



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room

May 2, 2012

AGENDA

(Vacant), *Chairman*

Ernie Hogan, *Vice Chairman*

Noor Ismail, *Director of Planning*

John Jennings, *Secretary, Acting Chief BBI*

Linda McClellan

Arthur Sheffield

Joe Serrao

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business

- Finding of Fact Status – Certificate of Economic Hardship

New Business

- Approval of the Minutes from the April 2012 hearing
- Certificates of Appropriateness Report – April
- Applications for a Certificate of Economic Hardship - None

Upcoming Demolitions, no action at this time

- None

➤ **1:00 PM HEARING & ACTION**

1. Allegheny West Historic District

939 Western Avenue
Ed Menzer, owner and applicant
Installation of an ADA ramp

2. Deutchtown Historic District

1010 Cedar Avenue
Brent Bissell, owner and applicant
**Rehab of front and side porches and
soundproofing of windows**

3. East Carson Street Historic District

1605 East Carson Street
16th and Carson St. Partners, owner and
applicant
Installation of a NANA wall and lighting

4. East Carson Street Historic District

1737 East Carson Street
William Petrucci, owner
1737 Coffee, LLC, applicant
Installation of a NANA wall

5. Individual Designation

Conelley Trade School
1501 Bedford Avenue
Pittsburgh Gateway Corporation, owner
Pittsburgh Green Innovators, applicant
**Rehab and installation of
elevators/stairs on secondary facade**

**6. Individual Designation
Paramount Film Exchange**

1727 Bluff Street
PFEX, Inc, owner
Empty Space Design, applicant
**Replacement of door and windows,
lighting**

7. Market Square Historic District

25 Market Square
Nicholas Nicholas, owner
Sipp and Tepe Architects, applicant
Installation of a new facade

8. Oakland Civic Center Historic District
4000 Fifth Avenue
Park Rankin, owner
Rick Avon, applicant
Creation of a new entry

9. Penn-Liberty Historic District
941 Liberty Avenue
Caterina Varrasso, owner
Sonia Varrasso, applicant
**Certificate of Economic Hardship –
Installation of an ATM**

10. Schenley Farms Historic District
4360 Centre Avenue
Marion Spangler, owner
Elise Keely, applicant
Changes in fenestration and landscape

➤ **DEMOLITIONS**

1. Manchester Historic District
1321 N. Franklin Street
Andrew & Rachel Huffman, owners
Bureau of Building Inspection, applicant
Demolition to grade

➤ **DIRECTOR'S REPORT**

➤ **ADJOURNMENT**

**FOR PUBLIC COMMENT ONLY - THE
NATIONAL REGISTER NOMINATION FORMS CAN BE
FOUND UNDER PUBLIC COMMENT SECTION OF THE HRC
WEBSITE AT:**

http://www.city.pittsburgh.pa.us/cp/html/historic_review_commission.html

**1. Schenley Farms Historic District
(Boundary Increase)**
Roughly bounded by Dollar Street, Centre Avenue,
Bayard Street, Bellefield Avenue, and Bigelow
Boulevard
Cindy Hamilton, applicant
Proposed National Register Listing

2. Ursuline Young Ladies Academy
201 South Winbiddle Street
Jeff Slack, applicant
Proposed National Register Listing

*The John Robin Civic Building, located at 200 Ross St.
downtown, is wheelchair accessible. This meeting is open
to all members of the public. INTERPRETERS FOR THE
HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS
NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-
255-2102.*

**Please contact Sarah Quinn with questions and
comments: 412-255-2243
sarah.quinn@city.pittsburgh.pa.us**



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

- Staff Use -

DEADLINES:
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

FEE SCHEDULE: See attached
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid: \$ 100

Date Received: 3/21/12
 Hearing Date: 5-2-12
 Lot and Block #: 7-D-185 2nd Ward

ADDRESS OF PROPERTY: 939 Western Ave
PGH, PA 15233

HISTORIC DISTRICT: Allegheny West

OWNER

Name: Ed Menzer
 Address: 939 Western Ave
 City, State, Zip: PGH, PA 15233
 Phone: () 412 231-4800 Fax: () -
 E-MAIL: ed@thepercussion.com

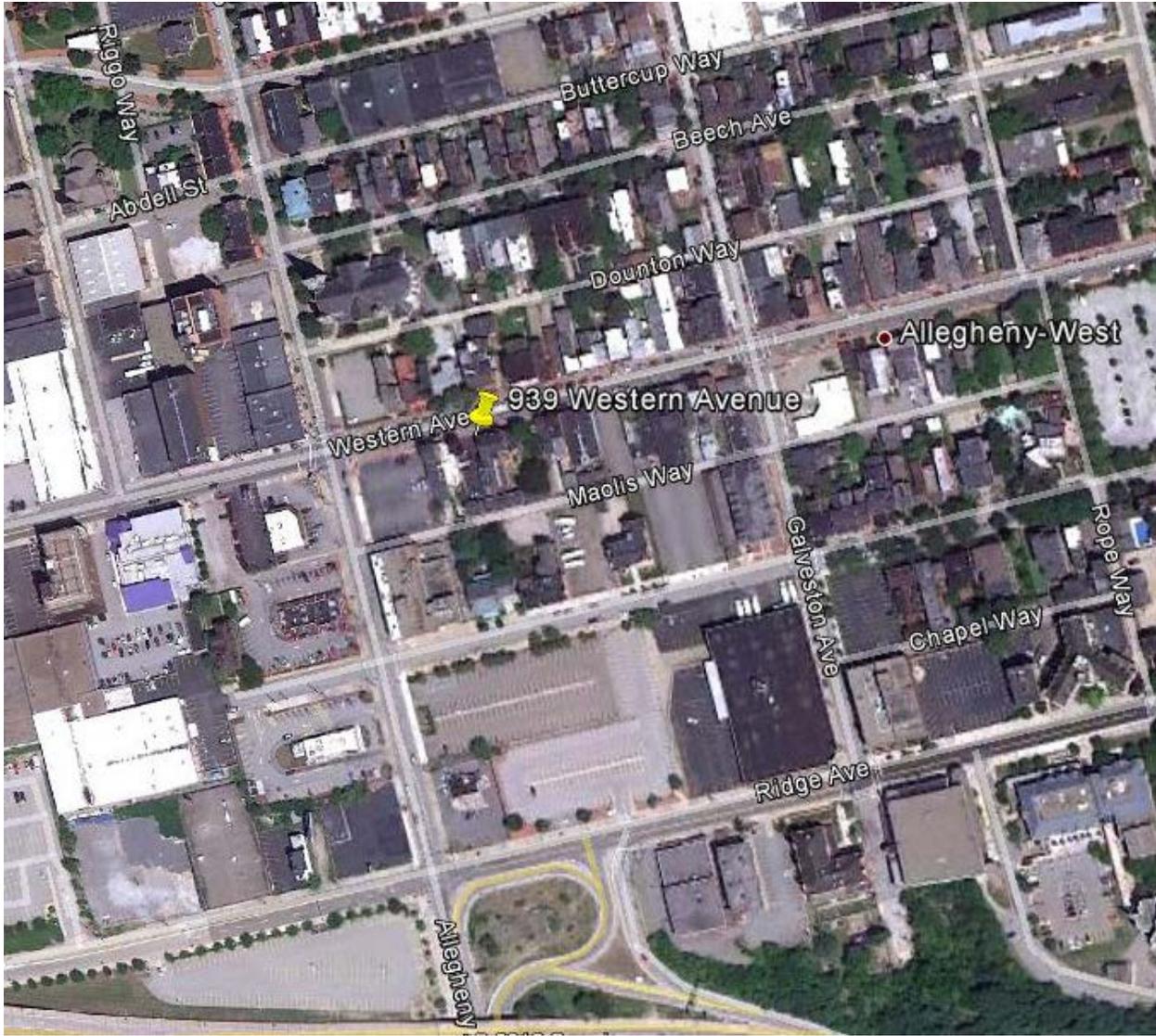
APPLICANT

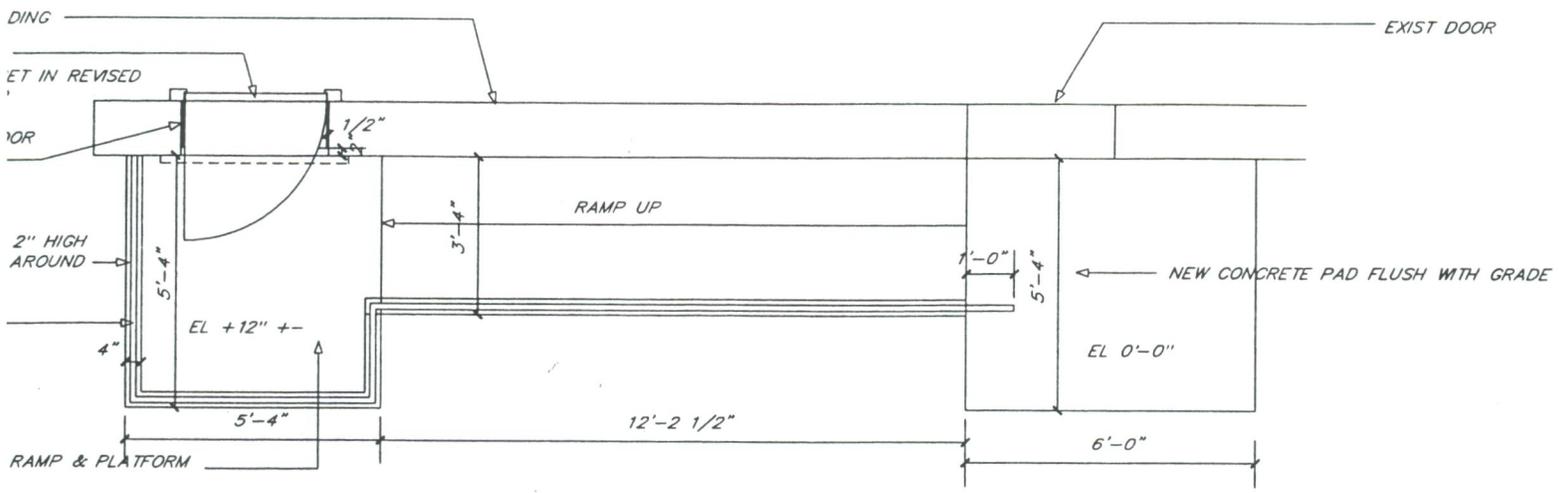
Name: _____
 Address: same
 City, State, Zip: _____
 Phone: () - Fax: () -
 E-MAIL: _____

REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other

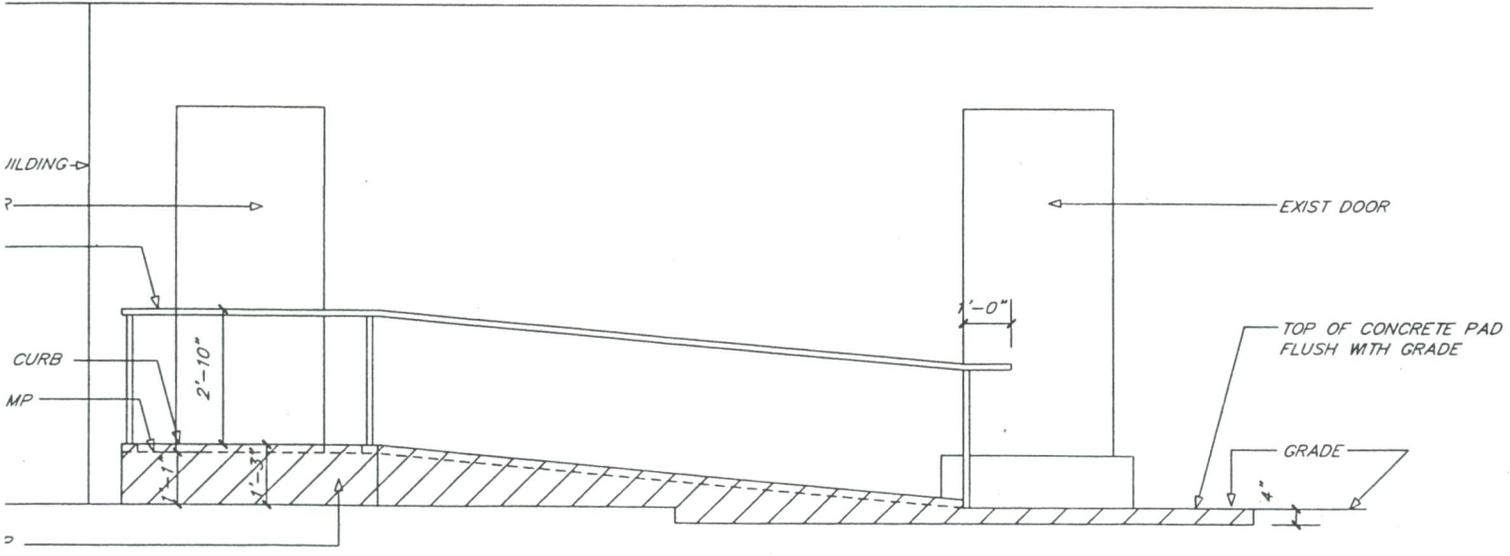
DETAILED DESCRIPTION OF PROPOSED WORK: Move wheel chair ramp from the courtyard to the back corner of the parking lot

SIGNATURE [Signature], Owner **DATE** 3/20/12
[Signature], Applicant **DATE** 3/20/12



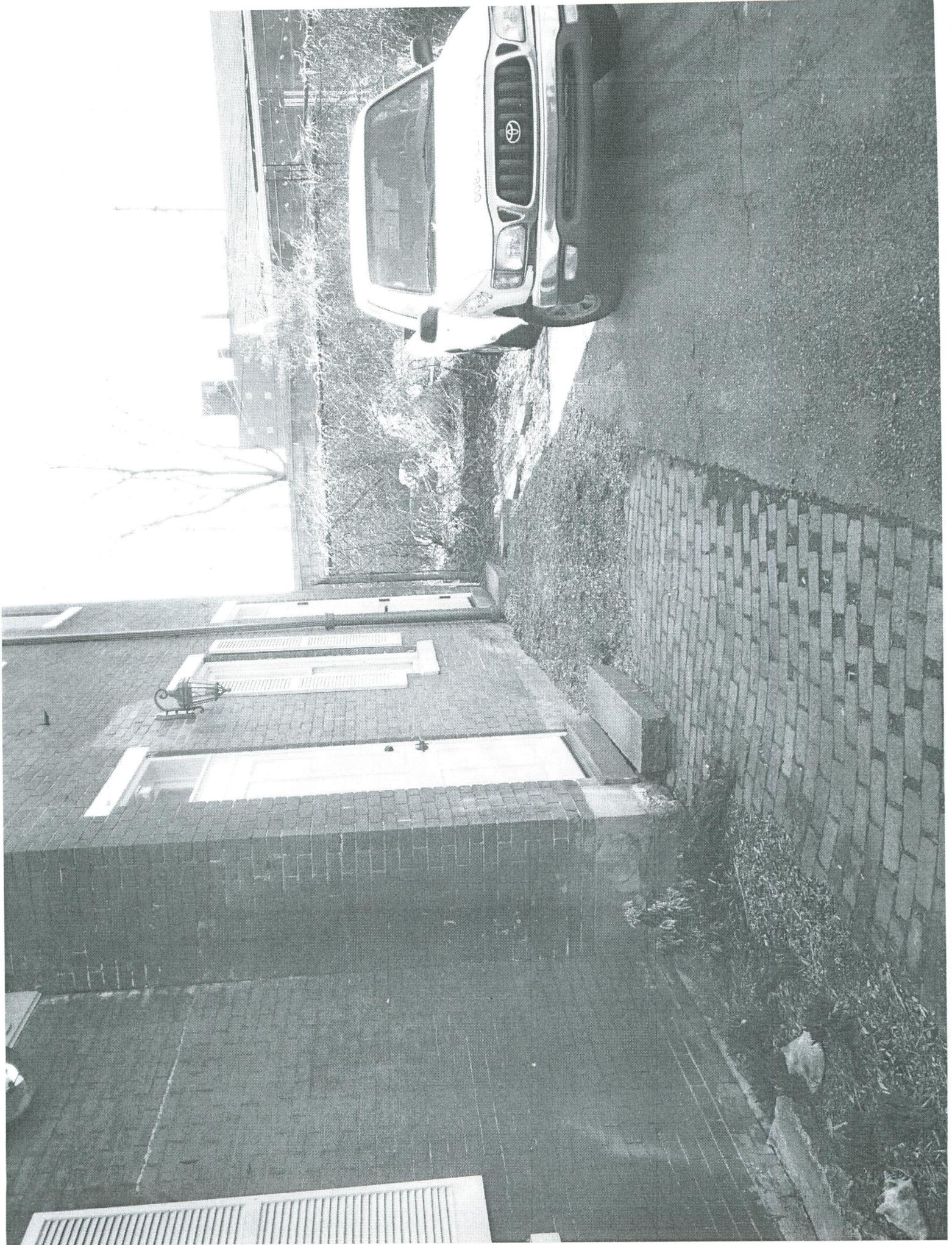


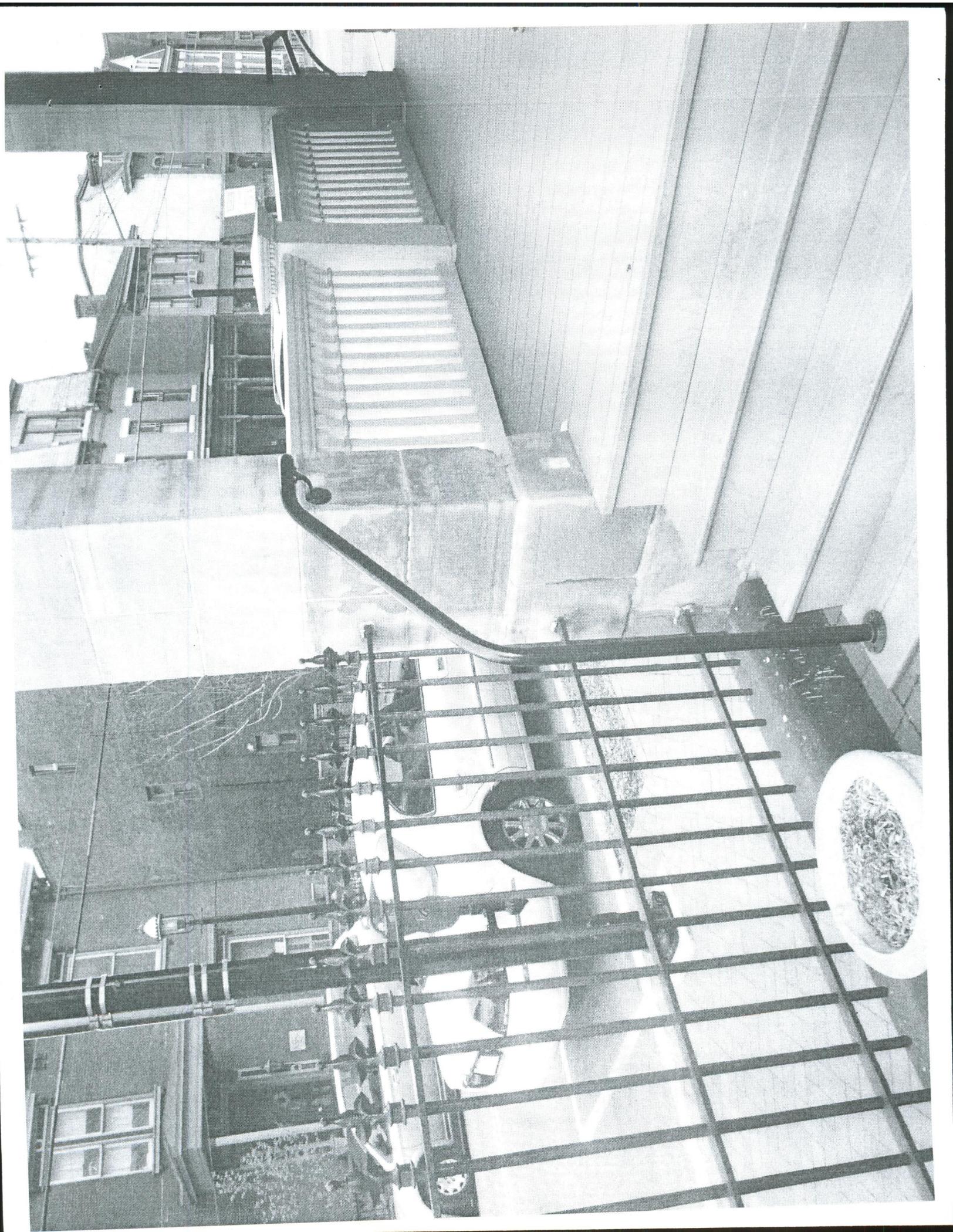
BALLROOM RAMP - PLAN

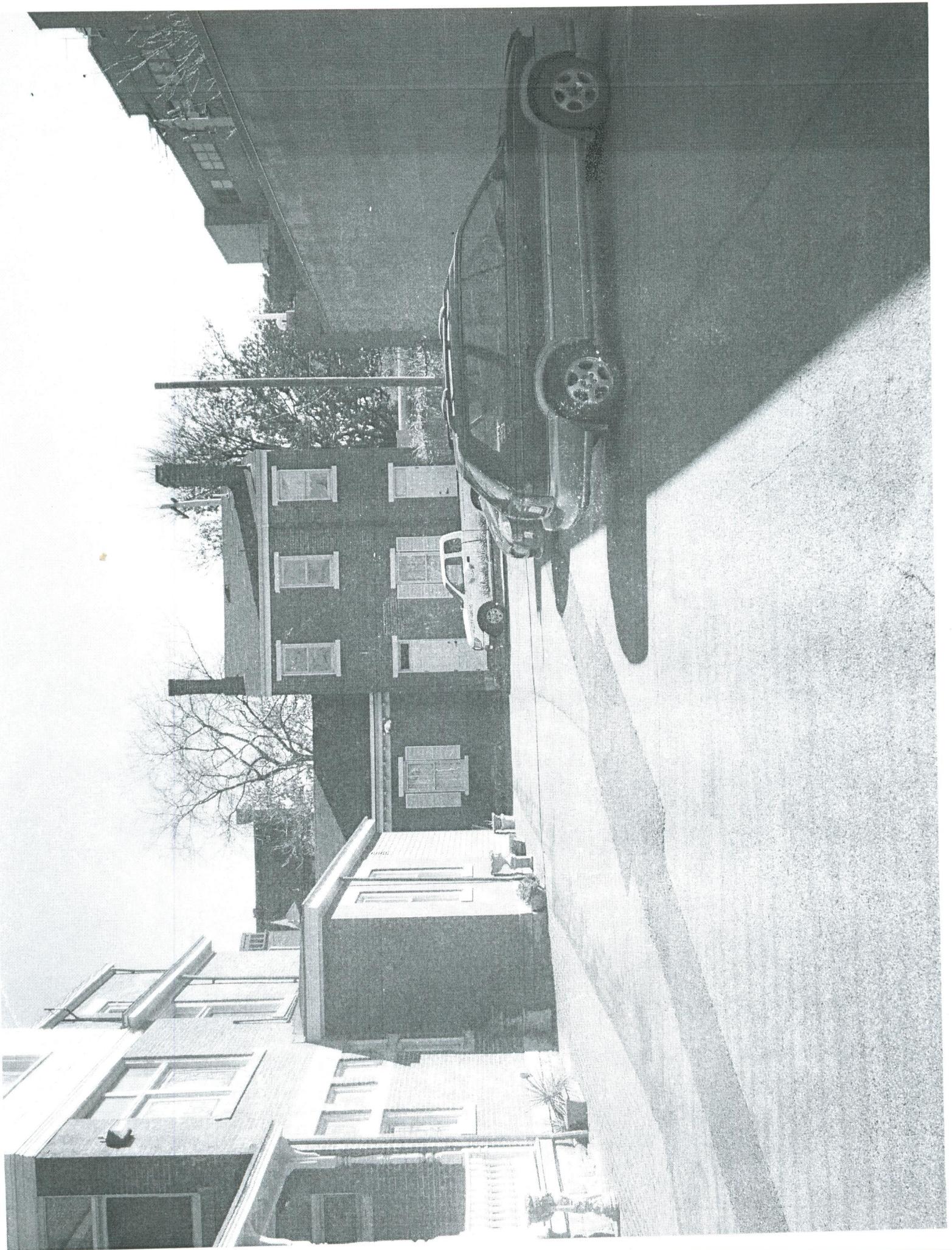


BALLROOM RAMP - ELEVATION











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FEE SCHEDULE: See attached
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid: \$ 100

Date Received: 4-11-12

Hearing Date: _____

Lot and Block #: 23-M-209 Ward 23

ADDRESS OF PROPERTY: 1010 Cedar Ave
Pittsburgh, PA 15212

HISTORIC DISTRICT: Deutschtown

OWNER

Name: _____

Address: _____

City, State, Zip: _____

Phone: () - - Fax: () -

E-MAIL: _____

APPLICANT

Name: Brent Bisrell

Address: 531 Bigham Rd

City, State, Zip: Pittsburgh, PA 15211

Phone: (7) 875-7168 Fax: () -

E-MAIL: Bisrell@hotmail.com

REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED WORK: see additional pages

SIGNATURE _____, Owner DATE _____

Brent Bisrell, Applicant DATE 4-11-12



Proposed Exterior Changes to 1010 Cedar Avenue

Our main goal with these exterior changes to the house is to restore the house to its original grandeur. This once-beautiful house has been abandoned for over twenty years. We are excited about returning it to its rightful place of splendor on Cedar Ave.

Below is a list of changes to the existing structure we would like to make. Detailed plans explaining the proposed changes, as well as historical photos are in the pages to follow.

Front Porch

- Remove brick front porch posts. Install new front porch posts consistent with historic photos
- Restore wood façade to front porch gable and paint
- Remove asphalt shingles from front porch roof and replace with copper, painted aluminum, or slate
- Install new front porch wooden railing consistent with historic photos
- Install floor to ceiling windows on first floor front, consistent with original design
- Restore steps to the front porch
- Construct new doors to the front foyer that match doors in neighborhood
- Replace windows below the porch and put decorative security bars in

Side of the Building

- Plant Landscaping on side and front gardens of the property
- Remove side porch addition to property and restore to original façade
- Restore steps to side entrance
- Repair/replace side entrance doors
- Remove all cracked concrete sidewalks on property and replace with brick sidewalks
- Restore doors to basement steps
- Restore the coal chute

Windows

- Windows need to be restored and updated with double paned glass for sound and insulation

Front Porch

Here is a photo of the front porch as it exists now.



The brick columns and iron railings are not what were originally on the porch. A historic photo of East Park shows 1010 Cedar Ave in the background with wooden pillars on the porch





Replacing Pillars

We would like to remove these brick pillars and replace them with pillars that we have constructed in the same style as those that were originally on the house. Below is a photo of another house in the neighborhood that has pillars of a very similar style at 1130 W North Ave.



Wooden Railings and Posts

The iron railings on the porch are also not original. Many of the porches that are original or restored to look original have wooden railings and posts. We would like to construct wooden railings and posts for the front porch similar to the style pictured below.



Porch Roof

The roof on the porch when it was redone used asphalt shingles. We would like to replace those shingles with something more historically accurate such as tin, copper, painted aluminum, or slate.

Below are photos of the current roof, along with a photo of roof from another part of the house that appears original.

Façade

Also in the photo below is the detailed wooden façade of the porch. We would like to paint and restore that to its original beauty.





Porch Windows

The original windows went the all the way to the floor of the porch. In the photo below you can see the brick directly below the windows does not match the rest of the brick on the porch. On the next page is a photo of houses at 202 W North Ave and 206 W North Ave with windows that extend down to the floor of interior.





Front Porch Steps

The steps leading up to the front porch are in disrepair and need to be restored. The iron railings are also not original and would be removed.



Front Doors

The original front doors to the house are missing. We would like to reconstruct doors in the same fashion as a house right down the street at 912 Cedar Ave pictured below.



Windows below the Porch

The original windows below the front porch are missing. We would like to replace those windows and add decorative iron bars that will complement the overall look of the house.



Side of the Building

Landscaping

Currently there is concrete along all of the property. We would like to remove the concrete and landscape that area instead.



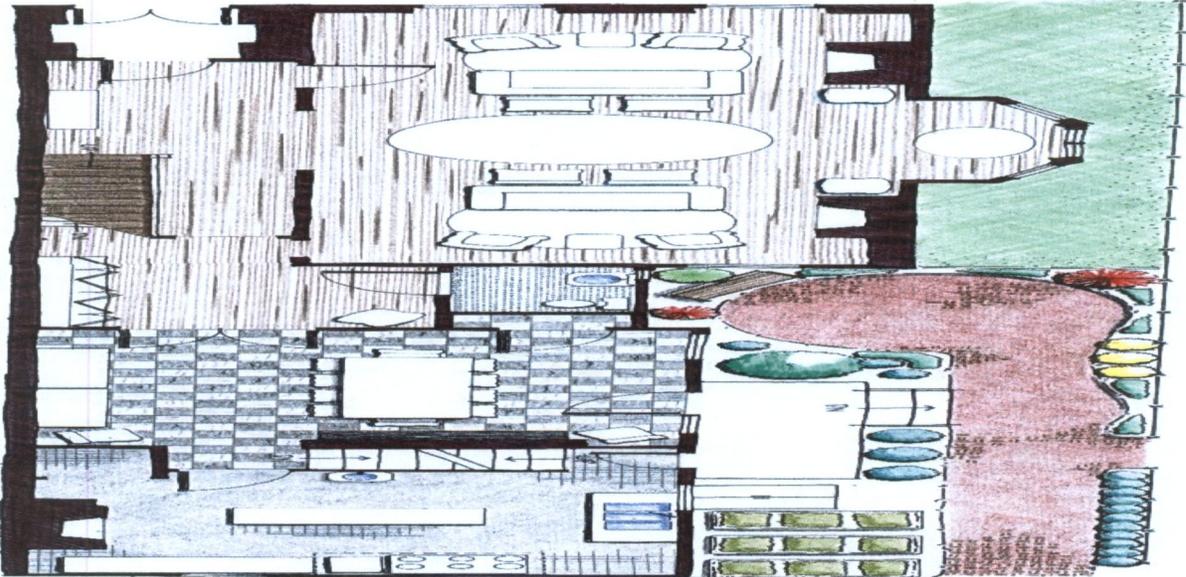
Side Porch

The side porch is not original to the building. The brick does not match. The pillars were poorly constructed and are leaning. The roof is asphalt shingles with moss growing on them. Also the porch itself is not very wide and serves little functional space. We would like to tear down the porch, remove the concrete and build a brick patio with landscaping around it.

Current porch:



Planned area:



Side Entrances

The steps going up to the side entrances are in need of restoration we would like to restore them to make them safe



Side Entrance Doors

The side entrance doors as pictured on the previous page are missing. We would like to replace them with appropriate wooden doors.

Sidewalks

The sidewalks around the building have fallen into disrepair. They are cracked and uneven. We would like to remove the concrete of the sidewalks around the house and replace the concrete with brick.

Doors Covering Basement Steps

The doors covering the basement steps are in relatively good condition we would like to clean them up and paint them.



Coal Chute

The old coal chute is still on the house. We would like to clean it up and restore it.



