



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room
July 11, 2012

AGENDA

(Vacant), *Chairman*
Ernie Hogan, *Acting Chairman*
Noor Ismail, *Director of Planning*
John Jennings, *Secretary, Acting Chief BBI*
Linda McClellan
Arthur Sheffield
Joe Serrao

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business

- None

New Business

- Approval of the Minutes from the June 2012 hearing
- Certificates of Appropriateness Report – June
- Applications for a Certificate of Economic Hardship - None

Upcoming Demolitions, no action at this time

- None

➤ **1:00 PM HEARING & ACTION**

- 1. One Step Program**
Richard Meritzer, ADA Planner
Amaris Whitaker, intern
Over-the-counter approval
- 2. Deutchtown Historic District**
415 Avery Street
Lisa Struriale, owner
SureGreen Construction, applicant
After-the-fact door replacement and glass block installation
- 3. East Carson Street Historic District**
1500 Bingham Street
Bingham Partners, owners
Justin Cipriani, applicant
Renovation to accommodate condominiums
- 4. East Carson Street Historic District**
97 South 19th Street
Thomas Jackson, owner
Expert Painting and Remodeling, applicant
Roof dormer and deck installation
- 5. East Carson Street Historic District**
1401 East Carson Street
Jay Vetere, owner and applicant
Fire escape and canopy installation
- 6. Manchester Historic District**
1408 N. Franklin Street
Seth Ganley, owner and applicant
Installation of fencing
- 7. Manchester Historic District**
1416 N. Franklin Street
Michelle Murphy, owner
Bill Miller, applicant
Tabled: Installation of non-compliant windows
- 8. Mexican War Streets Historic District**
1246 Resaca Place
John and Marirose Radelet, owner and applicant
Construction of a new shed

9. Oakland Civic Center
315 Bellefield Avenue
University of Pittsburgh, owner
Dino Bagatti, applicant
Installation of window louvers

10. Penn-Liberty Historic District
907-909 Penn Avenue
Penn Avenue Renaissance, owner
Indovina Associates, applicant
Continued: Installation of non-compliant balconies and construction of a two story penthouse

11. Penn-Liberty Historic District
920 Fort Duquesne Boulevard
920 Fort Duquesne Associates, owner
Designstream LLC, applicant
Façade renovations

12. Schenley Farms Historic District
4220 Centre Avenue
Enrico Novelli, owner
Rich Neher, applicant
Installation of non-compliant windows

➤ **DEMOLITIONS**

➤ **DIRECTOR'S REPORT**

➤ **ADJOURNMENT**

The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public. INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

Please contact Sarah Quinn with questions and comments: 412-255-2243
sarah.quinn@city.pittsburgh.pa.us

One Step Project Presentation:

Historic Preservation Review Commission

Executive Summary



The ADA Coordinator Office for the City of Pittsburgh wants to introduce the City's initiative, The One Step Project. This initiative strives to encourage business owners to remove one step from store front entrances. We will present the One Step Project during the Hearing portion of the July Historic Review Commission meeting to receive feedback on how this initiative can be successful regarding historic districts.

We want to discuss the One Step Project with the Historic Review Commission because the unique needs of redevelopment in historic districts are a priority to the ADA Office.

- We understand the importance of careful planning in modifying historic buildings, and contextual design features are first in mind with our work to make store entrances more accessible for people with disabilities.
- We are presenting to the Historic Review Commission because The ADA Office wants to ensure the development of this partnership effortlessly extends to businesses in historic commercial districts, like Allegheny West and East Carson Street.



The ADA Coordinator's Office is the first in the nation to develop a partnership with businesses with the aim to improve access for individuals who use assistive devices, like motorized wheelchairs. One Step hopes to serve as a model for other initiatives to come. The ADA Coordinator's Office within the Department of City Planning created the One Step Packet to assist business owners who want to create barrier-free entry into their businesses, to increase revenues (See Appendix A).



According to research, the amount of wheelchair users range from 1.6 million to 3.3 million users in the United States, while approximately 10.2 million people (4.4% of Americans) use a cane, crutches, or walker to assist with mobility (Bacon, 2012; Kaye, Kang, & LaPlante, 2002; Brault, 2008). Most businesses are not aware that it is impossible for a consumer who uses assistive devices to patronize a business with a one-step entrance. The Americans with Disabilities Act, a federal law, was designed to ensure rights of persons with disabilities. The act urges private businesses to perform "readily achievable" accommodations required by Title III. The requirements have been in effect since January 26, 1992, and any customer business can face legal repercussions from disabled private citizens if not compliant under the federal law.



If business owners want to remove one step from their entrances, the One Step Project wants to help:

- The ADA Office compiled an informative packet to educate and assist business owners with the process.
- The ADA Office passed legislation to waive fees involved the submission process.
- The ADA Office simplified the submission process, making the ADA Office the “One Step” submission point (See Appendix B).
- The ADA Office compiled a resource list of architects willing to construct official drawings of construction plans at a reduced cost.

Objectives for Presentation:

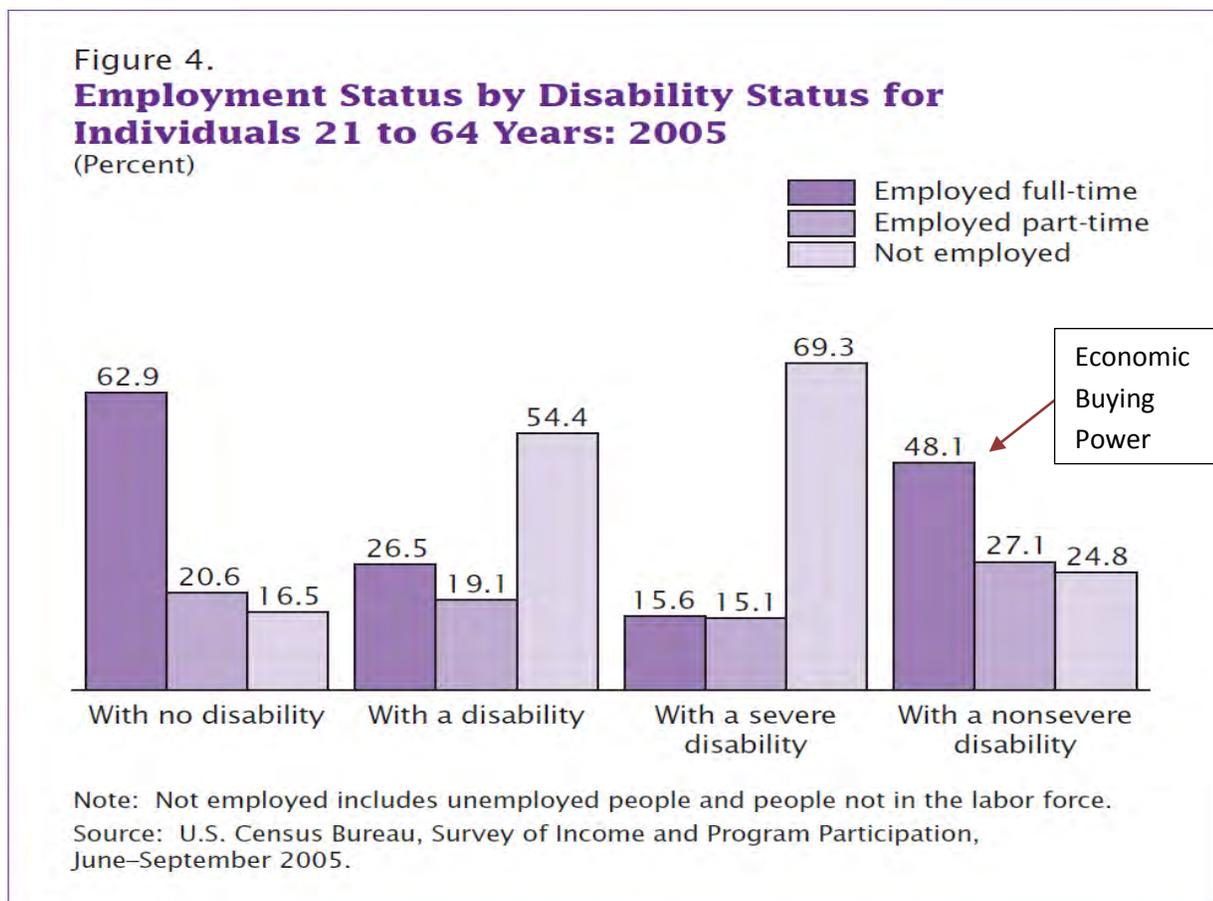
The Historic Review Commission’s approval is the last piece needed to complete the revised submission process. How can Historic Preservation fit within the One Step Project?

1. To make the process easier and more attractive to businesses, we ask for One Step Applications to be reviewed over the counter through Staff Review, as opposed to brought in front of the Commission every time.

Note: Both the ADA Office and the Historic Preservation Staff understands the need to be **highly selective** in the materials used to replace the one step entrance. We emphasize the importance of any installed ramp fitting the contextual appearance of the store front.

2. The ADA Office wants to pre-review applications to ensure that only One Step Applications are being submitted to this special process. One Step applications are **only** projects that remove only one step from their entrances.

Appendix A



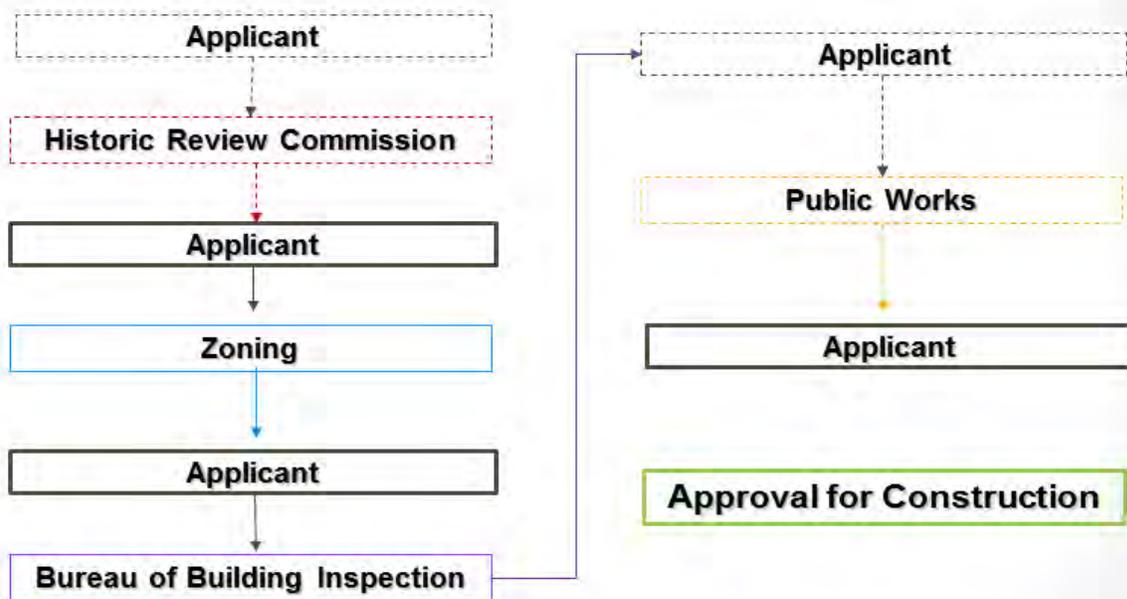
Source: Brault, M. (2008). Current Population Reports. *Americans with Disabilities: 2005 - Household Economic Studies*, December, 1-24. Retrieved May 6, 2012, from <http://www.census.gov/prod/2008pubs/p70-117.pdf>

The Census provides demographics that illustrate the economic buying power of people with disabilities, power that is often deterred with the existence of barriers. Out of all Americans between ages 21-64, more than 28 million have some sort of physical, cognitive, or sensory disability, ranging from mild to severe. Out of those 28 million, 12 million are employed, processing expendable income that translates into purchasing power. Delving further into demographics, 26% of people with disabilities are employed full-time. Having a non-severe disability increases the chances of having full-time employment, with the percentage increasing to 48% (Brault, 2008; Also see Appendix A).

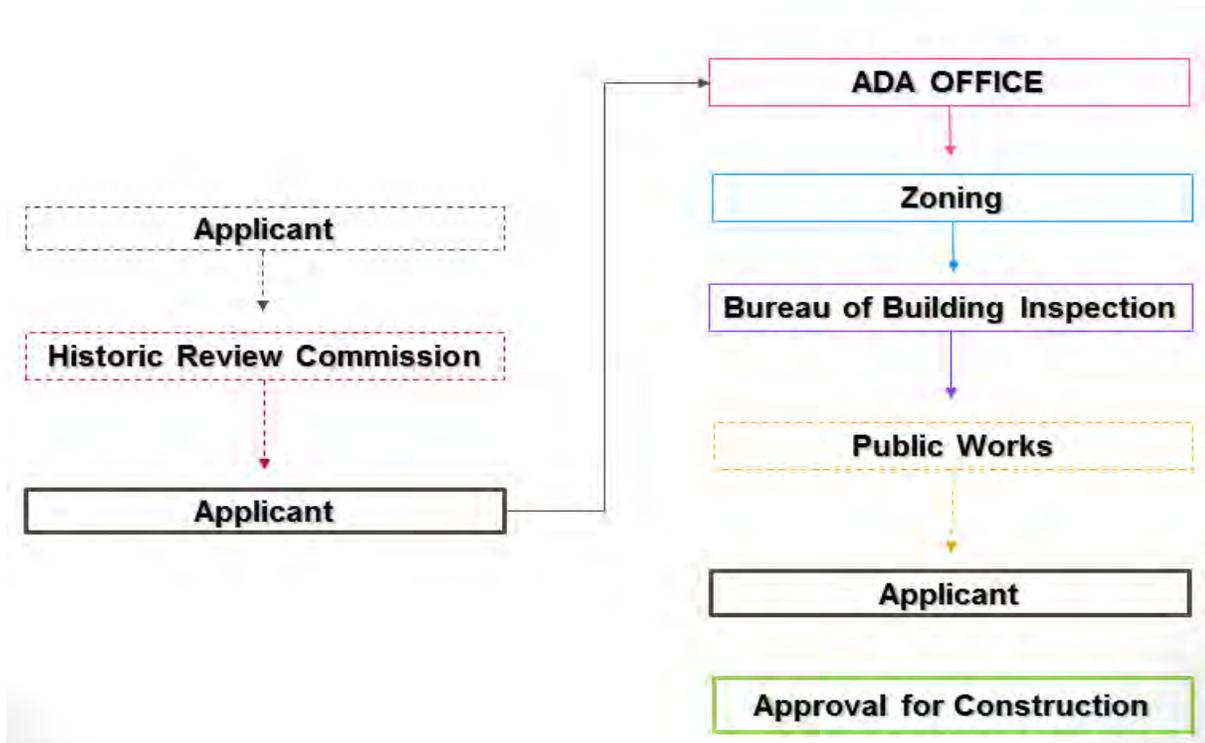
Whether it is earned income from full-time employment or government assistance received in certain circumstances, the disability community possesses expendable income and the existence of structural barriers prevents businesses from receiving this substantial purchasing power. For businesses that have a one-step entrance, they lose the opportunity to serve this customer base, and lose a noticeable portion of profit. Thus, the City of Pittsburgh has created and worked diligently on the One Step Project to assist businesses that need help removing architectural barriers that inhibit economic earning potential.

Appendix B

Traditional Submission Process

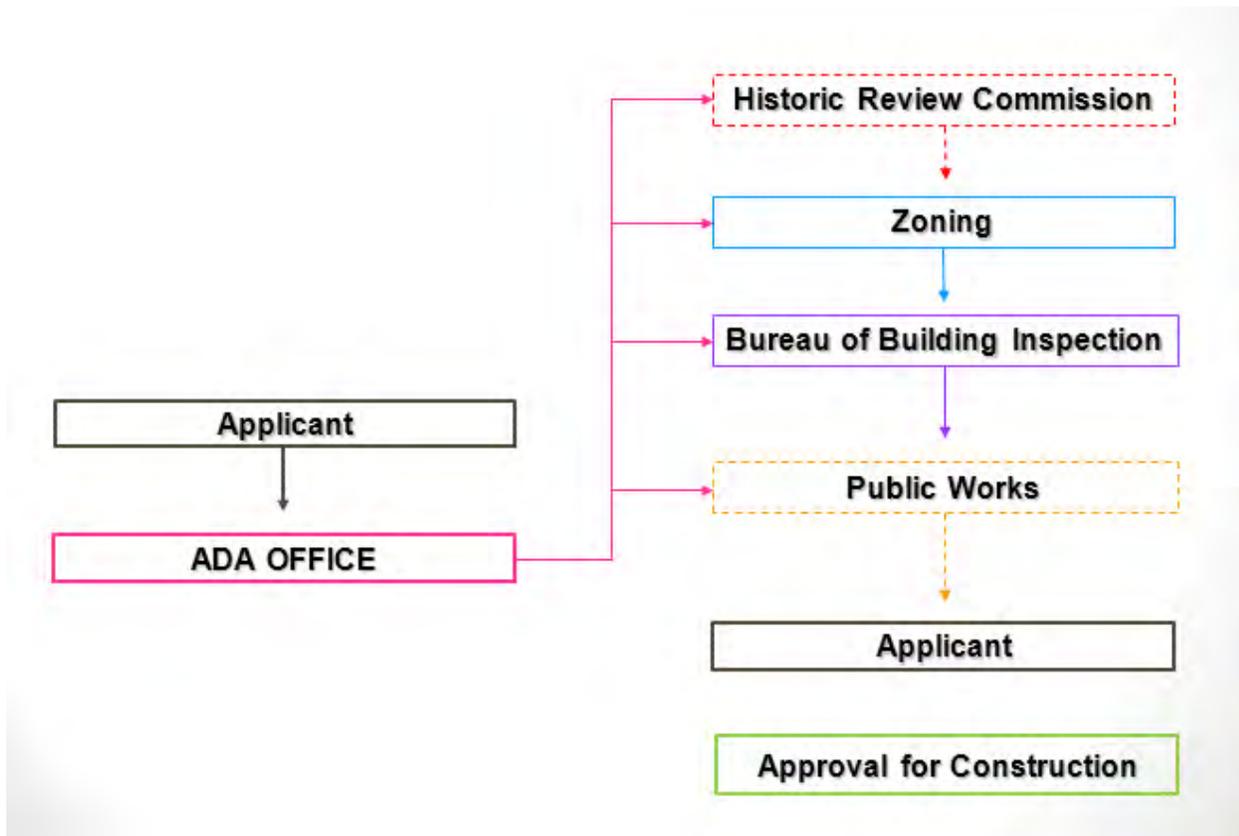


Currently Approved One Step Submission Process



Appendix B, Cont.

Goal for One Step Submission Process



For More Information on the One Step Project, View:

<http://vimeo.com/30074935>



Division of Development Administration and Review
City of Pittsburgh, Department of City Planning
200 Ross Street, Third Floor
Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: 100

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

415 Avery
Pittsburgh, PA 15212

DISTRICT:

Deutchtown Historic District

OWNER:

NAME: LISA STURIALE

ADDRESS: 415 Avery
Pittsburgh, PA 15212

PHONE: (412) 443-3334

EMAIL: lsturiale@deloitte.com

APPLICANT:

NAME: Surgreen Construction

ADDRESS: 12300 Perry Hwy, Ste 211
Wexford, PA 15090

PHONE: (724) 934-0900

EMAIL: tim.shIPLEY@surgreen.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

- 1) Installation of glass block basement windows.
- 2) Replace front door.

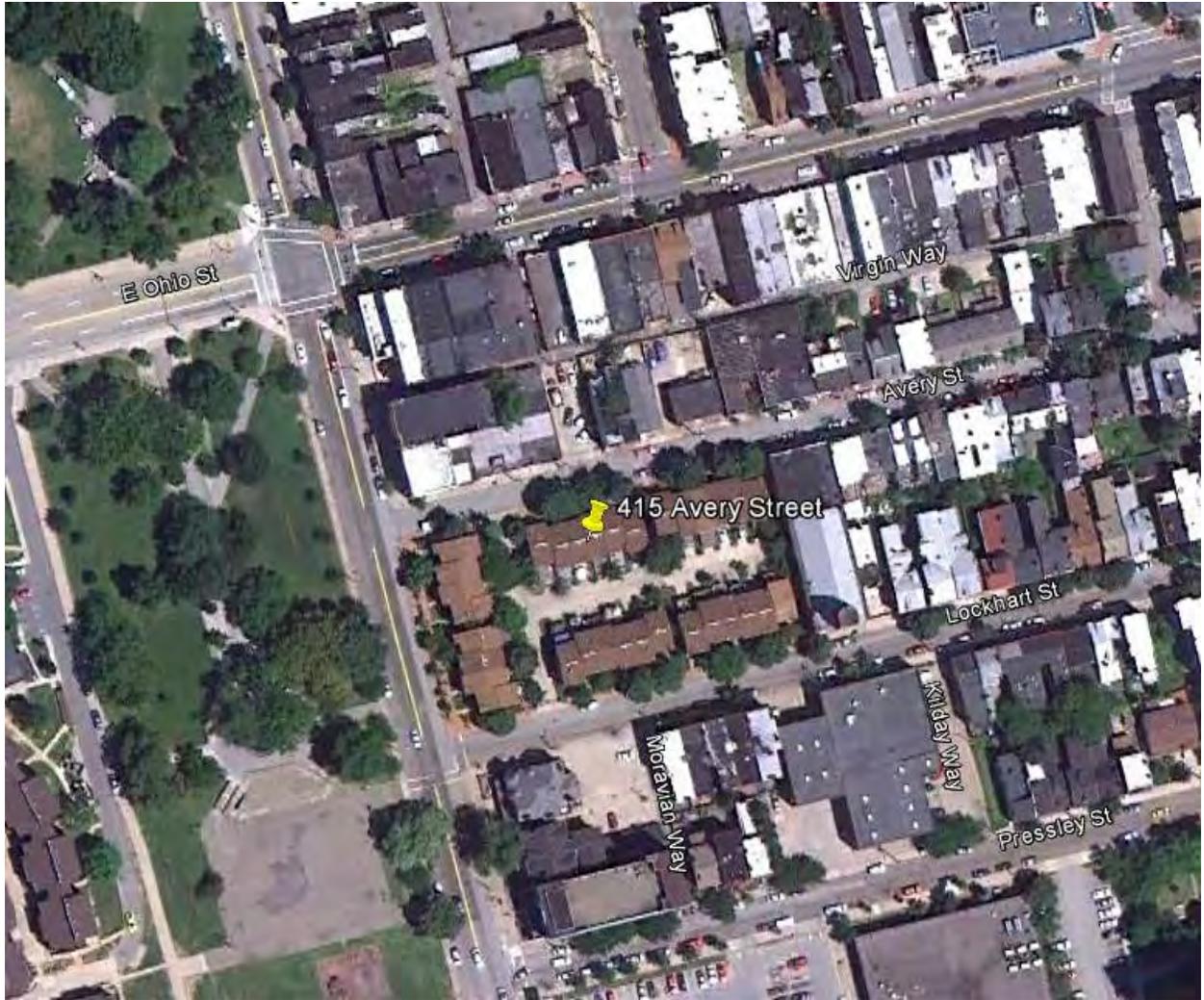
SIGNATURES:

OWNER: Lisa Sturiale

DATE: 6-4-12

APPLICANT: Tim Shiple

DATE: 6-4-2012













427



GUARDIAN
1-800-PROTECT









Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1500 Bingham Street
 Pittsburgh, PA 15203

OWNER:

NAME: 1500 Bingham Partners, LP
 ADDRESS: 223 Fourth Ave
 Pittsburgh, PA 15222
 PHONE: o (412) 471-2442
 EMAIL: rpmills@millshenry.com

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

Southside/ the East Carson Designated Historic District

APPLICANT:

NAME: Justin Cipriani/ Permier Architecture
 ADDRESS: 1273 Washington Pike, No. 202
 Brideville, PA 15017
 PHONE: o (412) 257-9010/ c (510) 459-6271
 EMAIL: justin@ciprianistudios.com

REQUIRED ATTACHMENTS:

Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Renovation and vertical extension to existing (2) level masonry garage. Proposed structure to be
 (5) residential units on (3) levels w/ mezzanine and roof deck. (7) parking spaces provided.

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: _____ DATE: _____



Project Description for the Renovation of
1500 Bingham Street (3-H-99)

Located within the East Carson Street City Designated Historic District

Existing Features:

- Mid century masonry construction
- Two story building
- Four garage bay layout on ground floor
- Clear span open plan on level two
- Flat membrane roof; damaged from deferred maintenance
- Brick is light colored and weathered; damaged from deferred maintenance
- Ground floor garage doors vary in material; damaged from deferred maintenance
- Metal factory windows; damaged from deferred maintenance
- MEP mostly gone; damaged from deferred maintenance

Proposed Features

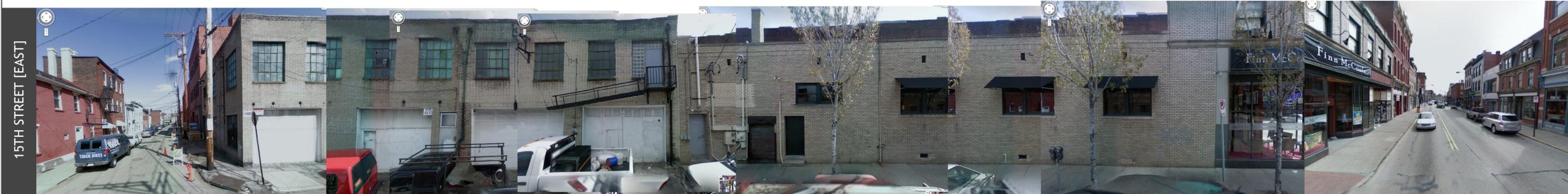
- Vertical extension to provide 3rd level on south half of building (three rental units total)
- Vertical extension to provide 3rd level and mezzanine on northern half of building (owner occupied unit)
- Garage bays to be maintained; doors replaced with new insulated doors
- New flat membrane roofing
- Brick/ mortar color to be matched where new brick required
- Light color panel siding to used everywhere else
- New metal windows in existing openings
- New MEP throughout building

1500 BINGHAM

1500 BINGHAM STREET PITTSBURGH, PA 15203

JMAC
ARCHITECTS

CIPRIANISTUDIOS
1273 WASHINGTON PIKE, No. 202
BRIDGEVILLE, PA 15017
T. 510.459.6271
E. INFO@CIPRIANISTUDIOS.COM



15TH STREET [EAST]

BINGHAM STREET

SUBJECT PROPERTY
1500 BINGHAM ST.

1501 E. CARSON ST.

E. CASRON STREET

ISSUE	DATE
SCHEMATIC	4.10.12
ZONING SET	5.8.12



15TH STREET [WEST]

E. CASRON STREET

1417 E CASRON STREET

70 S. 15TH STREET

60 S. 15TH STREET

BINGHAM STREET

1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : STREETSCAPE



BINGHAM STREET [SOUTH]

S. 16TH STREET

1505 BINGHAM ST.

SUBJECT PROPERTY
1500 BINGHAM ST.

