



## Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room  
May 7, 2014

### AGENDA

(Vacant), *Chairman*  
Ernie Hogan, *Acting Chairman*  
Ray Gastil, *Acting Director of Planning*  
Maura Kennedy, *Secretary, Acting Chief BBI*  
Linda McClellan  
Joe Serrao  
(Vacant)

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

*Old Business*

*New Business*

- Approval of the minutes from the April 2014 hearings
- Certificates of Appropriateness Report – April
- Applications for a Certificate of Economic Hardship – None

*Upcoming Demolitions, no action at this time*

- None

➤ **1:00 PM HEARING & ACTION**

**1. Allegheny West Historic District**  
825 Western Avenue  
Park West, owner  
Bob Baumbach, applicant  
**Façade renovations and ADA ramp**

**2. Deutschtown Historic District**  
607 Avery Street  
Perry Miranda, owner  
Bob Baumbach, applicant  
**Façade renovations**

**3. Deutschtown Historic District**  
604 Middle Street  
Peter J. Barner, owner and applicant  
**Façade renovations**

**4. Deutschtown Historic District**  
606 Middle Street  
J. Thomas Seabrooke, owner  
Michael Abel, applicant  
**Façade renovations**

**5. East Carson Street Historic District**  
1117 Bingham Street  
MAPA Real Estate Holdings, owner  
Pittsburgh Community Broadcasting Co,  
applicant  
**Extension of Certificate of  
Appropriateness for use as parking lot**

**6. East Casron Street Historic District**  
1500 Bingham Street  
Ravi Kondaveeti, owner  
JMAC Architects, applicant  
**Demolition and new construction**

**7. East Carson Street Historic District**  
855 E. Carson Street  
The Salvation Army, owner  
John A. Martine, applicant  
**Signage for new building**

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**8. East Carson Street Historic District**  
1302 E. Carson Street  
Sayer Real Estate, owner  
Ayhan Sayer, applicant  
**Storefront restoration and window replacement**

**9. East Carson Street Historic District**  
2000 E. Carson Street  
5 Oaks Development, owner  
Classic Deck Impressions, applicant  
**Construction of rooftop deck**

**10. Individual Designation – Allegheny County Morgue**  
542 Fourth Avenue  
Allegheny County, owner  
Apostolou Associates, Inc., applicant  
**Security camera installation**

**11. Market Square Historic District**  
221 Fourth Avenue  
William Benter, owner  
Stephen Mrdjenovich, applicant  
**Renovations to roof deck, awning, and siding of 19<sup>th</sup> floor unit**

**12. Market Square Historic District**  
25 Market Square  
Nick Nicholas, owner  
Sipp and Tepe Architects LLC, applicant  
**Construction of rooftop deck and railing**

**13. Oakland Square Historic District**  
3440 Parkview Avenue  
Andrea Boykowycz and Golan Levin, owners and applicants  
**Building renovations**

- **DEMOLITIONS**
- **NOMINATIONS**
- **DIRECTOR'S REPORT**
- **ADJOURNMENT**

*The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public.* INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

**Please contact Sarah Quinn with questions and comments: 412-255-2243**  
*sarah.quinn@pittsburghpa.gov*



**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

825 Western Avenue  
 Pittsburgh PA 15233

**OWNER:**

~~Star~~-Park West  
 Pittsburgh PA 15233

**APPLICANT:**

Allegany West  
 District:

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_  
 LOT AND BLOCK NUMBER: \_\_\_\_\_  
 WARD: \_\_\_\_\_  
 FEE PAID: \_\_\_\_\_

**REQUIRED ATTACHMENTS:**

Drawings  Photographs  Renderings  Site Plan  Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

(See Attached)

**SIGNATURES:**

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 APPLICANT: *Robert Baumbach* DATE: 4.17.14



**HRC Application**  
**825 Western Avenue**  
April 17, 2014

**Detailed Description of Proposed Project:**

We are proposing to address all four elevations by installing new windows throughout, restoring the primary box gutters and restoring sunroom/porch cornice.

We intend to cut and point the masonry on the front façade and spot point only as need on the side and rear elevations. Extraneous metal grates, pipes and wires would be removed.

We are proposing to install a new eave with crown mold detailing on the existing dormer and install the original pair of doors at the main entrance.

In addition, we are presenting a design for an ADA ramp on the side of the building and requesting permission to remove the chimneys which are exacerbating the bowing of the load-bearing masonry wall on the side of the building. Also on the side, we are requesting permission to maintain the existing crown detailing of the box gutters while installing half-round gutters to match an existing half-round gutter on an adjacent roof.

In the rear, we intend to install a garage door in a location that originally had a garage and we plan to replace a pair of doors.

## Project Summary Scope of Work

This property is within the City Historic District of Allegheny West and as such must follow historic guidelines for building materials and restoration techniques as established by the Historic District guidelines for Allegheny West.

The project objective is to stabilize, clean and restore the exterior building, replace/restore historic woodwork, only as needed and install historically appropriate but energy efficient windows and doors for the purposes of 1st floor storefront windows and doors. The building is currently vacant and there is a new ADA ramp for the side entrance.

The interior of the building involves selective demolition, all new MEP (mechanical/electrical/plumbing) systems, and new infill construction to provide one commercial/retail space and one apartment above.

Following is the Summary Scope of Work:

### Masonry Cleaning and Restoration

- A. Clean all masonry with a mild exterior restoration cleaner to remove soil and staining and rinse with a low pressure wash (100 - 400 psi). Use a stain remover only as needed for stubborn stains, graffiti, etc. Approve masonry cleaning and restoration product manufacturers are Dierlich, Prosser or Cathedral Stone (Iain). Architect to approve cleaning and restoration products. Restoration products must be approved prior to mock-up.
- B. Remove all abandoned fasteners, anchors, brackets, wood nailers, and any other extraneous items no longer used taking care not to spall or crack the masonry. Patch holes with a masonry patching compound, such as Jamb Mix or Mortar, tined to match masonry. Where damage to the masonry is extensive, the contractor shall be responsible for repair to joint without damaging surrounding masonry and infill with unit to match.
- C. Reconstruct Rear Masonry Wall as required, infilling existing masonry openings and providing new as indicated in plan. Reconstructed facades do not require a careful brick match as these facades are existing the start of the project. GC to identify percentages of reconstruction to be included in his bid and provide unit price for additional reconstruction on Bid Form.

### Repointing

- A. Rake out all loose and failed pointing with hand tools (no grinding permitted). Test all original grout at each building for content and duplicate with new to match historic material for content, color and joint profile. Architect to approve mock-up at each site. Means and Methods to be in accordance with historic guidelines. GC to identify quantity of repointing that's in the bid and provide Unit Pricing on Bid Form.

### Exterior Wood Trim Restoration

- A. Remove all loose paint from sound and salvageable wood trim at all cornices, storefronts and openings to be stabilized with a wood consolidant or flexible penetrating resin as needed and primed and painted with 1 undercoat of an Alkyd Exterior Primer and 2 top coats of 100% Acrylic Gloss Exterior Paint. Wood elements found to be beyond repair shall be replaced with new wood. GC to identify quantity of wood elements to be replaced and provide a Unit Price on Bid Form.

### Metal Restoration

- A. Scrape all loose paint from sound and salvageable decorative metals at cornice spires or storefronts. Patch any holes with a structural adhesive putty consistent, prime with a rust inhibitor and finish with 2 top coats.

### Roofing

- A. Remove all damaged framing and any damaged framing and sheathing as needed. Install new 1/2" thick Single Ply FROM 6 MIL Fully Adhered membrane with multi-layer Polyiso Rigid Insulation max 2" thick per layer with min. 20psi, Type II, Class I to R38 factor. Provide 3/4" T&G Plywood Sheathing as needed (See below for quantities). Note: FRT Sheathing needed 4' in and along entire edge of roof adjacent to a property line. GC to note percent of framing and sheathing to be replaced. GC to identify quantity of materials to be replaced and provide a Unit Price on Bid Form.
- B. Flashings, Caps and Copings at Storefront Cornices and Parapet Walls: TCS
- C. Flashings, Caps and Copings at Storefront Cornices and Parapet Walls: TCS

### Exterior Painting

- A. Prime and Paint with 1 undercoat of an Alkyd Exterior Primer and 2 top coats of 100% Acrylic Gloss Exterior Paint. Approved Paint Manufacturers: Benjamin Moore, PPG and Sherwin Williams. Assume 3 colors for each building

### Exterior Doors, Frames and Storefronts

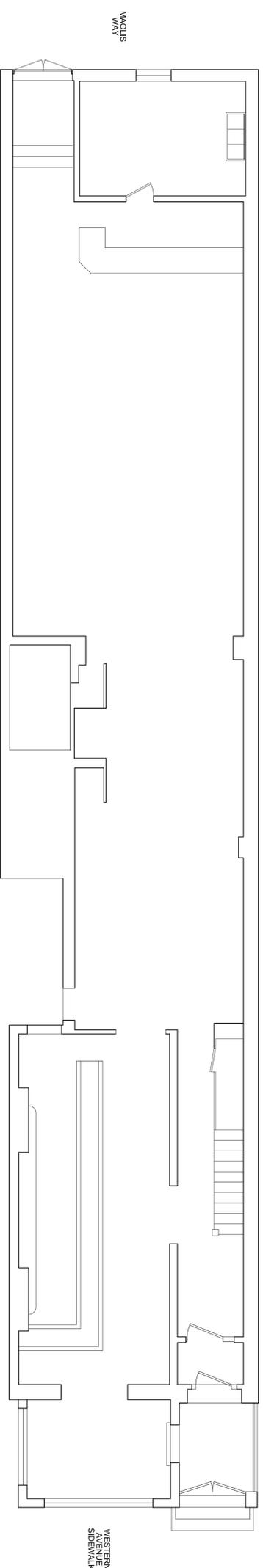
- A. The front exterior doors shall be restored and installed in their original opening. Original jamb and transom header shall be retained and restored. Side doors shall be wood-framed full-lite windows with thermo-pane glass. The rear doors shall be flush steel doors.

### Windows

- A. Remove and replace all 2nd and 3rd floor windows on front, side and rear facades as follows: Maintain restore existing wood jamba, install double hung sashes corresponding to the shape of the historic masonry opening. All window replacements shall be custom made by Allied Millwork of Pittsburgh and match historic profiles of glazing stops, etc. Sash shall be clear solid FAS Spanish Cedar. The glazing shall be 1/2" spaced Low-E insulated with dual seal spacers. Preserve both interior and exterior woodwork. All exterior woodwork shall be primed and painted with 2 coats of 100% Acrylic Gloss Exterior Paint with 2 colors required. Colors to be provided by Architect.

### Site Utilities

- B. Provide new entry service for Water, Sewer, Electric and Gas for each unit. Separate meters required for Electric and Gas only.



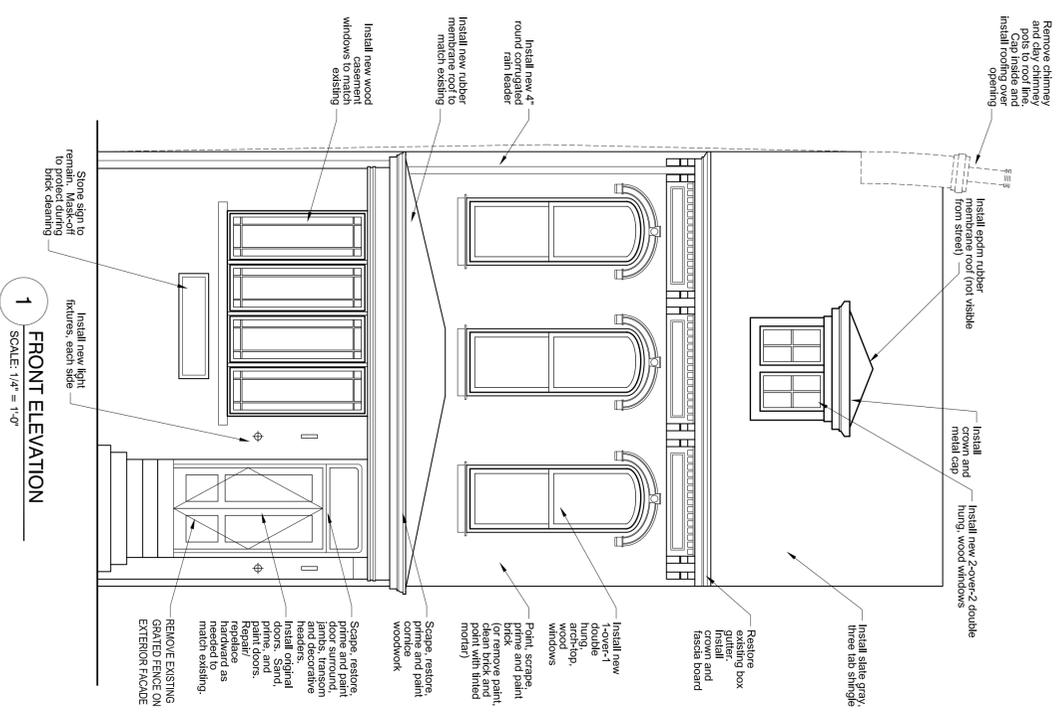
5 FIRST FLOOR  
SCALE: 3/16" = 1'-0"



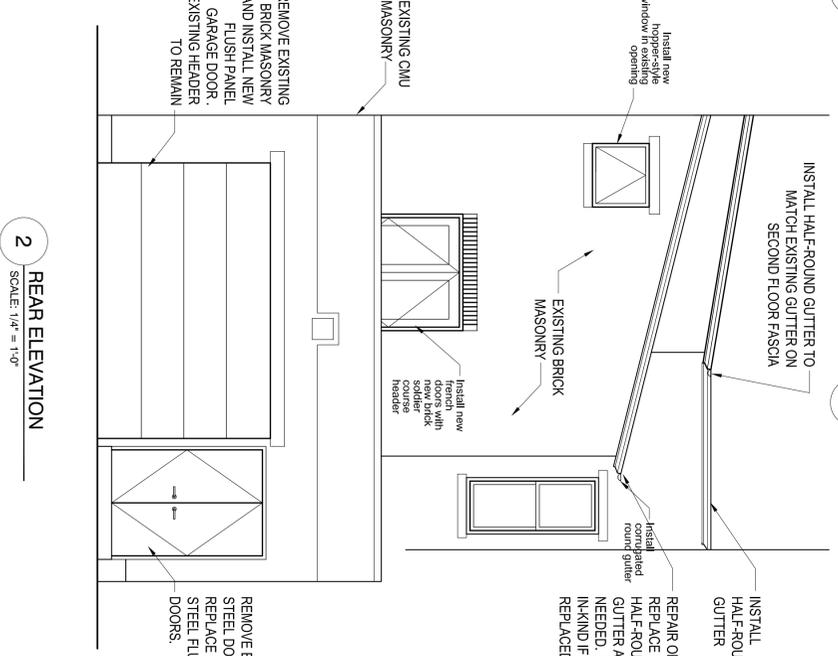
6 FRONT ELEVATION PHOTO  
SCALE: N.T.S.



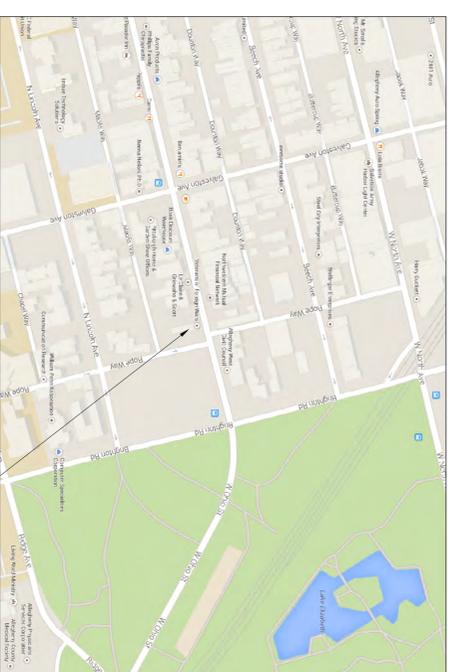
7 REAR ELEVATION PHOTO  
SCALE: N.T.S.



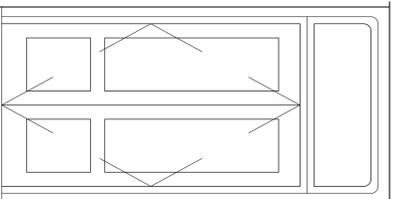
1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



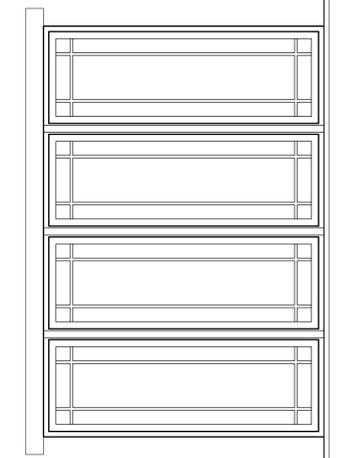
2 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



4 LOCATION MAP  
SCALE: NOT TO SCALE



3 FRONT DOORS  
SCALE: 1/2" = 1'-0"



4 NEW FRONT WINDOWS  
SCALE: 1/2" = 1'-0"

CONSTRUCTION BID SET - PRINT DATE: APRIL 17, 2014

PROPOSED EXTERIOR RESTORATION/INTERIOR RENOVATION:

825 WESTERN AVENUE  
PITTSBURGH, PA 15233  
CITY OF PITTSBURGH

NICK MASTROS  
WESTERN AVENUE  
PITTSBURGH, PA 15233

DRAWN BY: LAW SCALE: AS NOTED SHEET: A1

RobertBaumbach, ARCHITECT  
STUDIO OF DESIGN

900 MIDDLE STREET  
PITTSBURGH, PA  
41286-4425  
bob@rbaumbach.com





**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

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**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

607 AVERY STREET  
 PITTSBURGH PA 15212

**OWNER:**

PERRY MIRANDA

**APPLICANT:**

BOB BAUMBACH

**PHONE:**

412.266.4425

**EMAIL:**

bob.baumbach@comcast.net

**REQUIRED ATTACHMENTS:**

- Drawings  Photographs  Renderings  Site Plan  Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

We are proposing to restore the facade by installing new windows, door, and roof. The box gutter would be restored to match existing and the dormer would be renovated to include period appropriate windows.

**SIGNATURES:**

OWNER: *[Signature]*

DATE: \_\_\_\_\_

APPLICANT: *[Signature]*

DATE: 4.17.2014



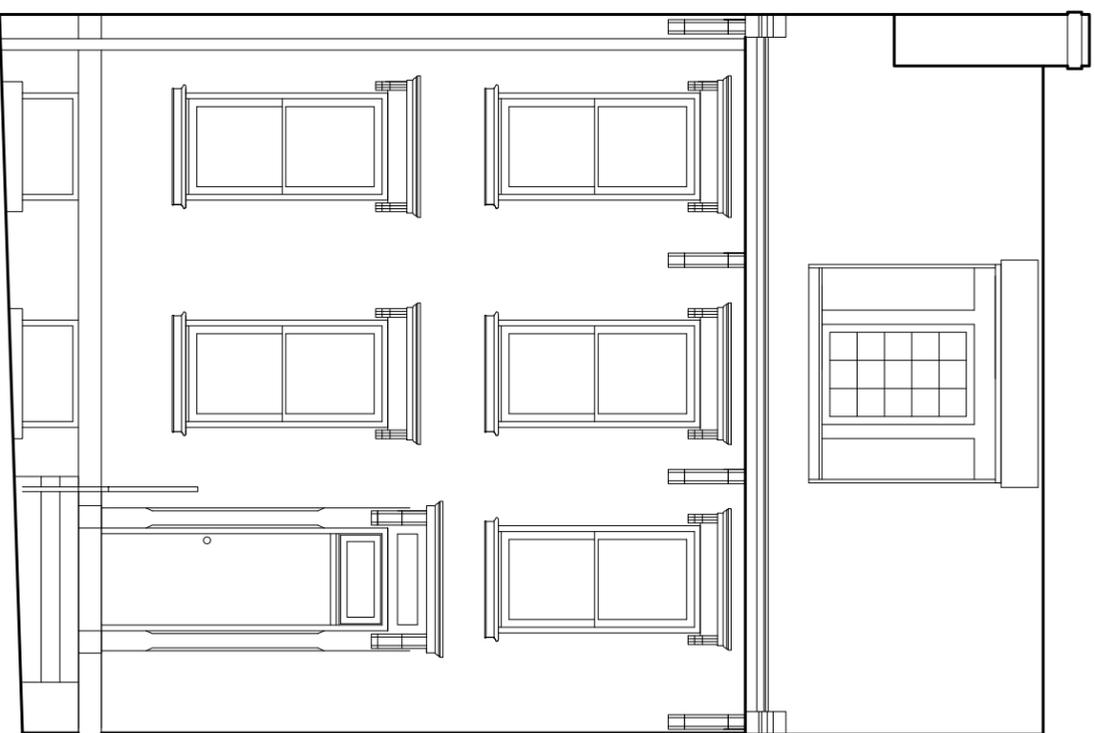
607 Avery Street



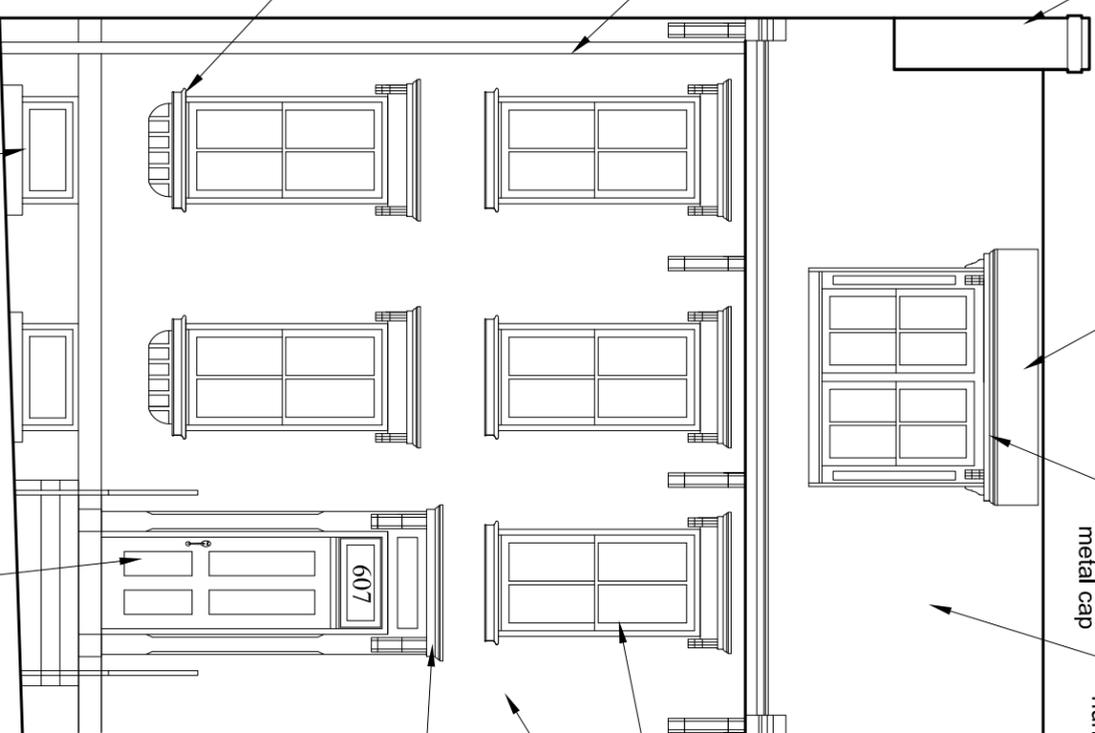
Photo of 607 Avery Street  
front door  
April 15, 2014



Photo of 607 Avery Street  
facade, looking south west  
April 15, 2014



**607 AVERY STREET  
EXISTING**



**607 AVERY STREET  
PROPOSED**

Spot point chimney as needed with mortar to match existing

Install epdm rubber membrane roof (not visible from street)

Install crown and metal cap

Install new 2-over-2 double hung, wood windows

Install slate gray, three tab shingle

Restore existing box gutter. Replace soffit to match existing. Install crown and fascia board

Install new 2-over-2 double hung, wood windows

Point, scrape, prime and paint brick (or remove paint, clean brick and point with tinted mortar)

Scape, restore, prime and paint door surround, jambs, transom and decorative headers.

Scape, restore, prime and paint all brick mold sills and decorative headers

Install corrugated round gutter

Install new hopper-style window ins existing jamb

Install new 4 panel wood door.

Install 8' gate to replace existing 8' plywood. Gate to have 3/4" pickets with wrought iron spears, 4" metal circles at 4" from top and bottom. Mount 1" tube stock w cap to each house. Install double cylinder lock in steel lock box. Prime and paint gate with high-gloss black.



Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

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**Application for a Certificate of Appropriateness**

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FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

604 Middle Street  
 Pittsburgh, PA 15212

**OWNER:**

NAME: Peter J. Barner  
 ADDRESS: 604 Middle Street  
 Pittsburgh, PA 15212  
 PHONE: (201) 600-1484  
 EMAIL: Peterjbarner@yahoo.com

STAFF USE ONLY:

DATE RECEIVED: 4/17/14  
 LOT AND BLOCK NUMBER: 24-N-226  
 WARD: 23rd  
 FEE PAID: 410

**DISTRICT:**

23 Ward/East Allegheny - Deutschtown

**APPLICANT:**

NAME: Peter J. Barner  
 ADDRESS: 7337 Austin Street APT:6K  
 Forest Hills, New York, 11375  
 PHONE: (201) 600-1484  
 EMAIL: Peterjbarner@yahoo.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Please review attached documents.

**SIGNATURES:**

✓ OWNER: P. Barner

DATE: 4-9-14

APPLICANT: \_\_\_\_\_

DATE: \_\_\_\_\_



604 Middle Street



STREET FRONT RENOVATION @  
 604 MIDDLE ST  
 PITTSBURGH, PA. 15212

REVISIONS	DATE	BY	SCALE	DATE	DRAWN BY:
NO.	DESCRIPTION		AS NOTED		DAH

PROPOSED STREET  
 FRONT RENOVATION DRAWINGS  
 604 MIDDLE ST.  
 PITTSBURGH, PA. 15212



PROJECT:  
 PROPOSED BUILDING  
 STREET FRONT RENOVATION @  
 604 MIDDLE ST  
 PITTSBURGH, PA. 15212

PREPARED FOR:  
 JAMES R. HOY CONST.  
 1322 JUNIATA ST.  
 PITTSBURGH, PA. 15233

JOB SITE MANAGER: JAMES HOY  
 PHONE: 412.491.0554  
 E-MAIL: JAMESRHOY1@GMAIL.COM

PREPARED BY:  
 SCAVE DESIGN  
 642 AGATE RD  
 PITTSBURGH, PA. 15101

PROJECT MANAGER: DAVID HYMOWITZ  
 PHONE: 937.564.2760  
 E-MAIL: DHYMOWITZ@SCAVEDESIGN.COM

SCALE	AS NOTED
DATE	31MARCH2014
DRAWN BY:	DAH

NO.	DESCRIPTION	REVISIONS	
		DATE	BY





REPAIR AND REPLACE WALK OUT DORMER

NEW WINDOWS

REMOVE AND REROUTE ALL EXISTING EXTERIOR SURFACE UTILITY LINES

NEW UTILITY SERVICES

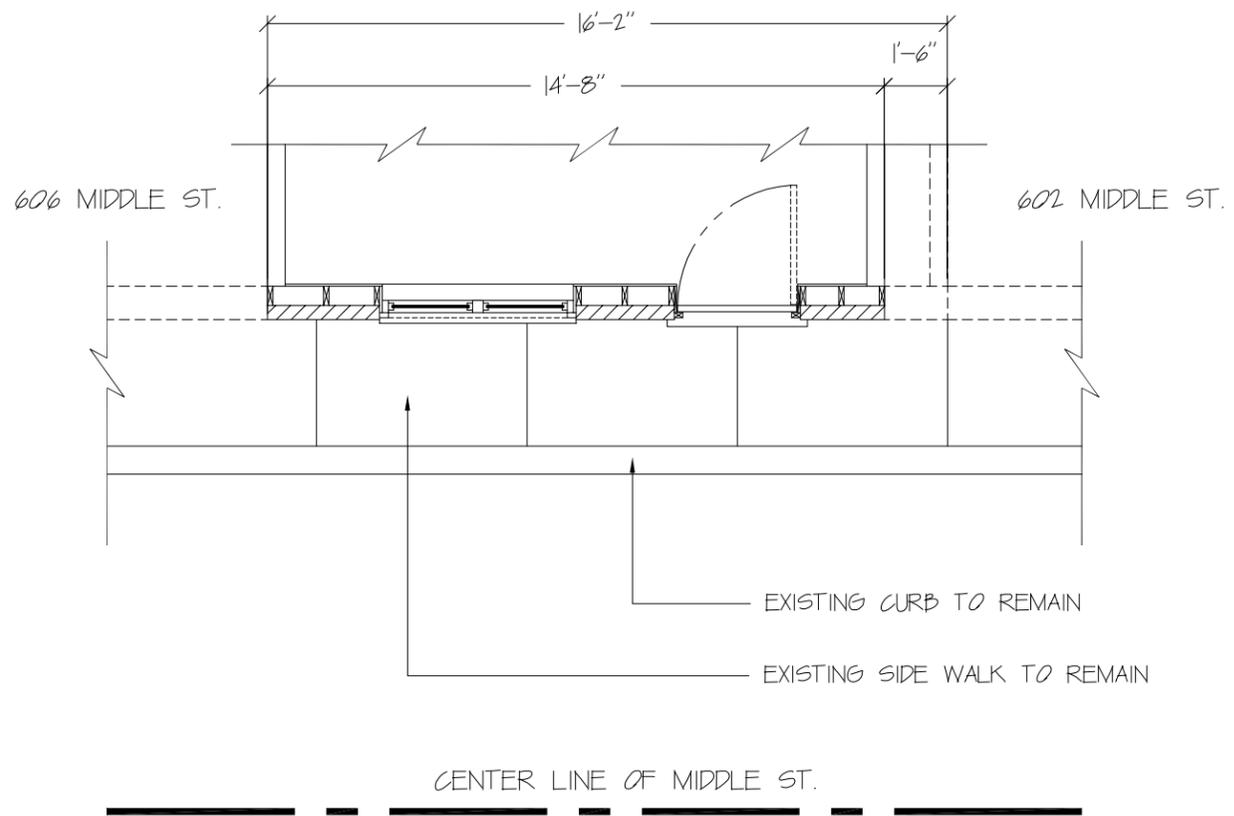
NEW EXTERIOR DOOR

JOB SITE PHOTO

DRAWN BY:	DAH
DATE	31MARCH2014
SCALE	AS NOTED
REVISIONS	
NO.	
DESCRIPTION	
DATE	
BY	

PROPOSED STREET  
 FRONT RENOVATION DRAWINGS  
 604 MIDDLE ST  
 PITTSBURGH, PA. 15212





EXISTING SITE PLAN

LOWER WINDOW & REPLACE WITH LARGER WINDOWS CENTERED IN STRUCTURE

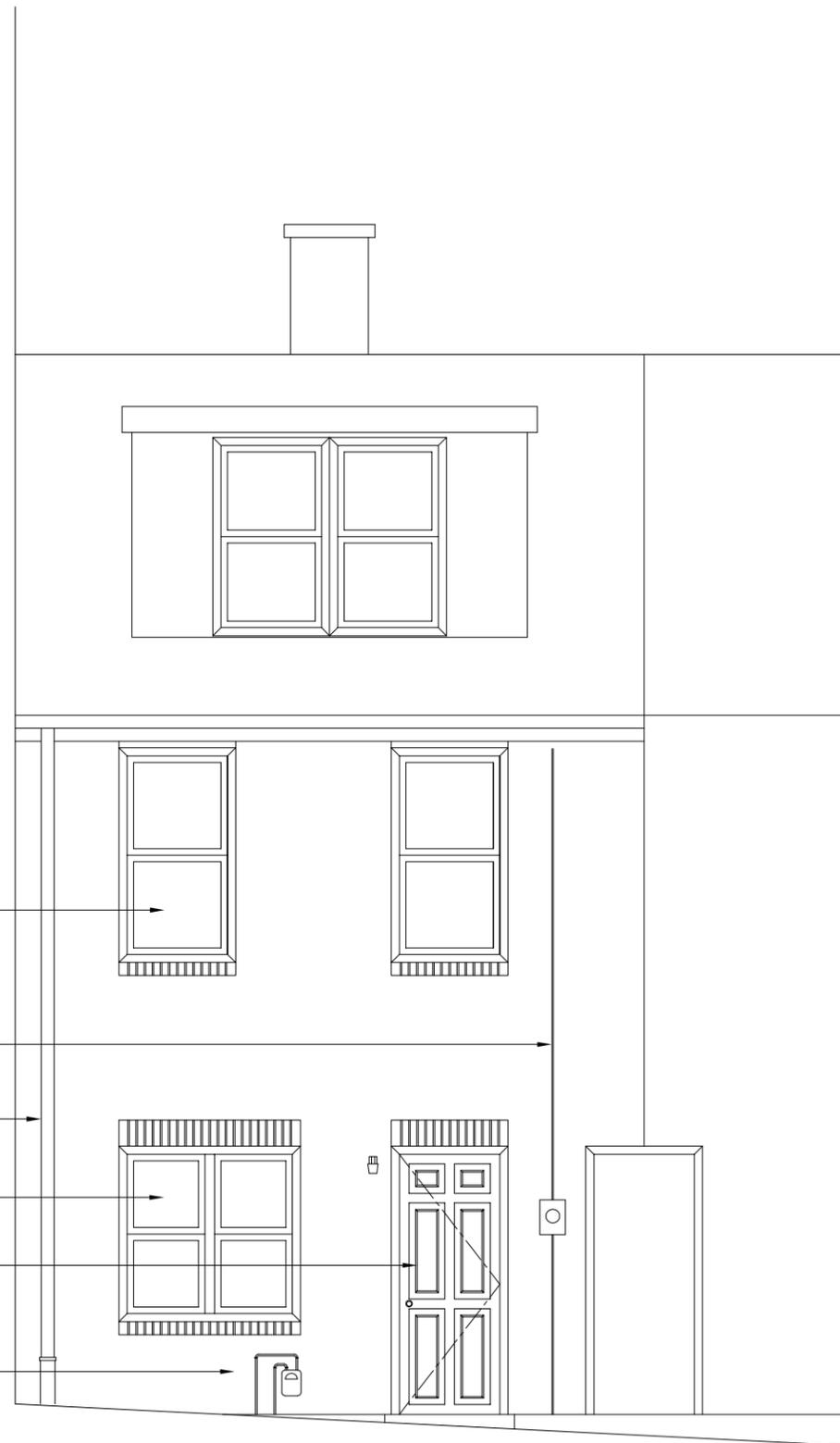
REMOVE AND RELOCATE ALL ELECTRICAL LINES & METER

NEW GUTTER SYSTEM

REMOVE WINDOW

RELOCATE ENTRY DOOR TO CENTER OF STRUCTURE

REMOVE AND RELOCATE GAS METER



EXISTING ELEVATION VIEW

DRAWN BY:	DAH
DATE	31MARCH2014
SCALE	AS NOTED
REVISIONS	
NO.	
DESCRIPTION	
DATE	
BY	

PROPOSED STREET  
FRONT RENOVATION DRAWINGS  
604 MIDDLE ST  
PITTSBURG, PA. 15212



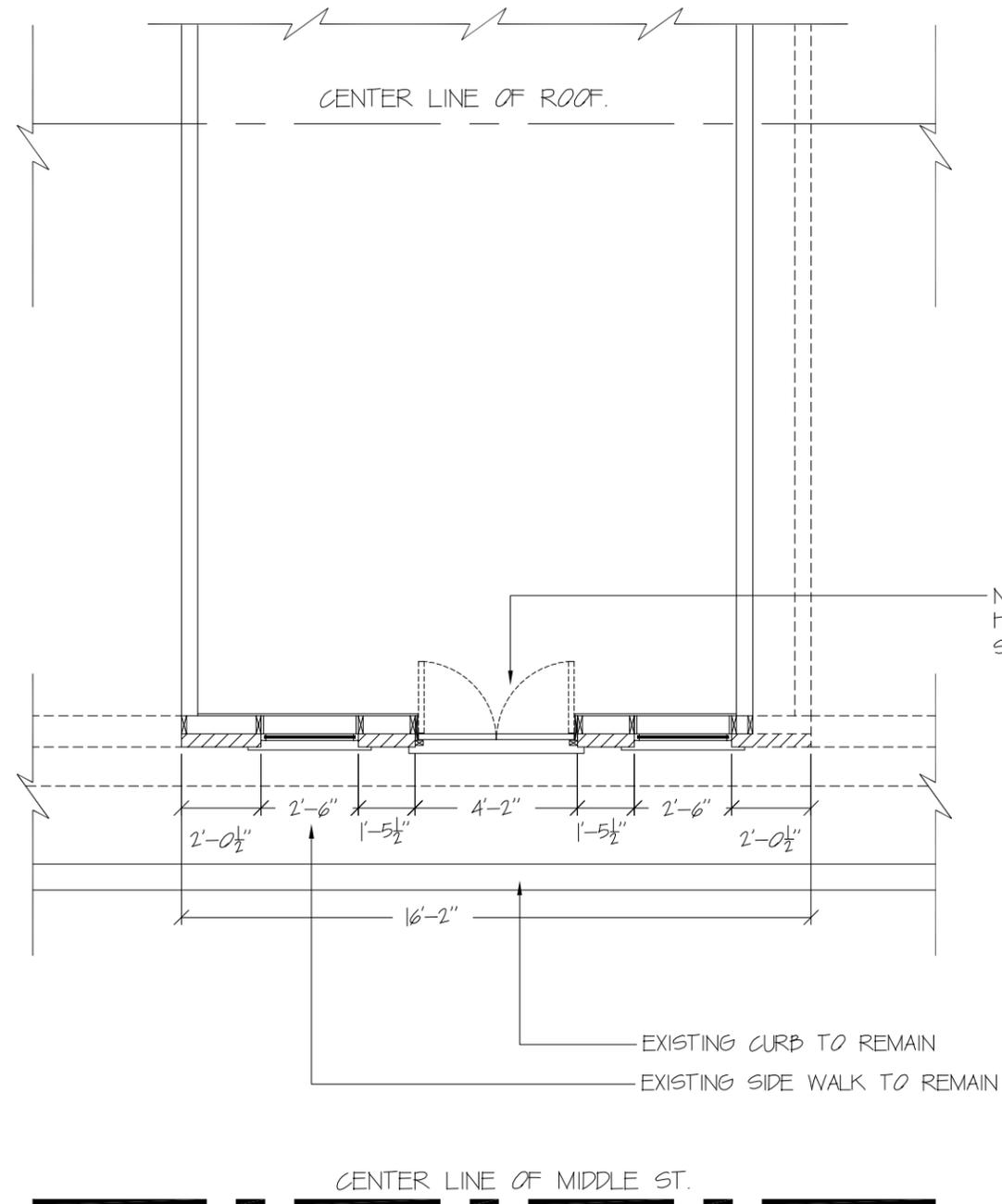


RENDERING OF PROPOSED CHANGES

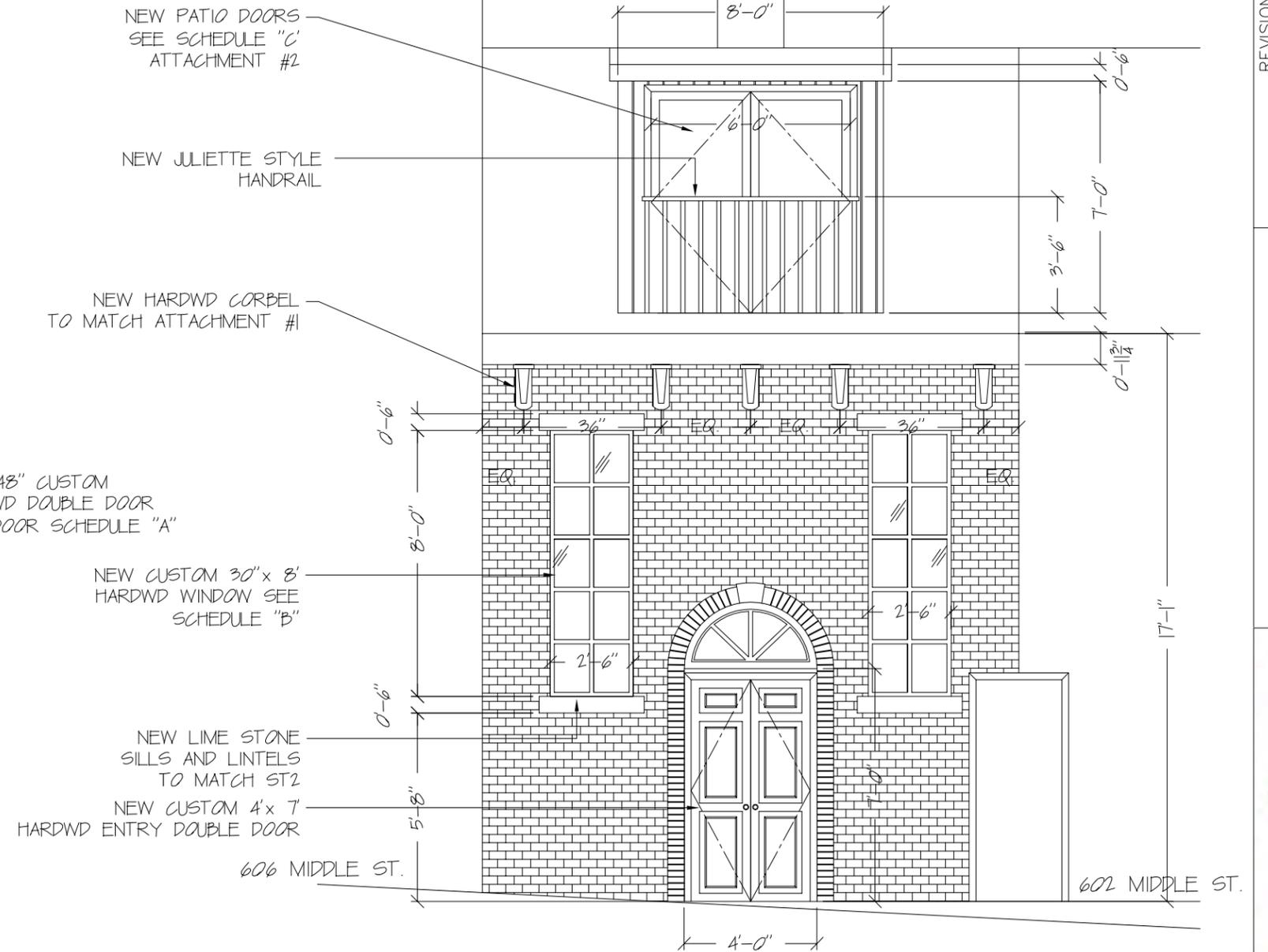
NO.	DESCRIPTION	DATE	BY

PROPOSED STREET  
 FRONT RENOVATION DRAWINGS  
 604 MIDDLE ST.  
 PITTSBURG, PA. 15212





PROPOSED PLAN VIEW



PROPOSED ELEVATION

NO.	DESCRIPTION	DATE	BY

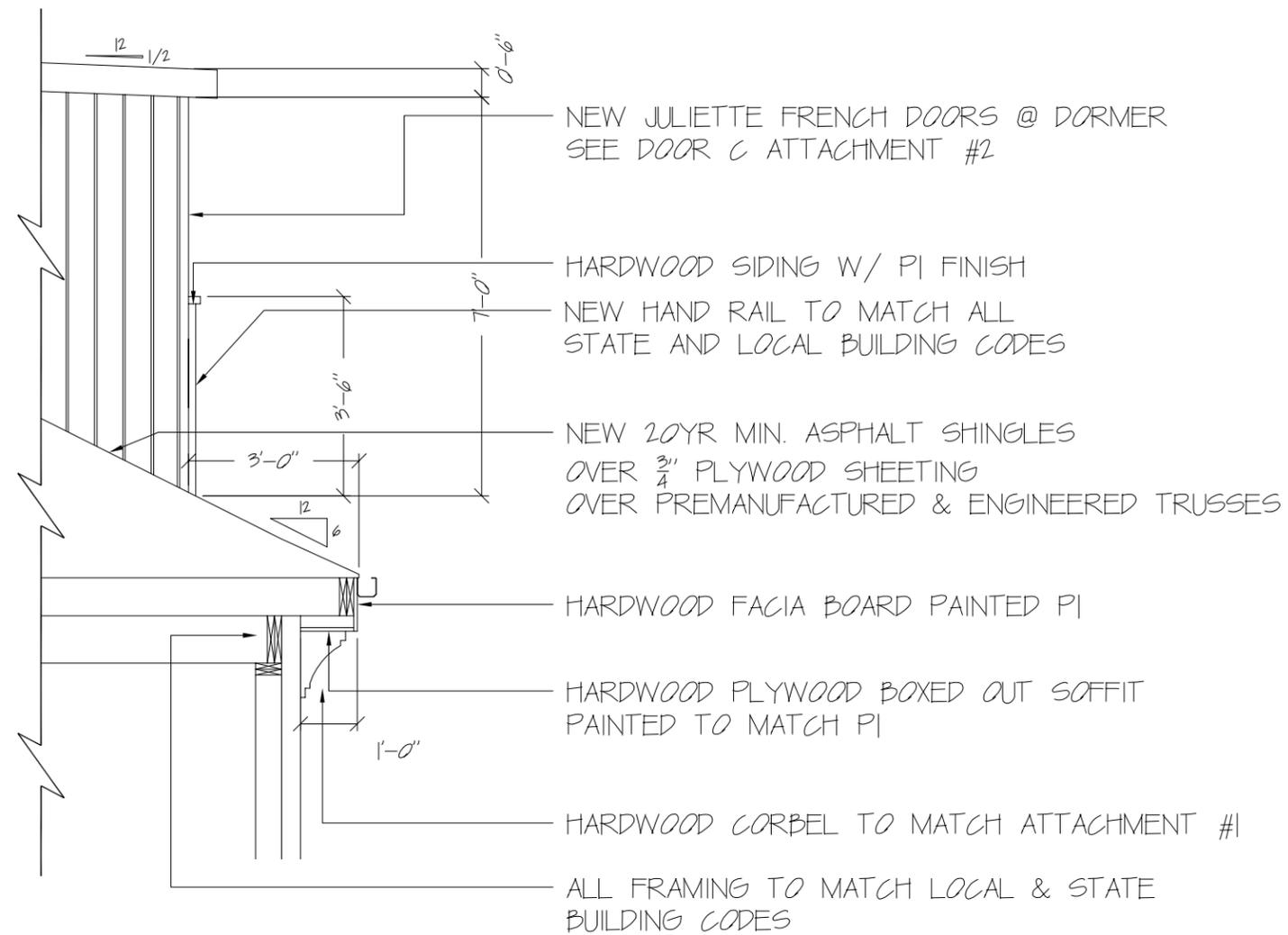
PROPOSED STREET  
FRONT RENOVATION DRAWINGS  
604 MIDDLE ST.  
PITTSBURG, PA. 15212



DRAWN BY: DAH

DATE: 31MARCH2014

SCALE: AS NOTED



ELEVATION VIEW @ DORMER

WINDOW & DOOR SCHEDULE

- (A) HARDWOOD DOUBLE DOOR F.O.4'x7' PAINTED P-1 R.O. 50"x 85"
- (B) CUSTOM HARDWOOD DOUBLE PANE WINDOW F.O.3'x8' PAINTED P-1 R.O. 38"x 98"
- (C) FRENCH INSWING PATIO DOOR F.O.6'x7' PAINTED P-1 R.O. 74"x 85"

FINISH SCHEDULE

P1 - PAINTED HARDWOOD BLACK SATIN
ST1 - RED BRICK TO MATCH EXISTING SAPE AND COLOR
ST2 - LIMESTONE SILLS AND LINTELS

DRAWN BY:	DAH
DATE	31MARCH2014
SCALE	AS NOTED
REVISIONS	
NO.	
DESCRIPTION	
DATE	
BY	

PROPOSED STREET  
FRONT RENOVATION DRAWINGS  
604 MIDDLE ST.  
PITTSBURG, PA. 15212



# ATTACHMENT #1

Buy Online or Call 1 (800) 915 5110

My Account Order Status Wish Lists View Cart Sign in or Create an account



1 (800) 915-5110  
MON. - FRI. 9AM - 5PM EST

Free Shipping  
On orders over \$99.00

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Home [Wooden Corbels](#) Wood Corbel 30T6



Like  0

## Wood Corbel 30T6

Cedar Corbel 30T6 . Our Architectural Wooden Corbels and Brackets are made out of solid timber (Not hollow) Western Red Cedar and can be used in a wide variety of exteriors and interiors applications. Use cedar wooden corbels to accent exterior soffit, front entries, front porch, porch columns, gables, fireplace mantel. Architectural support corbels for granite countertops, shelf boards, and more. Cedar Corbels are available in smooth or rough sawn finish, and can be custom made to accommodate your specific requirements. Why cedar? Cedar is naturally one of the most durable, rot, decay and insect resistant woods available.

