



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: Eastside Limited Partnership		Phone Number: (412 ) 391-7171	
Address: 535 Smithfield St. City: Pittsburgh		State: PA	Zip Code: 15222
2. Applicant/Company Name: Same as Above		Phone Number: ( )	
Address:	City:	State:	Zip Code:
Applicant/Contractor ID:(assigned by the City) TBD			
3. Development Name: Whole Foods Expansion			
4. Development Location: East Liberty			
5. Development Address: 5880 Centre Avenue, Pittsburgh, PA 15206			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	UNC		
Present Use of Site: (Select from attached list)	61, Grocery Store		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
83886	10/17/2002	Grocery Store	
8. Estimated Construction:	Start Date: 04/01 / 2014	Occupancy Date: 09/01 / 2014	Project Cost: \$TBD
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to <a href="http://pittsburghpa.gov/dcp/zoning/">pittsburghpa.gov/dcp/zoning/</a> and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): 61, Same as Existing, Grocery			
10. Select the Type of Work:			
<input checked="" type="checkbox"/> New Construction, New	<input checked="" type="checkbox"/> Renovation, Interior		
<input type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior		
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use		
11. Describe the Development: Expand existing grocery store by constructing a two story addition on the front of the store. Construct new parking deck above existing on grade parking lot. Parking deck is to connect to existing Eastside parking deck.			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <a href="http://www.city.pittsburgh.pa.us/bbi/">http://www.city.pittsburgh.pa.us/bbi/</a> )			



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**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

13. Proposed Number of New Structures or Building Additions:  N/A  
 Residential  Commercial  Recreational  Industrial  Institutional

14. Gross Floor Area:  
 Existing to be Razed: 1,400 sq ft  
 Existing to be Retained: 30,200 sq ft  
 Retained Area to be Renovated: \_\_\_\_\_ sq ft  
 To be Constructed: 6,900 sq ft  
 Building Footprint: 38,500 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	1	33	2	40
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

Parking Deck		1	20ft plus railings,lights, & bike racks etc.

16. Number of Dwelling Units: N/A  
 Existing to Remain: \_\_\_\_\_ Proposed: \_\_\_\_\_

17. Lot Area: 80,737 sq ft

18. On Site Parking:  N/A

	Existing	Proposed
Full (8 1/2' x 19')	100	127
Compact (7 1/4' x 16')		23
Handicap (13 1/2' x 19')	5	6

Off-Street Loading Spaces:  N/A  
 Actual: 2  
 Required: 2

19. Please check any of the following items that will be part of the proposed work:  N/A  
 Demolition  HVAC (Interior)  HVAC (Exterior)  Electrical  Fire Alarm  
 Fire Protection/Sprinklers  Deck Construction (parking)  Commercial Cooking Hood  Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing  New Construction of Plumbing  No Plumbing Work is Proposed



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**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

0	New Water Service Connection(s)	0	Termination of Existing Water Service Tap(s)
0	New Sewer Service Connection(s)	0	Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES                       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street                       Private Property                       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?                       Yes                       No

Applicant Signature:

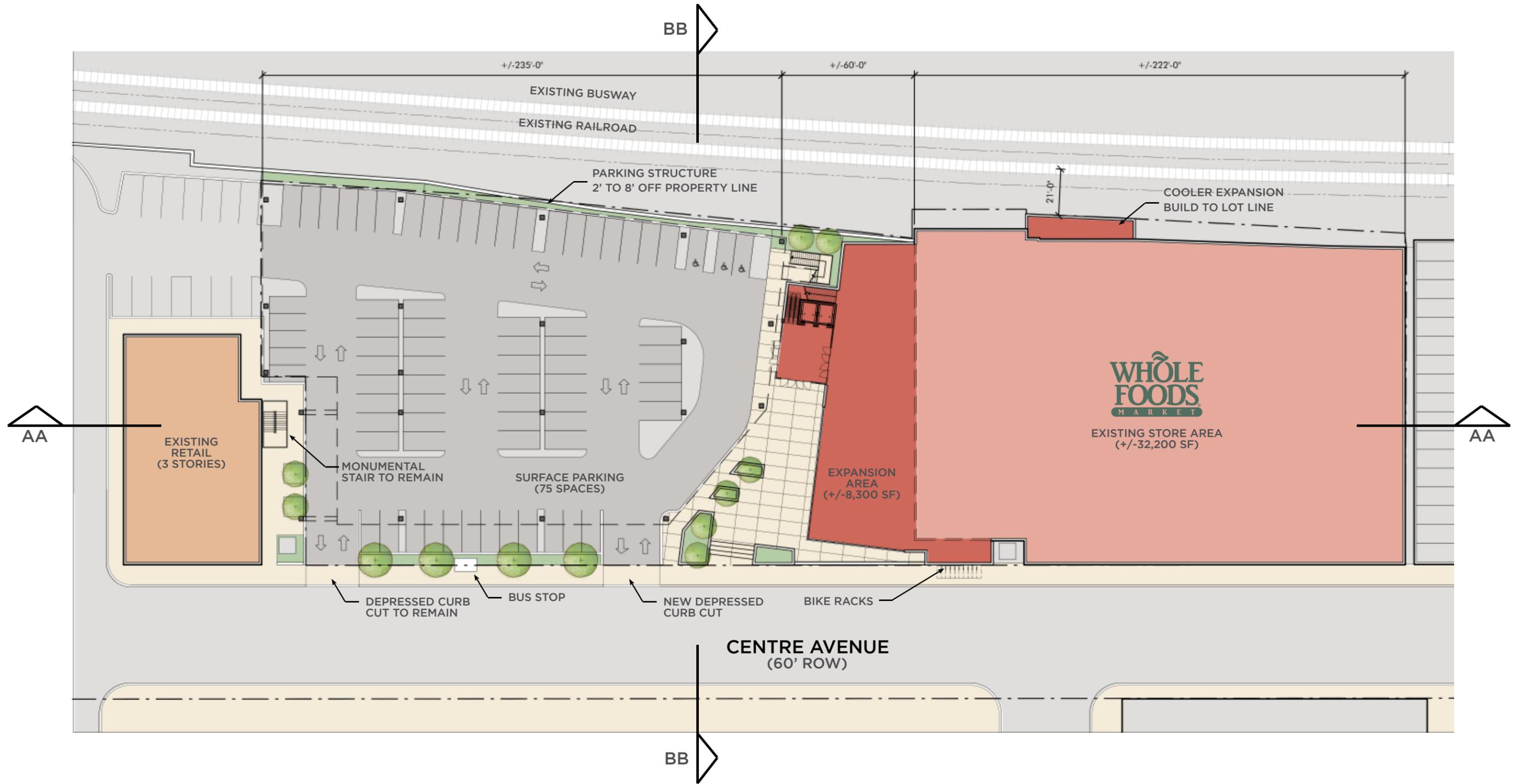


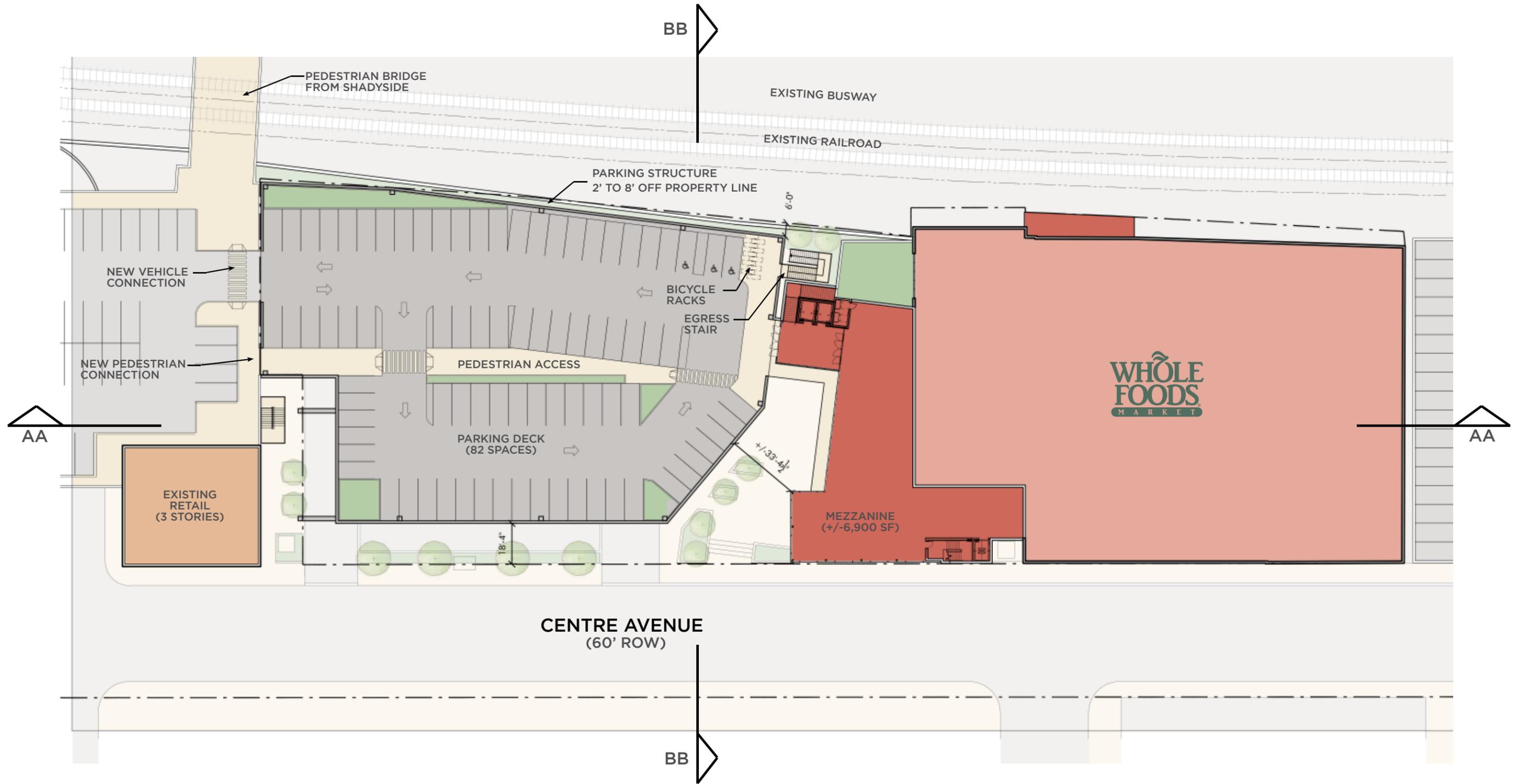
# Whole Foods Market

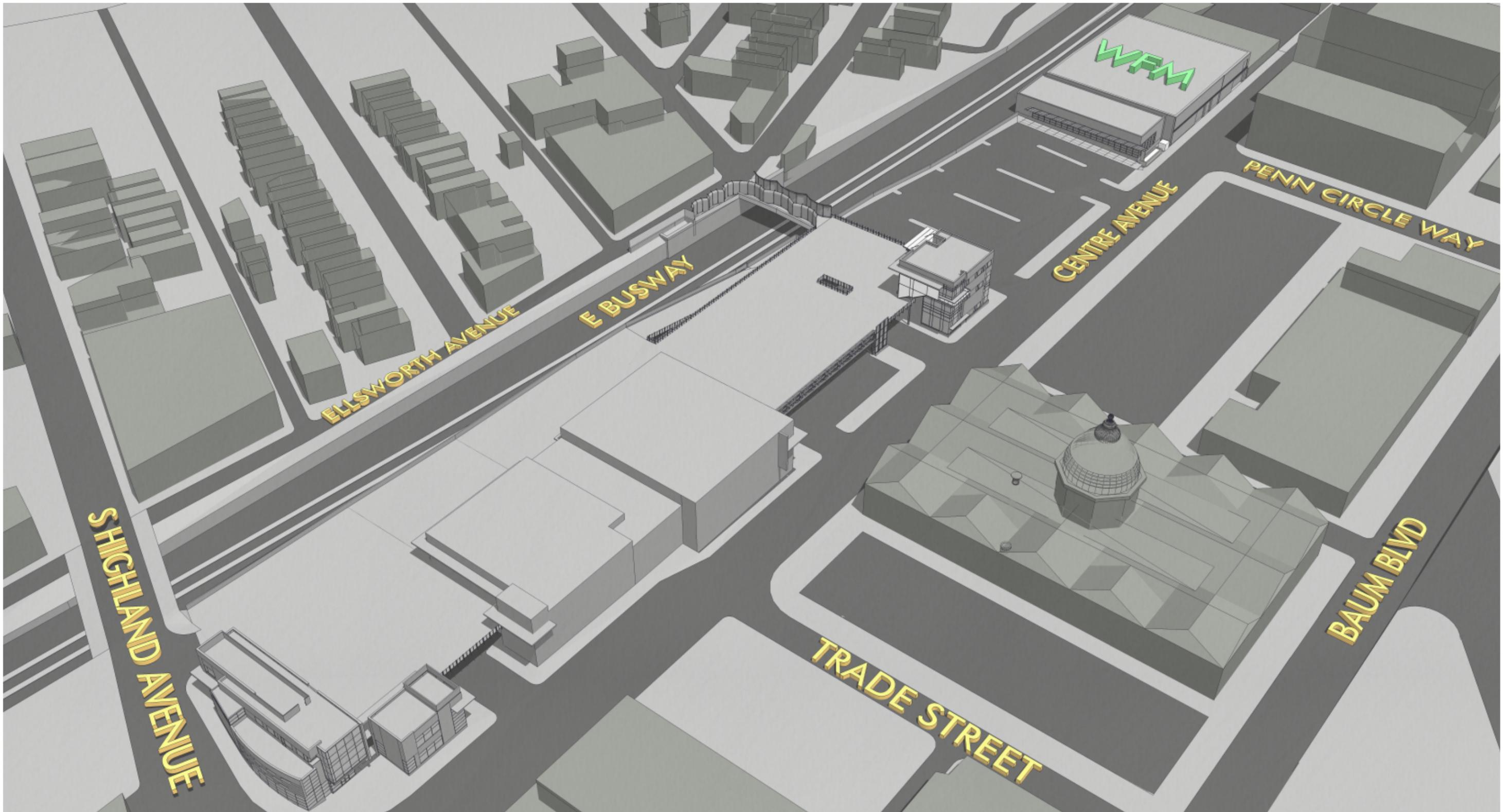
Pittsburgh, Pennsylvania

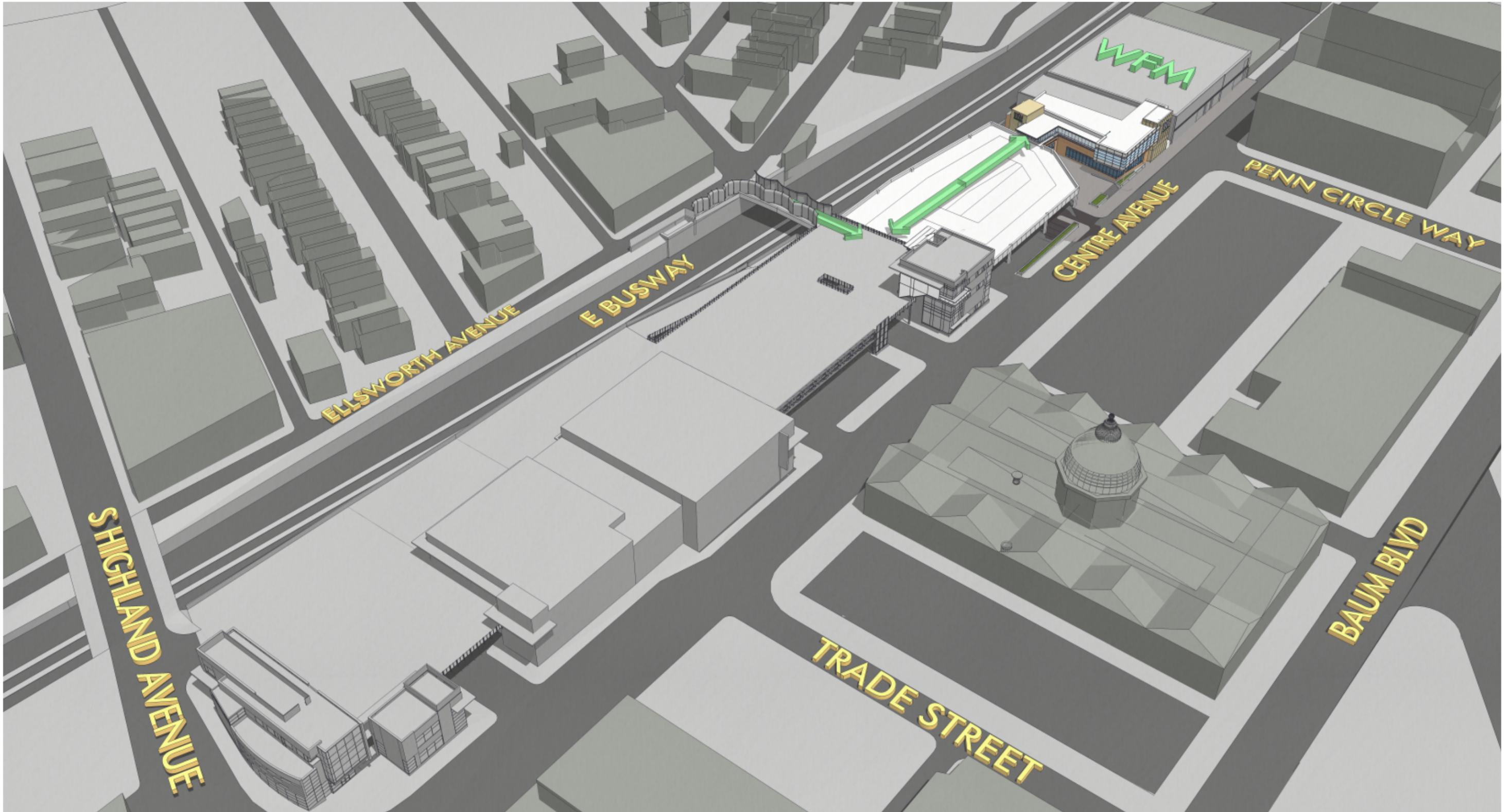
Existing Site Plan  
Scale: N.T.S.





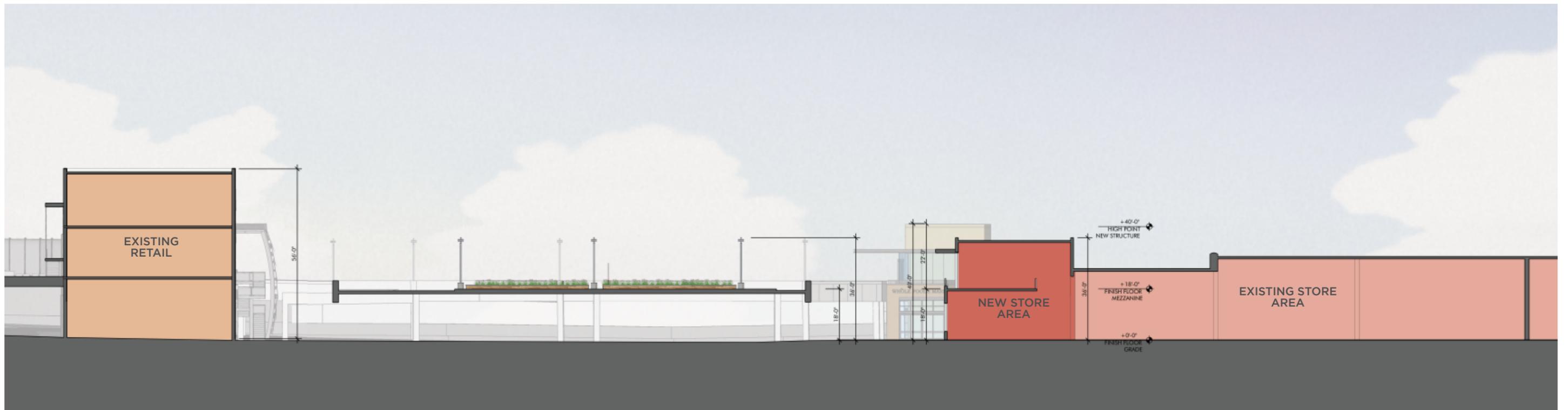








NORTH ELEVATION



NORTH SECTION AA



EAST ELEVATION



EAST SECTION BB



EXISTING WHOLE FOODS MARKET



VIEW FROM EAST PARKING DECK



PEDESTRIAN BRIDGE TO SHADYSIDE



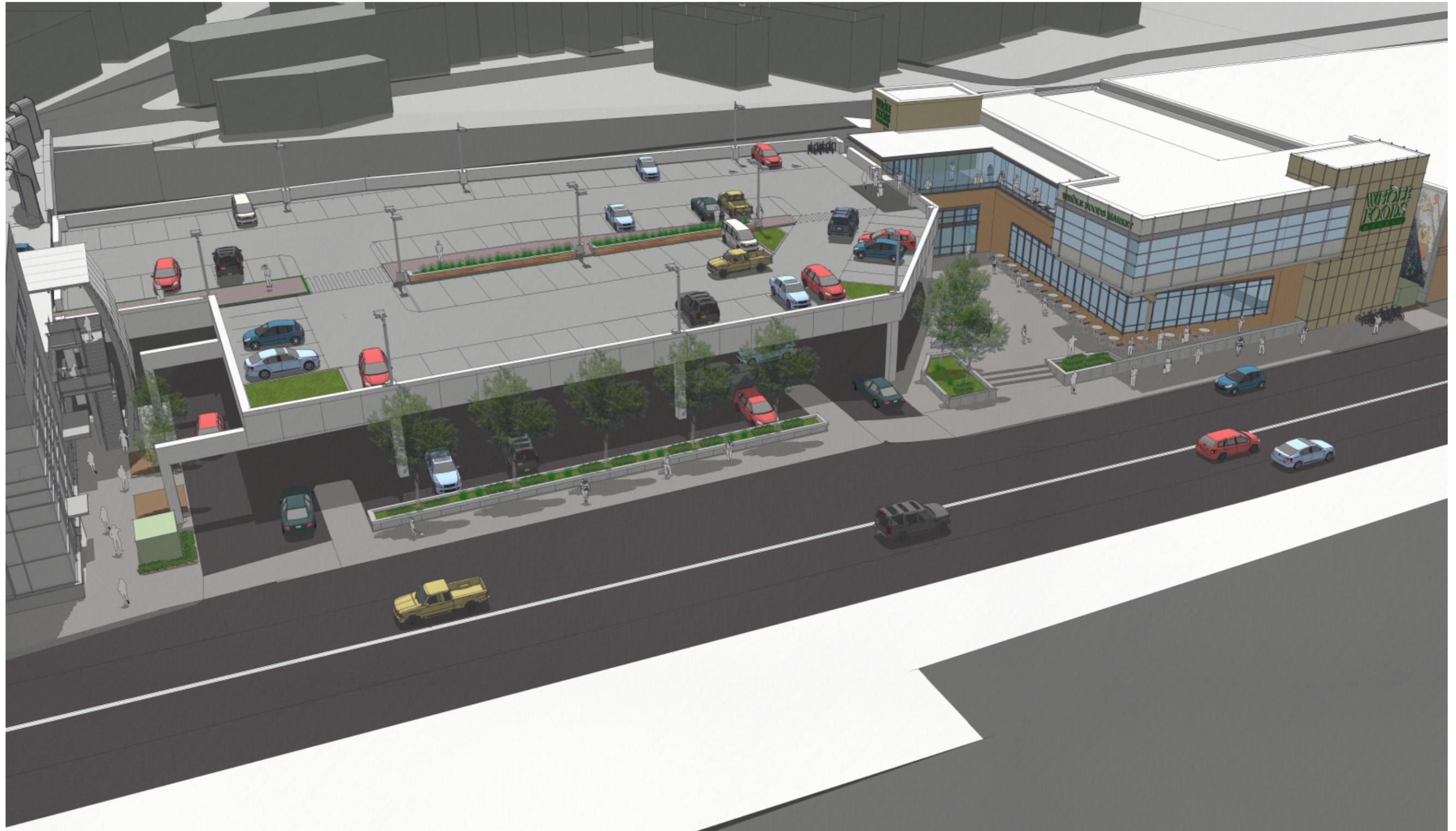
MONUMENTAL STAIR



EXISTING BUILDING



EXISTING RETAIL BUILDING







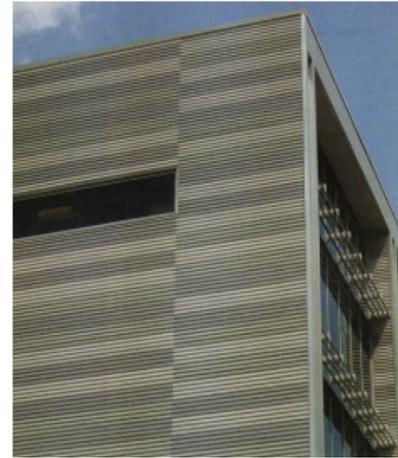


# Whole Foods Market

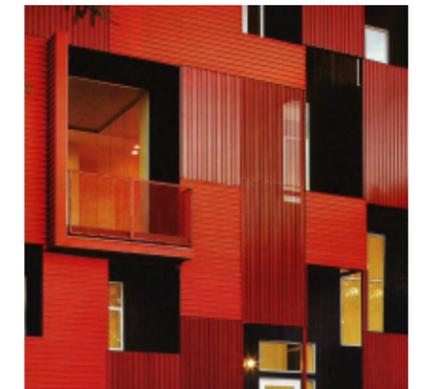
Pittsburgh, Pennsylvania

View into Courtyard  
Scale: N.T.S.

