



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Bakery Square 2 Office Parcel A Holdings, LP		Phone Number: (412) 683-3810	
Address: 5500 Walnut Street, Suite 300	City: Pittsburgh	State: PA	Zip Code: 15232
2. Applicant/Company Name: Strada Architecture		Phone Number: (412) 263-3800	
Address: 925 Liberty Ave, 9th Flr	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Contractor ID: (assigned by the City)			
3. Development Name:	Bakery Square 2 Office Building A		
4. Development Location:	Shadyside		
5. Development Address:	6400 Penn Avenue		
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) N/A			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required: N/A			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 03/01/13	Occupancy Date: 01/02/2016	Project Cost: \$ 27 million

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Office

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: 200,000 square foot office building.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 1 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	<u>0</u>	sq ft
Existing to be Retained:	<u>0</u>	sq ft
Retained Area to be Renovated:	<u>0</u>	sq ft
To be Constructed:	<u>218,000</u>	sq ft
Building Footprint:	<u>37,045</u>	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	N/A	N/A	6	85
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 57,297 sq ft

18. On Site Parking: N/A Parking is being provided in the existing Bakery Square Parking Garage

	Existing	Proposed
Full (8 1/2' x 19')	NA	
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A

Actual:	<u>2</u>
Required:	<u>2</u>

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u>2</u> New Water Service Connection(s)	<u>0</u> Termination of Existing Water Service Tap(s)
<u>2</u> New Sewer Service Connection(s)	<u>0</u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

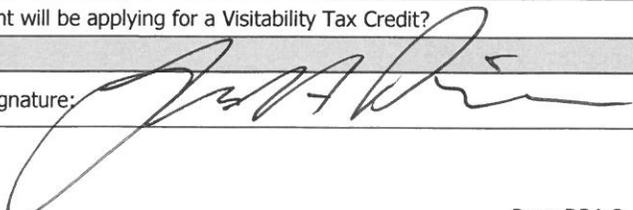
- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: 



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Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Heliport
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



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DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
www.city.pittsburgh.pa.us/cp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html

City Zoning Code

<http://www.municode.com/resources/gateway.asp?siid=38&pid=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/BBI/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

Bureau of Public Space Management
City-County Building, Room 301
414 Grant Street
Pittsburgh, PA 15219
(412) 255-8850
www.city.pittsburgh.pa.us/pw/

**Department of Public Works (DPW)
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2382
www.city.pittsburgh.pa.us/pw/

Pittsburgh Water and Sewer Authority (PWSA)

Permit Counter
441 Smithfield Street, Second Floor
Pittsburgh, PA 15222
(412) 255-2443
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/progstartfolder/plumbingstart.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
<http://www.achd.net/food/foodstart.html>

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
<http://www.achd.net/housing/commenvironstart.html>



RETAIL OFFICE HOTEL ENTERTAINMENT

BkSq
BAKERY SQUARE

A DEVELOPMENT OF WALNUT CAPITAL AND RCG LONGVIEW FUND
www.bakery-square.com

2.0

Strada

Building 'A' Concept Design – December 3, 2013

Building Identity – Old meets New



Strada

Penn Avenue (North) Elevation



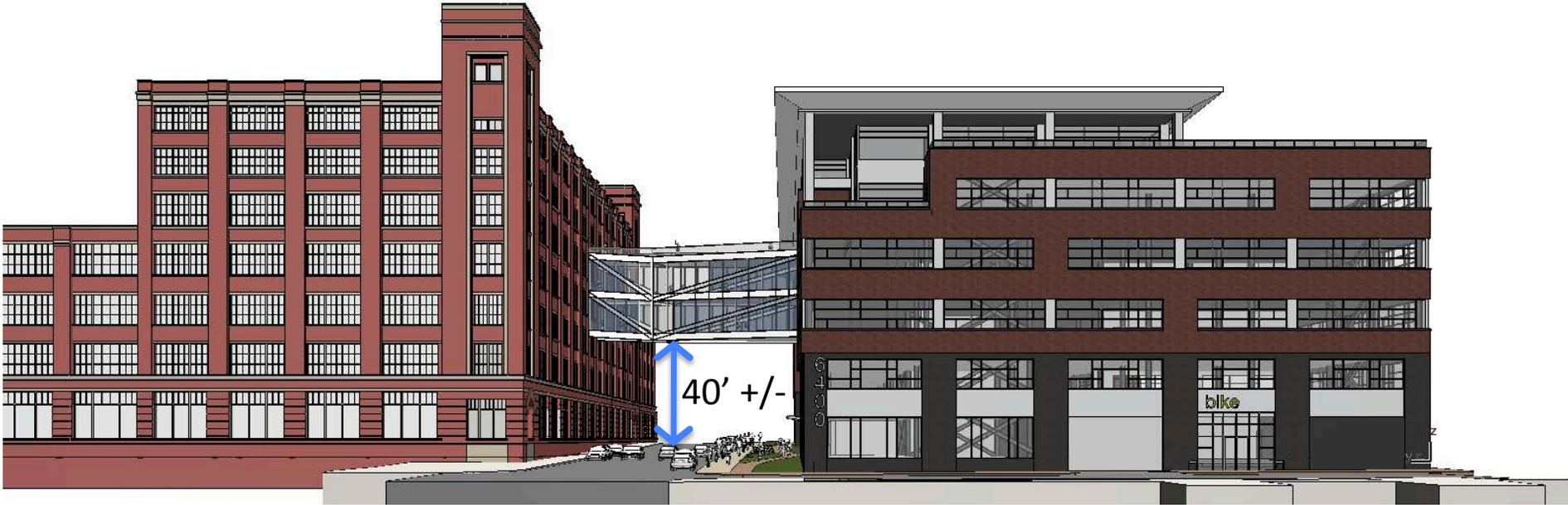
- Lower sill of windows is 1'-8" above grade on average.
- Window height varies from 6' to 8'-8" along Penn Avenue
- Transparency at ground floor is approximately 60%

Penn Avenue Views



Strada

West Elevation



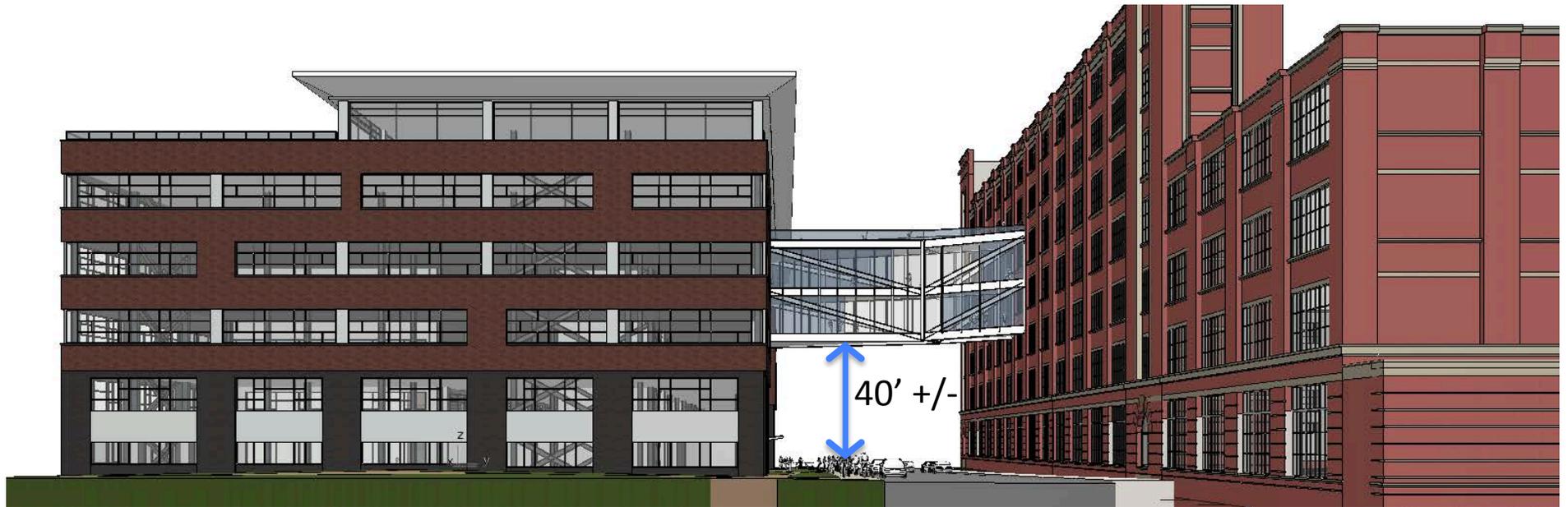
Strada

Corner View



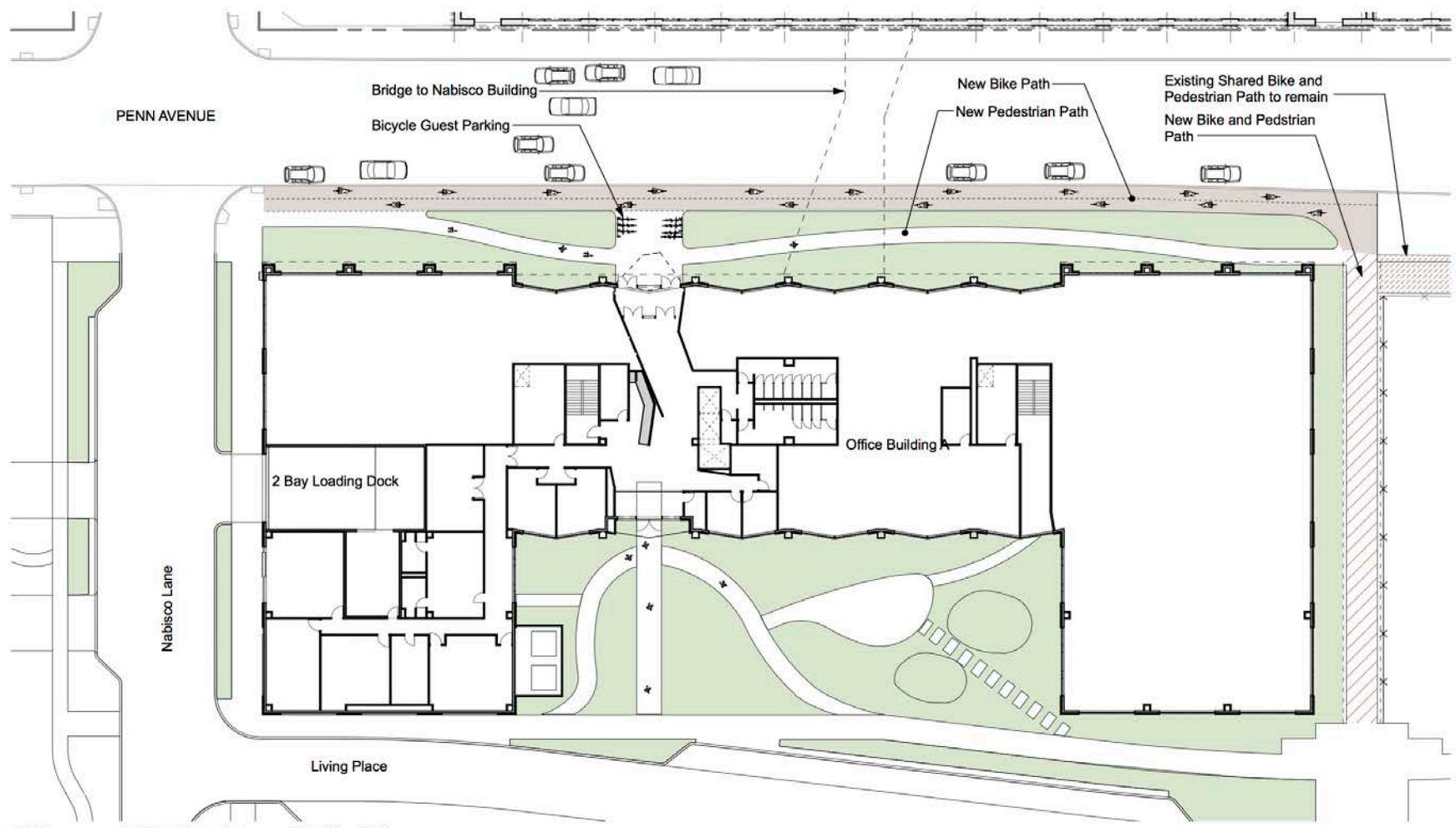
Strada

East Elevation



Strada

Bike and Pedestrian Connections



Bike and Pedestrian Path Plan

Streetscape – Birdseye



Strada

Bike Path - Precedents



Strada

Streetscape – Eye Level Perspective



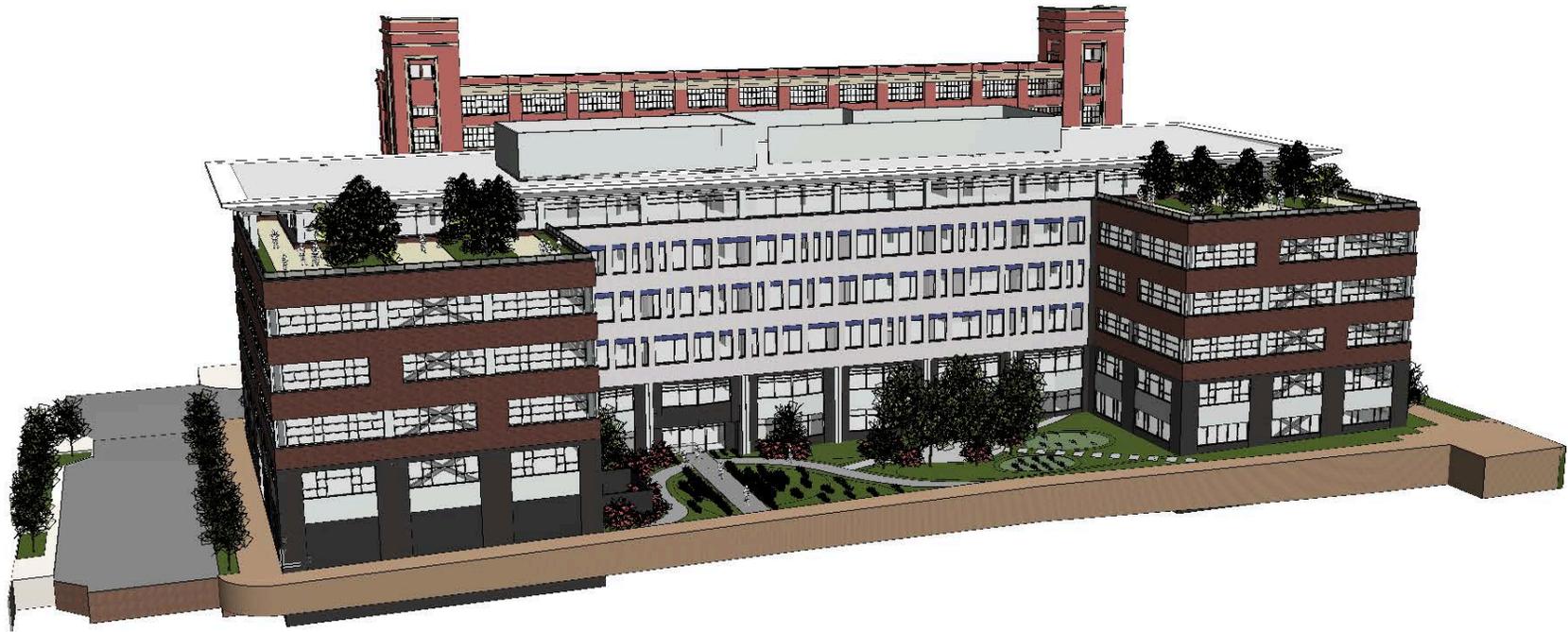
Strada

Streetscape – Eye Level Perspective



Strada

Southside birdseye



Strada

South Elevation



Strada

The Courtyard Experience



Strada

CITY OF PITTSBURGH
DEPARTMENT OF CITY PLANNING
Residential Permit Parking
District V

