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## Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room

February 5, 2014

### AGENDA

(Vacant), *Chairman*

Ernie Hogan, *Acting Chairman*

Noor Ismail, *Director of Planning*

John Jennings, *Secretary, Acting Chief BBI*

Linda McClellan

Joe Serrao

(Vacant)

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

*Old Business*

*New Business*

- Approval of the minutes from the January 2014 hearings
- Certificates of Appropriateness Report – January
- Applications for a Certificate of Economic Hardship – None

*Upcoming Demolitions, no action at this time*

- None

➤ **1:00 PM HEARING & ACTION**

**1. Allegheny West Historic District**

948-950 Beech Avenue

Douglas Lucas, owner and applicant

**Window replacement**

**2. Deutschtown Historic District**

726-728 Cedar Avenue

Chris Gates & Stephen Pascal, owners and applicants

**Façade renovations**

**3. Deutschtown Historic District**

1004-1006 Cedar Avenue

Matt Hicks, owner

Bob Baumbach, applicant

**Façade renovations**

**4. Manchester Historic District**

1011 N. Franklin Street

Jesse Johnson, owner and applicant

**Window replacement**

**5. Market Square Historic District**

204 Fifth Avenue

N&P Properties, owner

Nexius, applicant

**Cell antennae with screening**

**6. Oakland Civic Center Historic District**

4000 Fifth Avenue

Park Rankin, owner

Lami Grubb Architects, applicant

**After-the-fact signage**

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**7. Penn-Liberty Historic District**  
717 Liberty Avevneue  
PMC Property Group, owner  
Sean Beasley, applicant  
**Addition of bridge at mezzanine level**

**8. Penn-Liberty Historic District**  
941 Penn Avenue  
Vincent Quatrini, owner and applicant  
**Signage**

- **DEMOLITIONS**
- **NOMINATIONS**
- **DIRECTOR'S REPORT**
- **ADJOURNMENT**

*The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public.* INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

**Please contact Sarah Quinn with questions and comments: 412-255-2243**

[sarah.quinn@city.pittsburgh.pa.us](mailto:sarah.quinn@city.pittsburgh.pa.us)

John DeSantis, Chair  
Thomas M. Schmidt, Vice Chair  
Ronald S. Graziano, Secretary  
Lela Burgwin  
Howard K. Graves  
Susan Golomb  
David H. Miller

# CITY OF PITTSBURGH



## HISTORIC REVIEW COMMISSION

### APPLICATION FOR EXTERIOR WORK

date: 12/22/13  
lot/block: 7-D-20  
ward: 22nd  
fee: yes

ADDRESS OF PROPERTY: 948-950 BEECH AVE

HISTORIC DISTRICT: ALLEGHENY WEST

OWNER: NAME: DOUGLAS M. LUCAS

ADDRESS: 948 BEECH AVE

PITTSBURGH, PA. 15233

PHONE: 412-323-1195

APPLICANT: NAME: DOUGLAS M. LUCAS

ADDRESS: 948 BEECH AVE

(SAME AS ABOVE)

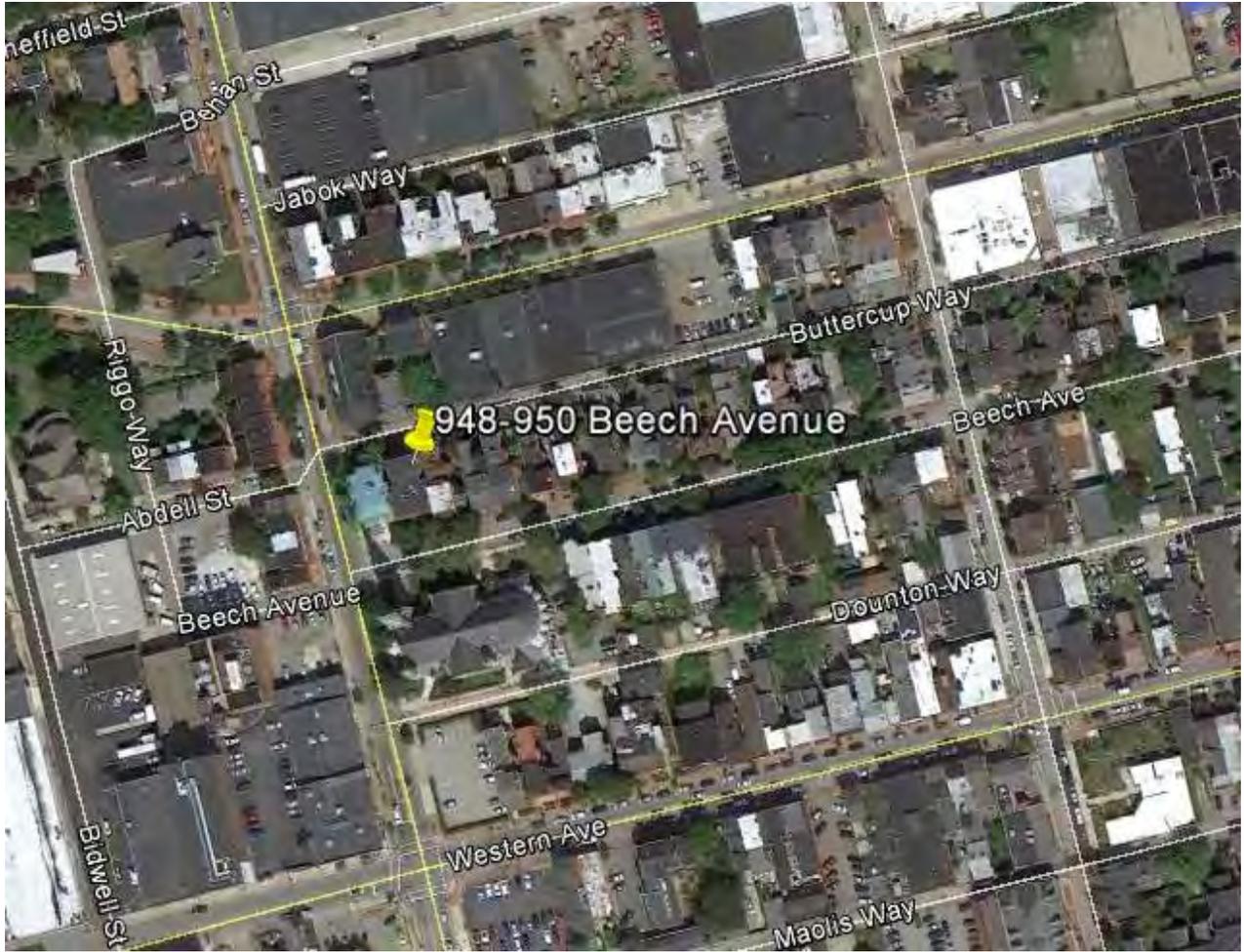
PHONE: \_\_\_\_\_

DESCRIPTION OF PROPOSED WORK: REPLACE 32 YEAR OLD DETERIORATED  
VINYL WINDOWS (DOUBLE HUNG) WITH DOUBLE HUNG  
WOODEN THERMOPLANE WINDOWS - TO DUPLICATE  
THE ORIGINALS - REAR & SIDES ONLY (FRONT WAS ALREADY  
WOOD - TOTAL - 23 WINDOWS

SIGNATURE: Douglas M. Lucas  
Owner

\_\_\_\_\_  
Applicant

DATE: 12-22-13



948-950 Beech Avenue



**NOTE: ZAP PACK MEASUREMENTS**  
 -IMPORTANT TO FOLLOW ZAP PACK MEASURING INSTRUCTIONS. WE CANNOT ACCEPT ORDERS FOR ANY DIMENSION OTHER THAN SASH OPENING.

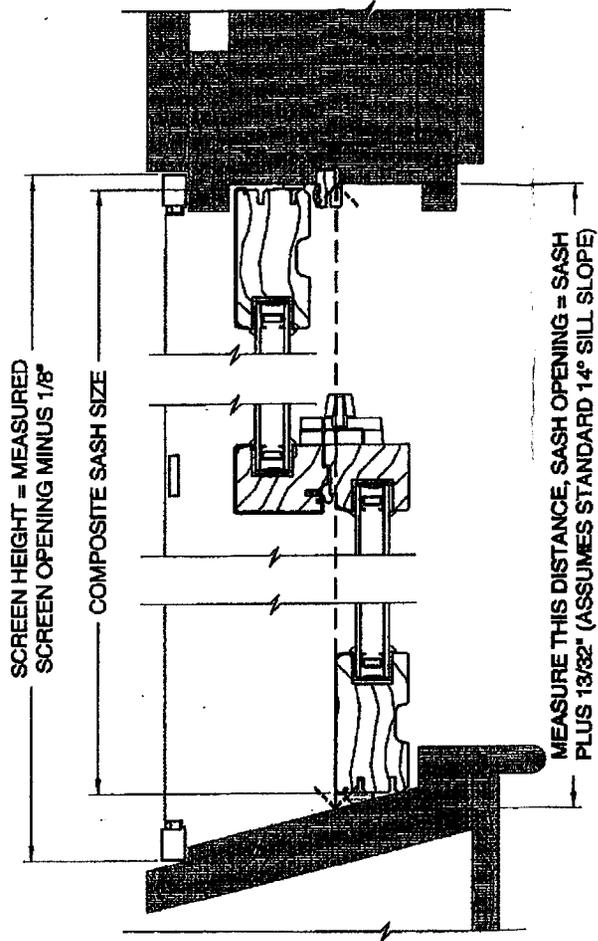
-IF ZAP PACKS DO NOT FIT, JELD-WEN REQUIRES THAT YOU PROVIDE THE VISIBLE GLASS AND/OR SASH SIZE OF ZAP PACKS RECEIVED.

-SCREENS MUST BE MEASURED PER THE SCREEN OPENING. SCREEN SIZE IS MEASURED SCREEN OPENING MINUS 1/8" FOR WIDTH & HEIGHT.

-IF REPLACING CARADCO OR JELD-WEN PRODUCT PLEASE SPECIFY UNIT TYPE: C100, C112, CLSC1, OR OTHER.

-ZAP SCREENS WILL BE TOP HINGED & BALL & LOOP AT BOTTOM, NOT SPRING PLUNGERS.

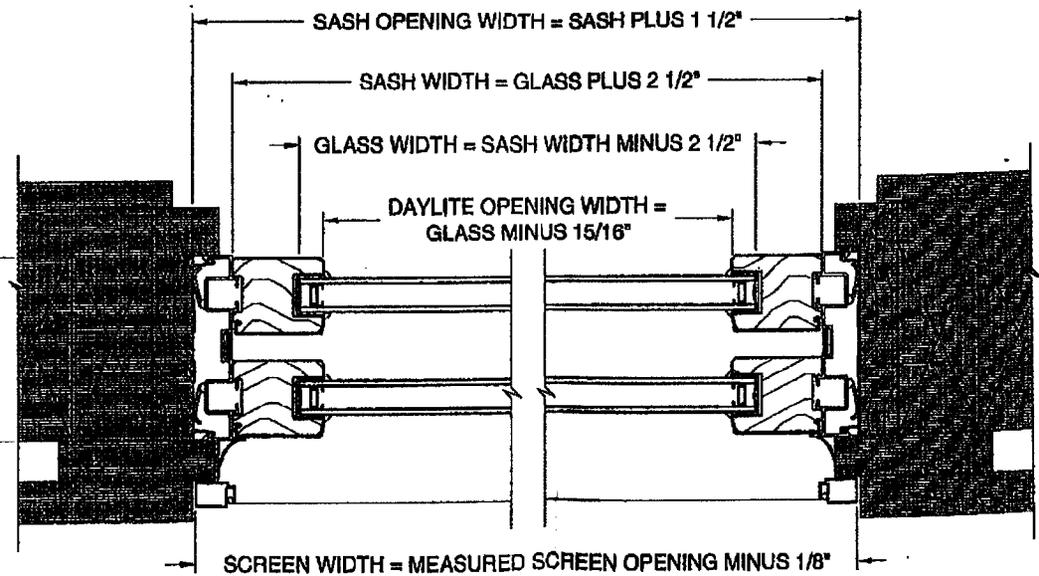
**HORIZONTAL SECTION**



**VERTICAL SECTION**

\* SHADED AREAS ARE EXISTING WALL BY OTHERS

3 3/8" JAMB POCKET



SCREEN WIDTH = MEASURED SCREEN OPENING MINUS 1/8"

Description: CLAD DOUBLE HUNG ZAP PACK UNIT ~ SECTION DETAIL

**JELD-WEN**  
WINDOWS & DOORS

Drawing #: FORM-110 ~ REV-B

Order #:

Line #:

Rev. By: Date:

Rev Description:

Drawn By: JEREMIAH YOHNKA

P.O. #:

Quantity:

A JY 07/14/03

ADDED INFO

WINDOW DIVISION - RANTOUL

Approved By:

Customer:

B RB 01/02/09

CHANGED TITLEBLOCK

800-626-3105

File Path: J:\Forms\\*\*\*\*.dwg

Date: 01/02/09

Ship Date:

WWW.JELD-WEN.COM

Custom product drawings are drawn per customer specifications. Any customer changes to the original purchase order request may result in extended lead times and possible financial liability. All elevations are viewed from the exterior. Drawings are for reference only.



**Division of Development Administration and Review**

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**

**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**STAFF USE ONLY:**

DATE RECEIVED: 1/17/14

LOT AND BLOCK NUMBER: 23-S-251

WARD: 23rd.

FEE PAID: yes

**DISTRICT:**

**FEE SCHEDULE:**

See attached. Please make check payable to:  
Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

726-728 Cedar Avenue

Deutschtown

**OWNER:**

NAME: Chris Gates & Stepan Pascal

ADDRESS: 127 W 82nd St. #7B  
New York, NY 10024

PHONE: 646-234-0426

EMAIL: balijive@yahoo.com  
s.k.pascal@gmail.com

**APPLICANT:**

NAME: same

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**REQUIRED ATTACHMENTS:**

- Drawings
- Photographs
- Renderings
- Site Plan
- Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

see attached

**SIGNATURES:**

OWNER: Chris Gates DATE: 1/17/13

APPLICANT: Chris Gates DATE: 1/17/13



1107 Loraine Street  
Apartment 2  
Pittsburgh, PA 15212  
Telephone: 1-646-234-0426

17 January 2014

Historic Review Commission of Pittsburgh  
Department of City Planning  
200 Ross Street, Third Floor  
Pittsburgh, PA 15219

Dear Commissioners:

We are applying for a Certificate of Appropriateness for restoration work on the property at 726-28 Cedar Avenue. Following work approved by the Commission in July 2013, we are proposing the following additional restorative work on this property:

1. Investigation has revealed significant remaining portions of the original 1840s roof, including its sheathing, composed of 22-inch wide, old-growth planks, and an 8 x 14-foot section of its cedar-shingling. The shingles had been sheltered under the overhanging 1880-90s clapboard extension. (See photos) The roof's substructure rafters are 3 x 4 inches, spaced 20 inches or more apart. Horizontal 3 x 12-inch beams cross the attic's span, subdividing the rafters' length into shorter segments. Although notches in the rafters to accommodate these beams reduced rafter dimensions to 3 x 3 inches, the crossbeams have effectively prevented the roof load from splaying the front and back facade walls. When the attic was finished, over a century ago, the upper one of these horizontal, notched-in beams was removed to increase clearance (See photo), causing the upper portion of the roof to sag.

Our intention is to preserve the historic sheathing planks and shingles in situ while reinforcing the roof sufficiently for another century of snow load. Appropriately sized 2 x 8 rafters cannot be added to the interior without removing the remaining crossbeams that protect the front and rear facades. The proposal is to lay a 2 x 8-rafter roof on top of the existing sheathing planks. Our consulting engineer Roy Kim has

verified that such a roof would be structurally sound. To restore its original look, the new roof will be shingled with pressure treated, fire-retardant cedar shingles over a vapor-permeable substrate. All flashing will be copper.

2. When Italianate details were added to the property in the 1880s, the front cornice was raised a foot above its original sill plate. Therefore, this protective, overlaid roof will not increase the current height of the front facade. That stylistically confused Italianate box gutter will be replaced by an appropriate Greek Revival-style box gutter, with a shallower profile (see drawing). A matching copper-lined box gutter will be added to the rear facade (where currently there is no gutter), covering the new roof's rafter ends. Each box gutter will drain to a standard aluminum downspout on the southern end of its facade. On the Foreland Street elevation, the same moulding used on the front, but in a lower profile trim board, will cover the exposed rafters of the new roof. The side and rear facades will be raised no more than twelve inches. All trim of the property will be painted an historic shade of yellow or ochre (Final color subject to HRC staff approval).

3. Currently, the property's roof has one dormer facing the rear. Three new dormers will be added, each at the same distance from the center chimneys as the existing dormer. The top ridge of these dormers will meet the ridge of the new roof, so they can be located high enough on the roof not to require cutting into rafter support beams. The existing dormer will also be raised to meet the new roof's ridge and widened to accommodate insulation. The sides of the dormers will be clapboard (Hardie board), and trim will have a Grecian profile echoing the cornice in miniature. (See photo of similarly styled dormer on Arch Street)

4. Both chimneys will be extended using matching brick to the minimum height above the ridge beams required by code. One derelict and structurally compromised flue (see photo) will be removed from the ridge side of the rear chimney. We will replace missing or damaged chimney pots with the best matching terracotta original or reproduction possible. Finally, all

facades of the property will be repointed using a soft, lime-rich mortar.

5. The rear facade now has a five-foot setback on the 726 Cedar side (see photo), which will be revealed after removal of the clapboard extension. We propose to bring that facade into line with the original, existing back wall of 728 Cedar by building a two-story, frame construction wall with a brick veneer. This veneer will consist of brick either salvaged from the dismantled wall or similar matching historic brick. Mortar will be a lime-rich mixture appropriate for use with bricks of this age. This wall will have three windows, one door with a transom, a sandstone stoop, and a basement transom window. All will align with the front windows on the 726 Cedar facade, and all of the brick mold will match the original on the front. The extension will have a cinderblock foundation stuccoed to match the stuccoed brick and sandstone foundation of the rest of the building.

5. Whenever possible, we will restore the existing old windows. On these remaining old windows, we will install new, but historical-style storm windows (i.e., SP Windows brand "Wood Combination Storm" model, see description) All necessary new windows will be double-hung, two-over-two panes, with a wooden frame exterior (i.e., Marvin brand "Ultimate Double Hung," see description). Basement transom windows will all be new, matching the style of upper-story windows (i.e., wood exterior, double pane, gliders that will open on one side). The rear door will be an historic solid wood, panel, half-light, exterior door, with a transom over it. This entry will also have a wrought iron, period appropriate security storm door. (Models of basement windows and rear doors subject to HRC staff approval.)

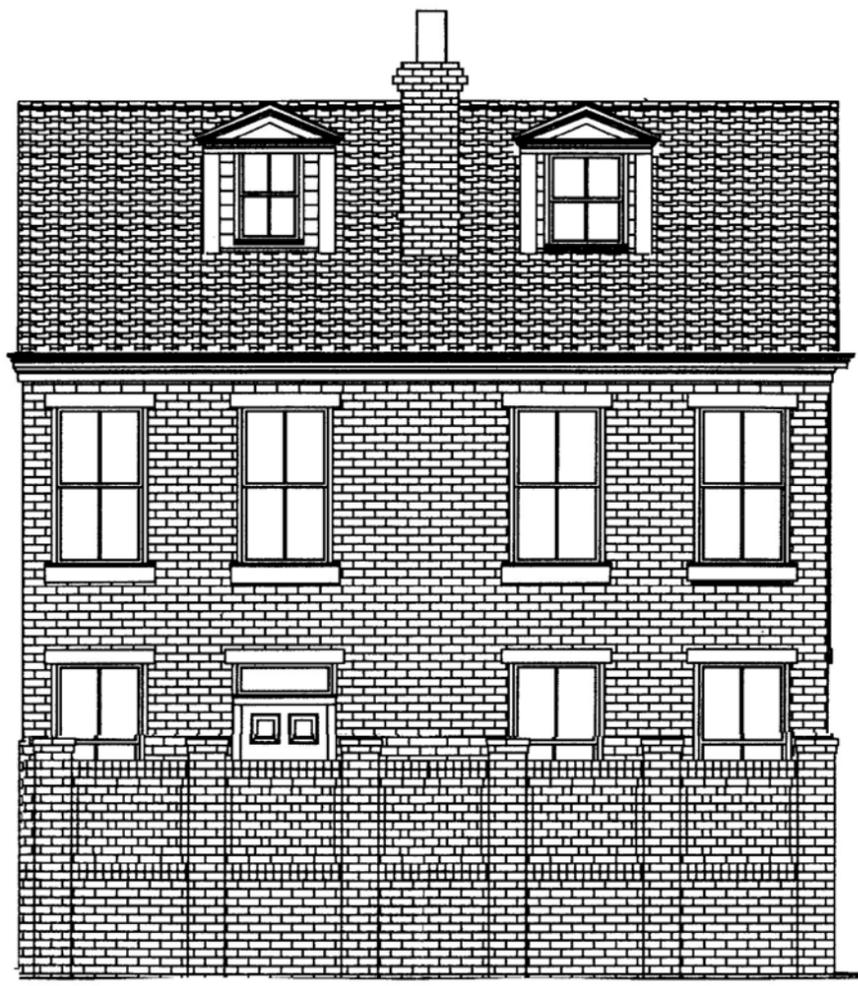
6. A brick wall will surround the backyard. Its panels will consist of a three-foot-high lower section (two wythes thick) and a three-foot-high upper section (one wythe thick). Its piers will be four wythes wide and deep, six and a half feet tall, and approximately seven feet apart on center. The top of the panel and the piers will be finished in two flared brick courses. The upper panel of the wall facing Foreland Street will have open space between the bricks,

creating a pierced effect. (See photo) A three-foot-wide gap will be left between two piers on the Foreland side to install a wrought-iron gate.

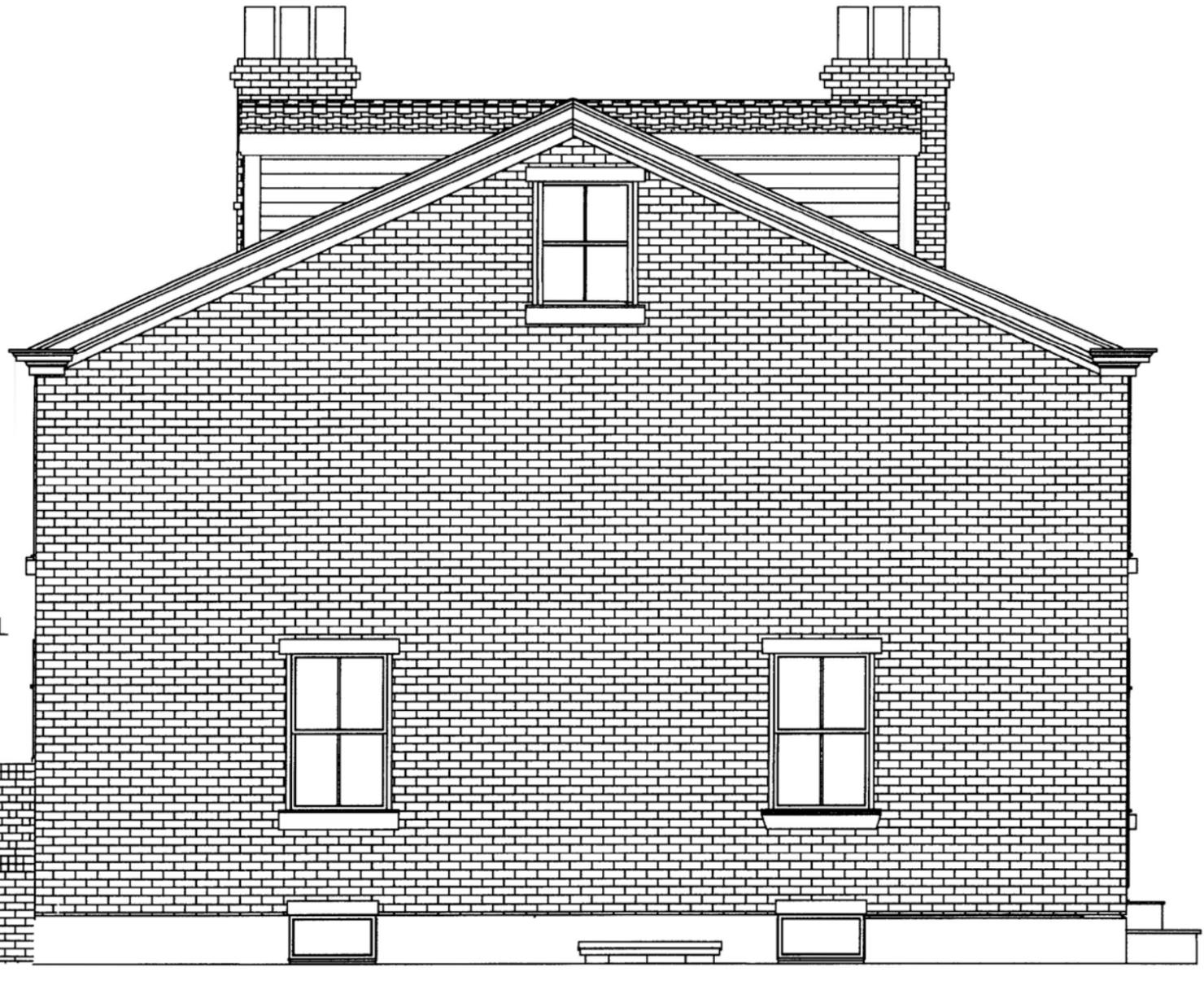
We continue our commitment to use appropriate period style, materials, and finishes in restoring this property.

Sincerely,

Christopher P. Gates



SOLID WALL, NO VENT DUE TO NOISE FROM  
DUQUESNE LIGHT REFIGERATION STATION



VENTED BRICK IN  
TOP HALF OF WALL

WALL CONTINUES  
TO END OF LOT



933 STANTON AVE  
PITTSBURGH, PA 15209

PHONE: 412-821-5880 FAX: 412-821-1094

DRAWING: ELEVATION

SCALE:

DATE: 1/14/14

PAGE: 5

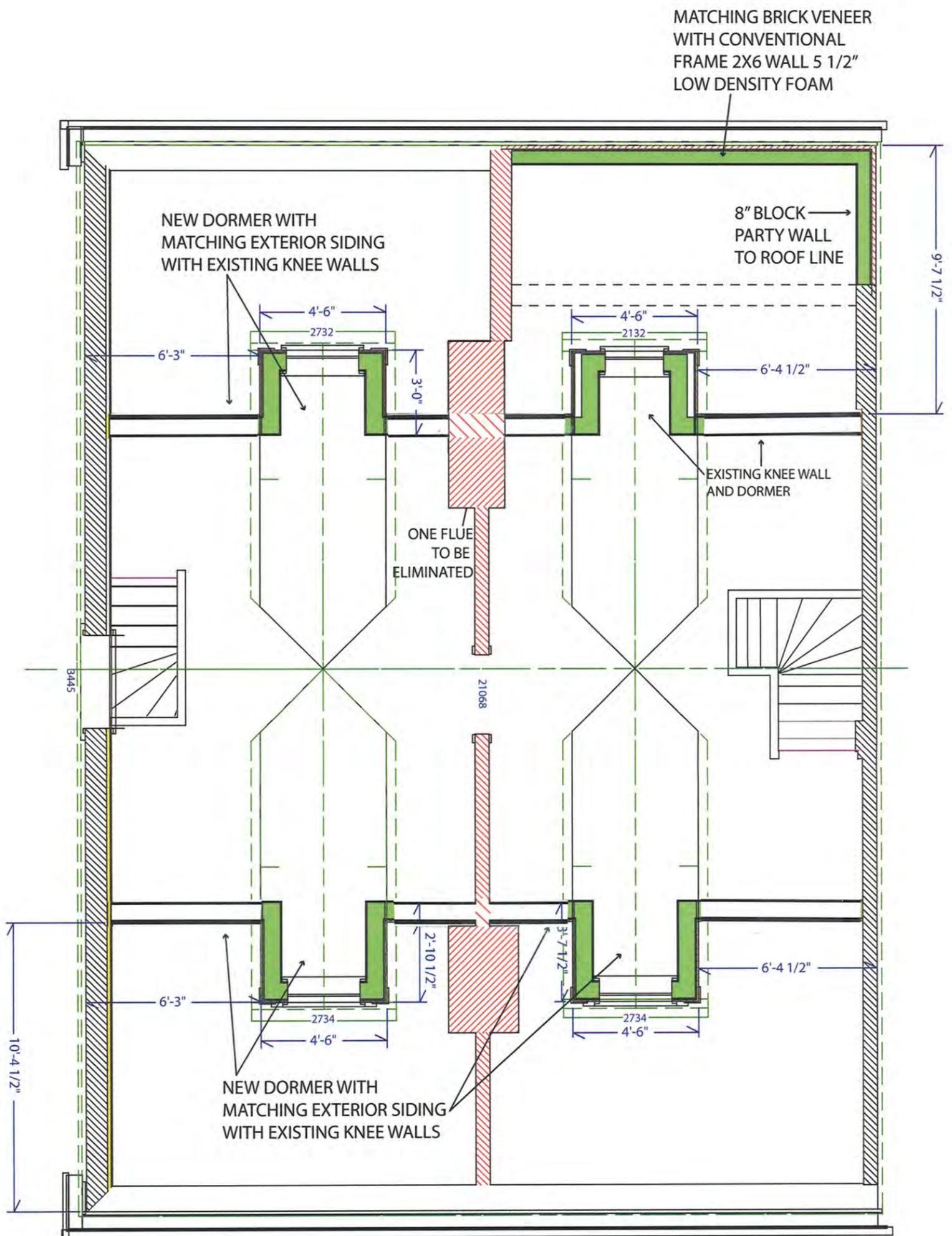
REVISED:

CLIENT: CHRIS GATES  
728 CEDAR AVE  
PITTSBURGH, PA 15212

PROJECT: FILL IN REAR EXTENTION

STATUS: DRAFT

DWG BY: CMH



933 STANTON AVE  
PITTSBURGH, PA 15209

PHONE: 412-821-5880 FAX: 412-821-1094

DRAWING: 3RD FLOOR

SCALE: 1':1/4"

DATE: 1/14/14

PAGE: 4

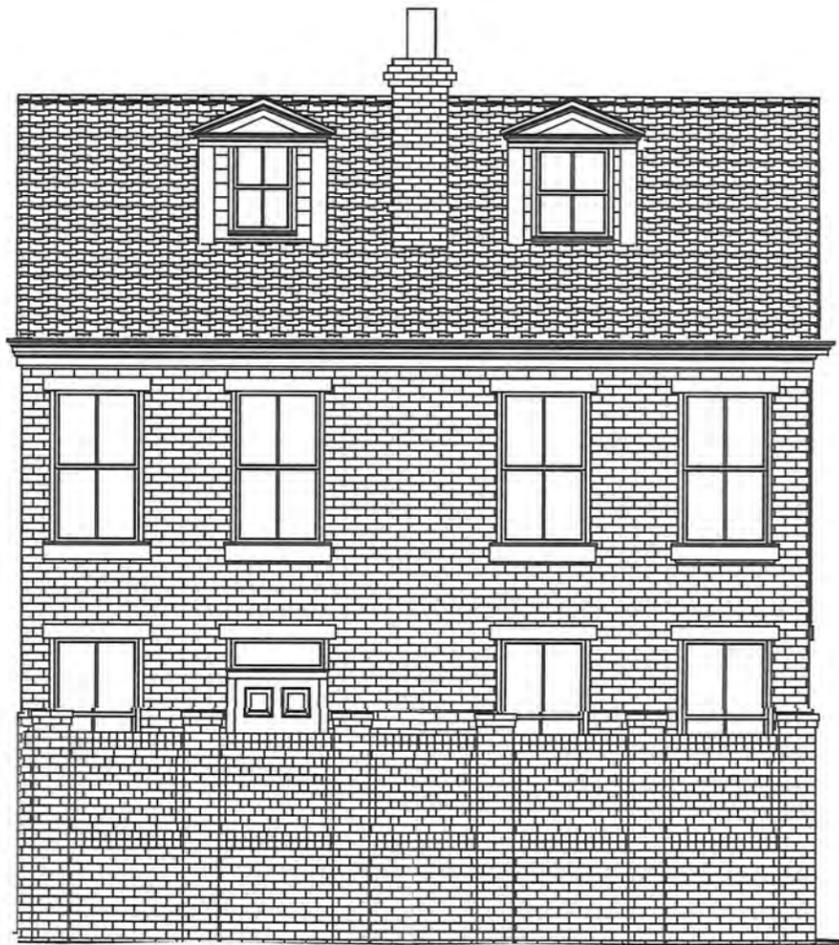
REVISED:

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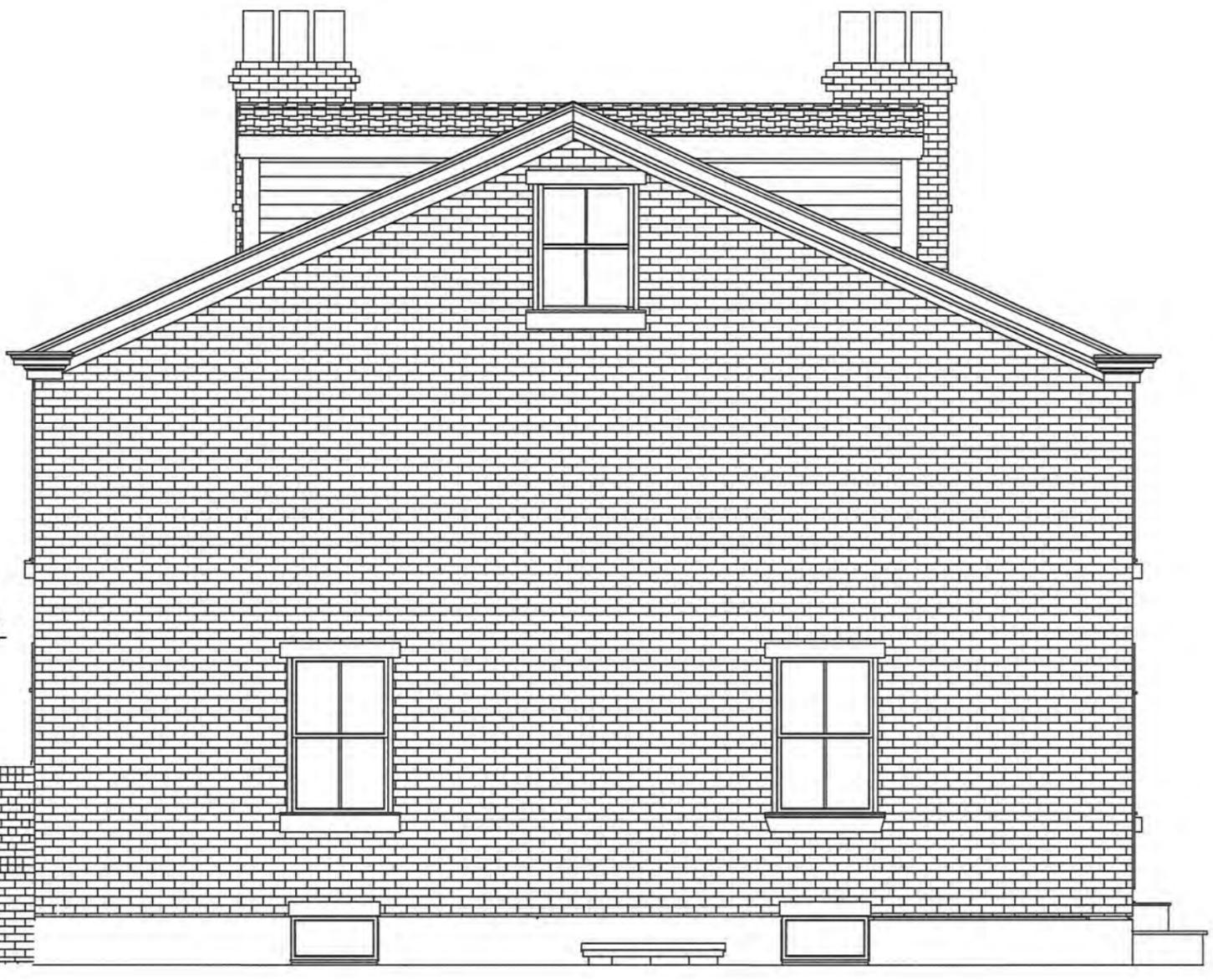
PROJECT: FILL IN REAR EXTENTION