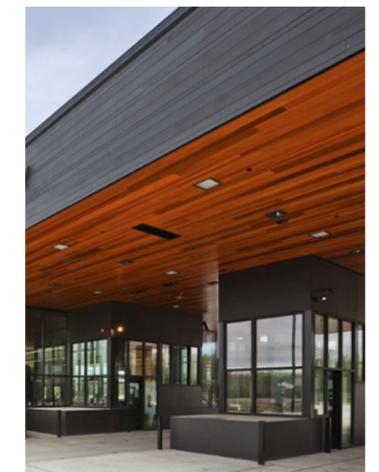




CORRUGATED METALS AND METAL PANELS

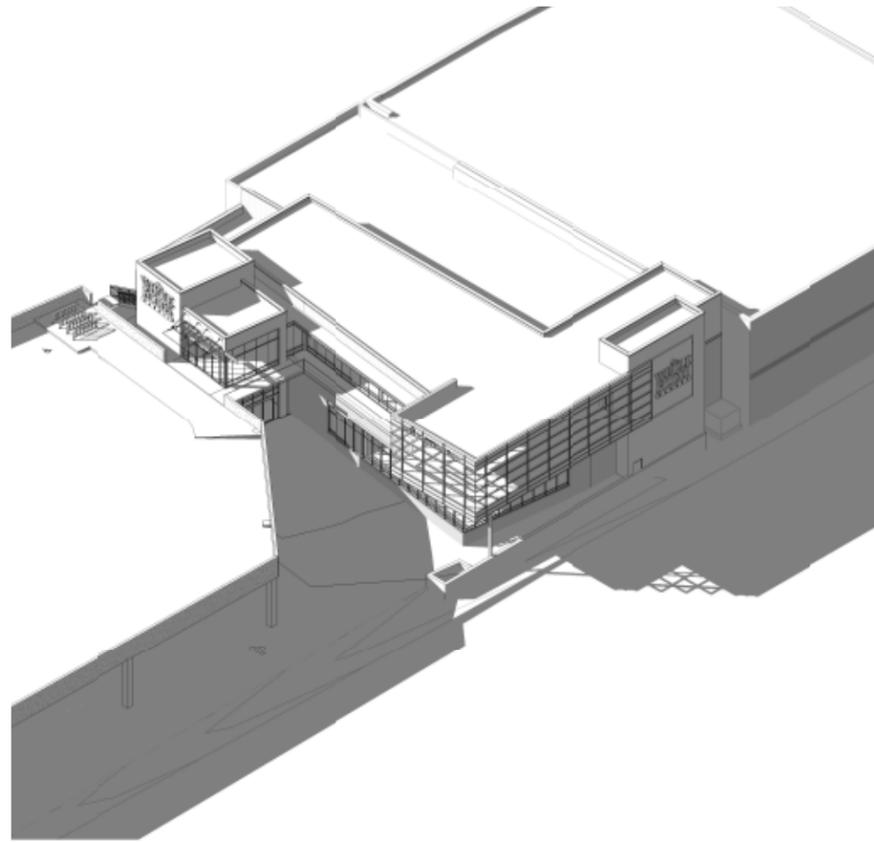


RAIN SCREENS - TERRACOTTA / METAL PANEL

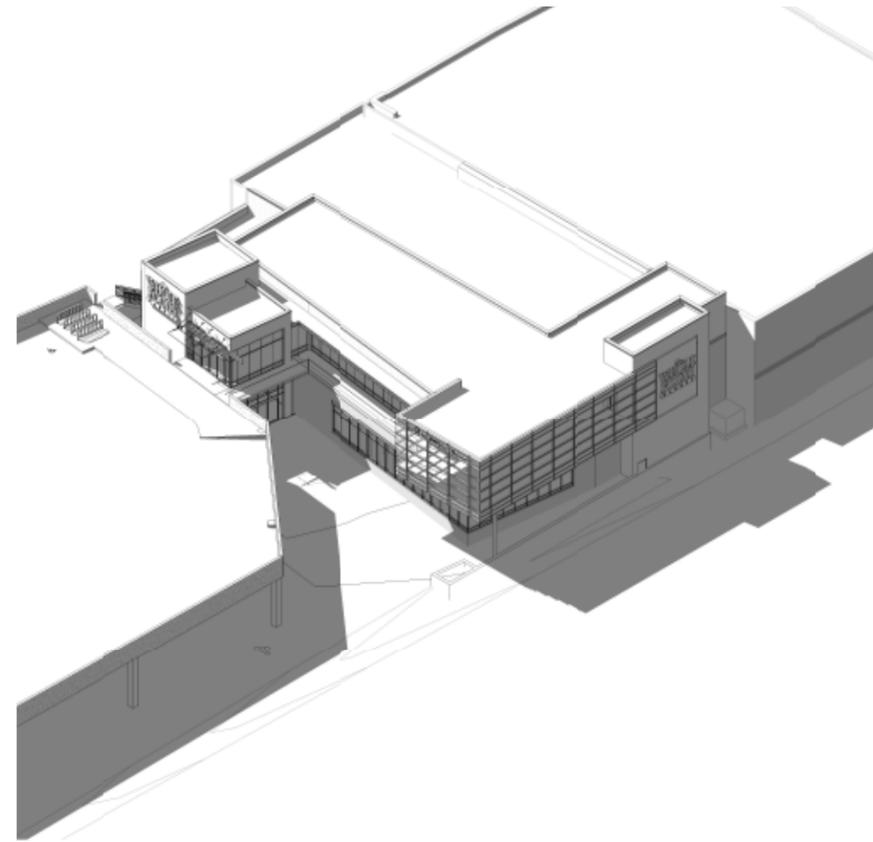


BRICKS AND TEXTURE

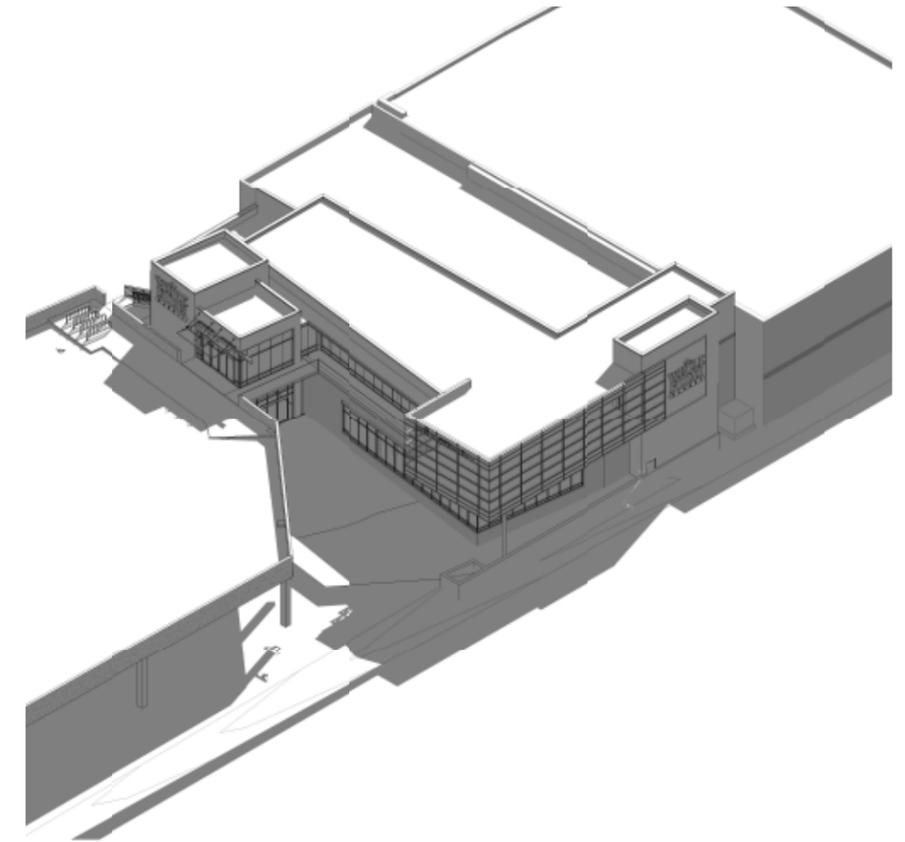
WOOD AND SCREENING



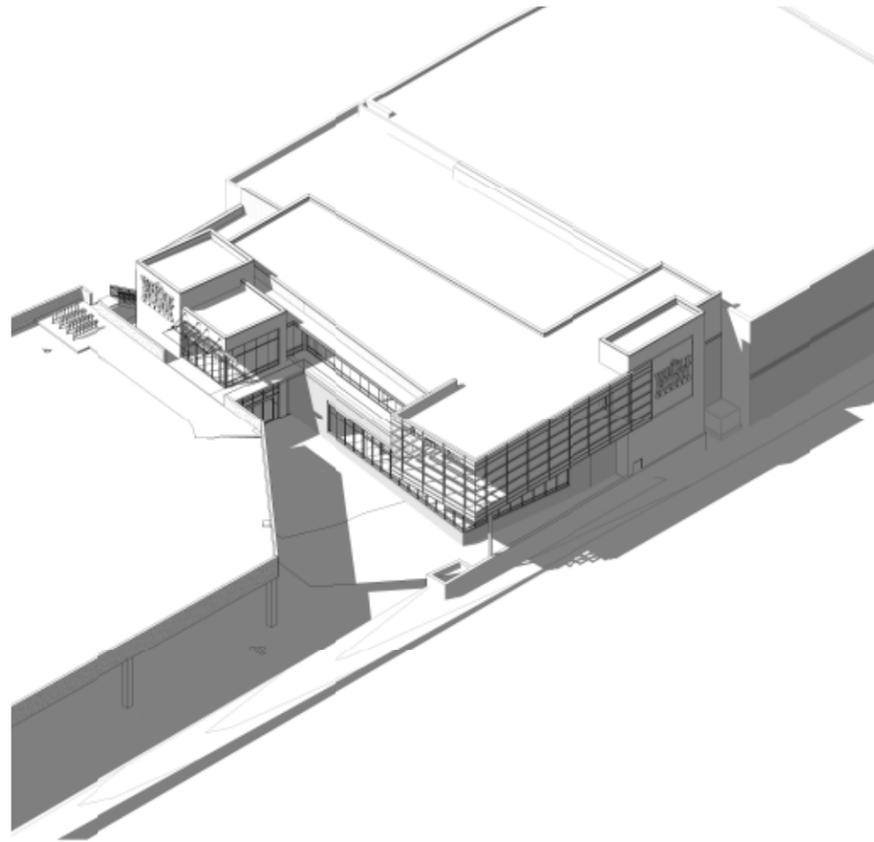
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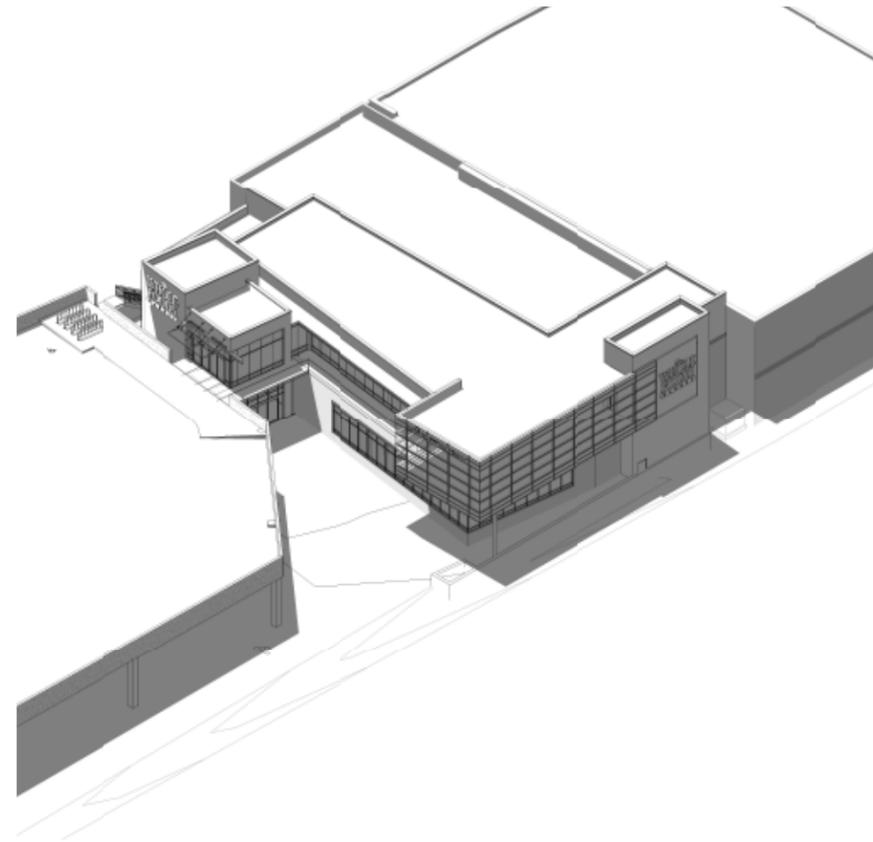
12 PM



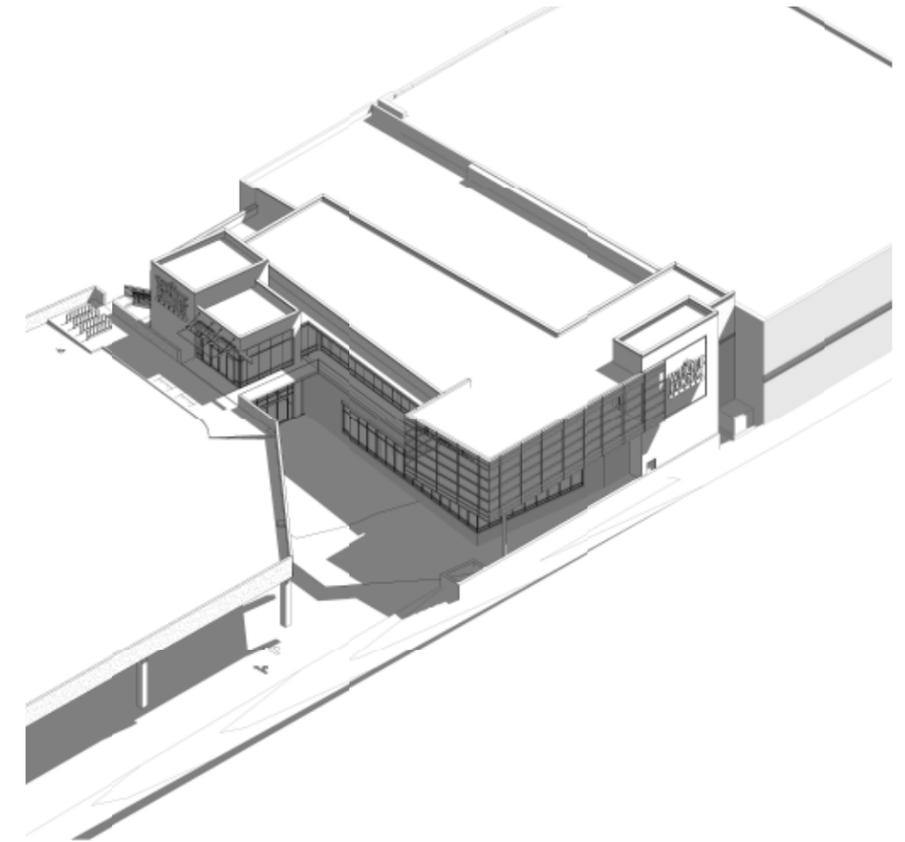
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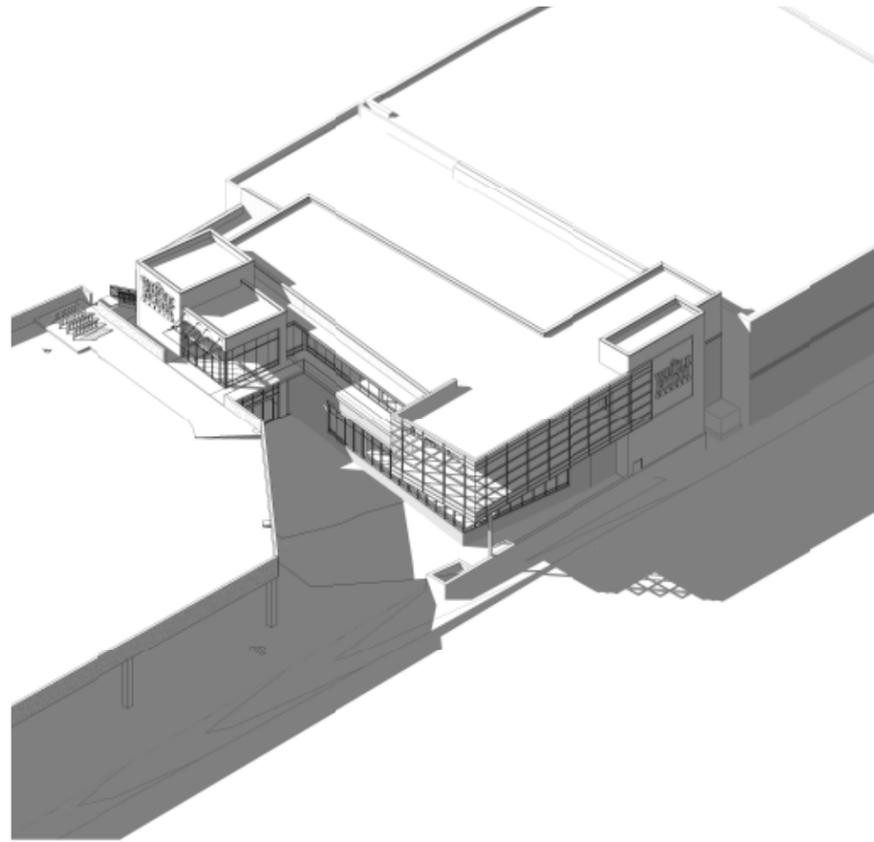
9 AM