MAP KEY

- ~ Streets
- Permit Parking

! District V



Feet
0 25 50 100

Map Updated on: December 12, 2011
Map Prepared by: Keith R. Dougal
DEPARTMENT OF CITY PLANNING
300 Rice Street, 4th Floor
Pittsburgh, PA 15219
Phone: (412) 255-2200
Fax: (412) 255-2838



CITY OF PITTSBURGH
 DEPARTMENT OF CITY PLANNING
 Residential Permit Parking
 District N

MAP KEY

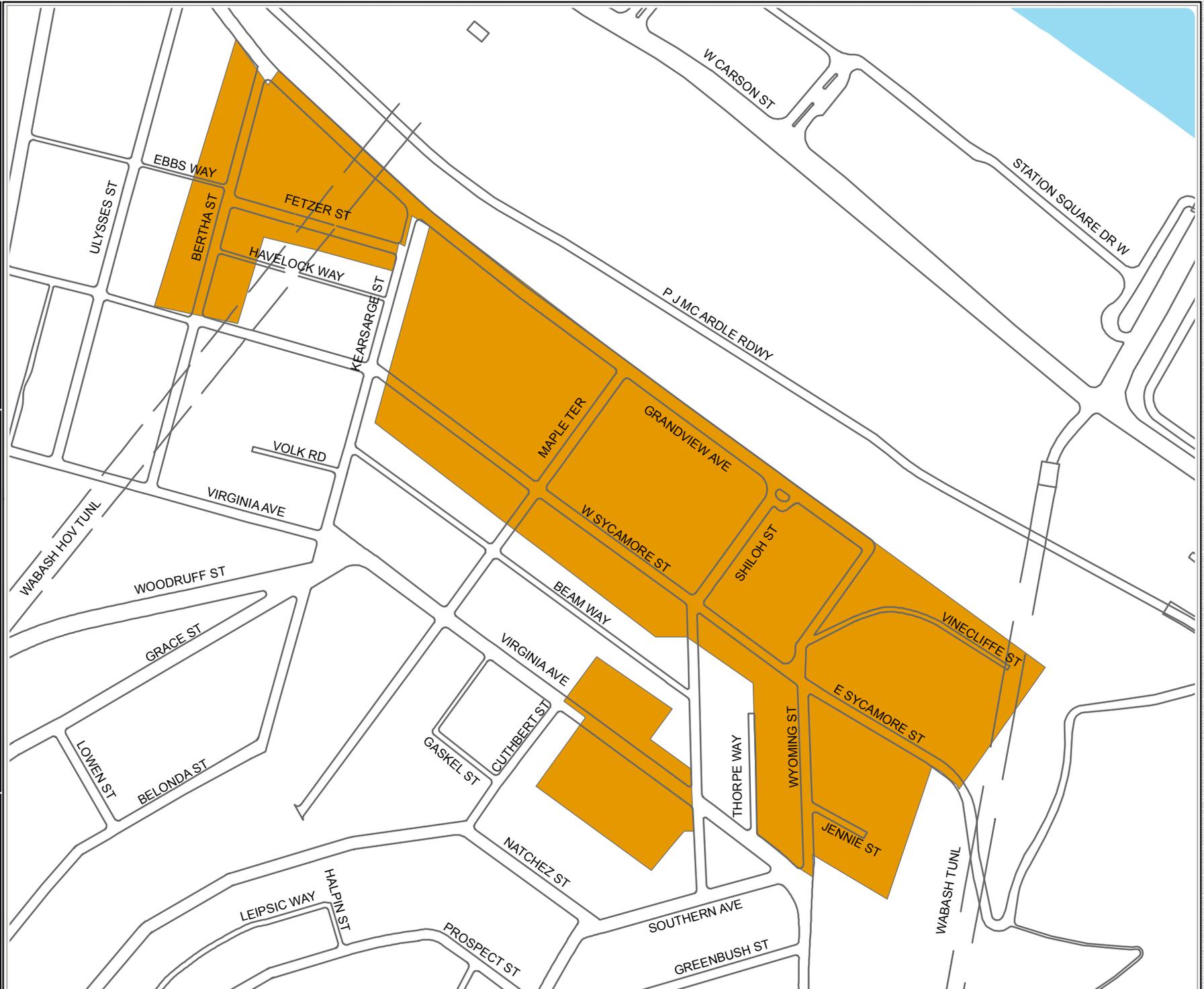
-  Streets
-  Water
-  Permit Parking



Feet

0 50 100 200

Map Prepared on: May 13, 2009
 Map Prepared by: Keith R. Dougal
 DEPARTMENT OF CITY PLANNING
 200 Ross Street, 4th Floor
 Pittsburgh, PA 15219
 Phone: (412) 255-2250
 Fax: (412) 255-2838





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(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Cityview Realty, LLC		Phone Number: ()	
Address: 12 Grandview Cr City: Canonsburg		State: Pa	Zip Code: 15317
2. Applicant/Company Name: Allegheny Construction Group		Phone Number: ()	
Address:	City:	State:	Zip Code:
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: 1208 Grandview Ave.			
4. Development Location: Mt. Washington			
5. Development Address: 1208 Grandview Ave.			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: N/A	Date Issued: June - 1965	Existing Use of Property: Tavern / 1 Fam. Res.	
8. Estimated Construction:	Start Date: 11/15/13	Occupancy Date: / / N/A	Project Cost: \$650,000.00

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **Restaurant**

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development:

Renovation of existing restaurant building: Structural Renovations; Exterior Veneer; New Elevator; New Storefront

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

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 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	_____	sq ft
Existing to be Retained:	8,000	sq ft
Retained Area to be Renovated:	8,000	sq ft
To be Constructed:	_____	sq ft
Building Footprint:	2,000	sq ft

15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	3	36		
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: 0
 Required: 0

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

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0 _____ New Water Service Connection(s)	0 _____ Termination of Existing Water Service Tap(s)
0 _____ New Sewer Service Connection(s)	0 _____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

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- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

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- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



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Residential Uses

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2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

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19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
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25. Public Assembly (General)
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27. Bank or Financial Institution (General)
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35. Child Care (General)
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40. Communication Tower, Class B
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45. Construction Contractor (General)
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47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
www.city.pittsburgh.pa.us/cp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html

City Zoning Code

<http://www.municode.com/resources/gateway.asp?sid=38&pid=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/BBI/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

Bureau of Public Space Management
City-County Building, Room 301
414 Grant Street
Pittsburgh, PA 15219
(412) 255-8850
www.city.pittsburgh.pa.us/pw/

**Department of Public Works (DPW)
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2382
www.city.pittsburgh.pa.us/pw/

**Pittsburgh Water and Sewer Authority
(PWSA)**

Permit Counter
441 Smithfield Street, Second Floor
Pittsburgh, PA 15222
(412) 255-2443
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

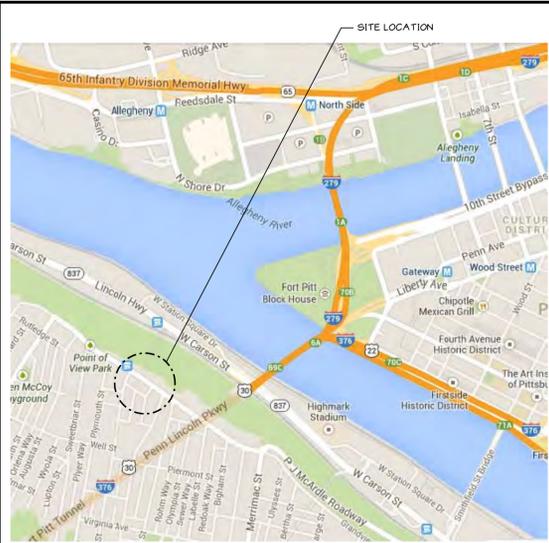
Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/progstartfolder/plumbingstart.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
<http://www.achd.net/food/foodstart.html>

Allegheny County Health Department (ACHD)

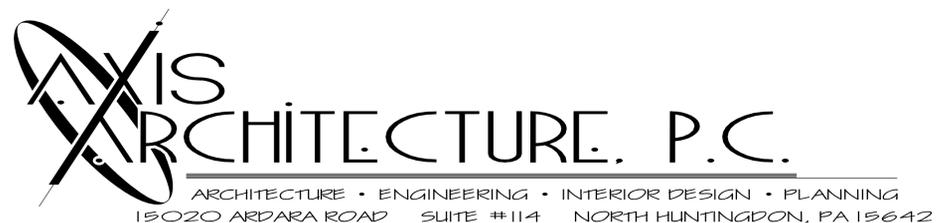
Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
<http://www.achd.net/housing/commenvironstart.html>



LOCATION PLAN

EXTERIOR RENOVATIONS TO: 1208 GRANDVIEW AVENUE

1208 GRANDVIEW AVENUE
PITTSBURGH, PA 15211



EXTERIOR BUILDING
RENOVATIONS TO:
1208 GRANDVIEW AVENUE
PITTSBURGH, PA 15211

MATERIALS AND SYMBOLS

	BATT INSULATION		MATCH LINE
	CONCRETE BLOCK		SECTION
	IN ANY BLOCK		ELEVATION
	BRICK		ELEVATION
	CONCRETE		ELEVATION
	ROCK FILL/GRAVEL		DETAIL
	EARTH		WINDOW SYMBOL
	METAL STUD WALL		DOOR SYMBOL
	PARTIAL HEIGHT METAL STUD WALL		NEW CONSTRUCTION NOTE SEE "GENERAL NOTES"
	ROUGH WOOD		WALL TYPE SYMBOL
	FINISHED WOOD		RELOCATION NOTE HAS LETTER PREFIX
	PLYWOOD		DEMOLITION NOTES
	RIGID INSULATION		ASBESTOS NOTES
	EXISTING WALL		EQUIPMENT IDENTIFICATION
	DEMOLISH WALL		NORTH
	NEW WALL		EXISTING COLUMN LINE
			NEW COLUMN LINE
			ROOM NAME
			ROOM NUMBER
			REVISION SYMBOL

ABBREVIATIONS

∠	AND	EQUIP	EQUIPMENT	OH	OVERHEAD
∠	ANGLE	EWC	ELECTRICAL WATER	OPG	OPENING
AT	AT	COOLK	COOLER	OPP	OPPOSITE
CL	CENTERLINE	EXIST	EXISTING	PLAS	PLASTIC
∅	DIAMETER or ROUND	EXP	EXPANSION	PLAS	PLASTER
PL	PLATE	EXT	EXTERIOR	PLYW	PLYWOOD
#	FOUND or NUMBER	FD	FLOOR DRAIN	FR	FAIR
AB	ANCHOR BOLT	FE	FIRE EXTINGUISHER	PSF	POUNDS PER SQUARE
ACT	ACUSTICAL CEILING	FEC	FIRE EXTINGUISHER CABINET	FOOT	FOOT
ADD	ADDITIONAL	FIN	FIRE HOSE CABINET FINISH	PSI	POUNDS PER SQUARE
AFF	ABOVE FINISH FLOOR	FHC	FIRE HOSE CABINET	PT	POINT
ADJ	ADJUSTABLE	FIN	FINISH	FTD	PAINT, PAINTED
ALUM	ALUMINUM	FLR	FLOOR	QT	QUARRY TILE
APPROX	APPROXIMATE	FLOR	FLORESCENT	R	RISER
ARCH	ARCHITECTURAL	FRTW	FIRE RETARDANT TREATED WOOD	R, RAD	RADIUS
ASPH	ASPHALT	FT	FOOT, FEET	RD	ROOF DRAIN
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	FTG	FOOTING	REF	REFERENCE
BD	BOARD	FURR	FURRING	REINF	REINFORCED
BIT	BITUMINOUS	GA	GAUGE	REQD	REQUIRED
BM	BENCH MARK	GALV	GALVANIZED	RM	ROOM
BLDG	BUILDING	GC	GENERAL CONTRACTOR	RO	ROUGH OPENING
BLK	BLOCK	GL	GLASS/GLAZED	RWC	RAIN WATER CONDUCTOR
BLKG	BLOCKING	GWB	GYPSPUM WALLBOARD	SCHED	SCHEDULE
BLKHD	BULKHEAD	GWB	GLASS/GLAZED	SECT	SECTION
BOT	BOTTOM	H-C	HANDICAP	SHR	SHOWER
BRK	BRICK	HW	HARDWARE	SHT	SHEET
CAB	CABINET	HWWD	HARDWOOD	SIM	SIMILAR
CB	CATCH BASIN	HM	HOLLOW METAL	SPEC	SPECIFICATION
CEM	CEMENT	HORIZ	HORIZONTAL	SQ	SQUARE
CJ	CONTROL JOINT	HGT, HGT	HEIGHT	SS	STAINLESS STEEL
CLG	CEILING	ID	INSIDE DIAMETER	STD	STANDARD
CB	CHALKBOARD	IN	INSIDE DIAMETER	STL	STEEL
CLK	CLEAR	IN	INCH, INCHES	STG, STOR	STORAGE
CLO	CLOSET	INSUL	INSULATION, INSULATED	STRUCT	STRUCTURE, STRUCTURAL
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	SUSP	SUSPENDED
COL	COLUMN	INV	INVERT	SYM	SYMMETRICAL
CONC	CONCRETE	JAN	JANITOR	T	TREAD
CONT	CONTINUOUS	JT	JOINT	T/	TOP OF
CORR	CORROD	KIT	KITCHEN	TB	TACKBOARD
OPT	CARPET	LAV	LAVATORY	TEL	TELEPHONE
CT	CERAMIC TILE	LAM	LAMINATE	T&G	TONGUE AND GROOVE
CTR	CENTER	LAV	LAVATORY	TLT	TOILET
CONST	CONSTRUCTION	LCKR	LOCKER	UL	UNDERSIDE OF DECK
DBL	DOUBLE	LLV	LONG LEG VERTICAL	UNO	UNLESS NOTED OTHERWISE
DEPT	DEPARTMENT	MAX	MAXIMUM	VCT	VINYL COMPOSITION TILE
DET	DETAIL	MB	MARKERBOARD	W	WITH
DF	DRINKING FOUNTAIN	MCCJ	MASONRY CONTROL JOINT	W/	WATER CLOSET
DN	DOWN	MECH	MECHANICAL	WD	WOOD
DR	DOOR	MTL	METAL	W/O	WITHOUT
DWG	DRAWING	MFR	MANUFACTURER	WP	WATERPROOF
DWR	DRAWER	MH	MANHOLE	WT	WEIGHT
EA	EACH	MIN	MINIMUM	WTF	WELDED WIRE FABRIC
EJ	EXPANSION JOINT	MISC	MISCELLANEOUS	WDF	WINDOWS
EL	ELEVATION	MO	MASONRY OPENING		
ELEC	ELECTRICAL	MTD	MOUNTED		
ELEV	ELEVATOR	NO	NUMBER		
ENCL	ENCLOSURE	NOM	NOMINAL		
EQ	EQUAL	NTS	NOT TO SCALE		
		OC	ON CENTER		
		OD	OUTSIDE DIAMETER		
		OFF	OFFICE		

