: 146102900 FINISH: 1433 RETROSPECTIVE SIZE: 50 CM X 90 CM INSTALL: QUARTER TURN	PAINT P01 MANUF: SHERWIN WILLIAMS COLOR: WESTHIGHLAND WHITE NUMBER: SW 7566 FINISH: EGGSHHELL	TILE T01 MANUF: DALTILE SERIES: CITY VIEW COLOR: DISTRICT GOLD CY03 SIZE: 12 X 12	GROUT G01 MANUF: CUSTOM BLDG. COLOR: PRODUCTS LOCATION: 145 LIGHT SMOKE FLOOR & WALL TILE
C02 MANUF: REISSUED COLLECTION: REDO STYLE #: 12320250H COLOR: 894 CHROME SIZE: 50 CM X 90 CM INSTALL: BRICK	P02 MANUF: SHERWIN WILLIAMS COLOR: URBAN PUTTY NUMBER: SW 7532 FINISH: EGGSHHELL	T02 MANUF: DALTILE SERIES: CITY VIEW COLOR: DISTRICT GOLD CY03 SIZE: 12 X 24	ELASTIC LAMINATE P11 MANUF: FORMICA COLOR: XXX
BASE B01 MANUF: JOHNSONITE COLOR: 28 MEDIUM GREY	P03 MANUF: SHERWIN WILLIAMS COLOR: RAIN NUMBER: SW 6210 FINISH: EGGSHHELL	SOLID SURFACE S01 MANUF: CORIAN SERIES: TERRA COLLECTION COLOR: FAWN SIZE: 1/2"	SHOWER SURROUND S01 MANUF: SILESTONE COLOR: BAMBOO SLAB
	P04 MANUF: SHERWIN WILLIAMS COLOR: CEILING BRIGHT WHITE NUMBER: SW 7007 FINISH: FLAT ALL CEILINGS U.O.N.		

KEYNOTES

- 1 REINSTALL SALVAGED DOOR & JAMB TO ACCOMMODATE RAMP
- 2 MODIFY EXISTING DOOR & JAMB TO ACCOMMODATE RAMP
- 3 RAISE FLOOR TO ACCOMMODATE RAMP
- 4 REMOVE CEILING & REINSTALL NEW CEILING 12" HIGHER
- 5 COORDINATE SHAFT WALLS WITH THROUGH FLOOR PENETRATIONS. ALL THROUGH PENETRATIONS TO BE UL APPROVED ASSEMBLY.
- 6 REINSTALL STAIR ENCLOSURE AND REQUIRED ASSEMBLIES AS REQUIRED AFTER INSTALLATION OF FUEL PUMP STORAGE.
- 7 INSTALL NEW DOOR PERIMETER SEALS & THRESHOLDS ON EXISTING DOORS AS REQUIRED TO ACHIEVE TIGHT SEAL IN ALL STAIR DOORS
- 8 MINIMALLY ENCLOSE MEP ROUTING AS REQUIRED. FINISH TO MATCH ADJACENT SURFACES.
- 9 PATCH & REPAIR AS REQUIRED TO FINISH SMOOTH & FLUSH TO ADJACENT SURFACES AS REQUIRED BY DEMOLITION WORK.
- 10 PROVIDE NEW FINISHES IN THIS AREA. FINISHES ARE TO MATCH EXISTING FROM ADJACENT SPACES.
- 11 PROVIDE EPOXY PAINTED FLOOR IN THIS AREA. WALLS ARE TO BE PAINTED.

GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS AND/OR SPECIFICATIONS FOR CLARIFICATION.
3. FIELD VERIFY ALL DIMENSIONS AND JOB CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DEVIATIONS FROM THE DRAWINGS.
4. DIMENSIONS INDICATED ON DRAWINGS ARE TO THE FINISHED FACE OF TILE AND OTHER FINISHES.
5. HOLD ALL CRITICAL AND CLEAR DIMENSIONS. NOTIFY ARCHITECT IF ANY DIMENSIONS CANNOT BE MET.
6. GENERAL CONTRACTOR TO VERIFY EXISTING PARTITION TYPES PRIOR TO CONSTRUCTION.
7. WORK PERFORMED IN CONNECTION WITH THESE DRAWINGS AND SPECIFICATIONS SHALL BE IN STRICT COMPLIANCE WITH THE BUILDING RULES, REGULATIONS AND STANDARDS.
8. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH EXISTING CONDITIONS.
9. COORDINATE ALL INTERIOR ARCHITECTURAL DRAWINGS AND SPECIFICATIONS WITH MEP DRAWINGS AND SPECIFICATIONS.
10. GENERAL CONTRACTOR SHALL VISIT THE SITE AND BECOME COMPLETELY FAMILIAR WITH EXISTING CONDITIONS PRIOR TO SUBMITTING THEIR BID PRICE. BIDDERS SHALL HAVE SUFFICIENT EXPERTISE IN THIS TYPE OF CONSTRUCTION TO REALIZE THE EXTENT OF THE WORK REQUIRED. NO EXTRA CHARGE SHALL BE ALLOWED AS A RESULT OF EXISTING CONDITIONS.
11. WORK PERFORMED IN CONNECTION WITH THESE DRAWINGS AND SPECIFICATIONS SHALL BE IN STRICT COMPLIANCE WITH PERTINENT CODES, RULES, ORDINANCES AND REGULATIONS OF THE LOCAL, STATE, AND FEDERAL GOVERNING AUTHORITIES AND BE ADA COMPLIANT.
12. GENERAL CONTRACTOR SHALL OBTAIN AND BEAR THE COST OF ALL PERMITS, SEALED DRAWINGS, APPROVALS AND INSPECTIONS REQUIRED TO BUILD SPACE, ACCORDING TO FINAL PLANS AND SPECIFICATIONS.
13. ALL WORK AREAS ARE TO HAVE FIRE EXTINGUISHERS SUPPLIED BY GENERAL CONTRACTOR.
14. COORDINATE WORK DEPICTED ON THIS SHEET WITH ALL DISCIPLINES INCLUDING BUT NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE ALARM SYSTEMS, PLUS OWNER'S SECURITY AND A.V. VENDORS.
15. INFILL REMAINING FLOOR OPENINGS AT TOILET AND SHOWER DRAIN PENETRATIONS FOLLOWING FIXTURE DEMOLITION WITH NON-SHRINK GROUT FULL DEPTH OF FLOOR SLAB WITH BOLTED STEEL PLATE AT UNDERSIDE OF SLAB.
16. RESTORE CEILING FINISHES AT FLOOR BELOW LOWEST AFFECTED WORK AREA.
17. REPAIR AND/OR PAINT ANY DAMAGED AREAS AROUND NEW DOOR FRAMES AND WATER COOLERS TO MATCH ADJACENT EXISTING CONSTRUCTION.
18. REFER TO SHEET A600 FOR TOILET ACCESSORY SCHEDULE & TYPICAL MOUNTING DIMENSIONS.
19. CONTRACTOR TO VERIFY ALL PLAN LOCATIONS OF TOILET ROOM FIXTURES WITH OWNER AND THE OWNER'S REPRESENTATIVE.
20. CONTRACTOR TO CUT, PATCH & REPAIR SURFACES ADJACENT TO ALL MECHANICAL, ELECTRICAL, PLUMBING & FIREPROTECTION WORK. SURFACES SHOULD BE FLUSH & MATCH ADJACENT FINISHES IN COLOR & TEXTURE.

PARTITION NOTES

1. NEW PARTITIONS THAT ARE TO ALIGN WITH EXISTING SHALL MATCH ADJACENT EXISTING, UNLESS OTHERWISE NOTED, AND BE BUILT TO PRODUCE CONTINUOUS, SMOOTH FACE. CONTRACTOR SHALL MATCH EXISTING ADJACENT CONSTRUCTION INCLUDING BUT NOT LIMITED TO STUD SIZE, GWB SIZE AND STC RATING.
2. REFER TO SHEET A601 FOR NEW PARTITION TYPES. THE PARTITION TYPES SHOWN ARE INTENDED TO MATCH EXISTING ADJACENT PARTITION TYPES. CONTRACTOR SHALL CONFIRM THAT PARTITION TYPES SHOWN MATCH EXISTING ADJACENT CONSTRUCTION INCLUDING BUT NOT LIMITED TO STUD SIZE, GWB SIZE, STC RATING, AND FIRE RESISTANCE RATING.
3. PARTITIONS ARE TO HAVE DOUBLE STUDS AT ALL DOOR JAMBS, OPENINGS AND CORNERS.
4. PROVIDE 6" CRITICAL DIMENSION BETWEEN DOOR OPENING AND WALL AT HINGE SIDE, UNLESS OTHERWISE NOTED.
5. PROVIDE 18" CRITICAL DIMENSION BETWEEN DOOR OPENING AND WALL AT FULL SIDE OF DOOR, U.O.N. PROVIDE 12" CRITICAL DIMENSION BETWEEN DOOR OPENING AND WALL AT FULL SIDE OF DOOR, U.O.N.
6. PROVIDE F.T.T. WOOD BLOCKING FOR ALL WALL-MOUNTED FIXTURES. COORDINATE LOCATION OF BLOCKING FOR ARCHITECTURAL AND MEP EQUIPMENT, AS REQUIRED.
7. PROVIDE ADEQUATE BLOCKING IN PARTITIONS FOR STALL PARTITIONS.
8. EXISTING MATERIAL OR ITEMS TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED, PATCHED AND REFINISHED TO THE NEAREST INTERSECTION, RESTORING THE SURFACE TO ITS ORIGINAL CONDITION.
9. ALL EXISTING PARTITIONS THAT REMAIN ARE TO BE REFINISHED ACCORDING TO FINISH PLANS. PATCH AND MAKE SMOOTH IN ORDER TO ACCEPT NEW FINISHES. SMOOTH SEAMS AS NECESSARY TO AVOID VISIBLE BUILD-UP BUTT JOINT APPEARANCE.
10. NEW PARTITIONS THAT ARE TO BE ALIGNED WITH EXISTING, SHALL BE BUILT TO PRODUCE CONTINUOUS, SMOOTH FACE.
11. PROPERLY PREPARE ALL SURFACES TO RECEIVE NEW FINISHES. CONTRACTOR IS RESPONSIBLE FOR PROTECTIVE WORK FROM ANY CAUSE, INCLUDING UNSUITABLE AND IMPROPERLY PREPARED SURFACES. ALL MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED.
12. REMOVE ALL EXISTING FLOOR FINISHES AND BASE. COORDINATE, INSPECT, REPAIR AND PREPARE EXISTING FLOORS TO PROVIDE A SATISFACTORY SUBFLOOR FOR NEW MATERIALS. ANY LEVELING CHANGES TO BE CORRECTED AS NECESSARY SO THAT ALL FINISHED FLOORS AND FLOORING TRANSITIONS ARE LEVEL. SUBFLOOR SHOULD BE FREE OF CRACKS, HOLES, RIDGES, COATINGS OR DEFECTS WHICH IMPAIR PERFORMANCE OR APPLICATION OF NEW FINISH MATERIAL.
13. ENCLOSURES SHALL BE CONSTRUCTED TIGHT TO ENCLOSE WASTE STACKS, AND POWER JUNCTION BOXES, UNLESS OTHERWISE NOTED.
14. REFER TO SHEET A601 FOR DOORS, FRAME TYPES, HARDWARE SETS AND NOTES.
15. CLEAN ALL SURFACES PRIOR TO OCCUPANCY, INCLUDING, BUT NOT LIMITED TO WALLS, DOORS AND FRAMES, WINDOWS, WINDOW FRAMES, TILE FLOORS, STALL PARTITIONS, TOILET ROOM FIXTURES, SHOWER PANS, COUNTERS, AND SINKS.
16. REUSE EXISTING STALL DOORS, STALL PANELS, AND STALL SUPPORTS OF HIGH QUALITY ONLY WHERE APPLICABLE. CONTRACTOR SHALL VERIFY QUANTITIES AND PROVIDE NEW AS REQUIRED.
17. NOTIFY ARCHITECT OF ANY ACCESS PANEL LOCATIONS REQUIRED FOR ACCESS TO MEP EQUIPMENT AND/OR DEVICES BY OTHERS PRIOR TO INSTALLATION.
18. ALL FLOORS SHALL BE LEVELED FOR PARTITIONS, DOORS, GLAZING, AND FINISHES.
19. ALL FASTENERS FOR SURFACE MOUNTED ITEMS SHALL BE STAINLESS STEEL.
20. ALL ACCESS DOORS IN BATHROOMS SHALL BE 24"x24", STAINLESS STEEL, FIRE-RATED, NON-INSULATED, WITH LOCKING DOORS.
21. REMOVE AND RESET TOP COURSE OF BLOCK AT WING WALLS AS REQUIRED.
22. PROVIDE FIRE STOPPING OF EXISTING PIPE PENETRATIONS IN EXISTING CHASES FOR A MAXIMUM OF TEN (10) PENETRATIONS PER CHASE. COORDINATE WITH MEP DRAWINGS AND SPECIFICATIONS.
23. POUR 4" HIGH CONCRETE HOUSEKEEPING PAD AROUND EXISTING TRASH CHUTE PENETRATION WITHIN EXISTING CHASE. SEAL RESIDUAL SPACE WITH FIRE STOPPING SEALANT. (1 LOCATION PER FLOOR.)

FINISH NOTES

1. TRANSITIONS ARE TO OCCUR WHERE SHOWN. GENERAL CONTRACTOR MAY ASSUME DOORWAY TRANSITIONS TO BE CENTERED WITHIN DOOR FRAME, UNLESS OTHERWISE NOTED.
2. REFER TO ELEVATIONS AND DETAILS FOR THE USE OF ALL PLASTIC LAMINATE AND WALL SURFACE MATERIAL.
3. PROVIDE A TAPERED TRANSITION TO ACHIEVE A FLUSH CONDITION BETWEEN ALL FLOORING.
4. REPAIR AND/OR PREPARE ALL SURFACES TO RECEIVE NEW FINISHES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
5. REFER TO SHEET A600 FOR FLOORING TRANSITION DETAILS AND FINISH SCHEDULE.
6. ALL FLOOR FINISHES TO EXTEND UNDER CASEWORK.
7. DRYWALL CEILINGS & BULKHEADS SHALL BE PAINTED P01. U.O.N. FINISH SHALL BE LEVEL FLAT ALL NEW GWB CEILINGS & BULKHEADS.
8. EXISTING PAINTED SURFACES SHALL RECEIVE ONE COAT OF PRIMER AND TWO FINISH COATS.
9. INSTALL CLEAR CAULKING/SEALANT AT BACK OF ALL BACKSPLASHES AND COUNTER TOPS AT ADJOINING WALL FINISH.
10. ALL HOLLOW METAL DOOR & WINDOW FRAMES ARE TO BE PAINTED TO MATCH ADJACENT WALL COLOR. PAINT FINISH IS TO BE SEMI-GLOSS.
11. ELECTRICAL PANELS & HVAC GRILLES WHICH OCCUR ON WALL SURFACES ARE TO BE PAINTED TO MATCH THE ADJACENT SURFACE U.O.N.
12. FINISHES ARE TO BE INSTALLED PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.

650 Smithfield Street
Suite 2600
Pittsburgh, PA 15222
tel: 412.394.7000
fax: 412.394.7880
www.burthill.com



Point Park University
Thayer +
Academic Hall
201 Wood Street
Pittsburgh, PA 15222

Project Status
PERMIT SET - 10.31.2013

No.	Date	Description

Drawing Name
THIRD FLOOR PLAN

Project No.
218010227

Drawing Number
A203

F:\10210017\CADD\Sheet - XXXXXXXX



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Cultural Trust of Pittsburgh		Phone Number: () 412-471-6070	
Address: 801 Liberty Ave	City: Pittsburgh	State: PA	Zip Code: 15222
2. Applicant/Company Name: GBBN architects		Phone Number: () 412-345-5005	
Address: 5411 Penn Ave	City: Pittsburgh	State: PA	Zip Code: 15206
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Cultural Trust Park			
4. Development Location: Pittsburgh, PA			
5. Development Address: Intersection of 8th & Penn Ave			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)	Parking Spaces and Green Space		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 3 /01 /2014	Occupancy Date: 5 /01 /2014	Project Cost: \$ 250,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 88. Parks and Recreation (Limited)

10. Select the Type of Work:

New Construction, New Renovation, Interior
 New Construction, Renovation, Exterior
 Change in Use Only Renovation, Change in Use

11. Describe the Development: The Cultural Trust Park will utilize the current green space area and a portion of the adjacent parking lot to provide an area to extend sidewalk paving, add landscaping between sidewalk and parking lot, carbonated water drinking fountain, benches and bike rack.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	778		sq ft
Existing to be Retained:	0		sq ft
Retained Area to be Renovated:	0		sq ft
To be Constructed:	1,960		sq ft
Building Footprint:	36		sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	NA	NA	NA	7'-6"
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

Bike rack				5'-4"

16. Number of Dwelling Units:
 Existing to Remain: NA Proposed: NA

17. Lot Area: 1,960 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

1	New Water Service Connection(s)	_____	Termination of Existing Water Service Tap(s)
1	New Sewer Service Connection(s)	_____	Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



8th STREET PARKLET





8th STREET PARKLET

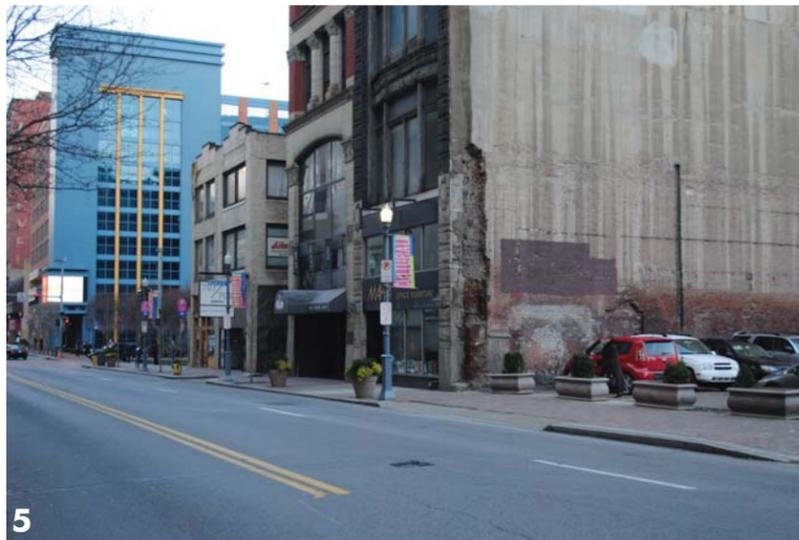
LOCATION PLAN

Cultural Trust | 8th Street Park

Origin4Design



2012.12.03

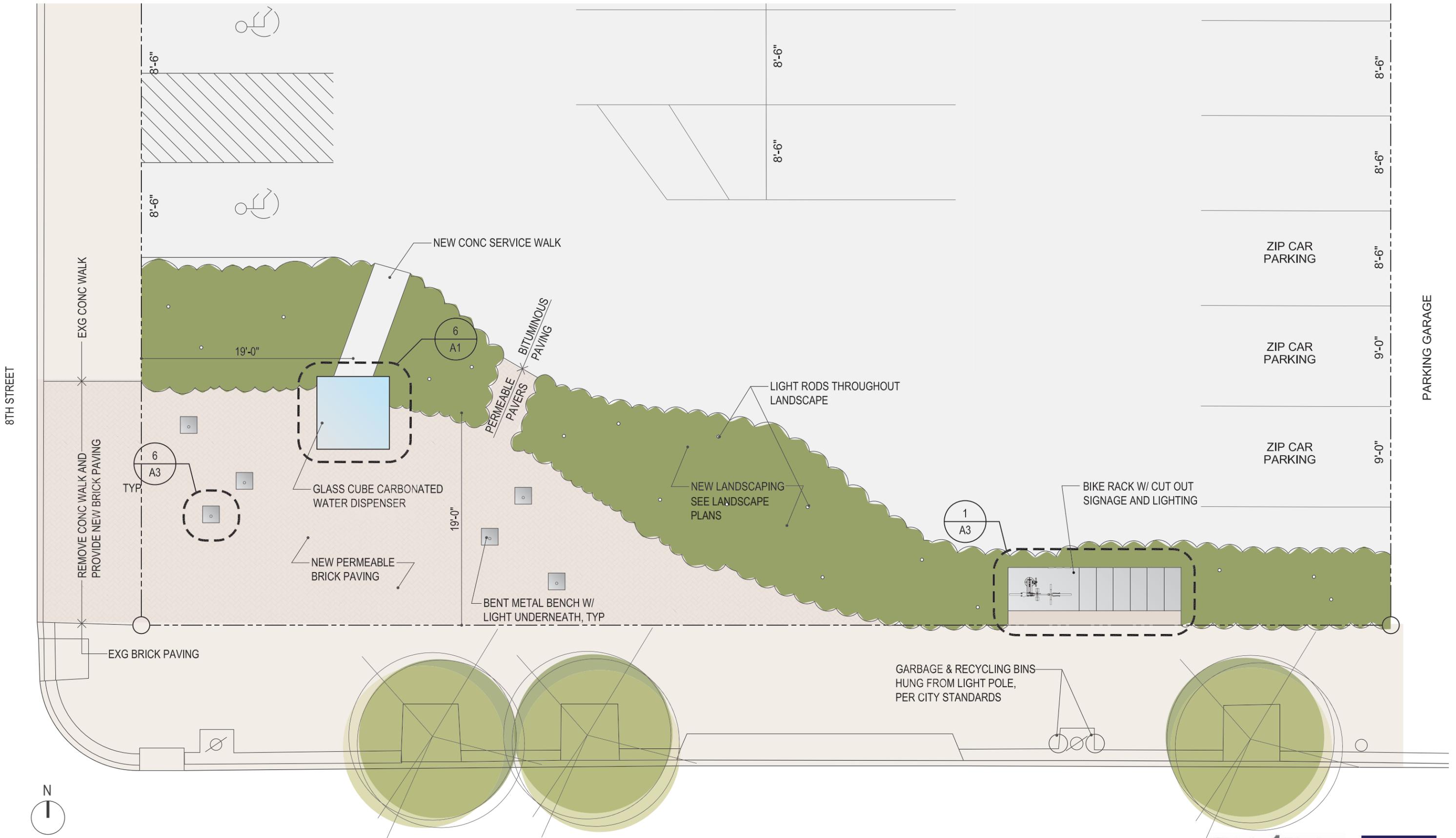


- 1. View east - Parking garage
- 2. View southeast across Penn Ave
- 3. View south
- 4. View west
- 5. View northwest



CONTEXT IMAGES

Cultural Trust | 8th Street Park



SITE PLAN

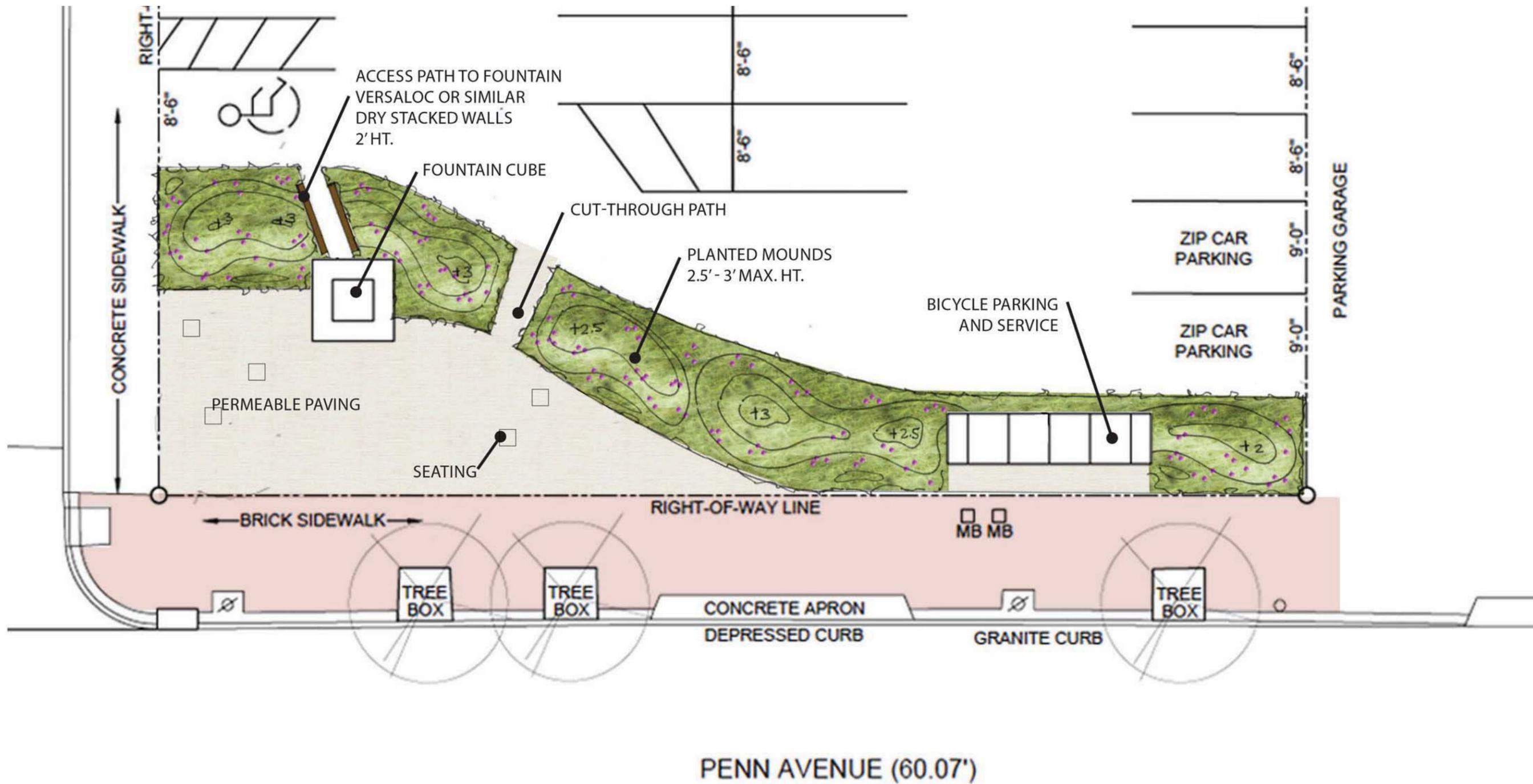
SCALE: 1/16" = 1'-0"

Cultural Trust | 8th Street Park

Origin4Design



2012.12.03



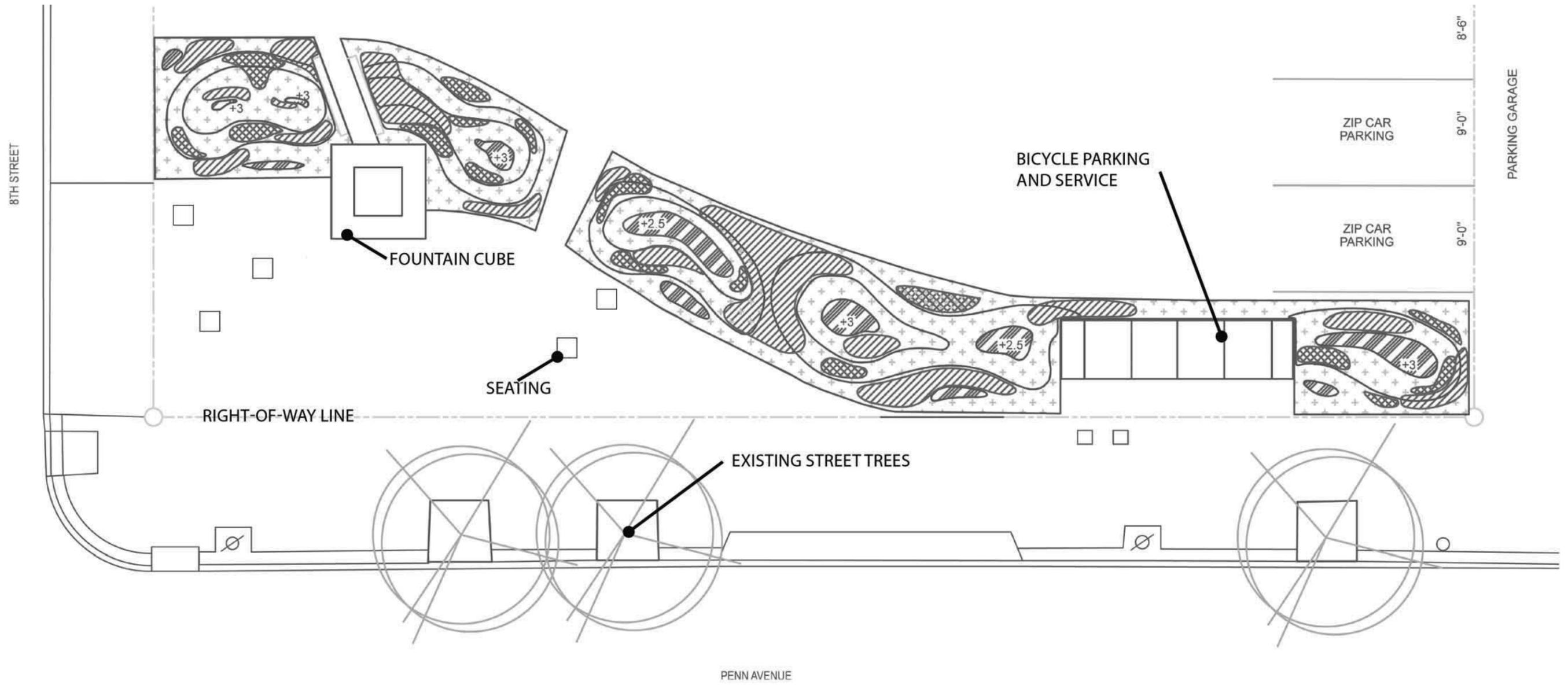
LANDSCAPE PLAN

Cultural Trust | 8th Street Park

Origin4Design



2012.12.03



PLANT SCHEDULE

SYMBOL	SCIENTIFIC NAME	COMMON NAME	HEIGHT	BLOOM TIME	BLOOM COLOR
AA	Allium 'Ambassador'	Ambassador Allium	2'	June - July	Purple
AG	Allium 'Gladiator'	Gladiator Allium	3'	May - June	Rose - Purple
AS	Allium 'Silver Spring'	Silver Spring Allium	2'	May - June	White & Purple
E	Echinecea 'Milkshake Confections'	Milkshake Confections Coneflower	3'	July - August	Creamy White
EP	Echinecea purpurea 'Ruby Star'	Purple Coneflower	2'	July - August	Purple
MB	Muscari botryoides 'Album'	White Muscari	8"	April - May	White
PA	Pennisetum alopecuroides 'Little Bunny'	Little Bunny Fountain Grass	1.5'	August - October	Wheat

LEGEND

	PA (<i>Little Bunny Fountain Grass</i>)		MB (<i>White Muscari</i>)
	E (<i>Milkshake Confections Coneflower</i>) EA (<i>Ruby Star Coneflower</i>)		AA (<i>Ambassador Allium</i>) AG (<i>Gladiator Allium</i>) AS (<i>Silver Spring Allium</i>)