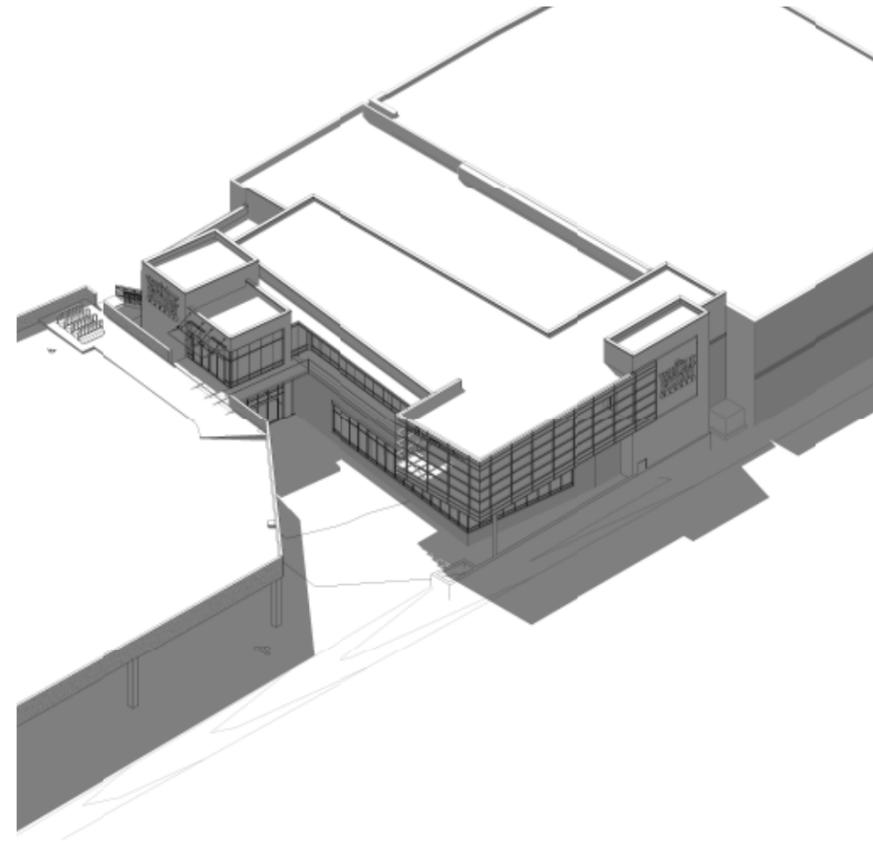
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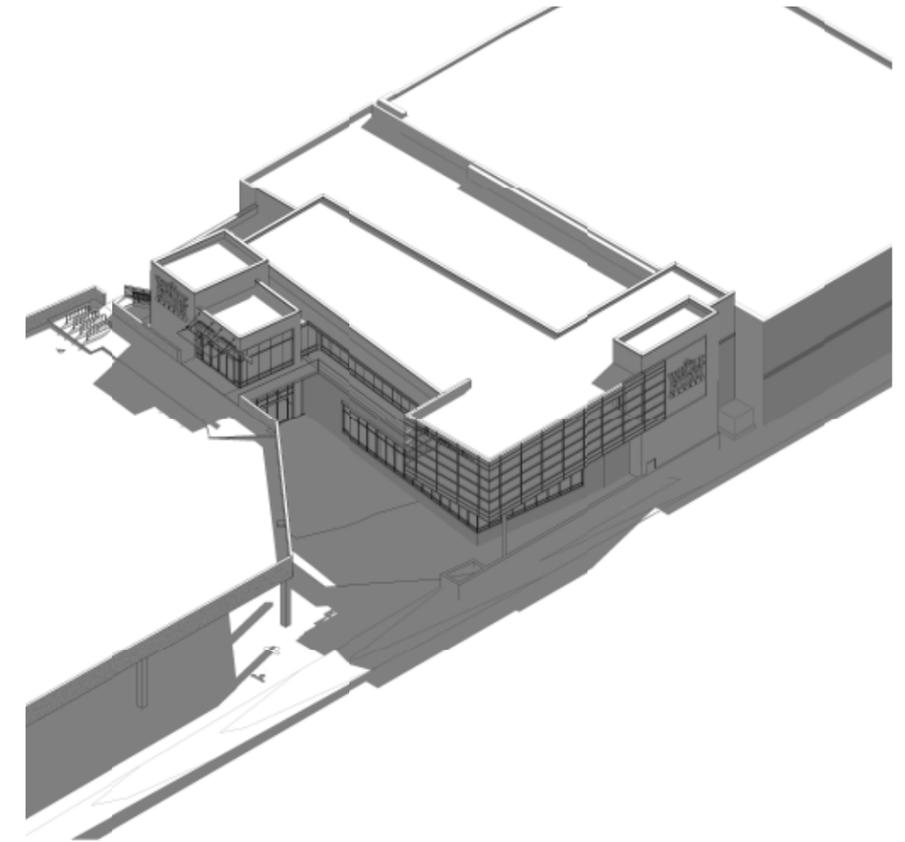
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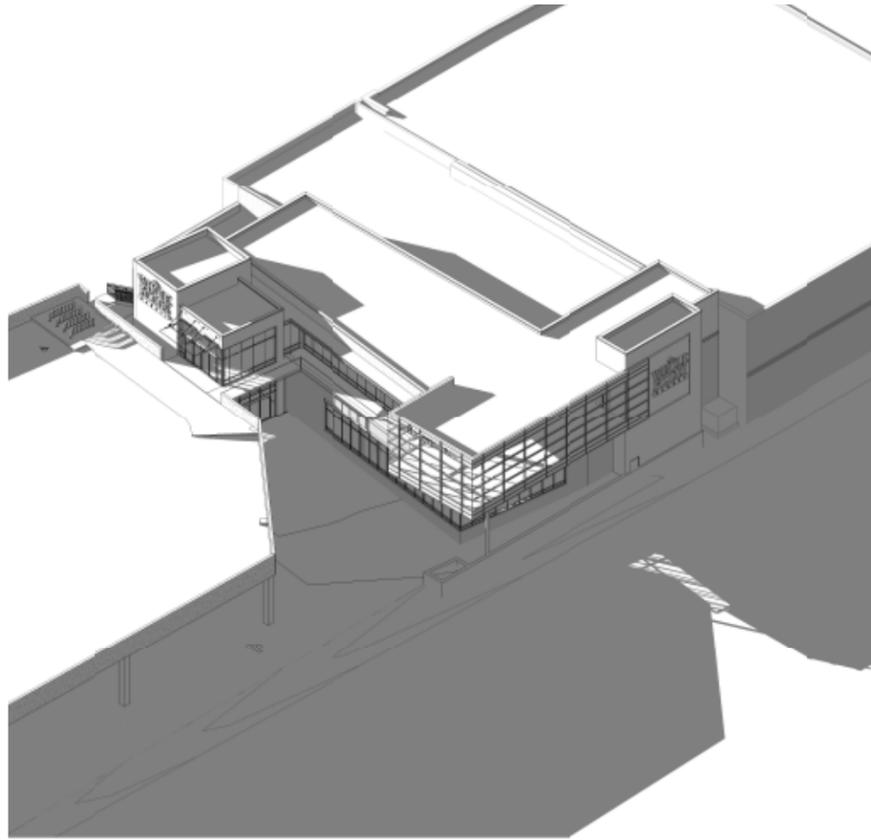
9 AM



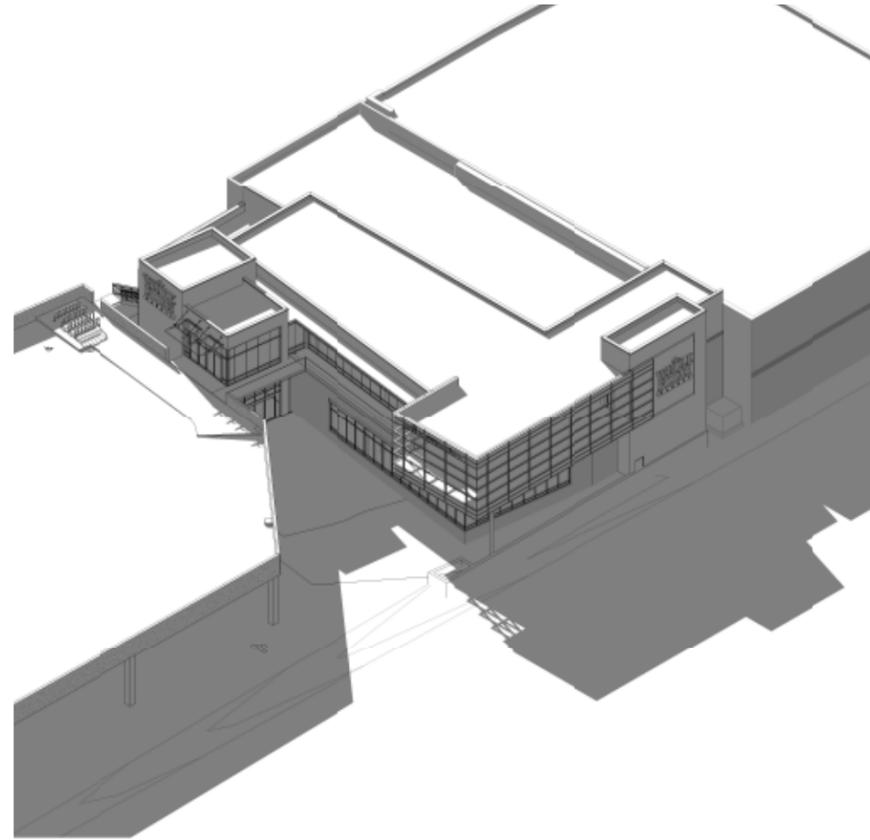
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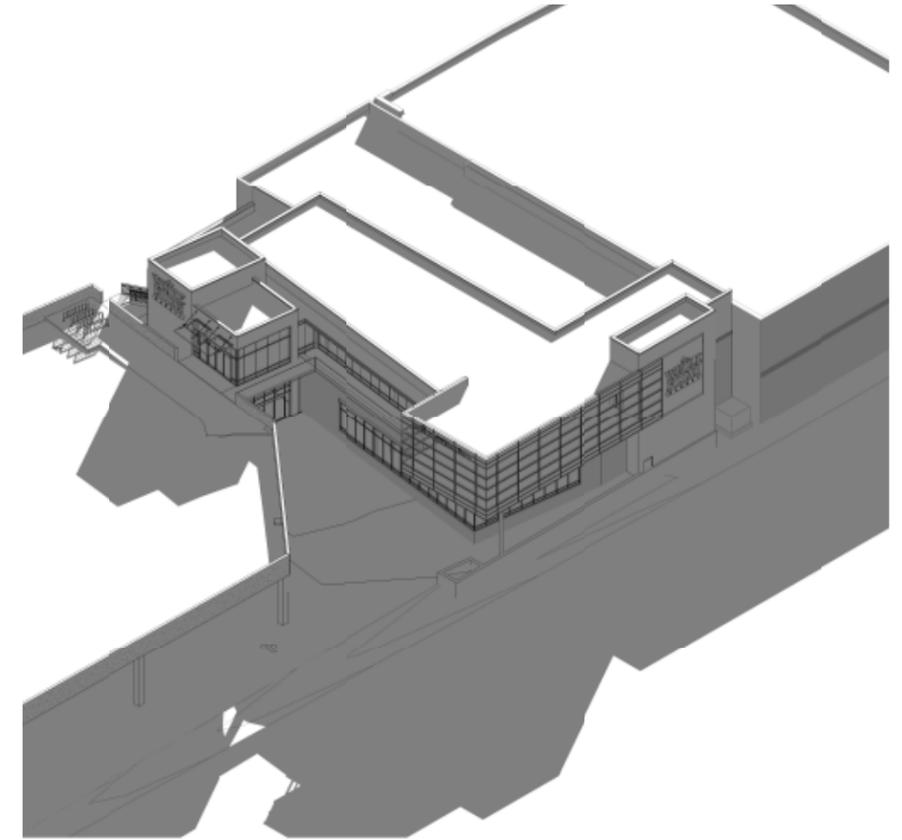
3 PM



9 AM



12 PM



3 PM



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- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
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**GENERAL INFORMATION**

1. Property Owner Name: <i>Residences @ Wood Street</i>		Phone Number: (    )	
Address: <i>425 6th Ave Suite 450</i>	City: <i>Pgh.</i>	State: <i>Pa.</i>	Zip Code: <i>15219</i>
2. Applicant/Company Name: <i>Sentry Mechanical</i>		Phone Number: <i>(412) 795-3040</i>	
Address: <i>1729 Leechburg</i>	City: <i>Pgh</i>	State: <i>Pa.</i>	Zip Code: <i>15235</i>
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: <i>Residences at Wood Street</i>			
4. Development Location:			
5. Development Address: <i>300 Wood Street Pgh. Pa. 15222</i>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: <i>1/6/14</i>	Occupancy Date: <i>4/1/14</i>	Project Cost: <i>\$4,200,000.00</i>
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to <a href="http://pittsburghpa.gov/dcp/zoning/">pittsburghpa.gov/dcp/zoning/</a> and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list):			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New	<input checked="" type="checkbox"/> Renovation, Interior		
<input type="checkbox"/> New Construction,	<input type="checkbox"/> Renovation, Exterior		
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change In Use		
11. Describe the Development: <i>Renovation at Floors 1 thru 6, Removing existing heating &amp; cooling systems - (fan coils) &amp; replacing with a new heat pump system, Adding additional cooling tower to increase capacity</i>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <a href="http://www.city.pittsburgh.pa.us/bbi/">http://www.city.pittsburgh.pa.us/bbi/</a> )			



The new cooling tower location is beside existing tower where the red dot of address is located.

6 Story Brick and Stone Building #319

### Lot 1-A

Commonwealth Plan of Lots  
P.B.V.-203, Page-61

20 Story Brick  
and Stone Building  
#316

### Lot 1-C

Commonwealth Plan of Lots  
P.B.V.-203, Page-61

3 Story Brick and Stone Building

S 27°12'15" W  
85.95'

315

316

86.00'  
S 27°12'15" W

15 Story Brick  
and Stone Building  
#300

Now or Formerly  
Pittsburgh Spruce Street Properties

21 Story Stone Building #300

S 63°47'15" E  
120.68'

120.68'  
S 63°48'45" E

THIRD AVENUE - 40.05'

Asphalt Surface

## WOOD STREET

Asphalt Surface



## SURVEY OF PROPERTY

MADE FOR

# THE RESIDENCES AT WOOD STREET also known as WOOD STREET COMMONS

SITUATE IN

COLONEL WOODS PLAN OF THE TOWN OF PITTSBURGH (UNRECORDED)  
CITY OF PITTSBURGH - 1st. WARD - ALLEGHENY COUNTY

JOB No. B - 16988

PENNSYLVANIA

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OFFICE - 3001 JACKS RUN ROAD

- EMPIRE BLDG., SUITE ONE

- McKEESPORT, PENNSYLVANIA 15131

PHONES

823 - 0887

678 - 4403

FAX No. 678 - 7603

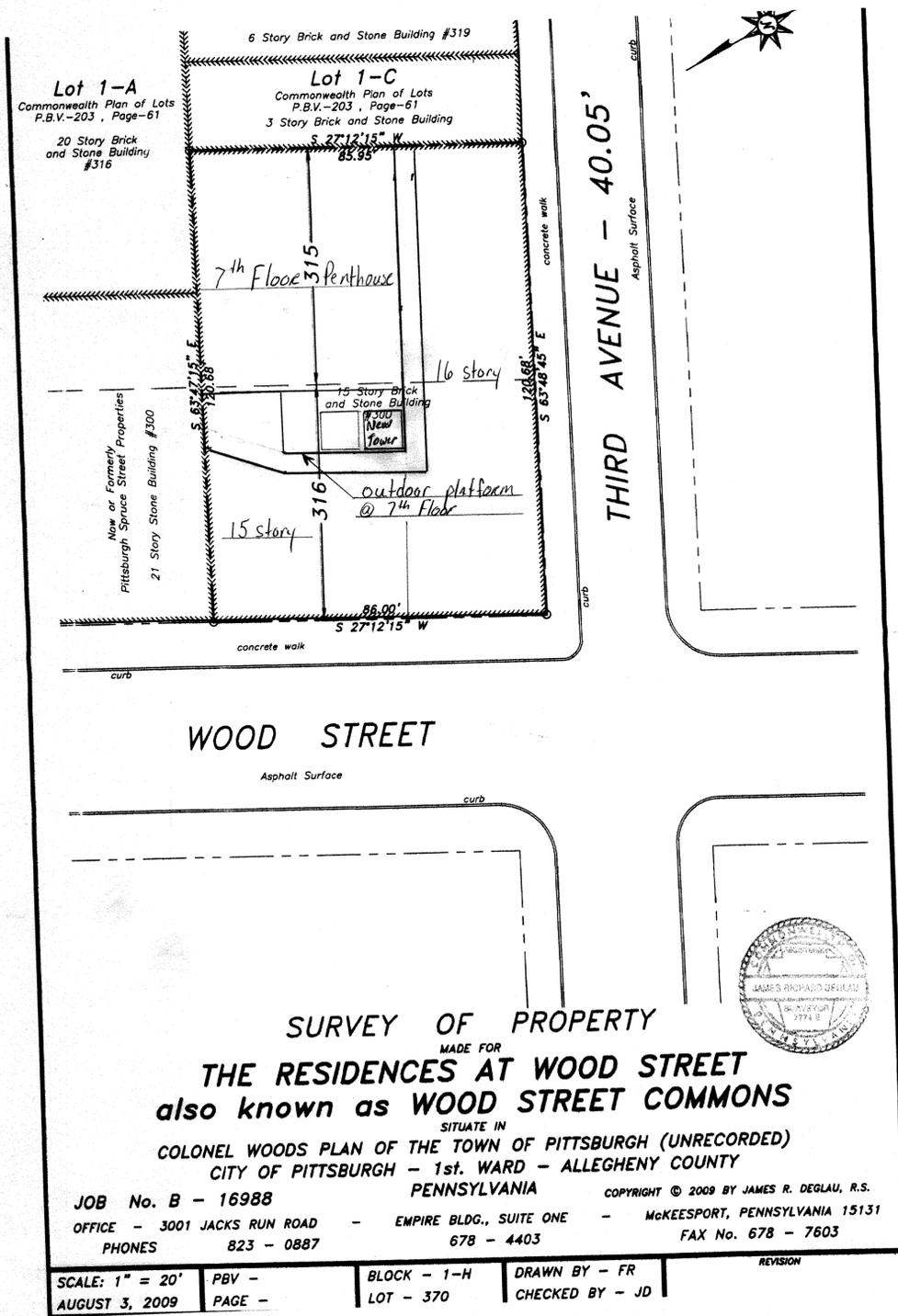
SCALE: 1" = 20'  
AUGUST 3, 2009

PBV -  
PAGE -

BLOCK - 1-H  
LOT - 370

DRAWN BY - FR  
CHECKED BY - JD

REVISION



**SURVEY OF PROPERTY**  
 MADE FOR  
**THE RESIDENCES AT WOOD STREET**  
 also known as **WOOD STREET COMMONS**

SITUATE IN  
**COLONEL WOODS PLAN OF THE TOWN OF PITTSBURGH (UNRECORDED)**  
**CITY OF PITTSBURGH - 1st. WARD - ALLEGHENY COUNTY**

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 JOB No. B - 16988      OFFICE - 3001 JACKS RUN ROAD - EMPIRE BLDG., SUITE ONE - McKEESPORT, PENNSYLVANIA 15131  
 PHONES      823 - 0887      678 - 4403      FAX No. 678 - 7603

SCALE: 1" = 20'	PBV -	BLOCK - 1-H	DRAWN BY - FR
AUGUST 3, 2009	PAGE -	LOT - 370	CHECKED BY - JD





**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

**Office of the Zoning Administrator**

**200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219**

*(Zoning Use Only)*

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

<b>1. Property Owner Name:</b> Cultural Trust of Pittsburgh		Phone Number: (    ) 412-471-6070	
Address: 801 Liberty Ave	City: Pittsburgh	State: PA	Zip Code: 15222
<b>2. Applicant/Company Name:</b> GBBN architects		Phone Number: (    ) 412-345-5005	
Address: 5411 Penn Ave	City: Pittsburgh	State: PA	Zip Code: 15206
Applicant/Contractor ID:(assigned by the City)			
<b>3. Development Name:</b> Cultural Trust Park			
<b>4. Development Location:</b> Pittsburgh, PA			
<b>5. Development Address:</b> Intersection of 8th & Penn Ave			
<b>6. If applicant is proposing a change to the Zoning District, the following is required:</b> (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)	Parking Spaces and Green Space		
<b>7. If a Certificate of Occupancy exists, the following is required:</b>			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
<b>8. Estimated Construction:</b>	Start Date: 3 /01 /2014	Occupancy Date: 5 /01 /2014	Project Cost: \$ 250,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

**9. Proposed Use of Site (Select from attached list):** 88. Parks and Recreation (Limited)

**10. Select the Type of Work:**

New Construction, New     Renovation, Interior  
 New Construction,         Renovation, Exterior  
 Change in Use Only         Renovation, Change in Use

**11. Describe the Development:** The Cultural Trust Park will utilize the current green space area and a portion of the adjacent parking lot to provide an area to extend sidewalk paving, add landscaping between sidewalk and parking lot, carbonated water drinking fountain, benches and bike rack.