S. 15TH STREET

SCALE : NA

A 0.0

SHEET



JMAC
ARCHITECTS

1273 Washington Pike
Bridgeville, PA 15017

CIPRIANISTUDIOS

1273 WASHINGTON PIKE, No. 202
BRIDGEVILLE, PA 15017
T. 510.459.6271
E. INFO@CIPRIANISTUDIOS.COM

ISSUE	DATE
SCHEMATIC	4.10.12
ZONING SET	5.8.12

**1500
BINGHAM**
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : RENDERING

SCALE : NA

A 0.2

SHEET



JMAC ARCHITECTS

1273 Washington Pike
Bridgeville, PA 15017

CIPRIANISTUDIOS

1273 WASHINGTON PIKE, No. 202
BRIDGEVILLE, PA 15017
T. 510.459.6271
E. INFO@CIPRIANISTUDIOS.COM

ISSUE	DATE
SCHEMATIC	4.10.12
ZONING SET	5.8.12

1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : RENDERING

SCALE : NA

A 0.3

SHEET

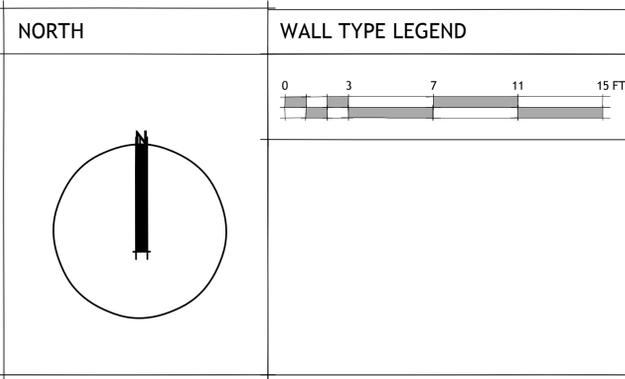
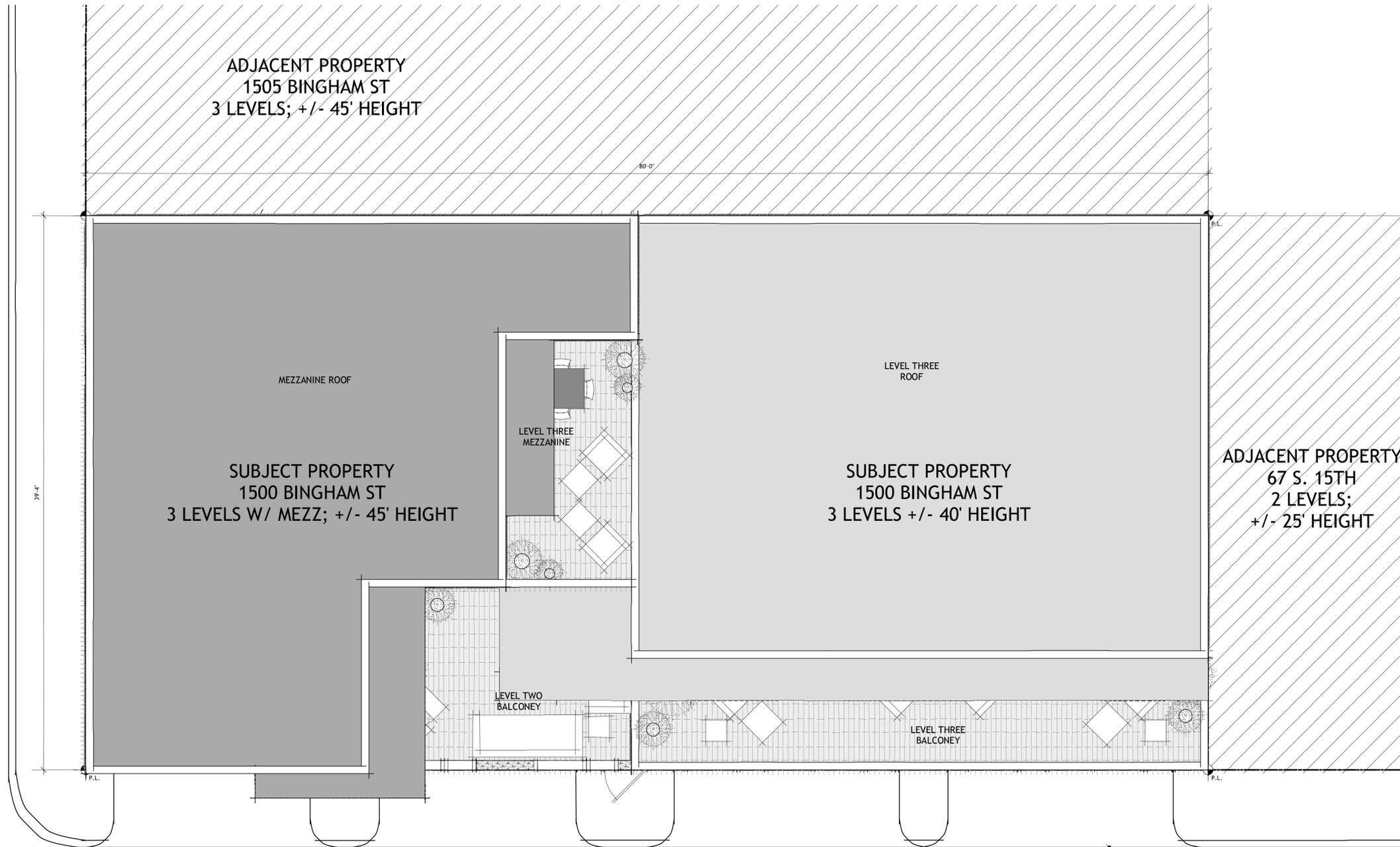
ISSUE	DATE
SCHEMATIC	4.10.12
ZONING SET	5.8.12

1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : SITE PLAN

SCALE : 1/8"=1'-0"

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SHEET



(E) SIDEWALK AND CURB CUTS

ISSUE	DATE
SCHEMATIC	4.10.12
ZONING SET	5.8.12

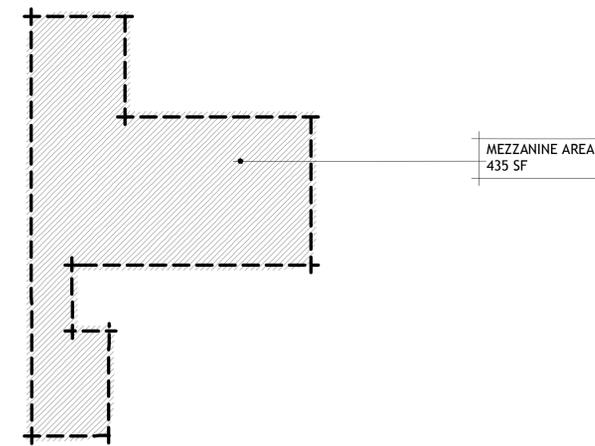
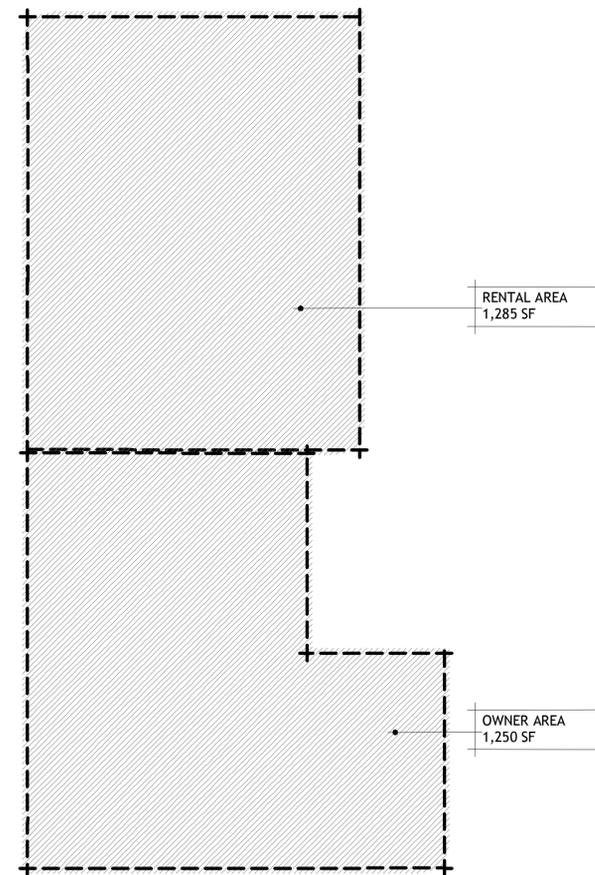
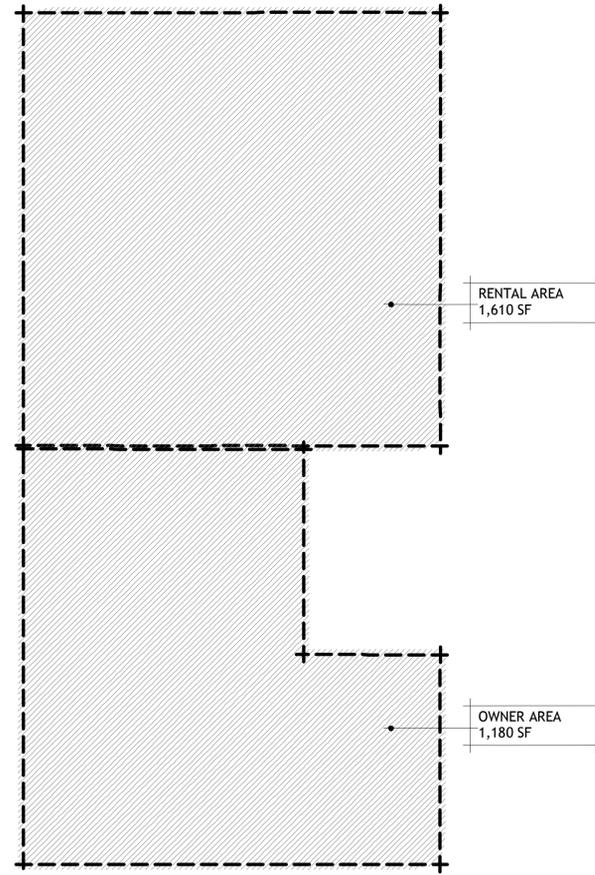
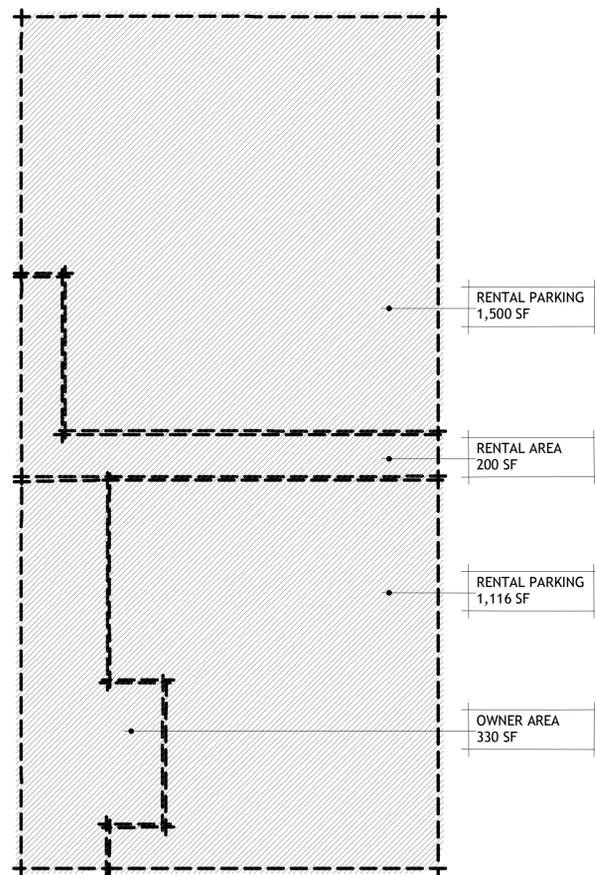
1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : FAR DIAGRAMS

SCALE : 1/8"=1'-0"

A 2.0

SHEET



FAR CALCS	RENTAL	OWNER	TOTAL
LEVEL 1/ PARKING	200/ 1,500 SF	330/ 1,116 SF	530 SF
LEVEL 2	1,610 SF	1,180 SF	2,790 SF
LEVEL 3	1,285 SF	1,250 SF	2,535 SF
MEZZANINE	- SF	435 SF	435 SF
TOTAL	3,095 SF	3,195 SF	6,290 SF

FAR CALCS	RENTAL	OWNER	TOTAL
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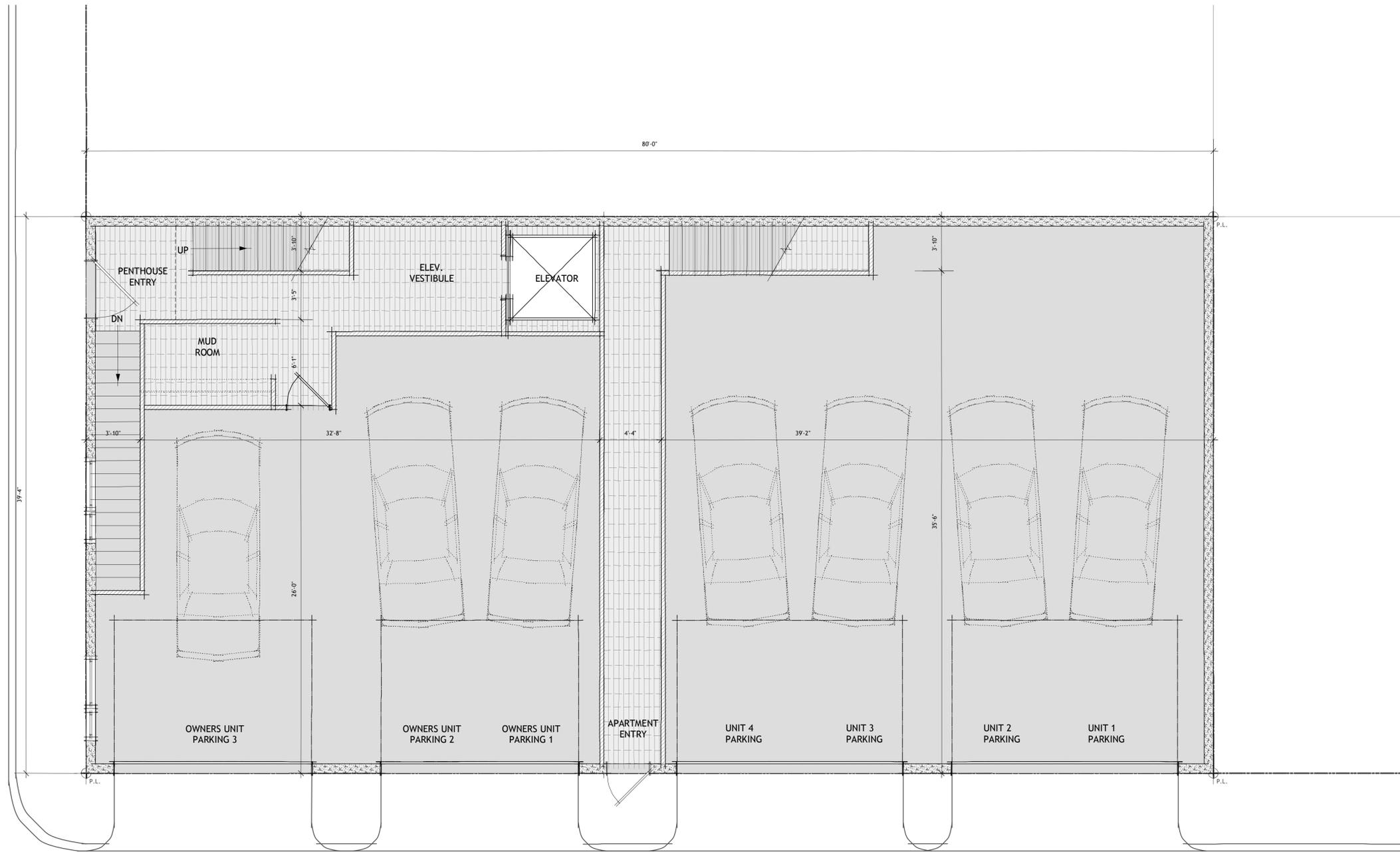
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TOTAL	3,095 SF	3,195 SF	6,290 SF

LEVEL ONE

LEVEL TWO

LEVEL THREE

LEVEL THREE MEZZANINE



ISSUE	DATE
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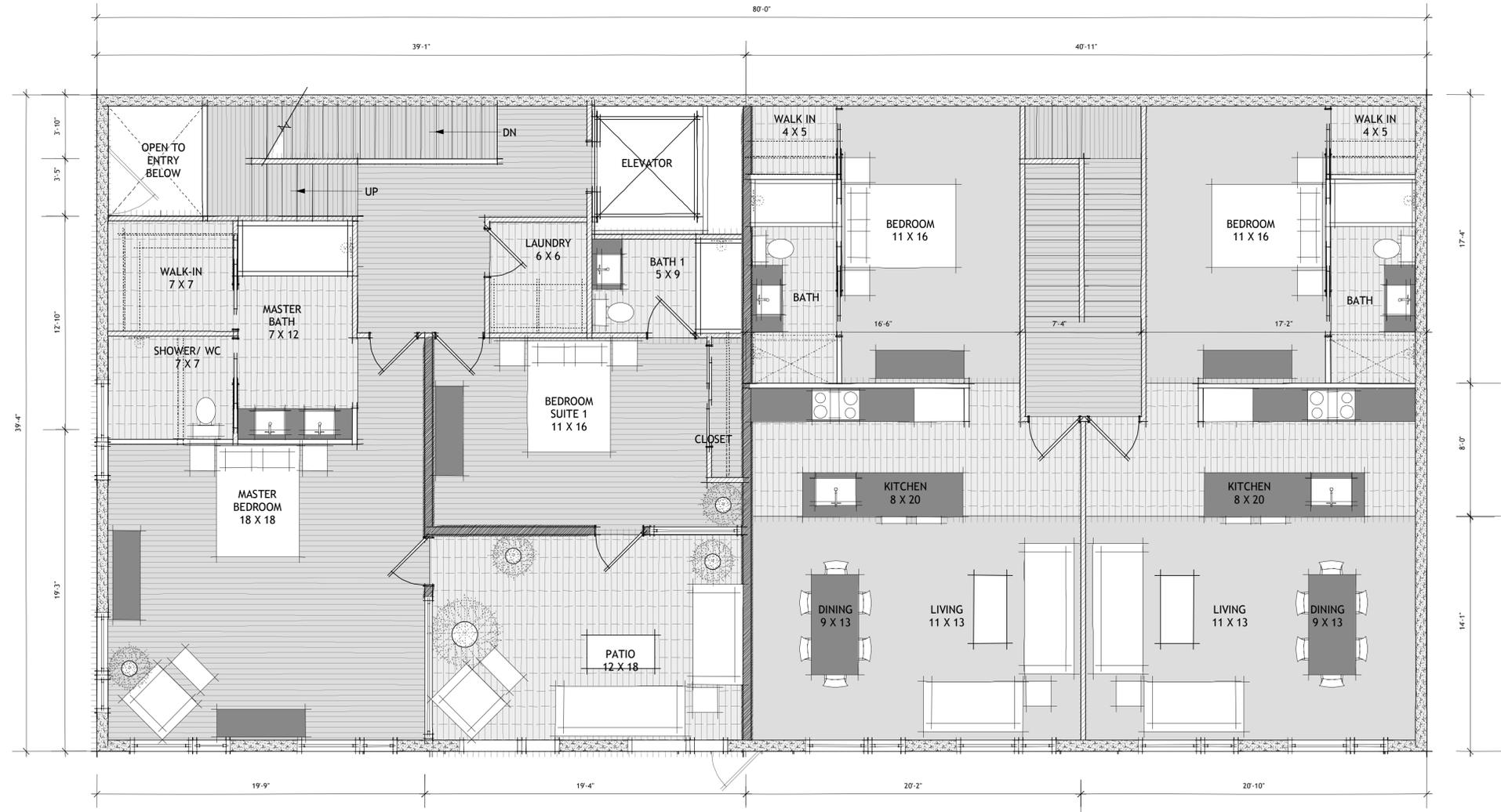
1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : LEVEL 1 FLOOR PLAN

SCALE : 1/4"=1'-0"

A 2.1
SHEET

NORTH	WALL TYPE LEGEND	NOTES
	<p>WALL TYPE LEGEND</p> <ul style="list-style-type: none"> (N) 2 X 4 FRAMED WALL (N) FRAMED RAILING/ LOW WALL (N) 2 X 6 FRAMED WALL (R-22 @ EXTERIOR LOCATIONS) (E) MASONRY 2" X 6" FRAMED PLUMBING WALL 	



ISSUE	DATE
SCHEMATIC	4.10.12
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1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

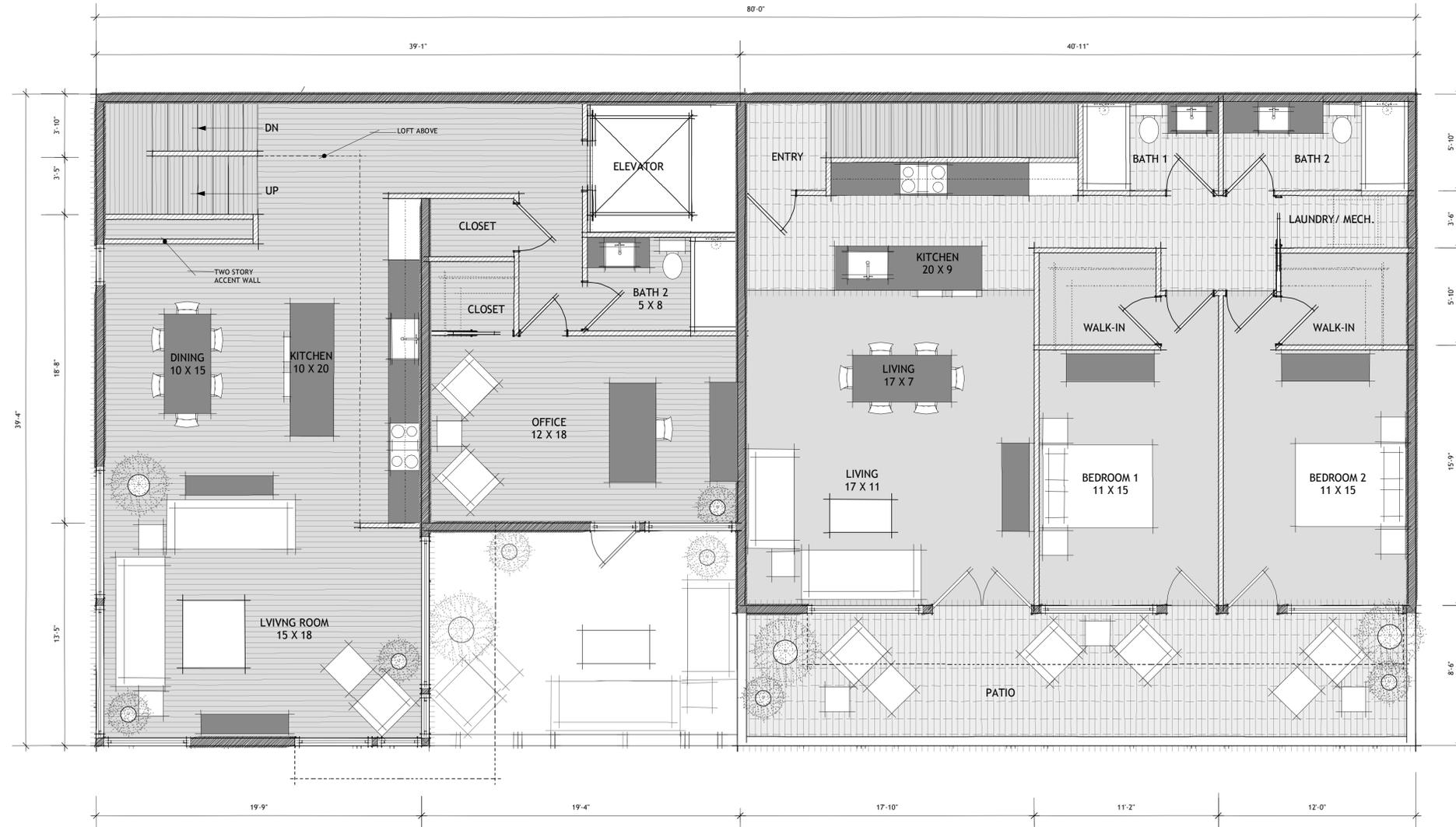
NAME : LEVEL 2 FLOOR PLAN

SCALE : 1/4"=1'-0"

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SHEET

NORTH	WALL TYPE LEGEND	NOTES
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ISSUE	DATE
SCHEMATIC	4.10.12
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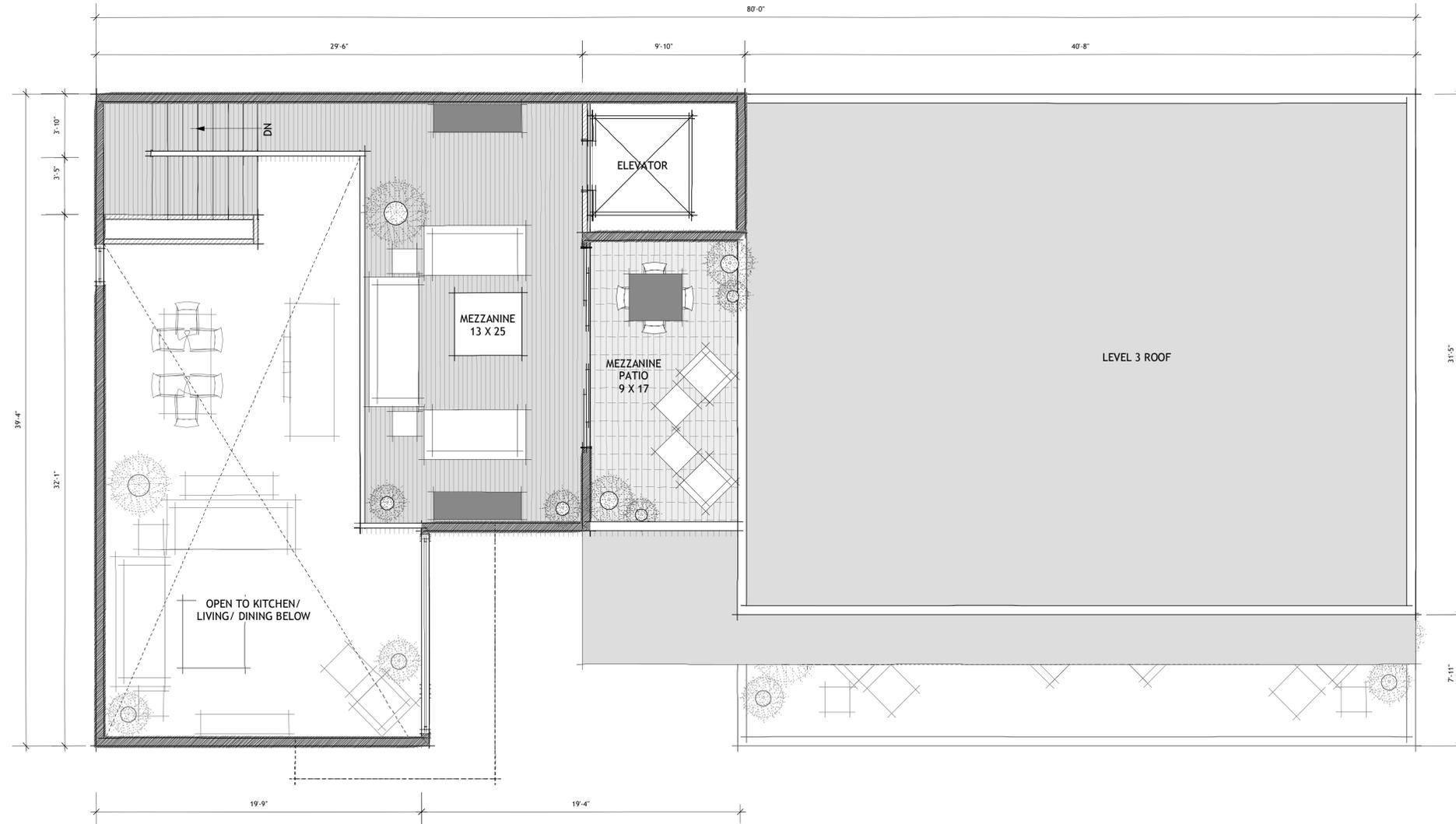
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1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : LEVEL 3 FLOOR PLAN

SCALE : 1/4"=1'-0"

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SHEET

NORTH	WALL TYPE LEGEND	NOTES
	<p>WALL TYPE LEGEND</p> <ul style="list-style-type: none"> (N) 2 X 4 FRAMED WALL (N) FRAMED RAILING/ LOW WALL (N) 2 X 6 FRAMED WALL (R-22 @ EXTERIOR LOCATIONS) (E) MASONRY 2" X 6" FRAMED PLUMBING WALL 	



ISSUE	DATE
SCHEMATIC	4.10.12
ZONING SET	5.8.12

1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

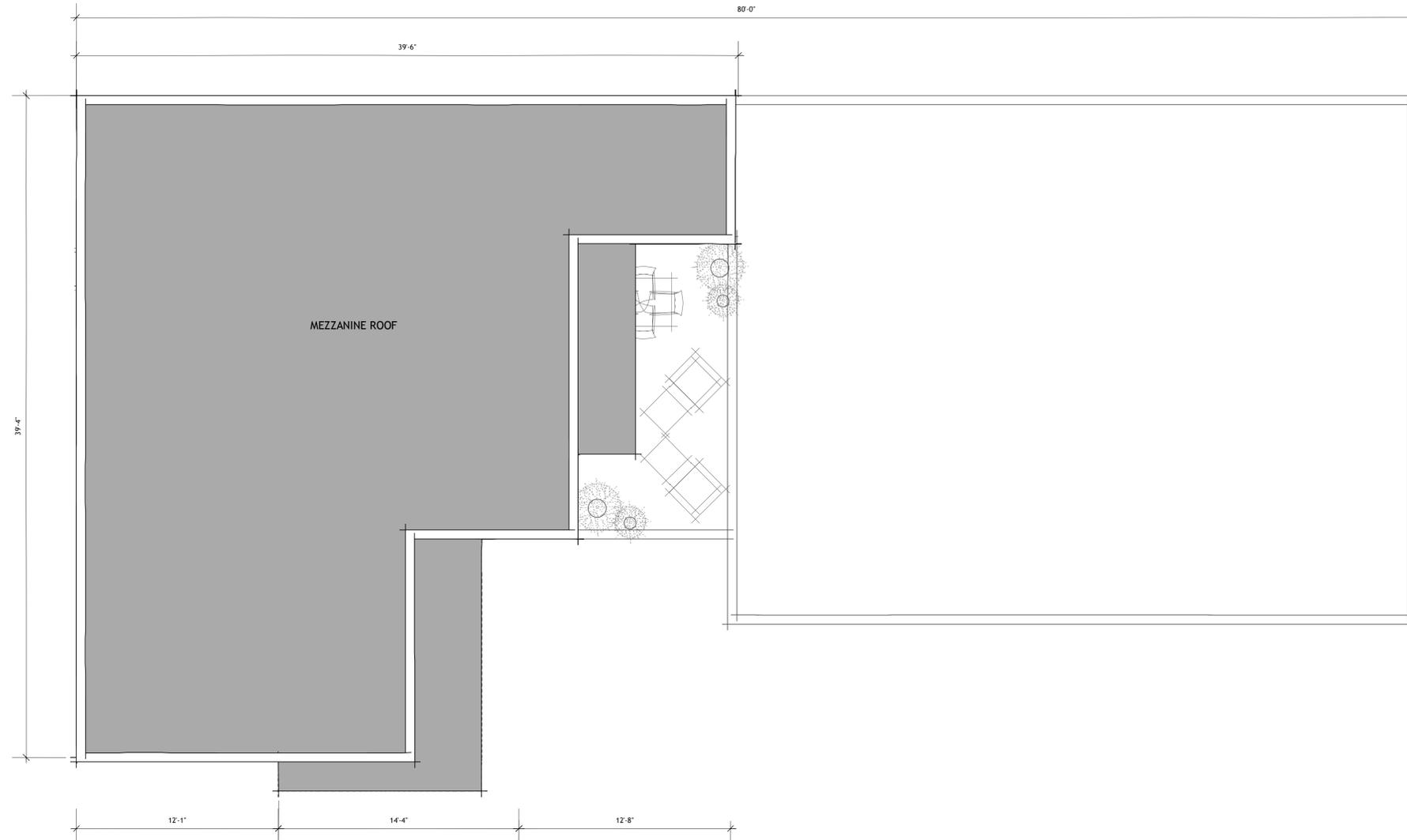
NAME : LEVEL 3 MEZZ FLOOR PLAN

SCALE : 1/4"=1'-0"

A 2.4

SHEET

NORTH	WALL TYPE LEGEND	NOTES
	<p>WALL TYPE LEGEND</p> <ul style="list-style-type: none"> (N) 2 X 4 FRAMED WALL (N) FRAMED RAILING/ LOW WALL (N) 2 X 6 FRAMED WALL (R-22 @ EXTERIOR LOCATIONS) (E) MASONRY 2" X 6" FRAMED PLUMBING WALL 	



ISSUE	DATE
SCHEMATIC	4.10.12
ZONING SET	5.8.12

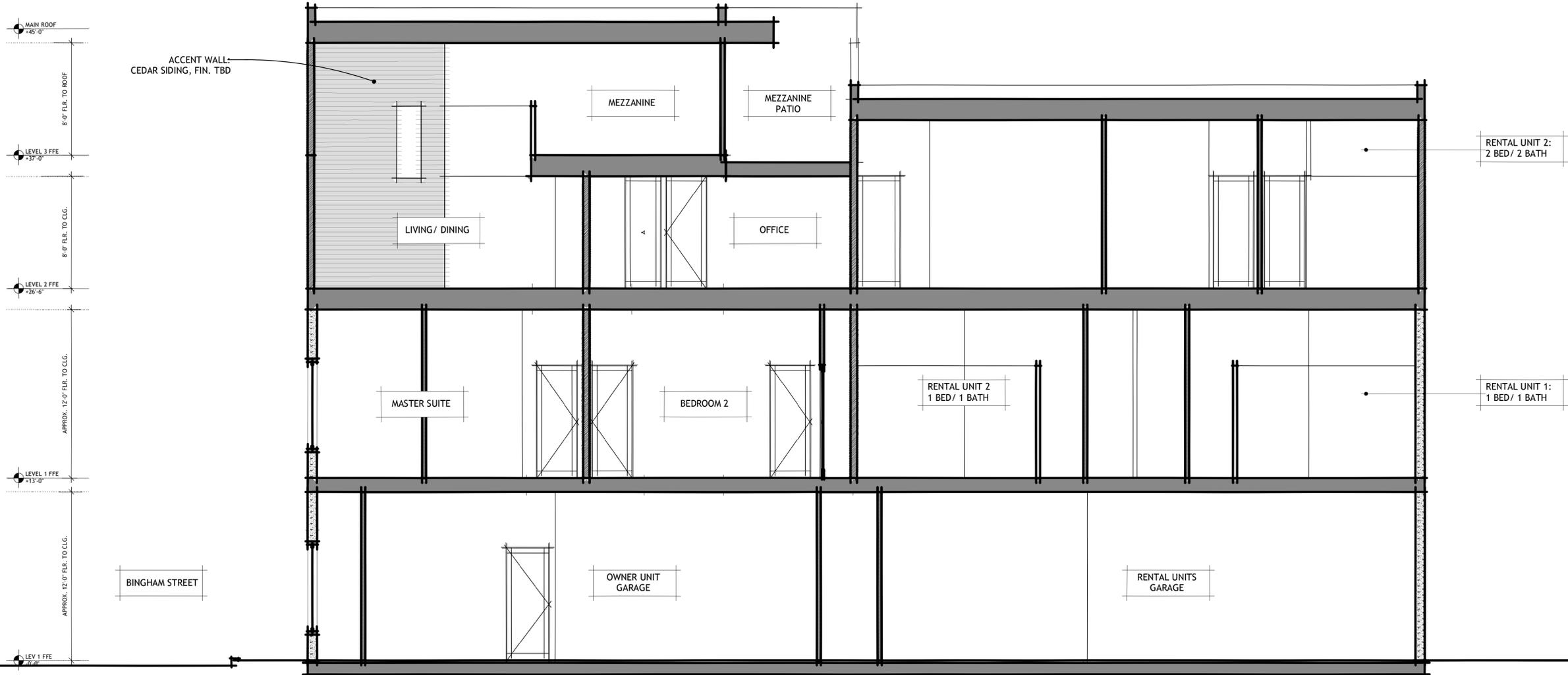
1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : ROOF PLAN