GENERAL NOTES

- BEFORE EXCAVATION OR TRENCHING THE RESPECTIVE PRIME CONTRACTOR IS RESPONSIBLE TO HAVE ALL UNDERGROUND UTILITIES LOCATED BY CALLING PENNSYLVANIA ONE CALL AND THE UTILITY COMPANIES.
- THE CONTRACTORS SHALL VERIFY ALL LINES, LEVELS AND DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL REPORT ALL INCONSISTENCIES TO THE ARCHITECT BEFORE STARTING WORK. RE-CHECK DIMENSIONS BEFORE ORDERING MANUFACTURED AND FABRICATED ITEMS. DIMENSIONS OF AND FROM EXISTING CONDITIONS HAVE BEEN TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS AND FIELD DIMENSIONS.
- ALL CONTRACTORS SHALL SUPPORT ALL EQUIPMENT FROM STRUCTURAL MEMBER. NO EQUIPMENT SHALL BE SUPPORTED FROM ROOF DECK ABOVE UNLESS NOTED OTHERWISE.
- FLOOR PLAN DIMENSIONS ARE TO DRYWALL FINISH, CENTERLINE, OR MASONRY, UNLESS NOTED OTHERWISE.
- ALL PARTITIONS SHALL RUN TO STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
- INTERIOR CONTRACTOR SHALL INSTALL BLOCKING FOR DOOR BUMPERS, GRAB BARS, HAND RAILS, CABINETS AND OTHER SUPPORTING ACCESSORIES AT ALL DRYWALL/PLASTER PARTITIONS.
- ALL LOOSE ANGLES, BEAMS OR CHANNELS REQUIRED THROUGHOUT THE BUILDING FOR OPENINGS, AND SUPPORTS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR.
- FURNISH ALL LOOSE ANGLES, BEAMS, OR CHANNELS REQUIRED THROUGHOUT THE BUILDING FOR OPENINGS, AND SUPPORTS.
- GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHER CABINETS WHERE NOTED ON THE DRAWINGS AS FOLLOWS:
 - NOT USED.
 - NOT USED.
- COORDINATE LOCATIONS OF ALL MECHANICAL, ELECTRICAL AND PLUMBING BULKHEADS AND CHASES WITH THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- THE CONTRACTORS ARE RESPONSIBLE FOR VISITING THE JOB SITE AND FAMILIARIZING THEMSELVES WITH EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE CONTRACTORS SHALL AT ALL TIME MAINTAIN ADEQUATE PROTECTION TO SAFEGUARD THE PUBLIC AND ALL PERSONS ENGAGED IN THE PERFORMANCE OF THE WORK.
- PROVIDE SEALANT AT ALL JOINTS WHERE DIFFERENT MATERIALS ADJUT.
- ALL PRIME CONTRACTORS ARE RESPONSIBLE TO INCLUDE IN THEIR BID WORK THAT PERTAINS TO THEIR CONTRACT WHICH MAY BE DESCRIBED IN ANY OF THE DISCIPLINES REGARDLESS OF WHAT DWG. THAT WORK IS SHOWN ON.
- ALL METAL STUD PARTITIONS AND BULKHEADS TO BE ABUSE-RESISTANT GYPSPUM WALL BOARD FROM 8'-0" AFF. TO FINISH FLOOR AND REGULAR GYPSPUM WALL BOARD ABOVE 8'-0" AFF.
- COORDINATE LOCATION OF ALL EXISTING AND NEW UNDERGROUND LINES WITH MECHANICAL, ELECTRICAL AND PLUMBING SITE DRAWINGS.
- ALL WOOD MATERIALS USED (EXCLUDING INTERIOR TRIM) ARE TO BE RATED NON-COMBUSTIBLE.
- PERFORM MOISTURE AND BOND TESTS ON ALL CONCRETE FLOORS PRIOR TO INSTALLATION OF NEW FLOOR FINISHES. TEST REPORTS SHALL BE DOCUMENTED AND SUBMITTED TO ARCHITECT, PRIOR TO INSTALLATION OF NEW FLOOR FINISHES, TO ASSURE MOISTURE AND BOND REQUIREMENTS MEET MANUFACTURER'S WRITTEN SPECIFICATION.

CODE REQUIREMENTS

- CITY OF PITTSBURGH PA / ALLEGHENY COUNTY
2009 INTERNATIONAL BUILDING CODE AND 2009 IEBC
OCCUPANCY GROUP, CURRENT - A-2
CONSTRUCTION TYPE - TYPE 5B
SPRINKLERED
EXTERIOR AND SHELL RENOVATIONS ONLY -
DRAWINGS TO BE SUBMITTED AT LATER DATE FOR
FUTURE TENANT FIT OUT.

DRAWING LIST

CS-1	COVER SHEET
A-1	DEMOLITION PLANS
A-2	DEMOLITION PLANS
A-3	FLOOR PLANS
A-4	FLOOR PLANS
A-5	ELEVATOR DETAILS / CEILING PLAN
A-6	ELEVATIONS
A-7	WALL SECTIONS
A-8	WALL SECTIONS
S000	GENERAL NOTES ABBREVIATIONS & LEGENDS
S100	FOUNDATION PLAN & FIRST FLOOR FRAMING PLAN
S101	SECOND FLOOR FRAMING PLAN & THIRD FLOOR FRAMING PLAN
S102	ROOF FRAMING PLAN
S200	TYPICAL FOUNDATION DETAILS & SECTIONS
S300	TYPICAL FRAMING DETAILS & SECTIONS



DATE: 9/7/13
DRAWN BY: K.S.C.
REVIEWED BY: C.W.C.
REVISIONS: 4 SEPTEMBER 13
30 DECEMBER 2013

PROJECT NO. 2013-230

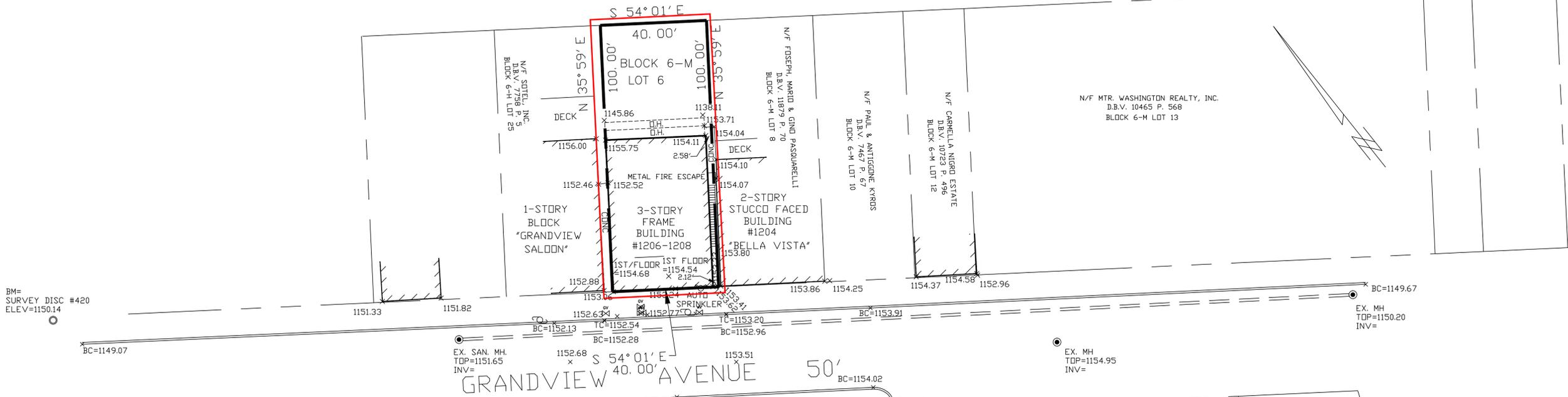
SHEET DESCRIPTION:

COVER SHEET

SHEET NO. OF

CS-1

P. C. C. & ST. LOUIS RAILROAD COMPANY



BM= SURVEY DISC #420
ELEV=1150.14

GRANDVIEW AVENUE 50'

PLAN OF PROPERTY

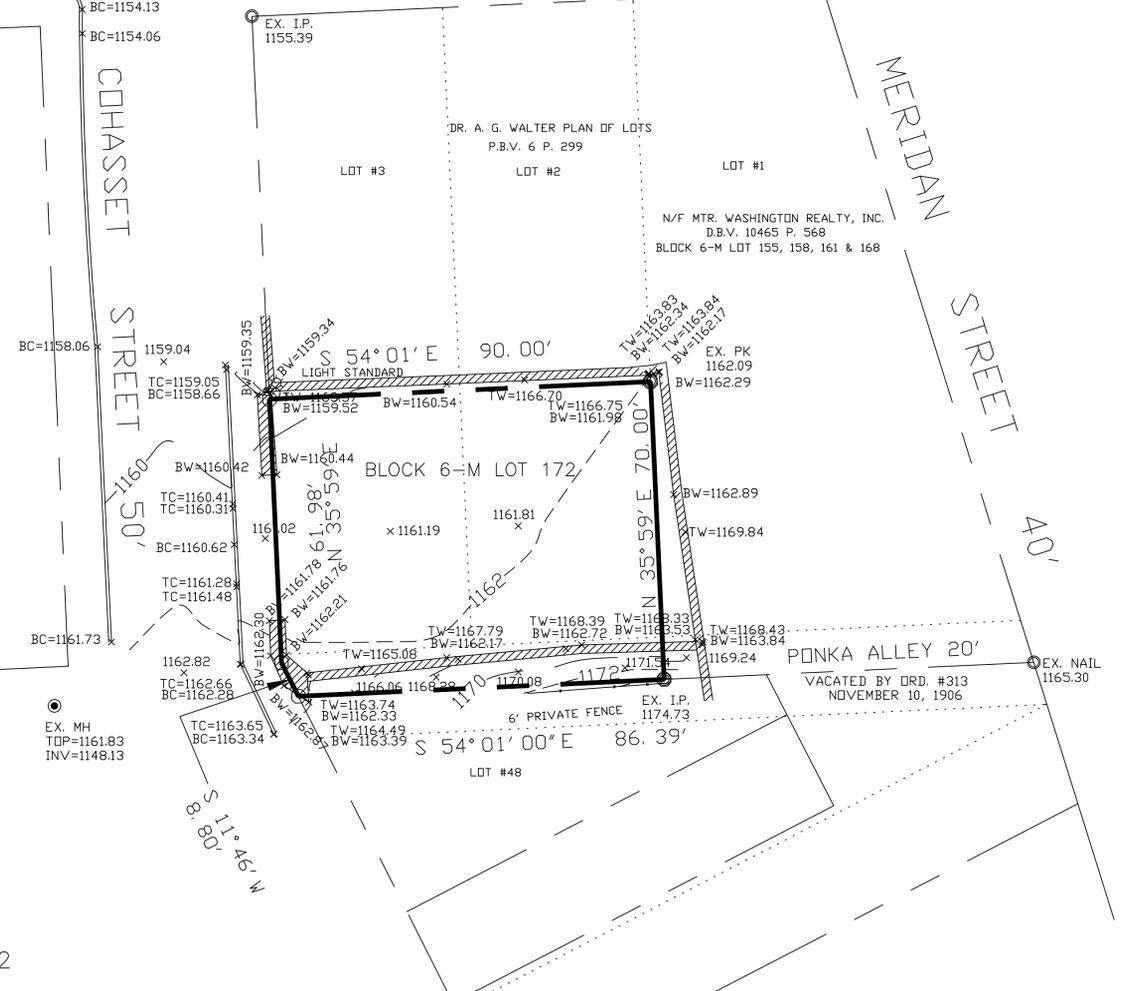
SITUATE IN
19TH WARD - CITY OF PITTSBURGH
ALLEGHENY COUNTY, PA