**12. Is a Land Operations Permit needed?**                     YES                     NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13. Proposed Number of New Structures or Building Additions:**  N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

**14. Gross Floor Area:**

Existing to be Razed:	<u>778</u>	sq ft
Existing to be Retained:	<u>0</u>	sq ft
Retained Area to be Renovated:	<u>0</u>	sq ft
To be Constructed:	<u>1,960</u>	sq ft
Building Footprint:	<u>36</u>	sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	NA	NA	NA	7'-6"
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

Bike rack				5'-4"

**16. Number of Dwelling Units:**  
 Existing to Remain: NA      Proposed: NA

**17. Lot Area:** 1,960 sq ft

**18. On Site Parking:**  N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A  
 Actual: \_\_\_\_\_  
 Required: \_\_\_\_\_

**19. Please check any of the following items that will be part of the proposed work:**  N/A

Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm  
 Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed



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**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

**21.** Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

1	New Water Service Connection(s)	_____	Termination of Existing Water Service Tap(s)
1	New Sewer Service Connection(s)	_____	Termination of Existing Sewer Service Tap(s)

**22.** Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES                       NO

**23.** If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
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**24.** If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street                       Private Property                       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

**25.** Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

**26.** Applicant will be applying for a Visitability Tax Credit?                       Yes                       No

Applicant Signature: \_\_\_\_\_



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DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219**

**Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9**

**Residential Uses**

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

**Non-Residential Uses**

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
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42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

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54. Firearms Business Establishment
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74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
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79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
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**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219**

**DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION**

**Department of City Planning**

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Bureau of Engineering and Construction**

City-County Building, Room 301  
441 Grant Street  
Pittsburgh, PA 15219  
(412) 255-2883  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Department of Public Works (DPW)  
Public Space Management**

**Permit Office**  
611 Second Avenue  
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(412) 255-2370  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Pittsburgh Water and Sewer Authority (PWSA)**

Penn-Liberty Plaza I  
1200 Penn Avenue  
Pittsburgh, PA 15222  
Permits (412) 255-2443; Engineering (412) 255-8987  
[www.pgh2o.com](http://www.pgh2o.com)  
*Refer to the PWSA Procedures Manual for Developers.*

**Allegheny County Health Department (ACHD)**

Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224  
(412) 578-8036  
[www.achd.net/plumbing/index.html](http://www.achd.net/plumbing/index.html)

**Allegheny County Health Department (ACHD)**

Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224  
(412) 578-8044  
[www.achd.net/food/foodstart.html](http://www.achd.net/food/foodstart.html)

**Allegheny County Health Department (ACHD)**

Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
[www.achd.net/housing/commenvironstart.html](http://www.achd.net/housing/commenvironstart.html)



8th STREET PARKLET



# CDAP SUBMISSION

Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





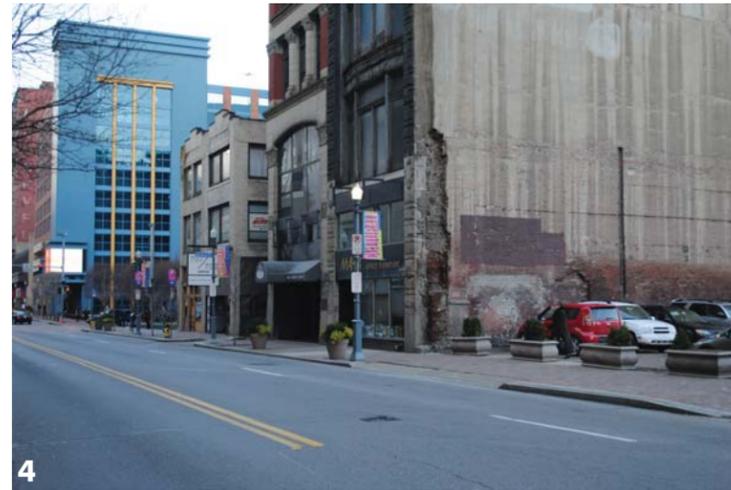
8th STREET PARKLET

# LOCATION PLAN

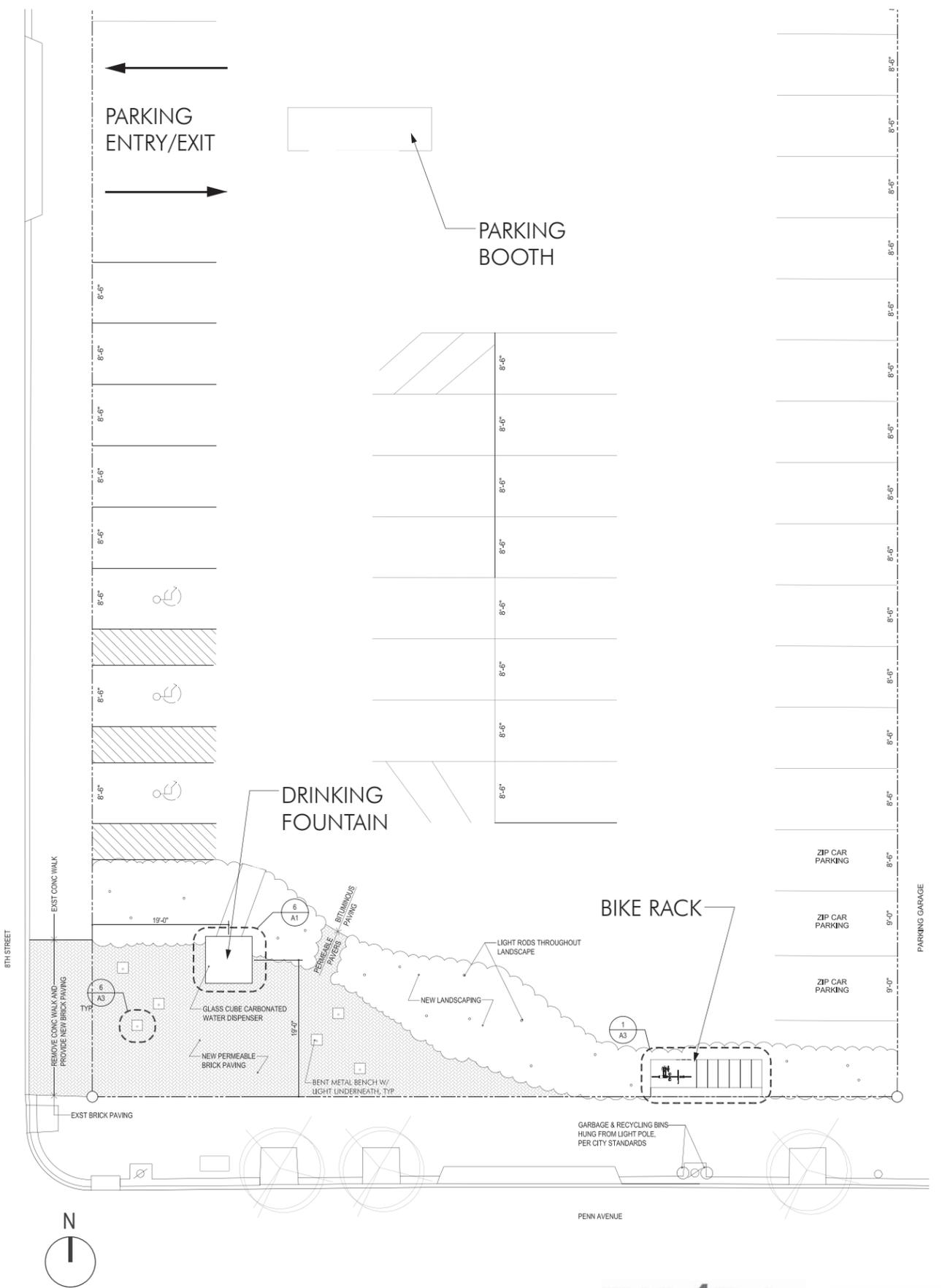
Cultural Trust | 8th Street Park

Origin4Design  
Sci-Tek  
2012.12.10

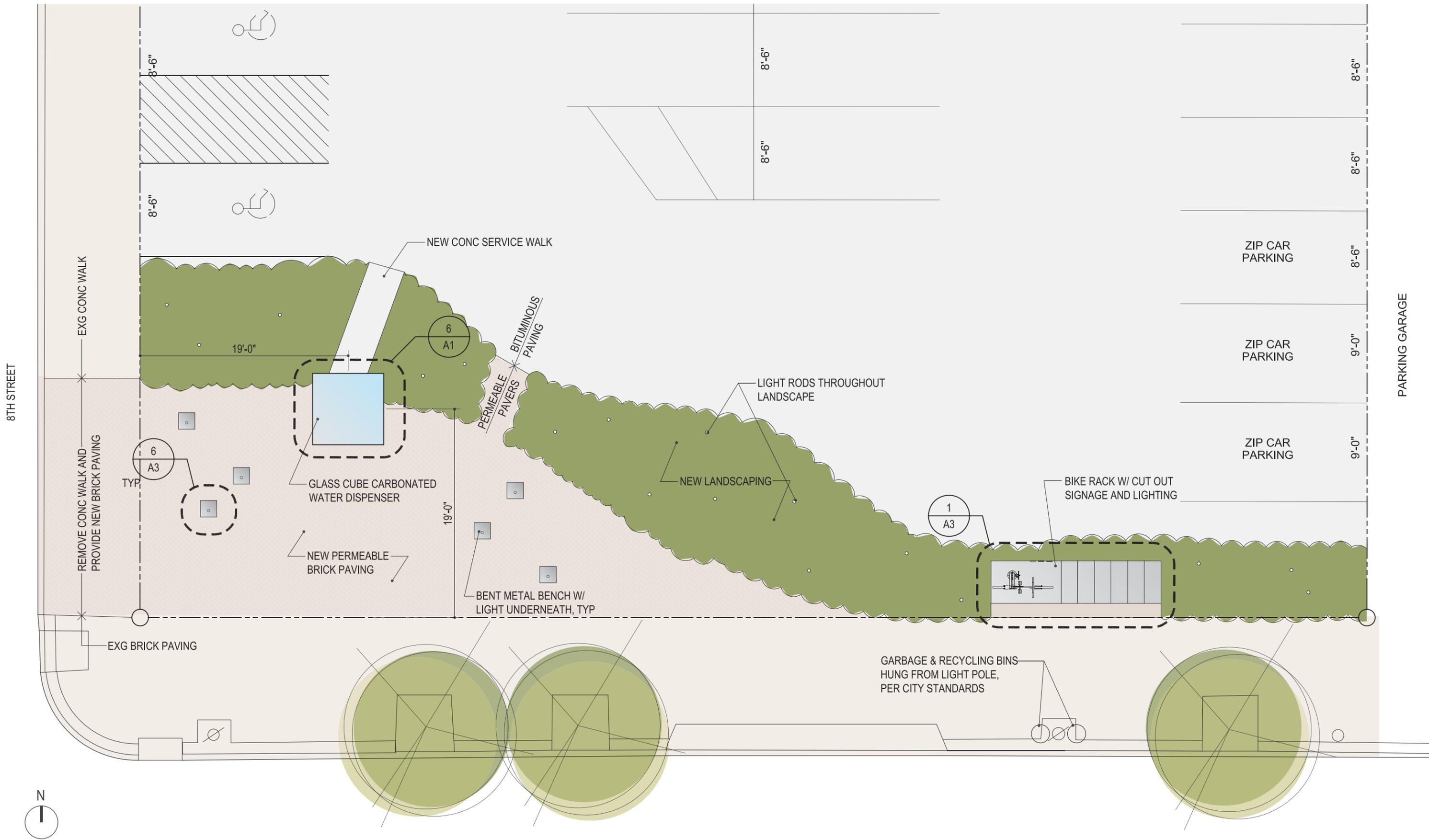




- 1. View east - Parking garage
- 2. View southeast across Penn Ave
- 3. View west
- 4. View northwest



**SITE PLAN | CONTEXT**  
 Cultural Trust | 8th Street Park



# SITE PLAN

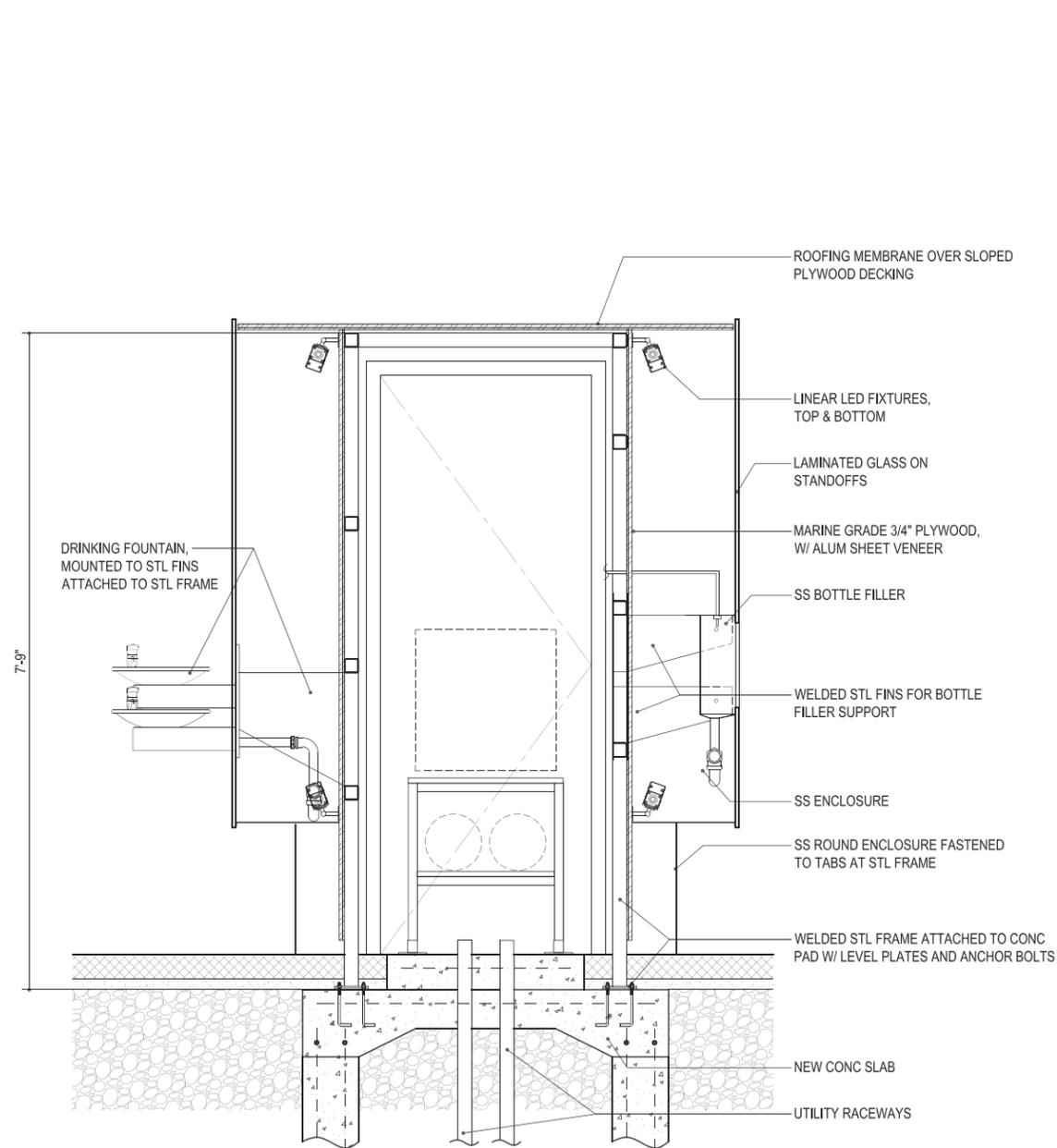
Cultural Trust | 8th Street Park

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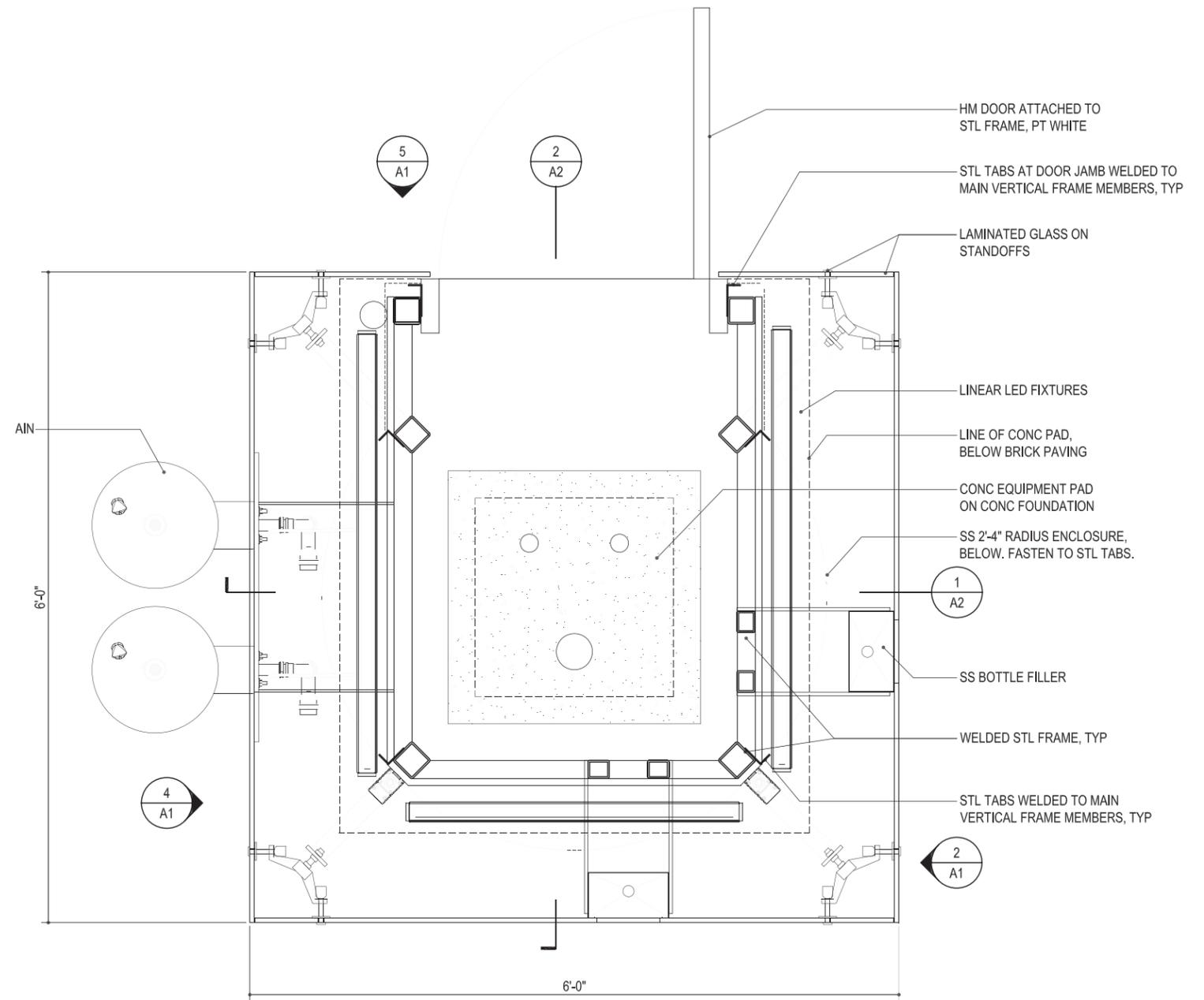
Sci-Tek

2012.12.10





SECTION



PLAN

# CUBE DETAILS

Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





# DAY RENDERING

Cultural Trust | 8th Street Park

Origin4Design  
Sci-Tek  
2012.12.10





## NIGHT RENDERING

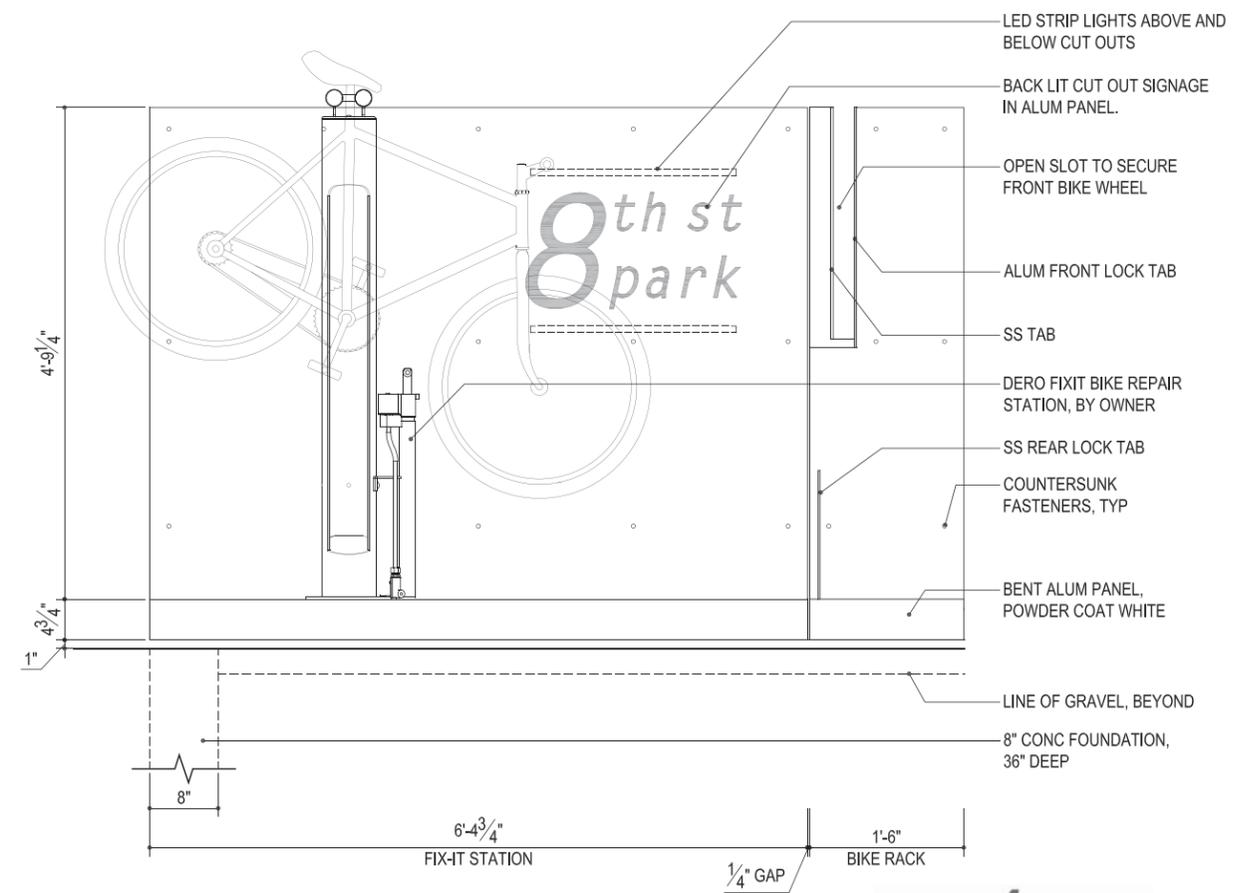
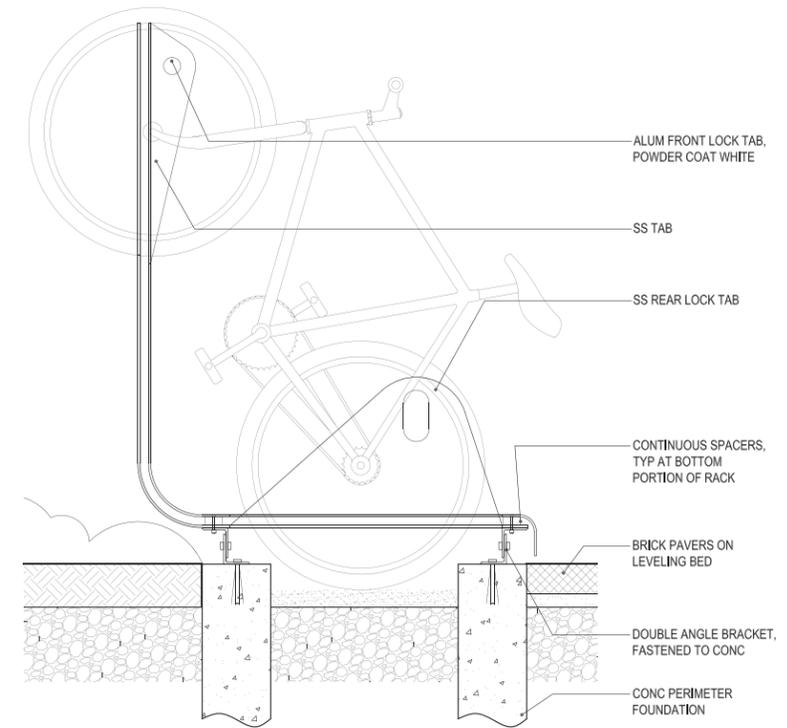
Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10