PLANTING PLAN

Cultural Trust | 8th Street Park

Origin4Design



2012.12.03



PLANTING SCHEME
BURSTS OF SEASONAL ACCENT COLOR IN CLUMPING GRASSES



Little Bunny Fountain Grass



White Muscari



Ambassador Allium



Gladiator Allium



Silver Spring Allium



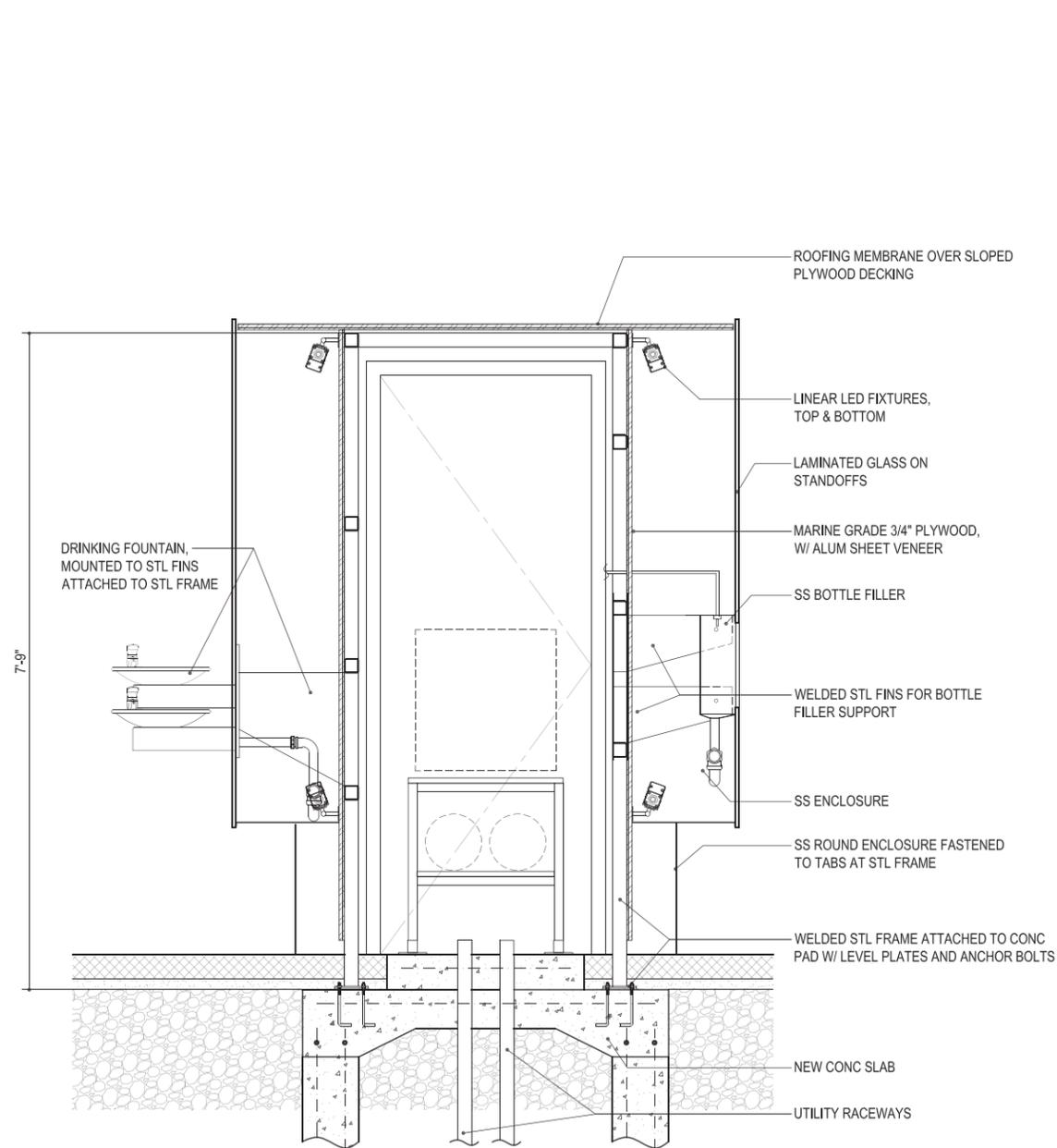
Ruby Star Coneflower



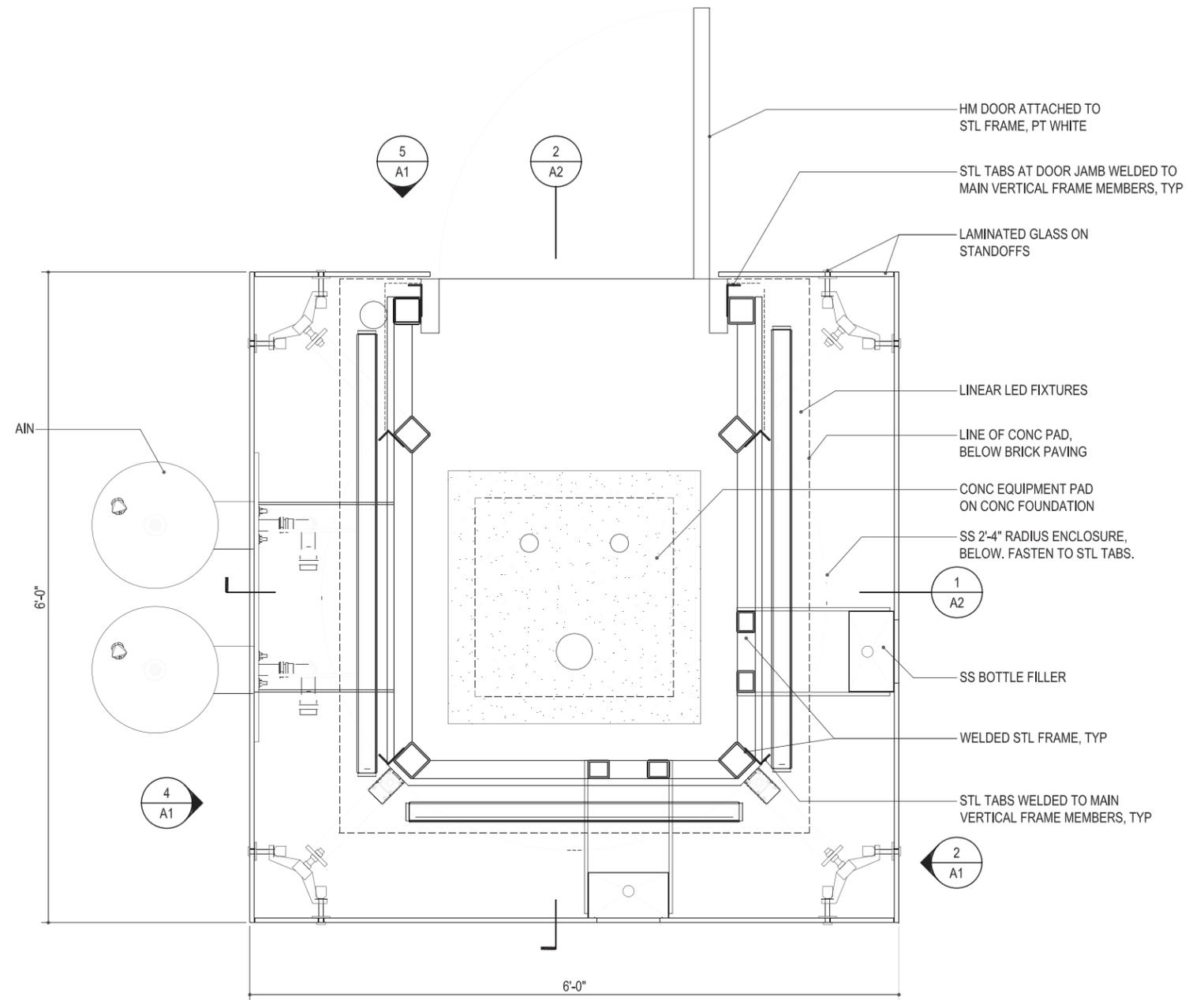
Milkshake Coneflower

PLANTING PLAN

Cultural Trust | 8th Street Park



SECTION



PLAN

CUBE DETAILS

Cultural Trust | 8th Street Park

Origin4Design



2012.12.03



DAY RENDERING

Cultural Trust | 8th Street Park

Origin4Design



2012.12.03



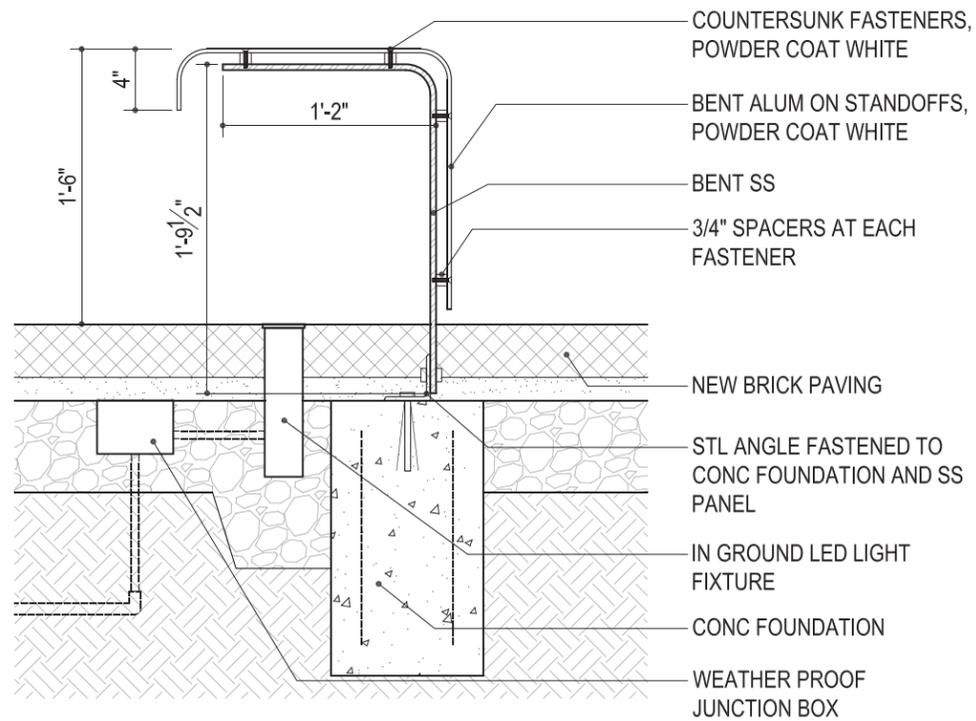
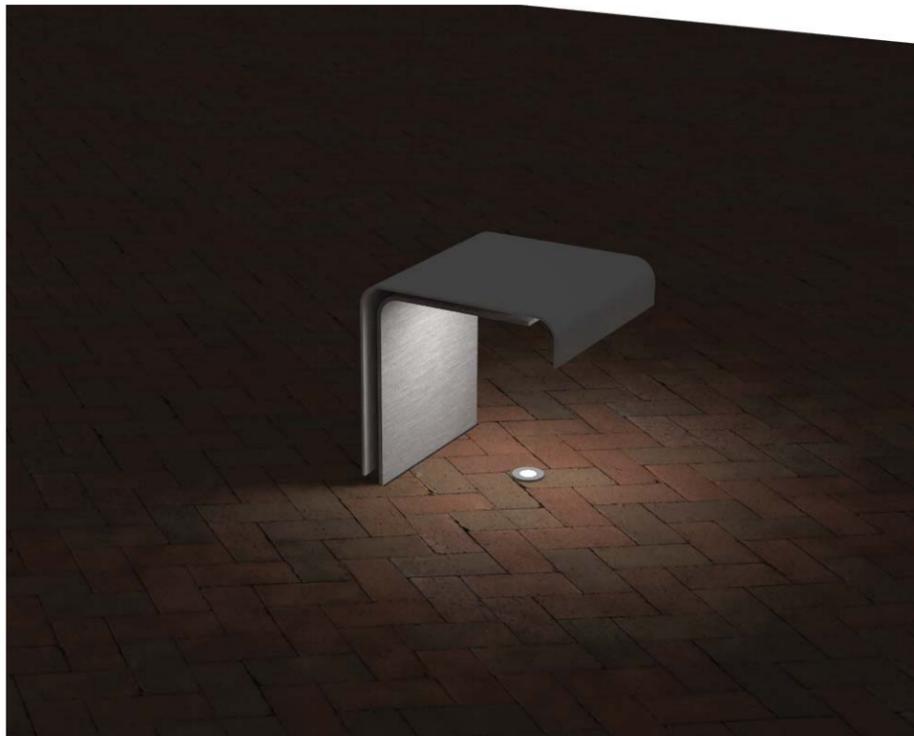
NIGHT RENDERING

Cultural Trust | 8th Street Park

Origin4Design



2012.12.03



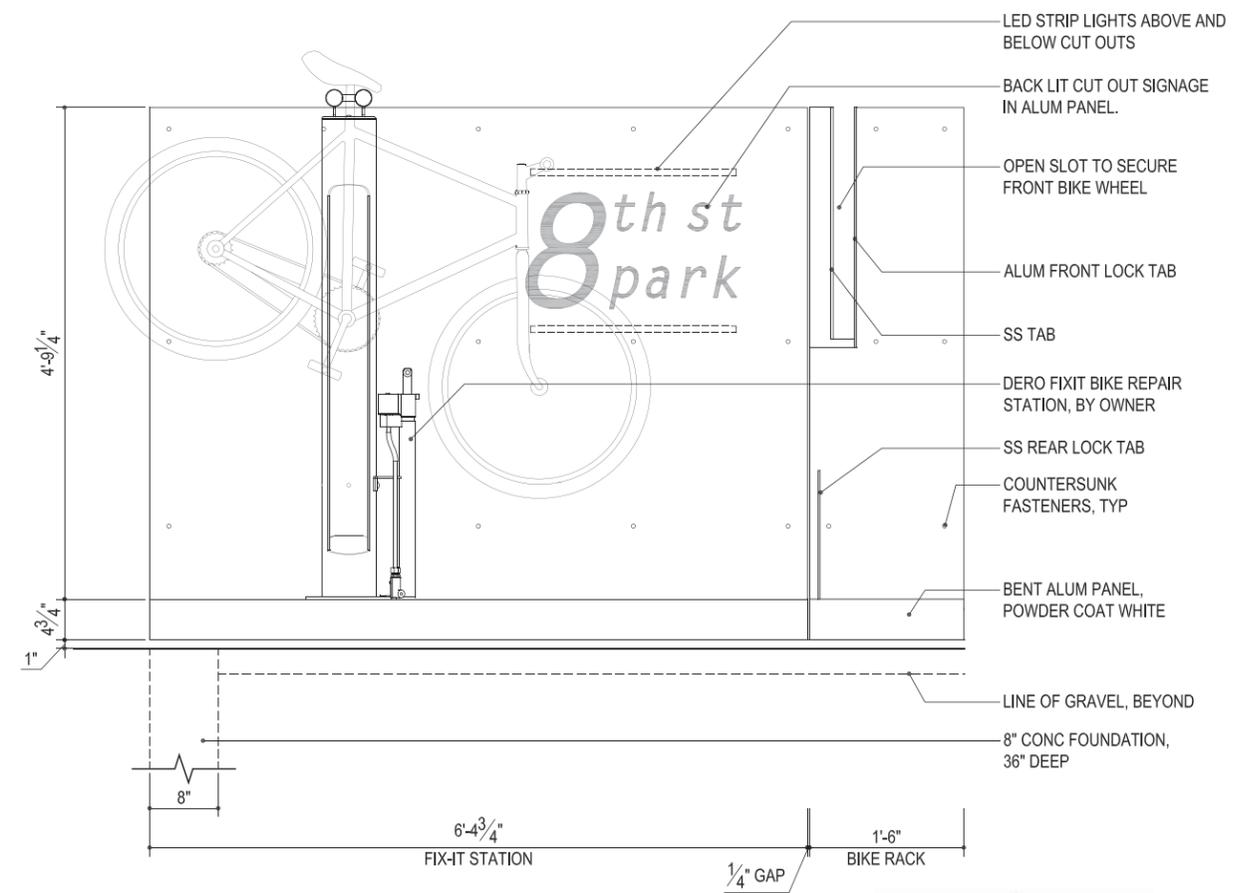
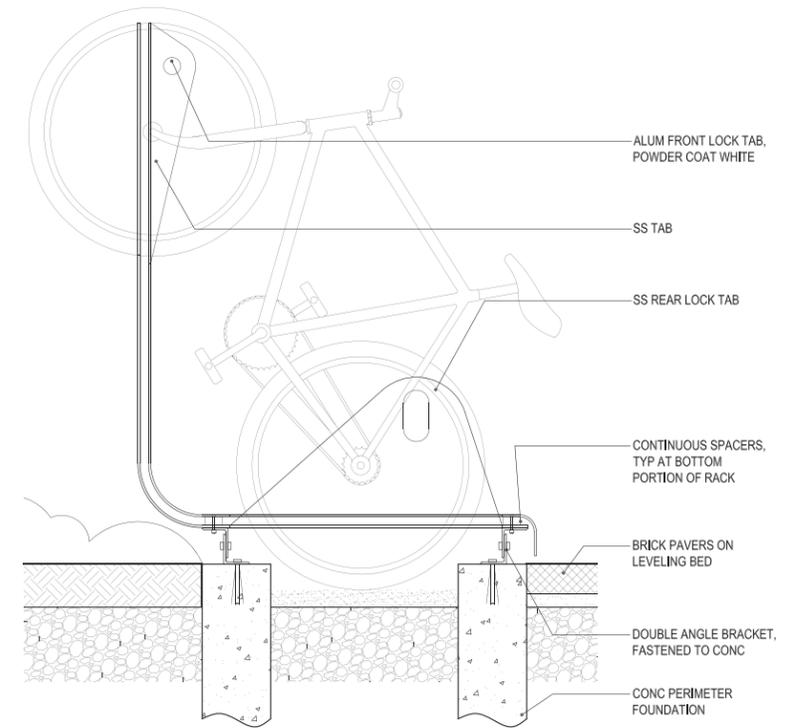
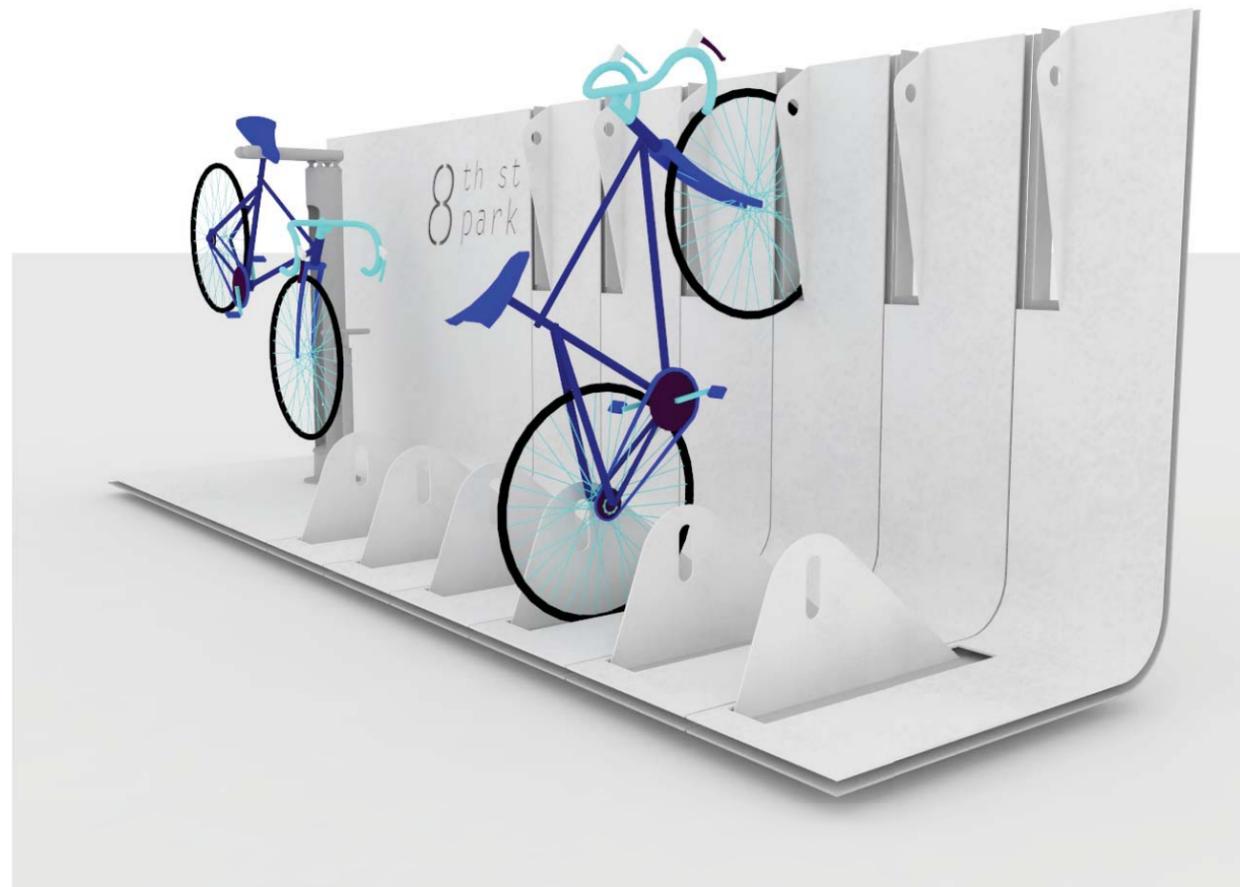
BENT METAL BENCH

Cultural Trust | 8th Street Park

Origin4Design



2012.12.03



BENT METAL BIKE RACK

Cultural Trust | 8th Street Park

Origin4Design

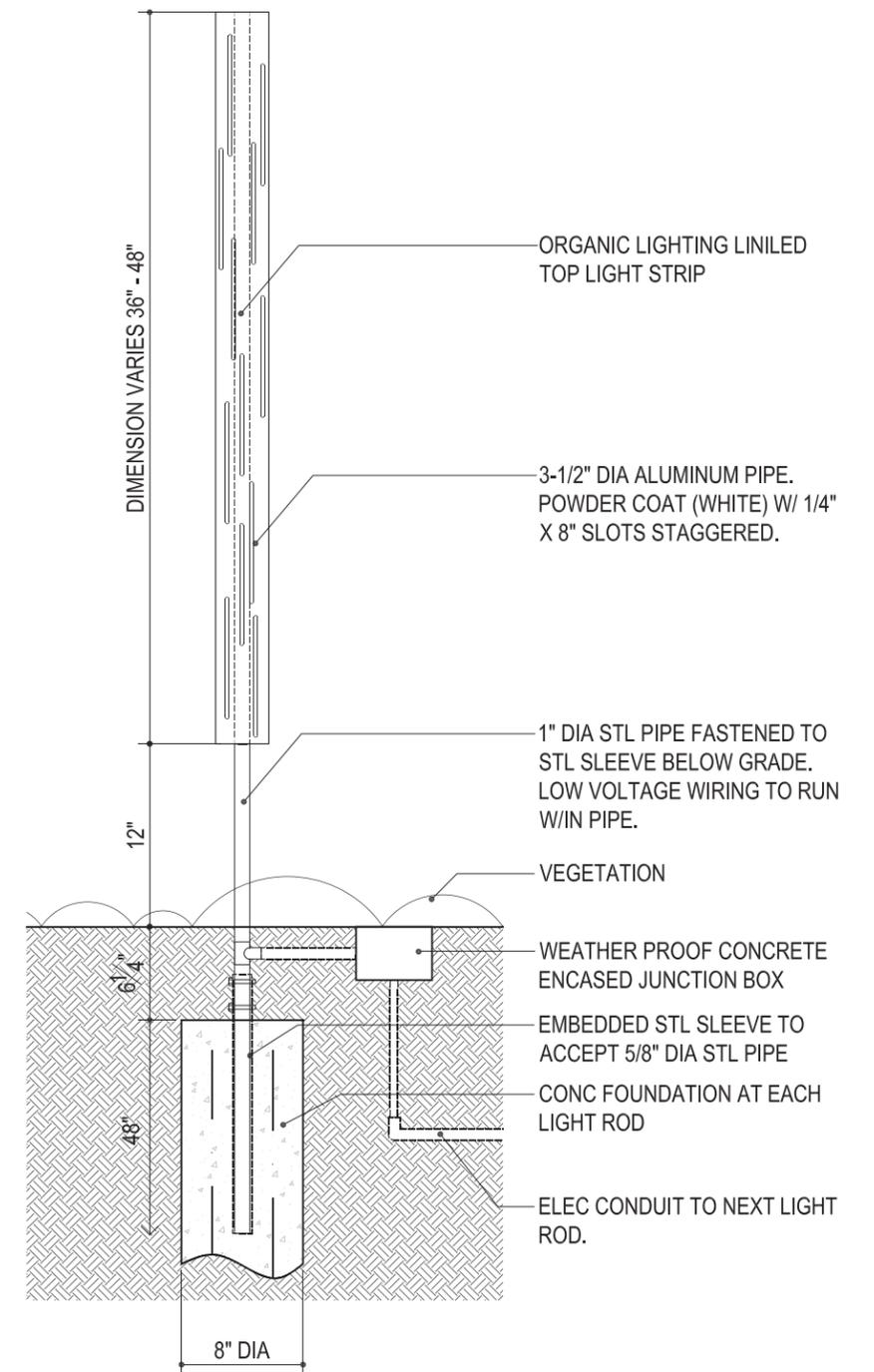


2012.12.03



LANDSCAPE LIGHT FIXTURE

Cultural Trust | 8th Street Park



Origin4Design



2012.12.03



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Cityview Realty, LLC		Phone Number: ()	
Address: 12 Grandview Cr City: Canonsburg		State: Pa	Zip Code: 15317
2. Applicant/Company Name: Allegheny Construction Group		Phone Number: ()	
Address:	City:	State:	Zip Code:
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: 1208 Grandview Ave.			
4. Development Location: Mt. Washington			
5. Development Address: 1208 Grandview Ave.			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: N/A	Date Issued: June - 1965	Existing Use of Property: Tavern / 1 Fam. Res.	
8. Estimated Construction:	Start Date: 11/15/13	Occupancy Date: / / N/A	Project Cost: \$650,000.00

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **Restaurant**

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development:

Renovation of existing restaurant building: Structural Renovations; Exterior Veneer; New Elevator; New Storefront

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	_____	sq ft
Existing to be Retained:	8,000	sq ft
Retained Area to be Renovated:	8,000	sq ft
To be Constructed:	_____	sq ft
Building Footprint:	2,000	sq ft

15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	3	36		
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: 0
 Required: 0

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

0 _____ New Water Service Connection(s)	0 _____ Termination of Existing Water Service Tap(s)
0 _____ New Sewer Service Connection(s)	0 _____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
www.city.pittsburgh.pa.us/cp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html

City Zoning Code

<http://www.municode.com/resources/gateway.asp?sid=38&pid=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/BBI/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

Bureau of Public Space Management
City-County Building, Room 301
414 Grant Street
Pittsburgh, PA 15219
(412) 255-8850
www.city.pittsburgh.pa.us/pw/

**Department of Public Works (DPW)
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2382
www.city.pittsburgh.pa.us/pw/

**Pittsburgh Water and Sewer Authority
(PWSA)**

Permit Counter
441 Smithfield Street, Second Floor
Pittsburgh, PA 15222
(412) 255-2443
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/progstartfolder/plumbingstart.html

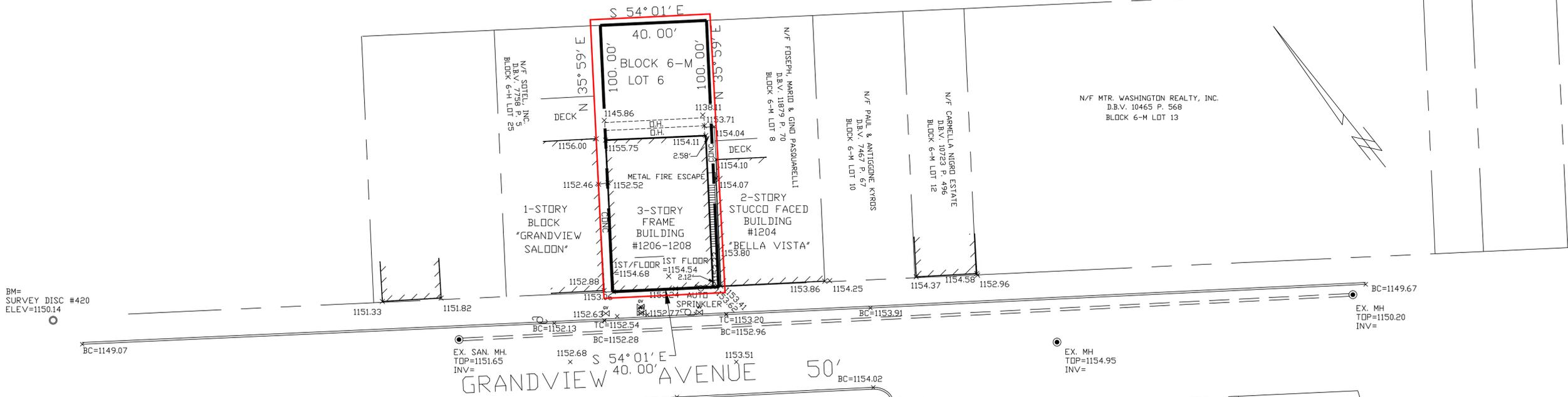
Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
<http://www.achd.net/food/foodstart.html>

Allegheny County Health Department (ACHD)

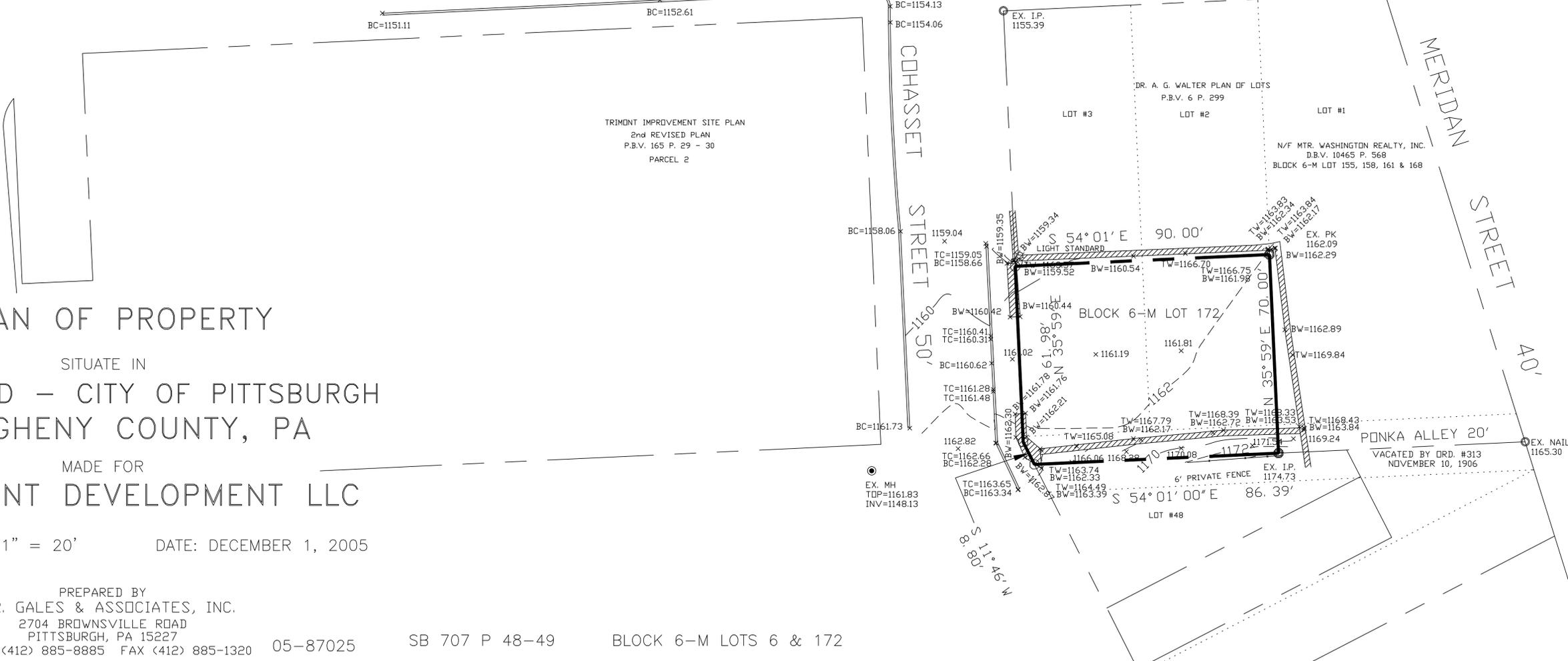
Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
<http://www.achd.net/housing/commenvironstart.html>

P. C. C. & ST. LOUIS RAILROAD COMPANY



BM= SURVEY DISC #420
ELEV=1150.14

GRANDVIEW AVENUE 50'