SCALE : 1/4"=1'-0"

A 2.5
SHEET

NORTH	WALL TYPE LEGEND	NOTES
	<p>WALL TYPE LEGEND</p> <ul style="list-style-type: none"> (N) 2 X 4 FRAMED WALL (N) FRAMED RAILING/ LOW WALL (N) 2 X 6 FRAMED WALL (R-22 @ EXTERIOR LOCATIONS) (E) MASONRY 2" X 6" FRAMED PLUMBING WALL 	



ISSUE	DATE
SCHEMATIC	4.10.12
ZONING SET	5.8.12

1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : BUILDING SECTION

SCALE : 1/4"=1'-0"

A 3.1
SHEET

ISSUE	DATE
SCHEMATIC	4.10.12
ZONING SET	5.8.12

1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : WEST ELEVATION

SCALE : 1/4"=1'-0"

A 4.2
SHEET





Division of Development Administration and Review
City of Pittsburgh, Department of City Planning
200 Ross Street, Third Floor
Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

- Staff Use -

DEADLINES:
Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

FEE SCHEDULE: See attached
Please make check payable to Treasurer, City of Pittsburgh

Fee Paid: \$

Date Received: _____
Hearing Date: _____
Lot and Block #: _____

ADDRESS OF PROPERTY: 97 S. 19th Street
Pittsburgh, PA 15203

HISTORIC DISTRICT: _____

OWNER

APPLICANT

Name: Thomas W. Jackson
Address: 2250 Mary St #308
City, State, Zip: Pittsburgh Pa 15207
Phone: (412) 580-4665 Fax: (412) 628-3050
E-MAIL: krack91@hotmail.com

Name: Expert Painting & Remodeling
Address: 3117 Josephine Street
City, State, Zip: Pittsburgh, PA 15203
Phone: (412) 514-9717 Fax: (412) 390-0815
E-MAIL: joshebaugh@pittsburghexpertpainting.com

REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED WORK: Dormer Replacement and expansion

SIGNATURE

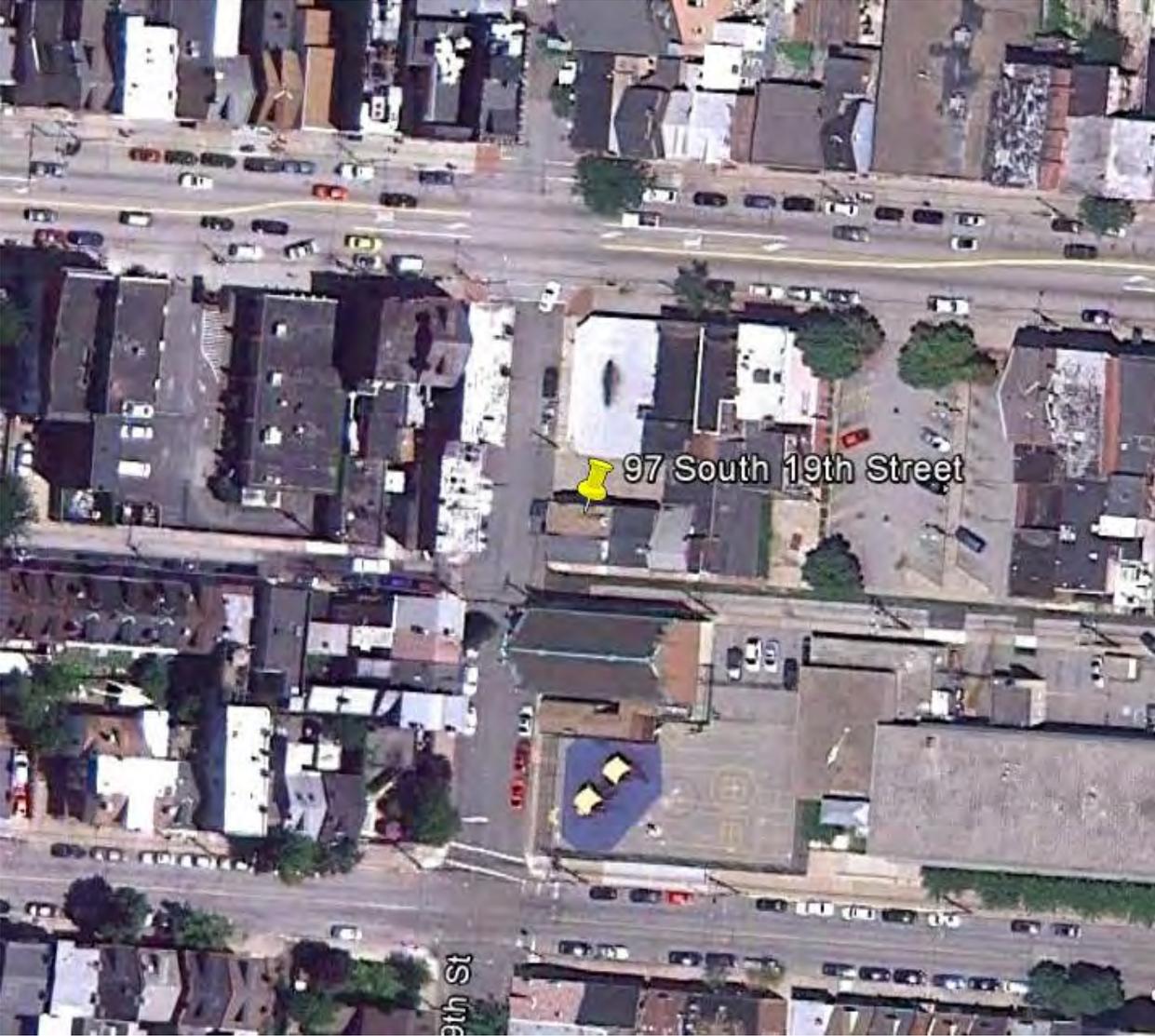
[Signature]
[Signature]

Owner

Applicant

DATE 5-22-12

DATE 5-22-12



97 South 19th Street

9th St



Brind'Amour Design
 1201 West Point Ave Pittsburgh, PA 15212
 412.477.2140 matt.brindamour@gmail.com

Dormer Replacement and Expansion

97 S 19th Street
 Pittsburgh, PA 15237

Site Photos - Existing

Project number	12-004
Date	6.18.2012
Scale	

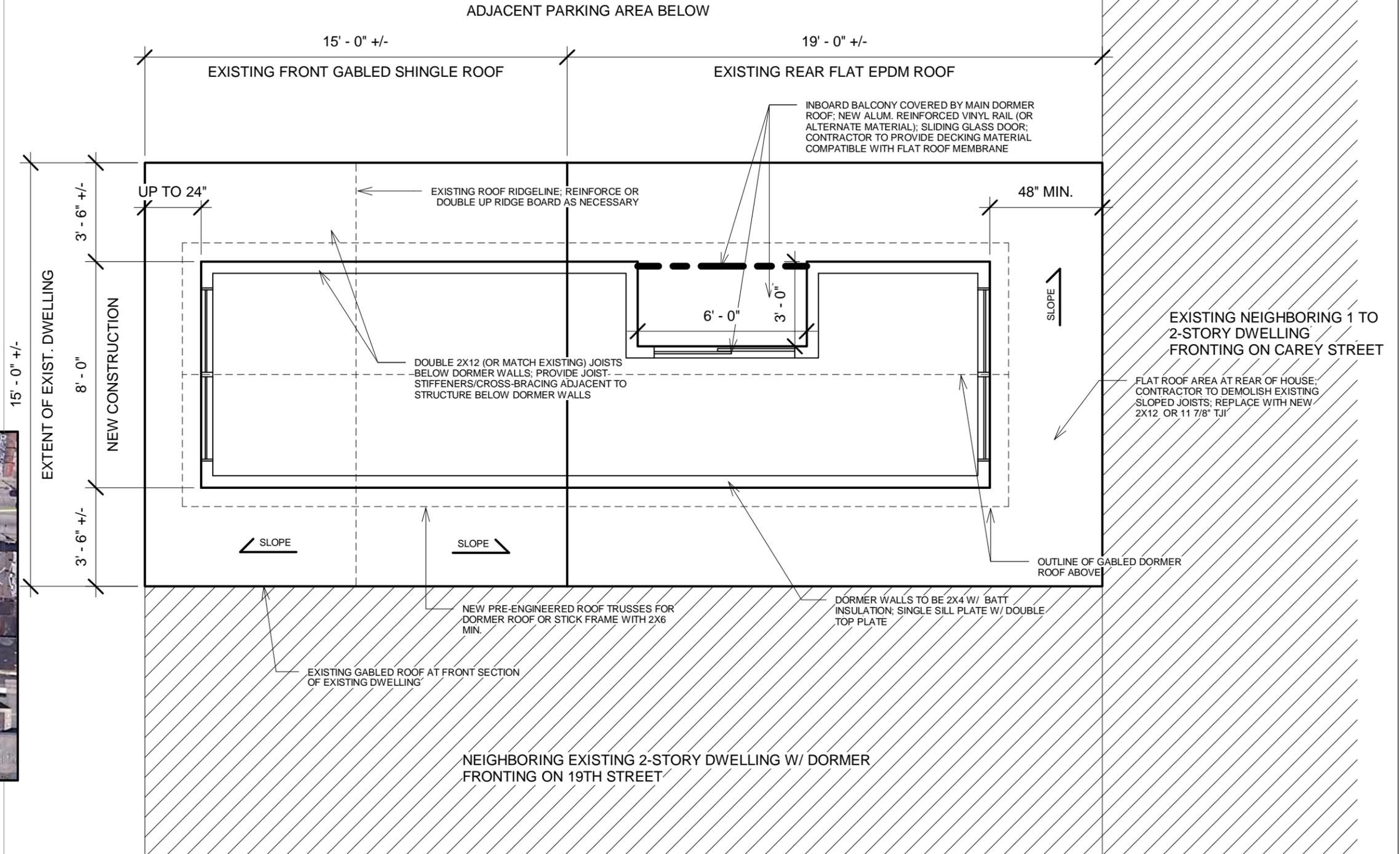
A5

NORTH TO
CARSON STREET

19TH STREET BELOW



SOUTH TO
CAREY STREET



Brind'Amour Design
1201 West Point Ave Pittsburgh, PA 15212
412.477.2140 matt.brindamour@gmail.com

Dormer Replacement and Expansion

97 S 19th Street
Pittsburgh, PA 15237

Attic Level Plan

Project number	12-004
Date	6.18.2012
Scale	1/4" = 1'-0"

A1



Brind'Amour Design
 1201 West Point Ave Pittsburgh, PA 15212
 412.477.2140 matt.brindamour@gmail.com

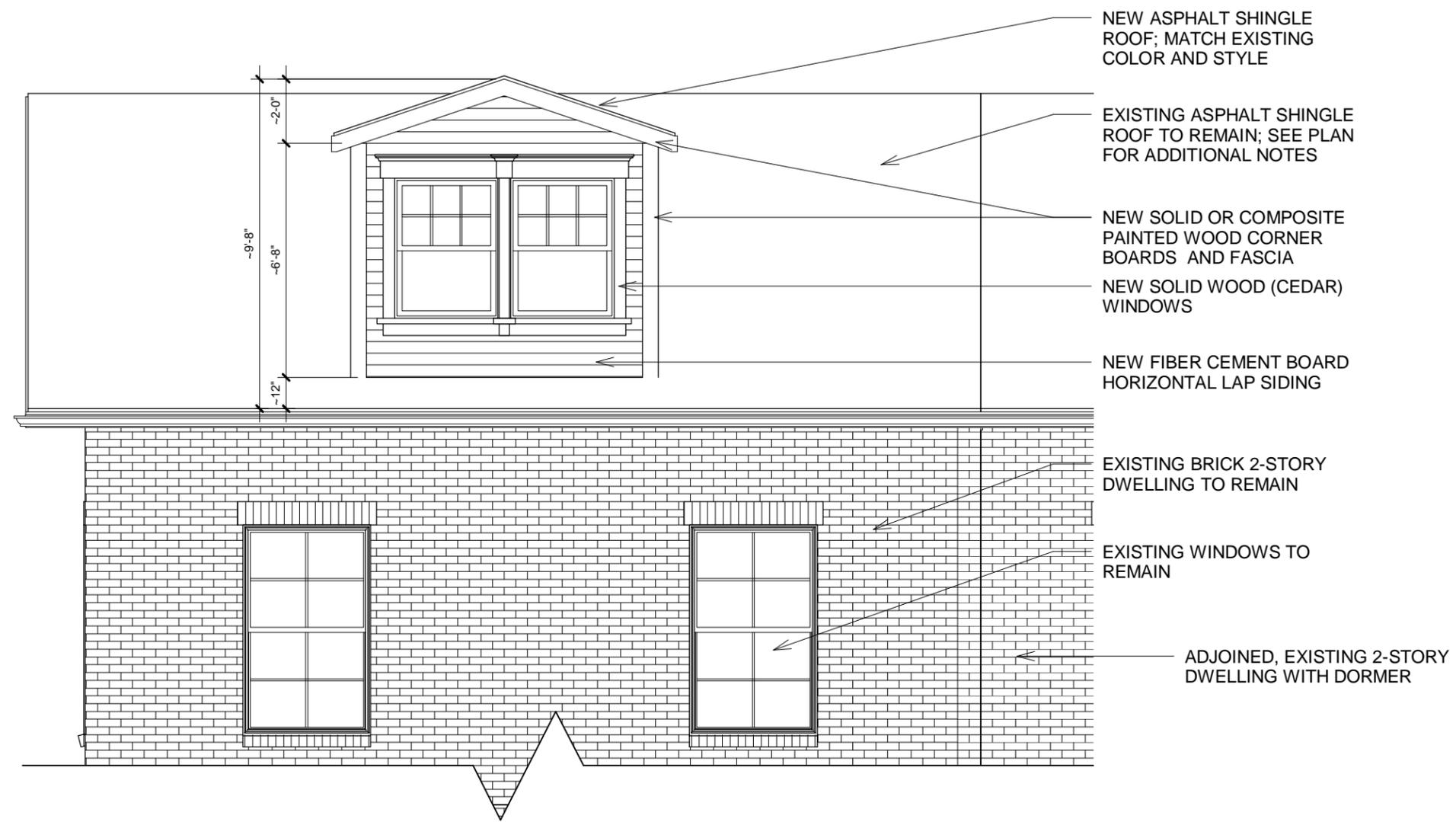
Dormer Replacement and Expansion

97 S 19th Street
 Pittsburgh, PA 15237

HRC Rendering

Project number	12-004
Date	6.18.2012
Scale	

A2



② Proposed 19th Street Elevation - Partial
1/4" = 1'-0"

Brind'Amour Design
1201 West Point Ave Pittsburgh, PA 15212
412.477.2140 matt.brindamour@gmail.com

Dormer Replacement and Expansion

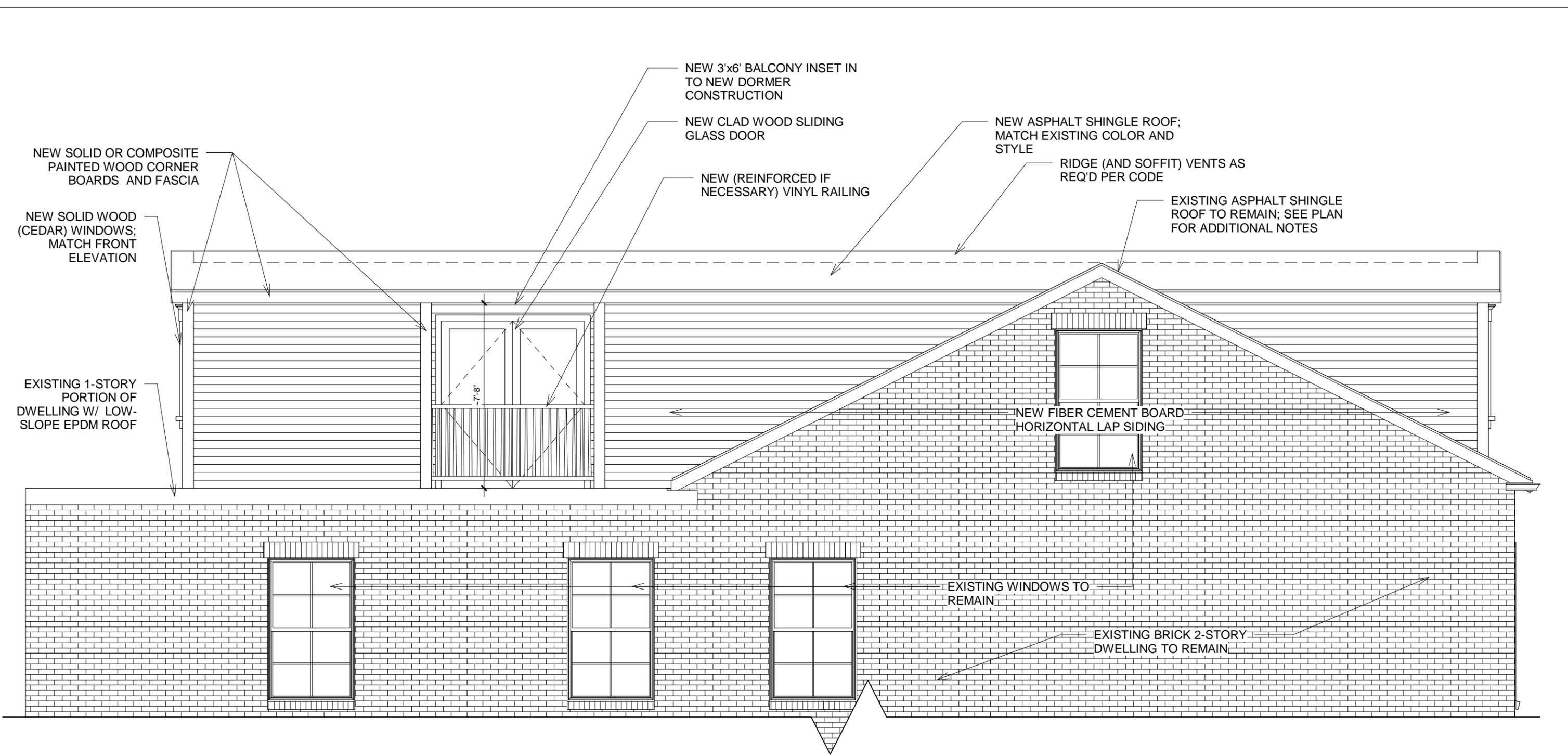
97 S 19th Street
Pittsburgh, PA 15237

Partial Front Elevation

Project number	12-004
Date	6.18.2012
Scale	1/4" = 1'-0"

A3

THESE DRAWINGS HAVE BEEN ISSUED FOR CLARIFICATION OF CONCEPT ONLY. THE CONTRACTOR OR PROPERTY OWNER ASSUME ALL LEGAL RESPONSIBILITY TO MEET CURRENT CODE AND CONSTRUCTION STANDARDS AS REQ'D BY THE AUTHORITIES HAVING JURISDICTION.



1 Proposed Side Elevation - Partial
1/4" = 1'-0"

Brind'Amour Design
1201 West Point Ave Pittsburgh, PA 15212
412.477.2140 matt.brindamour@gmail.com

Dormer Replacement and Expansion

97 S 19th Street
Pittsburgh, PA 15237

Partial Side Elevation

Project number	12-004
Date	6.18.2012
Scale	1/4" = 1'-0"

A4

THESE DRAWINGS HAVE BEEN ISSUED FOR CLARIFICATION OF CONCEPT ONLY. THE CONTRACTOR OR PROPERTY OWNER ASSUME ALL LEGAL RESPONSIBILITY TO MEET CURRENT CODE AND CONSTRUCTION STANDARDS AS REQ'D BY THE AUTHORITIES HAVING JURISDICTION.



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

- Staff Use -

DEADLINES:
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

FEE SCHEDULE: See attached
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid: \$ 400

Date Received: 10-16-11

Hearing Date: _____

Lot and Block #: 3-H-123 17th

ADDRESS OF PROPERTY: 1401 E. CARSON ST
Pgh, Pa 15203

HISTORIC DISTRICT: _____

OWNER

Name: John VETERE

Address: 1401 E. CARSON ST

City, State, Zip: Pgh, Pa 15203

Phone: (412) 260-7591 Fax: (412) 481-3285

E-MAIL: CARSONCITYSALOON@YAHOO.COM

APPLICANT

Name: John VETERE

Address: 1401 E CARSON ST

City, State, Zip: Pgh, Pa 15203

Phone: (412) 260-7591 Fax: (412) 481-3285

E-MAIL: CARSONCITYSALOON@YAHOO.COM

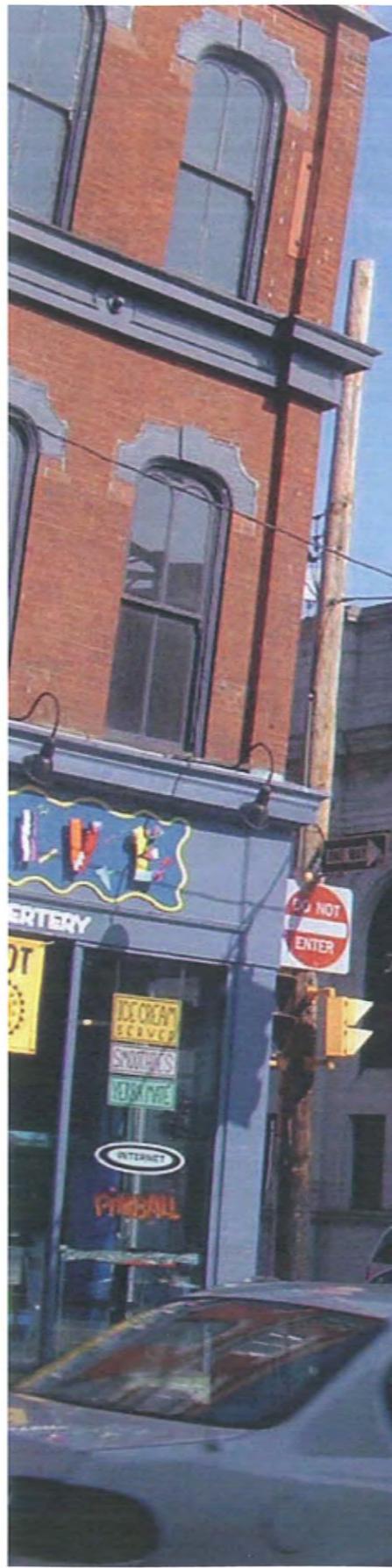
REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED WORK: _____

SIGNATURE John Vete, Owner DATE 10-4-11

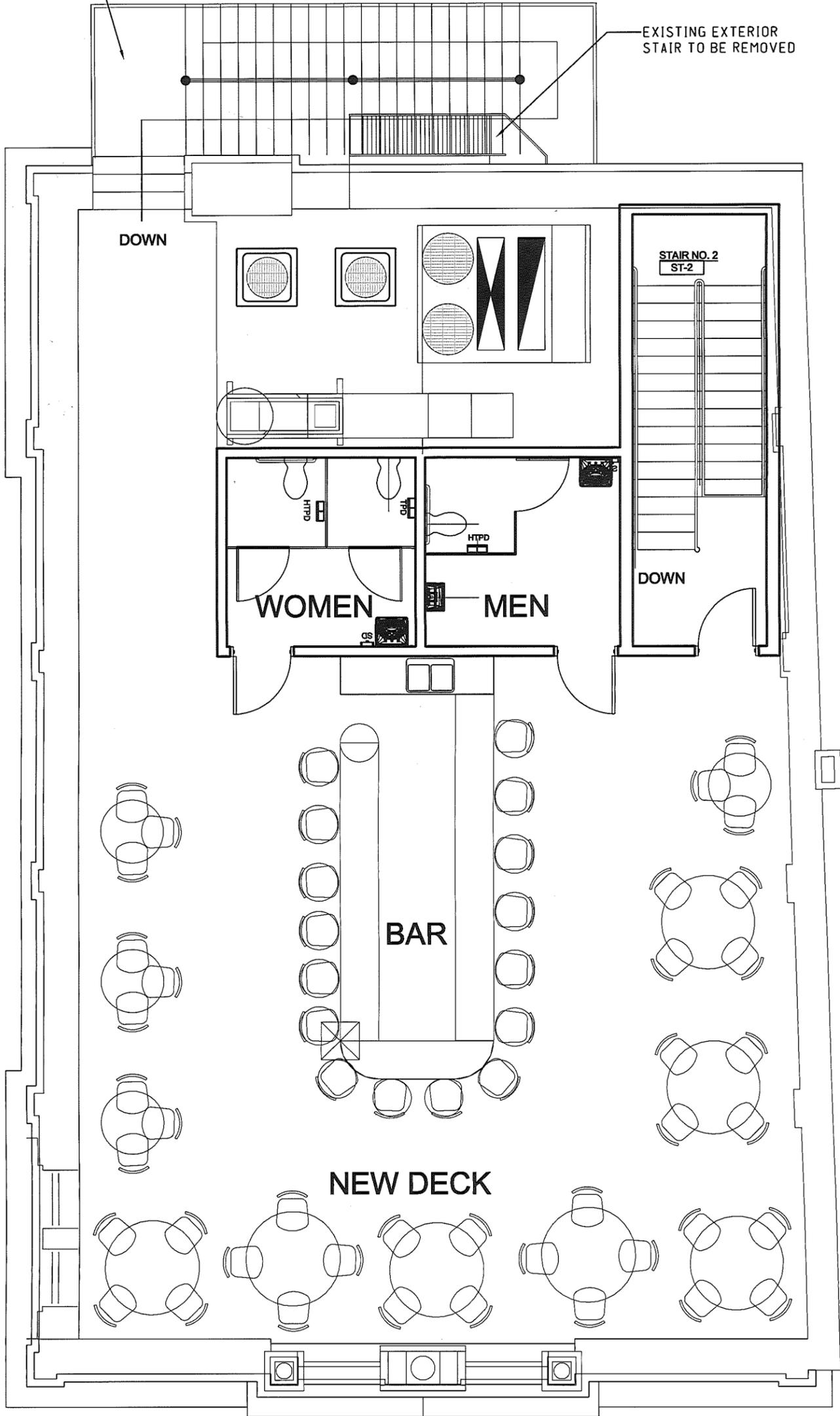
John Vete, Applicant DATE 10-4-11



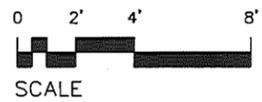


NEW EXTERIOR STAIR

EXISTING EXTERIOR STAIR TO BE REMOVED



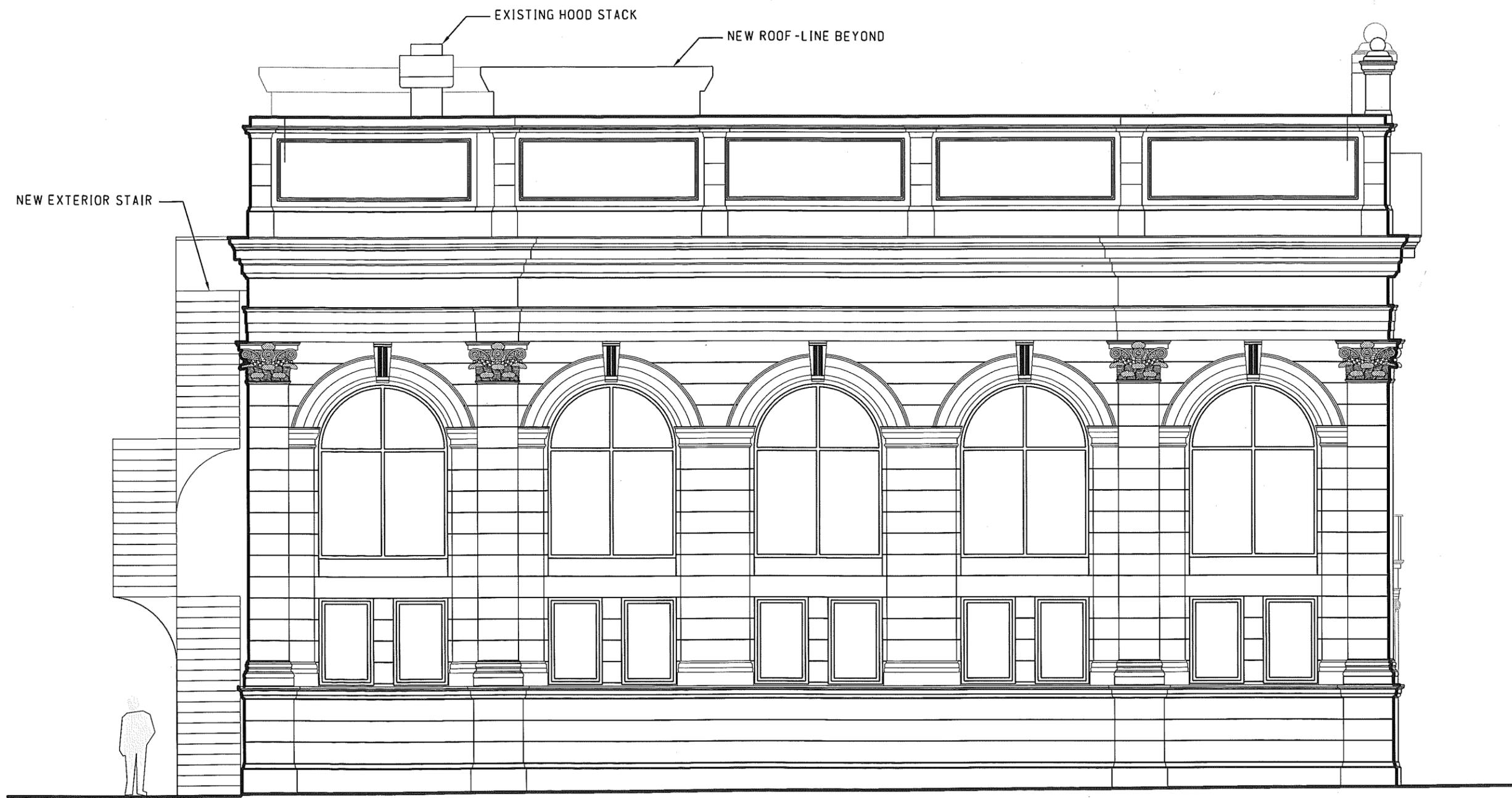
Roof Level Plan



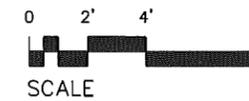


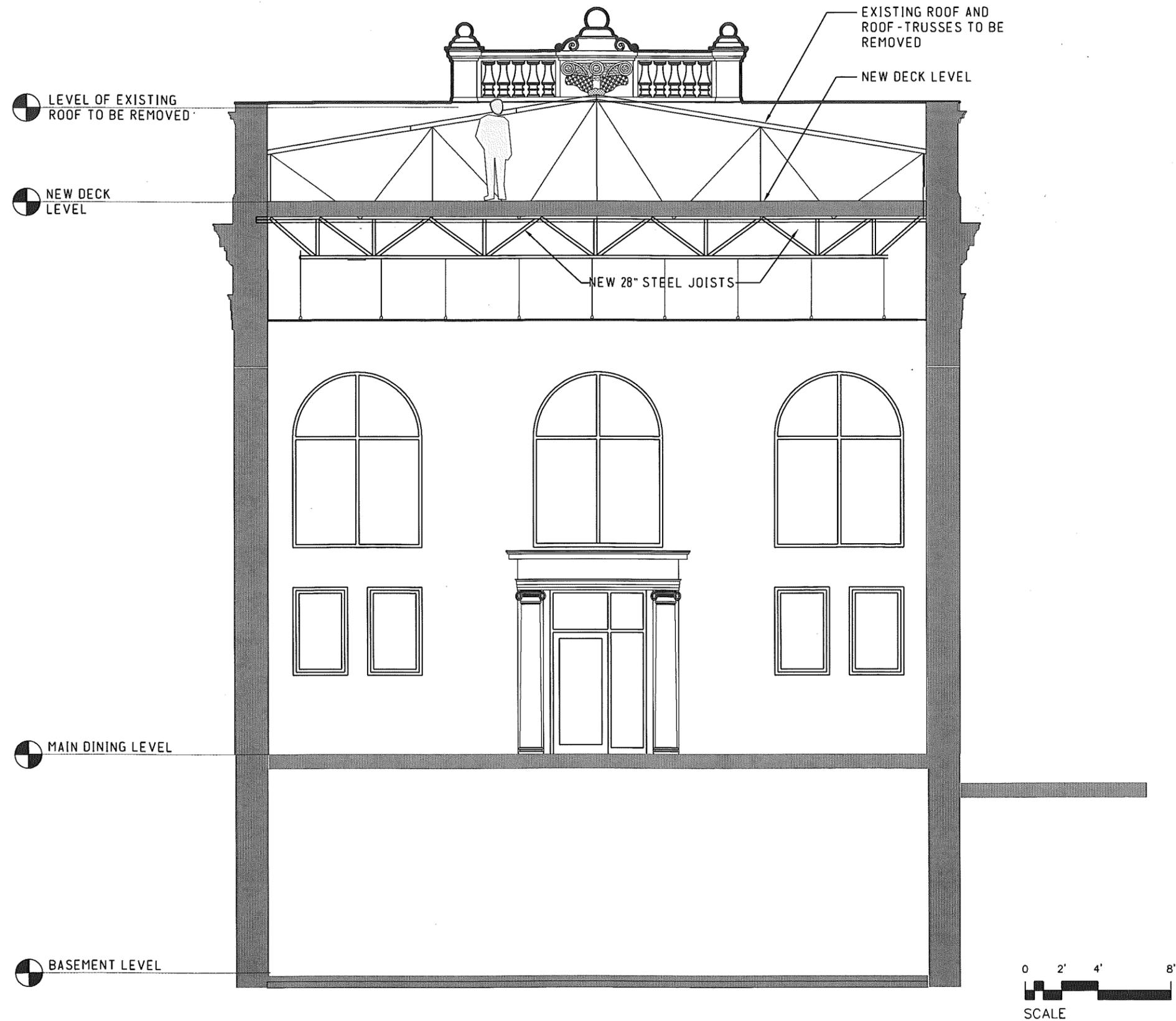
South Elevation (East Carson St.)