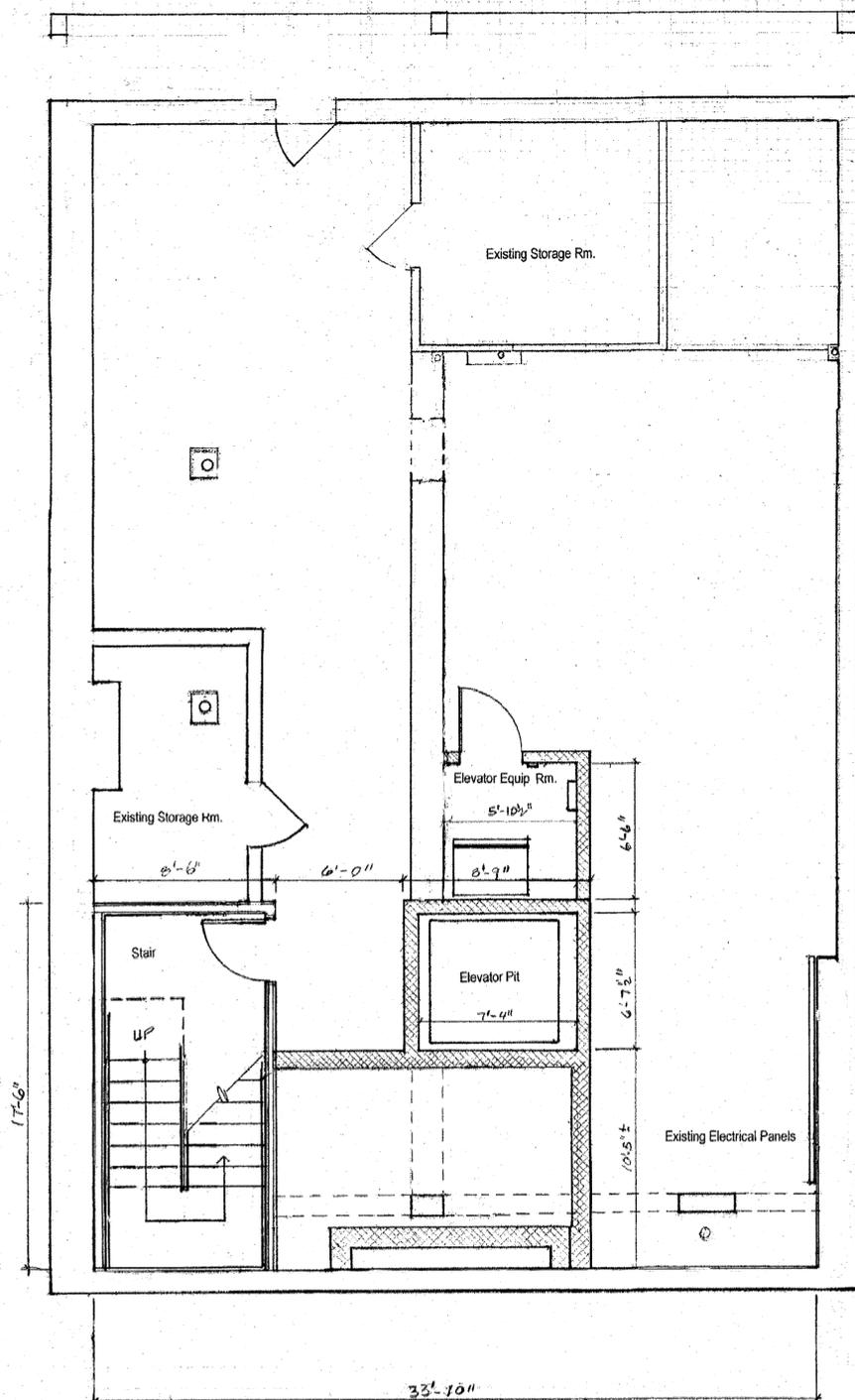
MADE FOR
CLAIRMONT DEVELOPMENT LLC

SCALE: 1" = 20' DATE: DECEMBER 1, 2005

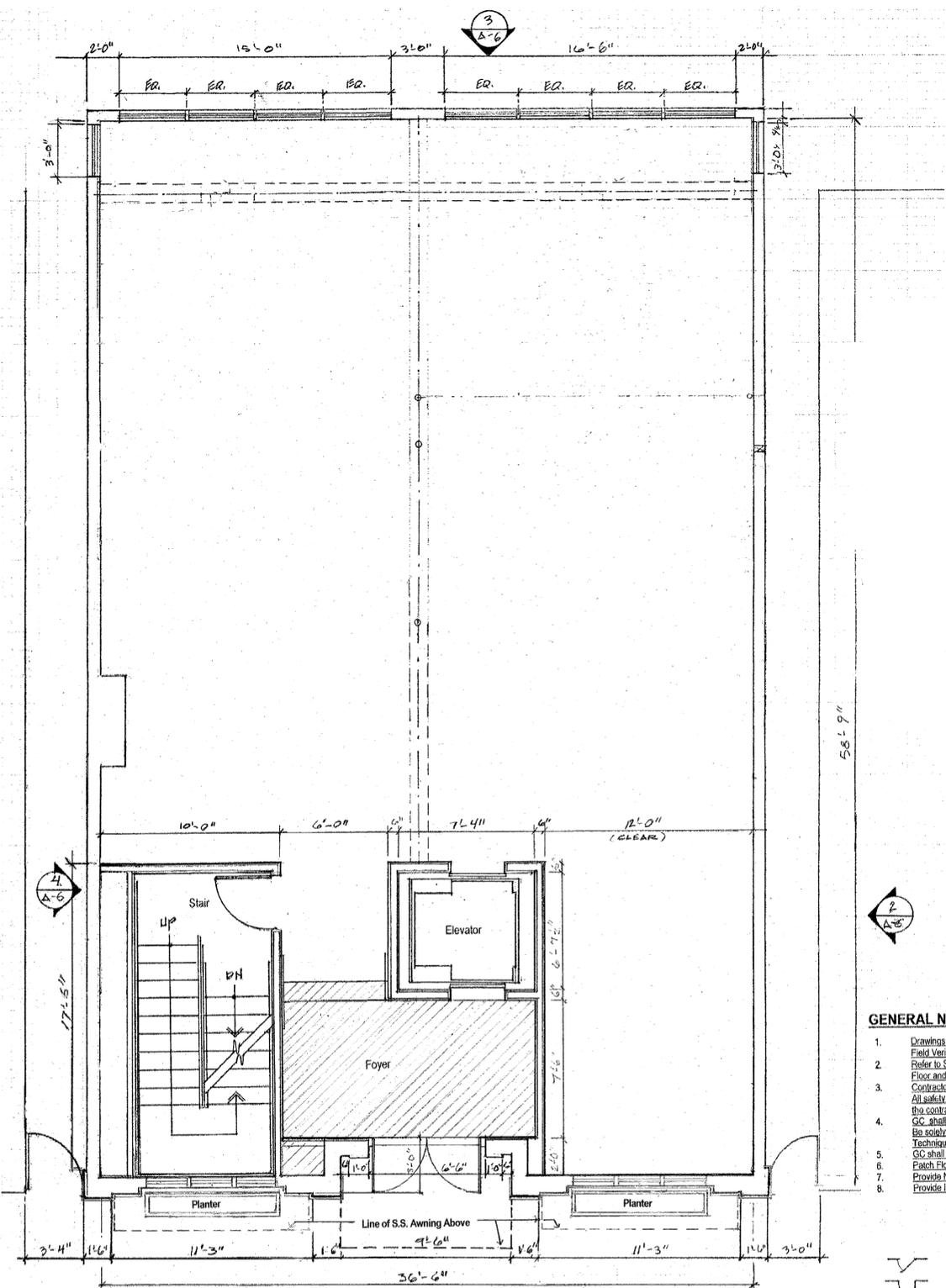
PREPARED BY
J.R. GALES & ASSOCIATES, INC.
2704 BROWNSVILLE ROAD
PITTSBURGH, PA 15227
PHONE (412) 885-8885 FAX (412) 885-1320 05-87025

SB 707 P 48-49 BLOCK 6-M LOTS 6 & 172





1
A-3
Lower Level Floor Plan
1/4" = 1' - 0"



2
A-3
First Floor Plan
1/4" = 1' - 0"

- GENERAL NOTES:**
1. Drawings are diagrammatic. Contractor shall verify actual conditions. Field Verify All Dimensions. Notify Designer of all discrepancies.
 2. Refer to Structural Drawings for all information on footers, foundations, floor and roof framing, beam and lintel sizes.
 3. Contractor shall be responsible for installing, maintaining, and supervising all safety precautions and programs in connection with performance of the contract.
 4. GC shall supervise and direct the work using skill and attention. GC shall be solely responsible for and have control over construction means, methods, techniques, sequences, and procedures of the work under the contract.
 5. GC shall coordinate all work with other trades.
 6. Patch Floor where partitions have been removed. Match Existing Materials.
 7. Provide New 3/4" Plywood Sub-Floor for First, Second and Third Floors.
 8. Provide insulation at New Roof, and New Exterior Facade.



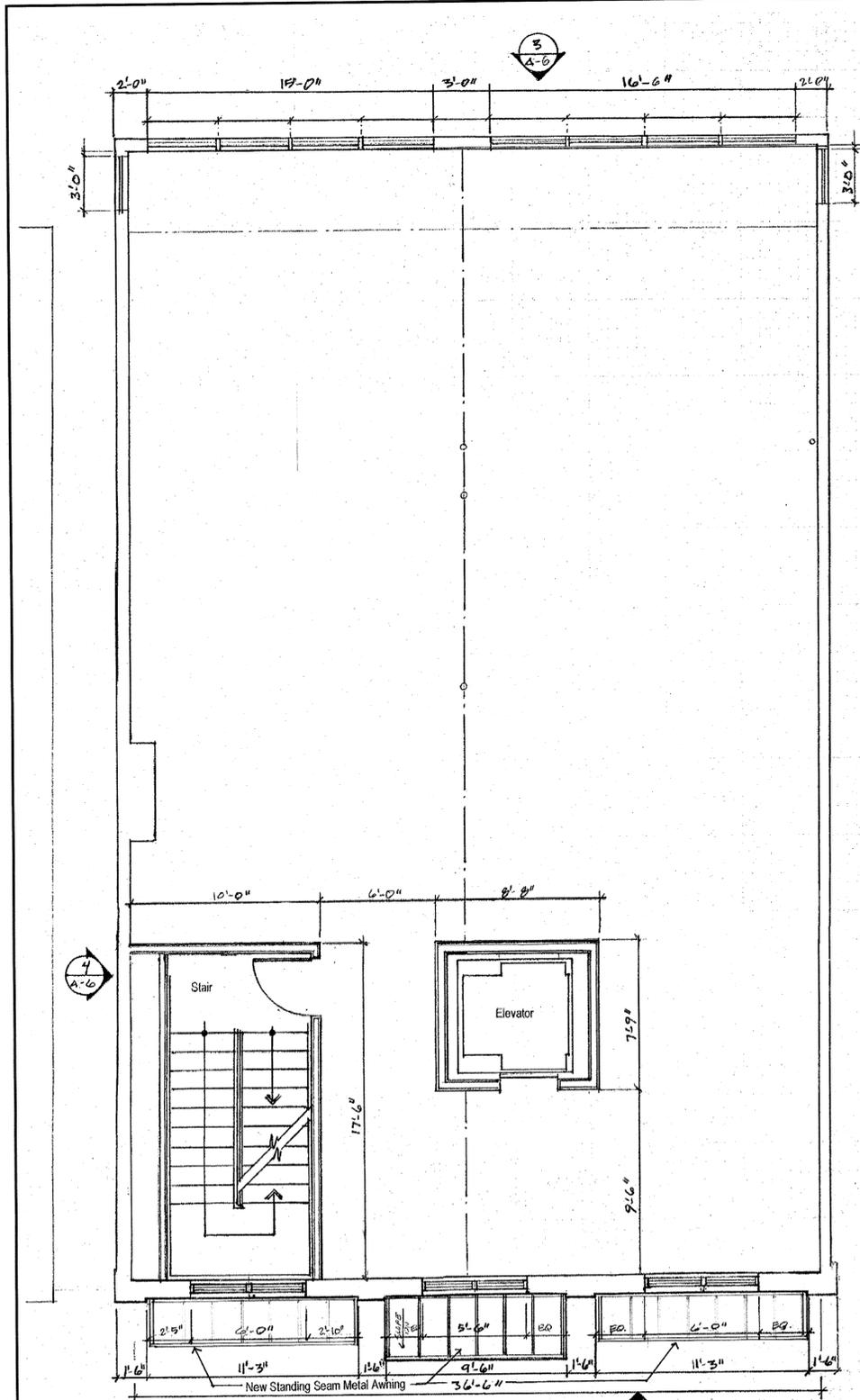
EXTERIOR BUILDING
RENOVATIONS TO:
1208 GRANDVIEW AVENUE
PITTSBURGH, PA 15211

AXIS ARCHITECTURE. P.C.
ARCHITECTURE • ENGINEERING • INTERIOR DESIGN • PLANNING
19020 ARDARA ROAD SUITE #114 NORTH HUNTINGDON, PA 15642
PHONE: 724-234-1633 FAX: 724-234-2216 AXISARCHITECTURE.COM/CASTNET

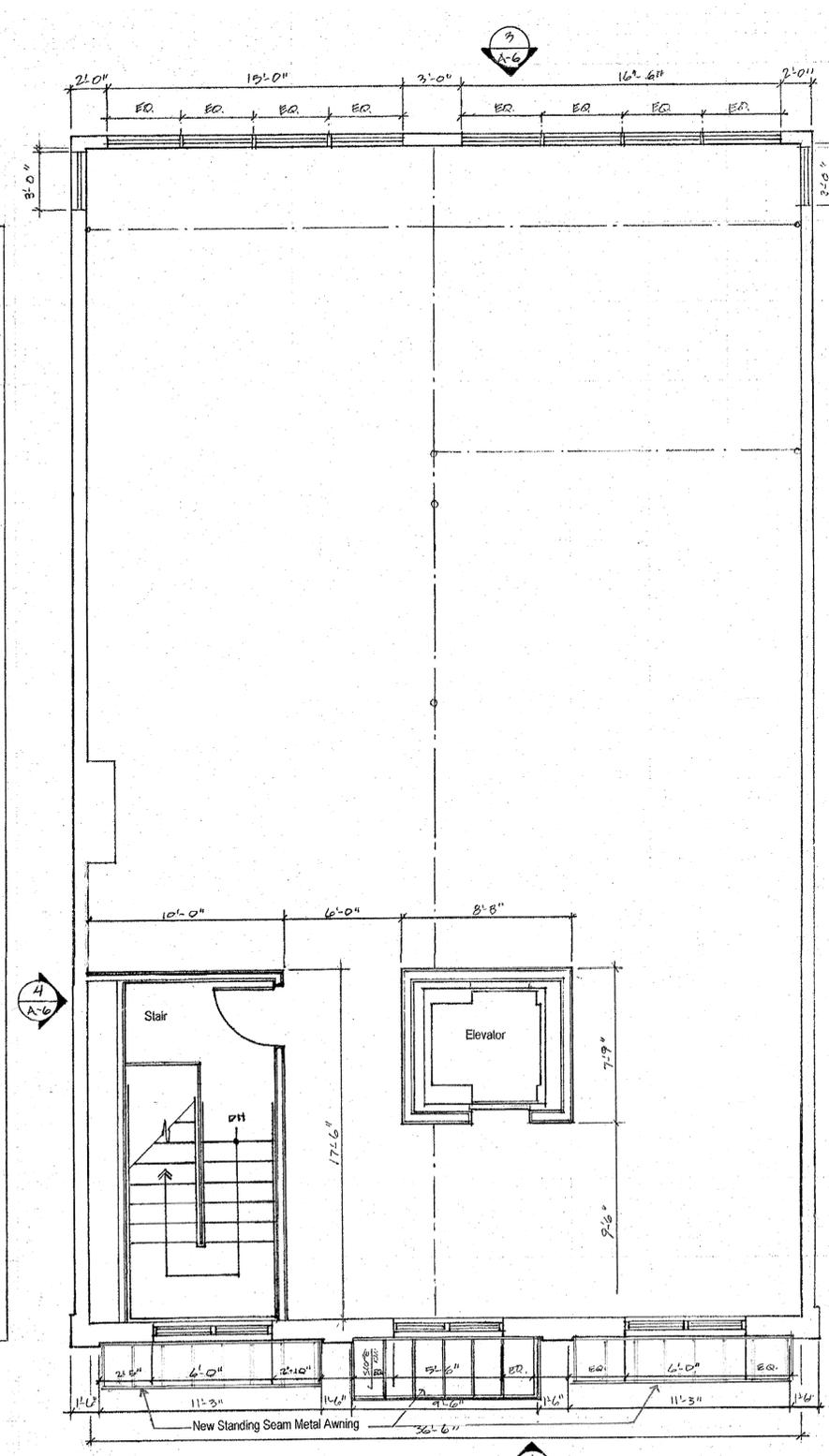
DATE: 9/7/13
DRAWN BY: K.S.C.
REVIEWED BY: C.W.C.
REVISIONS:

PROJECT NO. 2013.230
SHEET DESCRIPTION:
FLOOR PLANS

SHEET NO. OF
A-3



1
A1.2
Second Floor Plan
1/4" = 1' - 0"



2
A1.2
Third Floor Plan
1/4" = 1' - 0"

- GENERAL NOTES:**
1. Drawings are diagrammatic. Contractor shall verify actual conditions.
 2. Field Verify All Dimensions. Notify Designer of all discrepancies.
 3. Refer to Structural Drawings for all information on footers, foundations, Floor and roof framing, beam and lintel sizes.
 4. Contractor shall be responsible for installing, maintaining, and supervising All safety precautions and programs in connection with performance of the contract.
 5. GC shall supervise and direct the work using skill and attention. GC shall Be solely responsible for and have control over construction means, methods, Techniques, sequences, and procedures of the work under the contract.
 6. GC shall coordinate all work with other Trades.
 7. Patch Floor where partitions have been removed. Match Existing Materials.
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 9. Provide Insulation at New Roof, and New Exterior Facade.