**GBBN**  
architects



# BENT METAL BIKE RACK

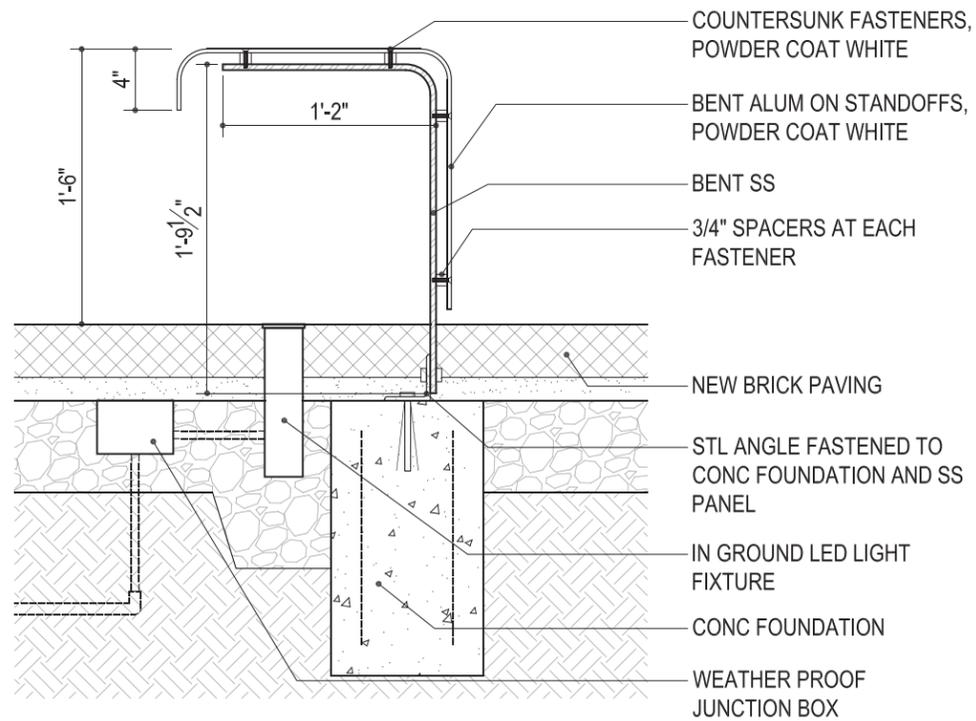
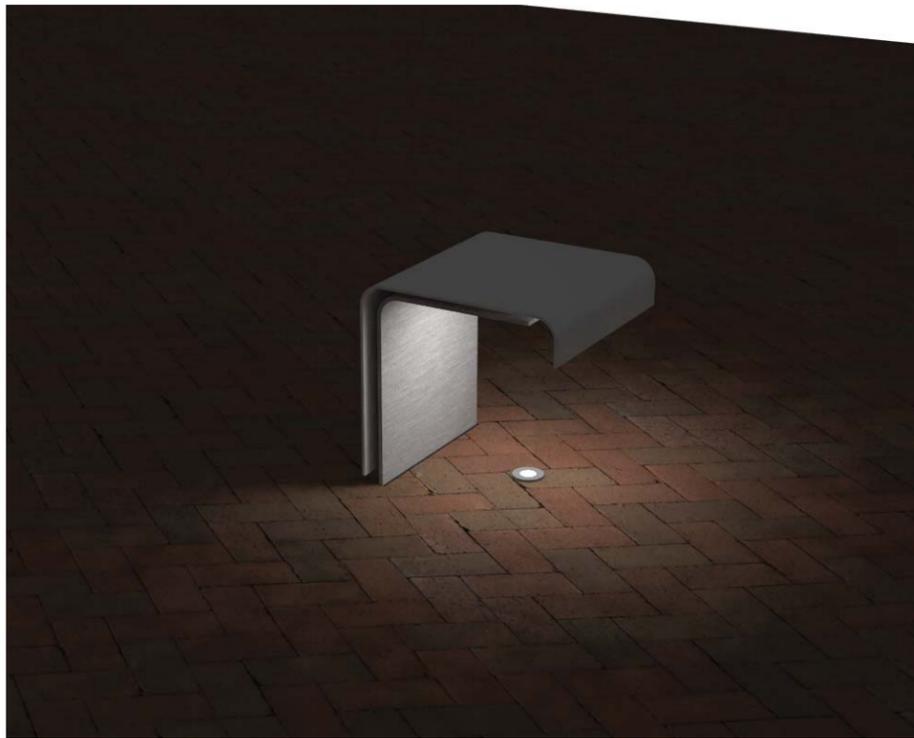
Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





# BENT METAL BENCH

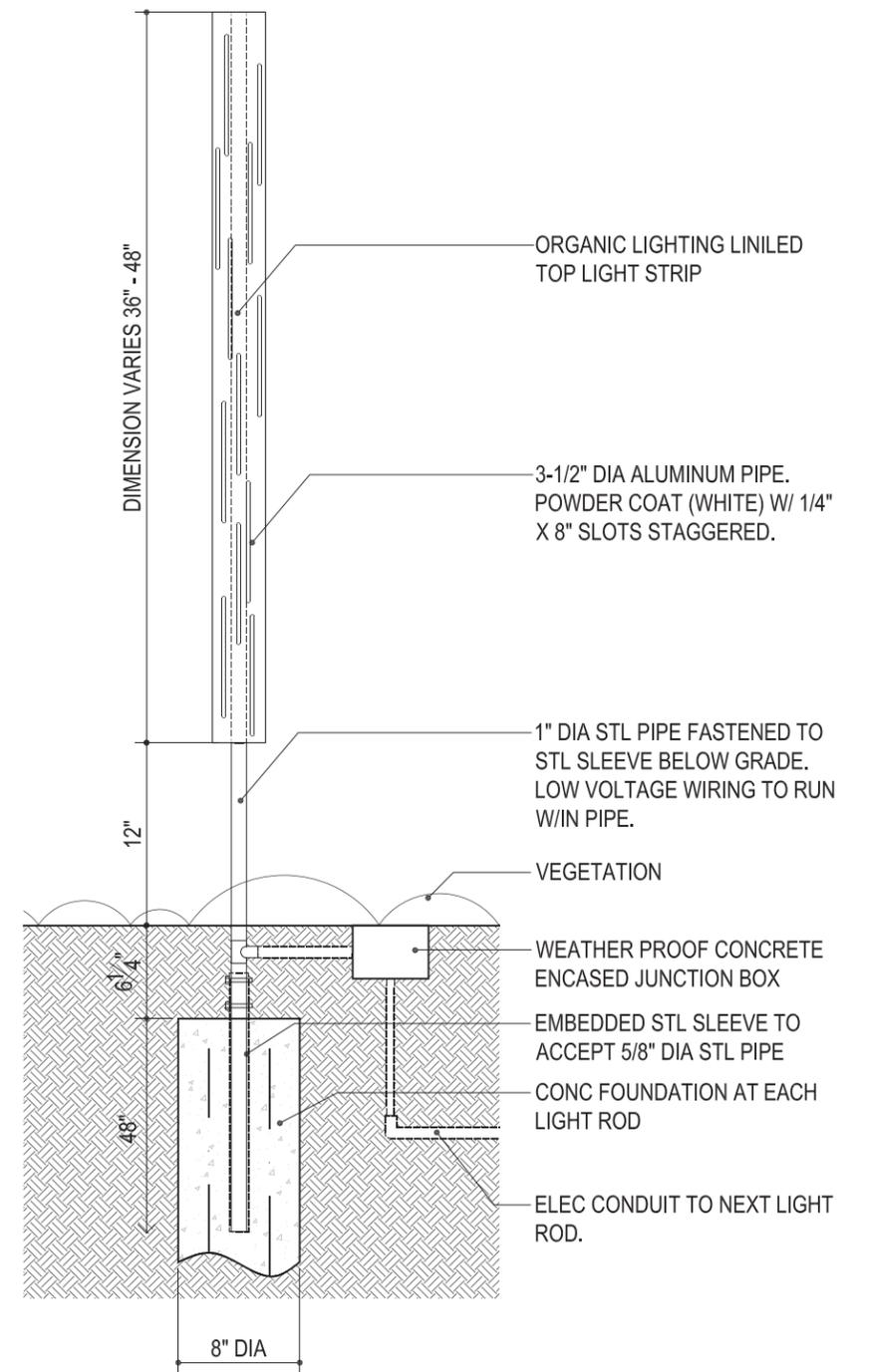
Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





# LANDSCAPE LIGHT FIXTURE

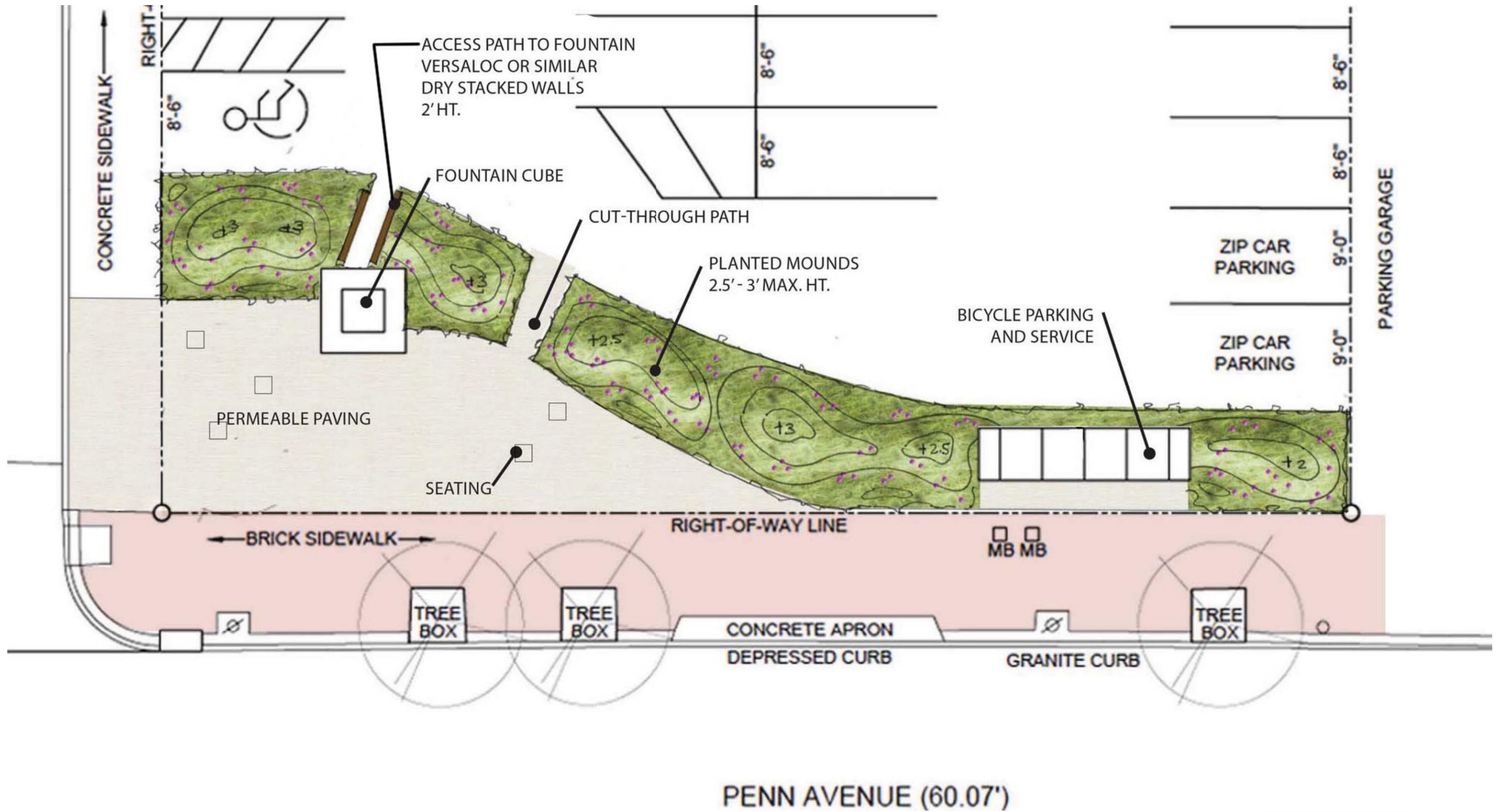
Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





# LANDSCAPE PLAN

Cultural Trust | 8th Street Park

Origin4Design

Sci-Tek

2012.12.10





**PLANTING SCHEME**  
**BURSTS OF SEASONAL ACCENT COLOR IN CLUMPING GRASSES**



Little Bunny Fountain Grass



White Muscari



Ambassador Allium



Gladiator Allium



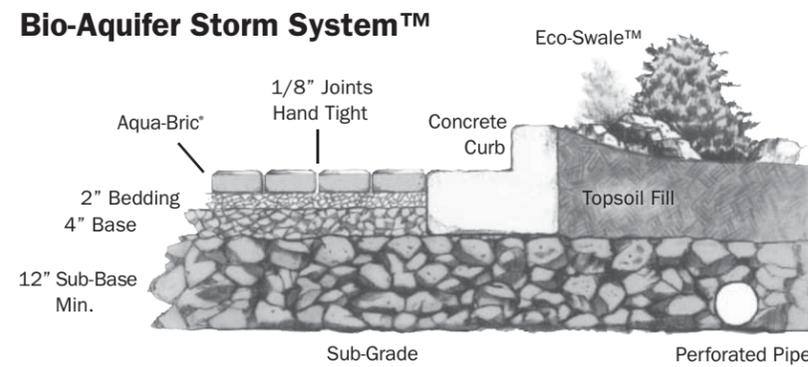
Silver Spring Allium



Ruby Star Coneflower



Milkshake Coneflow



**PLANTING PLAN**

Cultural Trust | 8th Street Park



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

**Office of the Zoning Administrator**

**200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219**

*(Zoning Use Only)*

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: Cityview Realty, LLC		Phone Number: (     )	
Address: 12 Grandview Cr City: Canonsburg		State: Pa	Zip Code: 15317
2. Applicant/Company Name: Allegheny Construction Group		Phone Number: (     )	
Address:	City:	State:	Zip Code:
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: 1208 Grandview Ave.			
4. Development Location: Mt. Washington			
5. Development Address: 1208 Grandview Ave.			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: N/A	Date Issued: June - 1965	Existing Use of Property: Tavern / 1 Fam. Res.	
8. Estimated Construction:	Start Date: 11/15/13	Occupancy Date: / / N/A	Project Cost: \$650,000.00

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [http://www.city.pittsburgh.pa.us/cp/html/land\\_use\\_control\\_and\\_zoning.html](http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **Restaurant**

10. Select the Type of Work:

New Construction, New       Renovation, Interior

New Construction,       Renovation, Exterior

Change in Use Only       Renovation, Change in Use

11. Describe the Development:

Renovation of existing restaurant building: Structural Renovations; Exterior Veneer; New Elevator; New Storefront

12. Is a Land Operations Permit needed?       YES       NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13. Proposed Number of New Structures or Building Additions:**  N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

**14. Gross Floor Area:**

Existing to be Razed:	_____	sq ft
Existing to be Retained:	8,000	sq ft
Retained Area to be Renovated:	8,000	sq ft
To be Constructed:	_____	sq ft
Building Footprint:	2,000	sq ft

15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	3	36		
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):


**16. Number of Dwelling Units:**  
 Existing to Remain: 0      Proposed: 0

**17. Lot Area:** \_\_\_\_\_ sq ft

**18. On Site Parking:**  N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A  
 Actual: 0  
 Required: 0

**19. Please check any of the following items that will be part of the proposed work:**  N/A

Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm  
 Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed



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**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

**21.** Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

0 _____ New Water Service Connection(s)	0 _____ Termination of Existing Water Service Tap(s)
0 _____ New Sewer Service Connection(s)	0 _____ Termination of Existing Sewer Service Tap(s)

**22.** Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES       NO

**23.** If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

**24.** If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

**25.** Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

**26.** Applicant will be applying for a Visitability Tax Credit?       Yes       No

Applicant Signature: \_\_\_\_\_



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**City Zoning Code**

<http://www.municode.com/resources/gateway.asp?sid=38&pid=13525>

**Department of Public Safety  
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2175  
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**Department of Public Works (DPW)  
Bureau of Engineering and Construction**

Bureau of Public Space Management  
City-County Building, Room 301  
414 Grant Street  
Pittsburgh, PA 15219  
(412) 255-8850  
[www.city.pittsburgh.pa.us/pw/](http://www.city.pittsburgh.pa.us/pw/)

**Department of Public Works (DPW)  
Permit Office**

611 Second Avenue  
Pittsburgh, PA 15219  
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[www.city.pittsburgh.pa.us/pw/](http://www.city.pittsburgh.pa.us/pw/)

**Pittsburgh Water and Sewer Authority  
(PWSA)**

Permit Counter  
441 Smithfield Street, Second Floor  
Pittsburgh, PA 15222  
(412) 255-2443  
[www.pgh2o.com](http://www.pgh2o.com)  
*Refer to the PWSA Procedures Manual for Developers.*

**Allegheny County Health Department (ACHD)**

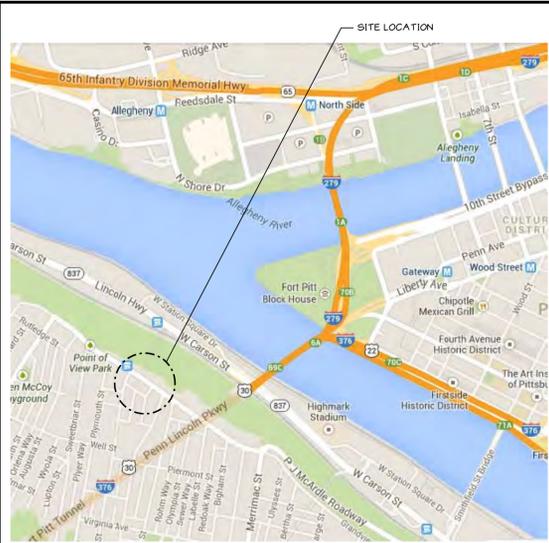
Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224  
(412) 578-8036  
[www.achd.net/progstartfolder/plumbingstart.html](http://www.achd.net/progstartfolder/plumbingstart.html)

**Allegheny County Health Department (ACHD)**

Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224  
(412) 578-8044  
<http://www.achd.net/food/foodstart.html>

**Allegheny County Health Department (ACHD)**

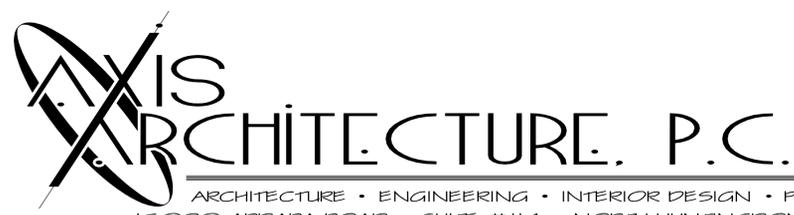
Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
<http://www.achd.net/housing/commenvironstart.html>



LOCATION PLAN

# EXTERIOR RENOVATIONS TO: 1208 GRANDVIEW AVENUE

1208 GRANDVIEW AVENUE  
PITTSBURGH, PA 15211



ARCHITECTURE • ENGINEERING • INTERIOR DESIGN • PLANNING  
15020 ARDARA ROAD SUITE #114 NORTH HUNTINGDON, PA 15642



EXTERIOR BUILDING  
RENOVATIONS TO:  
1208 GRANDVIEW AVENUE  
PITTSBURGH, PA 15211

## MATERIALS AND SYMBOLS

	BATT INSULATION		MATCH LINE
	CONCRETE BLOCK		SECTION
	IN ANY BLOCK		ELEVATION
	BRICK		ELEVATION
	CONCRETE		DETAIL
	ROCK FILL/GRAVEL		WINDOW SYMBOL
	EARTH		DOOR SYMBOL
	METAL STUD WALL		NEW CONSTRUCTION NOTE SEE "GENERAL NOTES"
	PARTIAL HEIGHT METAL STUD WALL		WALL TYPE SYMBOL
	ROUGH WOOD		RELOCATION NOTE HAS LETTER PREFIX
	FINISHED WOOD		DEMOLITION NOTES
	PLYWOOD		ASBESTOS NOTES
	RIGID INSULATION		EQUIPMENT IDENTIFICATION
	EXISTING WALL		NORTH
	DEMOLISH WALL		EXISTING COLUMN LINE
	NEW WALL		NEW COLUMN LINE
			CLASSROOM
			REVISION SYMBOL