0 2' 4' 8'
SCALE

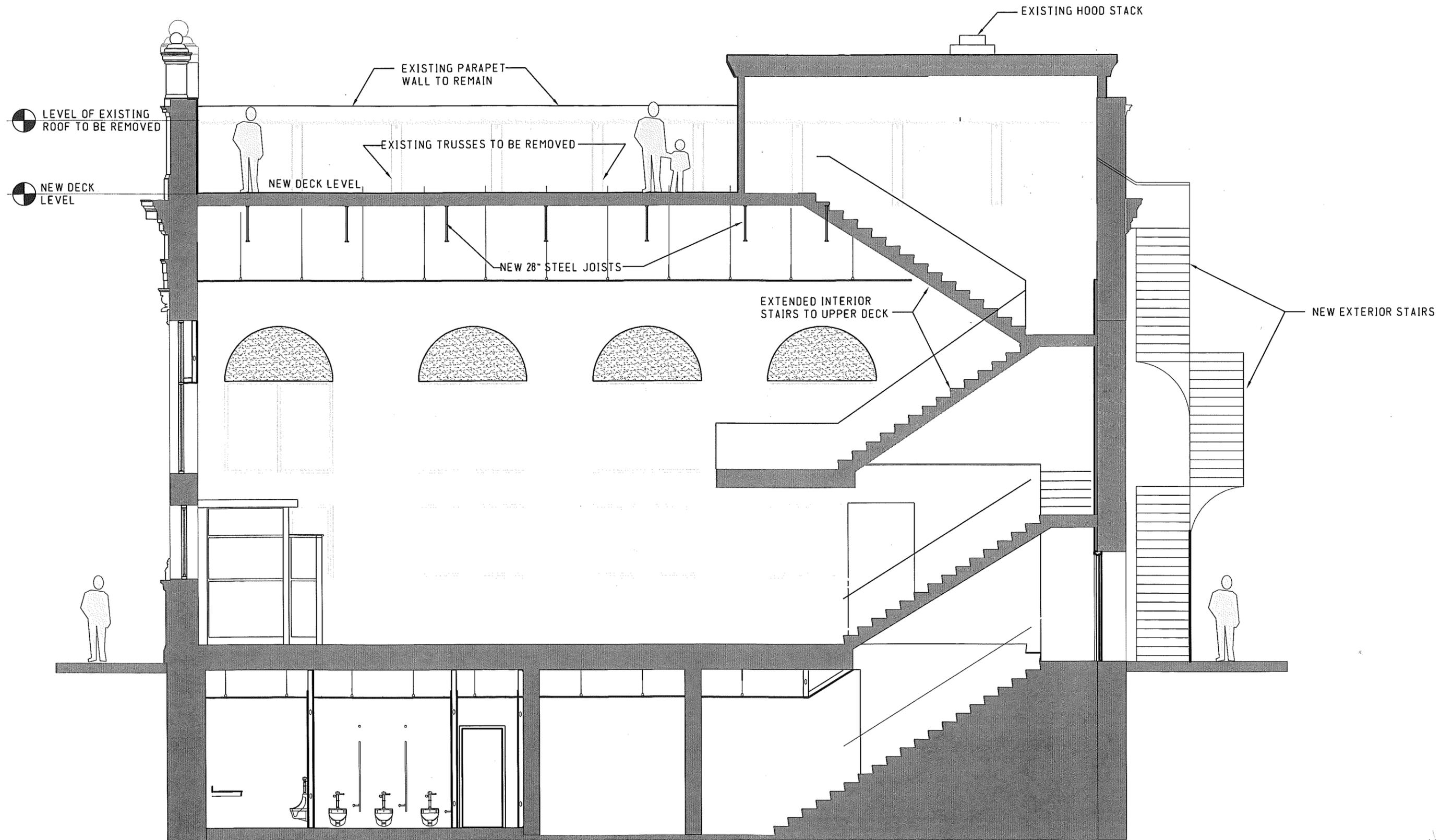


West Elevation (14th Street)

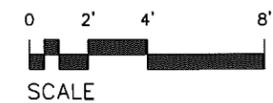


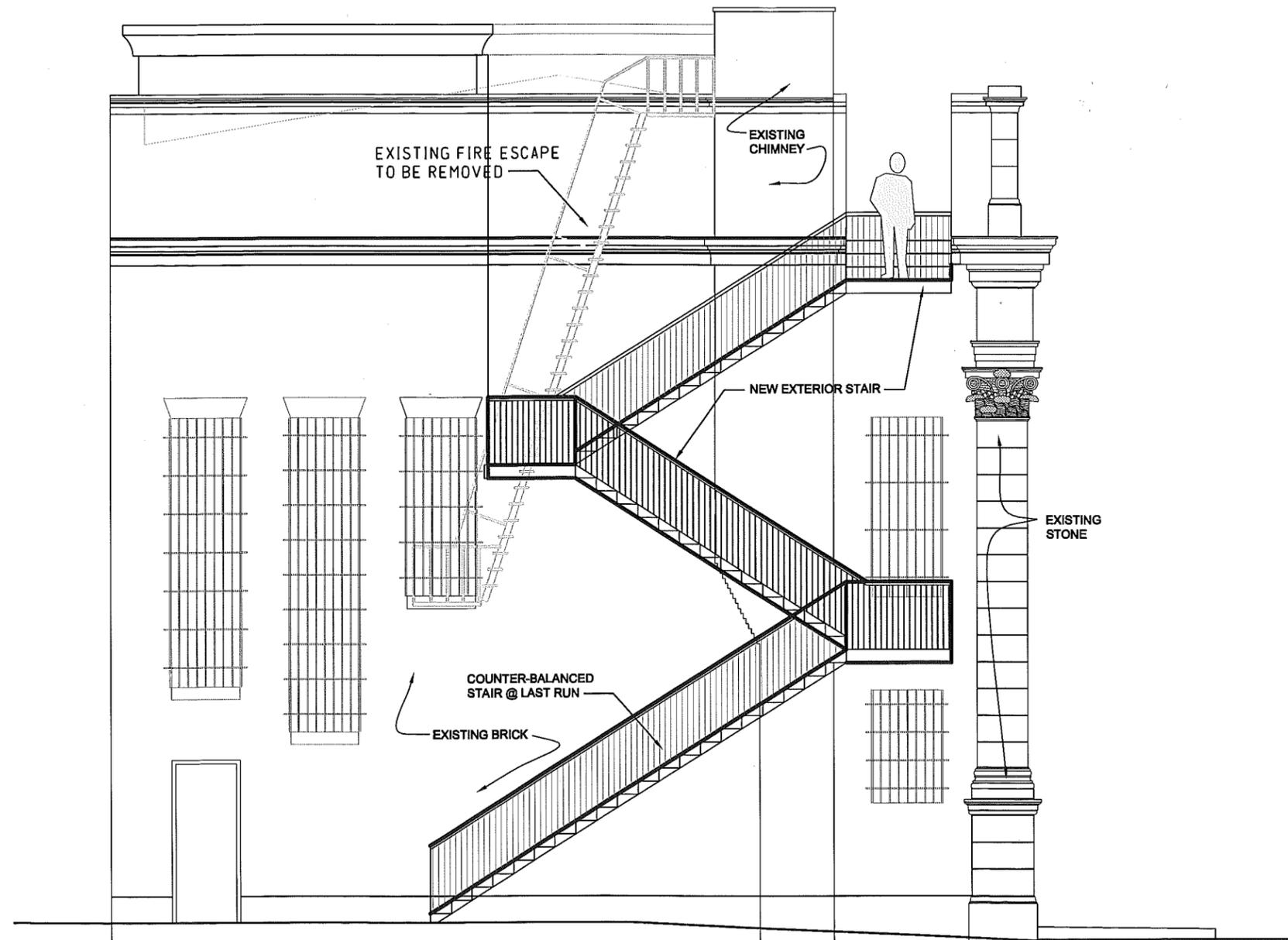


Section thru Building along E/W Axis

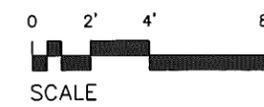


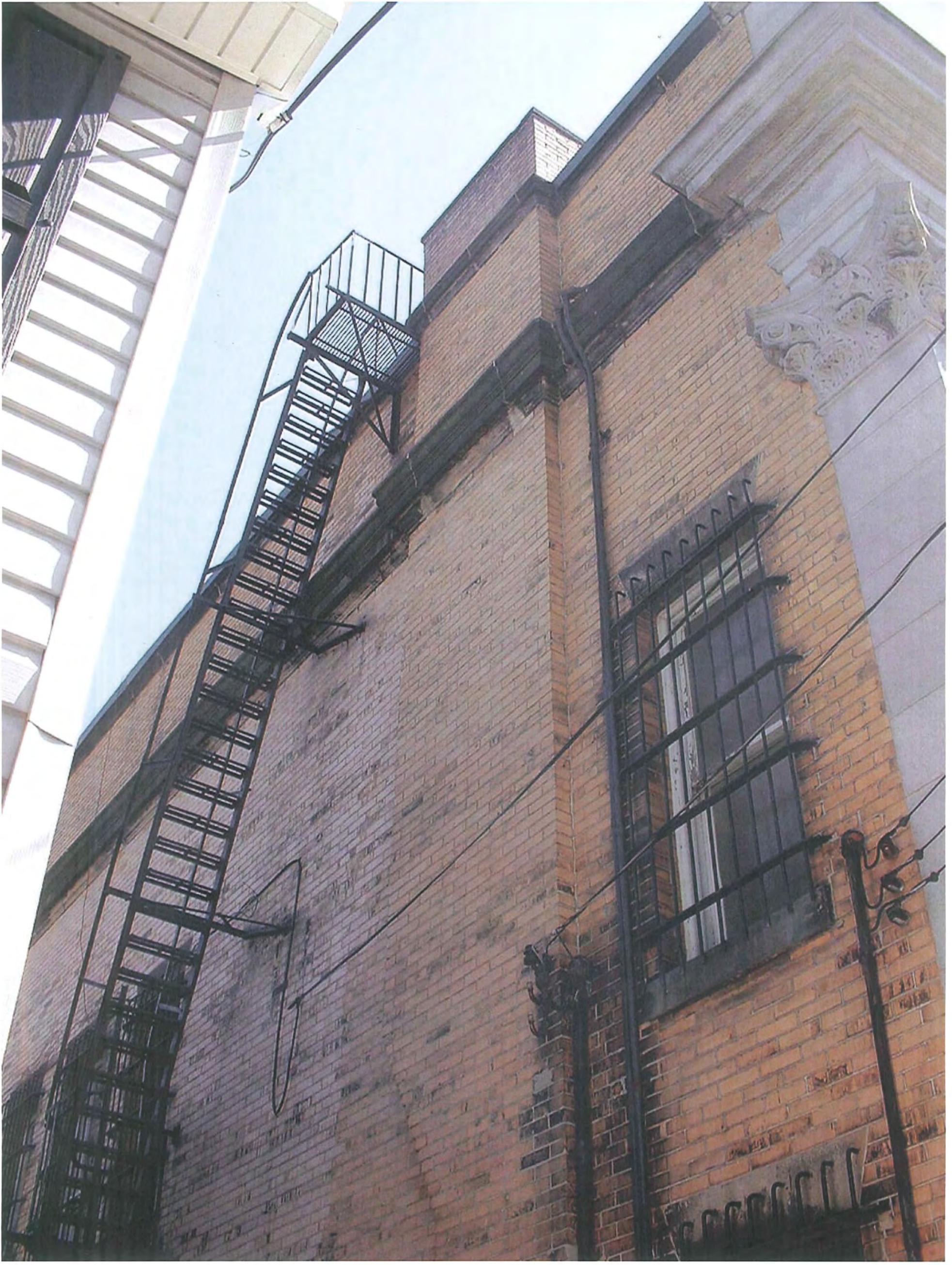
Section thru Building along N/S Axis





North Elevation (Alley)









Carson City Saloon

Front Elevation

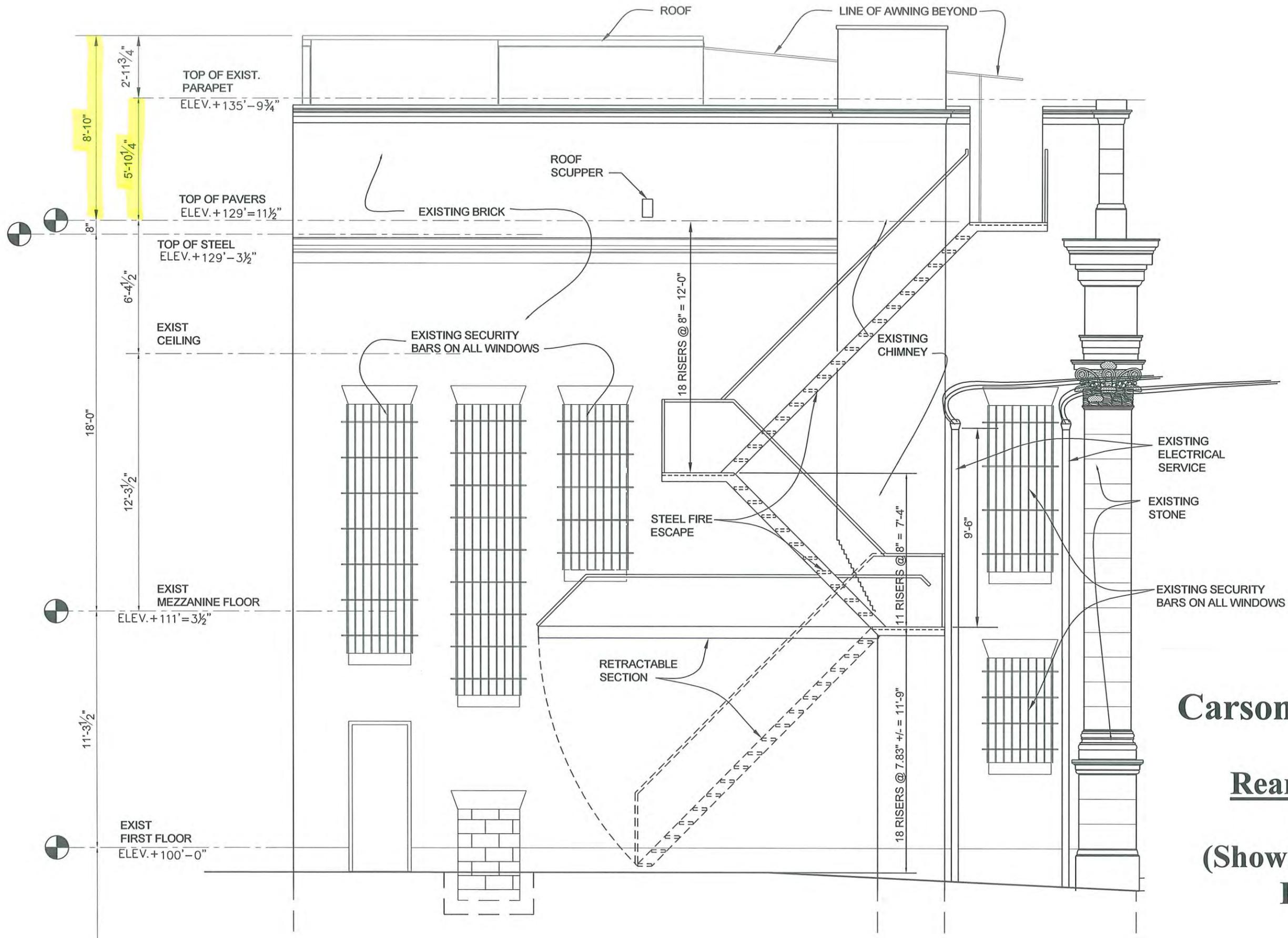
(Showing Profile of
Awnings Beyond)



Carson City Saloon

14th Street Elevation

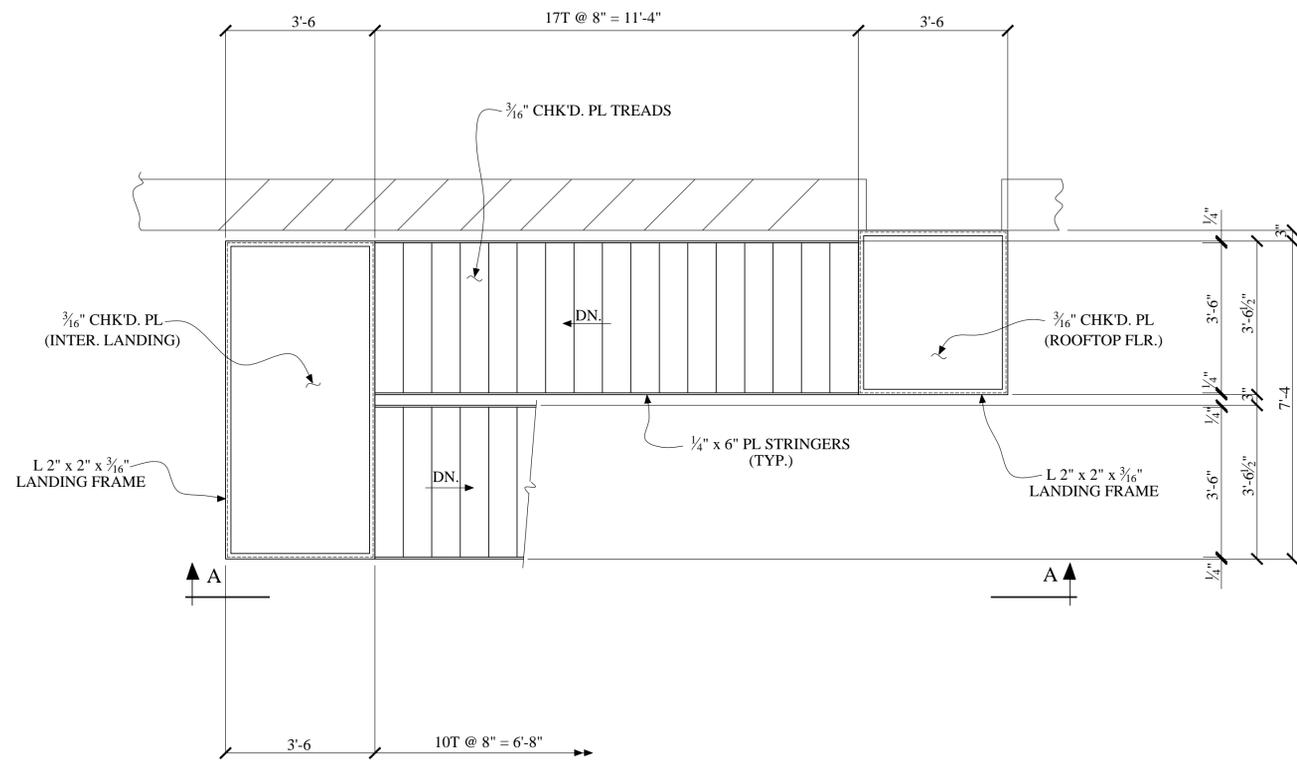
(Showing New Fire
Escape, Upper Rooflines,
and Awnings)



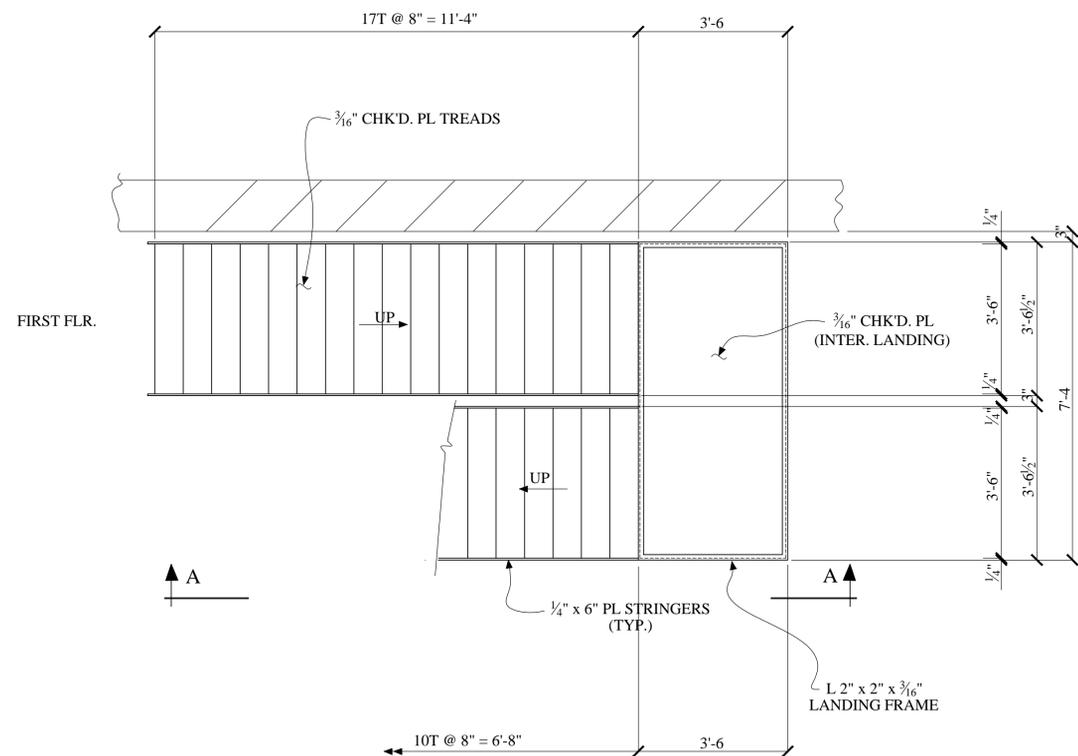
Carson City Saloon

Rear Elevation

(Showing New Fire Escape)

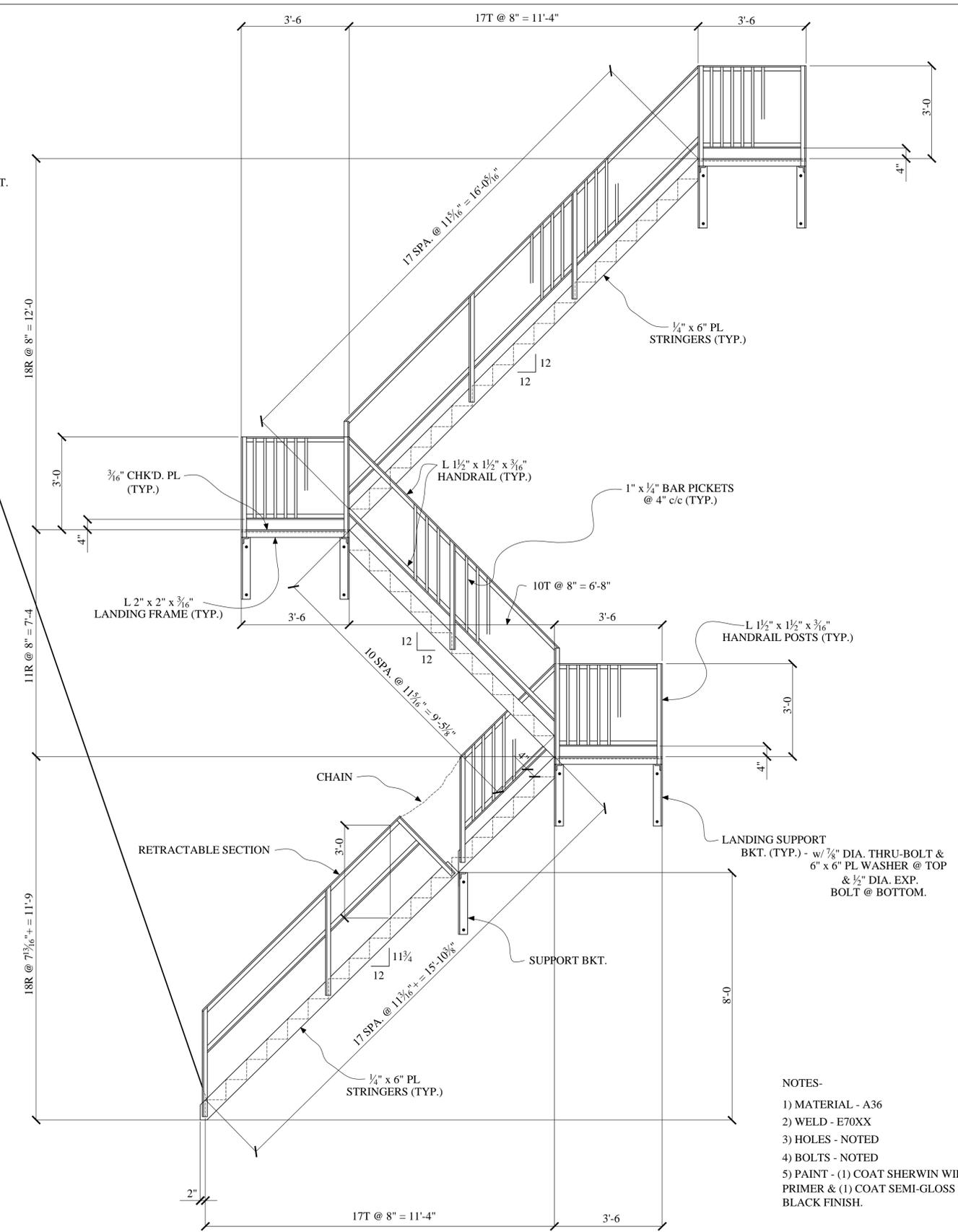
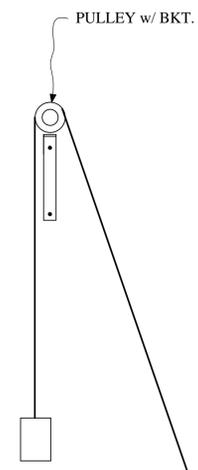


ROOFTOP FLOOR PLAN



FIRST FLOOR PLAN

FIELD CHECK REQ'D. BEFORE FAB!



SECTION "A - A"

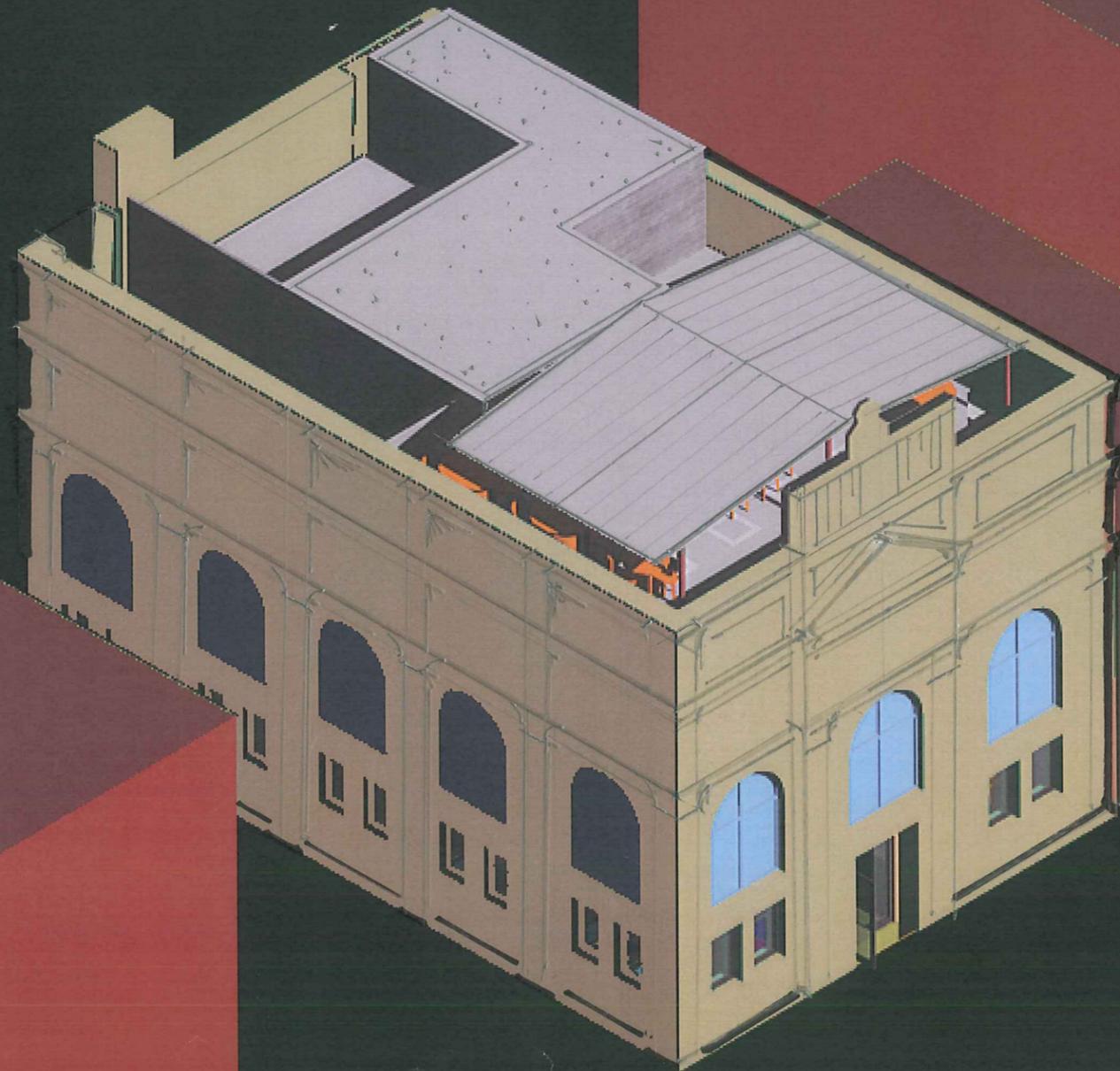
- NOTES-
- 1) MATERIAL - A36
 - 2) WELD - E70XX
 - 3) HOLES - NOTED
 - 4) BOLTS - NOTED
 - 5) PAINT - (1) COAT SHERWIN WILLIAMS PRIMER & (1) COAT SEMI-GLOSS BLACK FINISH.