PLAN OF PROPERTY

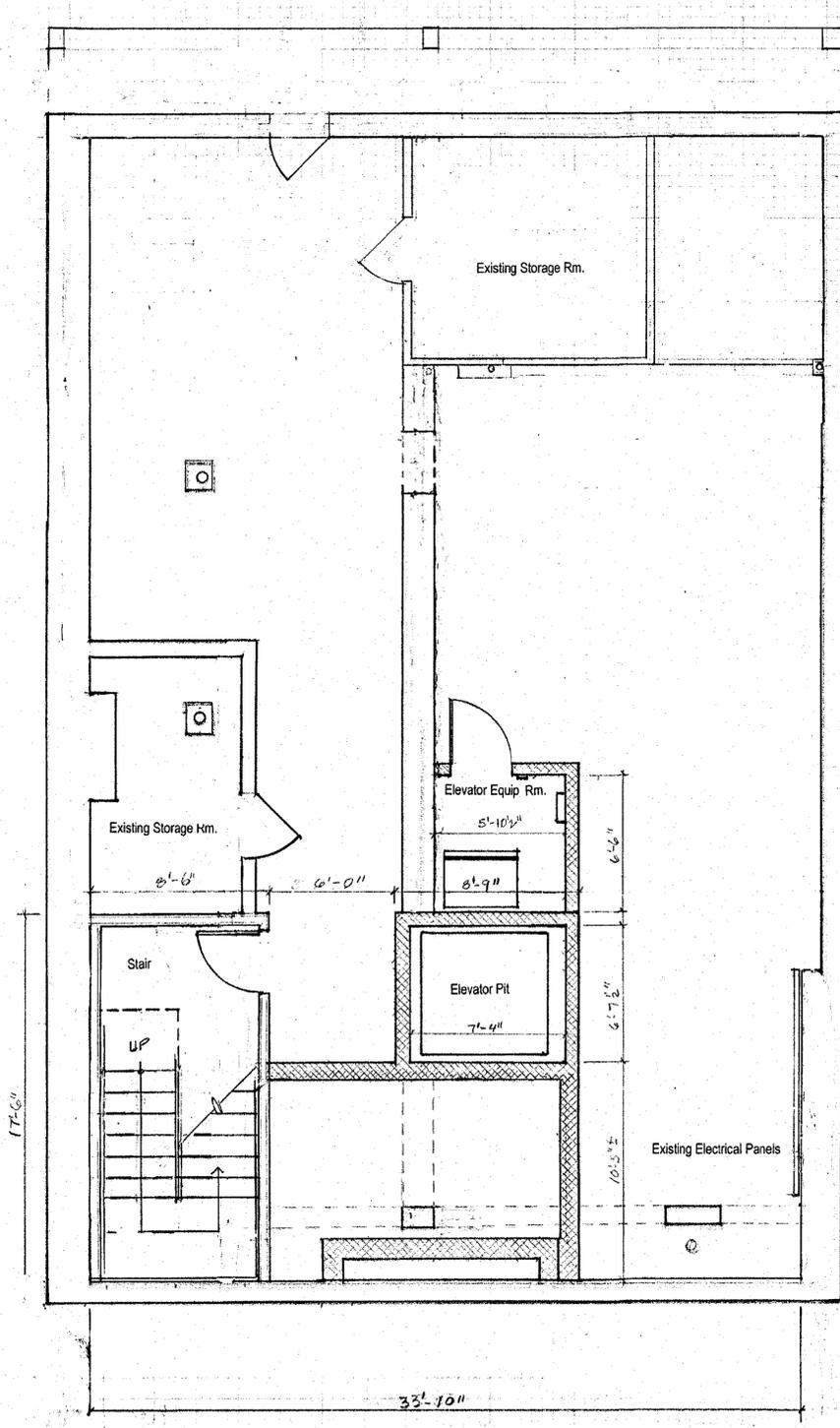
SITUATE IN
19TH WARD - CITY OF PITTSBURGH
ALLEGHENY COUNTY, PA

MADE FOR
CLAIRMONT DEVELOPMENT LLC

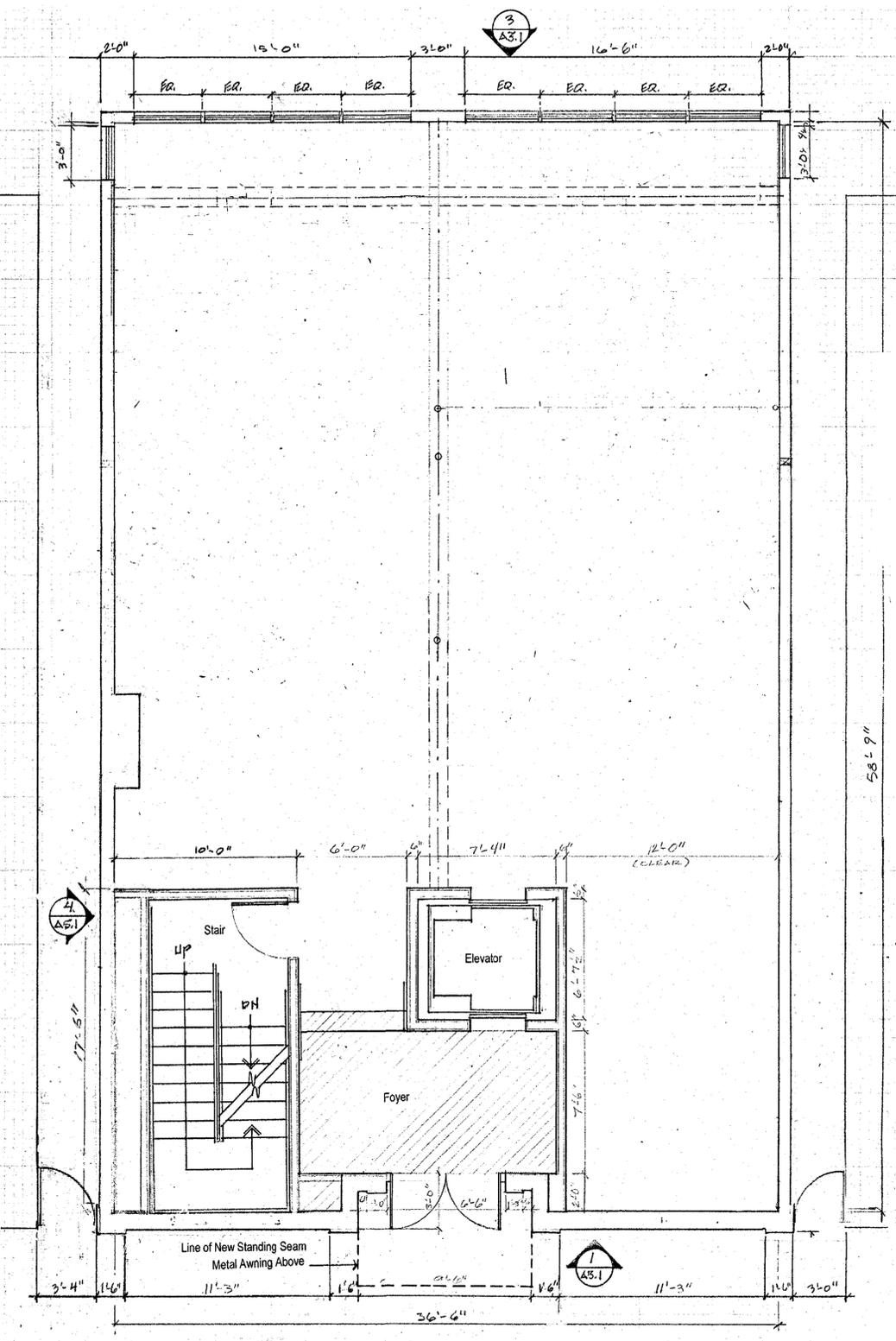
SCALE: 1" = 20' DATE: DECEMBER 1, 2005

PREPARED BY
J.R. GALES & ASSOCIATES, INC.
2704 BROWNSVILLE ROAD
PITTSBURGH, PA 15227
PHONE (412) 885-8885 FAX (412) 885-1320 05-87025

SB 707 P 48-49 BLOCK 6-M LOTS 6 & 172



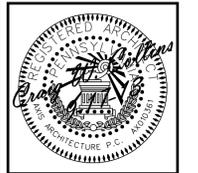
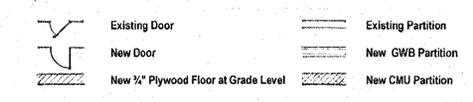
1 Lower Level Floor Plan
1/4" = 1'-0"



2 First Floor Plan
1/4" = 1'-0"

GENERAL NOTES:

1. Drawings are diagrammatic. Contractor shall verify actual conditions.
2. Field Verify All Dimensions. Notify Designer of all discrepancies.
3. Refer to Structural Drawings for all information on footers, foundations, floor and roof framing, beam and lintel sizes.
4. Contractor shall be responsible for initiating, maintaining, and supervising all safety precautions and programs in connection with performance of the contract.
5. GC shall supervise and direct the work using skill and attention. GC shall be solely responsible for and have control over construction means, methods, techniques, sequences, and procedures of the work under the contract.
6. GC shall coordinate all work with other trades.
7. Patch Floor where partitions have been removed. Match Existing Materials.
8. Provide New 3/4" Plywood Sub-Floor for First, Second and Third Floors. Provide Insulation at New Roof and New Exterior Facade.



EXTERIOR BUILDING RENOVATIONS TO:
1208 GRANDVIEW AVENUE
PITTSBURGH, PA 15211

AS ARCHITECTURE. P.C.
ARCHITECTURE • ENGINEERING • INTERIOR DESIGN • PLANNING
15020 ARDARA ROAD SUITE #114 NORTH HUNTINGDON, PA 15642
PHONE: 724-234-4633 FAX: 724-234-2216 ASARCHITECTURE@COMCAST.NET

DATE: 9/7/13
DRAWN BY: K.S.C.
REVIEWED BY: C.W.C.
REVISIONS:

PROJECT NO. 2013-230
SHEET DESCRIPTION:
FLOOR PLANS

SHEET NO. OF
A-3



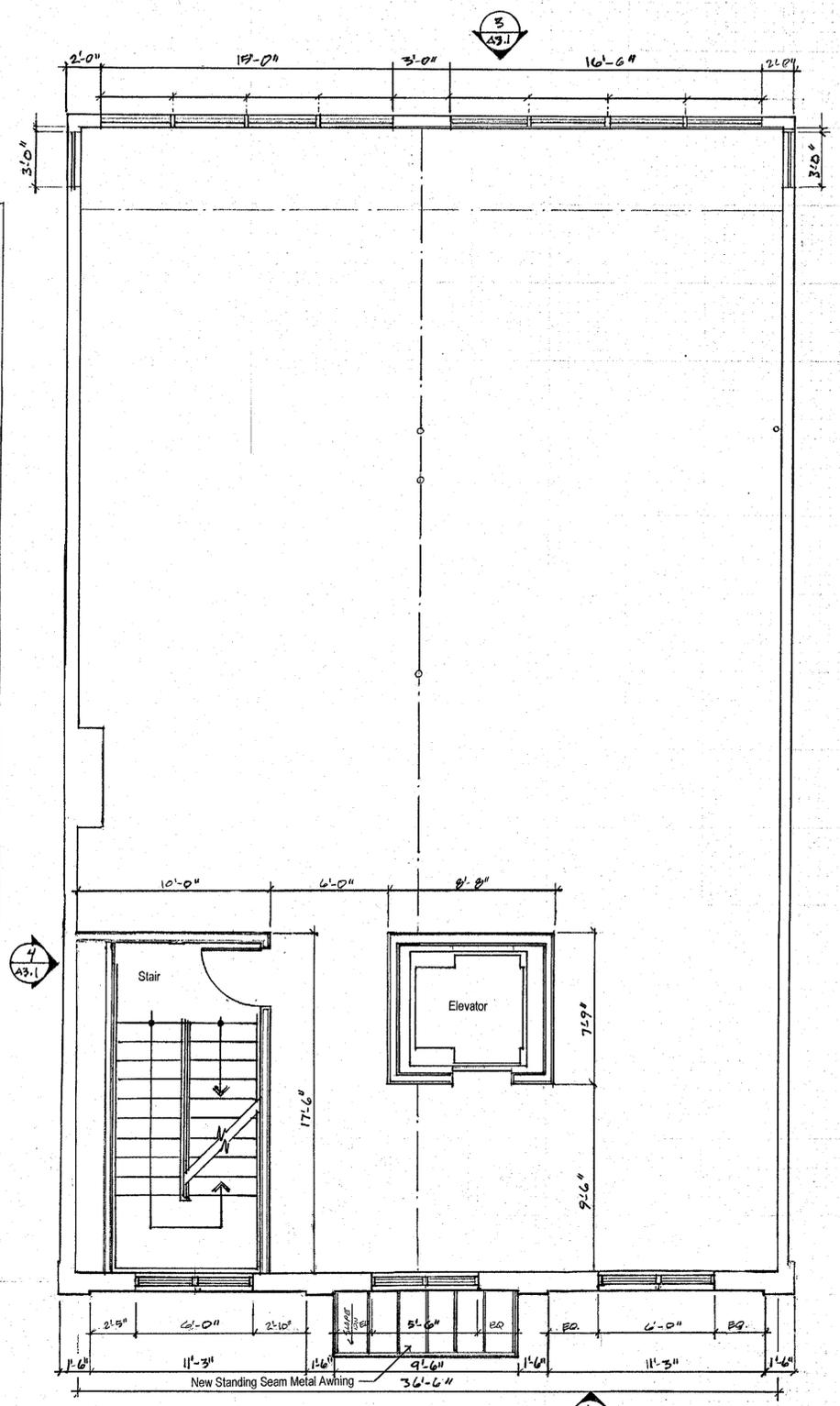
EXTERIOR BUILDING
RENOVATIONS TO:
1208 GRANDVIEW AVENUE
PITTSBURGH, PA 15211

AS ARCHITECTURE. P.C.
ARCHITECTURE • ENGINEERING • INTERIOR DESIGN • PLANNING
15020 ARDARA ROAD SUITE #114 NORTH HUNTINGDON, PA 15642
PHONE: 724-234-4633 FAX: 724-234-2216 ASARCHITECTURE@COMCAST.NET

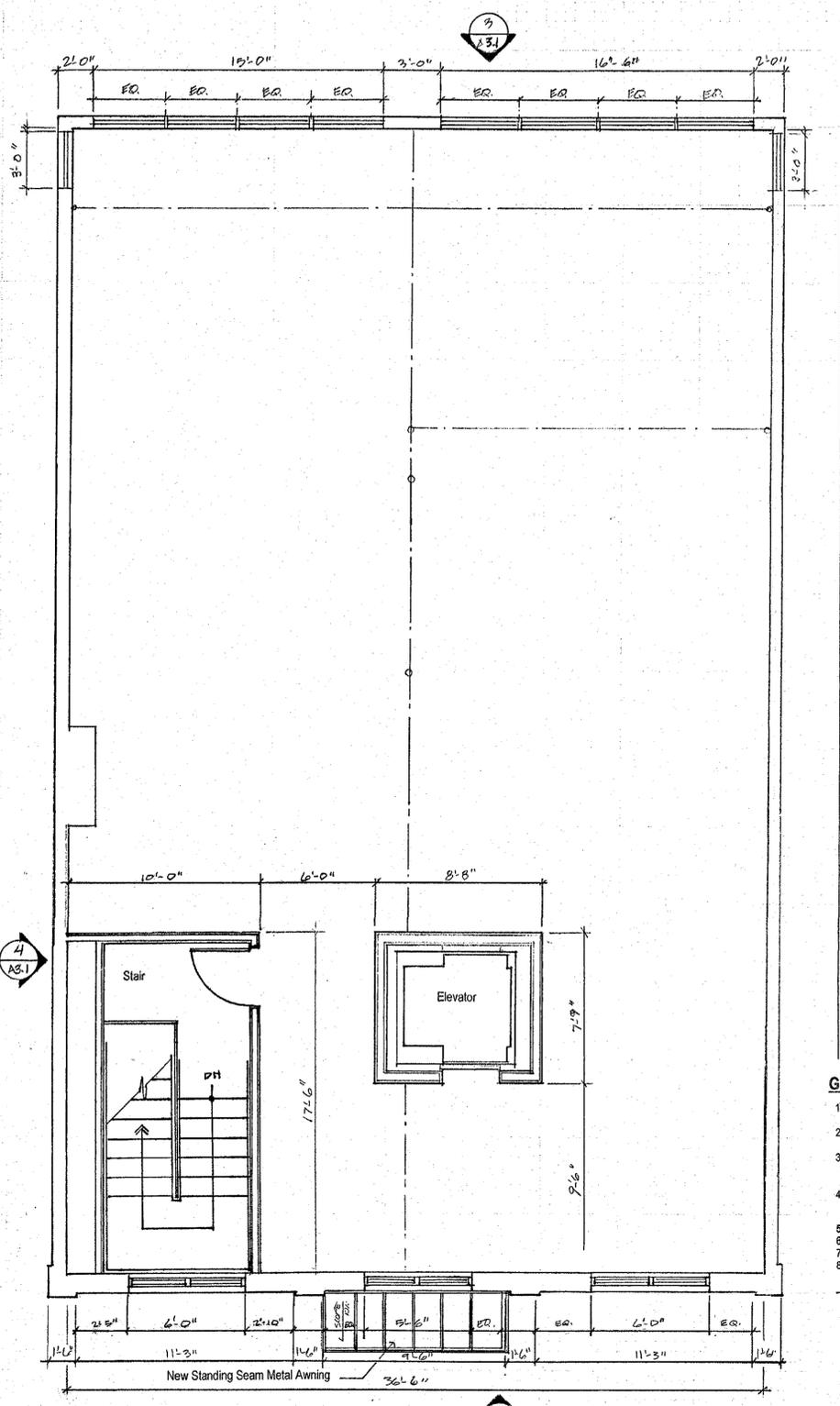
DATE: 9-17-13
DRAWN BY: K.S.C.
REVIEWED BY: C.W.C.
REVISIONS:

PROJECT NO. 2013-230
SHEET DESCRIPTION:
FLOOR PLANS

SHEET NO. OF
A-4

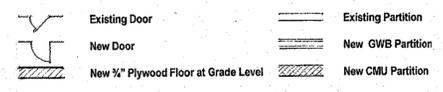


1 Second Floor Plan
1/4" = 1' - 0"



2 Third Floor Plan
1/4" = 1' - 0"

- GENERAL NOTES:**
- Drawings are diagrammatic. Contractor shall verify actual conditions.
 - Field Verify All Dimensions. Notify Designer of all discrepancies.
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 - Contractor shall be responsible for infill, maintaining, and supervising. All safety precautions and programs in connection with performance of the contract.
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 - GC shall coordinate all work with other trades.
 - Patch Floor where partitions have been removed. Match Existing Materials.
 - Provide New 3/4" Plywood Sub-Floor for First, Second and Third Floors.
 - Provide Insulation at New Roof, and New Exterior Facade.





Address is approximate



STREETSCAPE BEFORE



STREETSCAPE AFTER

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

pdp. #13-121
PAID

Date Filed:

10-14-13

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <i>Sports & Exhibition Authority</i>		Phone Number: <i>(412) 393 0200</i>	
Address: <i>171 10th St.</i>	City: <i>Pittsburgh</i>	State: <i>PA</i>	Zip Code: <i>15222</i>
2. Applicant/Company Name: <i>Pepsi Stadium LLC</i>		Phone Number: <i>(412) 697 7100</i>	
Address: <i>900 AA Rooney</i>	City: <i>Pittsburgh</i>	State: <i>PA</i>	Zip Code: <i>15212</i>
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: <i>Northwest Scoreboard</i>			
4. Development Location: <i>Heinz Field</i>			
5. Development Address: <i>900 AA Rooney Ave, Pittsburgh PA 15212</i>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction: Start Date: <i>2/1/14</i>		Occupancy Date: <i>8/1/14</i>	Project Cost: \$
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): <i>general Public Assembly</i>			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New		<input type="checkbox"/> Renovation, Interior	
<input type="checkbox"/> New Construction,		<input checked="" type="checkbox"/> Renovation, Exterior	
<input type="checkbox"/> Change in Use Only		<input type="checkbox"/> Renovation, Change in Use	
11. Describe the Development:			
<i>An LED video board with supporting structure and electrical service will be added to the northwest corner of the seating bowl.</i>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: _____ sq ft
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: _____ sq ft
 To be Constructed: _____ sq ft
 Building Footprint: _____ sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure		156'		156'
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

Northwest scoreboard				124'

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: _____

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

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21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s)	_____ Termination of Existing Water Service Tap(s)
_____ New Sewer Service Connection(s)	_____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
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24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:

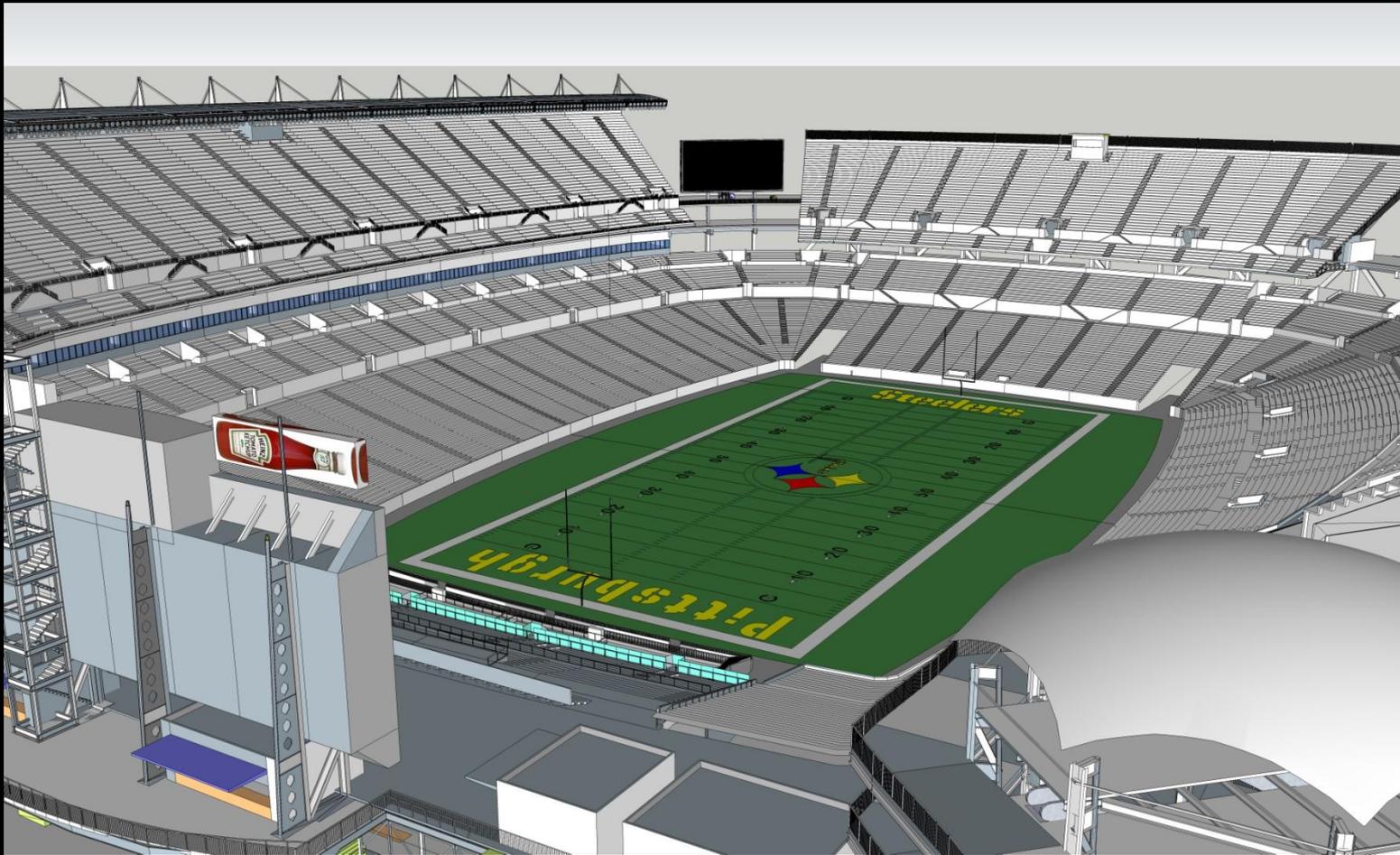


Heinz Field Northwest Scoreboard Addition

Location Plan



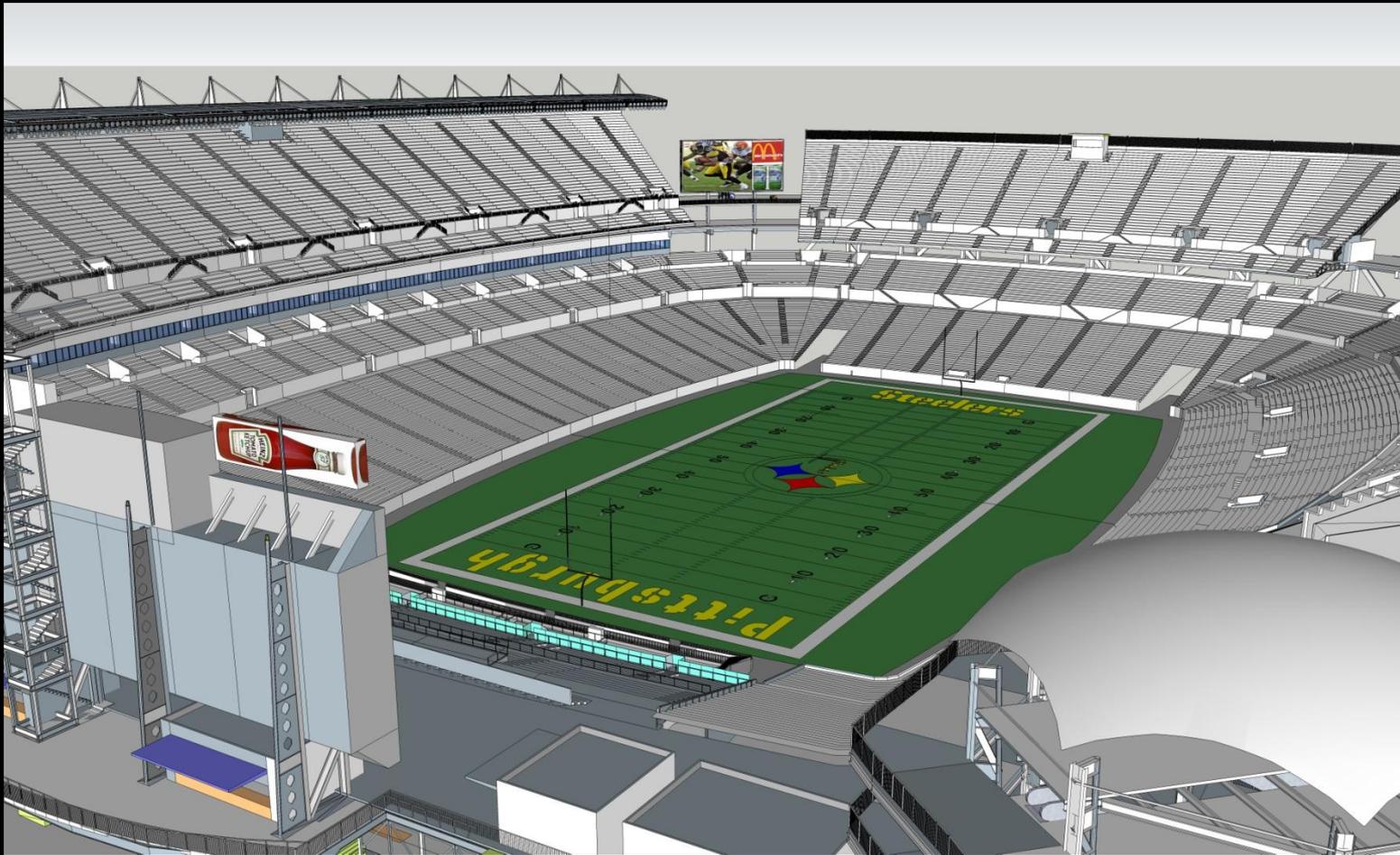
Aerial view #1 from southeast



Aerial view #2 from southeast



Aerial view #3 from southeast



View from Allegheny Avenue



View from near Gate C





**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

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- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <i>The Children's Home of Pgh.</i>		Phone Number: <i>(412) 441-4884</i>	
Address: <i>5324 Penn Av.</i>	City: <i>Pittsburgh</i>	State: <i>Pa.</i>	Zip Code: <i>15224</i>
2. Applicant/Company Name: <i>The Children's Home</i>		Phone Number: <i>(412) 441-4884</i>	
Address: <i>5324 Penn Av.</i>	City: <i>Pittsburgh</i>	State: <i>Pa.</i>	Zip Code: <i>15224</i>
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: <i>Additions & Alterations for The Children's Home + Lemieux Family Center</i>			
4. Development Location:			
5. Development Address: <i>5324 Penn Ave. Pittsburgh, Pa. 15224</i>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	<i>LNC & RM-3</i>		
Present Use of Site: (Select from attached list)	<i>Hospital</i>		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: <i>200502194</i>	Date Issued: <i>4.10.07</i>	Existing Use of Property: <i>Hospital</i>	
8. Estimated Construction:	Start Date: <i>1/1/14</i>	Occupancy Date: <i>11/30/14</i>	Project Cost: \$ <i>5 million</i>
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached 'list): <i>Hospital</i>			
10. Select the Type of Work:			
<input checked="" type="checkbox"/> New Construction, New <input checked="" type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development: <i>Removal of roof at one story portion of existing building. Construction of two additional floors on top of existing one story area. Repair/reconstruction of disturbed existing interior spaces. Match existing exterior.</i>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: N/A sq ft
 Existing to be Retained: 73,500 sq ft
 Retained Area to be Renovated: 2,500 sq ft
 To be Constructed: 11,000 sq ft ← New additions 5,500/FLOOR
 Building Footprint: FIRST FLOOR EXISTING → 22,630 sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	3	39 Ft wall height 60 Ft to rooftop		
Proposed Addition/Extension			3 (2 NEW)	39 Ft. wall height 60 Ft. to rooftop
Provide Accessory Structure Type(s) and Height(s):				

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: N/A

17. Lot Area: 124,660 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	51 long term, 12 part time, 2 ambulance	same
Compact (7 1/4' x 16')	23 compact	
Handicap (13 1/2' x 19')	5 H.C.	