Projection:	9 1/2"	Height:	14"
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<a href="#">Open Sizing Diagram</a>	Smooth <input type="button" value="i"/>	Rough <input type="button" value="i"/>
Thickness	3 1/2" or 5 1/2"	4" or 6"

Need Custom Sizing? Call 1 (800) 915-5110

Price: **\$39.00**

\* Finish & Thickness:

- Smooth 3 1/2"
- Rough 4"
- Smooth 5 1/2"
- Rough 6"

Quantity:



### Add to Wish List

Click the button below to add the Wood Corbel 30T6 to your wish list.



### Customers Who Viewed This Product Also Viewed

<p>9 3/4" 13"</p> <p>Wood Corbel 30T5</p> <p>\$49.00</p>	<p>9 11</p> <p>Wood Corbel 28T2</p> <p>\$34.00</p>	<p>7" 14"</p> <p>Wood Corbel 30T7</p> <p>\$31.00</p>	<p>9 1/2" 17"</p> <p>Wood Bracket 04T2</p> <p>\$58.00</p>	<p>9" 9"</p> <p>Wood Corbel 20T2</p> <p>\$31.00</p>
<p>5" 7"</p> <p>Wood Corbel 30T1</p> <p>\$20.00</p>	<p>7" 9"</p> <p>Wood Corbel 28T3</p> <p>\$34.00 \$28.00</p>	<p>7 1/2" 15"</p> <p>Wood Bracket 04T1</p> <p>\$48.00</p>	<p>11" 13"</p> <p>Wood Corbel 24T5</p> <p>\$35.00</p>	<p>11 13</p> <p>Wood Corbel 28T1</p> <p>\$39.00</p>

## ATTACHMENT #2

**Your Store:**  
Mccandless, PA

Your Store: **Pittsburgh, PA**



### ReliaBilt 59.5-in 1-Lite Glass Steel French Inswing Patio Door

Item #: 397862 | Model #: RBP608339

Be the first to

**\$352.00**

**Get 5%\* Off Every Day or Special Financing\*\***  
Minimum Purchase Required

Tweet 0 | G+1 0

FREE

**Store Pickup**  
Your order can be available for pickup in **Lowe's Of Mccandless, PA** today.

---

**Lowe's Truck Delivery**  
Your order will be ready for delivery to you from your selected store.

---

**Parcel Shipping**  
Unavailable for This Order  
Sent by carriers like UPS, FedEx, USPS, etc.

**ReliaBilt 59.5-in 1-Lite Glass Steel French Inswing Patio Door** **\$352.00**

#### Description

59.5-in 1-Lite Glass Steel French Inswing Patio Door

- Durable, low-maintenance steel
- Simple style of a smooth surface
- Ready-to-install door with frame
- Limited lifetime warranty

#### Specifications

Product Type	French	Rough Opening Width (Inches)	60.0
Door Material	Steel	Lockset Bore	Yes
Glass Type	1-lite	Jamb Width (Inches)	4.5625
Glass Insulation	Low-E	Actual Door Height (Inches)	79.5
Color	Unfinished	Actual Door Width (Inches)	59.5
Movement/Swing	In	Fully assembled	Yes
Brickmould	Yes	ENERGY STAR Qualified Northern Zone	Yes
Handle	Left	ENERGY STAR Qualified North/Central Zone	Yes
Handle Set Included	No	ENERGY STAR Qualified South/Central Zone	Yes
Screen Included	No	ENERGY STAR Qualified Southern Zone	Yes
Weatherstripping	Yes	Series	N/A
Warranty	Limited lifetime	Handle Finish	N/A (no handle)
Finish	None	Hinge Finish	Polished brass
Rough Opening Height (Inches)	80.0	Includes Sidelights	No

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## ATTACHMENT #3



[Why Depot?](#)
[New Arrivals](#)
[Catalogs](#)
[BLOWOUT SALE!](#)
[Customer Reviews](#)
[Resources](#)
[Recommendations](#)

Shop by  
Products

Hello, [Sign In](#)  
Your Account

Your Cart  
0 item(s)

Contact Us  
1-888-573-3768

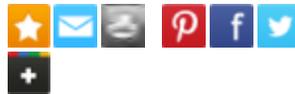
Home : [Manufacturers](#) : [Fypon](#) : [Fypon Window & Door Trim](#) : [Fypon Pediments](#)



50"W x 54 1/2"OW x 20 3/4"H x 3 1/8"P Combination Sunburst Pediment, Urethane

Item #: CSP50 | (read 1 reviews) or [Leave a Review](#)

Width	Height	Projection	Overall Width
50 "	20 3/4"	3 1/8"	54 1/2"



- Simplifies installation
- Functionally elegant
- High quality product with attention to historic detail
- Primed and ready for paint
- Crosshead attachments available
- Made up of non-corrosive materials

### Product Overview

Pediments have been popular for thousands of years. Originally used in Greece, they are a commonly used type of Classical architecture. Today they are commonly placed above doors and windows to give a home exterior a classic and distinctive look.

#### Pediment basics

Pediments are the portion of the trim that is located above the pilasters, which are the column like frames on the sides of windows and doors. Directly below the pediments though, between the pediment and the pilasters, is a crosshead or breastboard. The crosshead is the flatter, protruding section directly above the door. Pediments can be purchased by themselves or can come with a crosshead already attached. These Pediments are manufactured out of a high density urethane, which is made to resemble wood but without the deterioration like wood has. Urethane architectural supplies are resistant to damage such as cracking or rotting. They are usually cheaper than wood alternatives.

#### Different styles for different homes

When choosing window trim or door trim either during initial door or window installation or for a home improvement project, you should consider the style of your home or the style that you want to create for your home. Do you want simple, unadorned distinction, or intricately molded elegance? Pediments combined with other millwork around window casings and doors can compliment any home. The main shapes of pediments are rounded, triangular, and scrolled. Rounded or semi-circle pediments can be plain but often have a sunburst pattern as well. Scrolling pediments are popular due to the elegance of this pediment shape. Triangular pediments come in Victorian styles, simple triangular shapes, and often in triangular shapes broken in the center or peak of the triangle by a more rounded shape such as an acorn. Triangular shapes are also commonly used on gable pediments, which are used in the upper triangular portions of home exteriors for decoration. Gable pediments are available in all of the same styles as door and window pediments.

### Product found in these categories...

[Home](#) > [Manufacturers](#) > [Fypon](#) > [Fypon Window & Door Trim](#) > [Fypon Pediments](#)  
[Home](#) > [Pediments](#)

### Ready to Order?

1-9   10-24   25-49   50+  
**\$106.17**   \$104.05   \$101.92   \$100.86

[Found it for less?](#)

Usually ships in 5-7 business days

Ships from: Howe, IN 46746

Quantity:  each

### Select Options Below:

#### Select Size

50"W x 54 1/2"OW x 20 3/4"H x

Add this to my order!

Installing urethane products is a breeze using our Polyurethane Construction Adhesive.

Now only Only \$4.99 (EACH)

### Add to Cart

[Add to Project List](#)

[Print this page](#)

This item is Factory Primed and ready for your paint.

**LOWEST PRICE GUARANTEE**  
 ArchitecturalDepot.com guarantees lower prices than any other online home improvement store.

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 Not only are you protected against finding it less elsewhere, if you find it for less on our site within 30 days, we will refund you the difference.

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**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

606 Middle St  
Pittsburgh, PA 15212

**OWNER:**

NAME: J. Thomas Seabrooke  
 ADDRESS: 4124 Butler St.  
Pittsburgh, PA 15201  
 PHONE: (412) 681-0600  
 EMAIL: tom@standardrealttygroup.com

STAFF USE ONLY:

DATE RECEIVED: 4/17/14  
 LOT AND BLOCK NUMBER: 24-N-225  
 WARD: 23rd  
 FEE PAID: 400  
 DISTRICT: 23rd Ward Deutschtown

**APPLICANT:**

NAME: Michael Abel  
 ADDRESS: 4124 Butler St.  
Pittsburgh, PA 15201  
 PHONE: (412) 681-0600  
 EMAIL: Michael.abel@standardrealttygroup.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Relay foundation, reinstall glass block window, reinstall windows, and replace front door.

**SIGNATURES:**

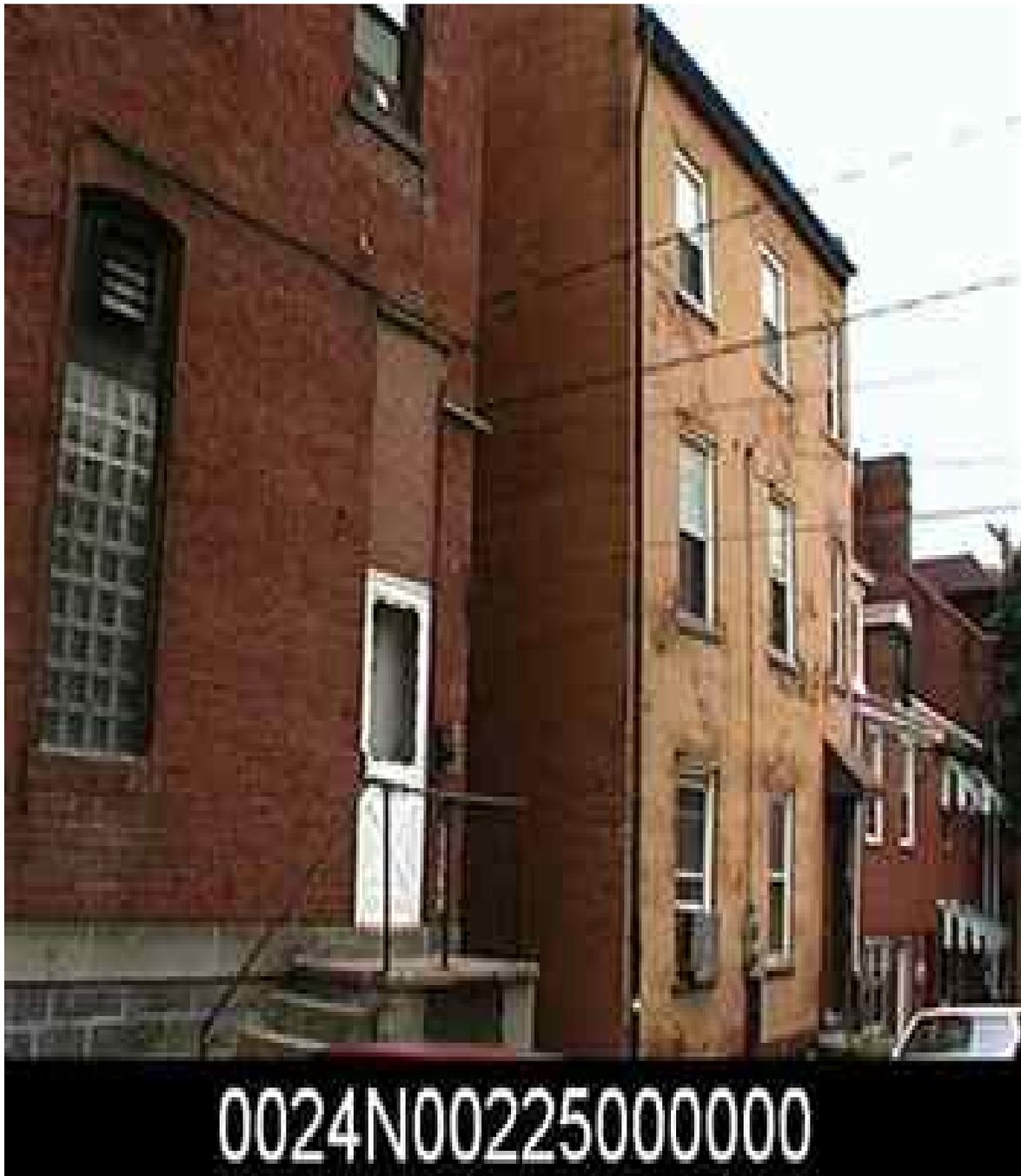
OWNER: [Signature] DATE: 4/17/14  
 APPLICANT: Michael Abel DATE: 4/17/14



606 Middle Street



**606 Middle Street, Pittsburgh, PA 15212**  
**From the Allegheny County Assessment Website**



**520 Avery Street, Pittsburgh, PA 15212**



**522 Avery Street, Pittsburgh, PA 15212**



**524 Avery Street, Pittsburgh, PA 15212**



**526 Avery Street, Pittsburgh, PA 15212**



**612 Avery Street, Pittsburgh, PA 15212**



**614 Avery Street, Pittsburgh, PA 15212**



**605 & 607 Middle Street, Pittsburgh, PA 15212**



**604 Middle Street, Pittsburgh, PA 15212**



**606 Middle Street, Pittsburgh, PA 15212**  
**Subject Property Prior to Renovations**



**606 Middle Street, Pittsburgh, PA 15212**  
**Subject Property Prior to Renovations**



**606 Middle Street, Pittsburgh, PA 15212**  
**Subject Property Prior to Renovations**



**606 Middle Street, Pittsburgh, PA 15212**  
**Subject Property Subsequent to Renovations**



**606 Middle Street, Pittsburgh, PA 15212**  
**Subject Property Subsequent to Renovations**





**Division of Development Administration and Review**

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

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**Application for a Certificate of Appropriateness**

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**FEE SCHEDULE:**

See attached. Please make check payable to:  
*Treasurer, City of Pittsburgh.*

**ADDRESS OF PROPERTY:**

1117 Bingham St  
Pittsburgh, PA 15203

**OWNER:**

NAME: MAPA Real Estate Holdings

ADDRESS: 1000 Grandview Ave #907  
Pittsburgh, PA 15211

PHONE: 412-481-7600

EMAIL: mcardamone@mergingmedia.com

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**DISTRICT:**

Southside Historic District

**APPLICANT:**

NAME: Pittsburgh Community Broadcasting Co.

ADDRESS: 67 Bedford Sq  
Pittsburgh, PA 15203

PHONE: 412-381-9131

EMAIL: abby@wyep.org

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

See attached narrative

**SIGNATURES:**

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPLICANT: \_\_\_\_\_ DATE: \_\_\_\_\_



Historic Review Commission meeting – May 7, 2014

Request: **Application for Extension of Certificate of Appropriateness**

Applicant: Pittsburgh Community Broadcasting Corporation, owner/operator of WYEP 91.3 FM

Property: 1117 Bingham St, Pittsburgh, PA 15203, Block & Lot 3-H-220

---

Pittsburgh Community Broadcasting Corporation (PCBC) is seeking to extend the Certificate of Appropriateness that was granted to MAPA Real Estate Holdings (MAPA) in 2010 for the lot located at 1117 Bingham Street in the Southside Historic District. PCBC is asking for a 3-year extension based on its planned purchase of the property from MAPA.

In 2006, PCBC, owner and operator of WYEP 91.3 FM, constructed the Community Broadcast Center located at 67 Bedford Square, which is immediately adjacent to the lot at 1117 Bingham Street. MAPA has entered into an agreement of sale with PCBC for the lot in question<sup>1</sup> and the inspection process is currently underway.

In 2011, PCBC purchased the broadcast license for 90.5 WDUQ from Duquesne University, relocated the operation of WDUQ to the broadcast facility on Bedford Square and re-launched the station as 90.5 WESA. This collaboration has resulted in the creation of a robust, community oriented public media organization that now operates two stations serving the greater Pittsburgh market and southwest Pennsylvania. It also more than doubled the size of the staff, expanding from 16 people to 40 people in two years. Both stations are on a growth trajectory that will create the need for expansion space in the very near future. PCBC has entered into the agreement of sale for the purchase of the adjacent lot from MAPA in order to secure the future of WYEP and WESA.

Under the Certificate of Appropriateness previously obtained by MAPA, the property was developed as a surface parking lot which was carefully designed to meet standards of appearance and operation that are appropriate to the historic aesthetic of the district.

There is much work to be done before PCBC is ready to expand its physical space. PCBC's plan is to conduct a feasibility study and begin a capital campaign in the next 18 months. Before it can finalize the sale of this property, PCBC must be assured that it will have the time necessary to raise the capital that will allow it to develop a new facility on the lot located at 1117 Bingham Street. The applicant believes that the proposed 3-year extension will give PCBC the time it needs for these purposes.

During the extension period, and while PCBC endeavors to raise the necessary capital for the project and plans the design of the new facility, PCBC would like to maintain the current use and appearance of the property as a surface parking lot, to be used solely by employees and guests of WYEP and WESA.

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<sup>1</sup> As an equitable owner of the lot, PCBC has standing to make this application.

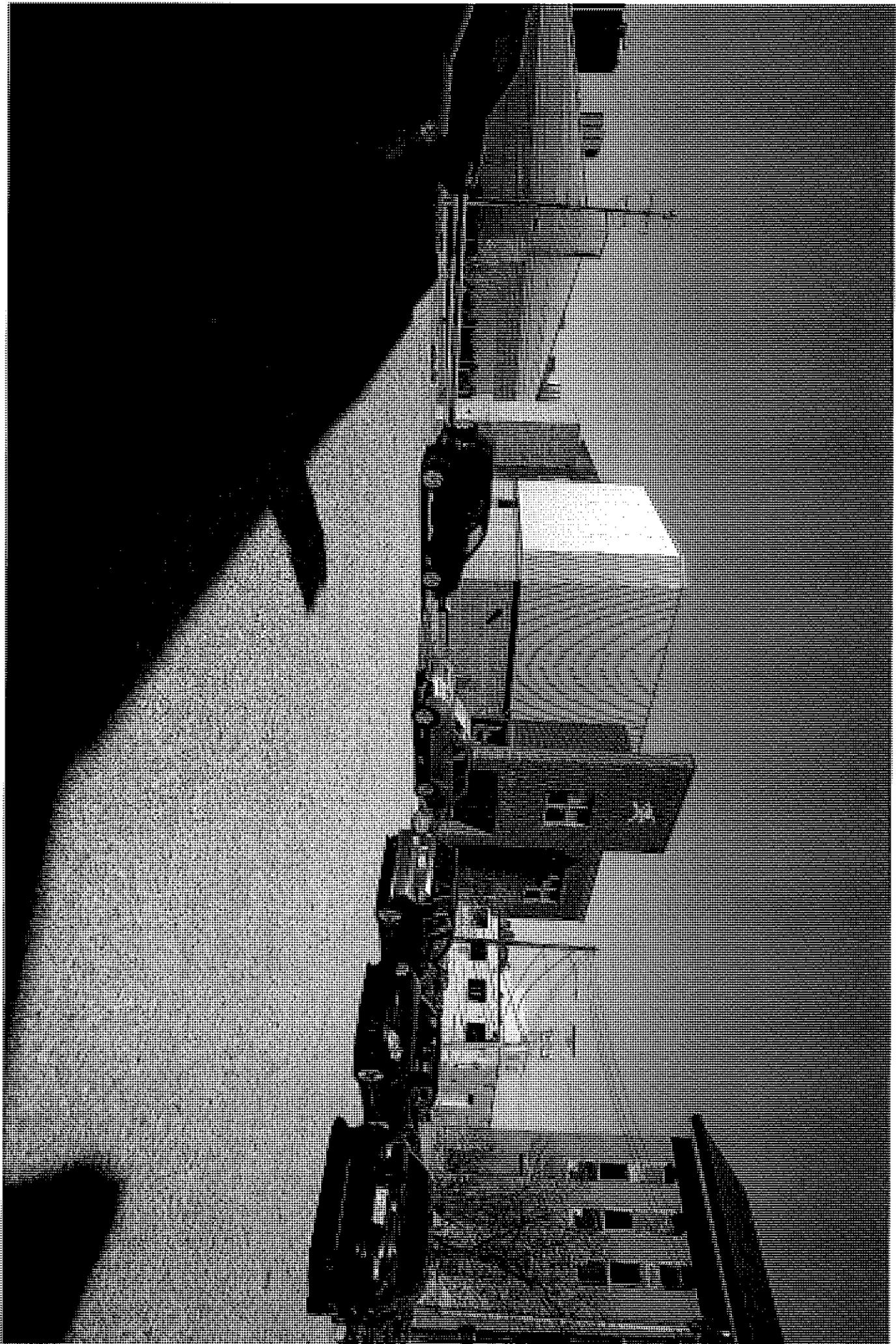
PCBC is an anchor institution in the Southside and is committed to keeping and maintaining excellent relationships with its fellow Southside residents, business owners and arts organizations. Based on its experience in the design and construction of 67 Bedford Square, PCBC is well aware of the unique historic value of this wonderful neighborhood and is wholeheartedly committed to preserving that unique value. Plans for the new facility would include that the new structure be connected and contiguous with PCBC's current facility and would include parking for staff. Importantly, PCBC is committed to having a positive impact on the environment as is evident in the LEED Silver Certification of our Community Broadcast Center, the first green radio station in the nation. PCBC's plan is to continue this commitment with the new construction on the lot at 1117 Bingham Street.

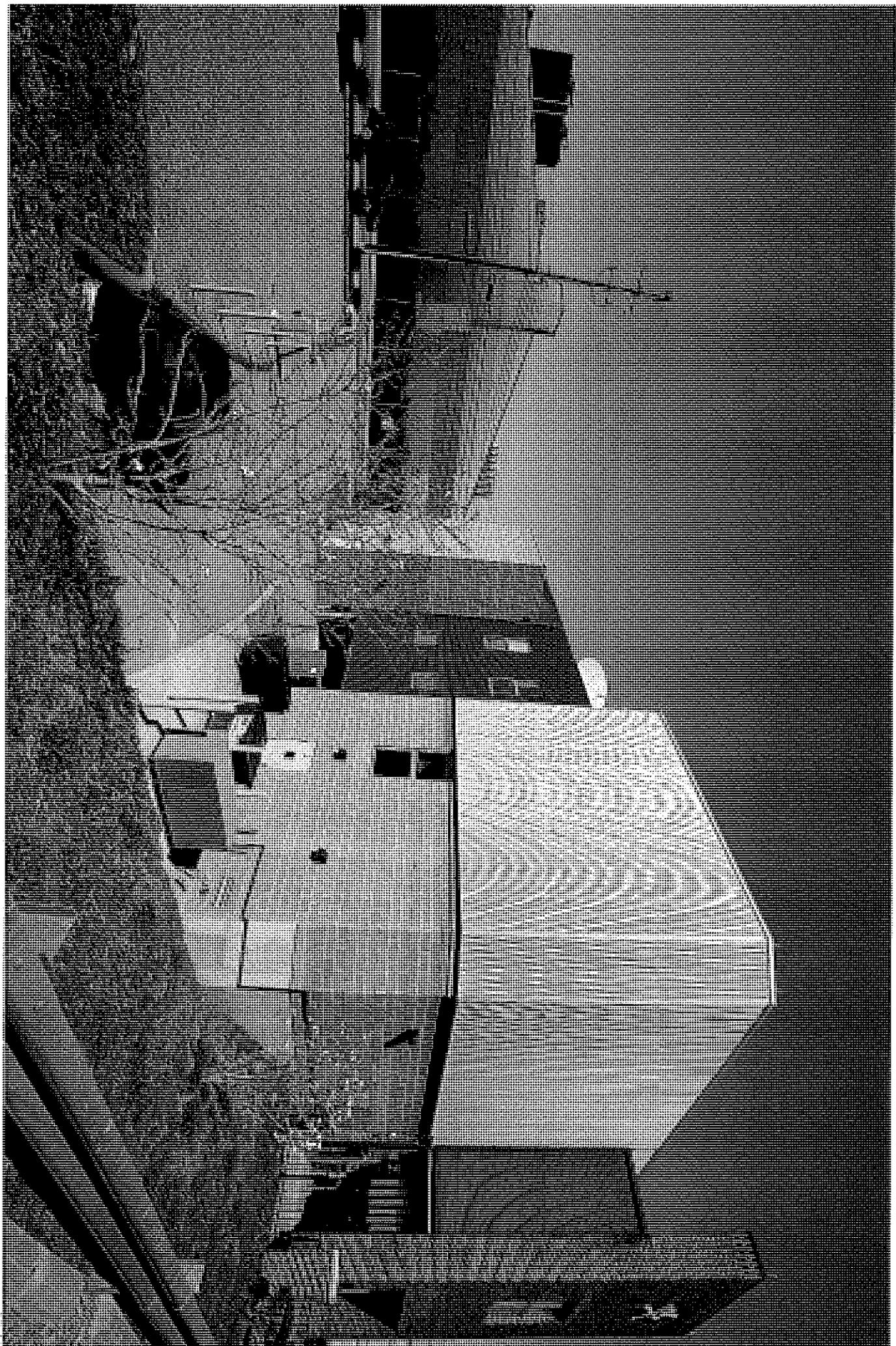
We have the support of Councilman Bruce Kraus, the Southside's representative on the City Council. We are ready to answer any question and address any concerns. Thank you for your consideration.

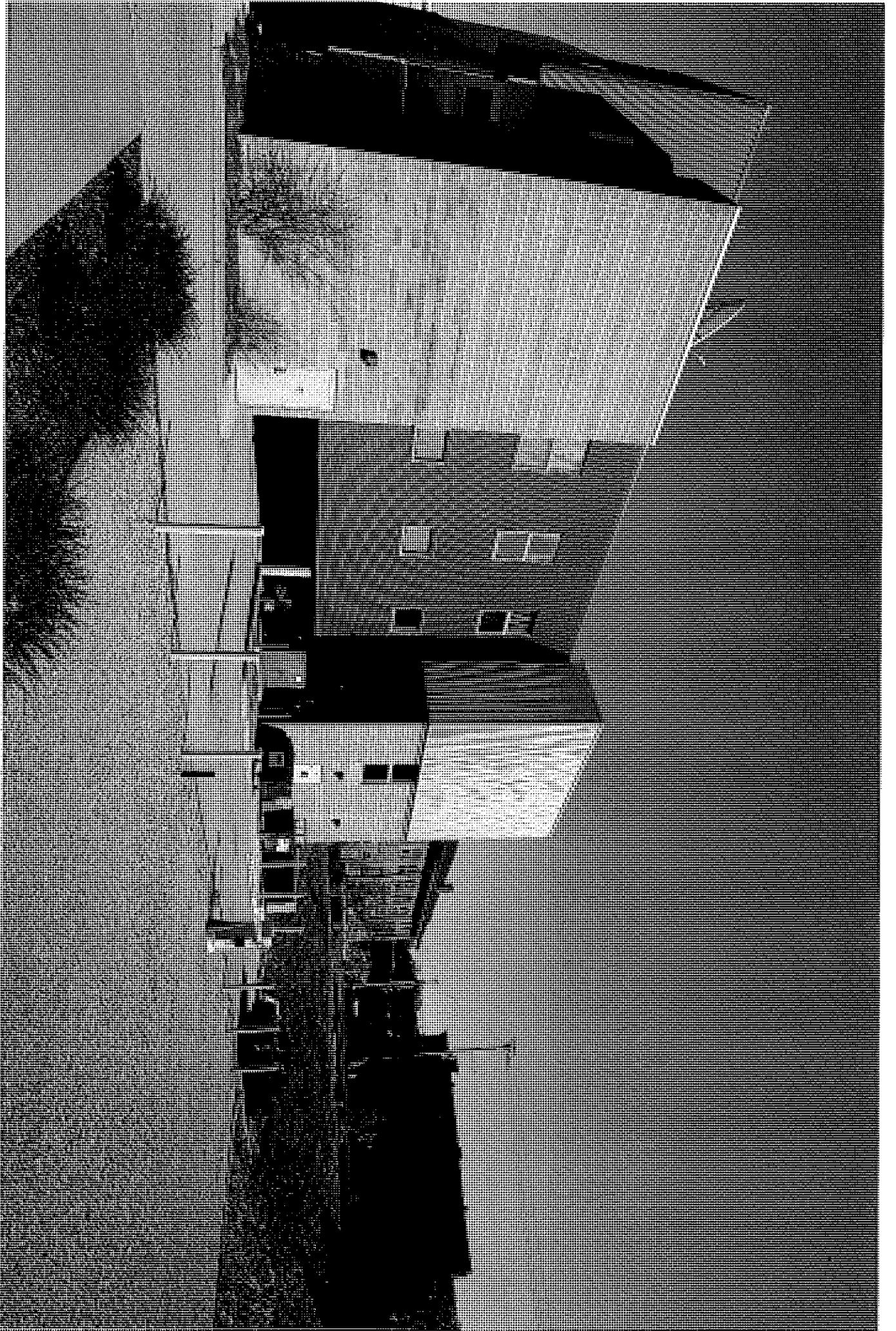


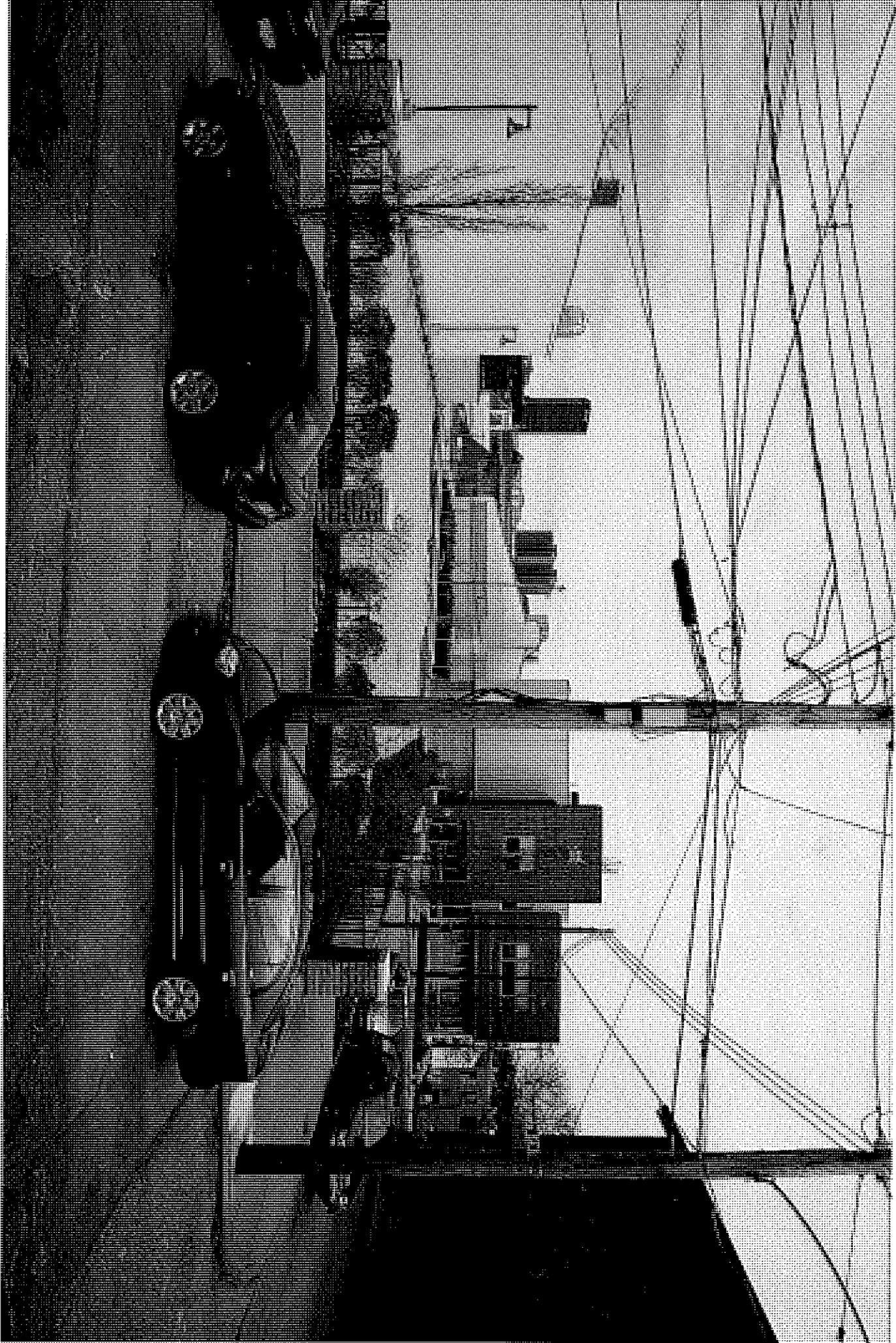


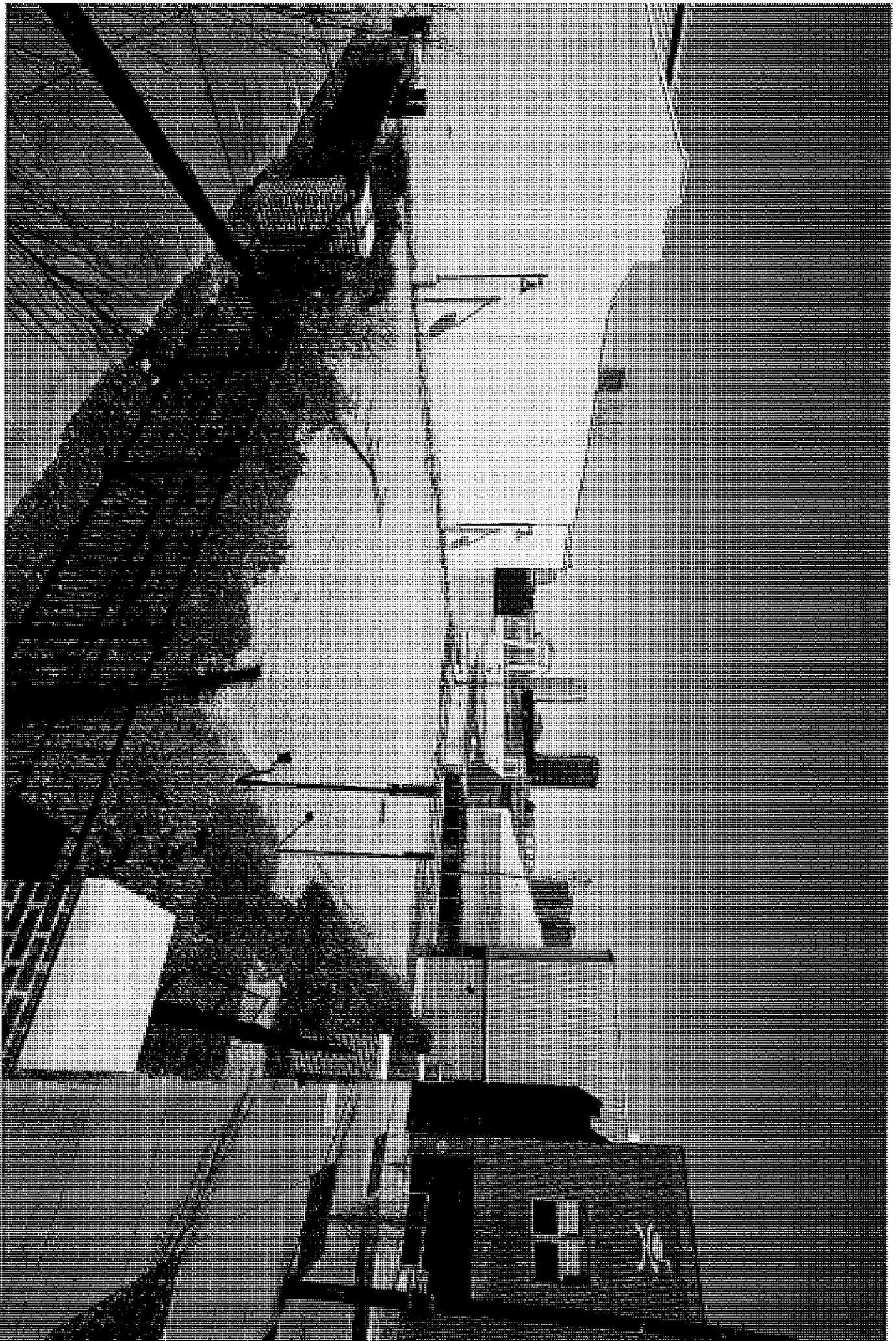






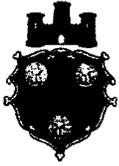












**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**STAFF USE ONLY:**

DATE RECEIVED: 4/17/14

LOT AND BLOCK NUMBER: 3-H-99

WARD: 17th

FEE PAID: 440

DISTRICT: E. Carson

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

1500 Bingham Street  
Pittsburgh, PA 15203

**OWNER:**

NAME: Ravi Kondaveeti

ADDRESS: 222 5th Ave, Apt 320  
Pittsburgh, PA 15222

PHONE: 814.602.9728

EMAIL: kdyakich@gmail.com

**APPLICANT:**

NAME: JMAC Architects : Jim McMullen

ADDRESS: 1273 Washington Plice  
Bridgeton, PA 15017

PHONE: 412.708.6742

EMAIL: jmcullen@jmac-architects.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Demolition and new construction of a 3-story  
single family dwelling with integral 3-car garage

**SIGNATURES:**

OWNER: *Ravi Kondaveeti*

DATE: 4/15/14

APPLICANT: *Jim McMullen*

DATE: 4-15-14

*Katie Yakich:*





1273 Washington Pike  
Bridgeville, PA 15017

t. 412.257.9010  
f. 412.257.3085

## 1500 Bingham St. Apartments

South Side

Pittsburgh, PA 15203

## 15th St Elevation

04.09.2014



1273 Washington Pike  
Bridgeville, PA 15017

t. 412.257.9010  
f. 412.257.3085

## 1500 Bingham St. Apartments

South Side

Pittsburgh, PA 15203

## Bingham St Elevation

04.09.2014



1273 Washington Pike t. 412.257.9010  
Bridgeville, PA 15017 f. 412.257.3085

## 1500 Bingham St. Apartments

South Side

Pittsburgh, PA 15203

15th Street View

04.09.2014

# 1500 Bingham Apartments

1500 Bingham St  
South Side, Pgh PA 15203

Issued for Review - 04.08.2014

Drawing List				
Sheet No.	Drawing Title	Issued for Demolition Permit 12.21.2013	Issued for Design Review 04.24.2013	Issued for Pricing 06.04.2013
A-404	Longitudinal Section			
A-601	Wall Sections			
A-810	Miscellaneous Details			
M-100	Basement Mechanical Plan			
M-101	First Floor Mechanical Plan			
M-102	Second Floor Mechanical Plan			
M-103	Third Floor Mechanical Plan			
M-104	Mezzanine Mechanical Plan			
M-105	Roof Mechanical Plan			
Architecture				
A-000	Cover Sheet		X	X
A-001	FAR Calculations		X	X
A-002	Code Summary / Abbreviations			
D-100	Basement Demolition Plan	X	X	X
D-101	First Floor Demolition Plan	X	X	X
D-102	Second Floor Demolition Plan	X	X	X
D-103	Roof Demolition Plan	X	X	X
D-200	15th Street Demolition Elevation	X	X	X
D-201	Bingham Street Demolition Elevation	X	X	X

Drawing List				
Sheet No.	Drawing Title	Issued for Demolition Permit 12.21.2013	Issued for Design Review 04.24.2013	Issued for Pricing 06.04.2013
A-100	Basement Plan		X	X
A-101	First Floor Plan		X	X
A-102	Second Floor Plan		X	X
A-103	Third Floor Plan		X	X
A-104	Mezzanine Plan		X	X
A-105	Roof Plan		X	X
A-200	15th Street Elevation		X	X
A-201	Bingham Street Elevation		X	X
A-400	Building Section		X	X
A-401	Building Section		X	X
A-402	Building Section		X	X
A-403	Building Section		X	X
A-500	Enlarged Plans & Elevations			X
A-501	Enlarged Plans & Elevations			X
A-502	Enlarged Living Room Elevations			X
A-503	Enlarged Master Bedroom Elevations			
A-504	Enlarged Apartment Plans & Elevations			
A-600	Wall Sections		X	X
A-800	Details		X	X
A-801	Details		X	X
A-802	Details		X	X
A-901	Partition Types / Finish Schedule			
Structural				
S-100	Structural Basement Plan			
S-101	Structural First Floor Plan			
S-102	Structural Second Floor Plan			
S-103	Structural Third Floor Plan			
S-104	Structural Mezzanine Plan			
S-105	Structural Roof Plan			

ISSUE:

*Issued for Review*  
04.08.2014

PROJECT:

**1500 Bingham St.  
Apartments**  
South Side  
Pittsburgh, PA 15203

12-004

THESE DRAWINGS ARE FOR REVIEW OF DESIGN AND SCOPE DESCRIPTION ONLY. NO REPRESENTATION IS MADE TO THE ACCURACY OF THE DRAWINGS WITH RESPECT TO EXISTING DIMENSIONS OR CONDITIONS. ALL CONSULTANTS AND CONTRACTORS MUST VERIFY ANY AND ALL DIMENSIONS AND CONDITIONS WHICH ARE CRITICAL TO THEIR WORK.