ARMIN IRON WORKS INC.
 COLUMBUS & PREBLE AVE. 412-322-1622
 PITTSBURGH, PA 15233 FAX 412-322-1624

CARSON CITY SALOON
 FOR: JAY VETERE

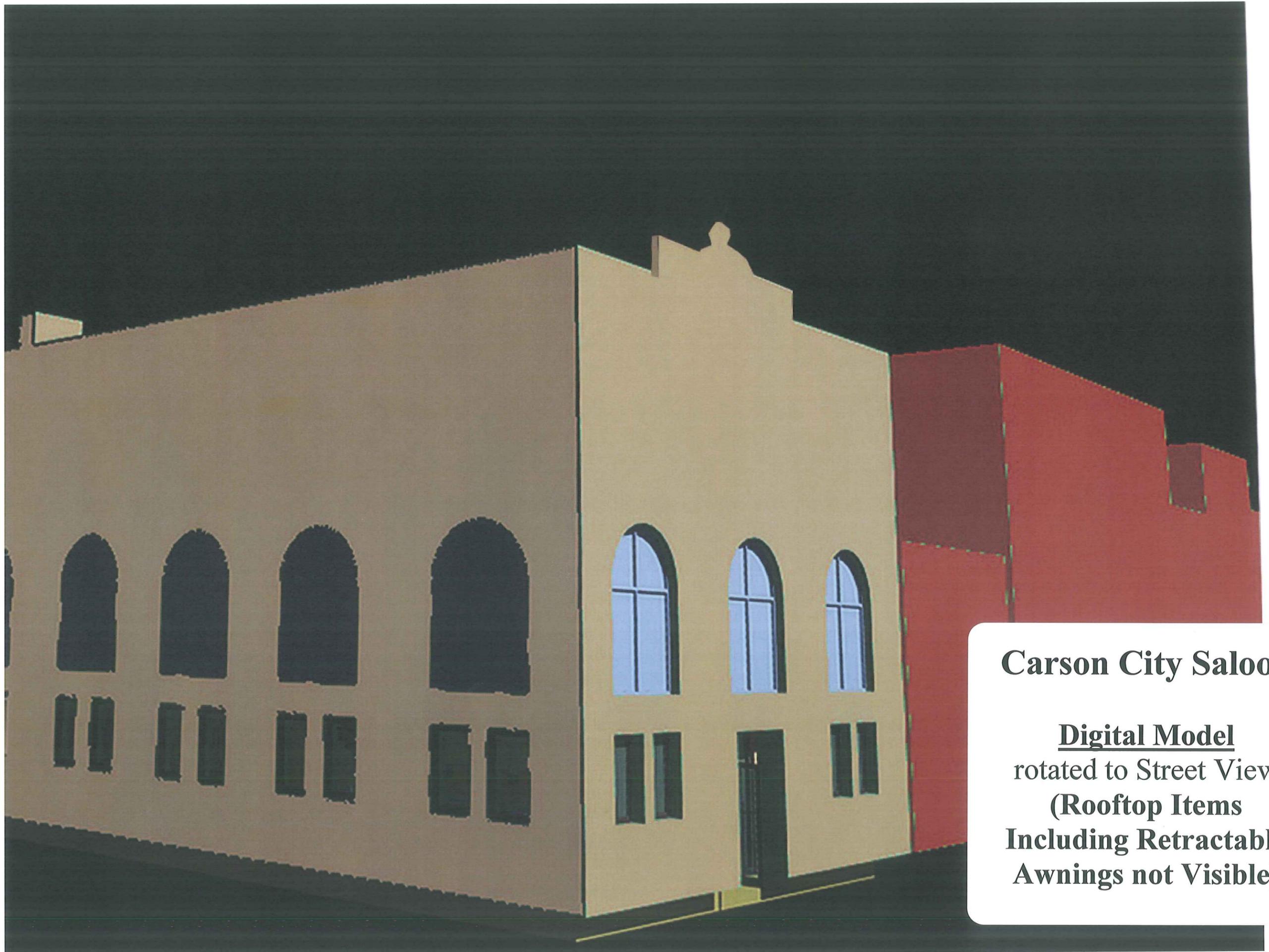
SCALE:	APPROVED BY:	DRAWN BY: DJM
DATE: 6-19-12		REVISED:
FIRE ESCAPE STAIR DETAILS		
		DRAWING NUMBER: MI

DUANE MARCH DETAILING NO. 12-118



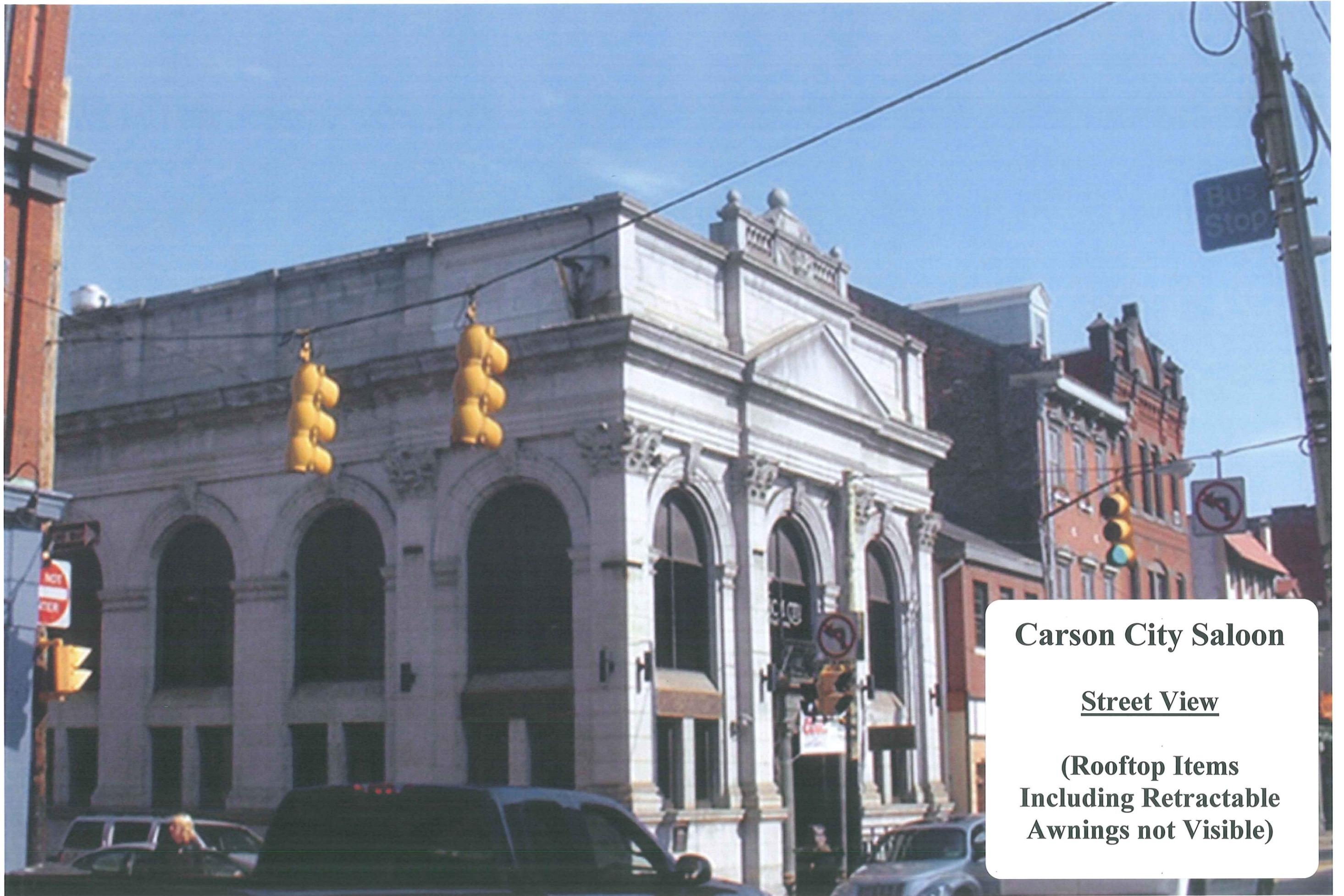
Carson City Saloon

Digital Model
with Bird's Eye View
(Showing Rooftop
Including Retractable
Awnings)



Carson City Saloon

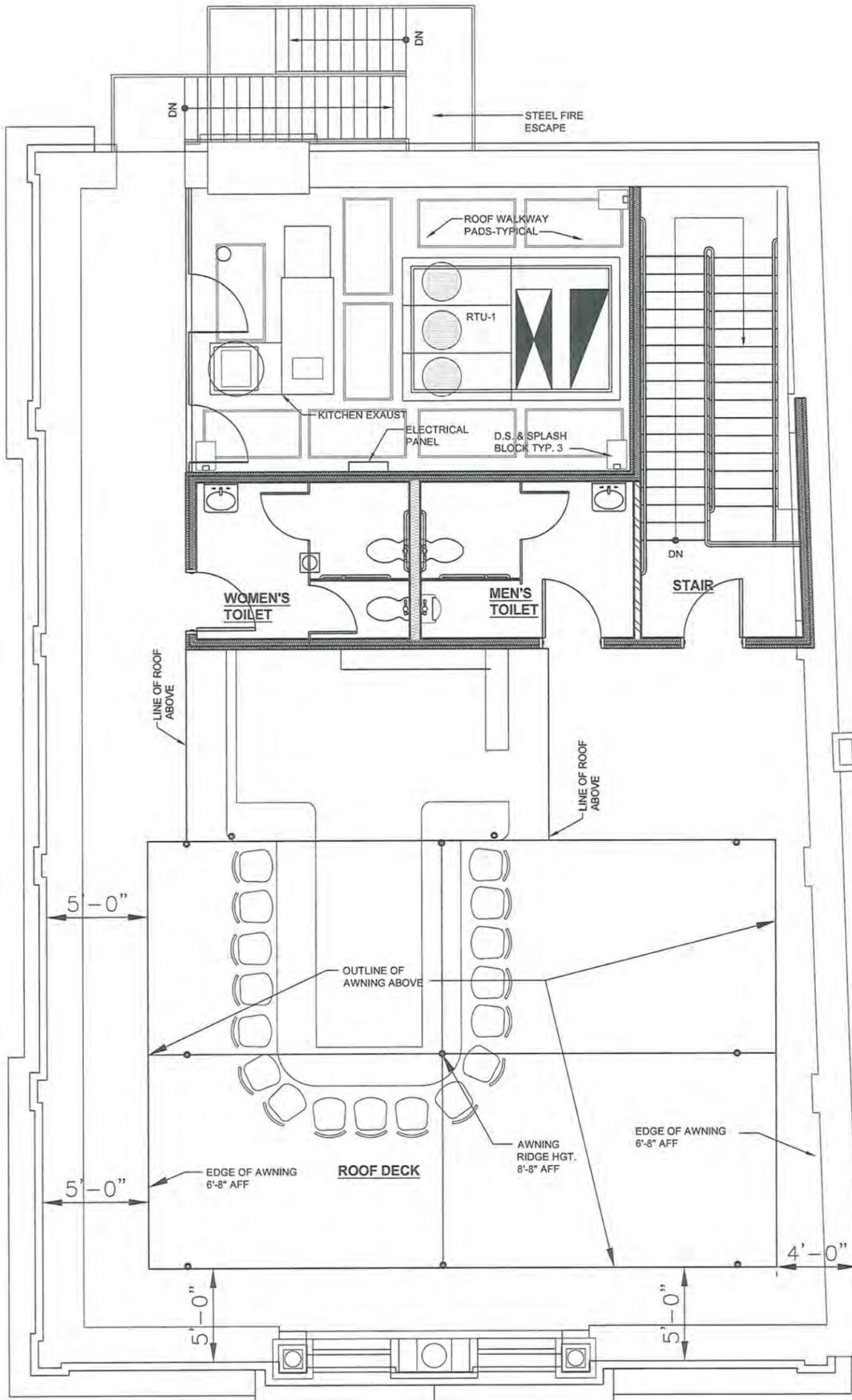
Digital Model
rotated to Street View
**(Rooftop Items
Including Retractable
Awnings not Visible)**



Carson City Saloon

Street View

**(Rooftop Items
Including Retractable
Awnings not Visible)**



Carson City Saloon

Roof Plan

The Sunplus Shelter

Specification Sheet



The Sunplus Retractable Shelter to be used as a free standing shading and weather protection of residential and commercial patios, decks, outdoor seating areas, terraces, common areas, break areas, and smoking areas. Mounting to the wall is made by means of adjustable wall brackets. Ceiling mounting brackets are also available.

FRAME

Cassette: Two piece extruded aluminum cassette. Wall thickness 1/16". Cassette 6-1/16" x 9-1/4"
Cassette End Caps: Constructed of die-cast zinc, with connection tabs as connectors to the guiding rail
Fabric tube: Constructed of galvanized steel, \varnothing 85 mm with groove for the attachment of the fabric, mounted maintenance-free to the lateral parts
Front bar: One piece extruded aluminum profile 3-9/16" x 1-9/16", wall thickness 1/8". End caps constructed of die-cast zinc with plastic roller gliders for a noise free use
Hardware: A2 stainless steel

FABRIC COVER

Fabric: The Sunplus can be equipped with any of the standard acrylic fabrics, fire retardant fabrics, or shade fabrics. Specific fabrics may be available upon request by specifier and approved by manufacturer.
Thread: Thread to be PTFE GORE TENARA when using acrylic or fire retardant fabrics. Shade fabrics will be welded with maximum 1/2" visible seam.

MOTOR

The Sunplus is equipped with a 50 Nm wired or wireless SOMFY motor. Motor can be mounted on left or right side of the cassette.
Wired motor: SOMFY LT 50-550R2
Wireless motor: SOMFY ALTUS RTS 550R2-ALTUS

FRAME COLORS

The Sunplus frame is available in white or brown. Custom colors may be available upon request.

White: RAL 9010
Brown: RAL 8019
Custom: RAL number supplied by specification

MOUNTING

Guide Rails: One piece extruded aluminum 4-5/16" x 3-9/16" with integrated rain gutters and tracks for front bar and tape drive travel. Lower mounting grooves for the upright top hinge and the fabric support tube.
Legs: One piece extruded aluminum 2-3/8" x 2-3/8" x 3/16", attached to the guiding rail by top hinge and bottom plate.
Wall Bracket: Aluminum wall bracket with an adjustable tilting range of 0-35 degrees.

MAXIMUM DIMENSIONS

Maximum single unit width is 16'. Multiple units may be joined together to achieve widths wider than 16'. Maximum projection for any unit is 23'. When joining multiple units, projections are not required to be equal.

FABRIC SUPPORT TUBES

Required fabric support tubes by projection: Up to 12' = 1 support tube. 12'-17' = 2 support tubes. 17'-23' = 3 support tubes. Additional support tubes are available upon request.

Carson City Saloon

Awning
Specification
Sheet



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1408 N. FRANKLIN ST. 3
 1409 RUSH ST. PGH, PA 15233

OWNER:

NAME: SETH GANLEY
 ADDRESS: 1408 N. FRANKLIN ST. 3
 1409 RUSH ST., PGH, PA 15233
 PHONE: 412-805-7333
 EMAIL: seth-gan@yahoo.com

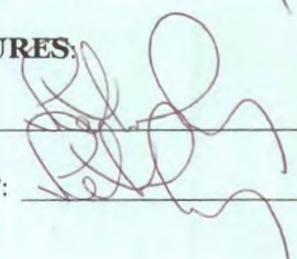
REQUIRED ATTACHMENTS:

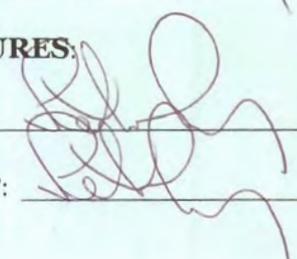
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Have "dog ear" privacy fence made out of western red cedar installed as shown in photos.

SIGNATURES:

OWNER:  DATE: 6-22-12

APPLICANT:  DATE: 6-22-12

STAFF USE ONLY:

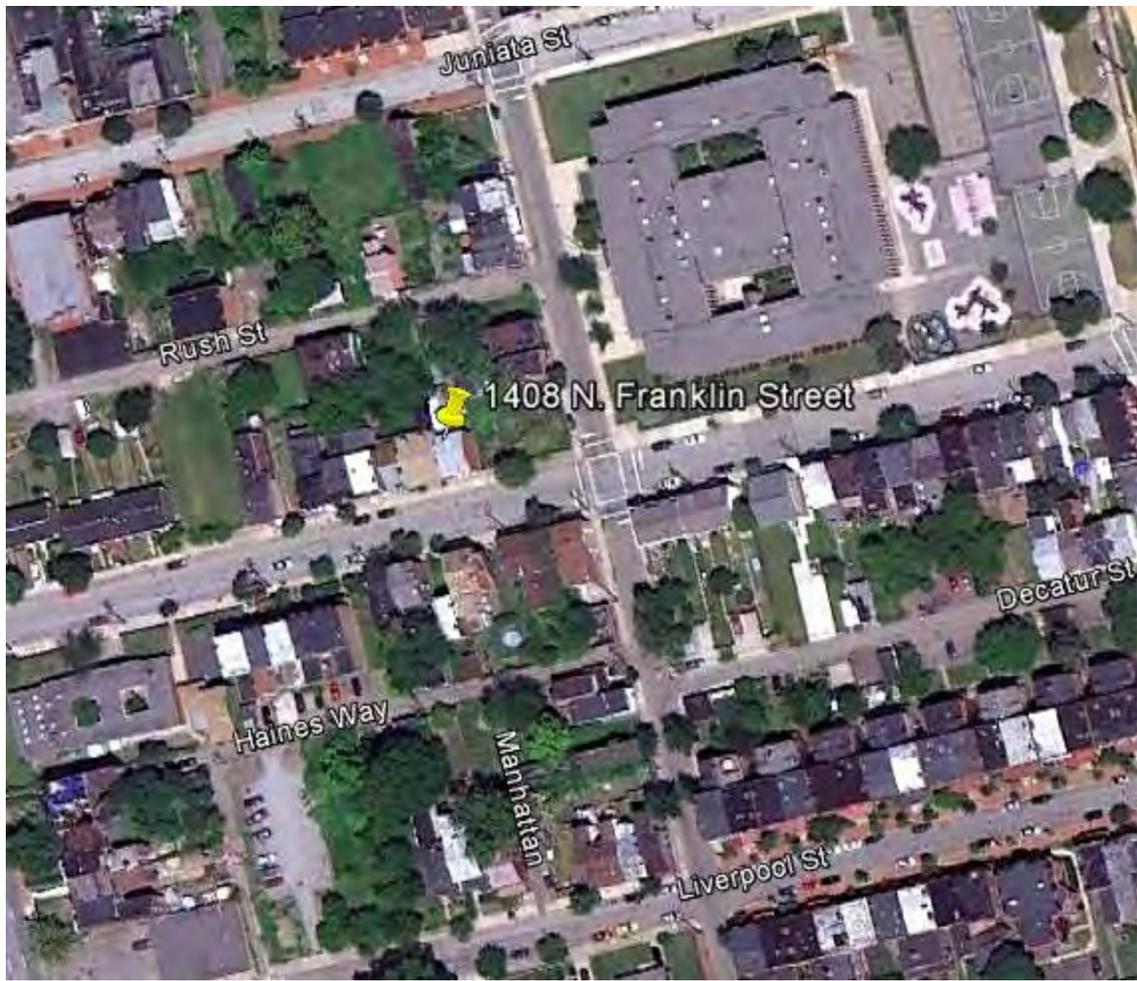
DATE RECEIVED: 6/22/12
 LOT AND BLOCK NUMBER: 22-K-275
 WARD: 21st
 FEE PAID: 100

DISTRICT:

21st (MANCHESTER)

APPLICANT:

NAME: SETH GANLEY
 ADDRESS: 1408 N. FRANKLIN ST. 3
 1409 RUSH ST., PGH, PA 15233
 PHONE: 412-805-7333
 EMAIL: seth-gan@yahoo.com



**1409 Rush Street
View looking East.**



**Pittsburgh, PA 15233
(Manchester)**

**New fence will replace the vine-covered
green snow fence.**

SG1

**1408 N. Franklin Street & 1409 Rush Street
Interior view looking North.**



Pittsburgh, PA 15233 (Manchester)

Red line indicates the location of the new fence.

The chain link fence shown in the right of the photo will be replaced by the new fence.

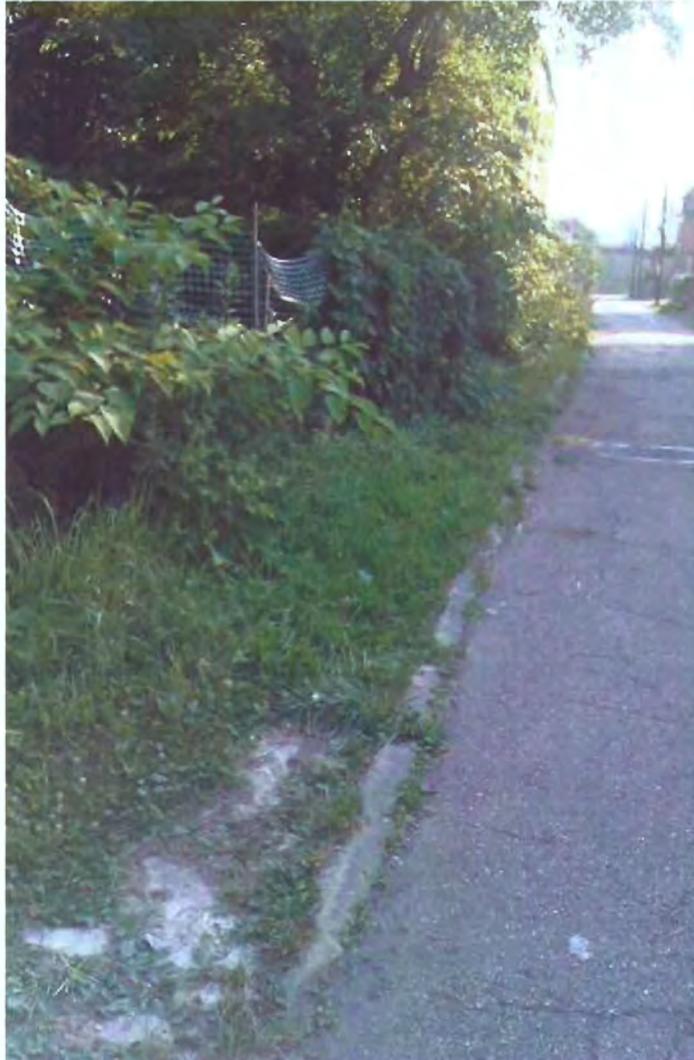
**1409 Rush Street
View looking South.**



**Pittsburgh, PA 15233
(Manchester)**

New fence will replace the green snow fence.

**1409 Rush Street
View looking West.**



**Pittsburgh, PA 15233
(Manchester)**

New fence will replace the green snow fence.

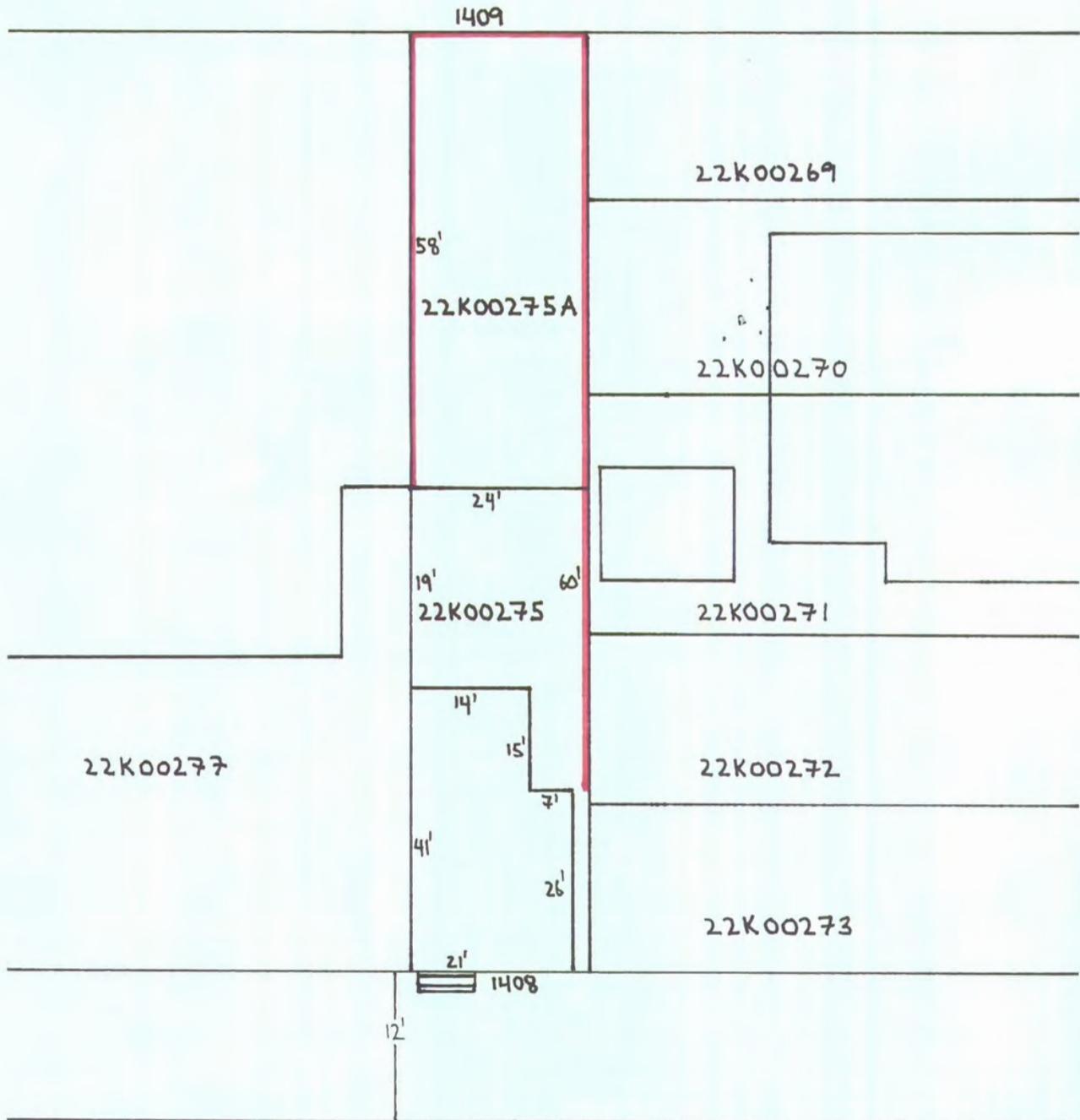
**Example of the "Dog Ear" privacy fence
that is to be installed at
1408 N. Franklin Street & 1409 Rush Street.**



**Photo taken in Pittsburgh, PA 15233
(Manchester)**



RUSH ST.