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- New Water Service Connection(s)
- Termination of Existing Water Service Tap(s)
- New Sewer Service Connection(s)
- Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES
- NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street
- Private Property
- Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:

Joshua Amherst

Prepared for
The Children's Home & Lemieux Family Center

10-15-13
Project: 172500



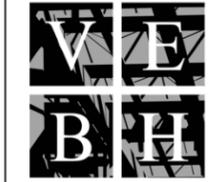
VEBH Architects



1 OVERALL EXISTING SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

2 OVERALL SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

10/14/2013 4:31:02 PM C:\Documents\172500 central_cen\all.plt



ARCHITECTS
VEBH ARCHITECTS, P.C.
 470 WASHINGTON ROAD
 PITTSBURGH PA 15228
 TEL 412 561 7117
 FAX 412 561 9025
 EMAIL vebh@vebh.com
 WEB www.vebh.com

CONTACT PERSON: DAN ENGEN



ADDITIONS AND ALTERATIONS
 FOR
THE CHILDREN'S HOME & LEMIEUX FAMILY CENTER
 5324 PENN AVE.
 PITTSBURGH, PA 15224

OVERALL SECOND FLOOR PLAN
 DRAWING NO. **OA-102**

PROJECT NO. 172500 DATE 9/4/2013

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2 OVERALL EXISTING THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

1 OVERALL THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

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ARCHITECTS
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 470 WASHINGTON ROAD
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 FAX 412 561 9025
 EMAIL vebh@vebh.com
 WEB www.vebh.com

CONTACT PERSON: DAN ENGEN

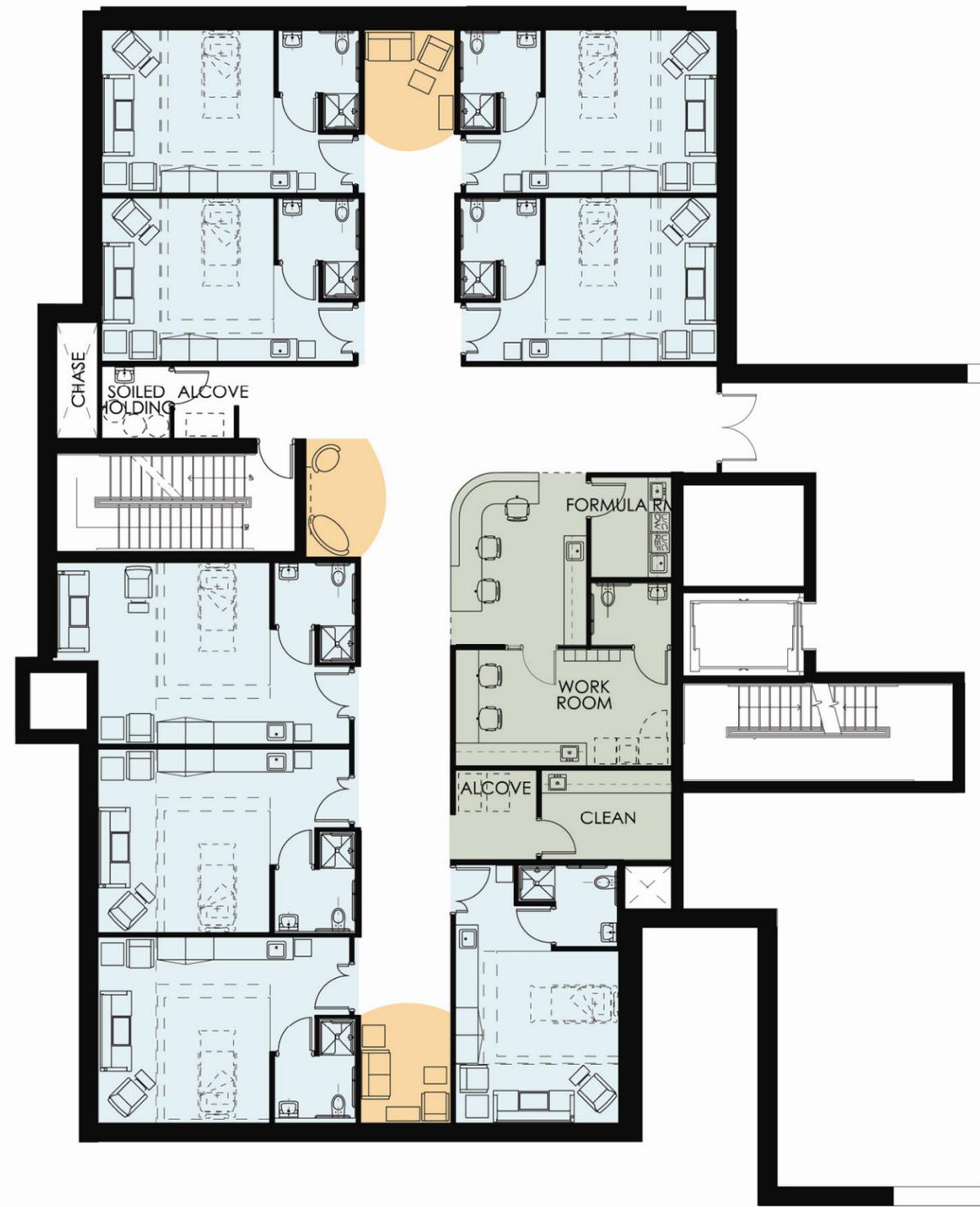


ADDITIONS AND ALTERATIONS
 FOR
THE CHILDREN'S HOME & LEMIEUX FAMILY CENTER
 5324 PENN AVE.
 PITTSBURGH, PA 15224

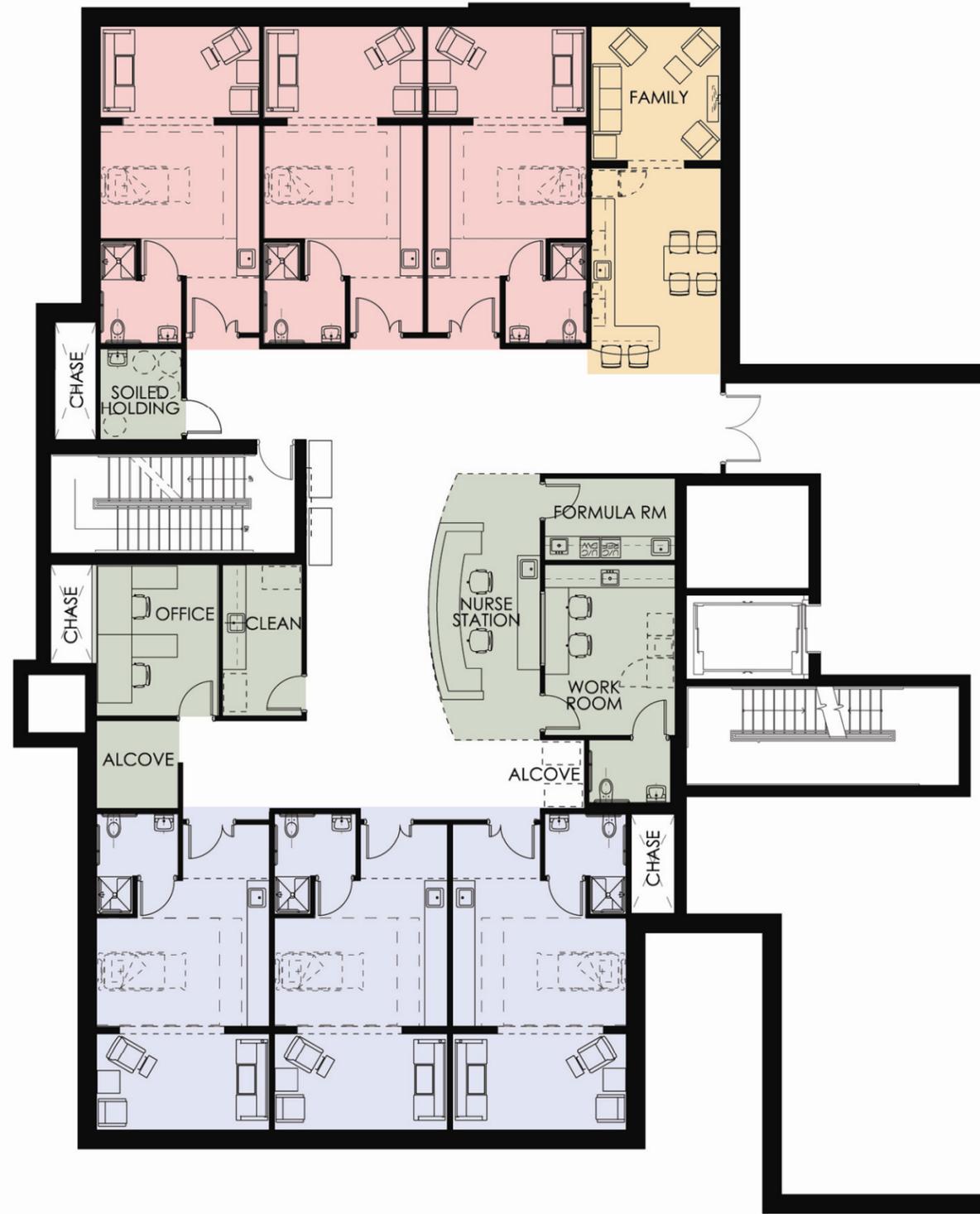
OVERALL THIRD FLOOR PLAN
 DRAWING NO. **OA-103**

PROJECT NO. 172500 DATE 9/4/2013

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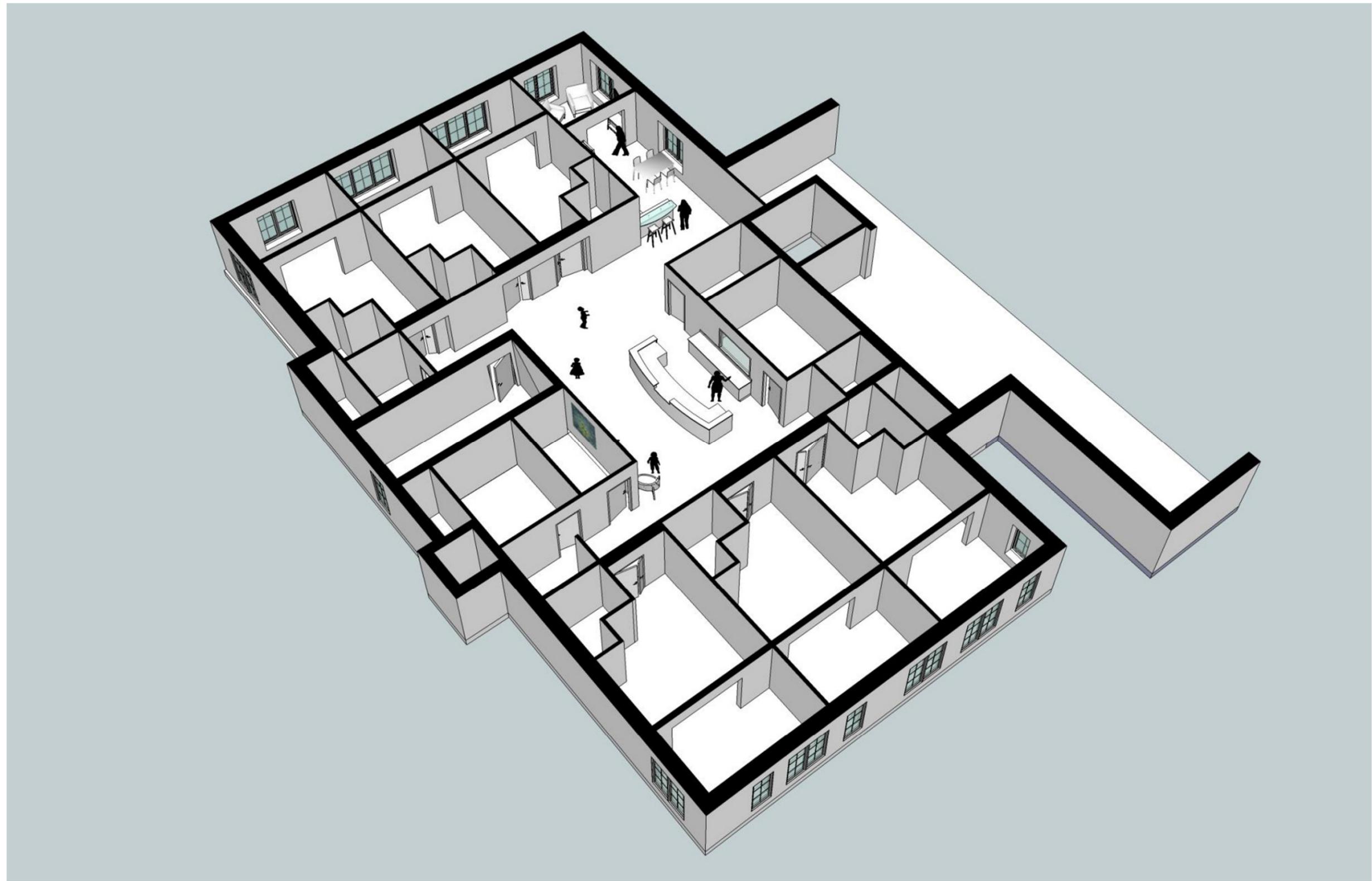
Second Floor



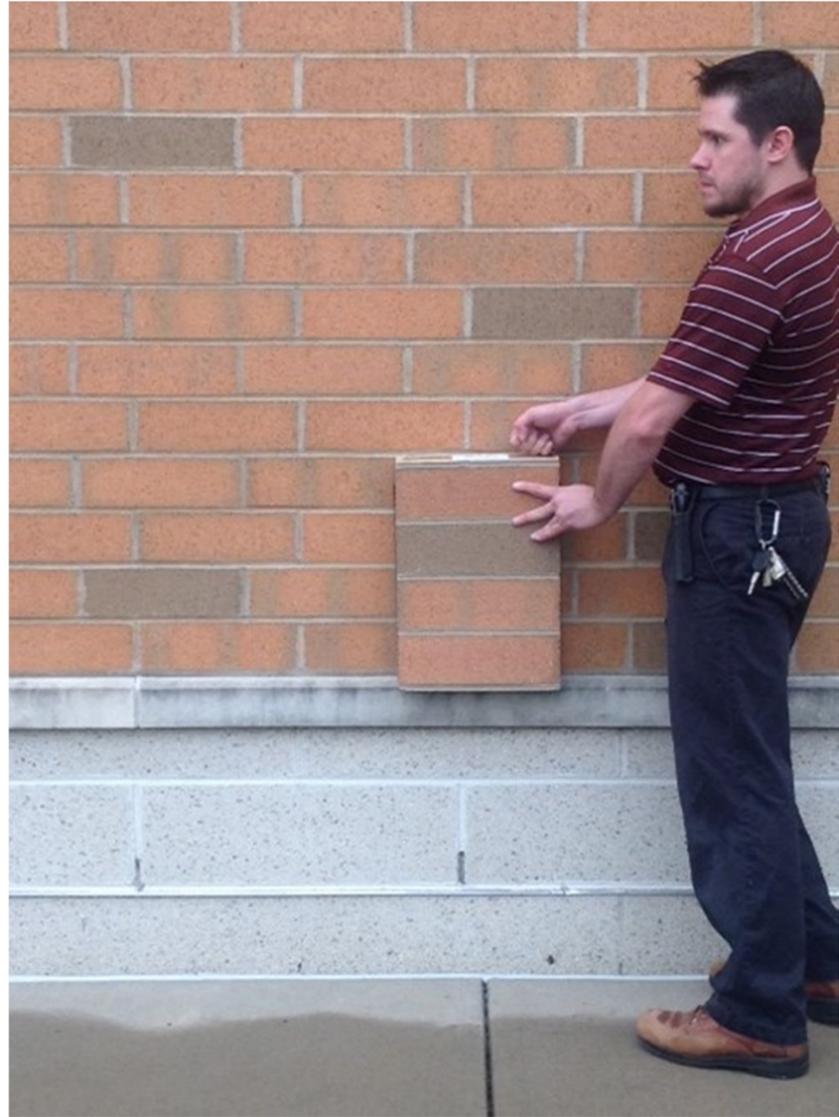
Third Floor



Second Floor Patient Room Perspective



Third Floor Overall View



Brick Matching



Remove existing roof structure and add second and third floors

Existing Front Corner

New 2nd and 3rd floor on existing building

Existing three story building

Roof heights to match existing height

Brick to match at 2nd & 3rd floor

Existing brick to remain at 1st floor



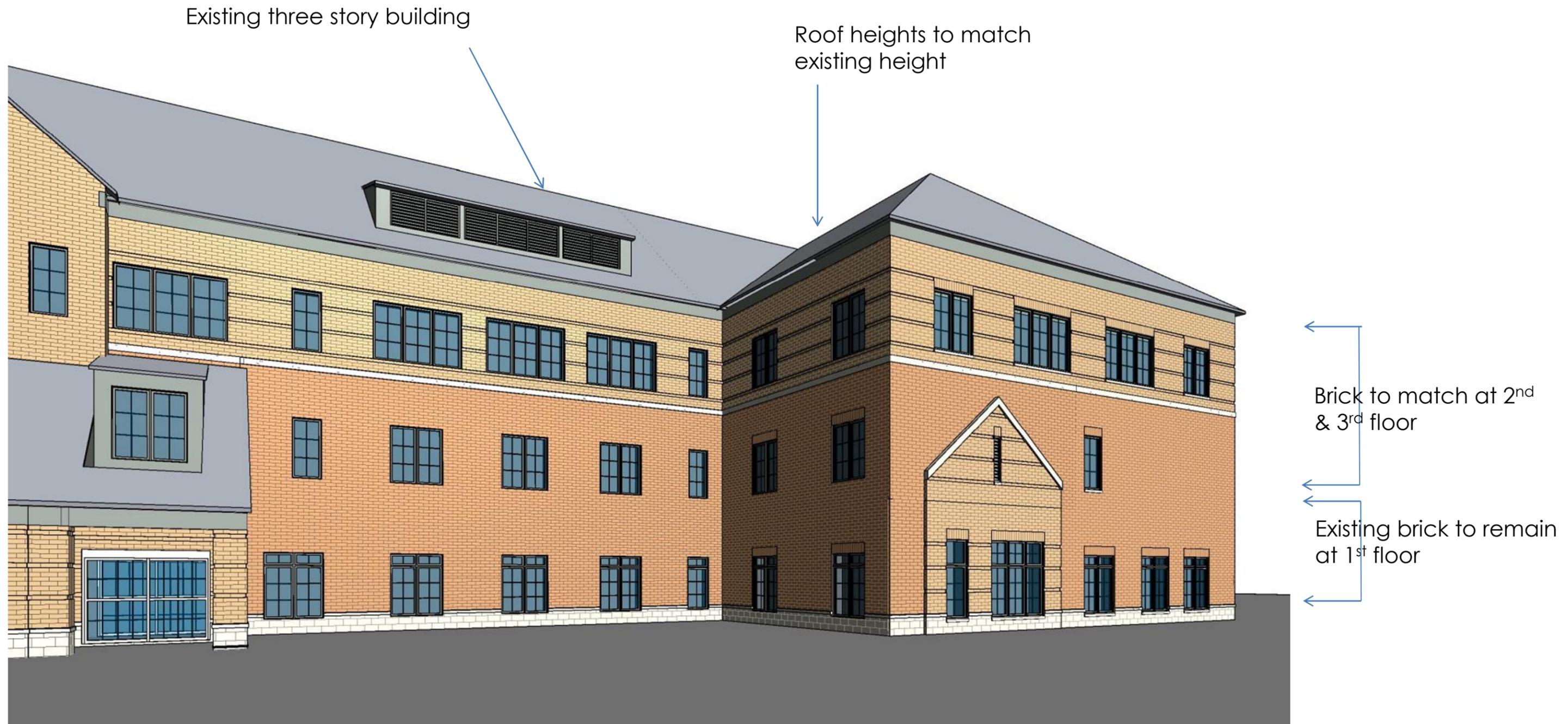
New Front Corner



Roof heights to match existing height

Remove existing roof structure and add second and third floors

Existing Entrance Corner



New Entrance Corner



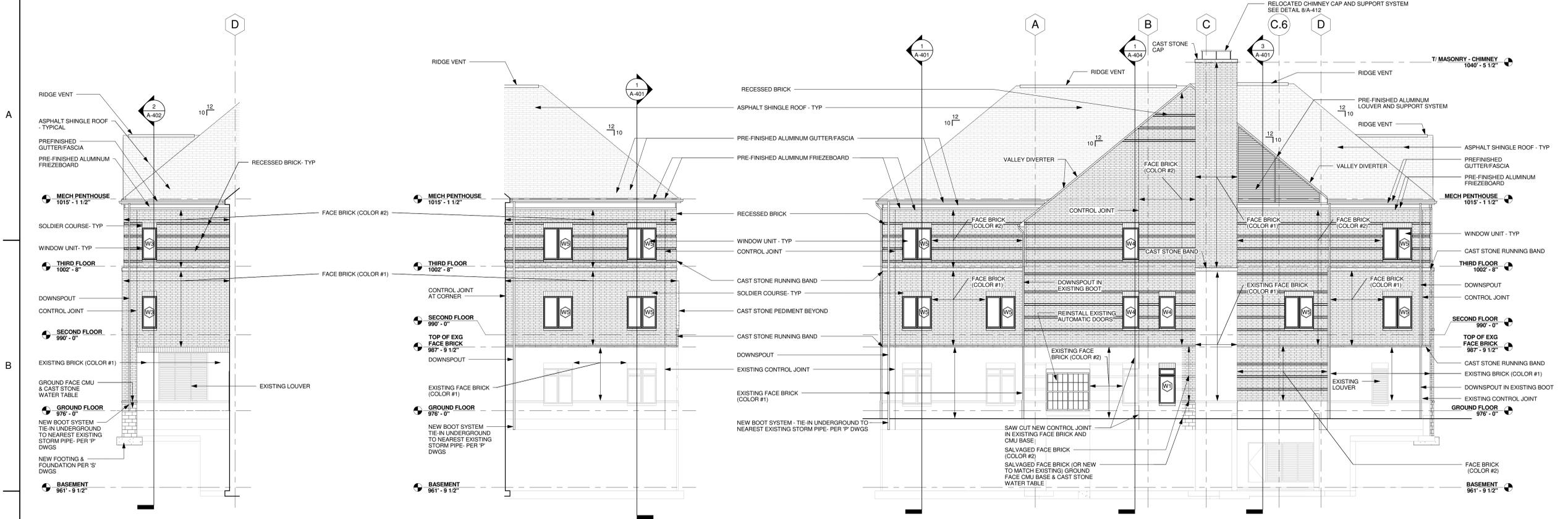
Existing Back Corner

New 2nd and 3rd story on first floor

Existing three story building



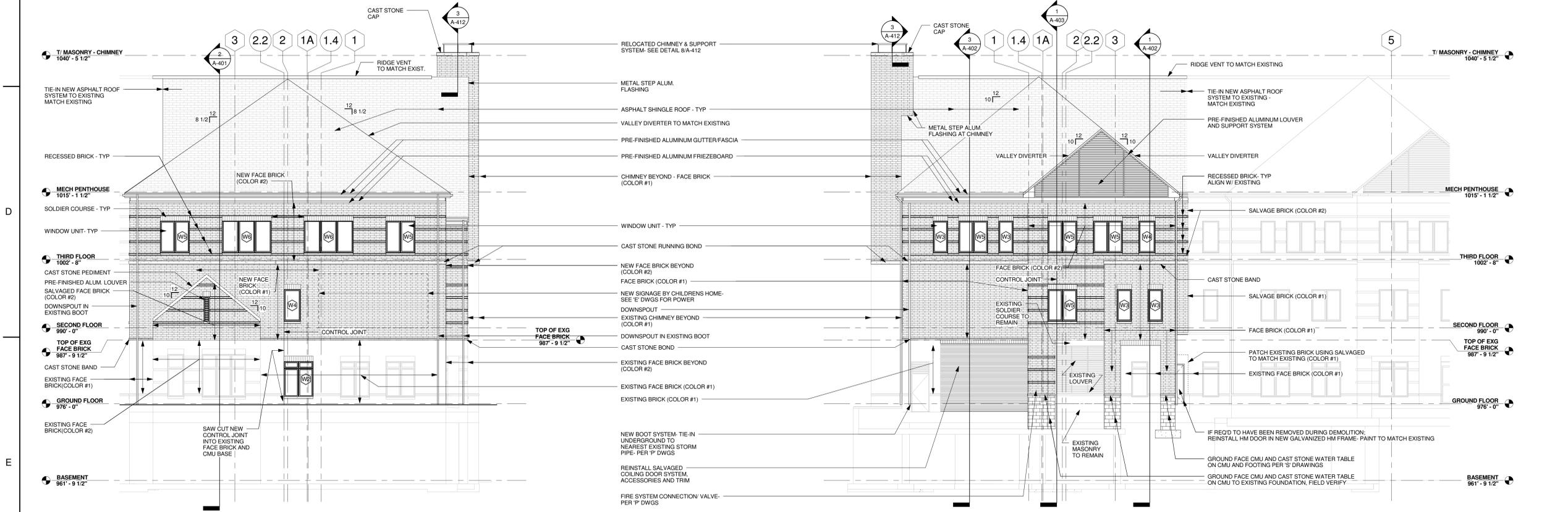
New Back Corner



1 PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"

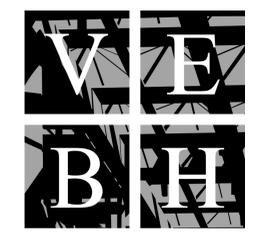
2 PARTIAL WEST ELEVATION 2
SCALE: 1/8" = 1'-0"

3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



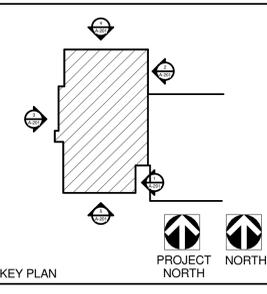
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

5 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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CONTACT PERSON: DAN ENGEN



ADDITIONS AND ALTERATIONS
FOR
THE CHILDREN'S HOME & LEMIEUX FAMILY CENTER
5324 PENN AVE,
PITTSBURGH, PA 15224

ELEVATIONS

DRAWING NO. **A-201**

PROJECT NO. 172500 DATE 11 / 1 / 2013

on look ahead bottom -
future projects.

PDP # 13-36

City of Pittsburgh



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Date Filed:

5/9/13

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Wendy's Old Fashioned Hamburgers of New York, Inc.		Phone Number: (412) 337-3323	
Address: 40 General Warren Blvd. Suite 260	City: Malvern	State: PA	Zip Code: 19355
2. Applicant/Company Name: Wendy's Old Fashioned Hamburgers of New York, Inc.		Phone Number: (412) 337-3323	
Address: 40 General Warren Blvd. Suite 260	City: Malvern	State: PA	Zip Code: 19355
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: Proposed Wendy's Rebuild			
4. Development Location: Baum Blvd. between Allen Ave. and Graham St.			
5. Development Address: 5422 Baum Blvd.			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	no change		
Present Use of Site: (Select from attached list)	restaurant, fast food (general)		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 08 /01/13	Occupancy Date: 11/01 /13	Project Cost: \$ 750,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): restaurant, fast food (general)

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: Proposed demolition of existing restaurant and construction of new 3,952 sf restaurant and associated parking, landscaping, lighting and utility connections.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial 1 Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	3,400	sq ft
Existing to be Retained:	0	sq ft
Retained Area to be Renovated:	N/A	sq ft
To be Constructed:	3,952	sq ft
Building Footprint:	3,952	sq ft

15. Height of Structures:

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	1	16+/-	1	24
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

Trash Enclosure	1	6'-8"+/-	1	6'-8"
Ornamental Fence	1	4'+/-	1	4'

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 29,774 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	42	29
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')	2	2

Off-Street Loading Spaces: N/A
 Actual: 1
 Required: 1

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

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For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- | | | | |
|---|---------------------------------|---|--|
| 1 | New Water Service Connection(s) | 1 | Termination of Existing Water Service Tap(s) |
| 1 | New Sewer Service Connection(s) | 1 | Termination of Existing Sewer Service Tap(s) |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

Applicant requests PWSA to accept ownership of the sewer mains and/or water lines

Applicant retains private ownership of sewer mains and/or water lines

Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

Public Property, Existing City Street Private Property Not Applicable

Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

Applicant requests to change or designate the name of a City Street.

The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.

Modification or reconstruction of City curbs.

Design and construction of a new street where the Applicant will request the City to accept ownership of the street.

Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.

The proposed work will create an obstruction of traffic on City rights-of-way.

The proposed work includes the excavation of a City street or sidewalk.

The proposed work includes the placement of a demolition dumpster in a City right-of-way.

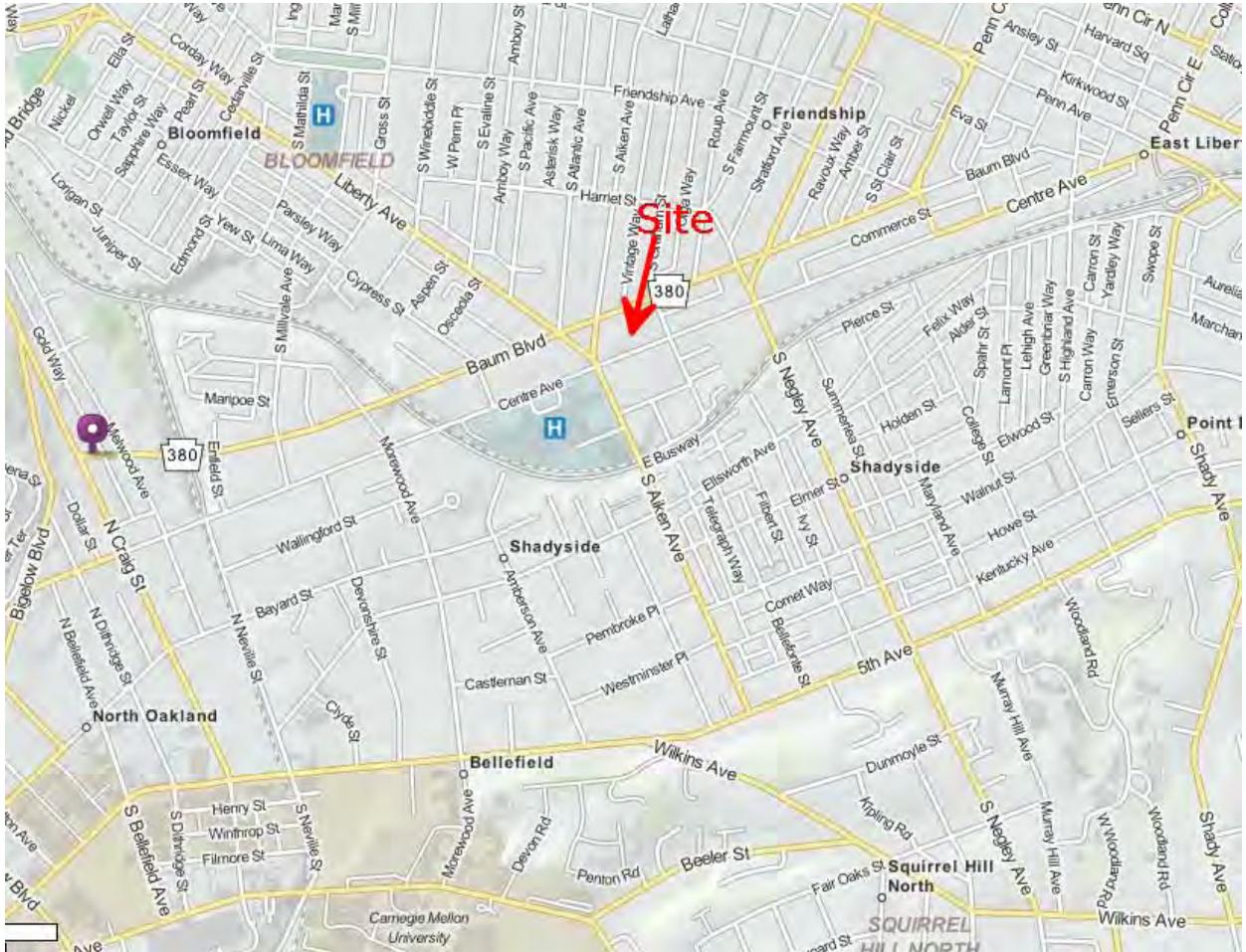
The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:

VOUCHER #: _____
(Zoning Use Only)

LOCATION MAP

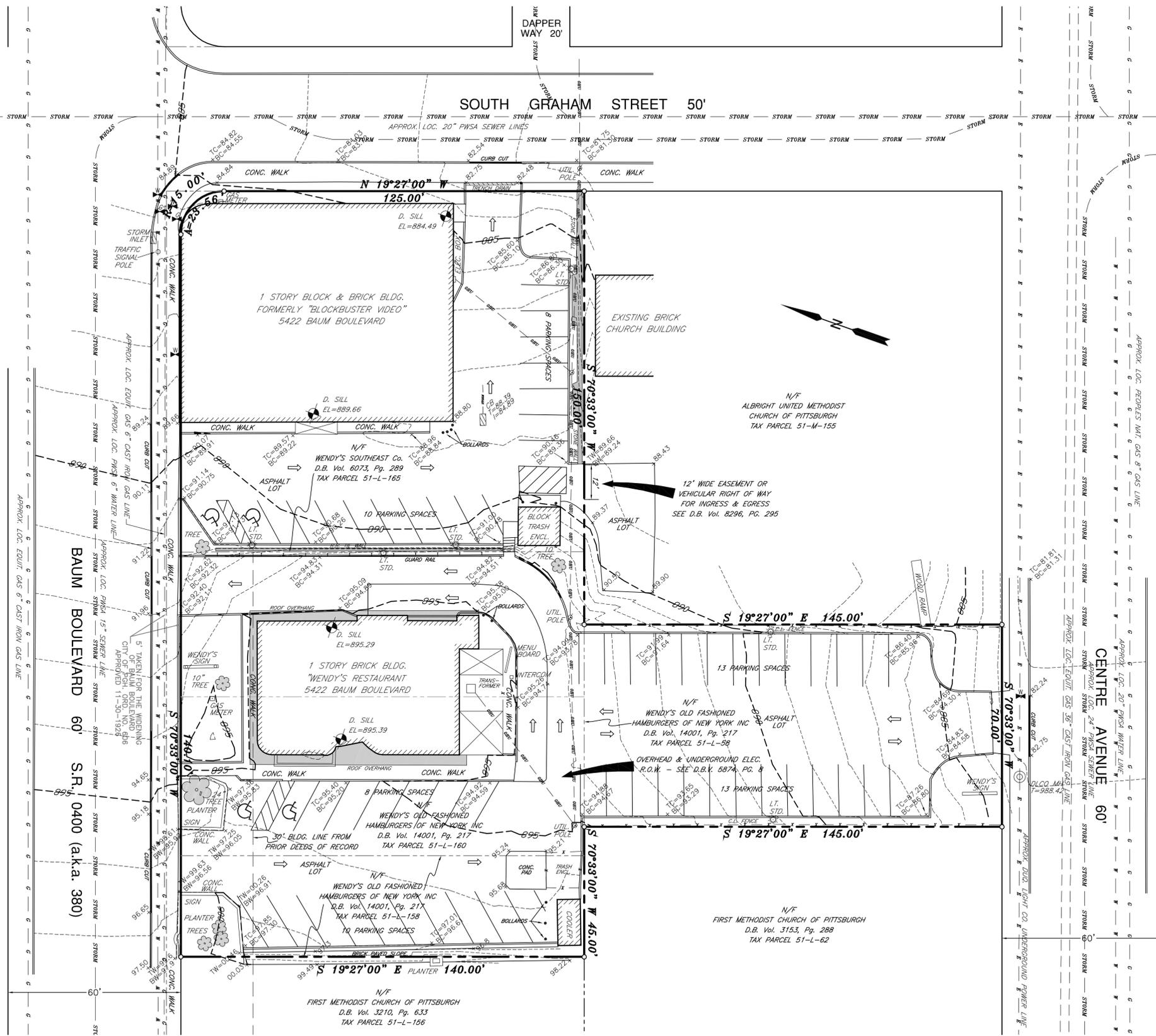


GENERAL NOTES:

- 1). TOPOGRAPHY IS BASED ON AN ASSUMED ELEVATION DATUM.
- 2). UNDERGROUND UTILITIES ARE SHOWN FROM AVAILABLE INFORMATION AND PLANS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT KNOWN.