No.	Issue Date	Project Status
2.	06.04.2013	Issued for Pricing
1.	04.24.2013	Issued for Design Review

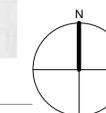
## Cover Sheet

1500 Bingham St. Apartments  
3/16" = 1'-0"

# A-000



Site Location Map  
NTS

















Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**STAFF USE ONLY:**

DATE RECEIVED: 4/17/14

LOT AND BLOCK NUMBER: 3-G-44

WARD: 17th

FEE PAID: 46

DISTRICT: EAST CARSON HISTORIC DISTRICT

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

811 E. Carson St  
855 EAST CARSON STREET  
PITTSBURGH PA 15203

**OWNER:**

NAME: THE SALVATION ARMY  
 ADDRESS: 44-54 SOUTH 9TH ST.  
PITTSBURGH PA 15203  
 PHONE: 412-481-7900 x 301

**APPLICANT:**

NAME: JOHNA MARTINE  
STRADA ARCHITECTURE LLC  
 ADDRESS: 925 LIBERTY AVENUE  
PITTSBURGH PA 15222  
 PHONE: 412-263-3800

EMAIL: MOLeary@USE.SALVATION  
ARMY.ORG

EMAIL: jmartine@STRADALLC.COM

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

PROPOSED SIGNAGE ON NEW BUILDING

**SIGNATURES:**

MARTINA O'LEARY FOR SALVATION ARMY  
 OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

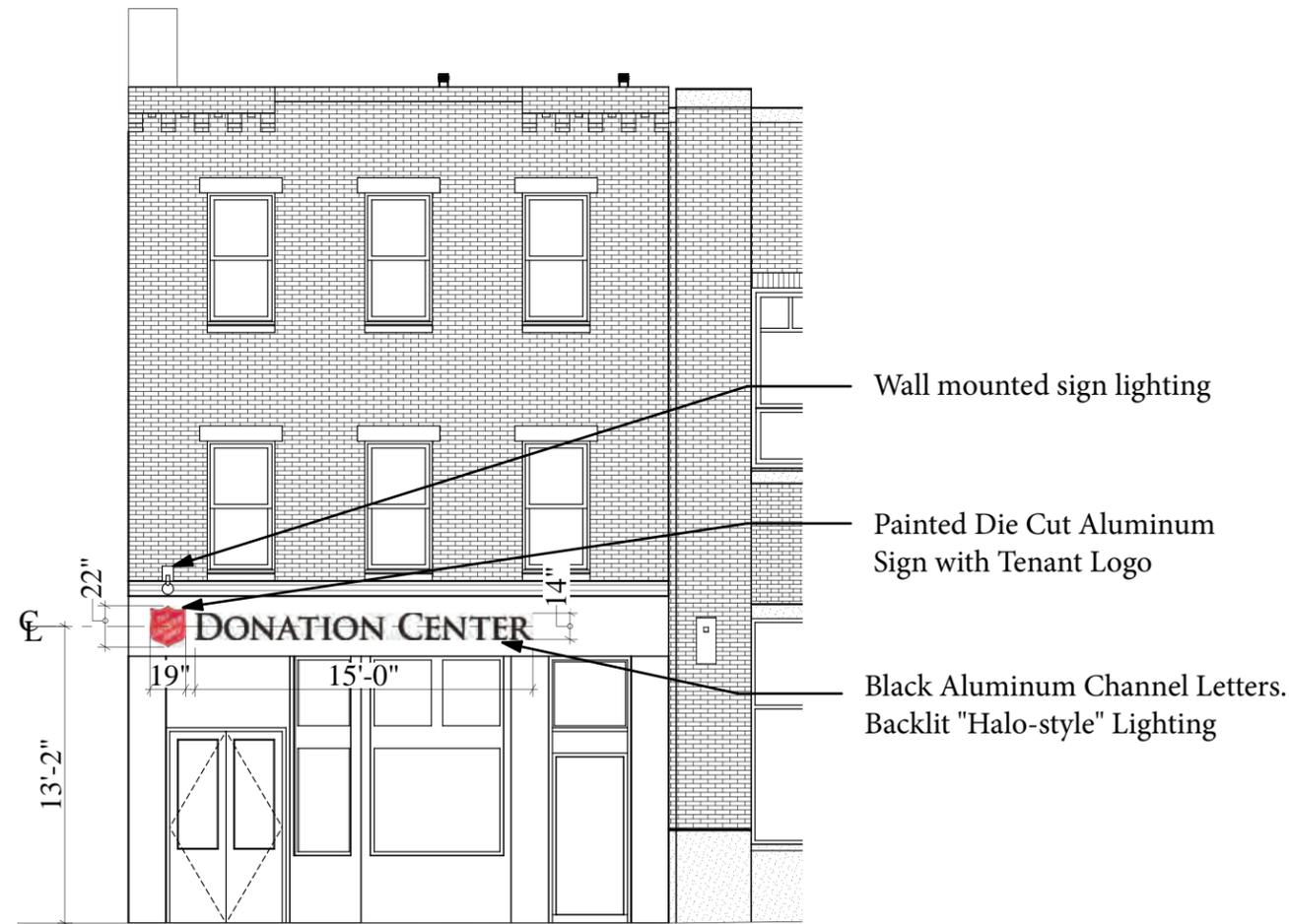
APPLICANT: Johna Martine

DATE: 16 April 2014

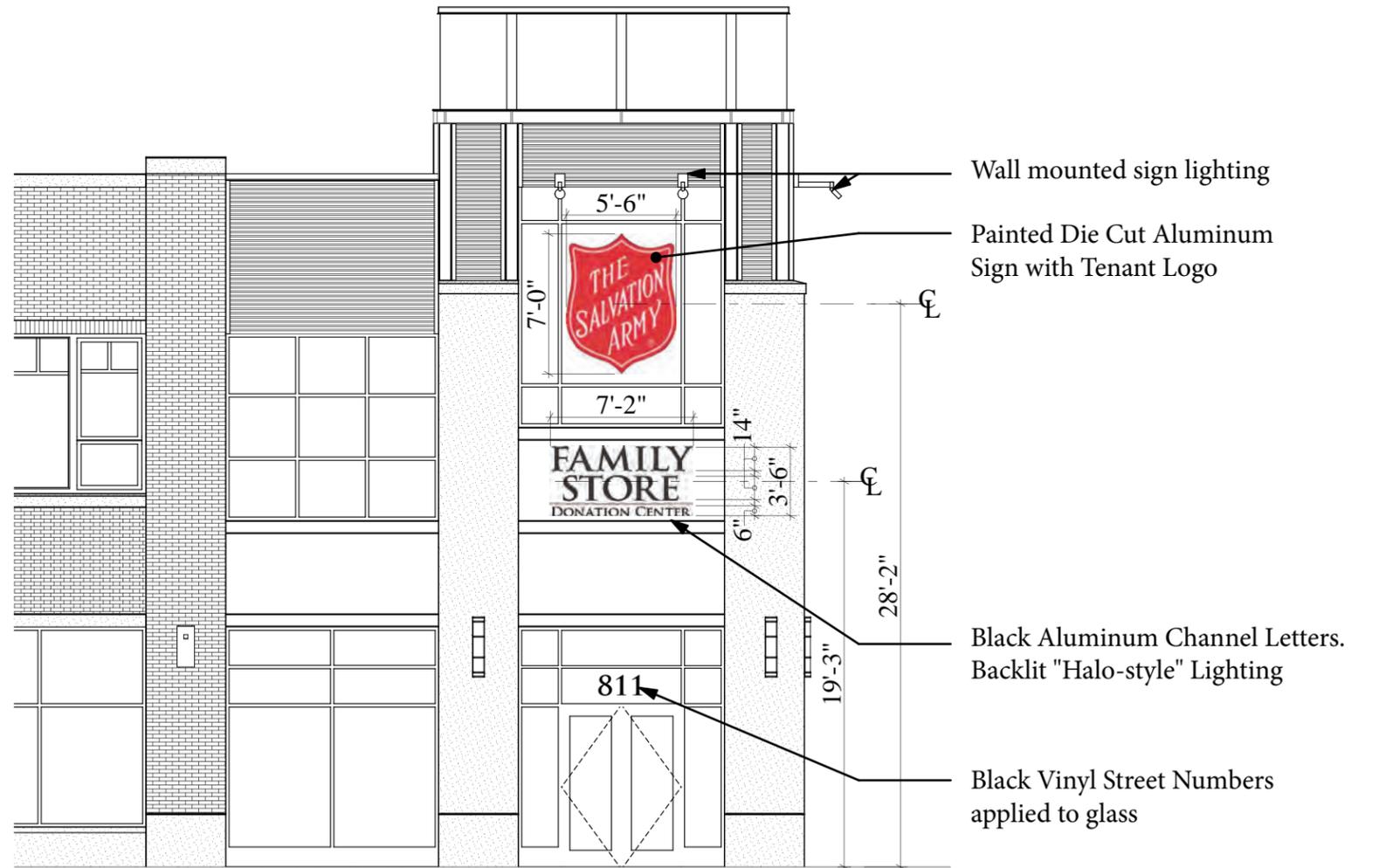




Carson Street Elevation  
Scale: 1/16" = 1'-0"



Partial Carson Street Elevation  
Scale: 1/8" = 1'-0"

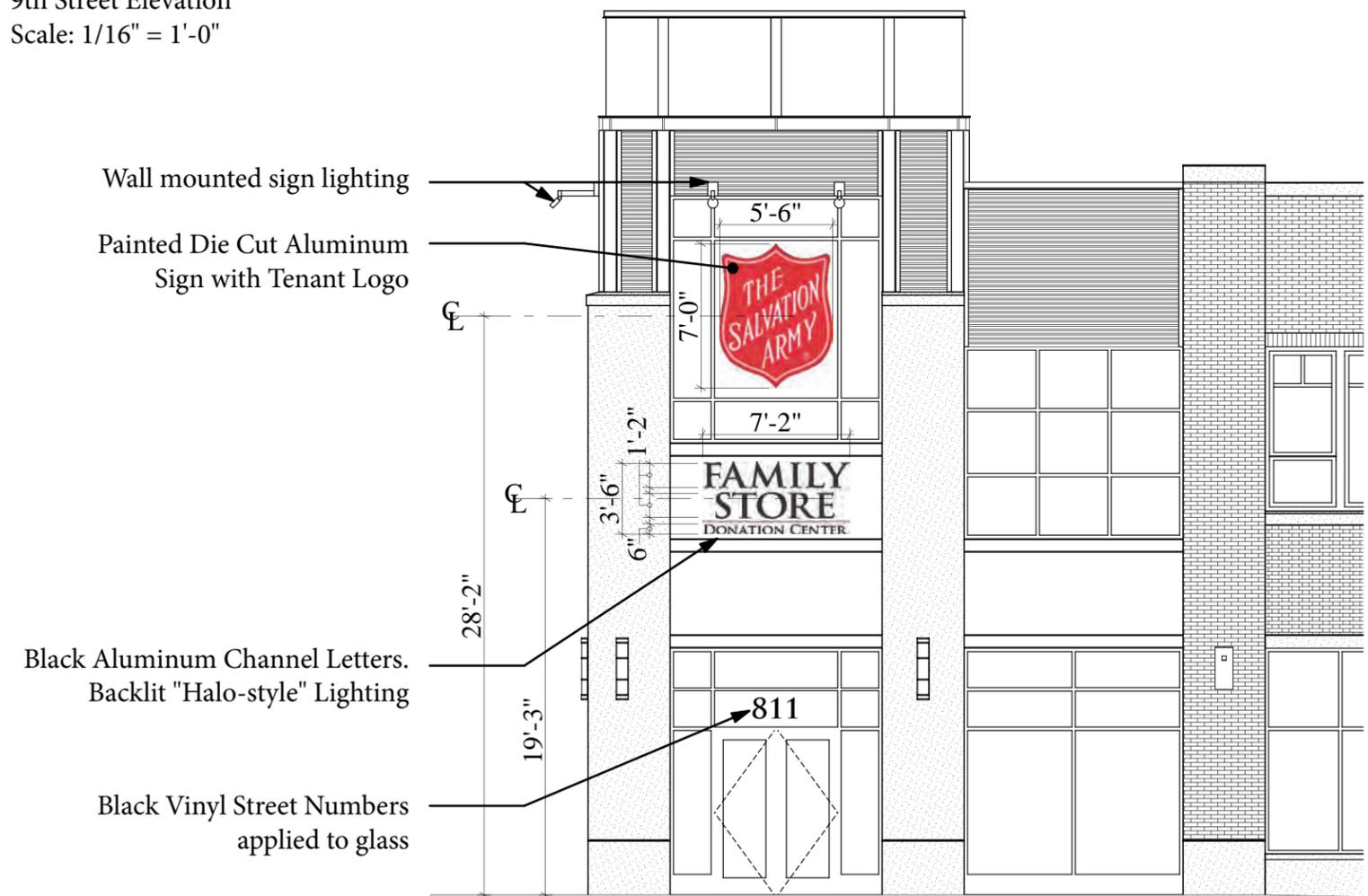
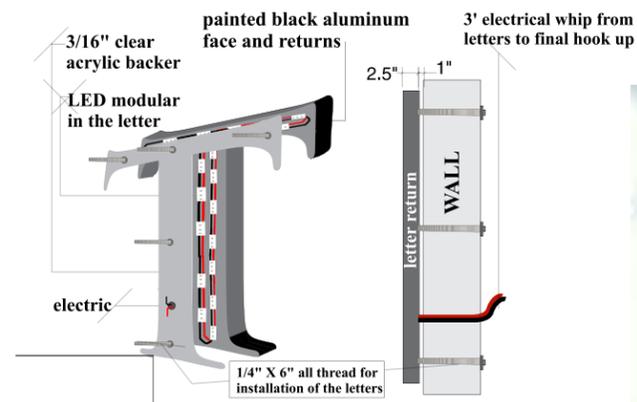


Partial Carson Street Elevation  
Scale: 1/8" = 1'-0"



9th Street Elevation  
Scale: 1/16" = 1'-0"

Typical Backlit "Halo-style" Lighting at  
"Donation Center" and  
Family Store/Donation Center Signage"



Partial 9th Street Elevation  
Scale: 1/8" = 1'-0"



Rendered Image of Exterior Signage



Rendered Image of Exterior Signage



**Division of Development Administration and Review**

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

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**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
*Treasurer, City of Pittsburgh.*

**ADDRESS OF PROPERTY:**

1302 East Carson Street  
Pittsburgh, PA 15203

**OWNER:**

NAME: Sayer Real Estate  
ADDRESS: 1302 East Carson Street  
Pittsburgh, PA 15203  
PHONE: 412-916-3630  
EMAIL: ayhansayer@hotmail.com

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_  
LOT AND BLOCK NUMBER: \_\_\_\_\_  
WARD: \_\_\_\_\_  
FEE PAID: \_\_\_\_\_

**DISTRICT:**

\_\_\_\_\_

**APPLICANT:**

NAME: Ayhan Sayer  
ADDRESS: \_\_\_\_\_  
PHONE: 412-916-3630  
EMAIL: ayhansayer@hotmail.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

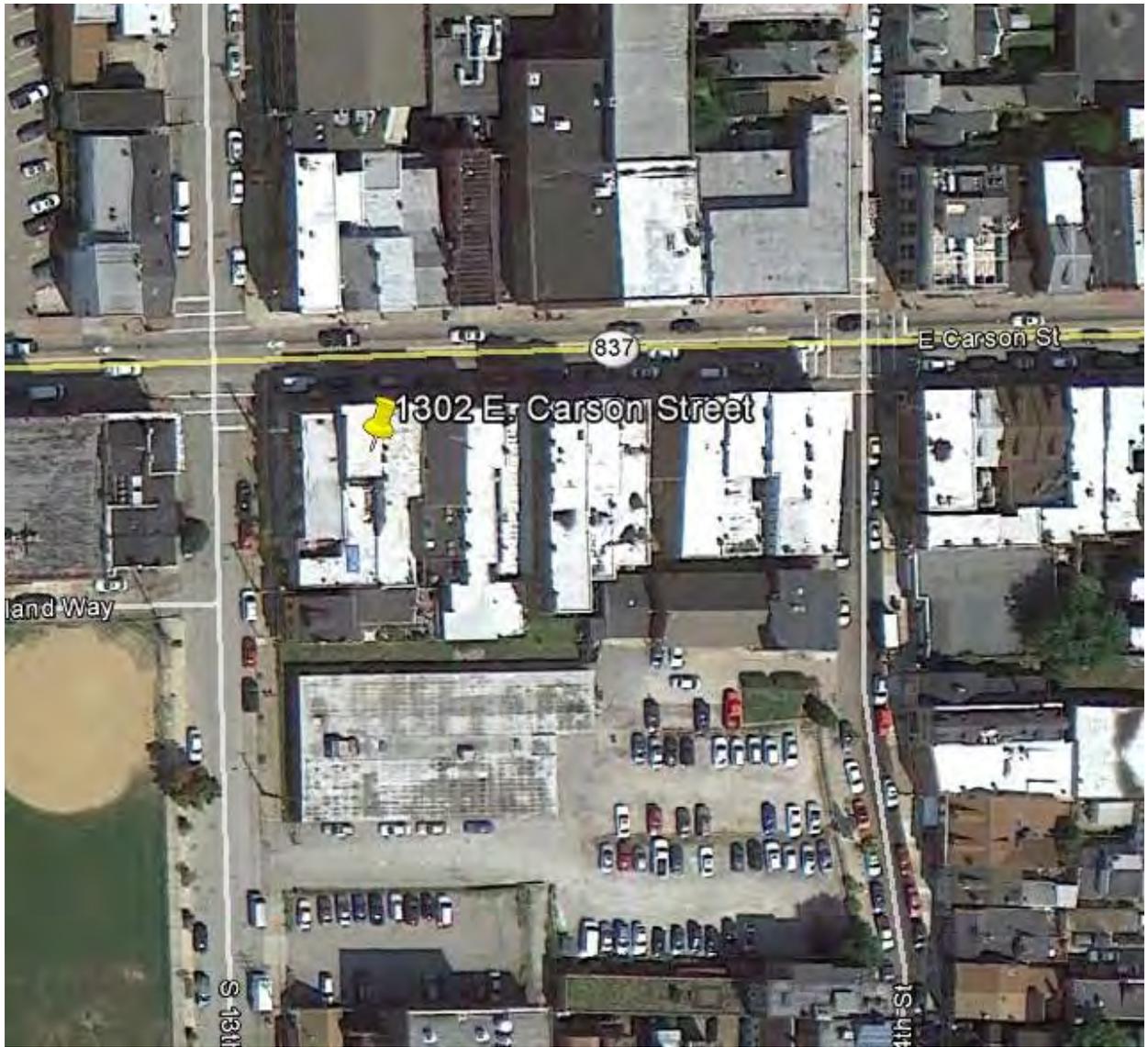
**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Strip brick of paint, clean and repaint. Replace metal slider and double hung windows with new aluminum clad wood double hung windows. Replace existing stucco/wood shingle storefront with aluminum frame glazed storefront with clearstory windows and new sign panel above.

**SIGNATURES:**

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPLICANT: \_\_\_\_\_ DATE: \_\_\_\_\_





*the glazing pot*  
CERAMICS HOBBY SHOP



ANTIQUES  
MODERN ART

NO PARKING  
OR STOPPING  
30 MINUTE  
LOADING  
ZONE  
8 AM - 6 PM



NO PARKING  
30 MINUTE  
LOADING  
ZONE  
8 AM - 6 PM  
PAY PARKING

SLACKER

1304

SLACKER

1302

THE SMILING MOOSE



**Paint Legend**

- Brick (remove paint - cleaned and repointed)
- SW2816 Rookwood Dark Green
- SW2822 Downing Sand

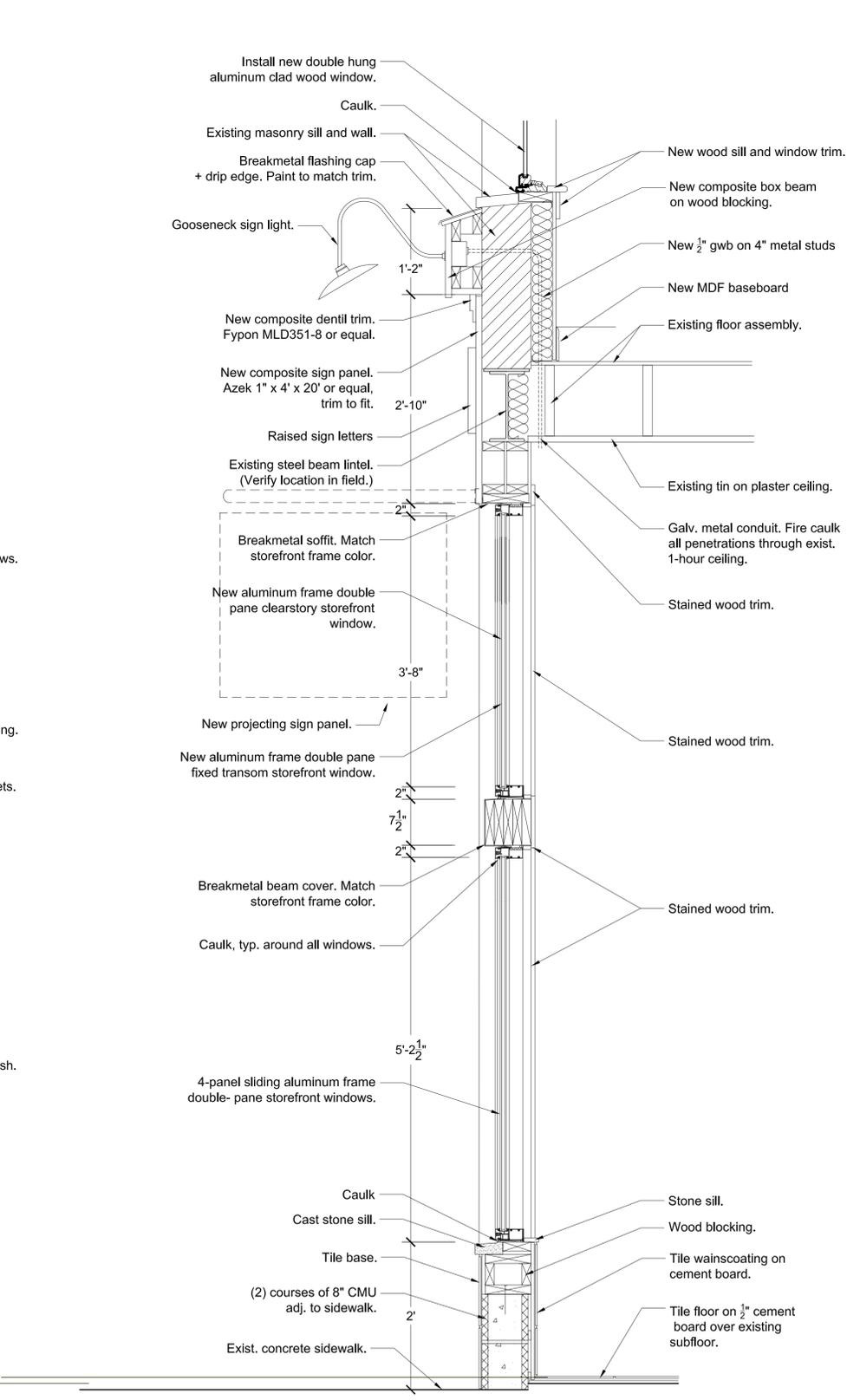
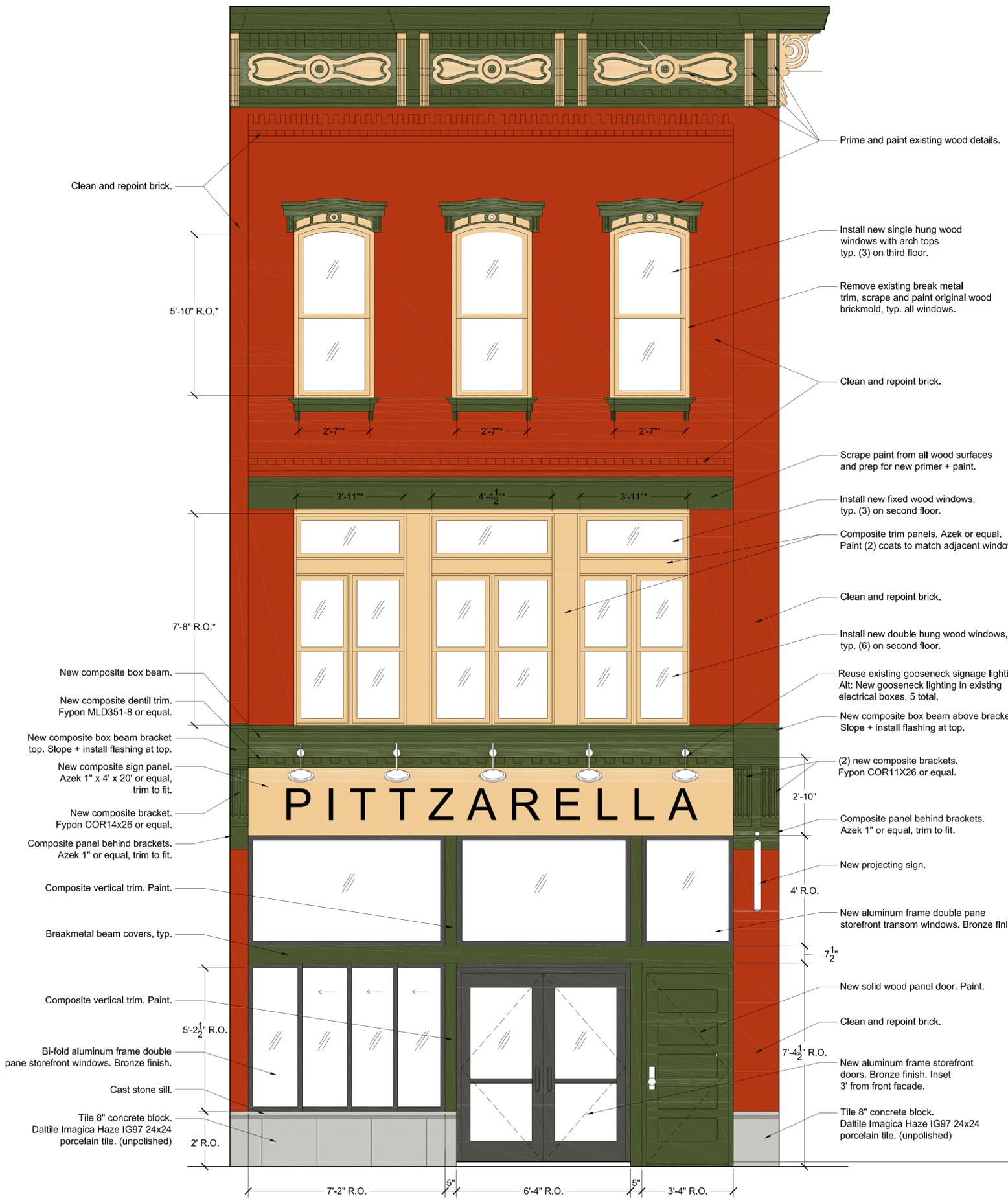


**Facade Renovations**

1302 East Carson Street  
Pittsburgh, PA 15203

**Revisions**

Date	04.17.2014
Client	Sayer Real Estate
Project No.	1311.068
Drawing Title	Proposed Elevation
Sheet	A5.1



2 North Elevation - New Construction  
1/4" = 1'-0"

1 Wall Section - New Construction  
1/4" = 1'-0"



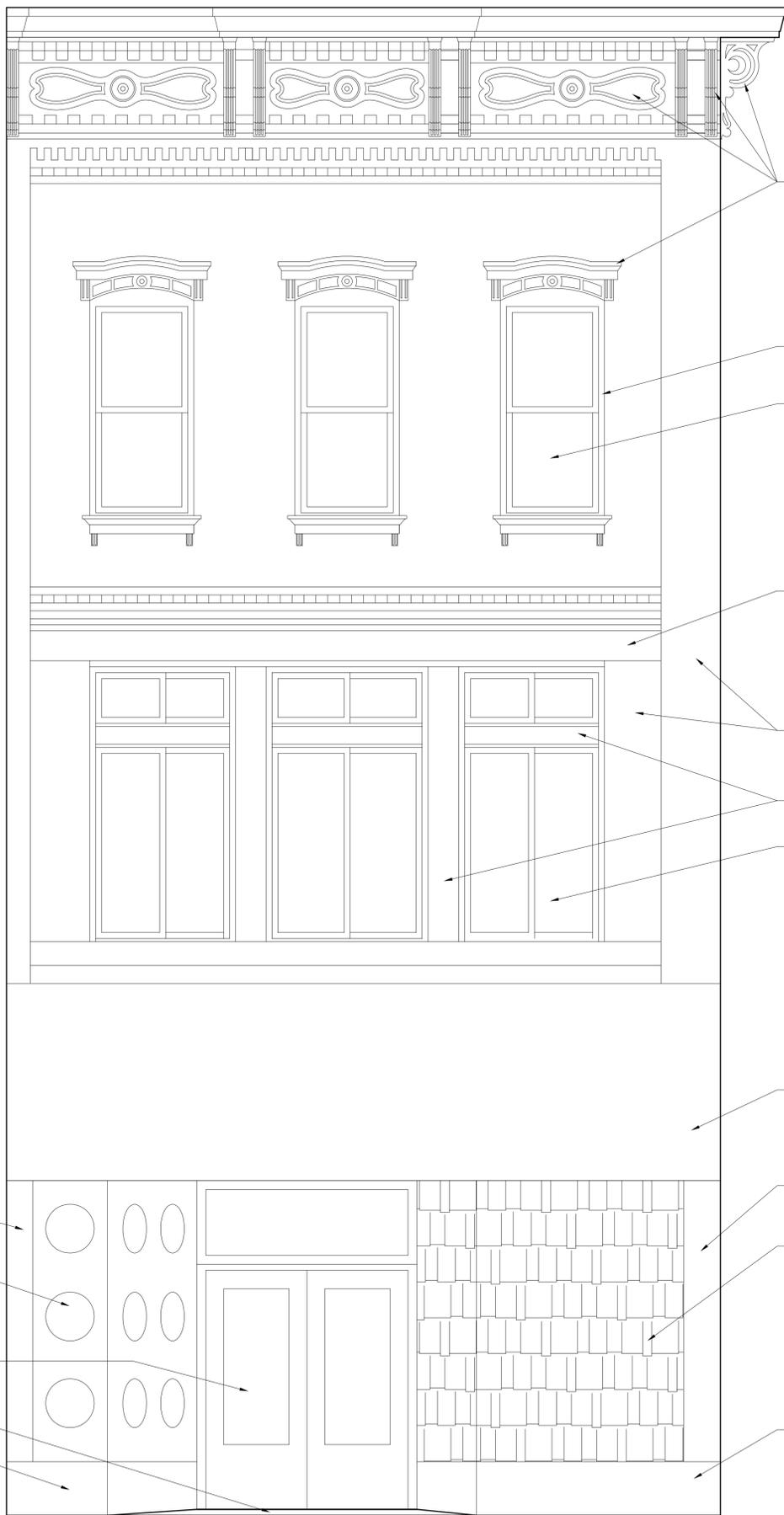
# Facade Renovations

1302 East Carson Street  
Pittsburgh, PA 15203

Revisions

Date  
04.17.2014  
Client  
Sayer Real Estate  
Project No.  
1311.068  
Drawing Title  
Demo Elevation  
Sheet

## A5.0



Scrape paint from all wood surfaces and prep for new primer + paint.

Remove breakmetal trim, typical at all windows.

Remove all existing vinyl windows, typ. all upper floor windows.

Scrape paint from all wood surfaces and prep for new primer + paint.

Strip paint from all exposed brick.

Remove breakmetal trim between windows.

Remove all existing vinyl windows, typ. all upper floor windows.

Remove glazed sign panel and wood framing beneath.

Remove glazed panels.

Remove wood shingles and wood framing beneath.

Remove wood base.

Remove glazed panels

Remove sheathing and plaster cast medallions.

Remove storefront doors, frame, and transom.

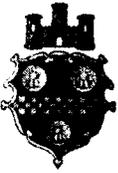
Remove sloped tile floor.

Remove wood base.

2 North Elevation - Demo  
1/4" = 1'-0"



1 North Facade - Existing Conditions Photo  
NTS



**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

2000 EAST CARSON ST.

**OWNER:**

NAME: 5 OAKS Development

ADDRESS: 1817 EAST CARSON ST.  
PGH PA 15203

PHONE: 877-348-3625

EMAIL: \_\_\_\_\_

STAFF USE ONLY:

DATE RECEIVED: 4/17/14

LOT AND BLOCK NUMBER: 12-K-14

WARD: 17th

FEE PAID: 410

**DISTRICT:**

E CARSON ST

**APPLICANT:**

NAME: Classic Deck Impressions

ADDRESS: 2953 Brevard Ave  
PGH, PA. 15227

PHONE: 412 496 5189

EMAIL: ClassicDeckImpressions@comcast.net

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

ROOF TOP Deck ON 3rd floor of  
EXISTING Building

**SIGNATURES:**

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPLICANT: [Signature] Classic Deck Impressions DATE: 4-16-14



Area for deck:  
3rd floor rear roof



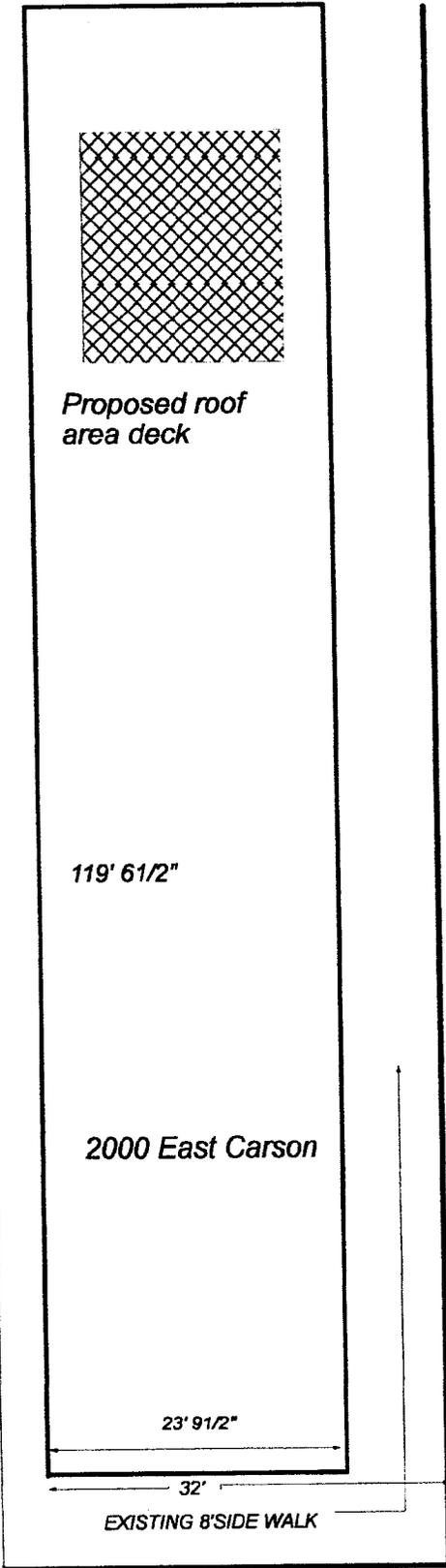
View from rooftop





Area for deck:  
3rd floor rear roof

22



127' 9 1/2"

Proposed roof  
area deck

119' 6 1/2"

2000 East Carson

23' 9 1/2"

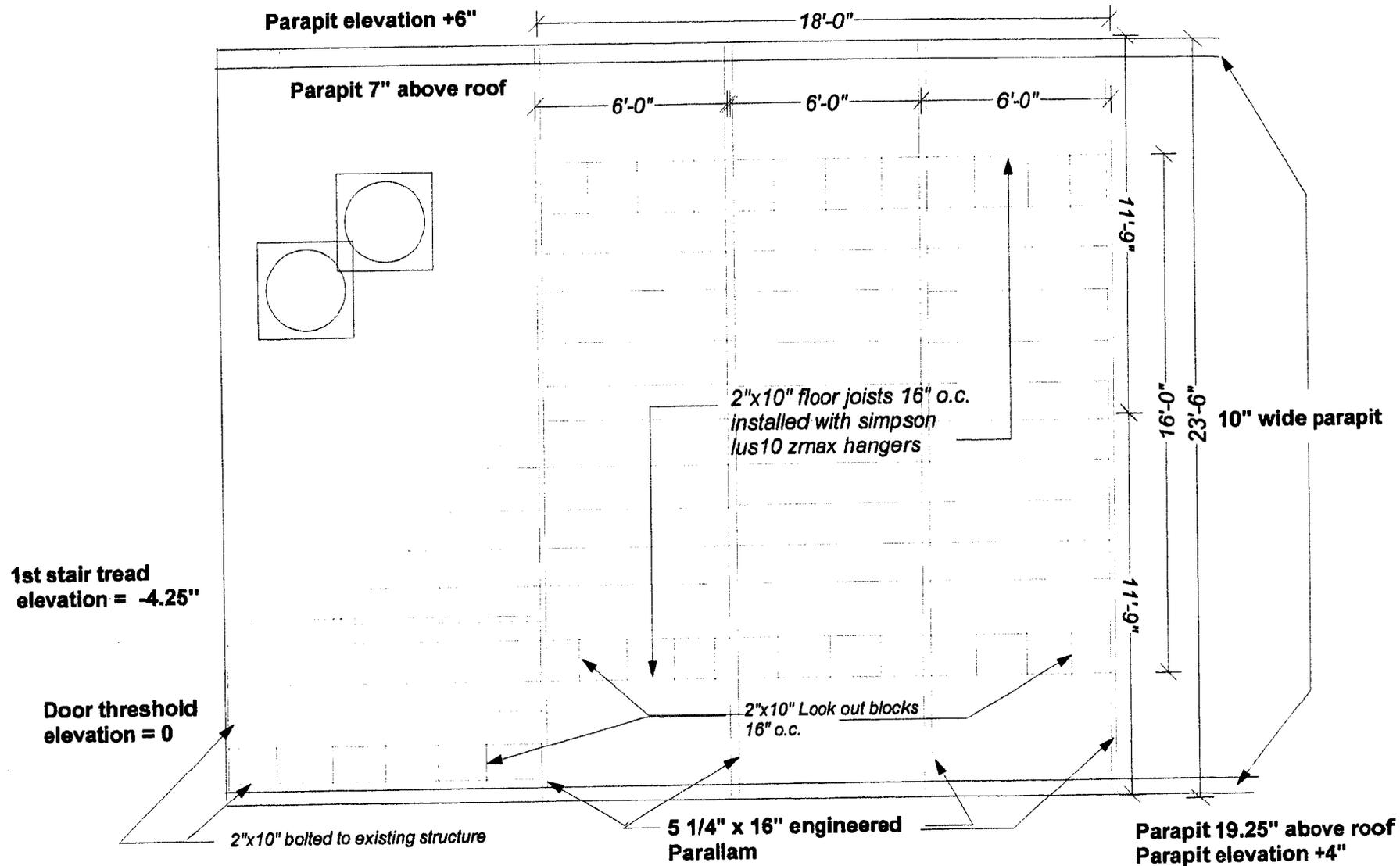
32'

EXISTING 8' SIDE WALK

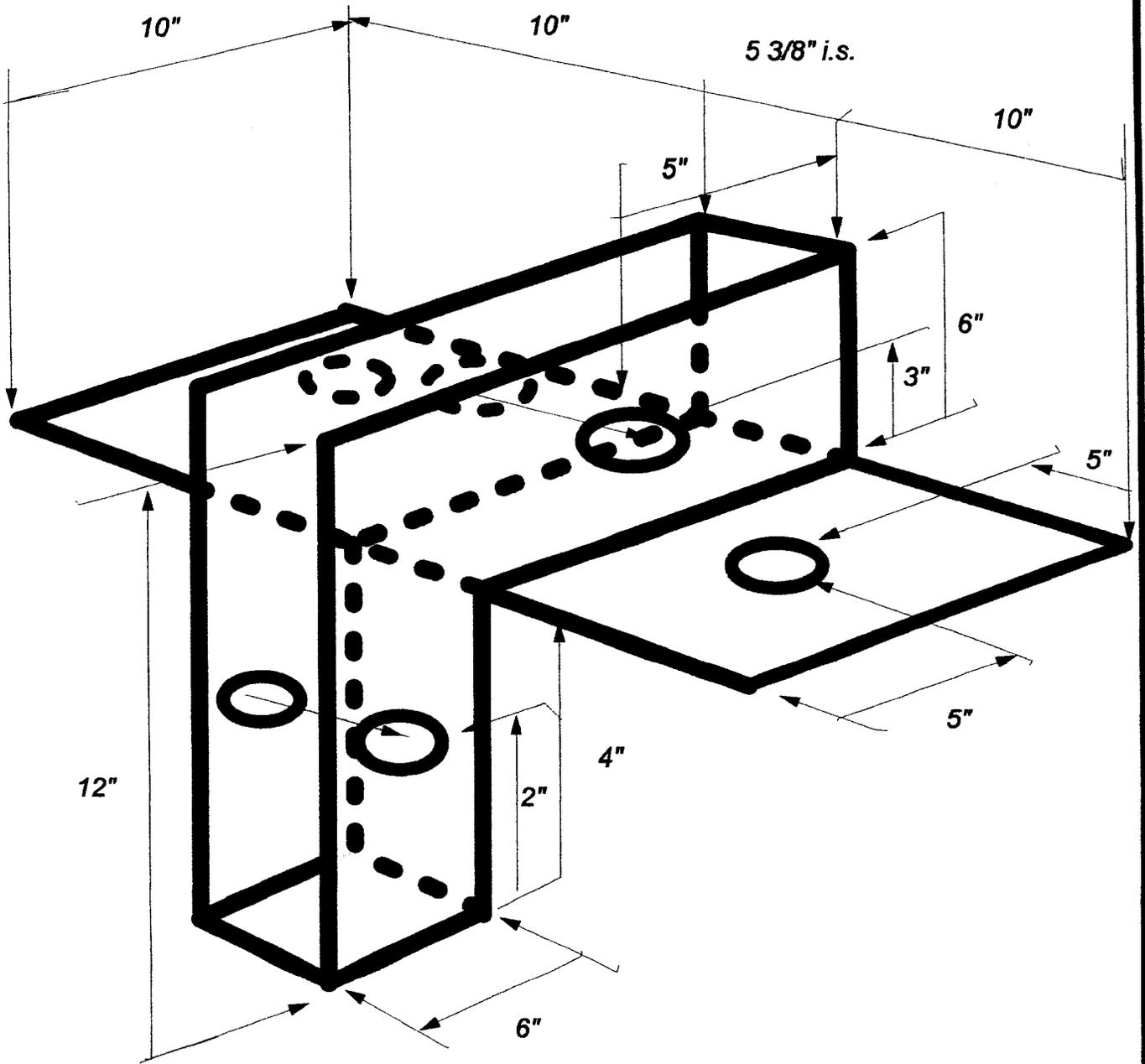
20TH  
STREET

CARSON STREET





20th Street



Prepared by: Paul Schmitt

Date: 4/14/14

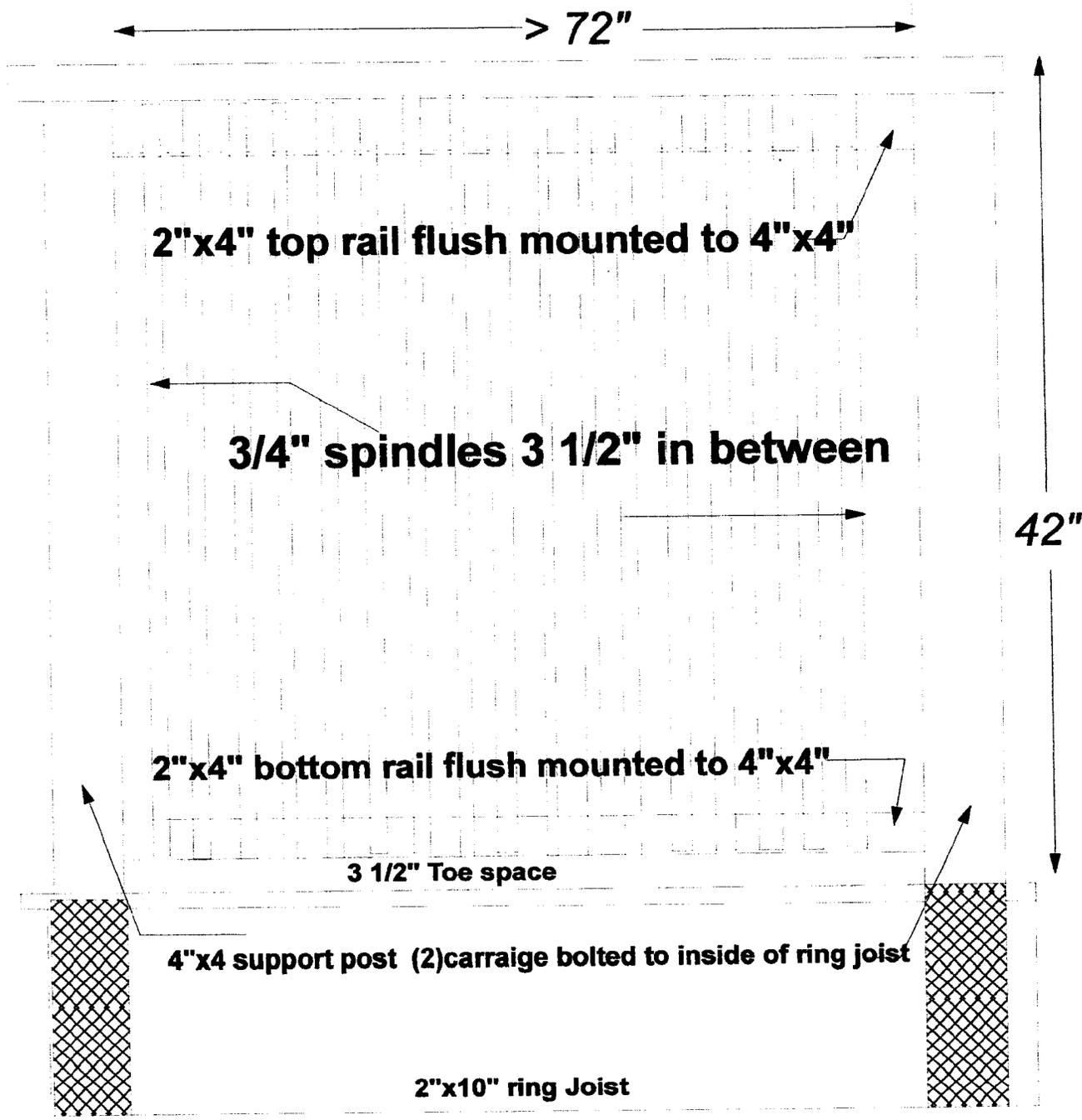
Scale: NTS

Prepared for:

**Classic Deck Impressions LLC**

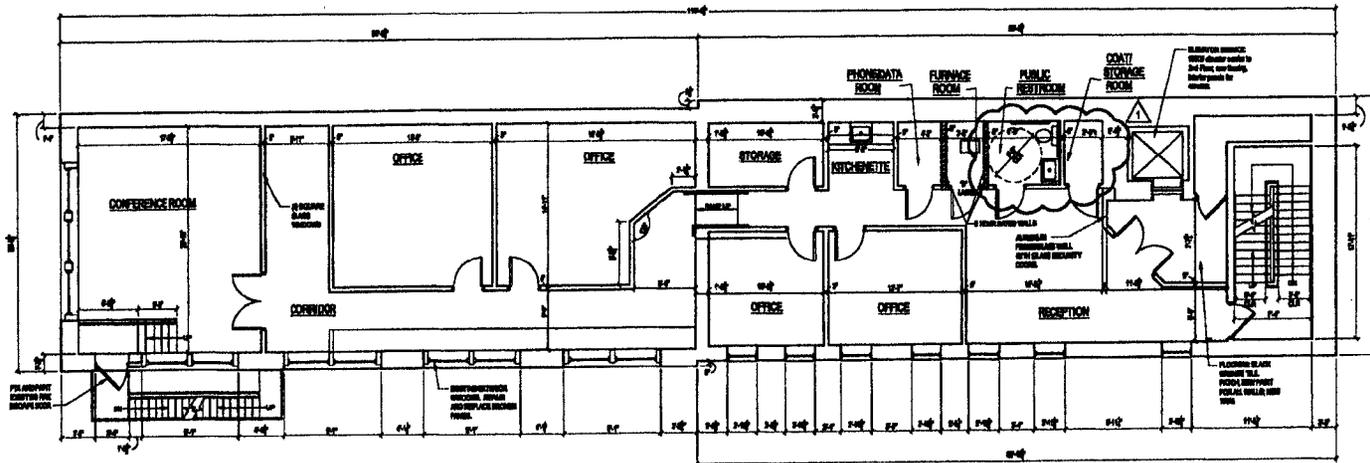
2953 Brevard Ave. Pgh., Pa 15227 412-496-5189  
 Classicdeckimpressions@comcast.net Pa. 52520

5 oaks development  
 2000 carson street  
 Pittsburgh, Pa,

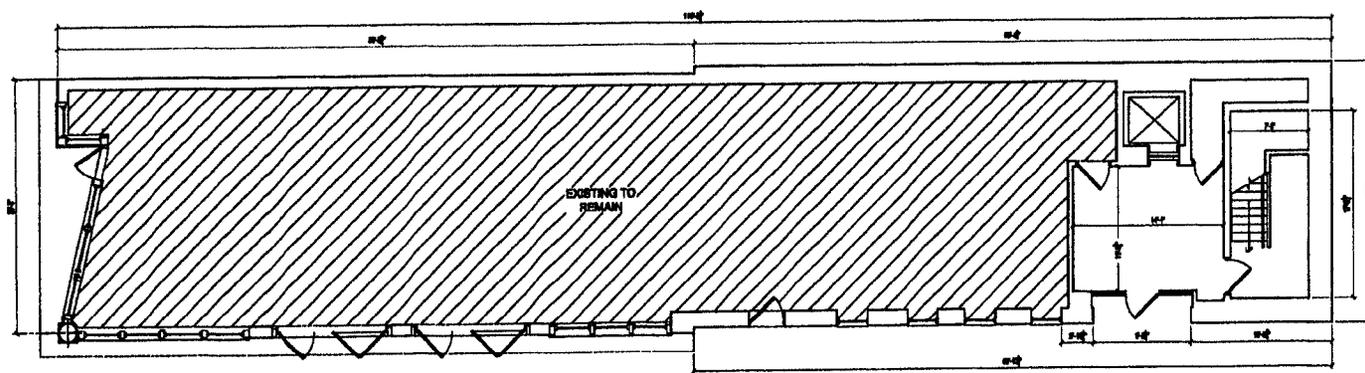


Drwn by: Paul Schmitt	Date: 2-14-11	Scale: NTS	Prepared for:
<b>Classic Deck Impressions LLC</b> 2953 Brevard Ave. Pgh., Pa 15227 412-496-5189 Classicdeckimpressions@comcast.net Pa.52520			Rail Detail

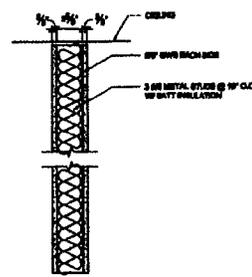




**2 SECOND FLOOR PLAN**  
 A1.0 3/16" = 1'-0"



**1 FIRST FLOOR PLAN**  
 A1.0 3/16" = 1'-0"



**3 TYPICAL WALL SECTION**  
 A1.0 1 1/2" = 1'-0"

**FINISH WALLS:** Unless otherwise indicated, all perimeter and non-partition walls are finished with 5/8" thick GYP board with 1/2" x 1/2" x 1/2" mesh and 1/2" x 1/2" x 1/2" joint compound.