STATUS: DRAFT

DWG BY: CMH



SOLID WALL, NO VENT DUE TO NOISE FROM  
DUQUESNE LIGHT REFRIGERATION STATION



VENTED BRICK IN  
TOP HALF OF WALL

WALL CONTINUES  
TO END OF LOT

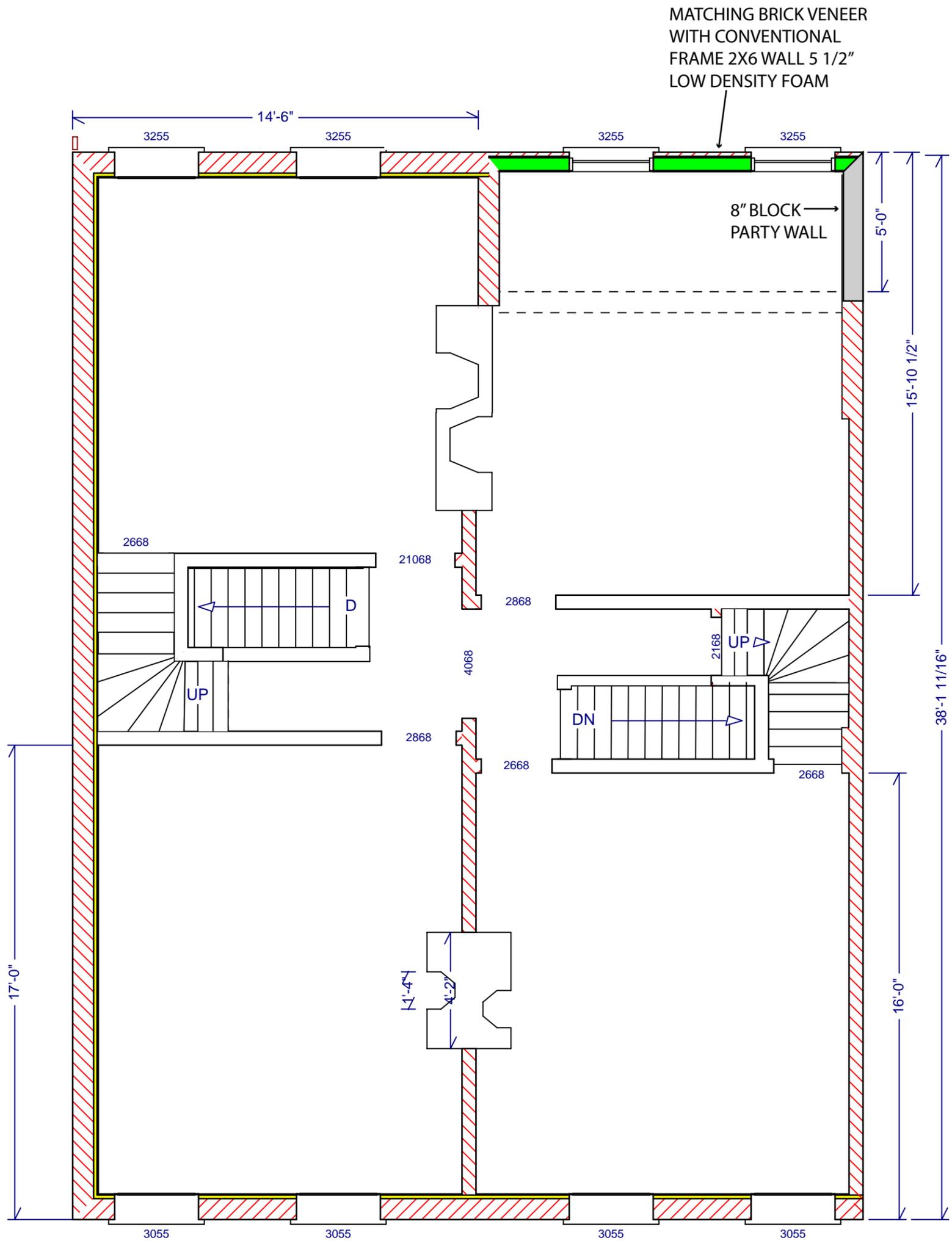


**RICK HORN**  
CONSTRUCTION INC.

933 STANTON AVE  
PITTSBURGH, PA 15209

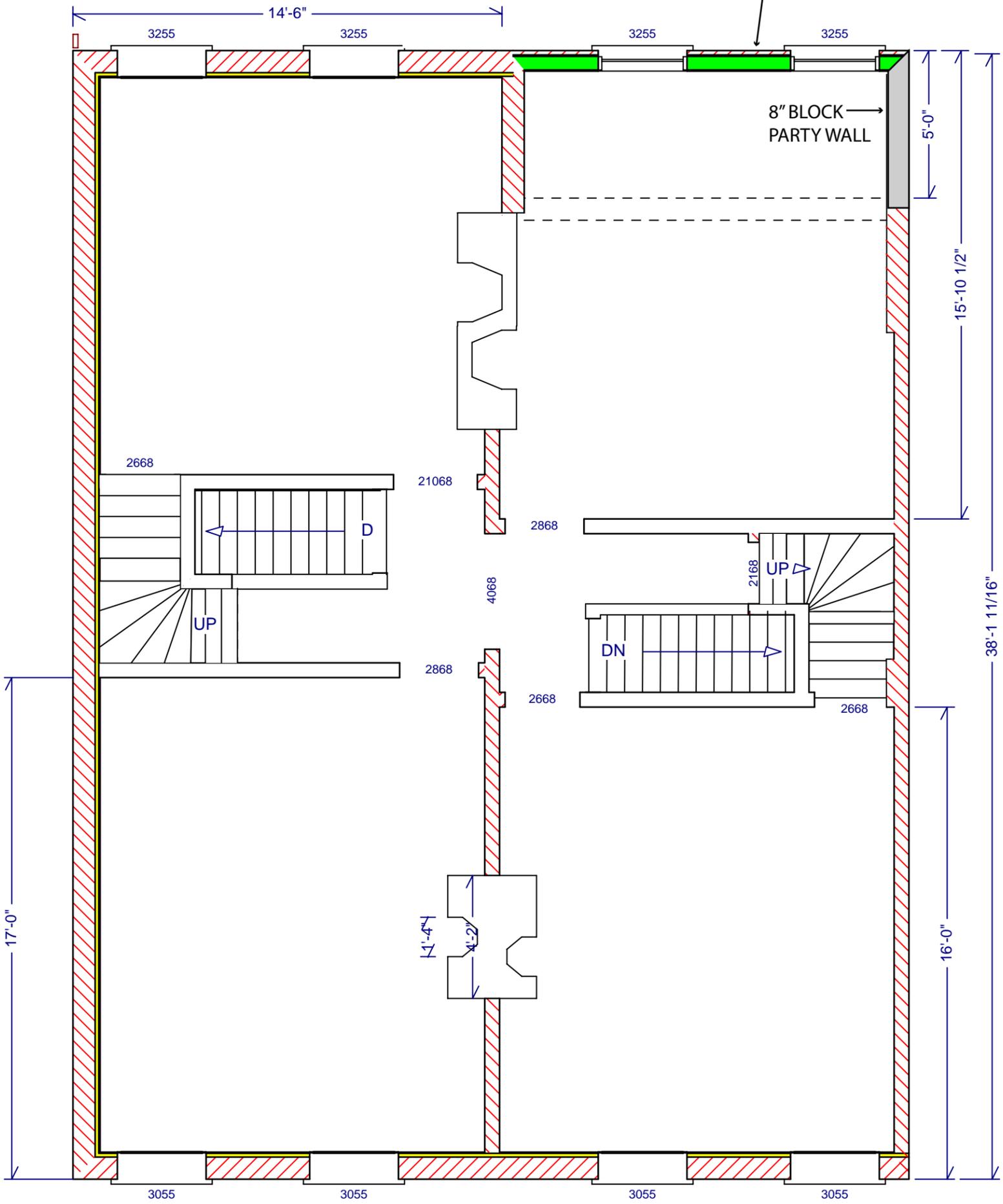
PHONE: 412-821-5880 FAX: 412-821-1094

DRAWING: ELEVATION	SCALE:	DATE: 1/14/14	PAGE: 5	REVISED:
CLIENT: CHRIS GATES 728 CEDAR AVE PITTSBURGH, PA 15212		PROJECT: FILL IN REAR EXTENTION		
		STATUS: DRAFT		
				DWG BY: CMH

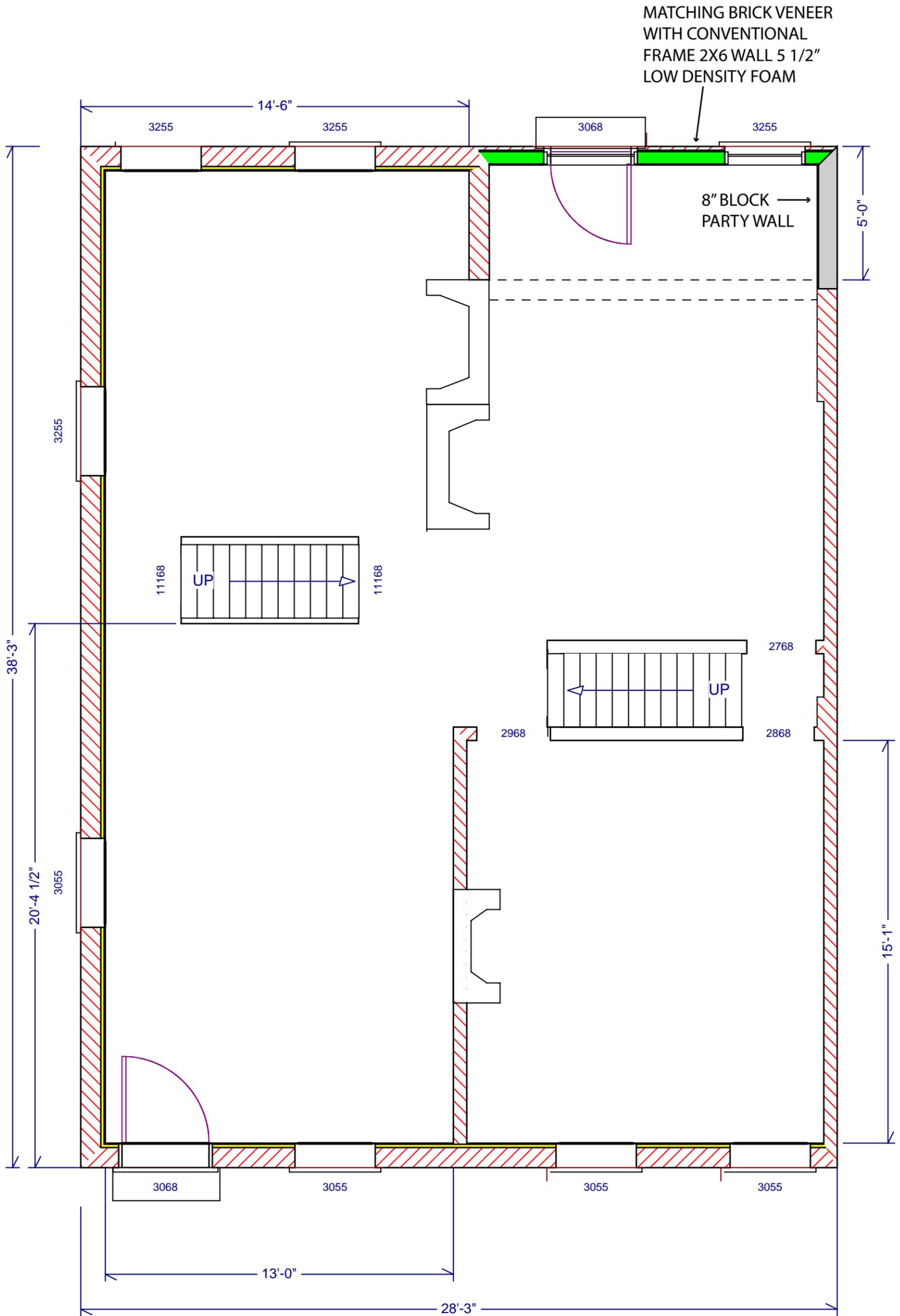


MATCHING BRICK VENEER  
WITH CONVENTIONAL  
FRAME 2X6 WALL 5 1/2"  
LOW DENSITY FOAM

8" BLOCK  
PARTY WALL

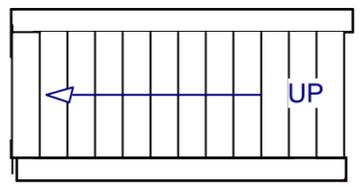
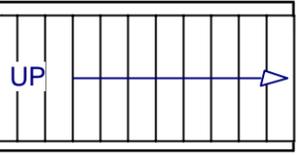


 <b>RICK HORN</b> CONSTRUCTION INC. 933 STANTON AVE PITTSBURGH, PA 15209 PHONE: 412-821-5880    FAX: 412-821-1094	DRAWING:	2ND FLOOR	SCALE:	1':1/4"	DATE:	1/14/14	PAGE:	3	REVISED:   DWG BY: CMH
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	STATUS:	DRAFT							



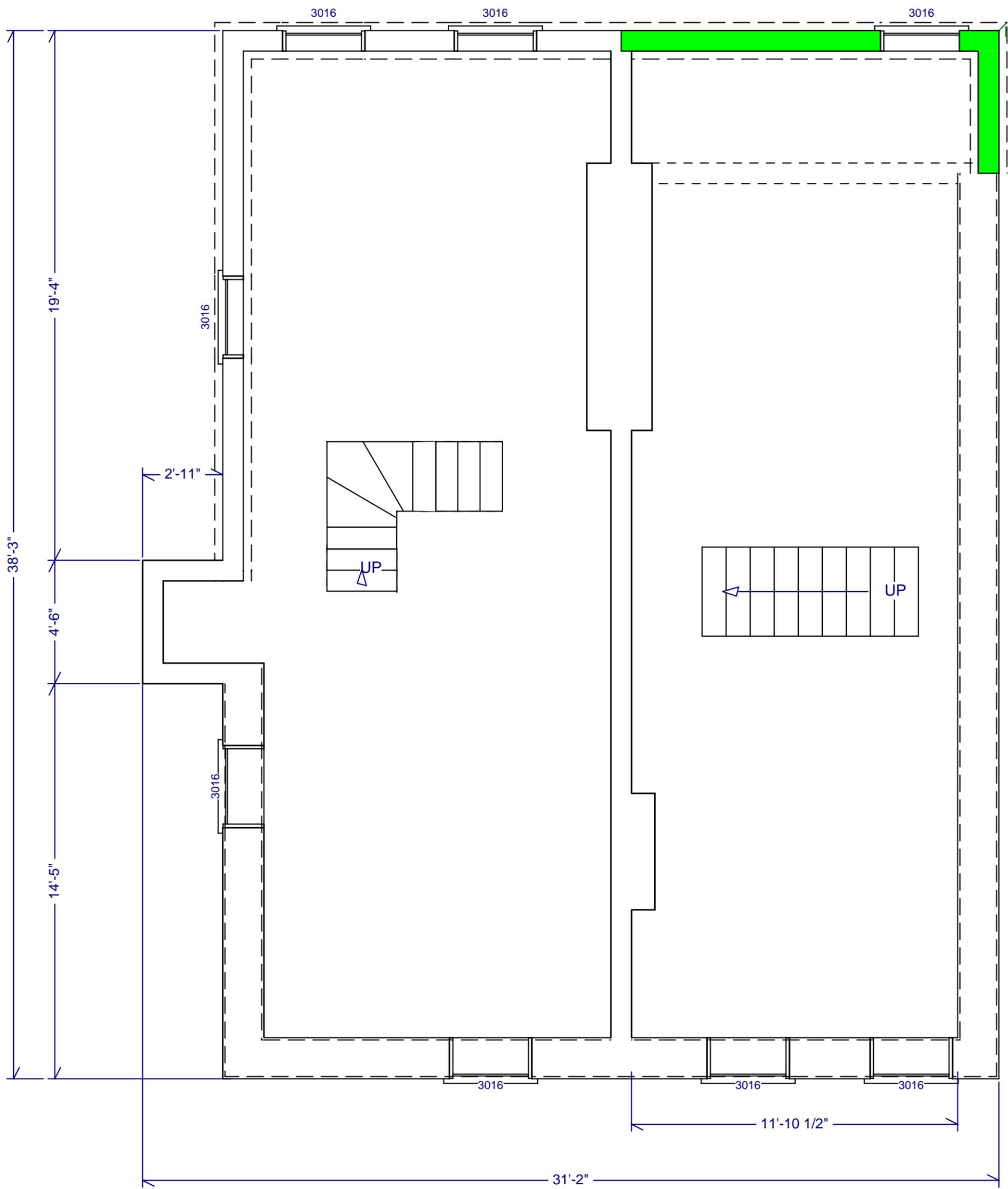
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WITH CONVENTIONAL  
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LOW DENSITY FOAM

8" BLOCK  
PARTY WALL



**RICK HORN**  
CONSTRUCTION INC.  
933 STANTON AVE  
PITTSBURGH, PA 15209  
PHONE: 412-821-5880 FAX: 412-821-1094

DRAWING: 1ST FLOOR	SCALE: 1':1/4"	DATE: 1/14/14	PAGE: 2	REVISED:
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		STATUS: DRAFT		
				DWG BY: CMH



933 STANTON AVE  
PITTSBURGH, PA 15209

PHONE: 412-821-5880 FAX: 412-821-1094

DRAWING: BASEMENT

SCALE: 1':1/4"

DATE: 1/14/14

PAGE: 1

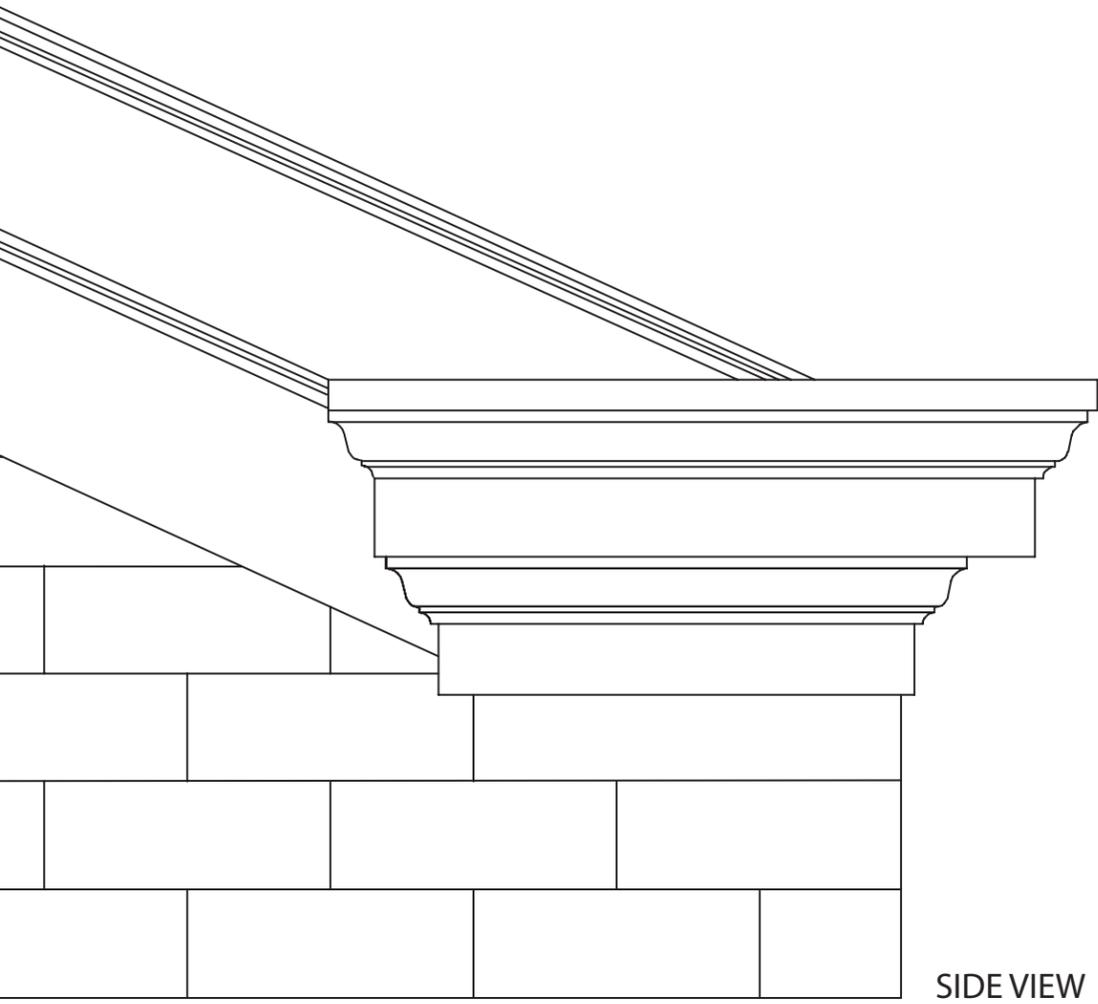
REVISED:

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PITTSBURGH, PA 15212

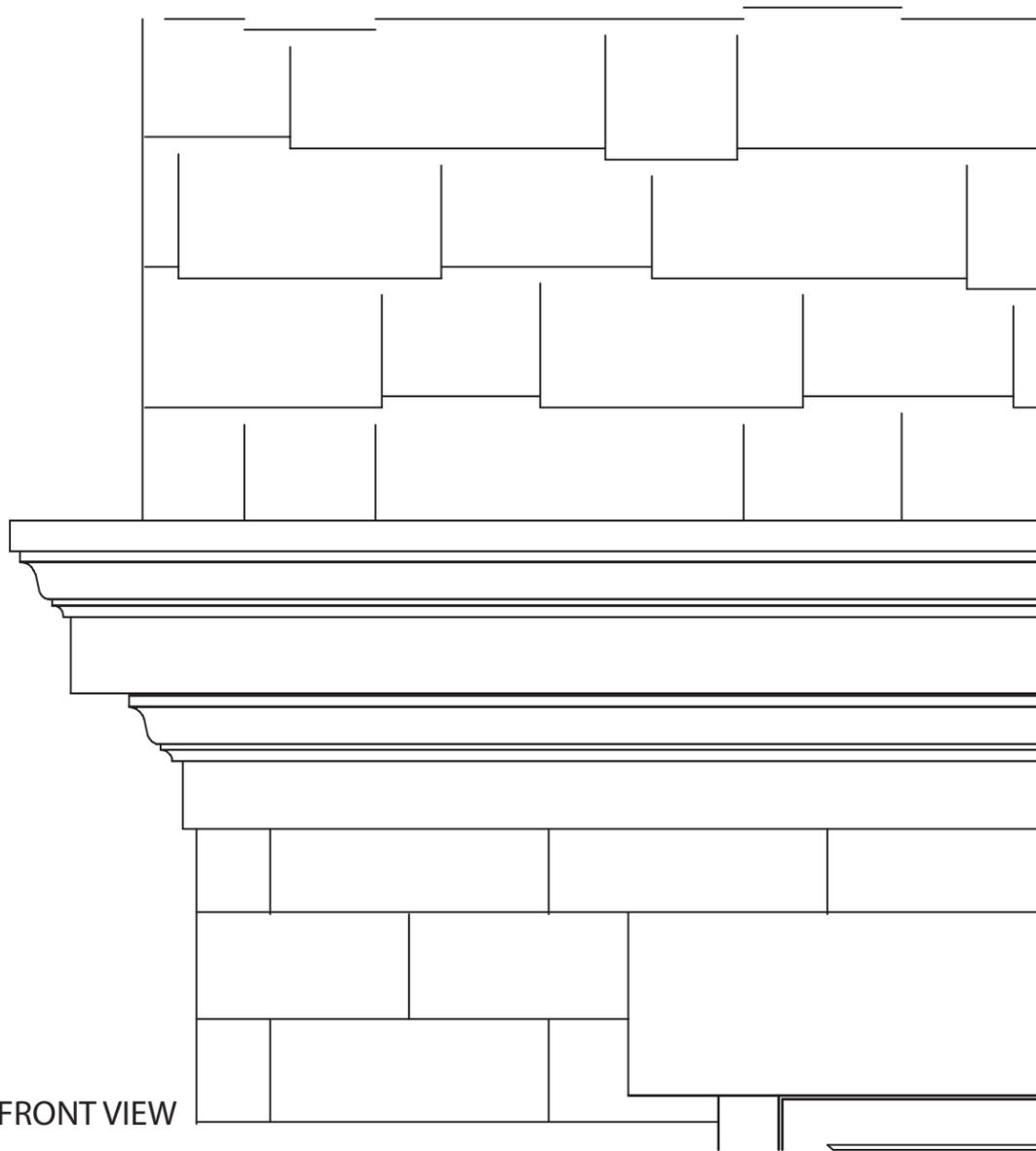
PROJECT: FILL IN REAR EXTENTION

STATUS: DRAFT

DWG BY: CMH



SIDE VIEW



FRONT VIEW



933 STANTON AVE  
PITTSBURGH, PA 15209

PHONE: 412-821-5880 FAX: 412-821-1094

DRAWING:  
VIEW OF FRONT GUTTER

SCALE:

DATE:  
1/14/14

PAGE:  
6

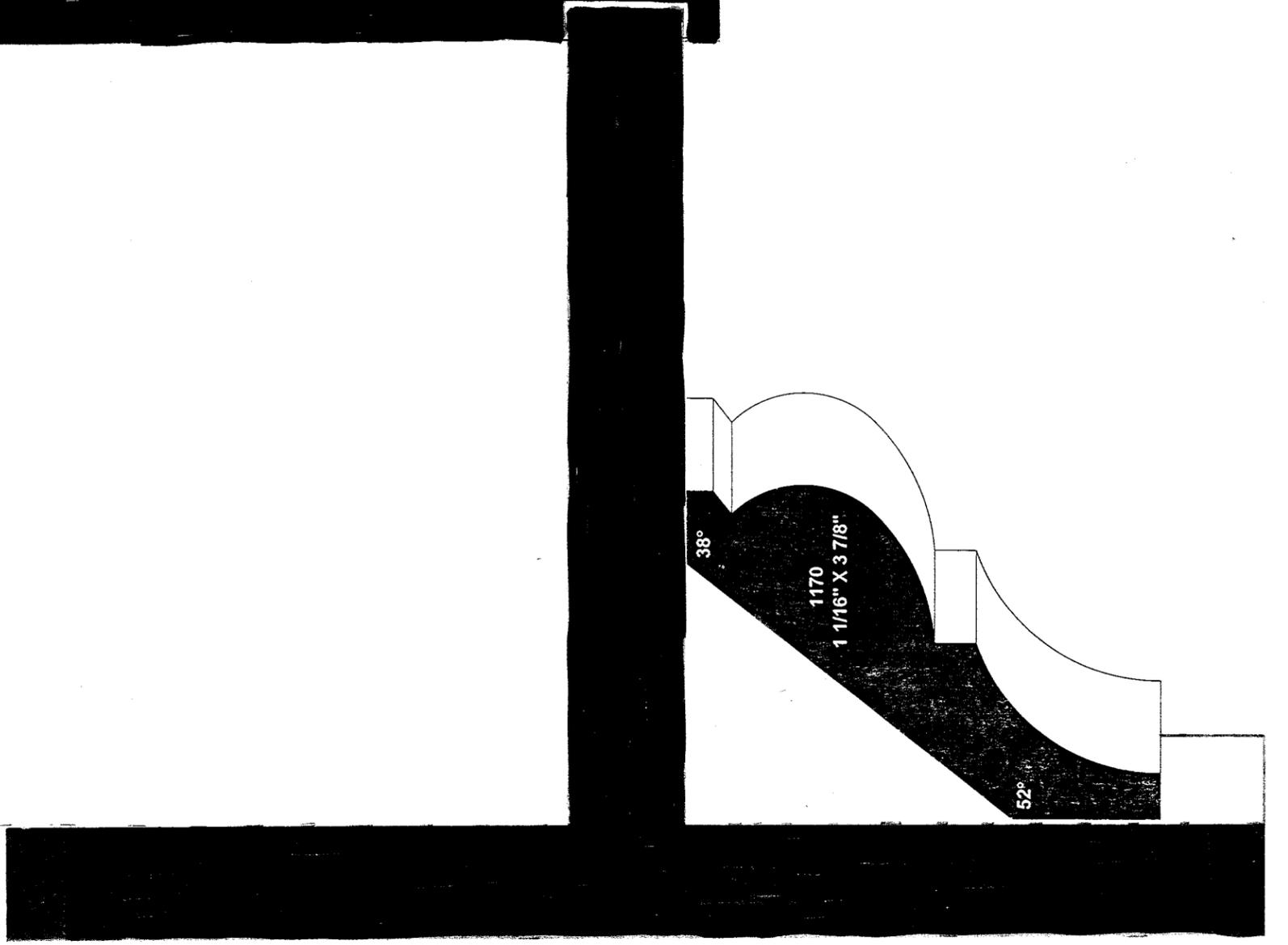
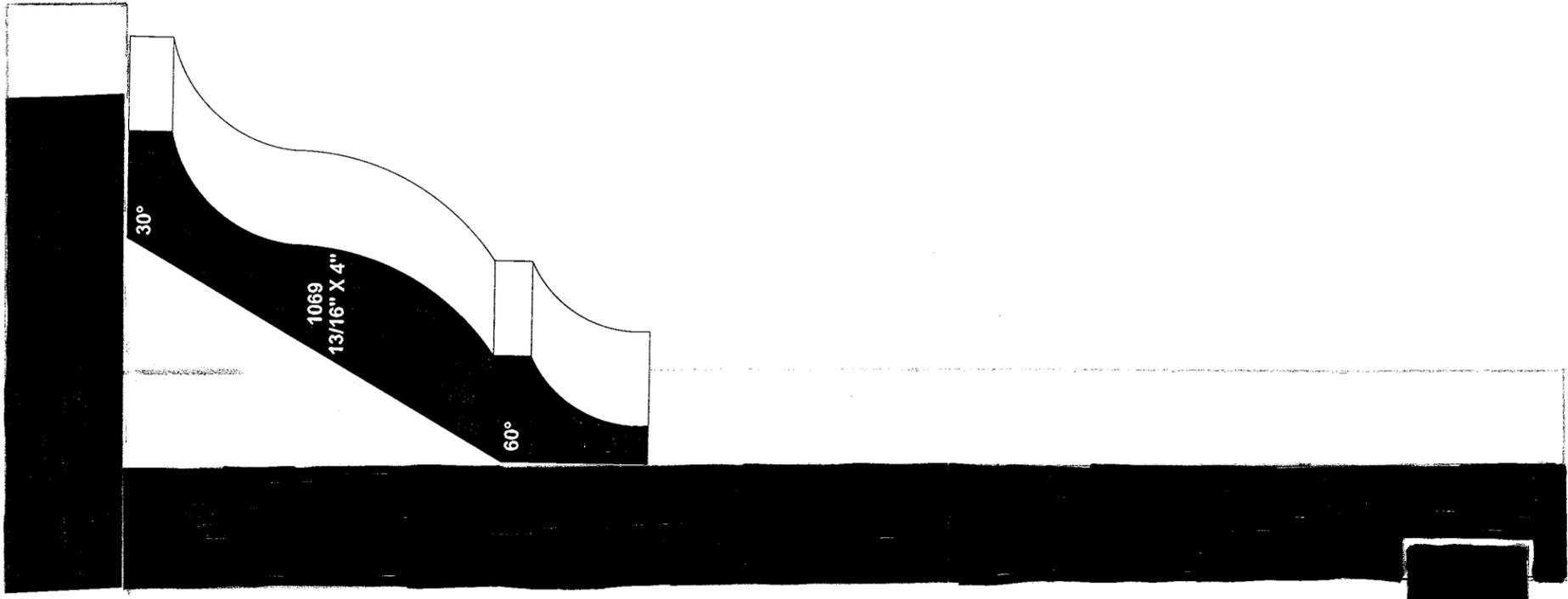
REVISED:

CLIENT:  
CHRIS GATES  
728 CEDAR AVE  
PITTSBURGH, PA 15212

PROJECT:  
FILL IN REAR EXTENTION

STATUS:  
DRAFT

DWG BY: CMH





Foreland St

Cedar Ave

728



JBS-1975



06/19/2013 14:34



06/19/2013 14:22



06/19/2013 14:35











## Wood Ultimate Double Hung Collection

### Unit Features - Wood Ultimate Double Hung

#### Wood Ultimate Double Hung Collection:

Wood Ultimate Double Hung: WUDH Wood Ultimate Double Hung Picture: WUDHP; Wood Ultimate Double Hung Transom: WUDHT  
Wood Ultimate Double Hung Round Top: WUDHRT Wood Ultimate Double Hung Bows and Bays: WUDHBB

#### Frame:

- Frame thickness: 1 1/16"(17), Subsill thickness: 1 3/32"(28)
- Frame base (with pre-drilled installation holes in jambs): is 4 9/16"(116) from backside of BMC to interior wood face of frame.
- Optional DP50 sill liner maximum size 2830 or 3026
- 8 degree bevel on sill and subsill

#### Sash:

- Transom and Picture unit sash thickness 1 5/8"(41) or optional 2" (51)
- All Measurements are Nominal - Sash: All removable for easy cleaning.
  - WUDH: Bottom of subsill to top of interior wood sill liner - 3 11/16" (94);
  - Top Rail - 2 7/32" (56); Stiles - 2 7/16" (62); Bottom Rail - 3 9/16" (90)
  - WUDHT: Bottom of sill to top of interior wood sill liner - 1 31/32" (50);
  - Top Rail - 2 7/32" (56); Stiles - 2 7/16" (62); Bottom Rail - 2 19/32" (66)
  - WUDHP: Bottom of subsill to top of interior wood sill liner - 3 11/16" (94);
  - Top Rail - 2 7/32" (56); Stiles - 2 7/16" (62); Bottom Rail - 3 9/16" (90)
  - WUDHRT: Bottom of subsill to top of interior wood sill liner - 3 11/16" (94);
  - Top Rail - 2 7/32" (56); Stiles - 2 7/16" (62); Bottom Rail - 3 9/16" (90)

#### Hardware: - See Individual Product Chapters

#### Weather Strip:

- Operating units: Continuous leaf weather strip at head jamb; dual bulb at check rail, weather strip and bottom rail.
  - Color: Beige.
- Picture units: Continuous weather strip at perimeter; leaf and bulb weather strip at jamb, bulb weather strip at head and sill.
  - Color: Beige

#### Insect Screens:

- Aluminum screen: Full screen standard, half screen optional. Colors available: Pebble Gray, Bahama Brown, Evergreen, Bronze, Stone White, Ebony, Cobalt Blue, Wineberry, Coconut Cream, Hampton Sage, Cashmere, Arctic White, Cumulus Gray, Desert Beige, Sherwood Green, Sierra White, Cadet Gray, Cascade Blue, or French Vanilla.
- Screen mesh: Standard is Charcoal Fiberglass. Optional: Charcoal High Transparency Fiberglass Mesh, Charcoal Aluminum wire, Black Aluminum Wire, Bright Aluminum Wire, or Bright Bronze Aluminum Wire.
- Screens have an aluminum crossbar on glass heights of 20" (508) and taller.
- Optional Magnum Screen.
- Optional wood screen.

#### Wood Combination Storm Sash and Screen:

- Frame: Treated bare wood or white primed (pine only)
- Storm panel: Select quality glass is an extruded aluminum frame. Frame color: Stone White, Pebble Gray, Bronze, Bahama Brown or Evergreen.
- Insect screen: Screen mesh: Charcoal Aluminum Wire. Optional screen material: Charcoal Fiberglass Mesh, Black Aluminum Wire, Bright Aluminum Wire, Bright Bronze Wire. Optional Charcoal High Transparency Fiberglass Mesh (CH Hi-Tran).
- Weather strip: Pile weather strip between operating panels and at stiles of main frame.
- Hardware: Spring loaded latches to secure storm panel.

#### Glass and Glazing:

- Glazing method: Insulating.
- Glazing seal: Silicone glazed.
- Standard glass is insulating LoE•272<sup>®</sup> with Argon or Air.
- Optional glass types: Clear, LoE180™ with Argon or Air, LoE 366<sup>®</sup> with Argon or Air, Laminated, Tempered, and Obscure, Bronze tint, Gray tint, and Reflective Bronze.
- Glazing will be altitude adjusted for higher elevations, argon gas not included.
- See unit features in product sections for Tripane glass options



**Division of Development Administration and Review**

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**

**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

FEE SCHEDULE:

See attached. Please make check payable to:  
Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

1004-1006 CEDAR AVENUE  
PITTSBURGH, PA 15212

**DISTRICT:**

DEUTSCHTOWN

**OWNER:**

NAME: MATT HICKS

ADDRESS: 1004-1006 CEDAR AVE  
PGH PA 15212

PHONE: 412.580.9619

EMAIL: matt.hicks@pinnacle-redevelopment.com

**APPLICANT:**

NAME: ROBERT BAUMBACH

ADDRESS: 900 MIDDLE ST.  
PGH PA 15212

PHONE: 412.266.4425

EMAIL: bob.baumbach@comcast.net

**REQUIRED ATTACHMENTS:**

- Drawings
- Photographs
- Renderings
- Site Plan
- Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

See attached description

**SIGNATURES:**

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPLICANT: Robert Baumbach DATE: 1/16/2014



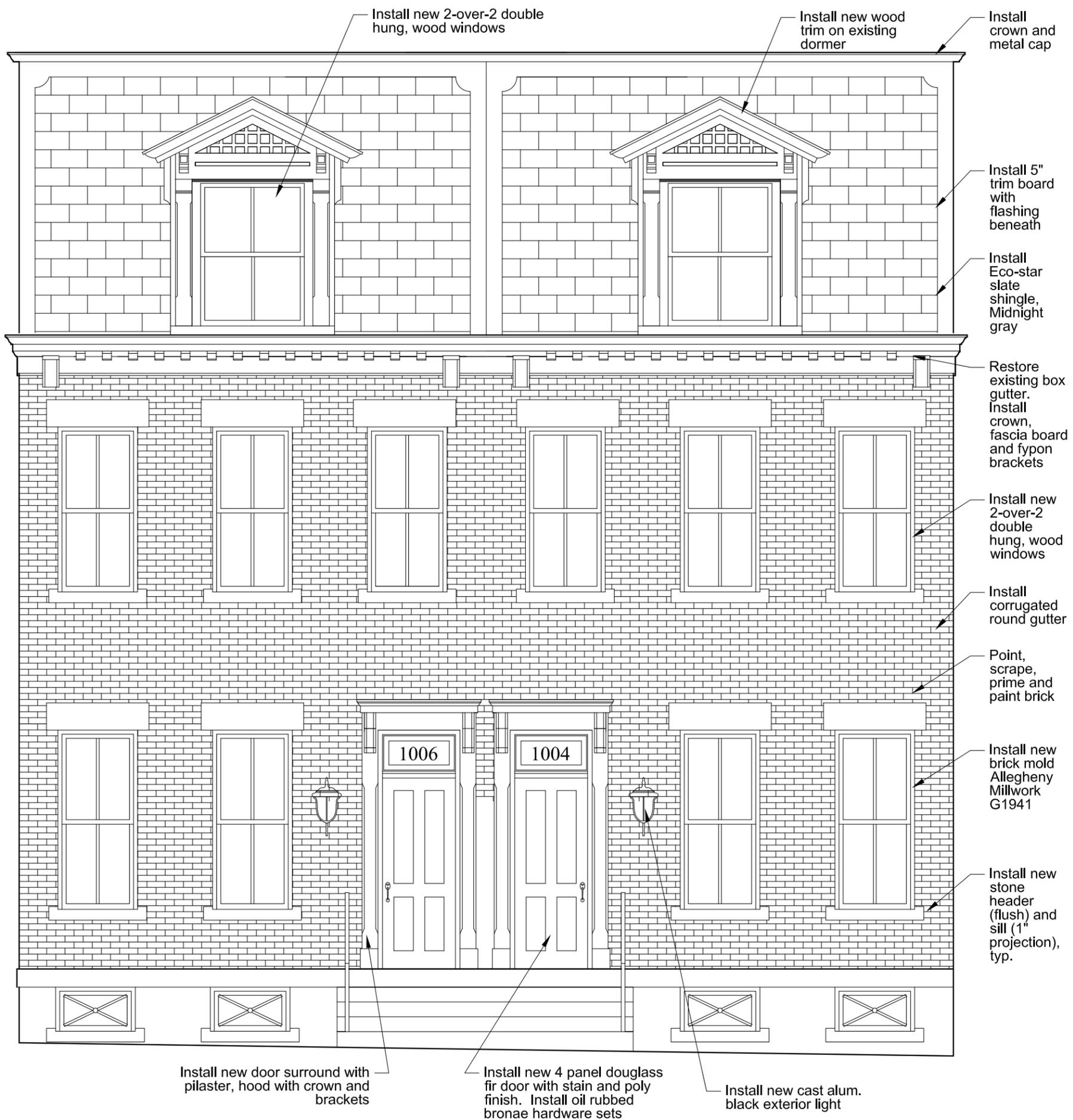
Work Scope  
**1004-1006 Cedar Avenue**  
Pittsburgh, PA 15212

Historic Renovations in Deutschtown  
Pinnacle Redevelopment, LLC  
January 16, 2014

Two identical buildings shall be converted from multi-unit apartments to two single-family dwellings.

Summary of proposed work: The existing windows, window hoods, doors, door surrounds, mansard shingles, and dormer cladding shall be removed. All masonry openings shall be restored with stone sills and headers. Mortar joints shall be pointed as needed. The paint on the masonry shall be scraped, primed and painted. New wood windows shall be installed with historic profile brick mold. The box gutters shall be restored with crown mold profile. Round rain leaders shall be installed. The mansard shall be shingled with Eco-Star recycled "slate" shingles. The mansard shall be trimmed with frame boards and capped with a crown mold and metal drip edge at the top. The dormers shall be constructed as shown and shall include a pair of double-hung 2-over-2 windows. All windows and trim shall be painted. The door surrounds shall be constructed with wood pilasters, hood with crown and decorative brackets. Metal copings shall match historic profiles. All woodwork shall be painted with color schemes from Benjamin Moore historic color series.





**1** **FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"







1013



Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

204 5<sup>TH</sup> Ave  
 Pittsburgh, PA 15222

**DISTRICT:**

Market Square

**OWNER:**

NAME: N&P Properties LLC  
 ADDRESS: 204 5<sup>TH</sup> Ave  
 Pittsburgh, PA 15222  
 PHONE: 412-325-2455  
 EMAIL: mikekratsas@primanti  
 bros.com

**APPLICANT:**

NAME: Rachel Loya / Nexius  
 ADDRESS: 503 Martindale St.  
 Pittsburgh, PA 15212  
 PHONE: 412-608-6632  
 EMAIL: Rachel.Loya@Nexius.com

**REQUIRED ATTACHMENTS:**

Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

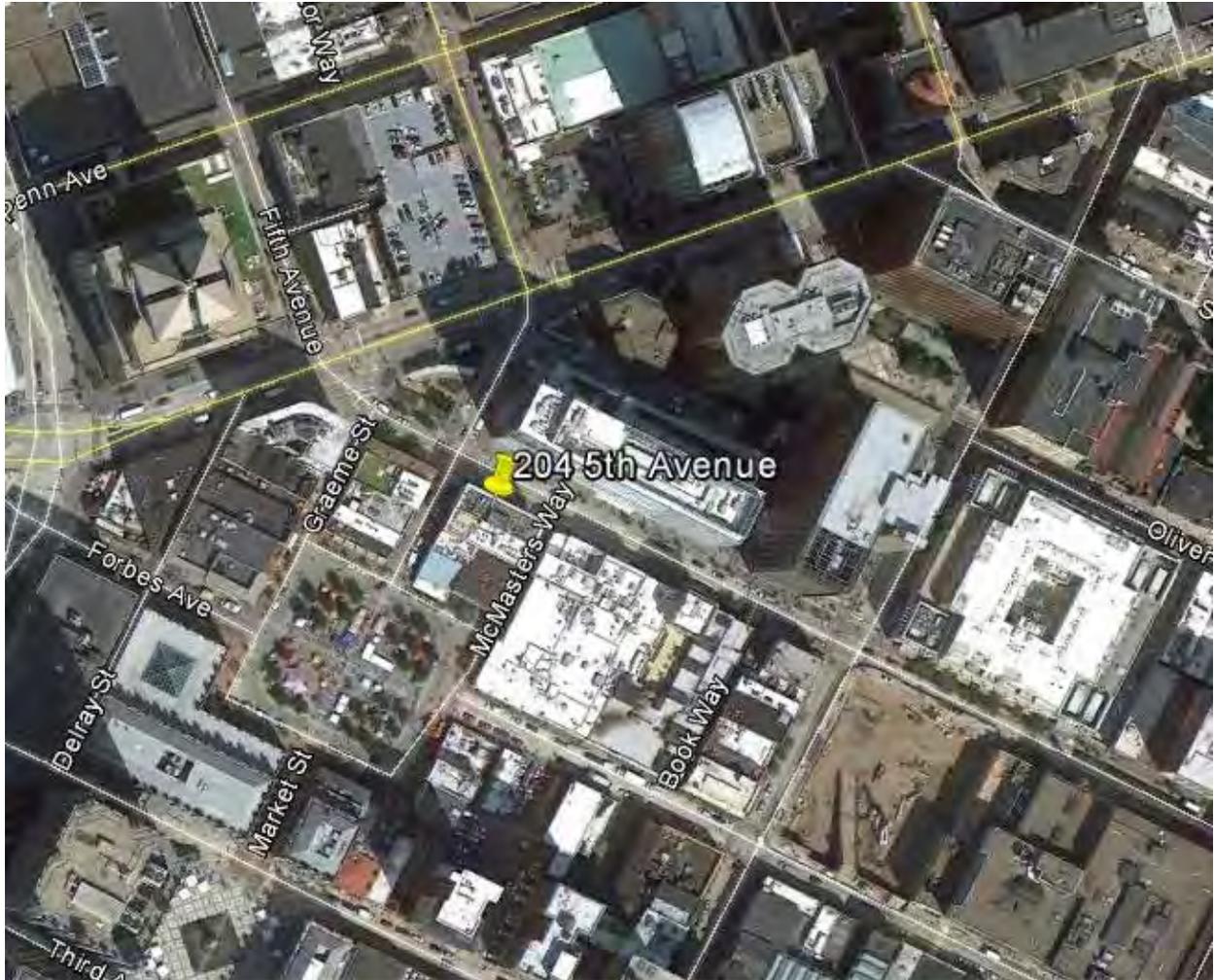
Sprint has 3 existing antennas pipe mounted to the penthouse walls extending above penthouse. Sprint will be replacing that with 6 antennas mounted to the top of the penthouse and hidden behind a concealment structure.