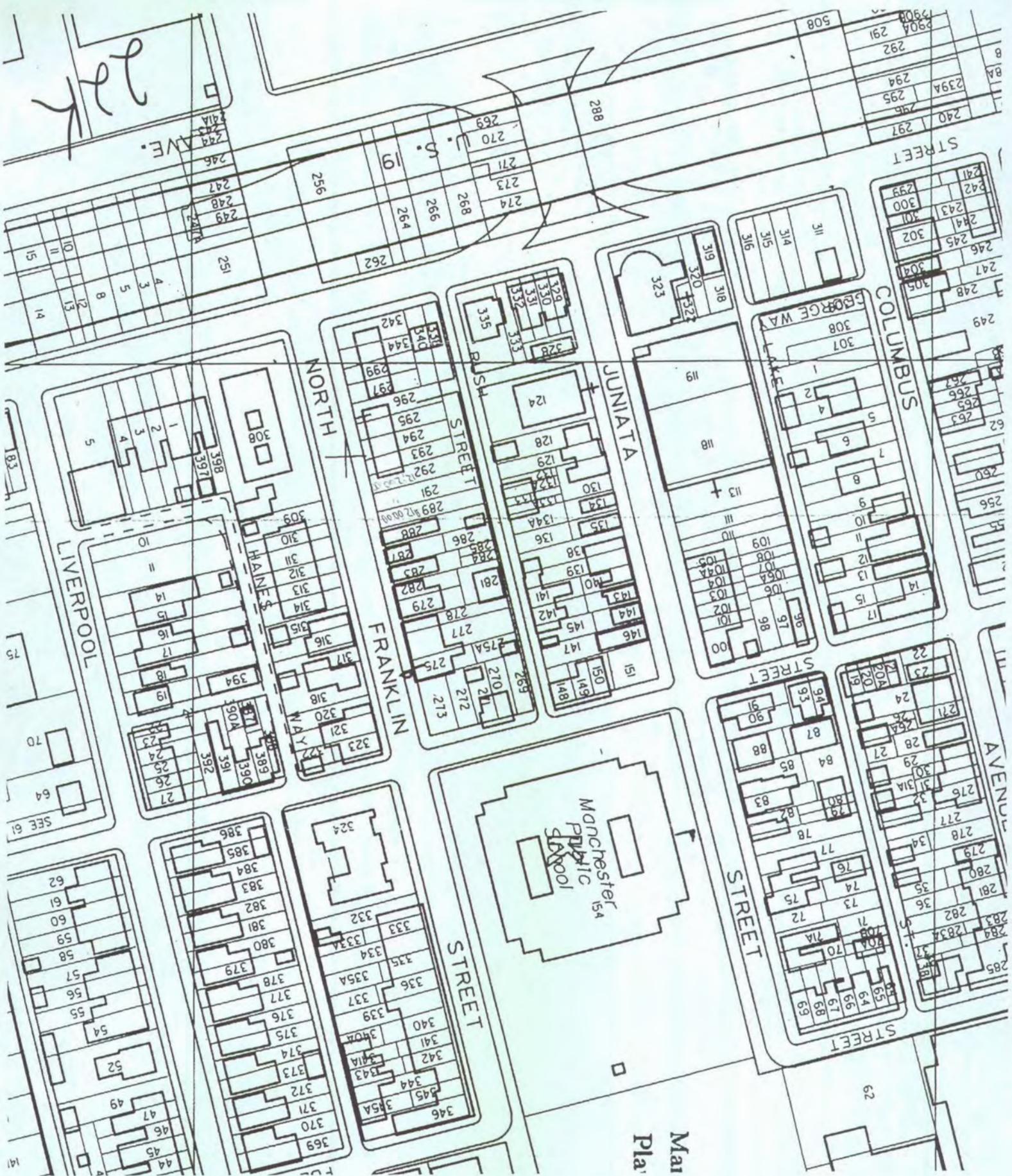


SETH GANLEY
1408 N. FRANKLIN ST.
PITTSBURGH, PA 15233

— Location of new fence.
1" = 16'

N. FRANKLIN ST.

SG6



SG7

Mar
Pla



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

- Staff Use -

DEADLINES:
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

FEE SCHEDULE: See attached
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid. \$ 100

Date Received: 5-15-12

Hearing Date: 6-6-12

Lot and Block #: 533-6-258 22-K-277
21st ward

ADDRESS OF PROPERTY: 1416 N. FRANKLIN ST

HISTORIC DISTRICT: 21ST WARD

OWNER

Name: MICHELLE MORPHY
 Address: 1416 N. FRANKLIN ST
PEH. PA 15233
 City, State, Zip: 412 335-5723
 Phone: () Fax: ()
 E-MAIL: _____

APPLICANT

Name: BILL MILLER
 Address: 121 FIRESIDE DR
NEWCASTLE PA 16
 City, State, Zip: 724 654-4561
 Phone: () Fax: ()
 E-MAIL: _____

REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED WORK: 14 REPLACEMENT WINDOWS

SIGNATURE

Michelle Morphy, Owner
Bill Miller, Applicant
 (STARS AGENT)

DATE 5/15/12







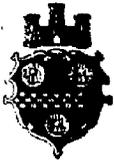




REPLACING
with

Window Comparison Sheet

	Alside 09L1 Centurion Lite	WeatherBeater Max 9900	WeatherBeater Plus 7700	WeatherBeater 5400
		Best 9900	Better 7700	Good 5400
Frame	1/2" spring Mechanical Flat exterior Sloped Sill No accessory groove No balance covers SS constant force coil	3/4" spring Fusion Welded Bevel Exterior Sloped Sill Accessory track in & out Balance Covers SS constant force coil	3/4" spring Fusion Welded Bevel Exterior Sloped Sill Accessory track in & out Balance Covers SS constant force coil	1/2" spring Fusion Welded Contoured Exterior Sloped Sill Accessory Track in & out No Balance Cover SS constant force coil
Sash	Dual Cam Lock (25"+) Mechanical Flat interior Interlock meeting Rail Lift Handles Tilt Latches (uncovered)	Dual Cam Locks-Sears Fusion Welded Foam Filled /Square Sash Interlock Meeting Rail Lift Rails Tilt Latches	Dual Cam Locks-Sears Fusion Welded Square Sash Interlock Meeting Rail Lift Rails Tilt Latches	Dual Cam Locks - Sears Fusion Welded Squared Sash Interlock Meeting Rail Extruded Rail Tilt Latches
Glass	Intercept Spacer Dual Pane Single strength 13/16" Intercept spacer 1/2" Set into sash Clear Air	Intercept Spacer Dual Pane Double Strength 7/8" Intercept spacer 1/2" Set into the Sash Soft Coat - Low E/ SPF Argon Filled	Intercept Spacer Dual Pane Double Strength 7/8" Intercept spacer 1/2" Set into the Sash Soft Coat - Low E Argon Filled	Intercept Spacer Dual Pane Single Strength 3/4" Intercept spacer 1/2" Set into the Sash Soft Coat - Low E Argon Filled
Screens	Aluminum roll formed Half-screen standard	Aluminum Extruded Frame Full Screen standard Fiberglass	Aluminum Extruded Frame Full Screen standard Fiberglass	Aluminum Extruded Frame Full Screen standard Fiberglass
Colors	White	White Tan Clay LWG	White Tan Clay LWG	White Tan Clay
Grids	White colonial flat	Brass Contoured White Contoured Tan Contoured Clay Contoured Woodgrain Contoured	Brass Contoured White Contoured Tan Contoured Clay Contoured Woodgrain Contoured	White Contoured Tan Contoured Clay Contoured Brass Contoured
Options	No brass option	No Brass Lift handles/Locks	No Brass Lift handles/Locks	No Brass Lift handles/Locks
Thermal Performance (Low e- SB60)				
U-Factor	0.33	0.24	0.3	0.3
R-Value	3.03	4.24	3.33	3.33
SHGC	0.29	0.27	0.29	0.3
Visible Transmittance	0.54	0.46	0.52	0.52
UV Block	0.84	0.99	0.8	0.8
Warranty - workmanship - original owner				
Vinyl	Lifetime	Lifetime	Lifetime	Lifetime
Hardware	Lifetime	Lifetime	Lifetime	Lifetime
Screens	Lifetime	Lifetime	Lifetime	Lifetime
Glass - obstruction	Lifetime	0-20yrs 100%	0-10yrs 100%	0-5 yrs 100%
	Lifetime	Lifetime	Lifetime	Lifetime
Glass - breakage	Unavailable	31 plus 50%	20yrs plus 0%	10 Yrs
Labor	1 year	Lifetime	20 Yrs	10 Yrs
Types	Double hung only	3 year	2 year	1 year
	Double hung only	Double Hung Picture Window Casement, Sliders Bays, Bows Patio Door- Std ONLY Garden Windows Geometrics Endvent	Double Hung Picture Window Casement, Sliders Bays, Bows Patio Door- Std ONLY Garden Windows Geometrics Endvent	Double Hung Picture Window Casement, Sliders Bays, Bows Patio Door- Std ONLY Garden Windows Geometrics Endvent



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

Staff Use

DEADLINES
 Completed Applications must be submitted 5 days prior to next HRC meeting, when a hearing is required.

FEESCHEDULE B See attached
 Please take check payable to Treasurer, City of Pittsburgh

Fee Paid \$ 100

Date Received: _____

Hearing Date: _____

Lot and Block #: _____

ADDRESS OF PROPERTY: 1246 RESACA PLACE
PGH. 15212

HISTORIC DISTRICT: MEXICAN WAR STREETS

OWNER

Name: JOHN & MARIROSE RADELET
 Address: 1246 RESACA PLACE
 City, State, Zip: PITTSBURGH, PA 15212
412-322-1188
 Phone: () _____ Fax: () _____
 E-MAIL: jtradelet@gmail.com

APPLICANT

Name: JAME
 Address: _____
 City, State, Zip: _____
 Phone: () _____ Fax: () _____
 E-MAIL: _____

REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other **COLOR SAMPLES**

DETAILED DESCRIPTION OF PROPOSED WORK: (SEE SEPARATE SHEET)

SIGNATURE John T. Radelet, Owner DATE 6/16/12
John T. Radelet, Applicant DATE 6/16/12



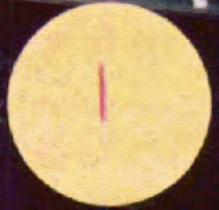
1246 RESACA PLACE

MEXICAN WAR STREETS HISTORIC DISTRICT

DESCRIPTION OF PROPOSED WORK:

- CONSTRUCTION OF A NEW BACKYARD STORAGE SHED TO STORE BICYCLES, GARDEN TOOLS, YARD FURNITURE, ETC.
- APPROXIMATELY 7 FEET SQUARE WITH TOP OF FRONT GABLE 9 FEET ABOVE GROUND. ABUTS HIGHER GARAGE ON ADJACENT PROPERTY. YARD SURROUNDED BY 6 FOOT SOLID WOOD FENCE, SO ONLY ROOF OF NEW SHED IS VISIBLE FROM OUTSIDE PROPERTY LINES.
- THREE-SIDED HIP ROOF (TO MINIMIZE APPARENT HEIGHT) WITH GABLE END ON FRONT.
- FLAT WOOD SIDING WITH WOOD CORNER TRIM, ALUMINUM GUTTER, ASPHALT SHINGLE ROOF. GABLE END AND PARTS OF SIDE WALLS HAVE APPLIED WOOD LATTICE IN CONTRASTING COLOR (TO SUGGEST "GAZEBO" APPEARANCE).
- DETAILS (INSOFAR AS POSSIBLE) COPY DETAILS OF PORCH ROOF ATTACHED TO HOUSE, CONSTRUCTED IN 1998 AND APPROVED BY HISTORIC REVIEW UNDER CERTIFICATE NO. 98-031 (3/24/98). COLORS SAME AS PORCH ROOF.
- ROOF SLOPE IS $5\frac{1}{2}:12$, MATCHING PORCH ROOF AND ROOF SLOPE OF ADJACENT OWNER'S GARAGE ROOF.
- ZONING VARIANCES FOR REAR AND SIDE YARD SETBACK REDUCTION APPLIED FOR SEPARATELY.
- HISTORIC REVIEW DESIGN GUIDELINES FOR NEW GARAGES FOLLOWED TO EXTENT THEY SEEM APPLICABLE.

H.R.



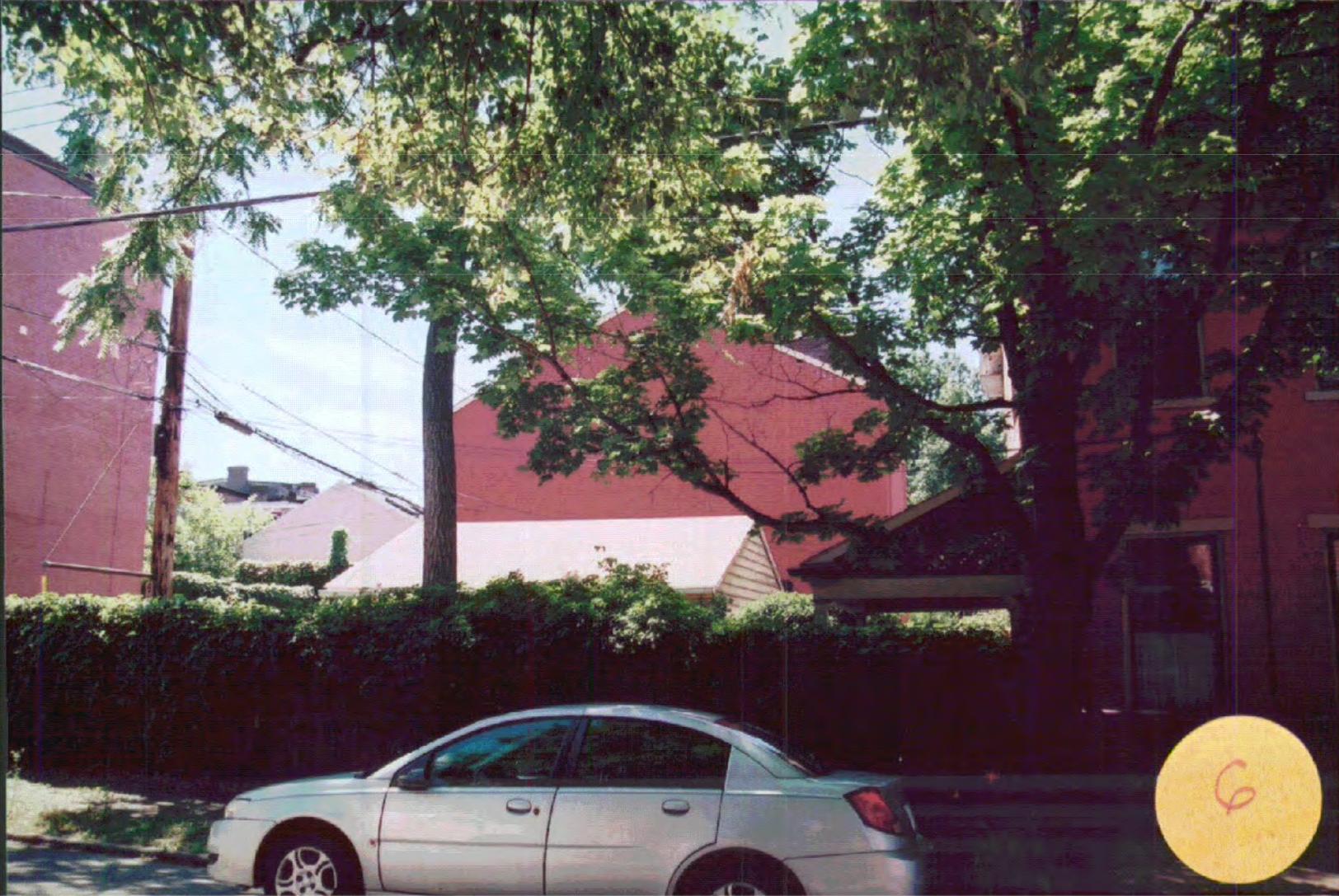








5

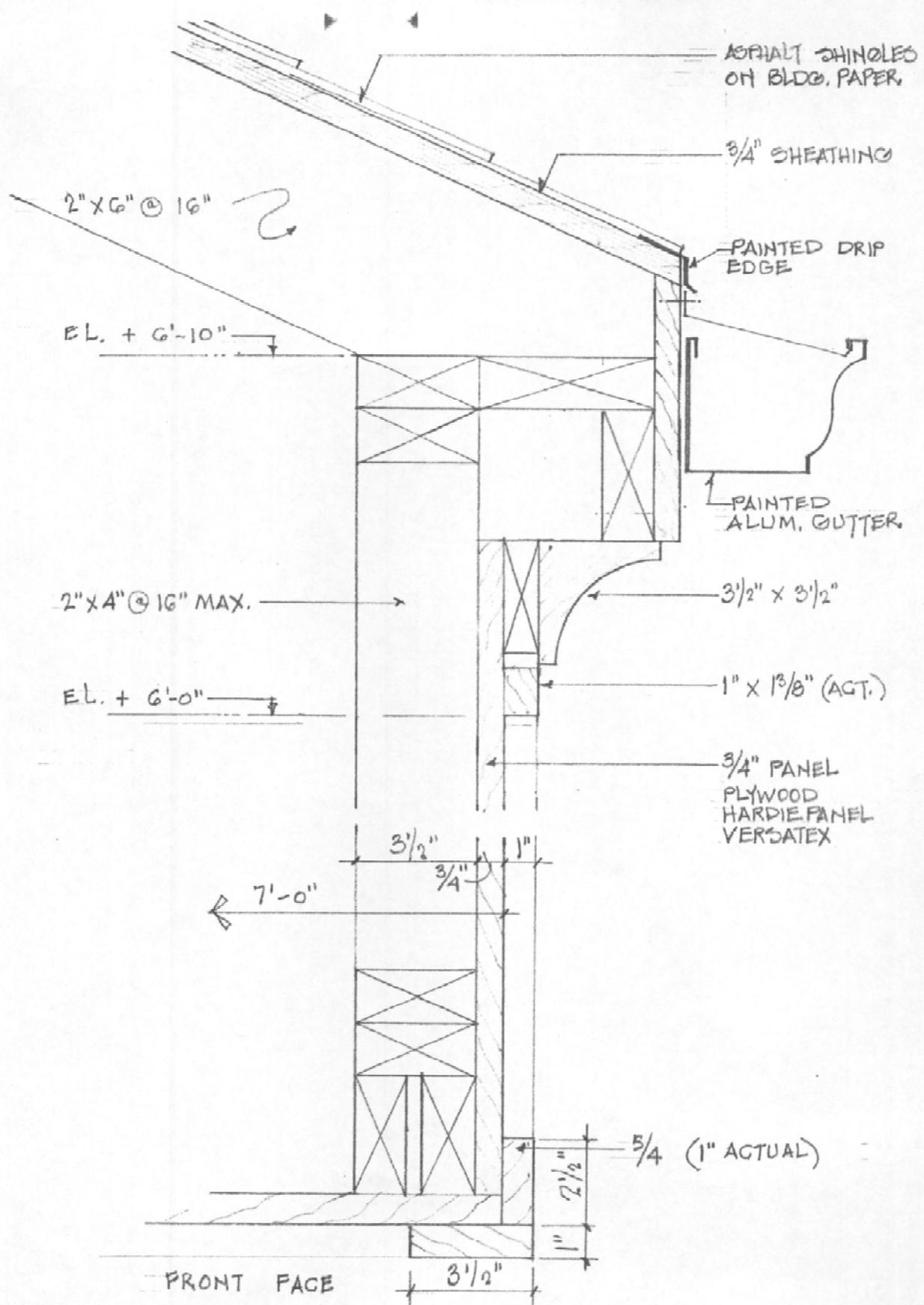




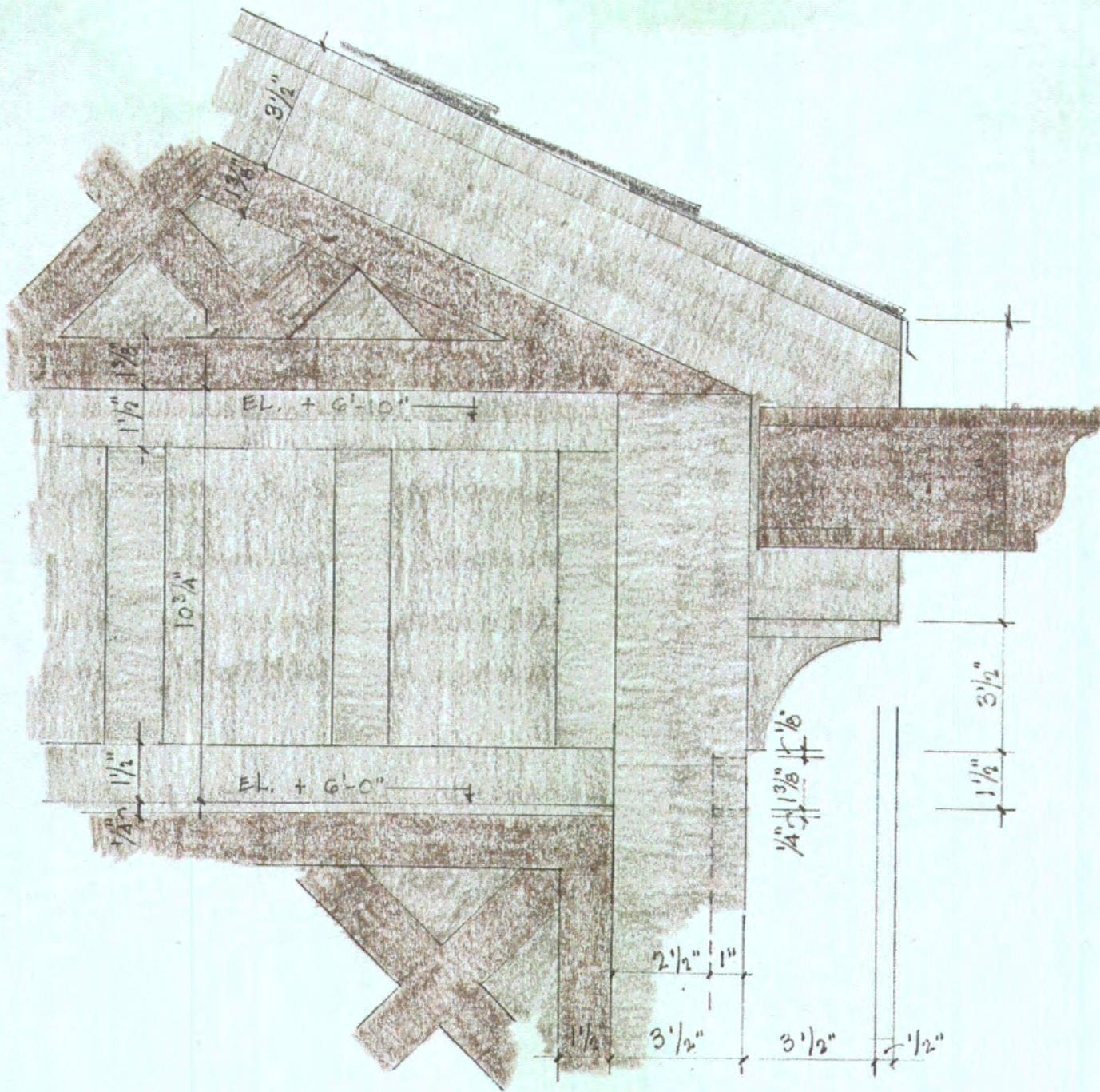








TYPICAL EAVE DETAIL 3" = 1'-0"



FRONT EAVE CORNER
PARTIAL ELEVATION

3" = 1'-0"

23-K-67

23-K-68

23-K-69

23-J-226

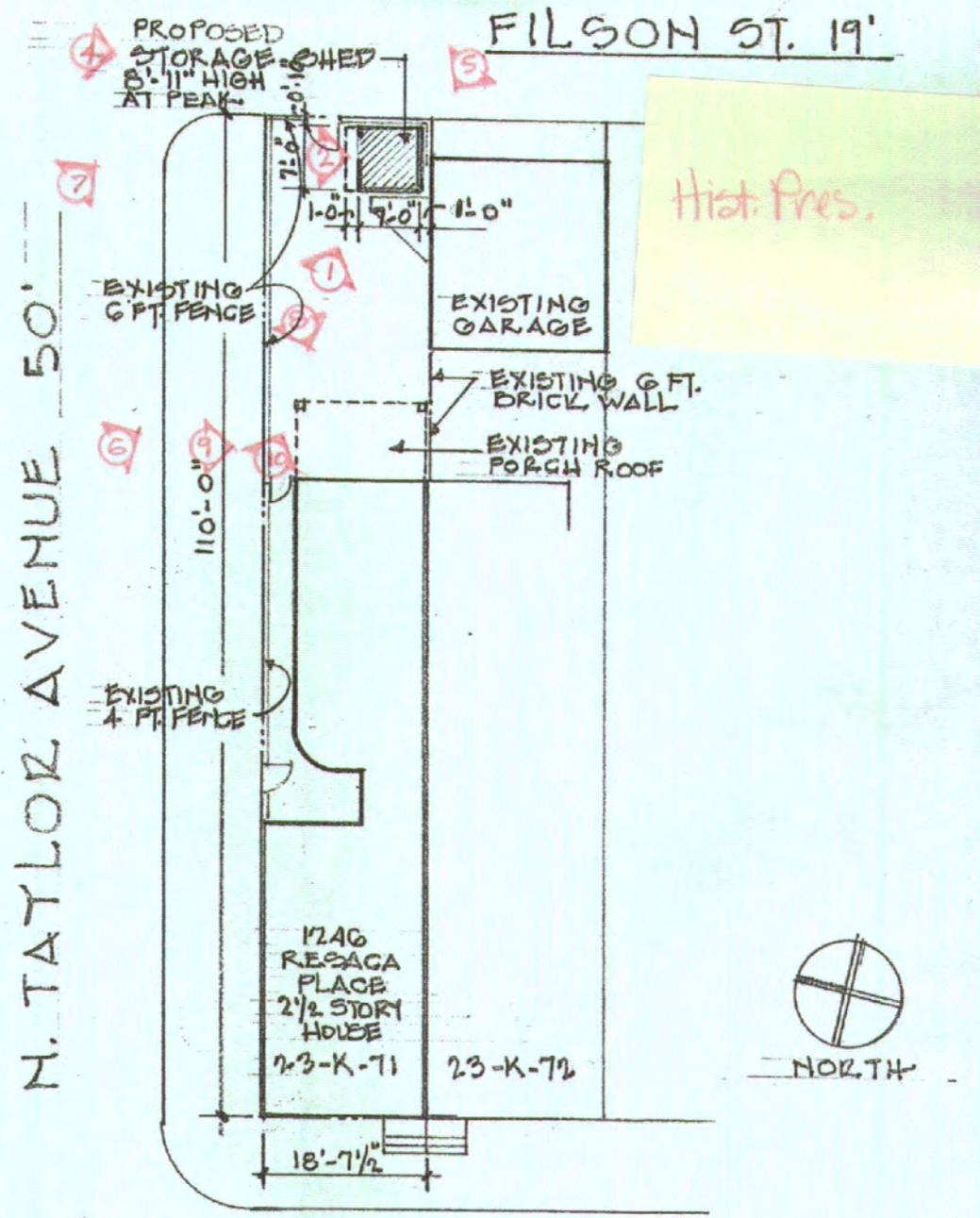
23-J-225

23-J-224

23-J-223-0000
0001
0002
0003

23-J-222

23-J-220



Hist. Pres.



KEY TO PHOTOS

PLAN OF PROPERTY
OF
JOHN & MARIROSE RADELET
BEING
LOT & BLOCK NO. 23-K-71
IN

BUENA VISTA PLAN OF LOTS
22ND WARD - CITY OF PITTSBURGH - ALLEGHENY COUNTY, PA.
RECORDED IN PLANBOOK VOLUME 2 PAGE 61
SCALE: 1/4" = 1'-0" JUNE 5, 1910

23-K-66

23-K-67

23-K-68

23-K-69

23-J-226

23-J-225

23-J-224

23-J-223-0000
0001
0002
0003

23-J-222

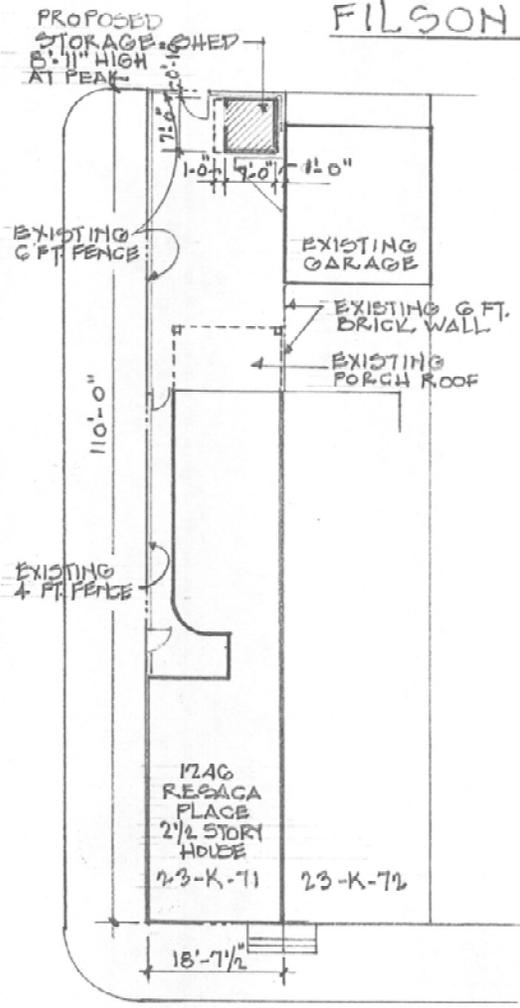
23-J-220

23-J-221

23-K-125

FILSON ST. 19'

N. TAYLOR AVENUE 50'



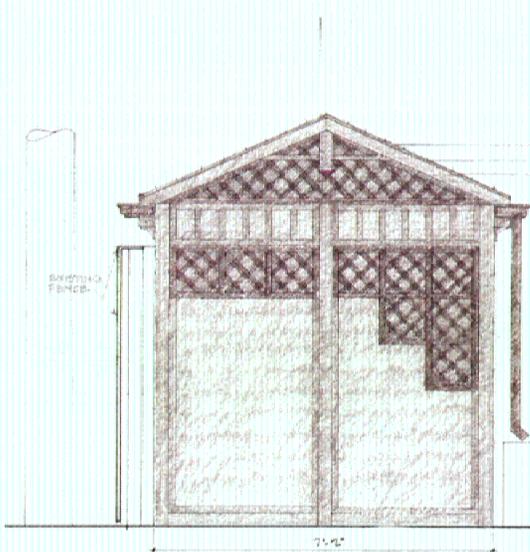
NORTH

RESACA PLACE 50'

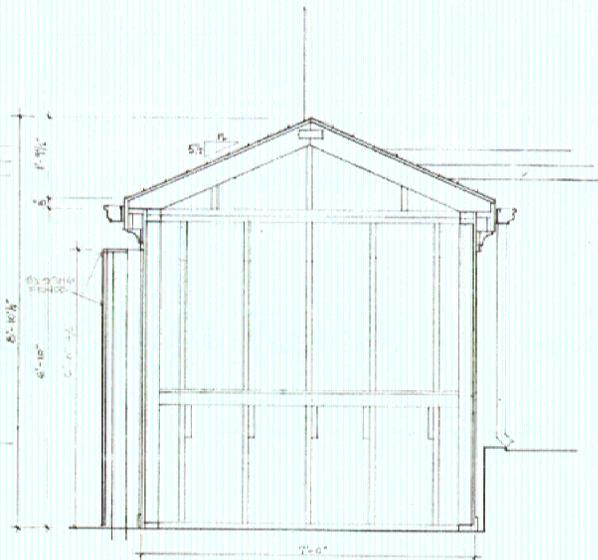
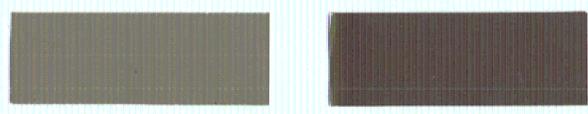
23-J-249 23-J-248 23-J-247

PLAN OF PROPERTY
OF
JOHN & MARIROSE RADELET
BEING
LOT & BLOCK NO. 23-K-71
IN

BUENA VISTA PLAN OF LOTS
22ND WARD - CITY OF PITTSBURGH - ALLEGHENY COUNTY, PA.
RECORDED IN PLAN BOOK VOLUME 2 PAGE 61
SCALE: 1" = 20'-0" JUNE 5, 2012



FRONT ELEVATION
3/4" = 1'-0"

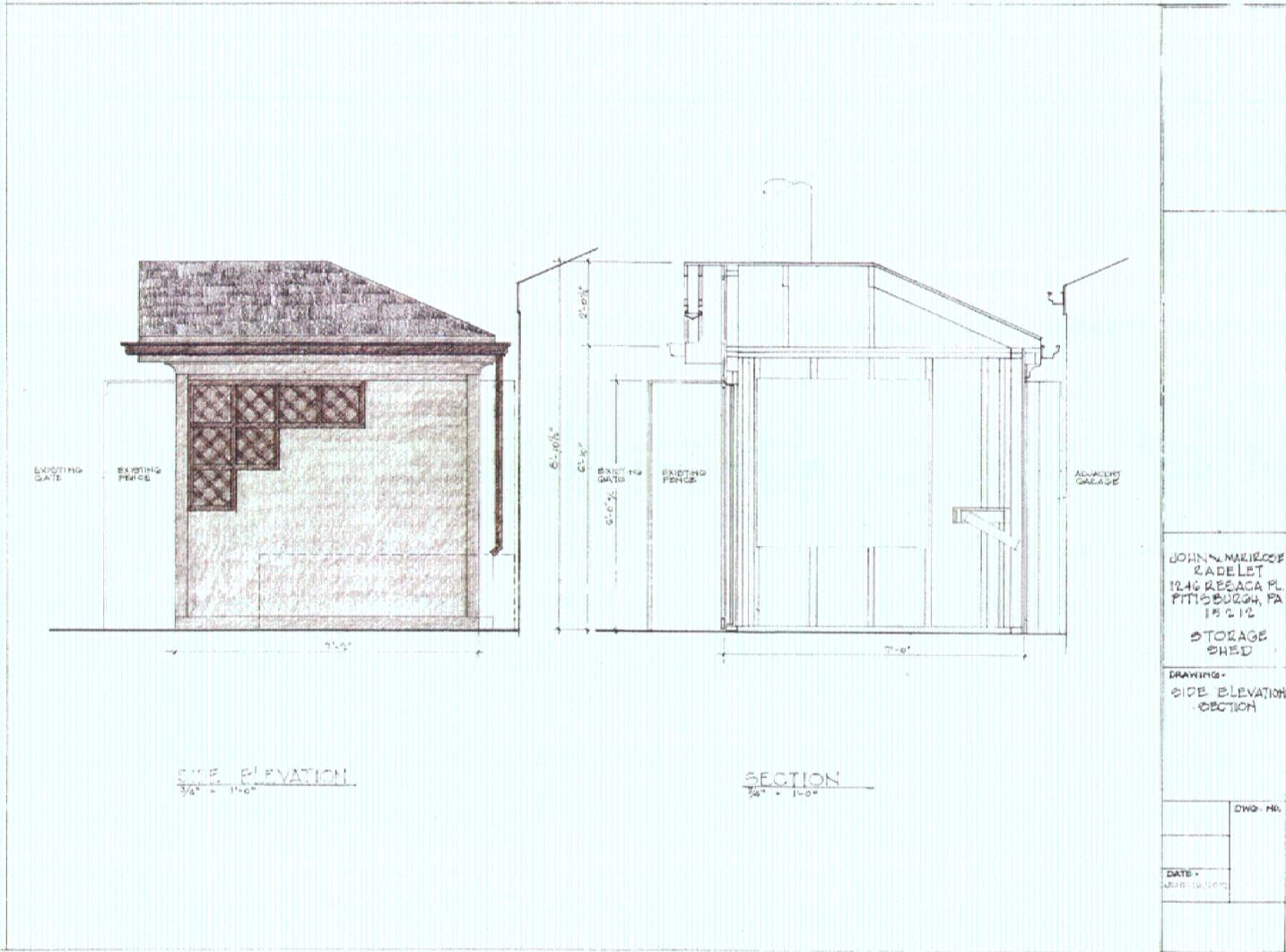


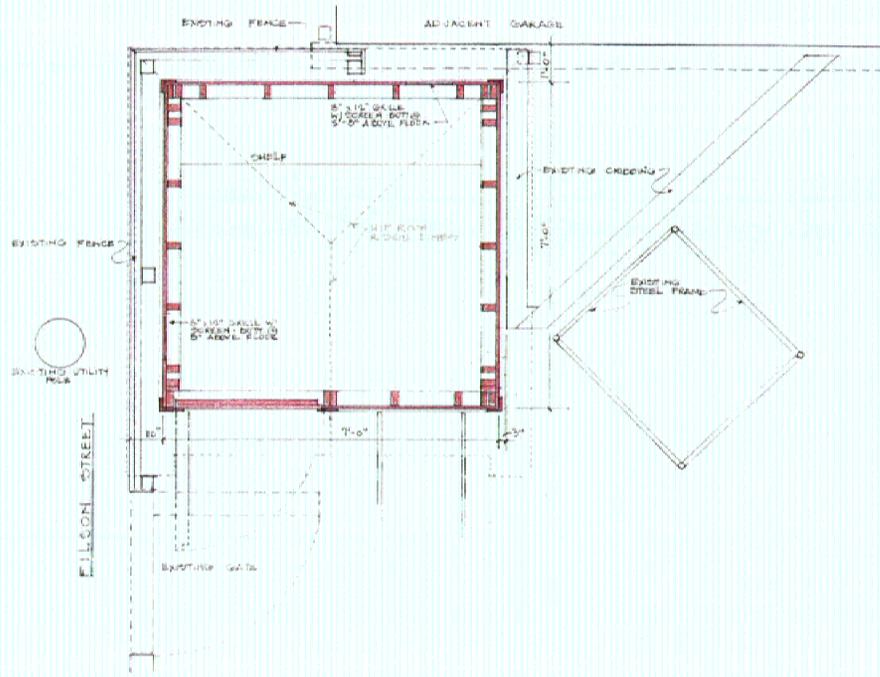
CROSS SECTION
3/4" = 1'-0"

JOHN MARINONE
RADELET
1246 REDUCA PL.
PITTSBURGH, PA
15212
STORAGE
SHED

DRAWING
FRONT ELEVATION
SECTION

DWG. NO.	
DATE	10/18/2010





FLOOR PLAN
3/4" = 1'-0"

JOHN L. MARROBE
RADELET
1246 REBEKA PL
PITTSBURGH, PA
15212

STORAGE
SHED

DRAWING
PLAN

DWG. NO.