**CEILING:** Unless otherwise indicated, all ceilings to match existing ceiling.

**FLOORING:** Unless otherwise indicated, all flooring to match existing flooring.

**DOORS/WINDOWS:** Unless otherwise indicated, all doors are glass panel doors. Unless otherwise indicated, all 1/2" x 1/2" x 1/2" doors.

**FINISH:** Standard electrical, phone and CAT 5 cabling.

**NOTES:** See Appendix A for details on existing conditions.



1200 WEST CHURCH STREET  
 PITTSBURGH, PA 15203  
 412.261.1234



Project No.	0000
Date	07/11/07
Drawn by	AL
Checked by	AL

2000 E. CARSON STREET  
 PITTSBURGH, PA 15203

**FIRST & SECOND FLOOR PLAN**

**A1.0**



**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

542 Fourth Avenue

Pittsburgh, PA 15219

**OWNER:**

NAME: Allegheny County

ADDRESS: 501 County Office Building, 542 Forbes Avenue

Pittsburgh, PA 15219

PHONE: (412) 350-5447

EMAIL: steven.johnson@alleghenycounty.us

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**DISTRICT:**

Individually Designated

**APPLICANT:**

NAME: Apostolou Associates, Inc.

ADDRESS: 47 Bailey Avenue

Pittsburgh, PA 15211

PHONE: (412) 381-1400

EMAIL: aa@apostolouarchitects.com

**REQUIRED ATTACHMENTS:**

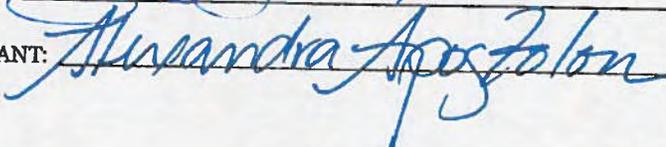
Drawings     Photographs     Renderings     Site Plan     Other

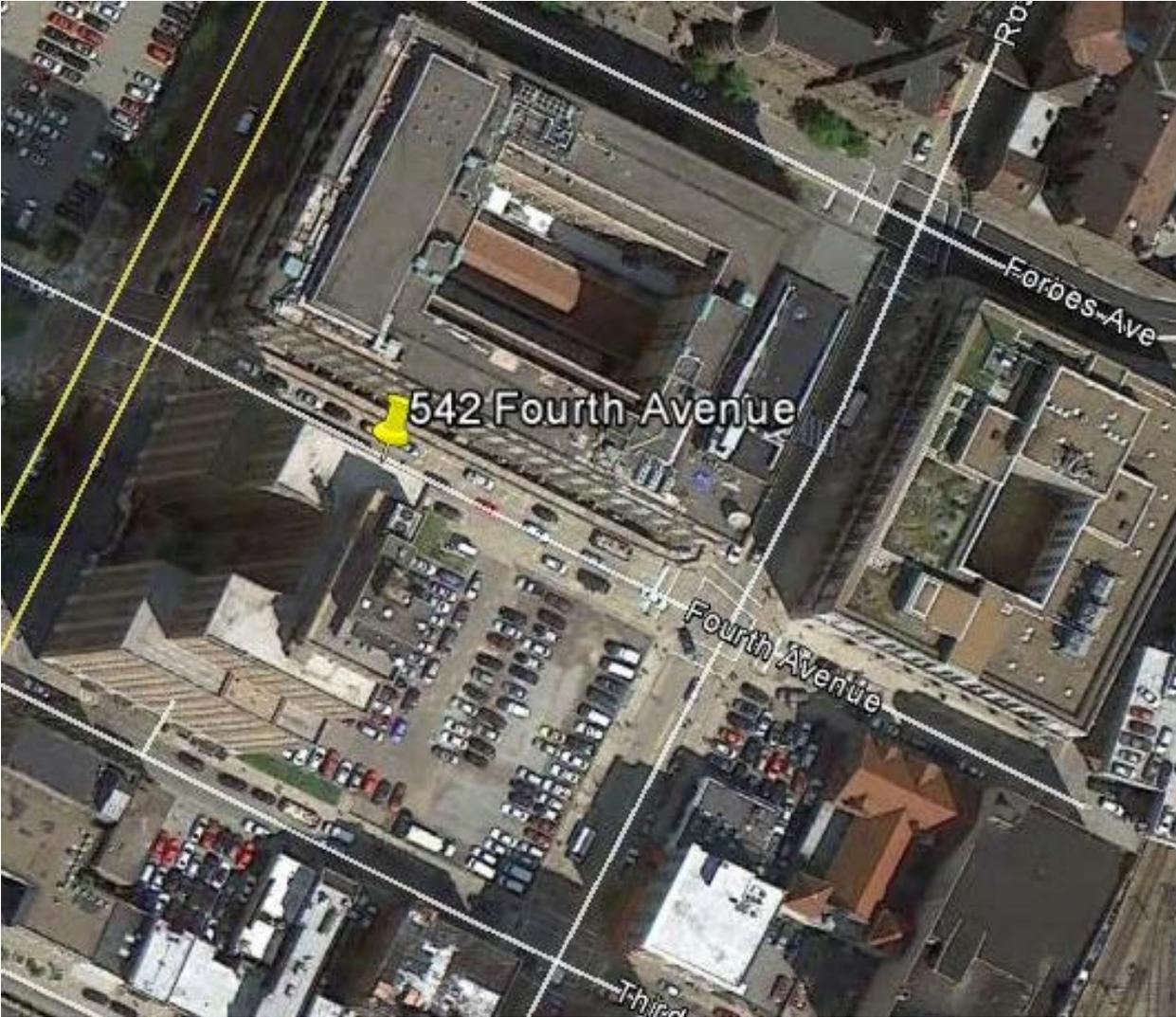
**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Install 10 security cameras to the exterior of the building, as located in the attached plans and elevations.

**SIGNATURES:**

OWNER:  DATE: April 11, 2014

APPLICANT:  DATE: April 11, 2014

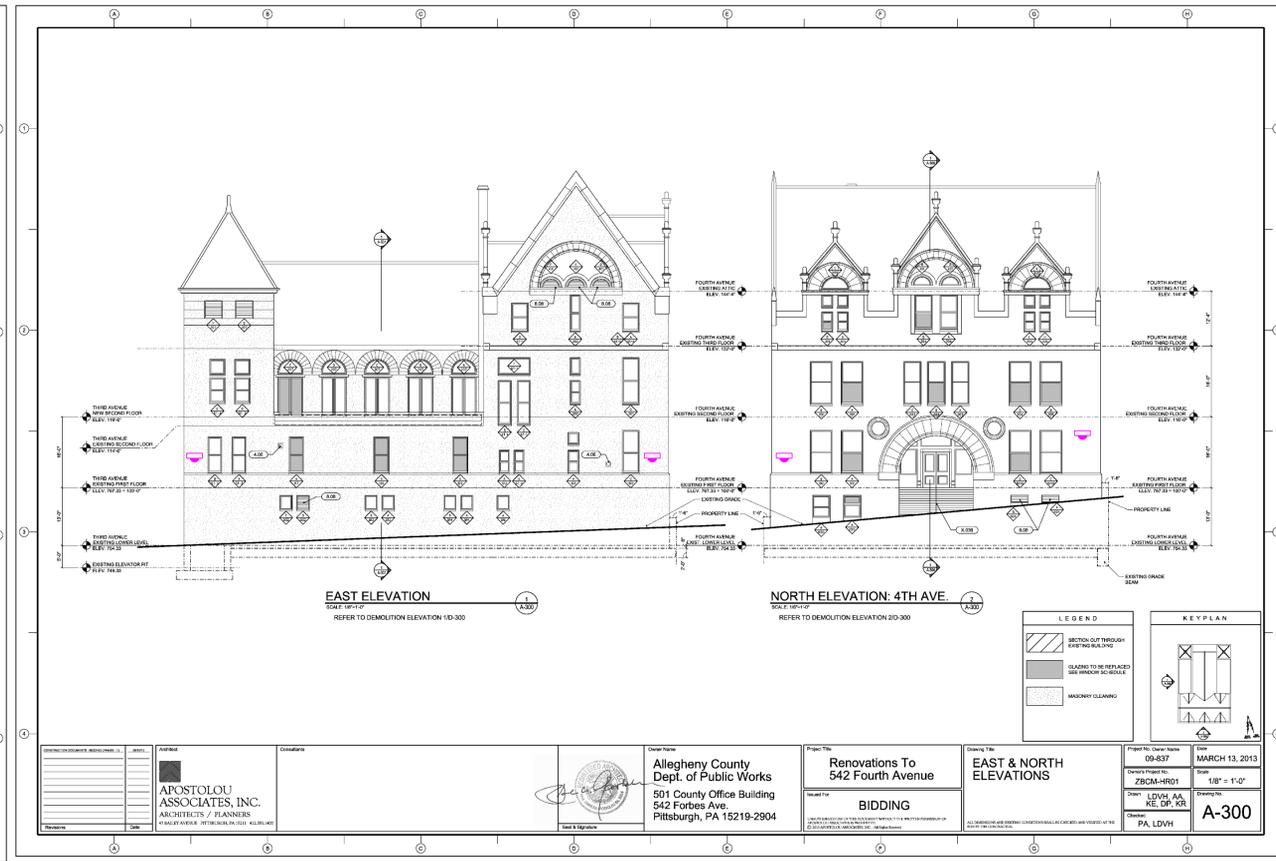
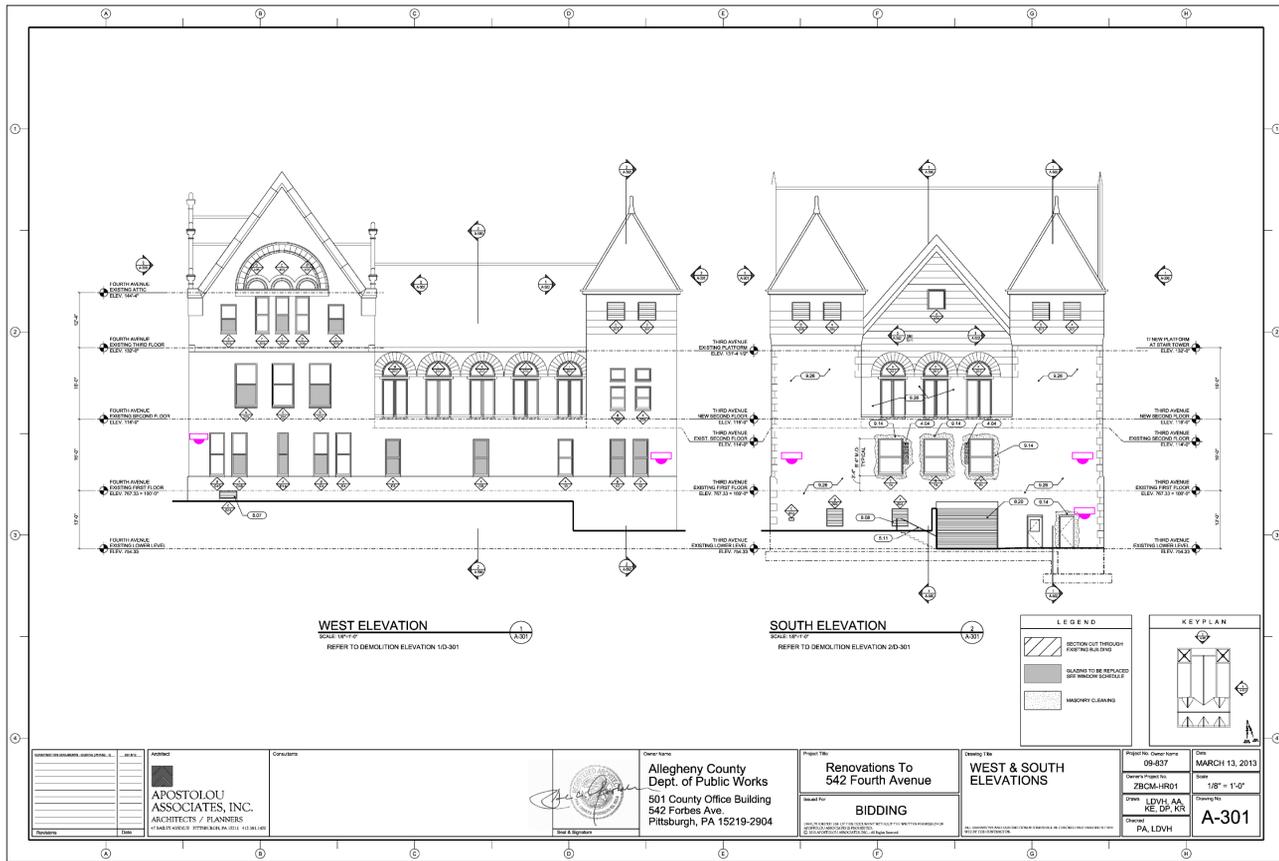


**PROPRIETARY AND CONFIDENTIAL INFORMATION NOTICE:**  
This proposal, drawing(s) and related documentation (and the information herein contained) is the proprietary, confidential and trade secret information of Tyco Integrated Security and is supplied upon the express conditions that: (1) the same shall be returned to Tyco Integrated Security upon request; (2) no reproduction of this documentation or any part thereof shall be made without the express written permission of Tyco Integrated Security.

**ATTENTION:**  
These drawings may contain confidential information and should not be distributed.

DESIGN DEVELOPMENT DRAWING - NOT FOR CONSTRUCTION

ALLEGHENY COUNTY HEALTH DEPARTMENT  
542 FOURTH AVENUE  
PITTSBURGH PA 15219



<p>APOSTOLOU ASSOCIATES, INC. ARCHITECTS / PLANNERS 11 MARKET SQUARE, PITTSBURGH, PA 15203</p>	<p>Client Name: <b>Allegheny County Dept. of Public Works</b> 501 County Office Building 542 Forbes Ave. Pittsburgh, PA 15219-2904</p>	<p>Project Title: <b>Renovations To 542 Fourth Avenue</b></p>	<p>Drawing Title: <b>WEST &amp; SOUTH ELEVATIONS</b></p>	<p>Project No. / Client Name: 09-837</p> <p>Client's Project No. / Scale: ZBCM-HR01 / 1/8" = 1'-0"</p> <p>Drawn By / Date: LDVH, AA, KE, DP, KR / MARCH 13, 2013</p> <p>Checked By / Drawing No. / Title: PA, LDVH / A-301</p>
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<p>APOSTOLOU ASSOCIATES, INC. ARCHITECTS / PLANNERS 11 MARKET SQUARE, PITTSBURGH, PA 15203</p>	<p>Client Name: <b>Allegheny County Dept. of Public Works</b> 501 County Office Building 542 Forbes Ave. Pittsburgh, PA 15219-2904</p>	<p>Project Title: <b>Renovations To 542 Fourth Avenue</b></p>	<p>Drawing Title: <b>EAST &amp; NORTH ELEVATIONS</b></p>	<p>Project No. / Client Name: 09-837</p> <p>Client's Project No. / Scale: ZBCM-HR01 / 1/8" = 1'-0"</p> <p>Drawn By / Date: LDVH, AA, KE, DP, KR / MARCH 13, 2013</p> <p>Checked By / Drawing No. / Title: PA, LDVH / A-300</p>
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**ELECTRONIC SECURITY LEGEND**

SYMBOL	DEVICE DESCRIPTION
	DOOR INTERCOM STATION
	INTERCOM MASTER STATION
	CCTV MONITOR
	ELECTRONIC SECURITY - DATA POWER DEVICES
	ELECTRONIC SECURITY - GENERIC DEVICES
	CAMERA
	ACCESS CONTROL CARD READER

**A** ELECTRONIC SECURITY - PLAN VIEWS / DEVICE LOCATIONS  
SCALE: \*

**ISSUE LOG:**

MARK	DATE	INT	DESCRIPTION
	3/5/14		INITIAL CCTV AND ACCESS DESIGN
	3/10/14		4th card reader and intercom system
	3/19/14		two additional outdr. cameras
	3/21/14		Interior camera elevations/camera numbering
	3/31/14		camera location changes

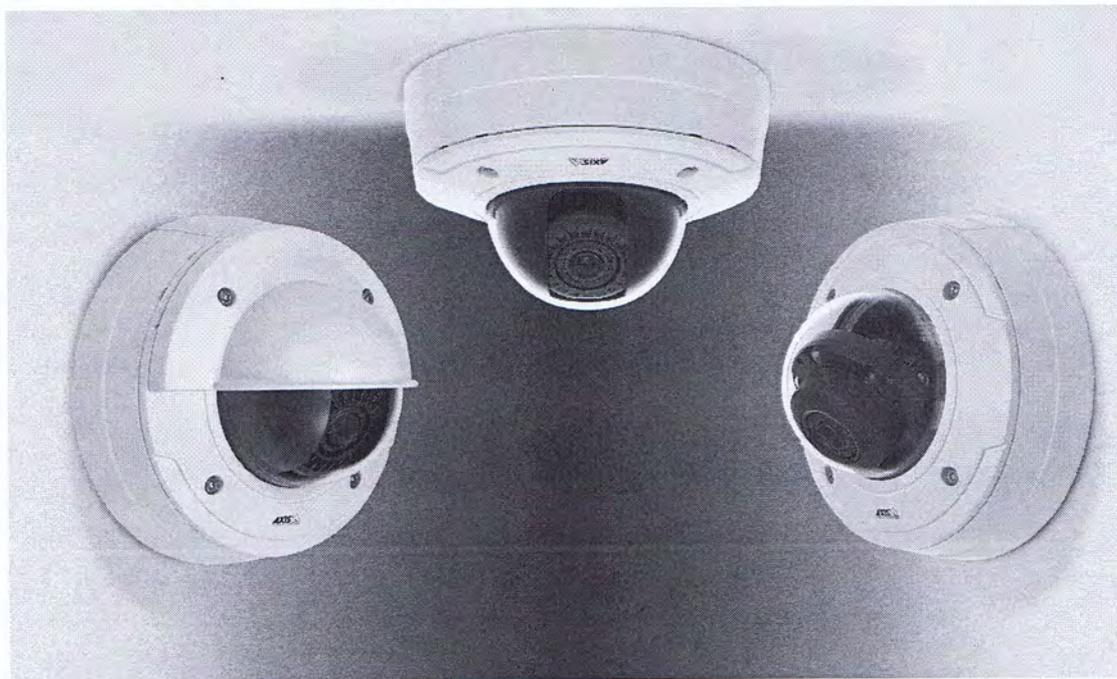
DRAWN BY:  
CHECKED BY:  
JOB NUMBER:  
PROJECT NUMBER:  
COPYRIGHT: TYCO INTEGRATED SECURITY

SHEET:  
**ELECTRONIC SECURITY  
PLAN VIEWS  
DEVICE LOCATIONS**

TY101

## AXIS P33 Network Camera Series – Outdoor models

Fixed domes for any environment with remote focus and zoom.



- > 5 MP and HDTV
- > WDR and Lightfinder
- > Built-in IR illumination
- > Remote focus and zoom
- > P-Iris control
- > IK10 impact-resistant, outdoor-ready models

AXIS P33 Network Cameras constitute a series of indoor and outdoor-ready fixed domes. These cameras are ideal for unobtrusive video surveillance, day and night, in exposed areas such as city surveillance, airports, railway stations, retail stores, office buildings, museums, schools and university campuses.

AXIS P33 Series offers models with exceptional image quality from SVGA resolution up to 5 megapixel, including SMPTE-compliant HDTV 720p and 1080p video. AXIS P33 Series provides multiple, individually configurable H.264 and Motion JPEG video streams.

The SVGA and HDTV 720p/1MP models support Axis' Lightfinder technology, which makes these cameras extremely sensitive to low light. AXIS P3384-VE that additionally supports wide dynamic range (WDR) with 'dynamic capture', provides outstanding video quality in the most demanding conditions with strong variations in light. The 5 megapixel model, AXIS P3367-VE, can cover a large area with exceptional detail and light sensitivity. All AXIS P33 models support P-Iris control for optimal image clarity.

AXIS P3364-LVE incorporates new long-life LED technology that is highly power-efficient. Adjustable in angle and intensity, the built-in IR solution offers easy configuration optimizing for the scene. All AXIS P33 cameras support the remote focus capability that eliminates hands-on focusing at the camera, and remote zoom that allows the camera's angle of view to be optimized.

All AXIS P33 cameras offer digital pan/tilt/zoom and the 3-megapixel and 5-megapixel models additionally provide multi-view streaming. The weatherproof AXIS P33-VE/-LVE cameras have low, environmental-friendly power consumption supplied by standard Power over Ethernet (IEEE 802.3af), and operate in a wide temperature range from -40 °C to 55 °C (-40 °F to 131 °F).



## Fixed domes designed for efficient installation

Outdoor-ready models of AXIS P33 Series are the perfect choice for a wide range of demanding video applications. AXIS P33 Network Cameras are designed for professional video surveillance with easy and reliable installation in focus.

### Outdoor-ready installation for tough climates

The outdoor models of AXIS P33 Series are specially designed for reliable, vandal-resistant and weatherproof installation, with pre-installed heater and fan, and an integrated dehumidifying membrane eliminating any humidity caught in the camera casing during installation. These cameras come with a 5 m (16 ft) Ethernet cable with a pre-mounted, specially designed gasket, enabling flush wall mounting and requiring no additional sealant. A weather shield is also included for effective protection against reflections from sunlight, or build-ups of rain or snow; except for the AXIS P3364-LVE model, for which the shield could interfere with the built-in IR illumination. A wide range of optional mounting kits are available, for example for mounting on a wall, pole or corner.

### Lightfinder technology

The SVGA and HDTV 720p/1 MP models of AXIS P33 Series incorporate Axis' unique Lightfinder technology. The outstanding light sensitivity, with maintained colors even in very poor lighting conditions, is obtained by a combination of Axis' expertise in image processing, system-on-chip development and selection of the best optical components.

For more on Lightfinder technology, go to:  
[www.axis.com/corporate/corp/tech\\_papers.htm](http://www.axis.com/corporate/corp/tech_papers.htm)

### Wide dynamic range – dynamic capture

AXIS P3384-VE that supports WDR with 'dynamic capture' is ideal for surveillance in areas with strong variations in light, for instance in tunnel passages and other areas where the sunlight creates both very bright zones and dark shadows. AXIS P3384-VE enables easy and clear identification of people and objects both in bright and dark areas.

### Built-in IR illumination

AXIS P3364-LVE features built-in IR illumination based on new, long-life LED technology that is highly power efficient. This results in high-quality, low-noise video also when the environment is completely dark.

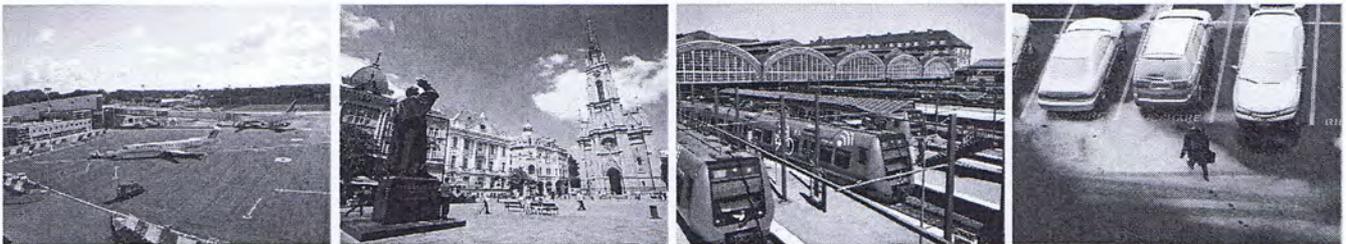
### P-Iris control

AXIS P33 Series features the advanced precise iris control that comprises a special P-Iris lens, together with dedicated software in the camera, to set the best iris position for optimal depth of field, resolution, image contrast and clarity. Good depth of field implies that objects at different distances from the camera are in focus simultaneously.

For more on P-Iris and iris control, go to:  
[www.axis.com/corporate/corp/tech\\_papers.htm](http://www.axis.com/corporate/corp/tech_papers.htm)

### Easy installation

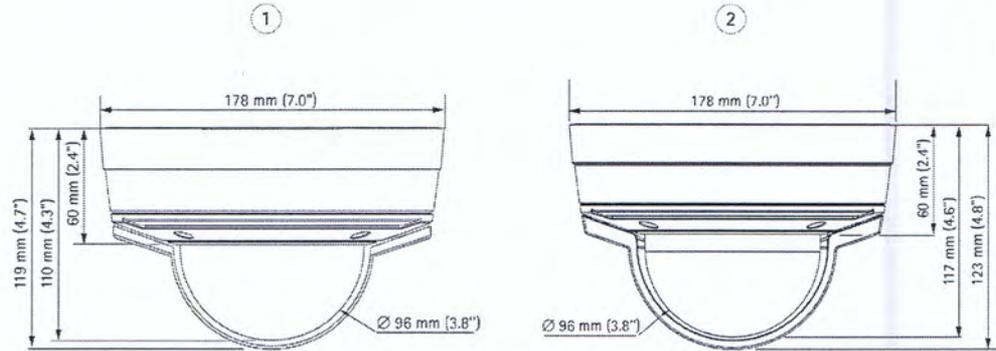
AXIS P33 Network Cameras offer unique installation capabilities including remote focus and zoom. The remote focus feature enables convenient focusing over the network, eliminating the need for hands-on finetuning at the camera. The remote zoom functionality ensures that the camera's angle of view is optimized for the area to be monitored. The pixel counter assures that the required pixel resolution is met. The built-in IR solution in AXIS P3364-LVE automatically adapts the illumination angle with the zoom level, which simplifies installation.



## Dimensions

1. AXIS P3363-VE/P3364-VE/P3364-LVE

2. AXIS P3384-VE/P3346-VE/P3367-VE



## Optional accessories

1. Pendant adapter kit including weather shield

2. AXIS T91A61 Wall Bracket

3. AXIS T91A64 Corner Bracket

4. I/O audio cable, 5 m (16 ft)

5. AXIS T90A Illuminators

6. Cable shield, optionally including AXIS P33-VE 3/4" NPS adapter



## Technical Specifications – AXIS P33 Network Camera Series – Outdoor models

<b>Models</b>	<p>AXIS P3363-VE: SVGA, Lightfinder                  AXIS P3364-VE: 1 MP, Lightfinder                  AXIS P3364-LVE: 1 MP, IR illumination, Lightfinder                  AXIS P3384-VE: 1 MP, WDR - dynamic capture, Lightfinder                  AXIS P3346-VE: 3 MP, multi-view streaming                  AXIS P3367-VE: 5 MP, multi-view streaming                  Note: All models are vandal resistant and support audio and I/O ports                  6 mm and 12 mm as suffix refer to lens model</p>
<b>Camera</b>	
<b>Image sensor</b>	<p>AXIS P3363-VE: Progressive scan RGB CMOS 1/3"                  AXIS P3364-VE/LVE: Progressive scan RGB CMOS 1/3"                  AXIS P3384-VE: Progressive scan RGB CMOS 1/3"                  AXIS P3346-VE: Progressive scan RGB CMOS 1/3" (effective)                  AXIS P3367-VE: Progressive scan RGB CMOS 1/3.2"</p>
<b>Lens</b>	<p>Varifocal, Remote focus and zoom, P-Iris control, IR corrected, Megapixel resolution                  AXIS P3363-VE/P3364-VE/P3364-LVE 6 mm: 2.5–6 mm, 105°–49° view<sup>a</sup>, F1.2                  AXIS P3363-VE/P3364-VE/P3364-LVE 12 mm: 3.3–12 mm, 82°–24° view<sup>a</sup>, F1.4                  AXIS P3384-VE: 3–9 mm, 84°–30° view<sup>a</sup>, F1.2                  AXIS P3346-VE: 3–9 mm, 84°–30° view<sup>a</sup>, F1.2                  AXIS P3367-VE: 3–9 mm, 84°–30° view<sup>a</sup>, F1.2</p>
<b>Day and night</b>	Automatically removable infrared-cut filter
<b>Minimum illumination</b>	<p>AXIS P3363-VE/P3364-VE 6 mm: Color: 0.1 lux, F1.2, B/W: 0.02 lux, F1.2                  AXIS P3364-LVE 6 mm: Color: 0.12 lux, F1.2, B/W: 0.03 lux, 0 lux with IR illumination on                  AXIS P3363-VE/P3364-VE 12 mm: Color: 0.15 lux, F1.4, B/W: 0.03 lux, F1.4                  AXIS P3364-LVE 12 mm: Color: 0.18 lux, F1.4, B/W: 0.04 lux, 0 lux with IR illumination on                  AXIS P3384-VE: Color: 0.5 lux, F1.2, B/W: 0.08 lux, F1.2 with dynamic capture                  Color: 0.15 lux, F1.2, B/W: 0.03 lux, F1.2 with Lightfinder                  AXIS P3346-VE: Color: 0.5 lux, F1.2, B/W: 0.08 lux, F1.2                  AXIS P3367-VE: Color: 0.2 lux, B/W: 0.04 lux, F1.2</p>

<b>Shutter time</b>	<p>AXIS P3363-VE/P3364-VE/P3364-LVE: 1/24500 s to 2 s with power line frequency 50 Hz, 1/29500 s to 2 s with power line frequency 60 Hz                  AXIS P3384-VE: Dynamic capture: 1/192 s to 1/37 s with power line frequency 50 Hz, 1/231 s to 1/44 s with power line frequency 60 Hz                  Lightfinder: 1/24500 s to 2 s with power line frequency 50 Hz, 1/29500 s to 2 s with power line frequency 60 Hz                  AXIS P3346-VE: 1/35500 s to 1/6 s                  AXIS P3367-VE: 1/28000 s to 2 s</p>
<b>Camera angle adjustment</b>	<p>AXIS P3363-VE/P3364-VE/P3364-LVE: Pan 360°, tilt 170°, rotation 340°                  AXIS P3384-VE/P3346-VE/P3367-VE: Pan 360°, tilt 160°, rotation 340°</p>
<b>Video</b>	
<b>Video compression</b>	H.264 Baseline and Main Profile (MPEG-4 Part 10/AVC) Motion JPEG
<b>Resolutions</b>	<p>AXIS P3363-VE: 800x600 (SVGA) to 160x90                  AXIS P3364-VE/P3364-LVE/P3384-VE: 1280x960<sup>b</sup> (approx. 1.3 MP) to 160x90                  AXIS P3346-VE: 2048x1536 (3 MP) to 160x90                  AXIS P3367-VE: 2592x1944 (5 MP) to 160x90</p>
<b>Frame rate</b>	<p>AXIS P3363-VE/P3364-VE/P3364-LVE/P3384-VE: 25/30 fps with power line frequency 50/60 Hz                  AXIS P3346-VE: 3 MP capture mode: 20 fps in all resolutions; HDTV 1080p (1920x1080) and 2 MP 4:3 (1600x1200) capture modes: 30 fps in all resolutions                  AXIS P3367-VE: 5 MP capture mode: 12 fps in all resolutions; and capable of all AXIS P3346-VE capture modes</p>
<b>Video streaming</b>	Multiple, individually configurable streams in H.264 and Motion JPEG, Controllable frame rate and bandwidth, VBR/CBR H.264

<b>Multi-view streaming</b>	AXIS P3346-VE/P3367-VE: Up to 8 individually cropped out view areas AXIS P3346-VE: When streaming 4 view areas and 1 overview in VGA resolution, the frame rate is 20 fps per stream (3 MP capture mode) AXIS P3367-VE: When streaming 4 view areas and 1 overview in VGA resolution, the frame rate is 12 fps per stream (5 MP capture mode) or 20 fps per stream (3 MP capture mode)
<b>Pan/Tilt/Zoom</b>	Digital PTZ AXIS P3346-VE/P3367-VE: Preset positions, Guard tour
<b>Image settings</b>	Compression, Color, Brightness, Sharpness, Contrast, White balance, Exposure control, Exposure zones, Backlight compensation, Fine tuning of behavior at low light, WDR – dynamic contrast, Text and image overlay, Mirroring of images, Privacy mask Rotation: 0°, 90°, 180°, 270°, including Corridor Format AXIS P3384-VE: WDR – dynamic capture: Up to 120 dB (0.5–500,000 lux) depending on scene
<b>Audio</b>	
<b>Audio streaming</b>	Two-way
<b>Audio compression</b>	AAC LC 8/16 kHz, G.711 PCM 8 kHz, G.726 ADPCM 8 kHz Configurable bit rate
<b>Audio input/output</b>	External microphone input or line input, Line output
<b>Network</b>	
<b>Security</b>	Password protection, IP address filtering, HTTPS <sup>c</sup> encryption, IEEE 802.1X <sup>c</sup> network access control, Digest authentication, User access log
<b>Supported protocols</b>	IPv4/v6, HTTP, HTTPS <sup>c</sup> , SSL/TLS <sup>c</sup> , QoS Layer 3 DiffServ, FTP, CIFS/SMB, SMTP, Bonjour, UPnP, SNMPv1/v2c/v3 (MIB-II), DNS, DynDNS, NTP, RTSP, RTP, TCP, UDP, IGMP, RTCP, ICMP, DHCP, ARP, SOCKS
<b>System integration</b>	
<b>Application Programming Interface</b>	Open API for software integration, including VAPIX <sup>®</sup> and AXIS Camera Application Platform; specifications at www.axis.com AXIS Video Hosting System (AVHS) with One-Click Camera Connection. ONVIF Profile S; specification available at www.onvif.org
<b>Intelligent video</b>	Video motion detection, Active tampering alarm, Audio detection, AXIS Camera Application Platform enabling installation of additional applications
<b>Event triggers</b>	Intelligent video, Edge storage events, External input
<b>Event actions</b>	File upload: FTP, HTTP, network share and email Notification: email, HTTP and TCP Video and audio recording to edge storage Pre- and post-alarm video buffering External output activation, Play audio clip AXIS P3346-VE/P3367-VE: Preset positions, Guard tour
<b>Data streaming</b>	Event data
<b>Built-in installation aids</b>	Remote zoom, Remote focus, Pixel counter AXIS P3364-LVE: Adjustable IR illumination angle and intensity

<b>General</b>	
<b>Casing</b>	Polycarbonate transparent cover Aluminum inner camera module with encapsulated electronics IP66- and NEMA 4X-rated, IK10 impact-resistant casing with aluminum base and dehumidifying membrane Color: white NCS S 1002-B. For repainting instructions and impact on warranty, contact your Axis partner
<b>Memory</b>	256 MB RAM, 128 MB Flash AXIS P3367-VE: 512 MB RAM, 128 MB Flash
<b>Power</b>	Power over Ethernet IEEE 802.3af/802.3at Type 1 Class 3 AXIS P3363-VE/P3364-VE/P3364-LVE/P3384-VE/P3367-VE: max. 12.1 W AXIS P3346-VE: max. 12.8 W
<b>Connectors</b>	RJ45 10BASE-T/100BASE-TX PoE, Terminal block for 1 alarm input and 1 output, 3.5 mm mic/line in, 3.5 mm line out
<b>IR illumination</b>	AXIS P3364-LVE: Power-efficient, long-life 850 nm IR LED's with adjustable angle of illumination and intensity. Range of reach up to 30 m (100 ft) depending on scene
<b>Edge storage</b>	SD/SDHC/SDXC slot supporting memory card up to 64 GB (card not included) Support for recording to network share (network-attached storage or file server)
<b>Operating conditions</b>	-40 °C to 55 °C (-40 °F to 131 °F) Humidity 10–100% RH (condensing)
<b>Approvals</b>	EN 55022 Class B, EN 50121-4, EN 55024, EN 61000-6-1, EN 61000-6-2, FCC Part 15 Subpart B Class B, ICES-003 Class B digital, VCCI Class B, C-tick AS/NZS CISPR 22 Class B, IEC 60068-2-1, IEC 60068-2-2, IEC 60068-2-14, IEC 60068-2-27, IEC 60068-2-64, IEC 60068-2-78, IEC 62236-4, IEC/EN/UL 60950-1, IEC/EN 60529 IP66, NEMA 250 Type 4X, IEC/EN 62262 IK10, ITE, KCC AS/NZS CISPR 22, KN 22, KN 24 AXIS P3364-LVE: EN 62471
<b>Weight</b>	AXIS P3363-VE/P3364-VE: 1.5 kg (3.3 lb), with weather shield AXIS P3364-LVE: 1.4 kg (3.1 lb), without weather shield AXIS P3384-VE/P3346-VE/P3367-VE: 1.7 kg (3.7 lb), with weather shield
<b>Included accessories</b>	Installation Guide, Installation and Management Software CD, Windows decoder 1-user license, Connector kit, Mounting bracket, 5 m (16 ft) network cable with pre-mounted gasket AXIS P3363-VE/P3364-VE/P3384-VE/P3346-VE/P3367-VE: Weather shield, Smoked transparent cover
<b>Video management software</b>	AXIS Camera Station and video management software from Axis' Application Development Partners (not included). For more information, see www.axis.com/products/video/software
<b>Warranty</b>	Axis 3-year warranty and AXIS Extended Warranty option, see www.axis.com/warranty

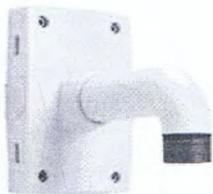
a. Horizontal angle of view

b. 1400x1050 (1.4 MP) scaled resolution available via VAPIX<sup>®</sup>

c. This product includes software developed by the OpenSSL Project for use in the OpenSSL Toolkit (<http://www.openssl.org/>), and cryptographic software written by Eric Young ([ey@cryptsoft.com](mailto:ey@cryptsoft.com)).

More information is available at [www.axis.com](http://www.axis.com)

Pendant kits example



**AXIS T91A61  
Wall Bracket**  
Part number: 5017-611

+

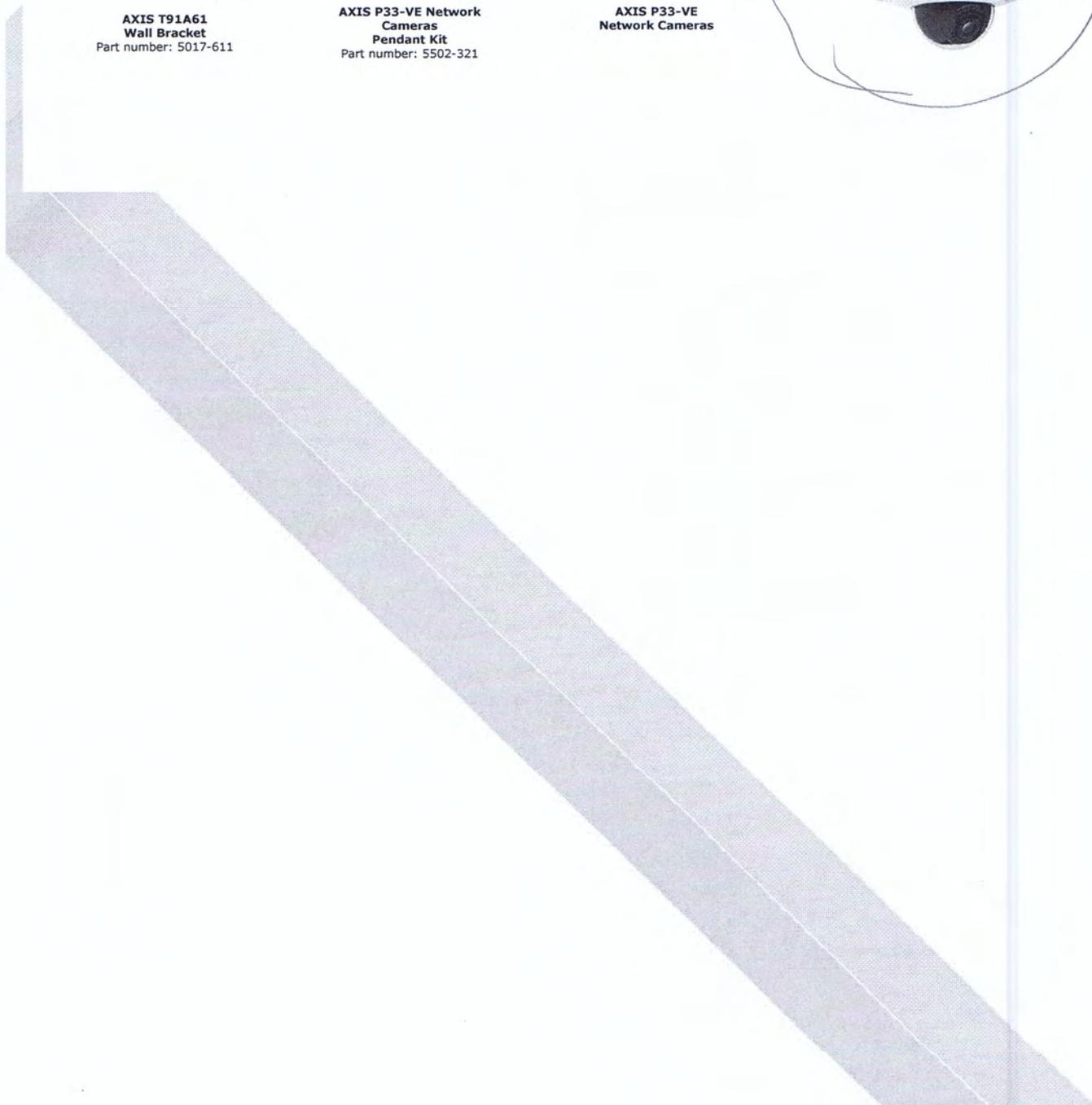


**AXIS P33-VE Network  
Cameras  
Pendant Kit**  
Part number: 5502-321

+



**AXIS P33-VE  
Network Cameras**





Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

Benedum Trees Building  
 221 Fourth Avenue, Floors 18 & 19

aka (225 Fourth Ave)

**OWNER:**

NAME: William Benter  
 ADDRESS: 2901 Smallman Street, Apt 5D  
 Pittsburgh, PA 15201  
 PHONE: 412/209.1380  
 EMAIL: bill@benter.net

STAFF USE ONLY:

DATE RECEIVED: 3/14/14  
 LOT AND BLOCK NUMBER: 1-H-181-0018, 0019  
 WARD: 1st  
 FEE PAID: yes

**DISTRICT:**

Market District

**APPLICANT:**

NAME: Stephen Mrdjenovich - GBBN Architects  
 ADDRESS: 5411 Penn Avenue  
 Pittsburgh, PA 15206  
 PHONE: 412/345.5005  
 EMAIL: smrdjenovich@gbbn.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

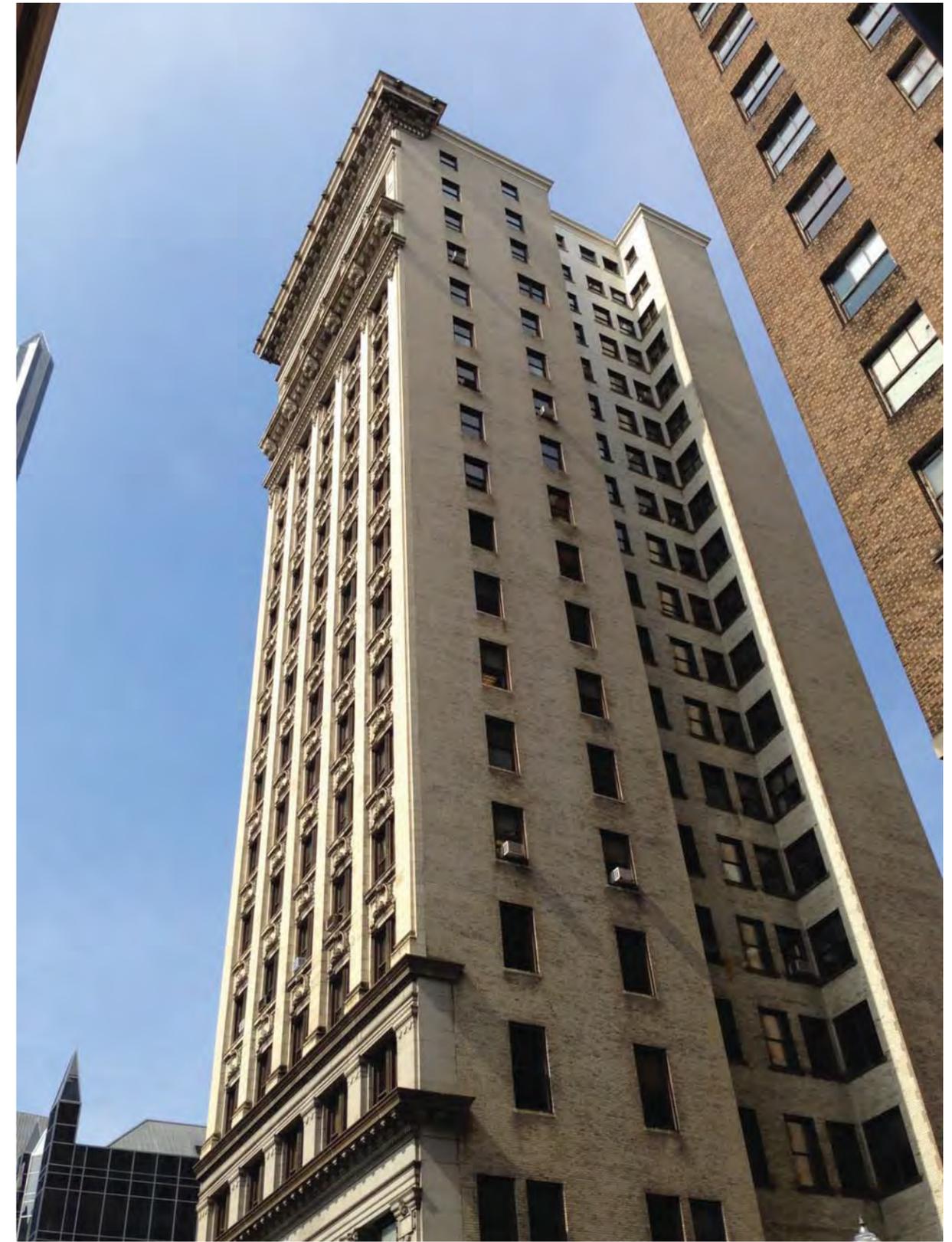
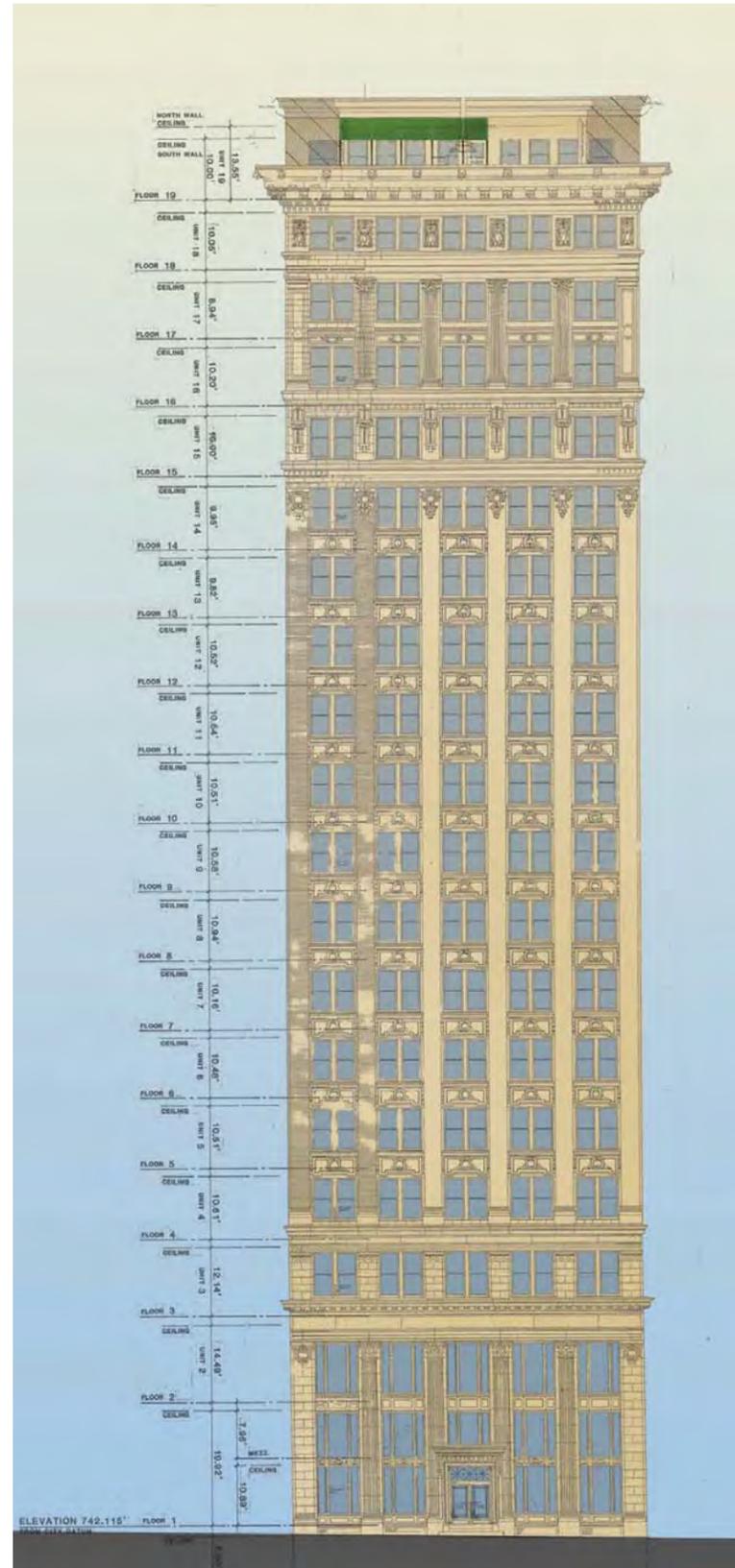
Upgrades to existing roof deck, awning, and cement siding on the 19th floor of the Benedum Trees Building.