VICINITY MAP
(N.T.S.)



LEGEND

- GASLINE
- WATERLINE
- SANITARY SEWER
- STORM SEWER
- OVERHEAD UTILITIES
- GAS VALVE
- GAS METER
- WATER VALVE
- FIRE HYDRANT
- CATCH BASIN
- ELECTRIC METER
- CLEAN OUT
- SANITARY MANHOLE
- TELEPHONE POLE
- SIGN

PARKING COUNT-WENDY'S	
REGULAR	42
HANDICAP	2
TOTAL	44

PARKING COUNT-BLOCKBUSTER	
REGULAR	16
HANDICAP	2
TOTAL	18

TOTAL PLAN AREA
47,202.05 Sq. Ft.
1.084 Acres

DEVELOPER:
WENDY'S INTERNATIONAL, INC.
920 CASSATT ROAD, SUITE 310,
BERWYN, PA 19312
SURVEYOR:
TAIT ENGINEERING
908 PERRY HIGHWAY
PITTSBURGH, PA 15229
412.364.6090

Underground utilities have been plotted from available information and the locations must be considered approximate. Other underground utilities may exist which are not shown. It will be the contractor's responsibility to ascertain all physical locations of utility lines prior to the time of construction. In no way shall the contractor hold the surveyor responsible for any utility locations shown on this plan.

Pennsylvania legislation, act 38, requires notification to utility companies prior to any digging, drilling, blasting, or excavation. For location requests in the state of Pennsylvania call toll free.

1-800-242-1776
SERIAL #20121780608



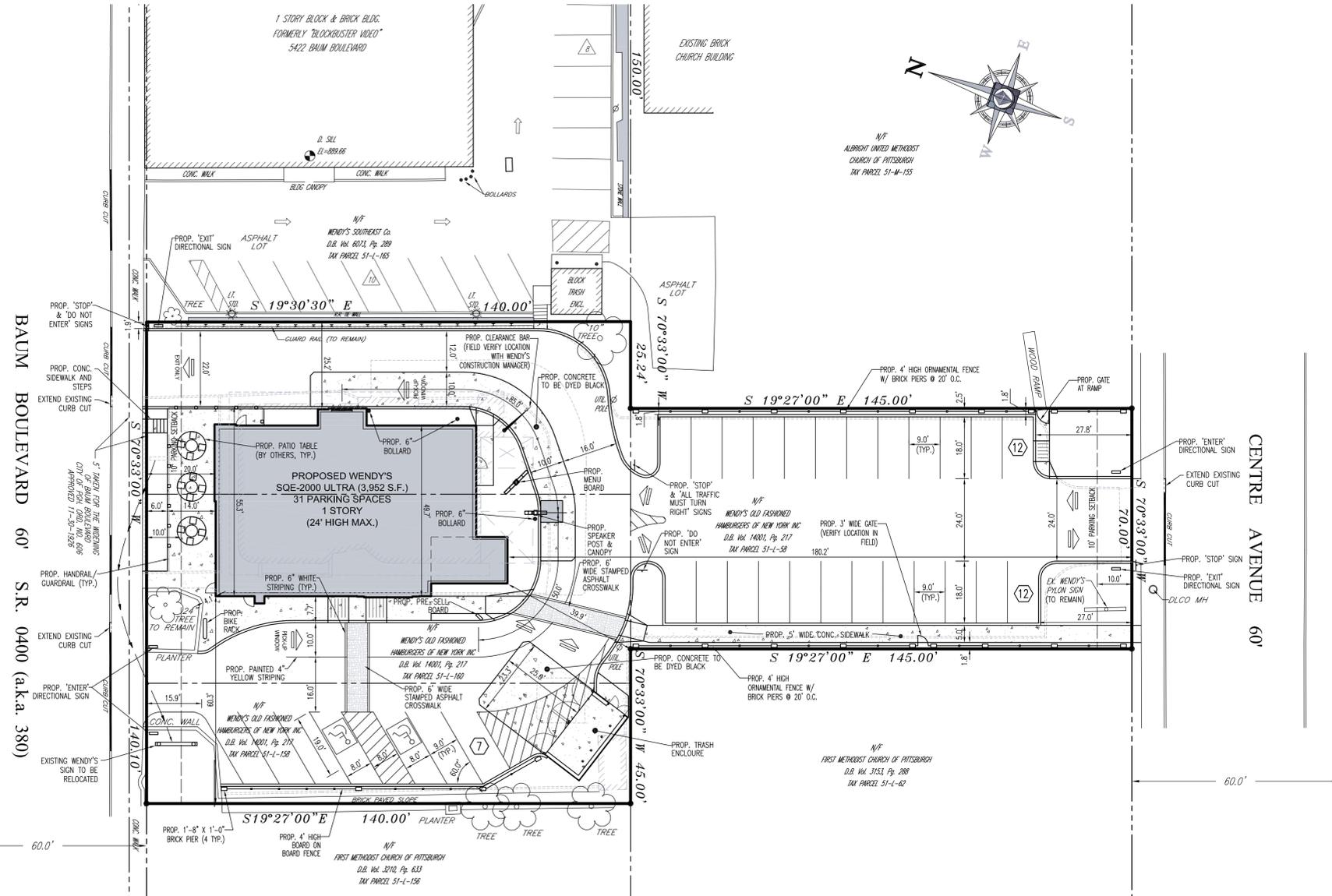
PLAN OF PROPERTY
SITUATE IN
8th WARD, CITY OF PITTSBURGH,
ALLEGHENY COUNTY, PA.
MADE FOR
WENDY'S INTERNATIONAL, INC

Date: JUNE 12, 2012
Scale: 1" = 20'
Drawn By: CRG
Reviewed By: DTT
File Number: 35010
CAD File: 12.0125
Revisions:

Registered Surveyor
Reg. No. 050050-E

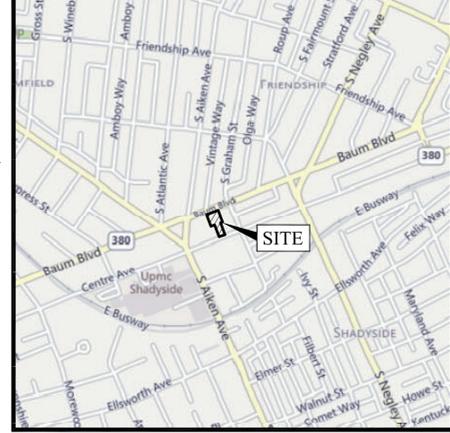
TAIT
ENGINEERING, INC.

908 Perry Highway
Pittsburgh, Pennsylvania 15229
tel: 412.364.6090
fax: 412.364.6716
e: taiteng@taitengineering.net



SITE PLAN GENERAL NOTES

- THIS DRAWING REFERENCES A PLAN BY:
 - TAT ENGINEERING, INC. 908 PERRY HIGHWAY PITTSBURGH, PA 15229 ENTITLED: "PLAN OF PROPERTY" PREPARED FOR: WENDY'S INTERNATIONAL, INC. FILE NO: 35010 CAD FILE: 12.0125 DATED: JUNE 12, 2012
 - WALLIN-GOMEZ ARCHITECTS, LTD. 711 SOUTH DEARBORN STREET, SUITE 606 CHICAGO, IL 60605 ENTITLED: "LANDSCAPING PLANS" PREPARED FOR: WENDY'S OLD FASHIONED HAMBURGERS OF NEW YORK, INC. JOB NO: 11049 DATED: 09/00/11
- SPECIFIC RESOURCES, TECHNICAL REPORTS, DESIGN DOCUMENTS, ETAL RELATED TO THIS PROJECT ARE AS FOLLOWS:
 - GEOTECHNICAL INVESTIGATION, PREPARED BY ACA ENGINEERING INC., DATED 12/11/12.
- CONTRACTOR IS RESPONSIBLE TO OBTAIN THESE DOCUMENTS AND FAMILIARIZE HIMSELF WITH SAME FOR APPLICATION BOTH PRIOR TO AND DURING CONSTRUCTION.
- ALL ELEVATIONS SHOWN ARE IN ACCORDANCE WITH THE REFERENCED SURVEYOR'S BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAK.
- APPLICANT/OWNER: WENDY'S OLD FASHIONED HAMBURGERS OF NEW YORK, INC. 40 GENERAL WARREN BOULEVARD, SUITE 260 MALVERN, PA 19355
- PARCEL DATA: TWP# 51-L-58, TWP# 51-L-158 & TWP# 51-L-160
- ALL CURB RADI SHOULD BE 5.0 FEET UNLESS OTHERWISE NOTED.
- ALL ACCESSIBLE PARKING STALLS, ACCESSIBLE ROUTES, RAMPS AND ALL OTHER PROVISIONS FOR ADA COMPLIANCE (INTERNALLY TO SITE FEATURES AND FROM SITE FEATURES TO PUBLIC WAYS) SHALL BE CONSTRUCTED IN COMPLIANCE WITH ALL APPLICABLE ADA REQUIREMENTS AND REGULATIONS. THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR ADA COMPLIANCE FOR ALL PROPOSED FEATURES DEPICTED ON THESE PLANS. IT IS THE OWNER'S RESPONSIBILITY TO ESTABLISH AND MAINTAIN CONTINUED COMPLIANCE WITH THE ADA REGULATIONS PERTAINING TO ON AND OFF SITE FEATURES.
- ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- FEATURES TO BE REMOVED ARE NOTED (TBR).
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES. CONTRACTOR IS RESPONSIBLE TO COORDINATE CERTIFICATIONS, SIGN-OFFS, ETC. NECESSARY FOR JOB CLOSE-OUT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, REFERENCED DOCUMENTS, AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE GEOTECHNICAL INVESTIGATION AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL INVESTIGATION & PLANS, ETC.
- THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY OUR OFFICE IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS AND SITE LIGHTING ELECTRICAL DESIGN AND LAYOUT.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES. CONTRACTOR SHALL PROPERLY REMOVE & DISPOSE OF HAZARDOUS/UNSATISFACTORY MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES & LAWS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ADJACENT TO PAVEMENT, STRUCTURE, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT TO REMAIN, AND PROVIDE A SAFE WORK AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECT CABLE, CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIR SHALL BE EQUAL TO OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
- ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS AND REFERENCED DOCUMENTS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL INVESTIGATION.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND ENGINEER OF RECORD WHEN A CONFLICT IS IDENTIFIED.
- THE ENGINEER OF RECORD HEREIN IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS HE BEEN RETAINED FOR SUCH PURPOSES.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, INC., ITS SUB CONSULTANTS AS AN ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST CARRY CONTRACTORS LIABILITY INSURANCE WITH CERTIFICATIONS OF THE REQUIRED INSURANCE AS EVIDENCED BY THE CONTRACTORS TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS BOHLER ENGINEERING, INC. AND ITS SUB CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, INC., NOR THE PRESENCE OF BOHLER ENGINEERING, INC. OR ITS EMPLOYEES AND SUB CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. BOHLER ENGINEERING, INC. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING, INC. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- BOHLER ENGINEERING, INC. SHALL REVIEW AND ADVISE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOHLER ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BOHLER ENGINEERING, INC. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF BOHLER ENGINEERING, INC. IN WRITING BY THE CONTRACTOR. BOHLER ENGINEERING, INC. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, INCLUDING COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.



BOHLER ENGINEERING

CIVIL & CONSULTING ENGINEERS

CORPORATE OFFICE: WARREN, NJ

OFFICES:

- SOUTH BRIDGE, MA
- BOWEN, MD
- ROCKFORD, IL
- ROCKY HILL, CT
- STERLING, VA
- GREENSBORO, NC
- PHILADELPHIA, PA
- PHILADELPHIA, PA
- TAMPA, FL

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL

PA1

POCS SERIAL NUMBER: 2012178008

1-800-242-1776

PROJECT No.: P131043

DRAWN BY: M.A.M.

CHECKED BY: J.S.B.

DATE: 10/11/2013

SCALE: 1"=20'

CAD I.D.: P131043SITE-0

CONSTRUCTION DOCUMENTS

FOR

WENDY'S OLD FASHIONED HAMBURGERS OF NEW YORK, INC.

PROPOSED REBUILD

5422 BAUM BOULEVARD
8TH WARD
CITY OF PITTSBURGH
ALLEGHENY COUNTY
PENNSYLVANIA

BOHLER ENGINEERING

1600 MANOR DRIVE, SUITE 200
CHALFONT, PENNSYLVANIA 18914

Phone: (215) 996-9100
Fax: (215) 996-9102

www.BohlerEngineering.com

J.S. BARAN

PROFESSIONAL ENGINEER

PENNSYLVANIA LICENSE No. PE-066997-E

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

1

OF 2

REVISION - 2013.10.11

SITE DESIGN REQUIREMENTS

ZONING DATA: UNC, URBAN NEIGHBORHOOD COMMERCIAL DISTRICT (BAUM-CENTRE CORRIDOR OVERLAY DISTRICT)
EXISTING/PROPOSED USE: RESTAURANT - FAST FOOD (GENERAL); (PERMITTED BY SPECIAL EXCEPTION)

	REQUIRED	PROPOSED
MIN. LOT SIZE:	0	29,774 S.F.
MAX. FLOOR AREA RATIO:	31	0.131
CALCULATED BUILD-TO LINE (BAUM BLVD):	20.9'	20.0'
CALCULATED BUILD-TO LINE (CENTRE AVE):	92.7'	180.2' (VARIANCE)
BLDG. FRONTAGE ALONG BUILD-TO LINE (BAUM BLVD):	65%	39.5% (55.3'/140') (VARIANCE)
BLDG. FRONTAGE ALONG BUILD-TO LINE (CENTRE AVE):	65%	71.0% (49.7'/70')
MIN. FRONT SETBACK:	NONE REQUIRED	20.0'
MIN. REAR SETBACK:	N/A	20'
MIN. EXTERIOR SIDE YARD SETBACK:	NONE REQUIRED	24.6'
MIN. INTERIOR SIDE YARD SETBACK:	NONE REQUIRED	N/A
MIN. PARKING SETBACK FROM STREET ROW:	10'	15.9'
MAX. BUILDING HEIGHT:	45'	24'

PARKING:
REQUIRED: 1 SPACE PER 75 SF OF DINING/CUSTOMER SERVICE AREA (1,906 SF/75 SF = 25 SPACES)
PROVIDED: 31 SPACES (INCLUDING 2 ACCESSIBLE PARKING SPACES)
MIN. REQUIRED PARKING SPACE SIZE (90' x 19'; PROVIDED 9'x18' & 9'x19' (VARIANCE)

DRIVE-THRU:
REQUIRED: 6 STACKING SPACES FROM ORDER BOX (120')
PROVIDED: 6 STACKING SPACES FROM ORDER BOX (120')

LOADING:
REQUIRED: ONE (1) SPACE (10'x55')
PROVIDED: ONE (1) SPACE (10'x55') (OFF PEAK HOURS)

LIST OF VARIANCES GRANTED BY THE CITY OF PITTSBURGH ZONING BOARD OF ADJUSTMENT ON 8/8/13:

- 911.02.A.55 - USE OF RESTAURANT FAST FOOD (GENERAL) REQUIRES A SPECIAL EXCEPTION APPROVAL IN UNC ZONING DISTRICT.
- 914.09.H.1 - MINIMUM OF 60% OF REQUIRED OFF-STREET PARKING SPACES SHALL BE STANDARD-SIZE SPACES (8.5'x19'); 8.5'x18' PROPOSED FOR 24 SPACES.
- 918.03.B.3 - SCREEN SHALL BE DESIGNED AND INSTALLED SO THAT THE OBJECT BEING SCREENED IS NOT MORE THAN 20% VISIBLE.
- 922.04.E.3(g) - SHALL MAINTAIN A 65% BUILDING FRONTAGE ALONG ESTABLISHED BUILD-TO LINE; 39.5% PROPOSED ALONG BAUM BLVD.

DRAWING LEGEND

	PROPERTY BOUNDARY		EXISTING UTILITY POLE
	LEGAL RIGHT-OF-WAY		EXISTING MANHOLE
	ADJACENT PROPERTY LINE		EXISTING INLET
	EXISTING CURB		PROPOSED PARKING CUNT
	PROPOSED CURB		PROPOSED SIGN
	PROP. 4' HIGH ORNAMENTAL FENCE W/ STONE PIERS		PROPOSED BUILDING
	PROP. 4' HIGH BOARD ON BOARD FENCE		PROPOSED PAVEMENT STRIPING
			PROPOSED CONCRETE

NOTES:

- STREETPRINT PATTERN MAY BE SET INTO PAVEMENT EITHER AT THE TIME SURFACE COURSE IS LAYED AND STILL HOT OR AFTER THE WEARING COURSE HAS BEEN GIVEN TIME TO SET, WHEREBY THE CROSSWALK SECTION WOULD BE REHEATED AND THE PATTERN IMPRINTED INTO THE PAVING. CONTRACTOR SHALL CONSULT WITH STREETPRINT FOR SPECIFIC REQUIREMENTS AND COORDINATE WITH TOWNSHIP ENGINEER FOR INSPECTION PURPOSES.
- STREETPRINT CONTACT: PHONE 1-800-688-5652 WEBSITE: www.streetprint.com
- A STANDARD STREETPRINT COLOR SHALL BE USED FOR THE COLORATION OF THE CROSSWALK. COLOR SAMPLES SHALL BE SUBMITTED TO THE WENDY'S CONSTRUCTION MANAGER FOR APPROVAL.

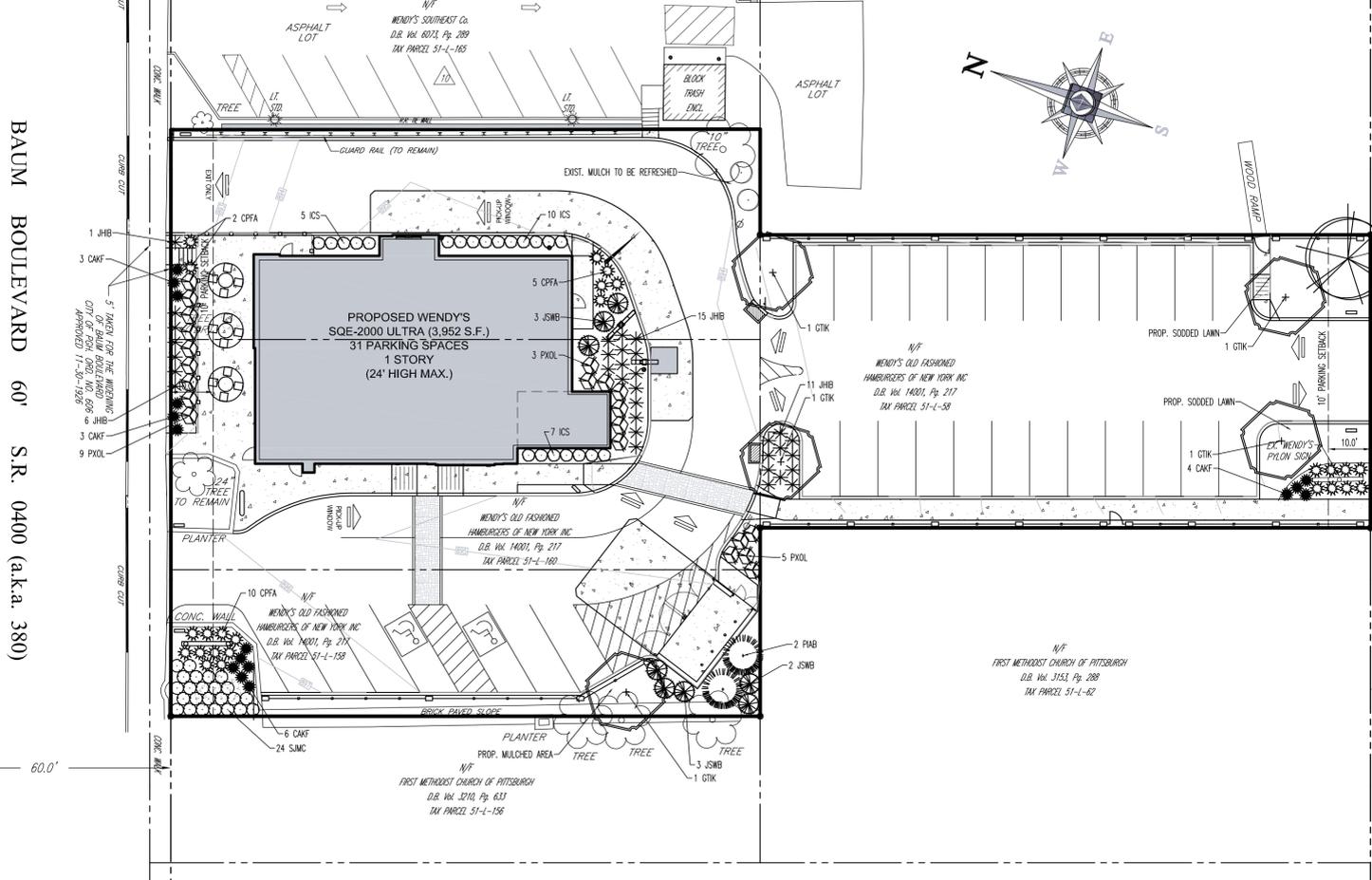
"STREETPRINT" ASPHALT IMPRINTED TEXTURED CROSSWALKS

N.T.S.



BAUM BOULEVARD 60' S.R. 0400 (A.K.A. 380)

CENTRE AVENUE 60'



LANDSCAPE SPECIFICATIONS

- 1. SOIL WORK:**
 - A. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOILING, PLANTING AND MAINTAINING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE SPECIFIED BY THE GENERAL CONTRACTOR.
- 2. WEEDS:**
 - A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
 - B. TOPSOIL - NATURAL, FRANGE, LOAMY SOIL, HAVING AN ORGANIC CONTENT NOT LESS THAN SIX (6) PERCENT, WITH A RANGE BETWEEN 5.5-10.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE (1) INCH, WOOD, STUMPS, VEGETABLE MATTER AND CLUMP CLOS.
 - C. LAWN - LAWN AREAS SHALL BE SEEDED OR SOILED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL CONDITION REPORT AND SHALL BE SEEDED WITH A MIXTURE OF SEEDS TO PROVIDE A FERTILE SOIL TO BE SEED.
 - D. MULCH - ALL PLANTING BEES SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDED HAYWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
- 3. FERTILIZER:**
 - A. FERTILIZER SHALL BE DELIVERED TO THE SITE AS SPECIFIED IN THE ORIGINAL MANUFACTURER'S INSTRUCTIONS. UNLESS OTHERWISE SPECIFIED, FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
 - B. FOR THE PURPOSES OF SOILING, ASSUME THAT FERTILIZER SHALL BE 100% NITROGEN, 30% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED UNLESS A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
- 4. PLANT MATERIALS:**
 - A. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z603.1) LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
 - B. PLANTS SHALL BE LEADERSHIP GRADES WITH THE PROPER NAME AND SIZE. THEY ARE TO BE PLANTED ON AT LEAST ONE EACH OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
 - C. TREES WITH ROTATION OF THE BARK, SUN SCALDS, DEFORMATION OR FRESH CUTS OF BRANCHES OVER 1/4" WHICH HAVE NOT BEEN COMPLETELY CALLED SHALL BE REJECTED.
 - D. PLANTS SHALL NOT BE GROWN WITH WIRE OR ROPE OR ANY OTHER DEVICE TO DAMAGE THE BARK OR BREAK BRANCHES.
 - E. ALL PLANTS SHALL BE TOPPED OF THEIR SPREADS OR BRANCHES AND SHALL HAVE A NORMAL WEIGHT OF GROWING WOOD DEVELOPING BRANCHES, BROADLY FOLIATED, WOODS ROOT SYSTEMS SHALL BE FREE OF ROT, BARK, WOUNDS, WOUNDS, GAPS OR DAMAGE.
 - F. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GROUNTS FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER IS SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GROUNTS.
 - G. SHIRRS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHIRRS, AND NOT TO THE LONGEST BRANCH.
 - H. TREES AND SHRUBS SHALL BE WOUND WITH CARE BY THE ROOT BALL.
- 5. GENERAL WORK PROCEDURES:**
 - A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN MANNER AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
 - B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- 6. SITE PREPARATION:**
 - A. REMOVE AND STRIP PREVIOUSLY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE CUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
 - B. ALL EXISTING TREES TO REMAIN SHALL BE PERMANENTLY MARKED AND BOUND. THE ENTIRE LAND OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL INSURE THAT CUTS ARE SMOOTH AND CLEAN. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN SHARP TOOLS AND TO BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE CUT EXPOSED FOR MORE THAN THE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
 - C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- 7. TREE PROTECTION:**
 - A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE 4" LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOGGING STRIPS SHALL NOT BE CUT EXPOSED FOR MORE THAN THE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
 - B. A FORTY-EIGHT (48") HIGH WOODEN SHAW FENCE OR ORANGE COLORED HIGH-DENSITY "NO-FRUIT" OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MINIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
 - C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE NOTICED BY THE APPROVING AGENCY PRIOR TO COMMENCING GRADING, TREE CUTTING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
 - D. AT NO TIME SHALL MACHINERY, DEBRIS, FRESH TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
- 8. SOIL WORKINGS:**
 - A. CONTRACTOR SHALL ATTEMPT A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR ORANGE CONDITIONS CONSIDERED DETERMINAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NOT BE CONDUCTED BY THE LANDSCAPE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
 - C. THE FOLLOWING AMOUNTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPLETION OF AMENDMENTS SHOULD BE REVIEWED PERFORMING THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - D. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY MIX ORGANIC MATTER INTO THE TOP 6-12" USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED IN A DARK COLOR AND BE FREE OF PLANTS WITH CONTAINABLE LEAF OR WOOD STRUCTURE. ADDITIONAL MATERIAL WITH A PH RATIO OF 7.0 TO 8.0.
 - E. TO INCREASE ORGANIC MATTER HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PEAT BARK (UP TO 20% BY VOLUME) AND/OR APPROXIMATELY EQUAL VOLUME OF COMPOSTED LEAF MULCH OR PEAT MOSS. COMPOST SHOULD BE USED IN PROPORTION TO BRING THE SAME CONTENT TO MORE THAN 50% OF THE TOTAL MIX. SUBSEQUENT DRAINAGE LINES NEED TO BE ADDED TO INCREASE DRAINAGE.
 - F. MOISTLY EXTREMELY SANDY SOILS (MORE THAN 80% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO SIZE OF TOTAL MIX.
- 9. FINISHED GRADING:**
 - A. UNLESS OTHERWISE SPECIFIED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
 - B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (7.5").
 - C. ALL LAWN AND PLANTING BEDS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM FINISH WITH AN ABSOLUTE GRAD OF SURFACE AS SPECIFIED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE SPECIFIED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
 - D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. EXCESS WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
 - E. TOPSOIL:
 - 1. TOPSOIL: A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL OR AS DIRECTED BY THE LOCAL JURISDICTION OR CLIENT. IN ALL PLANTING AND LAWN AREAS, TOPSOIL SHOULD BE SPREAD OVER A PREPARED SUBGRADE IN A UNIFORM LAYER TO ACHIEVE THE REQUIRED COMPACTED THICKNESS.
 - B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
 - C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

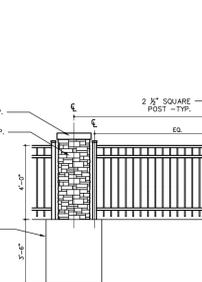
LANDSCAPE SCHEDULE

KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS
1	1	ACTINORRHIZA	RED WATTLE	2 1/2-3" CAL.	B+B
2	1	GLORIOSA	TRICOLOR THORNLESS HYDRANGEA	2 1/2-3" CAL.	B+B
3	1	PICEA ABIES	NORWAY SPRUCE	6-7'	B+B
4	1	DIAPHYCERIS PERSEA	WINTER GREEN	24-30" SPDL.	CONTAINER
5	1	HEX CORNIA	WINTER HYDRANGEA	30-36"	CONTAINER
6	1	JUNIPERUS SCOPULORUM	WINTER BLUE	3-4'	B+B
7	1	PRUNUS LAROCINENSIS	TOYO LYONS	24-30"	CONTAINER
8	1	SPHRAJA JAPONICA	WAGAI CARPET	12-15"	CONTAINER
9	1	JUNIPERUS HORIZONTALIS	WINTER BLUE	15-18" SPDL.	CONTAINER
10	1	DIAPHYCERIS PERSEA	WINTER GREEN	1 GAL.	CONTAINER

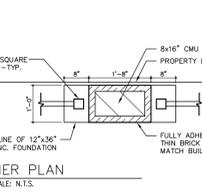
COMPLIANCE CHART

SECTION	REQUIREMENT	CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANCE
1515.02.1	TREE OF TREES WITH A DIAMETER OF 1" OR GREATER, MEASURED AT A POINT 4" ABOVE GRADE, IF A SAID TREE IS REMOVED, THEY SHALL BE REPLACED, AT A MINIMUM EQUAL TO THE COMBINED TOTAL DIAMETER OF REMOVED TREES.	TOTAL CALIPER INCHES REMOVED: 24" (INCLUDING (1) 4" TREE) REQUIRED: 24" (24" = 24") PROVIDED: NONE	VARANCE
1515.02.2	B. OFF-STREET PARKING AREAS: A MINIMUM OF 100 SQUARE FEET OF LANDSCAPING SHALL BE PROVIDED FOR EACH PARKING SPACE IN PARKING LOTS WITH UP TO 10 PARKING SPACES. THE LANDSCAPING SHALL INCLUDE AT LEAST 1 TREE FOR EVERY 5 PARKING SPACES. LANDSCAPED AREAS SHALL BE A MINIMUM OF 5' IN WIDTH.	TOTAL PARKING: 31 SPACES REQUIRED: 31 (25 + 7) S.F. OF LANDSCAPING PROVIDED: 2355 S.F.	COMPLIES
1515.02.3	C. STREET TREES: AT LEAST 1 TREE SHALL BE PROVIDED FOR EACH 30' OF PROPERTY ADJOINING A PUBLIC STREET. STREET TREES SHALL BE PLANTED BETWEEN THE SIDEWALK AND STREET CURB OR WITHIN 20' OF THE CURB.	LENGTH ALONG CENTRE AVE: 451' L.F. REQUIRED: 15 (451 / 30 = 15.03) OR 15 TREES PROVIDED: 14 (1 TREE)	COMPLIES
1515.02.4	A. APPLICABILITY: THE FOLLOWING SHALL BE SCREENED ON ALL SITES EXCEPT THOSE SITES THAT HAVE OTHER FEATURES REQUIRED TO BE SCREENED.	ALL REFUSE RECEPTACLES, LOADING AREAS AND PAVING AREAS ARE SCREENED BY EXISTING CURBS IN GRADE, FENCING OR WALLS AND SUPPLEMENTED WITH LANDSCAPING.	COMPLIES

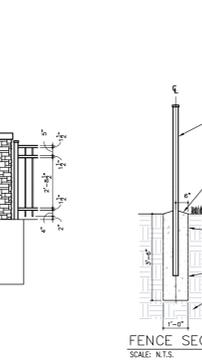
FENCE ELEVATION



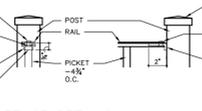
PIER PLAN



FENCE SECTION

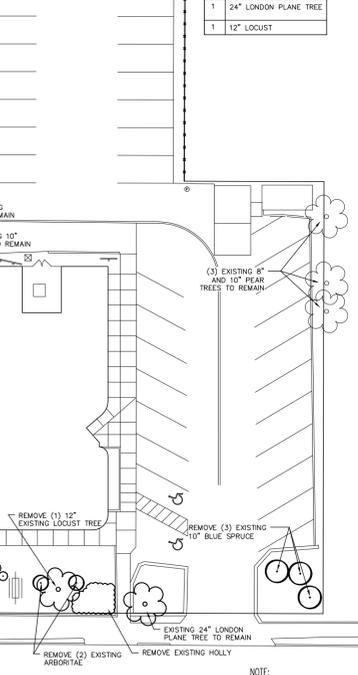


FENCE DETAILS

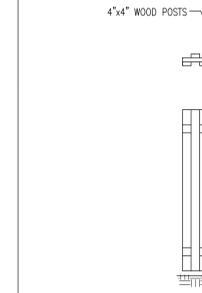


EXIST. LANDSCAPING KEY

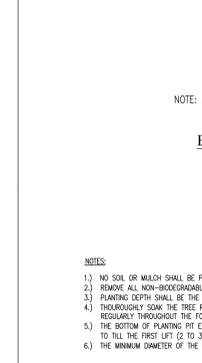
QTY	PLANT NAME
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1	YEW
2	BURNING BUSH
2	10\"/>
2	10\"/>
2	10\"/>
1	10\"/>
1	12\"/>



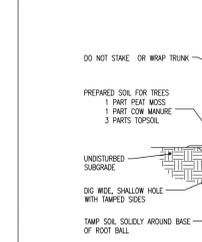
BOARD ON BOARD FENCE DETAIL



DECIDUOUS TREE PLANTING DETAIL



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL



GENERAL NOTES:

1. THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2.C., UNLESS OTHERWISE STATED ON THIS PLAN.
3. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
4. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCT'S MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
BOWNE, MD
STERLING, VA
ROCKHURST, MD
GREENBELT, VA
PHILADELPHIA, PA
TAMPA, FL

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 1 WORKING DAY IN DESIGN STAGE - STOP CALL.