DATE



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 5-29-12

LOT AND BLOCK NUMBER: 27-8-74

WARD: 4th

FEE PAID: 900

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

315 S BELLEFIELD AVE
PITTSBURGH, PA 15213

DISTRICT:

8 (NORTH OAKLAND)

OWNER:

NAME: JOSEPH FINK
 ADDRESS: 3400 FORBES AVE
PITTSBURGH, PA 15260
 PHONE: (412) 624-9510
 EMAIL: FINK@PITT.EDU

APPLICANT:

NAME: DINO BAGATTI
 ADDRESS: 555 N BELL AVE
CARNGGIE, PA 15106
 PHONE: (412) 489-9105
 EMAIL: DBAGATTI@LOFTUSLLC.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Replace existing windows above ceiling with relief and ventilation air louvers for connection to air handling unit being replaced.

SIGNATURES:

OWNER: [Signature] DATE: 5/23/12

APPLICANT: [Signature] DATE: 23 MAY 2012









DO NOT
ENTER

ONE WAY



ge St

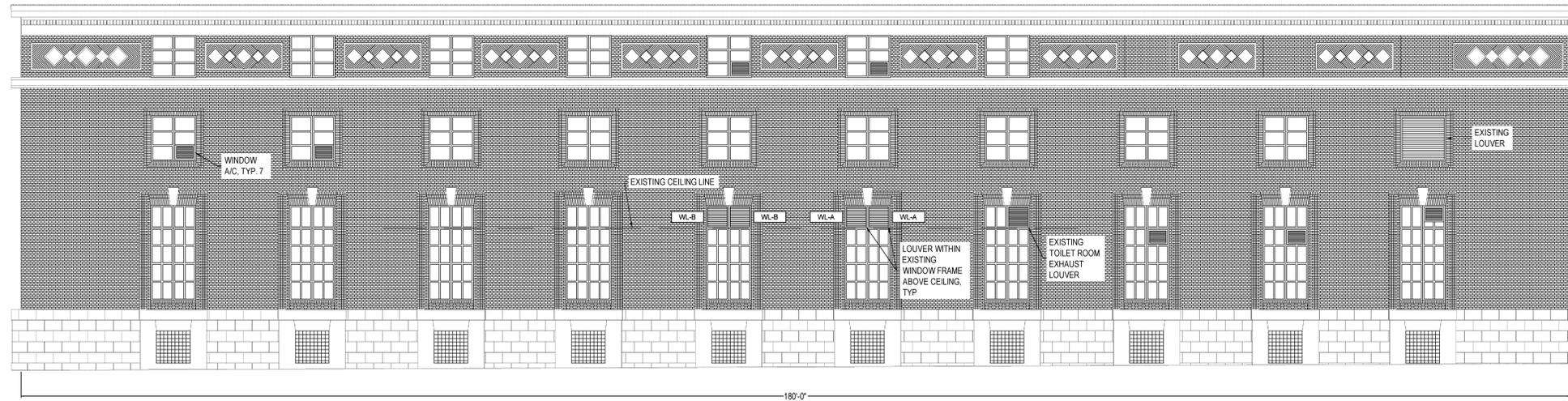
 OR STOPPING

 DO NOT ENTER

 ONE WAY



REVISIONS			
NO.	BY	DATE	DESCRIPTION



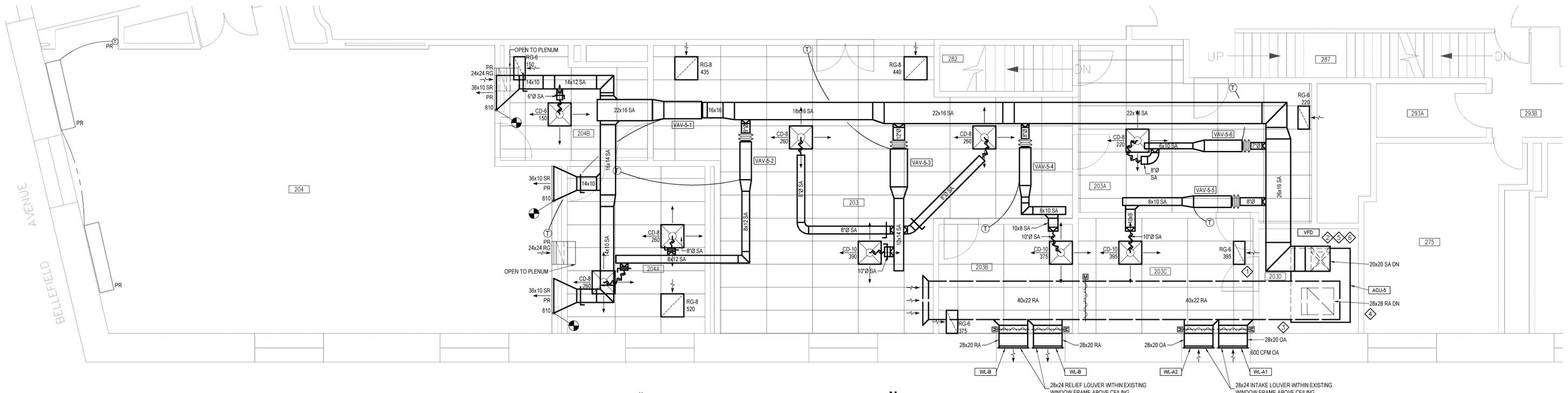
1
A1
REFLECTIVE CEILING PLAN
PARTIAL 2nd FLOOR PLAN
 SCALE: 1/8" = 1'-0"



100% SCHEMATIC DESIGN

 Loftus ENGINEERS <small>INTEGRATED ENGINEERING</small> 555 North Bell Avenue ■ Ph: (412) 489-9100 Carnegie, PA 15106 ■ Fax: (412) 429-6474 www.loftusinc.com ■ E-mail: info@loftusinc.com		PROJ. NO. 12-049 DRAWN: DAB CHD: MSW THIS DRAWING IS 1" LONG ON ORIGINAL DRAWING. IF LENGTH IS DIFFERENT, PLEASE PRINT SCALE TO MATCH. CORRECT SCALE: 0' 1' 2' 3' 4' 5' 6' 7' 8' 9' 10'
UNIVERSITY OF PITTSBURGH FACILITIES MANAGEMENT		
		PROFESSIONAL STAMP
PROJECT NAME: BELLEFIELD HALL HVAC UPGRADES		JOB NO.: X5211
DRAWING DESCRIPTION: EXTERIOR ELEVATION		ISSUE DATE: 05/11/12
CAD FILE NAME: 12-049_PITT_BELLEFIELD_HALL		DRAWN BY: DAB
DRAWING NUMBER: 10276 A0		SET ORDER: 08 OF 09

REVISIONS			
NO.	BY	DATE	DESCRIPTION



1 M1 MECHANICAL DUCTWORK PARTIAL 2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

SEQUENCE OF OPERATION

ACU-5: AIR HANDLING UNIT WITH DX COOLING COIL, STEAM PREHEAT COIL, HW REHEAT VAV TERMINAL BOXES.

SUPPLY FAN START/STOP: THE SUPPLY FAN WILL BE STARTED ACCORDING TO THE SCHEDULE. IF THE SUPPLY FAN STATUS DOES NOT MATCH THE COMMANDED VALUE, AN ALARM WILL BE GENERATED. WHEN THE SUPPLY FAN STATUS INDICATES THE FAN STARTED, THE CONTROL SEQUENCE WILL BE ENABLED. RELIEF DAMPERS SHALL BE CLOSED, RETURN DAMPER SHALL BE OPEN AND OUTDOOR AIR DAMPER SHALL OPEN TO MINIMUM POSITION.

STATIC PRESSURE CONTROL: THE SUPPLY FAN WILL MODULATE TO MAINTAIN THE DISCHARGE STATIC PRESSURE AT SETPOINT.

RETURN AIR CONTROL: THE MIXED AIR DAMPERS, HW REHEAT STAGES, AND THE DX COOLING STAGES WILL MODULATE/CYCLE TO MAINTAIN THE RETURN AIR SETPOINT.

MIXED AIR LOW LIMIT OVERRIDE: THE MIXED AIR TEMPERATURE WILL OVERRIDE THE MINIMUM POSITION AND CLOSE THE OUTSIDE AIR DAMPER IF A TEMPERATURE IS SENSED BELOW THE SETPOINT.

ECONOMIZER DRY BULB SWITCHOVER: WHEN THE SHARED OUTSIDE AIR TEMPERATURE IS BELOW THE SWITCHOVER SETPOINT, THE ECONOMIZER WILL BE ENABLED. WHEN THE SHARED OUTSIDE AIR TEMPERATURE RISES ABOVE THE SWITCHOVER SETPOINT PLUS A DIFFERENTIAL, THE ECONOMIZER WILL BE DISABLED. WHEN RETURN AIR ENTHALPY EXCEEDS OUTDOOR AIR ENTHALPY, MODULATE OPEN BOTH OUTSIDE AIR DAMPERS TO FULL OPEN POSITION. THE RETURN AIR DAMPER SHALL MODULATE CLOSED AS OUTSIDE AIR DAMPERS OPEN. WHEN OUTSIDE AIR DAMPERS REACH TWO-THIRDS (2/3) OPEN, MODULATE OPEN BOTH RELIEF AIR DAMPERS TO FULL OPEN POSITION. WHEN OUTSIDE AIR ENTHALPY EXCEEDS RETURN AIR ENTHALPY, THE ECONOMIZER WILL BE DISABLED, RELIEF DAMPERS MODULATE TO FULLY CLOSED POSITION, OUTSIDE AIR DAMPERS MODULATE TO MINIMUM POSITION AND THE RETURN AIR DAMPER RETURNS TO FULLY OPEN POSITION.

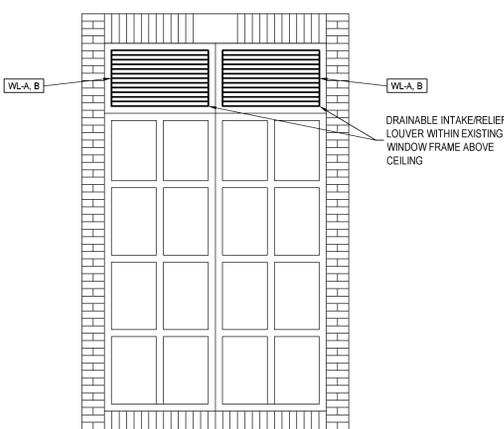
NIGHT SETBACK/NIGHT SETUP: WHEN IN "UNOCCUPIED" MODE, THE UNIT WILL CYCLE AS NECESSARY TO MAINTAIN THE SHARED NIGHT SETBACK ZONE TEMPERATURE AT SETPOINT. A DIFFERENTIAL PREVENTS THE UNIT FROM CYCLING EXCESSIVELY. THE OUTSIDE AIR DAMPERS SHALL REMAIN CLOSED UNTIL OCCUPIED.

HEATING: WHEN TEMPERATURE IN ANY ZONE DROPS BELOW ITS SETPOINT, MODULATE ZONE REHEAT COIL VALVE IN SEQUENCE WITH THE VAV BOX DAMPER TO MAINTAIN ROOM SETPOINT. THE VAV DAMPER, UPON A RISE IN TEMPERATURE, WILL OPEN. UPON A DROP IN TEMPERATURE

SAFETY:
ALL OF THE SAFETY DEVICES ARE MANUAL RESET. THE DEVICE THAT HAS TRIPPED MUST BE MANUALLY RESET BEFORE RESTARTING THE AIR HANDLING UNIT. IF A FIRE ALARM SHUTDOWN CONTACT IS PROVIDED, THE SUPPLY FAN WILL BE SHUTDOWN WHEN TRIGGERED. IF A HIGH STATIC PRESSURE SWITCH LOCATED AFTER THE SUPPLY FAN SENSES A DISCHARGE PRESSURE THAT IS GREATER THAN SETPOINT, THE SUPPLY FAN WILL BE SHUTDOWN.

SHUTDOWN:
WHEN THE UNIT IS SHUTDOWN BY EITHER A STOP COMMAND OR SYSTEM SAFETY THE UNIT WILL BE SET AS FOLLOWS:
SUPPLY FAN WILL BE OFF
SUPPLY FAN VFD WILL BE COMMANDED TO 0%
OUTSIDE AIR DAMPER WILL CLOSE
RETURN AIR DAMPER WILL OPEN
DX COOLING WILL BE OFF
ELECTRIC REHEAT WILL BE OFF

- NEW WORK NOTES**
- EXISTING CEILING GRID TO REMAIN. ALL EXISTING CEILING TILES TO REMAIN, EXCEPT FOR IN ROOM 203C. PROVIDE ALL NEW CEILING TILES IN ROOM 203C TO MATCH ROOM 203A. EXISTING CEILING TILES TO BE REPLACED BACK INTO EXISTING CEILING GRID UPON COMPLETION OF CONSTRUCTION. ANY CEILING TILES DAMAGED DURING CONSTRUCTION TO BE REPLACED.
- ALL VAV REHEAT TERMINALS TO BE FITTED WITH AUTOMATED LOGIC CONTROLS AND TIED INTO EXISTING BUILDING AUTOMATIC TEMPERATURE CONTROL SYSTEM.
- PATCH ALL REMAINING WALL PENETRATIONS UPON COMPLETION OF DEMOLITION EXCEPT WHERE TAO (TRANSFER AIR OPENING) IS DENOTED.
- 1 REMOVE DOOR AND DEMOLISH WALL AS NECESSARY TO INSTALL NEW ACU-5.
 - 2 CONNECT NEW STEAM PREHEAT COIL IN ACU-5 TO EXISTING STEAM LINES IN MECHANICAL ROOM.
 - 3 CONNECT NEW ACU-5 CONDENSATE DRAIN TO EXISTING DRAIN LINE IN MECHANICAL ROOM.
 - 4 CONNECT REFRIGERANT LINES TO DX COIL IN NEW ACU-5.
 - 5 CONNECT NEW ACU-5 TO EXISTING 208-30 ELECTRICAL PANEL. ROUTE WIRING WITHIN EXISTING CONDUIT.
 - 6 PROVIDE SOUND ATTENUATION ON WALLS OF MECHANICAL ROOM.



A M1 MECHANICAL ELEVATION NEW WINDOW LOUVERS
SCALE: 1/4" = 1'-0"

100% SCHEMATIC DESIGN

 555 North Bell Avenue Carnegie, PA 15106 www.loftusinc.com		PROJ. NO: 12-049 DRAWN: DAB CHDK: MSW THIS DRAWING IS 1" LONG ON ORIGINAL DRAWING. IF LENGTH DIFFERS, BASED FROM SCALE OF WORK.
UNIVERSITY OF PITTSBURGH FACILITIES MANAGEMENT		
PROJECT NAME: BELLEFIELD HALL HVAC UPGRADES		JOB NO: X5211
MECHANICAL DUCTWORK PARTIAL 2nd FLOOR PLAN & WINDOW ELEVATION		ISSUE DATE: 05/11/12
CAD FILE NAME: 12-049 PITT BELLEFIELD HALL		DRAWN BY: DAB
DRAWING NUMBER: 10276 M1		SET ORDER: 04 OF 09

SECTION 089000 - LOUVERS

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes operable, extruded-aluminum louvers.

1.2 SUBMITTALS

- A. Product Data: For each type of product indicated.
 - 1. For louvers specified to bear AMCA seal, include printed catalog pages showing specified models with appropriate AMCA Certified Ratings Seals.
- B. Shop Drawings: For louvers and accessories. Include plans, elevations, sections, details, and attachments to other work. Show frame profiles and blade profiles, angles, and spacing. Color to match existing window frame.

PART 2 - PRODUCTS

2.1 PERFORMANCE REQUIREMENTS

- A. Delegated Design: Design louvers, including comprehensive engineering analysis by a qualified professional engineer, using structural performance requirements and design criteria indicated.
- B. Structural Performance: Louvers shall withstand the effects of gravity loads and the following loads and stresses within limits and under conditions indicated without permanent deformation of louver components, noise or metal fatigue caused by louver-blade rattle or flutter, or permanent damage to fasteners and anchors. Wind pressures shall be considered to act normal to the face of the building.
 - 1. Wind Loads: Determine loads based on a uniform pressure of 30 lbf/sq. ft., acting inward or outward.
- C. Louver Performance Ratings: Provide louvers complying with requirements specified, as demonstrated by testing manufacturer's stock units identical to those provided, except for length and width according to AMCA 500-L.

2.2 FIXED, EXTRUDED-ALUMINUM LOUVERS

- A. Horizontal Storm-Resistant Louver:

1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
2. Basis-of-Design Product: Subject to compliance with requirements, provide product indicated on Drawings or comparable product by one of the following:
 - a. Air Balance Inc.; a Mestek company.
 - b. Carnes Company, Inc.
 - c. Greenheck Fan Corporation.
 - d. Ruskin Company; Tomkins PLC.
 - e. Architectural Louvers, Inc.
3. Louver Depth: 4 inches.
4. Blade Type: Drainable.
5. Frame and Blade Nominal Thickness: Not less than 0.080 inch for blades and frames.
6. Louver Performance Ratings:
 - a. Free Area: Not less than 8.0 sq. ft. for 48-inch- wide by 48-inch- high louver.
 - b. Point of Beginning Water Penetration: Not less than 700 fpm.
 - c. Air Performance: Not more than 0.10-inch wg static pressure drop at 700-fpm free-area intake velocity.
7. AMCA Seal: Mark units with AMCA Certified Ratings Seal.

2.3 LOUVER SCREENS

- A. General: Provide screen at each exterior louver.
 1. Screen Location: Interior face unless otherwise indicated.
 2. Screening Type: Bird screening.
- B. Secure screen frames to louver frames with machine screws with heads finished to match louver, spaced a maximum of 6 inches from each corner and at 12 inches o.c.
- C. Louver Screen Frames: Same type and form of metal as indicated for louver to which screens are attached.

2.4 MATERIALS

- A. Aluminum Extrusions: ASTM B 221, Alloy 6063-T5, T-52, or T6.
- B. Aluminum Sheet: ASTM B 209, Alloy 3003 or 5005 with temper as required for forming, or as otherwise recommended by metal producer for required finish.
- C. Fasteners: Use types and sizes to suit unit installation conditions.

First option in first subparagraph below specifies flush heads; second option specifies raised heads.

1. Use [Phillips flat-head] [hex-head or Phillips pan-head] [tamper-resistant] screws for exposed fasteners unless otherwise indicated.
 2. For fastening aluminum, use aluminum or 300 series stainless-steel fasteners.
 3. For fastening galvanized steel, use hot-dip-galvanized steel or 300 series stainless-steel fasteners.
 4. For fastening stainless steel, use 300 series stainless-steel fasteners.
 5. For color-finished louvers, use fasteners with heads that match color of louvers.
- D. Postinstalled Fasteners for Concrete and Masonry: Torque-controlled expansion anchors, made from stainless-steel components, with capability to sustain, without failure, a load equal to 4 times the loads imposed for concrete, or 6 times the load imposed for masonry, as determined by testing according to ASTM E 488, conducted by a qualified independent testing agency.
- E. Bituminous Paint: Cold-applied asphalt emulsion complying with ASTM D 1187.

2.5 FABRICATION

- A. Fabricate frames, including integral sills, to fit in openings of sizes indicated, with allowances made for fabrication and installation tolerances, adjoining material tolerances, and perimeter sealant joints.
- B. Join frame members to each other and to fixed louver blades with fillet welds [concealed from view] [, threaded fasteners, or both, as standard with louver manufacturer] unless otherwise indicated or size of louver assembly makes bolted connections between frame members necessary.

2.6 ALUMINUM FINISHES

- A. Color Anodic Finish: AAMA 611, AA-M12C22A32/A34, Class II, 0.010 mm or thicker.
1. Color: To match existing window frame.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. Locate and place louvers level, plumb, and at indicated alignment with adjacent work.
- B. Use concealed anchorages where possible. Provide brass or lead washers fitted to screws where required to protect metal surfaces and to make a weathertight connection.
- C. Provide perimeter reveals and openings of uniform width for sealants and joint fillers, as indicated.

- D. Protect unpainted galvanized and nonferrous-metal surfaces that are in contact with concrete, masonry, or dissimilar metals from corrosion and galvanic action by applying a heavy coating of bituminous paint or by separating surfaces with waterproof gaskets or nonmetallic flashing.

3.2 ADJUSTING

- A. Test operable louvers and adjust as needed to produce fully functioning units that comply with requirements.
- B. Restore louvers damaged during installation and construction so no evidence remains of corrective work. If results of restoration are unsuccessful, as determined by Architect, remove damaged units and replace with new units.

END OF SECTION 089000





West Elevation View From Southwest Corner Ninth and Penn - Existing Conditions



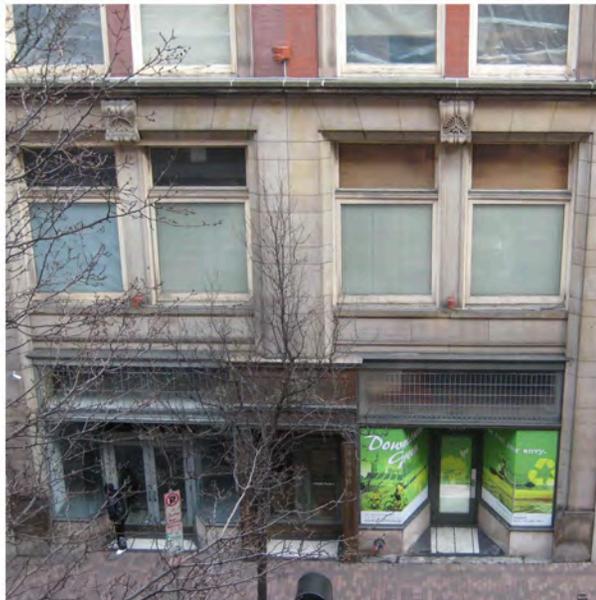
Penn Avenue Facade - Parapet



Penn Avenue Facade - Levels 5, 6, 7



Penn Avenue Facade - Levels 2, 3, 4



Penn Avenue Facade - Base



Overall Penn Avenue Facade



Storefront at 907 & Bronze Entry



Storefront at 909 & Bronze Entry



Sandstone Base First Two Floors



Detail at Main Entry with Leaded Glass Transoms to Sides



Detail Keystone Above Second Floor Windows 907



Detail Keystone Windows Above Second Floor Windows 909



Detail Start of Molding Surrounding Windows Continuous Flrs 3 to 5



Detail End of Molding Surrounding Windows at Floor 5



Detail view of right storefront entry



Detail view of left storefront entry



Overall view of storefront conditions and main building entry



Example of operable panel glazing system on Penn Avenue



Rendering



Corrugated perforated metal panels - Proposed at penthouse



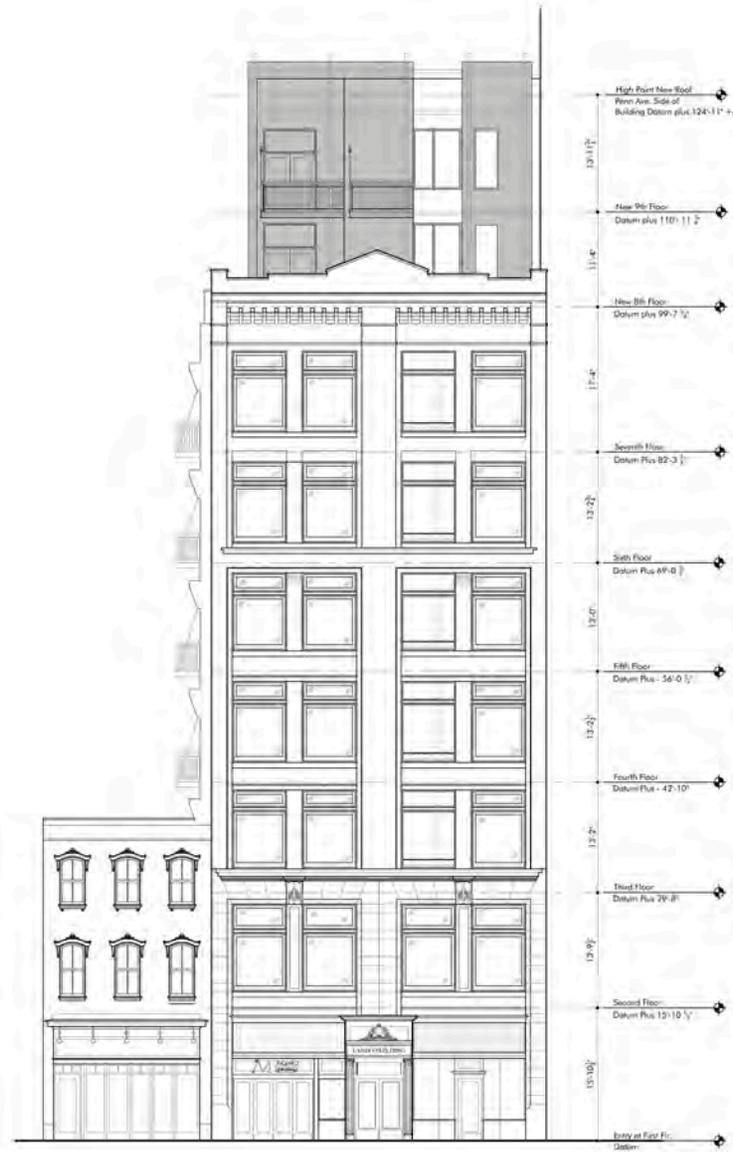
Nanawall - Similar to proposed for 907 storefront



Metal decks similar to existing side elevation and proposed penthouse



Corrugated precast panels and wood scrim - Proposed at penthouse



Penn Avenue Elevation

Lando Building
Residential Conversion



Western Elevation

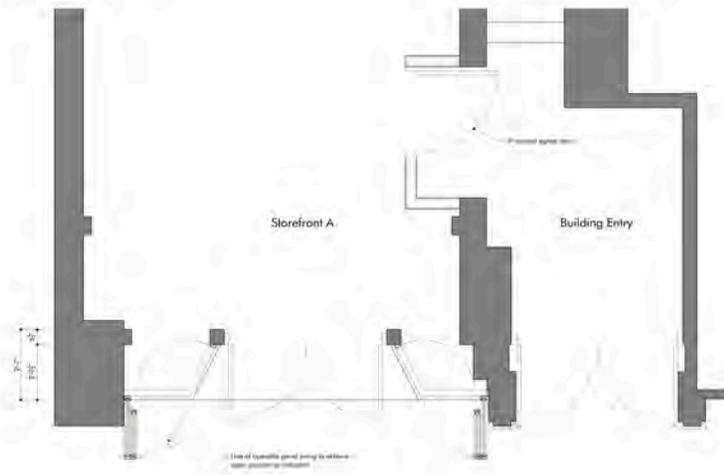
Lando Building
Residential Conversion



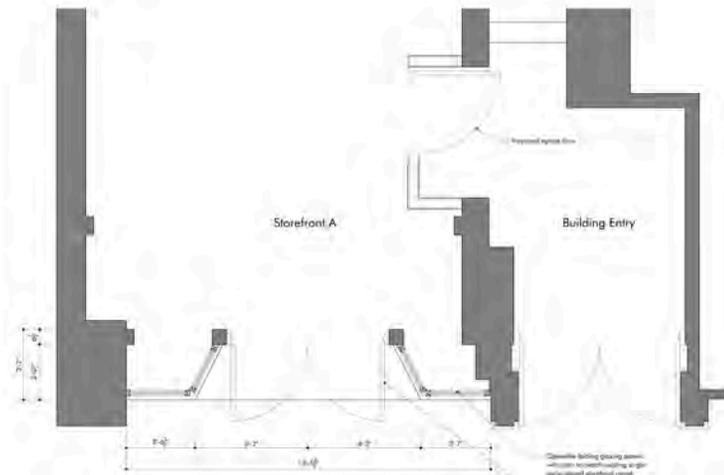
Enlarged Penn Avenue Elevation



Enlarged elevation at new operable storefront system



Enlarged plan at new operable storefront system - Open Position



Enlarged plan at new operable storefront system - Closed Position



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

- Staff Use -

DEADLINES:
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

FEE SCHEDULE: See attached
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid: \$ _____