Windows

Restoring Windows

Many of the windows on the building are broken or missing altogether. We would like to update the glass in the window to double paned glass in order to provide an extra degree of sound dampening due to the helicopter that lands nearby at the hospital and the large amount of noise it makes. Also the new windows will provide added insulation making the house more energy efficient.

However, we do plan on using the original frames for the windows and restoring these frames so they look like they did on the house originally. This will keep the historical look of the house but still allow for increased efficiency.

We have restored one of the windows already for the house so you can see first hand how we plan on restoring all of them.



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DEADLINE:

Completed applications must be received 15 days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1605 E. Carson St

STAFF USE ONLY:

DATE RECEIVED: 4/13/12
 LOT AND BLOCK NUMBER: 12-E-292
 WARD: 17th
 FEE PAID: 200

DISTRICT:

South Side E. Carson St

OWNER:

NAME: 1605 E Carson St. Partners
 ADDRESS: 1511 E. Carson St.
PGH, PA 15203
 PHONE: 412-720-7645
 EMAIL: adam@ampdgroup.com

APPLICANT:

NAME: Same as owner
 ADDRESS: _____
 PHONE: _____
 EMAIL: _____

REQUIRED ATTACHMENTS:

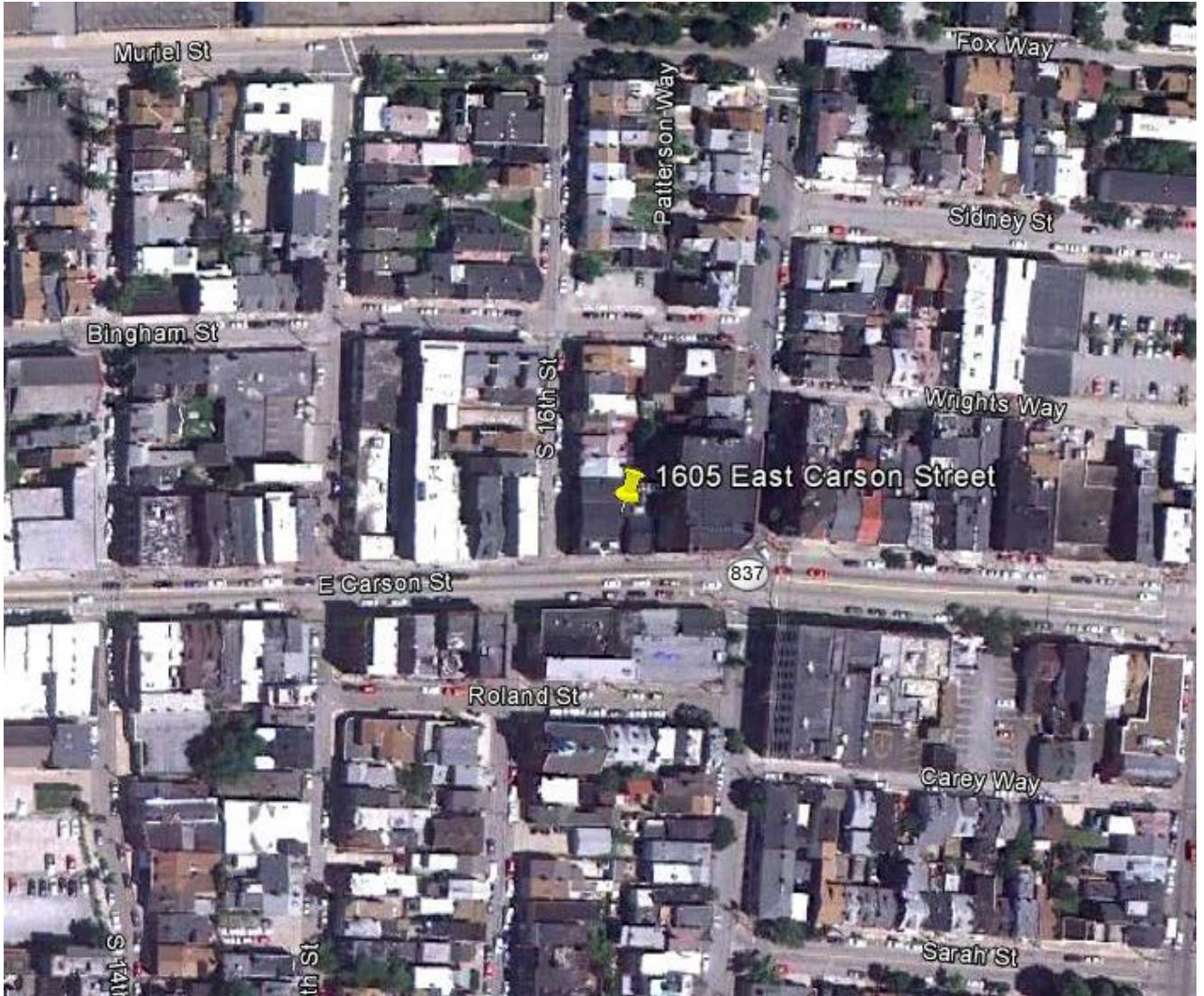
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Style of Sign Lighting on storefront sign & Blade sign;
Installation of Nana-wall on Lower facade

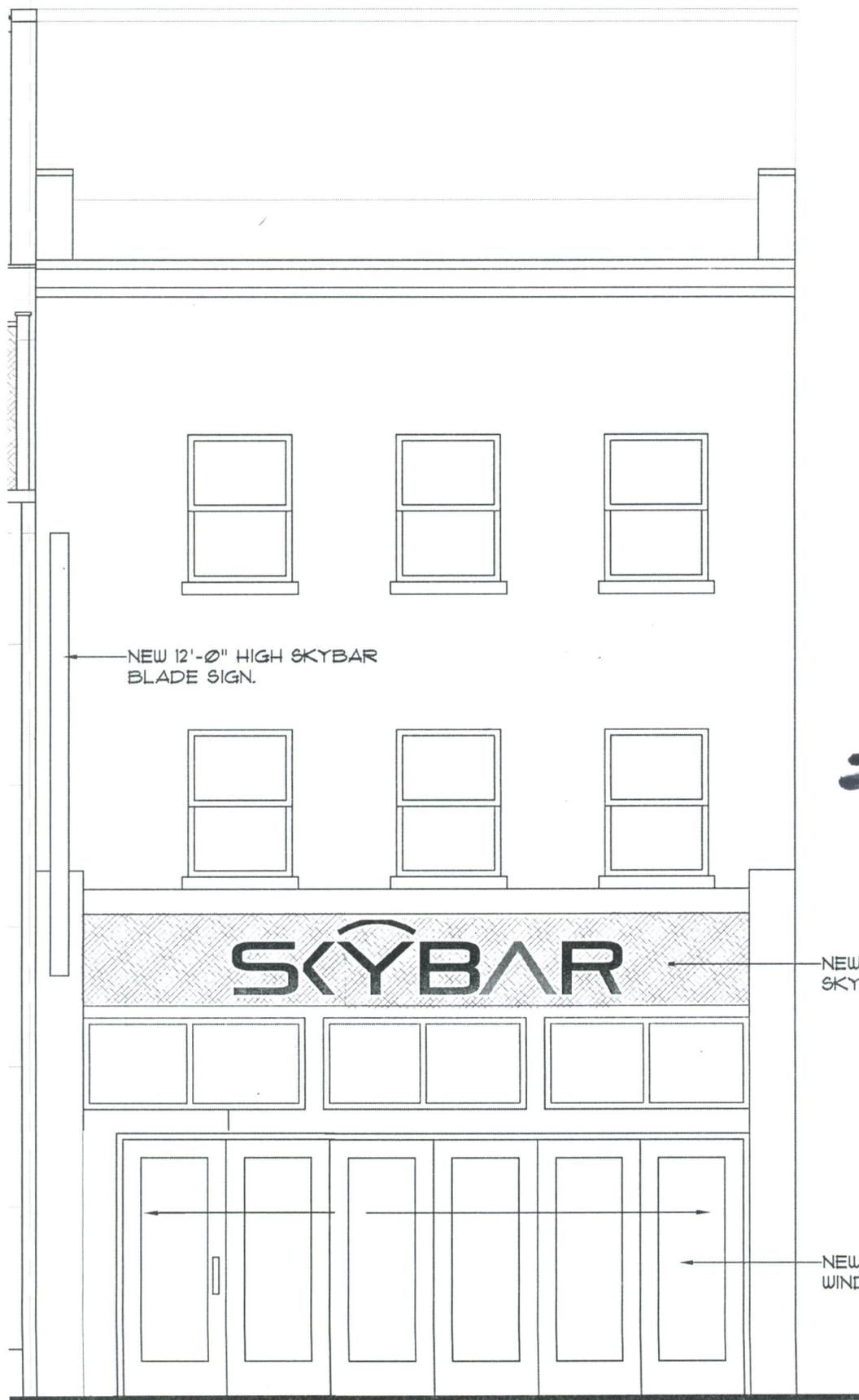
SIGNATURES:

OWNER: [Signature] DATE: 4/6/12
 APPLICANT: [Signature] DATE: 4/6/12



FAT CITY PIE COMPANY





NEW 12'-0" HIGH SKYBAR
BLADE SIGN.

NEW BACKLIT
SKYBAR SIGN.

NEW BIFOLD
WINDOW SYSTEM.



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See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1737 E. Carson St

STAFF USE ONLY:

DATE RECEIVED: 4-13-12

LOT AND BLOCK NUMBER: 12-E-318-0001

WARD: 17th

FEE PAID: 160-

DISTRICT:

E. Carson Street

OWNER: Don Company

NAME: William Petrucci

ADDRESS: 1737 E. Carson St.

PHONE: _____

EMAIL: _____

APPLICANT: Coffee LLC

NAME: ~~Adan~~ 1737 E. Carson

ADDRESS: 1511 E. Carson St.

PHONE: 412-720-7645

EMAIL: adan@ampdgroup.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

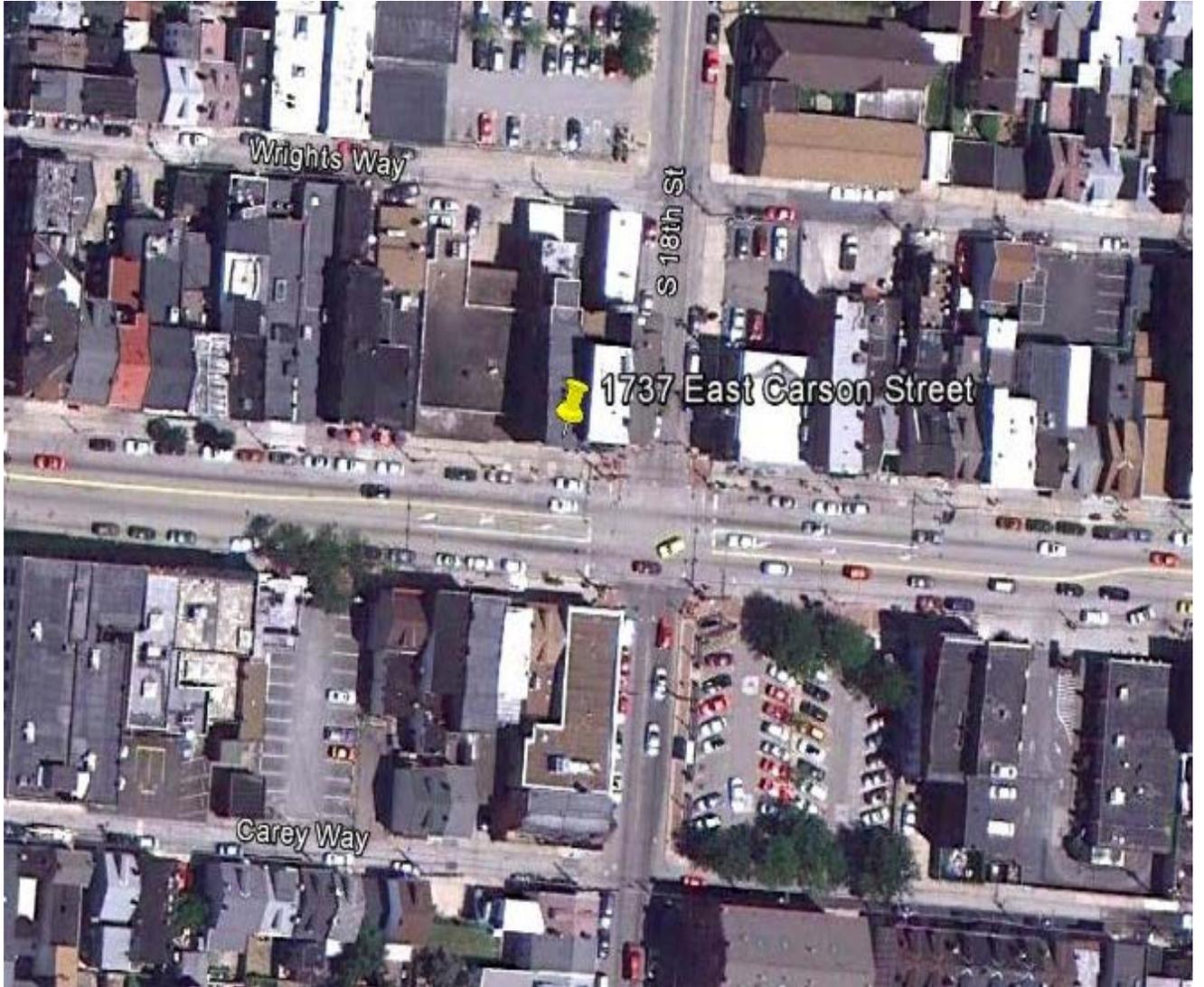
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Installation of Vertical Folding Window System
& New Entrance

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: [Signature] DATE: 4/13/12



SPOTLIGHT ON...



OUR HISTORY

Mrs. Mohrhoff's Millinery Shop on the South Side in the late 19th century is an image in the "What We Wore" exhibit at the Senator John Heinz Pittsburgh Regional History Center. The show, on the fourth floor, in the Magovern Family Gallery, opened Wednesday and showcases the language of clothes worn by Pittsburghers, how the clothes characterize individuals and how they reflect a changing society and culture. Hats from Mrs. Mohrhoff's time period can be tried on.



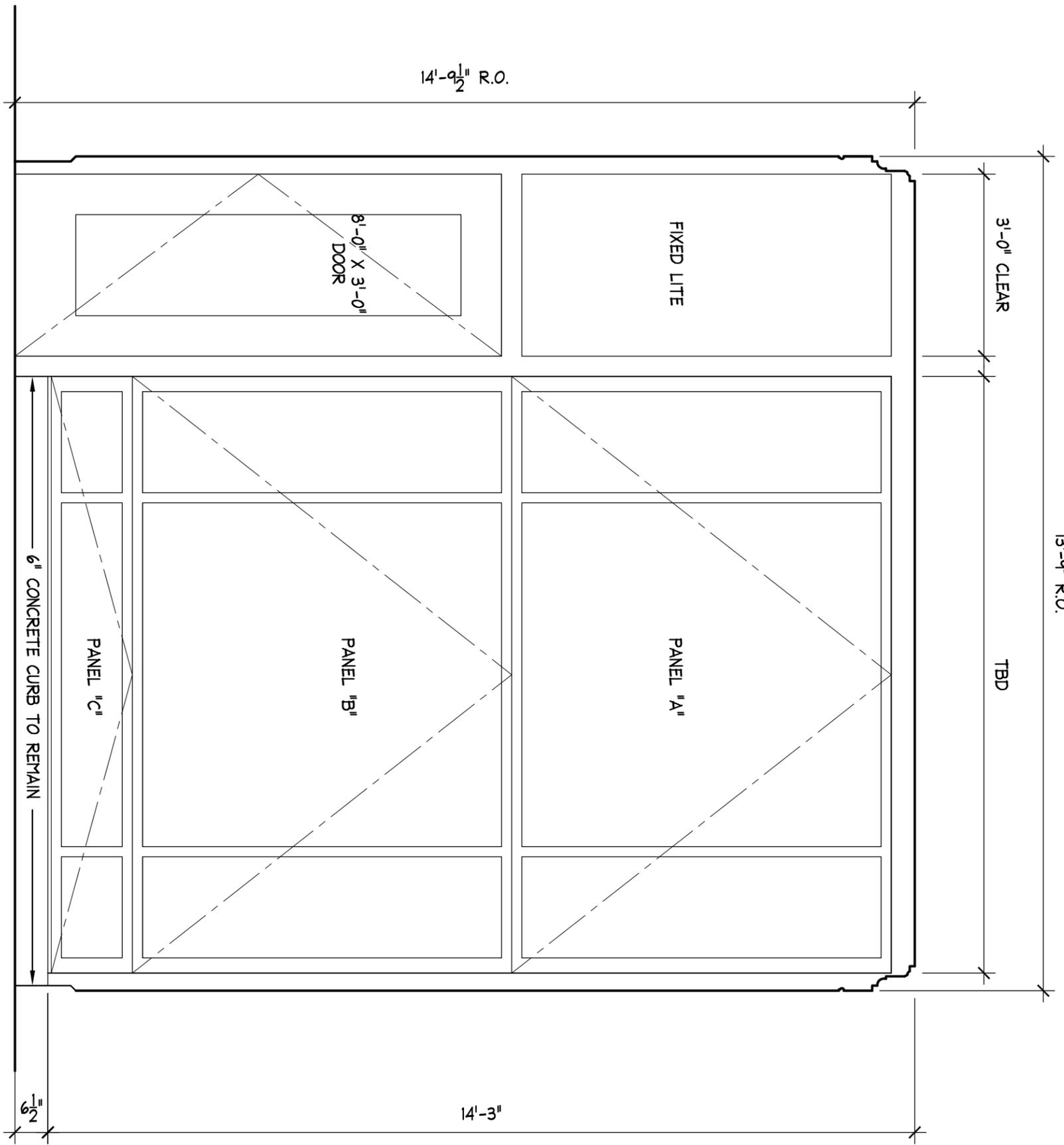
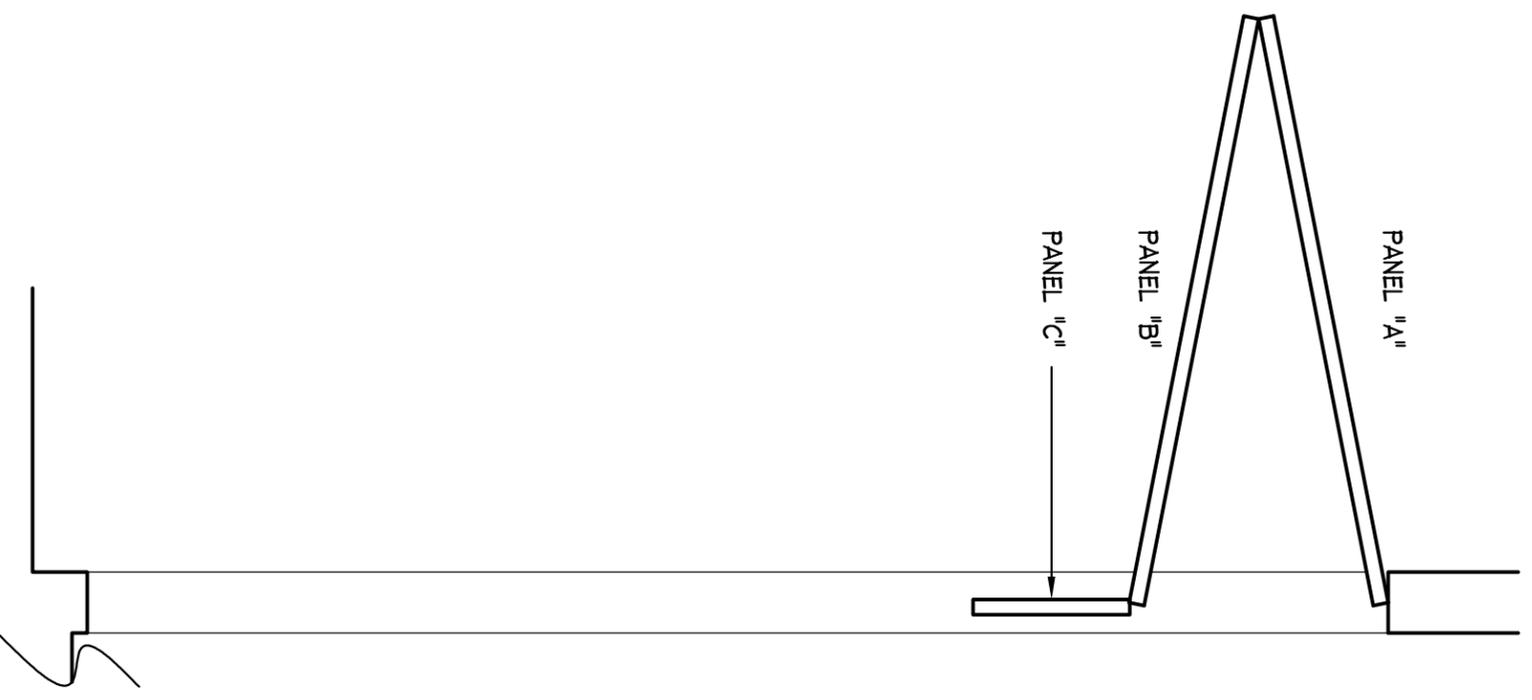


Gallery Shop

• DELALIE'S COFFEE •

The UPS Store

The UPS Store



PRELIMINARY
NOT FOR CONSTRUCTION

A101



GERALD LEE MOROSCO ARCHITECTS, P.C.
1819 EAST CARSON STREET PITTSBURGH, PA 15203-1707
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

Schematic Design

© 2011 GERALD LEE MOROSCO ARCHITECTS, P.C. This drawing is an instrument of service and is not to be reproduced or used without prior expressed written consent of Gerald Lee Morosco Architects, P.C.

PROJECT NO.	1210.00
DATE	April 2012



Gallery Sign

• CELALIE'S OFFICE •

The UPS Store 

The UPS Store



Gallery Sign

• CELALIE'S OFFICE •

The UPS Store 

The UPS Store



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FEE SCHEDULE: See attached
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid: \$ _____

Date Received: _____

Hearing Date: _____

Lot and Block #: _____

ADDRESS OF PROPERTY: 1501 Bedford Avenue
Pittsburgh, PA 15219

HISTORIC DISTRICT: Individually Designated

OWNER

APPLICANT

Name: Pittsburgh Gateways Corporation

Name: Pittsburgh Green Innovators, Inc.

Attn: Bill Miller

Attn: Tom Bartnik

Address: 4514 Plummer Street

Address: P.O. Box 2072

City, State, Zip: Pittsburgh, PA 15101

City, State, Zip: Pittsburgh, PA 15230-2072

Phone: (412) 802-0752 Fax: (412) 802-0779

Phone: (412) 471-7444 Fax: (412) 471-0198

E-MAIL: bmiller@pghgateways.org

E-MAIL: tbartnik@pghgreeninnovators.org

REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED WORK: See attached description of work. Also see attached approval of the Historic Certification Application - Part 2, from the National Parks Service, dated February 15, 2012

SIGNATURE

[Signature], Owner
[Signature], Applicant

DATE 3/22/12

DATE 3/28/12

Attachment for:

**Application for a Certificate of Appropriateness - Historic Review Commission of Pittsburgh
Former Connelley Trade School, 1501 Bedford Avenue, Pittsburgh, PA 15219**

The following is a Summary of the Description of Work from the Historic Preservation Certification Application Part 2, submitted to the National Parks Service and approved on February 15, 2012

Character-defining features: The National Register nomination for the complex emphasizes the contrast between the Academic building of conventional contemporary academic architecture, and the industrial character of the Shop building. Here are the nomination's key features /observations:

Exterior:

- Prominence of the site in Pittsburgh
- Symmetrical Neoclassical main Academic block facing Bedford Avenue with Gym / Auditorium dependencies
- Distinctive industrial Shop building with saw-tooth roof and horizontal bands of windows

Interior:

- Distinctive plan elements including:
- Ground floor entrance and lobby off Bedford Avenue
- Double-loaded corridor of the Academic block floors 2-4
- Auditorium and gymnasium
- "Square roadway" Shop plan with interior tile and glass walls

Proposed Core-and-Shell Rehabilitation: Connelley Trade School will become the Energy Innovation Center (EIC), developed by Pittsburgh Gateways Corporation. The rehabilitated building will house a variety of high-tech businesses, start-up ventures, sustainable "green" businesses offices, and "vo-tech" training facilities for a variety of industries and employers. The EIC will use the Shop building of Connelley School for offices and for related training for the various tenants and client companies. The first floor of the Academic block will be incorporated into the Shop building as the facility's administrative headquarters.

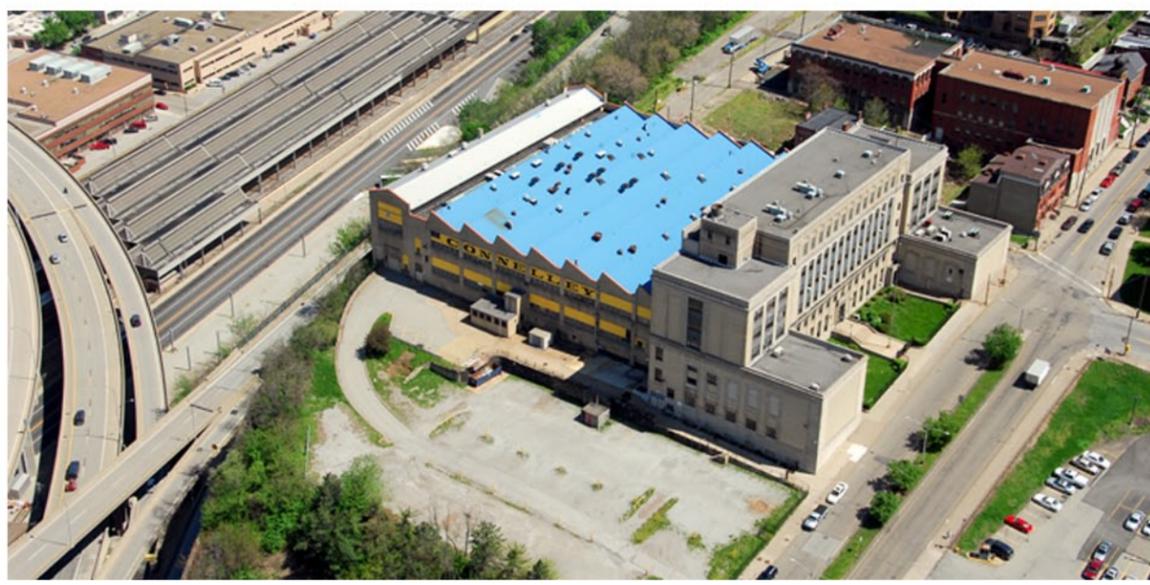
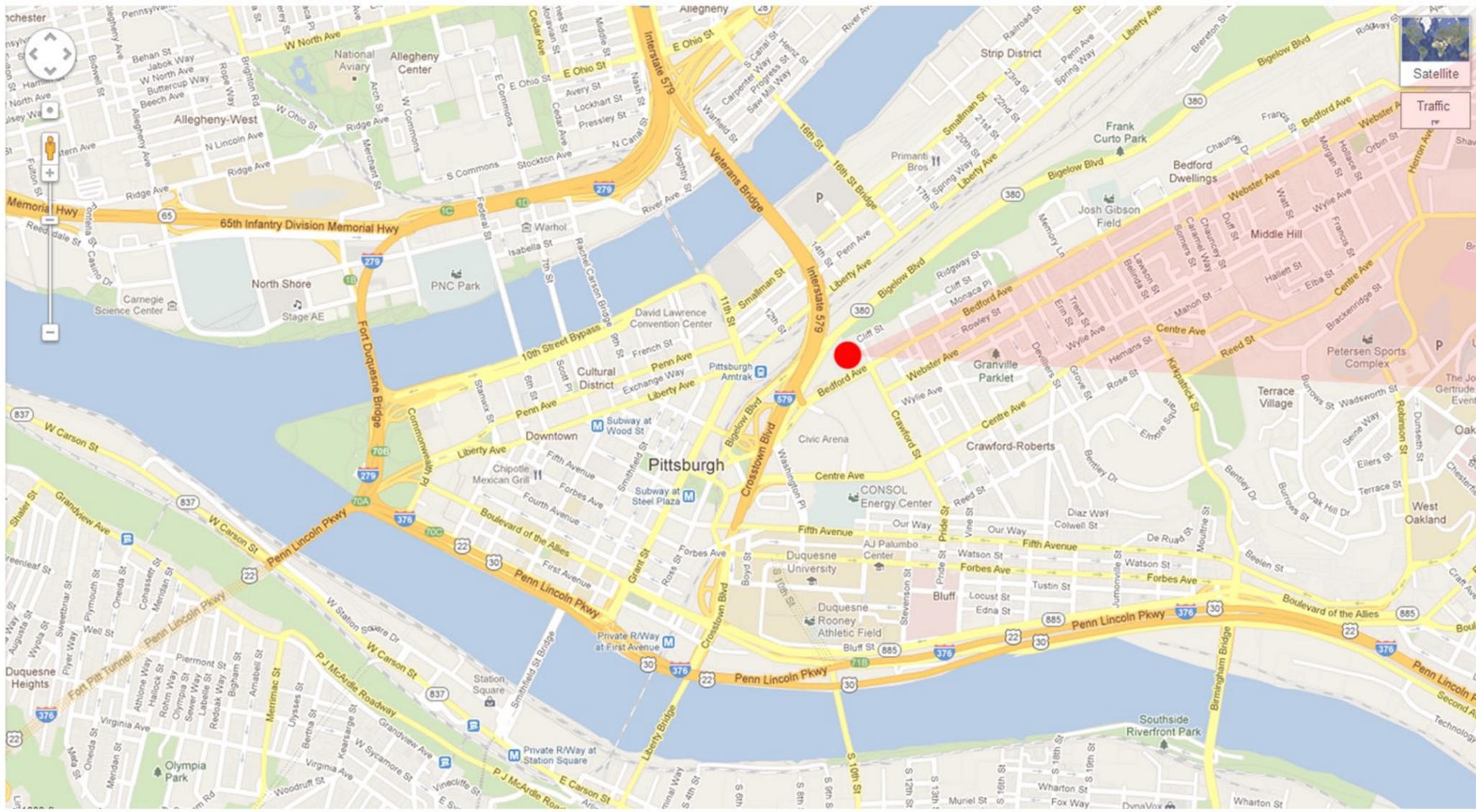
Phase I: The first phase of the rehabilitation will include site work, new elevators, a new entrance, all utilities, rehab of the Ground and First floor of the Academic building and the rehab of all of the Shop building. The windows and roof windows / clerestory of the Shop building will be replaced. The Auditorium and Gym will be mothballed.