OWNER: Jennifer Astelow

DATE: 1/17/14

APPLICANT: Rachel Loya

DATE: 1/14/14







DONUTS

DEVY

628-8784











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SP13-0178

This photograph is an approximate representation of our proposed concealment. Actual concealment(s)



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SP13-0178

This photograph is an approximate representation of our proposed concealment. Actual concealments may vary.



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SP13-0178

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SP13-0178

This photograph is an approximate representation of our proposed concealment. Actual concealment(s)

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 DRAWN BY: DTP  
 Printed by: emorgan on Jan 15, 2014 - 12:20pm  
 C:\Users\emorgan\appdata\local\temp\AcPublish\_7000\23137\_100%ConstructionDrawings\_NV\_FT43XC800.dwg



**SITE ID #:** PT43XC800

**SITE NAME:** POINT STATE PARK / BUHL BUILDING

**SITE ADDRESS:** 204 5TH AVE.  
PITTSBURGH, PA 15222

**SITE TYPE:** NETWORK VISION MMBTS LAUNCH  
PROPOSED ANTENNA AND EQUIPMENT UPGRADE

**PROJECT DESCRIPTION:** INSTALLATION OF NEW RADIO/TRANSMISSION EQUIPMENT TO INCLUDE NEW OUTDOOR EQUIPMENT, HYBRID FIBER OPTIC CABLES, REMOTE RADIO UNITS AND ASSOCIATED ANTENNAS ON EXISTING ROOFTOP MOUNT.

### PROJECT INFORMATION

**SITE INFORMATION:**  
 ADDRESS: 204 5TH AVE.  
PITTSBURGH, PA 15222  
 COORDINATES: N 40° 26' 26.18"  
W 80° 00' 02.94"

**APPLICANT/LESEE:** SPRINT  
 ADDRESS: 639 I SPRINT PARKWAY  
OVERLAND PARK, KS 66251

**SITE OWNER:** N&P PROPERTIES  
 ADDRESS: 79 S 23RD ST  
PITTSBURGH, PA 15203  
**CONTACT:** MICHAEL P. KRATSAS  
 TELEPHONE: (412) 325-2455

**SITE UTILITIES:**  
**POWER COMPANY:** DUQUESNE LIGHT CO.  
 ADDRESS: 411 SEVENTH AVE, #16  
PITTSBURGH, PA 15219  
 TELEPHONE: (412) 393-7200

**TELCO. COMPANY:** DQE  
 ADDRESS: 424 SOUTH 27TH STREET, SUITE 220  
PITTSBURGH, PA 15203  
 TELEPHONE: (866) 463-4237

**PROJECT TEAM:**  
**PROJ. MNGMT. FIRM:** NEXIUS SOLUTIONS, INC.  
 ADDRESS: 503 MARTINDALE STREET  
CLARK BUILDING, FIFTH FLOOR  
PITTSBURGH, PA 15212  
**CONTACT:** BUSTER NEDOCK  
 TELEPHONE: (814) 330-8411  
 WEBSITE: www.NEXIUS.com

**ENGINEERING FIRM:** RAMAKER & ASSOCIATES  
 ADDRESS: 1120 DALLAS STREET  
SAUK CITY, WI 53583  
 WEBSITE: www.RAMAKER.com

**CONTACT:** TOMAS A. TORO-SANTOS  
 TELEPHONE: (608) 643-4100  
 MOBILE: (608) 963-2133  
 FACSIMILE: (608) 643-7999  
 EMAIL ADDRESS: TTORO@RAMAKER.COM

**APPROVALS:**

MW ENGINEER:	DATE

### SHEET INDEX

**GENERAL:**

T-1 TITLE SHEET

**SITE:**

- A-1 EXISTING OVERALL SITE PLAN
- A-1-A INTERIM OVERALL SITE PLAN
- A-1-B FINAL OVERALL SITE PLAN
- A-2 EQUIPMENT PLAN
- A-3 TOWER ELEVATION
- A-4 ANTENNA ORIENTATION PLANS
- A-5 ANTENNA & CABLE SPECIFICATIONS
- A-6 RRU DETAILS
- A-7 CABINET DETAILS
- A-8 RF INFORMATION
- A-9 RF DATA

**STRUCTURAL:**

- S-1 STRUCTURAL DETAILS
- S-2 STRUCTURAL DETAILS

**UTILITY & GROUNDING:**

- E-1 UTILITY & GROUNDING SITE PLAN
- E-2 RISER DIAGRAM
- E-3 PANEL SCHEDULE
- E-4 UTILITY DETAILS & NOTES
- E-5 GROUNDING DETAILS & NOTES
- E-6 GROUNDING DETAILS
- E-7 GROUNDING DETAILS

**SPECIFICATIONS:**

- SP-1 SPECIFICATIONS

**DESIGN CRITERIA:**  
 ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL COVERING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- INTERNATIONAL BUILDING CODE 2009
- ACCESSIBILITY CODE IBC 2009. CHAPTER 11 & ICC/ANSI A117.1-2003
- 2008 NATIONAL ELECTRIC CODE
- FIRE/LIFE SAFETY CODE-IFC 2009
- ENERGY CODE IECC 2009



**6391 SPRINT PARKWAY  
OVERLAND PARK, KS 66251**



**503 MARTINDALE STREET  
CLARK BUILDING, FIFTH FLOOR  
PITTSBURGH, PA 15212  
OFFICE: (703) 650-7777**



**1120 Dallas Street, Sauk City, WI 53583  
Phone: 608-643-4100 Fax: 608-643-7999  
www.Ramaker.com**

**PROJECT NUMBER: 23137**

MARK	DATE	DESCRIPTION
I	1/15/14	Changed Antenna layout/configuration

Certification & Seal:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Pennsylvania.



Signature: *Michael L. Pinske* Date: 1/15/2014

ISSUE PHASE: FINAL DATE ISSUED: 04/24/2013

**SITE ID #:** PT43XC800

**SITE NAME:** POINT STATE PARK / BUHL BUILDING

**ADDRESS:** 204 5TH AVE.  
PITTSBURGH, PA 15222

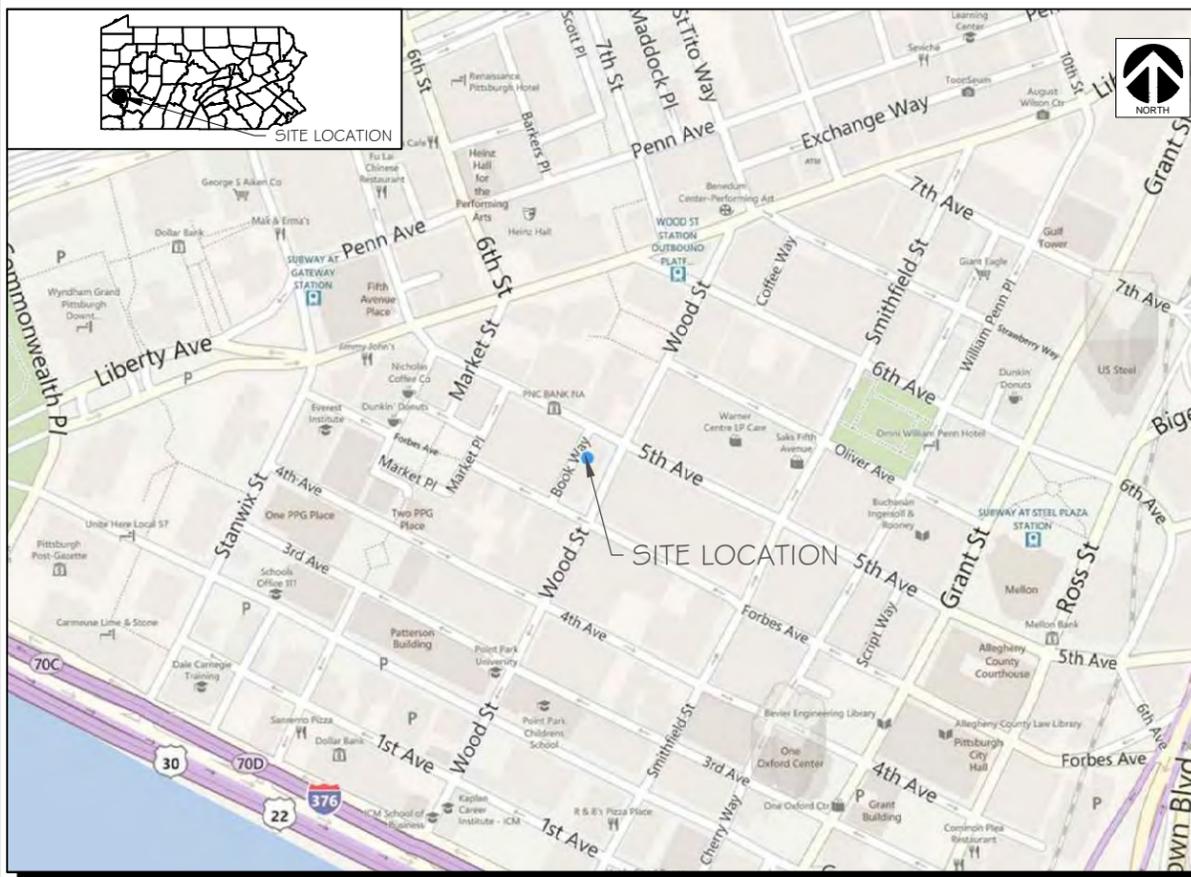
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**SHEET TITLE:** TITLE SHEET

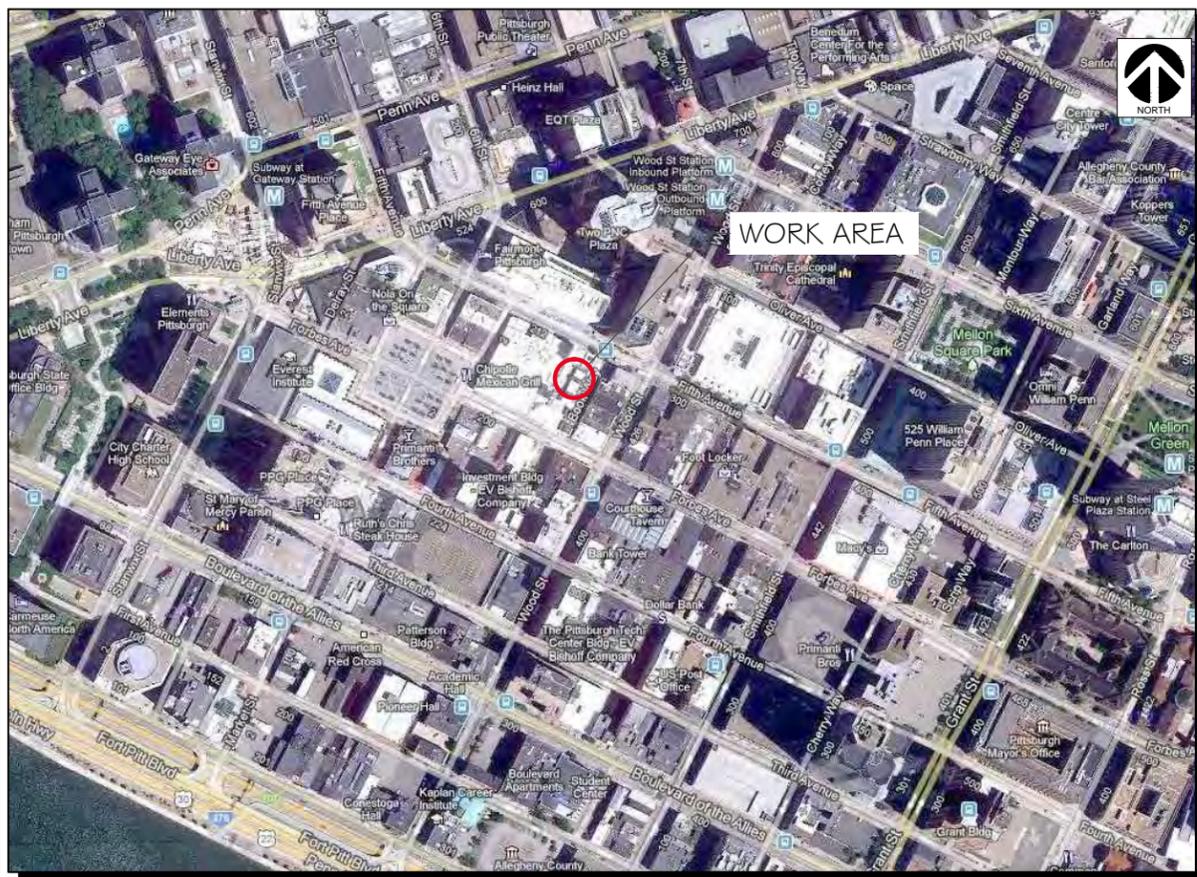
**SCALE:**

**SHEET NUMBER:** T-1

### GENERAL LOCATION



### VICINITY MAP



**DRIVING DIRECTIONS:**  
 FROM PITTSBURGH INTERNATIONAL AIRPORT: TAKE AIRPORT BLVD, STAY LEFT AT FORK AND FOLLOW SIGNS FOR I-376 E/I-79 E. TAKE EXIT 70A TO MERGE ONTO LIBERTY AVE. RIGHT ON FIFTH AVE.

MEMBER OF THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN PENNSYLVANIA

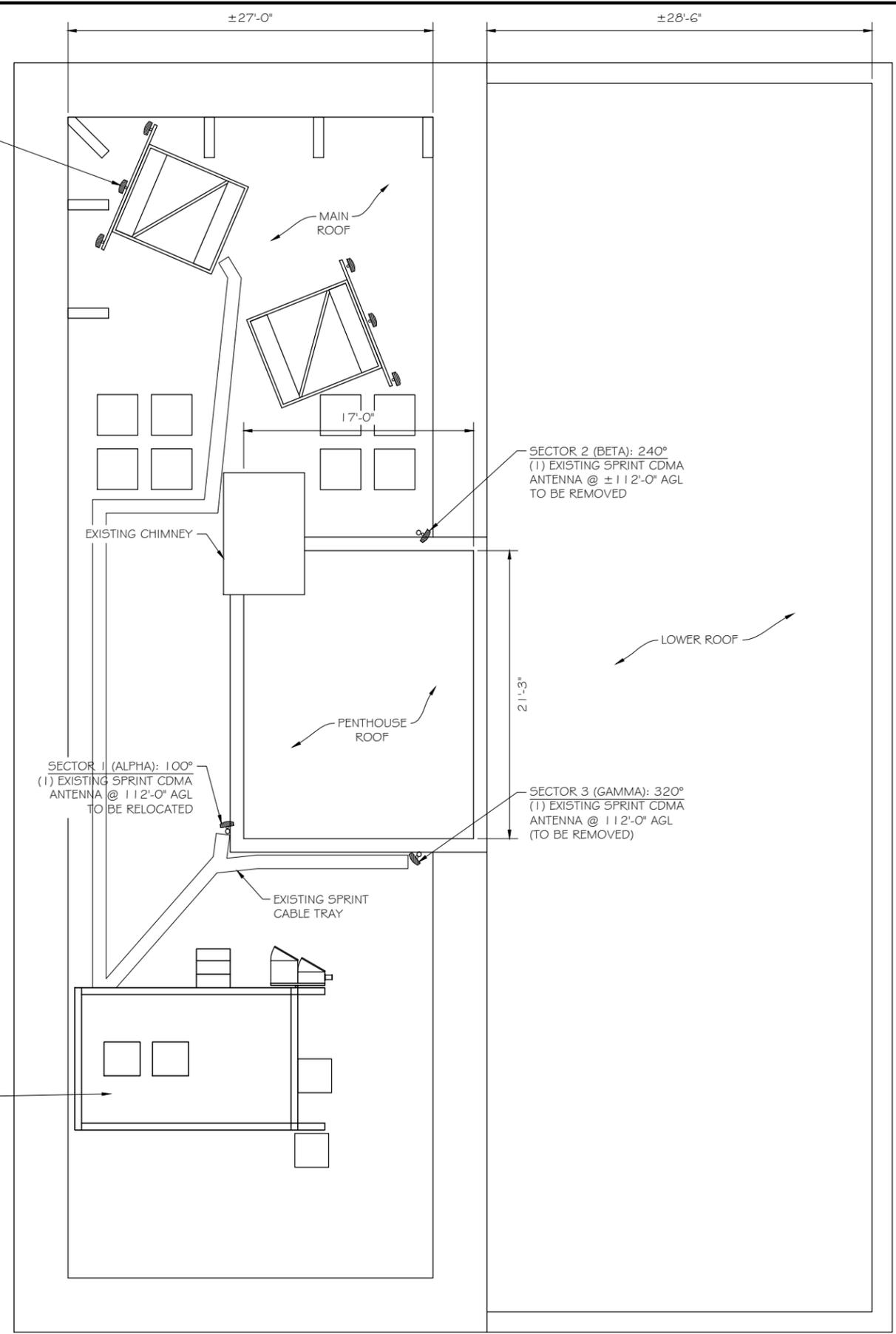
**PENNSYLVANIA ONE CALL SYSTEM, INC.**  
 811 OR 1-800-242-1776

PENNSYLVANIA STATE LAW REQUIRES MIN. 3 WORKING DAYS NOTICE BEFORE YOU EXCAVATE.

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OTHER CARRIER ANTENNAS, TYP.

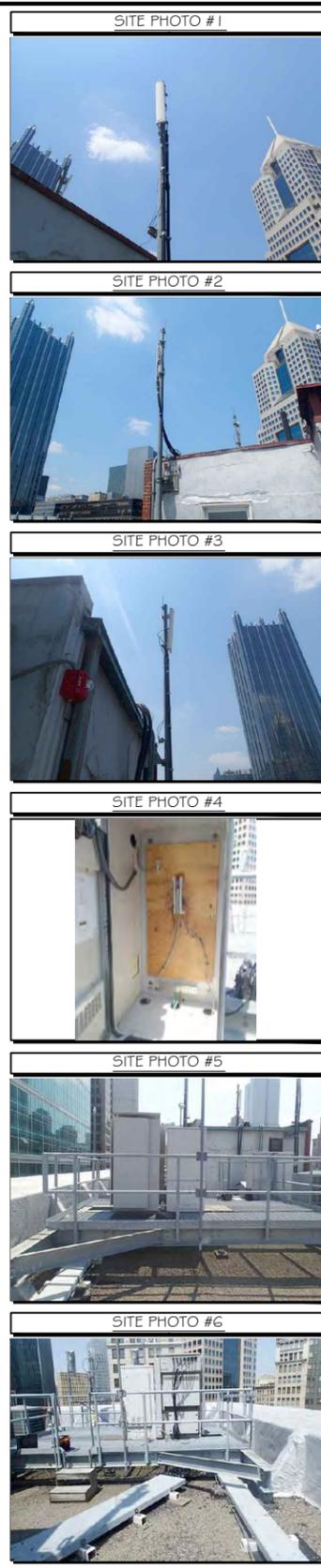


SECTOR 1 (ALPHA): 100°  
 (1) EXISTING SPRINT CDMA  
 ANTENNA @ ±112'-0" AGL  
 TO BE RELOCATED

SECTOR 2 (BETA): 240°  
 (1) EXISTING SPRINT CDMA  
 ANTENNA @ ±112'-0" AGL  
 TO BE REMOVED

SECTOR 3 (GAMMA): 320°  
 (1) EXISTING SPRINT CDMA  
 ANTENNA @ ±112'-0" AGL  
 (TO BE REMOVED)

EXISTING SITE PLAN  
 SCALE: 1" = 10'



**Sprint**  
 6391 SPRINT PARKWAY  
 OVERLAND PARK, KS 66251

**NEXIUS**  
 503 MARTINDALE STREET  
 CLARK BUILDING, FIFTH FLOOR  
 PITTSBURGH, PA 15212  
 OFFICE: (703) 650-7777

**RAMAKER & ASSOCIATES, INC.**  
 1120 Dallas Street, Sauk City, WI 53583  
 Phone: 608-643-4100 Fax: 608-643-7999  
 www.Ramaker.com

PROJECT NUMBER: 23137

MARK	DATE	DESCRIPTION
I	1/15/14	Changed Antenna layout/configuration

Certification & Seal:  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Pennsylvania.

Signature: *Michael L. Pinske* Date: 1/15/2014

ISSUE PHASE	DATE ISSUED
FINAL	04/24/2013

SITE ID #: PT43XC800  
 SITE NAME: POINT STATE PARK / BUHL BUILDING  
 ADDRESS: 204 5TH AVE. PITTSBURGH, PA 15222  
 SITE TYPE: ROOFTOP

SHEET TITLE:  
**OVERALL SITE PLAN**

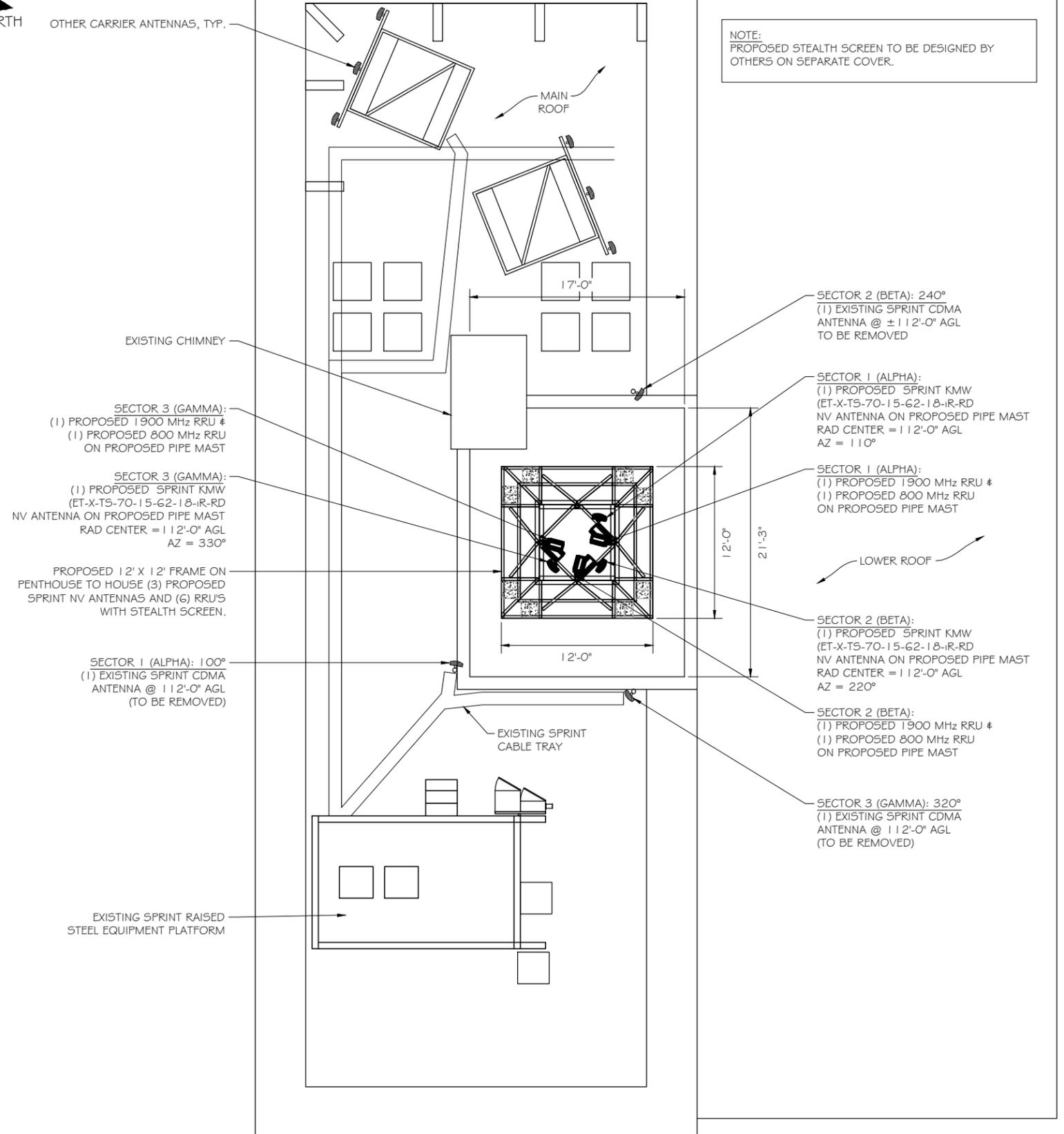
SCALE:

SHEET NUMBER: A-1



NORTH

OTHER CARRIER ANTENNAS, TYP.



NOTE:  
 PROPOSED STEALTH SCREEN TO BE DESIGNED BY  
 OTHERS ON SEPARATE COVER.

SECTOR 3 (GAMMA):  
 (1) PROPOSED 1900 MHz RRU #  
 (1) PROPOSED 800 MHz RRU  
 ON PROPOSED PIPE MAST

SECTOR 3 (GAMMA):  
 (1) PROPOSED SPRINT KMW  
 (ET-X-T5-70-15-62-18-iR-RD  
 NV ANTENNA ON PROPOSED PIPE MAST  
 RAD CENTER = 112'-0" AGL  
 AZ = 330°

PROPOSED 12' X 12' FRAME ON  
 PENTHOUSE TO HOUSE (3) PROPOSED  
 SPRINT NV ANTENNAS AND (6) RRU'S  
 WITH STEALTH SCREEN.

SECTOR 1 (ALPHA): 100°  
 (1) EXISTING SPRINT CDMA  
 ANTENNA @ 112'-0" AGL  
 (TO BE REMOVED)

EXISTING SPRINT RAISED  
 STEEL EQUIPMENT PLATFORM

SECTOR 2 (BETA): 240°  
 (1) EXISTING SPRINT CDMA  
 ANTENNA @ ± 112'-0" AGL  
 TO BE REMOVED

SECTOR 1 (ALPHA):  
 (1) PROPOSED SPRINT KMW  
 (ET-X-T5-70-15-62-18-iR-RD  
 NV ANTENNA ON PROPOSED PIPE MAST  
 RAD CENTER = 112'-0" AGL  
 AZ = 110°

SECTOR 1 (ALPHA):  
 (1) PROPOSED 1900 MHz RRU #  
 (1) PROPOSED 800 MHz RRU  
 ON PROPOSED PIPE MAST

SECTOR 2 (BETA):  
 (1) PROPOSED SPRINT KMW  
 (ET-X-T5-70-15-62-18-iR-RD  
 NV ANTENNA ON PROPOSED PIPE MAST  
 RAD CENTER = 112'-0" AGL  
 AZ = 220°

SECTOR 2 (BETA):  
 (1) PROPOSED 1900 MHz RRU #  
 (1) PROPOSED 800 MHz RRU  
 ON PROPOSED PIPE MAST

SECTOR 3 (GAMMA): 320°  
 (1) EXISTING SPRINT CDMA  
 ANTENNA @ 112'-0" AGL  
 (TO BE REMOVED)

INTERIM SITE PLAN  
 SCALE: 1" = 10'



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 Phone: 608-643-4100 Fax: 608-643-7999  
 www.Ramaker.com

PROJECT NUMBER 23137

MARK	DATE	DESCRIPTION
1	1/15/14	Changed Antenna layout/configuration

Certification & Seal:  
 I hereby certify that this plan, specification, or report was prepared  
 by me or under my direct supervision and that I am a duly Licensed  
 Professional Engineer under the laws of the State of Pennsylvania.



Signature: *Michael L. Pinske* Date: 1/15/2014

ISSUE PHASE	FINAL	DATE ISSUED	04/24/2013
-------------	-------	-------------	------------

SITE ID #: PT43XC800

SITE NAME: POINT STATE PARK /  
 BUHL BUILDING

ADDRESS: 204 5TH AVE.  
 PITTSBURGH, PA 15222

SITE TYPE: ROOFTOP

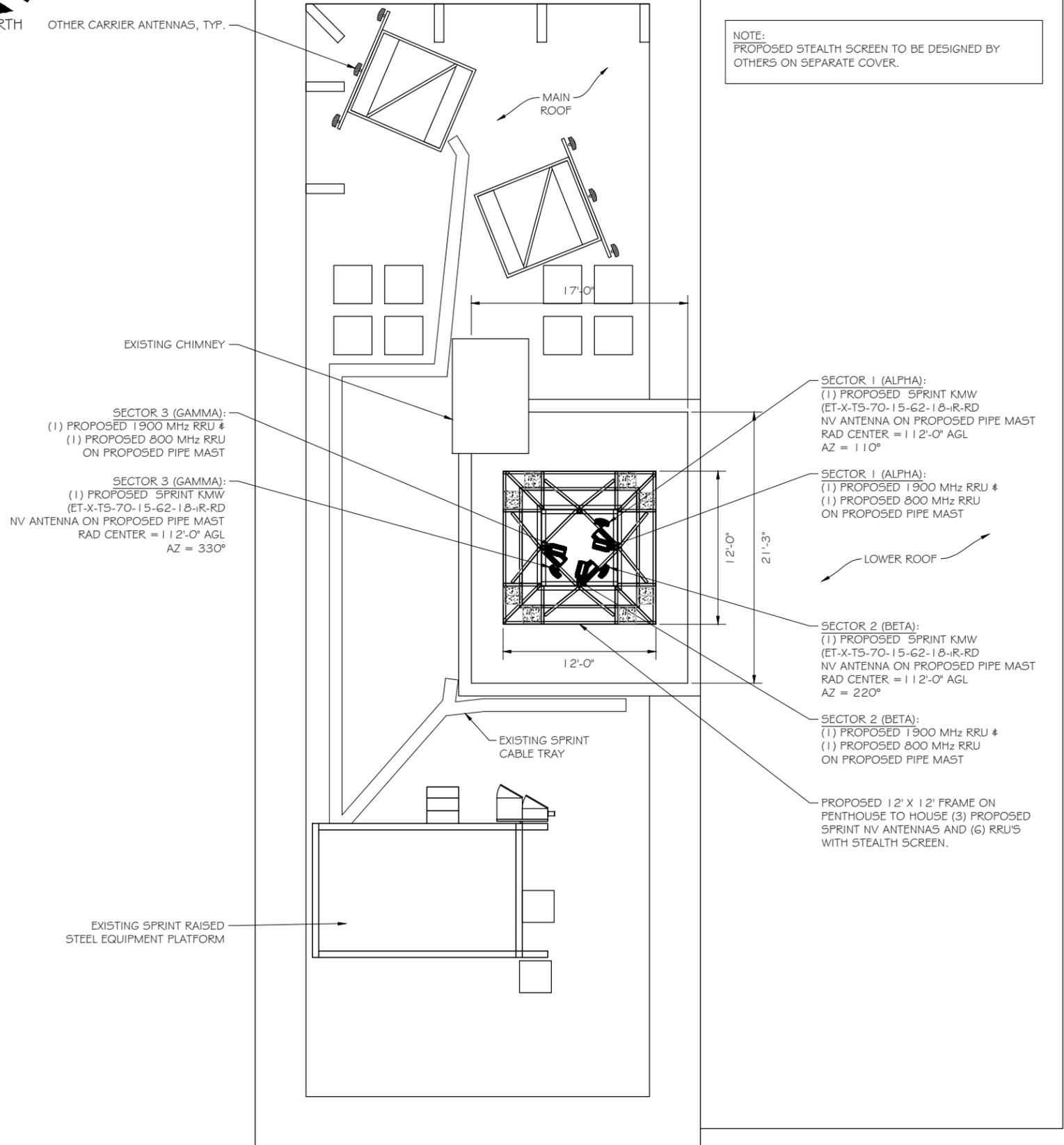
SHEET TITLE:  
 OVERALL SITE PLAN

SCALE:

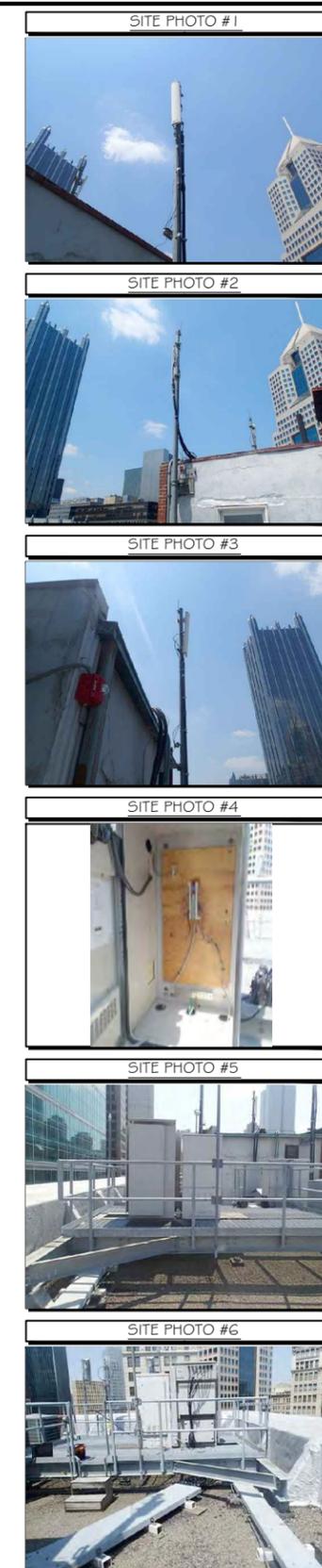
SHEET NUMBER  
 A-1A



NORTH OTHER CARRIER ANTENNAS, TYP.