Date Received: _____
 Hearing Date: _____
 Lot and Block #: _____

ADDRESS OF PROPERTY: 920 Fort Duquesne Boulevard
Pittsburgh, PA 15222

HISTORIC DISTRICT: Penn-Liberty Historic District

OWNER

Name: 920 Fort Duquesne Associates
 Address: 920 Fort Duquesne Boulevard
 City, State, Zip: Pittsburgh, PA 15222
 Phone: ~~412~~ 261-1842 Fax: ~~412~~ 904-6749
 E-MAIL: _____

APPLICANT

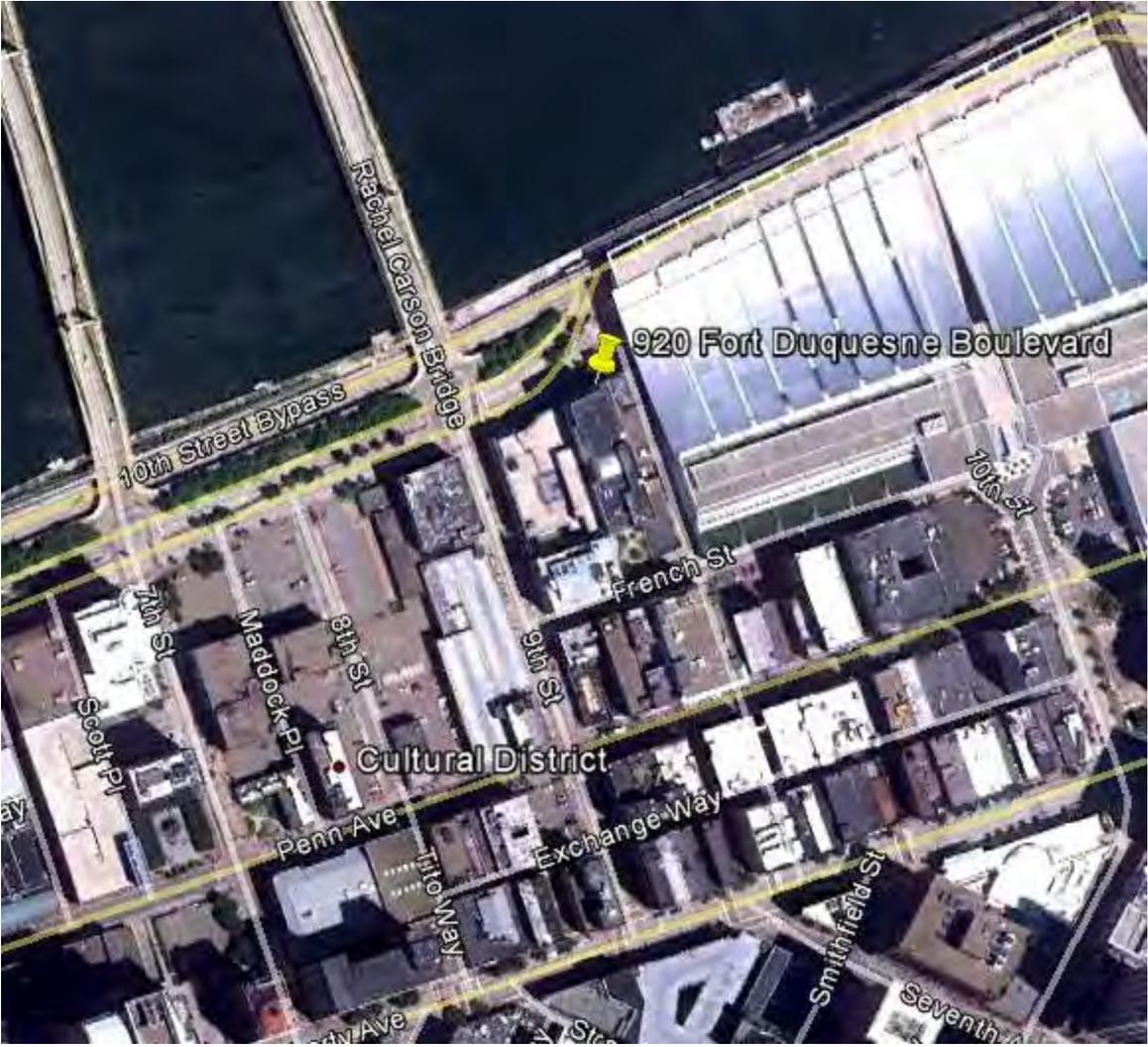
Name: Designstream LLC
 Address: 100 Seventh Street, Suite 100
 City, State, Zip: Pittsburgh, PA 15222
 Phone: ~~412~~ 325-2100 Fax: ~~412~~ 325-2106
 E-MAIL: kturkall@dsstudio.biz

REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED WORK: Facade Renovation - 1st Floor North

SIGNATURE

 _____, Owner **DATE** _____
 _____ Applicant **DATE** 06-15-2012







Henderson Brothers Building

North Façade Renovation – 920 Fort Duquesne Blvd.



Submittal Summary:

- ❖ **Application for Certificate of Appropriateness**
- ❖ **Scope of Work**
- ❖ **Photos of Previous and Current Conditions**
- ❖ **Photos of South Facade**
- ❖ **Renderings and Elevations of Proposed Improvements**
- ❖ **Plans Depicting Elevations, Sections and Materials.**





100 Seventh Street
Suite 100
Pittsburgh, PA 15222

ph: 412.325.2100
fx: 412.325.2106
www.dsstudio.biz

SCOPE OF WORK

Henderson Brothers Partial North Façade Renovation 920 Fort Duquesne Boulevard, Pittsburgh, PA 15222

Summary of North Façade Work:

In late fall 2011 it was evident some of the anchors for the existing ground-level granite panels were beginning to show signs of stress. The granite panels were removed for safety, and the remaining back-up brick and block were painted to last the winter (see attached photos). Previous repairs and modifications to ground level of this façade did not preserve the original integrity of the openings, and portions of infill block and other materials were used to modify some of the original openings. Some pieces of the removed granite were previously cracked or missing, and color matching and re-conditioning of the remaining panels was cost prohibitive.

Since the entire South façade was renovated a few years back with the knowledge and approval of The Historic Review Committee, it seemed logical the ground level of the north façade should be renovated to compliment the south and add a cohesive look to the overall building, while respecting the historic proportions and character of the original design. Note that the upper floors are remaining intact with the exception of minor repairs to existing cracks.

Toward that goal, the proposed renovations to the ground level are illustrated on the (enclosed) renderings, sections, and elevations. Note that all new brick will exactly match the brick installed on the south façade in color and size (red brick in standard 8" l x 2-5/8" high x 4" deep. Mortar joints will also match existing in size and color. Anchoring will be pinned to the existing masonry substrate and laid into the running bond of the new masonry. All arches at the top of the existing windows will be supported from below during construction; built from the inner most face (against the window frame), working outward to the exterior. Please refer to sections cut through the façade for projections and profile of façade elements (Plan sheet No. A300).

The upper cornice will be a synthetic material (Fypon or similar) to provide the appropriate profile and appearance while minimizing weight on the structure. All inset "square" panels and horizontal accent banding will be limestone or similar stone product from a reputable manufacturer like "Pineapple Grove" or equal.

The existing wooden entrance door and sidelights will remain.

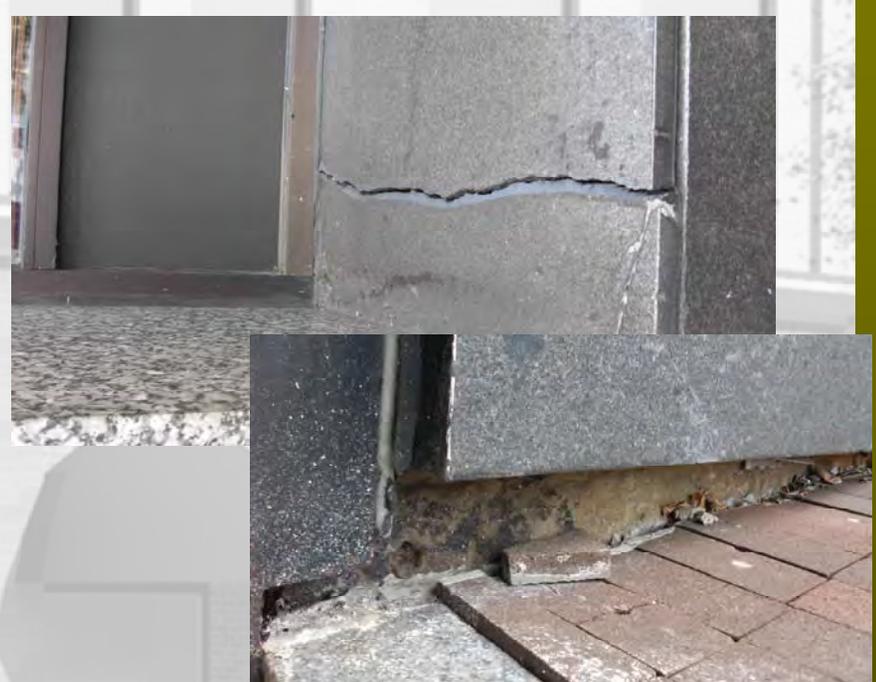
Window sills will be limestone panels in a thickness as described on the sections. Waterproofing will be installed below all sills and counter-flashed into the existing structure, providing a drip ledge at the underside of the sills.

Three (3) new black fabric awnings will be installed; one above each window and one above the main entry door. Shape will be curved as illustrated to accentuate the arched openings. Frame will be aluminum wrapped in the fabric.

Four (4) new wall sconces will be added. These will be period appropriate – like those depicted on the rendering and will be made of powder coated black iron or similar steel product. Light bulbs and globes will be decorative and consistent with the design for the fixtures.

The "Henderson Brothers" signage is the existing signage, which has been removed and is being re-conditioned to be re-installed on the new façade.

❖ Dangerous Existing Conditions September 2011



Note Existing Conditions:

Panel mounting clips were in a deteriorated state causing granite panels to move and warp; allowing moisture to infiltrate the façade and cause safety issues with falling debris. It was determined to be a public safety hazard which required immediate attention.

❖ Dangerous Existing Conditions (page 2)



A sampling of granite panels were removed to determine the extent of structural damage. As suspected; water infiltration had caused severe damage to supporting bricks and mortar. After review by a structural engineer; it was decided that a new façade was the only viable solution. Immediate action was necessary to remove all granite panels and stabilize the underlying bricks, block and mortar.



❖ Temporary Remedy – Current Conditions

With the ensuing cold weather; immediate reconstruction was not a prudent option. The construction team provided a temporary remedy, secured the failing areas with plywood and other means and applied paint to maintain an acceptable level of aesthetics until the permanent solution could be designed and approved.



❖ Completed Renovations to South Facade



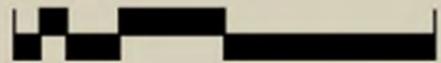
Ground Floor North Elevation



SCHEME B - Revised

SCALE: APPROX. 1/4"=1'-0"

0 2' 4' 8'



designstream
LLC
ARCHITECTURAL STUDIO

The Henderson Brothers Building North Facade Renovation

920 Fort Duquesne Boulevard
Pittsburgh, Pennsylvania



Proposed Model



The Henderson Brothers Building North Facade Renovation

920 Fort Duquesne Boulevard
Pittsburgh, Pennsylvania



Proposed Model



The Henderson Brothers Building North Facade Renovation

920 Fort Duquesne Boulevard
Pittsburgh, Pennsylvania











Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

4220 CENTRE AVENUE

STAFF USE ONLY:

DATE RECEIVED: June 14, 2012
 LOT AND BLOCK NUMBER: 27-9-58
 WARD: 4th
 FEE PAID: 100

DISTRICT:

Schenley Farms

OWNER:

NAME: ENRICO NOVELLI
 ADDRESS: 4220 CENTRE AVE
PITTSBURGH, PA 15213
 PHONE: 412-916-3416
 EMAIL: _____

APPLICANT:

NAME: RICH NEHER
 ADDRESS: 1239 REVERE DR
CHALFOOT, PA 18914
 PHONE: 215-716-3539
 EMAIL: MCL1732@AOL.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other (STRUCTURE)

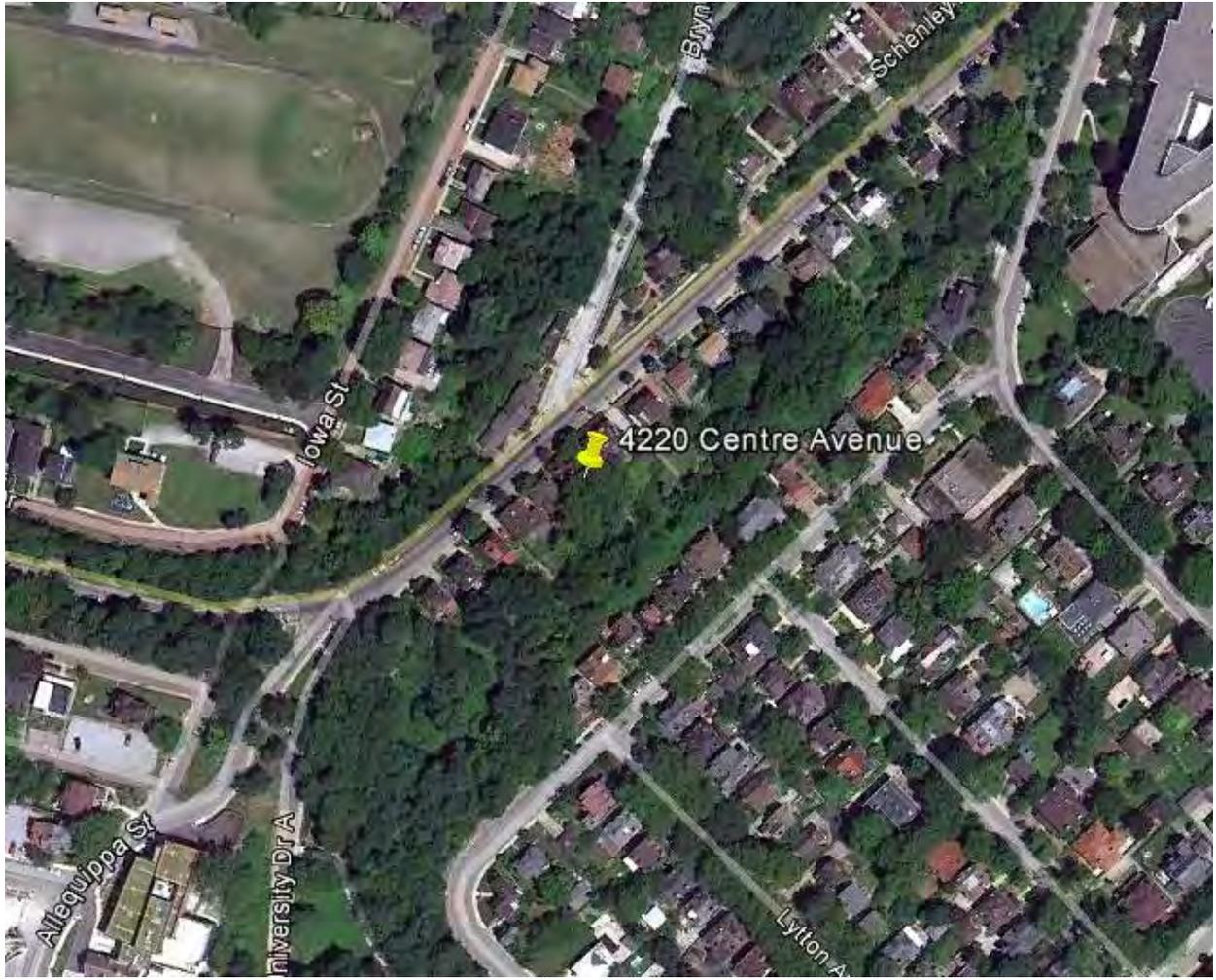
DETAILED DESCRIPTION OF PROPOSED PROJECT:

INSTALL (7) SIMONDS # 6500 BRONZE VINYL DOUBLE HUNG WINDOWS
W/GRIDS TO MATCH EXISTING (REPLACE EXISTING WOOD DOUBLE HUNG WINDOWS)
INSTALL (1) WEATHERSHIELD WOOD/CLMD DOUBLE HUNG WINDOW
W/GRIDS TO MATCH EXISTING (REPLACE EXISTING WOOD/CLMD DOUBLE HUNG WINDOW)

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: [Signature] DATE: 6/18/12



Install (1) Simonton #6500
Bronze Vinyl Double Hung
Window with two vertical
grids and one horizontal grid

Replacing existing Wood
Double Hung Window with
two vertical grids and one
horizontal grid

Install Aluminum/PVC
capping (Color: Wheat)

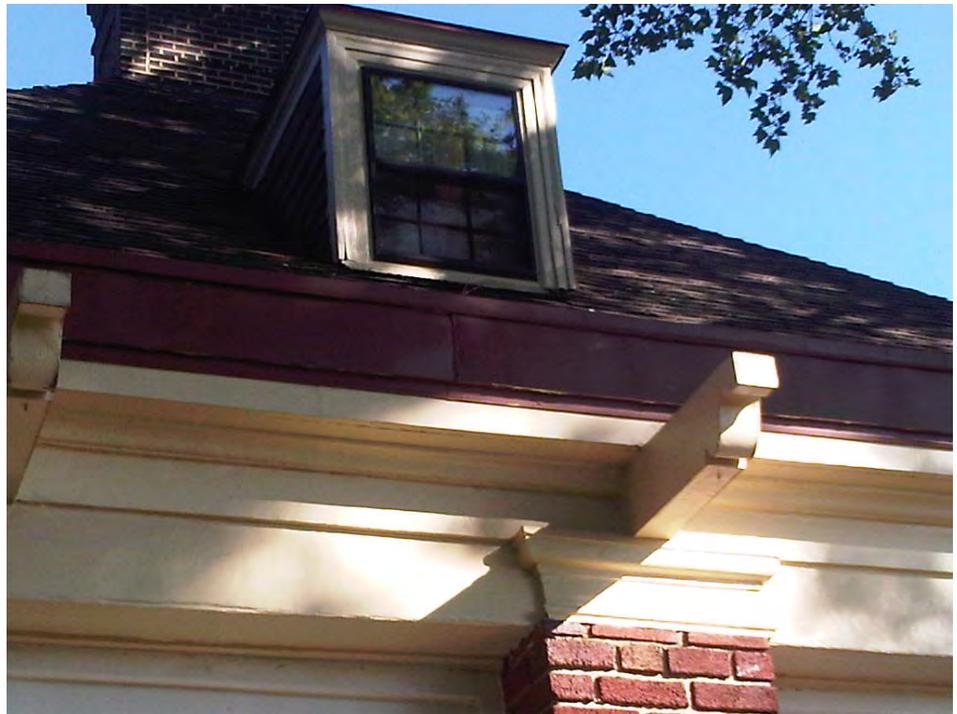


**4220 Centre Avenue
{Front-3rd Floor}**

Install (1) Simonton #6500
Bronze Vinyl Double Hung
Window with two vertical
grids and one horizontal grid

Replacing existing Wood
Double Hung Window with
two vertical grids and one
horizontal grid

Install Aluminum/PVC
capping (Color: Wheat)



**4220 Centre Avenue
{Rear-3rd Floor}**



**4220 Centre Avenue
{Front}**



**4220 Centre Avenue
{Right Side}**

Additional Pictures

Install (1) Weathershield Black Wood/Aluminum Clad Double Hung Window with one vertical grid and one horizontal grid

Replacing existing Wood Double Hung Window with one vertical grid and one horizontal grid

No capping



**4220 Centre Avenue
{Left Side-2nd Floor-Middle Window}**

Install (2) Simonton #6500 Bronze Vinyl Double Hung Windows with two vertical grids and one horizontal grid

Replacing existing Wood Double Hung Windows with two vertical grids and one horizontal grid

Install Aluminum/PVC capping (Color: Wheat)



**4220 Centre Avenue
{Left Side-3rd Floor}**

Install (3) Simonton #6500
Bronze Vinyl Double Hung
Windows with two vertical
grids and one horizontal grid

Replacing existing Wood
Double Hung Windows with
two vertical grids and one
horizontal grid

Install Aluminum/PVC
capping (Color: Wheat)



**4220 Centre Avenue
{Right Side-3rd Floor}**



**4220 Centre Avenue
{Left Side}**

Additional Pictures



6500 Series
Vinyl Windows & Patio Doors



PROFESSIONAL INSTALLATION YOU CAN TRUST

Styles

- Mix and match window styles and sizes to create the unique look you've always wanted.
 - Double-Hung
 - Casement
 - Slider (2 and 3 panel)
 - Picture
 - Half Round
 - Awning
 - Bay (Picture window combined with double-hung or casement flankers)
 - Bow (up to five casement windows)
 - Garden Door
 - Patio Door

The **Garden Door** (below) has a continuous fixed-gear hinge for smooth operation, a multi-point locking system and double-strength tempered glass for added safety.



Sliding Patio Door (above) breathes new life into a room. Adjustable, corrosion-resistant rollers provide effortless operation.

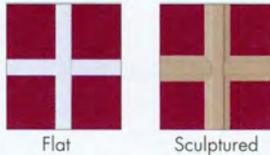
Options & Features

- All windows and patio doors are offered in White, Tan, Amber Oak* and Honey Oak*.

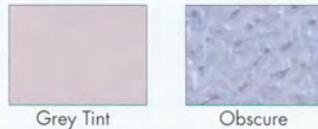
*Interior finish only. Garden door interiors are not available in woodgrain.



- Add flat or sculptured Colonial grids to change the look of your windows.



- Specialty glass can add privacy and a touch of style to your home.



Hardware

- Corrosion-resistant hardware is color matched on every window and door. Choose brass hardware for a more elegant style.



All 6500 Series products are certified by the American Architectural Manufacturers Association. The Gold Seal signifies the products meet stringent standards for air and water infiltration, structural integrity, forced entry and energy efficiency.



The National Fenestration Rating Council provides independent testing and rating information on the energy performance of windows, doors and skylights. With the NFRC label, you can be assured that this product has been rated independently in accordance with NFRC programs and standards.



6500 Series windows and patio doors installed by The Home Depot® have earned the ENERGY STAR® qualification, which means they're designed to use less energy, help save money on utility bills, and help protect the environment.

Slider Windows (left), with their contemporary style, offer smooth operation with easy glide, corrosion-resistant rollers.

6500 Series: Beauty that Stands the Test of Time

Architecturally-designed 6500 Series windows and patio doors offer classic style, strength and durability, energy efficiency, and long-lasting beauty...everything you expect from premium vinyl windows and doors, and more.

Durability of Vinyl

- Thick, multi-chambered construction provides superior structural integrity and increases insulating performance.
- Fusion welded sash and frame create an extremely durable, weathertight unit.
- Pure 100% vinyl means no peeling, scraping, cracking or corroding — **NO MORE PAINTING.**



Double-Hung Window
(above) sashes tilt in for easy cleaning.



Bay Windows, made up of a Double Hung—Picture—Double Hung combination, are an excellent choice for large openings and provide a great way to enjoy the view.

Curb Appeal

- Deeply beveled, miter-cut sashes create the rich, stylish look of a real wood window.
- Triple-Step Sloped Sill* offers a classic exterior appearance while providing a watertight seal against driving rain.
- Low gloss exterior finish always looks freshly painted.

*Available on Double-Hung windows only.

Bow Windows let you view the world from a different perspective. Operating casement flankers add maximum ventilation by cranking open a full 90 degrees.



Easy Operation and Maintenance

- Low profile tilt latches on Double-Hung windows allow both sashes to tilt in for easier cleaning, while Slider panels lift out.
- Double-hung windows employ a Constant Force Balance System along with contoured rails molded into the sash for smooth and effortless operation with the touch of a finger.

Maximum Energy Efficiency

- Interlocking and overlapping meeting rail virtually eliminates air and water infiltration.
- Enhanced Glass System, consisting of dual pane, double-strength glass with High Performance Soft Coat Low E and Argon Gas between the panes, delivers superior thermal performance.

Estimated Annual Energy Costs Single Pane vs. 6500 Series

	Single Pane Clear Glass	6500 Series Glass System	Estimated Savings
Atlanta, GA	\$409	\$272	33%
Boston, MA	\$990	\$692	30%
Chicago, IL	\$661	\$438	34%
Denver, CO	\$459	\$311	32%
Ft. Worth, TX	\$497	\$331	33%
Kansas City, MO	\$523	\$342	35%
Miami, FL	\$510	\$356	30%
Philadelphia, PA	\$718	\$481	33%
Phoenix, AZ	\$932	\$615	34%
Portland, OR	\$428	\$291	32%

All calculations done using Lawrence Berkeley National Laboratory's RESFEN 3.1 for calculating the Heating and Cooling Energy Use of Windows in Residential Buildings. House Type, Foundation Type, HVAC System Type, Floor Area, Window Area, Electricity Cost and Gas cost based on RESFEN 3.1 default values. Solar Gain Reduction for the building based on RESFEN 3.1. The costs shown here are energy consumption costs for the entire house.



"Make a strong statement with beauty, energy-efficiency and flexibility in a "frame-within-a-frame" design that fits most existing window openings without disturbing the trim."



HIGH PERFORMANCE GLASS SYSTEM keeps the outside, outside.



WARM EDGE TECHNOLOGY with a non-metallic spacer system means better insulating power.



DUAL ACTION CAM LOCK is ergonomically-contoured and assures a tight seal.

TRUE PERFORMANCE SPEAKS FOR ITSELF.

Invest today for tomorrow. Sequel™ windows and patio doors are ENERGY STAR® qualified, which means lower utility bills and more comfort year-round.

The High Performance Glass System with advanced "Edge Technology" and full perimeter weatherstripping reduces heat loss/gain and virtually eliminates air and water infiltration.



Sequel® windows and patio doors installed through The Home Depot® are ENERGY STAR® qualified, which means they're designed to use less energy, help save money on utility bills, and help protect the environment.



Professional Installation You Can Trust.

We know you have a choice when it comes to home improvements. That's why The Home Depot® is committed to providing quality products and installation services with a complete solution — from start to finish. Now, that's peace of mind.



PREMIUM PRODUCTS

Features and styles to fit any budget.

TOTAL PROJECT MANAGEMENT

Courteous professionals dedicated to managing your project from beginning to end.

PROFESSIONAL INSTALLATION

Licensed* and insured professionals will make sure you receive a complete and proper installation.

GUARANTEED

All installations are guaranteed.** The Home Depot® stands behind all the services you receive.

SUPERIOR WARRANTIES*

Product and craftsmanship warranties to ensure your satisfaction long after the job is done.

CONVENIENT FINANCING

We offer several attractive financing options and will find the right one for you.

A Name You Know and Trust.

We take the risk out of home improvement by bringing the same great experience to the comfort of your home. It's what we call "The Home Depot Difference". No matter where you are, we're there for you. Visit www.MyHomeDepotProject.com any time, day or night, and check on your project.

*As required. **See contract for details. *See actual warranties for details. All installation services performed through The Home Depot, are performed by independent contractors, as applicable. License numbers held by or on behalf of The Home Services, Inc.: AL: 02073; AZ: ROC223472; ROC: 193323; CA: 836021; 881834; CT: 565522; DC: HIC54000954; DE: 1907112310; FL: CRC132849; CRC132870; CRC16858; CCG132818; CCG150709; CCG058327; CCG1328270; CCG1325440; IA: 8725605; LA: H8 0550419; MA: 126893; MD: 52036; ME: CC2439; MI: 2104158225; MN: BC20268257; MS: 805788; ND: 29346; NE: 03200946077; NJ: 131901058300; NV: 0065773; NY: NYC: 1201952; NY: Buffalo: S36571; NY: Syracuse: H801650000; NY: Rochester: H9403860000; NY: Suffolk: 275879; NY: Westchester County: WC 11245; HCCN: NV: 0065773; 0065776; 0057766; OR: 156651; RI: 16427; SC: D18924; TN: 00003744; TX: 3710; UT: 56040675501; VA: 270507341; IA; WA: H0MED1-9728Q; WI: 850869; WV: WY033268. Other license numbers available upon request. Services may not be available in all areas. The Home Depot reserves the right to correct pricing errors on printed materials. "Sequel" is a trademark of Weather Shield Mfg., Inc. The Home Depot is a registered trademark of Home, LLC, Inc. ©2007 Home, LLC, Inc. All rights reserved.



THD-142 (3/07)



SEQUEL™

Custom Replacement Wood Windows & Patio Doors

Exclusively Available Through



DISCOVER NEW WINDOWS OF OPPORTUNITY

From top to bottom, both inside and out, Sequel™ windows and patio doors offer an array of distinctive advantages.

With exceptional detail, our custom-sized windows and doors convey the elegance of handcrafted, old-world milling.

The superior hardwood interiors and strong aluminum clad exteriors endure year after year with the beauty and brilliance you expect from fine furniture.



OUT WITH THE OLD, IN WITH THE NEW

Rich, natural wood breathes warmth and elegance into your home. Sequel™ furniture-grade windows are custom-fit to each opening and come standard with pre-finished, primed or natural pine interiors.

Every window and patio door exterior is encased in ultra-strong aluminum and is available in a palette of tones that blend flawlessly with nature's landscape.

For added elegance, choose a hardwood that will give you a whole new reason to love coming home. Add architectural detail and privacy with decorative grilles and specialty glass.



OPEN THE DOOR TO NEW POSSIBILITIES

The timeless appeal of Sequel™ patio doors will transform the ordinary into the extraordinary. Sequel™ sliding patio doors have all the warmth and beauty of a French Rail patio door with the space-saving design of a sliding door.

Our french-style garden door swings-in like a traditional door and is an elegant alternative to a sliding door.



Sequel™ double hung windows (above) possess simple elegance and classic beauty, inside and out. Both sash tilt-in for easy cleaning and slide up and down effortlessly for maximum air flow.

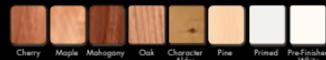


Perfect for larger openings, bay windows (above) capture the view from any direction. They consist of a picture window with either operating double hungs or casement windows.

Casement windows (right) lend an air of contemporary style with unobstructed views. They swing out a full 90 degrees for maximum ventilation.

Casement windows outreach, multi-point locking system secures at multiple locations.

Interior Finishes*



Exterior Colors*



Decorative Grilles & Lites



Specialty Glass



*Colors and finishes are reproduced by lithographic process and may vary from actual product.

Sequel™ sliding windows (above) feature low-profile sashes, along with convenient tilt latches for easier cleaning from indoors. Their sleek design is ideal for any room in any home.



Uncompromising style and enduring beauty (right) will make your home unforgettable.



(left) Garden doors have an advanced, stainless steel multi-point locking system.

(center) Glued, multi-doweled joints prevent twisting, drooping and bowing.

(right) Security face bolt locks the sliding patio door in any position and can be released with the tap of a toe.

FINISHING TOUCHES

Emphasize your style with elegance. From traditional to more contemporary hardware, we offer a multitude of durable, upscale finishes.



*Goldtone available only on garden doors.