**SIGNATURES:**

OWNER: William Benter DATE: 03.14.14

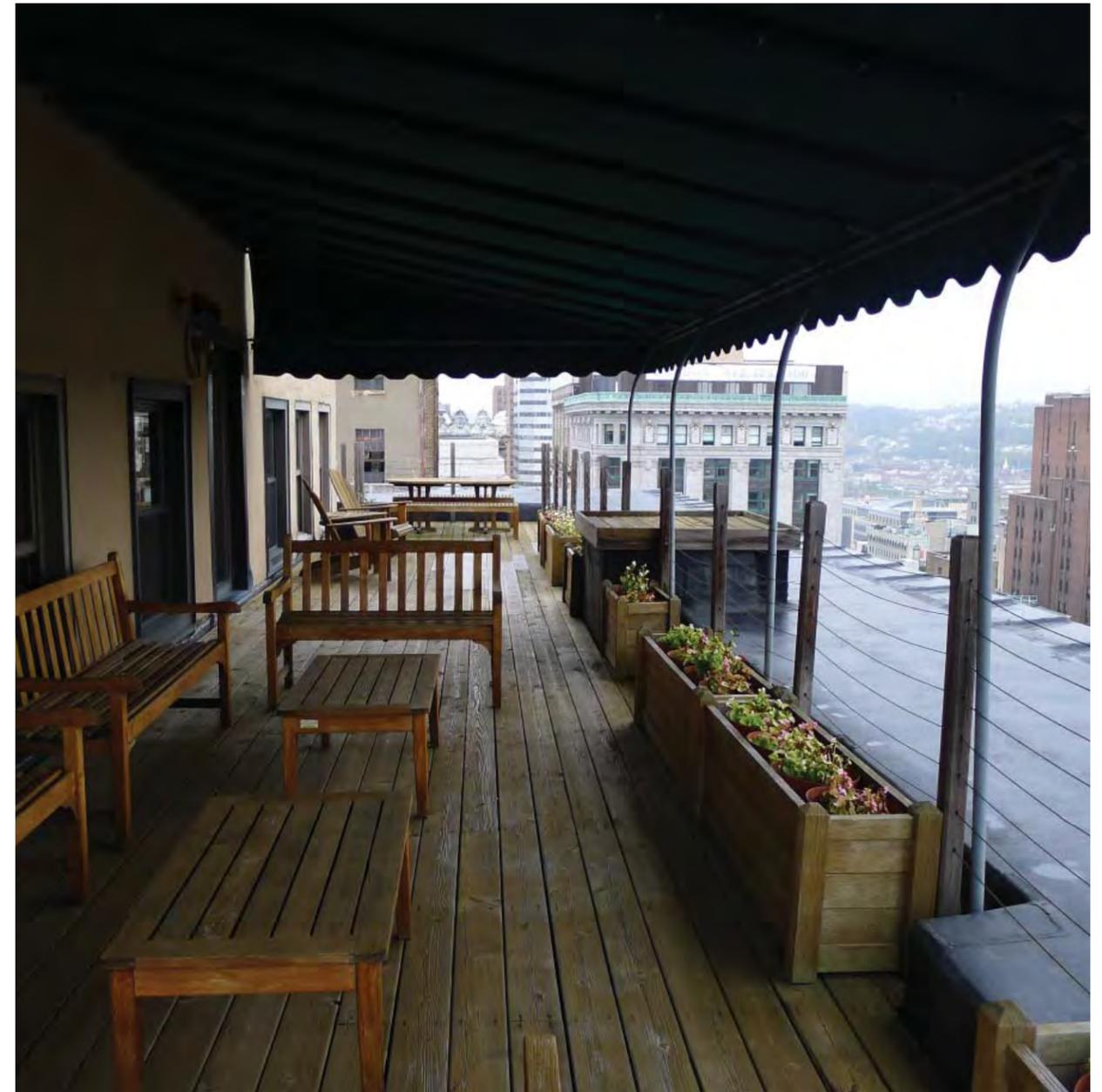
APPLICANT: [Signature] DATE: 03.14.14





# BENEDUM TREES BUILDING - EXISTING

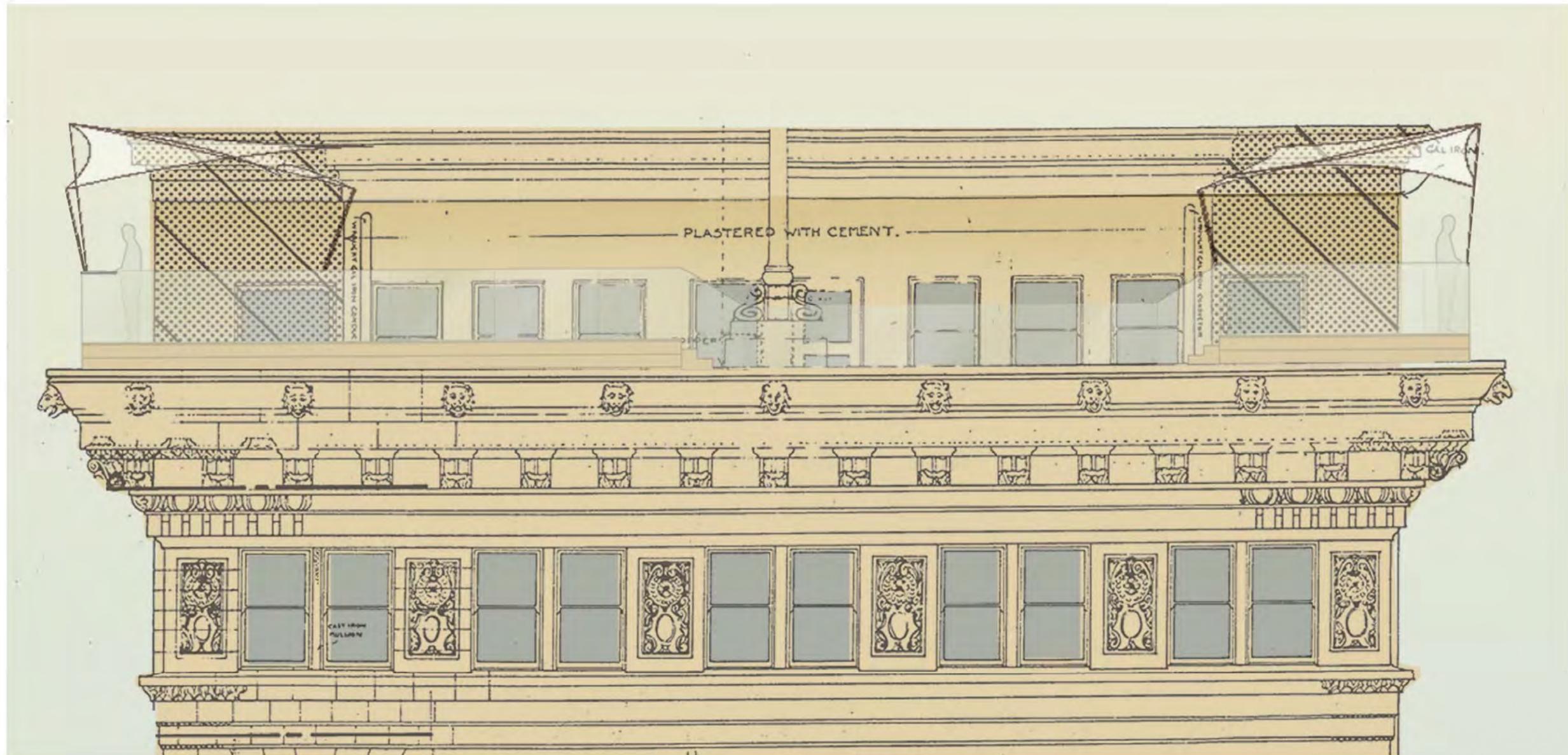
BENTER OFFICES | BENEDUM TREES BUILDING



**ROOF DECK - EXISTING PHOTOS**  
BENTER OFFICES | BENEDUM TREES BUILDING

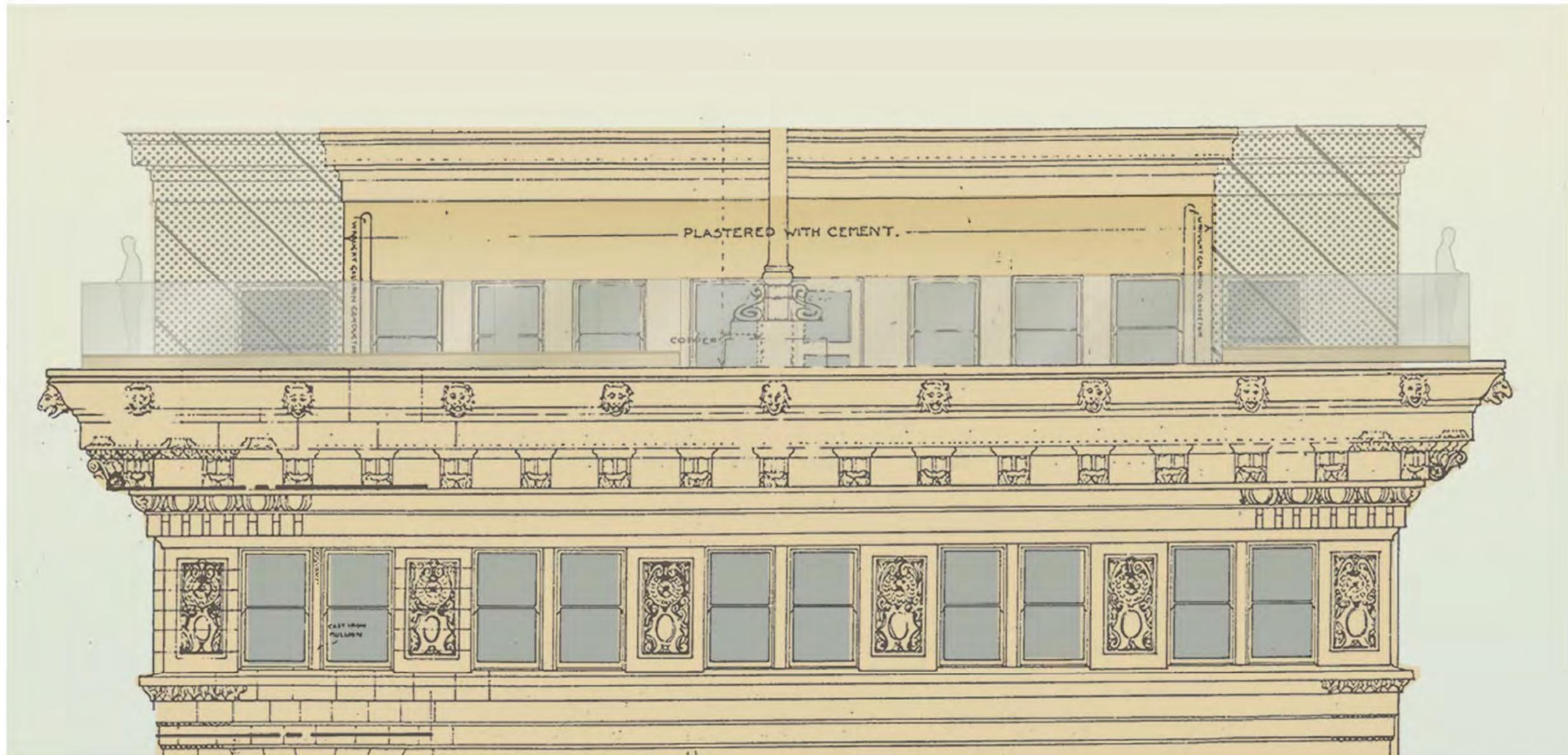


**FRONT ELEVATION - EXISTING**  
BENTER OFFICES | BENEDUM TREES BUILDING



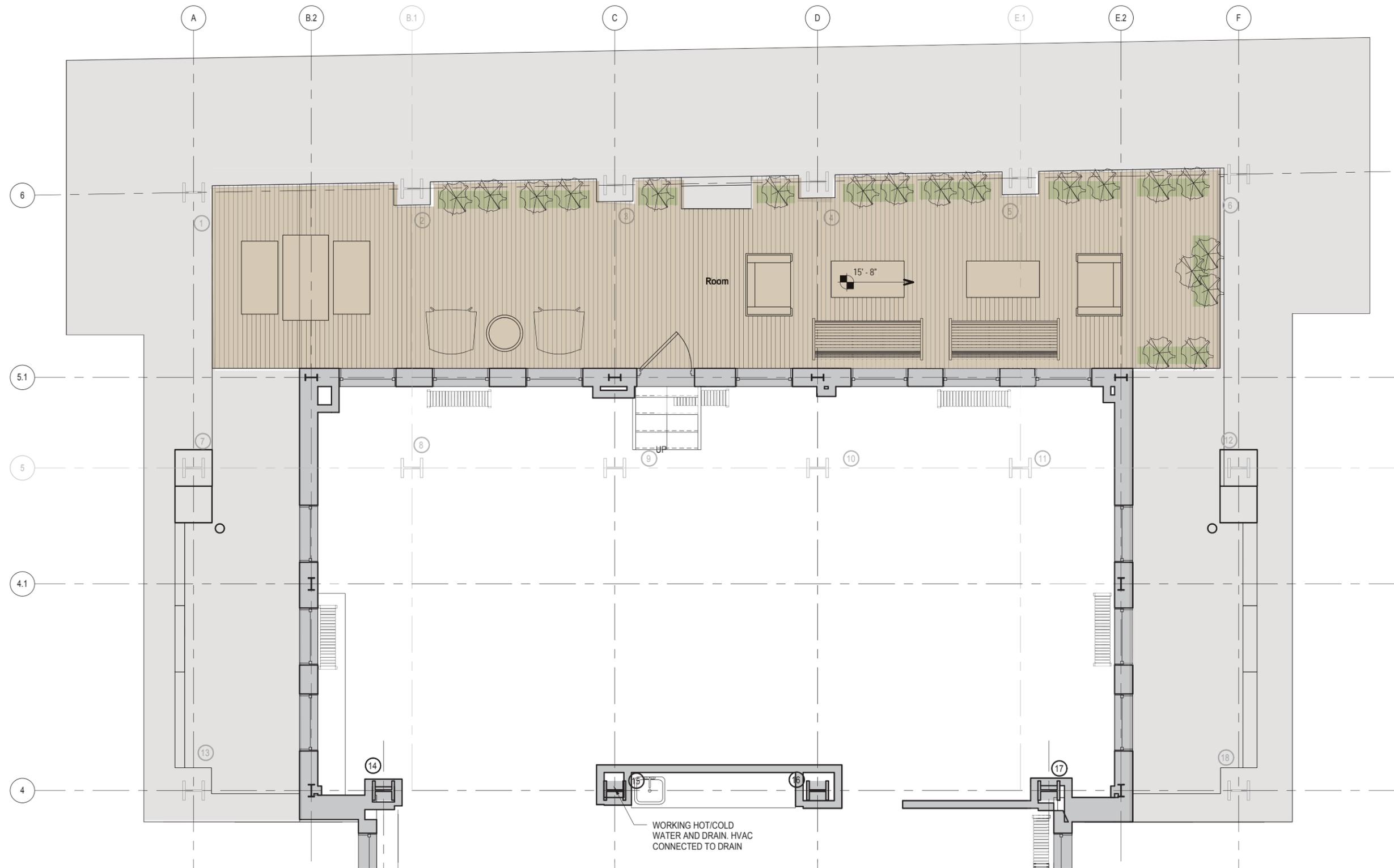
## FRONT ELEVATION - PREVIOUS PROPOSAL

BENTER OFFICES | BENEDUM TREES BUILDING

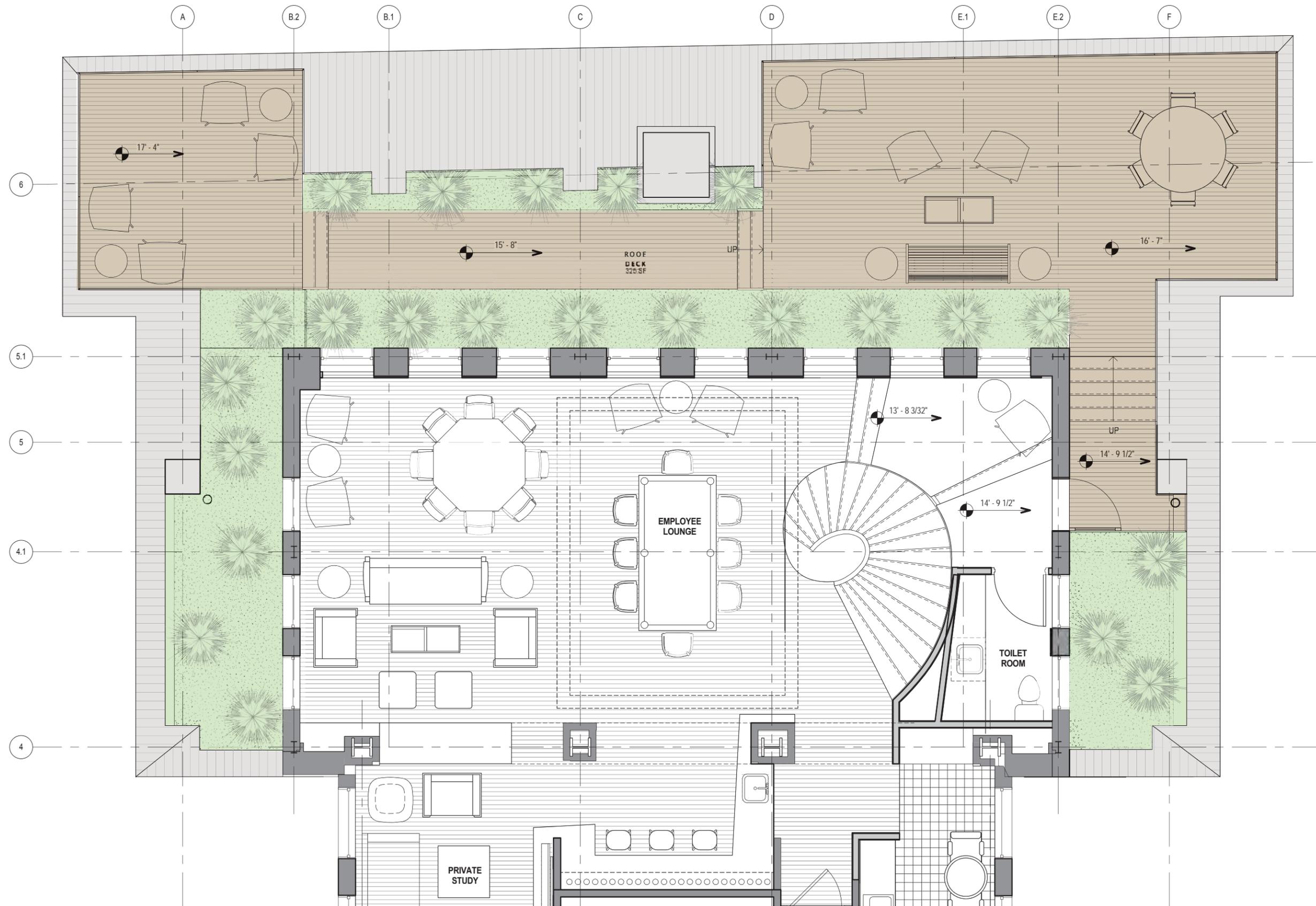


**FRONT ELEVATION - CURRENT PROPOSAL**

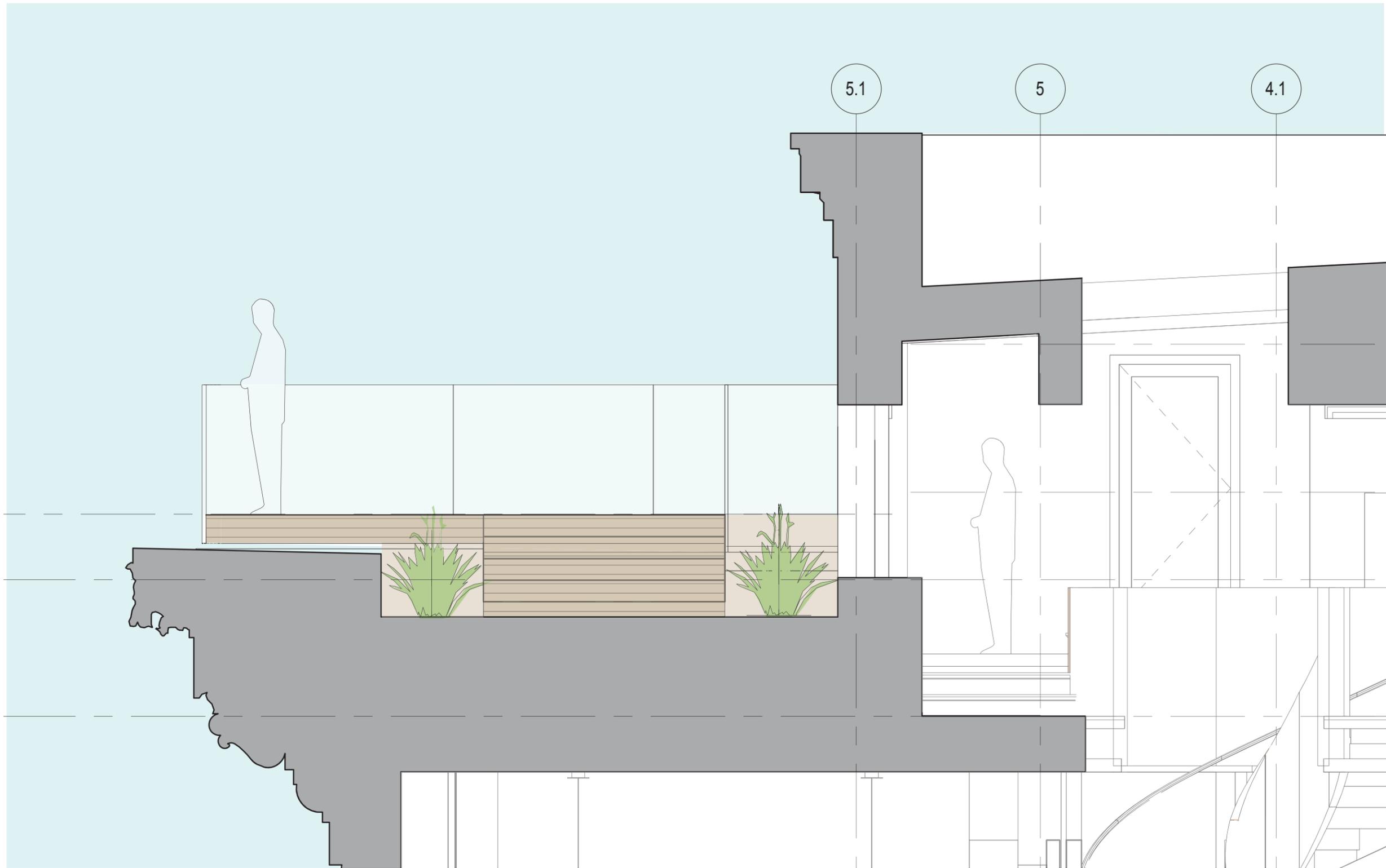
BENTER OFFICES | BENEDUM TREES BUILDING



**ROOF DECK PLAN - EXISTING**  
 BENTER OFFICES | BENEDUM TREES BUILDING



**ROOF DECK PLAN - PROPOSED**  
 BENTER OFFICES | BENEDUM TREES BUILDING

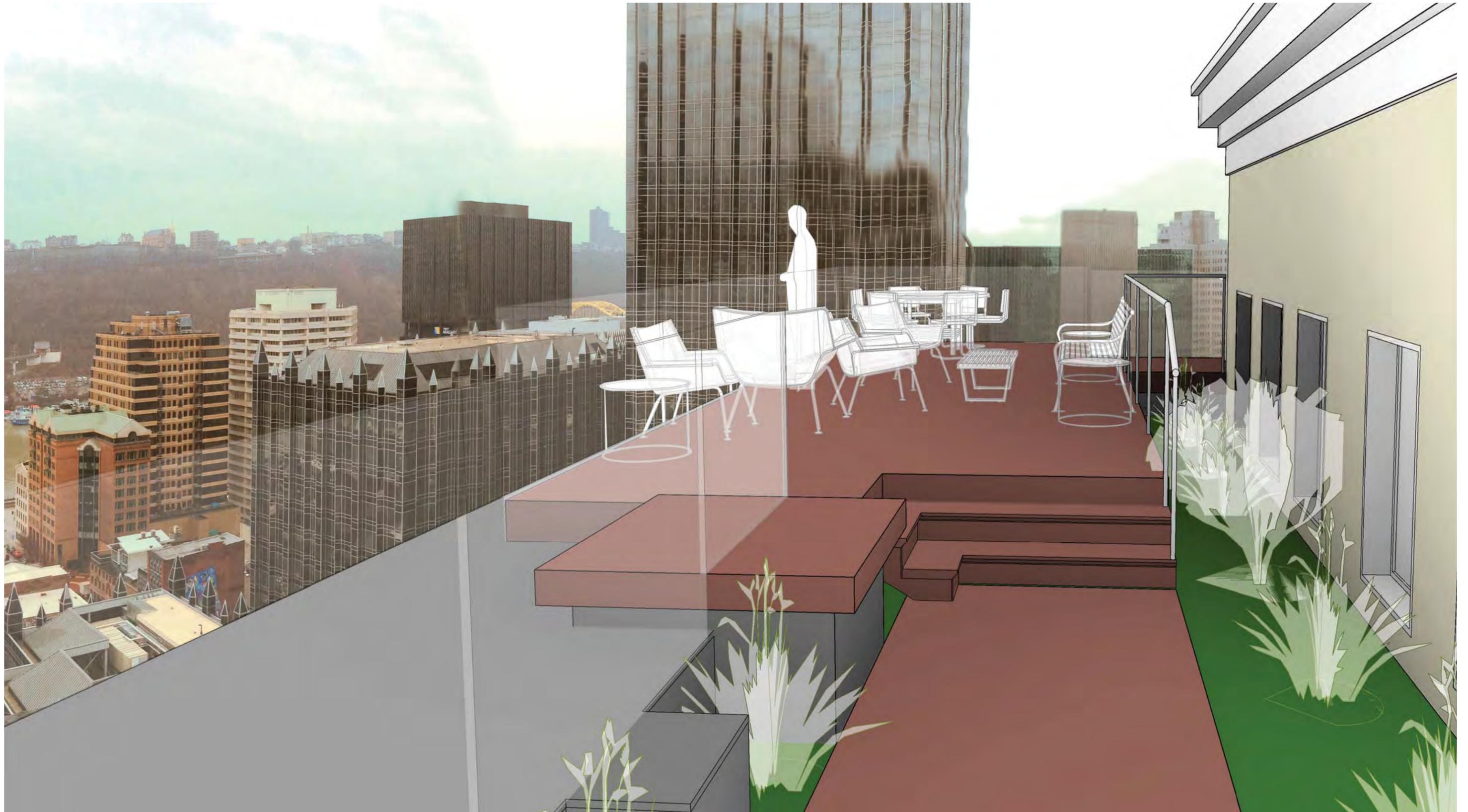


**ROOF DECK SECTION - PROPOSED**

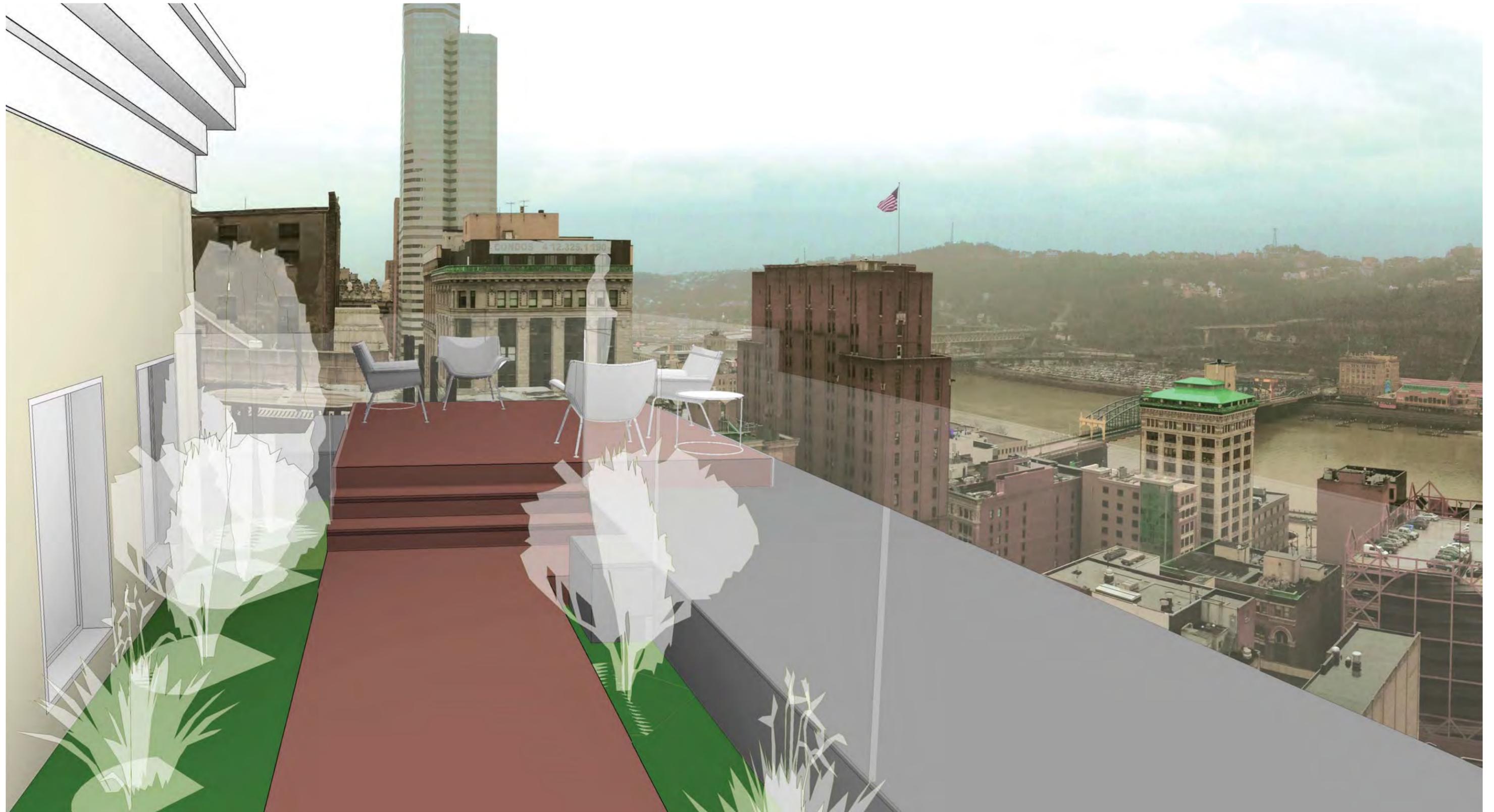
BENTER OFFICES | BENEDUM TREES BUILDING



**ROOF DECK OVERALL AXON**  
BENTER OFFICES | BENEDUM TREES BUILDING



**LARGE PLATFORM PERSPECTIVE**  
BENTER OFFICES | BENEDUM TREES BUILDING



**SMALL PLATFORM PERSPECTIVE**  
BENTER OFFICES | BENEDUM TREES BUILDING

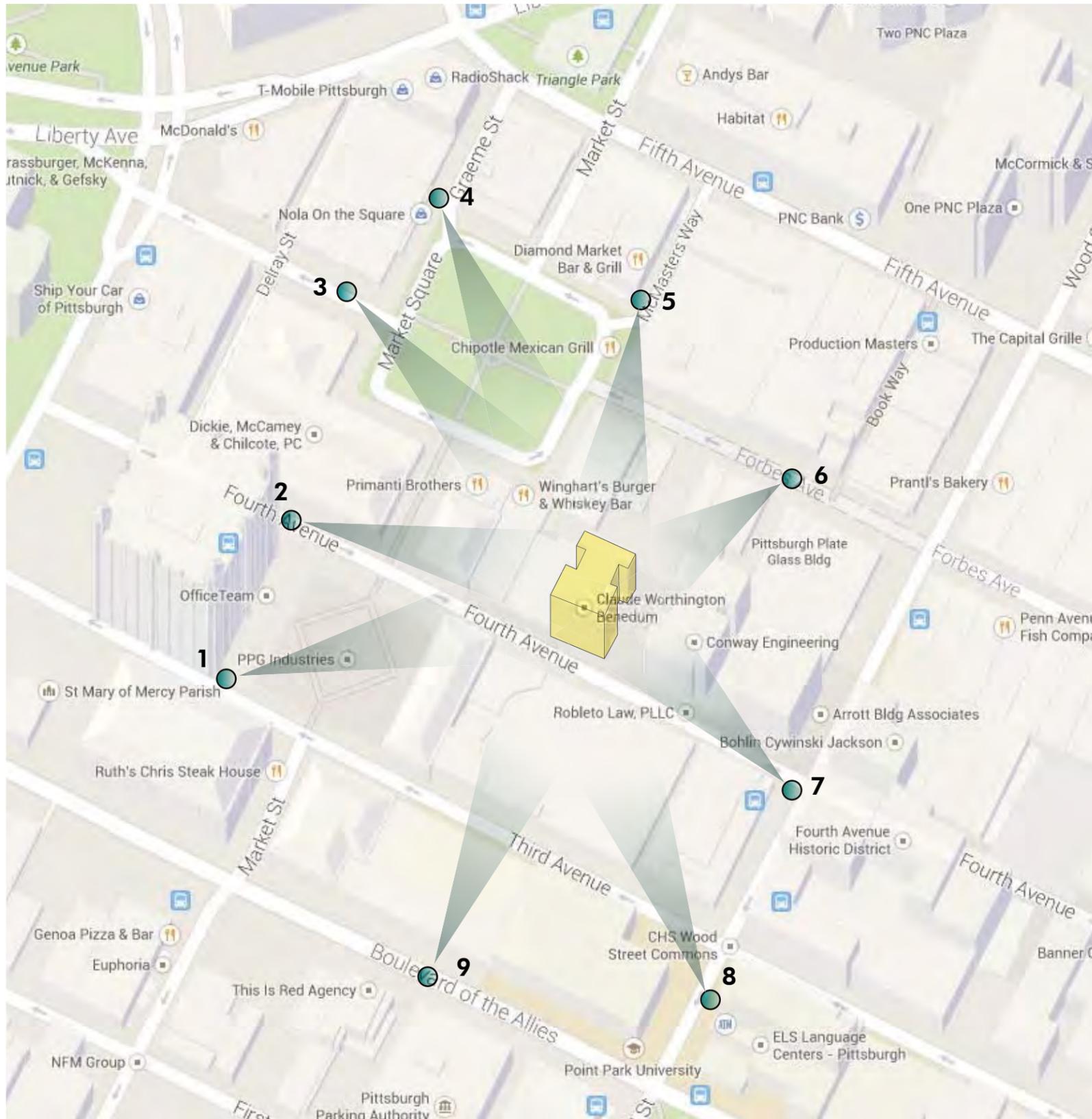


**ROCKEFELLER CENTER PRECEDENT**  
BENTER OFFICES | BENEDUM TREES BUILDING



**ROCKEFELLER CENTER PRECEDENT**

BENTER OFFICES | BENEDUM TREES BUILDING



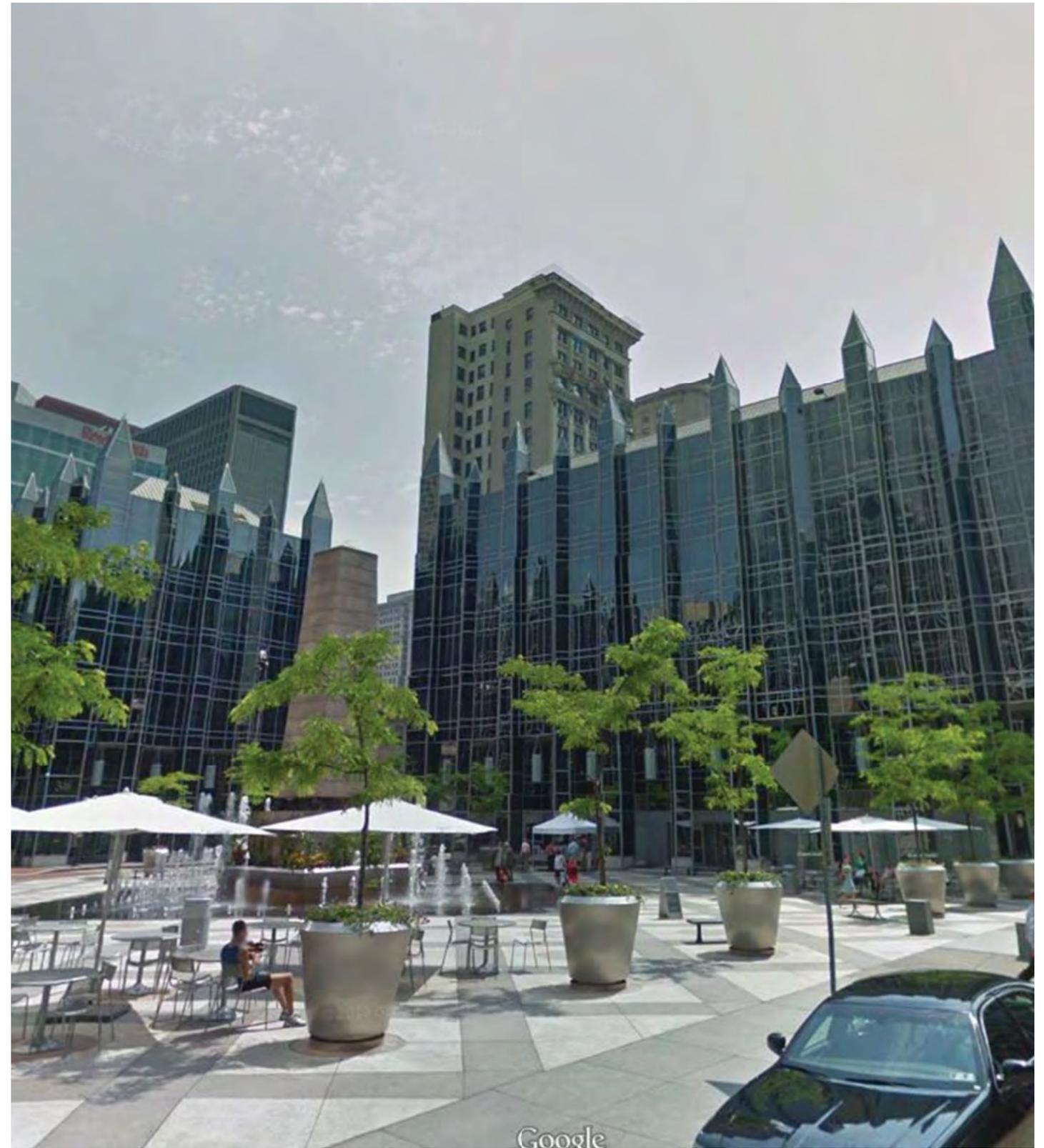
## VIEWPOINT KEY

1. PPG PLAZA AND THIRD AVE
2. PPG PLAZA AND FOURTH AVE
3. FORBES AVE WEST OF MARKET SQUARE
4. GRAEME ST AND MARKET SQUARE
5. MCMASTER WAY AND MARKET SQUARE
6. FORBES AVE EAST OF MARKET SQUARE
7. FOURTH AVE AND WOOD ST
8. THIRD AVE AND WOOD ST
9. BOULEVARD OF THE ALLIES