FINAL SITE PLAN  
 SCALE: 1" = 10'



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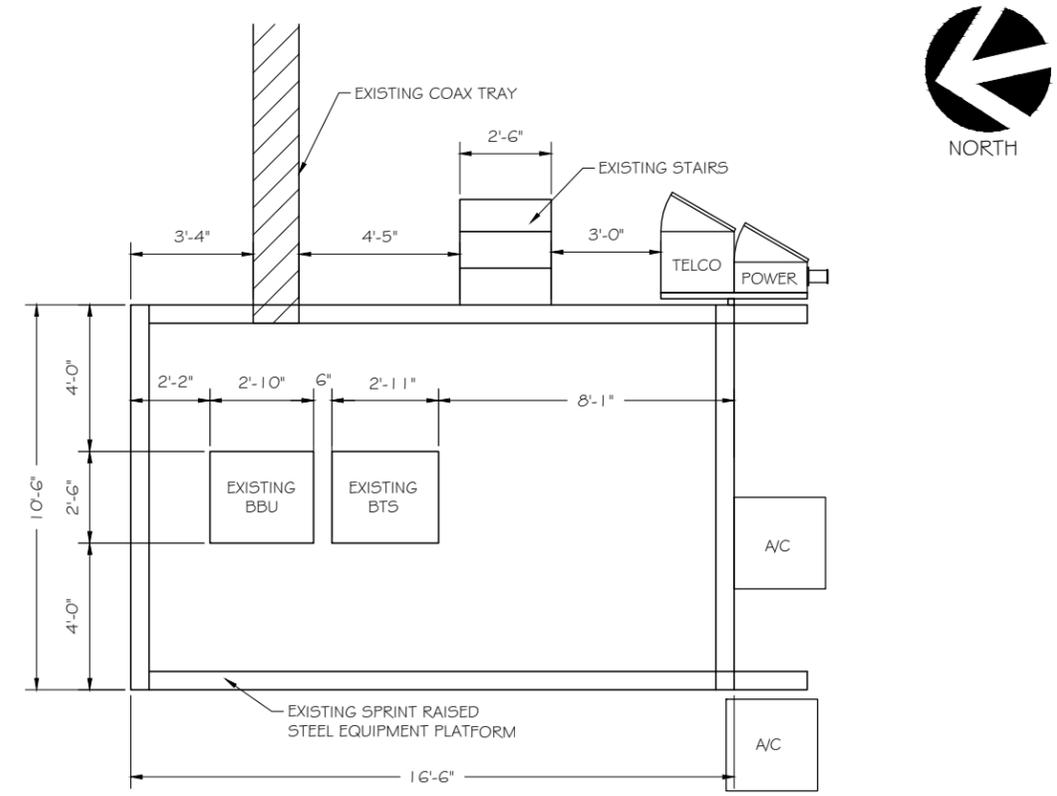
ISSUE PHASE	DATE ISSUED
FINAL	04/24/2013

SITE ID #: PT43XC800  
 SITE NAME: POINT STATE PARK / BUHL BUILDING  
 ADDRESS: 204 5TH AVE. PITTSBURGH, PA 15222  
 SITE TYPE: ROOFTOP

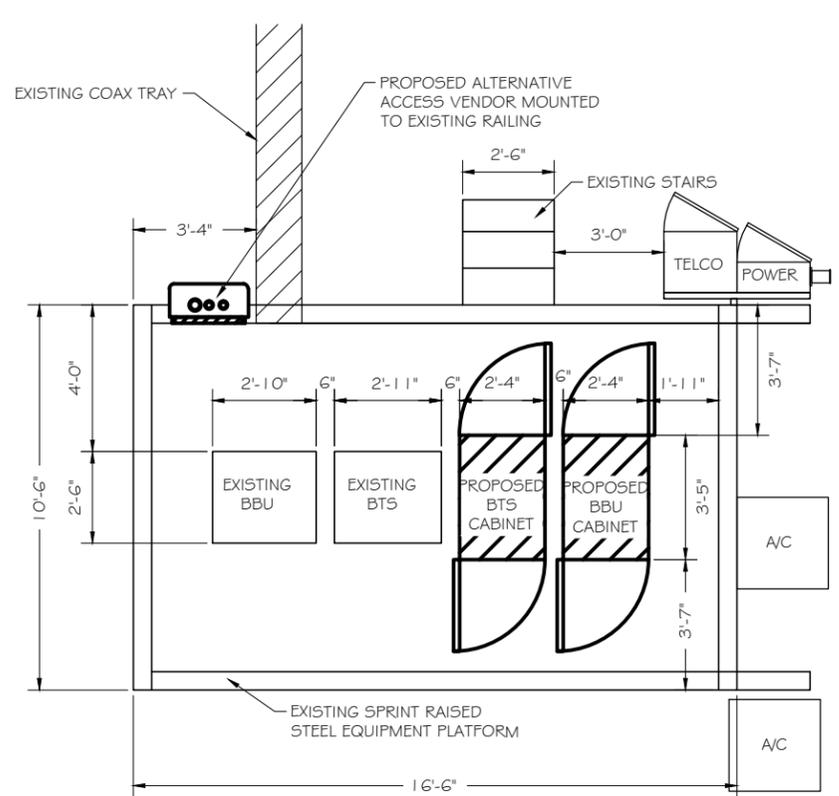
SHEET TITLE:  
 OVERALL SITE PLAN

SCALE:

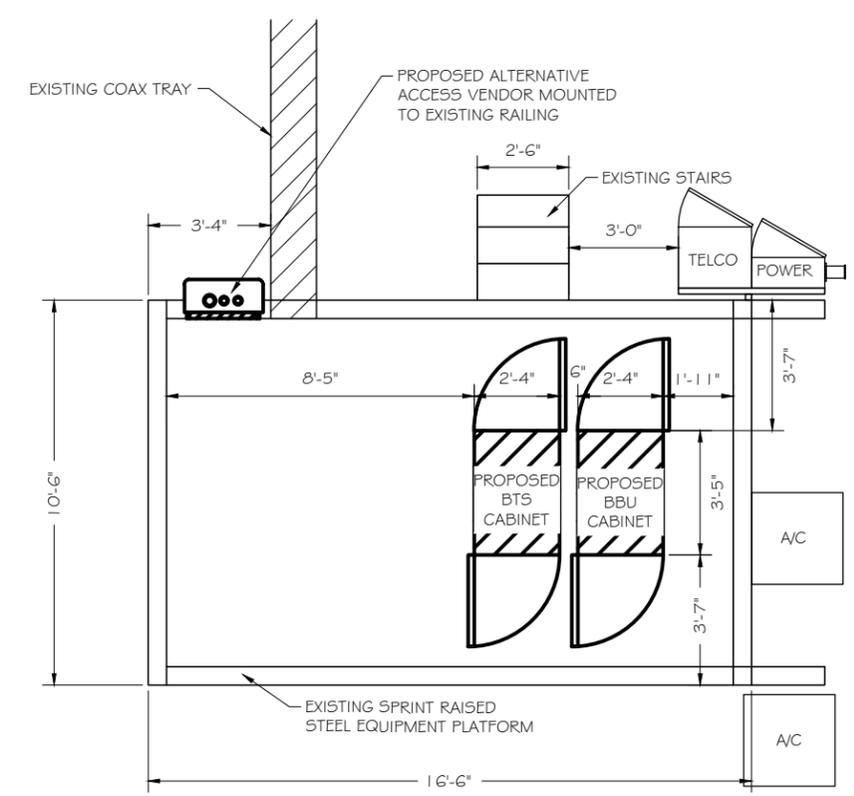
SHEET NUMBER A-1B



EXISTING EQUIPMENT CONFIGURATION  
 SCALE: 1" = 5'



INTERIM EQUIPMENT CONFIGURATION: SIDE BY SIDE  
 SCALE: 1" = 5'



FINAL EQUIPMENT CONFIGURATION: SIDE BY SIDE  
 SCALE: 1" = 5'



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 OFFICE: (703) 650-7777

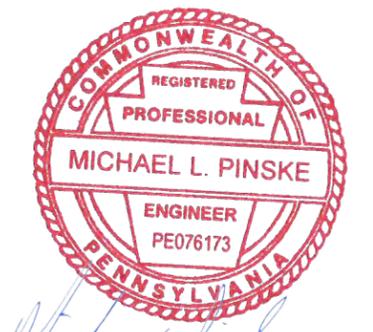


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 Phone: 608-643-4100 Fax: 608-643-7999  
 www.Ramaker.com

PROJECT NUMBER 23137

MARK	DATE	DESCRIPTION
1	1/15/14	Changed Antenna layout/configuration

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Signature: *Michael L. Pinske* Date: 1/15/2014

ISSUE PHASE	DATE ISSUED
FINAL	04/24/2013

SITE ID #: PT43XC800  
 SITE NAME: POINT STATE PARK / BUHL BUILDING  
 ADDRESS: 204 5TH AVE. PITTSBURGH, PA 15222  
 SITE TYPE: ROOFTOP

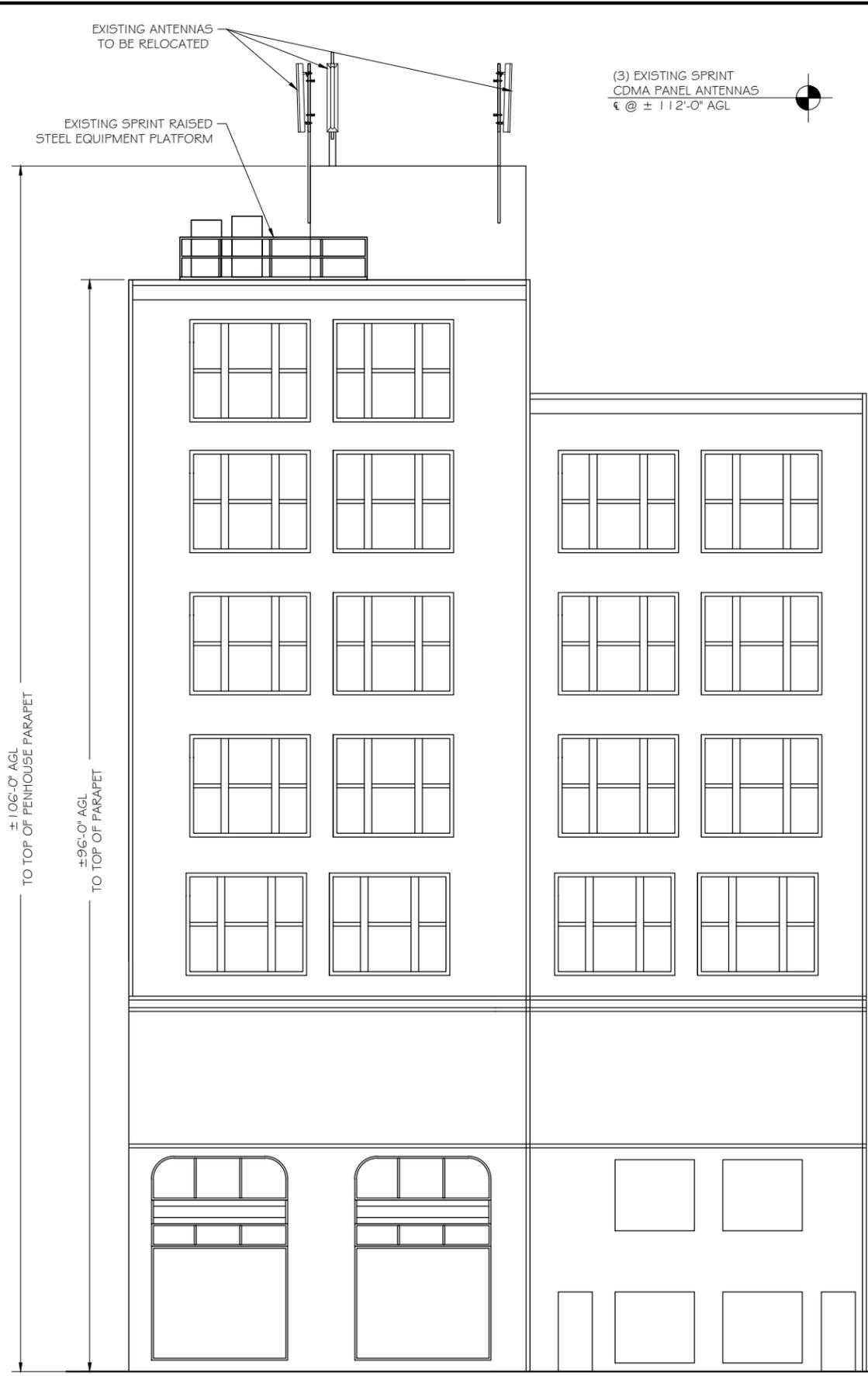
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**EQUIPMENT PLAN**

SCALE:

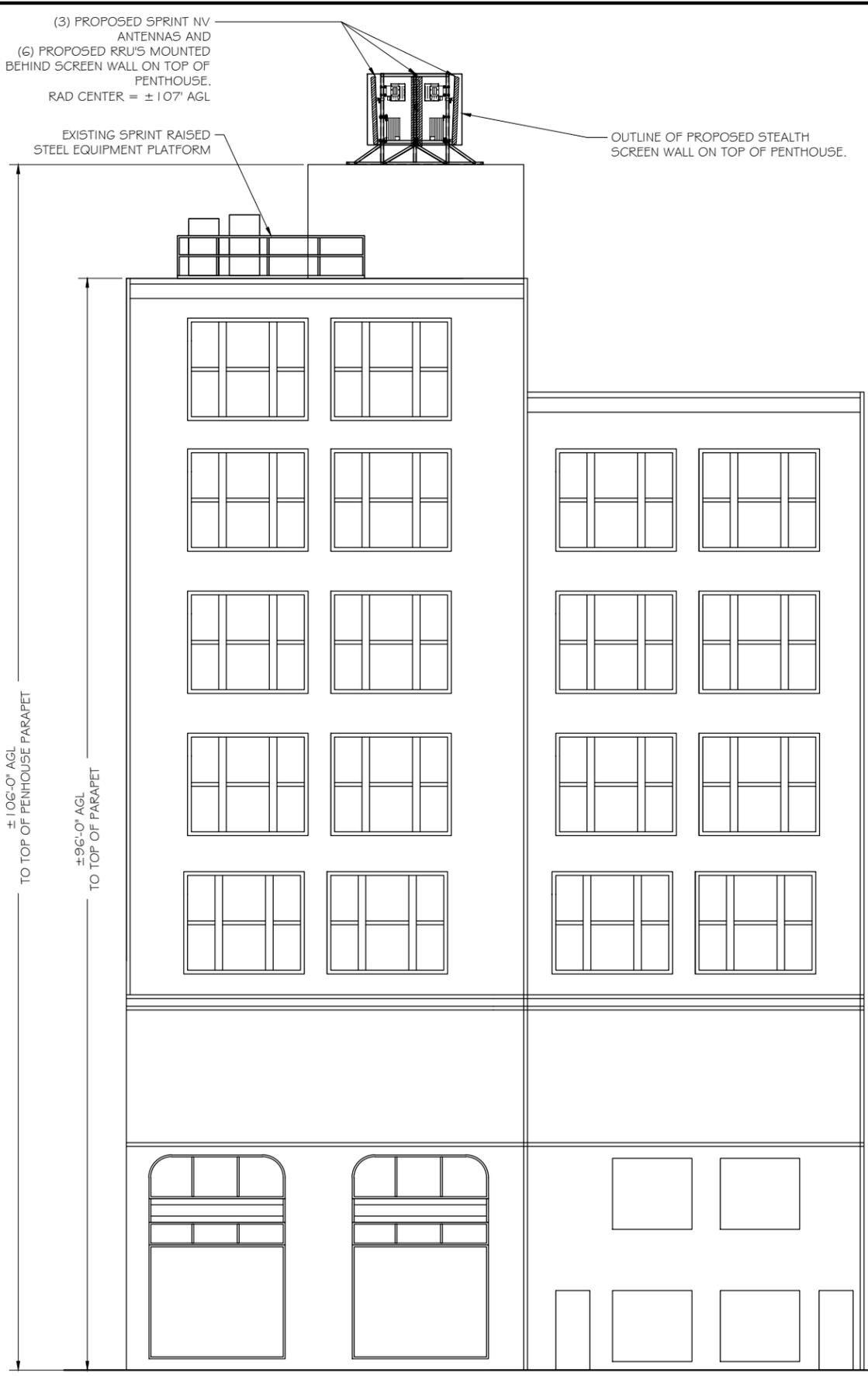
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**EXISTING TOWER ELEVATION** ①  
 SCALE: 1" = 12'-6"



**PROPOSED TOWER ELEVATION** ②  
 SCALE: 1" = 12'-6"

AT THE TIME OF CREATING THIS PLAN SET, RAMAKER & ASSOCIATES HAS NOT PERFORMED A STRUCTURAL ANALYSIS FOR THIS PROJECT. PRIOR TO THE INSTALLATION OF THE PROPOSED EQUIPMENT OR MODIFICATION OF THE EXISTING STRUCTURE, A STRUCTURAL ANALYSIS SHALL BE PERFORMED BY THE OWNER'S AGENT TO CERTIFY THAT THE EXISTING/PROPOSED COMMUNICATION STRUCTURE AND COMPONENTS ARE STRUCTURALLY ADEQUATE TO SUPPORT ALL EXISTING AND PROPOSED ANTENNAS, COAXIAL CABLES, AND OTHER APPURTENANCES.



6391 SPRINT PARKWAY  
 OVERLAND PARK, KS 66251

**NEXIUS**  
 503 MARTINDALE STREET  
 CLARK BUILDING, FIFTH FLOOR  
 PITTSBURGH, PA 15212  
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PROJECT NUMBER 23137

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ISSUE PHASE	DATE ISSUED
FINAL	04/24/2013

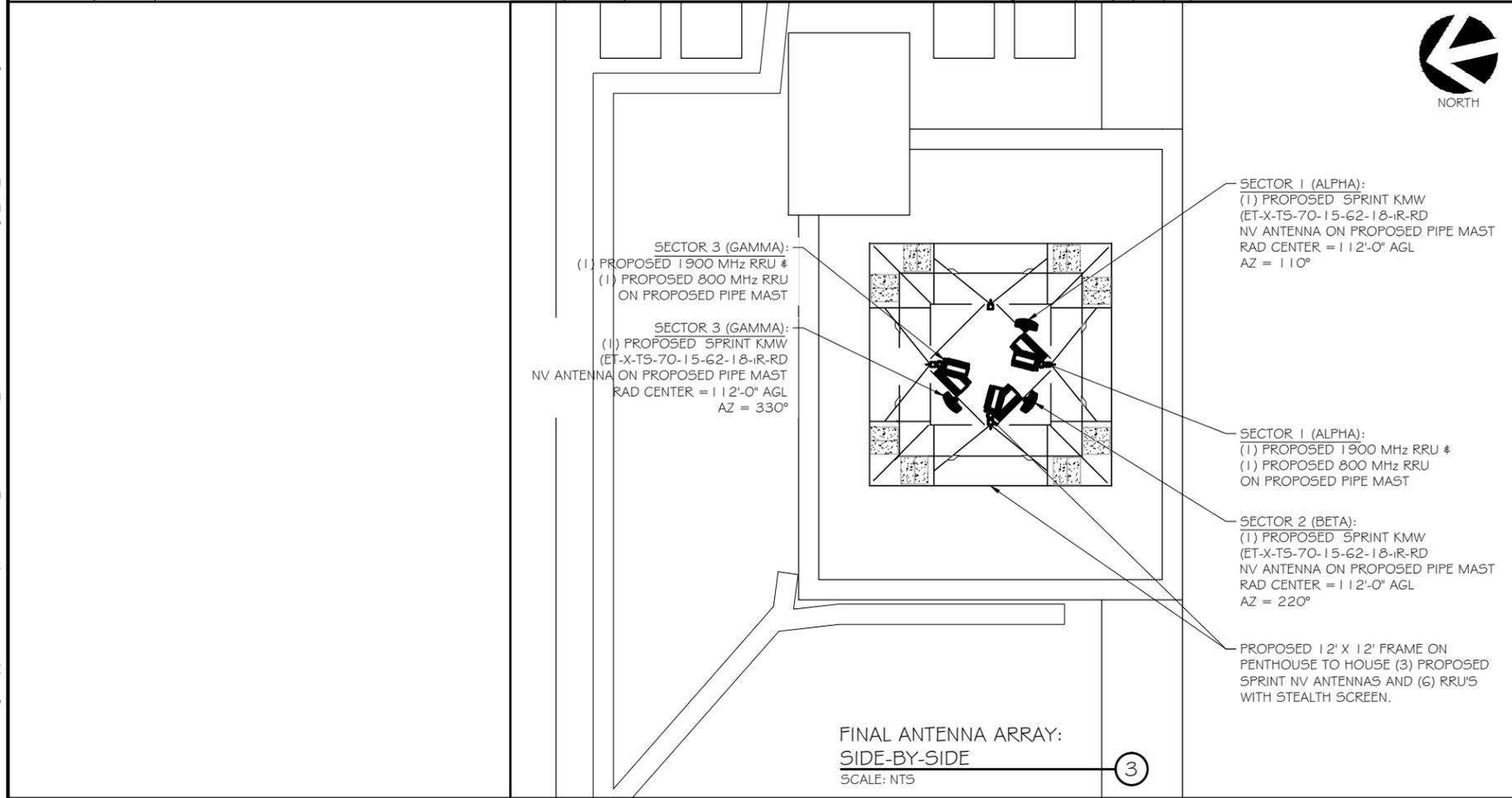
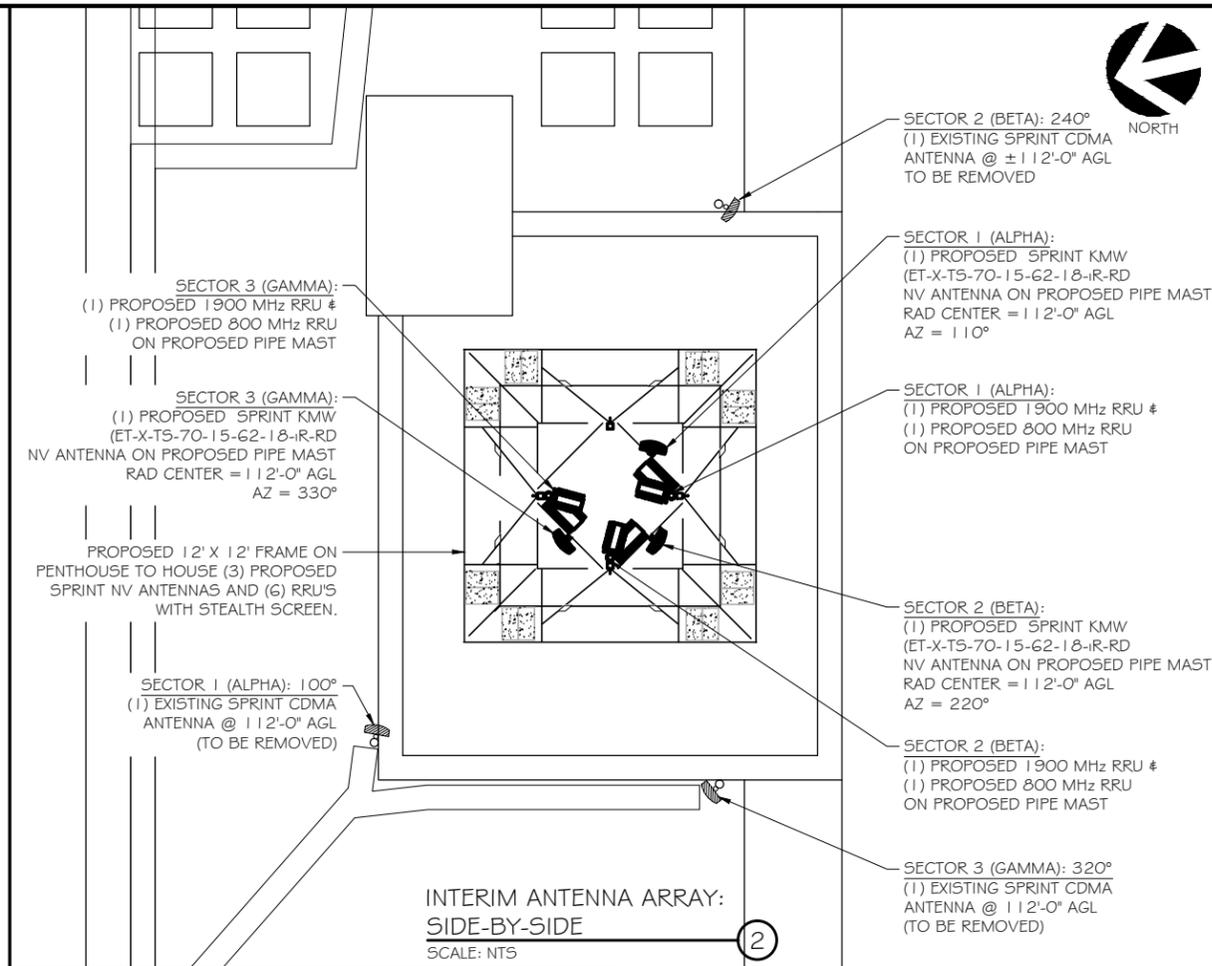
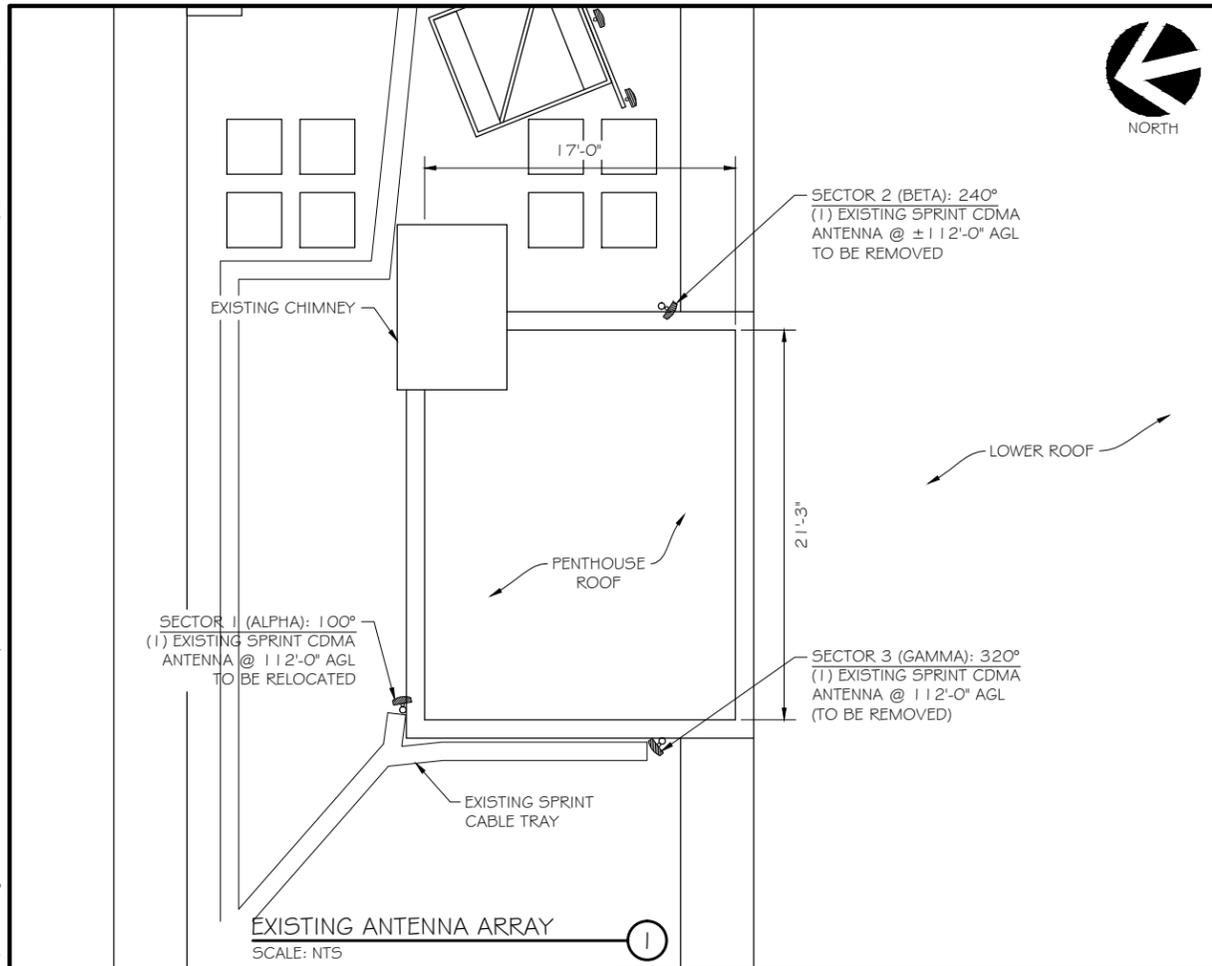
SITE ID #: PT43XC800  
 SITE NAME: POINT STATE PARK / BUHL BUILDING  
 ADDRESS: 204 5TH AVE. PITTSBURGH, PA 15222  
 SITE TYPE: ROOFTOP

SHEET TITLE:  
**BUILDING ELEVATION  
 OPTION 1**

SCALE:

SHEET NUMBER **A-3**

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OVERLAND PARK, KS 66251

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CLARK BUILDING, FIFTH FLOOR  
PITTSBURGH, PA 15212  
OFFICE: (703) 650-7777

---



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Phone: 608-643-4100 Fax: 608-643-7999  
www.Ramaker.com

---

PROJECT NUMBER	23137	
MARK	DATE	DESCRIPTION
	1/15/14	Changed Antenna layout/configuration

*Certification & Seal:*  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Pennsylvania.



Signature: *Michael L. Pinske* Date: 1/15/2014

ISSUE PHASE	FINAL	DATE ISSUED	04/24/2013
-------------	-------	-------------	------------

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SITE ID #: PT43XC800

SITE NAME: POINT STATE PARK / BUHL BUILDING

ADDRESS: 204 5TH AVE. PITTSBURGH, PA 15222

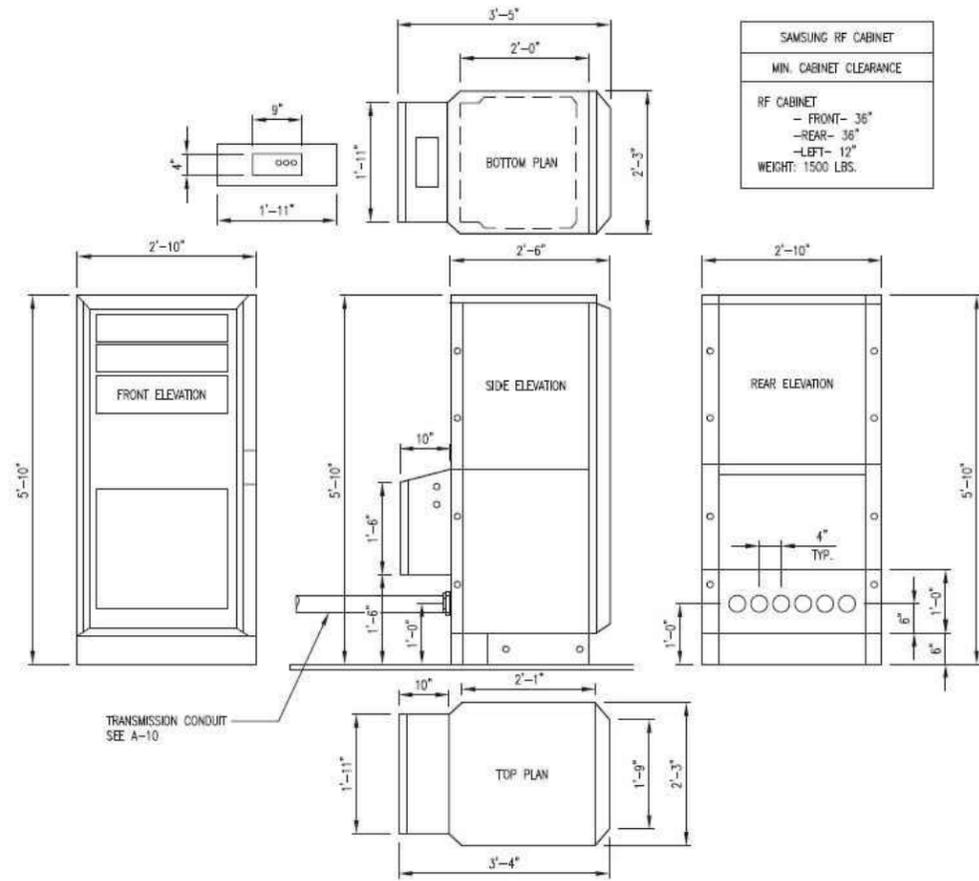
SITE TYPE: ROOFTOP

SHEET TITLE: ANTENNA ORIENTATION PLANS

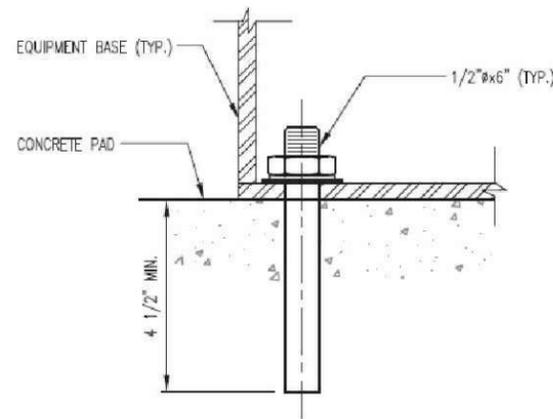
SCALE:

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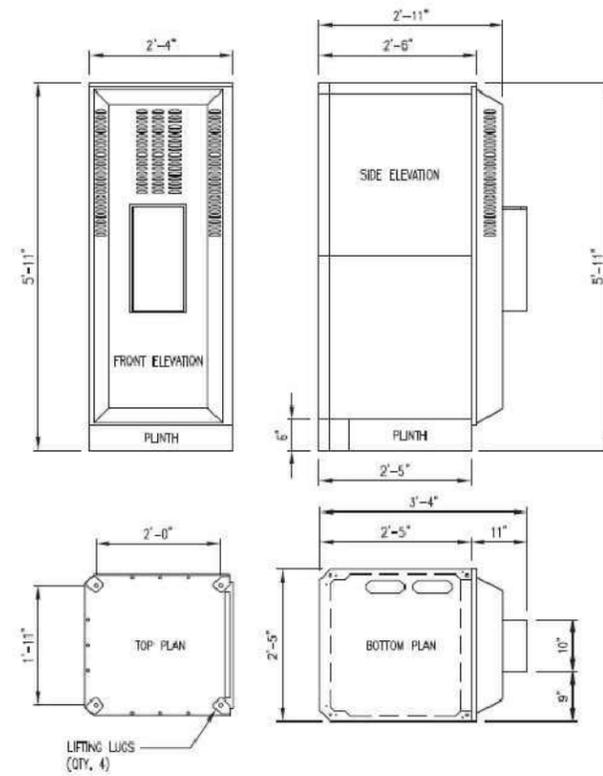
SHEET NUMBER A-4



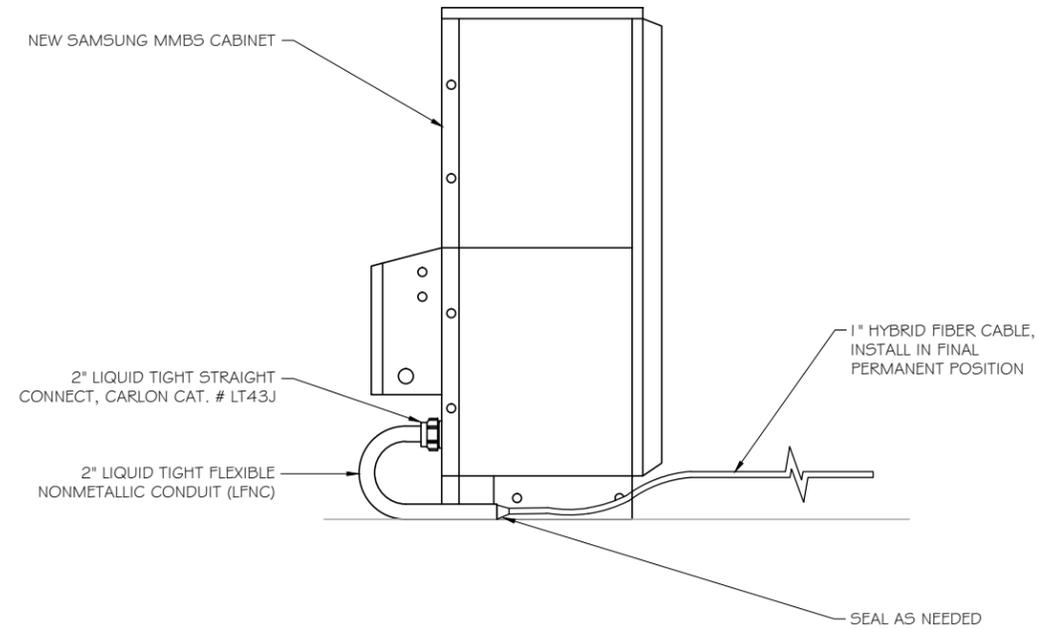
**RF CABINET DETAILS**  
 SCALE: NTS



**EQUIPMENT ANCHOR DETAIL**  
 SCALE: NTS



**BATTERY CABINET DETAILS**  
 SCALE: NTS



**CABLE ENTRY DETAIL**  
 SCALE: NTS



6391 SPRINT PARKWAY  
 OVERLAND PARK, KS 66251

**NEXIUS**  
 503 MARTINDALE STREET  
 CLARK BUILDING, FIFTH FLOOR  
 PITTSBURGH, PA 15212  
 OFFICE: (703) 650-7777



1120 Dallas Street, Sauk City, WI 53583  
 Phone: 608-643-4100 Fax: 608-643-7999  
 www.Ramaker.com

PROJECT NUMBER 23137

MARK	DATE	DESCRIPTION
1	1/15/14	Changed Antenna layout/configuration

Certification & Seal:  
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Pennsylvania.



Signature: *Michael L. Pinske* Date: 1/15/2014

ISSUE PHASE	FINAL	DATE ISSUED	04/24/2013
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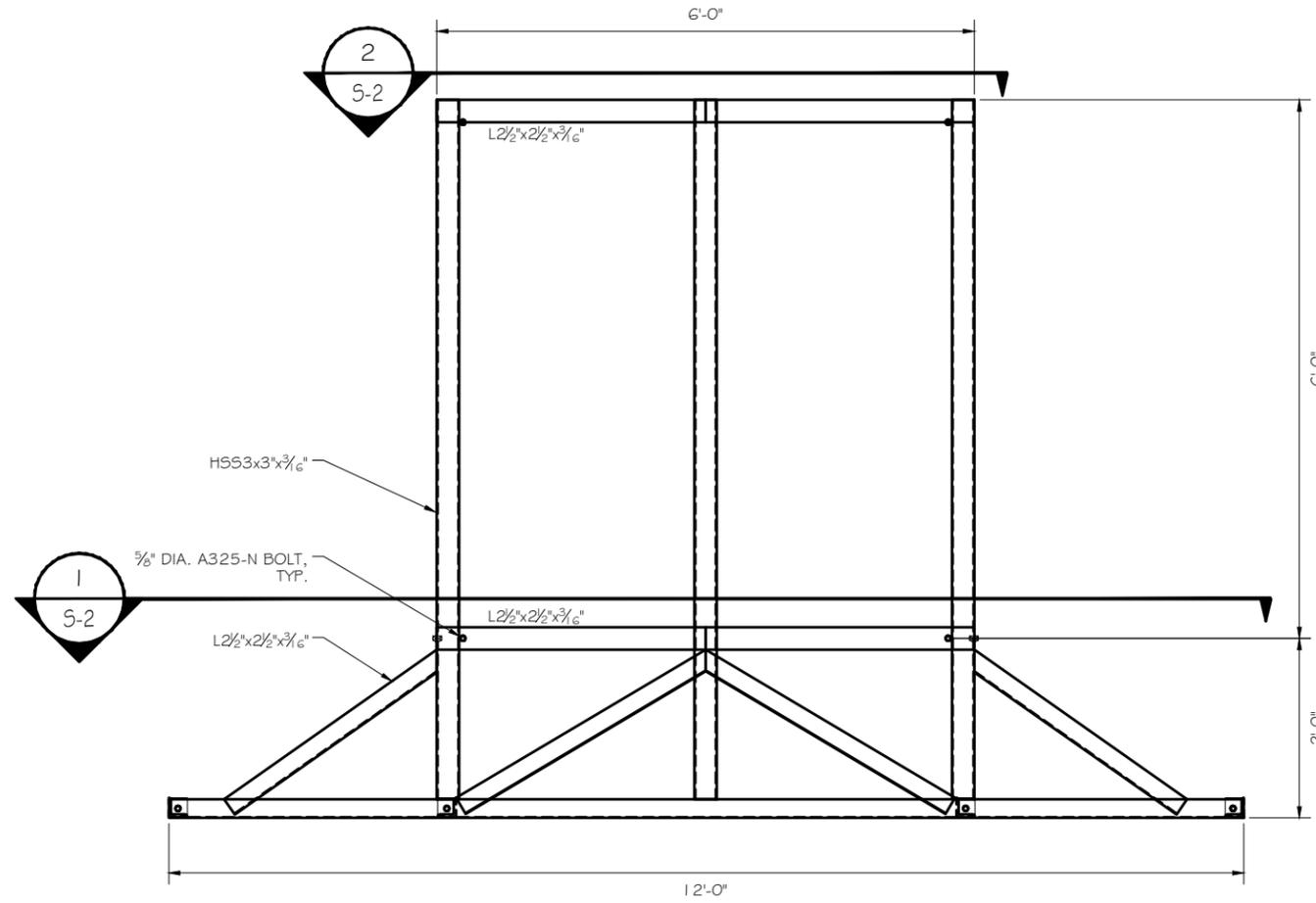
SITE ID #: PT43XC800  
 SITE NAME: POINT STATE PARK / BUHL BUILDING  
 ADDRESS: 204 5TH AVE. PITTSBURGH, PA 15222  
 SITE TYPE: ROOFTOP

SHEET TITLE: CABINET DETAILS

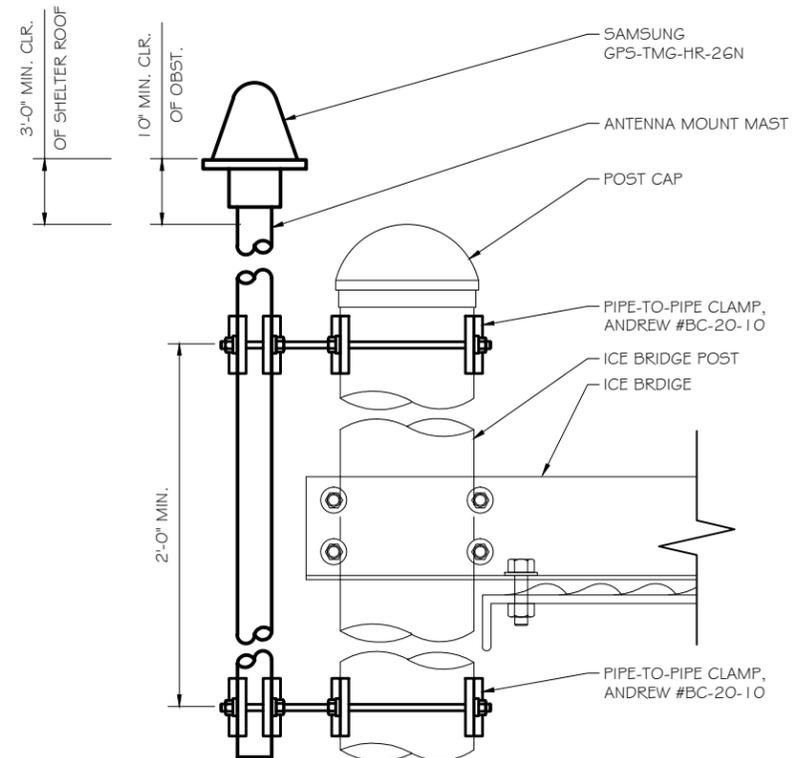
SCALE:

SHEET NUMBER

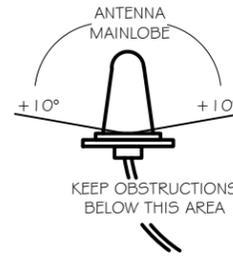
A-7



ANTENNA MOUNT DETAIL  
 SCALE: NTS



GPS MOUNTING DETAILS  
 SCALE: NTS



- NOTES:
- A. VERIFY ALL ATTACHMENT AND MOUNTING HARDWARE WITH CONSTRUCTION MANAGER.
  - B. SEE MFR.'S SPECIFICATIONS FOR ADDITIONAL MOUNTING REQUIREMENTS.
  - C. GPS MUST BE 10 FT AWAY FROM ANY TX ANTENNA.