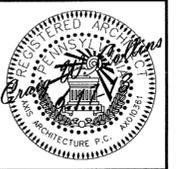
EXTERIOR BUILDING
RENOVATIONS TO:
1208 GRANDVIEW AVENUE
PITTSBURGH, PA 15211

AXIS ARCHITECTURE. P.C.
ARCHITECTS • ENGINEERS • INTERIOR DESIGN • PLANNING
1114 NORTH HUNTINGDON, PA 15142
PHONE: 724-234-4625 FAX: 724-234-2216 AXISARCHITECTURE@COMCAST.NET

DATE: 9/7/13
DRAWN BY: K.S.C.
REVIEWED BY: C.W.C.
REVISIONS:

PROJECT NO. 2013-230
SHEET DESCRIPTION:
FLOOR PLANS

SHEET NO. OF
A-4



EXTERIOR BUILDING RENOVATIONS TO:
1208 GRANDVIEW AVENUE
PITTSBURGH, PA 15211

AXIS ARCHITECTURE, P.C.
ARCHITECTURE • ENGINEERING • INTERIOR DESIGN • PLANNING
15020 ARDARA ROAD SUITE #114 NORTH HUNTINGTON, PA 15642
PHONE: 724-234-4633 FAX: 724-234-2216 AXISARCHITECTURE@COMCAST.NET

DATE: 9/13
DRAWN BY: K.S.C.
REVIEWED BY: C.W.C.
REVISIONS:

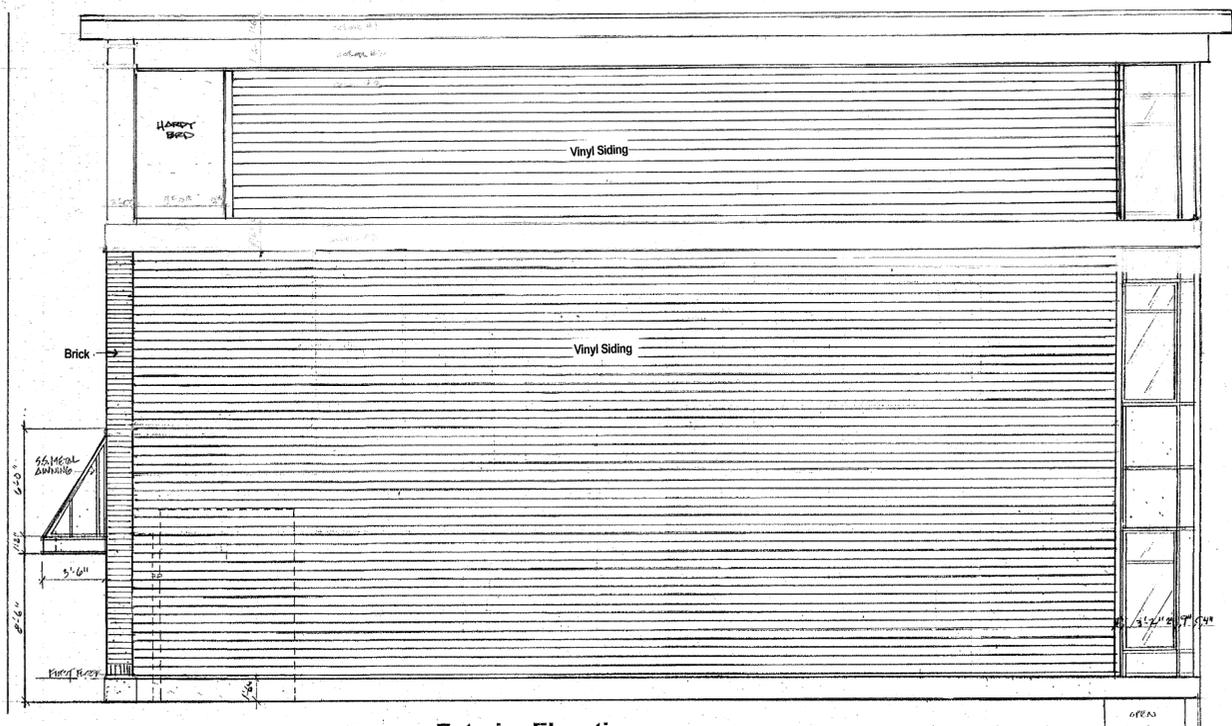
PROJECT NO. 2013-230

SHEET DESCRIPTION:
ELEVATIONS

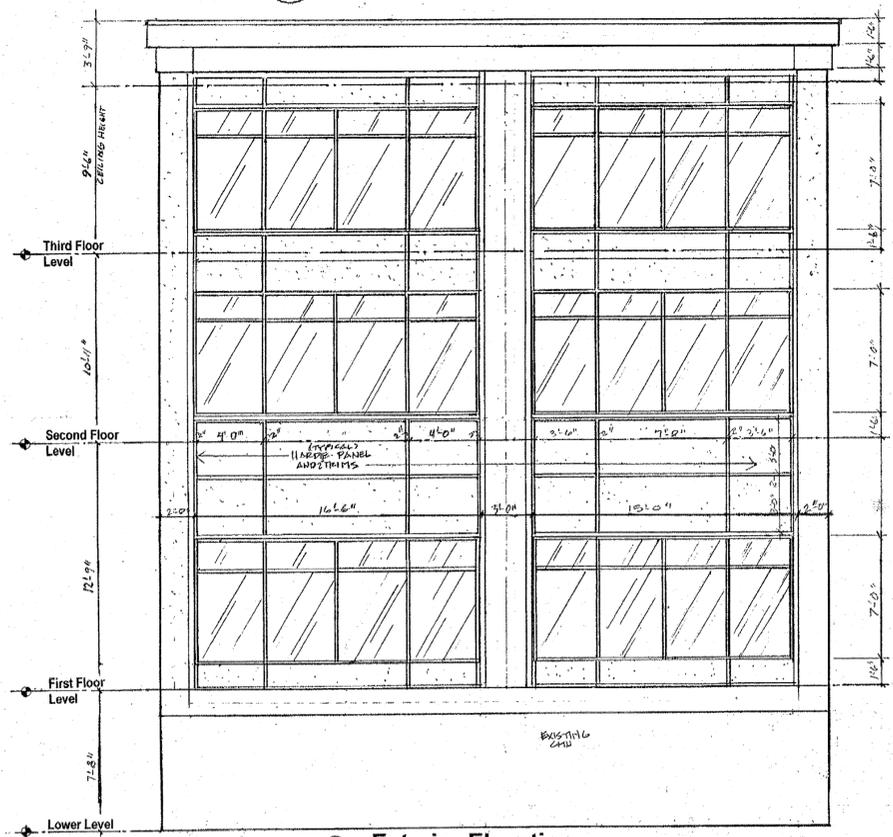
SHEET NO. OF
A-6



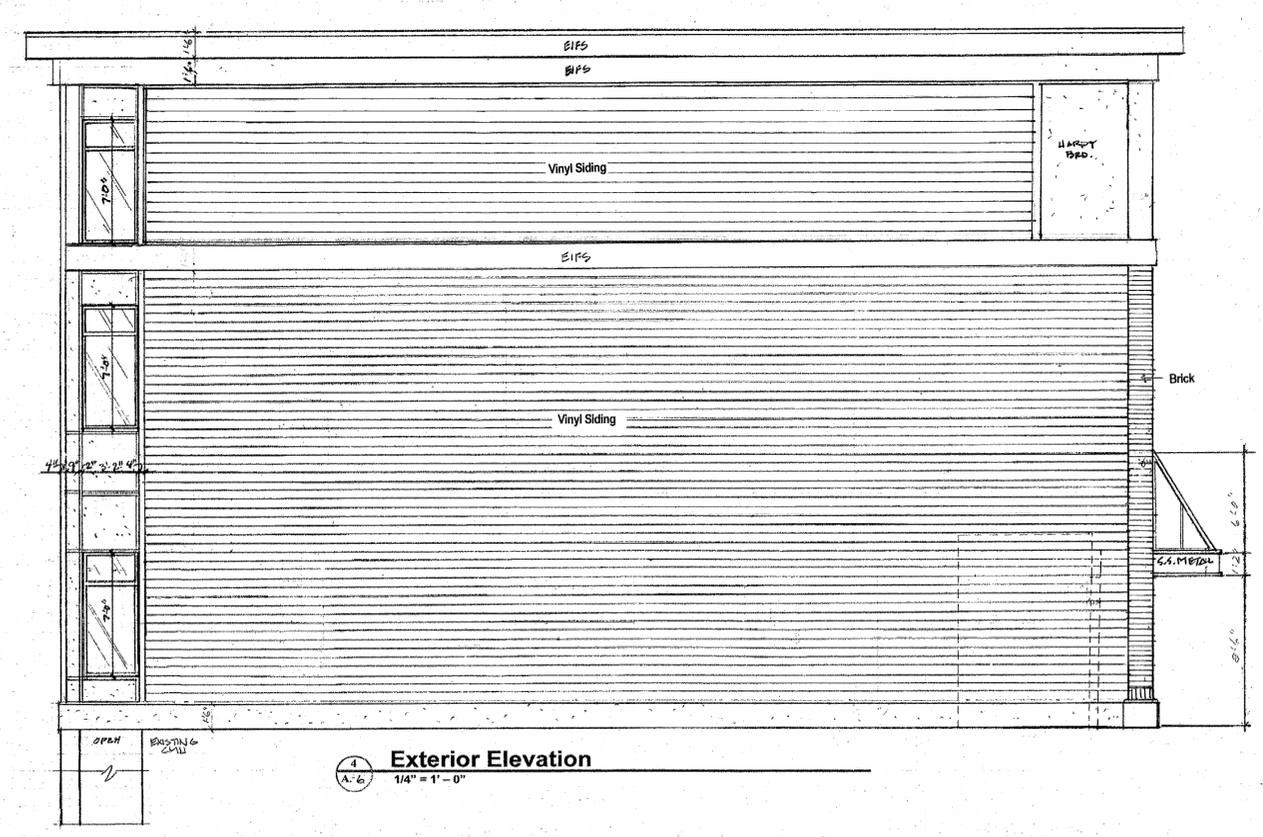
1 Exterior Elevation
1/4" = 1' - 0"



2 Exterior Elevation
1/4" = 1' - 0"



3 Exterior Elevation
1/4" = 1' - 0"



4 Exterior Elevation
1/4" = 1' - 0"



← Existing Building Line

Address is approximate



STREETSCAPE BEFORE



STREETSCAPE AFTER



8th STREET PARKLET



CDAP SUBMISSION

Cultural Trust | 8th Street Park

Origin4Design
Sci-Tek
2012.12.10





8th STREET PARKLET

LOCATION PLAN

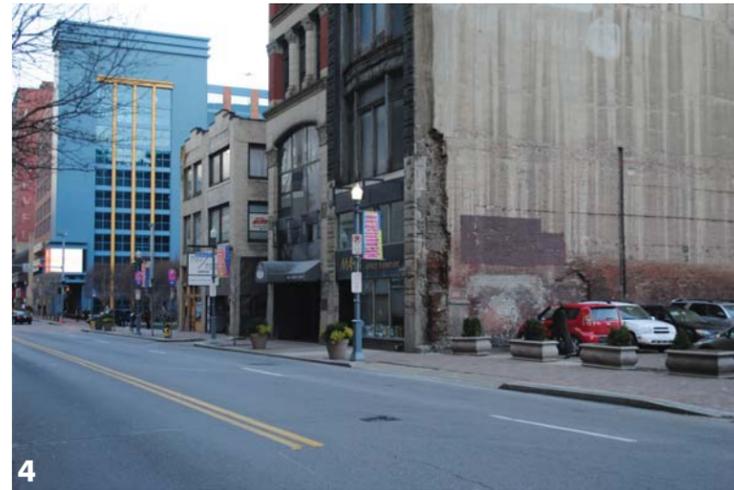
Cultural Trust | 8th Street Park

Origin4Design

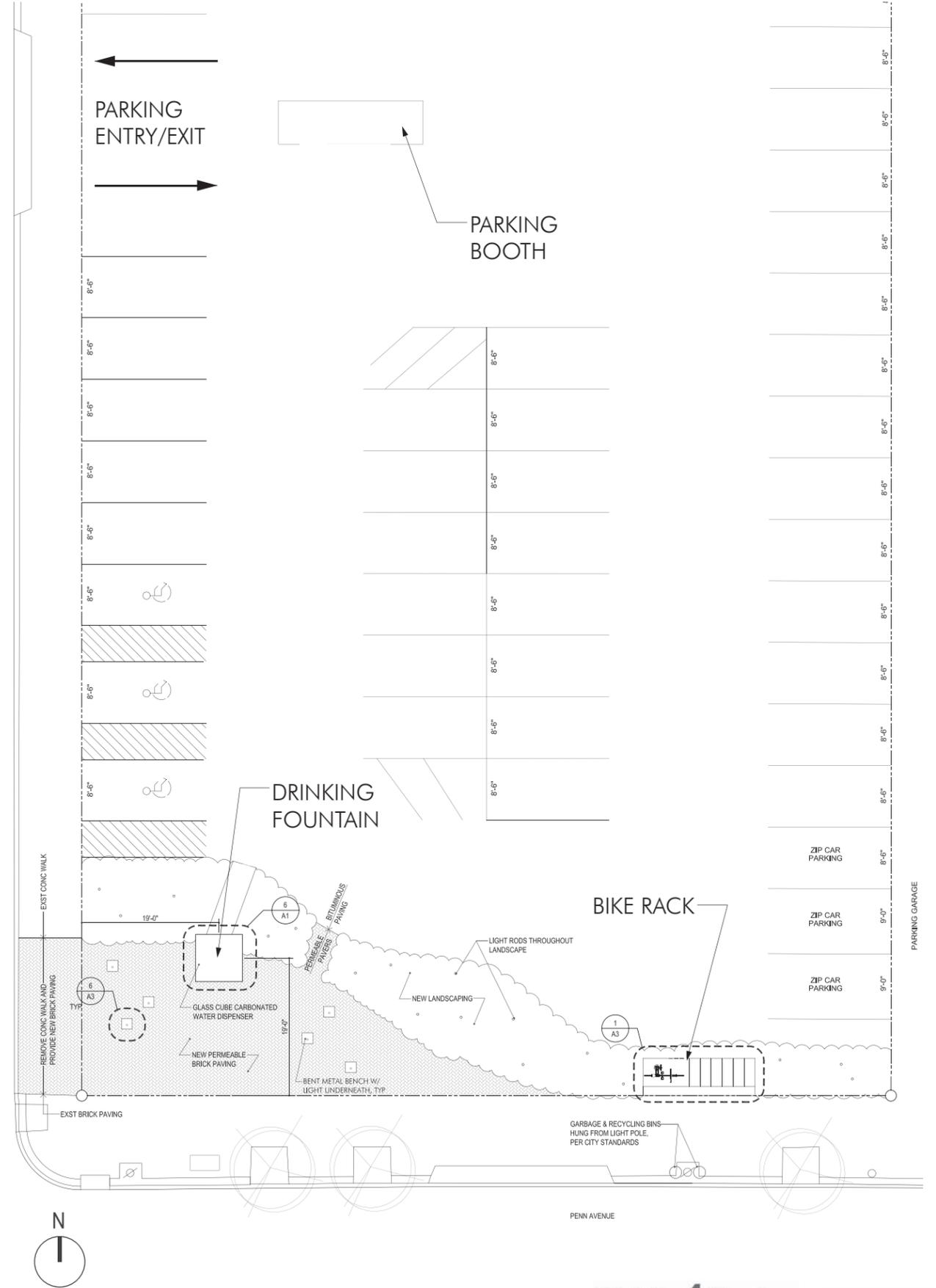
Sci-Tek

2012.12.10

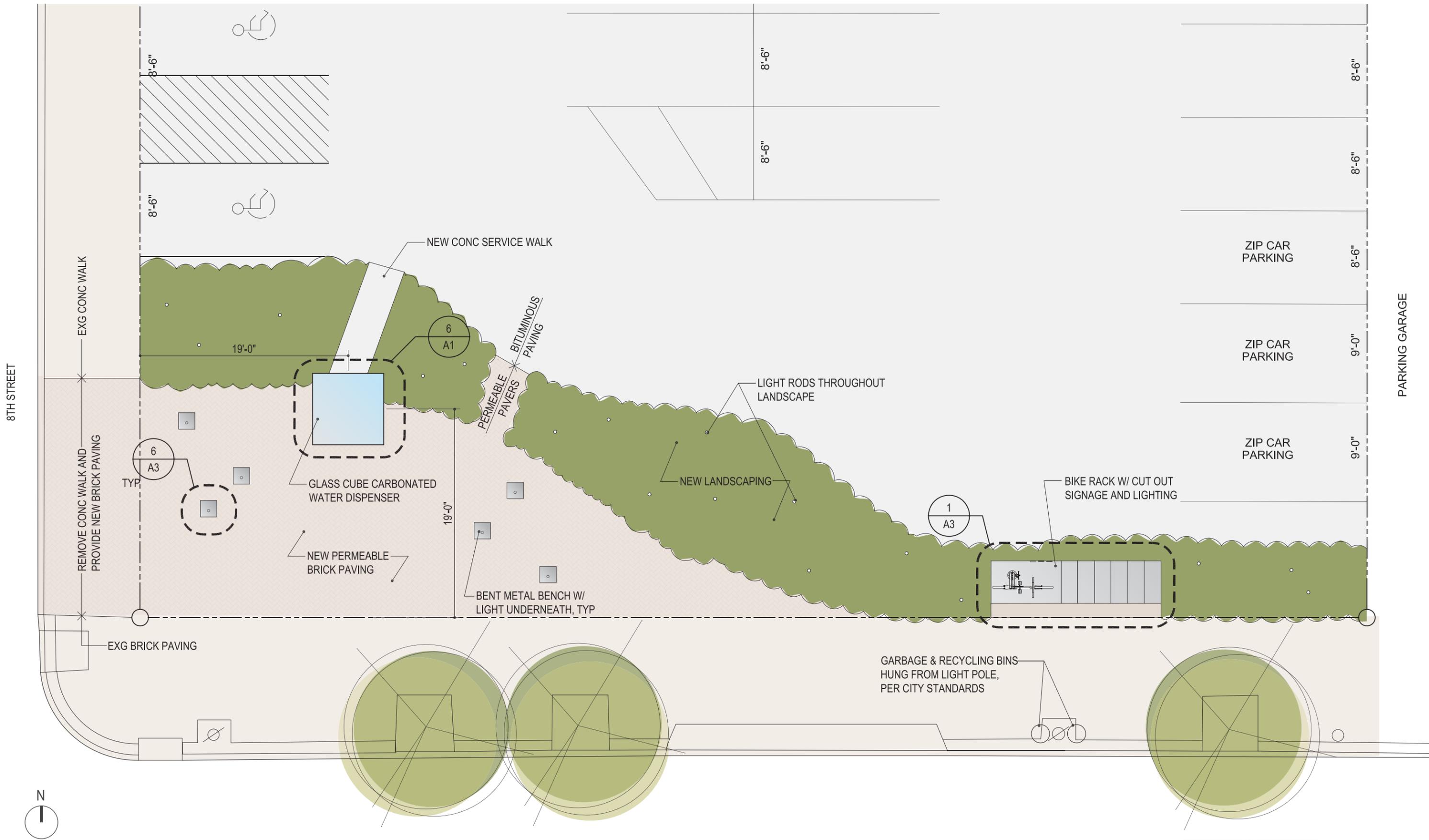




- 1. View east - Parking garage
- 2. View southeast across Penn Ave
- 3. View west
- 4. View northwest