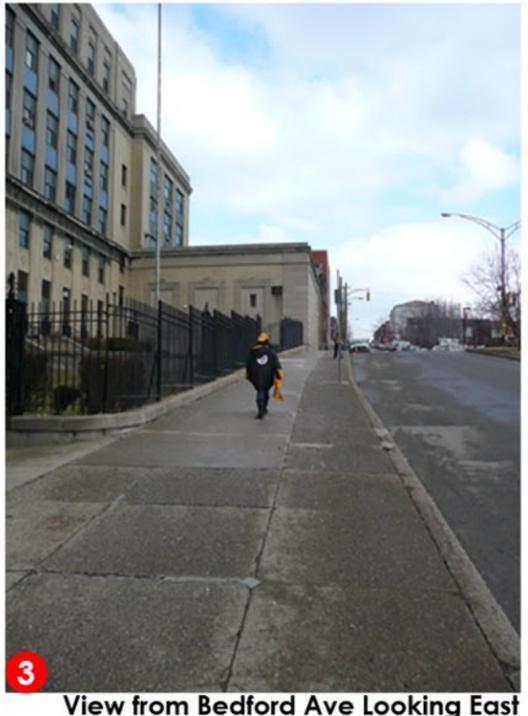
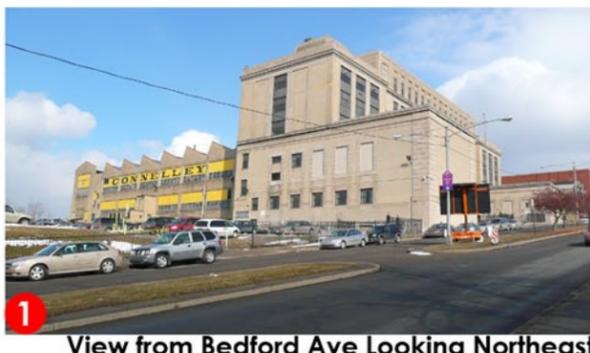
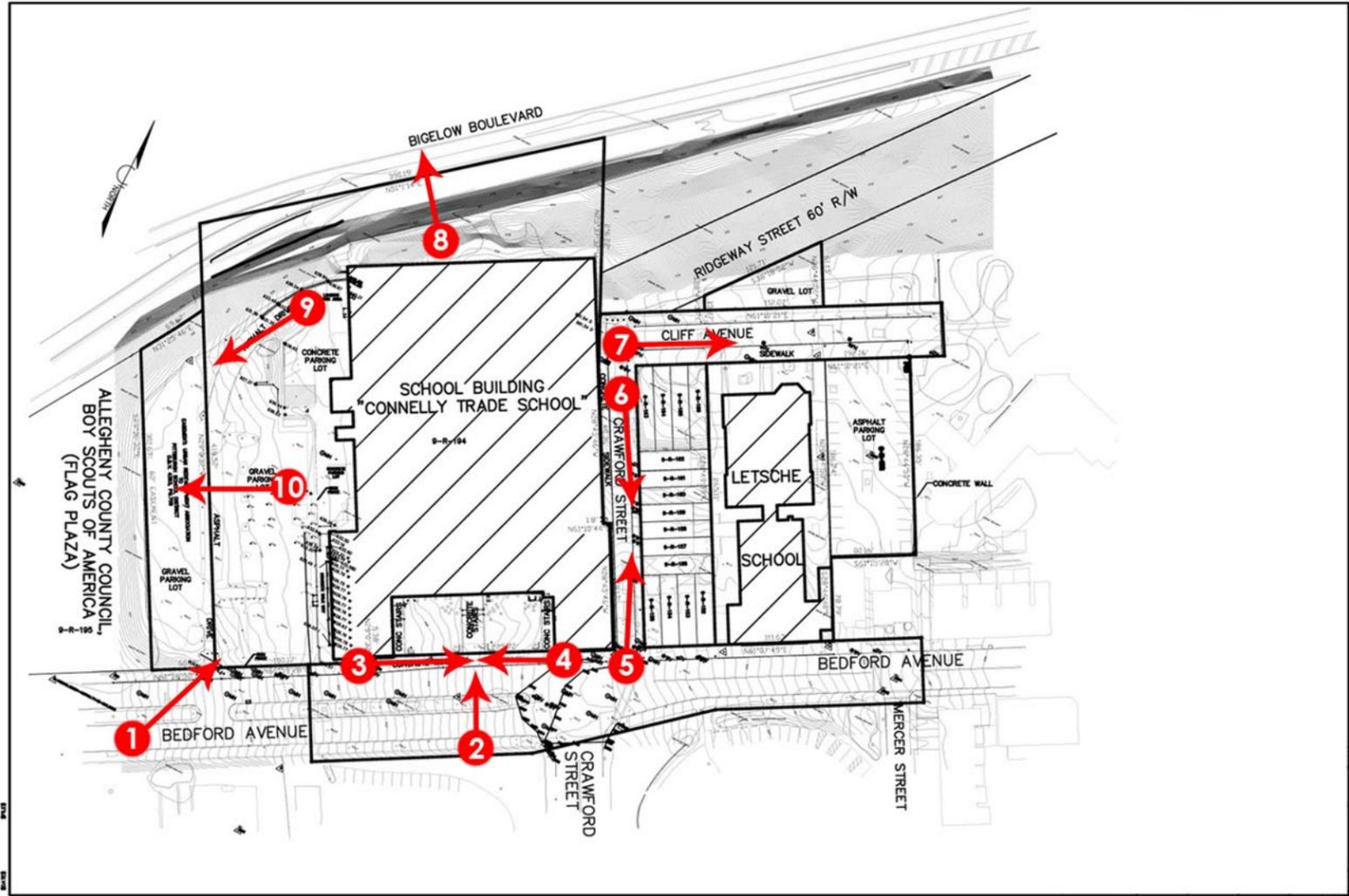
Phase II: The second phase of the rehabilitation will include the upper four floors of the Academic building, and rehab of the Auditorium and Gym. The most likely uses of the upper floors of the Academic block are as offices and meeting and training rooms for as-yet unidentified tenants. Major features of the rehabilitation:

Proposed Exterior Work:

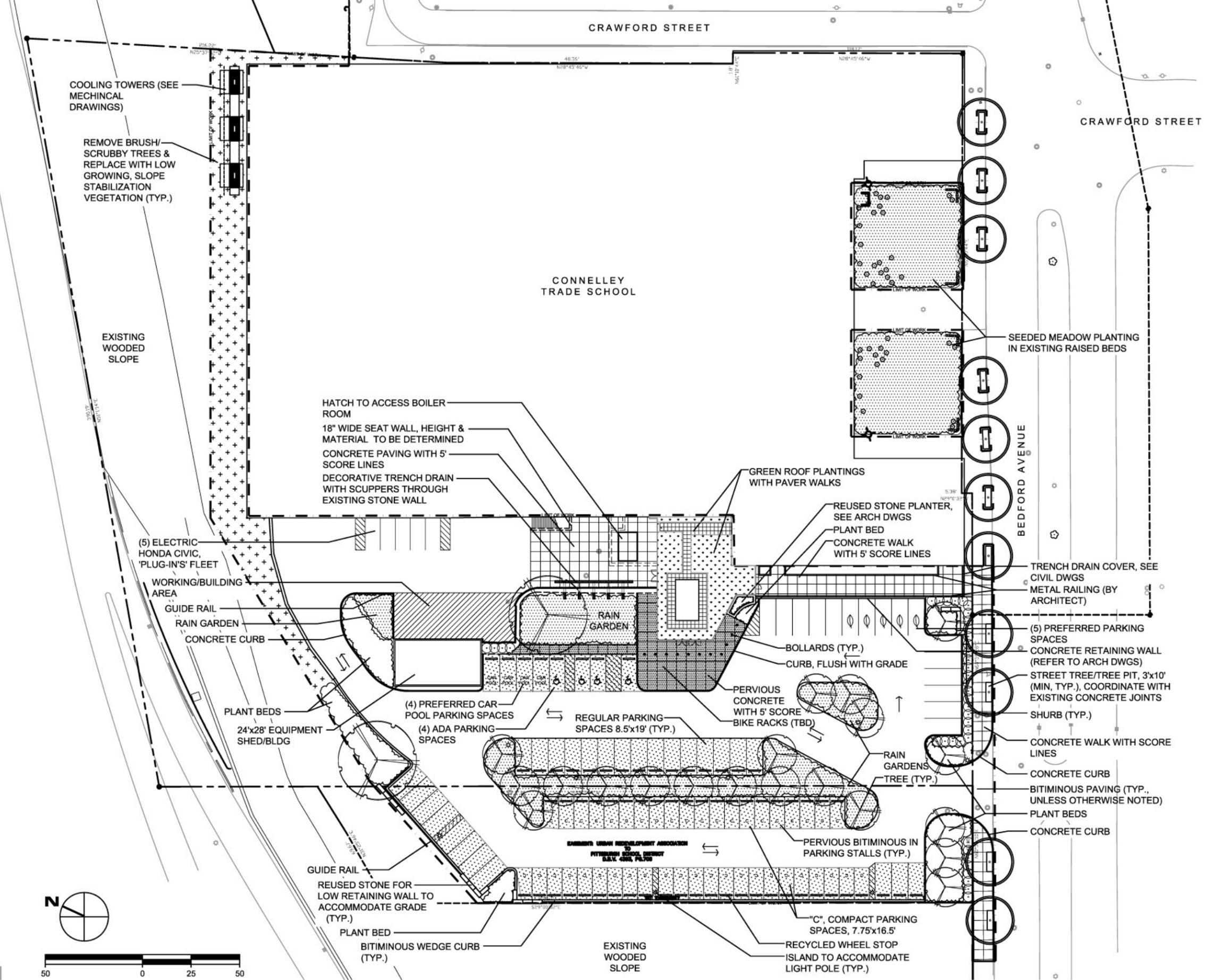
New main entrance: A new main entrance to the complex will be constructed on the vacant property (the parking lot) west of the building. The entrance will be made of cast stone, glass, and steel, with some steel paneling, as described below. It will be three stories tall, as high as the cornice of the auditorium block. The new element will be attached to the northwest corner of the Academic block at the entry level, and extend to the northeast corner of the Shop building. Along with providing a signature main entrance, the new element will have stairs and an elevator that will make all of the lower public floors accessible per building code requirements.

Windows: The replacement thermal paned aluminum windows in the Academic block will be repaired as required and retained. The window openings in the Shop building will be re-opened to their original size by the removal of the existing aluminum sash and the yellow-painted metal panels. The appearance of the original rolled steel sash will be replicated by new aluminum windows with permanent muntins applied to the exterior. The number of lights of the original rolled steel sash will be matched by the configuration of the permanent exterior muntins.





Site Photos of Surrounding Context
 Design Review and HRC Submission
 04.10.12



COOLING TOWERS (SEE MECHICAL DRAWINGS)

REMOVE BRUSH/ SCRUBBY TREES & REPLACE WITH LOW GROWING, SLOPE STABILIZATION VEGETATION (TYP.)

EXISTING WOODED SLOPE

CONNELLEY TRADE SCHOOL

HATCH TO ACCESS BOILER ROOM
 18" WIDE SEAT WALL, HEIGHT & MATERIAL TO BE DETERMINED
 CONCRETE PAVING WITH 5' SCORE LINES
 DECORATIVE TRENCH DRAIN WITH SCUPPERS THROUGH EXISTING STONE WALL

GREEN ROOF PLANTINGS WITH PAVER WALKS

REUSED STONE PLANTER, SEE ARCH DWGS
 PLANT BED
 CONCRETE WALK WITH 5' SCORE LINES

SEEDED MEADOW PLANTING IN EXISTING RAISED BEDS

(5) ELECTRIC HONDA CIVIC, 'PLUG-IN'S' FLEET

WORKING/BUILDING AREA

GUIDE RAIL
 RAIN GARDEN
 CONCRETE CURB

TRENCH DRAIN COVER, SEE CIVIL DWGS
 METAL RAILING (BY ARCHITECT)

(5) PREFERRED PARKING SPACES

CONCRETE RETAINING WALL (REFER TO ARCH DWGS)

STREET TREE/TREE PIT, 3'x10' (MIN, TYP.), COORDINATE WITH EXISTING CONCRETE JOINTS

SHURB (TYP.)

CONCRETE WALK WITH SCORE LINES

CONCRETE CURB

BITIMINOUS PAVING (TYP., UNLESS OTHERWISE NOTED)

PLANT BEDS

CONCRETE CURB

PLANT BEDS
 24'x28' EQUIPMENT SHED/BLDG

(4) PREFERRED CAR POOL PARKING SPACES
 (4) ADA PARKING SPACES

REGULAR PARKING SPACES 8.5'x19' (TYP.)

PERVIOUS CONCRETE WITH 5' SCORE
 BIKE RACKS (TBD)

BOLLARDS (TYP.)
 CURB, FLUSH WITH GRADE

RAIN GARDENS
 TREE (TYP.)

PERVIOUS BITIMINOUS IN PARKING STALLS (TYP.)

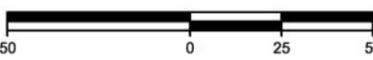
GUIDE RAIL
 REUSED STONE FOR LOW RETAINING WALL TO ACCOMMODATE GRADE (TYP.)

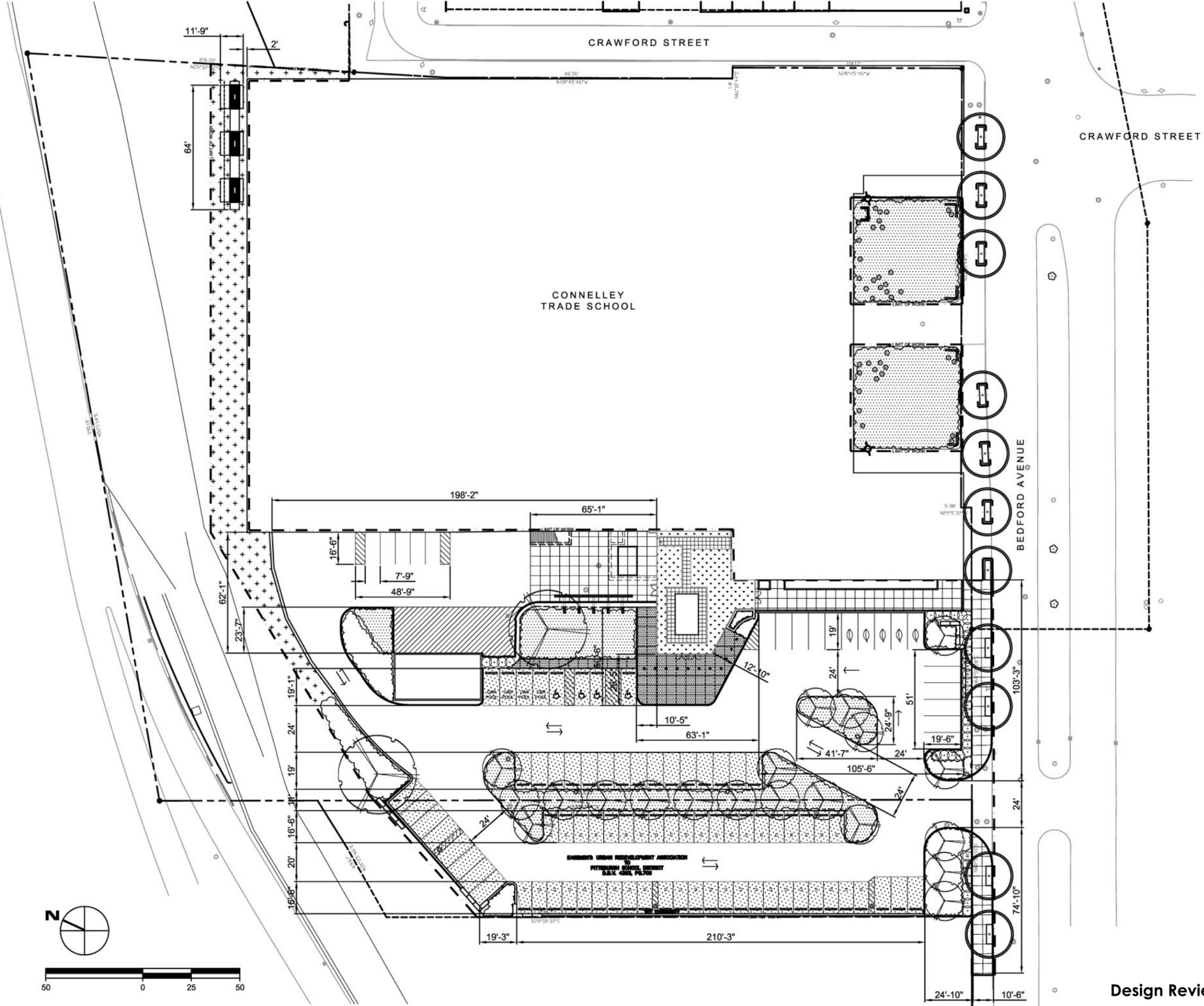
PLANT BED
 BITIMINOUS WEDGE CURB (TYP.)

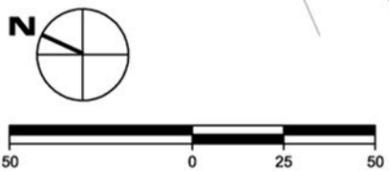
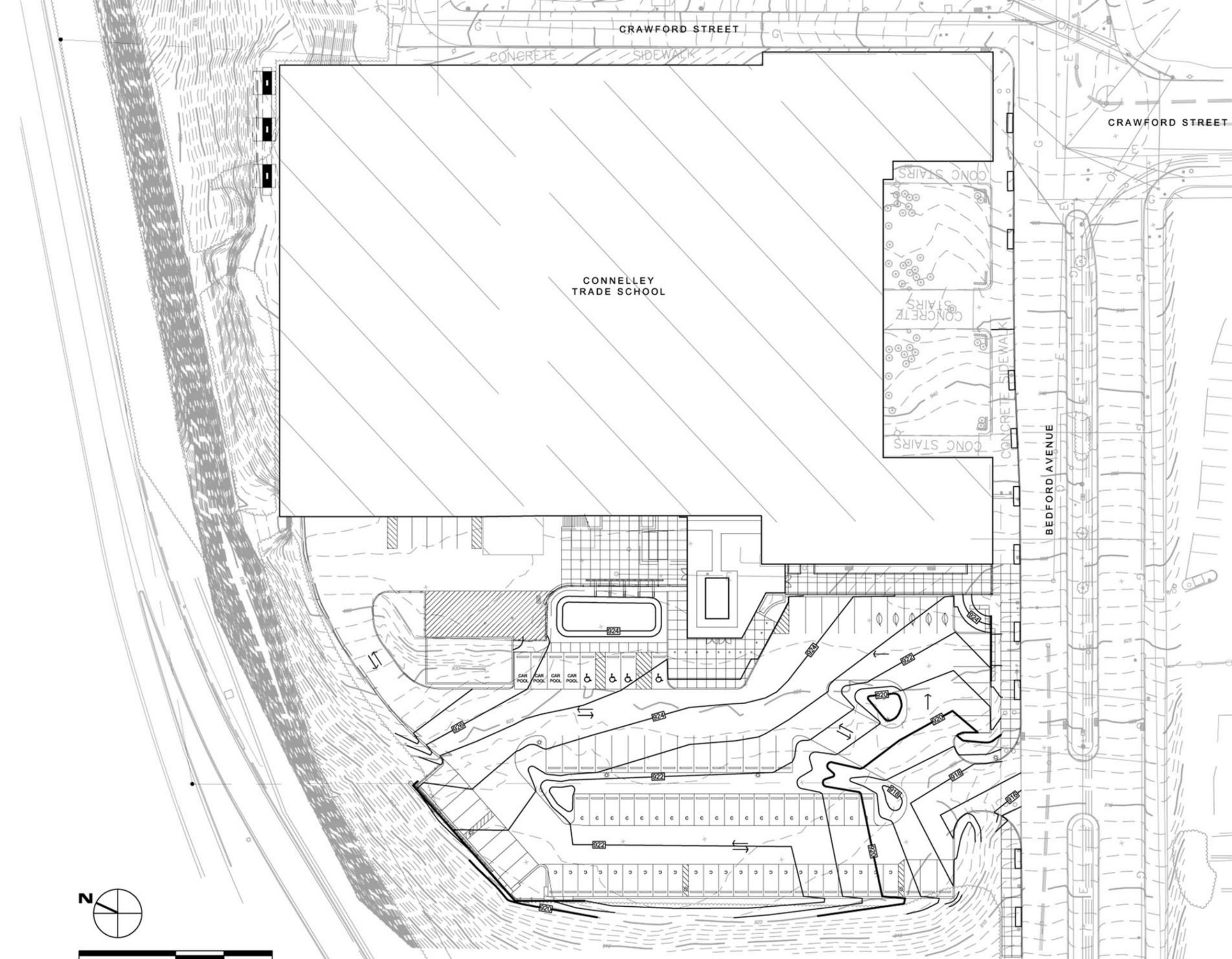
EXISTING WOODED SLOPE

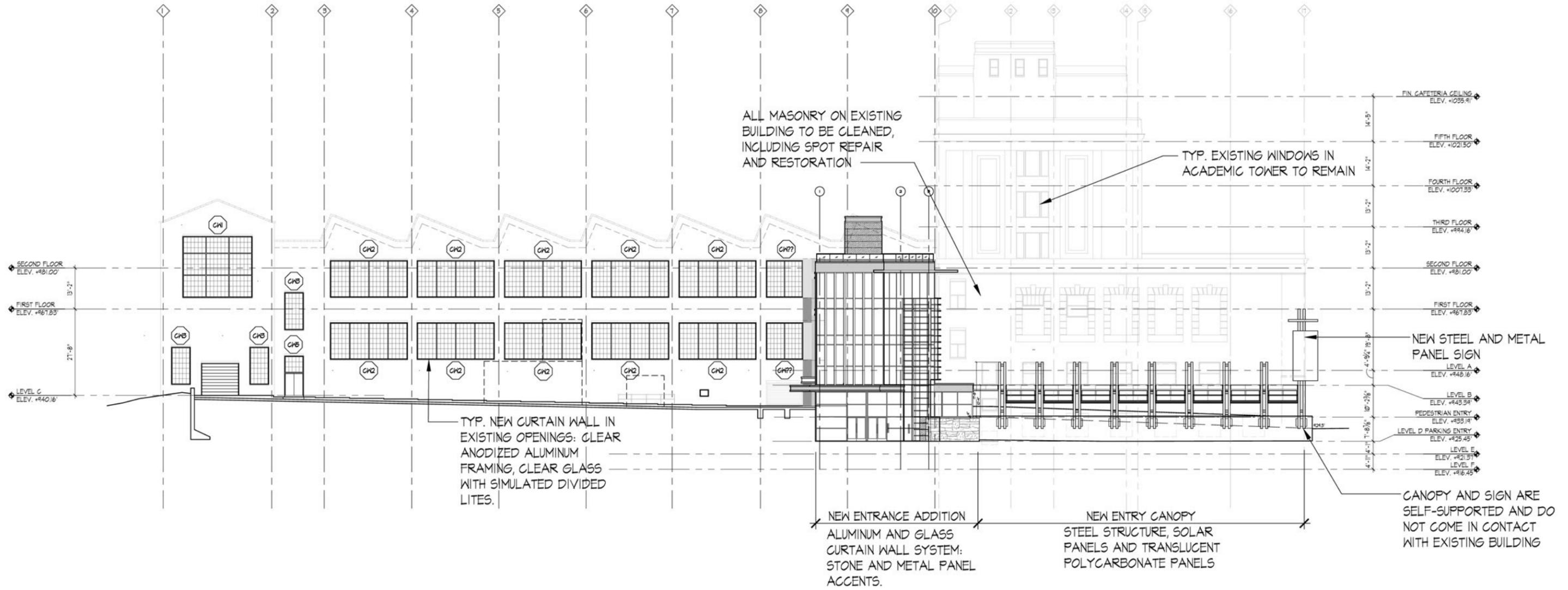
"C", COMPACT PARKING SPACES, 7.75'x16.5'

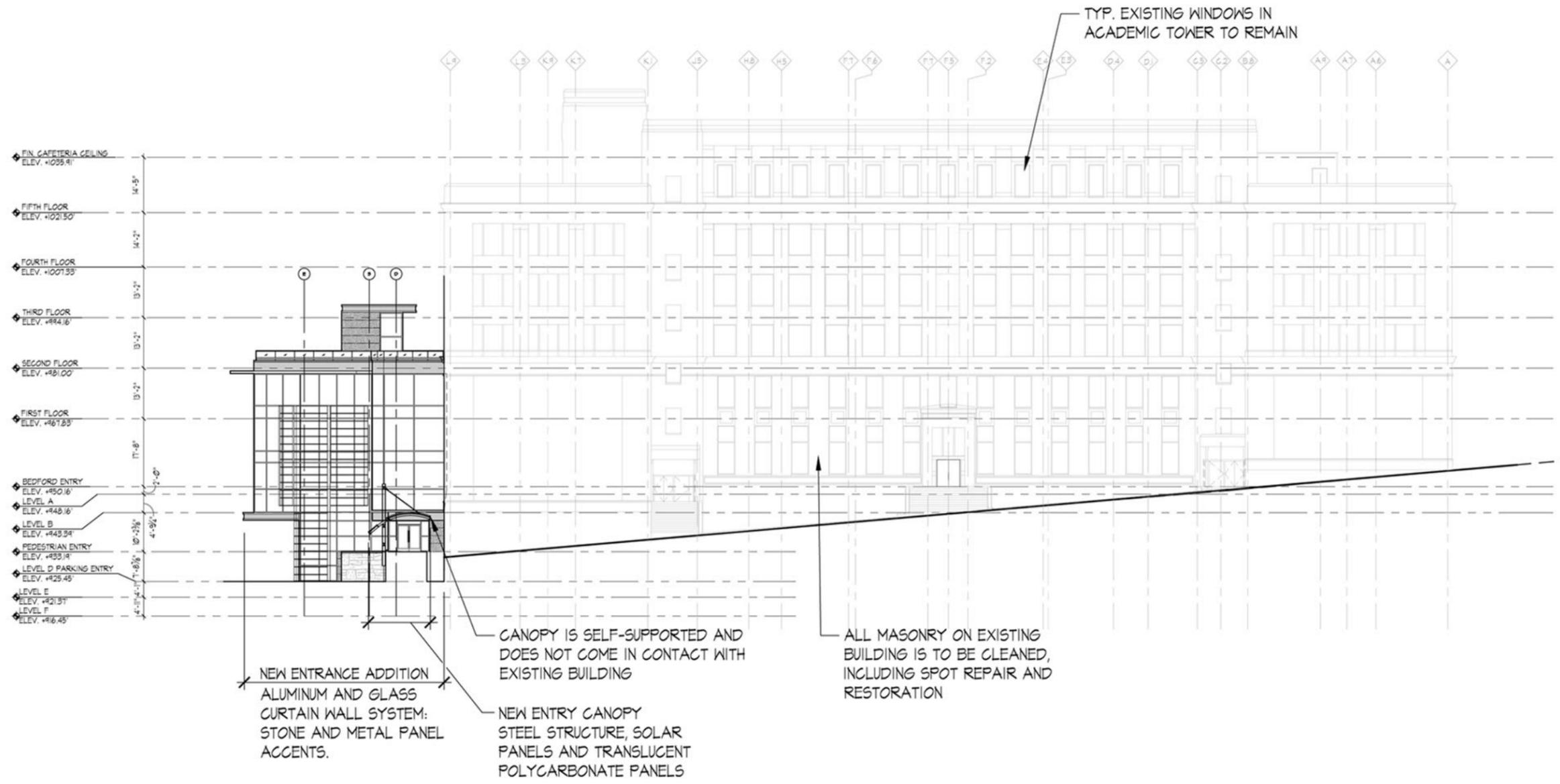
RECYCLED WHEEL STOP ISLAND TO ACCOMMODATE LIGHT POLE (TYP.)