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SITE ID #: PT43XC800

SITE NAME: POINT STATE PARK / BUHL BUILDING

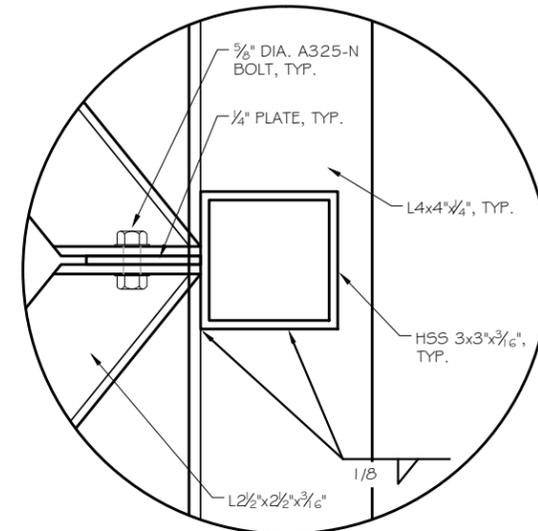
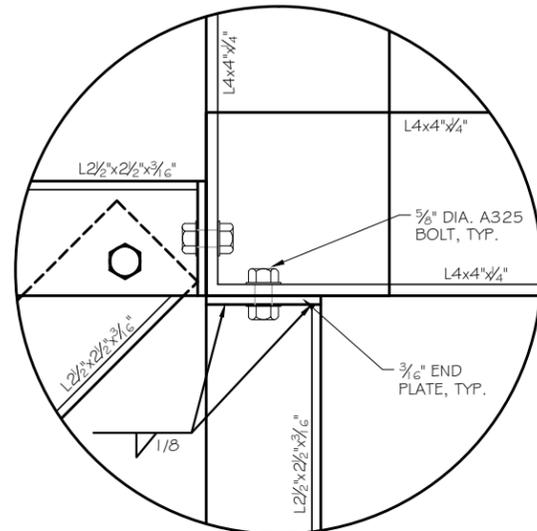
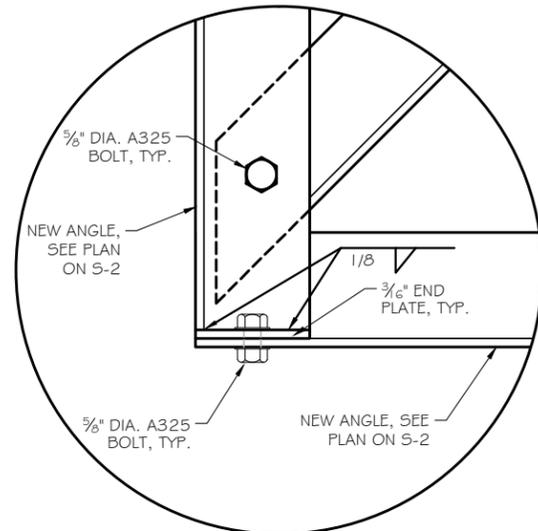
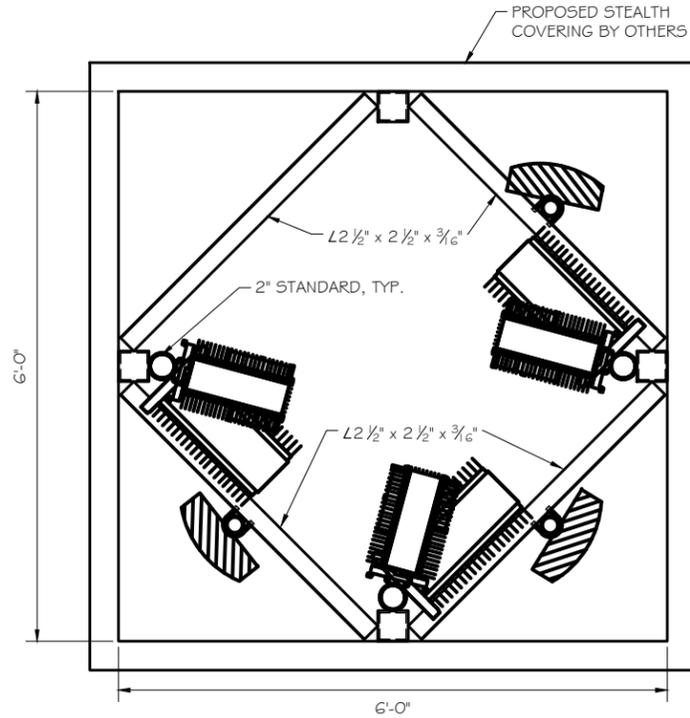
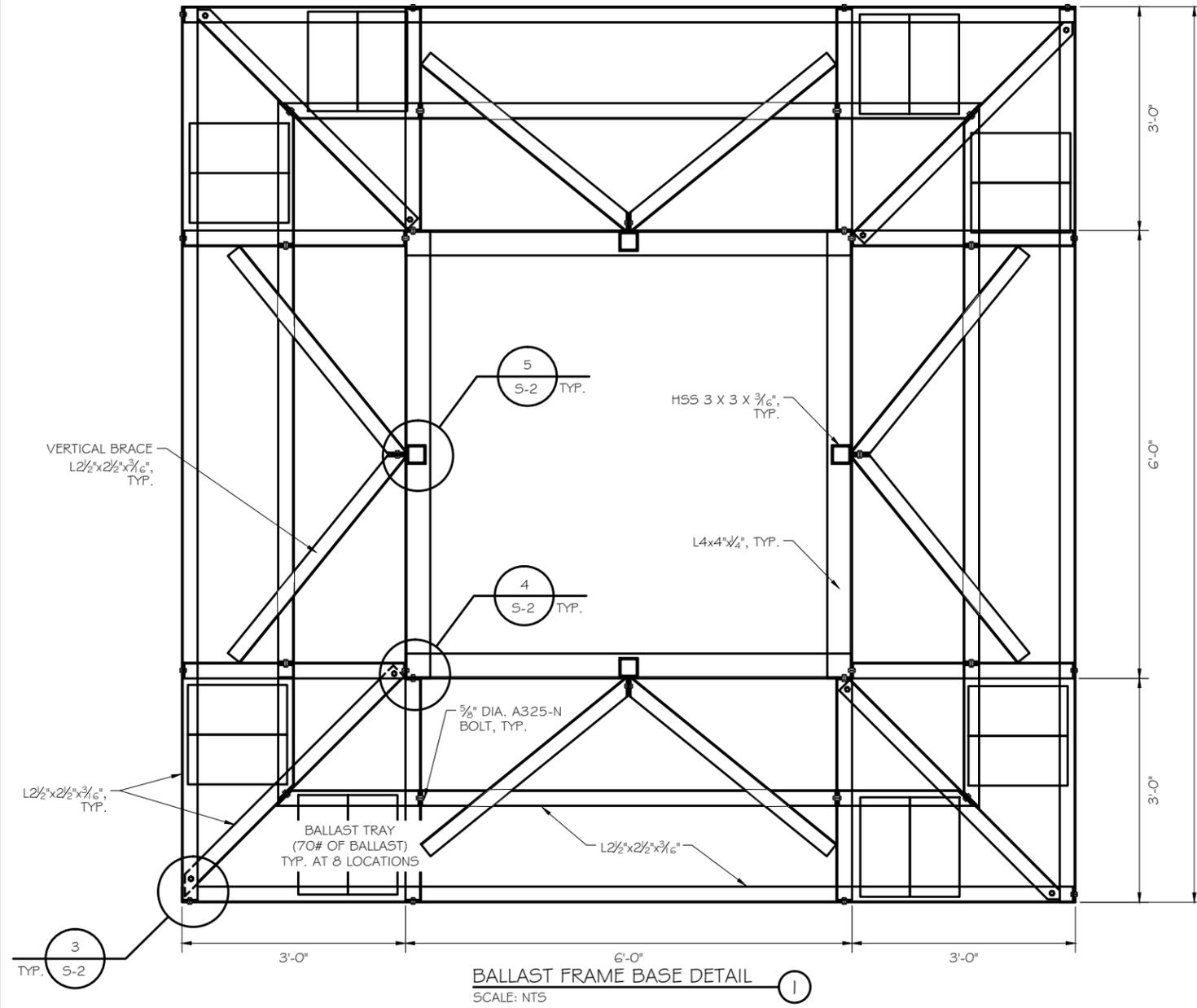
ADDRESS: 204 5TH AVE. PITTSBURGH, PA 15222

SITE TYPE: ROOFTOP

SHEET TITLE:  
**STRUCTURAL DETAILS**

SCALE:

SHEET NUMBER 5-1



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PROJECT NUMBER 23137

1	1/15/14	Changed Antenna layout/configuration
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MARK	DATE	DESCRIPTION
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Signature: *Michael L. Pinske* Date: 1/15/2014

ISSUE	FINAL	DATE	04/24/2013
PHASE		ISSUED	

SITE ID #: PT43XC800

SITE NAME: POINT STATE PARK /  
 BUHL BUILDING

ADDRESS: 204 5TH AVE.  
 PITTSBURGH, PA 15222

SITE TYPE: ROOFTOP

SHEET TITLE:  
**STRUCTURAL DETAILS**

SCALE:

SHEET NUMBER 5-2



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SITE ID #: PT43XC800

SITE NAME: POINT STATE PARK / BUHL BUILDING

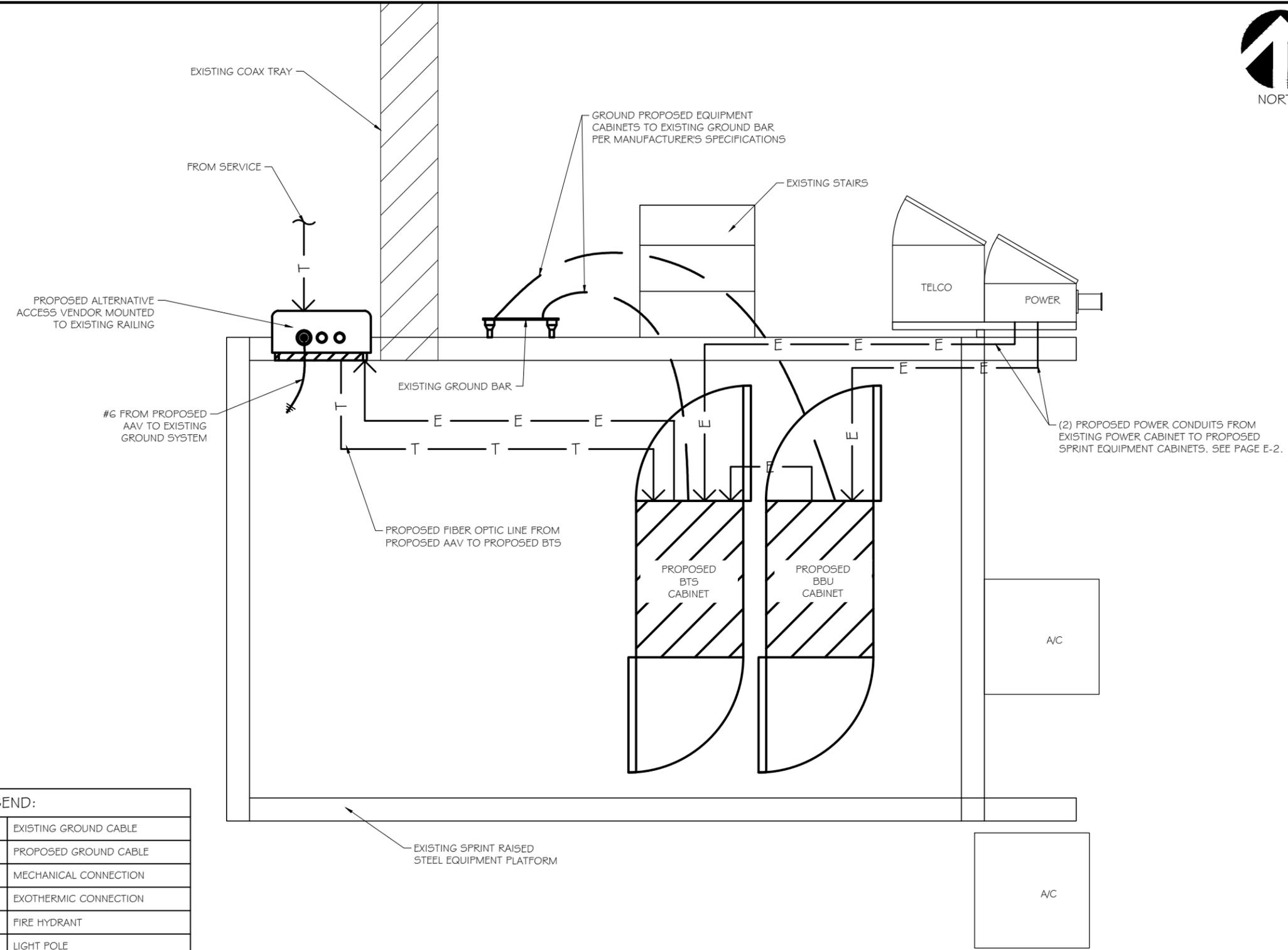
ADDRESS: 204 5TH AVE. PITTSBURGH, PA 15222

SITE TYPE: ROOFTOP

SHEET TITLE:  
**UTILITY & GROUNDING SITE PLAN**

SCALE:

SHEET NUMBER E-1



LEGEND:	
---	EXISTING GROUND CABLE
---	PROPOSED GROUND CABLE
■	MECHANICAL CONNECTION
▲	EXOTHERMIC CONNECTION
⊕	FIRE HYDRANT
☼	LIGHT POLE
⊕	UTILITY POLE
---	EASEMENT
— E — E —	PROPOSED ELECTRIC
— T — T —	PROPOSED TELCO
— FO <sub>x</sub> —	EXISTING FIBER
— OH <sub>E</sub> x —	OVERHEAD ELECTRIC
— RW —	RIGHT OF WAY
— G <sub>x</sub> — G <sub>x</sub> —	GAS LINE
— E <sub>x</sub> — E <sub>x</sub> —	ELECTRIC LINE
— T <sub>x</sub> — T <sub>x</sub> —	TELEPHONE LINE

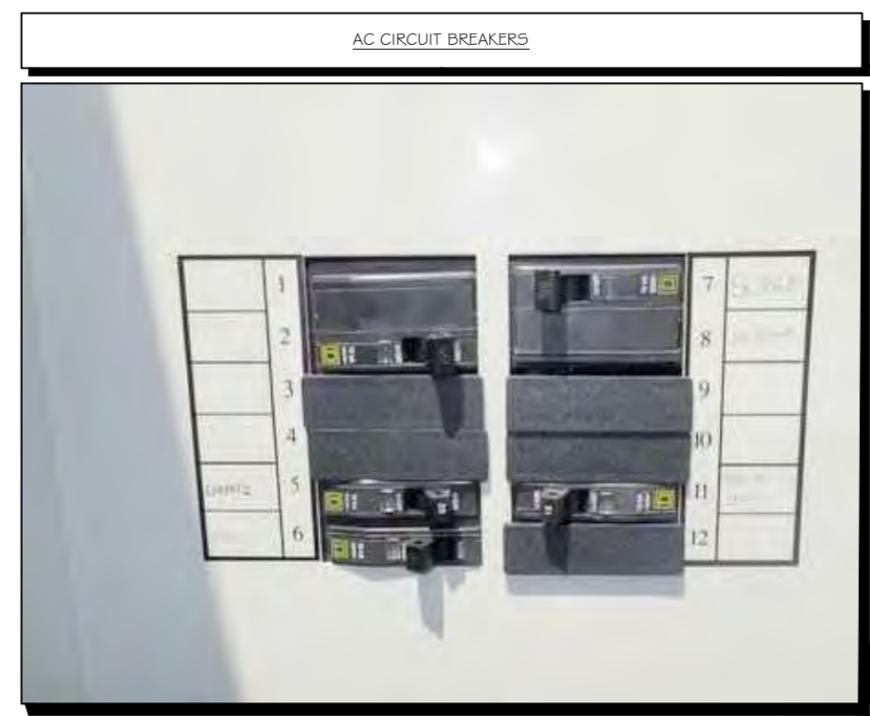
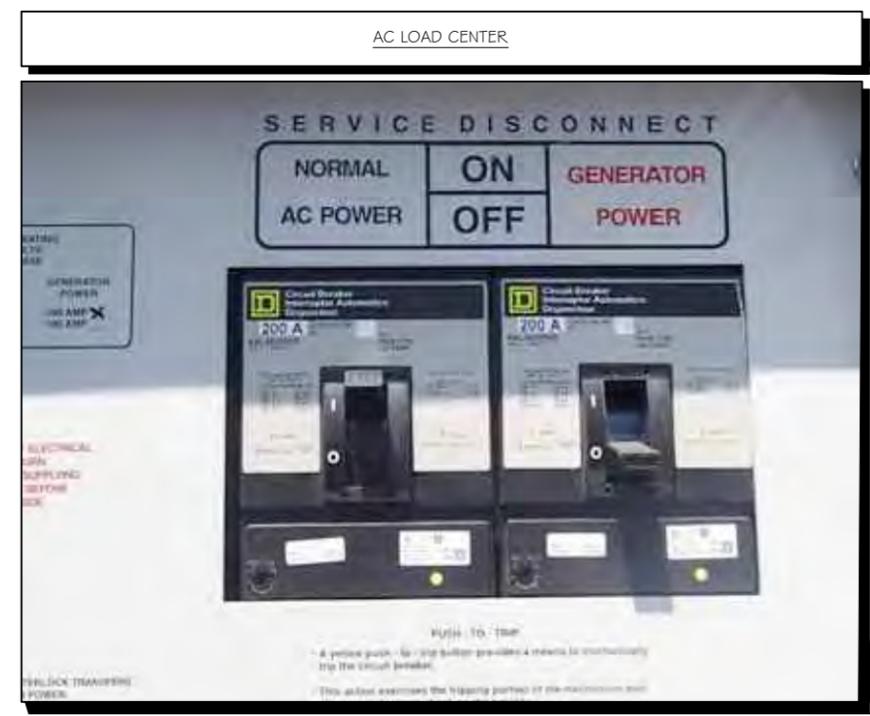
UTILITY & GROUNDING SITE PLAN  
 SCALE: 1" = 2.5'

NOTE:  
 UTILITY/GROUNDING LINES ARE SHOWN FOR SCHEMATIC PURPOSES ONLY & DO NOT REPRESENT THE EXACT LOCATION OF THE RUN. CONTRACTOR SHALL FIELD VERIFY PROPOSED & EXISTING SERVICE LOCATIONS. NOTIFY CONSTRUCTION/PROJECT MANAGER IMMEDIATELY OF ANY DISCREPANCIES.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN PENNSYLVANIA  
**PENNSYLVANIA ONE CALL SYSTEM, INC.**  
 811 OR 1-800-242-1776  
 PENNSYLVANIA STATE LAW REQUIRES MIN. 3 WORKING DAYS NOTICE BEFORE YOU EXCAVATE.

ELECTRICAL PANEL SCHEDULE								PHASE: 1	
MAIN: 200 AMP MAIN BREAKER								WIRE: 3	
VOLTAGE: 240/ 120								MOUNT: SURFACE	
LOCATION: PPC CABINET									
CIRCUIT	LOAD DESCRIPTION	BREAKER		PHASE		BREAKER		LOAD DESCRIPTION	CIRCUIT
		AMPS	POLES	A	B	POLES	AMPS		
1	SPRINT EQUIPMENT #1	100	2	■		2	60	SURGE ARRESTOR	7
2					■				8
3	PROPOSED BTS	100	2	■		1		EMPTY	9
4					■				EMPTY
5	LIGHTS	20	1	■		1	15	TELCO GFI	11
6	FAN	10	1		■	1	15	BATTERY CABINET FAN	12

PANEL SCHEDULE  
 SCALE: NTS 1



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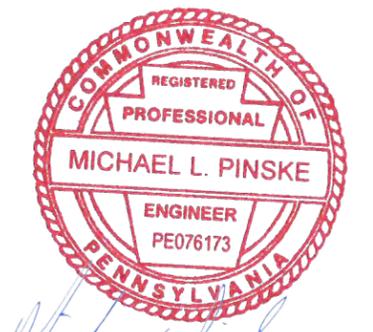


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 www.Ramaker.com

PROJECT NUMBER 23137

MARK	DATE	DESCRIPTION
1	1/15/14	Changed Antenna layout/configuration

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Signature: *Michael L. Pinske* Date: 1/15/2014

ISSUE PHASE FINAL DATE ISSUED 04/24/2013

SITE ID #: PT43XC800  
 SITE NAME: POINT STATE PARK / BUHL BUILDING  
 ADDRESS: 204 5TH AVE. PITTSBURGH, PA 15222  
 SITE TYPE: ROOFTOP

SHEET TITLE:  
**PANEL SCHEDULE**

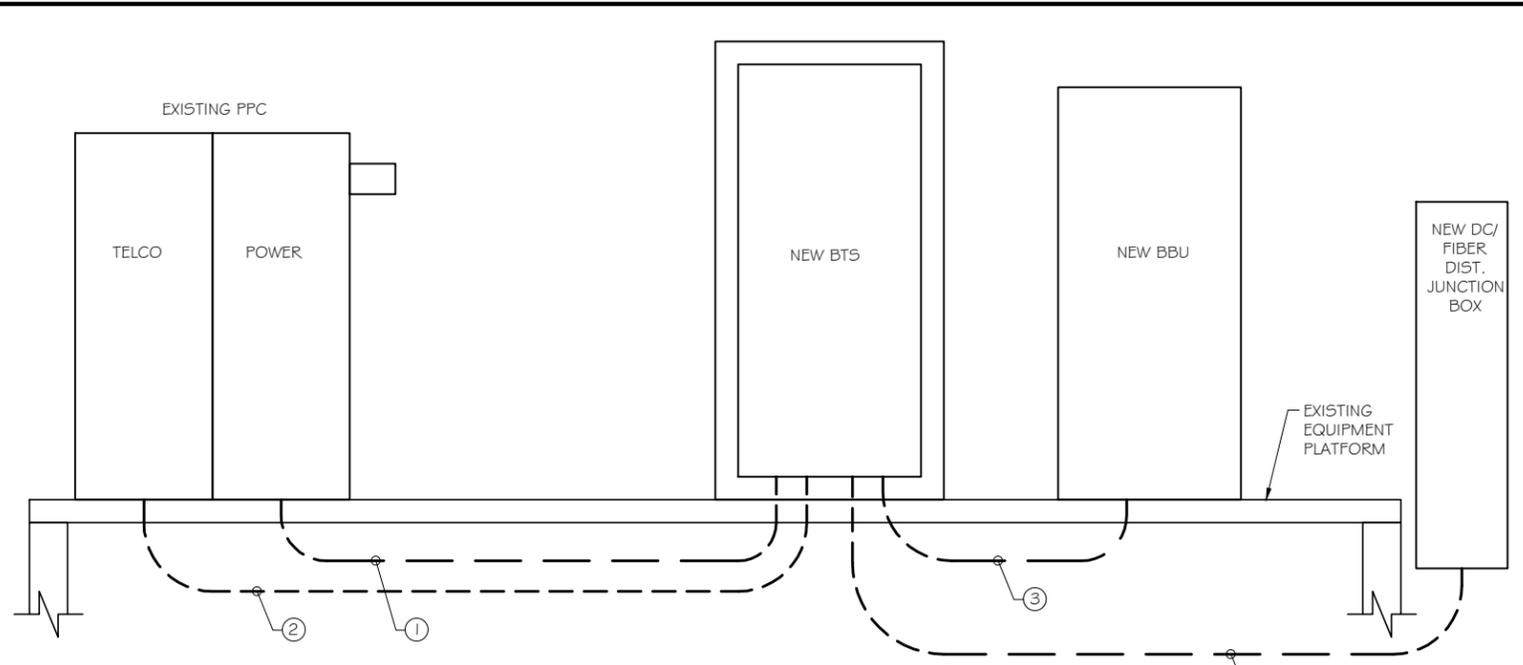
SCALE:

SHEET NUMBER E-3

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 DRAWN BY: JTP  
 Checked BY: TAT  
 Printed by: cmorgan on Jan 15, 2014 - 12:21 pm  
 C:\Users\cmorgan\appdata\local\temp\AcPublish\_7000\23137\_100%ConstructionDrawings\_NV\_FT43XC800.dwg

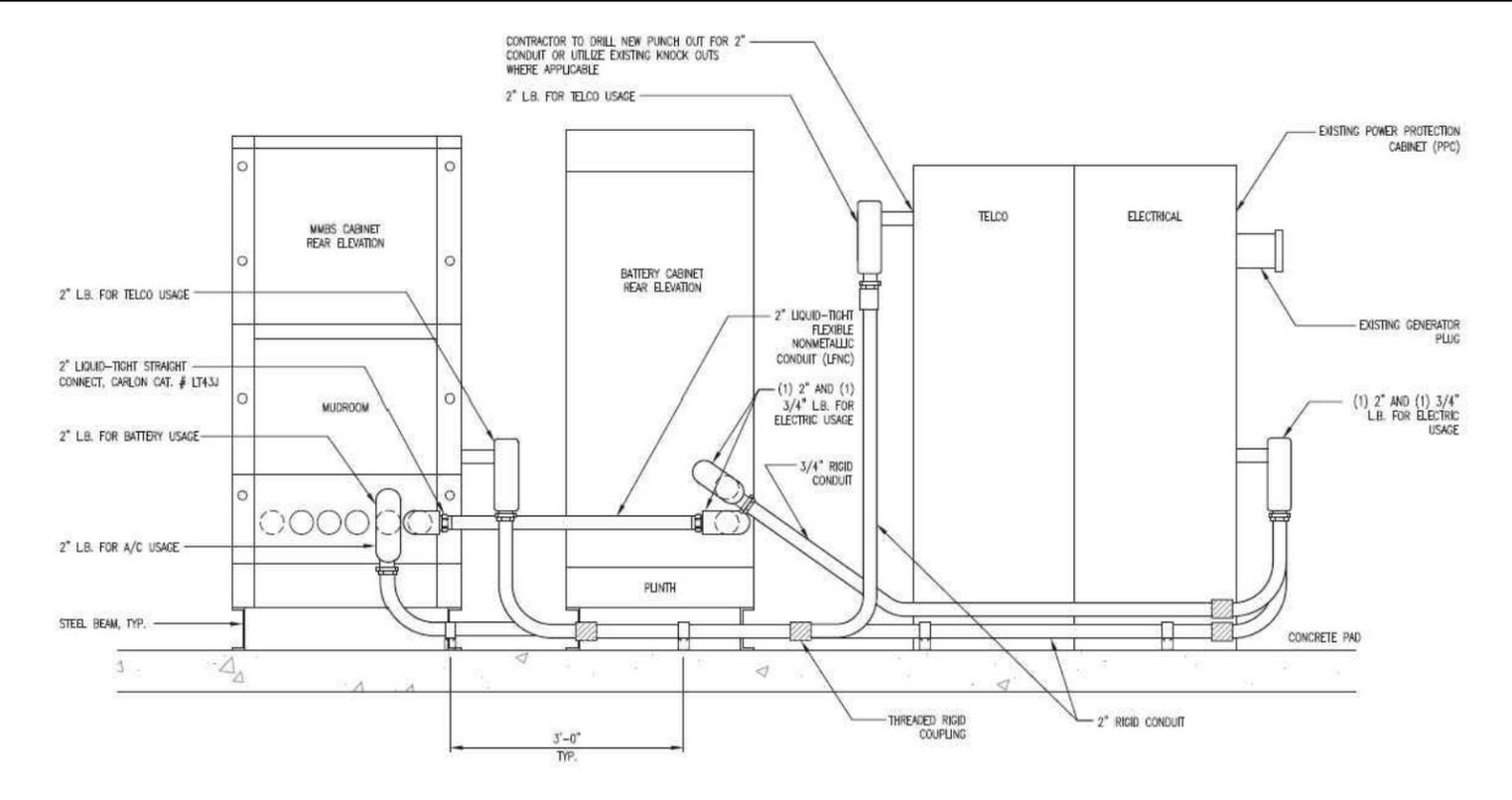
- GENERAL NOTES:**
- OBTAIN PERMITS AND PAY FEES RELATED TO ELECTRICAL WORK PERFORMED ON THIS PROJECT. DELIVER COPIES OF ALL PERMITS TO SPRINT.
  - SCHEDULE AND ATTEND INSPECTIONS RELATED TO ELECTRICAL WORK REQUIRED BY JURISDICTION HAVING AUTHORITY. CORRECT AND PAY FOR ANY WORK REQUIRED TO PASS ANY FAILED INSPECTION.
  - REDLINED AS-BUILTS ARE TO BE DELIVERED TO SPRINT REPRESENTATIVE.
  - PROVIDE TWO COPIES OF OPERATION AND MAINTENANCE MANUALS IN THREE-RING BINDER.
  - FURNISH AND INSTALL THE COMPLETE ELECTRICAL SYSTEM, TELCO SYSTEM, AND THE GROUNDING SYSTEM AS SHOWN ON THESE DRAWINGS.
  - ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, INSTALLED IN A NEAT MANNER AND SHALL BE SUBJECT TO APPROVAL BY SPRINT.
  - CONDUCT A PRE-CONSTRUCTION SITE VISIT AND VERIFY EXISTING SITE CONDITIONS AFFECTING THIS WORK. REPORT ANY OMISSIONS OR DISCREPANCIES FOR CLARIFICATION PRIOR TO THE START OF CONSTRUCTION.
  - PROTECT ADJACENT STRUCTURES AND FINISHES FROM DAMAGE. REPAIR TO ORIGINAL CONDITION ANY DAMAGED AREA.
  - REMOVE DEBRIS ON A DAILY BASIS. DEBRIS NOT REMOVED IN A TIMELY FASHION WILL BE REMOVED BY OTHERS AND THE RESPONSIBLE SUBCONTRACTOR SHALL BE CHARGED ACCORDINGLY. REMOVAL OF DEBRIS SHALL BE COORDINATED WITH THE SITE OWNERS REPRESENTATIVE. DEBRIS SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF LEGALLY. USE OF THE PROPERTY'S DUMPSTER IS PROHIBITED.
  - CONTRACTOR TO CONFIRM AVAILABLE CAPACITY AT EXISTING UTILITY PEDESTAL AND ADVISE ENGINEER OF SERVICE SIZE AND FAULT CURRENT LEVEL.
  - IF PEDESTAL DOES NOT HAVE ADEQUATE CAPACITY, CONTRACTOR TO SUBMIT COST QUOTATION TO UPGRADE. UPON APPROVAL OF SUBMITTED COST QUOTATION, THE CONTRACTOR SHALL PROVIDE NEW SERVICE AND/OR UPGRADE SERVICE. FEEDERS AND EQUIPMENT/ELECTRODE GROUNDING CONDUCTORS SIZE ACCORDINGLY.
  - CONTRACTOR SHALL VERIFY SEPARATION DIMENSION BETWEEN POWER COMPANY ELECTRICAL CONDUITS AND LP GAS PIPES AS PER UTILITY COMPANY. LOCAL CODES, NEC, NFPA, AND GAS TANK MANUFACTURER'S SPECIFICATION.
  - CONTRACTOR SHALL VERIFY THAT THE TOTAL NUMBER OF SERVICE ENTRANCE DISCONNECTS IN THE EXISTING UTILITY COMPANY PEDESTAL MUST NOT EXCEED SIX. IF THE NEW SERVICE ADDED EXCEEDS THIS VALUE, CONTRACTOR MUST COORDINATE WITH THE UTILITY COMPANY AND AUTHORITY HAVING JURISDICTION. THE RUNNING OF AN ADDITIONAL EXCLUSIVE AND DEDICATED SERVICE LATERAL SET FOR THE NEW LOAD ADDED TO THE COMPOUND AS PER NEC ARTICLE 230-2(B).
  - THE EQUIPMENT/PROTECTIONS MUST BE RATED FOR STANDARD AIC RATE HIGHER THAN INCOMING EQUIPMENT AND/OR UTILITY COMPANY AIC RATE.

- ELECTRICAL NOTES:**
- REFERENCE SPRINT STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES FOR GENERAL ELECTRICAL REQUIREMENTS.
  - WIRING SHALL BE AWG STRANDED COPPER WITH THHN OR EQUIVALENT INSULATION. #12 MINIMUM INSTALLED IN \* MINIMUM CONDUIT. SIGNAL WIRING SHALL BE INSULATED #22 AWG. NO BX OR ROMEX CABLE IS PERMITTED. CONDUITS SHALL BE SURFACE MOUNTED.
  - WIRING DEVICES AND EQUIPMENT SHALL BE UL LISTED SPECIFICATIONS GRADE.
  - MATERIALS SHALL BE NEW AND CONFORM TO THE APPLICABLE STANDARDS ESTABLISHED FOR EACH ITEM BY THE ORGANIZATIONS LISTED BELOW.  
 - AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM) - UNDERWRITER'S LABORATORY (UL) - NATIONAL ELECTRICAL MANUFACTURING ASSOCIATION (NEMA) - AMERICAN STANDARDS ASSOCIATION (ASA) - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
  - INSTALLATION OF MATERIALS SHALL COMPLY WITH REGULATIONS OF:  
 - THE NATIONAL ELECTRIC CODE (NFPA 70) - THE NATIONAL ELECTRICAL SAFETY CODE (ANSI C-2) - THE LIFE SAFETY CODE (NFPA 101) - LOCAL BUILDING CODES
  - THE ENTIRE SYSTEM SHALL BE SOLIDLY GROUNDING USING LOCKOUTS AND BONDING NUTS ON CONDUITS AND PROPERLY BONDED GROUND CONDUCTOR. RECEPTACLES AND EQUIPMENT BRANCH CIRCUITS SHALL BE GROUNDING WITH A FULL-SIZED EQUIPMENT GROUNDING CONDUCTOR RUN IN THE CIRCUITS CONDUIT.
  - OUTLET AND JUNCTION BOXES SHALL BE ZINC-COATED OR CADMIUM PLATED STEEL NOT LESS THAN 4" SQUARE AND SUITABLE FOR THE TYPE SERVICE AND OUTLET. OUTLET AND JUNCTION BOXES SHALL BE SURFACE MOUNTED AND LABELED WITH BRANCH CIRCUIT BREAKER NUMBER.
  - LABEL ALL EQUIPMENT SERVED FROM SPRINT PANEL BOARD WITH PHENOLIC LABELS SIZED IN RELATION TO USAGE.
  - INDOOR CONDUCTORS SHALL BE INSTALLED IN EMT UNLESS NOTED OTHERWISE. OUTDOOR CONDUCTORS SHALL BE INSTALLED IN RIGID GALVANIZED STEEL UNLESS NOTED OTHERWISE. WHERE EMT IS USED, IT SHALL BE WITH ONLY LISTED COMPRESSION FITTINGS. NO SET SCREW FITTINGS SHALL BE ALLOWED.
  - CONTRACTOR TO PROVIDE AND INSTALL ENGRAVED LABEL ON THE SPRINT METER SOCKET ENCLOSURE.
  - CONTRACTOR IS TO OBTAIN ALL PERMITS, PAY PERMIT FEES, AND BE RESPONSIBLE FOR SCHEDULING INSPECTIONS. THE CONTRACTOR IS TO OBTAIN LOCAL POWER AND TELEPHONE COMPANY APPROVAL & COORDINATE WITH UTILITY COMPANIES SERVICE ENTRANCE REQUIREMENTS.



- KEY NOTES:**
- CONTRACTOR TO USE EXISTING 100A, 2 POLE BREAKER IN EXISTING PPC. VERIFY EXISTING CONDUCTORS ARE (3) #3 AWG OR LARGER. IF NOT, CONTRACTOR TO REPLACE UNDERSIZED ITEM(S).
  - CONTRACTOR TO PROVIDE (1) 2" EMPTY CONDUIT WITH HEAVY DUTY PULLSTRING FROM EXISTING PPC TO EXISTING BTS.
  - CONTRACTOR TO PROVIDE (1) 2" SEAL-TIGHT CONDUIT WITH (2) #3 DLO.
  - (2) PROPOSED 1 1/2" PVC CONDUITS (1 POWER, 1 FIBER). GALVANIZED STEEL OR LIQUID-TIGHT FLEXIBLE CONDUITS ACCEPTABLE AT CM'S DISCRETION. LIQUID-TIGHT CONDUIT LENGTHS NOT TO EXCEED 6'-0".

**SINGLE LINE DIAGRAM**  
SCALE: NTS



**CONDUIT DETAILS (IF APPLICABLE)**  
SCALE: NTS

**Sprint**

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OVERLAND PARK, KS 66251

**NEXIUS**

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**RAMAKER & ASSOCIATES, INC.**

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www.Ramaker.com

PROJECT NUMBER	23137
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MARK	DATE	DESCRIPTION
1	1/15/14	Changed Antenna layout/configuration

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Signature: *Michael L. Pinske* Date: 1/15/2014

ISSUE PHASE	FINAL	DATE ISSUED	04/24/2013
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SITE ID #: PT43XC800

SITE NAME: POINT STATE PARK / BUHL BUILDING

ADDRESS: 204 5TH AVE. PITTSBURGH, PA 15222

SITE TYPE: ROOFTOP

SHEET TITLE:  
**UTILITY DETAILS & NOTES**

SCALE:

SHEET NUMBER  
**E-4**

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1 - GENERAL PROVISIONS  
1.1 CONTRACT OVERVIEW

- The intention of the documents is to show the complete installation and to include all labor and materials reasonably necessary, whether or not specifically indicated, for the proper execution and completion of the work as stipulated in the contract. The intent of this document is not to designate the means and methods of procedure of the work. The contractor shall supervise and coordinate all work, using his professional knowledge and skills. He is solely responsible for all construction means, methods, techniques, procedures, sequencing and coordinating all portions of the work under the contract.
- All work shall be performed in accordance with the latest edition of the following codes, standards and supplements:
  - IBC - International Building Code 2009 and all subsequent updates
  - AISC - American Institute of Steel Construction specifications
  - IEEE - Institute of Electrical and Electronic Engineers
  - NEC - National Electrical Code
  - NEMA - National Electrical Manufacturers Association
  - UL - Underwriters Laboratories
  - NSPC - National Standard Plumbing Code
  - IMC - International Mechanical Code
  - NFPA - National Fire Protection Association
  - OSHA - Occupational Safety and Health Administration
  - ANSI/TIA - Telecommunications Industry Association - 222-G Standard
- The most stringent code will apply in the case of discrepancies or differences in the code requirements.
- The engineering drawings show principal areas where work must be accomplished under this contract. Incidental work may also be necessary in areas not shown on the engineering drawings due to changes affecting existing electrical or other systems. Such incidental work is also a part of this contract. Inspect those areas and ascertain what is needed to do that work in accordance with the contract requirements at no additional cost to the owner.
- Do not scale drawings. All dimensions take precedence over scale.
- Minor deviations from the design layout are anticipated and shall be considered as part of the work, however, no change that alters the character intent of the design will be made or permitted by the owner without a change order.
- General civil, structural, electrical and antenna drawings are interrelated. In performance of the work, each contractor must refer to all drawings. All coordination shall be the responsibility of the general contractor.
- The general notes contained herein are part of the plans and specifications, and are to be complied with in all respects. The most restrictive notes specified are to take precedence. Certain sections of the general notes may not apply to every site. The contractor is to comply with all applicable general notes in all respects.
- All general notes and standard details are the minimum requirement to be used in conditions which are not specifically shown otherwise.
- Representation of True North other than those found on the plot of the survey drawings shall not be used to identify or establish the bearing of the True North at the site. The contractor shall rely solely on the plot of the survey drawing and any marking at the site for establishment of the True North, and shall notify the engineer prior to proceeding with the work if any discrepancy is found between the various elements of the working drawings and the True North orientation as depicted on the civil survey. The contractor shall assume sole liability for any failure to notify the engineer.
- The contractor shall use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts, and who are completely familiar with the specified requirements and methods needed for proper performance of the work.
- The contractor will be required to assume sole and complete responsibility for job site conditions during the course of the construction project, including safety of all persons and property, that this requirement shall be made to apply continuously and not be limited to normal working hours. The contractor further agrees to indemnify and hold the design engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project.
- The contractor shall be responsible for complying with all safety precautions and regulations such as OSHA compliance during the progress of the work. The engineer will not advise nor provide direction as to safety precautions and programs.
- The contractor shall assume complete responsibility of the security of the site until completion of the construction.
- It is the contractor's responsibility to examine all plan sheets and specifications and coordinate his work with the work of all other contractors to ensure that work progression is not interrupted.
- The contractor is instructed to cooperate with any and all other contractors performing work on this job site during the performance of this contract to avoid delays in the contract schedule or other work performed in the vicinity of the construction area.
- The contractor shall submit a construction schedule to the property owner well in advance of the starting date of the work. The owner shall also be notified of a change in the construction schedule.
- The contractor shall comply with all required permits.
- Each contractor is responsible for application and payment of contractor licenses, bonds and insurances. Documentation shall be provided to the owner prior to the work.
- Nexus is to provide the owner with a full set of record drawings with actual dimensions, routing and circuits upon completion of construction.
- The contractor shall be responsible for all temporary bracing, shoring, ties,

- form work and the protection of all work during construction to avoid damage, collapse, distortion, misalignment, and alteration.
- The contractor is responsible to provide temporary power, water and toilet and facilities as required by the property owner or governing agency.
  - The contractor shall monitor all existing structures during construction.
  - The contractor shall coordinate the final dimensions of any type of beam layout with the footprint of the new equipment before ordering any materials.
  - All materials and equipment shall be new and in safe conditions prior to installations, and shall be of the best grade and of the same manufacturer throughout for each class or group of equipment.
  - All materials must be stored in a level and dry location and in a manner that will not obstruct the flow of other work related or not to this contract. Any equipment or material storage must meet all recommendations of the manufacturer. The contractor shall inspect thoroughly all materials and equipment prior to final installation. Damaged equipment or materials shall not be installed.
  - All materials shall be installed per the manufacturers' instructions.
  - All equipment shall be installed level and plumb.