## ABBREVIATIONS

∠	AND	EQUIP	EQUIPMENT	OH	OVERHEAD
∠	ANGLE	EWC	ELECTRICAL WATER	OPG	OPENING
⊙	AT	EXIST	EXISTING	OPP	OPPOSITE
⊙	CENTERLINE	EXP	EXPANSION	PLAS	PLASTIC
⊙	DIAMETER or ROUND	EXT	EXTERIOR	PLAS	PLASTER
⊙	PLATE	FD	FLOOR DRAIN	PLYW	PLYWOOD
⊙	FOUND or NUMBER	FE	FIRE EXTINGUISHER	PSF	POUNDS PER SQUARE
AB	ANCHOR BOLT	FEC	FIRE EXTINGUISHER	FOOT	FOOT
ACT	ACROUSTICAL CEILING	FIB	FIRE EXTINGUISHER	PSI	POUNDS PER SQUARE
ADD	ADDITIONAL	FIN	FIRE HOSE CABINET	FT	FOOT
ADJ	ADJUSTABLE	FLR	FLOOR	PT	POINT
ALUM	ALUMINUM	FRTW	FIRE RETARDANT	FTD	PAINT, PAINTED
APPROX	APPROXIMATE	FLR	FLOURESCENT	QT	QUARRY TILE
ARCH	ARCHITECTURAL	FT	FOOT, FEET	R	RISER
ASPH	ASPHALT	FTG	FOOTING	R, RAD	RADIUS
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	FURR	FURRING	RD	ROOF DRAIN
BD	BOARD	GA	GAUGE	REF	REFERENCE
BIT	BITUMINOUS	GALV	GALVANIZED	REIN	REINFORCED
BM	BENCH MARK	GC	GENERAL CONTRACTOR	REQD	REQUIRED
BLDG	BUILDING	GL	GLASS/GLAZED	RM	ROOM
BLK	BLOCK	GWB	GYPSPUM WALLBOARD	RO	ROUGH OPENING
BLKG	BLOCKING	GWB	GYPSPUM WALLBOARD	RWC	RAIN WATER CONDUCTOR
BLKHD	BULKHEAD	GWB	GLASS/GLAZED	SCHED	SCHEDULE
BOT	BOTTOM	H-C	HANDICAP	SECT	SECTION
BRK	BRICK	HW	HARDWARE	SHR	SHOWER
CAB	CABINET	HWD	HARDWOOD	SHT	SHEET
CB	CATCH BASIN	HM	HOLLOW METAL	SIM	SIMILAR
CEM	CEMENT	HORIZ	HORIZONTAL	SPEC	SPECIFICATION
CJ	CONTROL JOINT	HGT	HEIGHT	SQ	SQUARE
CLG	CEILING	ID	INSIDE DIAMETER	SS	STAINLESS STEEL
CB	CHALKBOARD	IN	INSULATION, INSULATED	STD	STANDARD
CLR	CLEAR	INSUL	INSULATION, INSULATED	STL	STEEL
CLO	CLOSET	INT	INTERIOR	STG, STOR	STORAGE
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	STRUCT	STRUCTURE, STRUCTURAL
COL	COLUMN	INV	INVERT	SUSP	SUSPENDED
CONC	CONCRETE	JAN	JANITOR	SYM	SYMMETRICAL
CONT	CONTINUOUS	JT	JOINT	T	TREAD
CORR	CORROSION	KIT	KITCHEN	T/	TOP OF
OPT	CARPET	LAV	LAVATORY	TB	TACKBOARD
CT	CERAMIC TILE	LAV	LAVATORY	TEL	TELEPHONE
CTR	CENTER	LCKR	LOCKER	T&G	TONGUE AND GROOVE
CONST	CONSTRUCTION	LL	LIGHT	TLT	TOILET
DBL	DOUBLE	LLV	LONG LEG VERTICAL	UIDCK	UNDERSIDE OF DECK
DEPT	DEPARTMENT	MAX	MAXIMUM	UL	UNDERWRITERS
DET	DETAIL	MB	MARKERBOARD	UNO	UNLESS NOTED OTHERWISE
DF	DRINKING FOUNTAIN	MCI	MASONRY CONTROL JOINT	VCT	VINYL COMPOSITION TILE
DIA	DIAMETER	MECH	MECHANICAL	VERT	VERTICAL
DN	DOWN	MTL	METAL	VEST	VESTIBULE
DR	DOOR	MFR	MANUFACTURER	W/	WITH
DWG	DRAWING	MH	MANHOLE	W/	WOOD
DWR	DRAWER	MN	MINIMUM	WD	WOOD
EA	EACH	MISC	MISCELLANEOUS	W/O	WITHOUT
EJ	EXPANSION JOINT	MO	MASONRY OPENING	W/P	WATERPROOF
EL	ELEVATION	MTD	MOUNTED	WT	WEIGHT
ELEC	ELECTRICAL	NO	NUMBER	WT	WELDED WIRE FABRIC
ELEV	ELEVATOR	NOM	NOMINAL	WDF	WINDF
ENCL	ENCLOSURE	NTS	NOT TO SCALE		
EQ	EQUAL	OC	ON CENTER		
		OD	OUTSIDE DIAMETER		
		OFF	OFFICE		

## GENERAL NOTES

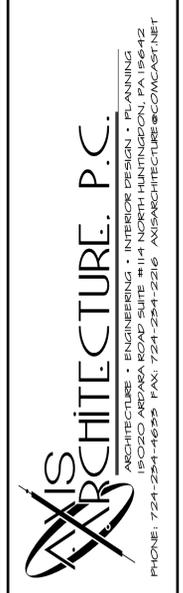
- BEFORE EXCAVATION OR TRENCHING THE RESPECTIVE PRIME CONTRACTOR IS RESPONSIBLE TO HAVE ALL UNDERGROUND UTILITIES LOCATED BY CALLING PENNSYLVANIA ONE CALL AND THE UTILITY COMPANIES.
- THE CONTRACTORS SHALL VERIFY ALL LINES, LEVELS AND DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL REPORT ALL INCONSISTENCIES TO THE ARCHITECT BEFORE STARTING WORK. RE-CHECK DIMENSIONS BEFORE ORDERING MANUFACTURED AND FABRICATED ITEMS. DIMENSIONS OF AND FROM EXISTING CONDITIONS HAVE BEEN TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS AND FIELD DIMENSIONS.
- ALL CONTRACTORS SHALL SUPPORT ALL EQUIPMENT FROM STRUCTURAL MEMBER. NO EQUIPMENT SHALL BE SUPPORTED FROM ROOF DECK ABOVE UNLESS NOTED OTHERWISE.
- FLOOR PLAN DIMENSIONS ARE TO DRYWALL FINISH, CENTERLINE, OR MASONRY, UNLESS NOTED OTHERWISE.
- ALL PARTITIONS SHALL RUN TO STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
- INTERIOR CONTRACTOR SHALL INSTALL BLOCKING FOR DOOR BUMPERS GRAB BARS, HAND RAILS, CABINETS AND OTHER SUPPORTING ACCESSORIES AT ALL DRYWALL/PLASTER PARTITIONS.
- ALL LOOSE ANGLES, BEAMS OR CHANNELS REQUIRED THROUGHOUT THE BUILDING FOR OPENINGS, AND SUPPORTS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR.
- FURNISH ALL LOOSE ANGLES, BEAMS, OR CHANNELS REQUIRED THROUGHOUT THE BUILDING FOR OPENINGS, AND SUPPORTS.
- GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL FIRE EXTINGUISHER CABINETS WHERE NOTED ON THE DRAWINGS AS FOLLOWS:
  - NOT USED.
  - NOT USED.
- COORDINATE LOCATIONS OF ALL MECHANICAL, ELECTRICAL AND PLUMBING BULKHEADS AND CHASES WITH THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
- THE CONTRACTORS ARE RESPONSIBLE FOR VISITING THE JOB SITE AND FAMILIARIZING THEMSELVES WITH EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
- THE CONTRACTORS SHALL AT ALL TIME MAINTAIN ADEQUATE PROTECTION TO SAFEGUARD THE PUBLIC AND ALL PERSONS ENGAGED IN THE PERFORMANCE OF THE WORK.
- PROVIDE SEALANT AT ALL JOINTS WHERE DIFFERENT MATERIALS ABUT.
- ALL PRIME CONTRACTORS ARE RESPONSIBLE TO INCLUDE IN THEIR BID WORK THAT PERTAINS TO THEIR CONTRACT WHICH MAY BE DESCRIBED IN ANY OF THE DISCIPLINES REGARDLESS OF WHAT DWG. THAT WORK IS SHOWN ON.
- ALL METAL STUD PARTITIONS AND BULKHEADS TO BE ABUSE-RESISTANT GYPSPUM WALL BOARD FROM 8'-0" AFF. TO FINISH FLOOR AND REGULAR GYPSPUM WALL BOARD ABOVE 8'-0" AFF.
- COORDINATE LOCATION OF ALL EXISTING AND NEW UNDERGROUND LINES WITH MECHANICAL, ELECTRICAL AND PLUMBING SITE DRAWINGS.
- ALL WOOD MATERIALS USED (EXCLUDING INTERIOR TRIM) ARE TO BE RATED NON-COMBUSTIBLE.
- PERFORM MOISTURE AND BOND TESTS ON ALL CONCRETE FLOORS PRIOR TO INSTALLATION OF NEW FLOOR FINISHES. TEST REPORTS SHALL BE DOCUMENTED AND SUBMITTED TO ARCHITECT, PRIOR TO INSTALLATION OF NEW FLOOR FINISHES, TO ASSURE MOISTURE AND BOND REQUIREMENTS MEET MANUFACTURER'S WRITTEN SPECIFICATION.

## CODE REQUIREMENTS

- CITY OF PITTSBURGH PA / ALLEGHENY COUNTY  
2009 INTERNATIONAL BUILDING CODE AND 2009 IEBC  
OCCUPANCY GROUP, CURRENT - A-2  
CONSTRUCTION TYPE - TYPE 5B  
SPRINKLERED  
EXTERIOR AND SHELL RENOVATIONS ONLY -  
DRAWINGS TO BE SUBMITTED AT LATER DATE FOR  
FUTURE TENANT FIT OUT.

## DRAWING LIST

CS-1	COVER SHEET
A-1	DEMOLITION PLANS
A-2	DEMOLITION PLANS
A-3	FLOOR PLANS
A-4	FLOOR PLANS
A-5	ELEVATOR DETAILS / CEILING PLAN
A-6	ELEVATIONS
A-7	WALL SECTIONS
A-8	WALL SECTIONS
S000	GENERAL NOTES ABBREVIATIONS & LEGENDS
S100	FOUNDATION PLAN & FIRST FLOOR FRAMING PLAN
S101	SECOND FLOOR FRAMING PLAN & THIRD FLOOR FRAMING PLAN
S102	ROOF FRAMING PLAN
S200	TYPICAL FOUNDATION DETAILS & SECTIONS
S300	TYPICAL FRAMING DETAILS & SECTIONS



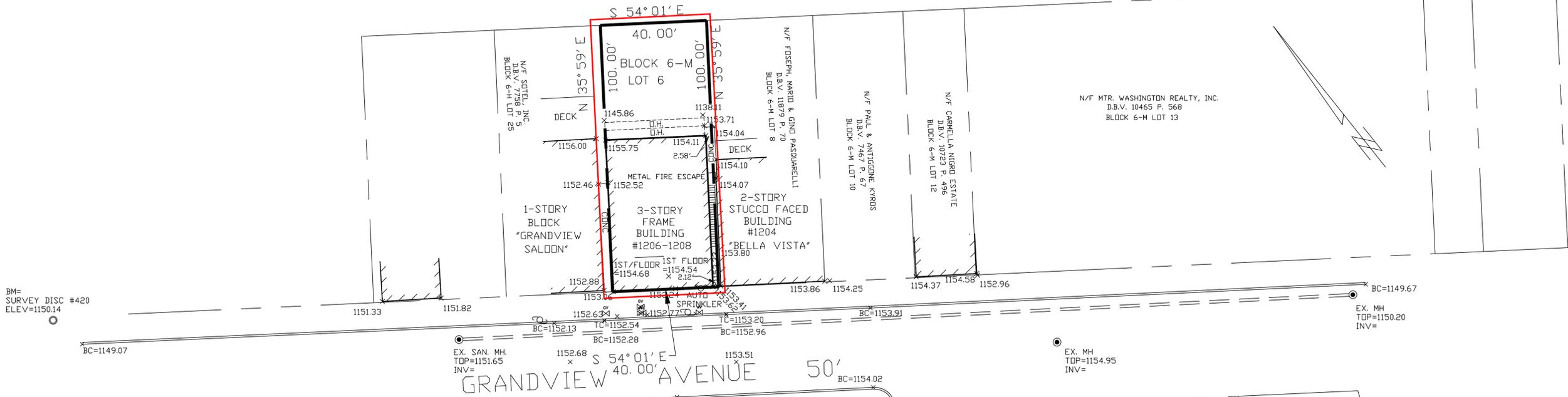
DATE: 9/7/13  
DRAWN BY: K.S.C.  
REVIEWED BY: C.W.C.  
REVISIONS: 4 SEPTEMBER 13  
30 DECEMBER 2013

PROJECT NO. 2013-230

SHEET DESCRIPTION:  
  
COVER SHEET

SHEET NO. OF  
  
CS-1

P. C. C. & ST. LOUIS RAILROAD COMPANY



BM= SURVEY DISC #420  
ELEV=1150.14

GRANDVIEW AVENUE 50'

# PLAN OF PROPERTY

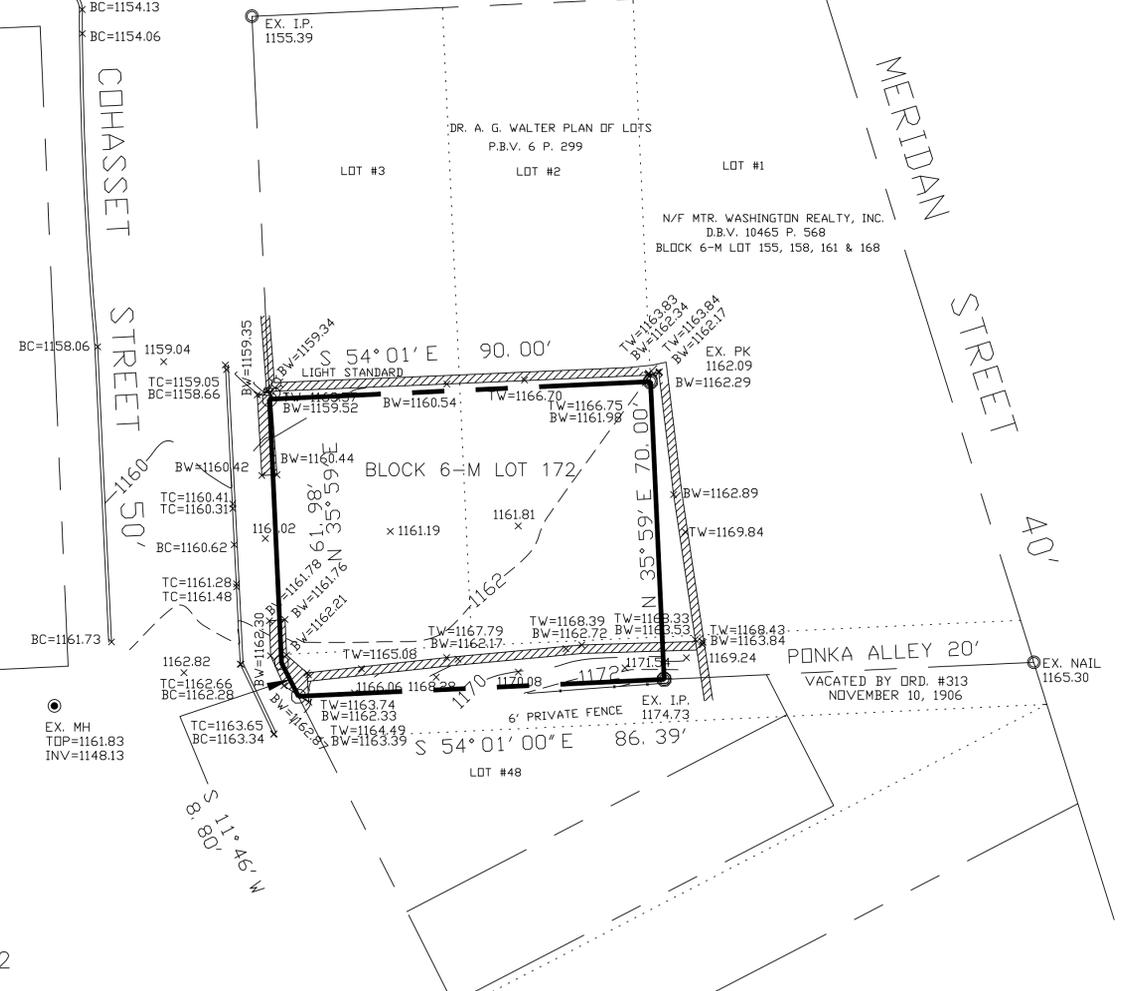
SITUATE IN  
19TH WARD - CITY OF PITTSBURGH  
ALLEGHENY COUNTY, PA

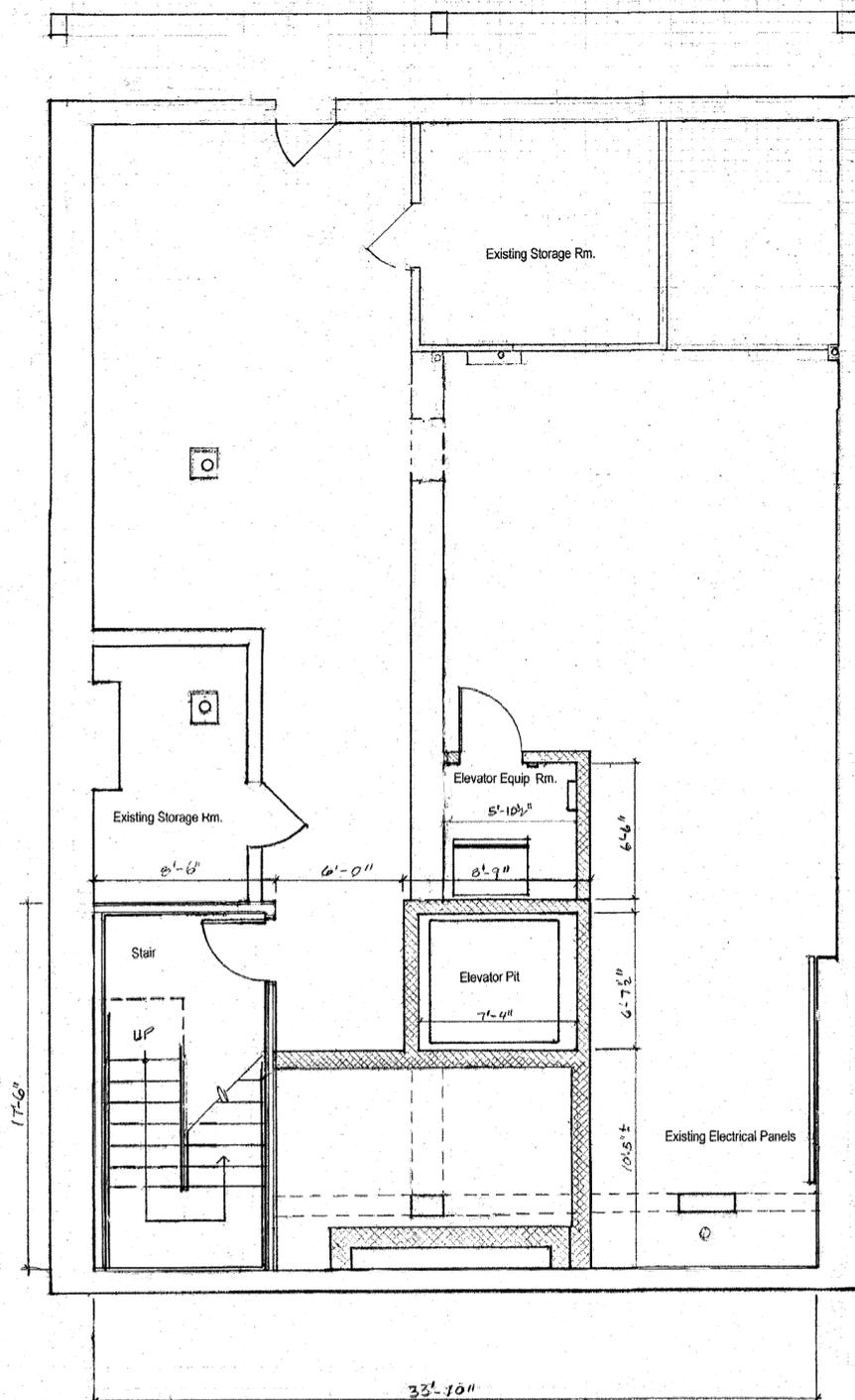
MADE FOR  
CLAIRMONT DEVELOPMENT LLC

SCALE: 1" = 20'      DATE: DECEMBER 1, 2005

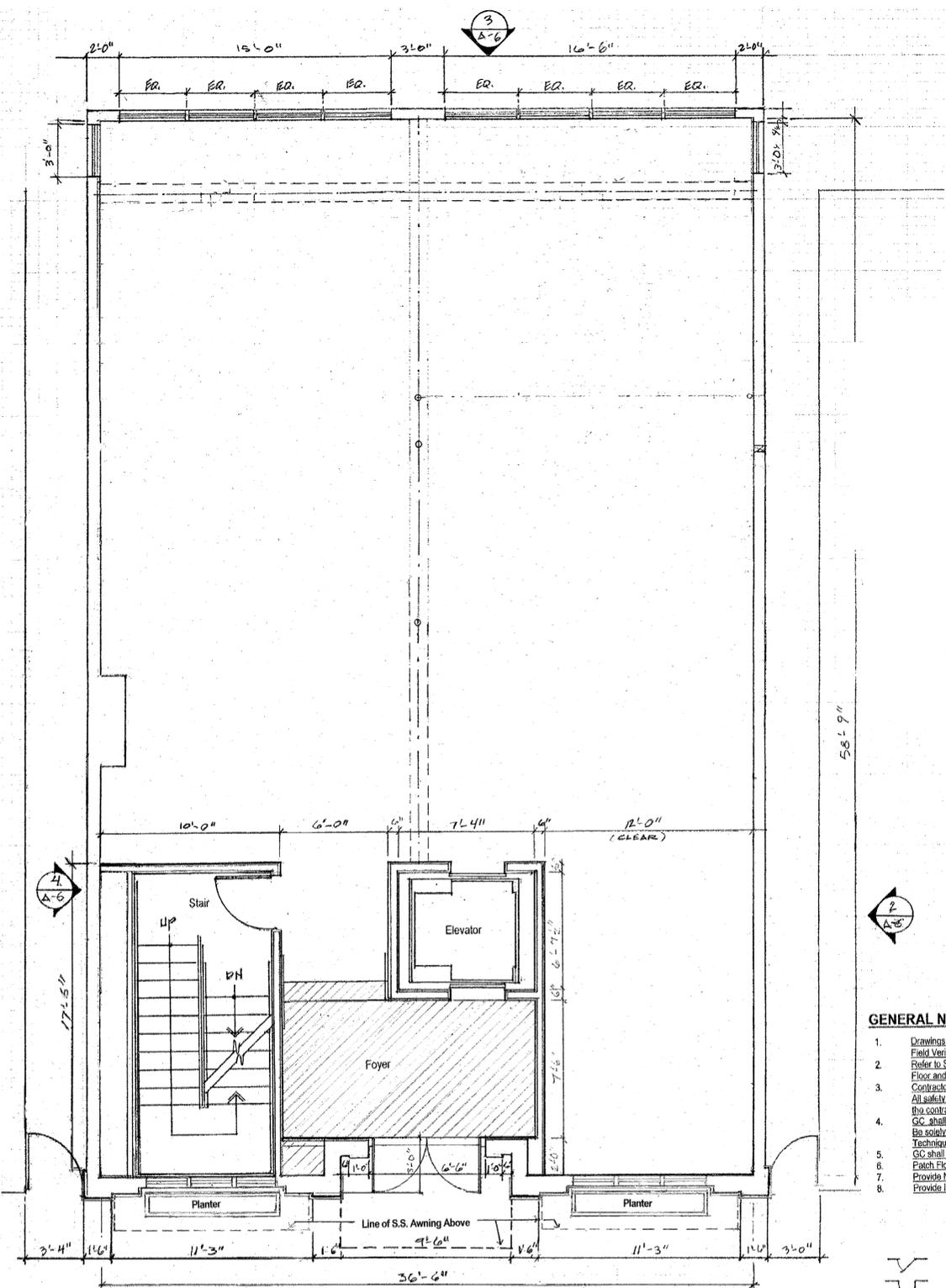
PREPARED BY  
J.R. GALES & ASSOCIATES, INC.  
2704 BROWNSVILLE ROAD  
PITTSBURGH, PA 15227  
PHONE (412) 885-8885 FAX (412) 885-1320 05-87025

SB 707 P 48-49      BLOCK 6-M LOTS 6 & 172





1  
A-3  
**Lower Level Floor Plan**  
1/4" = 1' - 0"



2  
A-3  
**First Floor Plan**  
1/4" = 1' - 0"

- GENERAL NOTES:**
1. Drawings are diagrammatic. Contractor shall verify actual conditions. Field Verify All Dimensions. Notify Designer of all discrepancies.
  2. Refer to Structural Drawings for all information on footers, foundations, floor and roof framing, beam and lintel sizes.
  3. Contractor shall be responsible for installing, maintaining, and supervising all safety precautions and programs in connection with performance of the contract.
  4. GC shall supervise and direct the work using skill and attention. GC shall be solely responsible for and have control over construction means, methods, techniques, sequences, and procedures of the work under the contract.
  5. GC shall coordinate all work with other trades.
  6. Patch Floor where partitions have been removed. Match Existing Materials.
  7. Provide New 3/4" Plywood Sub-Floor for First, Second and Third Floors.
  8. Provide insulation at New Roof, and New Exterior Facade.