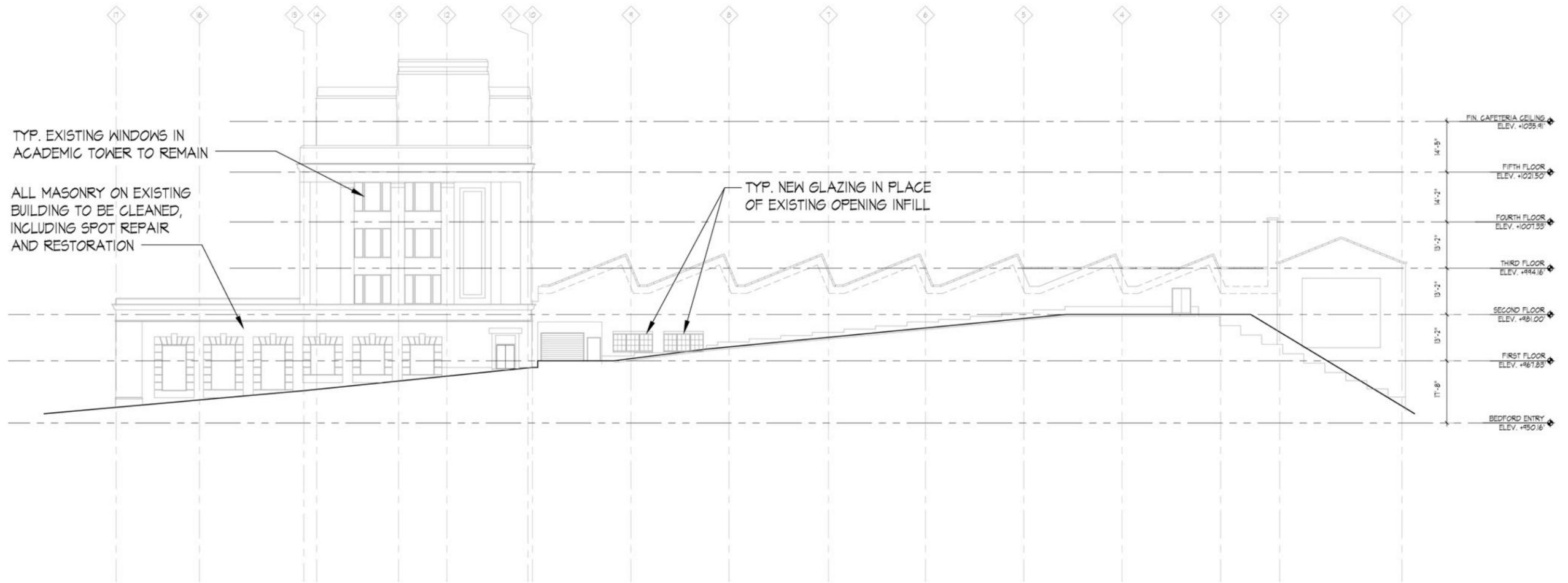


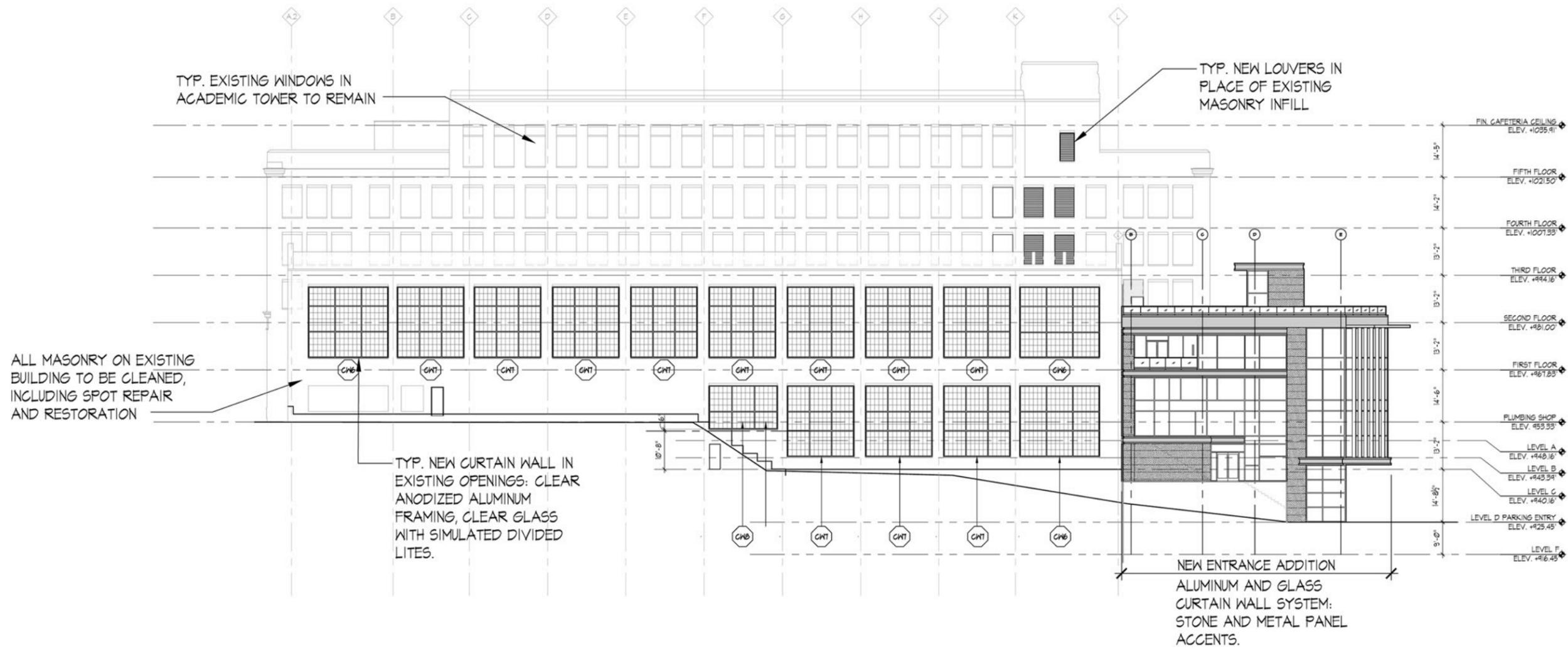






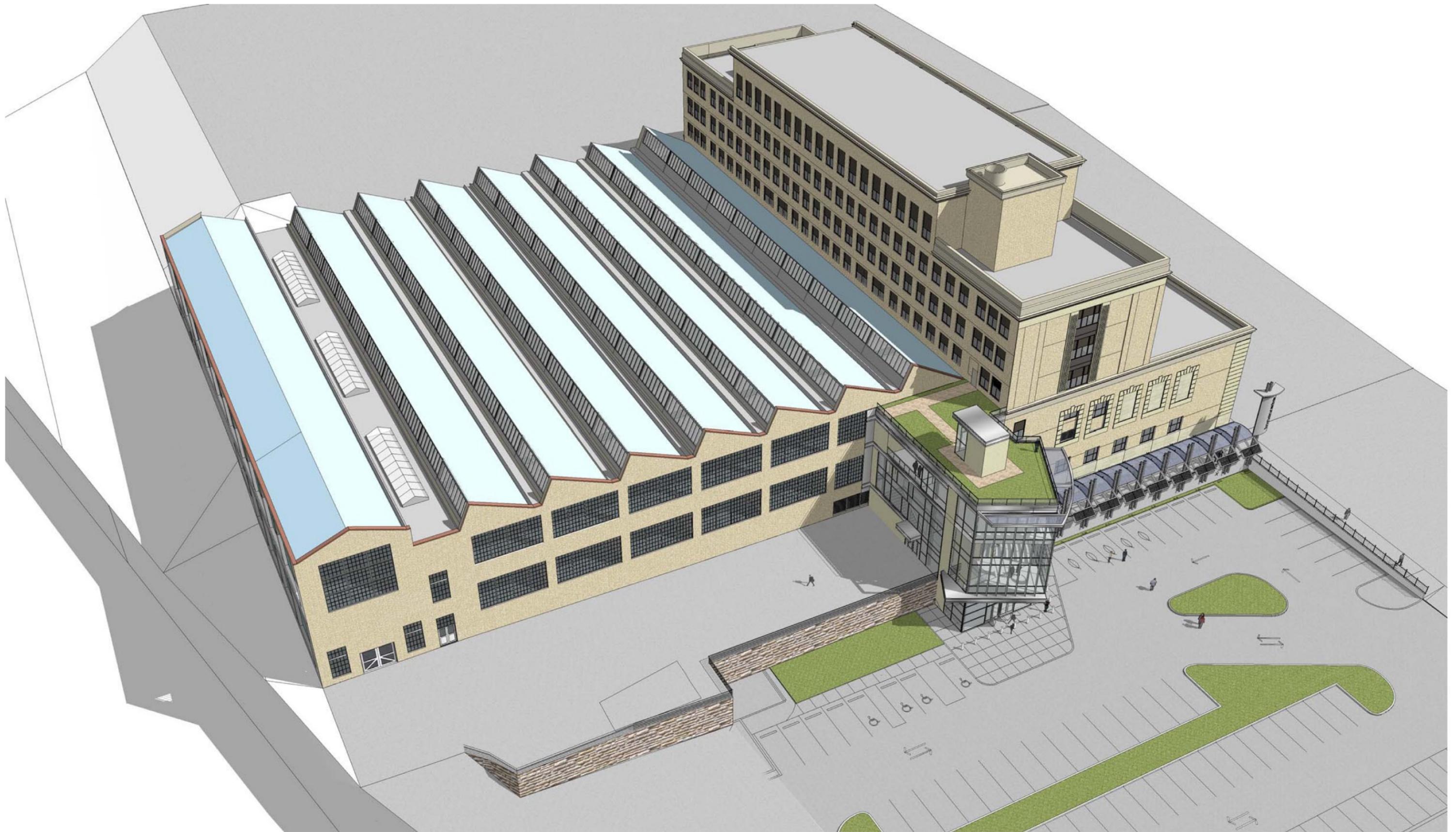












Former Connelley Trade School West Elevation

Academic Building

Shop Building

Auditorium
Swimming pool
below grade



Parking Lot

EEEEEE = Area of Entry Addition

X = Ancillary Buildings to be removed

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

RECEIVED
NOV 16 2011
NATIONAL PARK SERVICE
NPS OFFICE USE ONLY
NPS INCENTIVE PROGRAM

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 - DESCRIPTION OF REHABILITATION**

RECEIVED
SEP 13 '11
BUREAU FOR
HISTORIC PRESERVATION

NPS Office Use Only
Project No: 21dole7

Instructions: Read the instructions carefully before completing the applications. No certifications will be made unless a completed application form has been received. Type or print clearly in black ink. If additional space is needed, use continuation sheets or attach blank sheets. A copy of this form may be provided to the Internal Revenue Service. The decision by the National Park Service with respect to certification is made on the basis of the descriptions in this application form. In the event of any discrepancy between the application form and other submitted material submitted with it (such as architectural plans, drawings, and specifications), the application form shall take precedence.

1. **Name of Property:** Former Clifford B. Connelley Trade School

Address of Property: Street 1501 Bedford Avenue

City Pittsburgh County Allegheny State PA Zip 15219

Listed individually in the National Register of Historic Places; give date of listing: 10/23/1986

Located in a Registered Historic District; specify: _____

Has a Part 1 Application (Evaluation of Significance) been submitted for this project? yes no

If yes, date Part 1 submitted: N/A Date of certification: _____ NPS Project Number: _____

2. **Data on building and rehabilitation project:**

Date building constructed: 1929-30 Total number of housing units before rehabilitation: 0

Type of construction: Steel frame, masonry walls Number that are low-moderate income: 0

Use(s) before rehabilitation: Vacant Total number of housing units after rehabilitation: 0

Proposed use(s) after rehabilitation: Offices / training facilities Number that are low-moderate income: 0

Estimated cost of rehabilitation: Phase 1: \$26,000,000, total \$35,000,000 Floor area before rehabilitation: 180,000

This application covers phase number 1 of 2 phases Floor area after rehabilitation: 190,000

Project/phase start date (est.): November 2011 Completion date (est.): May 2013

3. **Project contact:**

Name Charles Uhl / Historic Preservation Services

Street 6711 Stanton Avenue City Pittsburgh

State PA Zip 15206 Daytime Telephone Number 412 492-9100

4. **Owner:**

I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the property described above. I understand that falsification of factual representations in this application is subject to criminal sanctions of up to \$10,000 in fines or imprisonment for up to five years pursuant to 18 U.S.C. 1001.

Name William Miller Vice President Signature [Signature] Date 9/12/11

Organization Pittsburgh Gateways

Social Security or Taxpayer Identification Number 23-2939083

Street 4514 Plummer St. City Pittsburgh

State PA Zip 15101 Daytime Telephone Number 412 802-7052

NPS Office Use Only

The National Park Service has reviewed the "Historic Certification Application - Part 2" for the above-named property and has determined:

that the rehabilitation described herein is consistent with the historic character of the property or the district in which it is located and that the project meets the Secretary of the Interior's "Standards for Rehabilitation." This letter is a preliminary determination only, since a final certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is completed.

that the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's "Standards for Rehabilitation" if the attached conditions are met.

that the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's "Standards for Rehabilitation." A copy of this form will be provided to the Internal Revenue Service.

Date 2/15/12 National Park Service Authorized Signature Rebecca A. Saffa National Park Service Office/Telephone No. NPS

Attachments - Conditions

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

CONDITIONS SHEET
Historic Preservation Certification Application

Property name: Former Clifford B. Connelly Trade School Project Number: 26667

Property address: 1501 Bedford Avenue, Pittsburgh, PA

The rehabilitation of this property as described in the Historic Preservation Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation only if the following condition(s) is/are met:

1. **New entry addition.** The entry addition must not wrap around the west elevation of the Academic Building, except at the base, where it accommodates an exit stair. In the revised design, the upper floors of the addition continue to wrap visually around the Academic Building. The addition must be modified so that the upper floors wrap neither visually nor physically around the Academic Building.
2. **Windows, Shop Building.** The replacement windows in the Shop Building must more closely approximate historic windows. The details shown on sheet A702 are not sufficient to enable us to determine that the proposed windows meet this condition. No information is provided on the dimensions of the mullion divisions, and the muntins are drawn as wood elements, which may not be correct.
3. **Interior, Academic Building.** The historic appearance and character of the building's interior must be preserved in the rehabilitation.
 - Remaining historic features and finishes must be retained where they exist, including glazed tile, crown molding, wood doors, and arched openings at classroom doors.
 - Suspended ceilings may be retained. But if they are removed and replaced, the new ceilings must not be lower than at least 6" above the window heads and must be set back at least 3'-0" from the perimeter walls, in order to minimize their impact on the exterior of the building. Any replacement of suspended ceilings must take into account whether the windows in the Academic Building will be replaced and reopened to their historic height in a future phase of work. If so, the dimensions stated here will apply to the historic window openings, not to the existing, non-historic window openings.

Photographs documenting that the conditions have been met must be submitted with the Request for Certification of Completed Work.

Any substantive change in the work as described in the application should be brought to the attention of the State Historic Preservation Office and the National Park Service in writing prior to execution to ensure that the proposed project continues to meet the Standards.

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed in the box above are met.

2/15/2012
Date

Rebecca A. Shiffer
National Park Service Signature

NPS



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received 15 days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1727 Boulevard of the Allies Pgh 15219
Bluff Street

OWNER:

NAME: PFEF , Inc
 ADDRESS: 1727 Blvd of the Allies
Pittsburgh PA 15219
 PHONE: 412 .727.7661
 EMAIL: _____

STAFF USE ONLY:

DATE RECEIVED: 4-13-12
 LOT AND BLOCK NUMBER: 11-J-328
 WARD: 1st
 FEE PAID: _____

DISTRICT:

~~District 6 - 1st Ward (D. Lavelle)~~
individual

APPLICANT:

NAME: Empty Space Design - Page Thomas
 ADDRESS: 1 Odanah Street
Pittsburgh PA 15212
 PHONE: 412 .519 4890
 EMAIL: ideas@muma.org

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

1. In kind replacement of all exterior low profile metal windows and doors
2. Recreated Bluff Street entrance door Options 3.Rear Fenestration Alteration Options.
4. Proposed Singe Door Entrance Canopy. No Exterior Lighting proposed presently

SIGNATURES:

OWNER: DATE: April 9, 2012

APPLICANT: DATE: April 9, 2012



Paramount Pictures Film Exchange Building

Design Access Statement

March 5, 2012

The Paramount Pictures Film Exchange is located at 1727 Boulevard of the Allies, at the corner of Miltenberger Street, overlooking spectacular views of the Monongahela River, the South Side and Mt. Washington. It is part of the Bluff neighborhood of Pittsburgh, also known as the "Soho" or "Uptown" a neighborhood that includes local Duquesne University.

From the 1920s onward, until the decline of Pittsburgh film exchanges in the 1970s and 80s, the neighborhood was also called "Film Row," and all the major Hollywood studios had film exchanges with offices, film libraries and private screening rooms there.

The Paramount Pictures Film Exchange building has remained completely unaltered since it was built in 1926. The 83-year-old building is currently vacant.

The Paramount Pictures Film Exchange Building is the last unaltered remaining structure from Pittsburgh's "Film Row," a unique district of film industry buildings. The Film Exchange is a prime example of a once thriving world-wide industry for motion pictures. Designed by R.E. Hall Co. Architects of New York City in 1926, It stands as a proud symbol of Pittsburgh's position as the birthplace of motion picture distribution and exhibition.

Many of the major Hollywood studios built film exchanges and offices in the 1700 block of the Boulevard of the Allies between the 1920s and 1950s. Polk's Pittsburgh City Directory from the Pittsburgh History & Landmarks Foundation library, shows all the major studios on the Blvd. of the Allies, including: Columbia Pictures, MGM, Warner Brothers, Universal Pictures, United Artists, RKO, Paramount Pictures and Republic.

According to the 1925-1926 volume of the Builders' Bulletin (of Pittsburgh), the Paramount Pictures building at 1727 Blvd. of the Allies was constructed in 1926 by Lippe Construction Co. (17 West 60th St., New York City, NY). The owner of the building at that time was Phil. Pitt Realty Corp. The architects were from the R.E. Hall Co. at 231 West 43rd St. New York City, NY. Construction

bids for the building found in The Builders Bulletin (1925-1926 vol.) show several companies: Wm. Trimble & Sons Co., B.A. Groah Construction Co., Pittsburgh Engraving & Contr. Co., Homewood Avenue and Walker & Curley Co. (Sharpsburg, PA) "[were] figuring."

Style

The Film Exchange Building was designed in the 1920s Classical style, prevalent in North America's downtowns from 1905 to the 1930s. The new style took the technological advances in construction – steel framing and reinforced concrete – and looked to find new expression for these advances.

It is a two-story building, built primarily of red brick, terra cotta and stone (trim). Viewed from the front, the building has 3 bays ornamented by egg and dart moulding, pinecone finials and half shells under the cornice line. Windows are hopper with stone sills; the first story has metal spandrels. Entranceway on south façade is delicate blue, white and peach terra cotta with scrolls, urns, diaper work and winged heads. A semi-circular arch made of keystone with "Paramount Pictures" is engraved above a cornice. The entranceway is plastered (swags, heads, etc.) sidelighted and transomed. There is a single wooden door with a mail slot. The foundation is clad in terra cotta also. Sits close to street adjacent to sidewalk. The side facing Miltenberger Street has 5 bays on the second floor and shields of keystone on the first.

Construction

This building, because of its specialized function, had to comply with city regulations and therefore had some unusual features. The storage of motion picture film had, from the earliest time, been a source of consternation for those within the industry and for insurance companies and city officials across the continent. The problem was the highly flammable nature of the nitrate film. It wasn't until 1923 with the introduction of cellulose acetate film that the hazard of fire was minimized.

Integrity

The building stands on its original site. It appears to be in good structural condition. There have been some alterations to the structure, although almost all are for interior work. The exterior has, despite the graffiti, remained relatively unaltered since the 1920s. The building's interior and exterior have suffered some damage because of neglect and prolonged vacancy. The previous owner had recently removed all interior fixtures and left the office space and hallways on the ground floor and all offices on the upper floors relatively unaltered from their 2009 condition.

Streetscape

Much of the streetscape along this block of Miltonberger Street has been altered, left vacant or used for grade-level parking. There is very little unaltered historic character left in the vicinity of this building.

Institution

The need for film exchanges began with the opening of the first Nickelodeon theatre in Pittsburgh, PA in 1905. For 5¢, the patron saw a 10-30 minute motion picture, using a hand-cranked projector. The majority of early theatres were small, converted stores and had few amenities. A vaudeville performer, singer or slide show was usually also part of the presentation, entertaining the audience while the film reel was changed.

But like today's audience, customers soon wanted more. Soon ticket buyers were not settling for new films twice a week, but twice a day. This demand for 'fresh' features rose dramatically after 1907 and created the film exchange.

In the early days, film exhibitors bought product directly from the manufacturer but once the medium became popular, renting films became necessary.

The first true film exchange began in San Francisco in 1903 and in Canada three years later (in Montreal). But it was in Chicago, already established as the major distribution hub, where the film exchange developed and prospered.

Pittsburgh always conscious of activities around the country, also began developing exchanges. In the U.S., exchanges numbered less than 12 in 1910 and had grown to over 500 by 1930.

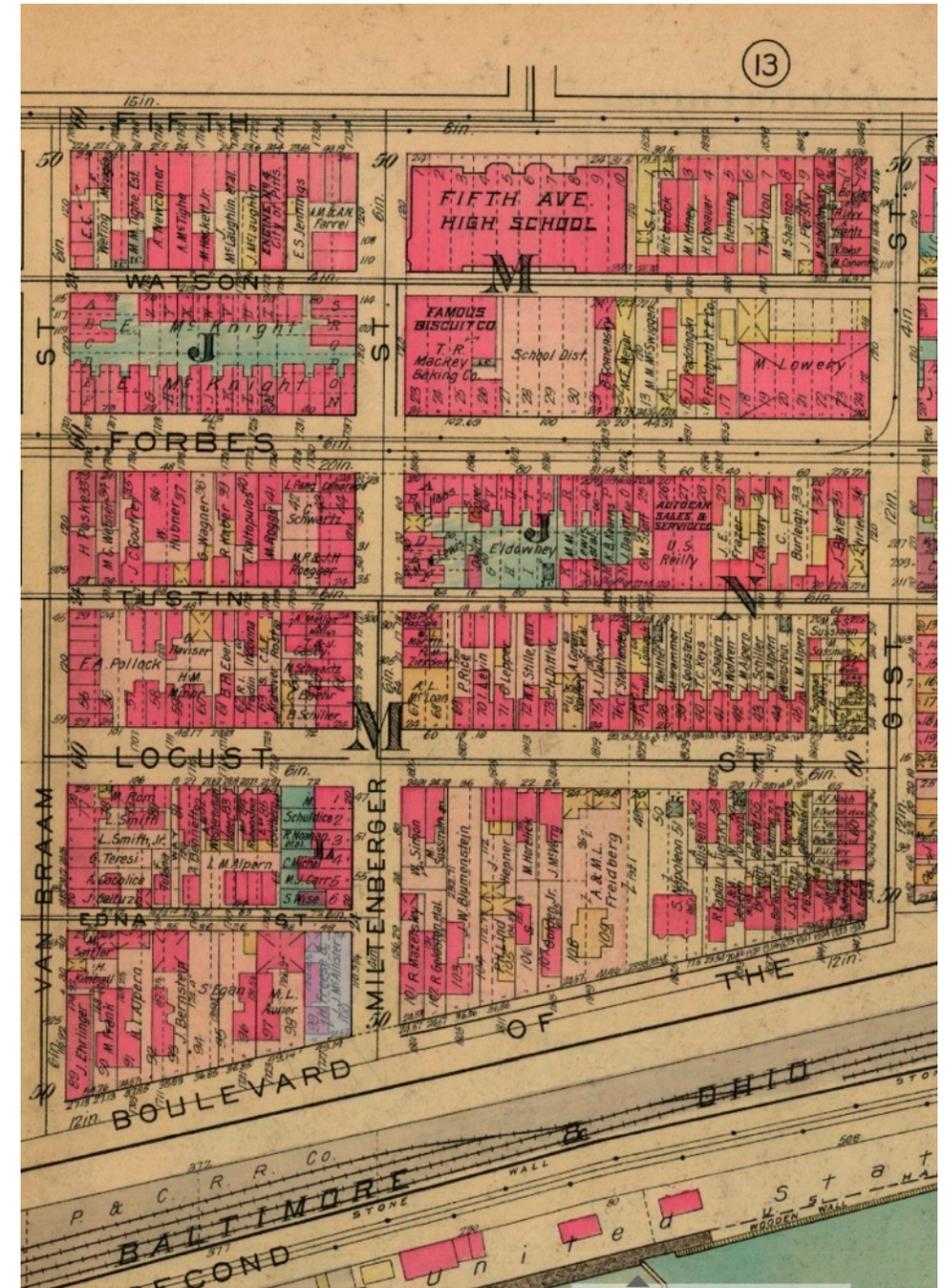
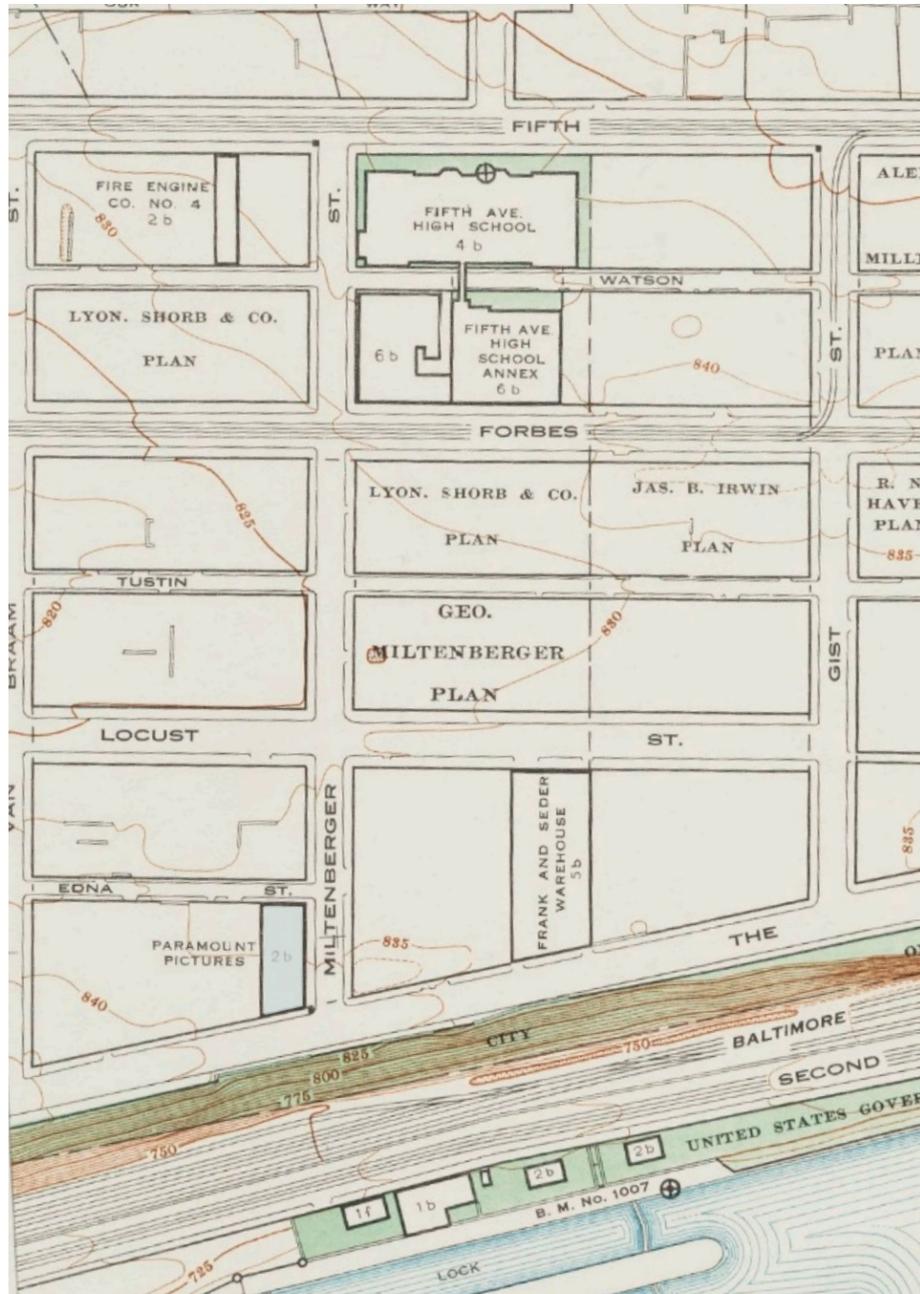
Exchanges were either independent or producer-owned and would rent new films to exhibitors and theatre owners on a daily, weekly or even monthly basis. Because of the fragile nature of the films, repair facilities were often necessary in exchange offices and after the advent of posters, exchanges also dealt with the cutting of the various sizes of posters and bills that accompanied each new release.

The post-World War II years brought major changes to the North American theatre industry. The most devastating change was the introduction of television, an inexpensive entertainment in people's homes. Added to the growth of major theatre chains and the subsequent loss of independent exhibitors, the days of the film exchange were numbered.

The building has stood vacant since the late 1990s.

Summary

The Film Exchange Building was constructed at a point in time when the movie industry was growing at a phenomenal pace. This growth necessitated specialized distribution centres all across North America to ensure audiences were seeing the very latest releases from the studios in Hollywood and elsewhere. Pittsburgh had historically been a distribution centre for film and the construction of this building was seen by local observers as the necessary evolution of the local business.



5

Integrity

The building stands on its original site. It appears to be in good structural condition. There have been some alterations to the structure, although almost all are for interior work. The exterior has, despite the graffiti, remained relatively unaltered since the 1920s.

The building's interior and exterior have suffered some damage because of neglect and prolonged vacancy.

The previous owner had recently removed all interior fixtures and left the office space and hallways on the ground floor and all offices on the upper floors relatively unaltered from their 2009 condition.



6

Entranceway on south façade is delicate blue, white and peach terra cotta with scrolls, urns, diaper work and winged heads.

A semi-circular arch made of keystone with "Paramount Pictures" is engraved above a cornice.



This entranceway is plastered (swags, heads, etc.) sidelighted and transomed.



Viewed from the front, the building has 3 bays ornamented by egg and dart moulding, pinecone finials and half shells under the cornice line.

Windows are hopper with stone sills and metal spandrels.



Construction

This building, because of its specialized function, had to comply with city regulations and therefore had some unusual features.

The storage of motion picture film had, from the earliest time, been a source of consternation for those within the industry and for insurance

companies and city officials across the continent.

The problem was the highly flammable nature of the nitrate film.

It wasn't until the introduction of cellulose acetate film that the hazard of fire was minimized.



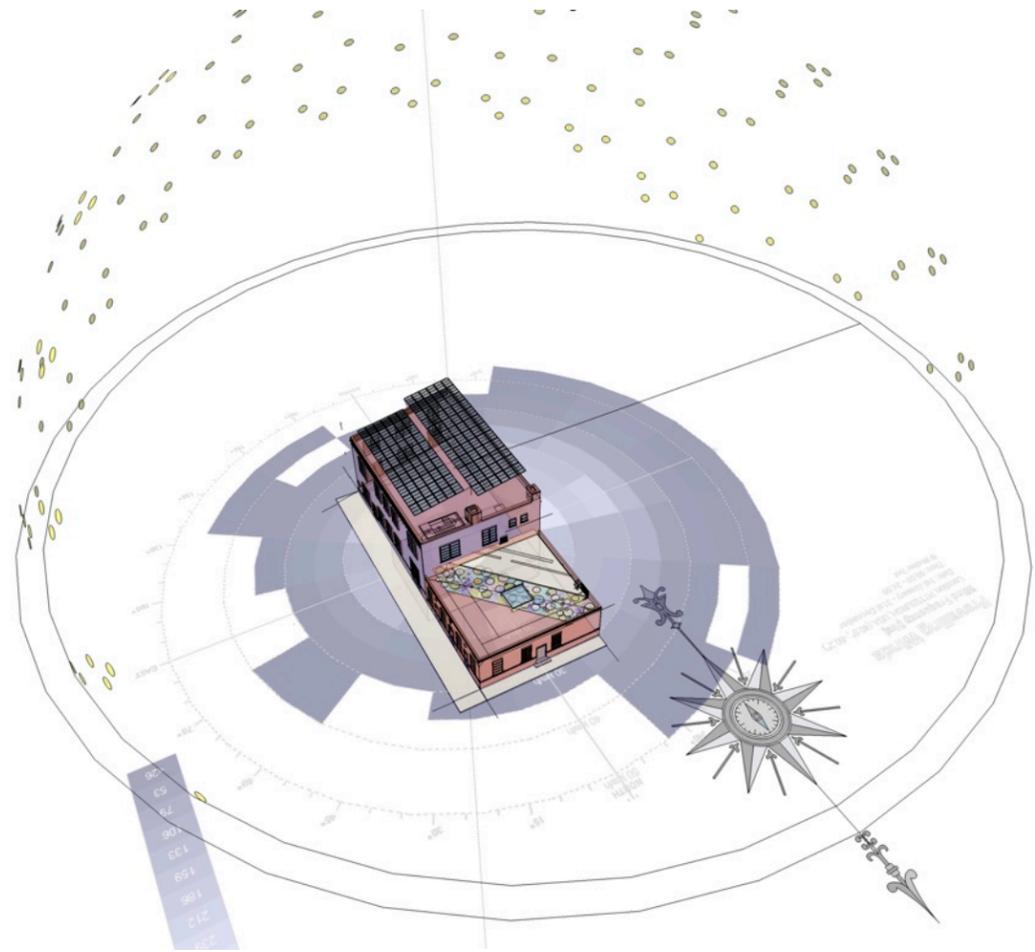
9

A two-story building, built primarily of red brick, terra cotta and stone (trim).

The foundation is clad in terra cotta also.

The building sits flush to the adjacent sidewalks.

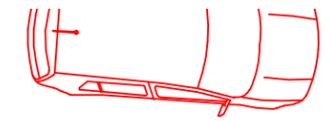
The side facing Miltenburger Street has 5 bays on the second floor and shields of keystone on the first.