1.2 EXISTING CONDITIONS AND STRUCTURES

- Before beginning work at the site, the contractor shall inspect the existing compound or building and determine the extent of existing finishes, specialties, equipment and other items which must be removed and reinstalled in order to perform the work under this contract. The contractor must verify all dimensions, conditions and elevations before starting work. No extra charge or compensation shall be allowed due to differences between actual dimensions and dimensions indicated on the construction drawings. All discrepancies shall be called to the attention of the engineer and shall be resolved before proceeding with the work. All work shall be performed in a workmanlike manner in accordance with accepted construction practices.
- By submitting a bid for this work, the contractor acknowledges that he has thoroughly reviewed and understood the construction documents, visited the site and is familiar with the conditions encountered at the site.
- The contractor, if awarded the contract, will not be allowed any extra compensation by reason of any matter or thing which such the contractor might not have fully informed himself prior to bidding.
- No plea of ignorance of conditions that exist, or of difficulties that may be encountered or of any other relevant matter concerning the work to be performed will be accepted as a reason for any failure or omission on the part of the contractor to fulfill the requirements of the contract documents.
- It is understood by the owner that the contractor in submitting his bid, warrants that he has carefully examined the site of the project to acquaint himself with the surrounding properties, the means of approach to the site, the conditions of the actual job site, the facilities for delivering, stoning, placing, handling and the removal of materials and equipment and any and all difficulties that may be encountered during the execution of all the work in accord with the contract documents.
- The location of existing underground utilities have not been verified by the owner or its representative. The contractor is responsible for having all underground utilities located within the limits of construction and accepts full responsibility for any and all damages which might be caused by the contractor failure to locate all underground utilities before commencing work. Before you dig or drill, call the underground services alert number on sheet T-1 at the required time.
- Should any error or inconsistency appear in the drawings or specifications, the contractor before proceeding with the work must make mention of the same to the engineer and owner for proper adjustment and in no case proceed with the work in uncertainty or with insufficient drawings.
- Trade, product names or manufacturer's names or catalog numbers and indications of existing product types shown on the drawings are believed to be accurate. If they are discovered to be inaccurate, notify engineers immediately and do not proceed without instructions.
- Prior to starting construction, the contractor shall protect all areas from damages which may occur during construction. Any damages to new or existing surfaces, structures or equipment shall be immediately repaired or replaced to the satisfaction of the property owner. The contractor shall bear the cost of repairing or replacing any damaged areas.
- The contractor shall protect the structural integrity of existing structures when work is performed in the vicinity of existing structures.
- The contractor shall protect existing property line monumentation. Any monumentation disturbed or destroyed, as judged by the owner or owner's representative shall be replaced at the contractor's expense under the supervision of a licensed land surveyor.
- New construction added to existing construction shall be matched in form, texture, material and paint color except as noted in the plans.
- Where indicated on the plans, the contractor shall paint all new antenna shrouds and related mounting hardware to match the existing adjacent surfaces, the contractor shall not use a metal based paint for antennas. All surface contamination shall be removed prior to painting new surfaces.
- The plans show some known subsurface structures, above-ground structures and/or utilities believed to exist in the working area, exact location of which may vary from the locations indicated, in particular, the contractor is warned that the exact or even approximate location of such pipelines, subsurface structures and/or utilities in the area may be shown or may not be shown; and it shall be his responsibility to proceed with great care in executing any work.
- All existing active sewer, water, gas, electric and other utilities where encountered in the work shall be protected at all times, where required for the proper execution of the work, shall be relocated as directed by engineers. Extreme caution should be used by the contractor when excavating or pier drilling around or near utilities. The contractor shall provide safety training for the working crew.
- If an inactive electrical, telephone, sewer, water or any other utility are encountered and interfere with the execution of the work, the contractor is to remove the utility and cap, plug or otherwise terminate the utility at a point where it no longer conflicts with the work. The utility work shall be done in accordance with the utility companies recommendations and per local

- authority having jurisdiction.
- All utility work involving connections to existing systems shall be coordinated with the owner or owner's representative and the utility owner before each and every connection to existing systems is made.
  - Maintain flow for all existing utilities.
  - The contractor shall restore all public or private property damaged or removed to at least as good of condition as before disturbed as determined by the owner or owner's representative.
  - Protect finished surfaces including jambs and heads of openings used as passageways through which equipment and materials will pass.
  - Provide protection for equipment room surfaces prior to allowing equipment or materials to be moved over such surfaces.
  - Maintain finished surfaces clean, unharmed and suitably protected until job site is accepted by the owner.
  - In the event of damage to an existing structure, the contractor shall notify the owner or its representative immediately, and then promptly make all replacements and repairs to the satisfaction of the owner. The owner may elect to use a third party contractor to perform the repairs. All expenses associated with the repairs and replacements shall be paid by the general contractor selected for this contract.
  - Additional time required to secure replacement and make repairs will not be considered by the owner to justify an extension in the contract time for completion.

1.3 ACCESS

- Use most direct route from public street as agreed to by compound or building owner. For access to an existing building interior, use loading dock as agreed to by building owner.
- Coordinate with site owner construction schedule & site access. Ensure that the owner of parent parcel is notified in writing of construction activities.
- A list of workers involved in this project may be required by the property owner or its representative.
- The contractor shall coordinate all special considerations of construction such as noisy operation, interruption of any mechanical and/or electrical services, material deliveries and storage, staging area, crane lifts with the owner prior to the start of work.
- Contractor shall coordinate with an owner representative, the temporary removal of fence, landscaping & any expected damage to access road or adjacent repair of property prior to commencing the work.
- The contractor shall coordinate work hours & staging areas with owner.
- Contractor to notify appropriate parties of construction start date well in advance of construction.

1.4 SITE MAINTENANCE

- Remove staining or reactive materials from new and existing surfaces immediately. Remove hazardous accumulations of debris promptly, at least daily. Confine dust producing operations during cutting, drilling, painting and finishing. There should be no over spraying paint in parking area. Vacuum immediately after completion.
- There shall not be any creation of noise outside normal business hours, unless otherwise agreed upon with the owner. Noise should be kept to a minimum throughout construction.
- Noise and existing building structure vibration generated by construction procedures, equipment, tool and operations are to be kept to a practicable minimum. Where use of high noise level equipment is unavoidable, and can be heard, confine to hours after 7 A.M. and before 6 P.M. Monday through Friday or as agreed to by building owner.
- The contractor is to provide portable fire extinguishers with a rating of not less than 2-A or 2 ABC within 75 feet of travel to all portions of the construction area.
- The contractor is responsible for maintaining a neat and orderly site, yard and grounds, remove and dispose legally off site all rubbish, waste materials litter and all foreign substances. Remove petrochemical spills, stains and other foreign deposits. Rake grounds to a smooth even-textured surface.
- At project completion, remove temporary services, construction equipment, tools and facilities, mockups, temporary structures, surplus materials, debris, and rubbish from building owners property. Put site in neat, orderly condition, ready for use. Leave roof areas, pipe spaces and other spaces clean and free from debris on a daily basis.
- The site and/or building security shall be maintained at all times during construction in order to prevent unauthorized persons from entering the premises. Existing and new equipment and materials remain the contractor's responsibility at all time during construction.
- The tenant's ingress and egress of the site and/or building shall be maintained throughout construction.
- The contractor shall take all measures necessary to maintain pollution control, comply with all governing regulation pertaining to environmental protection, and promptly remove all debris and accumulation of materials resulting from the work.

1.5 TEMPORARY FACILITIES

- The contractor shall consider that water, power and light may not be available at this site. Electrical cords and connections to be furnished by the contractors and must be disconnected and properly stored during non-working hours.
- The contractor is responsible to provide temporary power, water and toilet facilities as required by the property owner or governing agency.

2 - DEMOLITION AND EXISTING STRUCTURAL ALTERATION

2.1 DEMOLITION SPECIFICS

- General contractor is to demolish and remove from site (and dispose of appropriately) all items noted for demolition in the architectural, civil, electrical and/or structural drawings, including below grade foundation and structures. Contractor shall coordinate with the owner representative the disposal of equipment and materials.
- General contractor is to exercise utmost care during demolition and promptly inform the engineer of any deviation to the existing structure from what is shown in these plans prior to proceeding with the work.

- General contractor is solely responsible for the shoring, bracing, providing lateral support and for maintaining the integrity of the existing structure during all phases of the demolition and construction and shall provide, if required, signed & sealed shop drawings, by a registered professional engineer, for the shoring of all walls, beams, slabs, roof joists, or other elevated structural items, that are having the support below noted for demolition.
- Any damage due to demolition, or other construction activities, done to any existing surface to remain shall be repaired to match existing at no additional cost to the owner.

2.2 CUTTING & PATCHING

- Do not drill or cut existing floor joists, beams, columns or other structural elements unless specifically indicated. Drill slabs where approved. Core drill circular openings through concrete slab. Line drill for rectangular openings. Make openings of proper size for conduit, ducts, pipes and other items passing through openings. Make all new holes or openings be weather tight or fire safe as required by local building codes & ordinances.
- Prepare, submit and receive approval of sleeves and opening drawings before locating sleeves and openings in new construction and before drilling existing structure. Show each opening and sleeve in the entire project.
- Seal water tight and protect with fire proofing materials new sleeves and openings through roofs, floors and in vertical chases as required by code and industry standards. All floor and wall penetrations shall be sealed with fire retardant compound meeting UL CAJ5045.
- Use approved materials to fill/seal penetrations through fire rated assemblies.
- Where cutting of existing surfaces or removal of existing finishes is required to perform the work under this contract and a new finish is not indicated, fill resulting openings and patch the surface after doing the work and finish to match adjacent existing surfaces.
- All concrete and masonry penetrations shall be done using rotary action only (no hammering action).
- Core locations, if required, shall be chosen so as to avoid cutting any reinforcing bars. Firestop floor or wall penetrations with two-hour rated sealant to meet UL CAJ5045. Provide weatherproofing of any roof penetrations.
- Repair, patch, finish and/or refinish as applicable to match adjacent existing finishes those existing surfaces damaged or new proposed surfaces during performance of the work under this contract.
- Where conduits, ducts, pipes and similar items are shown to be installed in existing walls or partitions, neatly chase the walls or partitions. Install the items and patch the walls or partitions to make the installation not discernible in the finished work.
- Install new conduits and pipes in every case, and new duct where possible above existing ceiling. Remove existing ceiling as necessary. After installation of concealed work, reinstall removed ceiling and patch and refinish to match adjacent unremoved ceilings.
- Repair all metal surface that have been cut or damaged by removing any existing rust and applying cold galvanizing.

3 - ROOFTOP (IF APPLICABLE)

3.1 GENERAL

- General contractor is solely responsible for the shoring, bracing, providing lateral support and for maintaining the integrity of the existing structure and roofing membrane during all phases of the construction.
- Roof pitch pocket, if used, are to be filled, sealed and maintained with flexible material to be compatible with existing roofing material and able to accommodate lateral displacement of 1/4 inch maximum in each direction.
- If required, the general contractor shall use the building owner's approved roofing contractor to prevent voiding any existing roofing warranties. Any damage to the existing roofing membrane shall be repaired immediately to avoid moisture intrusion in the building shell.
- Avoid any penetration of existing roof slab, UNO.
- No staging of materials and equipment is permitted on the roof.
- The location of existing building roof, penthouse walls, penthouse slabs and new equipment shown in these drawings are not exact and are not based on surveyed information. All dimensions shall be field verified by field measurements prior to ordering any material for this project.
- Any damage due to construction activities, done to any existing roofing surface shall be repaired to match existing at no additional cost to the owner.
- The contractor shall verify the load generated from the equipment is directly transferred through bearing walls or columns to the foundation of the building. The engineer shall be notified if this criteria is not met.
- The contractor shall provide temporary fall protection measures in the vicinity of the work.
- The shelter and/or equipment shall be painted to match the existing building color if this is required by the building owner.
- Submit for approval a list of the procedures proposed to protect existing elevator from harm during use. Protect cab, entrances and adjacent surfaces from damage. Do not overload elevator.
- Construction personnel may use existing stairs and corridors for construction purposes. Protect stair and access ways and return to original condition at completion. Coordinate with building management for use of washroom facility.
- Provide proper temporary protection of high traffic areas.

4 - STANDARD CONSTRUCTION SPECIFICATIONS

- Contractor shall refer to the latest version of the "Sprint Standard Construction Specifications for Wireless Sites" for all other specifications.
- Latest version of the "Sprint Standard Construction Specifications for Wireless Sites" may be downloaded from <https://sprint.siterma.com/apollo/sprnt>.

LEGEND AND ABBREVIATIONS

BTS	BASE TRANSMISSION SYSTEM
GEN	GENERATOR
MMBS	MULTI-MODE BASE STATION
PPC	POWER PROTECTION CABINET
TYP	TYPICAL



6391 SPRINT PARKWAY  
OVERLAND PARK, KS 66251

**NEXIUS**  
503 MARTINDALE STREET  
CLARK BUILDING, FIFTH FLOOR  
PITTSBURGH, PA 15212  
OFFICE: (703) 650-7777



1120 Dallas Street, Sauk City, WI 53583  
Phone: 608-643-4100 Fax: 608-643-7999  
www.Ramaker.com

PROJECT NUMBER 23137

MARK	DATE	DESCRIPTION
1	1/15/14	Changed Antenna layout/configuration

Certification & Seal:

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Pennsylvania.



ISSUE PHASE FINAL DATE ISSUED 04/24/2013

SITE ID #: PT43XC800  
SITE NAME: POINT STATE PARK / BUHL BUILDING  
ADDRESS: 204 5TH AVE. PITTSBURGH, PA 15222  
SITE TYPE: ROOFTOP  
SHEET TITLE: SPECIFICATIONS

SCALE:

SHEET NUMBER SP-1



Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

4000 FIFTH AVENUE  
PITTSBURGH, PA 15218

**OWNER:** UNIVERSITY OF PITTSBURGH

**NAME:** PARK RANKIN

**ADDRESS:** 3400 FORBES AVENUE  
PITTSBURGH, PA 15260

**PHONE:** 412-624-9534

**EMAIL:** plr2@pitt.edu

STAFF USE ONLY:

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**DISTRICT:**

OAKLAND CIVIL CENTER

**APPLICANT:** LAMI GRUBB ARCHITECTS

**NAME:** JESSE GIDLEY

**ADDRESS:** 100 EAST SWISSVALE AVE.  
PITTSBURGH, PA 15218

**PHONE:** 412-243-3430

**EMAIL:** jgidley@lamigrubb.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

BUSINESS SIGN FOR "THE UNIVERSITY STORE ON FIFTH"  
CERTIFICATE OF APPROPRIATENESS #12-051 FOR PREVIOUS WORK

**SIGNATURES:**

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPLICANT: [Signature] DATE: 1/16/2014



## Transmittal

# Lami Grubb

ARCHITECTS

Lami Grubb Architects LP

100 East Swissvale Ave

Pittsburgh, PA 15218

Phone: 412.243.3430

Fax: 412.371.1586

**Date:** January 17, 2014

**To:** **Sarah Quinn**  
Division of Development Administration and Review  
City of Pittsburgh, Department of City Planning  
Historic Review Commission  
200 Ross Street  
Third Floor Zoning Counter  
Pittsburgh, PA 15219  
412-255-2243

**Regarding:** University of Pittsburgh Book Store - Signage.

Sarah,

We are submitting the signage portion of the University of Pittsburgh's project "The University Store On Fifth" for review. Unfortunately, the sign has already been installed. It was not our intent to forgo your review. We were under the impression this had already been submitted by the sign vendor and approved, since they should not have been able to pull a sign permit without it.

Regardless, we apologize for the miscommunication. The sign that is installed has perforated sides on the letters spelling "The University Store" for edge illumination. We propose to replace these letters with traditional reverse channel letters, halo-lit, as detailed in the drawings attached. We also propose to leave the section spelling "on fifth" as installed. We have attached the shop drawings of this sign section for your reference, as well as installed photos.

We feel this solution respects the historic nature of the building while highlighting the updated use of the space.

Thank you for your consideration

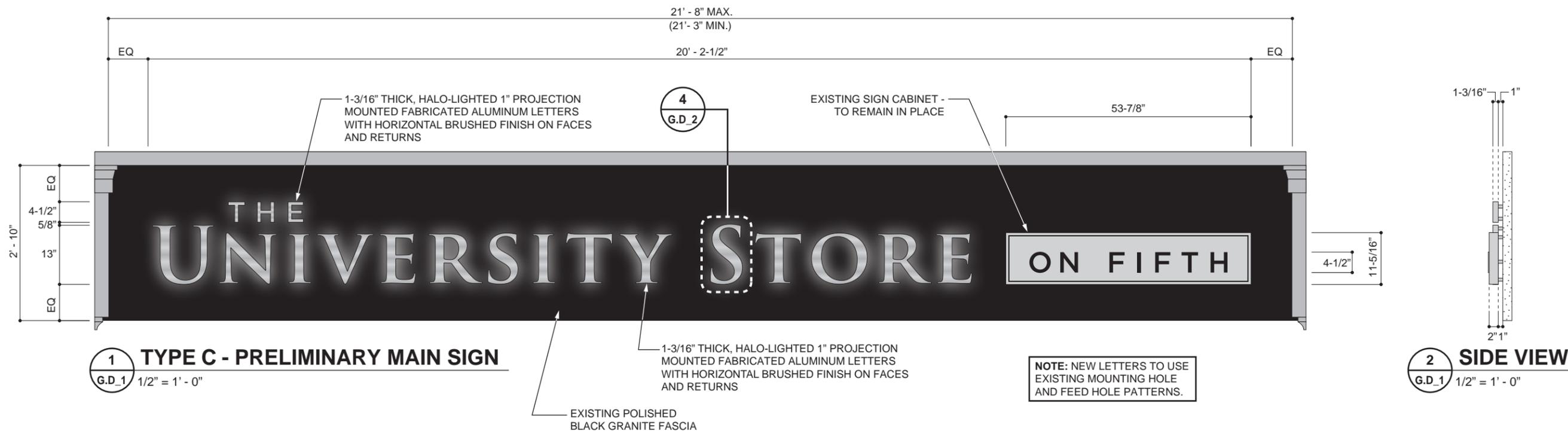
Jesse Gidley, R.A.  
Project Manager, Lami Grubb Architects L.P.



THE  
UNIVERSITY STORE ON FIFTH

4000





**3 TYPE C - BUILDING ELEVATION**  
G.D.1 1/8" = 1' - 0"

**Sales Order #:**

68849

**Client:**

University of Pittsburgh

**Project:**

Pitt Book Store x4530

**Project Manager:**

JDD / JAL

**Drawn By:**

MG

**Date:**

9.19.13

**Scale:**

As Noted

**Revision:**

0

**Signtype:**

C

**Quantity:**

1

**Product Code:**

Custom

Drawing Description:

**GRAPHIC & COLOR SPECIFICATIONS**

**Typestyle:**

Trajan Pro Bold  
Gotham Medium

**Color Specifications:**

As Noted

**Notes:**

1. Dark background colors are hard to illuminate.



Bunting Graphics, Inc.  
20 River Road  
Verona, PA 15147-1159  
Tel. 412-820-2200  
FAX 412-820-4404  
e-mail: mail@buntinggraphics.com

This drawing was prepared in accordance with information submitted. Changes to drawings may incur charges as stated in the price list. Signed approval of submitted drawing is required prior to manufacture. Approval of drawing acknowledges that it is correct and supersedes all previous sets of drawings and/or specifications related to this order.  
Any changes, corrections or remakes of products manufactured in accordance to approved drawings will be at purchaser's expense. Confidential and proprietary information of Bunting Graphics, Inc. may not be used or reproduced without Bunting's prior written consent. No part of this drawing, design, arrangement or idea thereon shall be duplicated or used for any purpose without express written permission of Bunting Graphic.  
Bunting is not responsible for furnishing Primary Electrical Service to sign locations.

Date \_\_\_\_\_  Approved  
Name \_\_\_\_\_  Approved as Noted  
Company \_\_\_\_\_  Revise and Resubmit

**Drawing File:**

Proj 3/ 2012 / 68849 / BRIEFCASE / DRAWINGS / Design Drawings/G.C\_1 Option D.ai

**Production File:**

Proj 3/ 2012 / 68849 / BRIEFCASE / DRAWINGS / Production Drawings/G.C\_1 Option B.ai

**Page:**

G.D\_1



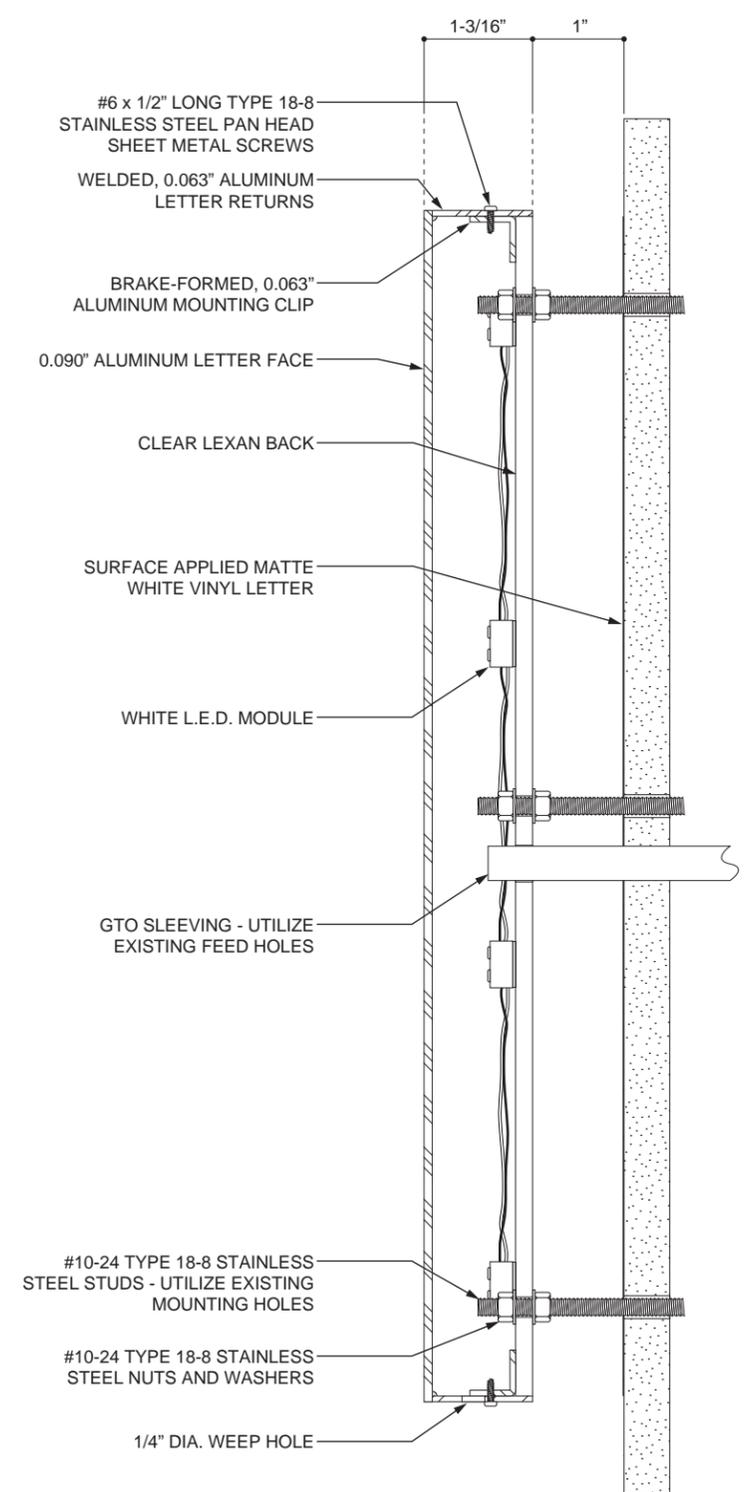
1-3/16" THICK, HALO-LIGHTED 1" PROJECTION MOUNTED FABRICATED ALUMINUM LETTERS WITH HORIZONTAL BRUSHED FINISH ON FACES AND RETURNS

**NOTE:** NEW LETTERS TO USE EXISTING MOUNTING HOLE AND FEED HOLE PATTERNS.

#10-24 TYPE 18-8 STAINLESS STEEL STUDS - UTILIZE EXISTING MOUNTING HOLES

EXISTING POLISHED BLACK GRANITE FASCIA

SURFACE APPLIED MATTE WHITE VINYL APPLIED TO SURFACE OF POLISHED BLACK GRANITE FASCIA. REQUIRED TO CREATE HALO EFFECT - POLISHED BLACK GRANITE ABSORBS LIGHT AND DOES NOT REFRACT THE LIGHT TO CREATE THE HALO EFFECT OTHERWISE.



#6 x 1/2" LONG TYPE 18-8 STAINLESS STEEL PAN HEAD SHEET METAL SCREWS

WELDED, 0.063" ALUMINUM LETTER RETURNS

BRAKE-FORMED, 0.063" ALUMINUM MOUNTING CLIP

0.090" ALUMINUM LETTER FACE

CLEAR LEXAN BACK

SURFACE APPLIED MATTE WHITE VINYL LETTER

WHITE L.E.D. MODULE

GTO SLEEVING - UTILIZE EXISTING FEED HOLES

#10-24 TYPE 18-8 STAINLESS STEEL STUDS - UTILIZE EXISTING MOUNTING HOLES

#10-24 TYPE 18-8 STAINLESS STEEL NUTS AND WASHERS

1/4" DIA. WEEP HOLE

**5 SIDE VIEW**  
G.D.2 1/2" = 1' - 0"

**4 TYPE C- PERSPECTIVE VIEW**  
G.D.2 1/2" = 1"

<b>Sales Order #:</b>	68849
<b>Client:</b>	University of Pittsburgh
<b>Project:</b>	Pitt Book Store x4530
<b>Project Manager:</b>	JDD / JAL
<b>Drawn By:</b>	MG
<b>Date:</b>	9.19.13
<b>Scale:</b>	As Noted
<b>Revision:</b>	0
<b>Signtype:</b>	C
<b>Quantity:</b>	1
<b>Product Code:</b>	Custom

Drawing Description:

**GRAPHIC & COLOR SPECIFICATIONS**

**Typestyle:**  
Trajan Pro Bold  
Gotham Medium

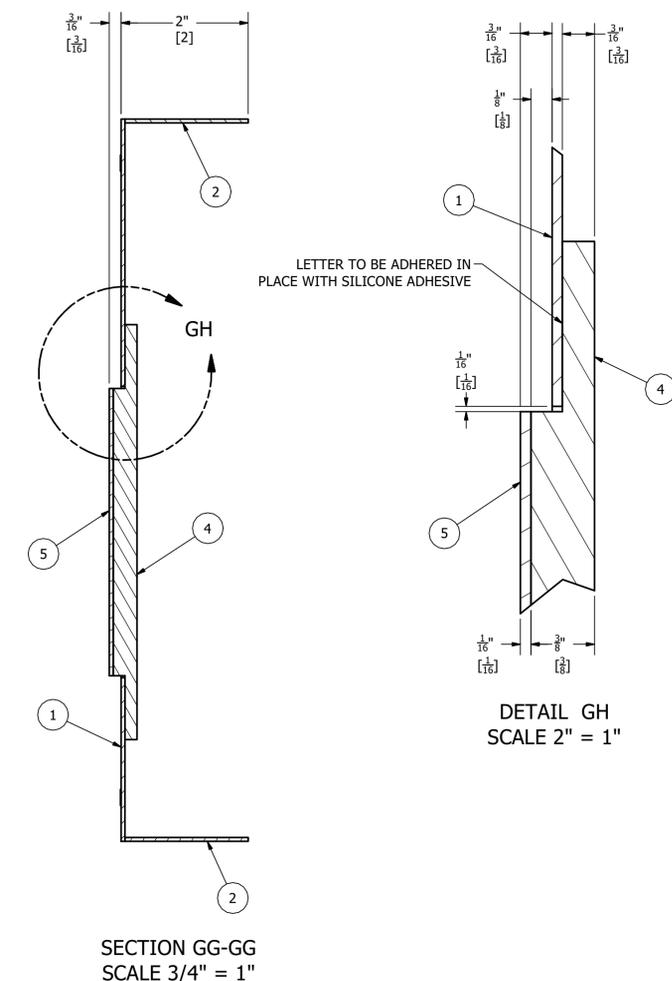
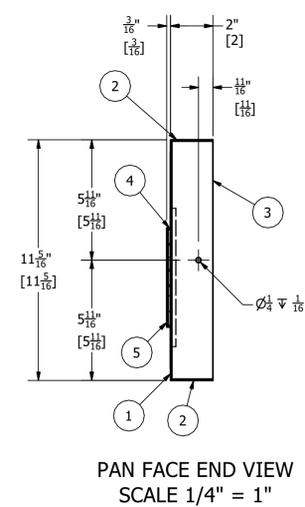
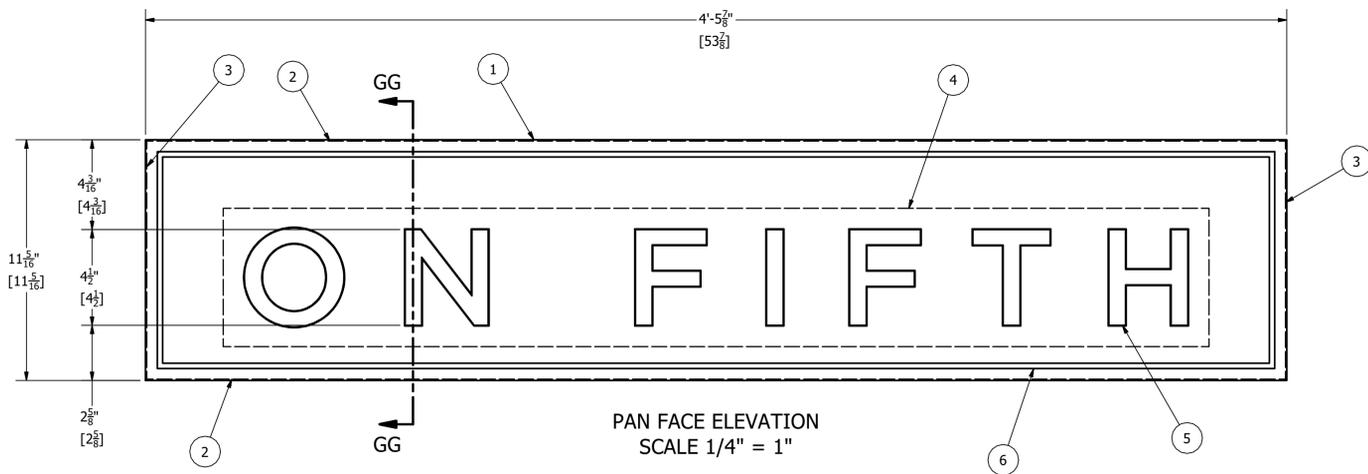
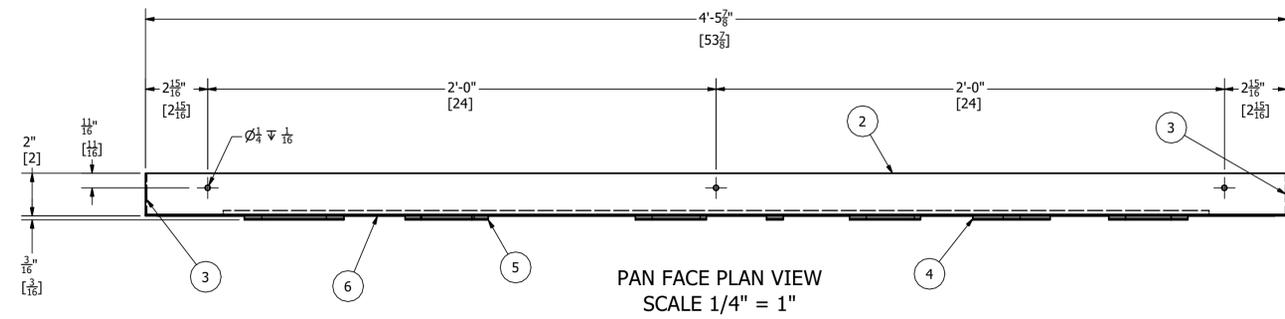
**Color Specifications:**  
As Noted

**Notes:**  
1. Dark background colors are hard to illuminate.

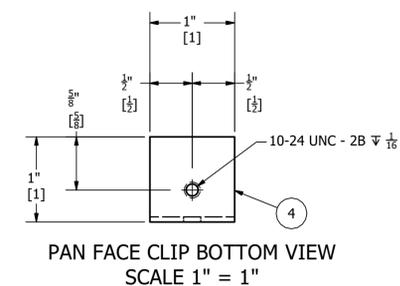
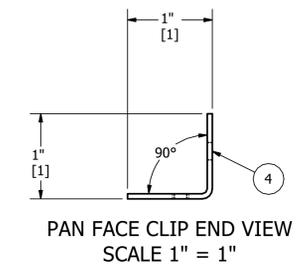
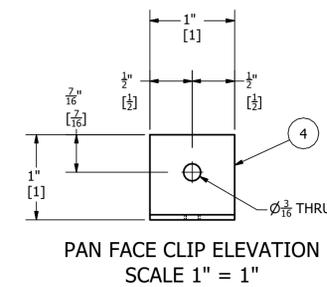
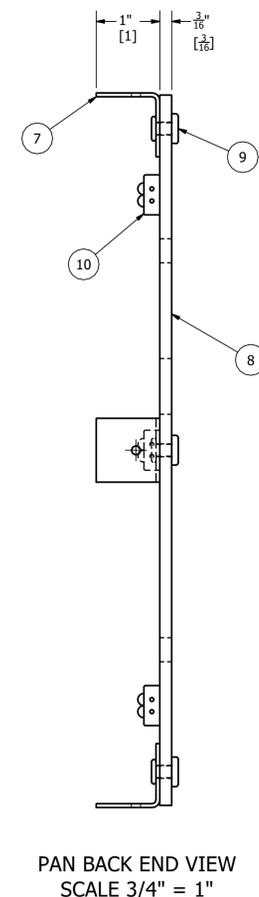
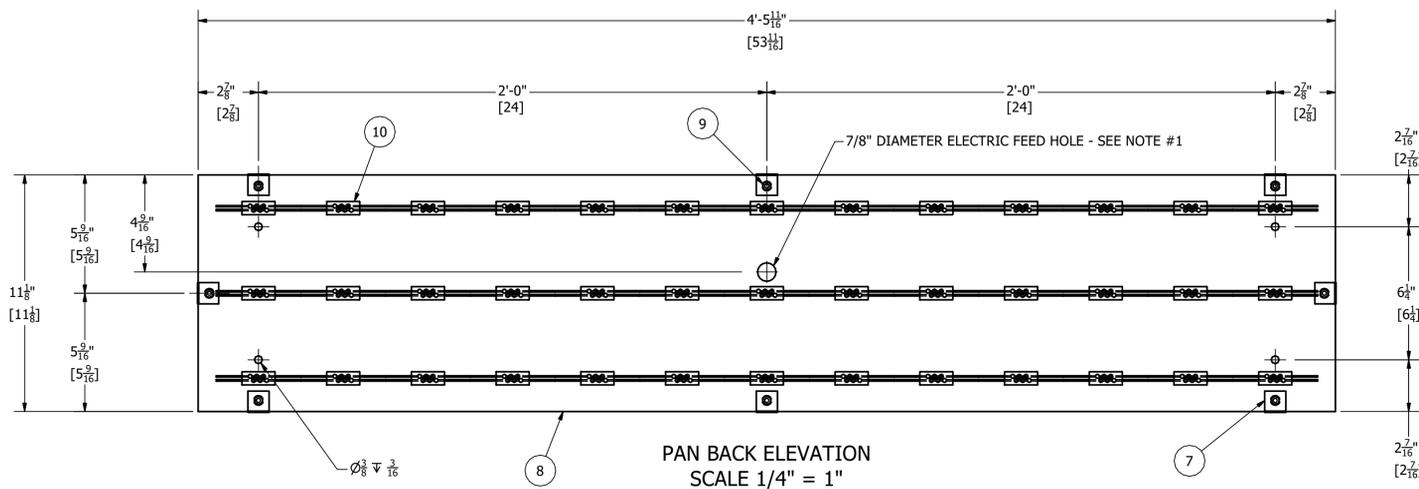
**Page:**  
G.D.2

Bunting Graphics, Inc.  
 20 River Road  
 Verona, PA 15147  
 Tel. - 412-820-2200  
 Fax - 412-820-4404  
 e-mail: sales@buntinggraphics.com

Project Manager:  
 ST  
 Project Engineer:  
 JL  
 Drawn By:  
 SJ  
 Checked By:  
 Check Date:



**NOTE #1: SIGN REQUIRES ONE (1) DEDICATED 20 AMP CIRCUIT @ 120 VAC. FINAL ELECTRICAL CONNECTION BY BUNTING GRAPHICS.**



PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
1	1	16 Gauge 304 SST.	
2	2	16 Gauge 304 SST.	
3	2	16 Gauge 304 SST.	
4	1	ACR 3/8" Thick #2447 Translucent White Acrylic.	
5	1	AS 0.063" Thick Alloy 5052-H32 Aluminum Sheet.	
6	1	Surface Applied Black Vinyl.	

PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
7	8	16 Gauge 304 SST.	
8	1	ACR 3/16" Thick Clear Lexan.	
9	8	3/16" Diameter Type 316 SST. Corrosion Resistant Blind Rivet.	McMASTER-CARR #97550A320
10	39	White LED's.	Final LED Layout To Be Determined BY LED Manager. See Note #1.

C:\Vault\Bunting Vault\68849 University of Pittsburgh\68849 Sign Type C\68849 Sign Type C Construction Drawings.dwg

Architect/Engineer/Designer:  
 Lami Grubb Architects

Client:  
 University of Pittsburgh

Project Name:  
 Pitt Book Store x4530  
 Sign Type C

Project Location:  
 Pittsburgh, PA

Finish Notes:

**DO NOT SCALE OFF DRAWING**

This drawing was prepared in accordance with the information submitted. changes to drawings may incur charges as stated in the price list.