POCS SERIAL NUMBER: 20121780068

PAI CONSULTING
1-800-242-1776

PROJECT No.: P131043
DRAWN BY: M.A.M.
CHECKED BY: J.S.S.
DATE: 10/11/2013
SCALE: 1"=20'
CAD I.D.: P131043LSCP-0

CONSTRUCTION DOCUMENTS FOR WENDY'S OLD FASHIONED HAMBURGERS OF NEW YORK, INC. PROPOSED REBUILD

5422 BAUM BOULEVARD 8TH WARD CITY OF PITTSBURGH ALLEGHENY COUNTY PENNSYLVANIA

BOHLER ENGINEERING

1600 MANOR DRIVE, SUITE 200 CHALFONT, PENNSYLVANIA 18914
Phone: (215) 996-9100
Fax: (215) 996-9102
www.BohlerEngineering.com

D.T. NORTH

REGISTERED LANDSCAPE ARCHITECT
PENNSYLVANIA LICENSE No. LA002729

SHEET TITLE: LANDSCAPE PLAN

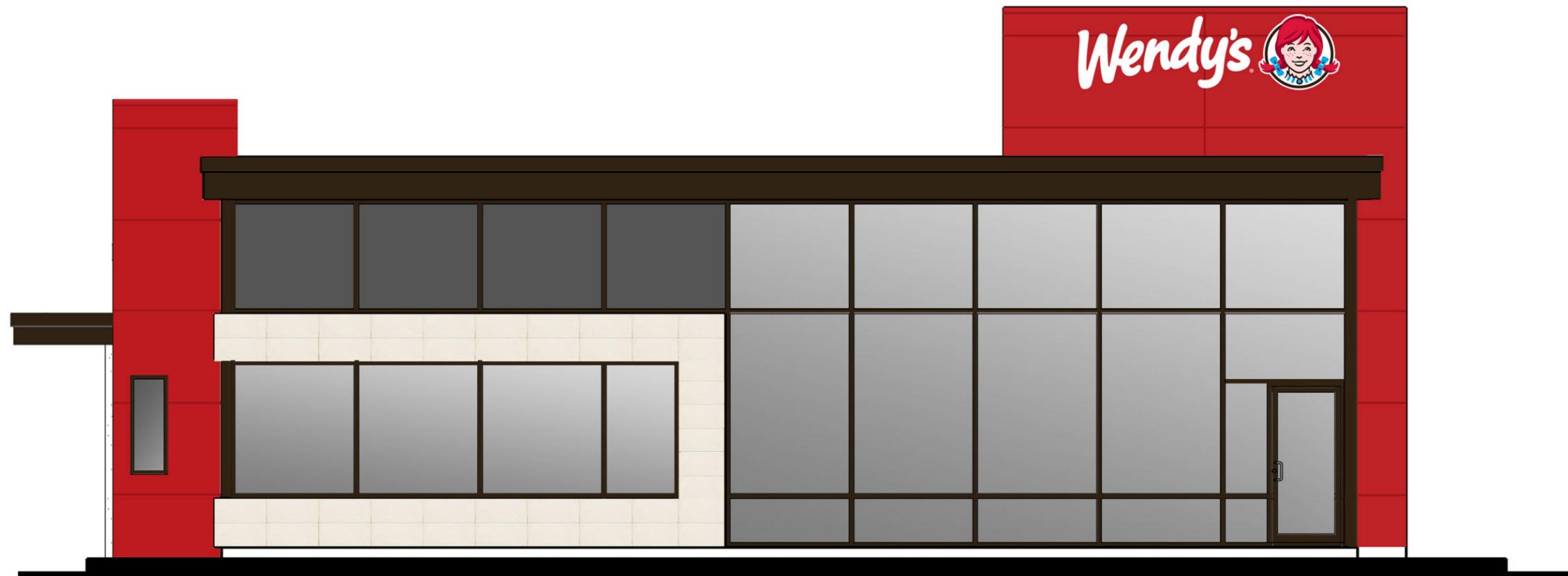
SHEET NUMBER: 2 OF 2

REVISION 0 - 2013.10.11



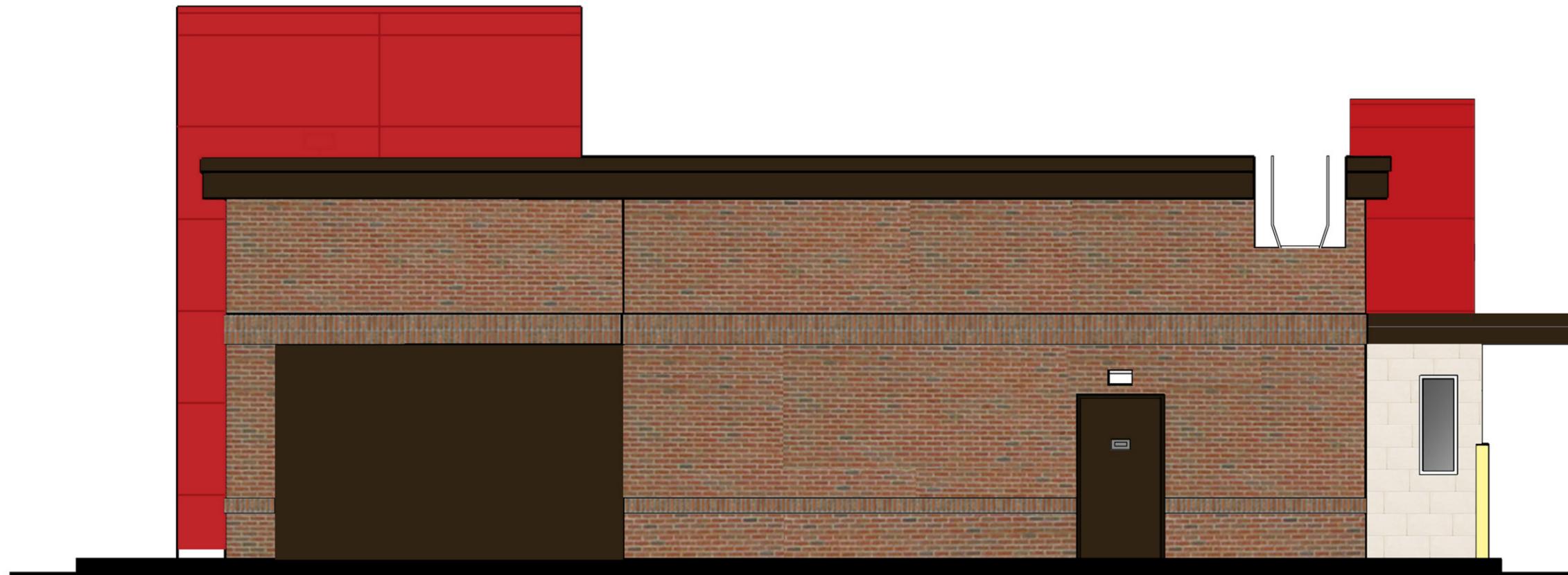
EAST ELEVATION

WENDY'S EXTERIOR PROPOSAL
STORE #2346 BAUM BLVD. PITTSBURGH, PA



NORTH ELEVATION

WENDY'S EXTERIOR PROPOSAL
STORE #2346 BAUM BLVD. PITTSBURGH, PA



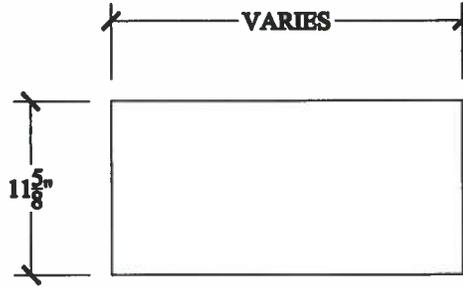
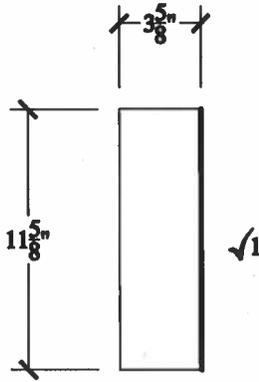
SOUTH ELEVATION

WENDY'S EXTERIOR PROPOSAL
STORE #2346 BAUM BLVD. PITTSBURGH, PA



WEST ELEVATION

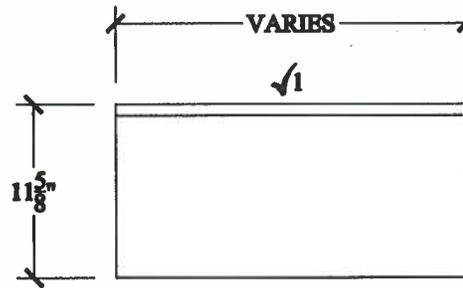
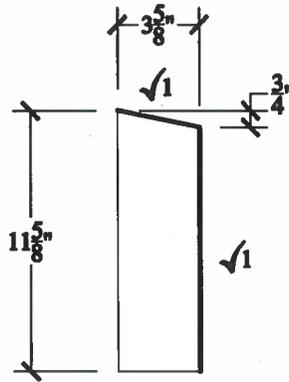
WENDY'S EXTERIOR PROPOSAL
STORE #2346 BAUM BLVD. PITTSBURGH, PA



FRONT VIEW

2 **ID. 1 VENEER (ST)**
 SCALE: 1"=1'-0"
 APPROX. WEIGHT: VARIES

1 **ID. 1 PROFILE**
 SCALE: 1-1/2"=1'-0"



FRONT VIEW

4 **ID. 2 VENEER (ST)**
 SCALE: 1"=1'-0"
 APPROX. WEIGHT: VARIES

3 **ID. 2 PROFILE**
 SCALE: 1-1/2"=1'-0"

Project Notes

- Lifting inserts and/or straps to be located at a distance of 1/5 of overall length of piece, Unless Otherwise Noted. 1 1/2" Star insert, Unless Otherwise Noted.
- Rebar size is #3, (3/8"), Unless Otherwise Noted. Rebar will terminate 6" from ends of piece, Unless Otherwise Noted. Rebar not required for pieces under 24" in length.

Submittal		
Rev. #	Submittal / Date	Drawn By
		TES



**ARCHITECTURAL
 PRE CAST
 & CAST STONE**
 165 West Stephens Drive
 Carbond, Illinois 60112
 Phone: 815.748.2109
 Fax: 815.787.7209
 APA CERTIFIED PLANT

Wendy's

Color: White	Job #:
Orig. Issue Date:	Sheet:
Drawn By: TES	

City of Pittsburgh

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

10/30/13

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: **PNS ACQUISITIONS dba.** Phone Number: **(412) 687.4000**

Address: **AUTO PALACE LLC 4627 BAUM** City: **PITTSBURGH** State: **PA.** Zip Code: **15213**

2. Applicant/Company Name: **LLI ENGINEERING** Phone Number: **(412) 904.4310**

Address: **1501 PEEBLE AVE.** City: **PITTSBURGH** State: **PA.** Zip Code: **15233**

Applicant/Contractor ID:(assigned by the City)

3. Development Name: **AUTO PALACE PORSCHE**

4. Development Location: **BAUM BLVD & MELWOOD AVE.**

5. Development Address: **4615 & 4627 BAUM BLVD PGM, PA. 15213**

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:

Present Use of Site:
(Select from attached list) **VEHICLE SALES**

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: Date Issued: Existing Use of Property:
VEHICLE SALES

8. Estimated Construction: Start Date: **1/2/14** Occupancy Date: **6/1/14** Project Cost: **\$1,000,000**

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **VEHICLE SALES**

10. Select the Type of Work:
- New Construction, New Renovation, Interior
 - New Construction, Renovation, Exterior
 - Change in Use Only Renovation, Change in Use

11. Describe the Development: **RENOVATE AND UPGRADE INTERIOR SHOWROOM AND EXTERIOR BUILDING FACADE TO COMPLY WITH CORPORATE FRANCHISE REQUIREMENTS**

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: _____ sq ft
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: 11,600 sq ft
 To be Constructed: _____ sq ft
 Building Footprint: 14,700 sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet

Main Structure

Proposed Addition/Extension

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: N/A

17. Lot Area: 16,590 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: ONE
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- | | |
|--|---|
| <u>N/A</u> New Water Service Connection(s) | <u>N/A</u> Termination of Existing Water Service Tap(s) |
| <u>N/A</u> New Sewer Service Connection(s) | <u>N/A</u> Termination of Existing Sewer Service Tap(s) |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



PORSCHE



Melwood Ave

NO
TURN
ON
RED





PORSCHE

AUTO PALACE

GJ-18-466

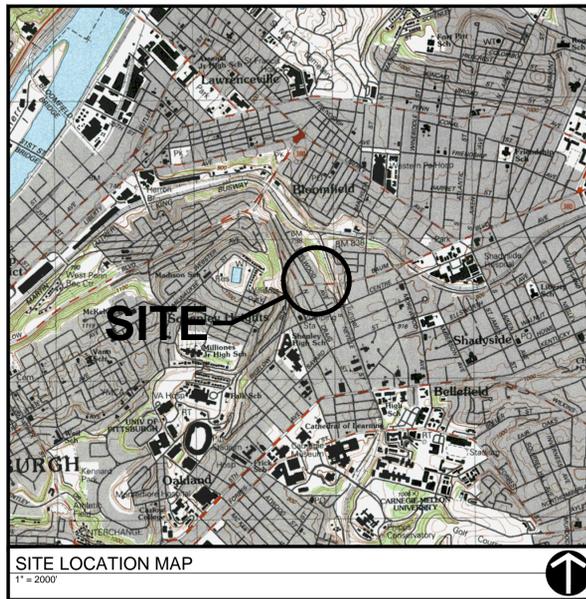
PORSCHE DEALERSHIP

4643 BAUM BOULEVARD, FIFTH WARD, CITY OF PITTSBURGH
ALLEGHENY COUNTY, PENNSYLVANIA

PREPARED FOR:

LLI ENGINEERING
1501 PREBLE AVENUE, SUITE 300
PITTSBURGH, PA 15233

CONSULTANTS
ZANE LEEPER LaFACE & McGOVERN ASSOCIATES, INC. 5330 ENTERPRISE BLVD. BETHEL PARK, PA 15102 412-854-3200
LIST OF UTILITIES
ELECTRIC SERVICE DUQUESNE LIGHT CO. 2625 NEW BEAVER AVE. MAILDROP N6-CS PITTSBURGH, PA 15233 RUSTY HUGHES 412-393-7812
GAS SERVICE EQUITABLE GAS CO. 225 NORTH SHORE DRIVE PITTSBURGH, PA 15212 ROCKY SAPORITO 412-395-2545
COMMUNICATION SERVICE VERIZON PA 15 EAST MONTGOMERY AVE. PITTSBURGH, PA 15212 JON GAUNT 412-237-2290
SEWER AND WATER SERVICE PWSA PENN LIBERTY PLAZA 1 1200 PENN AVE. PITTSBURGH, PA 15222 MICHELLE CARNEY 412-255-0841
CALL BEFORE YOU DIG ! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL Pennsylvania One Call System, Inc.  8-1-1 POCS Serial No. 20132901719



SHEET INDEX	
NO.	TITLE
CS	Cover Sheet
C002	Demolition Plan
C101	Site and Grading Plan
C301	Utility Plan
C302	Lighting Plan
C401	Erosion and Sediment Control Plan
C402	Erosion and Sediment Control Details
C601	Construction Details
C602	Construction Details
L101	L101 Landscape Plan
L601	L601 Landscape Details



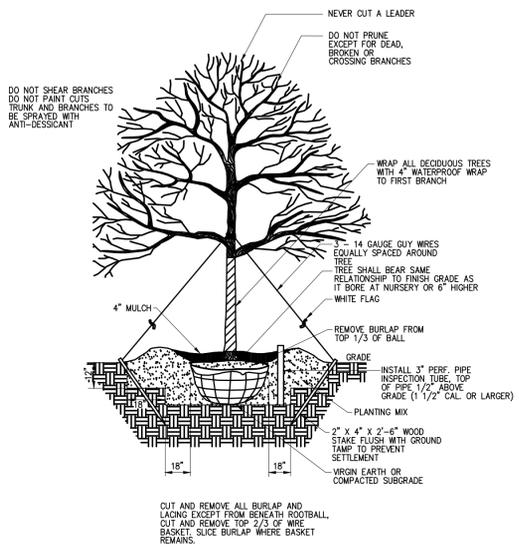
REVISION RECORD		
No	Date	Description
01		
02		
03		
04		
05		
06		
07		
08		

PORSCHE DEALERSHIP
4643 BAUM BOULEVARD, FIFTH WARD, CITY OF PITTSBURGH
ALLEGHENY COUNTY, PENNSYLVANIA
PREPARED FOR:
LLI ENGINEERING
1501 PREBLE AVENUE, SUITE 300
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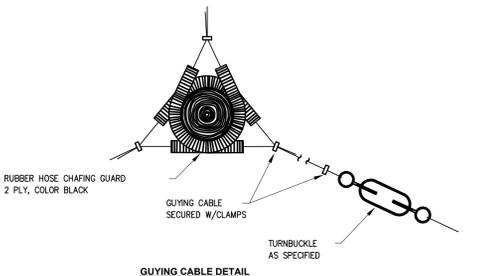
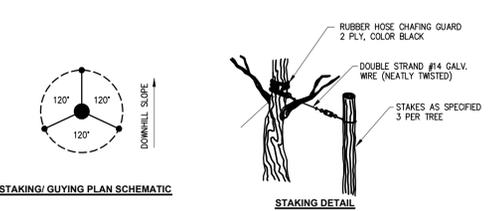
COVER SHEET

Project Number: C-18691
Drawing Scale: N.T.S.
Date Issued: NOV. 2013
Index Number: -
Drawn By: CRJ
Checked By: RWM
Project Manager: RWM

CS

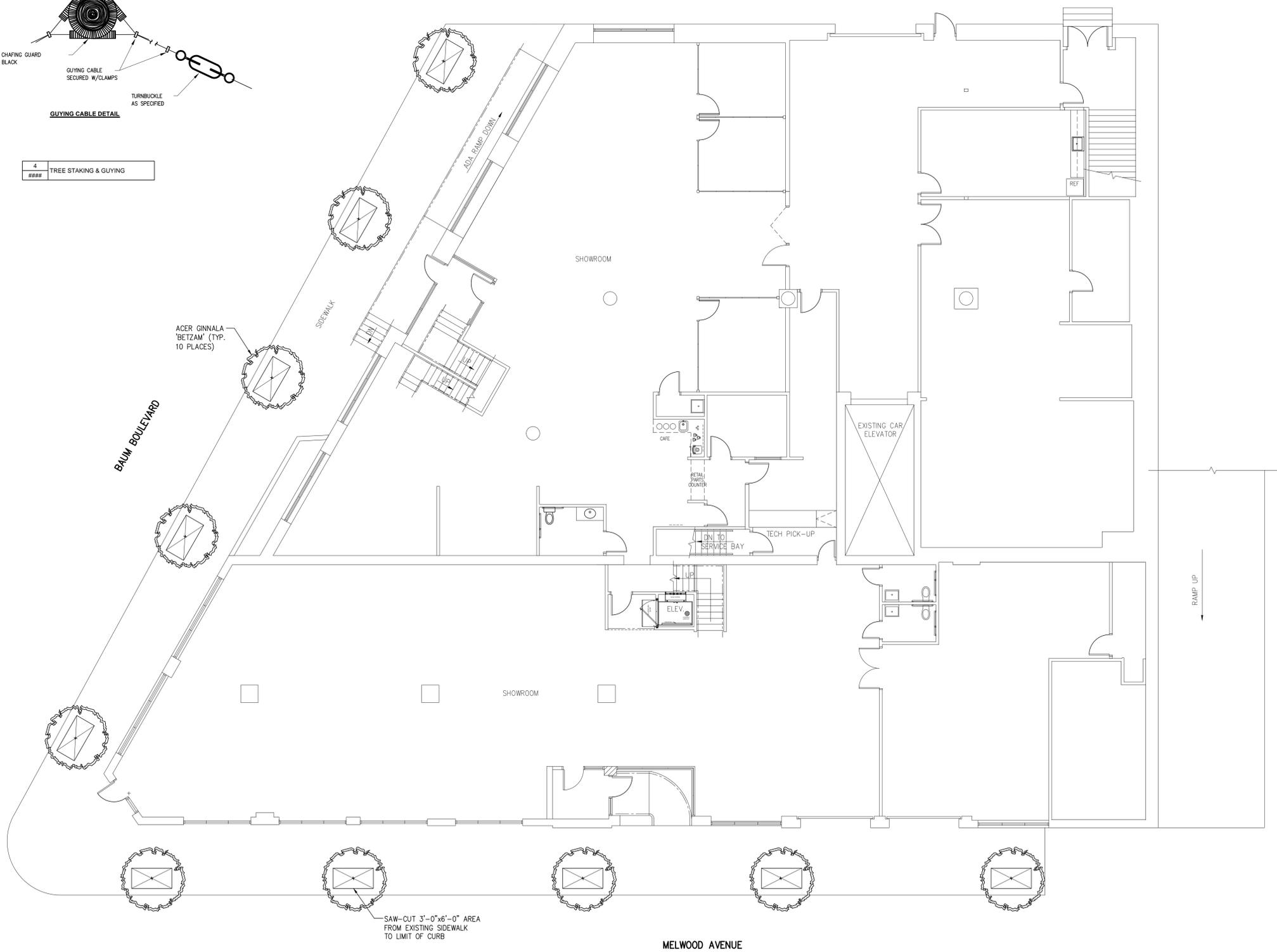


1	DECIDUOUS TREE PLANTING
####	- N.T.S.



4	TREE STAKING & GUYING
####	- N.T.S.

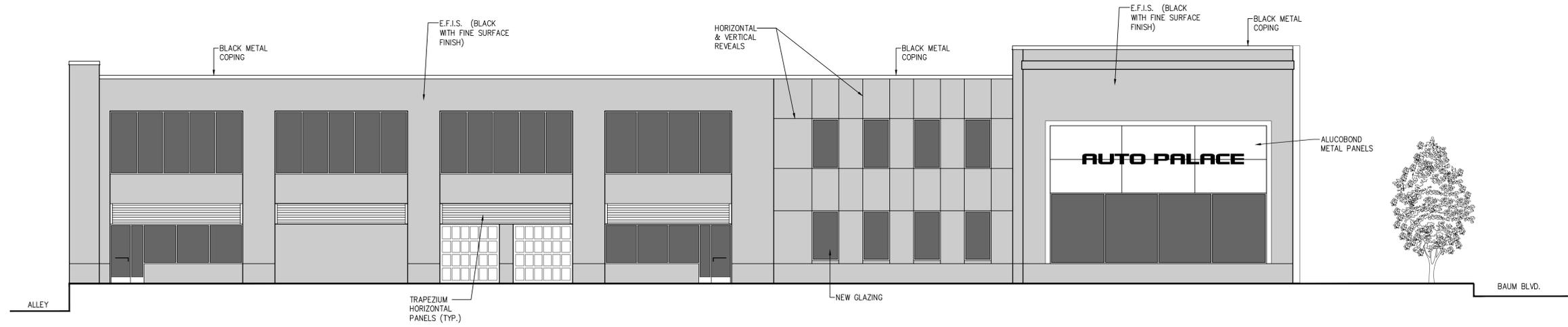
PLANT LIST					
QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	CONDITION
TREES					
10	ACER GINNALA 'BETZAM'	BETZAM AMUR MAPLE	30' O.C.	2 1/2" CAL.	B&B, COLUMNAR



LLI ENGINEERING
 1001 PREBLE AVENUE, SUITE 300
 PITTSBURGH, PA 15213
 412-904-4310

AUTO PALACE
 4627 BAUM BLVD.
 PITTSBURGH, PA 15213

ACAD #	20130701	DATE	11-14-13	NO.	1	REVISION	OWNER'S REVIEW	NO.	1	MADE	CHKD
PLANT DATE	1/8" = 1'-0"	SCALE	11-14-13	DATE	11-14-13	NO.	1	REVISION	OWNER'S REVIEW	NO.	1
DRAWN BY	KID	CHECKED BY	CEJ	ISSUE DATE	20130701	NO.	1	REVISION	OWNER'S REVIEW	NO.	1
DRAWING NUMBER	C1	PROJ. #	20130701	DATE	11-14-13	NO.	1	REVISION	OWNER'S REVIEW	NO.	1



MELWOOD ELEVATION
SCALE: 1/8" = 1'-0"

DRAWING TITLE
BUILDING ELEVATION

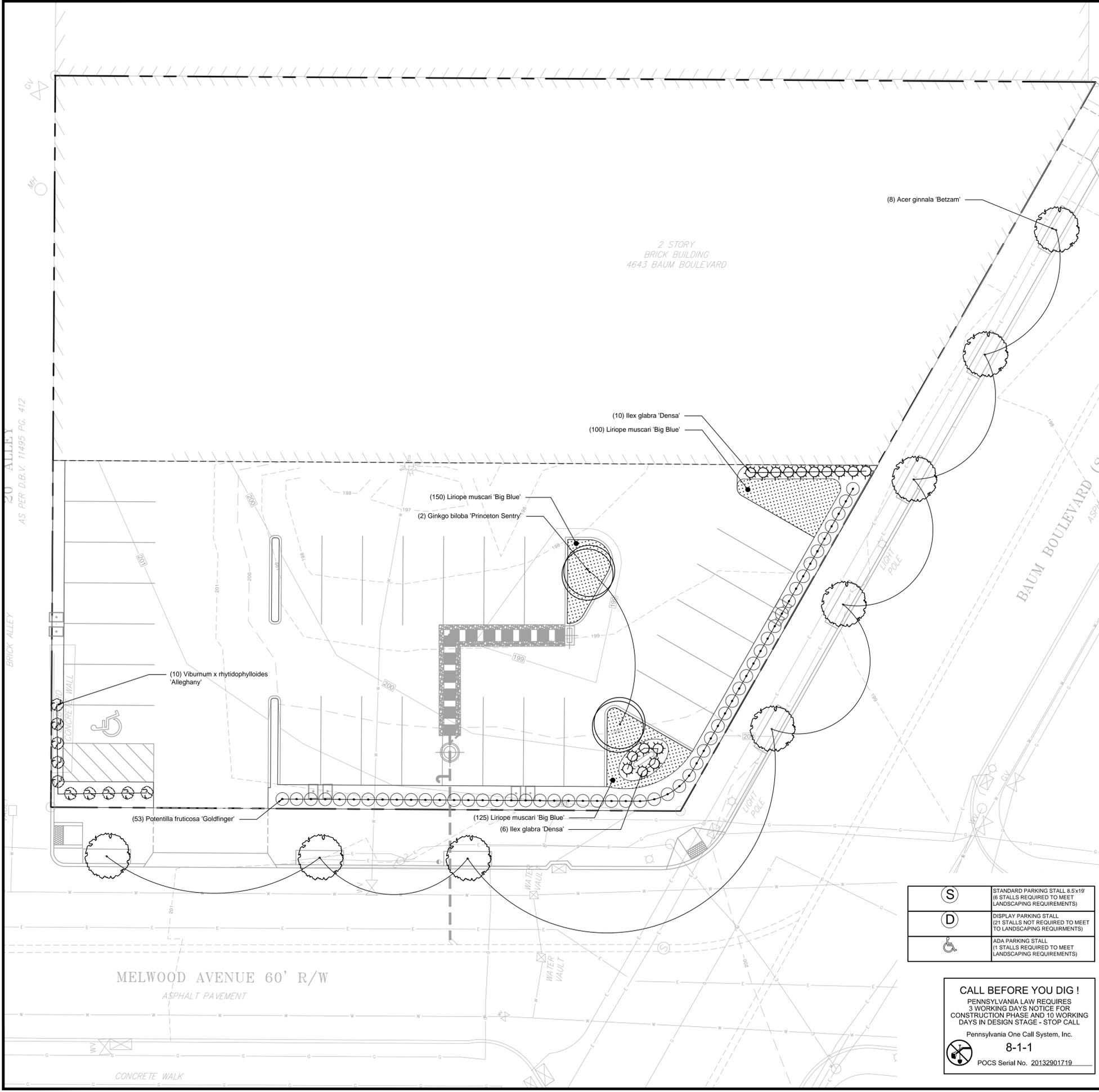
DRAWING NUMBER
A1

ACAD # 20130070
PLOT DATE 11-19-13
SCALE AS NOTED
DRAWN BY RWR
CHECKED BY GEJ
LI PROJ # 20130070
ISSUE DATE 11-19-13

DATE	NO.	REVISION	MADE	CHKD
11-19-13	1	OWNER'S REVIEW		

AUTO PALACE
4643 BAUM BLVD., FIFTH WARD
CITY OF PITTSBURGH
ALLEGHENY COUNTY, PA. 15213

LJI ENGINEERING
1501 PREBLE AVENUE, SUITE 300
PITTSBURGH, PA 15233
412-904-4310



PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	CONDITION
TREES					
8	Acer ginnala 'Betzam'	Betzam Amur Maple	30' O.C.	2 1/2" Cal.	B&B, COLUMNAR
2	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	As Shown	2" Cal.	B&B, COLUMNAR
SHRUBS					
16	Ilex glabra 'Densa'	Densa Compact Inkberry	36" O.C.	24" Ht., #5	Cont.
53	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	36" O.C.	18" Ht., #3	Cont.
10	Viburnum x rhytidophylloides 'Alleghany'	Alleghany Viburnum	48" O.C.	4" Ht.	B&B
GROUND COVER/GRASSES/PERENNIALS					
375	Liriope muscari 'Big Blue'	Big Blue Lily Turf	12" O.C.	QUART	Cont., CLUMP

LANDSCAPE REQUIREMENTS:

918.02 B OFF-STREET PARKING AREAS
 A MINIMUM OF TWENTY-FIVE (25) SQUARE FEET OF LANDSCAPING SHALL BE PROVIDED FOR EACH PARKING SPACE IN PARKING LOTS WITH UP TO ONE HUNDRED (100) PARKING SPACES. REQUIRED LANDSCAPING SHALL TAKE THE FORM OF PLANTER STRIPS, LANDSCAPED AREAS, OR PERIMETER LANDSCAPING.
7 PARKING STALLS REQUIRED TO MEET LANDSCAPING REQUIREMENTS (175 S.F. OF LANDSCAPING REQUIRED) = 842 S.F. PROVIDED

THE LANDSCAPING SHALL INCLUDE AT LEAST ONE (1) TREE FOR EVERY FIVE (5) PARKING SPACES. LANDSCAPED AREAS SHALL BE DISPERSED THROUGHOUT THE PARKING LOT, PLANTER STRIPS, LANDSCAPED AREAS, AND PERIMETER LANDSCAPED AREAS SHALL HAVE A MINIMUM WIDTH OF FIVE (5) FEET.
7 PARKING STALLS REQUIRED TO MEET LANDSCAPING REQUIREMENTS (2 TREES REQUIRED) = 2 TREES PROVIDED

918.02 C STREET TREES
 AT LEAST ONE (1) STREET TREE SHALL BE PROVIDED FOR EACH THIRTY (30) LINEAR FEET OF PROPERTY ADJOINING A PUBLIC STREET. STREET TREES SHALL BE PLANTED BETWEEN THE SIDEWALK AND STREET CURB. IF PLANTING IN THAT AREA IS NOT POSSIBLE, STREET TREES SHALL BE INSTALLED WITHIN TWENTY (20) FEET OF STREET CURB. TREES PLANTED BETWEEN A SIDEWALK AND STREET CURB MUST HAVE A MINIMUM NONPAVED PLANTING AREA OF EIGHTEEN (18) SQUARE FEET, WITH A MINIMUM DEPTH OF THREE (3) FEET. IN CASES WHERE THERE IS AN EXISTING PATTERN OF STREET TREES, COMPATIBLE NEW TREES SHALL BE PLANTED ACCORDING TO THE EXISTING TREE SPACING AND PATTERN TO THE GREATEST EXTENT POSSIBLE. IN CASES WHERE STREET TREES ARE TO BE PROVIDED BY THE DEPARTMENT OF PUBLIC WORKS, APPLICANT SHALL PROVIDE PROOF OF APPLICATION THROUGH THE STREET TREE PROGRAM TO THE ZONING ADMINISTRATOR.
 (ORD. 42-2005, §§ 28, 29, EFF. 12-30-05)

8 STREET TREES PROVIDED

918.03. SCREENING REQUIREMENTS.Permanent link to this piece of content

THE FOLLOWING SITE FEATURES SHALL BE SCREENED ON ALL SIDES EXCEPT THOSE SIDES THAT ABUT (NOT ACROSS A STREET) OTHER FEATURES REQUIRED TO BE SCREENED, IF ITEMS 1, 2, OR 3 BELOW FACE A RESIDENTIAL ZONE, THEY MUST BE EQUIPPED WITH A REMOVABLE SCREEN.