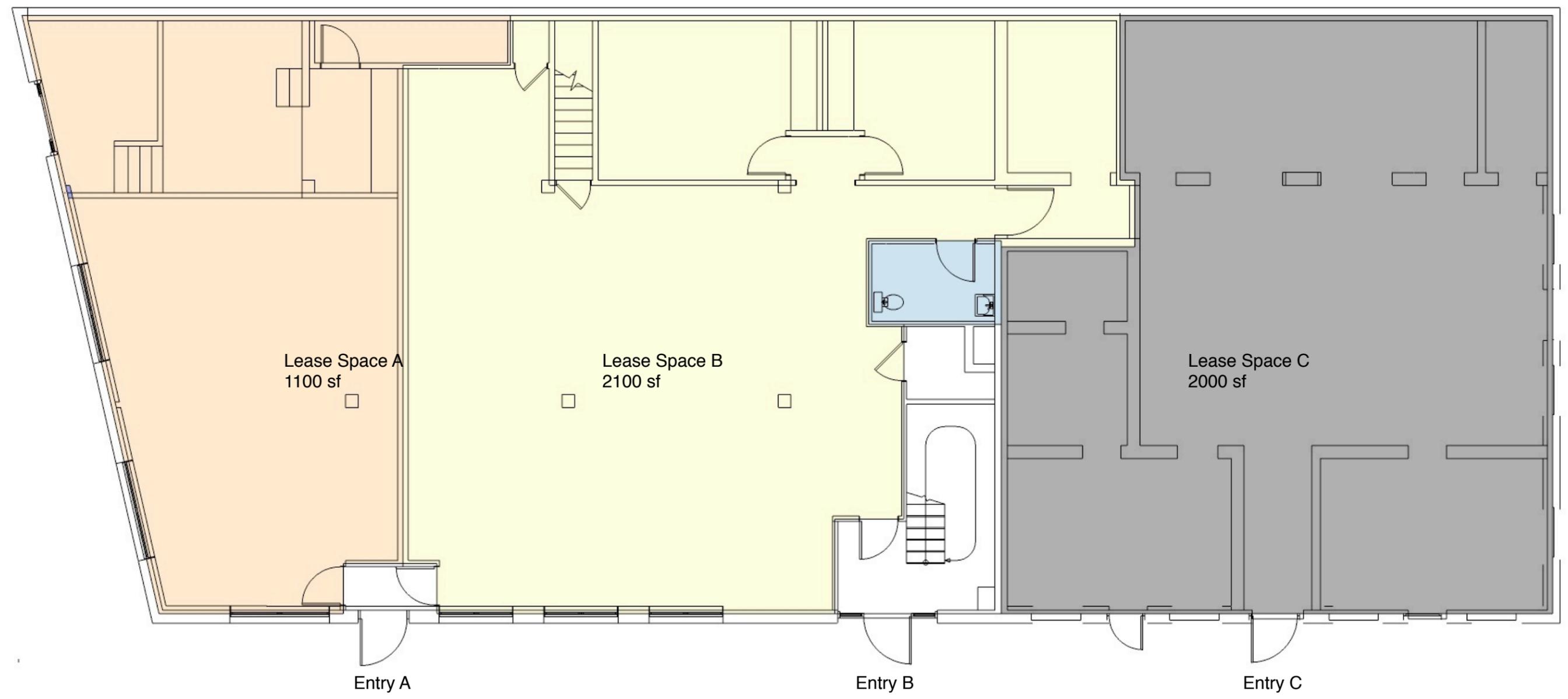
Buildings with a small energy footprint help protect owners from the future uncertainty of energy costs and make operating cost more predictable for the foreseeable future.



The objective of the Paramount Pictures Film Exchange Building renovation is to create a truly unique sustainable office environment while still maintaining the historic landmark character of the existing building



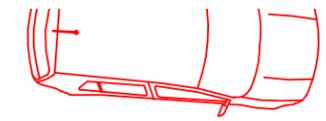
NOTE:
EQUIPMENT SHOWN FOR
ILLUSTRATIVE PURPOSES ONLY.
REFER TO FOOD SERVICE
DRAWINGS.



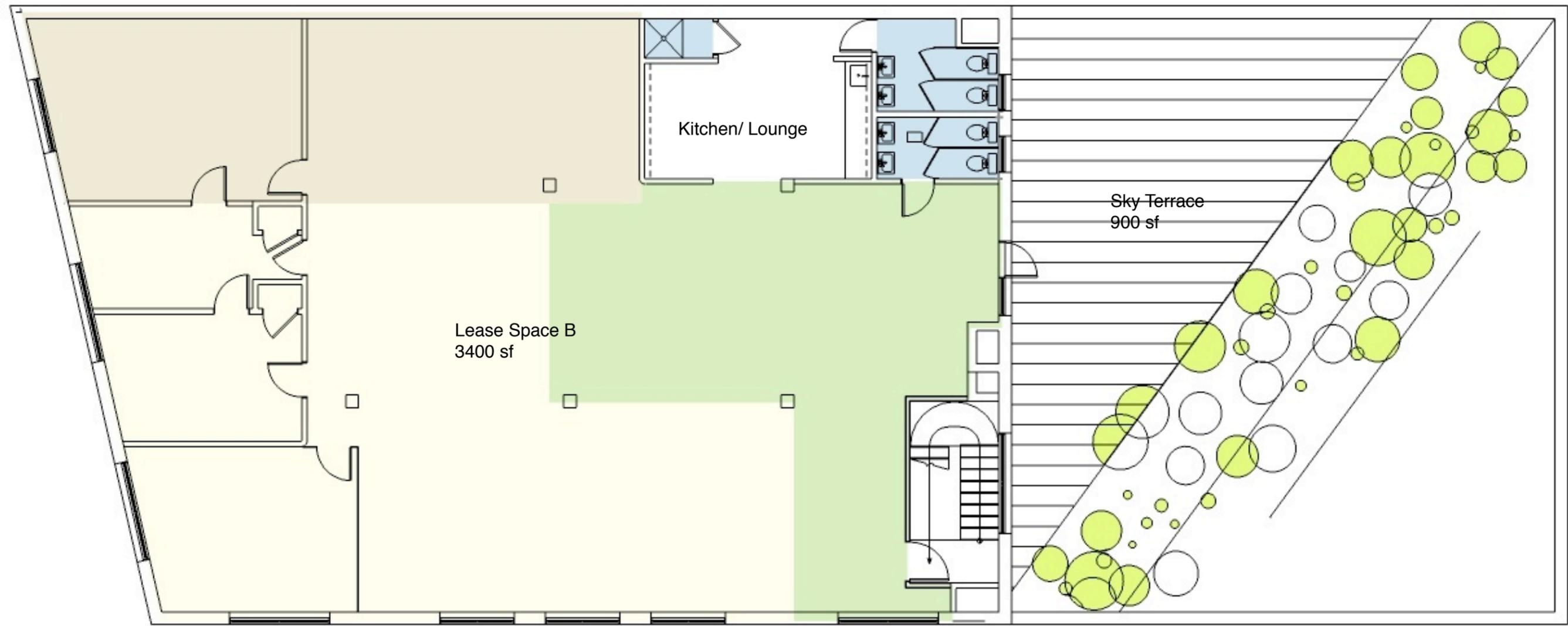
Our goal is an over 50% reduction in energy use from a typical office.

Benefits of a comprehensive make over—chiefly lower operating cost, improved interior environmental quality, comfort, and durability.

Our building envelope will be airtight but diffusion open; in other words, you can open the windows to allow fresh air.



NOTE:
EQUIPMENT ROOMS

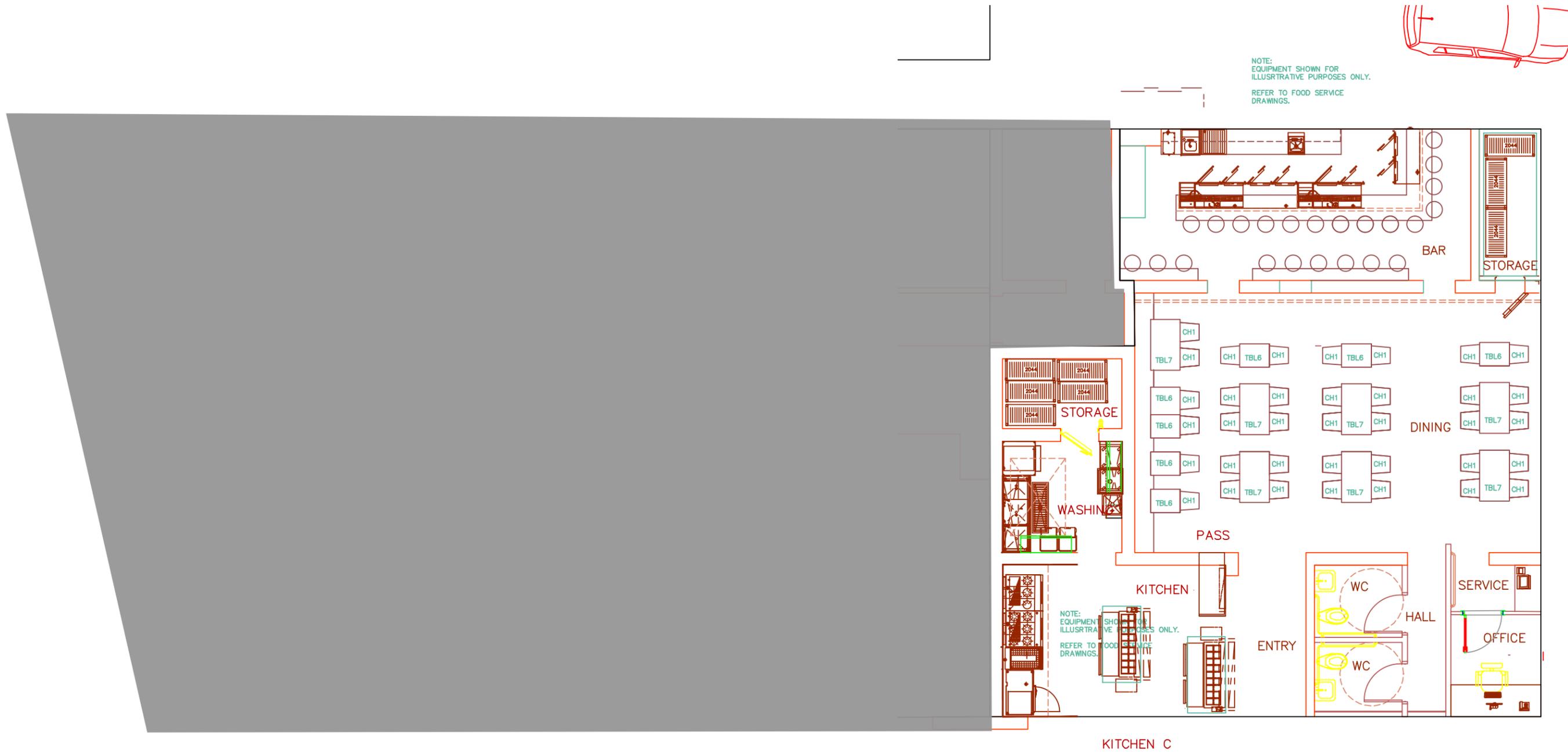


We are cleaning and restoring the masonry and exterior terra-cotta, adding a roof deck area with plantings as well as new windows and insulated interior face of the building envelope.

We are also insulating the floor and ceilings entirely where possible as well.

Deep Energy Reduction Retrofit projects would include more insulation, better windows and doors, and a new mechanical system and a tighter more air tight building envelope.

We are in a great position to create an affordable Deep Energy Reduction Project.



We envision an atmosphere that will be welcoming; the food will be honest, inventive and hopefully focused on supporting local farmers and environmentally sustainable practices while introducing some products from like-minded entrepreneurs around the world.

We envision a restaurant that will be in place for years to come, not just successful in the immediate years to follow.

A restaurant that is intended to be a fun, easy place to eat with affordable high-quality food.

Environmental Sustainability

The Paramount Pictures Film Exchange is being developed around concepts that respect the balance between industry and a healthy sustainable environment.

Our responsibility in this balance is to provide building solutions that preserve and improve the quality of our environment.

We are committed to minimizing the environmental impact of our developments by striving for excellence in environmental and health and safety management through continual process improvements as well as regulatory compliance.

Wherever practicable we source our principal raw materials from recycled sources, adopt and promote environmentally friendly and energy conserving techniques, recycle waste materials and avoid the use of toxic or hazardous materials.

Our Environmental Policy is acknowledged and understood by all of our employees who are trained in and actively implement and monitor our environmental policies.

We are proud of the quality of our products and services and the care we take in providing them and will continue to protect and preserve the environment, our health and safety, our neighbors and our community.



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

- Staff Use -

DEADLINES:
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

FEE SCHEDULE: See attached
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid: \$ 430-

Date Received: 4-13-12
 Hearing Date: _____
 Lot and Block #: _____

ADDRESS OF PROPERTY: 25²⁴ 75 MARKET ST (GROEME)

HISTORIC DISTRICT: Market Str.

OWNER

Name: Was-Buy Group
 Address: 25 MARKET STR.
 City, State, Zip: Penn. Pa.
 Phone: 412 848 3183 Fax: 330 549 0011
 E-MAIL: _____

APPLICANT

Name: SIRP+TEPE ARCHITECTS LLC.
 Address: P.O. 332
 City, State, Zip: NORTH LIND. OH. 44452
 Phone: 330 549 0011 Fax: 330 549 0012
 E-MAIL: oldsearch@yahoo.com

REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED WORK: ADDITION OF 2ND FLOOR STEEL BALCONY & GROUND LEVEL ENTRY GANJOY

SIGNATURE [Signature], Owner DATE 4/16/12
 SIGNATURE [Signature], Applicant DATE 4/16/12





BRUEGGER'S BAGELS
BAKED FRESH

DUNKIN' DONUTS

BRUEGGER'S
BAGEL BAKERY

WE
LOVE
DONUTS

PIZZA
PASTA

BRUEGGER'S BAGELS

25



BRUEGGER'S BAGELS
BAKED FRESH

**AVAILABLE
OFFICE RETAIL**
2ND FL - 208 SF
412-512-0150

**BRUEGGER'S
Fresh Bagels
BAGEL BAKERY**

25

**AMERICAN
BAGEL**
All day
delicious
from \$4

BUILDING CODE INFORMATION

- ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE DRAWINGS AND SPECIFICATIONS AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, A.D.A. AND REGULATIONS OF ALL GOVERNING ENTITIES INVOLVED. ANY MODIFICATION TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE AT THE EXPENSE OF THE OWNER, SUBJECT TO THE RECEIPT OF AN AFFIDAVIT OR LETTER FROM THE GOVERNING ENTITY. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THIS WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR OR HIS SUBCONTRACTORS INVOLVED AS PER CONTRACT.
 - GOVERNING BUILDING CODES FOR THIS PROJECT ARE AS FOLLOWS:
SIMON PROPERTY GROUP
INTERNATIONAL BUILDING CODE (IBC), 2009 UPDATED EDITION W/PGH AMENDMENTS
INTERNATIONAL FIRE CODE (IFC), 2009 EDITION
INTERNATIONAL MECHANICAL/PLUMBING CODES, 2009
N.F.P.A., CHAPTER 13, 2010 EDITION
INTN'L ELECTRIC CODE AS PER NATIONAL ELECTRICAL CODE 2010 EDITION
INTN'L ENERGY CONSERVATION CODE 2007- COMCHECK 2006 REVIEW ATTACHED
ACCESSIBILITY PER ANSI A117.1 UNDER ICC 2003
 - GENERAL REQUIREMENTS AND SPECIFICATIONS:
INTERIOR RENOVATION OF EXISTING VACANT FORMER EXERCISE/AEROBIC SHOP INTO NEW THEMED BANQUET VENUE. SPACE IS EXPANSION OF EXISTING RESTAURANT BY SAME OWNER. CHANGE OF OCCUPANCY A-3 (GYM) TO A-2 (BANQUET). INCLUDES NEW HANDICAP TOILETS
 - EXISTING SPACE WITH EXISTING SPRINKLERS TO BE MAINTAINED.
 - EGRESS TO BE MAINTAINED THROUGH FRONT STAIR DIRECT TO STREET AND TWO FIRE SEPARATED REAR STAIRS THRU ASSOCIATED NOLA RESTAURANT. SEE EGRESS LOAD PLAN THIS SHEET.
 - PREP KITCHEN TO BE INSTALLED FOR WARMING AND SERVING OF COOKED FOOD FROM LOWER LEVEL KITCHEN ONLY. NO COOKING WITH FUMES AND NO HOOD REQUIRED, SEE ATTACHED EQUIPMENT LIST AND SHT A-200.1
 - EXISTING HVAC AND DUCT SYSTEMS TO BE UPGRADED UNDER SEPARATE COVER. EXISTING DUCT SMOKE DETECTORS TO REMAIN AS INSTALLED.
 - EMERGENCY EXIT LIGHTING TO BE PROVIDED PER IBC/NEC MIN. 1 FT/CANDLE ALL EGRESS ROUTES.
 - REQUIRED NUMBER OF 2-A/B/C FIRE EXTINGUISHERS PER IBC 906: 4 PER LEASE AREA (FINAL LOCATION PER LOCAL FIRE MARSHAL)
 - EXISTING GRADE LEVEL UNISEX HANDICAP TOILET TO BE MAINTAINED AND MEETS CURRENT ANSI REQUIREMENTS. EXISTING MENS/WOMENS ROOMS TO BE MAINTAINED AT BASEMENT LEVEL
 - TWO EXISTING HOODS TO BE MAINTAIN IN PLACE AS PER IMC/IBC REQUIREMENTS. SEE A-201
- TOTAL BUILDING AREA: LOWER LEVEL RESTAURANT(UNSEPARATED) 4543 S.F.
EXISTING UPPER AREA A: OPEN SEATING: 200 S.F.
BAR/TOILETS: 750 S.F.
SUBTOTAL: 950 S.F.
- EXPANSION UPPER AREA B: OPEN SEATING: 1600 S.F.
BAR/PRP/TOILETS: 1556 S.F.
SUBTOTAL: 3156 S.F.
TOTAL AREA: 4106 S.F.
- OCCUPANCY TYPE: (IBC T-503) A-2: RESTAURANT
 - CONSTRUCTION TYPE: (IBC T-503\601) 3-B NON COMBUSTIBLE SPRINKLERED
- | | | |
|------------------------------------------|----------------------------|-------------------------|
| BUILDING HEIGHT | - MAX ALLOWABLE (IBC 503) | 2 STORY |
| BUILDING HEIGHT | - MAX ALLOWABLE (IBC 503) | 55'-0" |
| BUILDING AREA | - MAX AREA (IBC T-503) | 9,500 SF |
| FIRE SUPPRESSION (IBC 506.2 & 903.2.1.2) | - 200% INCREASE | 19,000 S.F. (ALLOWABLE) |
| FIRE PULL STATION (IBC 907.2.1) | - NOT REQ'D <300 OCCUPANTS | |
- OCCUPANCY: (IBC T1003.2.2.2 & 1008.1.2)
EXISTING LOWER LEVEL RESTAURANT OCCUPANTS: 132 OCC.
EXISTING UPPER AREA A: OPEN SEATING: 13 OCC.
BAR/TOILETS: 8 OCC.
SUBTOTAL: 21 OCCUPANTS
- EXPANSION UPPER AREA B: OPEN SEATING: 106 OCC.
BAR/PRP/TOILETS: 9 OCC.
SUBTOTAL: 115 OCC.
TOTAL NOLA OCCUPANTS: 288 OCCUPANTS
- EXIT WIDTH CAPACITY (IBC T-1003.2.3) UPPER LEVEL EXITING SEPARATED FROM LOWER
136 PEOPLE X 0.20" PER PERSON = 68" WIDE EXITING REQUIRED
135" WIDE STAIRS ACTUAL
 - MINIMUM NUMBER OF EXITS REQUIRED: 1 PER OBC T1019.2.2.1
ACTUAL EXIT STAIRS PROVIDED: 3
FRONT STAIR OPEN TO STREET, 2 REAR W/TWO HOUR FIRE SEPARATED STAIRS
ALL DOORS TO REMAIN UNLOCKED TO EGRESS TRAVEL AT ALL OPERATION TIMES
ALL DOORS W/PANIC HARDWARE AND NO SPECIAL USE OR KNOWLEDGE
ALL EXIT PATHWAYS WITH MIN ONE FOOTCANDLE EMERGENCY LIGHTING
 - INTERIOR FINISHES (IBC T 803.5) A-2 & SPRINKLERED
EXIT CORRIDORS: B ROOMS: C
 - EARTHQUAKE DESIGN DATA PER IBC 1603.1.5
1.0.1. SEISMIC IMPORTANCE FACTOR & SEISMIC USE GROUP: 1
1.0.2. MAPPED SPECTRAL RESPONSE ACCELERATIONS: SS - 14.5 & SI - 5.6
1.0.3. SITE CLASS: D
1.0.4. SPECTRAL RESPONSE COEFFICIENT(S):
1.0.5. SEISMIC DESIGN CATEGORY: 1
1.0.6. BASIC SEISMIC-FORCE-RESISTING SYSTEM(S): LIGHT WD FRAME W/ STRUCTURAL PANELS
1.0.7. DESIGN BASE SHEAR: 12.7 KIPS
1.0.8. SEISMIC RESPONSE COEFFICIENT(S): .07
1.0.9. RESPONSE MODIFICATION FACTOR(S): 7
1.0.10. ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE PROCEDURE IS USED.
1.0.11. THERMAL FACTOR: 1.00 (IBC 1611.5)
1.0.12. SNOW EXPOSURE FACTOR: .90 (IBC 1608.3.1)
1.0.13. SEISMIC PERFORMANCE GROUP: B (IBC 1615.5)
1.0.14. EXPOSURE CLASSIFICATION: B-URBAN (IBC 1609.4)
1.0.15. DESIGN SOIL BREAKING: 2000 PSF (IBC 1804.3)
1.0.16. BUILDING FLOOR LOADING: 100LBS (LIVE) + 20LBS (DEAD) - (IBC 1603.1.2, T-1607.1)
1.0.17. BUILDING ROOF LOADING: 40LBS (LIVE) + 15LBS (DEAD) - (IBC 1603.1.2, T-1607.1)
1.0.18. GROUND SNOW LOAD: 25LBS (IBC 1608.2)
1.0.19. BASIC VELOCITY PRESSURE: 90MPH @ 16.4 PSF (3 SECOND GUST IBC T-1609.3.1)
 - NATURAL AND MECHANICAL MAKE UP VENTILATION THRU ROOF TOP HVAC ECONOMIZERS TO BE SUPPLIED AS PER IBC 1208.1 & IMC T403.1.

INDEX TO DRAWINGS

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A-101	STOREFRONT PROPOSALS		
A-200	FRAMING PLAN		
A-200.1	GROUND FLOOR COORDINATION PLAN		ELECTRICAL/LIGHTING
A-200.2	FURNITURE PLAN	E-200	ELECTRICAL POWER PLAN
A-200.3	FLOOR FINISH PLAN	E-201	ELECTRICAL LIGHTING PLAN
A-300	REFLECTED CEILING PLAN		SPECIFICATIONS
A-300	SECTIONS AND DETAILS	MFP-200	MECH, ELEC. AND PLUMB. SPECIFICATIONS

GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXTG. CONDITIONS PRIOR TO PRICING FROM WHICH A CONTRACT WILL BE FORMULATED.
- BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DIFFERENCES BETWEEN THE ACTUAL DIMENSIONS ON THE SITE AND THOSE INDICATED ON THE DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT/ CONSTRUCTION MGR. FOR INSTRUCTIONS AND CONSIDERATIONS BEFORE PROCEEDING WITH ANY WORK.
- COOPERATE WITH APPLICABLE CITY OR OTHER GOVERNMENT OFFICIALS AND INSPECTORS AT ALL TIMES. IF SUCH OFFICIAL OR INSPECTOR DEEMS SPECIAL INSPECTION NECESSARY, PROVIDE ALL ASSISTANCE AND FACILITIES THAT WILL EXPEDITE HIS INSPECTION.
- INSTALL ALL MANUFACTURING ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT THAT THE SPECIFICATIONS HEREIN, WHERE MORE STRINGENT, SHALL BE COMPLIED WITH.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING HIS OWN TELEPHONE, TOILET, WATER, AND ELECTRICITY FOR ALL PROJECT FUNCTIONS, OFFICE, STORAGE, ETC. EXCEPT WHERE OTHERWISE SPECIFIED, THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER TO MAINTAIN ALL WORK, MATERIALS, APPARATUS AND FIXTURES FROM INJURY OR DAMAGES. AT THE END OF THE DAY'S WORK, ALL NEW WORK LIKELY TO BE DAMAGED SHALL BE COVERED OR OTHERWISE PROTECTED AS REQUIRED. THE CONTRACTOR SHALL FURNISH & INSTALL PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY LOCAL, STATE, & FEDERAL CODES AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PREPARING SUBSTRATE AS REQUIRED TO RECEIVE THE SCHEDULED FINISH MATERIAL, REGARDLESS OF WHETHER THE REQUIRED PREPARATION IS EXPLICITLY NOTED ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODE, ORDINANCES, A.D.A. AND REGULATIONS OF ALL GOVERNING BODIES.
- GENERAL CONTRACTOR IS NOT TO SEPARATE THE SET OF CONSTRUCTION DOCUMENTS. THE SETS ARE TO REMAIN INTACT AT ALL TIMES. THERE SHALL BE AT LEAST ONE SET OF COMPLETE DOCUMENTS (ALL DRAWINGS AND SPECIFICATIONS) ON THE PROJECT AT ALL TIMES.
- AT THE END OF CONSTRUCTION, CONTRACTOR SHALL PROVIDE OWNER WITH ONE "RED LINED" AS BUILT SET OF DOCUMENTS, SHOWING ANY MODIFICATIONS IN CONSTRUCTION WHICH DEVIATE FROM THE CONSTRUCTION DOCUMENTS AND ANY UNCOVERED EXISTING CONDITIONS.
- ALL WOOD BLOCKING, FURRING, AND NAILERS SHALL BEAR FIRE RETARDANT WOOD LABEL IN COMPLIANCE WITH IBC SECTION 2310.0.
- CONTRACTOR TO OBTAIN PERMIT FROM CITY PRIOR TO ANY WORK BEING PERFORMED INSIDE CITY'S RIGHT OF WAY. CONTRACTOR TO NOTIFY CITY ENGINEER'S OFFICE MINIMUM 48 HOURS PRIOR TO ANY CONSTRUCTION IN CITY RIGHT OF WAY.

NOTES TO DOOR AND FRAME SCHEDULES:

- ALL EGRESS DOOR SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS MADE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT (IBC 1017.4.1).
- ALL DOOR CLOSERS & HARDWARE TO MEET SPECIFICATIONS IN IBC REQUIREMENT & THE AMERICANS WITH DISABILITIES ACT
- ALL EXIT DOORS ARE A MIN. OF 3'-0" WIDE, AND ARE PROVIDED WITH ALL REQUIRED PANIC HARDWARE AND EXIT TO GRADE.

NOTES TO ROOM FINISH SCHEDULE:

- INTERIOR WALL AND CEILING FINISHES SHALL BE MINIMUM TYPE III, AS PER IBC, T-803.4. ANY CARPETING SHALL COMPLY WITH THE DSC FF-1 'PILL TEST' (CPSK 16CFR, PART 1630 OR EQUAL), AND "CRITICAL RADIANT FLUX" REQUIREMENTS PER IBC 805.2. A COPY OF THE TEST REPORT IDENTIFYING AND REPRESENTING THE STYLE TO BE USED SHALL BE PROVIDED TO THE CODE OFFICIAL UPON REQUEST. THE TEST REPORT SHALL IDENTIFY THE CARPET BY MFR. AND STYLE NAME AND SHALL BE TYPICAL OF THE CURRENT CONSTRUCTION OF THE CARPET.
 - THE CARPET SHALL BE IDENTIFIED AS TO THE MANUFACTURER, FLAME SPREAD RATING, AND STYLE BY A HANG TAG OR OTHER SUITABLE METHOD, WHICH SHALL INDICATE THE CLASSIFICATION OF THE ITEM BASED UPON THE LIMITATIONS SPECIFIED IN IBC 905.2.
 - ALL INTERIOR FINISHES TO MEET CLASS B FLAMESPREAD REQUIREMENTS PER IBC 810.

DESIGN DATA SCHEDULE

MATERIAL	SOIL BEARING	FOOTER CONC.	STRUCT. CONC.	WIRE MESH	BLOCK	BRICK	REINFOR. STEEL	STRUCT. STEEL	WOOD
COMPRESSION		3,000	4,000		1,000	1,000			
BENDING							60,000	36,000	Fx=23,000
STRESS	2,000			20,000					

PROJECT- Expansion of Existing Restaurant with

NOLA Banquet

Second Floor

24 Graeme Street- Market Square West

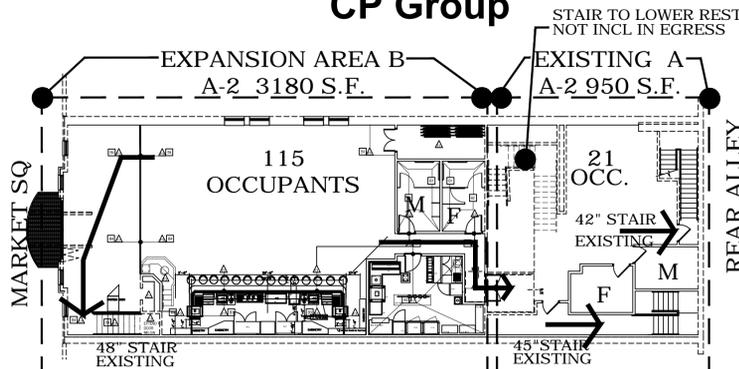
CITY OF PITTSBURGH,

PENNSYLVANIA 15222

Owner: Yves Carreau-NOLAPgh Inc 412 848 3183

Interior Design: Courtney Lynch- 412 281 8050

CP Group



SEE ALSO SHT A-200.1 FOR GROUND FLOOR EXIT PTS TO STREET
EGRESS LOAD PLAN (SPRINKLERED)

SCALE: 1/16"=1'-0"

NORTH

SYMBOLS AND MATERIALS

SECTION	SECTION CUT INDICATOR	UNDISTURBED EARTH OR UNDISTURBED SUBGRADE	CONTINUOUS WOOD FRAMING
MATCH LINE	MATCH LINE INDICATOR	COMPACTED EARTH OR COMPACTED SUBGRADE	WOOD BLOCKING
DETAIL INDICATOR		POURIOUS FILL OR SUBBASE	PLYWOOD
INTERIOR ELEVATION INDICATOR		CAST-IN-PLACE CONCRETE	PARTICLE/FIBER BOARD
ROOM NAME	ROOM NUMBER SEE ROOM FINISH SCHEDULE	FINISHED OR CAST STONE	FINISHED WOOD
DOOR NUMBER	SEE DOOR SCHEDULE	GROUT	BATT INSULATION
WALL TYPE		CONCRETE MASONRY UNITS	RIGID INSULATION
NUMBERED NOTE		GLAZED FACE CONCRETE MASONRY UNITS	LATH AND PLASTER
WINDOW TYPE		BRICK	GYPSUM BOARD
		GLAZED BRICK	CERAMIC TILE
		GLASS UNIT MASONRY	TERRAZZO
		STEEL	ACOUSTICAL CEILING
		ALUMINUM	EXT. INSUL. FIN. SYS.