Google

EXISTING



Google

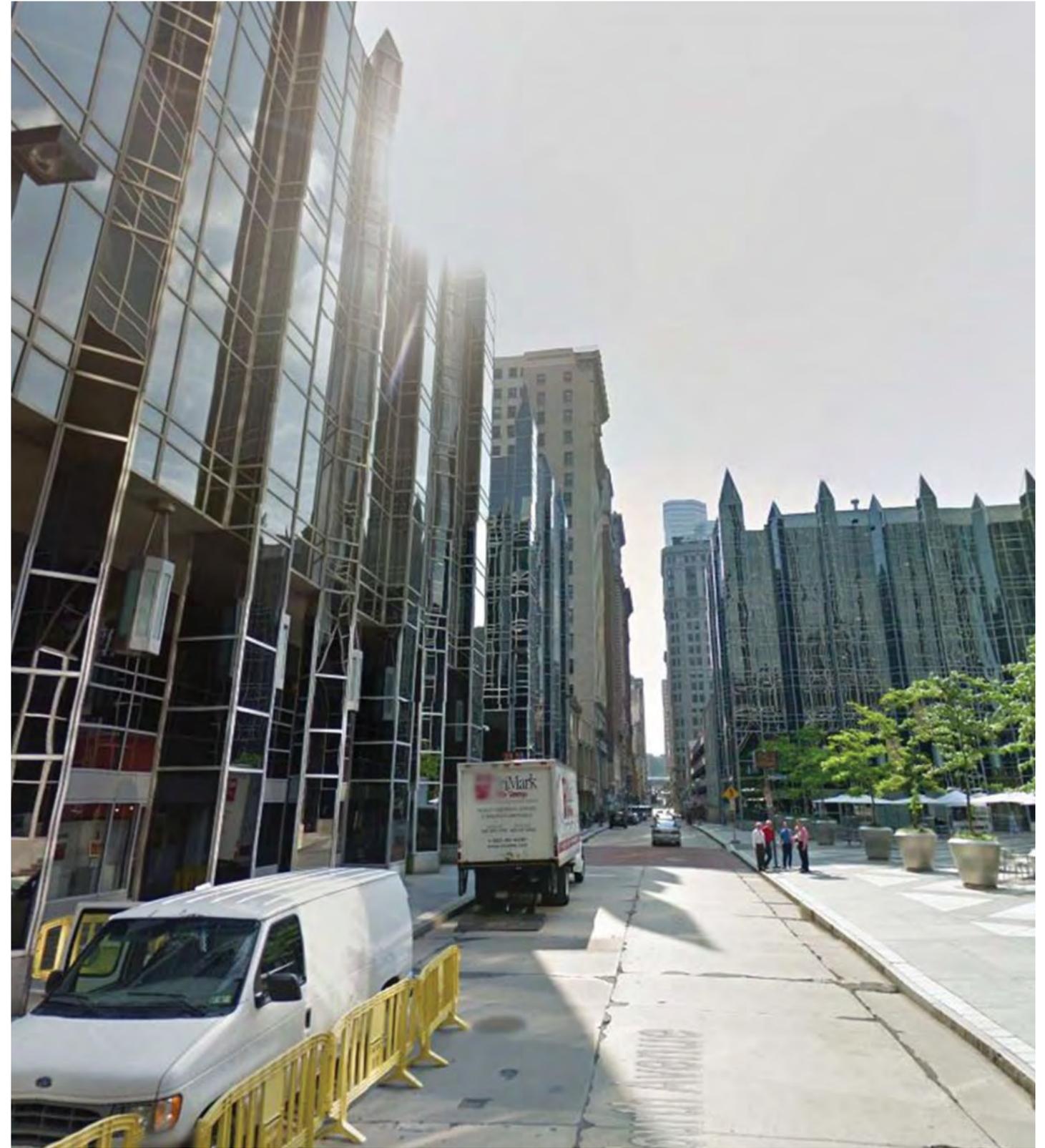
PROPOSED

# 1. PPG PLAZA AND THIRD AVE

BENTER OFFICES | BENEDUM TREES BUILDING

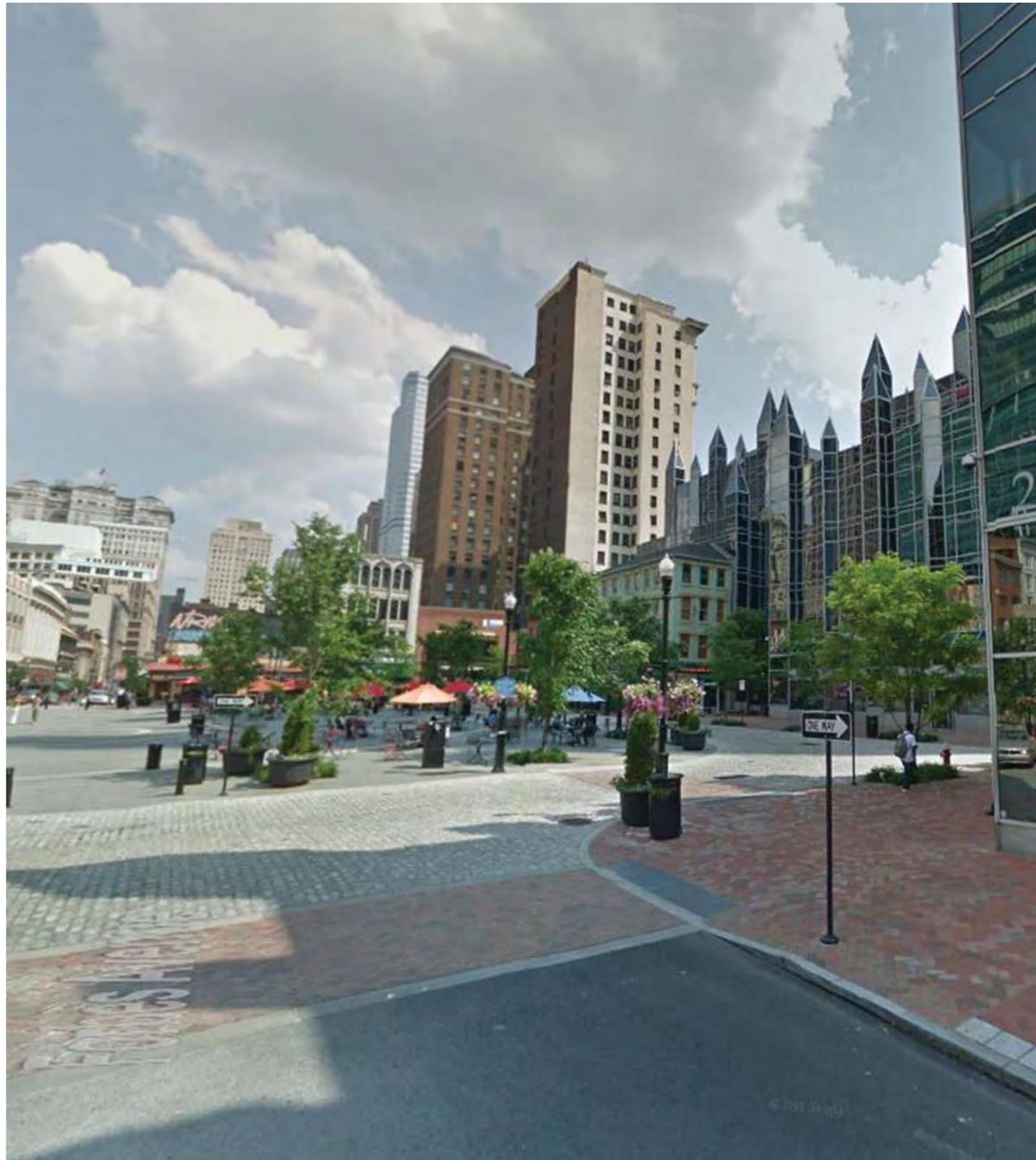


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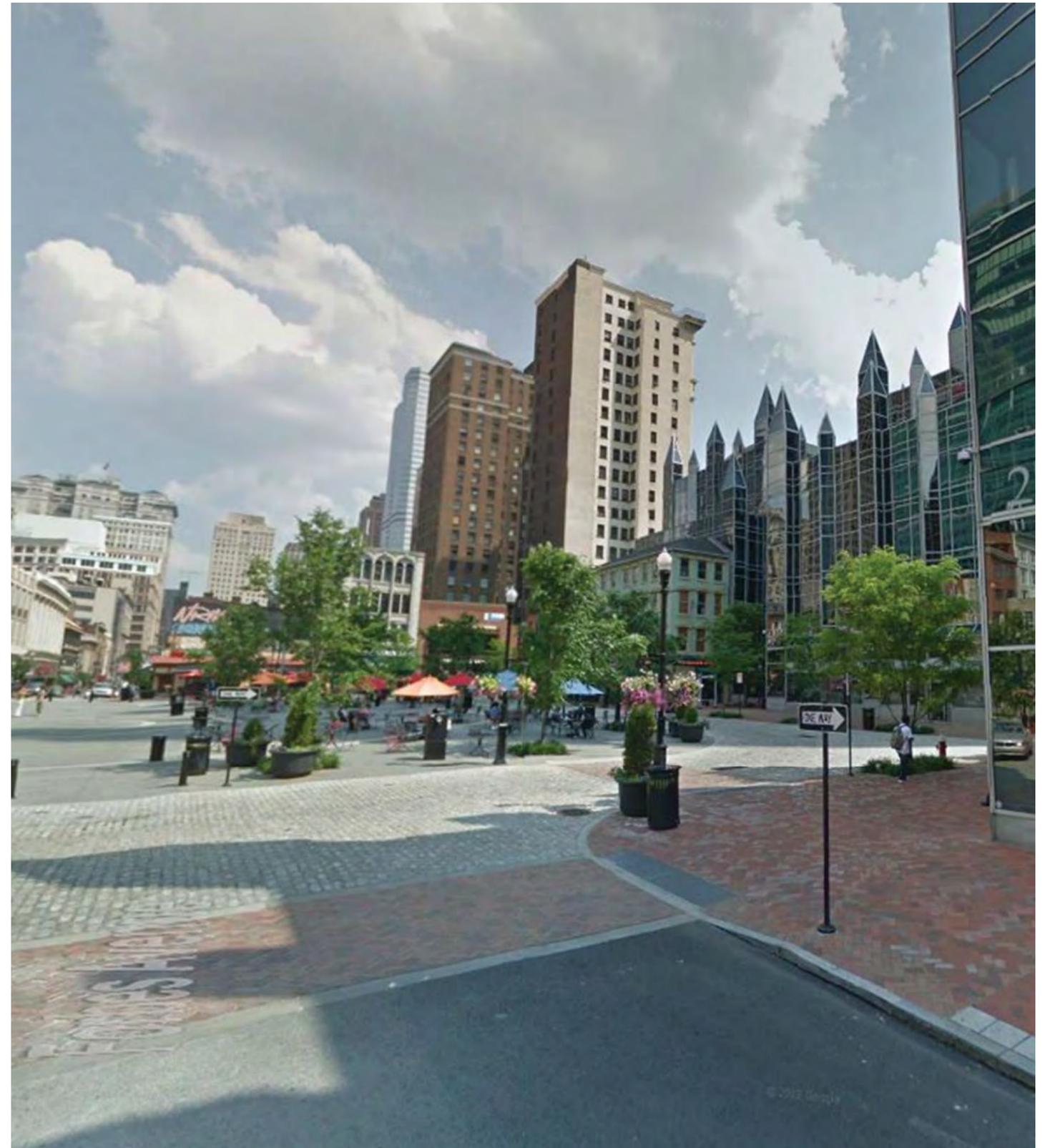


PROPOSED

**2. PPG PLAZA AND FOURTH AVE**  
BENTER OFFICES | BENEDUM TREES BUILDING



EXISTING



PROPOSED

### 3. FORBES AVE WEST OF MARKET SQUARE

BENTER OFFICES | BENEDUM TREES BUILDING



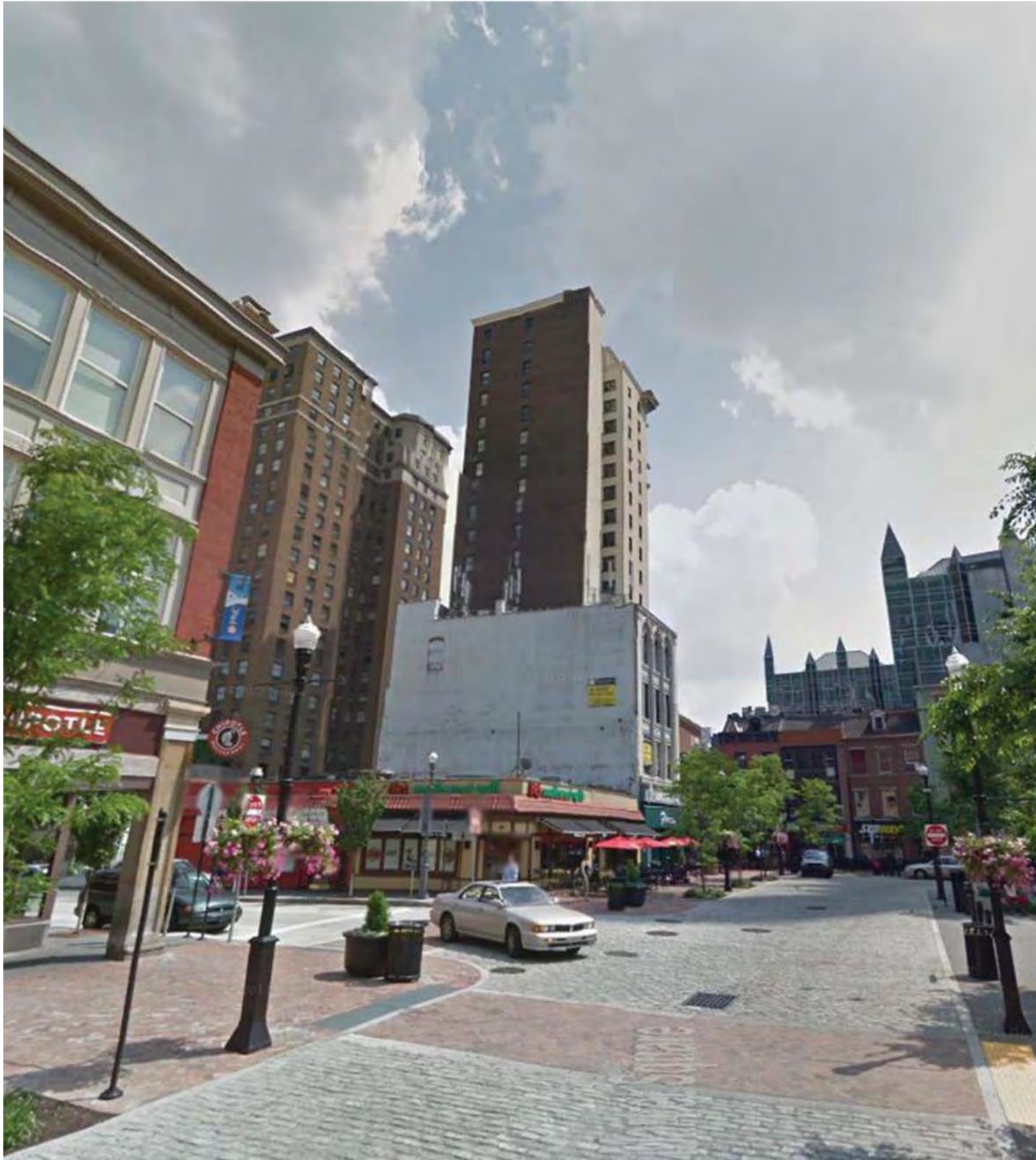
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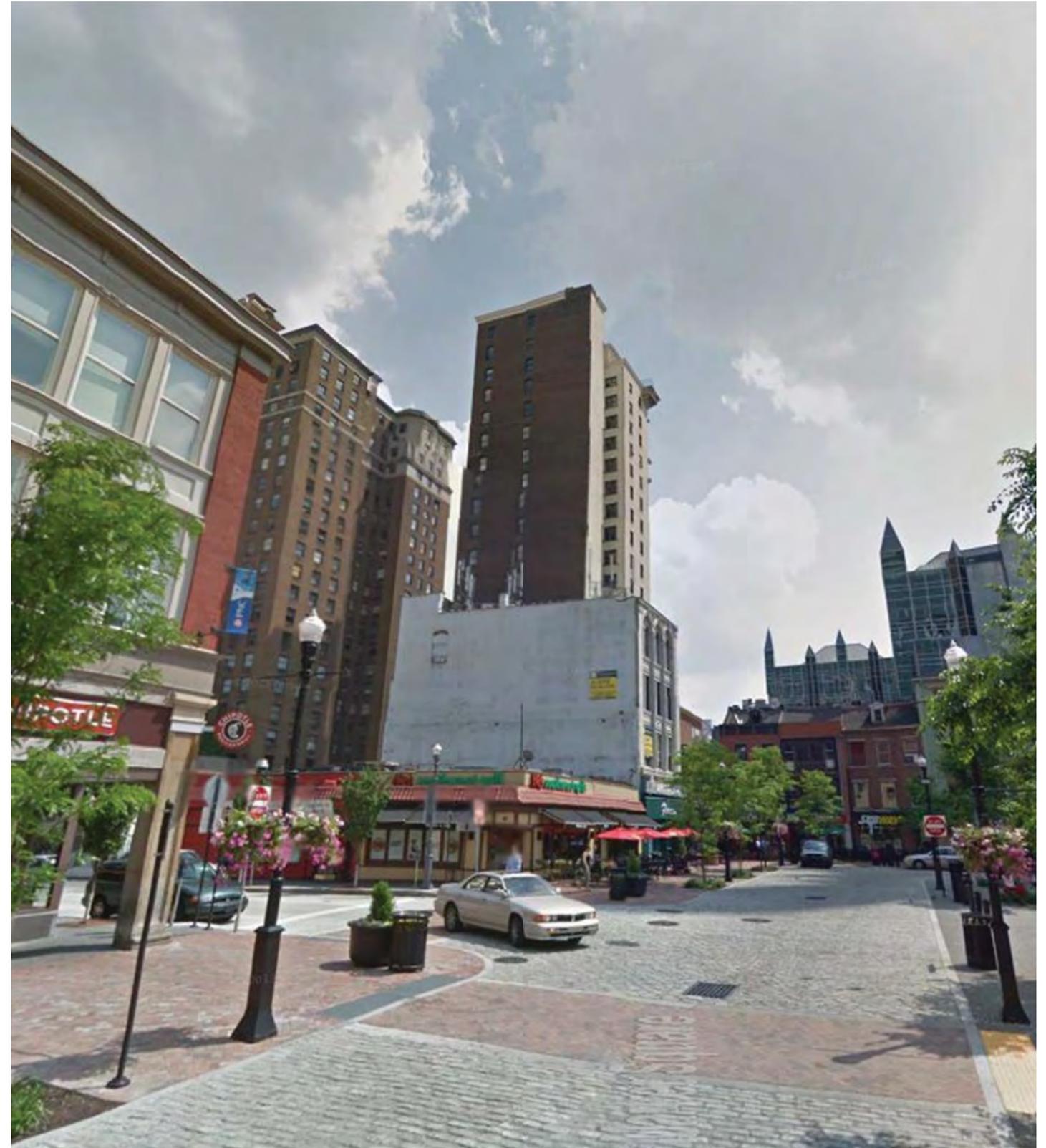
PROPOSED

## 4. GRAEME ST AND MARKET SQUARE

BENTER OFFICES | BENEDUM TREES BUILDING



EXISTING



PROPOSED

## 5. MCMASTER WAY AND MARKET SQUARE

BENTER OFFICES | BENEDUM TREES BUILDING



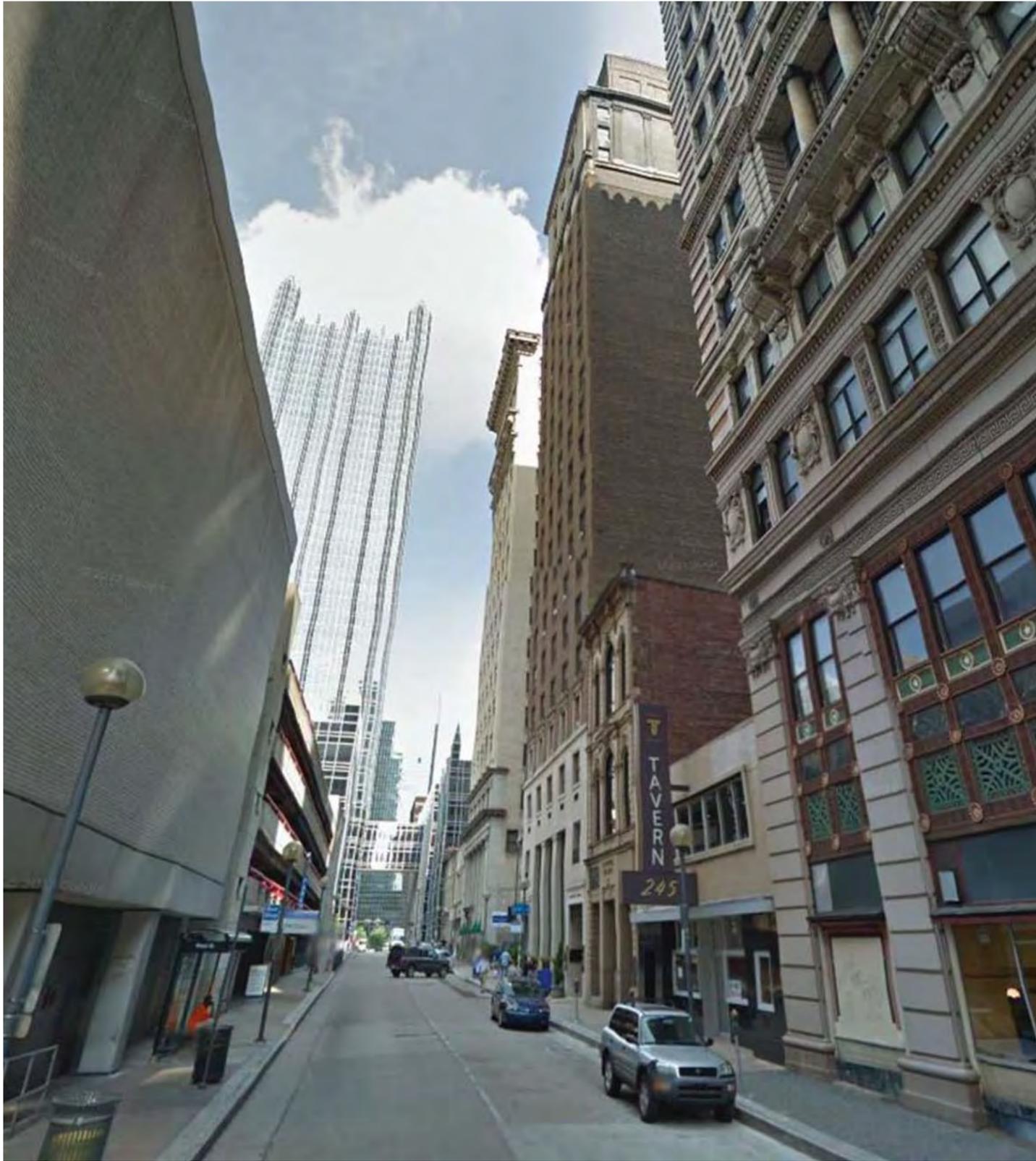
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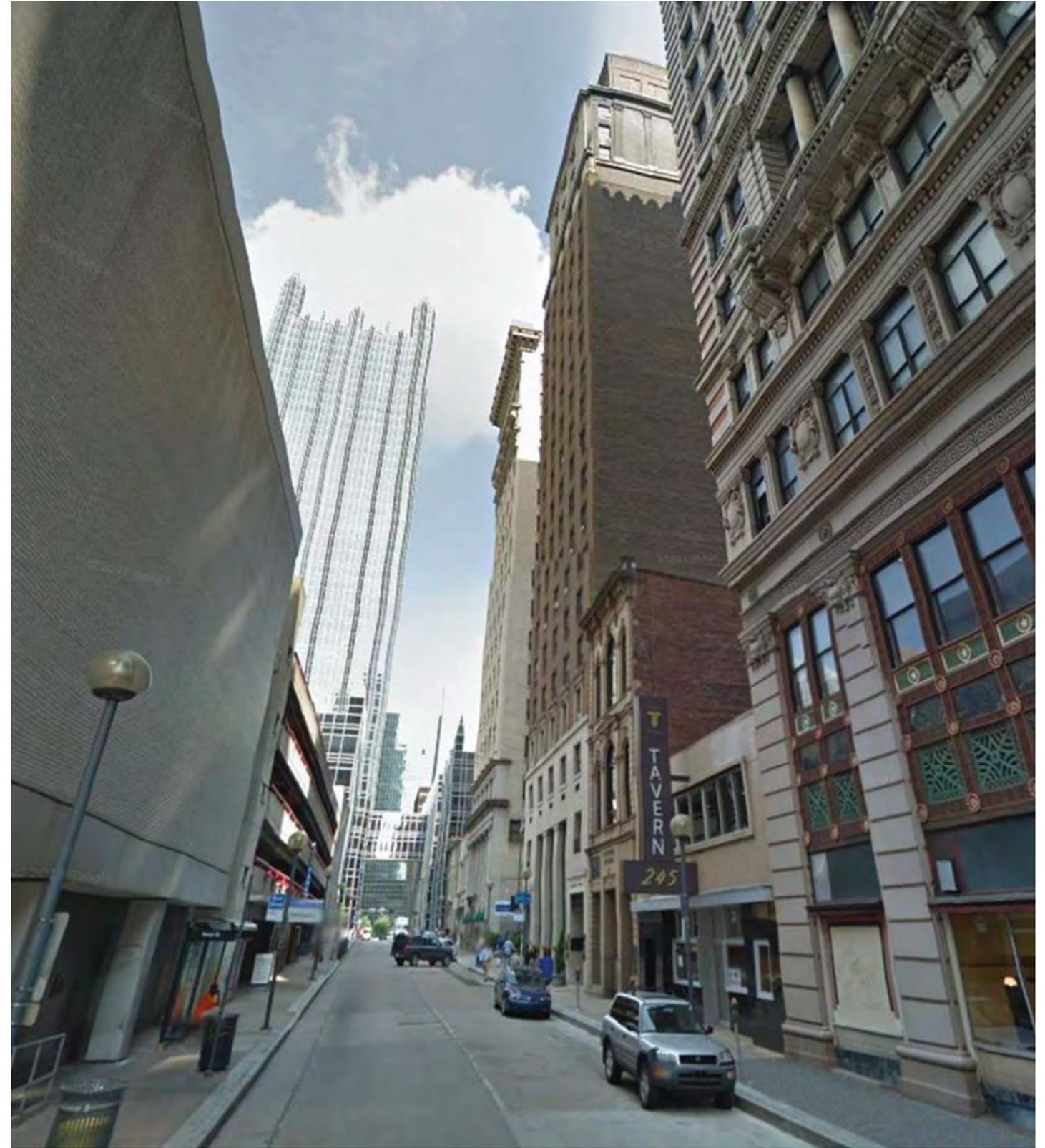
PROPOSED

## 6. FORBES AVE EAST OF MARKET SQUARE

BENTER OFFICES | BENEDUM TREES BUILDING

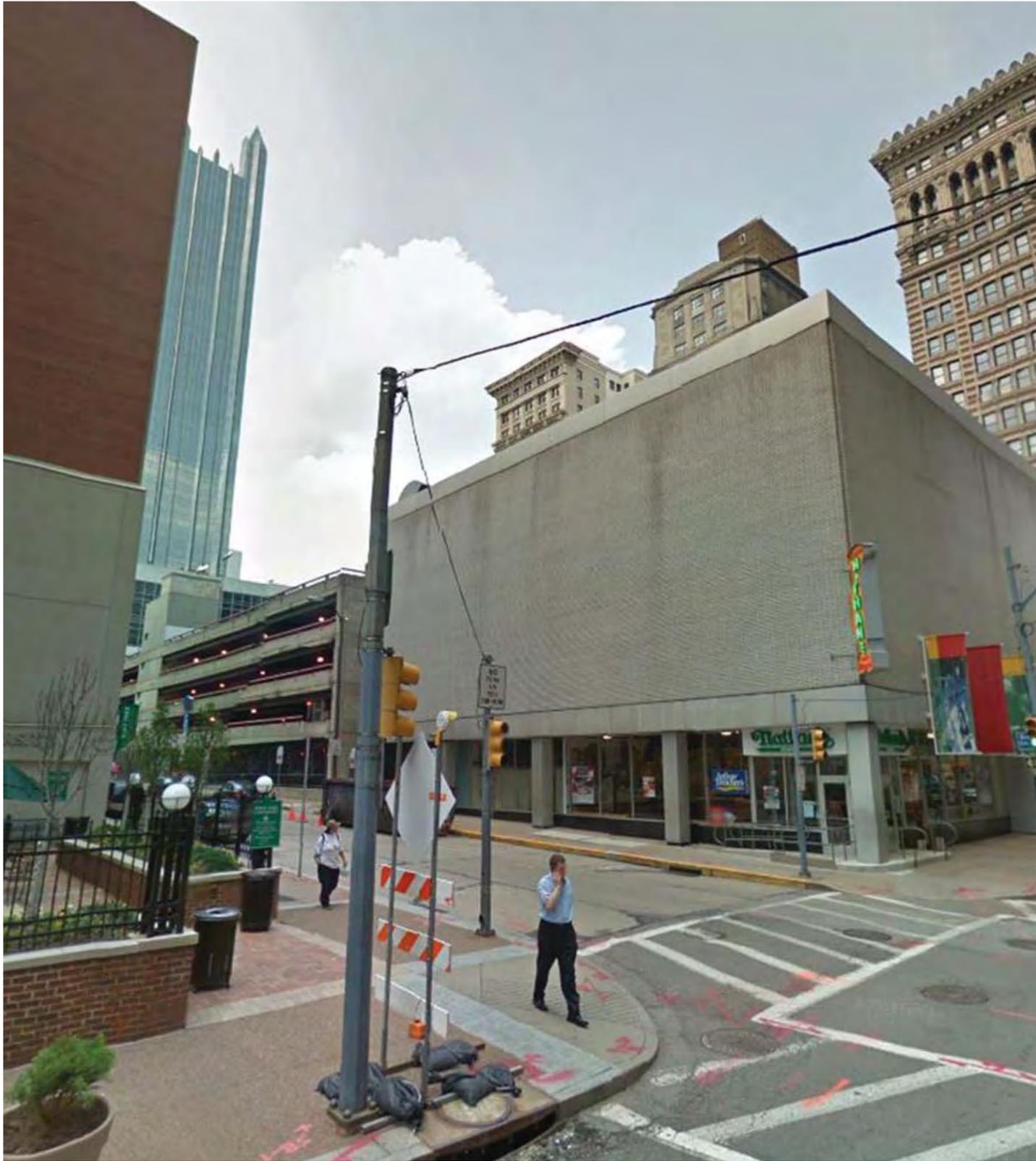


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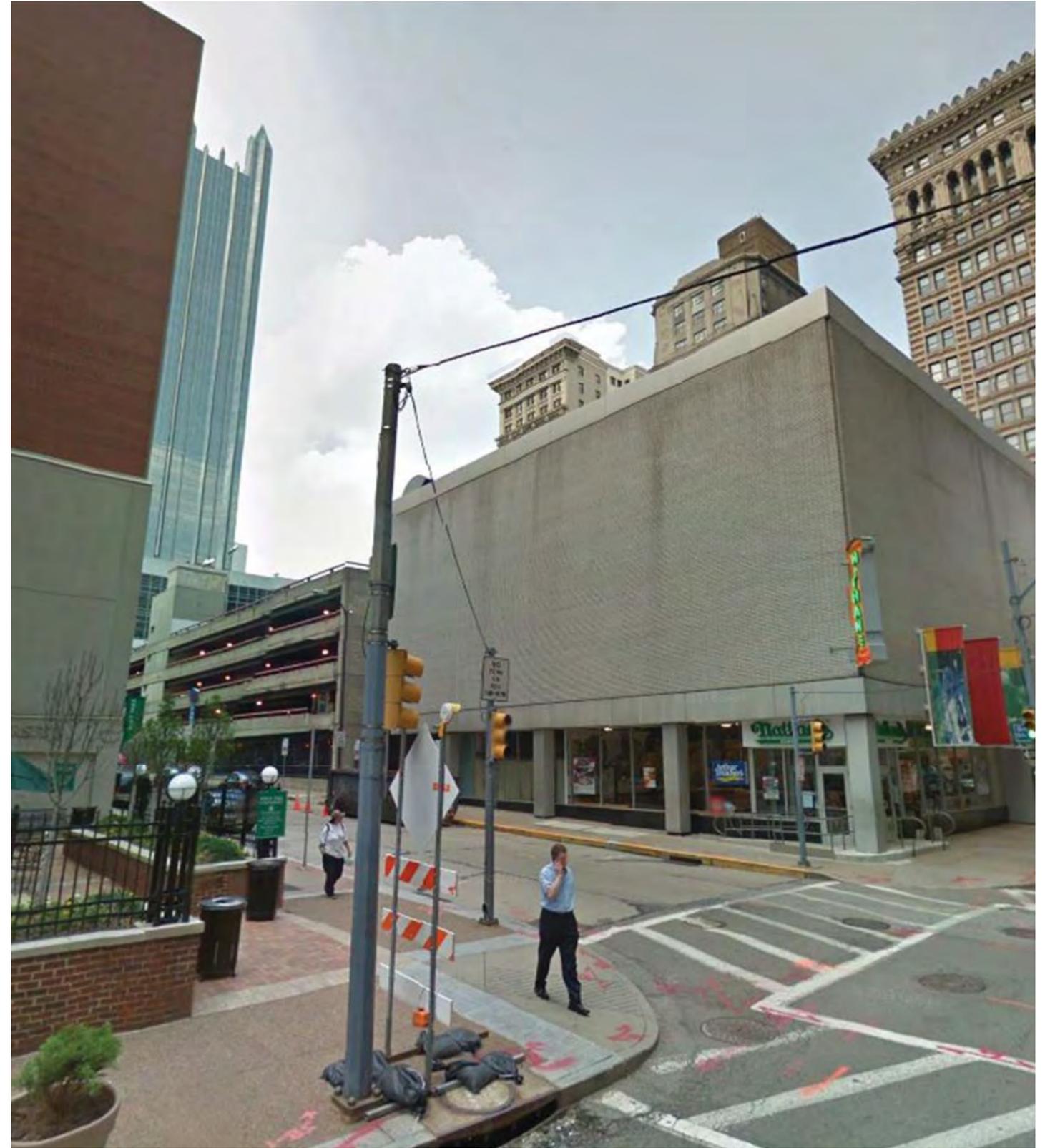


PROPOSED

**7. FOURTH AVE AND WOOD ST**  
BENTER OFFICES | BENEDUM TREES BUILDING



EXISTING

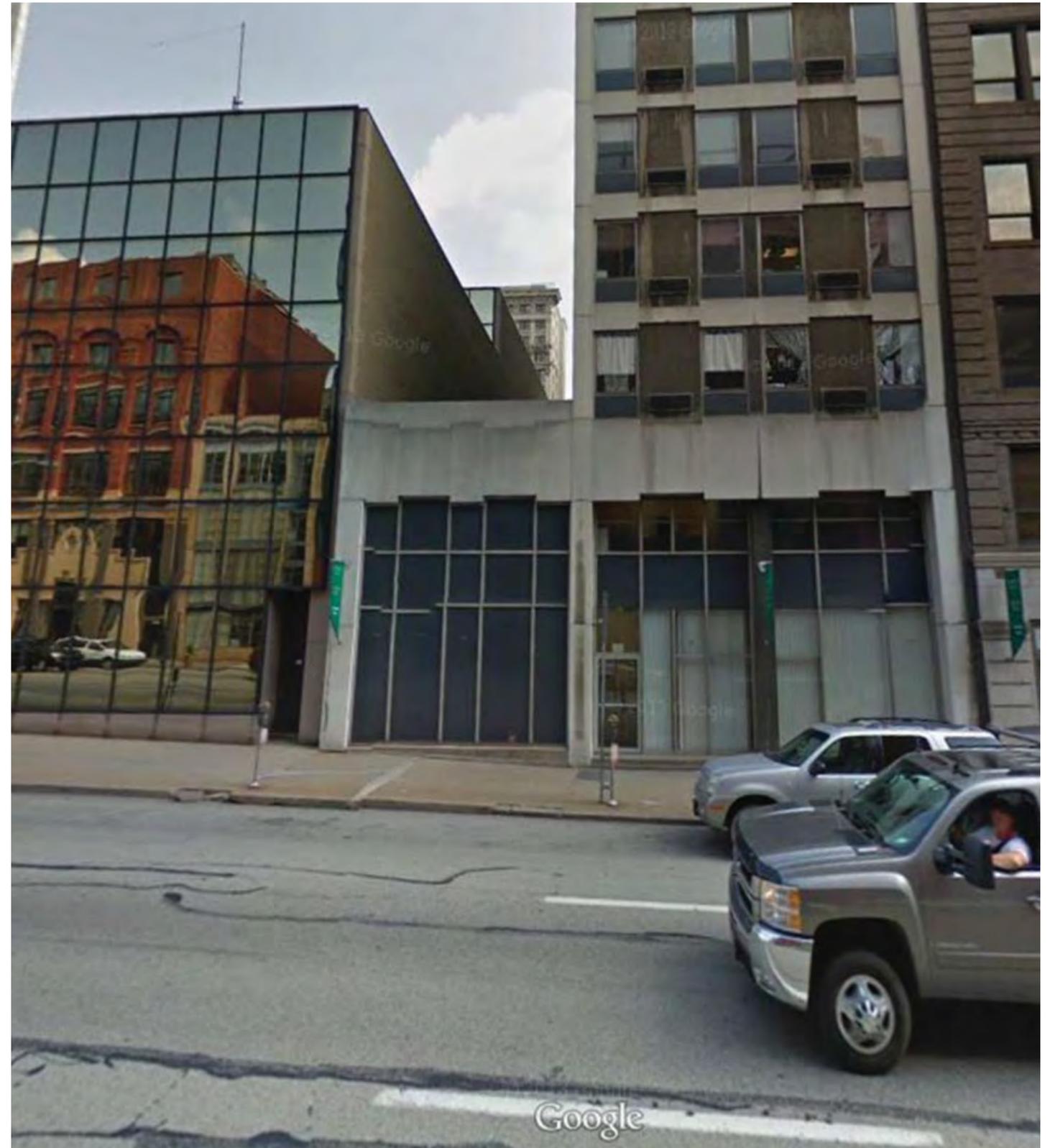


PROPOSED

**8. THIRD AVE AND WOOD ST**  
BENTER OFFICES | BENEDUM TREES BUILDING

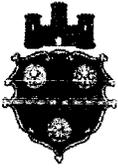


EXISTING



PROPOSED

**9. BOULEVARD OF THE ALLIES**  
BENTER OFFICES | BENEDUM TREES BUILDING



Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 4/17/14

LOT AND BLOCK NUMBER: 1-D-130

WARD: 1st

FEE PAID: yo

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

25 MARKET SQUARE

DISTRICT:

MARKET SQUARE

OWNER:

NAME: Vick Nicholas/Pete Lands

ADDRESS: 25 Market Sq.

Pittsburgh, PA 15222

PHONE: 412-261-4225

EMAIL: Nicholas9@aol.com

APPLICANT:

NAME: 5/PP TERE ARCHITECTS LLC

ADDRESS: P.O. Box 332

N. LIMA, OHIO 44452

PHONE: 724 544 8160

EMAIL: adsarch@yahoo.com

REQUIRED ATTACHMENTS:

- Drawings     Photographs     Renderings     Site Plan     Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

FRONT METAL GUARDRAIL TO PROTECT NEW ROOF DECK  
ADDITIONAL CONCRETE PANEL / WOOD FACED STRUCTURES

SIGNATURES:

OWNER: [Signature] DATE: 4/17/14

APPLICANT: [Signature] p.l.b. DATE: 4.16.14





BRUEGGER'S BAGELS  
BAKED FRESH



15





Pelle

BRUEGGEL & BAGE  
BAKED FRESH

moxiemind&body

ON SUNDAY  
FROM 11 AM TO 5 PM  
FREE COFFEE & PASTRIES  
PARADE ST  
Green St

NOLA  
ON THE SQUARE

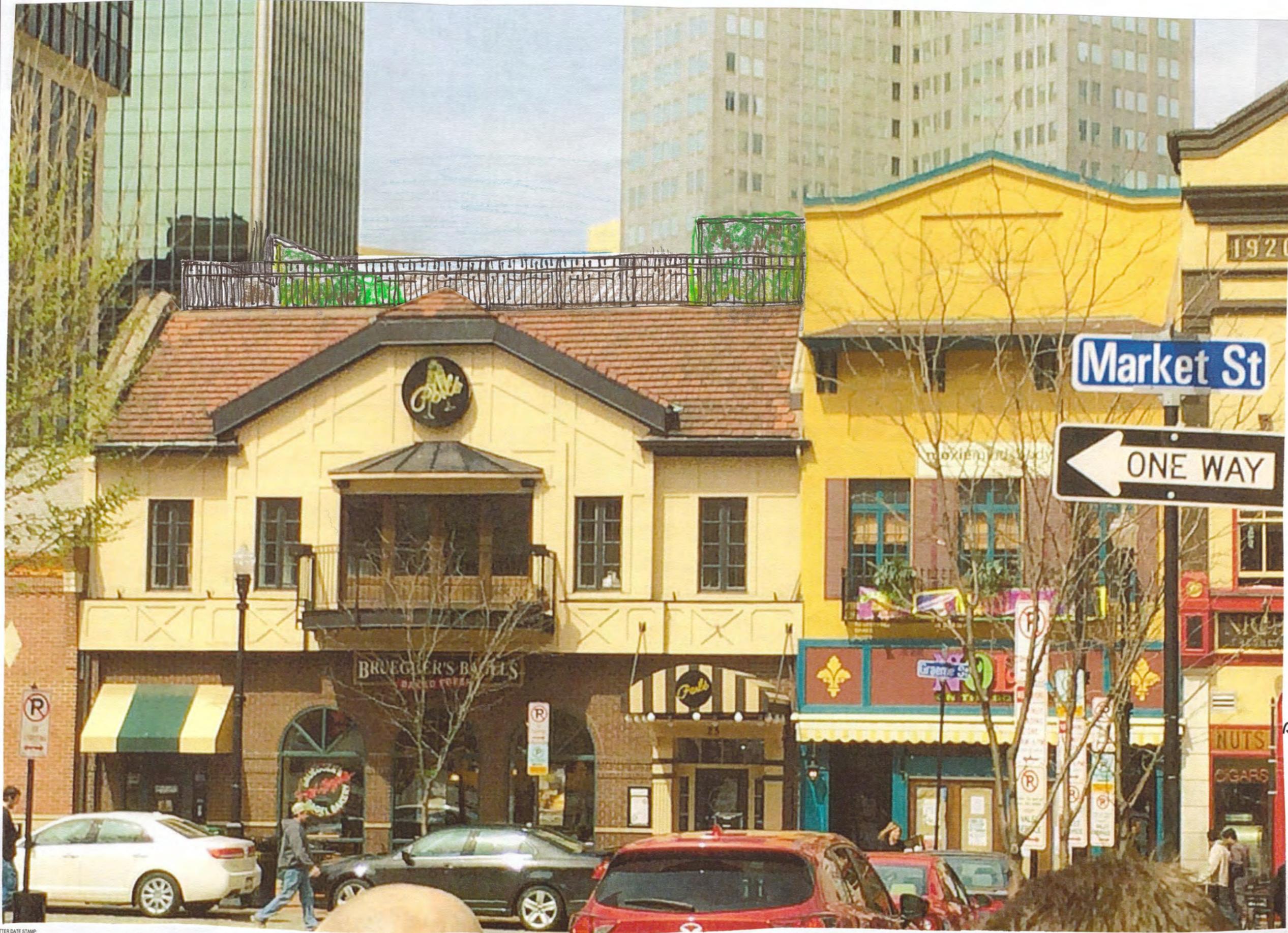
NICHOLAS  
FRESHLY BAKED

IMPORTED

TEAS

PLEASE  
DO NOT  
FEED THE  
COWS





11524 Market Street  
 North Lima, Ohio 44452  
 Fax: 330.549.0012  
 Cell (Sipp) : 330.651.7543  
 Cell (Tepe) : 724.544.8160

Corporate Center  
 Post Office Box 332  
 Tele: 330.549.0011  
 Cell (Sipp) : 724.544.8160  
 Cell (Tepe) : 330.651.7543

**SIPP + TEPE ARCHITECTS, L.L.C.**  
**[S + T] ARCH**

Licensed and Registered:  
 OH., PA., TEXAS, W.VA.

An Fire Damage Renovations for:

**NOLA - PERLE COMPLEX**  
 Second Floor - 25 Graeme  
 Pittsburgh, Pennsylvania 15222  
 Contact Person: Yves Carreau-BIG Y Group 412 848 3183

RELEASE DATE: APRIL 17, 2014

PROJECT: NOLA - PERLE COMPLEX

SEAL

REGISTERED ARCHITECT  
 PENNSYLVANIA  
 DOUGLAS SIPP  
 2014-11-NOLA\_RENOVATION.DWG  
 PROJECT CELEBRATION: 2014-11

DRAWN BY: Douglas Sipp  
 CHECKED BY: Andrew Swaininger



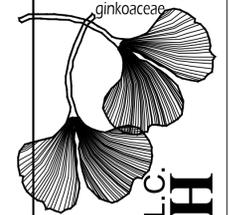
PERPECTIVE

DRAWING TITLE  
 DRAWING NUMBER

**A-102**

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North Lima, Ohio 44452  
Post Office Box 332  
Tele: 330.549.0011  
Cell (Sipp) : 724.544.8160 Cell (Tepe) : 330.651.7543

SIPP + TEPE ARCHITECTS, L.L.C.  
**[S+T] ARCH**

Licensed and Registered:  
OH., PA., TEXAS, W.VA.