SITE PLAN | CONTEXT
 Cultural Trust | 8th Street Park



SITE PLAN

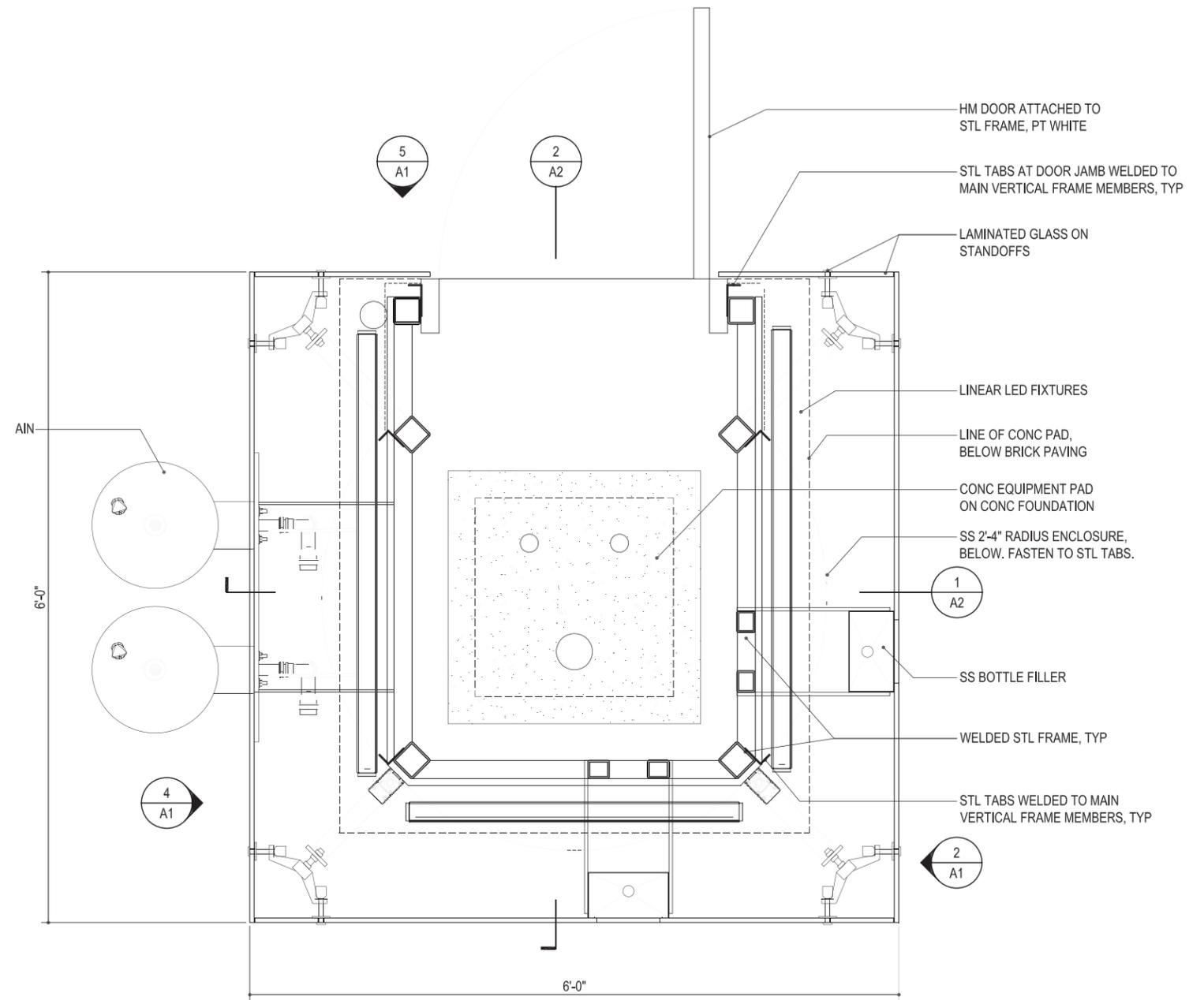
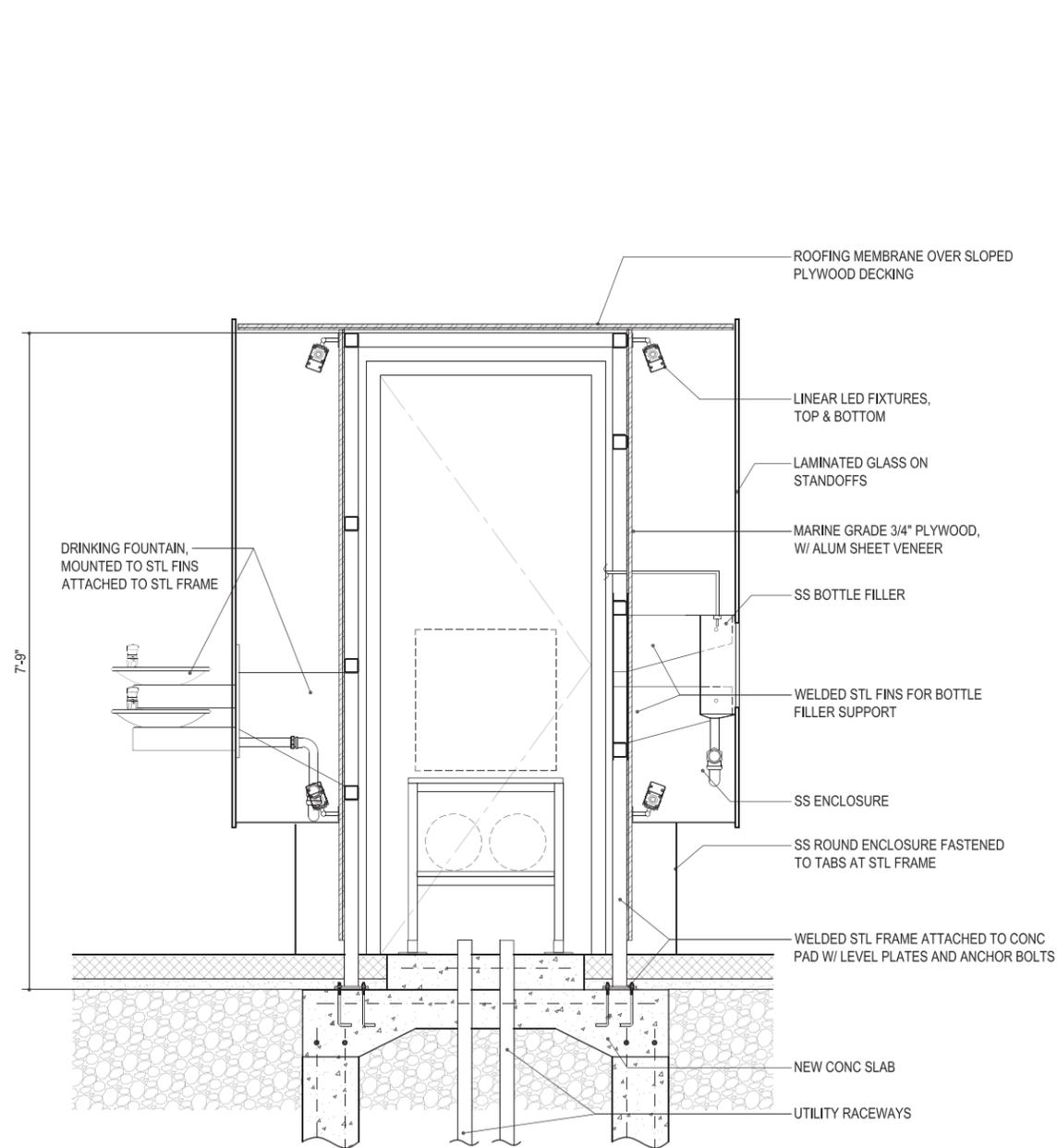
Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





CUBE DETAILS

Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





DAY RENDERING

Cultural Trust | 8th Street Park

Origin4Design
SciTek
2012.12.10





NIGHT RENDERING

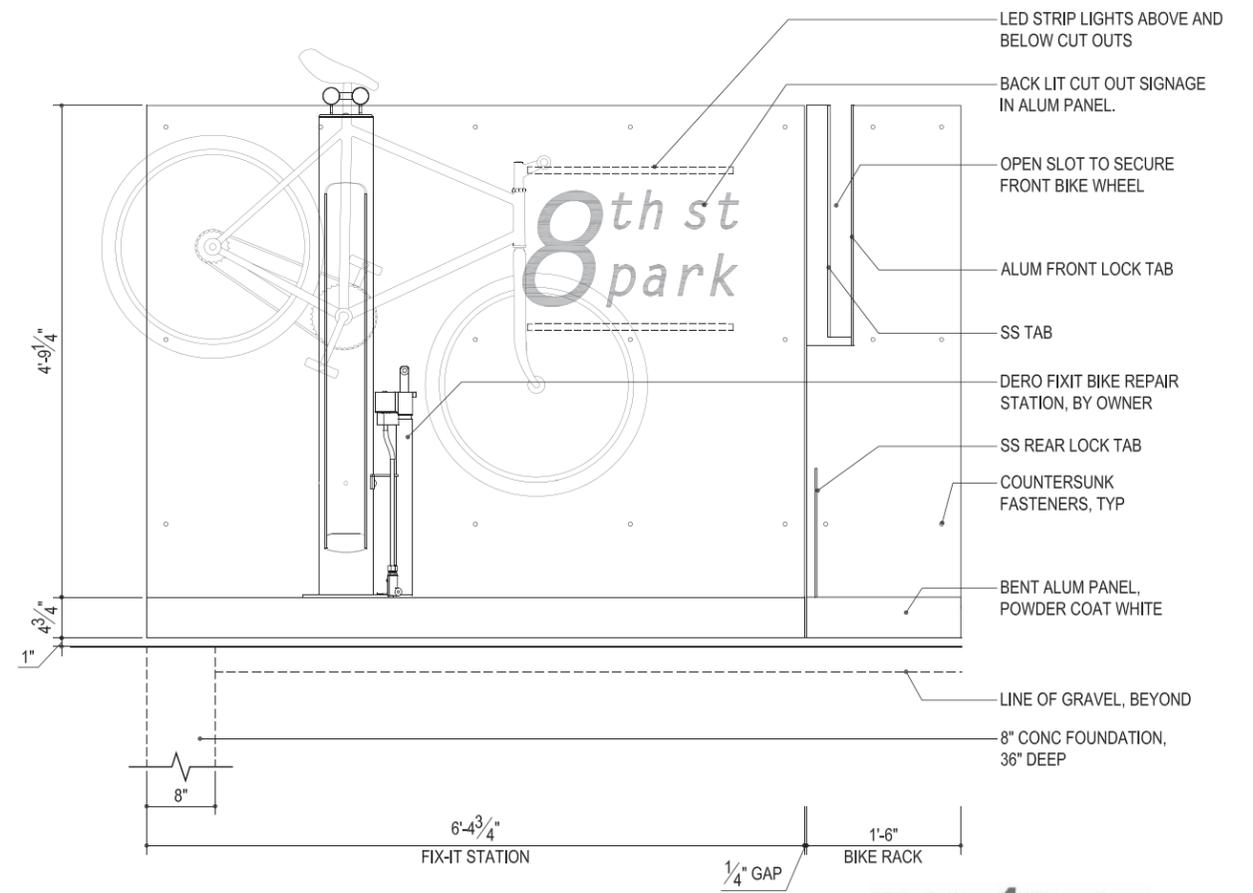
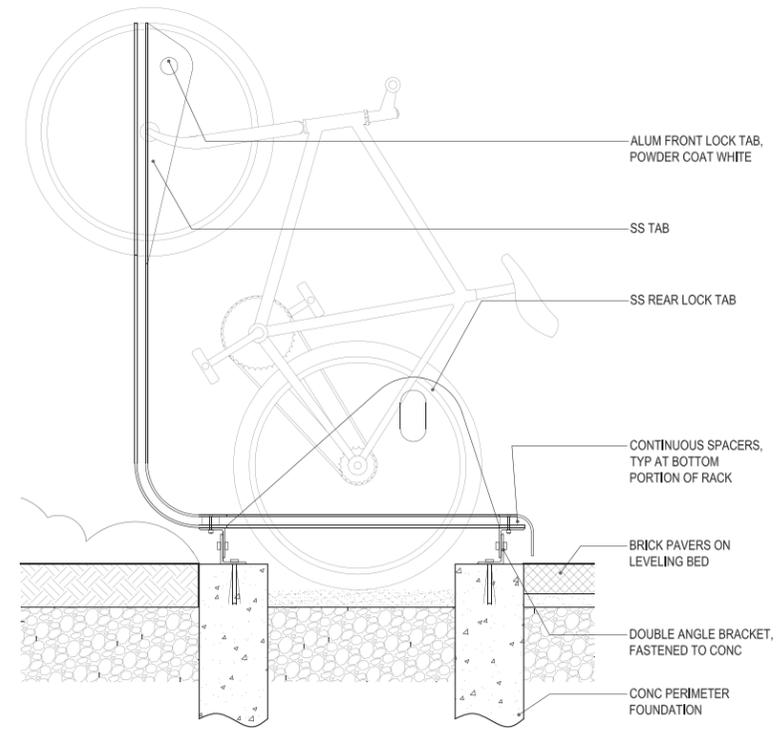
Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10