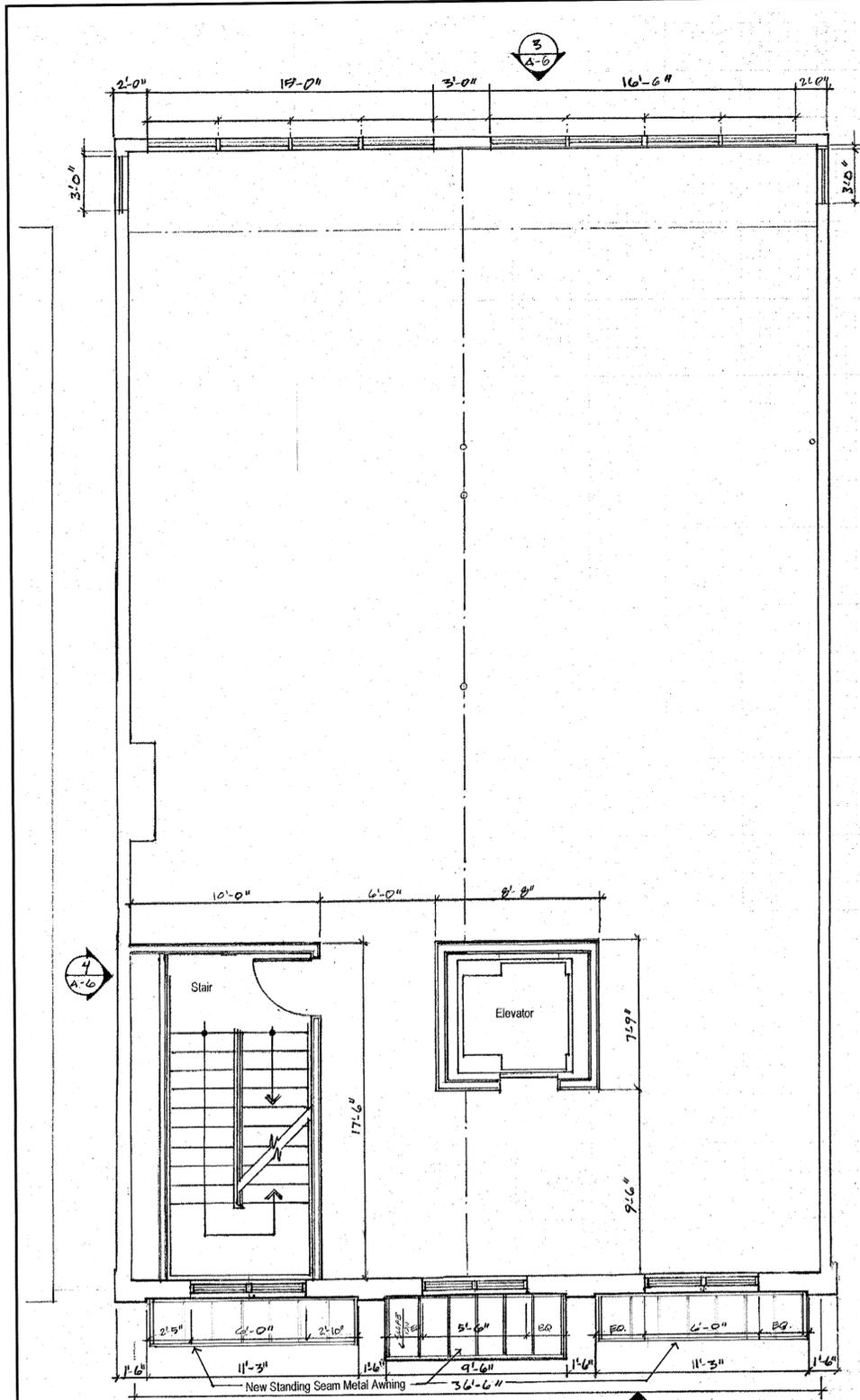
EXTERIOR BUILDING  
RENOVATIONS TO:  
1208 GRANDVIEW AVENUE  
PITTSBURGH, PA 15211

**AXIS ARCHITECTURE. P.C.**  
ARCHITECTURE • ENGINEERING • INTERIOR DESIGN • PLANNING  
19020 ARDARA ROAD SUITE #114 NORTH HUNTINGDON, PA 15642  
PHONE: 724-234-1633 FAX: 724-234-2216 AXISARCHITECTURE.COM/CASTNET

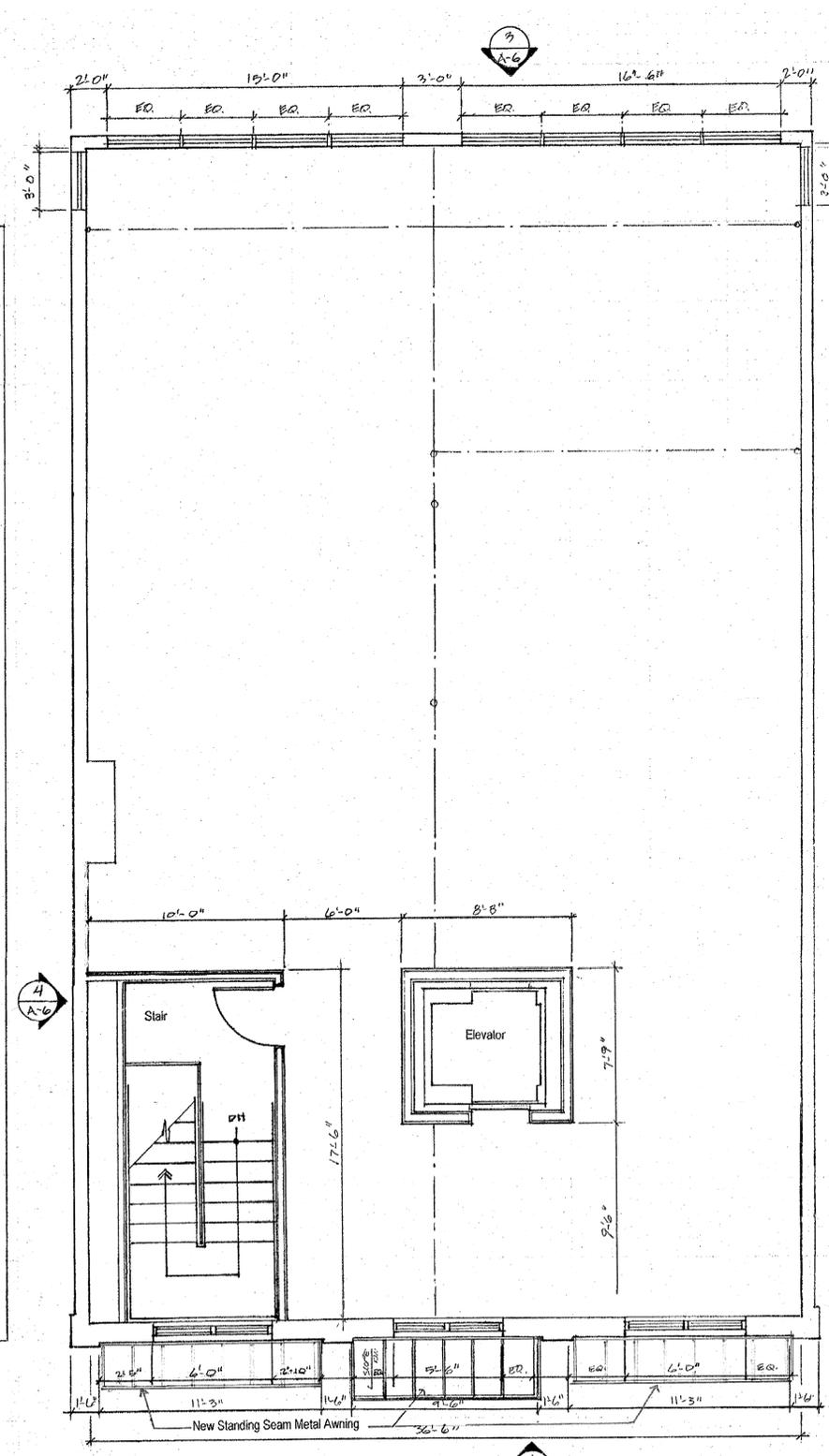
DATE: 9/7/13  
DRAWN BY: K.S.C.  
REVIEWED BY: C.W.C.  
REVISIONS:

PROJECT NO. 2013.230  
SHEET DESCRIPTION:  
FLOOR PLANS

SHEET NO. OF  
A-3



1  
A1.2  
**Second Floor Plan**  
1/4" = 1' - 0"



2  
A1.2  
**Third Floor Plan**  
1/4" = 1' - 0"

**GENERAL NOTES:**

1. Drawings are diagrammatic. Contractor shall verify actual conditions.
2. Field Verify All Dimensions. Notify Designer of all discrepancies.
3. Refer to Structural Drawings for all information on footers, foundations, Floor and roof framing, beam and lintel sizes.
4. Contractor shall be responsible for installing, maintaining, and supervising all safety precautions and programs in connection with performance of the contract.
5. GC shall supervise and direct the work using skill and attention. GC shall be solely responsible for and have control over construction means, methods, Techniques, sequences, and procedures of the work under the contract.
6. GC shall coordinate all work with other Trades.
7. Patch Floor where partitions have been removed. Match Existing Materials.
8. Provide New 3/4" Plywood Sub-Floor for First, Second and Third Floors.
9. Provide Insulation at New Roof, and New Exterior Facade.



EXTERIOR BUILDING  
RENOVATIONS TO:  
1208 GRANDVIEW AVENUE  
PITTSBURGH, PA 15211

**AXIS ARCHITECTURE. P.C.**  
ARCHITECTS • ENGINEERS • INTERIOR DESIGN • PLANNING  
1114 NORTH HUNTINGDON, PA 15142  
PHONE: 724-234-4625 FAX: 724-234-2216 AXISARCHITECTURE@COMCAST.NET

DATE: 9/7/13  
DRAWN BY: K.S.C.  
REVIEWED BY: C.W.C.  
REVISIONS:

PROJECT NO. 2013-230  
SHEET DESCRIPTION:  
**FLOOR PLANS**

SHEET NO. OF  
**A-4**



EXTERIOR BUILDING RENOVATIONS TO:  
 1208 GRANDVIEW AVENUE  
 PITTSBURGH, PA 15211

**ASIS ARCHITECTURE, P.C.**  
 ARCHITECTURE • ENGINEERING • INTERIOR DESIGN • PLANNING  
 10300 MONROE ROAD SUITE 114 NORTH HUNTINGTON, PA 15642  
 PHONE: 724-234-1688 FAX: 724-234-2216 A\$ISARCHITECTURE@GMAIL.COM

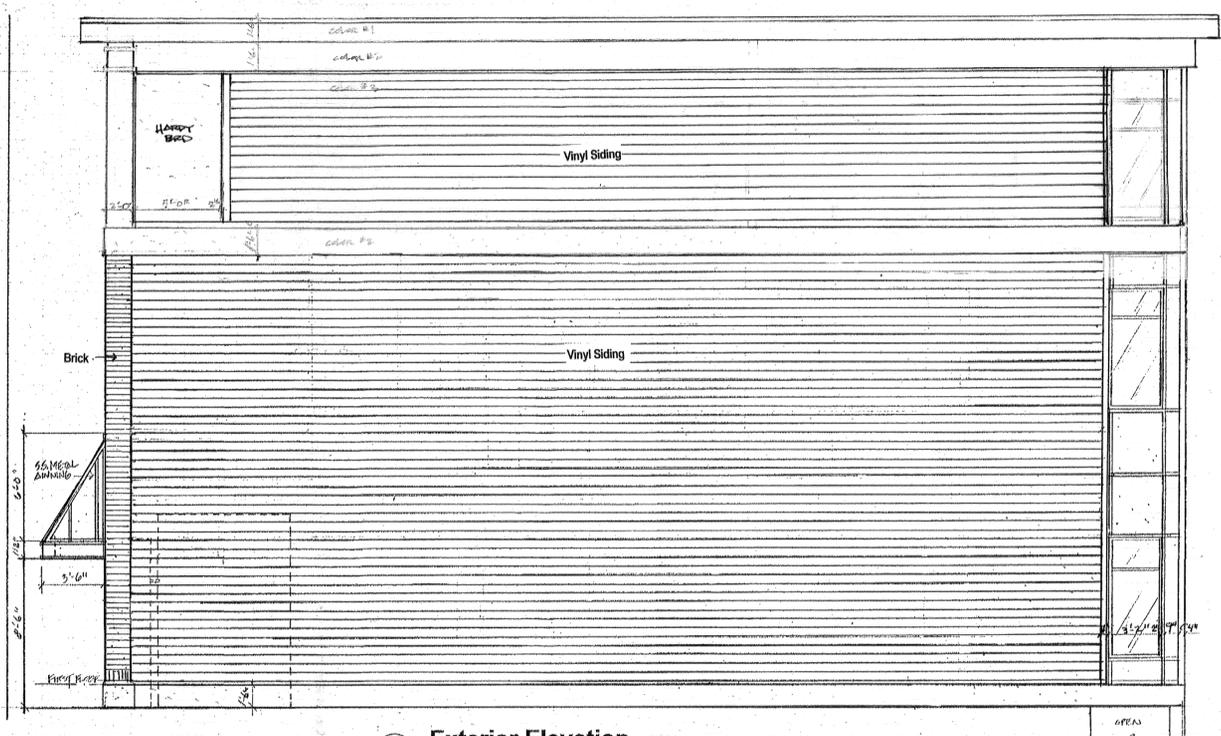
DATE: 9/7/13  
 DRAWN BY: K.S.C.  
 REVIEWED BY: C.W.C.  
 REVISIONS:

PROJECT NO. 2013-230  
 SHEET DESCRIPTION:  
 ELEVATIONS

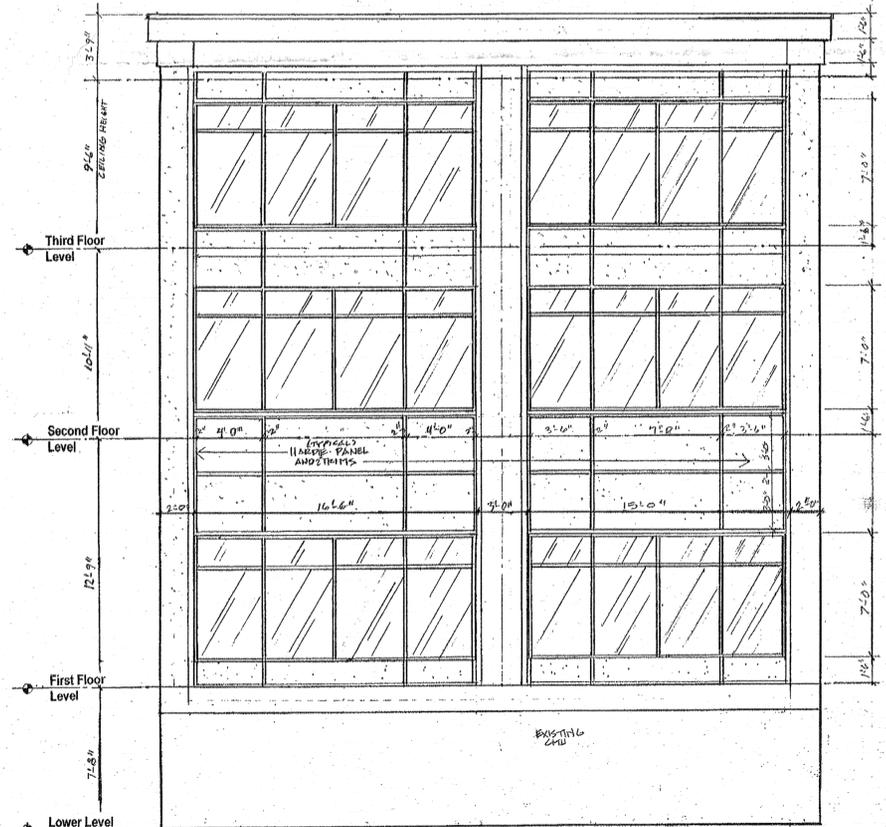
SHEET NO. OF  
**A-6**



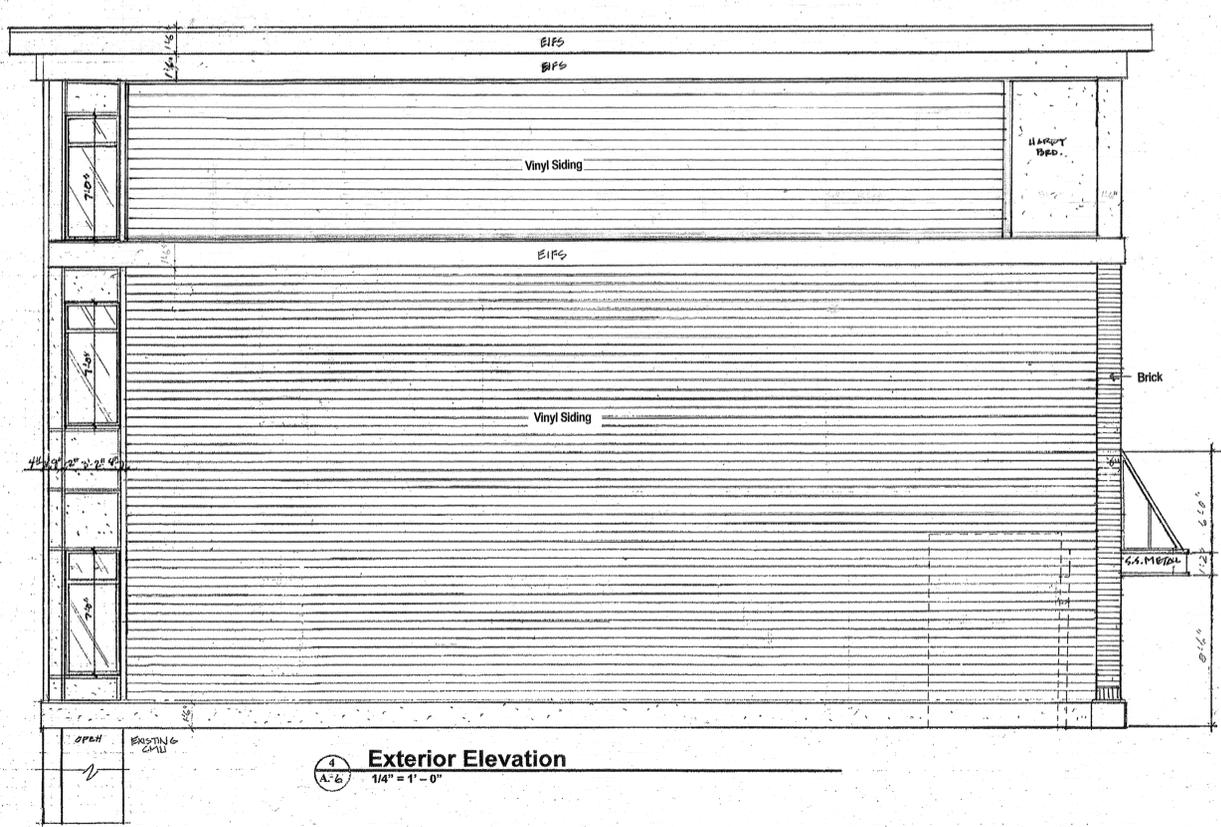
1  
 A-6  
**Exterior Elevation**  
 1/4" = 1' - 0"



2  
 A-6  
**Exterior Elevation**  
 1/4" = 1' - 0"



3  
 A-2  
**Exterior Elevation**  
 1/4" = 1' - 0"



4  
 A-6  
**Exterior Elevation**  
 1/4" = 1' - 0"



← Existing Building Line

Address is approximate



STREETSCAPE BEFORE



STREETSCAPE AFTER



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: Bakery Square 2 Office Parcel A Holdings, LP		Phone Number: (412) 683-3810	
Address: 5500 Walnut Street, Suite 300	City: Pittsburgh	State: PA	Zip Code: 15232
2. Applicant/Company Name: Strada Architecture		Phone Number: (412) 263-3800	
Address: 925 Liberty Ave, 9th Flr	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Contractor ID:(assigned by the City)			
3. Development Name:	Bakery Square 2 Office Building A		
4. Development Location:	Shadyside		
5. Development Address:	6400 Penn Avenue		
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) <b>N/A</b>			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required: <b>N/A</b>			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 03/01/13	Occupancy Date: 01/02/2016	Project Cost: \$ 27 million

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [http://www.city.pittsburgh.pa.us/cp/html/land\\_use\\_control\\_and\\_zoning.html](http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **Office**

10. Select the Type of Work:

New Construction, New       Renovation, Interior

New Construction,               Renovation, Exterior

Change in Use Only               Renovation, Change in Use

11. Describe the Development: **200,000 square foot office building.**

12. Is a Land Operations Permit needed?       YES       NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13. Proposed Number of New Structures or Building Additions:** 1  N/A  
 Residential  Commercial  Recreational  Industrial  Institutional