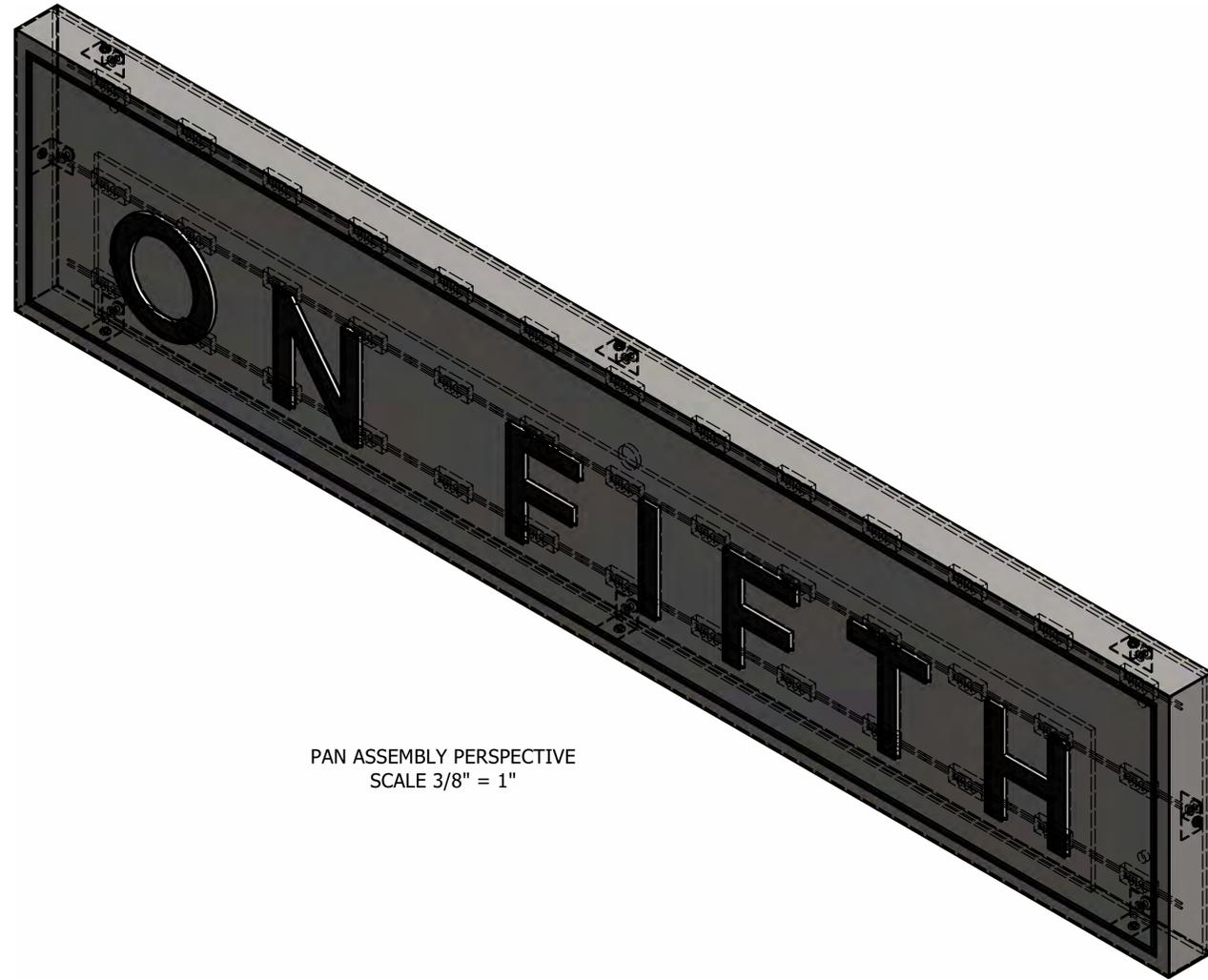
Signed approval of submitted drawing is required prior to manufacture. Approval of drawing acknowledges that it is correct and supersedes all previous sets of drawings and/or specifications related to this order. Any changes, corrections or remakes of products manufactured in accordance with approved drawings will be a purchaser's expense.

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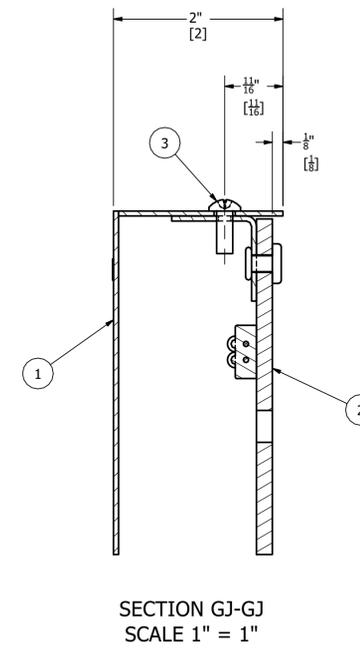
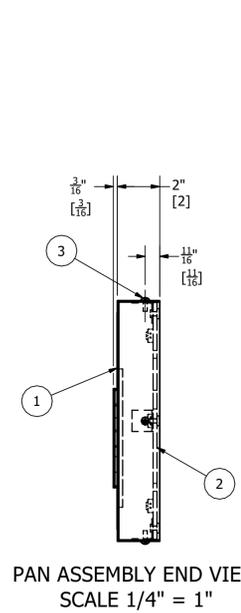
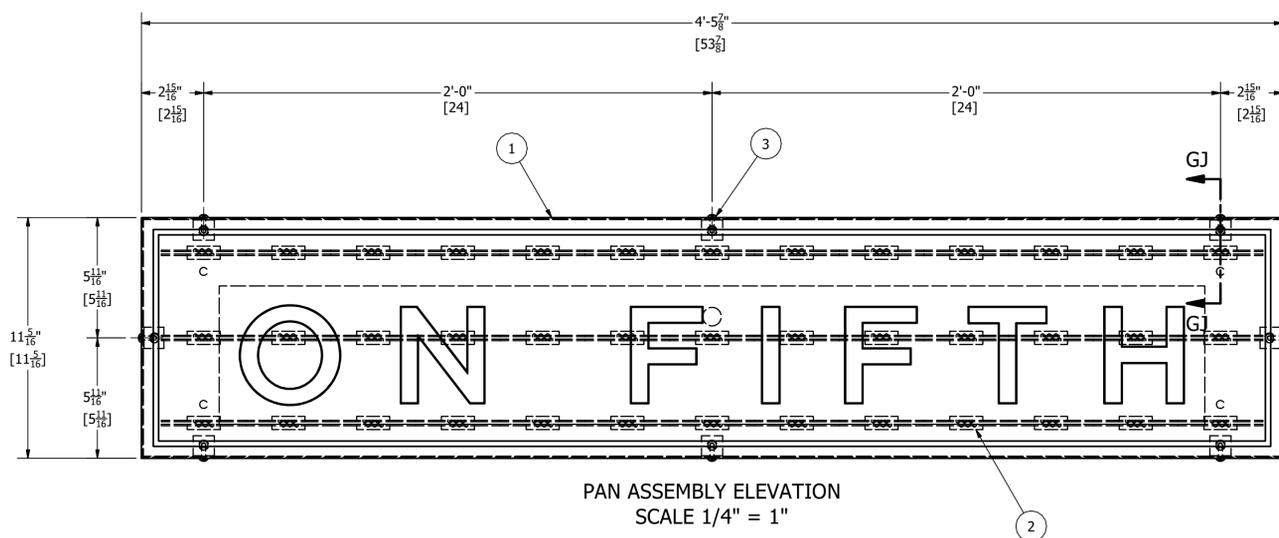
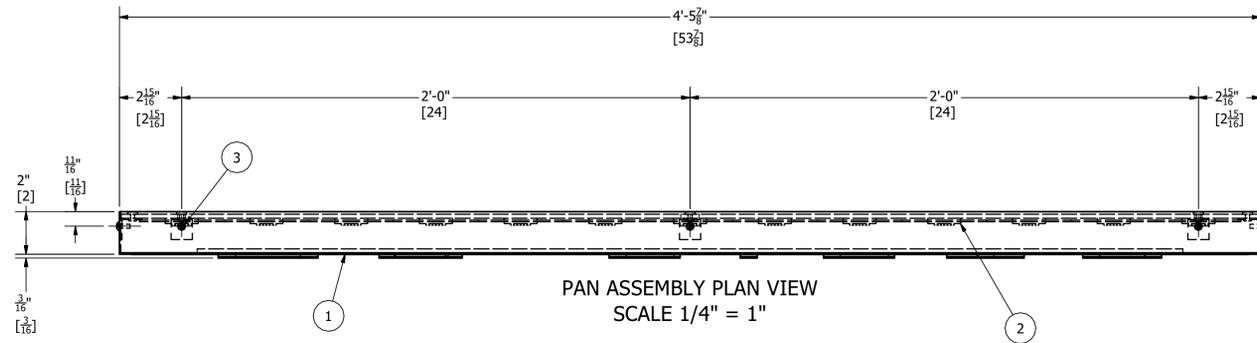
Signage Note: Bunting Graphics is not responsible for determining or furnishing the Primary Electrical Service required for devices shown within these drawings.

Drawing #:  
**C.C\_3**

PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
1	1	68849 C Pan Front Assembly.	
2	1	68849 C Pan Back Assembly.	
3	8	HD #10-24 Type 18-8 SST. Pan Head Machine Screw.	1/2" Long



PAN ASSEMBLY PERSPECTIVE  
 SCALE 3/8" = 1"



C:\Vault\Bunting\_Vault\68849 University of Pittsburgh\68849 Sign Type C\68849 Sign Type C Construction Drawings.dwg

Architect/Engineer/Designer:  
 Lami Grubb Architects

Client:  
 University of Pittsburgh

Project Name:  
 Pitt Book Store x4530  
 Sign Type C

Project Location:  
 Pittsburgh, PA

Finish Notes:

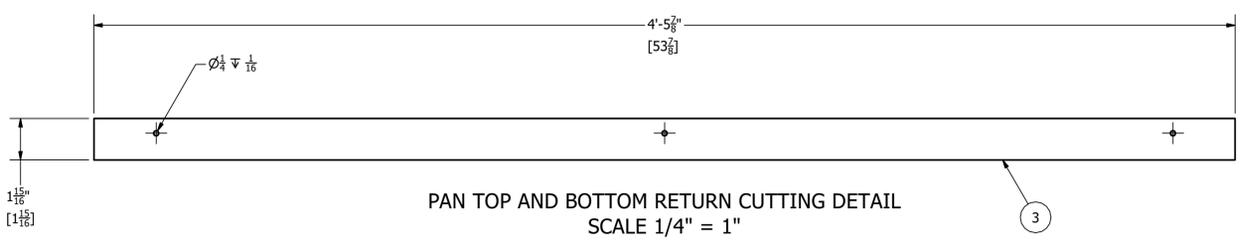
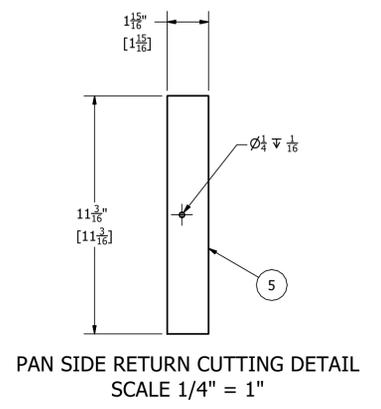
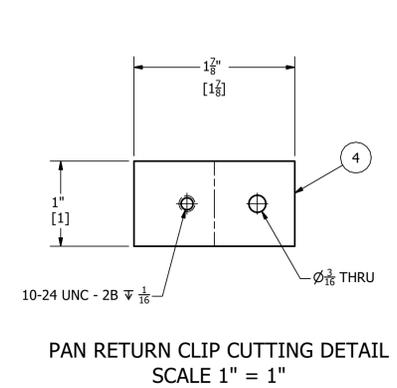
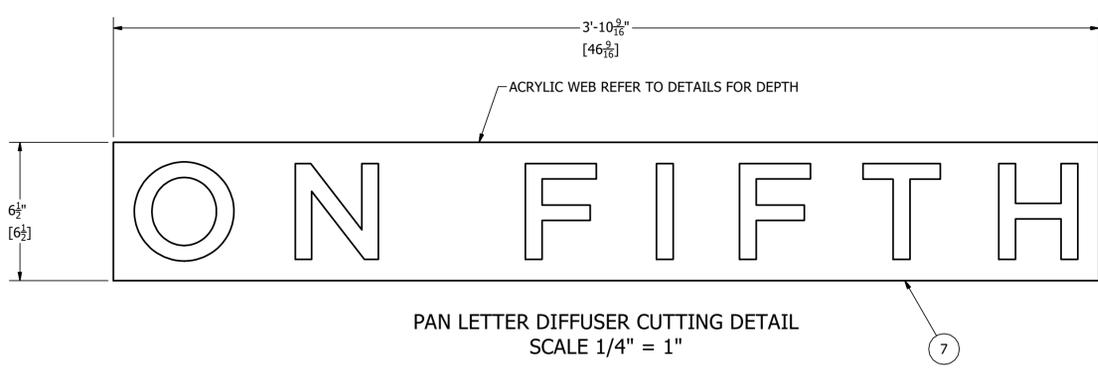
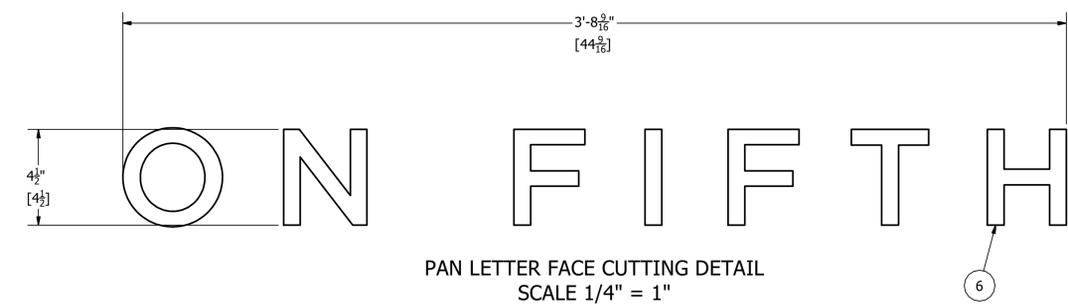
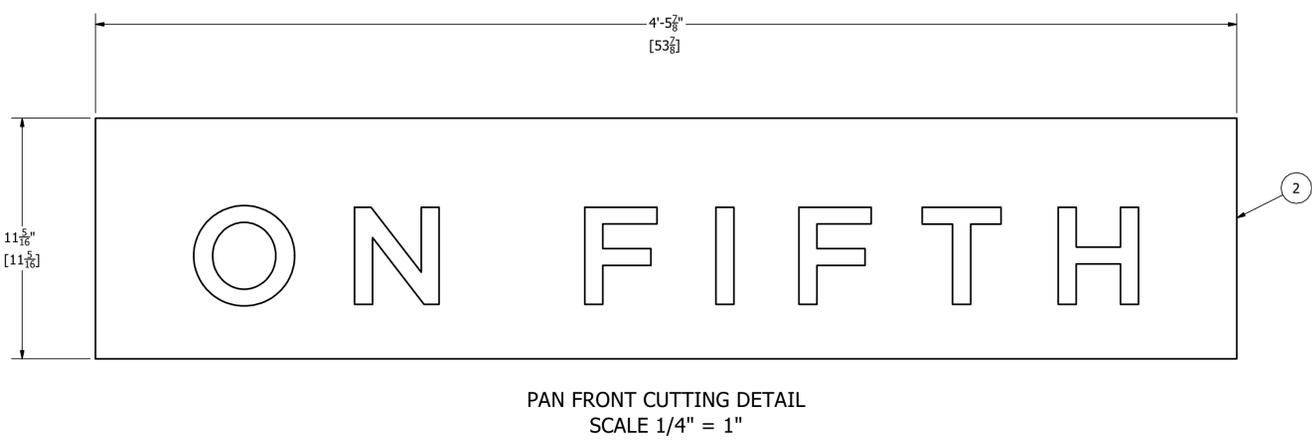
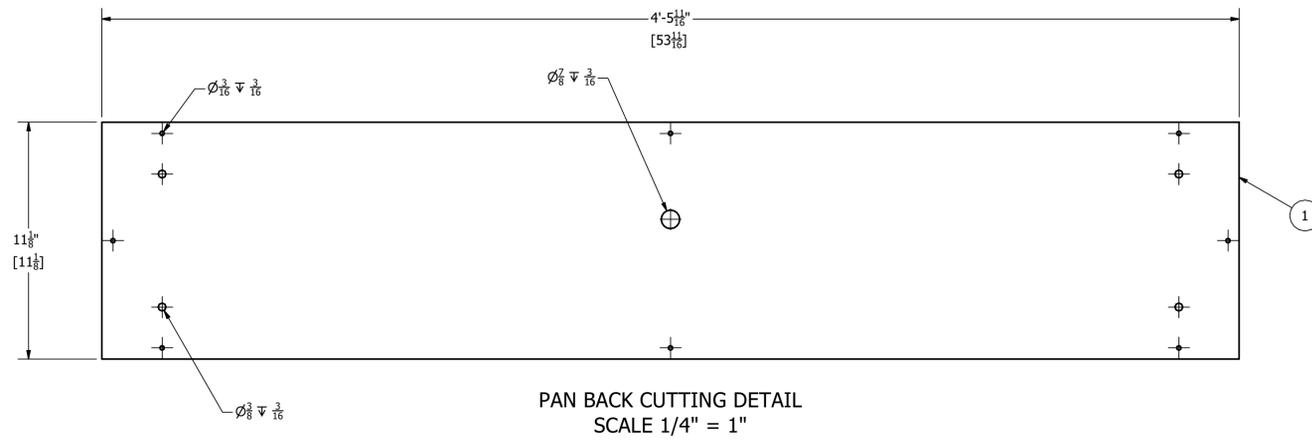
DO NOT SCALE OFF DRAWING

This drawing was prepared in accordance with the information submitted. changes to drawings may incur charges as stated in the price list.

Signed approval of submitted drawing is required prior to manufacture. Approval of drawing acknowledges that it is correct and supersedes all previous sets of drawings and/or specifications related to this order. Any changes, corrections or remakes of products manufactured in accordance with approved drawings will be a purchaser's expense.

Confidential and proprietary information of Bunting Graphics, Inc. may not be used or reproduced without Bunting's written consent. No part of this drawing, design, arrangement or idea thereon shall be duplicated or used without express written permission of Bunting Graphics.

Signage Note: Bunting Graphics is not responsible for determining or furnishing the Primary Electrical Service required for devices shown within these drawings.



PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
1	1	ACR 3/16" Thick Clear Lexan.	

PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
2	1	16 Gauge 304 SST.	

PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
3	2	16 Gauge 304 SST.	

PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
4	8	16 Gauge 304 SST.	

PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
5	2	16 Gauge 304 SST.	

PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
6	1 SET	AS 0.063" Thick Alloy 5052-H32 Aluminum Sheet.	

PARTS LIST			
ITEM	QTY	PART NUMBER	DESCRIPTION
7	1	ACR 3/8" Thick #2447 Translucent White Acrylic.	

Sales Order #: 68849

Bunting Graphics, Inc.  
20 River Road  
Verona, PA 15147  
Tel. - 412-820-2200  
Fax - 412-820-4404  
e-mail: sales@buntinggraphics.com

Project Manager: ST  
Project Engineer: JL  
Drawn By: SJ  
Checked By:  
Check Date:

Architect/Engineer/Designer: Lami Grubb Architects

Client: University of Pittsburgh

Project Name: Pitt Book Store x4530 Sign Type C

Project Location: Pittsburgh, PA

Finish Notes:

DO NOT SCALE OFF DRAWING

This drawing was prepared in accordance with the information submitted. changes to drawings may incur charges as stated in the price list.

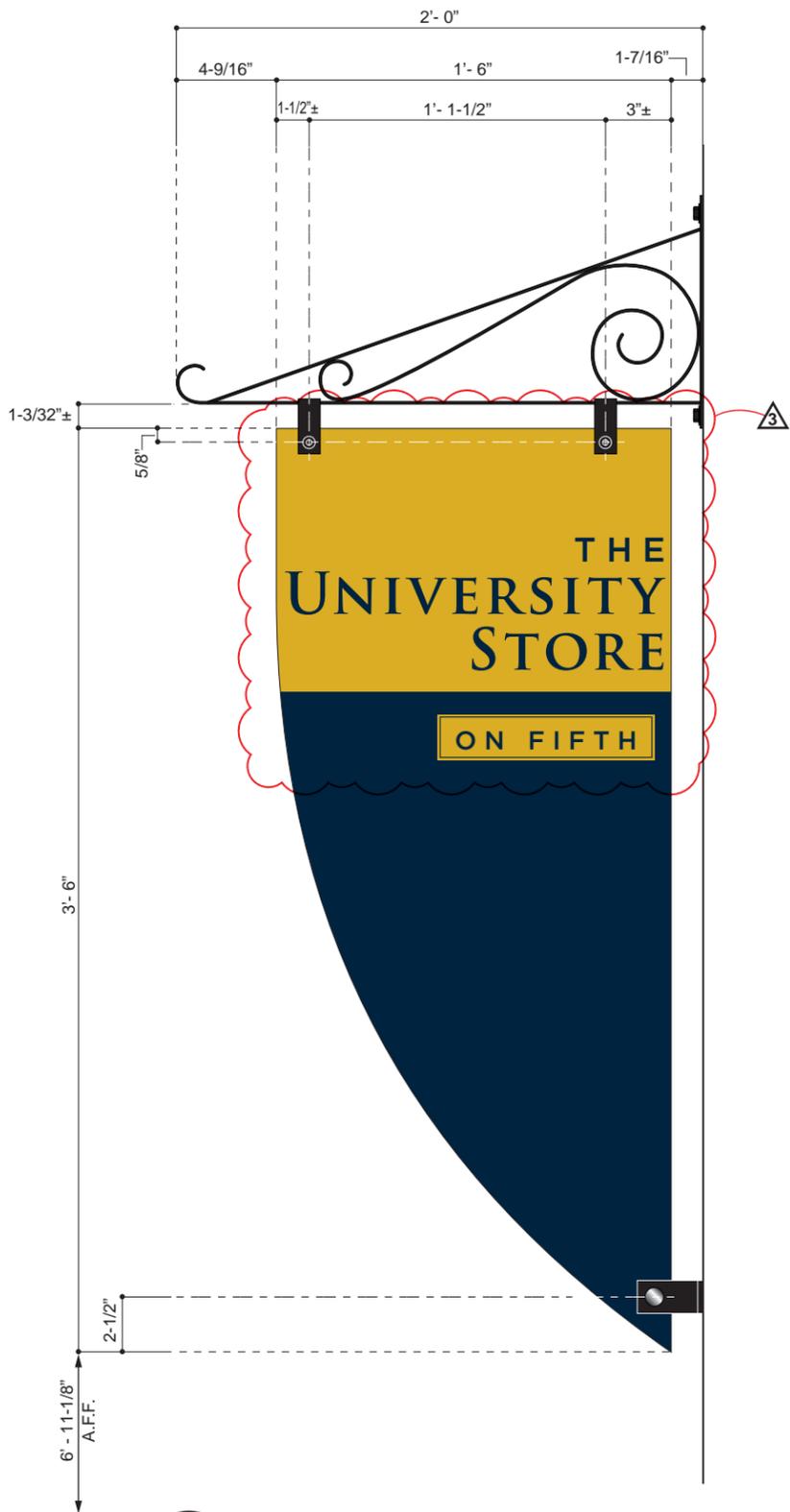
Signed approval of submitted drawing is required prior to manufacture. Approval of drawing acknowledges that it is correct and supersedes all previous sets of drawings and/or specifications related to this order. Any changes, corrections or remakes of products manufactured in accordance with approved drawings will be a purchaser's expense.

Confidential and proprietary information of Bunting Graphics, Inc. may not be used or reproduced without Bunting's written consent. No part of this drawing, design, arrangement or idea thereon shall be duplicated or used without express written permission of Bunting Graphics.

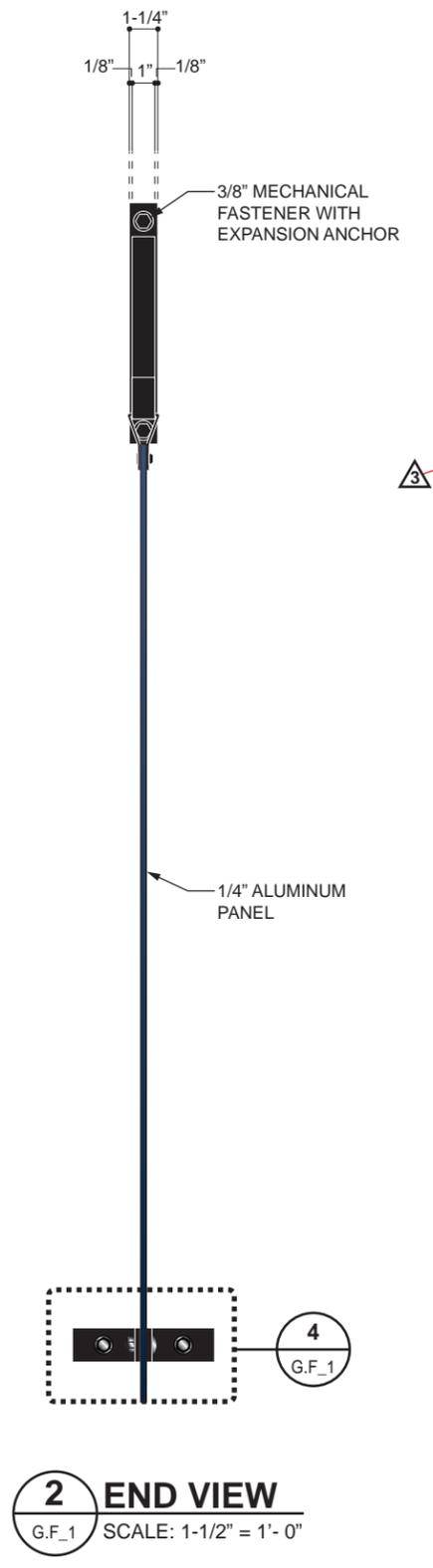
Signage Note: Bunting Graphics is not responsible for determining or furnishing the Primary Electrical Service required for devices shown within these drawings.

Drawing #: C.C\_5

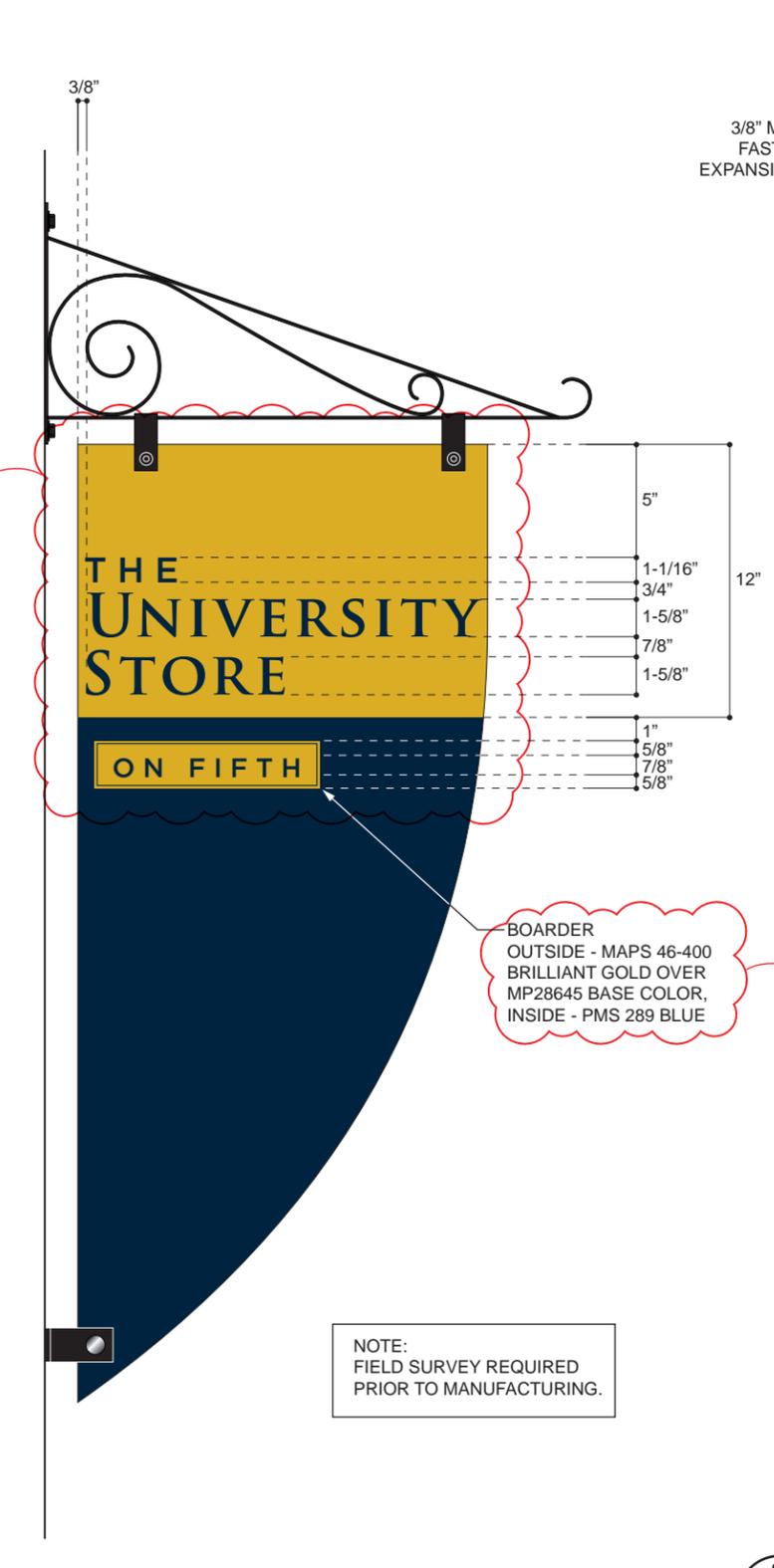
C:\Vault\Bunting Vault\68849 University of Pittsburgh\68849 Sign Type C\68849 Sign Type C Construction Drawings.dwg



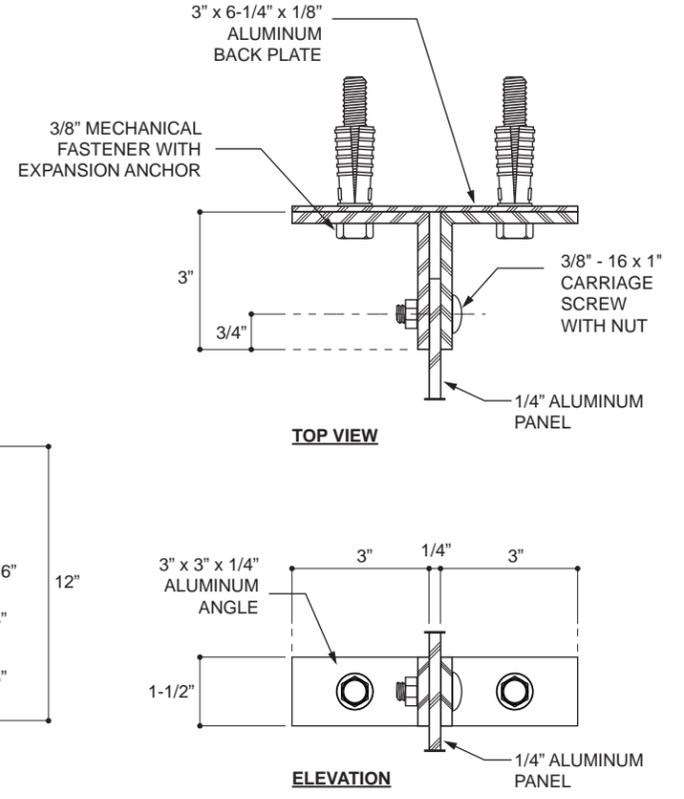
**1 TYPE F SIDE 'A' ELEVATION**  
G.F\_1 SCALE: 1-1/2" = 1'-0"



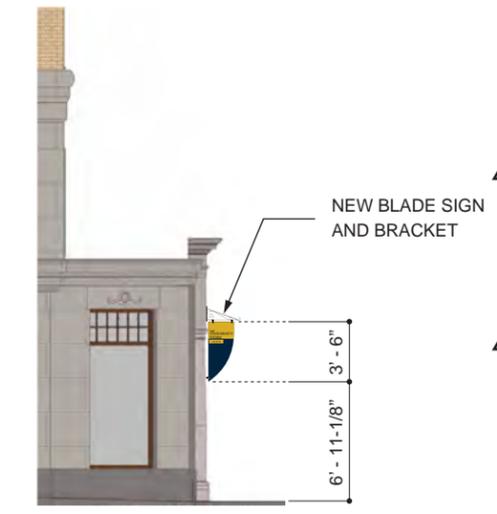
**2 END VIEW**  
G.F\_1 SCALE: 1-1/2" = 1'-0"



**3 TYPE F SIDE 'B' ELEVATION**  
G.F\_1 SCALE: 1-1/2" = 1'-0"



**4 MOUNTING CLIP DETAIL**  
G.F\_1 SCALE: 1/4" = 1"



**5 NORTH EAST DETAIL - SOUTH**  
G.F\_1 SCALE: 3/32" = 1'-0"

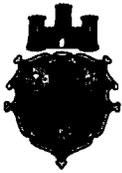
**Sales Order #:** 68849  
**Client:** University of Pittsburgh  
**Project:** Pitt Book Store x4530  
**Project Manager:** JDD / JAL  
**Drawn By:** JDD  
**Date:** 4.18.13  
**Scale:** As Noted  
**Revision:** 1 (5.24.13) mg 2 (07.10.13) hk 3 (10.28.13) mg  
**Signtype:** F  
**Quantity:** 4  
**Product Code:** Custom

Drawing Description:

**GRAPHIC & COLOR SPECIFICATIONS**

**Typestyle:** Trajan Pro Bold Gotham Medium  
**Color Specifications:**  
 SCROLL BRACKET: Painted 923 Black  
 MOUNTING HARDWARE: Painted 923 Black  
 UPPER SIGN PANEL BACKGROUND, EDGES: Painted MAPS 46-400 Brilliant Gold over MP28645 Base Color  
 LOWER SIGN PANEL BACKGROUND, EDGES: Painted to Match PMS 289 Blue  
 UPPER COPY: To Match PMS 289 Blue  
 LOWER COPY BACKGROUND: Painted MAPS 46-400 Brilliant Gold over MP28645 Base Color  
 LOWER COPY: To Match PMS 289 Blue

**Notes:**



**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

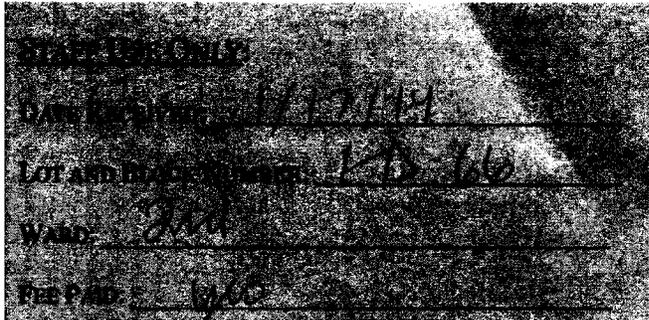
See attached. Please make check payable to: *Treasurer, City of Pittsburgh.*

**ADDRESS OF PROPERTY:**

717 Liberty Avenue / 237 7th Street  
Pittsburgh, PA 15222

**OWNER:**

NAME: PMC Property Group  
 ADDRESS: 915 Penn Ave  
Pittsburgh, PA 15222  
 PHONE: 215-681-7405  
 EMAIL: bobe@pmcpropertygroup.com



**DISTRICT:**

Penn-Liberty Historic District

**APPLICANT:**

NAME: Sean Beasley  
 ADDRESS: 925 Liberty Ave, PL 9  
Pittsburgh, PA 15222  
 PHONE: 412-606-3168  
 EMAIL: sbeasley@stradallc.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

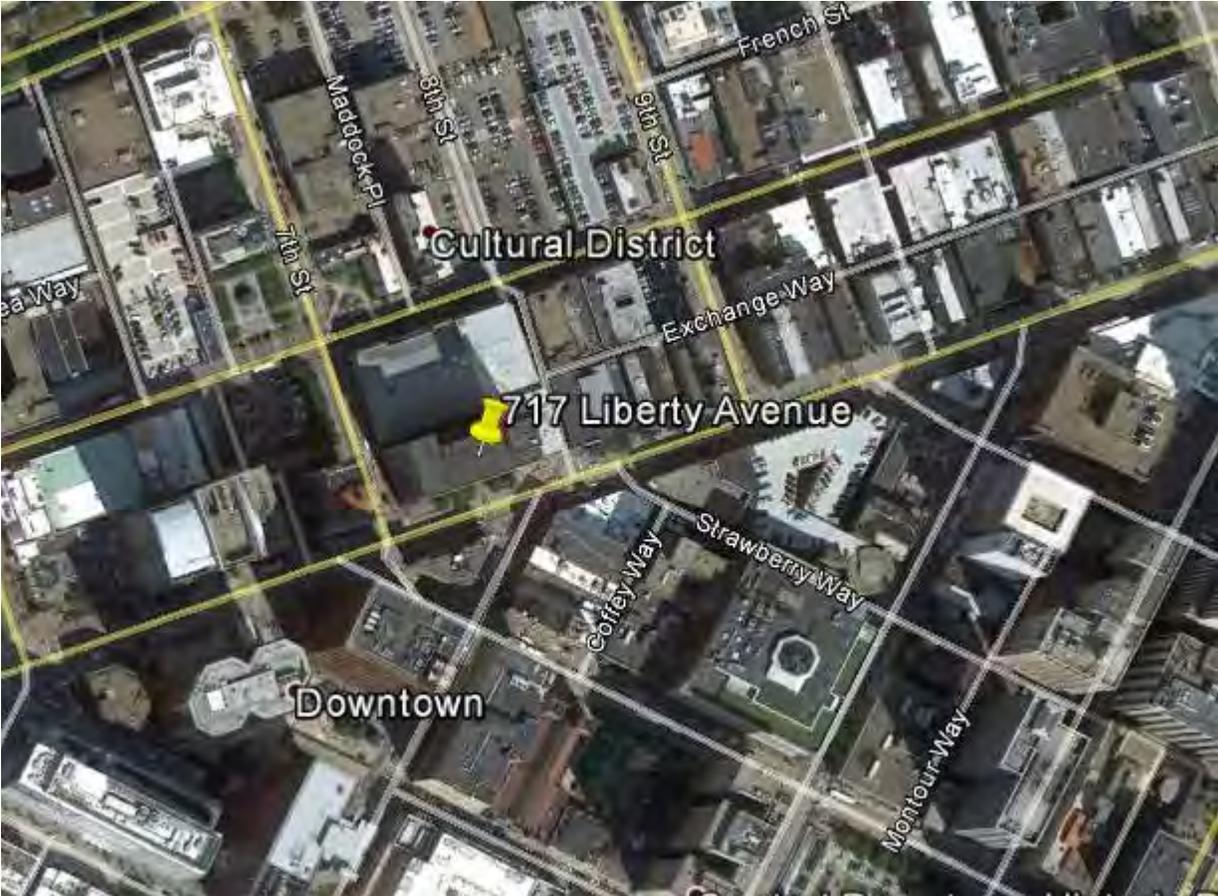
**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

A bridge addition at the mezzanine level to connect Benedum Center and the Clark Building on the 7th Street facade.