ABBREVIATIONS

&	AND	GA	GALVE	QT	QUARRY TILE
L	ANGLE	GALV	GALVANIZED	RAD	RADIUS
@	BY	GB	GRAB BAR	ROD	ROOF DRAIN
X	AT NUMBER	GC	GENERAL CONTRACTOR	REBAR	REINFORCING BAR
A/E	AIR ENTRAINING (3%)	GFCMU	GROUND FACE CONCRETE MASONRY UNITS	RECT	RECTANGULAR REINFORCEMENT
AB	ANCHOR BOLT	GL	GLASS	REQ	REQUIRED
AC	ACOUSTICAL	GLB	GLASS BLOCK	REP	REPRESENTATIVE
ACUST	ACOUSTICAL	GLCMU	GLAZED FACE CONCRETE MASONRY UNITS	RFG	RECESSED FOOT GRILLE
ACT	ACOUSTICAL CEILING TILE	CYP	GYPSUM PLASTER	RM	ROOM
ADJ	ADJUSTABLE	GWB	GYPSUM WALL BOARD	R/W	RIGHT-OF-WAY
ATF	ABOVE FINISHED FLOOR	H	HIGH, HEIGHT	RWC	RAIN WATER CONDUCTOR
ALT	ALTERNATE	HC	HANDICAPPED	S/H	SEALER/HARDENER
ALUM	ALUMINUM	HD	HAND DRYER	SC	SOLID CORE
APPROX	APPROXIMATELY	HW	HARDWARE	SF	SQUARE FOOT
ARCH	ARCHITECTURAL	HWID	HARDWOOD	SFCMU	SPLIT FACE CONCRETE
BLDG	BUILDING	HM	HOLLOW METAL	SGB	STRUCTURAL GLAZED BLOCK
BLKG	BLOCKING	HORIZ	HORIZONTAL(LY)	SM	SIMLAR
BM	BEAM	HR	HOUR	SOG	SLAB ON GRADE
BR	BRICK	HVAC	HEATING, VENTILATING, AIR CONDITIONING	SPEC	SPECIFICATIONS
BRG	BEARING	ID	INSIDE DIAMETER	SQ	SQUARE
BTM	BOTTOM	INSUL	INSULATION	SRGB	SAG-RESISTANT GYPSUM BOARD
BUR	BUILT UP ROOFING	INT	INTERIOR	SS	STAINLESS STEEL
C/C	CENTER TO CENTER	INTERMED	INTERMEDIATE	STC	SOUND TRANSMISSION CLASS
CJ	CONSTRUCTION JOINT	INV	INVERT	STD	STANDARD
C/L	CENTER LINE	IRWC	IMPACT RESISTANT WALLCOVERING	STL	STEEL
C/L	CENTER LINE	JAN	JANITOR	STOR	STORAGE
CBB	CARPET (ROLL GOODS/BROADLOOM)	JB	JUNCTION BOX	STRUC	STRUCTURAL
CCT	CUBICLE CURTAIN TRACK	JT	JOINT	SUPPL	SUPPLEMENTARY
CLG	CEILING	SUSP	SUSPENDED	SV	SHEET VINYL
CLO	CLOSET	SV	SOLID VINYL TILE	TEMP	TEMPERED
CMU	CONCRETE MASONRY UNIT	LAM	LAMINATED	T/BM	TOP OF BEAM
CONC	CONCRETE	LAV	LAVATORY	T&G	TONGUE AND GROOVE
CONF	CONFERENCE	LF	LINEAR FEET	THR	THRESHOLD
CONST	CONSTRUCTION	LN	LINEOLUM	T/JST	TOP OF JOIST
CONT	CONTINUOUS	LLH	LONG LEG HORIZONTAL	T/KBD	TACK BOARD
CONTR	CONTRACTOR	LLV	LONG LEG VERTICAL	TOM	TOP OF MASONRY
CORR	CORRIDOR	M	MIRROR	TOS	TOP OF SLAB
CPT	CARPET TILE	MAINT	MAINTENANCE	T/ST	TOP OF STAIR
CRS	COURSE	MATL	MATERIAL	TD	TOILET TISSUE DISPENSER
CT	CERAMIC TILE	MECH	MECHANICAL	TYP	TYPICAL
CHRRL	CERAMIC TILE	MFR	MANUFACTURER	U	UNLESS NOTED OTHERWISE
DBL	DOUBLE	MH	MANHOLE	V	VINYL
DEM	DEMISING	MIN	MINIMUM	VCT	VINYL COMPOSITION TILE
DF	DRINKING FOUNTAIN	MO	MASONRY OPENING	VERT	VERTICAL
DIA	DIAMETER	MOULD	MOULDING	VEST	VESTIBULE
DM	DMENSION	MTD	MOUNTED	W/	WITH
DN	DOWN	NIC	NOT IN CONTRACT	WC	WATER CLOSET
DS	DOWN SPOUT	NO.	NUMBER	WD	WOOD
DP	DEEP	NOM	NOMINAL	W/O	WITHOUT
DR	DOOR	NTS	NOT TO SCALE	WR	WASTE RECEPTACLE
DET	DETAIL	OC	ON CENTER	WPT	WOOD - PRESERVATIVE TREATED
DWG	DRAWING	OD	OUTSIDE DIAMETER	WFE	WELDED WIRE FABRIC
EA	EACH	OPP	OPPOSITE	WNSCT	WOOD PANEL WAINSCOT
EF	EACH FACE	ORD	OVERFLOW ROOF DRAIN		
E.J.	EXPANSION JOINT	PARTN	PARTITION		
EL	ELEVATION	PERIM	PERIMETER		
ELEC	ELECTRICAL	PLATE	PLATE		
ELEV	ELEVATION	P/L	PROPERTY LINE		
ENCL	ENCLOSED (SURE)	PLAM	PLASTIC LAMINATE		
EQU	EQUAL	PLBG	PLUMBING		
ENCL	ENCLOSED (SURE)	PLAS	PLASTER		
EQ	EQUIPMENT	PNT	PANTEL		
ETC	ET CETERA	PTD	PAINTED (PAINTED FINISH)		
EW	EACH WAY	PR	PAIR		
EWC	ELECTRIC WATER COOLER	PROJ	PROJECT		
EXIST	EXISTING	PT	PRESSURE TREATED		
EXT	EXTERIOR	PLYW	PLYWOOD		
FD	FLOOR DRAIN				
FE	FIRE EXTINGUISHER				
FEC	FIRE EXTINGUISHER CABINET				
FH	FIRE HYDRANT				
FHC	FIRE HOSE CABINET				
FIN	FINISH				
FIXT	FIXTURE				
FL	FLOOR				
FLDR	FOLDING DOOR				
FM	FACTORY MUTUAL				
FR	FIRE RATED				
FRTW	FIRE RETARDANT TREATED WOOD				
FSS	FOLDING SHOWER SEAT				
FT	FOOT				
FTG	FOOTING				

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DO NOT SCALE DRAWINGS: CONTRACTOR MUST VERIFY ALL DIMENSIONS, FIELD CONDITIONS, AND CLEARANCES PRIOR TO COMMENCEMENT OF WORK AND/OR ORDERING OF MATERIALS.

WE CERTIFY THAT THESE PLANS HAVE BEEN PREPARED IN OUR OFFICE UNDER OUR SUPERVISION AND THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF, COMPLY WITH APPLICABLE LAWS, REGULATIONS, AND ORDINANCES OF THE JURISDICTION RELATING TO THIS PROJECT.

Celebrating 15 years of Success

11524 Market Street
North Lima, Ohio 44452-332
Tel: 330.549.0011 Fax: 330.549.0012
Cell: 330.651.7543

Corporate Center:
Post Office Box 332
Tel: 330.549.0011
Cell: (Sipp) : 724.544.8160

SIPP + TEPE ARCHITECTS, L.L.C.

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OH., PA., W.VA., N.C.A.R.B.

A Storefront Renovations and Interior Fitout for:

NOLA BANQUET
Second Floor - 25 Graeme
Pittsburgh, Pennsylvania 15222

Contact Person: Yves Carreau-BIG Y Group 412 848 3183

PROJECT DESIGNATION:
2011_40_NOLA_BANQUET.DWG
2011_40

RELEASE DATE:
FEB 15, 2012

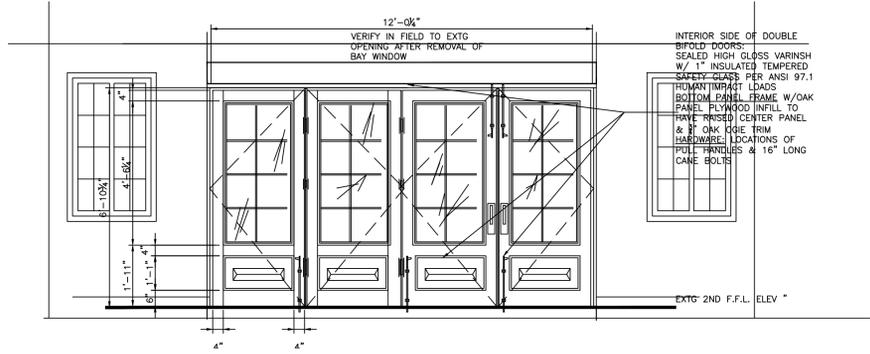


COVER & CODE INFO

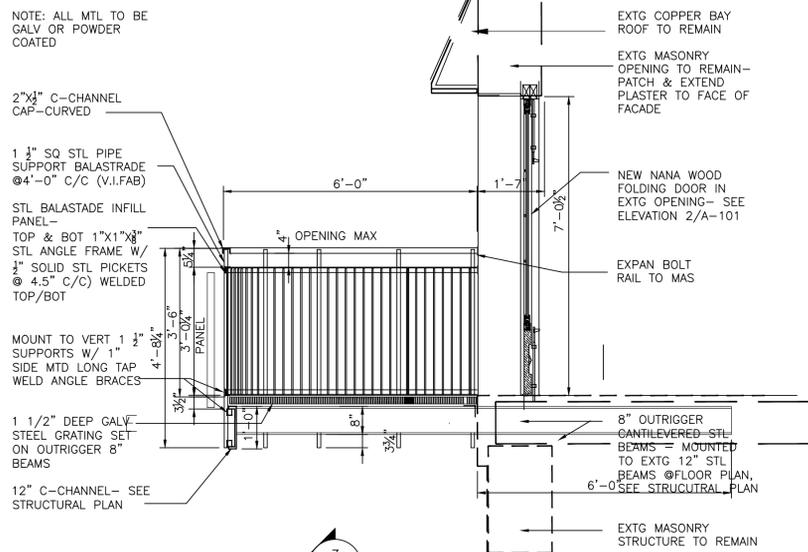
DRAWING TITLE
DRAWING NUMBER
A-000
ESTABLISHED: 1997
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NO.	REVISION	DATE

INTERIOR ELEVATION
SCALE: 3/8"=1'-0"



SECTION
SCALE: 1/2"=1'-0"



EXTERIOR ELEVATION
SCALE: 3/8"=1'-0"

ginkgoaceae

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1997-2012

Licensed and Registered:
OH., PA., W.VA., N.C.A.R.B.

PROJECT DESIGNATION:
2011_40

2011_40_NOCU_BANQUET.dwg

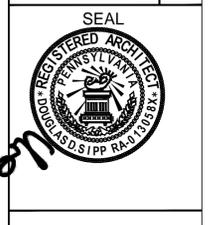
2011_40

An Storefront Renovation and Interior Fitout for:

PERLE
Second Floor - 25 Graeme
Pittsburgh, Pennsylvania 15222
Contact Person: Yves Carreau-BIG Y Group 412 848 3183

PROJECT
RELEASE DATE: April 14, 2012

DRAWN BY: Carleton Coppland



FACADE PLAN, ELEVATION, SECTION

DRAWING TITLE
DRAWING NUMBER

A-100

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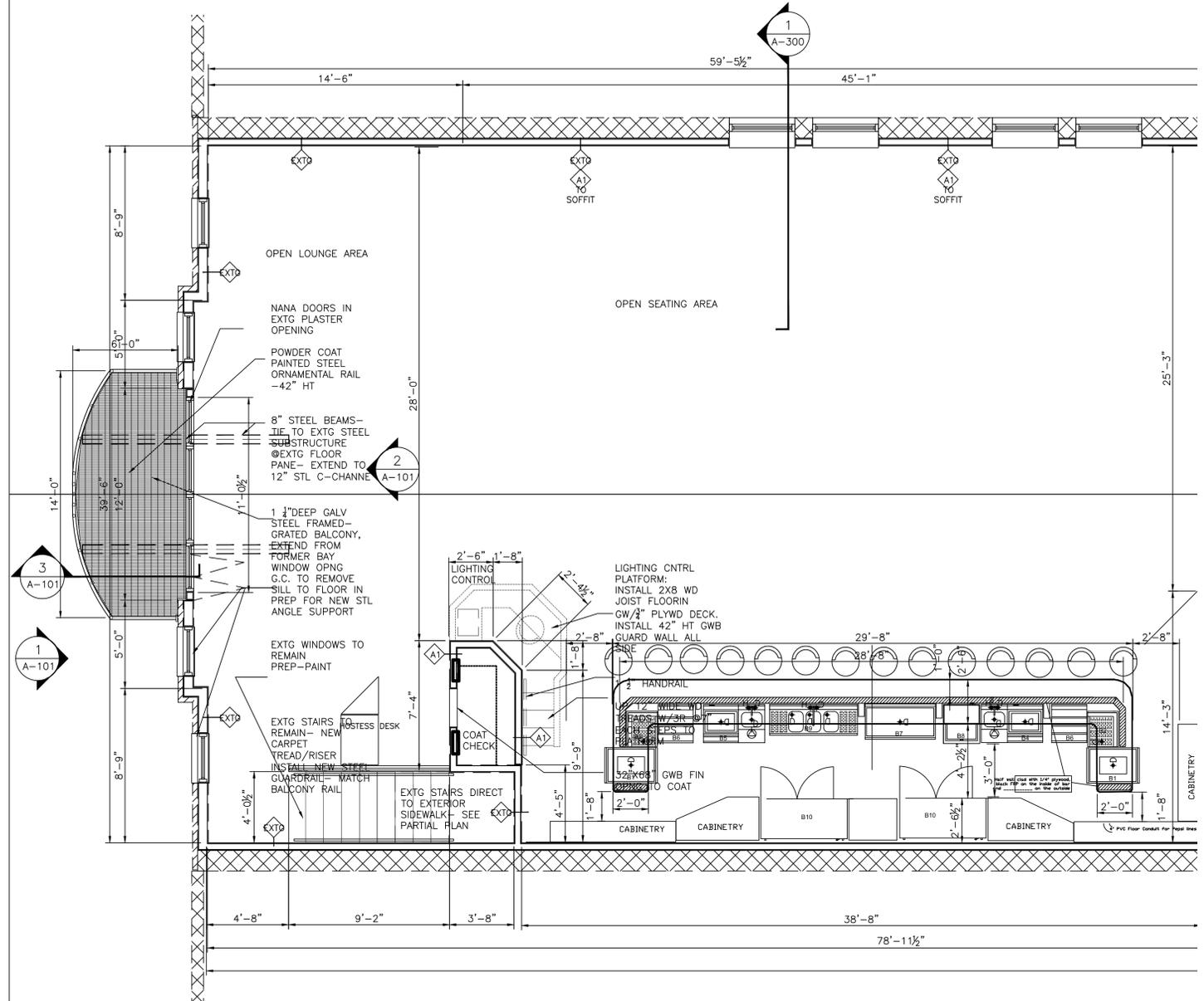
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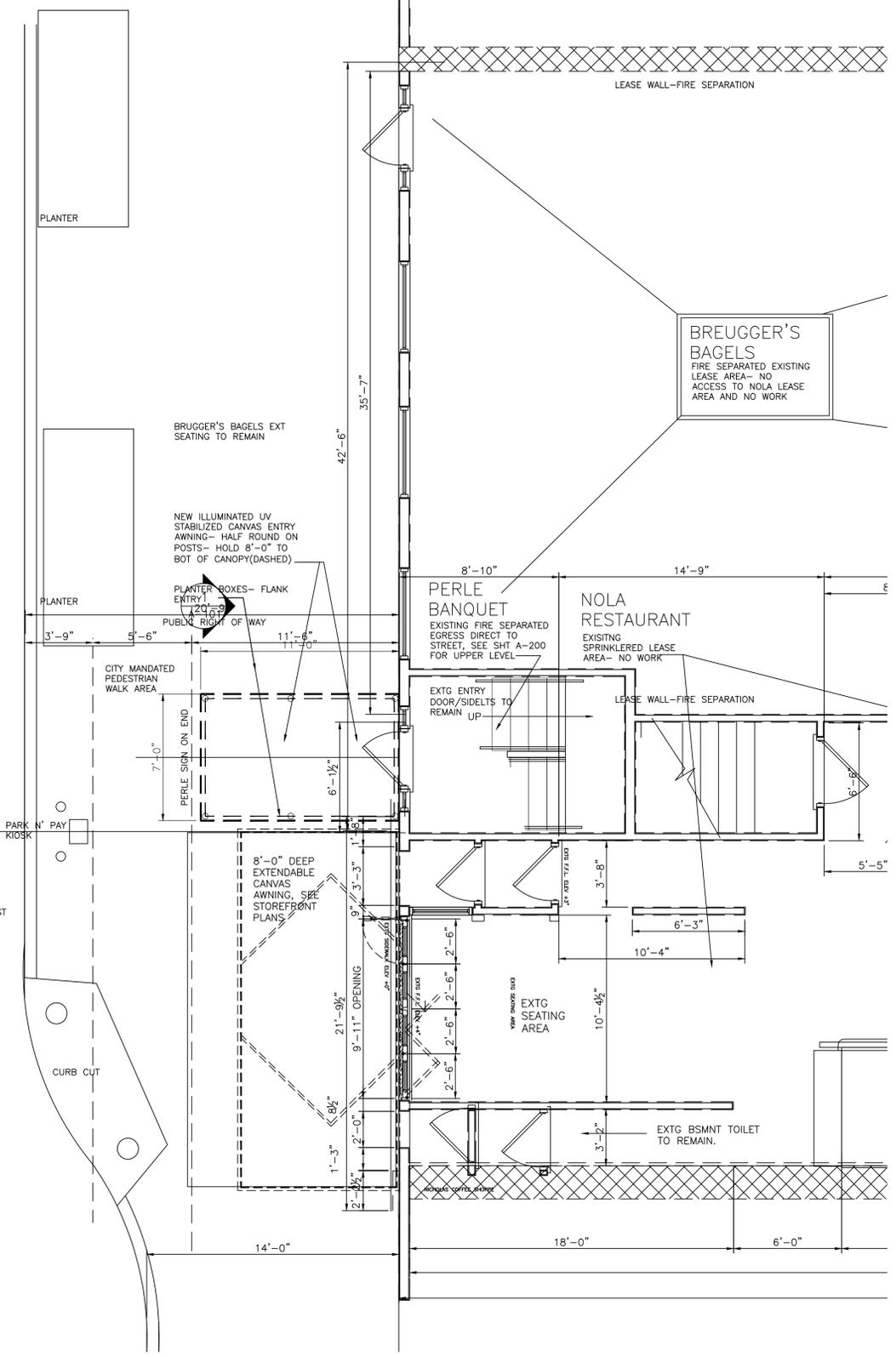
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NO.	REVISION	DATE



BALCONY PLAN- 2ND FLOOR
 SCALE: 1/4"=1'-0"
 NORTH

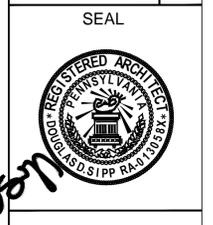


SIDEWALK PLAN- GROUND FLOOR
 SCALE: 1/4"=1'-0"
 NORTH

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A Storefront Renovation and Interior Fitout for:
PERLE
 Second Floor - 25 Graeme
 Pittsburgh, Pennsylvania 15222
 Contact Person: Yves Carreau-BIG Y Group 412 848 3183
 DRAWN/CHECKED BY: Douglas Sipp
 CAD FILE LOCATION: 2011_40_NOLA_BANQUET.DWG
 PROJECT DESIGNATION: 2011_40
 RELEASE DATE: APRIL 14, 2012



STOREFRONT PROPOSAL PLANS

DRAWING TITLE
 DRAWING NUMBER
A-101
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NO.	REVISION	DATE



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received 15 days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

4000 FIFTH AVENUE
PITTSBURGH, PA 15218

OWNER:

UNIVERSITY OF PITTSBURGH
 NAME: PARK RANKIN

ADDRESS: 3400 FORBES AVENUE
PITTSBURGH PA 15260

PHONE: 412 624 9534

EMAIL: PLP2@PIT.EDU

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

CALLAND CIVIC CENTER

APPLICANT:

NAME: RICK AVON

ADDRESS: 100 EAST SWISSVALE AVE.
PITTSBURGH, PA 15218

PHONE: 412 243 3430

EMAIL: RAVON@LAMIGRUBB.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

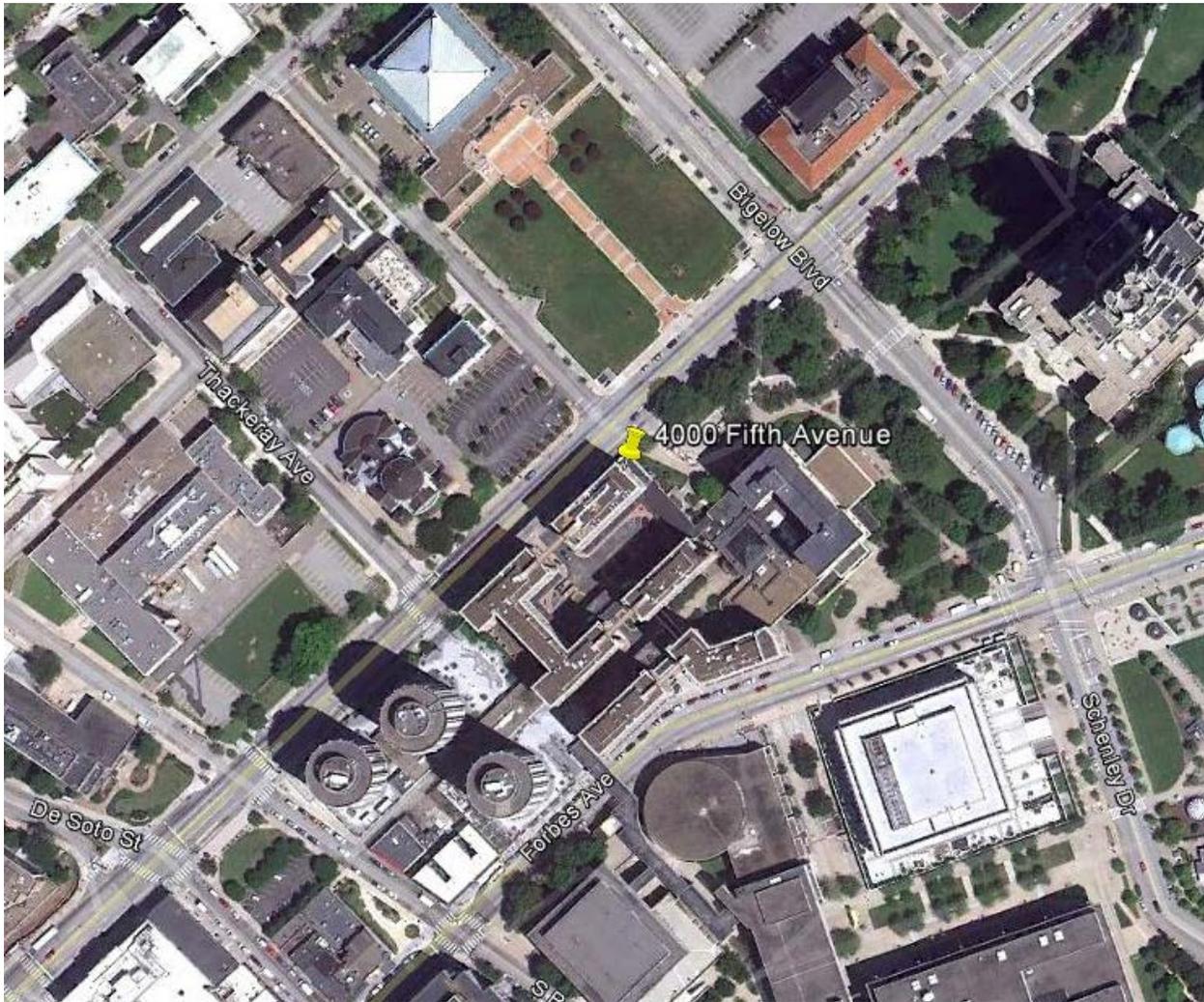
DETAILED DESCRIPTION OF PROPOSED PROJECT:

SEE ATTACHED LETTER

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: Rick Avon DATE: 4/12/12



Lami Grubb

A R C H I T E C T S

Date: April 12, 2012

To: Sarah Quinn
Division of Development Administration and Review
City of Pittsburgh, Department of City Planning
Historic Review Commission
200 Ross Street Third floor
Pittsburgh PA 15219

Lami Grubb Architects LP
100 East Swissvale Ave
Pittsburgh, PA 15218
Phone: 412.243.3430
Fax: 412.371.1586

Regarding: Renovations to the University of Pittsburgh's Book Store façade.

Sarah,

We are resubmitting another design in response to the denied application for the New Entrance for the Pitt Bookstore. In our last submission we explained why the owner needed to move the entrance to this end of the building. Originally we interrupted the original stone coping which the board felt was too large of a departure for the building, since this provided such a strong horizontal element. In this new scheme we stayed below the coping. We are indicating two rectangular flat pilasters in our design. They are new to this elevation but not new to the building. These were used in various other areas on this building, please see photographs provide with this submission. The primary material used is limestone that matches the existing limestone. The base material is the same rough granite that has been used on the other parts of the building. The material behind the letters that the columns appear to be holding up would be the same granite but polished. The windows would match the existing windows above in color and bring back the look of divided lights. This new entrance resembles what was previously built with the exception of making the polished band look like more of an architectural element than just an infill. If you have any question please don't hesitate to call

Thank you for your consideration,



Rick Avon, AIA
Principal at Lami Grubb Architects L.P.



GENERAL NOTES
 ALL WINDOWS TO HAVE WOOD CASES
 EXCEPT WHERE NOTED OTHERWISE
 ALL WINDOWS TO HAVE IRON LUGS
 EXCEPT WHERE NOTED OTHERWISE
 EXCEPT WHERE NOTED OTHERWISE

BUILDING A

BUILDING B

AMOS
 BOOK CTR

Handwritten initials

JOB NO.
 523

INDICATION MATERIALS
 BRICK
 STONE
 CONCRETE

SCHENLEY APARTMENTS
 PITTSBURGH PA

H. HORNBSTEL - RYAN - RUSSELL & WOOD
 ASSOCIATED ARCHITECTS
 CENTURY BLDG - PITTSBURGH PHONE SMITHFIELD 685

FIFTH AVE. ELEVATIONS OF BUILDINGS A & B
 SCALE 1/8" = 1'-0"
 DATE

DRAWING
 NO. E-1



A man in a blue t-shirt and khaki shorts, seen from behind, walking away from the camera on the sidewalk. He is carrying a dark blue drawstring backpack.

A man in a white t-shirt and khaki shorts, seen from the side, walking towards the camera. He is carrying a backpack.

A man in a white t-shirt and black shorts, seen from behind, walking away from the camera. He is carrying a backpack.

A large glass entrance door at the corner of the building, reflecting the street scene. The door is framed by dark metal.

A black, cylindrical trash can with a ribbed texture, positioned on the sidewalk near the corner entrance.

The main building facade, constructed of light-colored stone blocks. It features a series of windows on the upper floors and a ground-floor entrance area with classical columns and a circular decorative element. Flower boxes are visible under the windows.

The upper portion of the building, showing multiple stories of windows and the corner structure.





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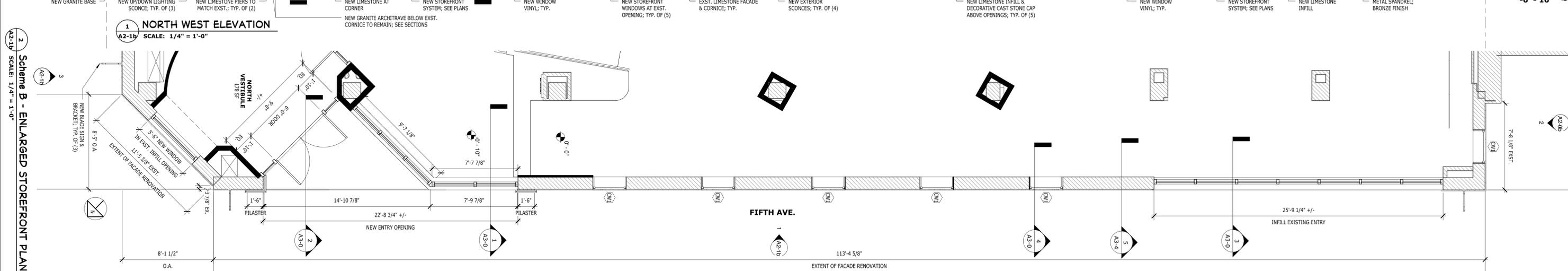


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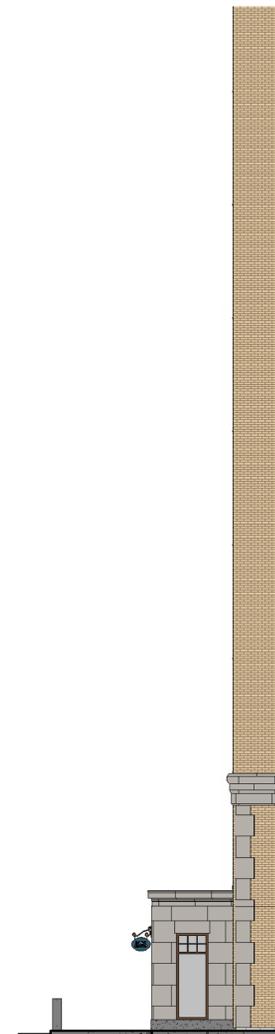
REVISIONS			
No.	By	Date	Description
	JBG		

<h2>Lami Grubb</h2> <p>ARCHITECTS</p> <p>Lami Grubb Architects, LP 100 East Swissvale Ave., Pittsburgh, PA 15218 Phone: 412.243.3430 Fax: 412.371.1586</p>	
<p>University of Pittsburgh FACILITIES MANAGEMENT</p>	
<p>UNIVERSITY OF PITTSBURGH 1797</p>	
<p>NOT FOR CONSTRUCTION</p>	
<p>Project Name PITT BOOK CENTER RENOVATION 4000 FIFTH AVENUE PITTSBURGH, PA 15213</p>	<p>Job No. X4530 Issue Date 04/13/12</p>
<p>EXTERIOR ELEVATIONS - DETAIL NEW - SCHEME 'B'</p>	
<p>File Name</p>	<p>Drawn By JBG</p>
<p>Drawing Number 9864</p>	<p>Set Order A2-1b of</p>

C:\Users\jesseg\Documents\08305-Central File_jesseg.rvt
 4/13/2012 12:19:59 PM



1 NORTH WEST ELEVATION - FIFTH AVENUE
SCALE: 1/8" = 1'-0"



2 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"

- ELEVATION NOTES**
- TEMPERED GLAZING SHALL CONFORM TO CPSC 16 CFR 201 AS REQUIRED IN SECTION 2406 OF THE IBC.
 - SAFETY GLAZING SHALL CARRY A FIRE RATING AS RECOGNIZED BY THE IBC AND CONFORM TO THE REQUIREMENTS OF TEMPERED GLAZING.