NOTE: ALL MTL TO BE BLACK

2"x4" C-CHANNEL CAP

1 1/2" SQ STL PIPE SUPPORT BALUSTRADE @4'-0" C/C (V.I.FAB)

STL BALUSTRADE INFILL PANEL - TOP & BOT 1"x1"x8" STL ANGLE FRAME W/ 1/2" SOLID STL PICKETS @ 4.5" C/C WELDED TOP/BOT

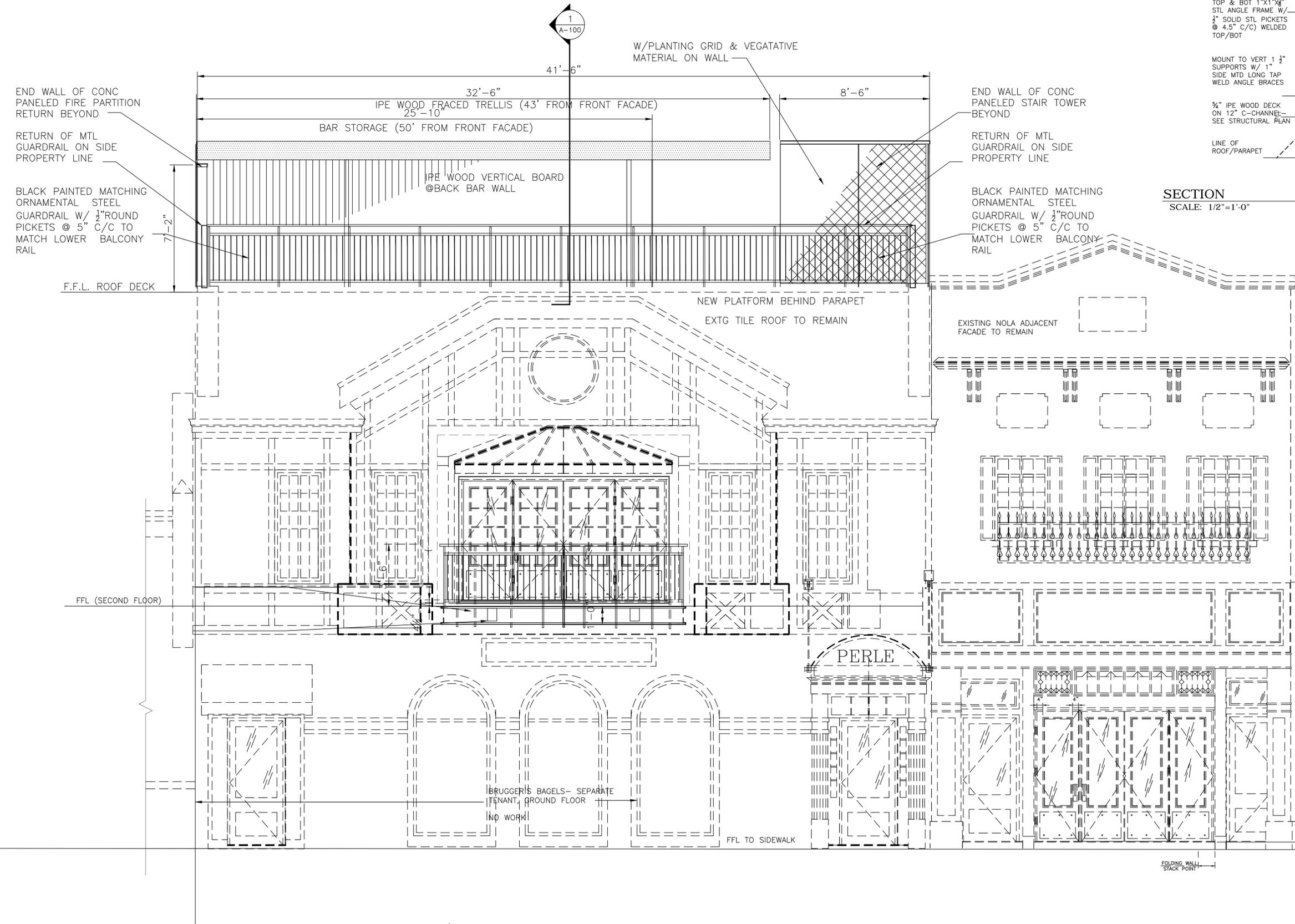
MOUNT TO VERT 1 1/2" SUPPORTS W/ 1" SIDE MTD LONG TAP WELD ANGLE BRACES

5/8" IPE WOOD DECK ON 12" C-CHANNEL - SEE STRUCTURAL PLAN

LINE OF ROOF/PARAPET

SECTION  
SCALE: 1/2"=1'-0"

1 A-100



EXTERIOR FRONT ELEVATION  
SCALE: 3/8"=1'-0"

1 A-100

An Fire Damage Renovations for:

**NOLA - PERLE COMPLEX**  
Third Floor - 25 Market Square  
Pittsburgh, Pennsylvania 15222  
Contact Person: Yves Carreau-BIG Y Group 412 848 3183

PROJECT DESIGNATION: 2014-11  
DRAWING LOCATION: 2014\_11\_NOLA\_RENOVATION.dwg  
DESIGNED BY: Douglas Sipp  
CHECKED BY: Andrew Swansinger

RELEASE DATE: APRIL 1, 2014



**FACADE ELEVATION, SECTION**

DRAWING TITLE  
DRAWING NUMBER

**A-100**

ESTABLISHED- 1997  
COPYRIGHT RESERVED- 2014

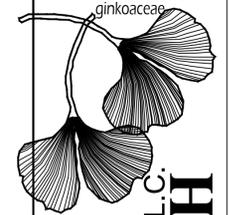
NO.	REVISION	DATE

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THE CONTRACTOR SHALL REVIEW ALL CONDITIONS AND SHALL NOT ERECT, ASSEMBLE, OR OTHERWISE COMMENCE CONSTRUCTION WITHOUT MEETING THE MINIMUM REQUIREMENTS FOR SUBMITTALS AS REQUIRED BY THE PROJECT DOCUMENTS. FAILURE TO REVIEW AND APPROVE ALL REQUIRED SHOP DRAWINGS, SAMPLES, OR DATA PRIOR TO SUBMITTAL TO THE ARCHITECT MAY RESULT IN REJECTION OF SUBMITTED MATERIAL, WITHOUT REVIEW. MATERIAL AND PRODUCT REVIEWS SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITIES TO VERIFY FIELD OR COORDINATION REQUIREMENTS.

DO NOT SCALE DRAWINGS: CONTRACTOR MUST VERIFY ALL DIMENSIONS, FIELD CONDITIONS, AND CLEARANCES PRIOR TO COMMENCEMENT OF WORK AND/OR ORDERING OF MATERIALS.

WE CERTIFY THAT THESE PLANS HAVE BEEN PREPARED IN OUR OFFICE AND UNDER OUR SUPERVISION AND THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF, COMPLY WITH APPLICABLE LAWS, REGULATIONS, AND ORDINANCES OF THE JURISDICTION RELATING TO THIS PROJECT.



Corporate Center:  
 11524 Market Street  
 North Lima, Ohio 44452  
 Post Office Box 332  
 Tele: 330.549.0011  
 Fax: 330.549.0012  
 Cell (Sipp) : 724.544.8160 Cell (Tape) : 330.651.7543

**SIPP + TEPE ARCHITECTS, L.L.C.**  
**[S+T] ARCH**

Licensed and Registered:  
 OH., PA., TEXAS, W.VA.

NOTE: ALL MTL TO BE BLACK

2"x½" C-CHANNEL CAP

1 ½" SQ STL PIPE SUPPORT BALASTRADE @4'-0" C/C (V.I.FAB)

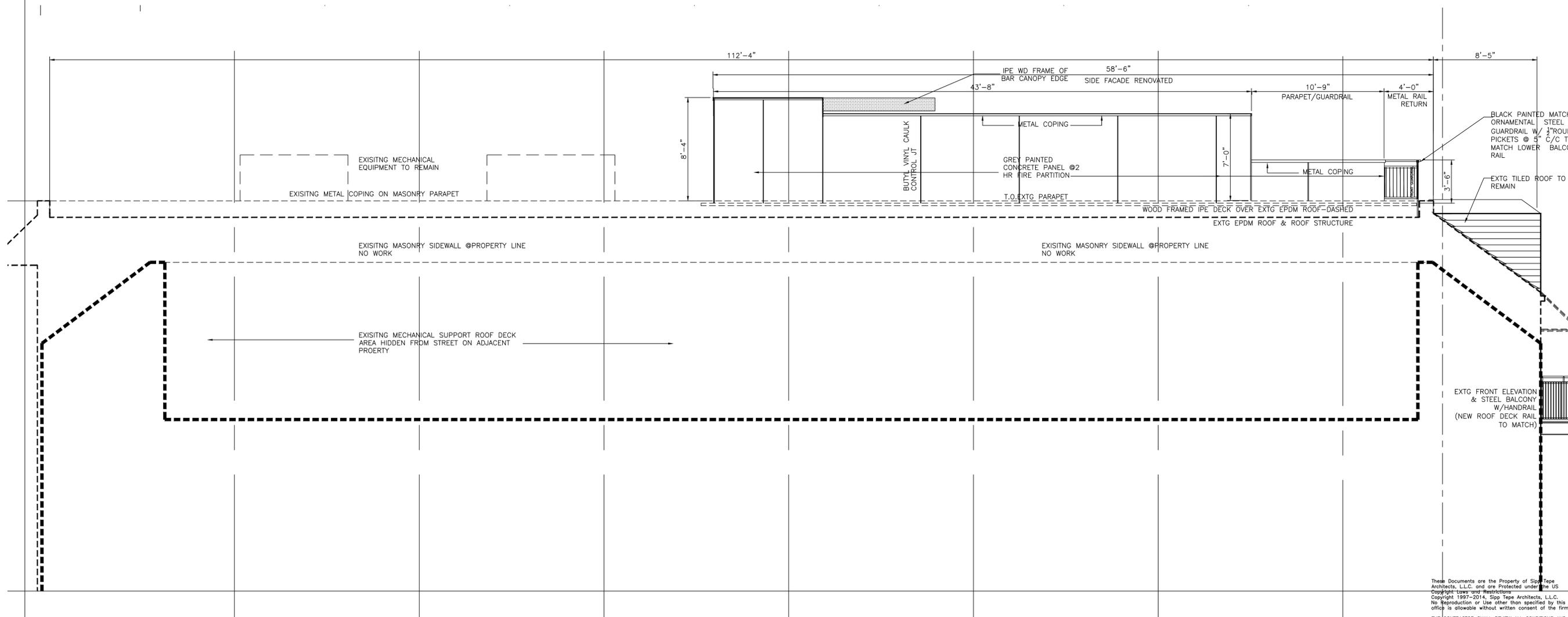
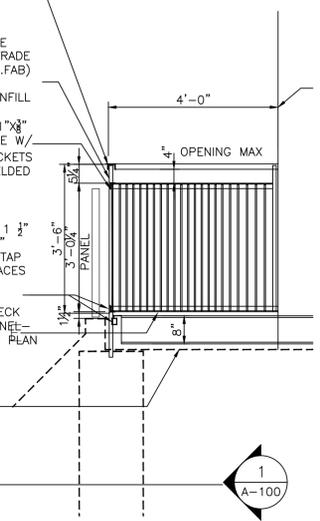
STL BALASTRADE INFILL PANEL - TOP & BOT 1"x1"x½" STL ANGLE FRAME W/ ½" SOLID STL PICKETS @ 4.5" C/C WELDED TOP/BOT

MOUNT TO VERT 1 ½" SUPPORTS W/ 1" SIDE MTD LONG TAP WELD ANGLE BRACES

¾" IPE WOOD DECK ON 12" C-CHANNEL - SEE STRUCTURAL PLAN

LINE OF ROOF/PARAPET

**SECTION**  
 SCALE: 1/2"=1'-0"



**EXTERIOR FRONT ELEVATION**  
 SCALE: 3/8"=1'-0"

An Fire Damage Renovations for:

**NOLA - PERLE COMPLEX**  
 Third Floor - 25 Market Square  
 Pittsburgh, Pennsylvania 15222  
 Contact Person: Yves Carreau-BIG Y Group 412 848 3183

PROJECT DESIGNATION: 2014-11  
 PROJECT LOCATION: 2014\_11\_NOLA\_RENOVATION.dwg  
 DRAWN/CHECKED BY: Douglas Sipp  
 APPROVED BY: Andrew Swansinger

RELEASE DATE: APRIL 1, 2014



**FACADE ELEVATION, SECTION**

DRAWING TITLE  
 DRAWING NUMBER

**A-100**

ESTABLISHED- 1997  
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NO.	REVISION	DATE

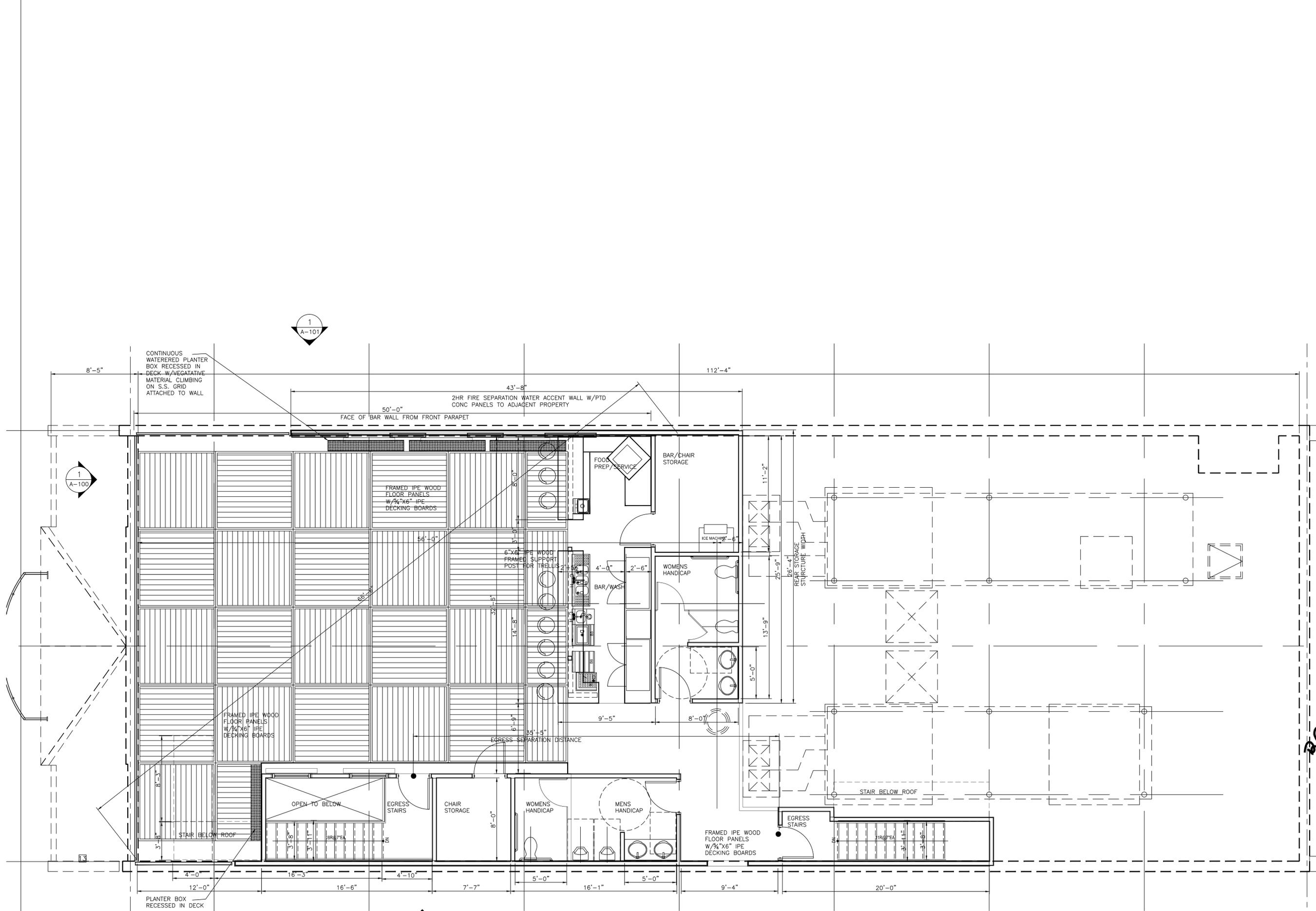
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THE CONTRACTOR SHALL REVIEW ALL CONDITIONS AND SHALL NOT ERECT, ASSEMBLE, OR OTHERWISE COMMENCE CONSTRUCTION WITHOUT MEETING THE MINIMUM REQUIREMENTS FOR SUBMITTALS AS REQUIRED BY THE PROJECT DOCUMENTS. FAILURE TO REVIEW AND APPROVE ALL REQUIRED SHOP DRAWINGS, SAMPLES, OR DATA PRIOR TO SUBMITTAL TO THE ARCHITECT MAY RESULT IN REJECTION OF SUBMITTED MATERIAL WITHOUT REVIEW. MATERIAL AND PRODUCT REVIEWS SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITIES TO VERIFY FIELD OR COORDINATION REQUIREMENTS.

DO NOT SCALE DRAWINGS: CONTRACTOR MUST VERIFY ALL DIMENSIONS, FIELD CONDITIONS, AND CLEARANCES PRIOR TO COMMENCEMENT OF WORK AND/OR ORDERING OF MATERIALS.

WE CERTIFY THAT THESE PLANS HAVE BEEN PREPARED IN OUR OFFICE AND UNDER OUR SUPERVISION AND THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THEY COMPLY WITH APPLICABLE LAWS, REGULATIONS, AND ORDINANCES OF THE JURISDICTION RELATING TO THIS PROJECT.

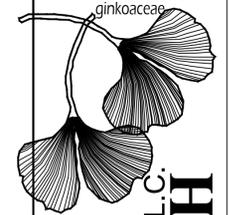




**ROOF DECK PLAN**  
SCALE: 1/4"=1'-0"

NORTH

PLOTTER DATE STAMP:



Corporate Center:  
Post Office Box 332  
Tele: 330.549.0011  
Cell ( Sipp ) : 724.544.8160 Cell ( Tepe ) : 330.651.7543

**SIPP + TEPE ARCHITECTS, L.L.C.**  
**[S+T] ARCH**

An Fire Damage Renovations for:  
**NOLA - PERLE COMPLEX**  
Third Floor - 25 Market Square  
Pittsburgh, Pennsylvania 15222  
Contact Person: Yves Carreau-BIG Y Group 412 848 3183

PROJECT SEAL  
APRIL 1, 2014

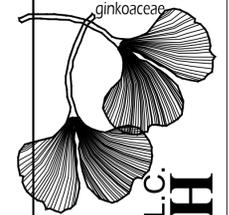
**PROPOSED ROOF DECK PLAN**

DRAWING TITLE  
DRAWING NUMBER

**A-204**

ESTABLISHED- 1997  
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NO.	REVISION	DATE



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 Tele: 330.549.0011  
 Cell ( Sipp ) : 724.544.8160 Cell ( Tepe ) : 330.651.7543

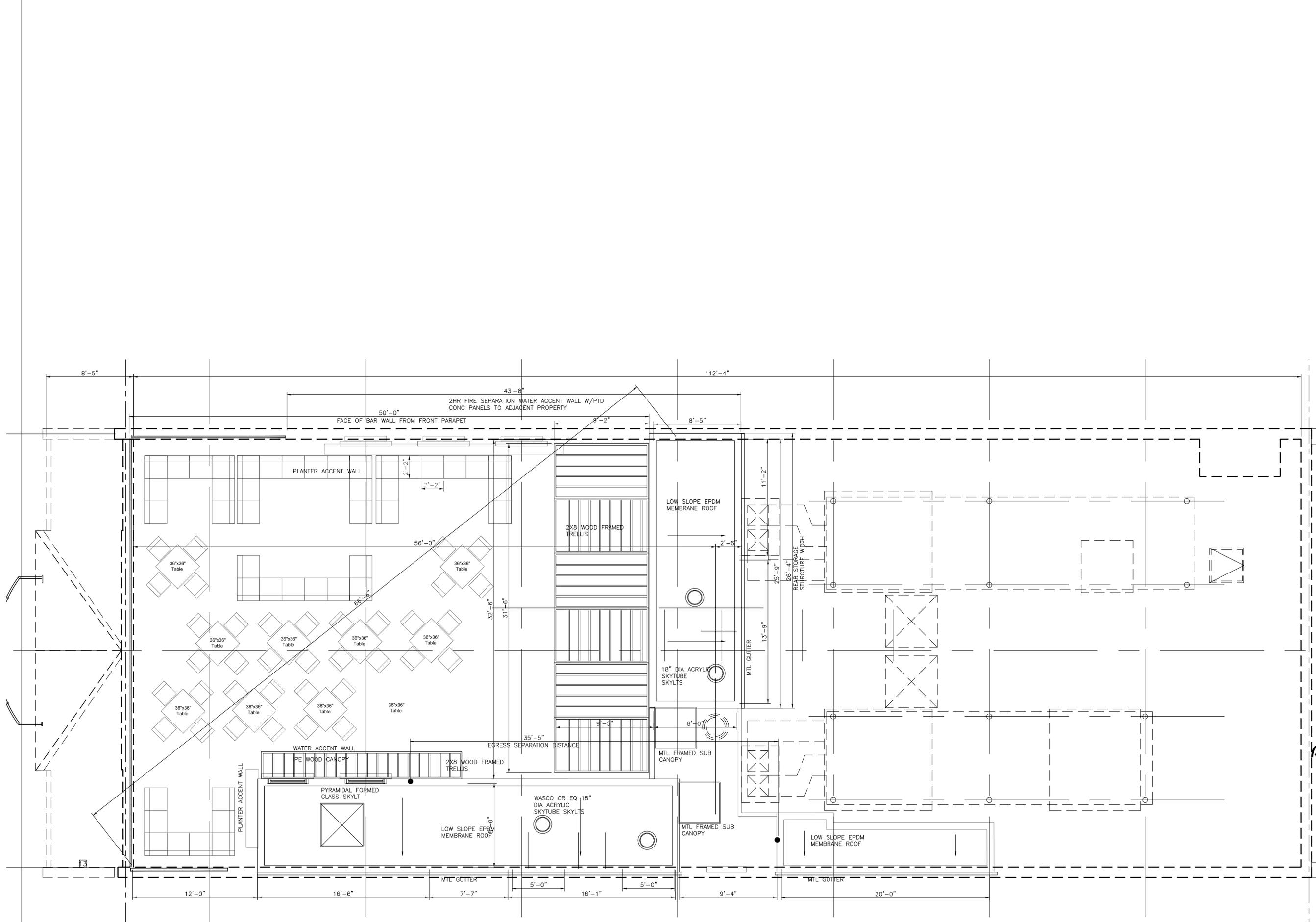
11524 Market Street  
 North Lima, Ohio 44452  
 Fax: 330.549.0012

An Fire Damage Renovations for:  
**NOLA - PERLE COMPLEX**  
 Second Floor - 25 Graeme  
 Pittsburgh, Pennsylvania 15222  
 Contact Person: Yves Carreau-BIG Y Group 412 848 3183

PROJECT SEAL  
 APRIL 1, 2014  
 DRAWN BY: Douglas Sipp  
 CHECKED BY: Andrew Swansinger

**PROPOSED ROOF DECK'S ROOF PLAN**

DRAWING TITLE  
 DRAWING NUMBER  
**A-205**  
 ESTABLISHED- 1997  
 COPYRIGHT RESERVED- 2014



**ROOF DECK ROOF/SEATING PLAN**  
 SCALE: 1/4"=1'-0"  
 NORTH

PLOTTER DATE STAMP:



Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**STAFF USE ONLY:**

DATE RECEIVED: 4/17/14

LOT AND BLOCK NUMBER: 28-S-118

WARD: 4th

FEE PAID: YAD

DISTRICT:

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

3440 PARKVIEW AVE  
PITTSBURGH PA 15213

OAKLAND SQUARE HISTORIC DISTRICT

**OWNER:**

NAME: ANDREA BOYKOWYCZ + GOLAN LEVIN

ADDRESS: 3440 PARKVIEW AVE  
PITTSBURGH PA 15213

PHONE: 412-417-5560

EMAIL: andrea.boykowycz@gmail.com

**APPLICANT:**

NAME: ANDREA BOYKOWYCZ + GOLAN LEVIN

ADDRESS: 3440 PARKVIEW AVE  
PITTSBURGH PA 15213

PHONE: 412-417-5560

EMAIL: andrea.boykowycz@gmail.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other ?

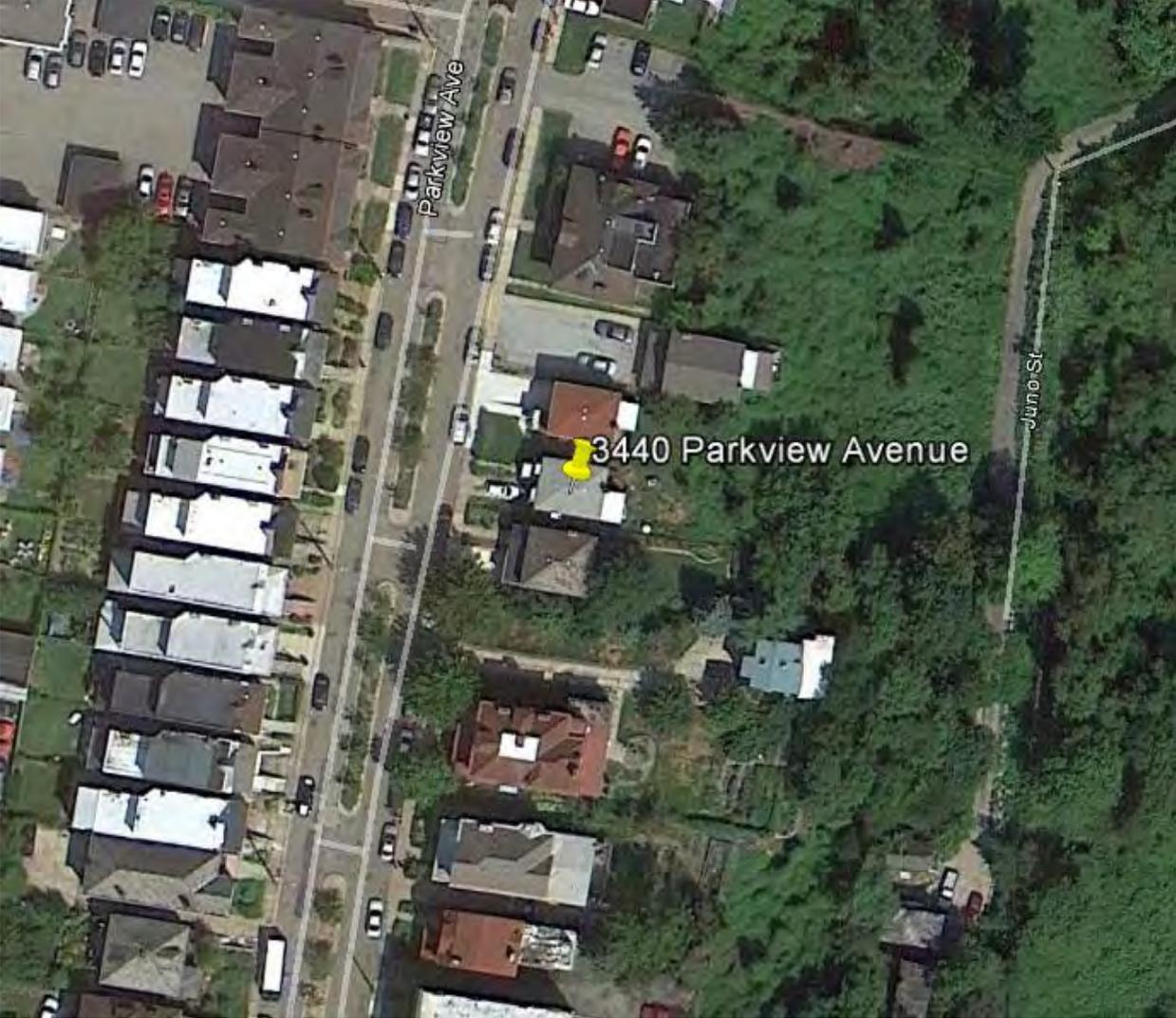
**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

see attached

**SIGNATURES:**

OWNER: Andrea Boykowycz DATE: 4/17/14

APPLICANT: Andrea Boykowycz DATE: 4/17/14



## **Detailed Description of Proposed Project**

### **Summary**

The owners of 3440 Parkview Avenue (Parcel 0028-S-00118-0000-00), a non-contributing property located in the Oakland Square Historic District, propose additions and alterations to the facade that would: add a small porch; extend the area of a second floor room to be flush with the edge of the porch; and to alter windows and exterior window treatments in a manner that enhances the property's relationship to the street and its neighbors, while improving livability and the aesthetic appearance of the property.

### **Existing Conditions**

The existing property was constructed in 1952 according to a standard contractor's plan that did not take into account the physical orientation of the parcel, the architectural features of the neighboring properties, or the aesthetics, livability or utility of the exterior or interior constructed spaces. Unlike the nineteenth century buildings it faces or the 1930s-era building directly adjacent to the south, the property does not have a porch, or even a landing at the front entrance door. The structural damage visible in the masonry as a result of settlement misaligns the existing stoop and the entrance door threshold. This makes the entrance steps not only in violation of the Building Code, but also very difficult to manage for the Owner's small children and elderly grandparents. The building's aluminum sliding windows are unattractive, inefficient and unlike any of the windows on the historic buildings around it. The aluminum window awnings are similarly unattractive and do not admit sufficient light into the interior of the house. The third bedroom on the second floor above the entrance door is tiny and does not provide sufficient room for the current occupants.

### **Specific proposed alterations and additions**

1. Enlarge the first floor vestibule to be even with the 1930s-era house adjacent to the south; rebuild the entrance stair to comply with the Building Code; and create a small porch to protect visitors and the entrance door from westerly wind and rain.
2. Enlarge the second floor bedroom to be coextensive with street edge of new porch, with new windows that reference the arched windows of the historic buildings opposite and the arched entryway of the 1930s-era building adjacent. The proposed cladding of the addition would be a brick veneer similar to the existing structure, and matched to the color and coursing of the existing house.
3. Replace two existing aluminum sliding facade windows with clad wooden windows that reference the historic buildings opposite.

4. Remove existing aluminum window awnings, and replace with unobtrusive trellis that will admit better light and enhance the appearance of the windows and facade from the street.

5. (Invisible from street) In enlarged foundation below the porch, add a small storage room in the basement, with exterior door to the driveway. The retaining walls in the driveway will be re-built using existing stone.





PEDUTO





PENNSYLVANIA  
GKM-7243

5438













11K-7390





## LEVIN/BOYKOWYCZ RESIDENCE ADDITIONS & ALTERATIONS

3440 Parkview Avenue Pittsburgh PA 15213

**Preliminary Design**

**May 1 2013**

**WALTER BOYKOWYCZ ARCHITECT**

3441 Parkview Ave. Pittsburgh, PA 15213-4303

cell 412-999-4525 e-mail WRB.ARCH@gmail.com

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- A-1.1 EXISTING BASEMENT PLAN
- A-1.2 EXISTING 1<sup>ST</sup> FLOOR PLAN
- A-1.3 EXISTING 2<sup>ND</sup> FLOOR PLAN
- A-1.4 BASEMENT PLAN
- A-1.5 1<sup>ST</sup> FLOOR PLAN
- A-1.6 2<sup>ND</sup> FLOOR PLAN
- A-1.7 ROOF PLAN
- A-2.1 EXISTING FRONT AND REAR ELEVATION
- A-2.4 WEST (FRONT) ELEVATION
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WEST ELEVATION

1/4" = 1'

**LEVIN/BOYKOWYCZ RESIDENCE  
ADDITIONS & ALTERATIONS**  
3440 Parkview Avenue Pittsburgh PA 15213

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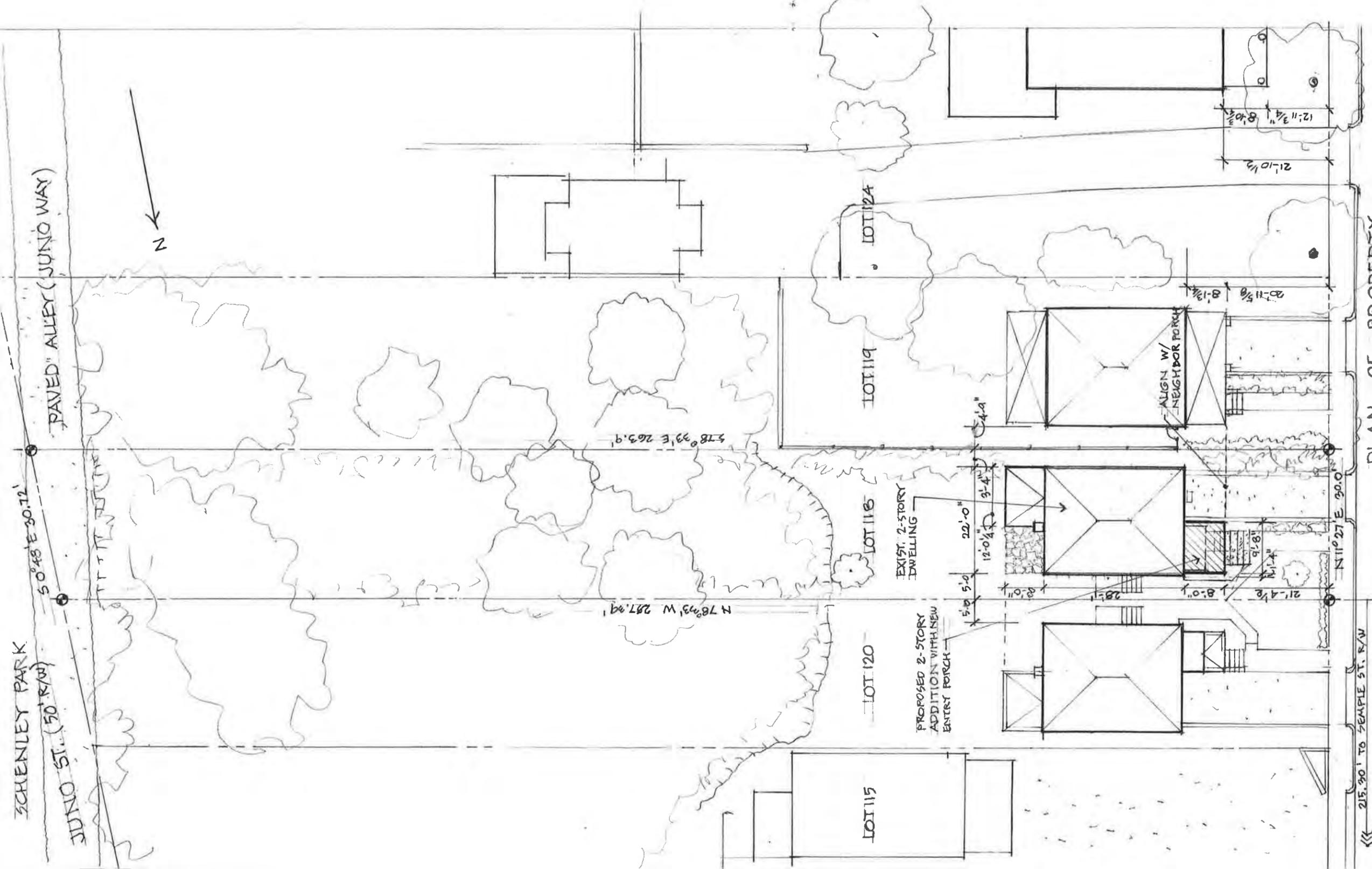
A24  
Sheet No.

SCHENLEY PARK

JUNIO ST. (50' R/W)

50'48" E 30.72'

PAVED ALLEY (JUNIO WAY)



215.90' TO PEARLE ST. R/W

PLAN OF PROPERTY

PARKVIEW AVE (60' R/W)

OF  
GOLAN LEVIN & ANDREA Y. BOYKOWICZ  
BEING

LOT NO. 116

IN

PITTSBURGH PLAN OF LOTS

4TH WARD - CITY OF PITTSBURGH - ALLEGHENY COUNTY, PA  
RECORDED IN PLAN BOOK VOLUME 28 PAGES 5

SCALE: 1" = 20' MAY 1, 2013

LOT 112

LOT 111

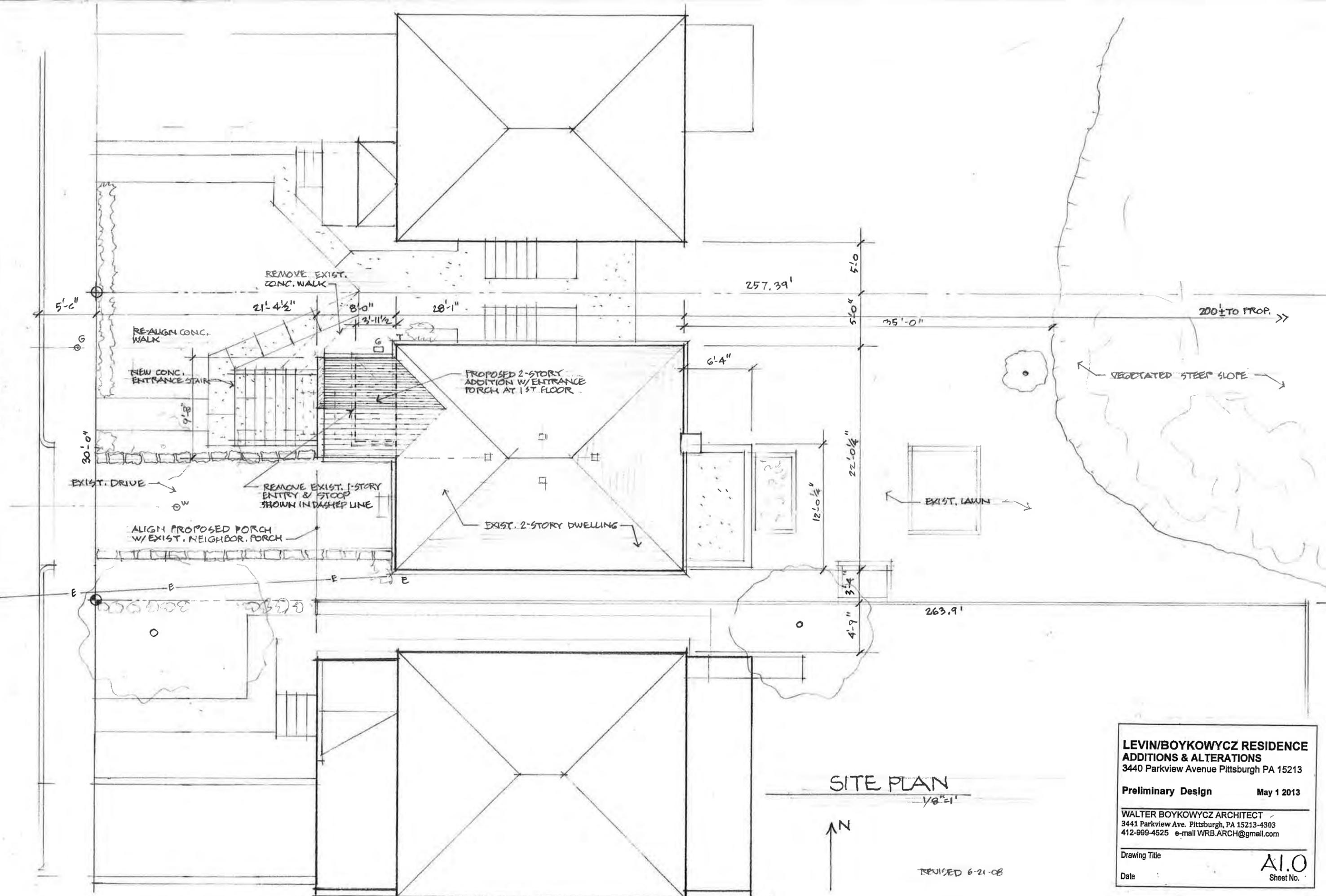
LOT 110

LOT 109

LOT 108

LOT 107

PARKVIEW AVE.



SITE PLAN

1/8"=1'



REVISED 6-21-08

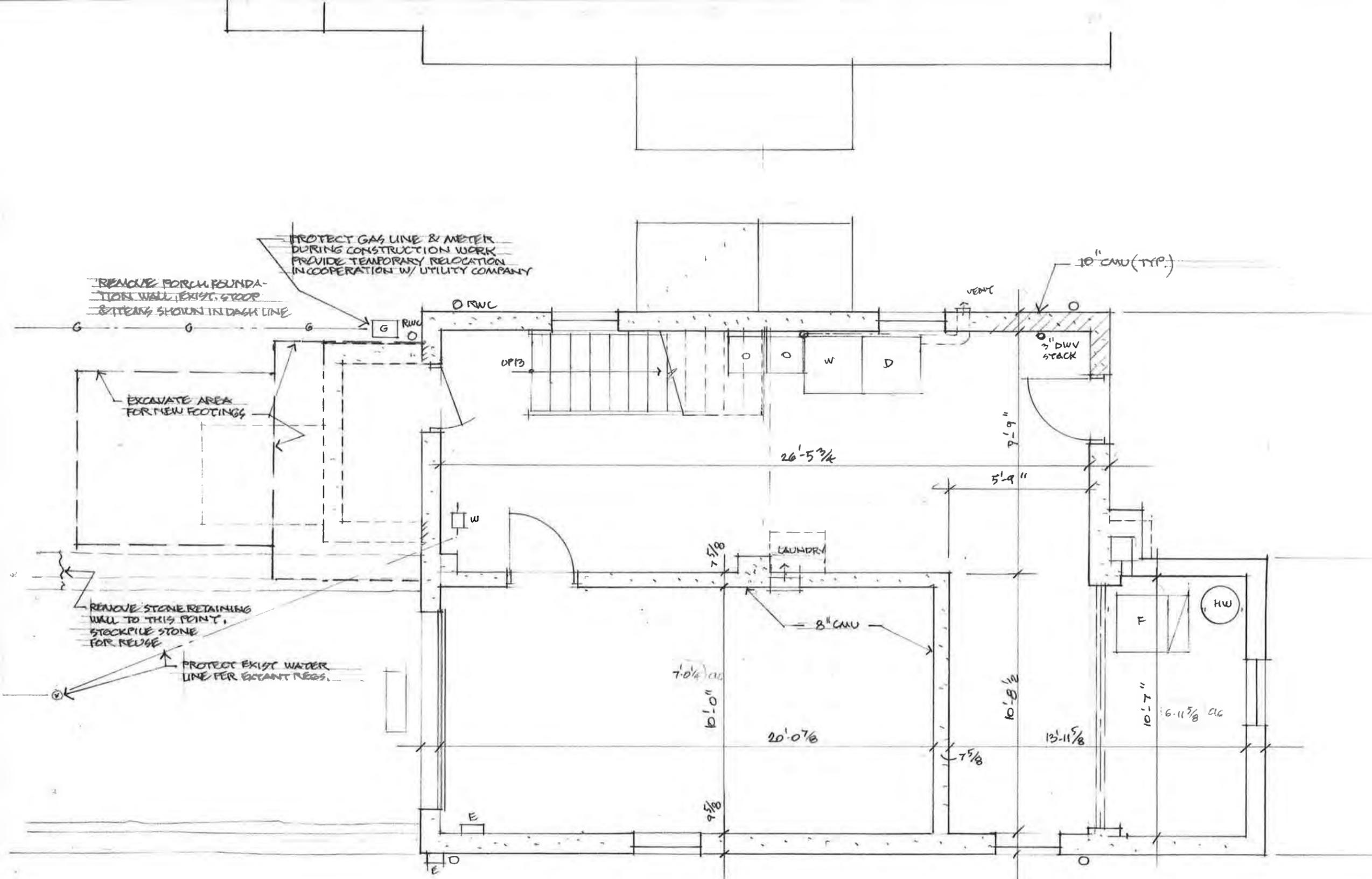
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**A.I.O.**  
 Sheet No.



BUILDING NORTH

# BASEMENT PLAN

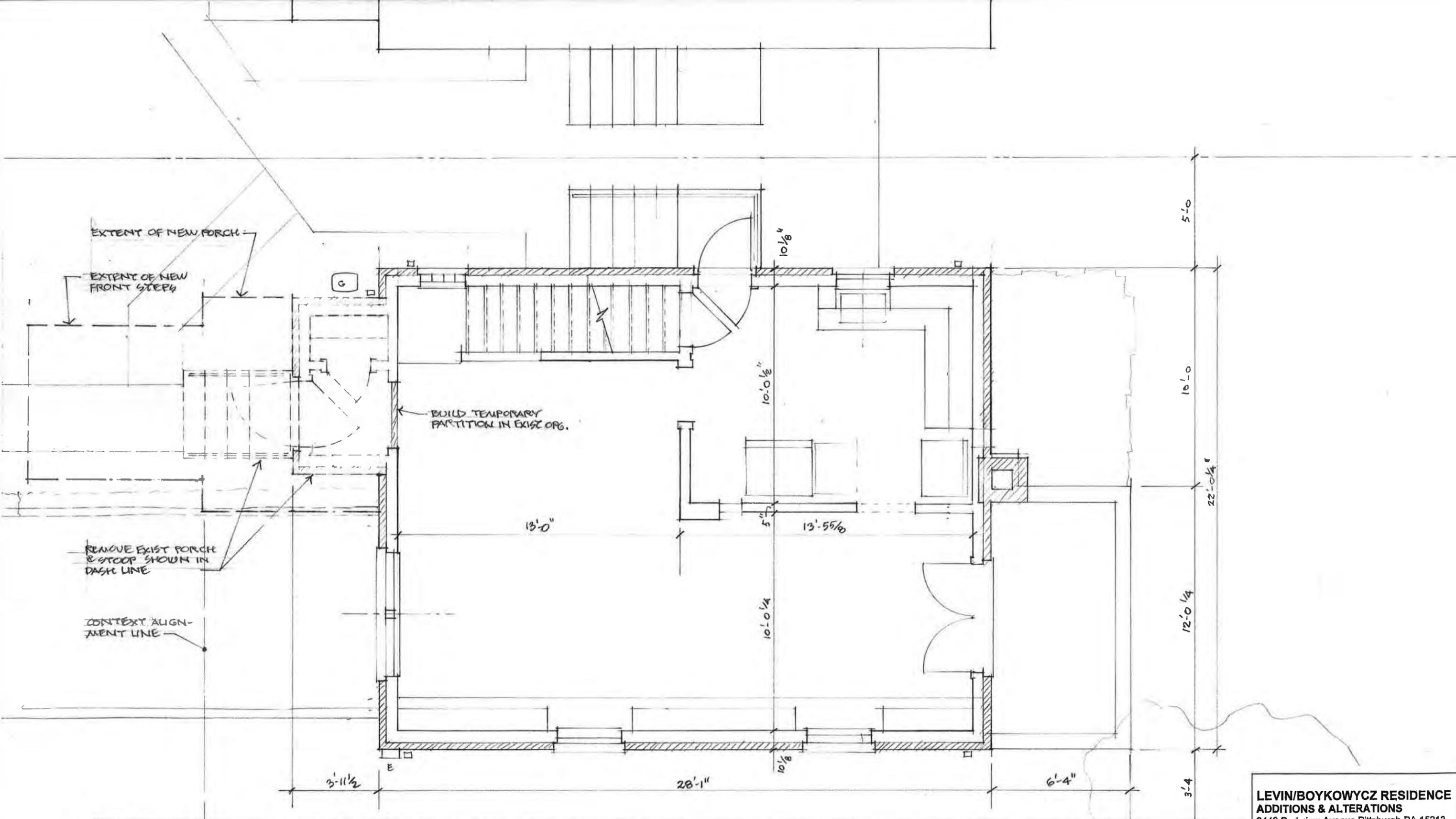
EXIST. CONDITIONS & DEMOLITION: 1/4" = 1'

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ADDITIONS & ALTERATIONS**  
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Date: Sheet No.