4. OFF-STREET PARKING AREAS

LANDSCAPE SCREENING SHALL BE A MINIMUM DEPTH OF FIVE (5) FEET, AND PLANT MATERIALS SHALL BE A MINIMUM HEIGHT OF FORTY-TWO (42) INCHES AT THE TIME OF PLANTING. EVERGREEN PLANTS OR PLANTS WITH DENSE STRUCTURE YEAR ROUND SHALL BE EMPLOYED.

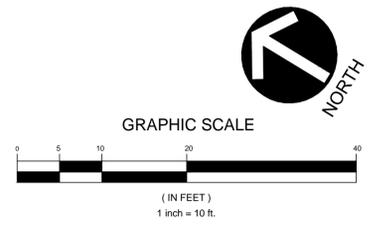
PARKING LOTS SHALL BE SCREENED TO A MINIMUM HEIGHT OF FORTY-TWO (42) INCHES. THE ZONING ADMINISTRATOR MAY APPROVE A REDUCTION IN SCREENING REQUIREMENTS WITH ADDITIONAL SEPARATION BEYOND REQUIRED SETBACKS.

(15) 42" EVERGREEN SHRUBS PROPOSED AS SCREENING FOR STANDARD PARKING STALLS ALONG ALLEY. EXISTING WALL PROVIDES REMAINING SCREENING.

- LANDSCAPE NOTES:**
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - PRIOR TO THE INSTALLATION OF PLANT MATERIAL, THE CONTRACTOR SHALL ACCURATELY LOCATE ALL EXISTING UNDERGROUND UTILITIES, INCLUDING ALL RECENTLY INSTALLED UTILITIES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS WITH THE PLANT MATERIAL. ANY UTILITIES DAMAGED AS A RESULT OF PLANTING ACTIVITIES SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION OR LAND DISTURBANCE.
 - NO CHANGES TO THE LANDSCAPE DESIGN SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
 - ALL PLANTS INDICATED ON PLANS SHALL BE GROWN IN CLIMATES SIMILAR TO PROJECT AREA.
 - PLANT COUNTS ARE FOR REFERENCE ONLY. THE CONTRACTOR IS REQUIRED TO FULFILL THE INTENT OF THE DRAWINGS. ANY DISCREPANCIES IN THE NUMBER OF PLANTS SHOWN ON THE DRAWING AND THE PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO SUBMITTING A BID OR BEGINNING INSTALLATION.
 - ALL PLANT MATERIAL SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. DO NOT INSTALL DAMAGED, WILTING OR UNHEALTHY PLANTS.
 - IN THE EVENT THAT A PROPOSED PLANT CANNOT BE ACQUIRED, SUBSTITUTION FOR GENUS, SIZE OR SPECIES SPECIFIED SHALL ONLY BE SUBSTITUTED WITH AN EQUIVALENT PLANT WHICH MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING.
 - PLANTING MAY ONLY OCCUR DURING THE FOLLOWING PERIODS: MARCH 15 - JUNE 15 AND SEPTEMBER 15 - NOVEMBER 15. EXCEPTIONS WILL BE MADE BUT MUST BE APPROVED IN WRITING PRIOR TO ANY INSTALLATION. PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT PLANTING.
 - A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO THE SHRUB BEDS AND MULCH AREAS PRIOR TO THE INSTALLATION OF PLANT MATERIAL. HERBICIDE IS TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS. PROPOSED HERBICIDE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO APPLICATION.
 - TOPSOIL SHALL MEET ASTM D5268, HAVE A PH RANGE OF 5.5-7, CONTAIN A MINIMUM OF 4% ORGANIC MATERIAL AND BE FREE OF ANY STONES OVER 1" IN ANY DIRECTION AND FREE OF DEBRIS AND NON-ORGANIC MATERIAL. A SOIL SAMPLE SHALL BE TAKEN BY THE CONTRACTOR PRIOR TO PLANTING AND SENT TO A SOIL TESTING LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE. IF REQUIRED, SOIL AMENDMENT TYPES AND QUANTITIES TO BE SUBMITTED FOR REVIEW.
 - PRIOR TO INSTALLATION OF ANY PLANT MATERIAL, THE CONTRACTOR SHALL CONFIRM ADEQUATE DRAINAGE IN ALL PITS AND PLANT BEDS. NOTIFY THE LANDSCAPE ARCHITECT IF BEDROCK IS ENCOUNTERED OR IF PROPER DRAINAGE CANNOT BE ACHIEVED.
 - PLANT TREES AND SHRUBS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING LAWN UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
 - PLANTING MIXES: PLANTING MIX FOR BACKFILLING PLANT PITS OF DECIDUOUS TREES AND SHRUBS SHALL BE IN THE PROPORTION OF FOUR PARTS BY VOLUME OF TOPSOIL AND ONE PART BY VOLUME OF PEAT MOSS PLUS ONE POUND OF 10-6-4 FERTILIZER PER CUBIC YARD. PLANTING MIX FOR BACKFILLING PLANT PITS OF NEEDED EVERGREEN PLANTS SHALL BE IN THE PROPORTION OF TWO PARTS BY VOLUME OF TOPSOIL AND ONE PART BY VOLUME PEAT MOSS PLUS ONE POUND OF 10-6-4 FERTILIZER PER CUBIC YARD. ALL AMENDMENTS SHALL BE THOROUGHLY MIXED.
 - REFER TO EROSION AND SEDIMENTATION CONTROL PLAN FOR LIMITS OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE FINE GRADED AND SEEDED WITH PERMANENT SEED MIX UNLESS OTHERWISE NOTED ON PLANS. PRIOR TO INSTALLATION OF SOIL OR SEED, ALL LAWN AREAS SHALL RECEIVE TOPSOIL TO A DEPTH OF 4" AFTER LIGHT ROLLING. DO NOT COMPACT. THE AREAS SHALL BE DISKED AND RAKED SMOOTH TO A UNIFORM GRADE AS SHOWN ON THE GRADING PLAN.
 - A 3" THICK DOUBLE SHREDDED HARDWOOD MULCH BED SHALL BE PROVIDED IN ALL AREAS CONTAINING TREES, SHRUBS AND UNDER BUILDING OVERHANGS.
 - PLANT IDENTIFICATION TAGS SHALL BE LEFT ON UNTIL INSTALLED PLANTINGS ARE INSPECTED BY THE LANDSCAPE ARCHITECT. ALL TAGS SHALL BE REMOVED AFTER APPROVAL.
 - WARRANTY PERIOD FOR TREES AND SHRUBS IS ONE YEAR. WARRANTY PERIOD FOR GROUND COVER, LAWNS, GRASSES AND PERENNIALS IS 6 MONTHS. WARRANTY PERIOD FOR REPLACEMENTS SHALL BE EQUAL TO THE ORIGINAL WARRANTY PERIOD.
 - A SATISFACTORY LAWN IS DEFINED AS A HEALTHY, UNIFORM, CLOSE STAND OF GRASS FREE OF WEEDS AND SURFACE IRREGULARITIES WITH COVERAGE EXCEEDING 90% OVER 10 SQUARE FEET WITH NO BARE SPOTS EXCEEDING A 9"X9" SQUARE.
 - REFER TO LANDSCAPE DETAIL SHEETS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION PERTAINING TO INSTALLATION OF LANDSCAPE INCLUDING BUT NOT LIMITED TO MULCHING, STAKING AND SETTING/ SPACING OF PLANTS.

S	STANDARD PARKING STALL 8.5x19' (6 STALLS REQUIRED TO MEET LANDSCAPING REQUIREMENTS)
D	DISPLAY PARKING STALL (21 STALLS NOT REQUIRED TO MEET TO LANDSCAPING REQUIREMENTS)
	ADA PARKING STALL (1 STALLS REQUIRED TO MEET LANDSCAPING REQUIREMENTS)

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 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL
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8-1-1
 POCs Serial No. 20132901719



GATEWAY
 Consulting Engineers & Surveyors
 400 Holiday Drive, Suite 300 Pittsburgh, PA 15220
 Phone (412) 921-4030 - Fax (412) 921-9960
 • Butler, PA (724) 287-1055 • Washington, PA (724) 225-3382
 http://www.gatewayengineering.com

REVISION RECORD

No	Date	Description
01		
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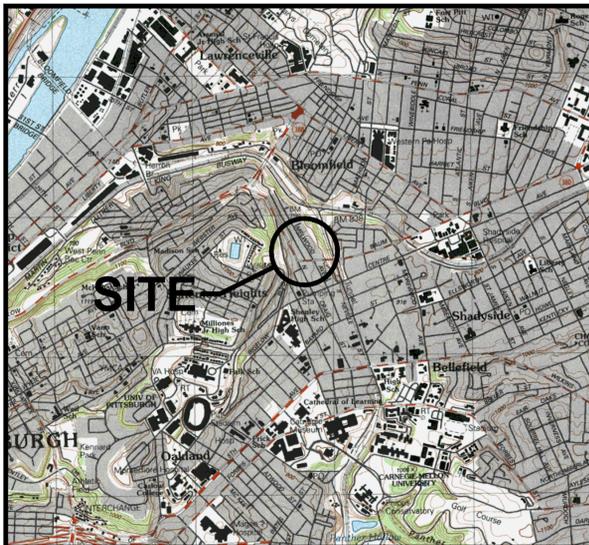
PORSCH DEALERSHIP
 4643 BAUM BOULEVARD, FIFTH WARD, CITY OF PITTSBURGH
 ALLEGHENY COUNTY, PENNSYLVANIA
 PREPARED FOR:
LLI ENGINEERING
 1501 PREBLE AVENUE, SUITE 300
 PITTSBURGH, PA 15233

LANDSCAPE PLAN

Project Number: C-18691
 Drawing Scale: 1" = 10'
 Date Issued: NOV. 2013
 Index Number: -
 Drawn By: MJL
 Checked By: RWM
 Project Manager: RWM

L101

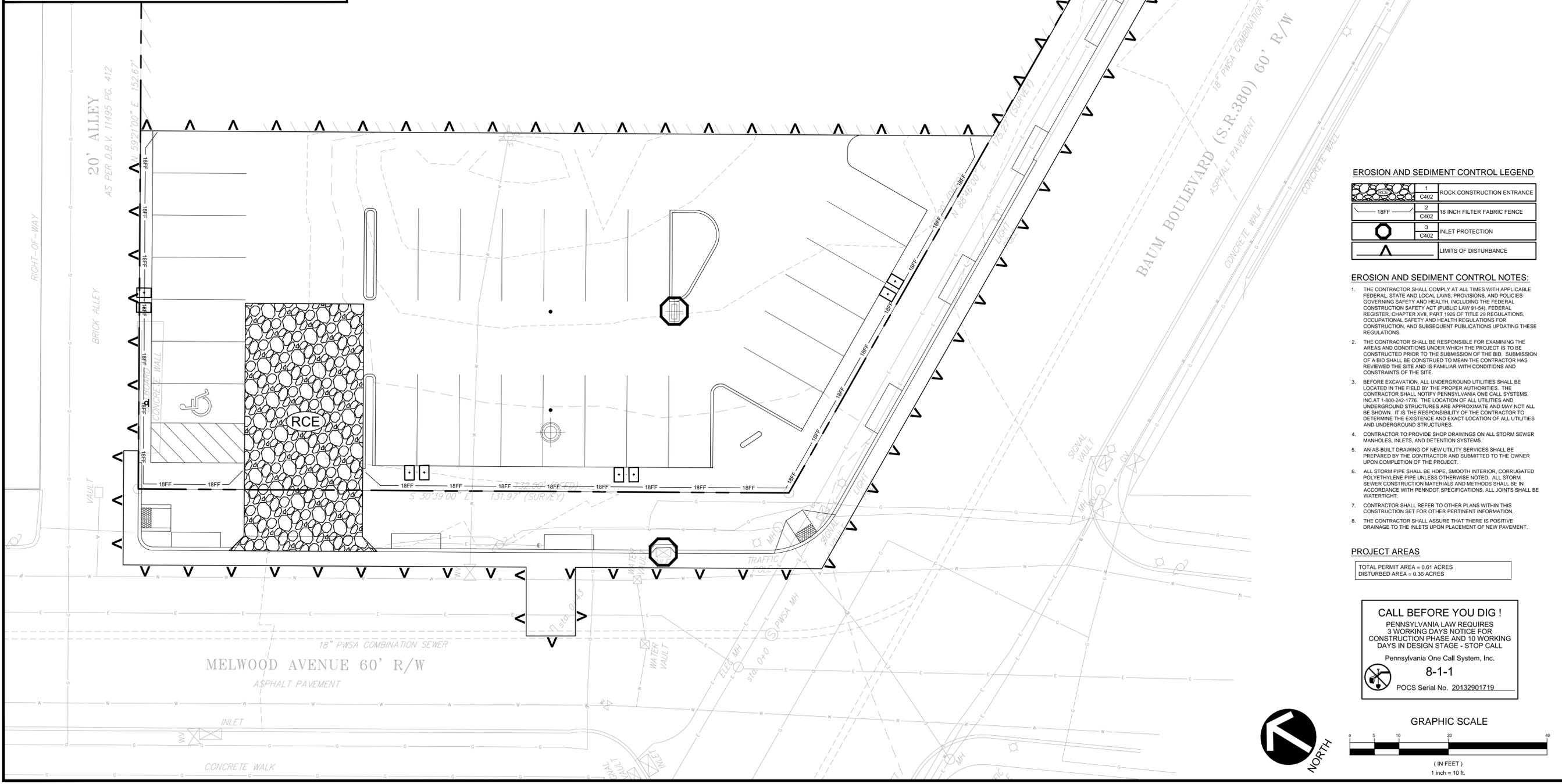
THIS PLAN IS FOR EROSION AND SEDIMENT CONTROL PURPOSES ONLY



SITE LOCATION MAP
SCALE: 1" = 2000'

N/F
FGOP I, LLC
D.B.V.11495 PG. 412
BLOCK & LOT NO. 26-S-225
LOCAL NEIGHBORHOOD COMMERCIAL DISTRICT
4643 BAUM BOULEVARD
26,718.50 SQ. FT.
0.61 OF AN ACRE

2 STORY
BRICK BUILDING
4643 BAUM BOULEVARD



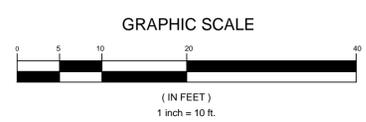
EROSION AND SEDIMENT CONTROL LEGEND

	1	ROCK CONSTRUCTION ENTRANCE
	2	18 INCH FILTER FABRIC FENCE
	3	INLET PROTECTION
		LIMITS OF DISTURBANCE

- EROSION AND SEDIMENT CONTROL NOTES:**
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF THE BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
 - BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEMS, INC. AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
 - CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES, INLETS, AND DETENTION SYSTEMS.
 - AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
 - ALL STORM PIPE SHALL BE HDPE, SMOOTH INTERIOR, CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED. ALL STORM SEWER CONSTRUCTION MATERIALS AND METHODS SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. ALL JOINTS SHALL BE WATERTIGHT.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - THE CONTRACTOR SHALL ASSURE THAT THERE IS POSITIVE DRAINAGE TO THE INLETS UPON PLACEMENT OF NEW PAVEMENT.

PROJECT AREAS
TOTAL PERMIT AREA = 0.61 ACRES
DISTURBED AREA = 0.36 ACRES

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REVISION RECORD

Date	No.	Description
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PORSCH DEALERSHIP
4643 BAUM BOULEVARD, FIFTH WARD, CITY OF PITTSBURGH
ALLEGHENY COUNTY, PENNSYLVANIA

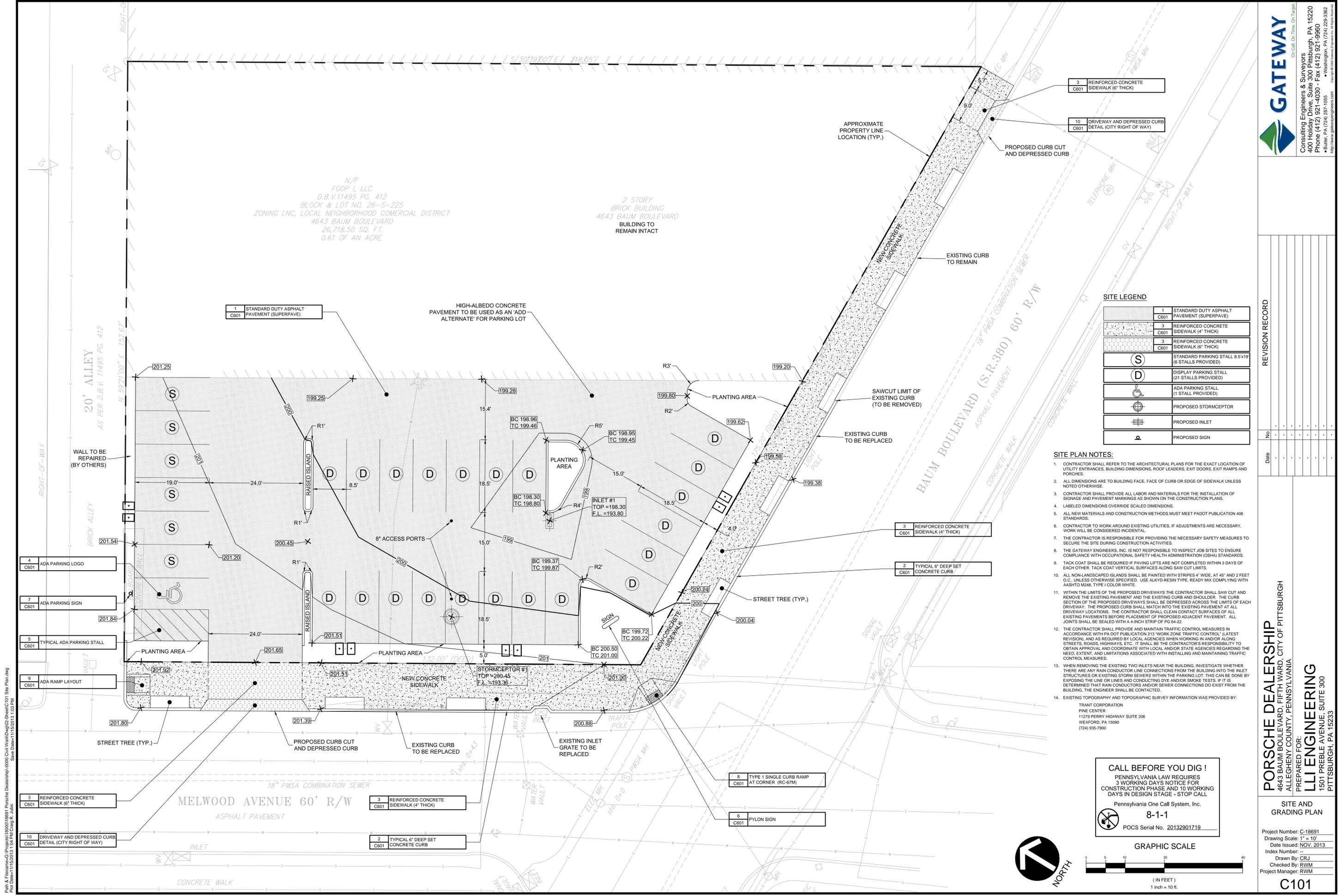
PREPARED FOR:
LLI ENGINEERING
1501 PREBLE AVENUE, SUITE 300
PITTSBURGH, PA 15233

EROSION AND SEDIMENT CONTROL PLAN

Project Number: C-18691
Drawing Scale: 1" = 10'
Date Issued: NOV. 2013
Index Number: --
Drawn By: CRJ
Checked By: RWM
Project Manager: RWM

C401

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Plot Date: 11/15/2013 1:44 PM C:\craig.r. jacob



N/F
 FGOP I, LLC
 D.B.V.11495 PG. 412
 BLOCK & LOT NO. 26-S-225
 ZONING LNC, LOCAL NEIGHBORHOOD COMMERCIAL DISTRICT
 4643 BAUM BOULEVARD
 26,718.50 SQ. FT.
 0.61 OF AN ACRE

2 STORY
 BRICK BUILDING
 4643 BAUM BOULEVARD
 BUILDING TO
 REMAIN INTACT

1 STANDARD DUTY ASPHALT PAVEMENT (SUPERPAVE)
 C601

HIGH-ALBEDO CONCRETE PAVEMENT TO BE USED AS AN 'ADD ALTERNATE' FOR PARKING LOT

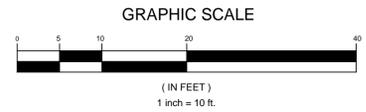
SITE LEGEND

	1 STANDARD DUTY ASPHALT PAVEMENT (SUPERPAVE)
	3 REINFORCED CONCRETE SIDEWALK (4' THICK)
	3 REINFORCED CONCRETE SIDEWALK (6' THICK)
	STANDARD PARKING STALL 8.5'x19' (6 STALLS PROVIDED)
	DISPLAY PARKING STALL (21 STALLS PROVIDED)
	ADA PARKING STALL (1 STALL PROVIDED)
	PROPOSED STORMCEPTOR
	PROPOSED INLET
	PROPOSED SIGN

SITE PLAN NOTES:

- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS, EXIT RAMPS AND PORCHES.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- LABELED DIMENSIONS OVERRIDE SCALED DIMENSIONS.
- ALL NEW MATERIALS AND CONSTRUCTION METHODS MUST MEET PADOT PUBLICATION 408 STANDARDS.
- CONTRACTOR TO WORK AROUND EXISTING UTILITIES, IF ADJUSTMENTS ARE NECESSARY, WORK WILL BE CONSIDERED INCIDENTAL.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE NECESSARY SAFETY MEASURES TO SECURE THE SITE DURING CONSTRUCTION ACTIVITIES.
- THE GATEWAY ENGINEERS, INC. IS NOT RESPONSIBLE TO INSPECT JOB SITES TO ENSURE COMPLIANCE WITH OCCUPATIONAL SAFETY HEALTH ADMINISTRATION (OSHA) STANDARDS.
- TACK COAT SHALL BE REQUIRED IF PAVING LIFTS ARE NOT COMPLETED WITHIN 3 DAYS OF EACH OTHER. TACK COAT VERTICAL SURFACES LONG SAW CUT LIMITS.
- ALL NON-LANDSCAPED ISLANDS SHALL BE PAINTED WITH STRIPES 4" WIDE, AT 48" AND 2 FEET O.C. UNLESS OTHERWISE SPECIFIED. USE ALKYD-RESIN TYPE, READY MIX COMPLYING WITH AASHTO M248, TYPE I COLOR WHITE.
- WITHIN THE LIMITS OF THE PROPOSED DRIVEWAYS THE CONTRACTOR SHALL SAW CUT AND REMOVE THE EXISTING PAVEMENT AND THE EXISTING CURB AND SHOULDER. THE CURB SECTION OF THE PROPOSED DRIVEWAYS SHALL BE DEPRESSED ACROSS THE LIMITS OF EACH DRIVEWAY. THE PROPOSED CURB SHALL MATCH INTO THE EXISTING PAVEMENT AT ALL DRIVEWAY LOCATIONS. THE CONTRACTOR SHALL CLEAN CONTACT SURFACES OF ALL EXISTING PAVEMENTS BEFORE PLACEMENT OF PROPOSED ADJACENT PAVEMENT. ALL JOINTS SHALL BE SEALED WITH A 4-INCH STRIP OF PG 64-22.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH PA DOT PUBLICATION 213 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION), AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- WHEN REMOVING THE EXISTING TWO INLETS NEAR THE BUILDING, INVESTIGATE WHETHER THERE ARE ANY RAIN CONDUCTOR LINE CONNECTIONS FROM THE BUILDING INTO THE INLET STRUCTURES OR EXISTING STORM SEWERS WITHIN THE PARKING LOT. THIS CAN BE DONE BY EXPOSING THE LINE OR LINES AND CONDUCTING DYE AND/OR SMOKE TESTS. IF IT IS DETERMINED THAT RAIN CONDUCTORS AND/OR SEWER CONNECTIONS DO EXIST FROM THE BUILDING, THE ENGINEER SHALL BE CONTACTED.
- EXISTING TOPOGRAPHY AND TOPOGRAPHIC SURVEY INFORMATION WAS PROVIDED BY:
 TRANT CORPORATION
 PINE CENTER
 11279 PERRY HIGHWAY SUITE 206
 WEXFORD, PA 15090
 (724) 935-7900

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 POCs Serial No. 20132901719



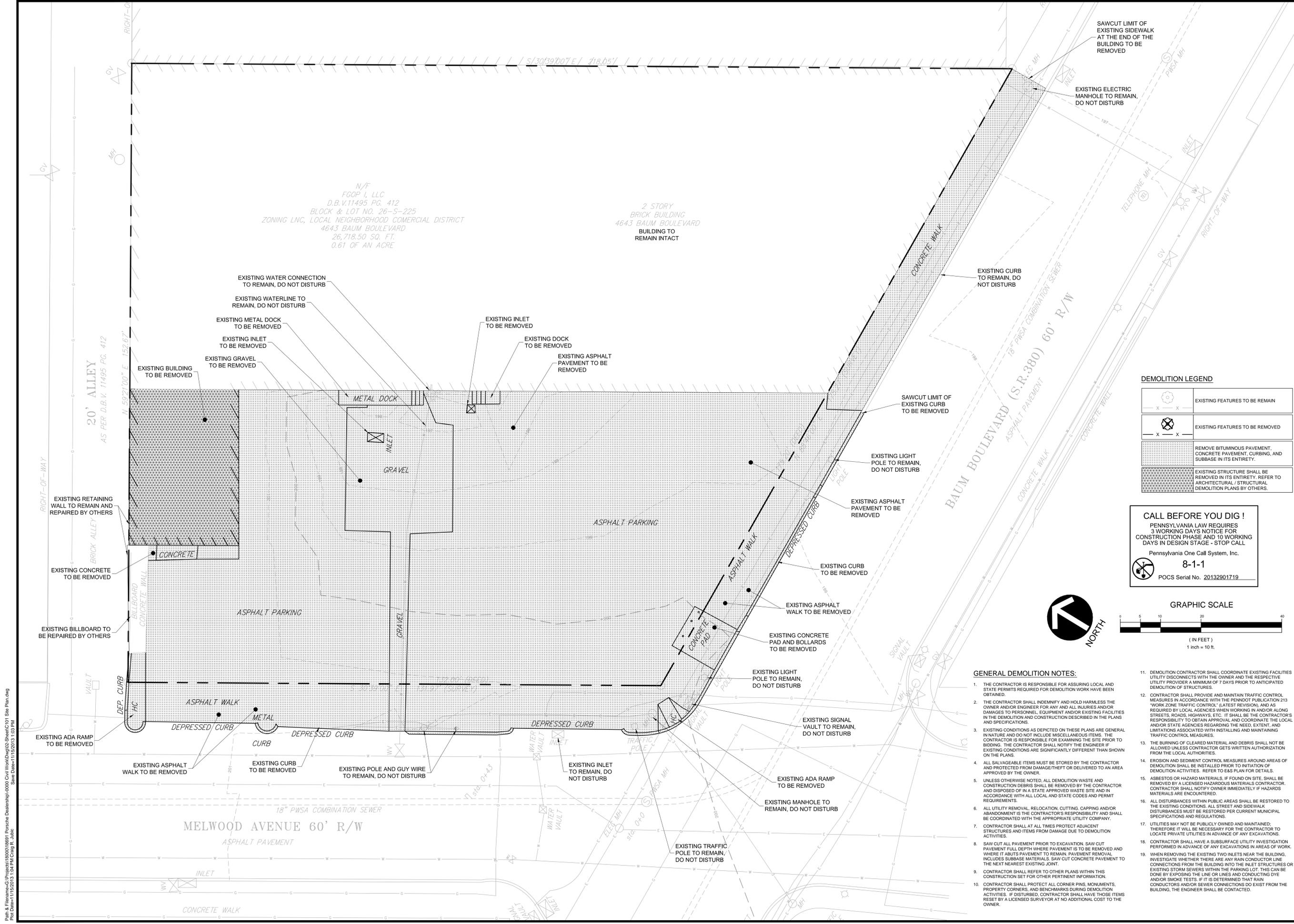
REVISION RECORD

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PORSCHE DEALERSHIP
 4643 BAUM BOULEVARD, FIFTH WARD, CITY OF PITTSBURGH
 ALLEGHENY COUNTY, PENNSYLVANIA
 PREPARED FOR:
LLI ENGINEERING
 1501 PREBLE AVENUE, SUITE 300
 PITTSBURGH, PA 15233

SITE AND GRADING PLAN
 Project Number: C-18691
 Drawing Scale: 1" = 10'
 Date Issued: NOV. 2013
 Index Number: --
 Drawn By: CRJ
 Checked By: RWM
 Project Manager: RWM
C101

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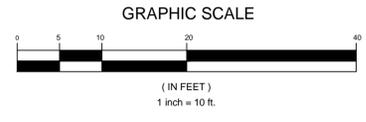
N/F
 FGOP I, LLC
 D.B.V.11495 PG. 412
 BLOCK & LOT NO. 26-5-225
 ZONING LNC, LOCAL NEIGHBORHOOD COMMERCIAL DISTRICT
 4643 BAUM BOULEVARD
 26,718.50 SQ. FT.
 0.61 OF AN ACRE

2 STORY
 BRICK BUILDING
 4643 BAUM BOULEVARD
 BUILDING TO
 REMAIN INTACT

DEMOLITION LEGEND

	EXISTING FEATURES TO BE REMAIN
	EXISTING FEATURES TO BE REMOVED
	REMOVE BITUMINOUS PAVEMENT, CONCRETE PAVEMENT, CURBS, AND SUBBASE IN ITS ENTIRETY.
	EXISTING STRUCTURE SHALL BE REMOVED IN ITS ENTIRETY. REFER TO ARCHITECTURAL / STRUCTURAL DEMOLITION PLANS BY OTHERS.