REVISIONS			
No.	By	Date	Description
	JBG		

Lami Grubb
ARCHITECTS
Lami Grubb Architects, LP
100 East Swissvale Ave., Pittsburgh, PA 15218
Phone: 412.243.3430 Fax: 412.371.1586

University of Pittsburgh
FACILITIES MANAGEMENT

UNIVERSITY OF PITTSBURGH
PROFESSIONAL STAMP
NOT FOR CONSTRUCTION

Project Name PITT BOOK CENTER RENOVATION 4000 FIFTH AVENUE PITTSBURGH, PA 15213	Job No. X4530 Issue Date 04/13/12
---------------------------------------------------------------------------------------------	--------------------------------------------

EXTERIOR ELEVATIONS
SCHEME 'B'

File Name	Drawn By JBG
Drawing Number 9864	Set Order A2-0b of



Lami Grubb

ARCHITECTS

Lami Grubb Architects, LP
100 East Swissvale Ave., Pittsburgh, PA 15218
Phone: 412.243.3430 Fax: 412.371.1586

CORNER VIEW - SCHEME 'B'
PITT BOOK CENTER RENOVATION

Project number 08305
Date 04/13/12
Drawn by JBG
Scale

Drawing #

AR-1b



ENTRY - SCHEME 'B'
 PITT BOOK CENTER RENOVATION

Lami Grubb

ARCHITECTS

Lami Grubb Architects, LP
 100 East Swissvale Ave., Pittsburgh, PA 15218
 Phone: 412.243.3430 Fax: 412.371.1586

Project number 08305
 Date 04/13/12
 Drawn by JBG
 Scale

Drawing #

AR-2b



Lami Grubb

ARCHITECTS

Lami Grubb Architects, LP
100 East Swissvale Ave., Pittsburgh, PA 15218
Phone: 412.243.3430 Fax: 412.371.1586

THACKERY - SCHEME 'B'
PITT BOOK CENTER RENOVATION

Project number 08305
Date 04/13/12
Drawn by JBG
Scale

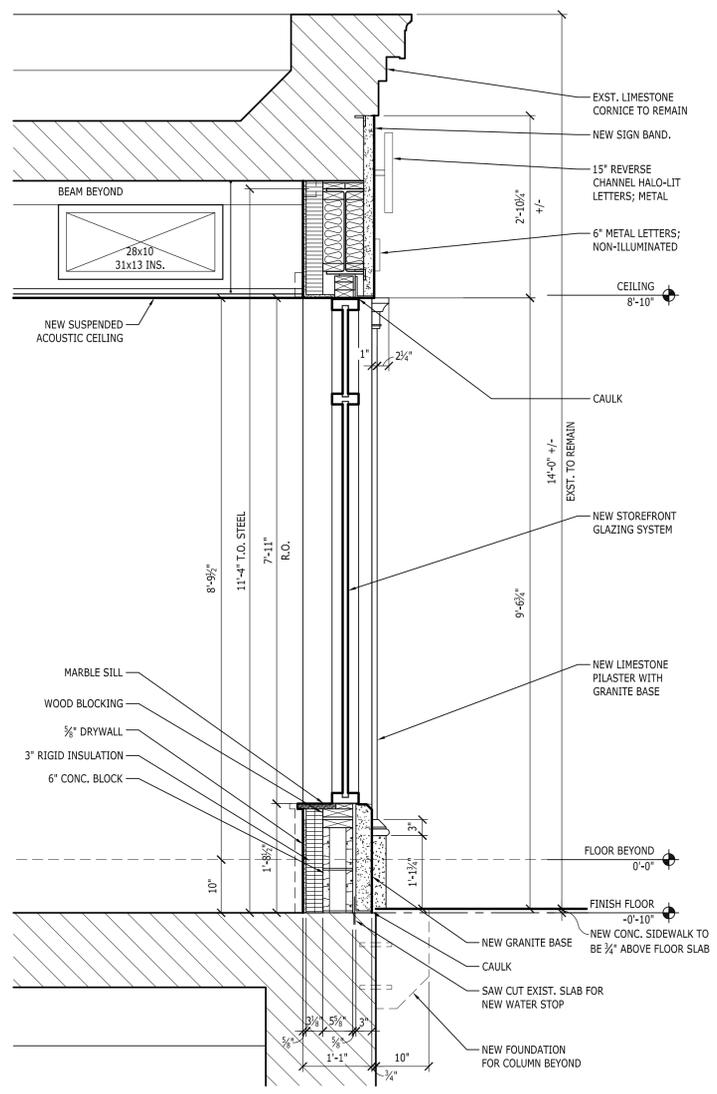
Drawing #

AR-3b

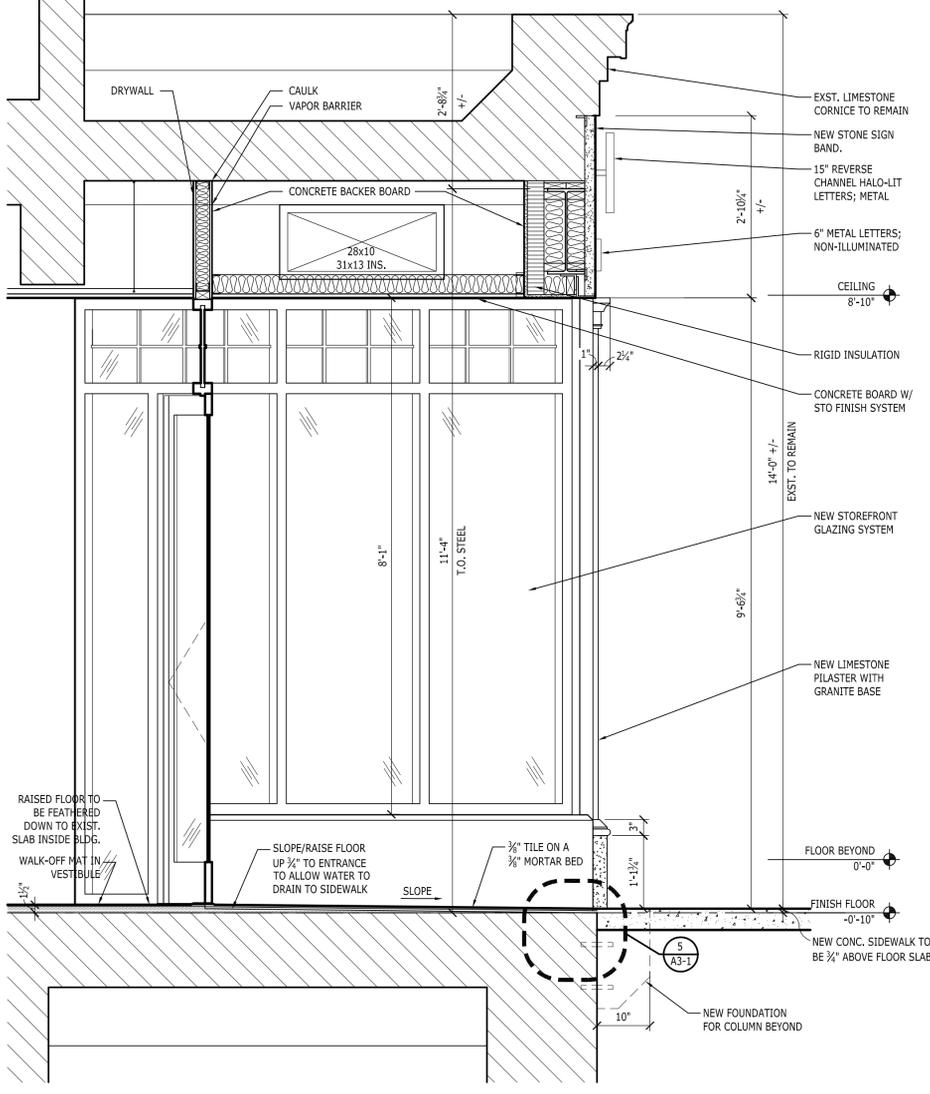


AMOS CORNER - SCHEME 'B'
PITT BOOK CENTER RENOVATION

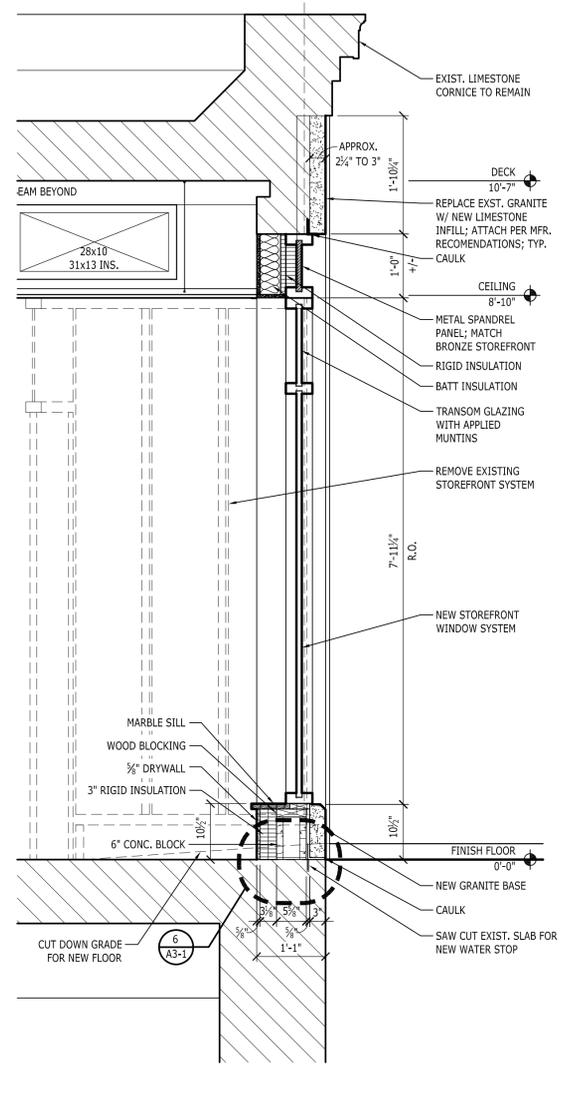
P:\2008\08305 pitt book center\A5 Design\A5 Construction Drawings\08305-Pitt Book Center-Sections-rev 1.dwg April 13, 2012 12:11 pm



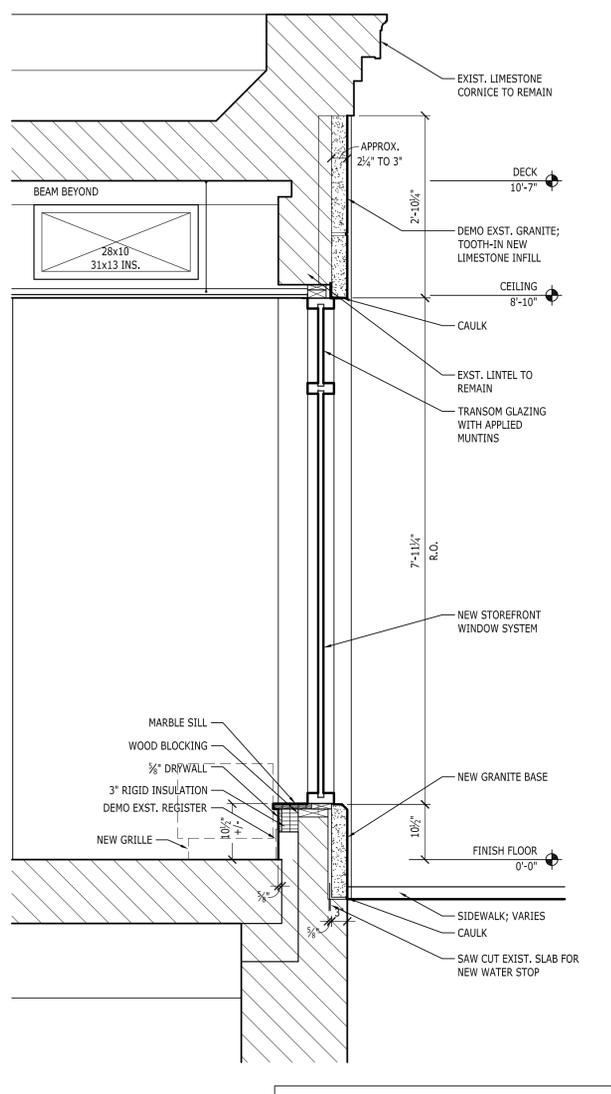
1 WALL SECTION
A3-0 SCALE: 3/4" = 1'-0"



2 WALL SECTION
A3-0 SCALE: 3/4" = 1'-0"

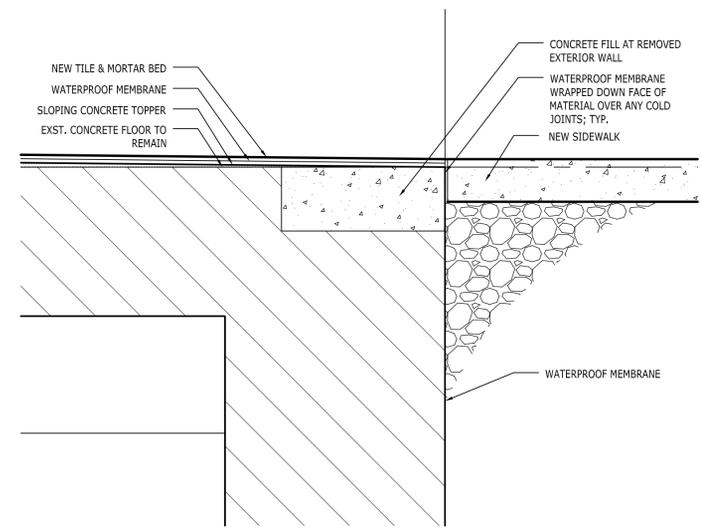


3 WALL SECTION
A3-0 SCALE: 3/4" = 1'-0"

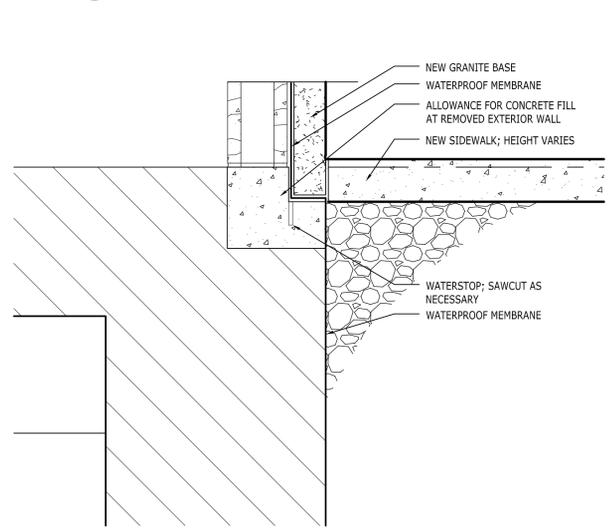


4 WALL SECTION
A3-0 SCALE: 3/4" = 1'-0"

GENERAL NOTES:
1. EXISTING ROOF NO LONGER HAS A WARRANTY - THE ROOF IS IN GOOD CONDITION. THE GOAL IS TO LEAVE EXISTING ROOF IN TACT; G.C. TO PATCH AND REPAIR IN-KIND AS NECESSARY.



5 SLAB DETAIL
A3-0 SCALE: 1 1/2" = 1'-0"

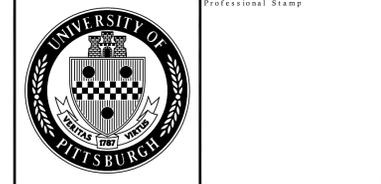


6 SLAB DETAIL
A3-0 SCALE: 1 1/2" = 1'-0"

REVISIONS			
No.	By	Date	Description

Lami Grubb ARCHITECTS
LGA Job No. 08305
Lami Grubb Architects, LP
100 East Swissvale Ave, Pittsburgh, PA 15218
Phone: 412.243.3430 • Fax: 412.371.1586

University of Pittsburgh FACILITIES MANAGEMENT



Project Name PITT BOOK CENTER RENOVATION 4000 FIFTH AVENUE PITTSBURGH, PA 15213	Job No. X4530 Issue Date APRIL 13, 2012
------------------------------------------------------------------------------------------	--------------------------------------------------

Drawing Description
WALL SECTIONS

CAD File Name 08305-Pitt Book Center-Sections-rev 1.dwg	Drawn By
Drawing Number 9864	Set Order A3-0 of ##

January 9, 2012

Sarah Quinn
City of Pittsburgh
Historic Review Commission
200 Ross Street, Third Floor
Pittsburgh, PA 15219

RE: 941 Liberty Avenue
Penn-Liberty Historic District

Dear Mr. Regan:

Enclosed Please find the Application for Economic Hardship submitted on the behalf of Sonia Varrasso and Caterina Varrasso as related to the above listed property. Please file it with regard to the above captioned property.

If you have any questions with regard to the enclosed please do not hesitate to contact my office. Thanking you in advance

Sincerely,



Robert E. Pendergast

REP/ip

Enclosures

cc: Jason Zollett, Asst. City Solicitor

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for Certificate of Economic Hardship

Date Received: _____

Hearing Date: _____

Lot and Block No.: _____

ADDRESS OF PROPERTY:

941 Liberty Avenue
Pittsburgh, PA 15222

OWNER

Name: Caterina Varrasso
Address: 4769 Oakhurst Avenue
City, State, Zip Gibsonia, PA 15044
Phone: 412.487.7855
Email: None

APPLICANT

Name: Sonia Varrasso
Address: 4769 Oakhurst Avenue
City, State, Zip Gibsonia, PA 15044
Phone: 412.487.7855
Email: None

REASON FOR REQUEST:

The Commission's Partial denial of Sonia Varrasso's request for Certificate of Appropriateness to install a sidewalk café with an ATM will result in undue economic hardship on Sonia Varrasso and her business 941 Saloon Corporation. It is Ms. Varrasso's intent to redesign of the façade of the building in order to create an open air sidewalk café with the hopes of rejuvenate a slumping Restaurant/Bar business in the area. The design results in the elimination of a wall in which the current ATM is located. The new design incorporates the ATM into the exterior façade which provides access to the ATM to the general public. There is no other suitable location within the business within which to locate the ATM other than where it currently stands. All remaining walls are exterior walls, party walls or contain stairwells, restrooms and office space. These areas do not provide the wallspace or access necessary to install an ATM.

The HRC previously approved a similar design with same location of the ATM and a single door as an entryway. Ms Varrasso has purchased the smallest commercial ATM machine based on the recommendations of the HRC for approximately \$6,000.00. The façade design has not changed with regard to the ATM. Ms. Varrasso only resubmitted the design to comply with building inspection requests for a double door rather than a single door egress. In addition she determined to obtain approval for sign design.

Denial of the current design with the ATM will result in undue hardship as she has purchased an ATM that cannot be used and she will be losing between \$500.00 and \$800.00 in ATM fees per month which has helped to support the business in these difficult economic times. The abandonment of the project threatens the business in general as there continues to be no reason for suburbanites to stay in the City of Pittsburgh after working hours. This trend will continue if some changes are not made to draw people into to the Penn-Liberty Area

SIGNATURES


Caterina Varrasso Owner

Date 1-9-12


Sonia Varrasso Applicant

Date 1-9-12

REQUEST FOR ECONOMIC HARDSHIP

STANDARD TO BE APPLIED

Exterior Alterations other than Demolition, New Construction, Additions, and Relocation. The Commission shall only approve an application for a Certificate of Economic Hardship upon determination that the denial of the Certificate of Appropriateness for alterations has resulted in substantial hardship to the property owner.

EVIDENCE TO BE CONSIDERED

1. Estimated cost of proposed alteration (Non Inclusion of ATM)

- a. Build costs would be Minimal
- b. Approval of the Project without the ATM would result in losses as follows:
 - i. Losses from the purchase of ATM to suit HRC requests - \$6,000.00
 - ii. Losses in revenue generated from ATM machine Approx. \$500.00-800.00/month

2. Opinions from a licensed engineer or architect with experience in renovation, restoration or rehabilitation as to the structural soundness of any structures or objects on the property and their suitability for continued use, renovation, restoration or rehabilitation

N/A

3. Any estimates of the market value of the property in its current condition; after completion of the proposed alteration, construction, demolition, or relocation; after any expenditures necessary to comply with the recommendations of the Commission for changes necessary for it to approve a Certificate of Appropriateness; and in the case of a proposed demolition, after renovation of the existing property for continued use.

There is minimal affect on the value of the property in question for removal of the ATM the hardship would be as a result of the limiting the use of the property. in denying the use of the ATM. The denial would result in losses to the tenant and ultimately result of in the abandonment of the project. The propose of project was to rejuvenate business. The loss as a result is immeasurable.

4. In the case of a proposed demolition, any estimates from architects, developers, real estate consultants, appraisers, or other real estate professionals experienced in rehabilitation as to the economic feasibility of restoration, renovation or rehabilitation of any existing structures or objects.

None

5. **Any and all applicable zoning provisions, the possibility of modifications to zoning provisions and incentives available to the applicant.**

No Zoning provisions are at issue

ADDITIONAL EVIDENCE TO BE SUBMITTED

The applicant intends to submit the following information as evidence that the Commission's decision was arbitrary capricious an abuse of discretion and Contrary to law resulting in economic hardship to the applicant.

- a. The original approved plan letter and Certificate of Appropriateness.
- b. The current proposed Plan letter and Certificate of Appropriateness.



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

- Staff Use -

<p>DEADLINES: Completed Applications must be submitted 15 days prior to the next HRC hearing, when a hearing is required.</p>	<p>Date Received: <u>RECEIVED AUG 02 2010</u></p>
<p>FEE SCHEDULE: See attached. Please make check payable to <i>Treasurer, City of Pittsburgh.</i> Fee Paid: <u>\$ 240</u></p>	<p>Hearing Date: _____</p>
	<p>Lot and Block #: _____</p>

ADDRESS OF PROPERTY: 941 Liberty Avenue
Pittsburgh, PA 15222

HISTORIC DISTRICT: _____

OWNER

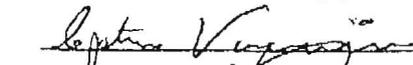
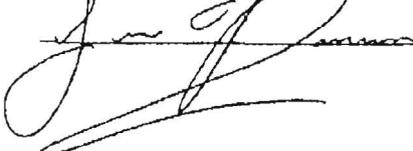
Name: Caterina Varrasso
 Address: 4769 Oakhurst Avenue
 City, State, Zip: Gibsonia PA 15044
 Phone: (412)487-7855 Fax: () -
 E-MAIL: _____

APPLICANT

Name: Sunny Varrasso
 Address: 4769 Oakhurst Avenue
 City, State, Zip: Gibsonia PA 15044
 Phone: (412)377-5168 Fax: (412)281-5222
 E-MAIL: 941tilden@gmail.com
941mbtil@gmail.com

REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED WORK: Paris to Pittsburgh, store front renovation

SIGNATURE , Owner DATE 7-27-10
, Applicant DATE 7-27-10



Division of Development Administration and Review
City of Pittsburgh, Department of City Planning
200 Ross Street, Third Floor
Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION

(Vacant), Chairman
Ernie Hogan, Vice Chairman
John Jennings, Secretary, Acting Chief BBI
Noor Ismail, Dir. Of City Planning
Arthur Sheffield, III
Linda McClellan
Joe Serrao

February 10, 2011

Sunny Varrasso
4769 Oakhurst Avenue
Gibsonia, PA 15044

**Re: 941 Liberty Avenue
Penn-Liberty Historic District**

Dear Ms. Varrasso:

As you are aware, on November 3, 2010 the Historic Review Commission of the City of Pittsburgh reviewed your proposal for renovations at the address listed above, located in the Penn-Liberty City-Designated Historic District.

By the authority granted to it, the Commission has approved your application and has issued a Certificate of Appropriateness for the work.

Enclosed, please find the Certificate of Appropriateness. A list of all of the exterior work approved the Commission (and its staff) is listed on the Certificate. You should show the certificate if and when you apply at the Zoning Counter and the Bureau of Building Inspection for a building permit; you should post the Certificate at the job site along with the building permit.

If you wish to modify any of the approved exterior work, please contact the Historic Preservation Office beforehand. Any unauthorized work, not in accordance with the Certificate of Appropriateness, may lead to the revocation of the building permit.

If you have any questions, please feel free to call (412-255-2243), or email makenzie.diehl@city.pittsburgh.pa.us

Sincerely,

Makenzie Diehl
Historic Preservation Office



HISTORIC REVIEW COMMISSION OF PITTSBURGH
CITY OF PITTSBURGH

CERTIFICATE OF APPROPRIATENESS

#11-007

Owner: Diego & Caterina Varrasso
Applicant: Sunny Varrasso
Building Inspector: Bob Molyneaux
Address of Property: 941 Liberty Avenue

Issue Date: February 9, 2011
Historic District: Penn-Liberty
Ward: 2nd
Block and Lot: 9-N-44

In accordance with Section 1.8 of Title Eleven – Historic Code of Ordinances of the City of Pittsburgh, the Historic Review Commission has reviewed the application for new construction, demolition, or exterior alterations submitted by the applicant, and has approved the following:

- Rehabilitation of the first floor storefront on the primary façade of the address listed above, as per drawings and specifications submitted to the Historic Review Commission on 3-November-10. To include:
 - Installation of black, aluminum NANA wall storefront system, and new entry door with transom window above.
 - Installation of 20 1/2" w x 36" h ATM. ATM shall be set in wall with brick surround to match the existing.
 - Installation of black, canvas awning to be mounted to existing brick piers.
 - Installation of channel letter wall sign, to be face mounted to brick. Letters shall be black, cut-out acrylic and individually back-lit.
 - One black, bead-board panel planter shall be installed at base of left pier.
- Details (including signage and lighting) and changes to the drawings shall be presented to the Historic Review Commission staff prior to construction.
- All work items must meet zoning and building inspection codes, and all other applicable laws and regulations.

This certificate must be presented to the Zoning Office and the Bureau of Building Inspection in order to obtain a permit.

**This Certificate EXPIRES six (6) months after Issue Date
PLEASE DISPLAY THIS CARD PROMINENTLY**

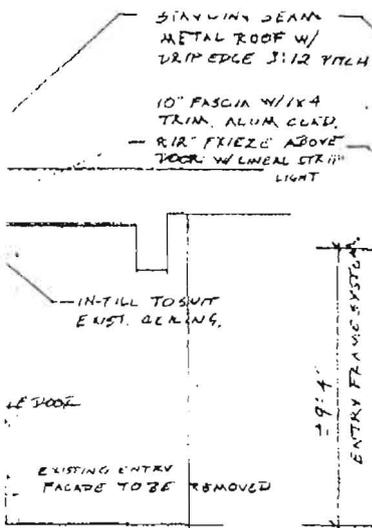
M. Diem

Staff of the Historic Review Commission

[Signature]
Secretary of the Historic Review Commission

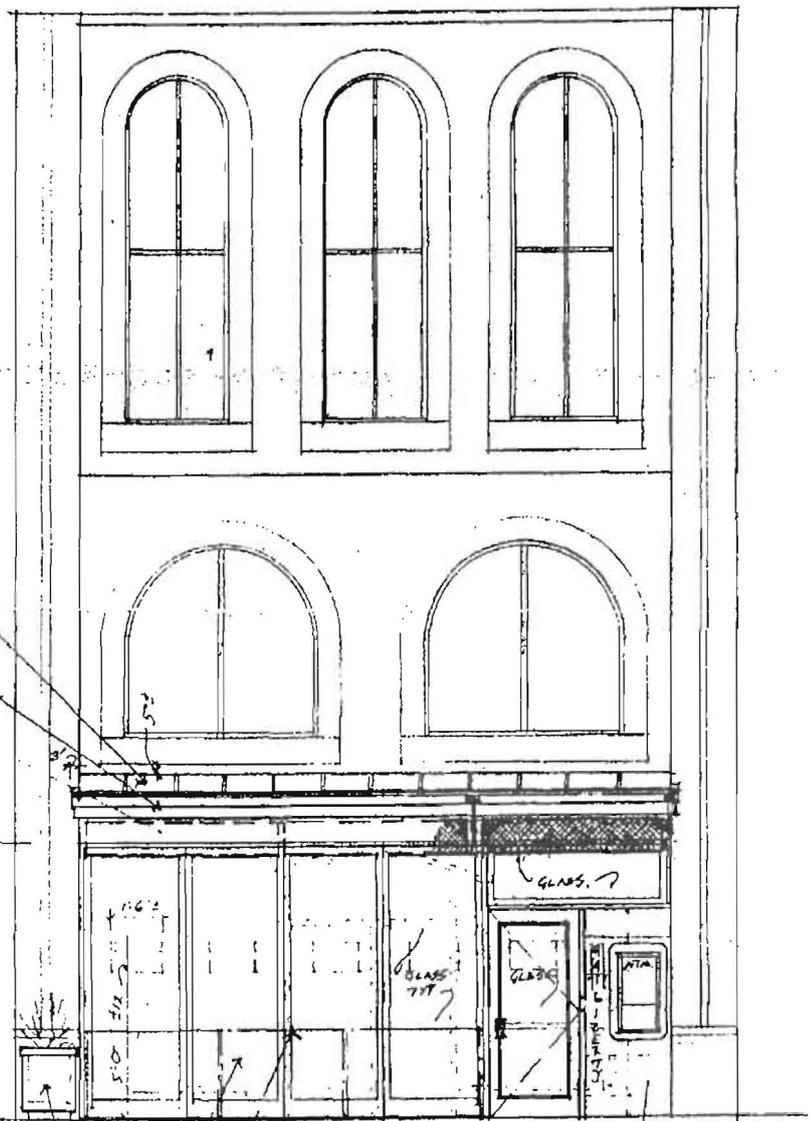
PROPOSED SIGNAGE

- LOGO ON GLASS PANELS (LOGO/NAME NOT YET DETERMINED) REVEALED ON FLOOR(S) REMOVED FILM/PAPER ON -NOT PERMANENTLY ETCHED INTO GLASS APPROX 18" x 10" EACH LOGO 5'-0" TO BOTTOM ABOVE THRESHOLD
- * DURING ADDRESS IDENTIFICATION, SHIP PALE MOUNTED DIE CUT LETTERS 24" W x 60" HIGH VERTICAL MOUNTING TO RIGHT OF ENTRY DOOR
- NO PROMINENT SIGNAGE ON UPPER FLOORS / AWNINGS



- 1ST BRICK PIERS / OPENLY LINE
- FRAME / CANVAS AWNING 3 EQUAL WIDTH TUNG PANELS 16'6\"/>
- TIGHTLY STRETCHED, NO BRACKETS HUNG FROM / FRIEZE, 9'-0\"/>

SECTION
14'-10"



- 36" H MOVABLE AWNING INTERIOR
- BLACK ALUM. FRAME FOLDING LOOK OPERABLE PANELS 2 3' x 9' x 1/2" PANELS, 1/2" STILES (HANA WALL SYSTEMS - SL45)
- MOVABLE PLANTER, VEGETATION MAX 48" ABOVE TAVING
- PROVIDE FOR EXTERIOR HOSE BIB, LOCATION TO BE DETERMINED
- EXIST BRICK PIERS NATURAL VENEER CLING TILE

ELEVATION
14'-10"

C

PROPOSED FACADE RENOVATIONS
941 LIBERTY AVENUE
PITTSBURGH PA 15222



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

- Staff Use -

DEADLINES:
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

FEE SCHEDULE: See attached
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid: \$ 240

Date Received: Sept 2, 2011

Hearing Date: _____

Lot and Block #: 9 - N - 44 2ND Ward

ADDRESS OF PROPERTY: 941 LIBERTY AVE
Pgh PA 15222

HISTORIC DISTRICT: _____

OWNER

Name: CATERINA VARRASSO

Address: 4769 OAKHURST AVE.