**FIRST FLOOR PLAN**

EXIST. CONDITIONS & DEMOLITION

1/4"=1'

EXIST. NEIGHBORING PORCH

REV 6-21-08

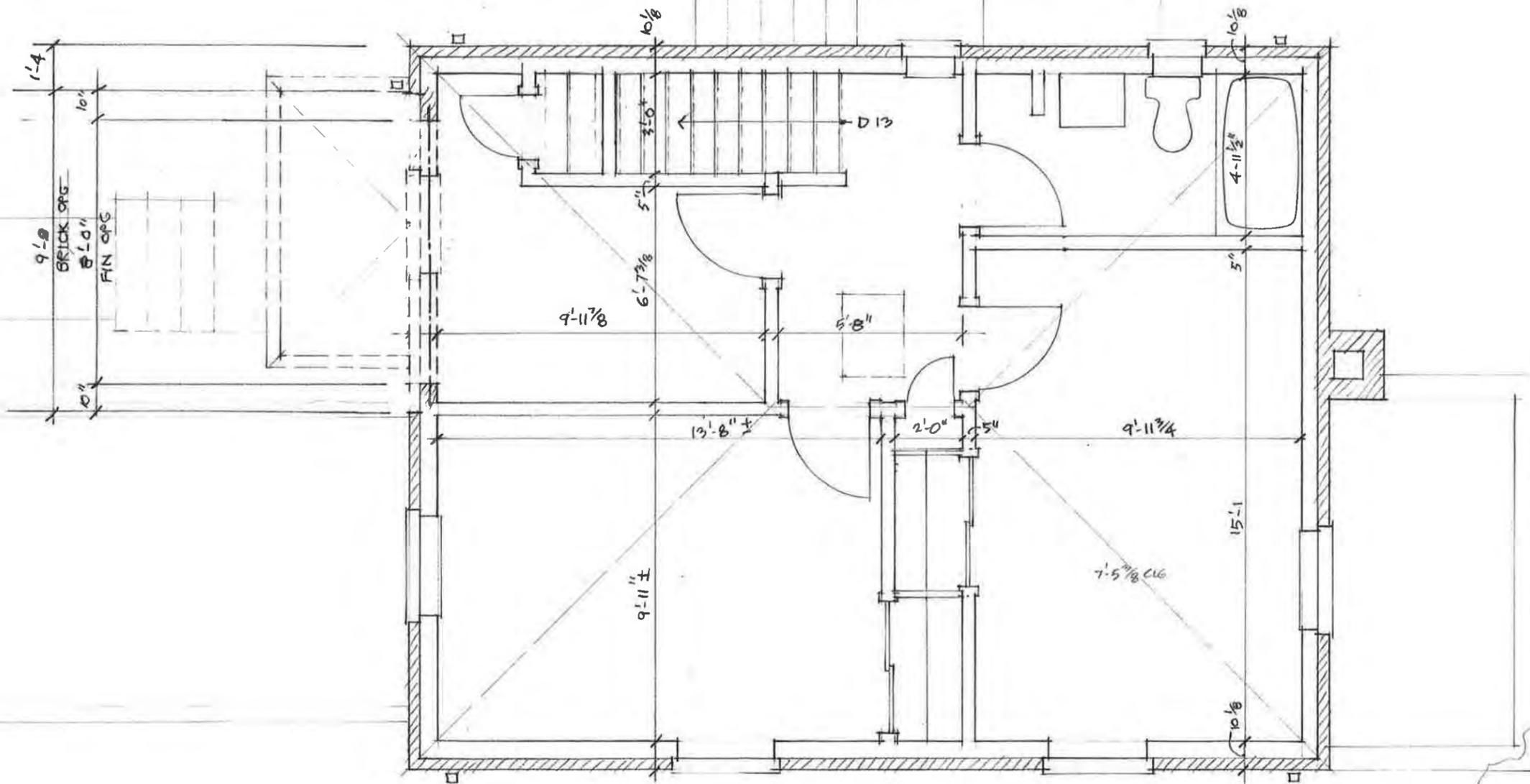
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**A1.2**  
Sheet No.



**SECOND FLOOR PLAN**

EXIST. CONDITIONS & DEMOLITION

1/4" = 1'

REVISED 6-21-08

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**ADDITIONS & ALTERATIONS**  
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**Preliminary Design** May 1 2013

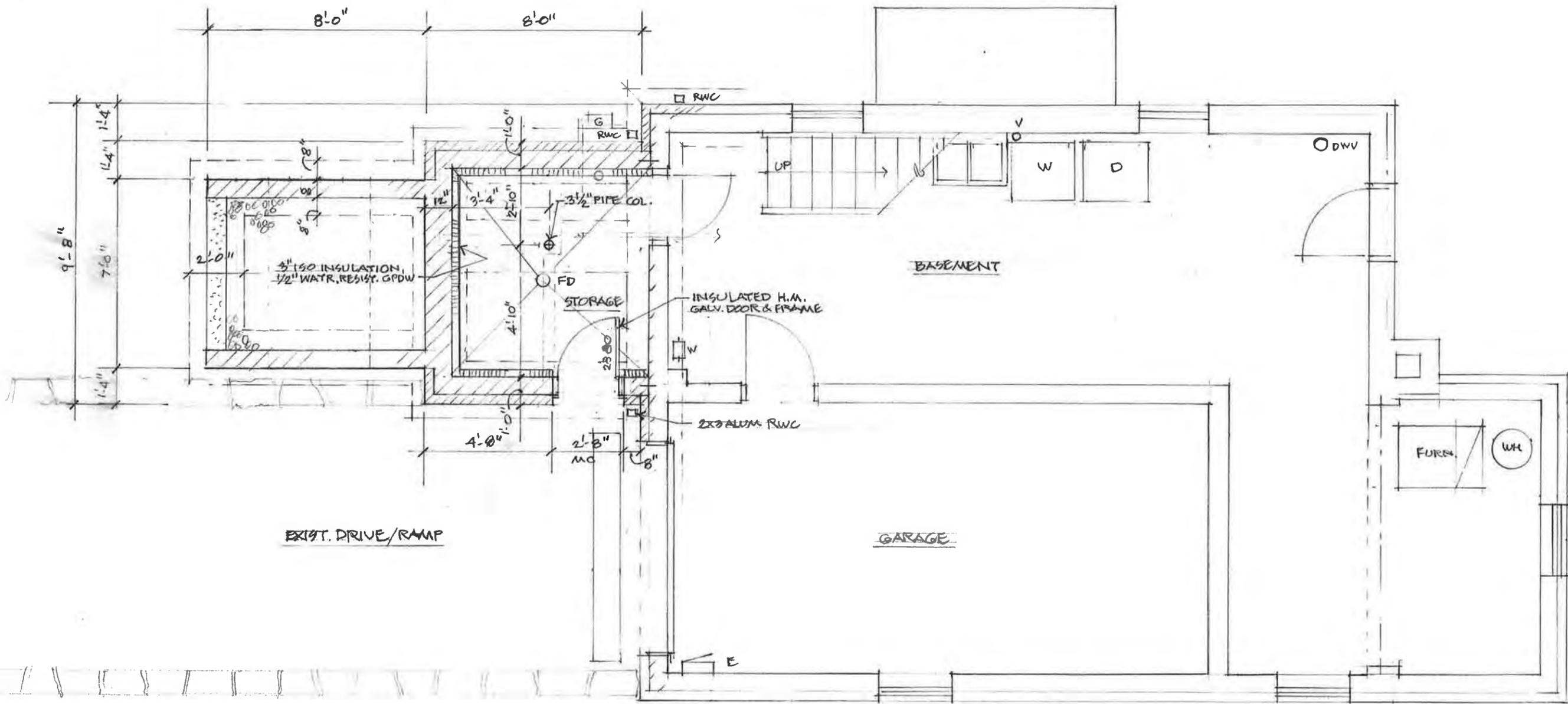
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**A1.3**

Sheet No.



**BASEMENT PLAN**  
 1/8" = 1'

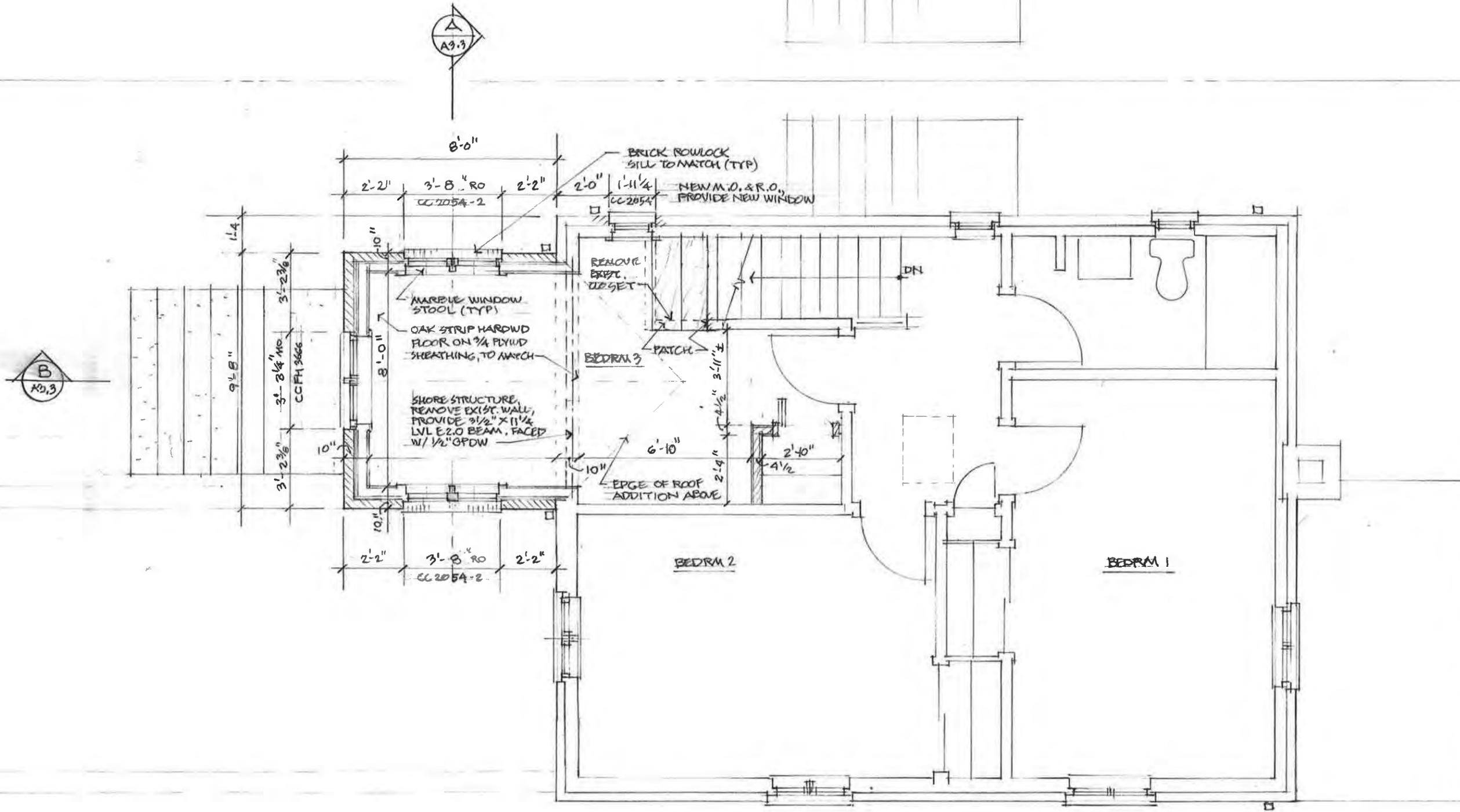
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Drawing Title      A1.4  
 Date      Sheet No.





SECOND FLOOR PLAN  
1/4" = 1'

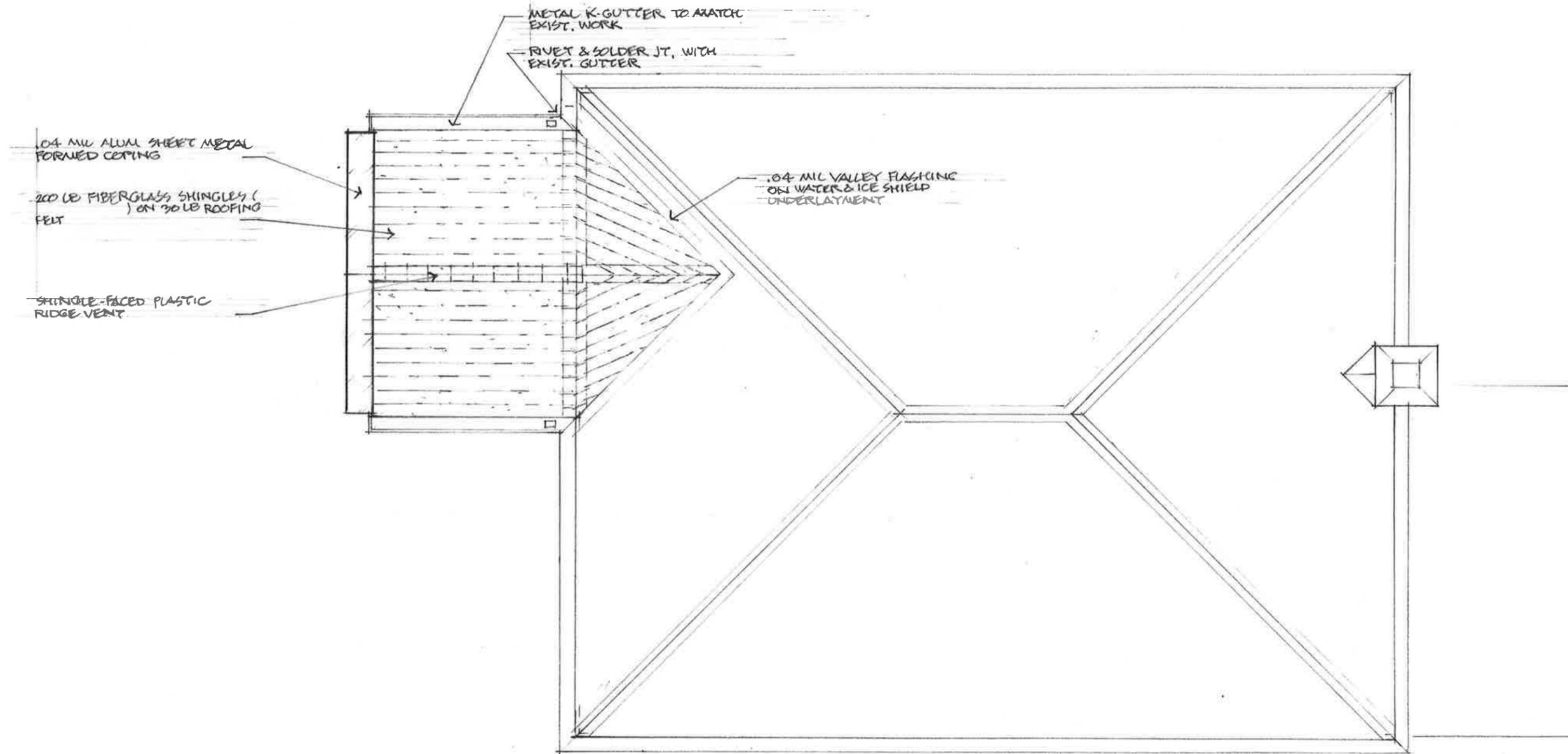
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A1.6  
Sheet No.



**ROOF PLAN**

1/4" = 1'

**LEVIN/BOYKOWYCZ RESIDENCE  
ADDITIONS & ALTERATIONS**  
3440 Parkview Avenue Pittsburgh PA 15213

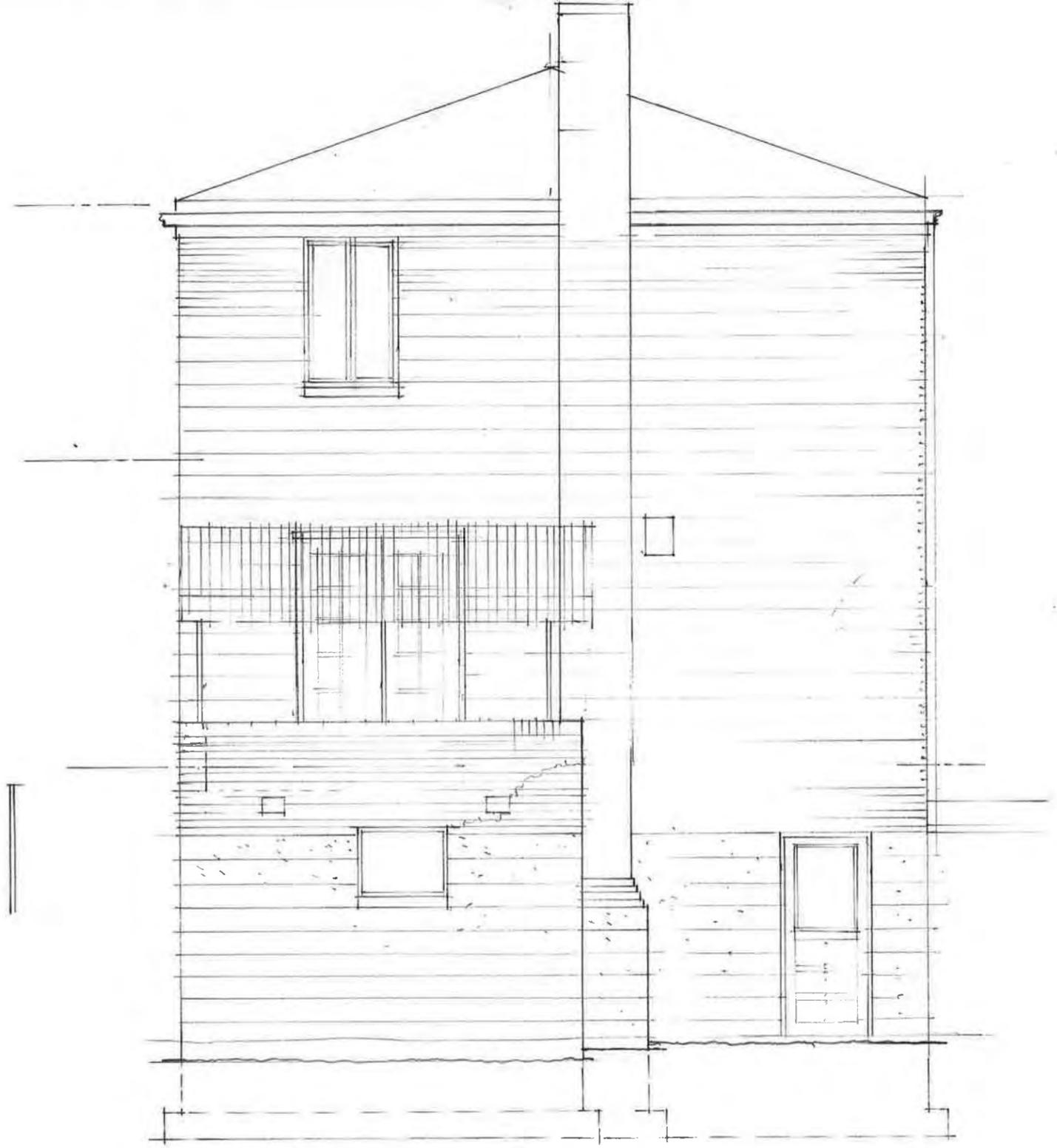
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Date  
A1.7  
Sheet No.



WEST ELEVATION  
EXIST. CONDITIONS 1/4"=1'



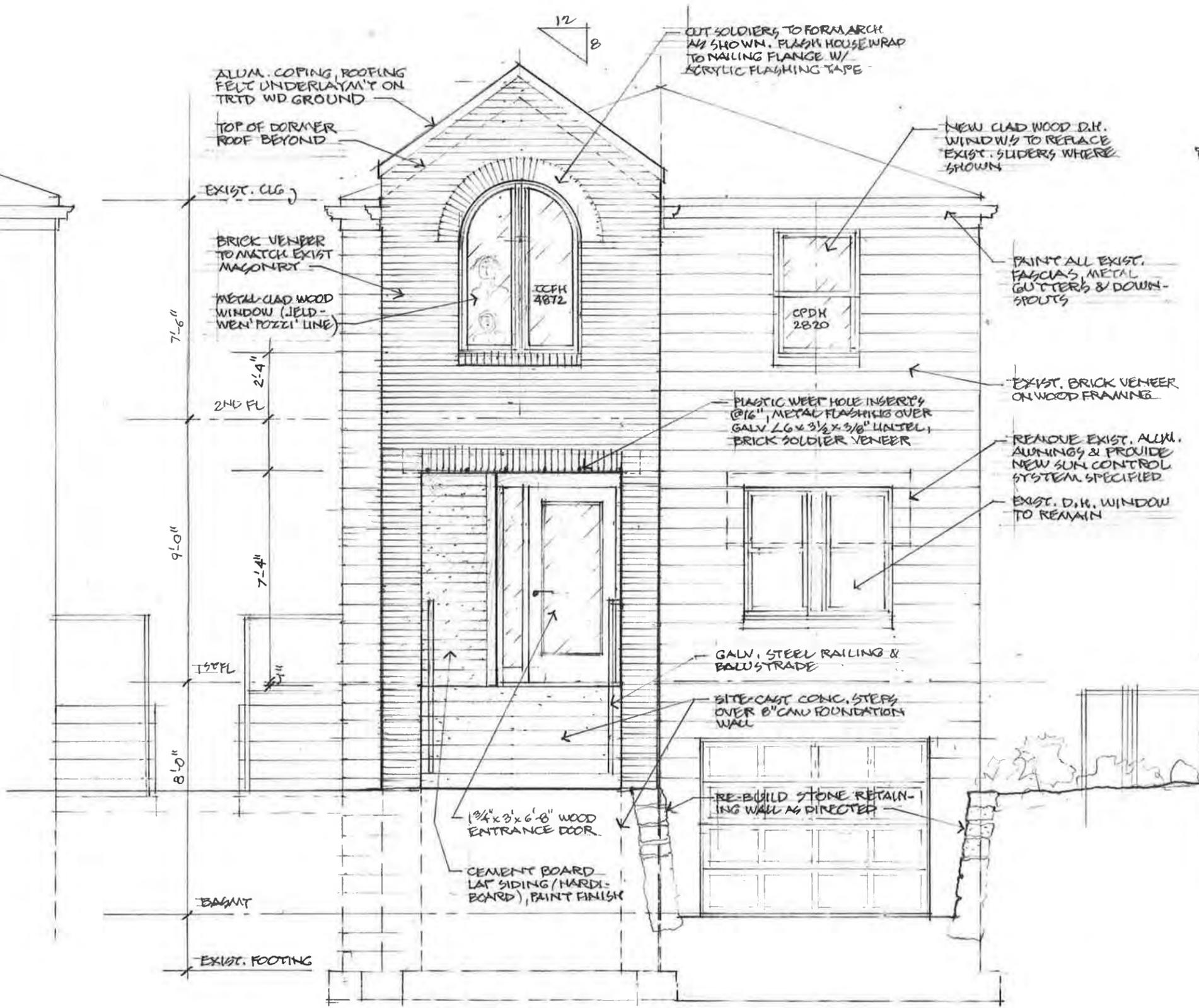
EAST ELEVATION  
EXIST. CONDITIONS 1/4"=1'

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A2.1  
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WEST ELEVATION  
1/4" = 1'

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NORTH ELEVATION  
1/4" = 1'

PLASTIC RIDGE VENT  
FACED W/ SHINGLES TO MATCH  
200 LB FIBERGLASS SHINGLES  
30 LB ROOFING FELT ON 5/8"  
PLYWD SHEATHING

.04 MIL ALUM COPING, 30LB  
FELT UNDERLAY M.T.,  
TRTD WOOD GROUND

METAL-CLAD WOOD WINDOWS  
(JELD-WEN "POZZI" COLLECTION)  
LOW-E INSULATING GLASS.

NEW M.O. & R.O.  
PROVIDE CLAP WOOD  
CASEMENT WINDOW  
(JELD-WEN "POZZI")

NEW ROWLOCK SILL

BRICK VENEER TO  
MATCH EXIST. WORK (TYP.)

GALV. STEEL RAILING  
& BALUSTRADE

PLASTIC WEEP INSERTS  
@ 16" C-C

MATCH NEW CMU  
COURSES W/  
EXIST. MASONRY

5. ST. OR EPOXY-COATED  
ANCHOR PINS @ 3' CC.  
TO TIE EXST. FOOTING TO  
NEW FOOTING (TYP)

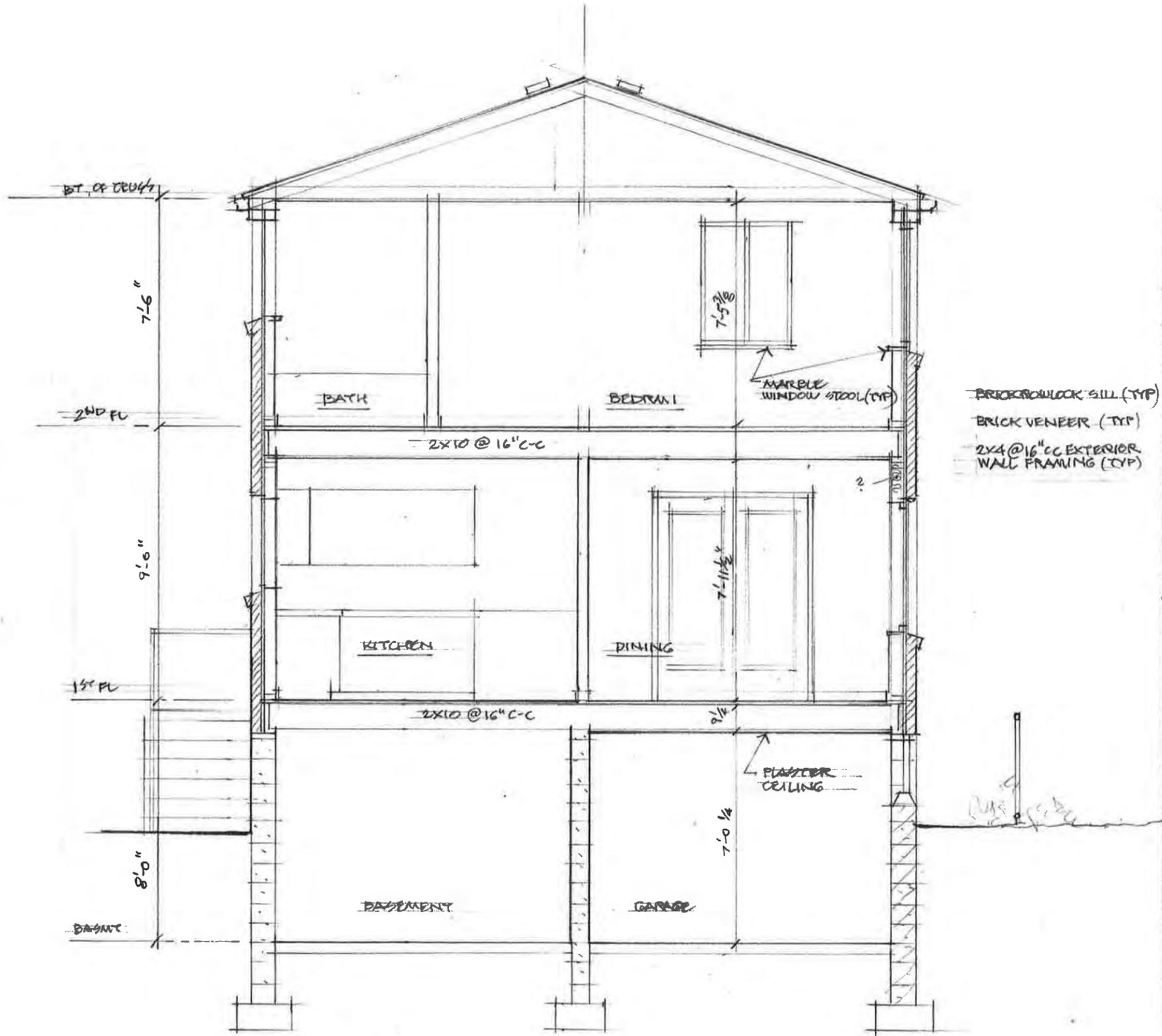
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A2.5  
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**BUILDING CROSS SECTION**  
 EXISTING CONDITIONS 1/4"=1'

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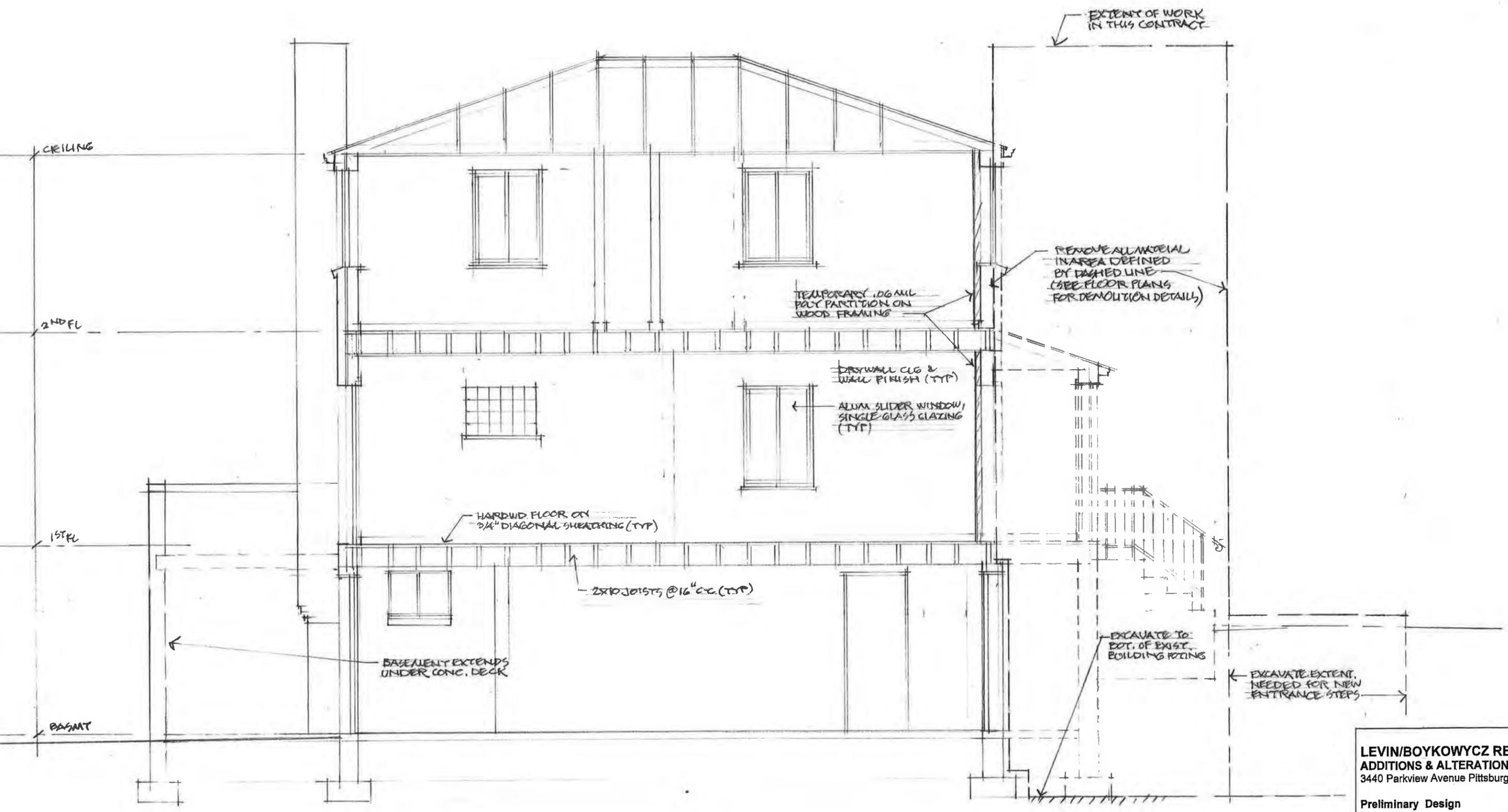
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**LONGITUD. BUILDING SECTION**  
 EXISTING CONDITIONS & DEMOLITION 1/4" = 1'

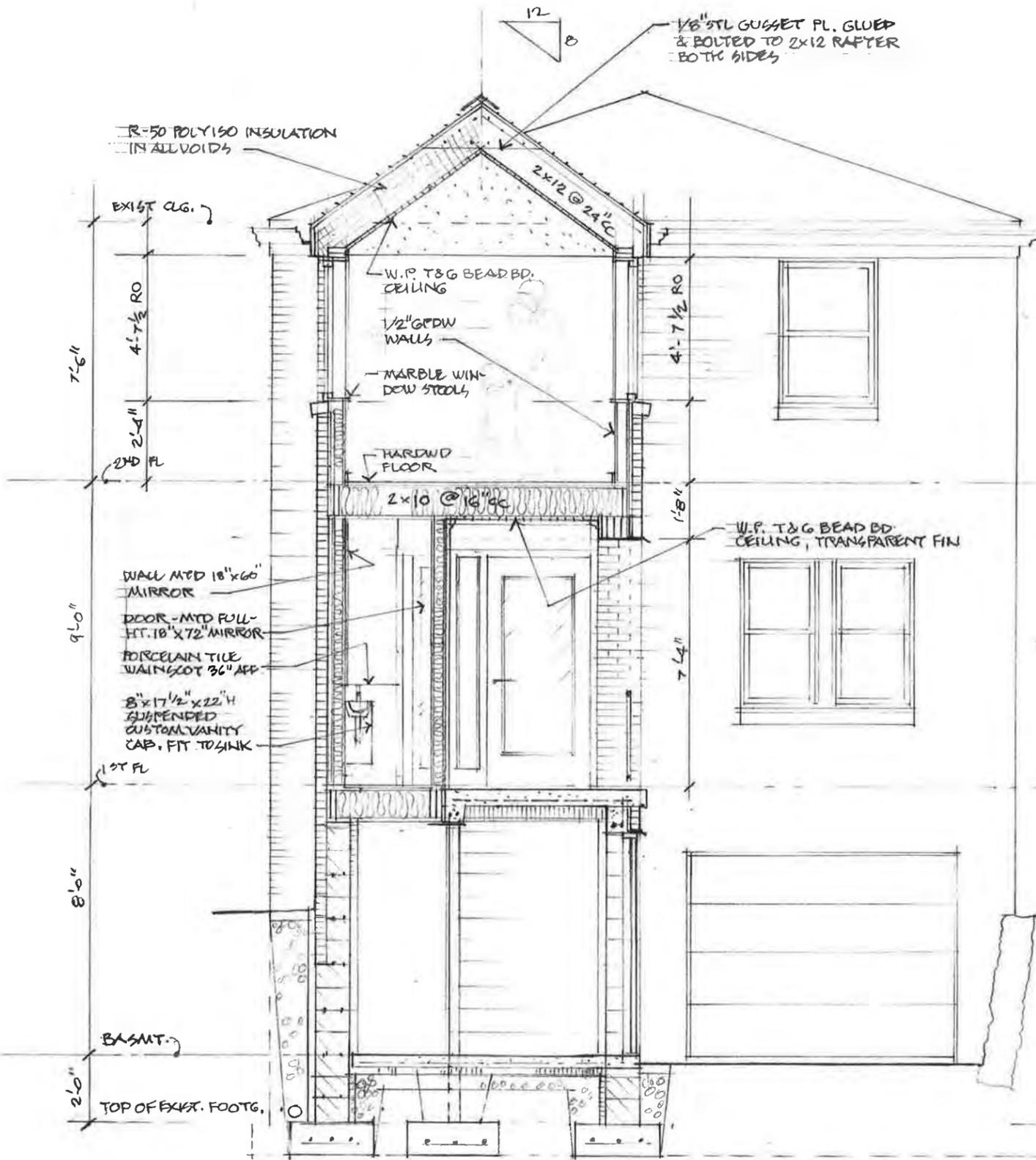
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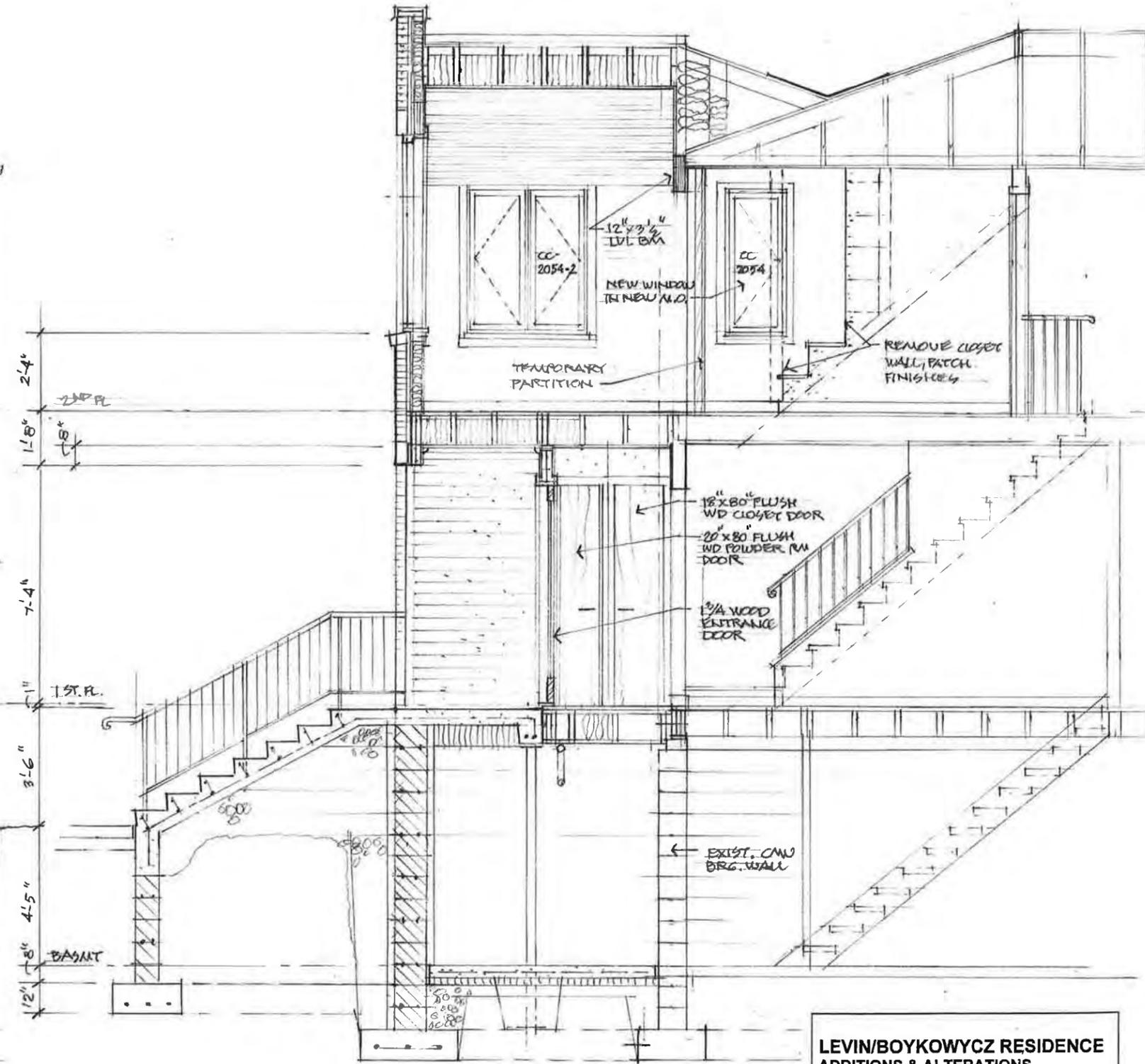
A3.2  
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**SECTION A**  
ENTRANCE PORCH 1/4" = 1'

COMPLY W/ INSULATION STANDARDS  
IECC 2012 R402.1.1

ROOF	R-49
WALLS	R-13+5
FLOOR	R-19
BASMT WALL	R-19
SLAB	R-10



**SECTION B**  
ENTRANCE PORCH 1/4" = 1'

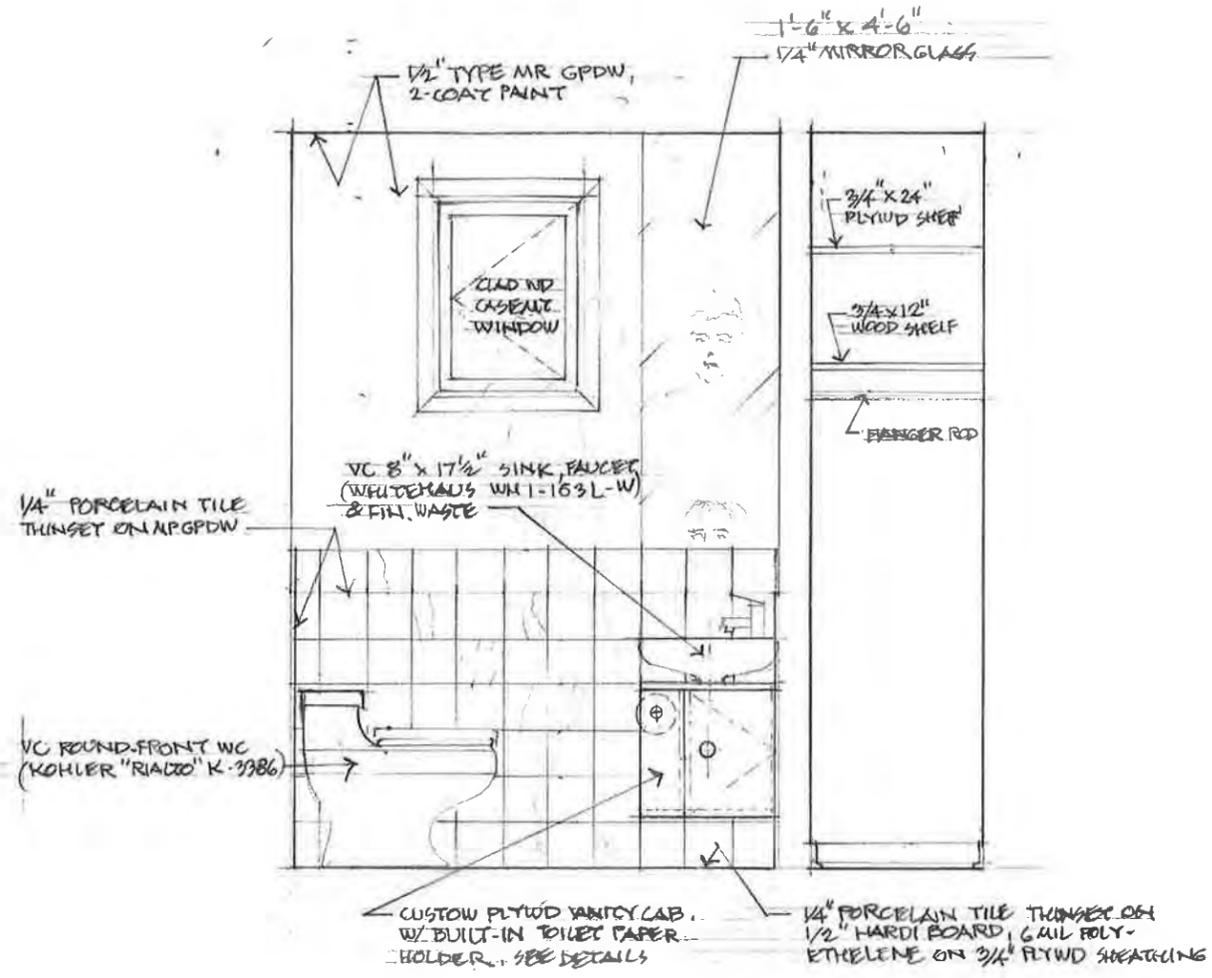
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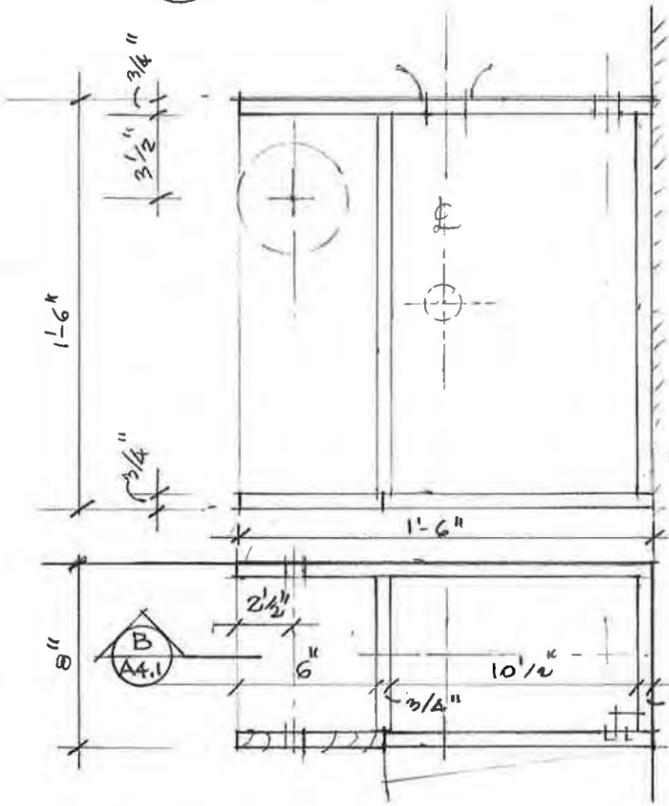
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**A3.3**  
Sheet No.



**A INTERIOR ELEVATION**  
 A4.1 PROPOSED POWDER RM  $1/2'' = 1'$



**B SECTION**  
 A4.1 VANITY CABINET  $1/2'' = 1'$

**C PLAN**  
 A4.1 VANITY CABINET  $1/2'' = 1'$

**LEVIN/BOYKOWYCZ RESIDENCE**  
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