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 DAYS IN DESIGN STAGE - STOP CALL
 Pennsylvania One Call System, Inc.
8-1-1
 POCS Serial No. 20132901719



- GENERAL DEMOLITION NOTES:**
- THE CONTRACTOR IS RESPONSIBLE FOR ASSURING LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK HAVE BEEN OBTAINED.
 - THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
 - EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL IN NATURE AND DO NOT INCLUDE MISCELLANEOUS ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING THE SITE PRIOR TO BIDDING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EXISTING CONDITIONS ARE SIGNIFICANTLY DIFFERENT THAN SHOWN ON THE PLANS.
 - ALL SALVAGEABLE ITEMS MUST BE STORED BY THE CONTRACTOR AND PROTECTED FROM DAMAGE/THEFT OR DELIVERED TO AN AREA APPROVED BY THE OWNER.
 - UNLESS OTHERWISE NOTED, ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
 - ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
 - CONTRACTOR SHALL AT ALL TIMES PROTECT ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
 - SAW CUT ALL PAVEMENT PRIOR TO EXCAVATION. SAW CUT PAVEMENT FULL DEPTH WHERE PAVEMENT IS TO BE REMOVED AND WHERE IT ABUTS PAVEMENT TO REMAIN. PAVEMENT REMOVAL INCLUDES SUBBASE MATERIALS. SAW CUT CONCRETE PAVEMENT TO THE NEXT NEAREST EXISTING JOINT.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 - CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE THESE ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
 - DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE OWNER AND THE RESPECTIVE UTILITY PROVIDER A MINIMUM OF 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE PENNDOT PUBLICATION 213 "WORK ZONE TRAFFIC CONTROL" (LATEST REVISION), AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE THE LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
 - THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
 - EROSION AND SEDIMENT CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES. REFER TO EAS PLAN FOR DETAILS.
 - ASBESTOS OR HAZARD MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
 - ALL DISTURBANCES WITHIN PUBLIC AREAS SHALL BE RESTORED TO THE EXISTING CONDITIONS. ALL STREET AND SIDEWALK DISTURBANCES MUST BE RESTORED PER CURRENT MUNICIPAL SPECIFICATIONS AND REGULATIONS.
 - UTILITIES MAY NOT BE PUBLICLY OWNED AND MAINTAINED; THEREFORE IT WILL BE NECESSARY FOR THE CONTRACTOR TO LOCATE PRIVATE UTILITIES IN ADVANCE OF ANY EXCAVATIONS.
 - CONTRACTOR SHALL HAVE A SUBSURFACE UTILITY INVESTIGATION PERFORMED IN ADVANCE OF ANY EXCAVATIONS IN AREAS OF WORK.
 - WHEN REMOVING THE EXISTING TWO INLETS NEAR THE BUILDING, INVESTIGATE WHETHER THERE ARE ANY RAIN CONDUCTOR LINE CONNECTIONS FROM THE BUILDING INTO THE INLET STRUCTURES OR EXISTING STORM SEWERS WITHIN THE PARKING LOT. THIS CAN BE DONE BY EXPOSING THE LINE OR LINES AND CONDUCTING DYE AND/OR SMOKE TESTS. IF IT IS DETERMINED THAT RAIN CONDUCTORS AND/OR SEWER CONNECTIONS DO EXIST FROM THE BUILDING, THE ENGINEER SHALL BE CONTACTED.

REVISION RECORD

Date	No	1	2	3	4	5	6	7	8



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: URA BILIAE II LP		Phone Number: () 412 255 6600 412 623 8200	
Address: 200 Ross Street 310 Grant Street Suite 2500	City: Pittsburgh Pittsburgh	State: PA PA	Zip Code: 15222 15219
2. Applicant/Company Name: Smithfield Oliver Partners, LP		Phone Number: (724)884 9920	
Address: 95 West Beau Street Suite 600	City: Washington	State: PA	Zip Code: 15301
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: 350 Oliver Avenue			
4. Development Location: Corner of Smithfield and Oliver, Fifth Avenue between Park Building and Piatt Place			
5. Development Address: 350 Oliver Avenue, Pittsburgh, PA 15219			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) N/A			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required: N/A			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 01 / 01 / 2014	Occupancy Date: 05 / 01 / 2015	Project Cost: \$ 23,164,00

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 87. Parking Structure (General); 106. Retail Sales and Services (General)

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: Demolition of existing structures (Sak's, Wendy's, Rue 21) and construction of a new, 8 story structure.

The first floor and basement are rentable retail space; the upper floors are structured parking.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential 1 Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	28,910	sq ft
Existing to be Retained:	0	sq ft
Retained Area to be Renovated:	N/A	sq ft
To be Constructed:	273,574	sq ft
Building Footprint:	36,789	sq ft

15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	3	60'	8	86'
Proposed Addition/Extension			N/A	N/A

Provide Accessory Structure Type(s) and Height(s):

N/A				

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')	0	590
Compact (7 1/4' x 16')	0	0
Handicap (13 1/2' x 19')	0	12

Off-Street Loading Spaces: N/A
 Actual: 2
 Required: 2

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<p><u> 0 </u> New Water Service Connection(s)</p> <p><u> 1 </u> New Sewer Service Connection(s)</p>	<p><u> 0 </u> Termination of Existing Water Service Tap(s)</p> <p><u> 3 </u> Termination of Existing Sewer Service Tap(s)</p>
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22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



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Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



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DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html

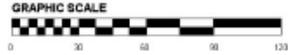
Smithfield Oliver Partners LP

350 Oliver Avenue

Pittsburgh City Planning Commission Action
December 4, 2013

PERFIDO
WEISKOPF
WAGSTAFF +
GOETTEL

Street Level Plan



350 Oliver Avenue

PERFIDO
WEISKOPF
WAGSTAFF +
GOETTEL



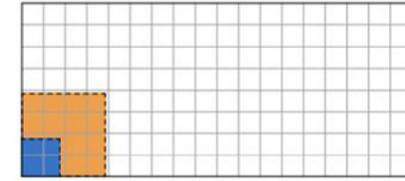
Open Space

350 Oliver Avenue

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MELLON SQUARE



- LOT AREA:**
36,789 ft²
- OPEN SPACE REQUIREMENT:**
3,679 ft² = 10% of lot area
- OPEN SPACE PROVIDED:**
759 ft² = 2.1% of lot area
- PARTIAL PAYMENT IN LIEU FOR:**
2,920 ft² = 7.9%

SMITHFIELD STREET

EXISTING BUILDING

- INTERIOR
- OPEN SPACE
- PARKING RAMP

FIFTH AVENUE

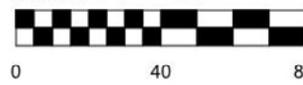
EXISTING BUILDING

EXISTING BUILDING

EXISTING BUILDING



SCALE: 1" = 40'



Second Level Plan – Bike Parking

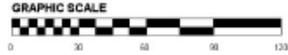


350 Oliver Avenue

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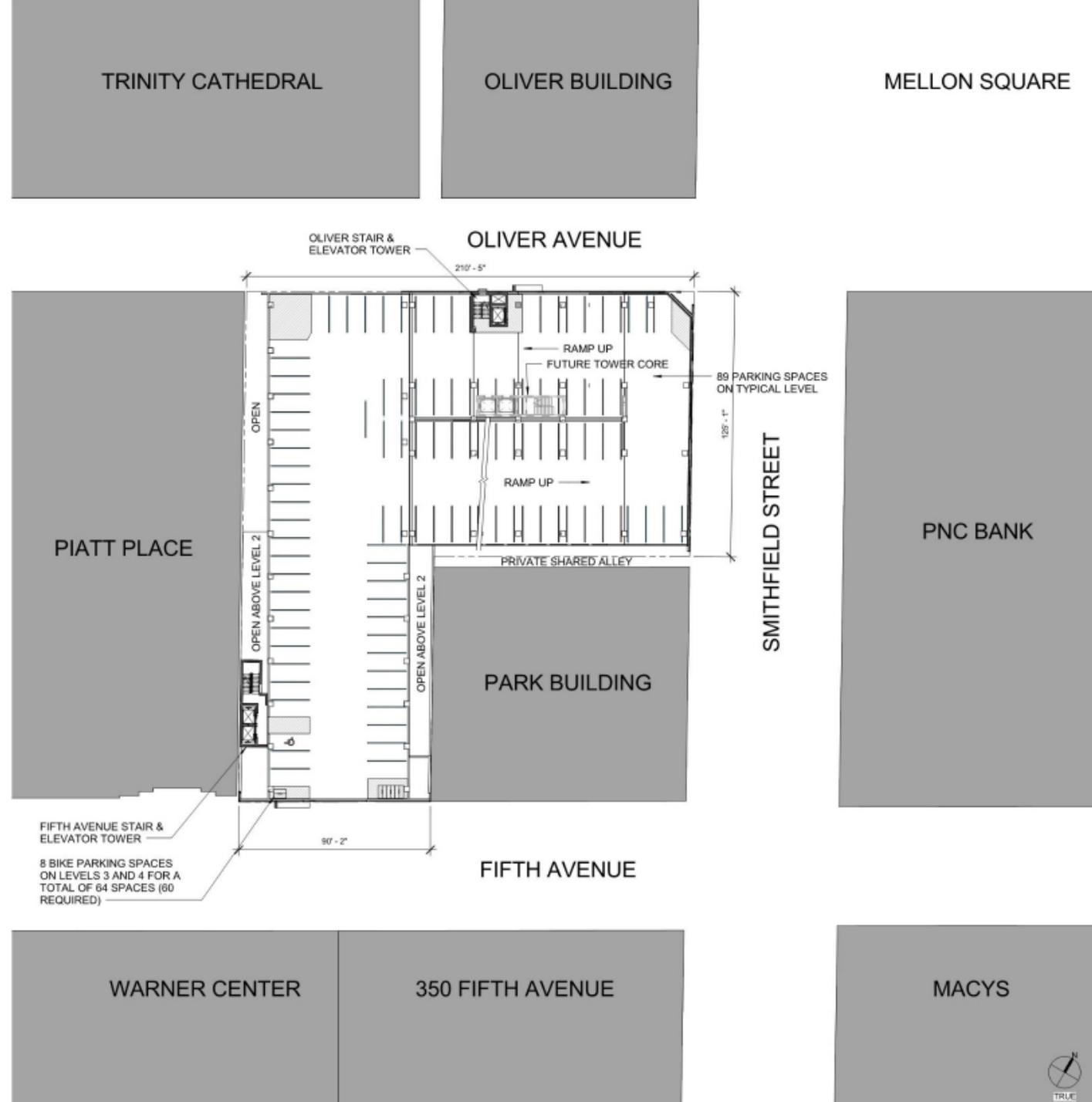


Typical Parking Level Plan



350 Oliver Avenue

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TRU

Fifth Avenue looking west

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WEISKOPF
WAGSTAFF +
GOETTEL



Oliver Avenue looking west

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WEISKOPF
WAGSTAFF +
GOETTEL



Smithfield Street looking north

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WEISKOPF
WAGSTAFF +
GOETTEL



Mellon Square looking southwest

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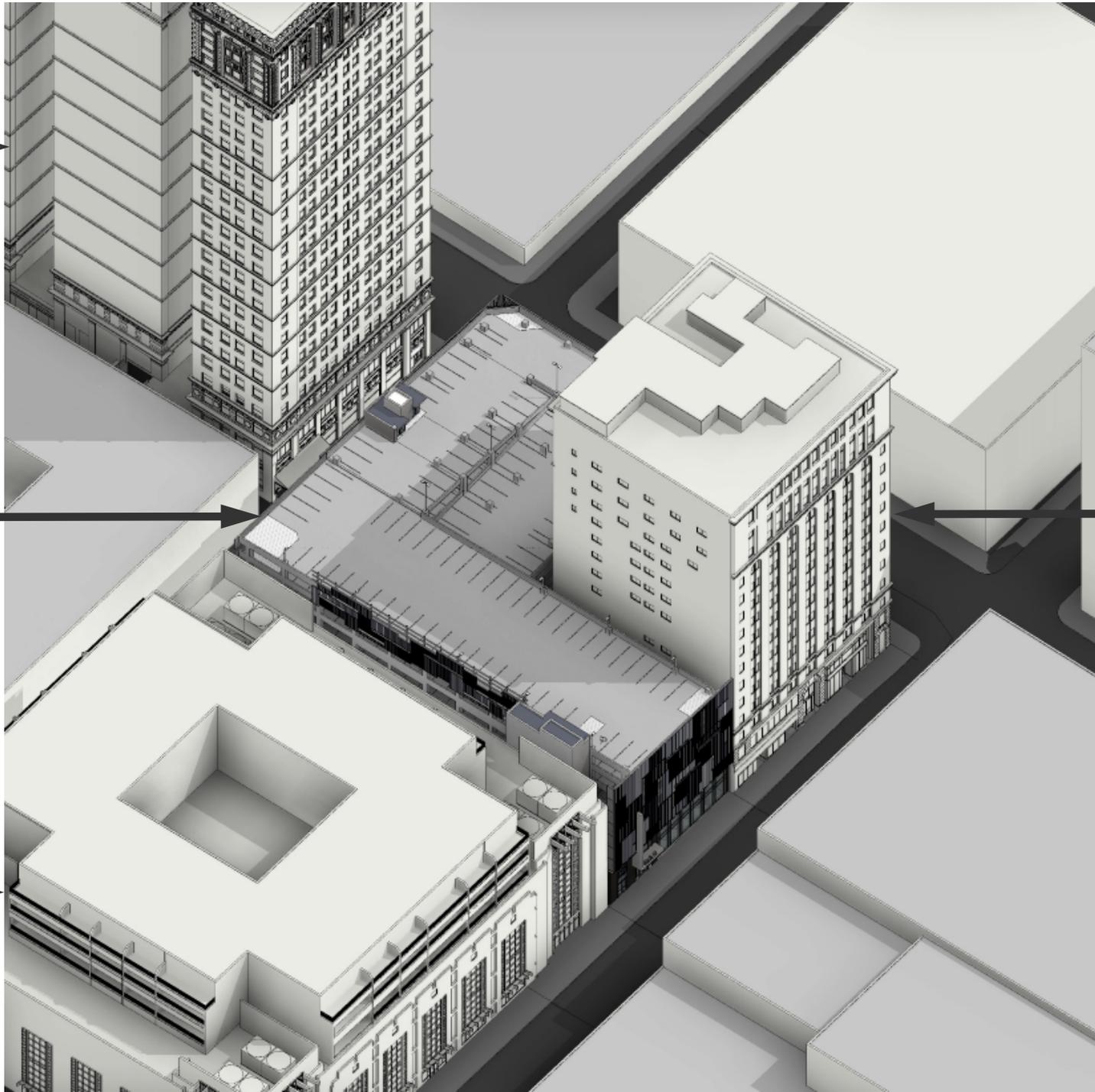
Aerial View of Garage

Oliver Building →

350 OLIVER →

Piatt Place →

← **Park Building**



Fifth Avenue Elevation

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WAGSTAFF +
GOETTEL



Facade Material Palette



Thermal Finish Black Granite

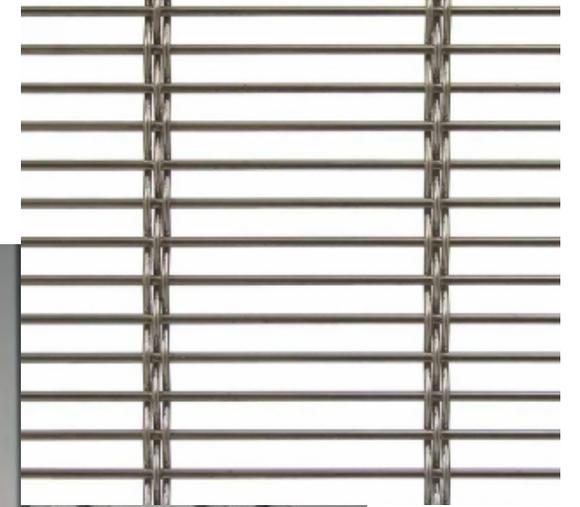


Board Form Concrete

Channel Glass



Stainless Steel Mesh



Profiled Metal Panel



Accent color on soffit

Painted aluminum curtainwall

Flush metal panel clad canopy

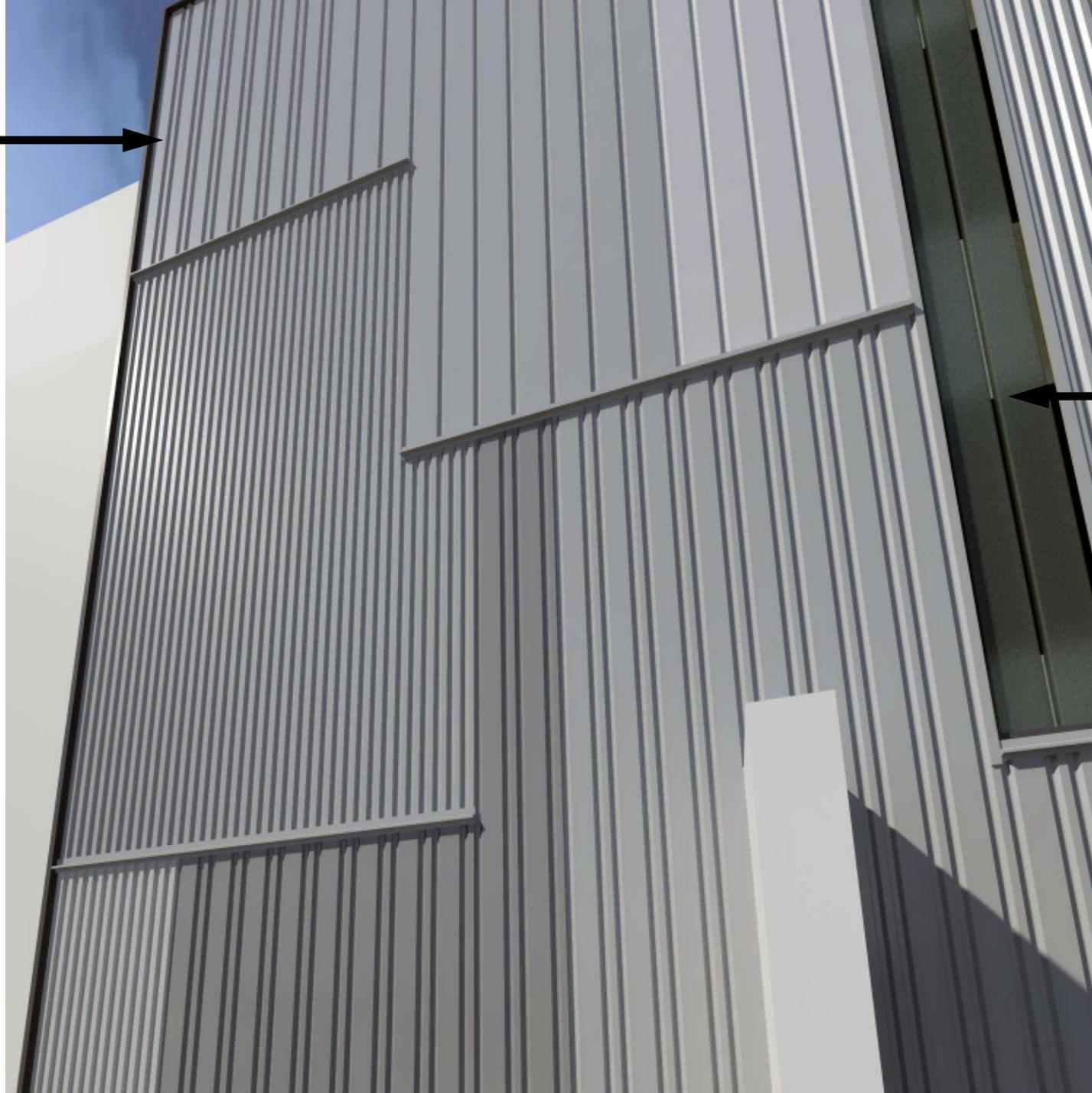
Thermal finish black granite

Board-form finished concrete

Profiled Metal Panels in
multiple profiles, painted in
multiple shades of grey



Facade Material Palette



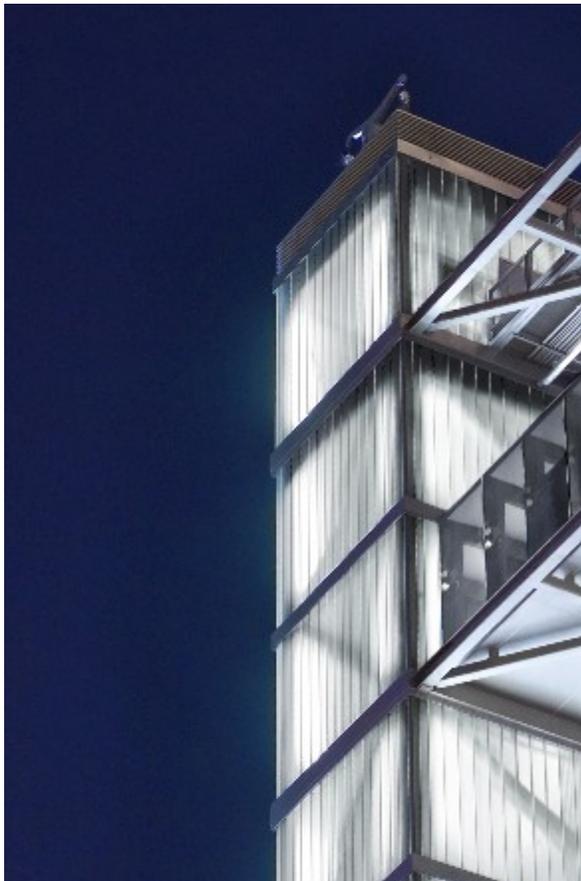
Translucent channel
glass with backlighting



Facade Material Palette

Profiled Metal Panels in
multiple profiles, painted in
multiple shades of grey

White translucent channel
glass with white backlighting



Facade Material Palette

Stainless Steel Mesh Panels



Fifth Avenue View

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WEISKOPF
WAGSTAFF +
GOETTEL



Fifth Avenue Night View

PERFIDO
WEISKOPF
WAGSTAFF +
GOETTEL



Fifth Avenue View

PERFIDO
WEISKOPF
WAGSTAFF +
GOETTEL



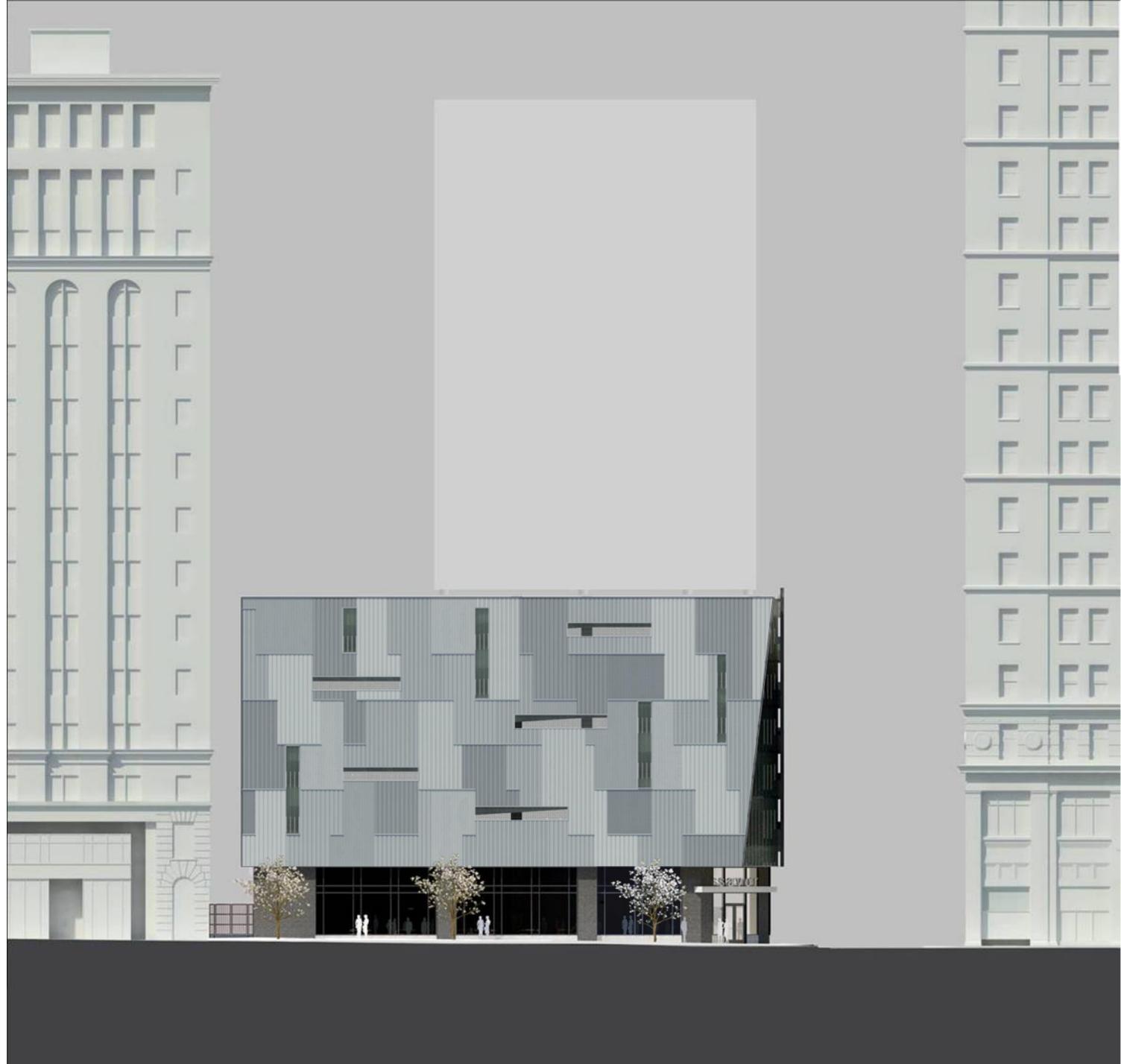
Smithfield Street Elevation

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GOETTEL



PERFIDO
WEISKOPF
WAGSTAFF +
GOETTEL

Smithfield Elevation with Future Tower



Smithfield Street View

PERFIDO
WEISKOPF
WAGSTAFF +
GOETTEL



Smithfield Street View

PERFIDO
WEISKOPF
WAGSTAFF +
GOETTEL



View from Mellon Square

PERFIDO
WEISKOPF
WAGSTAFF +
GOETTEL



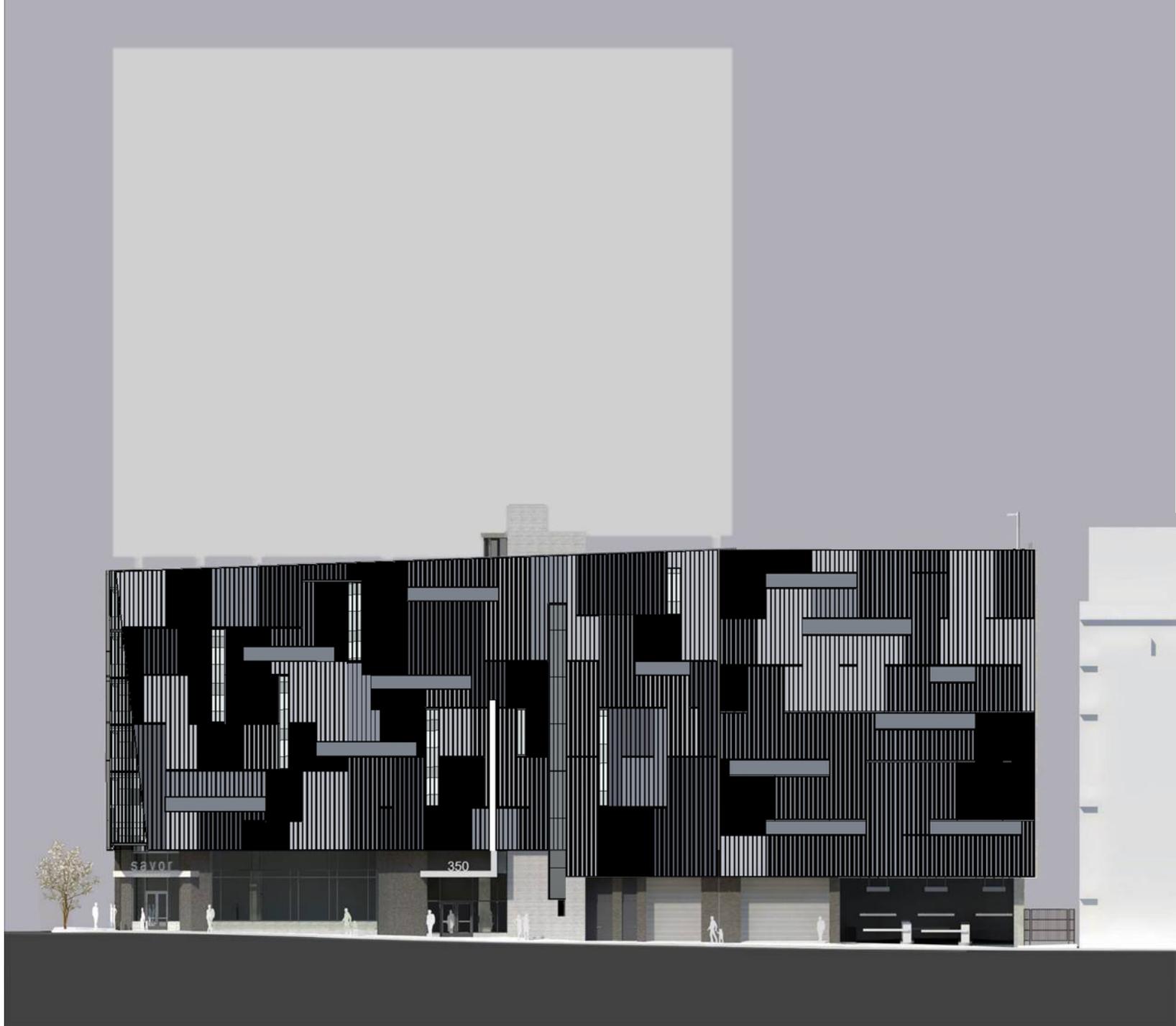
Oliver Avenue Elevation

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GOETTEL



PERFIDO
WEISKOPF
WAGSTAFF +
GOETTEL

Oliver Avenue with Future Tower



Oliver Avenue West End

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