GBBN
architects



BENT METAL BIKE RACK

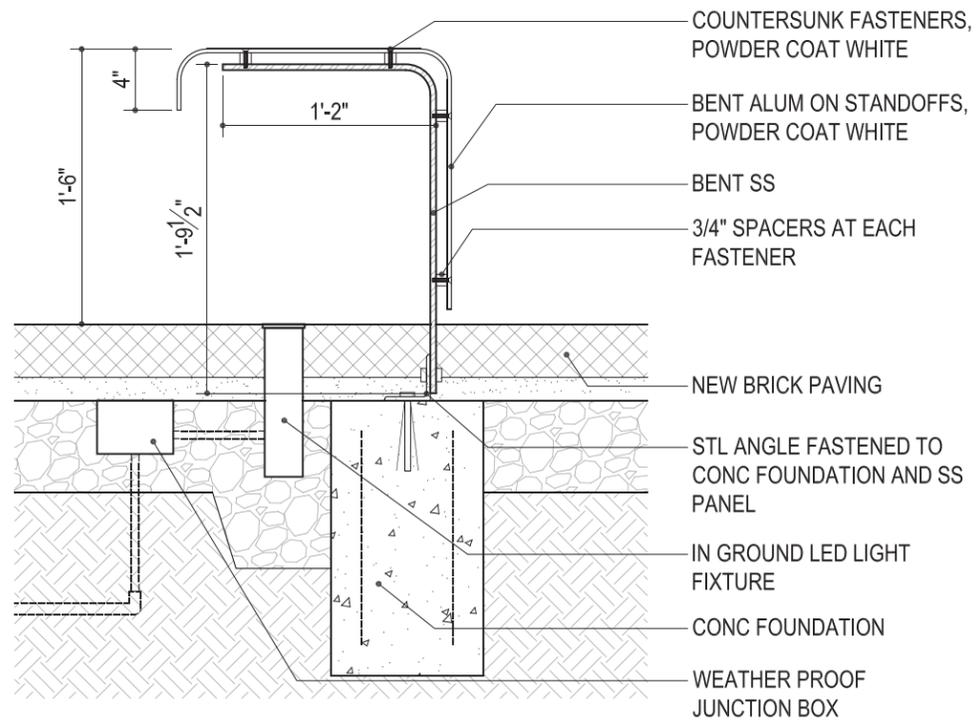
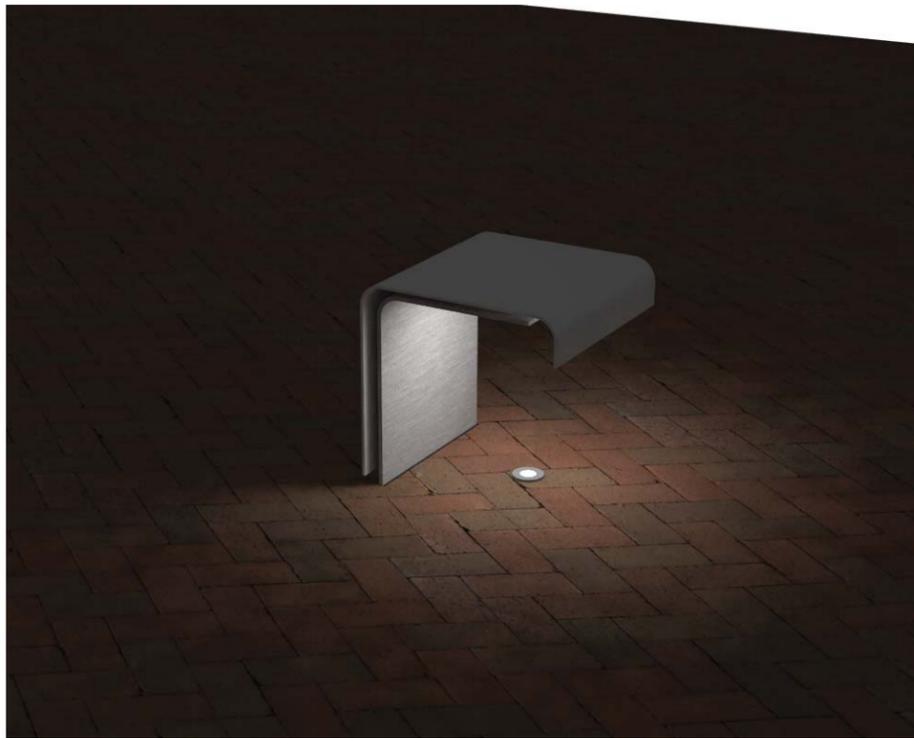
Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





BENT METAL BENCH

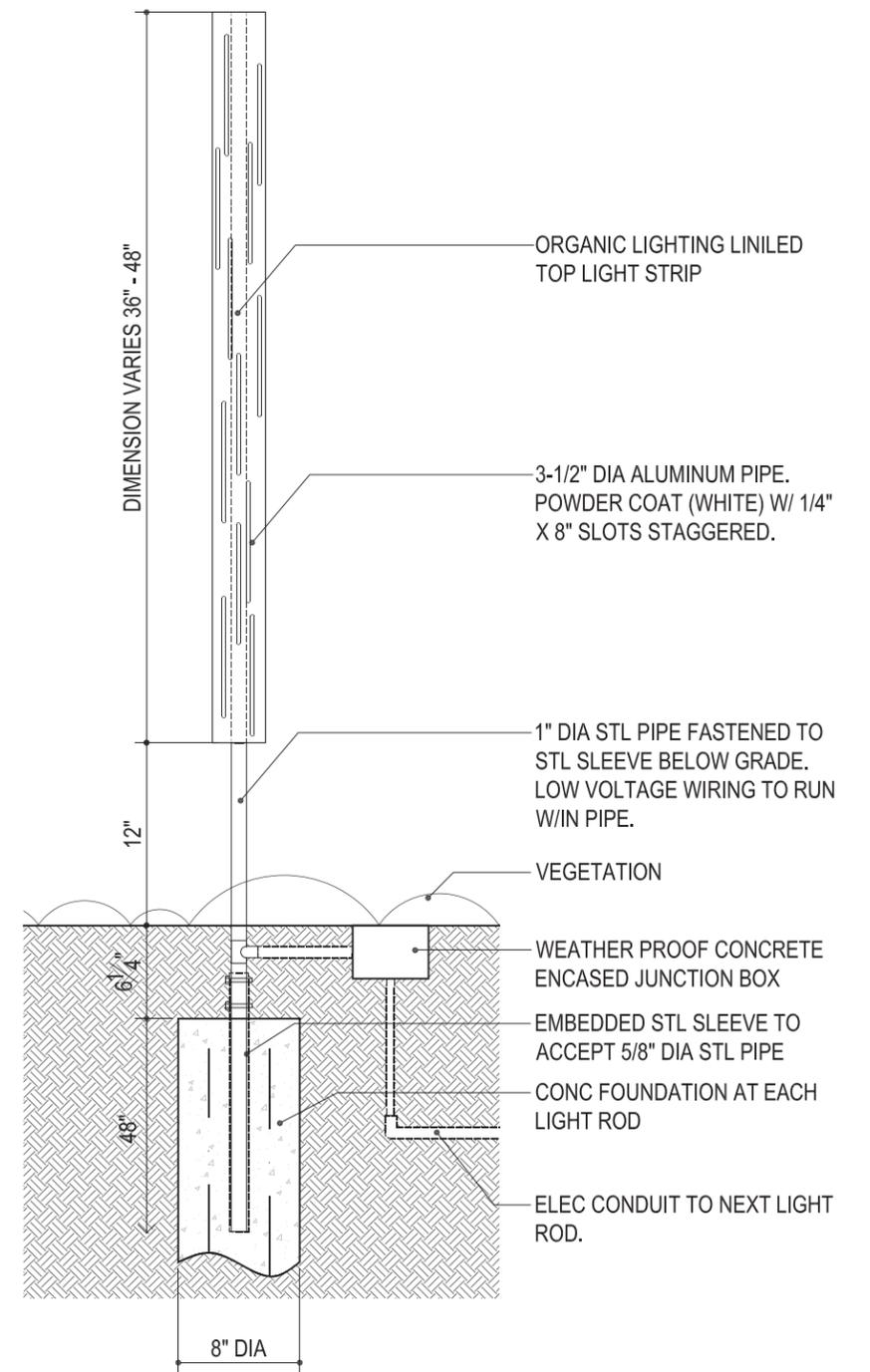
Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





LANDSCAPE LIGHT FIXTURE

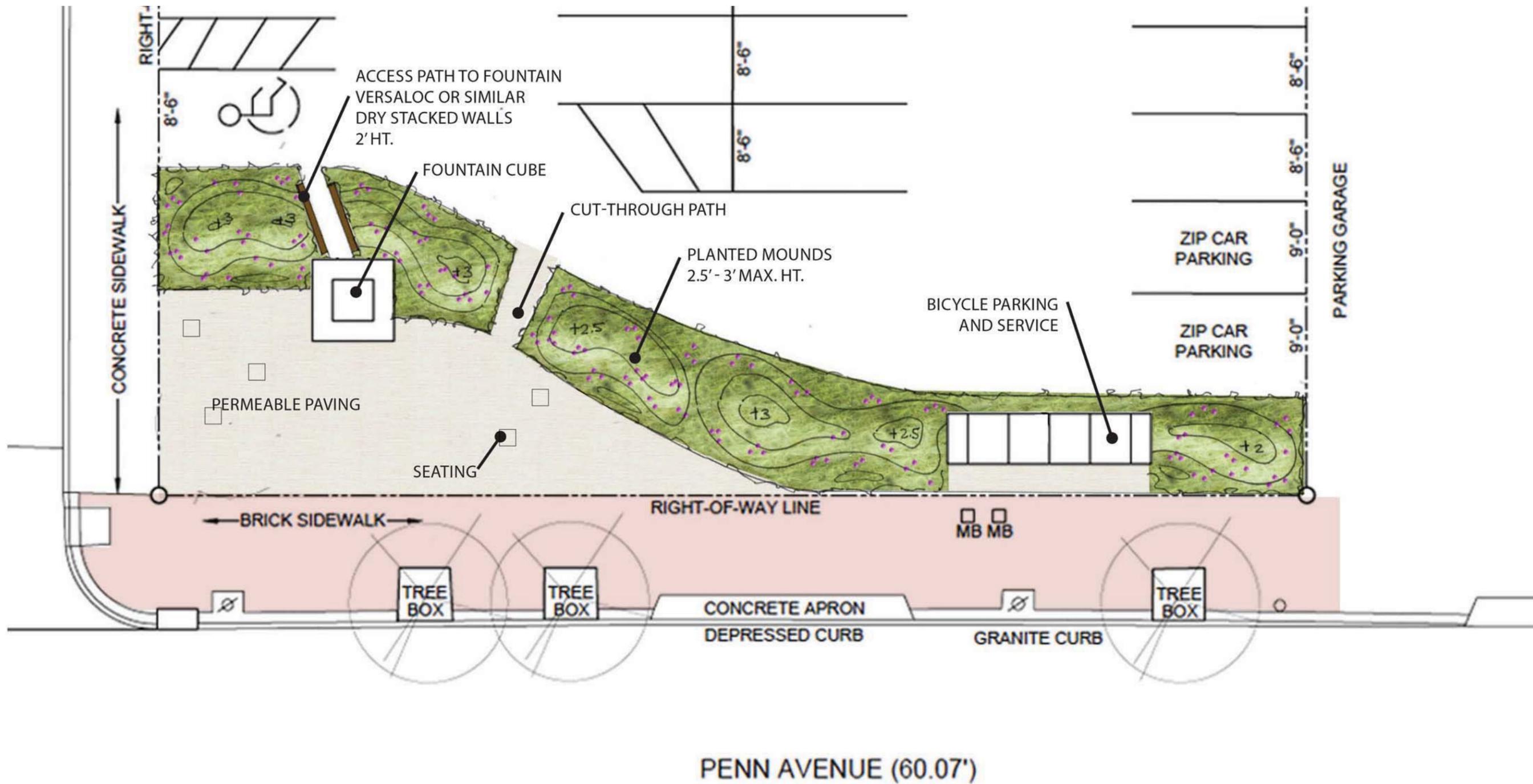
Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





LANDSCAPE PLAN

Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





PLANTING SCHEME
BURSTS OF SEASONAL ACCENT COLOR IN CLUMPING GRASSES



Little Bunny Fountain Grass



White Muscari



Ambassador Allium



Gladiator Allium



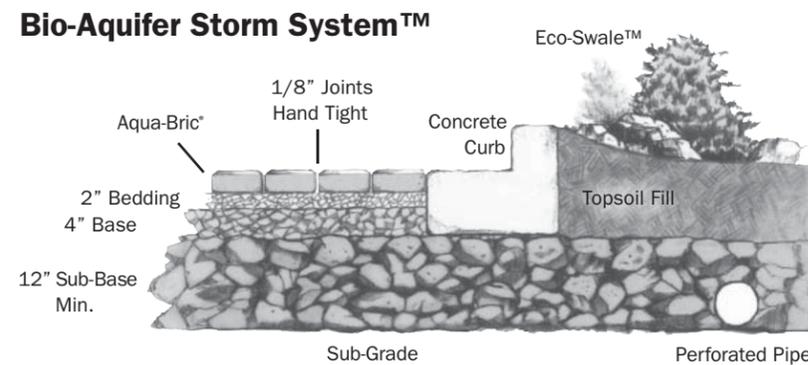
Silver Spring Allium



Ruby Star Coneflower



Milkshake Coneflower



PLANTING PLAN

Cultural Trust | 8th Street Park



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Cultural Trust of Pittsburgh		Phone Number: () 412-471-6070	
Address: 801 Liberty Ave City: Pittsburgh		State: PA	Zip Code: 15222
2. Applicant/Company Name: GBBN architects		Phone Number: () 412-345-5005	
Address: 5411 Penn Ave City: Pittsburgh		State: PA	Zip Code: 15206
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Cultural Trust Park			
4. Development Location: Pittsburgh, PA			
5. Development Address: Intersection of 8th & Penn Ave			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)		Parking Spaces and Green Space	
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction: Start Date: 3 /01 /2014		Occupancy Date: 5 /01 /2014	Project Cost: \$ 250,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 88. Parks and Recreation (Limited)

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: The Cultural Trust Park will utilize the current green space area and a portion of the adjacent parking lot to provide an area to extend sidewalk paving, add landscaping between sidewalk and parking lot, carbonated water drinking fountain, benches and bike rack.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	<u>778</u>	sq ft
Existing to be Retained:	<u>0</u>	sq ft
Retained Area to be Renovated:	<u>0</u>	sq ft
To be Constructed:	<u>1,960</u>	sq ft
Building Footprint:	<u>36</u>	sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	NA	NA	NA	7'-6"
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

Bike rack				5'-4"

16. Number of Dwelling Units:
 Existing to Remain: NA Proposed: NA

17. Lot Area: 1,960 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

1	New Water Service Connection(s)		Termination of Existing Water Service Tap(s)
1	New Sewer Service Connection(s)		Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
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(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

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611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Point Park University		Phone Number: (412) 391-4100	
Address: 201 Wood St.	City: Pittsburgh	State: PA	Zip Code: 15222
2. Applicant/Company Name: Mosities Const. Co.		Phone Number: (412)923-2255	
Address: 4839 Cambells Run Rd., Pittsburgh		State: PA	Zip Code: 15205
Applicant/Contractor ID:(assigned by the City) BL-000644			
3. Development Name: Academic Thayer Hall			
4. Development Location: between 3rd Ave & Boulevard of the Allies @ Wood St.			
5. Development Address: 205 Wood St., Pittsburgh, PA 15222			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction:	Start Date: Jan. 2014	Occupancy Date: Aug. 2014	Project Cost: \$ 10,000,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **Dormitory, Educational Classroom space (general), Office (general)**

10. Select the Type of Work:

<input type="checkbox"/> New Construction, New	<input type="checkbox"/> Renovation, Interior
<input type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use

11. Describe the Development:

New rooftop generator & generator enclosure to be constructed atop existing 2 story building for Life Safety upgrades to Academic Thayer Hall.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	0	sq ft
Existing to be Retained:	181,720	sq ft
Retained Area to be Renovated:	30,000	sq ft
To be Constructed:	1,800	sq ft
Building Footprint:	21,050	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	10	123'-10"		
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				
Library Stacks Building	3	29'-4"	2	20'-4"