**SIGNATURES:**

OWNER: *Robert Edels* DATE: 01.17.14

APPLICANT: *Sean Beasley* DATE: 01.17.14





7th St Street View



Secondary Entrance on Liberty Ave



Secondary Entrance on Liberty Ave



7th St Looking at Benedum



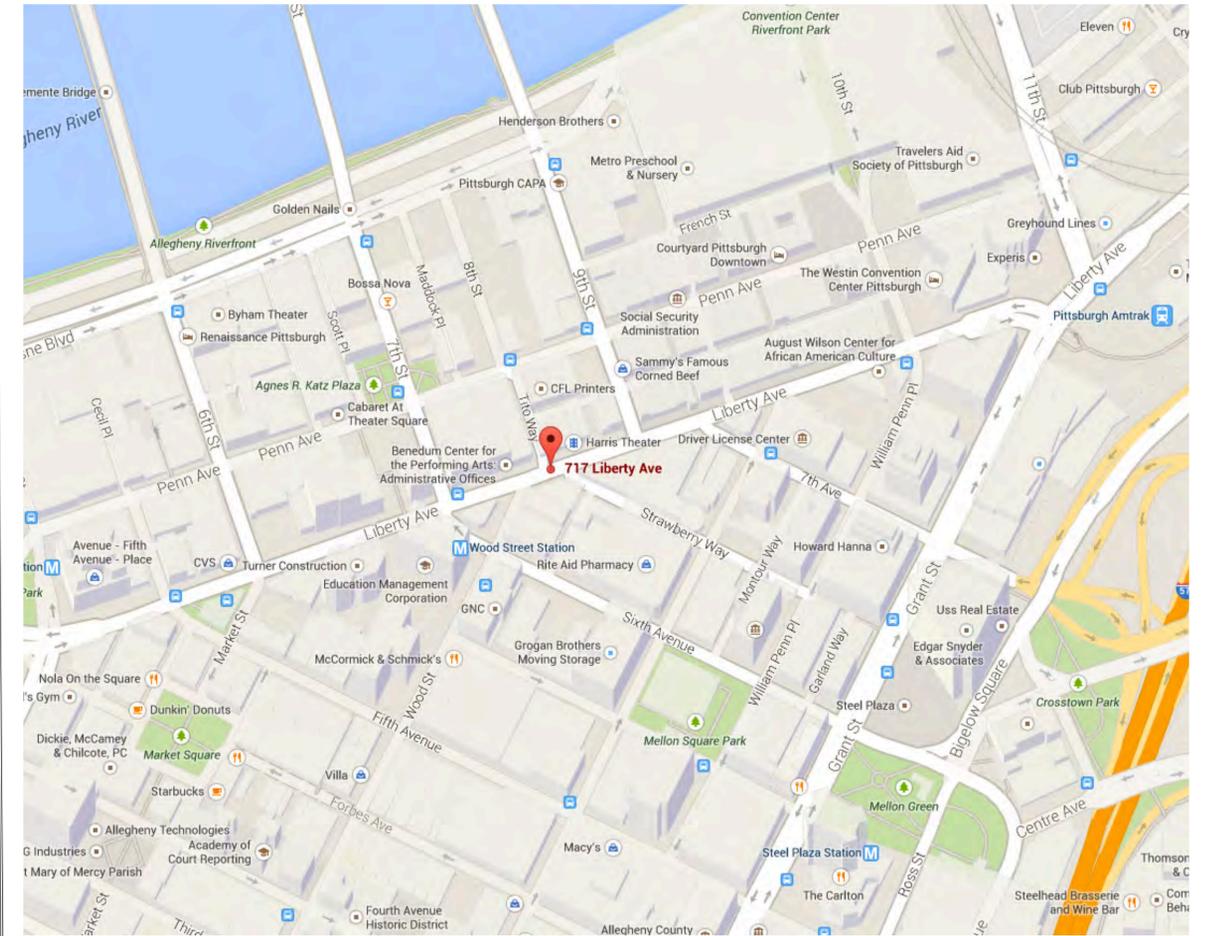
7th St Looking at Alley



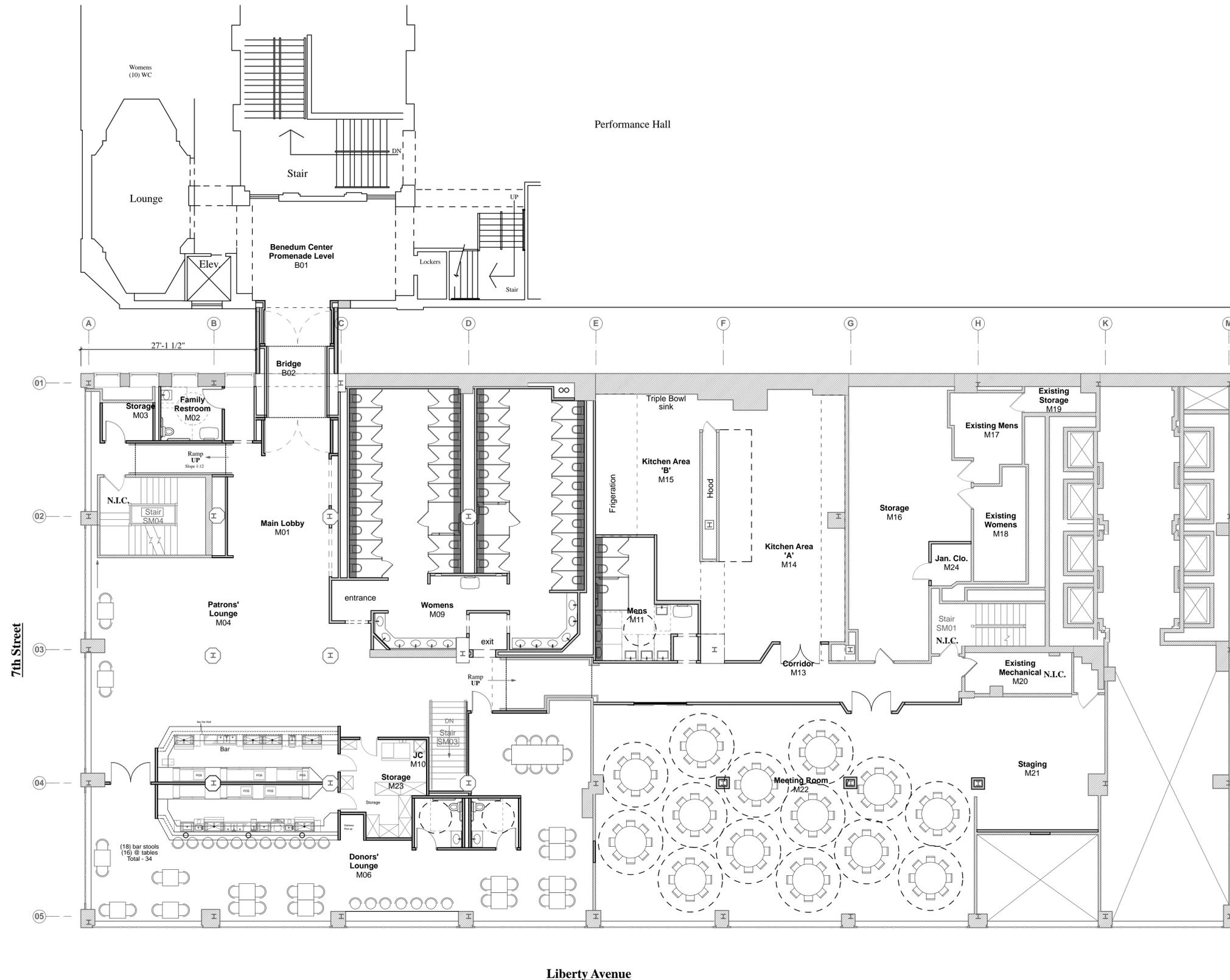
7th St Looking at Clark



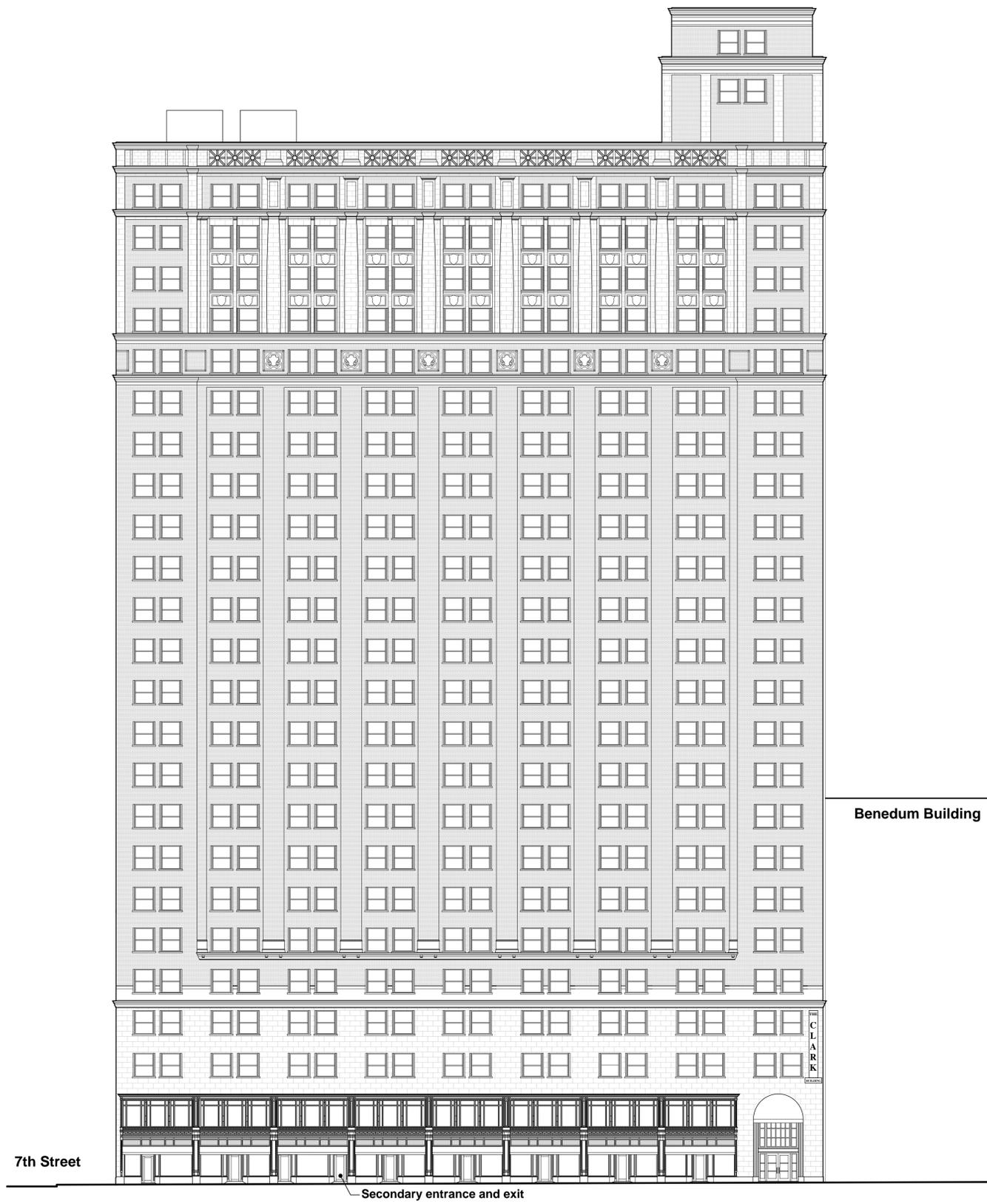
Site Plan



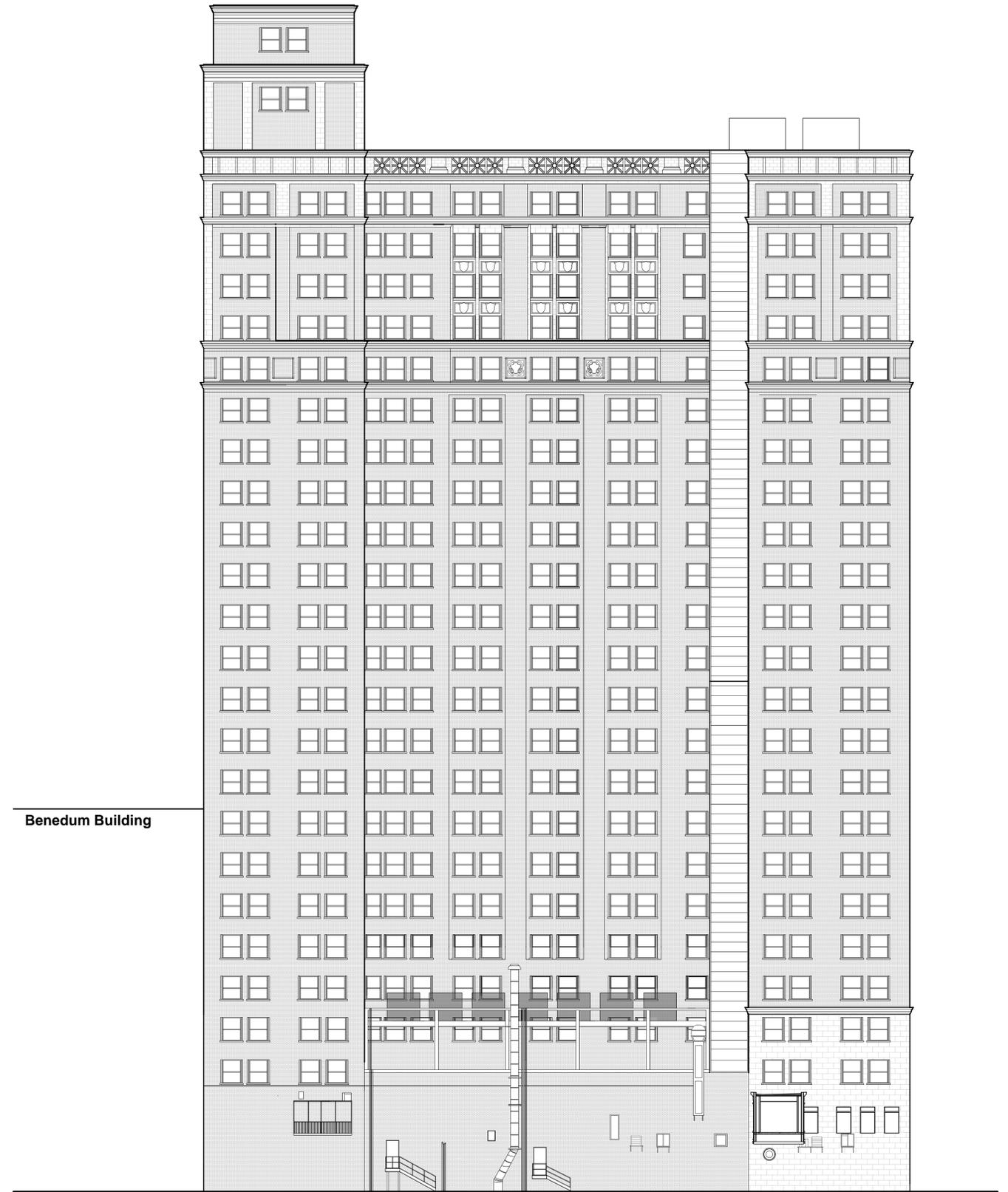
Location Map



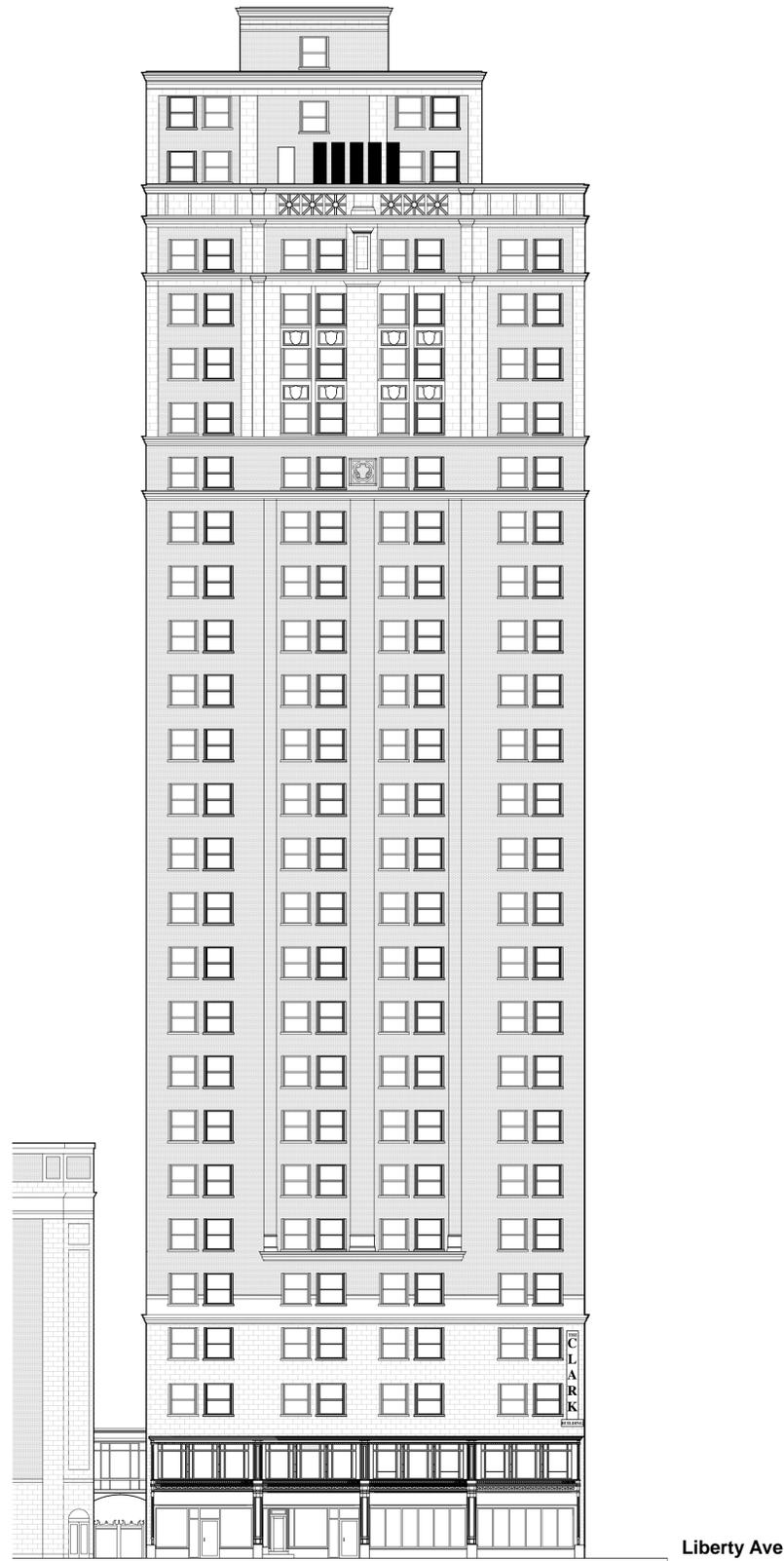
Mezzanine Floor Plan



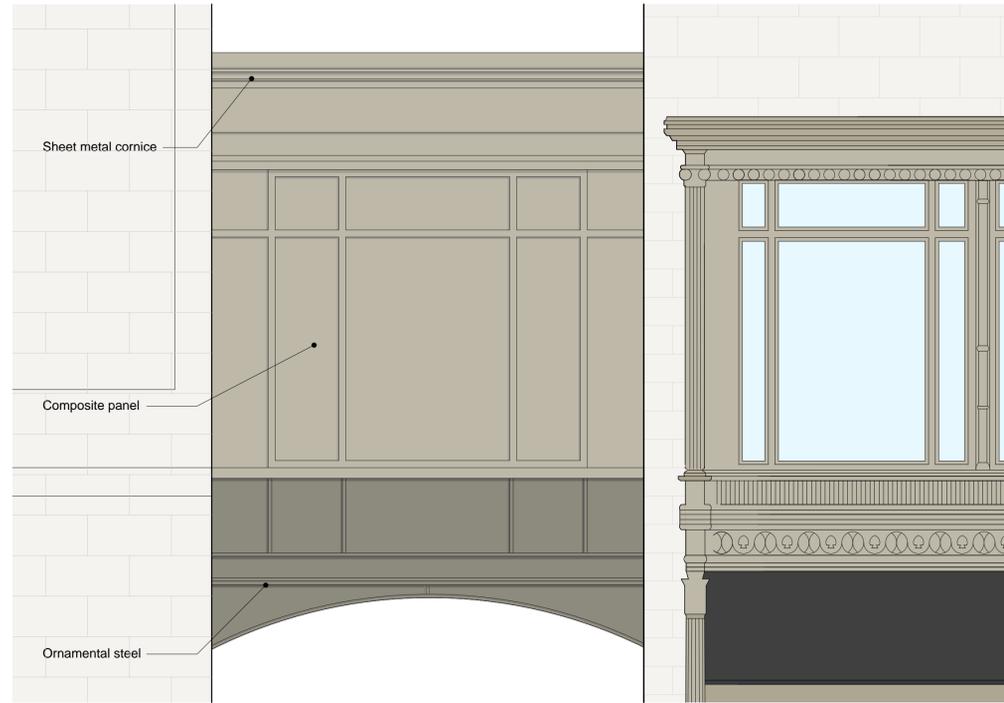
Liberty Ave Elevation



Rear Elevation



7th Street Elevation



Bridge Elevation



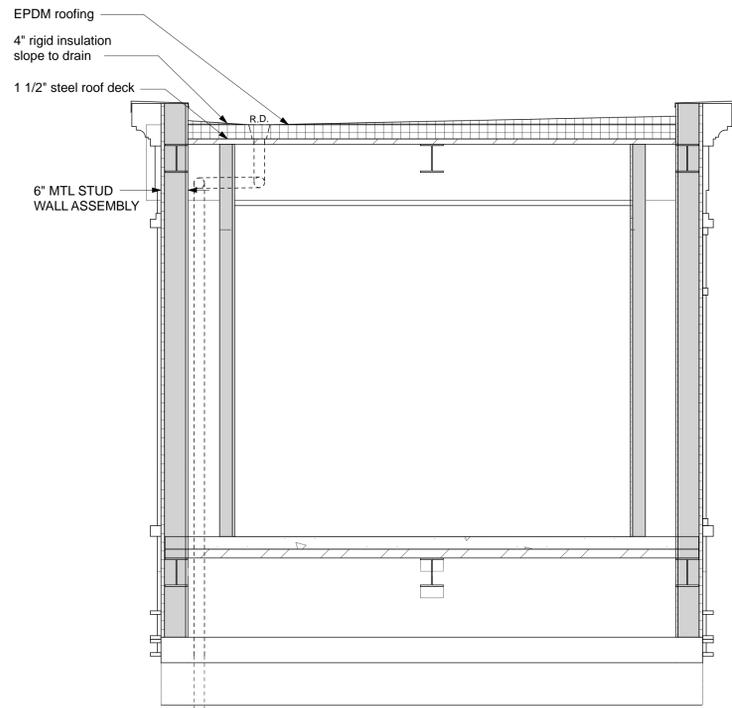
SW7508 "Tavern Taupe"



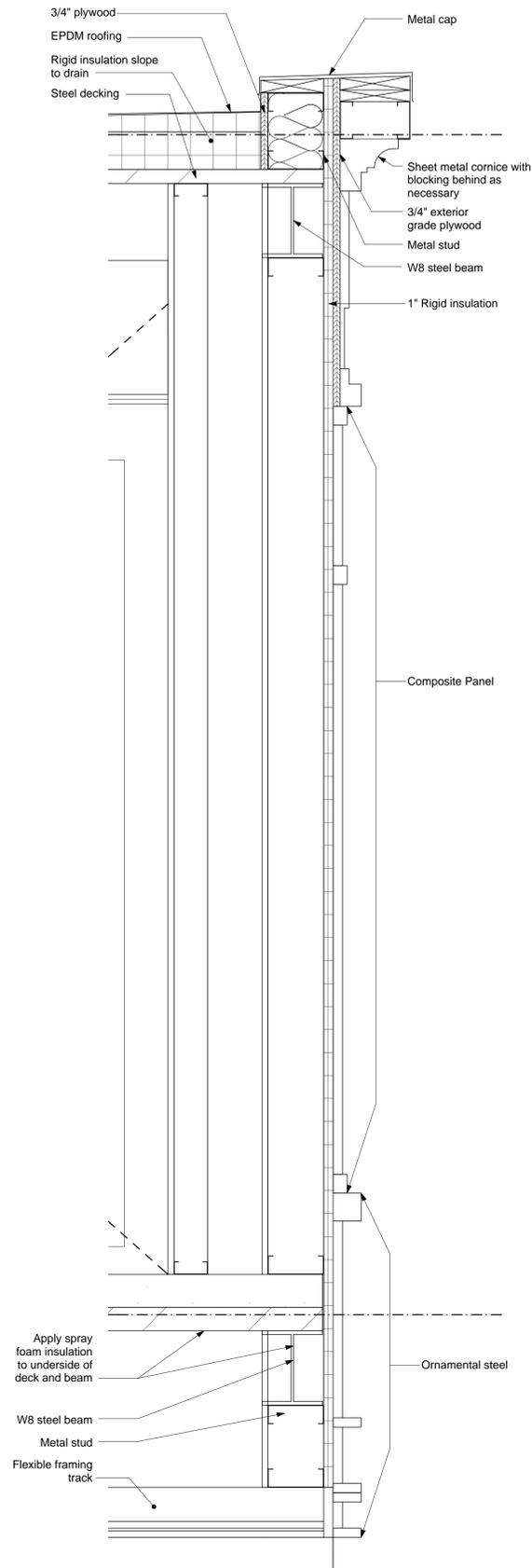
SW7046 "Anonymous"



Clark Building Window



Bridge Section - Towards Clark Building Side



Bridge Wall Section



Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

941 PENN AVENUE  
 UNIT 101  
 PITTSBURGH, PA 15222

**OWNER:**

NAME: VINCENT J QUATRAWI, JR.  
 ADDRESS: QUATRAWI RAFFERTY  
 550 E. PITTSBURGH ST, 604, PA 15201  
 PHONE: 724 837 0080  
 EMAIL: MVQ@QLEGAL.COM

**STAFF USE ONLY:**

DATE RECEIVED: 12/17/13  
 LOT AND BLOCK NUMBER: 9-N-137  
 WARD: 2nd  
 FEE PAID: 3

**DISTRICT:**

DOWNTOWN P-L

**APPLICANT:**

NAME: QUATRAWI RAFFERTY  
 ADDRESS: 550 EAST PITTSBURGH ST  
 GREENSBURG, PA 15601  
 PHONE: 724 837 0080  
 EMAIL: MVQ@QLEGAL.COM

**REQUIRED ATTACHMENTS:**

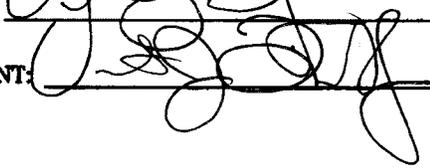
- Drawings  Photographs  Renderings  Site Plan  Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

PROJECT INVOLVES WINDOW SIGNAGE FOR NEW OFFICE AT STREET  
 LEVEL AT 941 PENN AVENUE

**SIGNATURES:**

OWNER:  DATE: 11/19/13

APPLICANT:  DATE: 11/19/13





**SIGNPRO**  
ARCHITECTURAL

483 BROWNSDALE ROAD, RENFREW, PA 16053  
ph 724.586.5600 fax 724.586.5699  
www.signproinc.com

**QUATRINI RAFFERTY**  
ATTORNEYS AT LAW

941 Penn Avenue  
Pittsburgh, PA 15222

- Approved  
 Approved as Noted  
 Revise & Resubmit

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Drawn By: CJK (chuck.kim@signproinc.com)  
Date: 10.07.13  
Project No: 194-0713  
File Name: 194-0713 QUATRINI RAFFERTY  
Revised:

**Illuminated Sign Cabinet**

**Sign Type: A-2**

**Specifications:**

Qty: 1  
Size: 16"x 89.375"x 4"  
Face Mat: Cabinet is fabricated from aluminum angle and sheet. Faces are CNC cut with push thru acrylic graphics and 1/2" aluminum graphics mount to acrylic.

**Graphics:**

CNC cut 1/2" clear acrylic push thru copy with 1/2" aluminum plate letters mounted to the face of the acrylic.

**Project Colors:**

Dark Green (Match Letterhead)  
Satin Brushed Aluminum with  
MAP Acrylic Polyurethane Clearcoat

**Type Font:**

Palatino Linotype

**Illumination:**

Illuminated using Super White LED's

- Approved
- Approved as Noted
- Revise & Resubmit

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Drawn By: CJK (chuck.kim@signproinc.com)

Date: 10.07.13

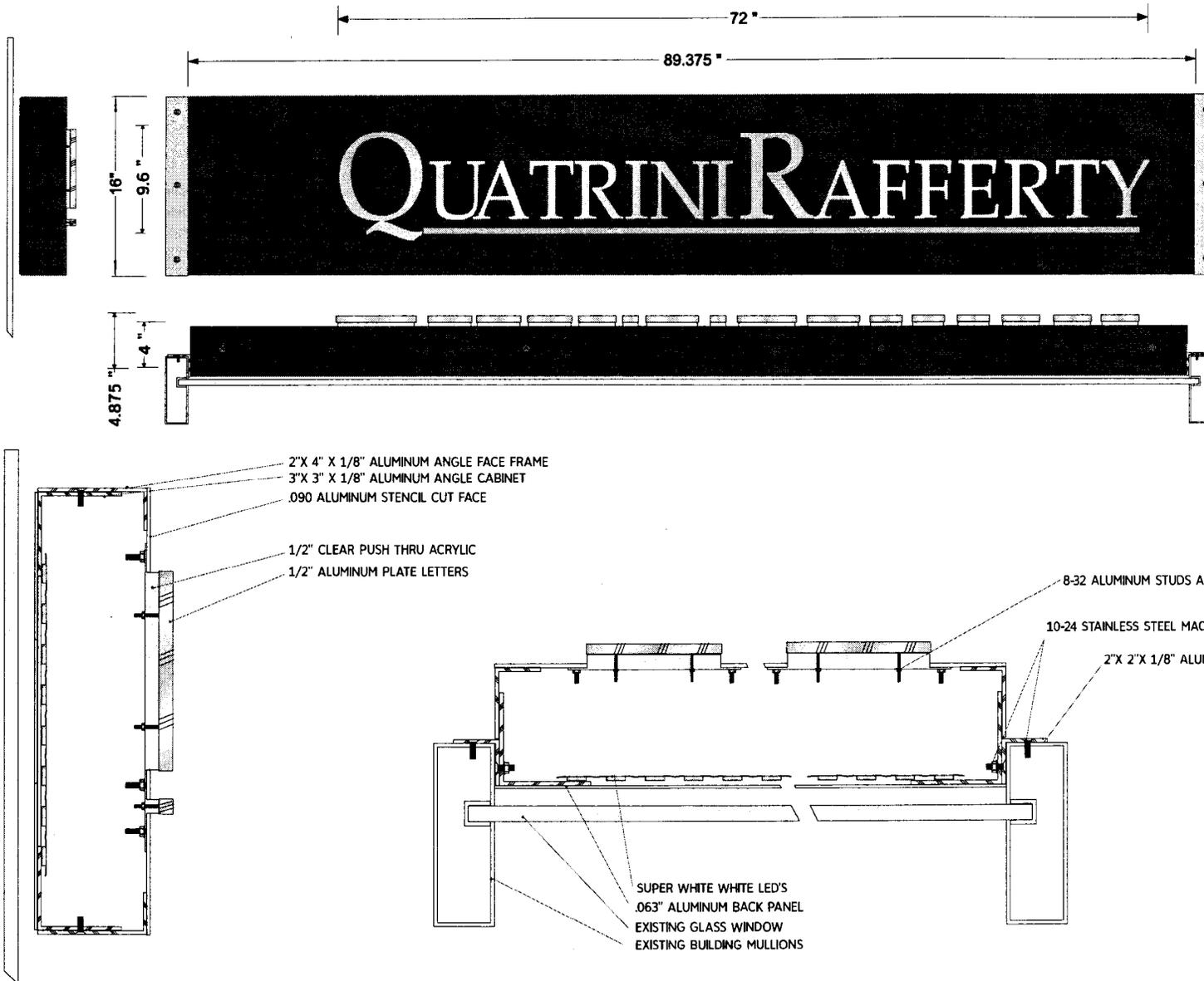
Project No: 194-0713

File Name: 194-0713 QUATRINIRAFFERTY

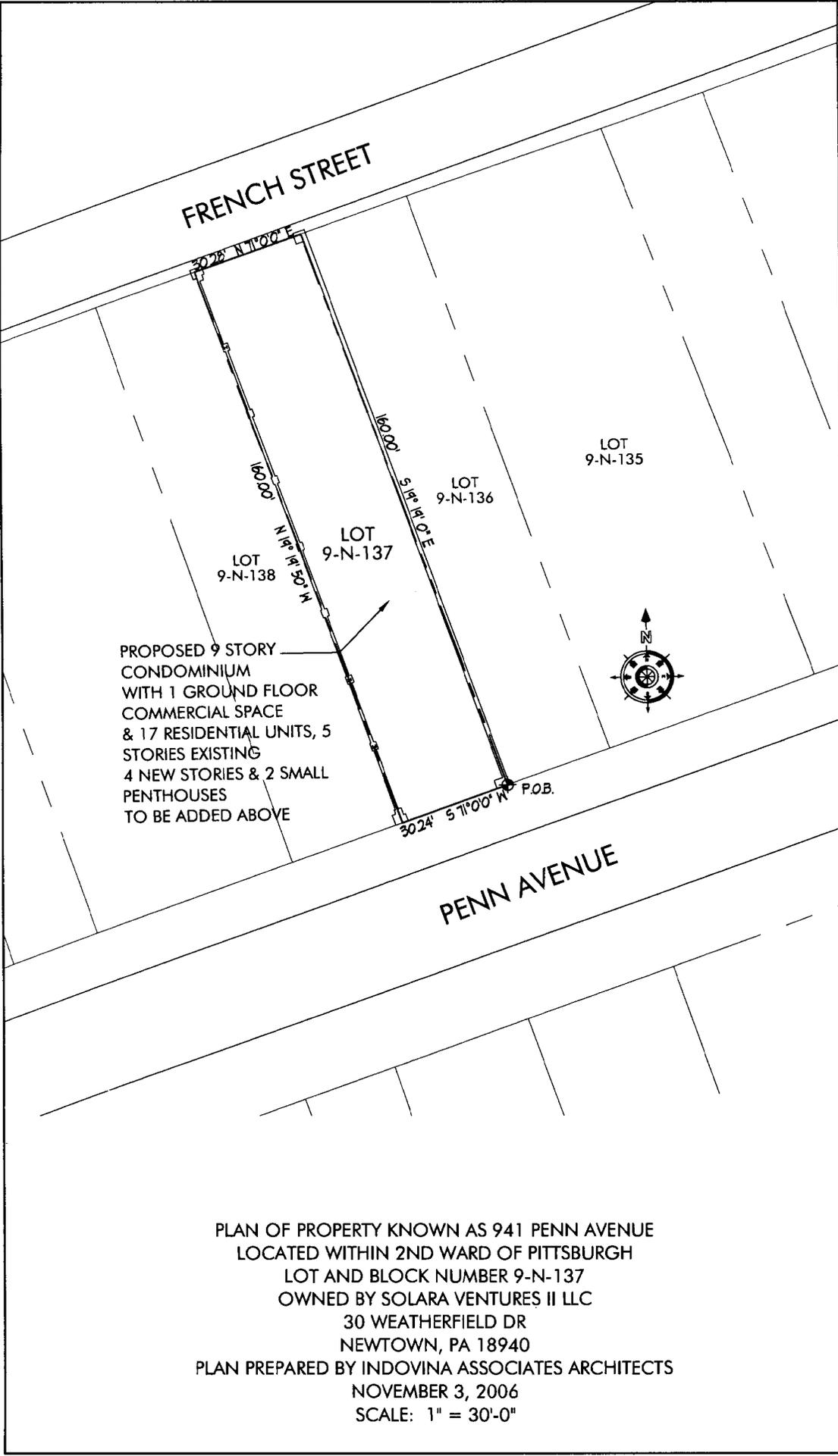
Revised: \_\_\_\_\_

Sign Type: A

Sheet No: 1

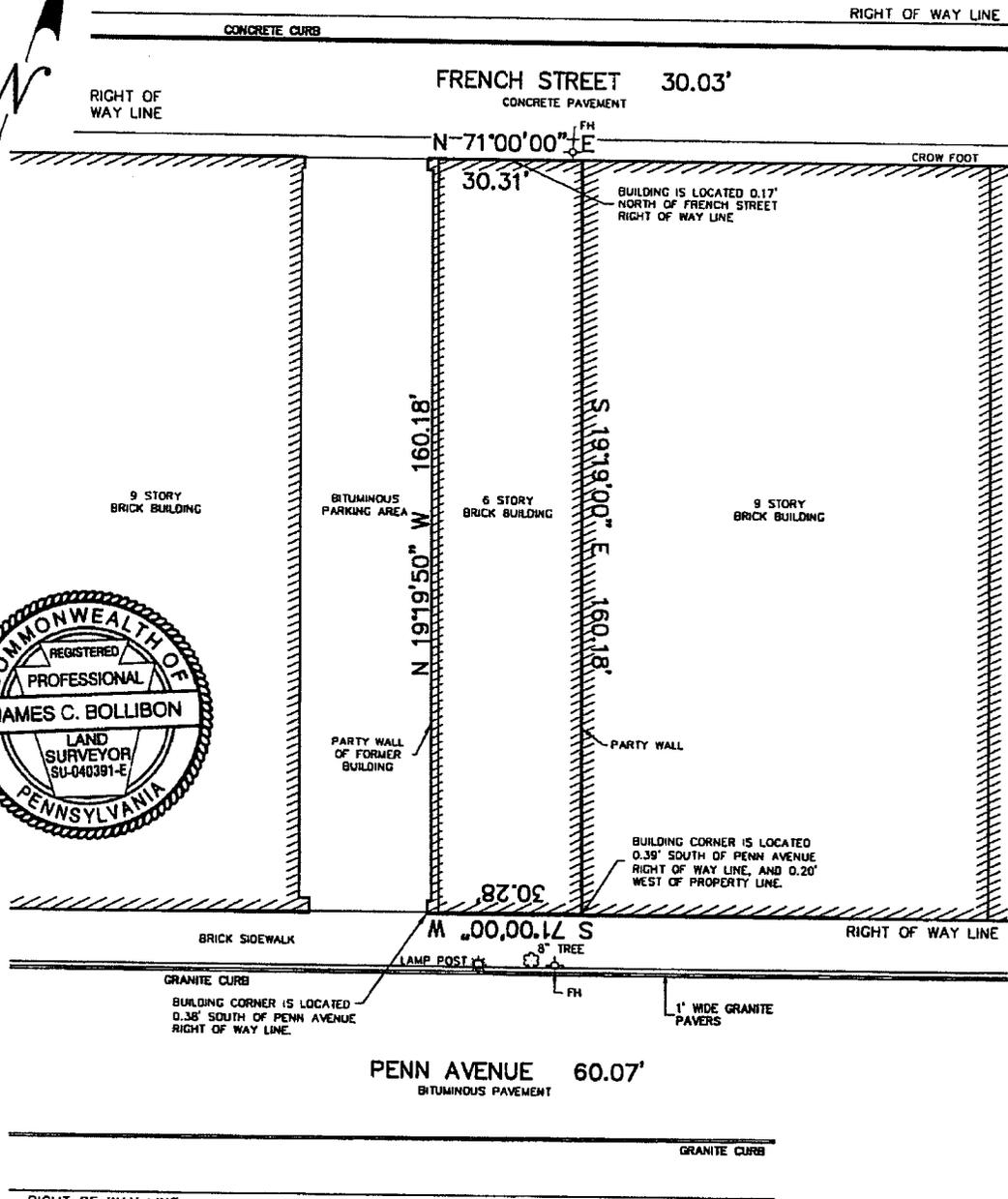


F:\2006\06-16-941-Penn\Drawings\Current\Xrefs\Site\06-16-Plot-Plan.dwg, 10/23/2008 10:28:15 AM, Adobe PDF



PROPOSED 9 STORY  
CONDOMINIUM  
WITH 1 GROUND FLOOR  
COMMERCIAL SPACE  
& 17 RESIDENTIAL UNITS, 5  
STORIES EXISTING  
4 NEW STORIES & 2 SMALL  
PENTHOUSES  
TO BE ADDED ABOVE

PLAN OF PROPERTY KNOWN AS 941 PENN AVENUE  
LOCATED WITHIN 2ND WARD OF PITTSBURGH  
LOT AND BLOCK NUMBER 9-N-137  
OWNED BY SOLARA VENTURES II LLC  
30 WEATHERFIELD DR  
NEWTOWN, PA 18940  
PLAN PREPARED BY INDOVINA ASSOCIATES ARCHITECTS  
NOVEMBER 3, 2006  
SCALE: 1" = 30'-0"



1. THIS PLAN WAS CREATED WITHOUT THE BENEFIT OF A TITLE REPORT. THE PROPERTY IS SUBJECT TO ALL RESTRICTIONS NOTED IN RECORDED DEEDS AND OR RECORDED PLANS.
2. UNLESS THIS PLAN CONTAINS THE ORIGINAL SEAL OF THE SURVEYOR RESPONSIBLE FOR ITS PREPARATION IT IS NOT AN AUTHORIZED COPY. THIS PLAN SHALL NOT BE REPRODUCED, TRANSMITTED, OR COPIED WITHOUT WRITTEN CONSENT OF THE SURVEYOR.
3. ALL DISTANCES ARE U.S. STANDARD MEASURE.

**MKA Morris Knowles**  
& Associates, Inc.  
Consulting Engineers and Land Surveyors  
443 Athena Drive  
Delmont, PA 15626  
Telephone: (724) 468-4622  
Fax: (724) 468-8940

**PLAN OF SURVEY**  
I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THIS IS A PLAN OF SURVEY MADE UPON THE PREMISES SHOWING THE LOCATION OF BUILDINGS, EASEMENTS OR SERVITUDES APPARENT FROM A SURVEY MADE ON THE GROUND.

*James C. Bollibon*

SITUATE IN:  
2ND WARD - CITY OF PITTSBURGH, COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA

AREA: 4,851.87 SQ. FT. OR 0.111 ACRE

MADE FOR: SOLARA VENTURES II, LLC.  
MADE FOR: AMERISERV FINANCIAL BANK  
MADE FOR: CHICAGO TITLE INSURANCE COMPANY

DATE: 04/17/2007	SCALE: 1" = 30'	DWN BY: C.L.C.
DWG NO.: A-25079 JOB NO.: SU-4210	BLOCK & LOT 9-N-137	CHK BY: J.C.B.
F.B. NO.: SU-17	D.B.V.: 12963	P.B.V.: N/A
PG.: 61	PG.: 558	PG. N/A