City, State, Zip: GIBSONIA PA 15044

Phone: (412) 303-0328 Fax: () -

E-MAIL: _____

APPLICANT

Name: SUNNY VARRASSO

Address: 4769 OAKHURST AVE

City, State, Zip: GIBSONIA PA 15044

Phone: (412) 377-5168 Fax: () -

E-MAIL: 9411filden@gmail.com

REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED WORK: FASCADÉ

SIGNATURE Caterina Varrasso, Owner DATE Aug 29, 2011

Sunny Varrasso, Applicant DATE Aug 29 2011

D



Division of Development Administration and Review
City of Pittsburgh, Department of City Planning
200 Ross Street, Third Floor
Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION

(Vacant), Chairman
Ernie Hogan, Vice Chairman
John Jennings, Secretary, Acting Chief BBI
Noor Ismail, Dir. Of City Planning
Arthur Sheffield, III
Linda McClellan
Joe Serrao

December 12, 2011

Sunny Varrasso
4769 Oakhurst Avenue
Pittsburgh, PA 15044

**Re: 941 Liberty Avenue
Penn-Liberty Historic District**

Dear Ms. Varrasso:

As you are aware, on December 7, 2011 the Historic Review Commission reviewed your application for proposed exterior renovations to 941 Liberty Avenue, located in the Penn-Liberty City Designated Historic District. The Commission approved a portion of your application, but denied the installation of the ATM in the façade of the building. The Commission members encouraged the installation of an ATM in the building's interior, which would be outside of the jurisdiction of the Historic Review Commission.

Enclosed please find the Certificate of Appropriateness authorized by the Commission at that meeting. It lists all of the exterior work approved by the Commission. If you wish to modify any of the approved exterior work, please contact the Historic Preservation Office beforehand. Any unauthorized work, not in accordance with the Certificate of Appropriateness, may lead to the revocation of the building permit.

Appeals from the decisions of the Historic Review Commission may be made to the Court of Common Pleas.

Thank you for your cooperation. If you have any questions, please feel free to call me at 412-255-2243.

Sincerely,

Sarah Quinn
Historic Preservation Planner

E



HISTORIC REVIEW COMMISSION OF PITTSBURGH CITY OF PITTSBURGH

CERTIFICATE OF APPROPRIATENESS

#11-118

Owner: Diego & Caterina Varrasso
Applicant: Sunny Varrasso
Building Inspector: Bob Molyneux
Address of Property: 941 Liberty Avenue

Issue Date: December 13, 2011
Historic District: Penn-Liberty
Ward: 2nd
Block and Lot: 9-N-44

In accordance with Section 1.8 of Title Eleven - Historic Code of Ordinances of the City of Pittsburgh, the Historic Review Commission has reviewed the application for new construction, demolition, or exterior alterations submitted by the applicant, and has approved the following:

- Renovation of primary facade as presented to the Historic Review Commission on 7-December-2011:
 - o Demolition of existing storefront and installation of anodized aluminum NANA wall storefront system. New storefront shall have clear glass double entry doors. All brick shall be reclaimed and reused as needed.
 - o Modification of second floor windows to provide room for signage. Window sills shall be raised by approximately 13 3/4", shortening windows to a height of 5'10 1/4". New windows should match originals in every possible way, including the same sash and pane configuration and other design details: size, shape, function, and profile (muntins, frames, sashes, etc). Salvaged brick shall be installed in newly created sign band space.
 - o One moveable planter constructed of painted black wood and beadboard panels shall be placed at base of western masonry pier.
 - o Installation of retractable, black canvas awning above storefront.
 - o Installation of channel letter wall sign. 22" h brushed stainless steel letters shall be individually back-tilt. Letters shall be individually mounted to the building in the least invasive method possible. Applicant will anchor letters to masonry joints, rather than to brick. Final sign drawings and details shall be presented to staff to the HRC prior to installation.
- All work items must meet zoning and building inspection codes, and all other applicable laws and regulations.

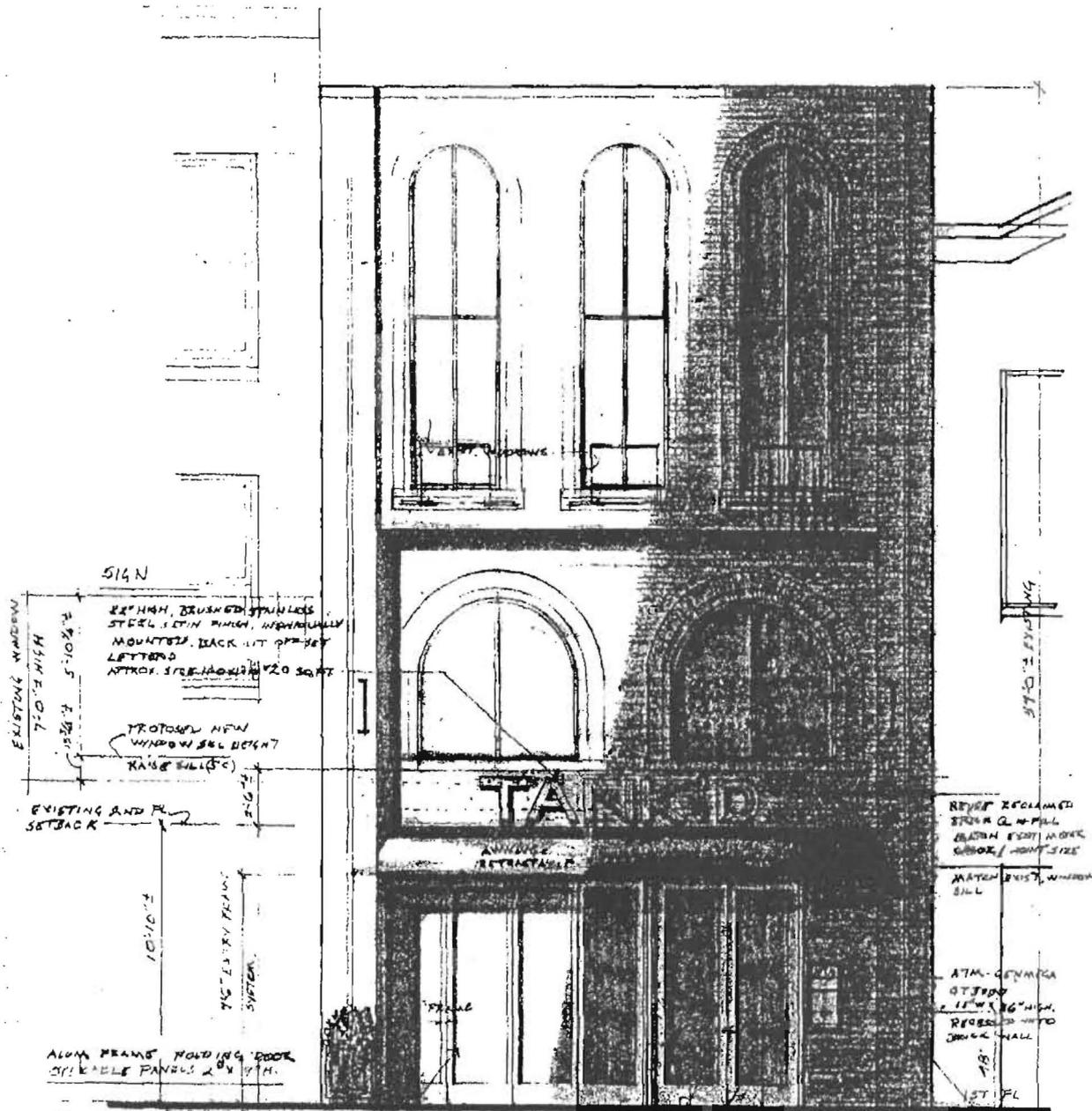
This certificate must be presented to the Zoning Office and the Bureau of Building Inspection in order to obtain a permit.

This Certificate EXPIRES six (6) months after Issue Date

PLEASE DISPLAY THIS CARD PROMINENTLY

Staff of the Historic Review Commission

Secretary of the Historic Review Commission



ALUM. FRAMES, FOLDING DOOR
 OPERABLE PANELS 2' x 4' H.

NANA WALL SYSTEM #170
 CLEAR ANODIZED ALUM. FINISH.
 LOW PROFILE THROUGHOUT

ELEVATION

1/4" = 1'0"

MANULABLE PLANTER BOX,
 14" x 510 x 216" HIGH - WOOD-
 PAINTED BLACK - VEGETATION 18"
 MAX. ABOVE SIDEWALK.

RECLAIM EXIST BRICK
 AT NEW WALL.

EXIST BRICK
 TIERED REMAIN
 TYPICAL.

EXTENSION HOW 213
 RECESSED INTO
 OFFSET OF BRICK PIECE





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received 15 days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: *Treasurer, City of Pittsburgh.*

ADDRESS OF PROPERTY:

4360 Centre Avenue
 Pittsburgh, PA 15213

OWNER:

NAME: Marion Lee Spangler
 ADDRESS: 4360 Centre Avenue
 Pittsburgh, PA 15213
 PHONE: 914-844-7451
 EMAIL: leespangler@gmail.com

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

Schenley Farms

APPLICANT:

NAME: Elise Keely, E. K. Smith Landscape Design
 ADDRESS: Persimmon Road
 Sewickley, PA 15143
 PHONE: 412-741-6030
 EMAIL: eksmithlandscapedesign@verizon.net

REQUIRED ATTACHMENTS:

Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

[See attached documents]

SIGNATURES:

OWNER: M. Lee Spangler DATE: 4-11-12
 APPLICANT: Elise Keely DATE: 4-11-12

April 13, 2012

Historic Review Commission of Pittsburgh
Division of Development Administration and Review
City of Pittsburgh, Department of City Planning
200 Ross Street, Third Floor
Pittsburgh, Pennsylvania 15219

To Whom It May Concern:

Enclosed please find an application for repair and restoration work on my home at 4360 Centre Avenue in the Schenley Farms Historic District. Included are current photographs of the property with renderings, a site plan, and a detailed description of the proposed work.

For your reference, I have retained the services of the following:

Elise Keely, E.K. Smith Landscape Design
810 Persimmon Road
Sewickley, PA 15143
www.eksmithlandscapedesign.com
elisekeely@verizon.net
412-741-6030

Becker Construction Company
540 Delwar Road
Pittsburgh, PA 15236
412-882-6800

Nick Scotti Concrete
3041 Canterbury Drive
Allison Park, PA 15101
412-485-1962

Ms. Keely has indicated she would be happy to answer any questions regarding the design or choice of materials. Of course, please do not hesitate to contact me with any questions or concerns.

Thank you very much for your time and consideration.

Sincerely,



M. Lee Spangler

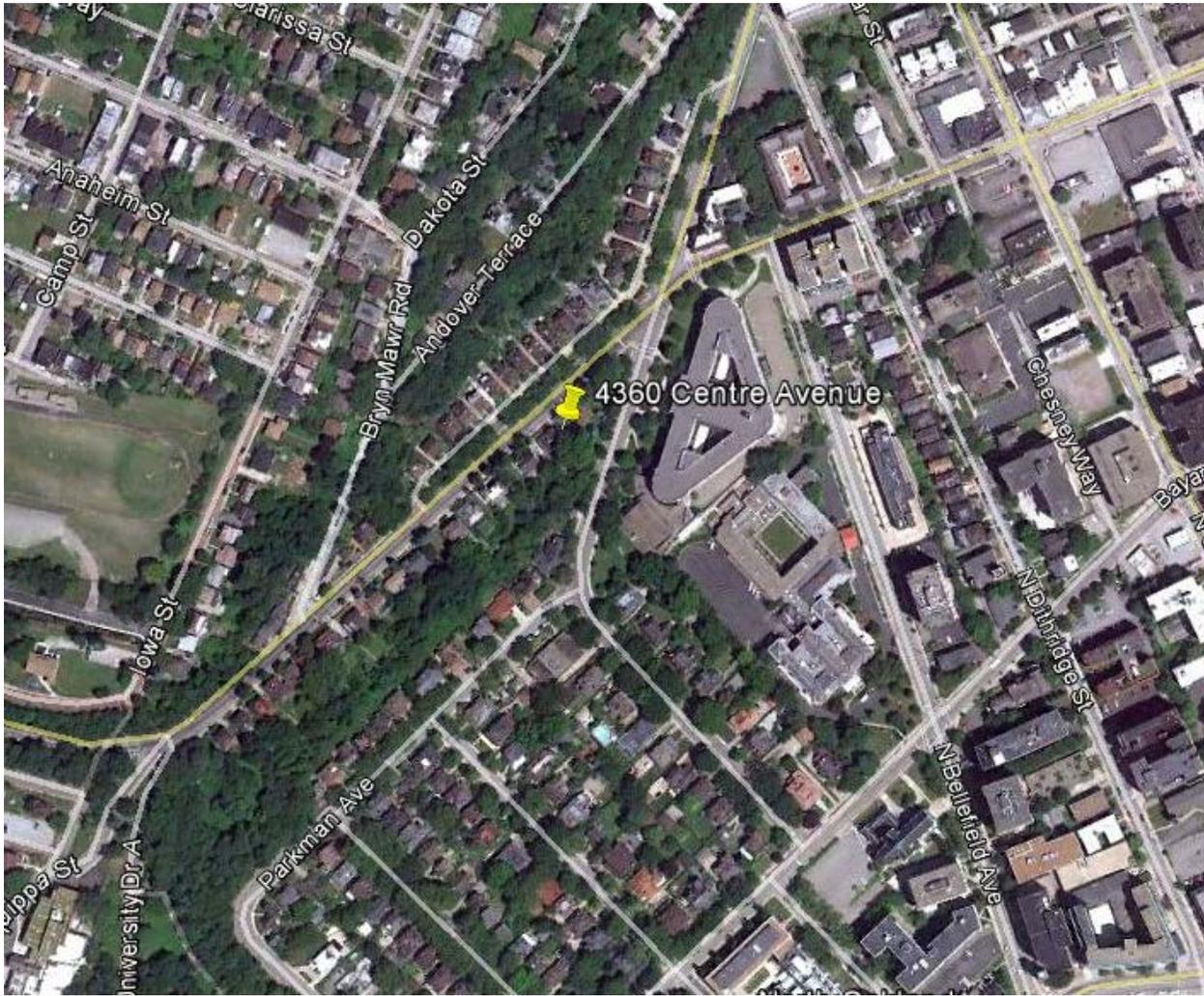
Detailed Description of Work

4360 Centre Avenue

M. Lee Spangler, Owner

Elise Keely, E. K. Smith Landscape Design, Applicant and Landscape Architect

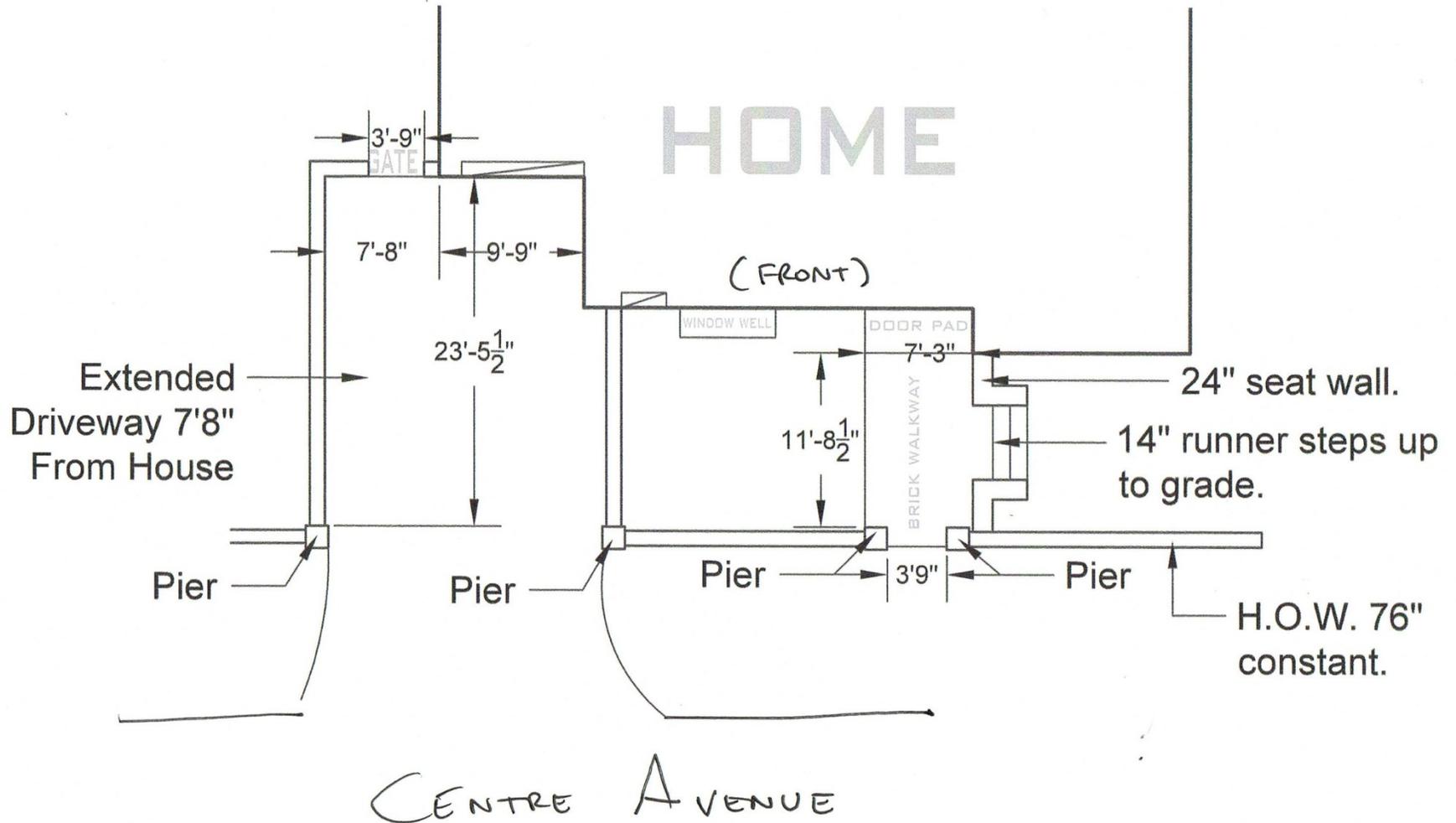
- Re-build brick wall along Centre Avenue in front of home. Bricks to be used will match existing structure. The English Cross Bond masonry pattern and new limestone caps will be in keeping with the style along the length of Centre Avenue.
- Repair of retaining wall to the right of driveway (west) and construction of a new wall, as drawn, to the left of the driveway (east), increasing the overall width of the driveway. Bricks, bond pattern, and limestone caps will match the wall along Centre Avenue.
- Re-use of current wrought iron gate (Gate A) in front of kitchen entrance at the rear of the driveway to provide access to the rear garden area. Gate B to the main front entrance will be re-used in the same location.
- Removal of current front entry to the kitchen (added in the early 1980s) and widening of the current kitchen casement windows facing Centre Avenue, as per enclosed renderings. The windows used will match the size, trim, and character of current windows. These new windows will be Marvin's Ultimate Replacent Casement Windows with Simulated Divided Light, with exterior cladding in White.
- New concrete driveway.
- Construction of two 14" deep limestone runner steps up to grade in the entry courtyard with adjacent 24" limestone capped seat walls.





Brick Walkway: 85 SQ'
Driveway: 365 Total SQ'

(BACK)



ek smith landscape design

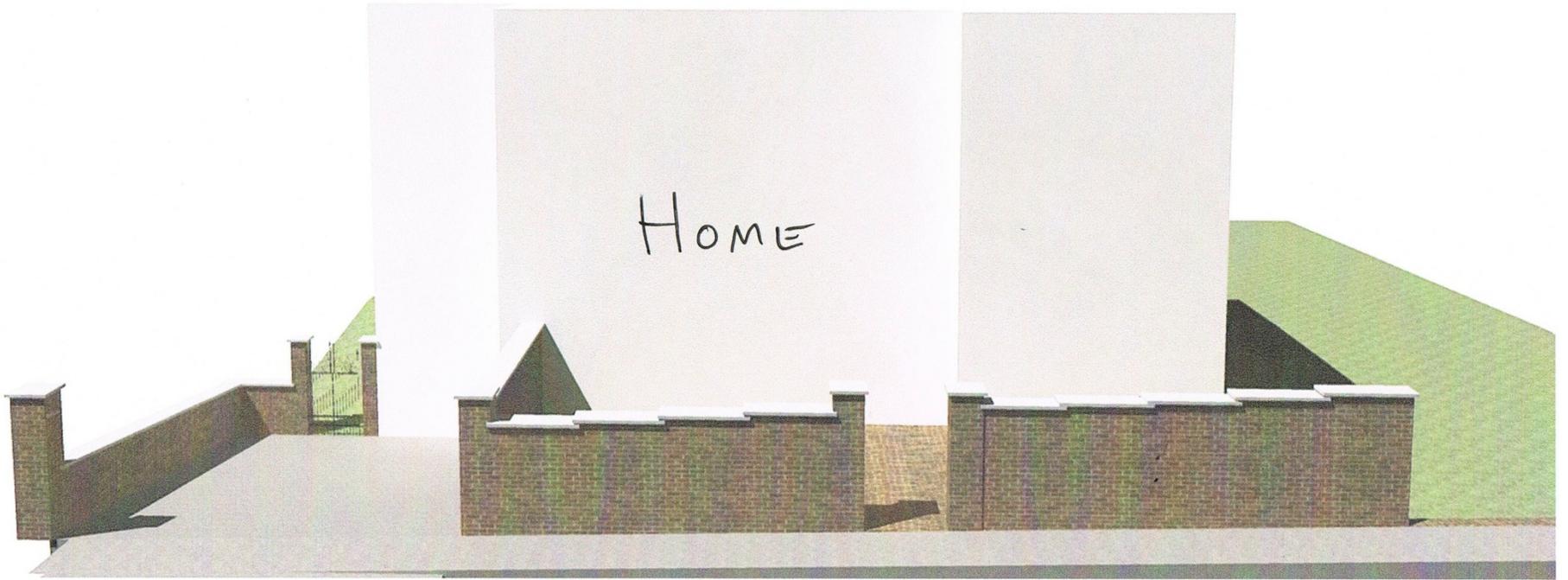
April 3, 2012
Scale: 1"=10'
Spangler Residence
Construction Drawing Front



ek smith landscape design

Spangler Residence
Support Drawing 5 of 5

FRONT ELEVATION



CENTRE AVENUE

HOME

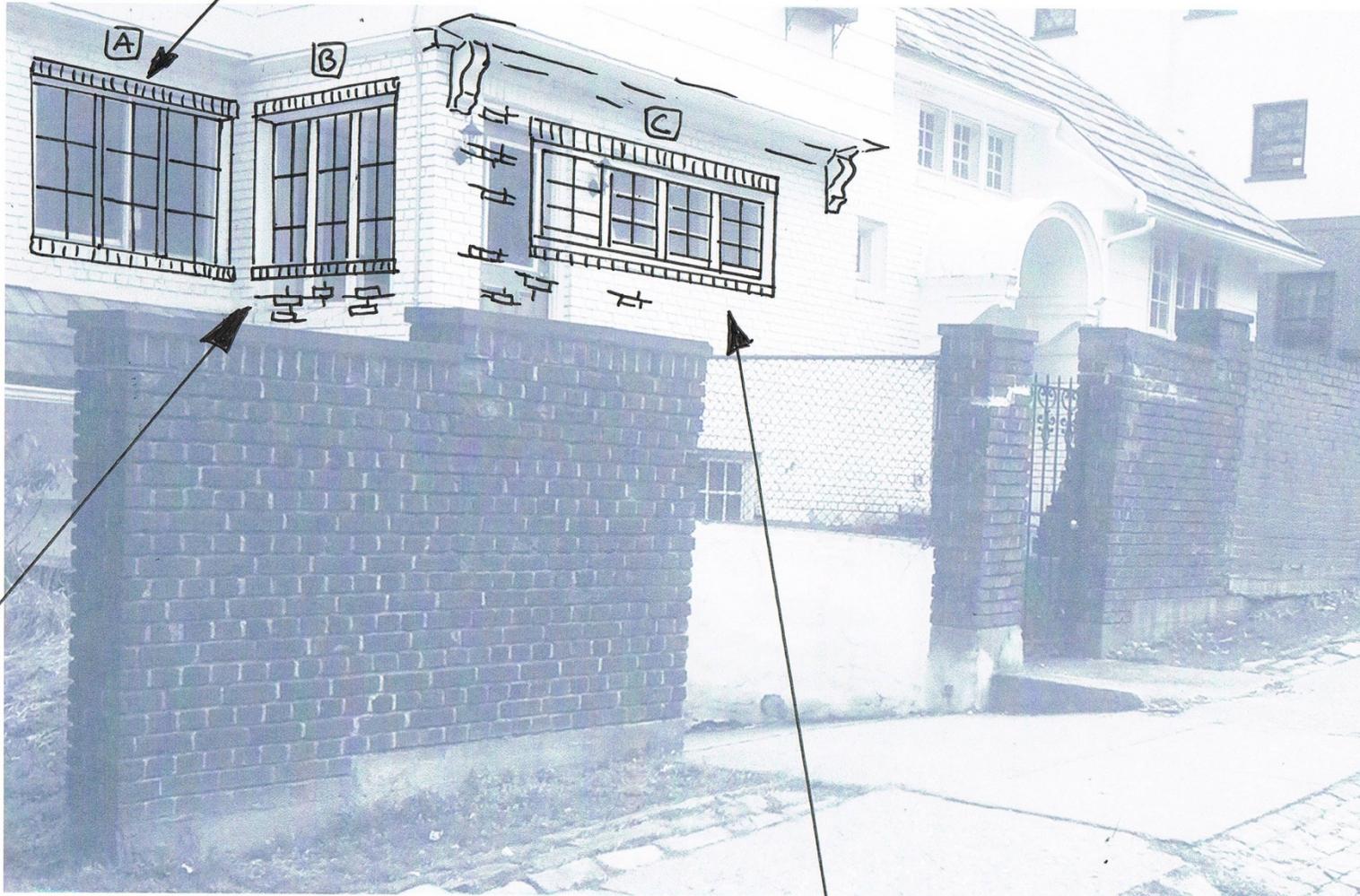


ek smith landscape design

Spangler Residence
Support Drawing 4 of 5

Proposed front elevation, looking west from Centre Avenue

INSTALL BRICK HEADER
ON **A** TO MATCH EXISTING
ON **B**. REPLACE WINDOWS.



INSTALL BRICK SILL
ON **B** AT HEIGHT OF
SILL ON **A**. REPLACE
WINDOWS. (**NEW
WINDOWS AT **A** AND **B** WILL MATCH IN SIZE.)

FAR LEFT WINDOW IN **C** WILL
MATCH 3 EXISTING WINDOWS' SIZE
AND STYLE; ALL TO BE NEW.
EXISTING DOOR AND LIGHTS TO BE
REMOVED AND REPLACED WITH MATCHING
BRICK STYLE AND BOND.

Proposed window product for installation and replacement:



The windows pictured (taken from www.marvin.com) will be similar to what would be installed: Marvin-brand casements with single-divided-lights (exterior and interior), wooden interiors, and white cladded exteriors. The windows in the “A” and “B” window sockets (as seen on the prior page) would be Marvin’s Ulitmate Casement, with 3 windows in a row, a 2 x 3 lite configuration, and fitting into a 67” x 47.5” rough opening. The windows in the “C” socket would be 4 individual Marvin Ulitmate Casement Replacements, also a 2 x 3 lite configuration (to match the existing 3), and each fitting into a socket of 24.5” x 28”.

CURRENT PLAN & PICTURE KEY

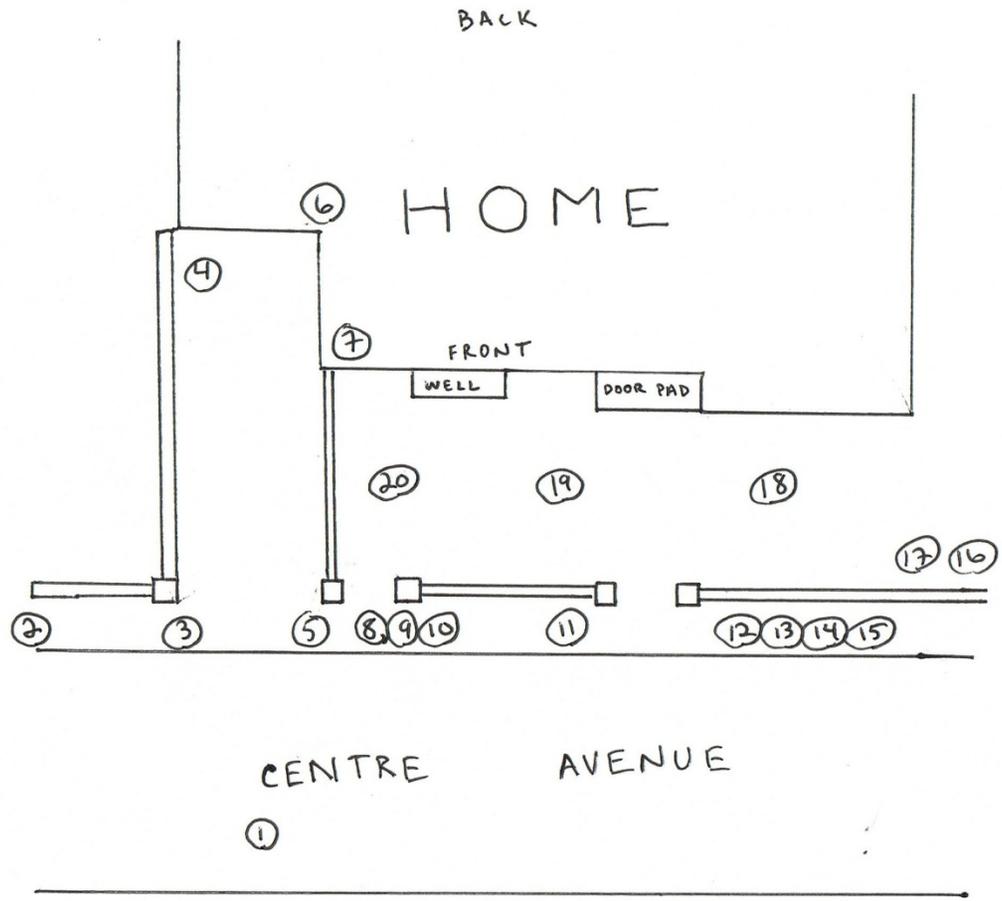


Photo 1: View from Centre Ave.



Photo 2: View from Centre Avenue



Photo 3: East driveway retaining wall



Photo 4: Base of east driveway retaining wall



Photo 5: West driveway retaining wall, view from street



Photo 6: West driveway retaining wall from home



Photo 7: West driveway retaining wall from home



Photo 8: Front wall, looking west



Photo 9: Gate to be removed during renovation



Photo 10: Gate to be removed, view from Centre Avenue sidewalk



Photo 11: Front wall, damaged and repaired prior to purchase with mismatching brick style and bond



Photo 12: Front wall, damaged brick



Photo 13: Front wall, view from Centre Avenue sidewalk, detail of damaged brick



Photo 14: Front wall, view from Centre Avenue sidewalk, detail of damaged brick



Photo 15: Front wall, view from Centre Avenue sidewalk, detail of damaged brick



Photo 16: Front wall, view from entry courtyard, detail of damaged brick



Photo 17: Front wall, view from entry courtyard, detail of damaged brick



Photo 18: Front wall, view east in entry courtyard



Photo 19: Front wall, view from entry courtyard, portion of wall damaged and repaired with mismatching brick style and bond



Photo 20: Front wall, view west in entry courtyard



1321 N. Franklin Street

Overhead View



1321 N. Franklin Street



1321 N. Franklin Street



1321 N. Franklin Street



1321 N. Franklin Street



1321 N. Franklin Street