16. Number of Dwelling Units:
 Existing to Remain: 60 Proposed: 28

17. Lot Area: 24,000 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<input style="width: 50px; text-align: center;" type="text" value="0"/> New Water Service Connection(s)	<input style="width: 50px; text-align: center;" type="text" value="0"/> Termination of Existing Water Service Tap(s)
<input style="width: 50px; text-align: center;" type="text" value="0"/> New Sewer Service Connection(s)	<input style="width: 50px; text-align: center;" type="text" value="0"/> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
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Pittsburgh Water and Sewer Authority (PWSA)

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1200 Penn Avenue
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Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

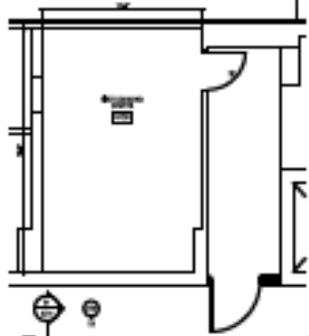
Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

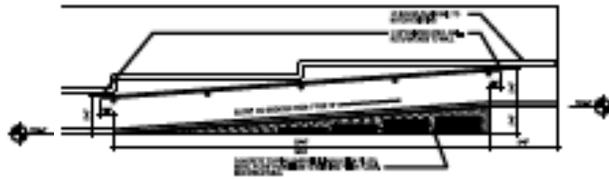
Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

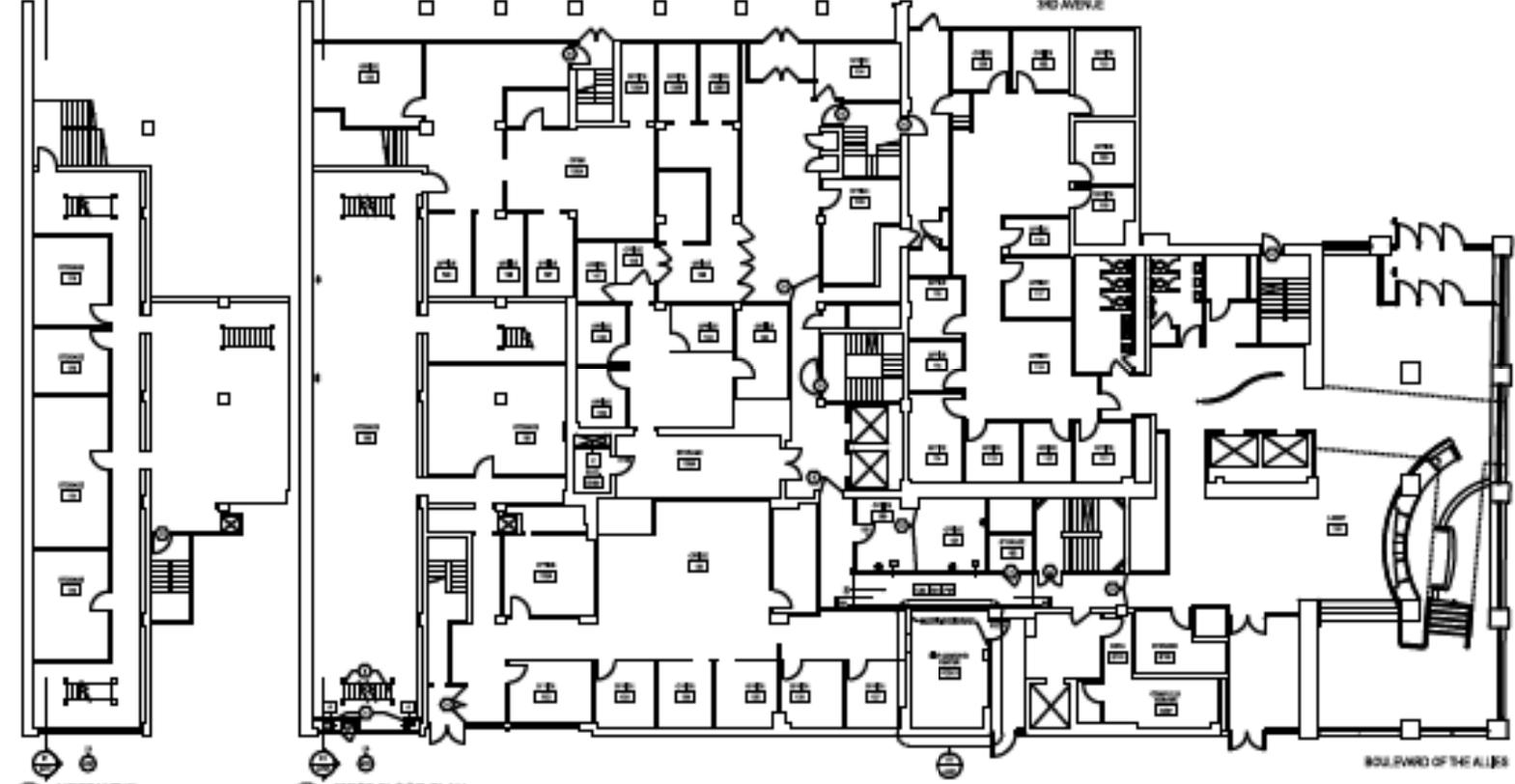
Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



B1 ENLARGED FIRE COMMAND CENTER
1/8" = 1'-0"



B6 RAMP SECTION
1/8" = 1'-0"



B2 FIRST FLOOR PLAN
1/8" = 1'-0"

B3 MEZZANINE
1/8" = 1'-0"

GENERAL NOTES

1. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
2. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
3. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT AND THE LOCAL BUILDING DEPARTMENT.
4. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.
7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.
8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.
9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.
10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.

FINISH NOTES

1. ALL FINISHES TO BE AS SHOWN ON FINISH SCHEDULE.
2. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
3. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.
4. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.
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10. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.

400 South Street
Pittsburgh, PA 15222
Tel: 412.328.1234
Fax: 412.328.1234
www.pointpark.edu



Point Park University

Thayer + Academic Hall

201 Wood Street
Pittsburgh, PA 15222

FIRST FLOOR PLAN

201102

A201

DATE PLOTTED: 11/11/11 10:00 AM

FINISH LEGEND

KEYNOTES

1. 1/2" x 1/2" x 1/2" Gypsum Board	2. 1/2" x 1/2" x 1/2" Gypsum Board	3. 1/2" x 1/2" x 1/2" Gypsum Board	4. 1/2" x 1/2" x 1/2" Gypsum Board
5. 1/2" x 1/2" x 1/2" Gypsum Board	6. 1/2" x 1/2" x 1/2" Gypsum Board	7. 1/2" x 1/2" x 1/2" Gypsum Board	8. 1/2" x 1/2" x 1/2" Gypsum Board
9. 1/2" x 1/2" x 1/2" Gypsum Board	10. 1/2" x 1/2" x 1/2" Gypsum Board	11. 1/2" x 1/2" x 1/2" Gypsum Board	12. 1/2" x 1/2" x 1/2" Gypsum Board
13. 1/2" x 1/2" x 1/2" Gypsum Board	14. 1/2" x 1/2" x 1/2" Gypsum Board	15. 1/2" x 1/2" x 1/2" Gypsum Board	16. 1/2" x 1/2" x 1/2" Gypsum Board
17. 1/2" x 1/2" x 1/2" Gypsum Board	18. 1/2" x 1/2" x 1/2" Gypsum Board	19. 1/2" x 1/2" x 1/2" Gypsum Board	20. 1/2" x 1/2" x 1/2" Gypsum Board

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10. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT REQUIREMENTS.



Point Park University

Thayer +
Academic Hall

201 Wood Street
Pittsburgh, PA 15222

Project No. 1000000000

Scale

1/4" = 1'-0"

1/8" = 1'-0"

1/16" = 1'-0"

1/32" = 1'-0"

1/64" = 1'-0"

1/128" = 1'-0"

1/256" = 1'-0"

1/512" = 1'-0"

1/1024" = 1'-0"

1/2048" = 1'-0"

1/4096" = 1'-0"

1/8192" = 1'-0"

1/16384" = 1'-0"

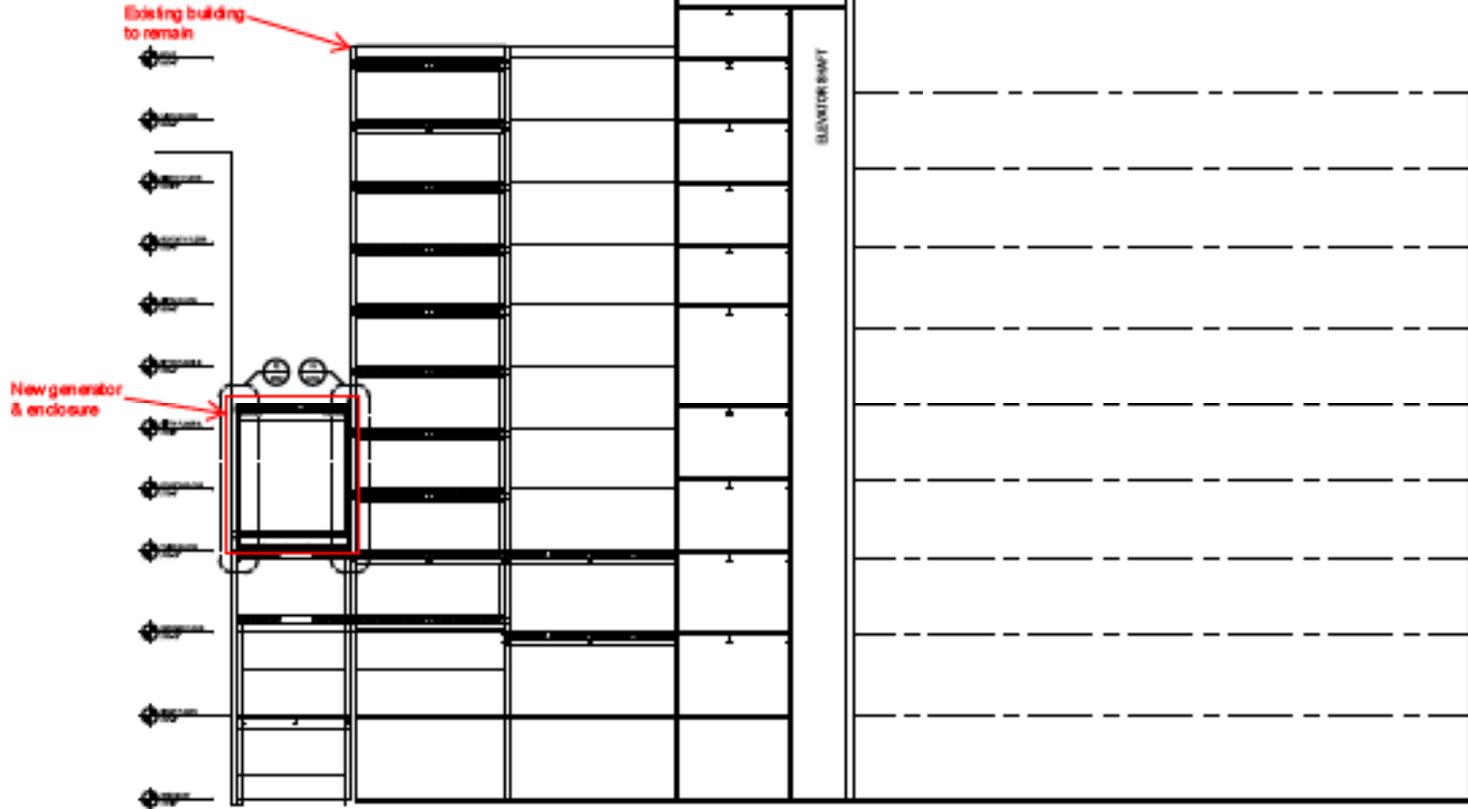
1/32768" = 1'-0"

1/65536" = 1'-0"

1/131072" = 1'-0"

1/262144" = 1'-0"

1/524288" = 1'-0"



1 BUILDING SECTION

BUILDING SECTION

200000

200000

200000

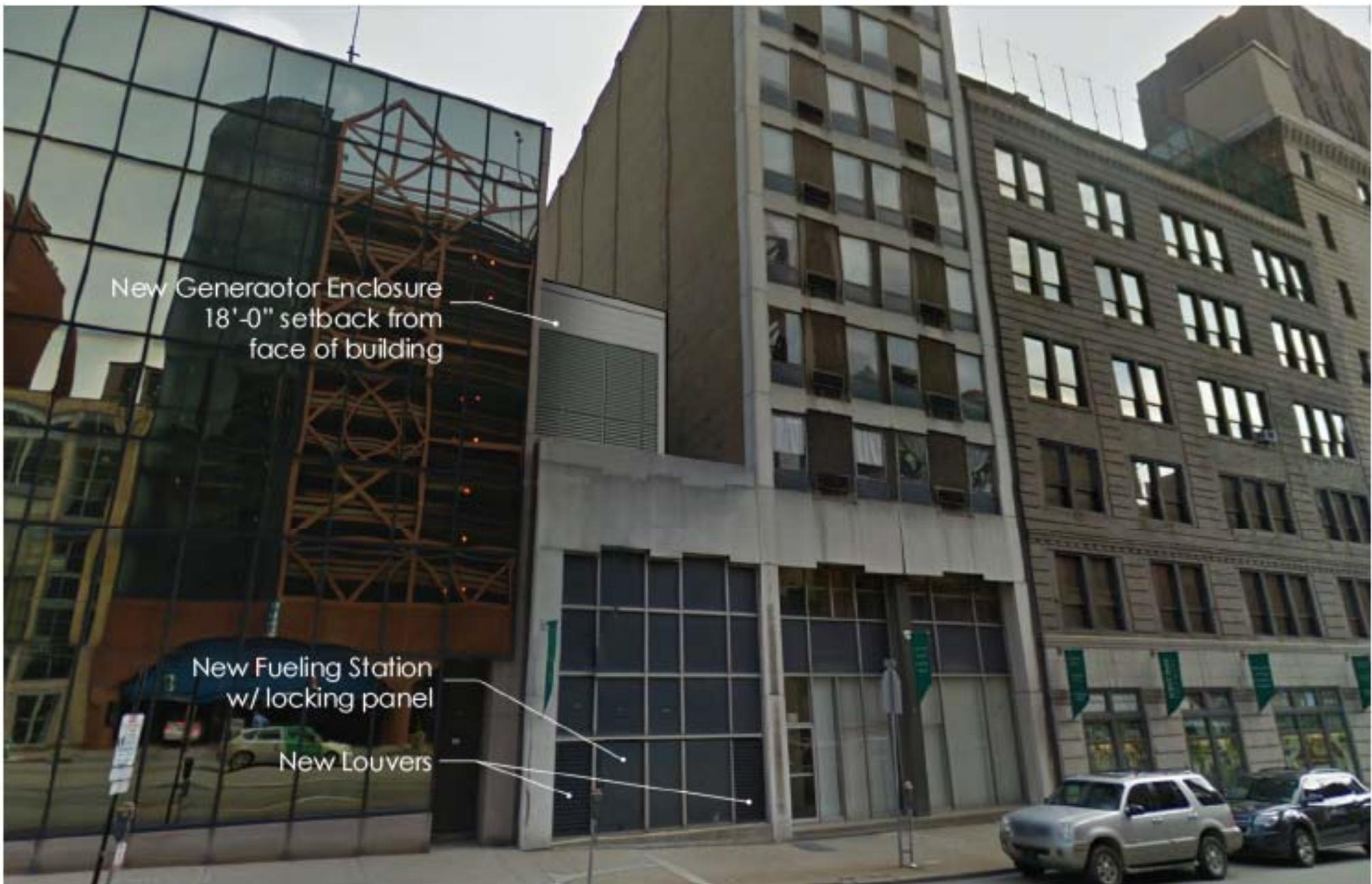
200000

200000

200000

200000

A700



Boulevard of the Allies



POINT PARK
UNIVERSITY

Academic Thayer Hall Generator
12/9/2013



New Generator Enclosure
1'-0" setback from
face of building

Third Avenue