**14. Gross Floor Area:**

Existing to be Razed:	<u>0</u>	sq ft
Existing to be Retained:	<u>0</u>	sq ft
Retained Area to be Renovated:	<u>0</u>	sq ft
To be Constructed:	<u>218,000</u>	sq ft
Building Footprint:	<u>37,045</u>	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	N/A	N/A	6	85
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):


**16. Number of Dwelling Units:**  
 Existing to Remain: 0 Proposed: 0

**17. Lot Area:** 57,297 sq ft

**18. On Site Parking:**  N/A Parking is being provided in the existing Bakery Square Parking Garage

	Existing	Proposed
Full (8 1/2' x 19')	NA	
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A

Actual:	<u>2</u>
Required:	<u>2</u>

**19. Please check any of the following items that will be part of the proposed work:**  N/A

Demolition  HVAC (Interior)  HVAC (Exterior)  Electrical  Fire Alarm  
 Fire Protection/Sprinklers  Deck Construction  Commercial Cooking Hood  Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing  New Construction of Plumbing  No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

**21.** Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u>  2  </u> New Water Service Connection(s)	<u>  0  </u> Termination of Existing Water Service Tap(s)
<u>  2  </u> New Sewer Service Connection(s)	<u>  0  </u> Termination of Existing Sewer Service Tap(s)

**22.** Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES                       NO

**23.** If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

**24.** If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street                       Private Property                       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

**25.** Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

**26.** Applicant will be applying for a Visitability Tax Credit?                       Yes                       No

Applicant Signature: \_\_\_\_\_



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219**

**Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9**

**Residential Uses**

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

**Non-Residential Uses**

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Heliport
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



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**DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION**

**Department of City Planning**

200 Ross Street, Fourth Floor  
Pittsburgh, PA 15219  
(412) 255-2200  
[www.city.pittsburgh.pa.us/cp/](http://www.city.pittsburgh.pa.us/cp/)

**Department of City Planning  
Zoning Office Counter**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2246  
[www.city.pittsburgh.pa.us/cp/html/land\\_use\\_control\\_and\\_zoning.html](http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html)

**City Zoning Code**

<http://www.municode.com/resources/gateway.asp?siid=38&pid=13525>

**Department of Public Safety  
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2175  
[www.city.pittsburgh.pa.us/BBI/](http://www.city.pittsburgh.pa.us/BBI/)

**Department of Public Works (DPW)  
Bureau of Engineering and Construction**

Bureau of Public Space Management  
City-County Building, Room 301  
414 Grant Street  
Pittsburgh, PA 15219  
(412) 255-8850  
[www.city.pittsburgh.pa.us/pw/](http://www.city.pittsburgh.pa.us/pw/)

**Department of Public Works (DPW)  
Permit Office**

611 Second Avenue  
Pittsburgh, PA 15219  
(412) 255-2382  
[www.city.pittsburgh.pa.us/pw/](http://www.city.pittsburgh.pa.us/pw/)

**Pittsburgh Water and Sewer Authority (PWSA)**

Permit Counter  
441 Smithfield Street, Second Floor  
Pittsburgh, PA 15222  
(412) 255-2443  
[www.pgh2o.com](http://www.pgh2o.com)  
*Refer to the PWSA Procedures Manual for Developers.*

**Allegheny County Health Department (ACHD)**

Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224  
(412) 578-8036  
[www.achd.net/progstartfolder/plumbingstart.html](http://www.achd.net/progstartfolder/plumbingstart.html)

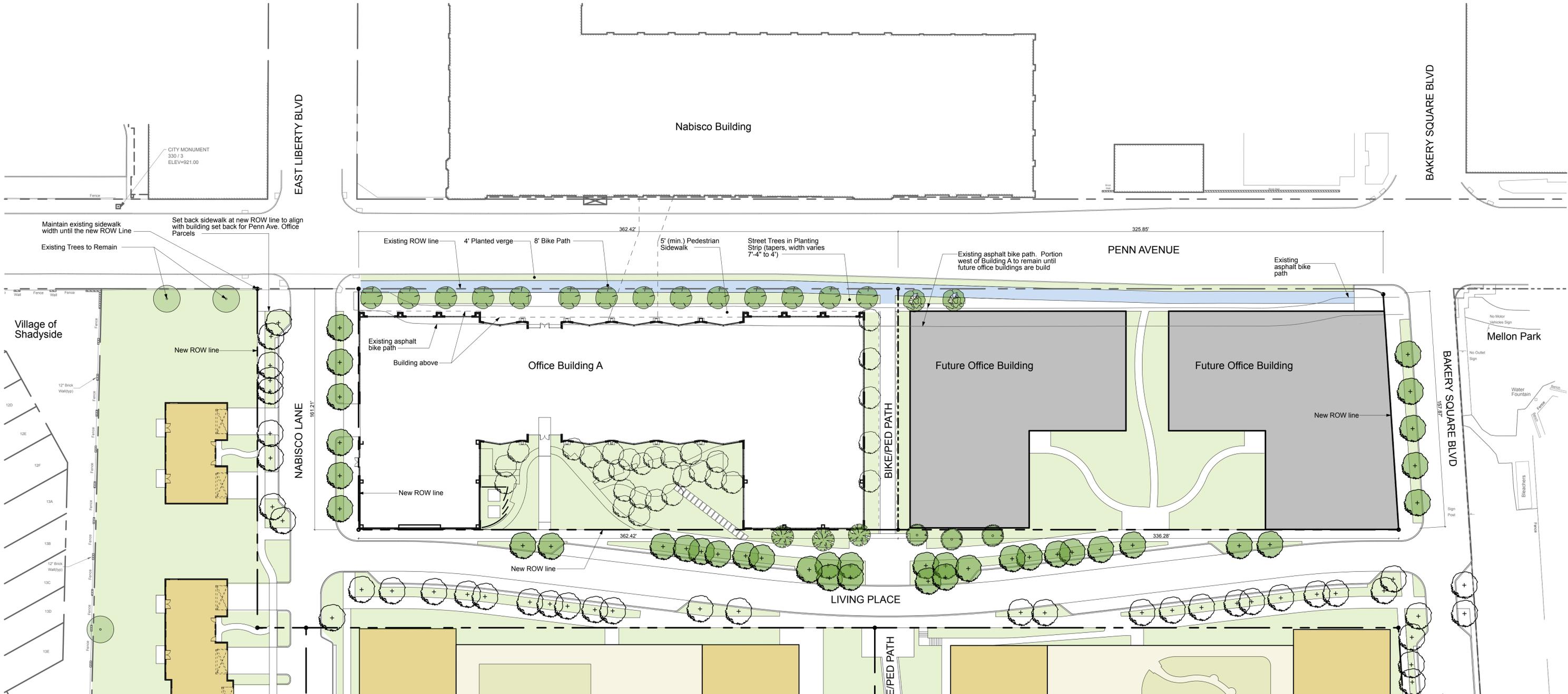
**Allegheny County Health Department (ACHD)**

Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224  
(412) 578-8044  
<http://www.achd.net/food/foodstart.html>

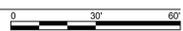
**Allegheny County Health Department (ACHD)**

Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
<http://www.achd.net/housing/commenvironstart.html>



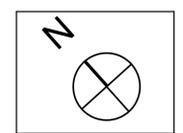


1 Penn Avenue Streetscape Option A  
SCALE: 1" = 30'



Symbol	Building A Parcel Street Tree analysis	Building C&D Parcel Street Tree analysis
	LF of Property line facing a public ROW: 886	LF of Property line facing a public ROW: 820
	Street Trees required (886/30): 30	Street Trees required (886/30): 28
	Street Trees provided in the public ROW as part of URA Roadway Project: 19	Street Trees provided in the public ROW as part of URA Roadway Project: 18
	Additional Street Trees in the public ROW as part of Building A project: 3	Additional Street Trees in the public ROW as part of future Bldg projects: 3
	Additional Street Trees proposed along Penn Avenue as part of Bldg A project: 14	Additional Street Trees proposed in along Penn Avenue as part of future Bldg projects: 2 (max)
	<b>TOTAL STREET TREES 36</b>	<b>TOTAL STREET TREES 23</b>

<b>TOTAL STREET TREES ALL OFFICE PARCELS</b>	Required (30+28)	58
	Provided (36+23)	59





RETAIL OFFICE HOTEL ENTERTAINMENT

**BkSq**  
**BAKERY SQUARE**

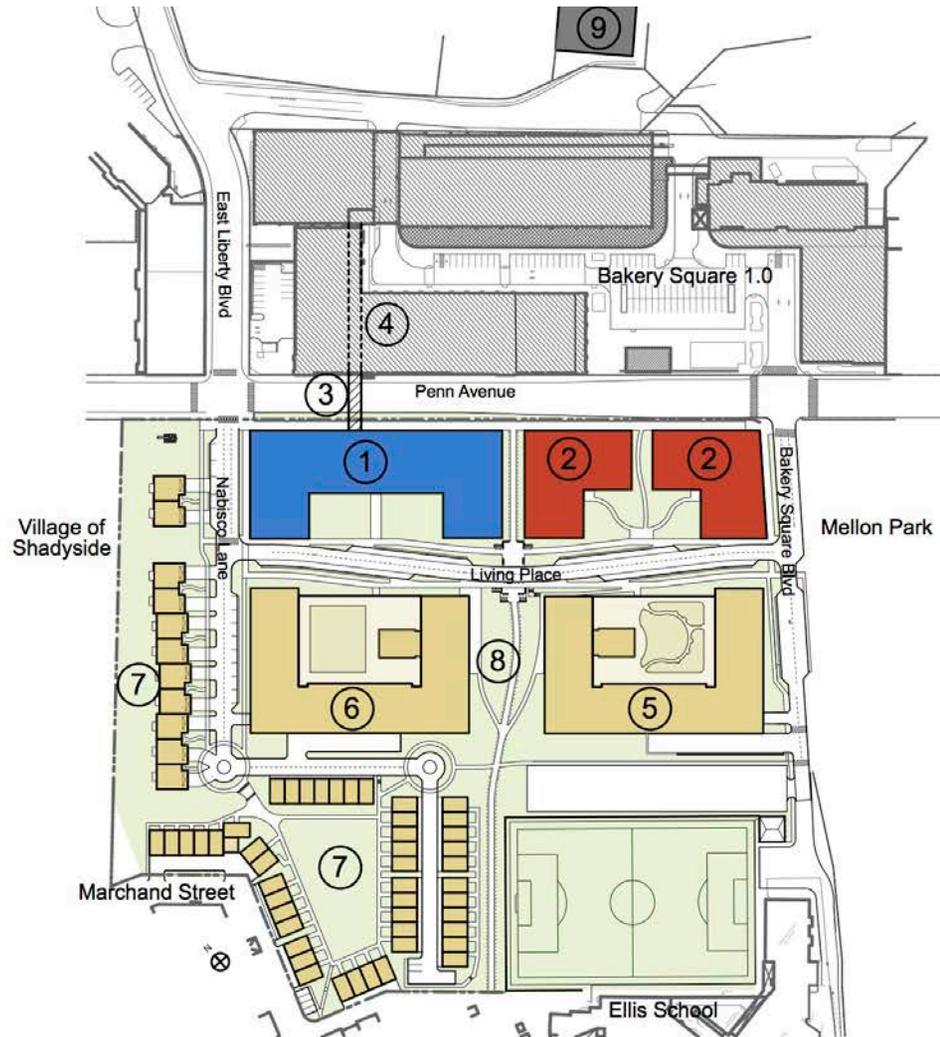
A DEVELOPMENT OF WALNUT CAPITAL AND RCG LONGVIEW FUND  
[www.bakery-square.com](http://www.bakery-square.com)

**2.0**

Strada

Building 'A' Concept Design – January 7, 2014

# Master Plan



## KEY PLAN

- ① Proposed Building "A" Site
- ② Future Office Building/Expansion Opportunity
- ③ Skybridge (Connects 4th and 5th Floors of Buildings)
- ④ Access to Parking Garage (through 4th Floor Skybridge/Common Corridor)
- ⑤ Bakery Living Apartments 1.0 (under construction)
- ⑥ Proposed Bakery Living 2.0
- ⑦ Proposed Townhouses
- ⑧ Bike Path
- ⑨ Future Parking Garage Site

# Special Planning District – Design Guidelines

- Blend with the historic character of the Nabisco Building and Shadyside but meet contemporary needs.
- Create a dense, walkable mixed use development.
- Maintain consistent street wall along Penn Ave.
- Emphasize three-dimensionality of the façade.
- Massing to encourage natural light in interior spaces
- Step down massing as move away from Penn Ave.
- Prominent and highly visible street level entries
- Transparency at street level
- Use internal circulation as connective element where appropriate.
- Design to LEED Silver standards

## Design objectives:

1. Create a strong building **Identity**
2. Make memorable **Connections**
3. Encourage a **Dialogue** between the “Old” & the “New”



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# Building Identity – Old meets New



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# Penn Avenue (North) Elevation



- Lower sill of windows is 1'-8" above grade on average.
- Window height varies from 6' to 8'-8" along Penn Avenue
- Transparency at ground floor is approximately 60%

# Penn Avenue View



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# Corner View



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# Night-lighting Opportunities



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# SkyBridge – view from below



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# SkyBridge – view from above



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# SkyBridge – Personality Day & Night



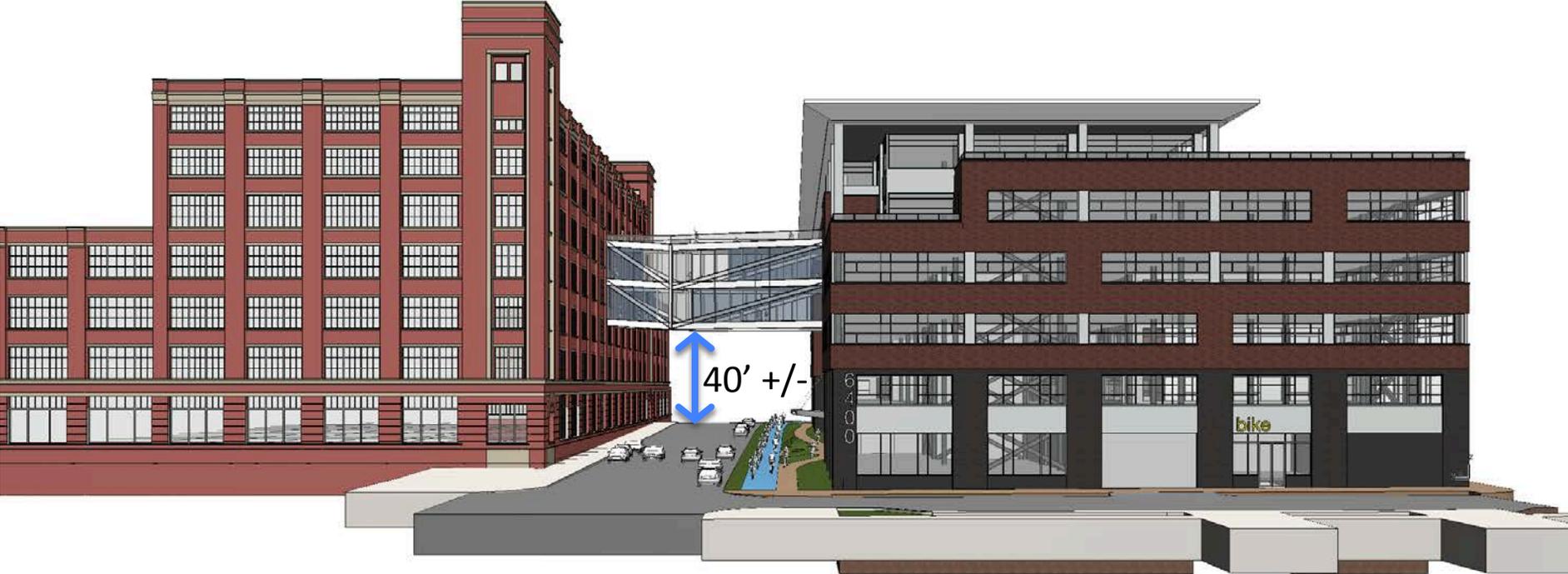
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# SkyBridge – Artistic Lighting opportunities



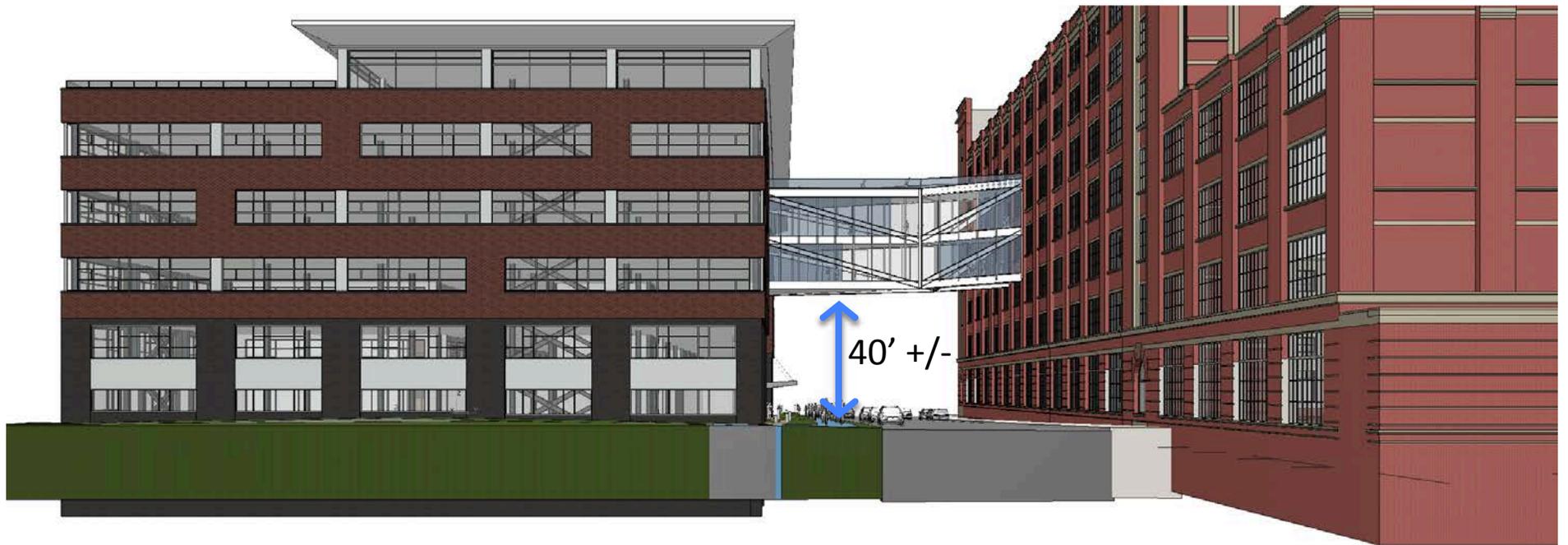
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# West Elevation



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# East Elevation

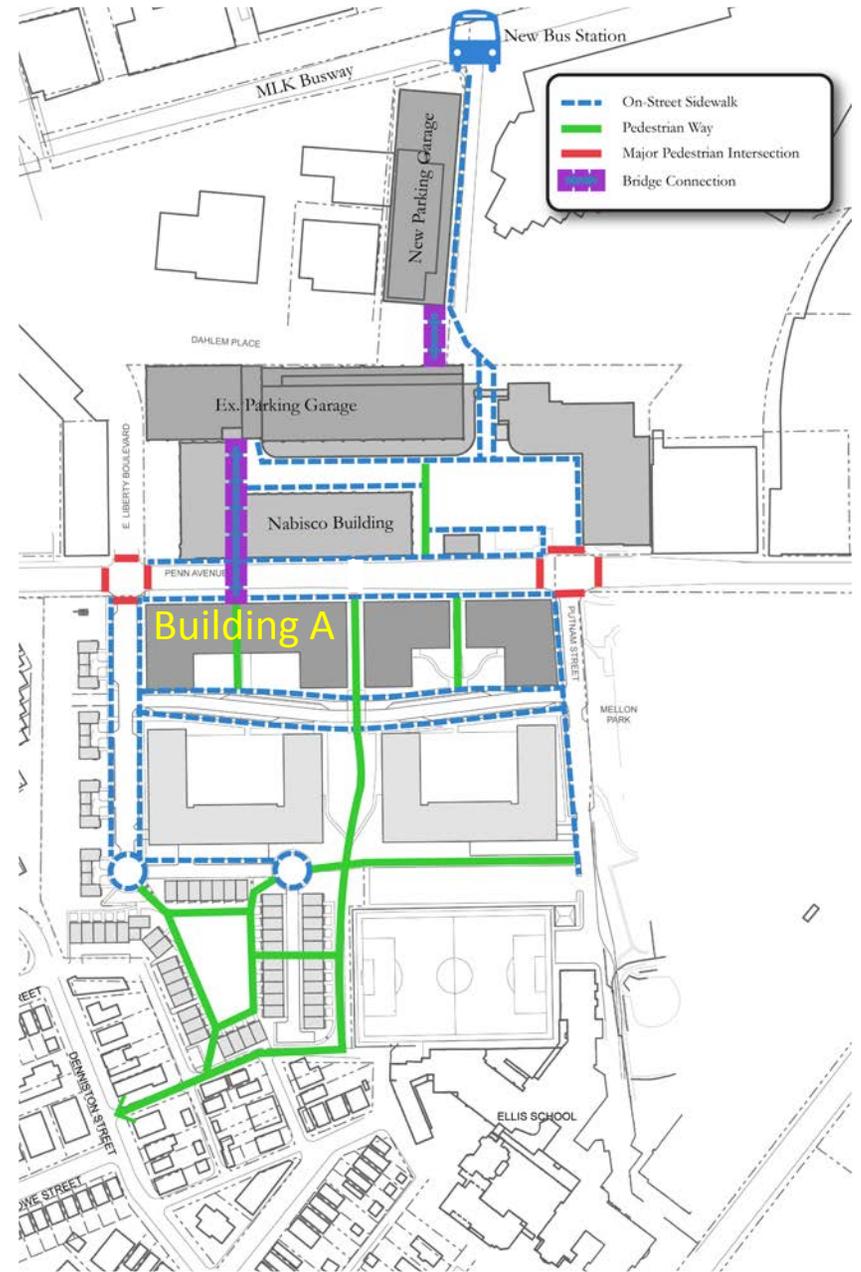
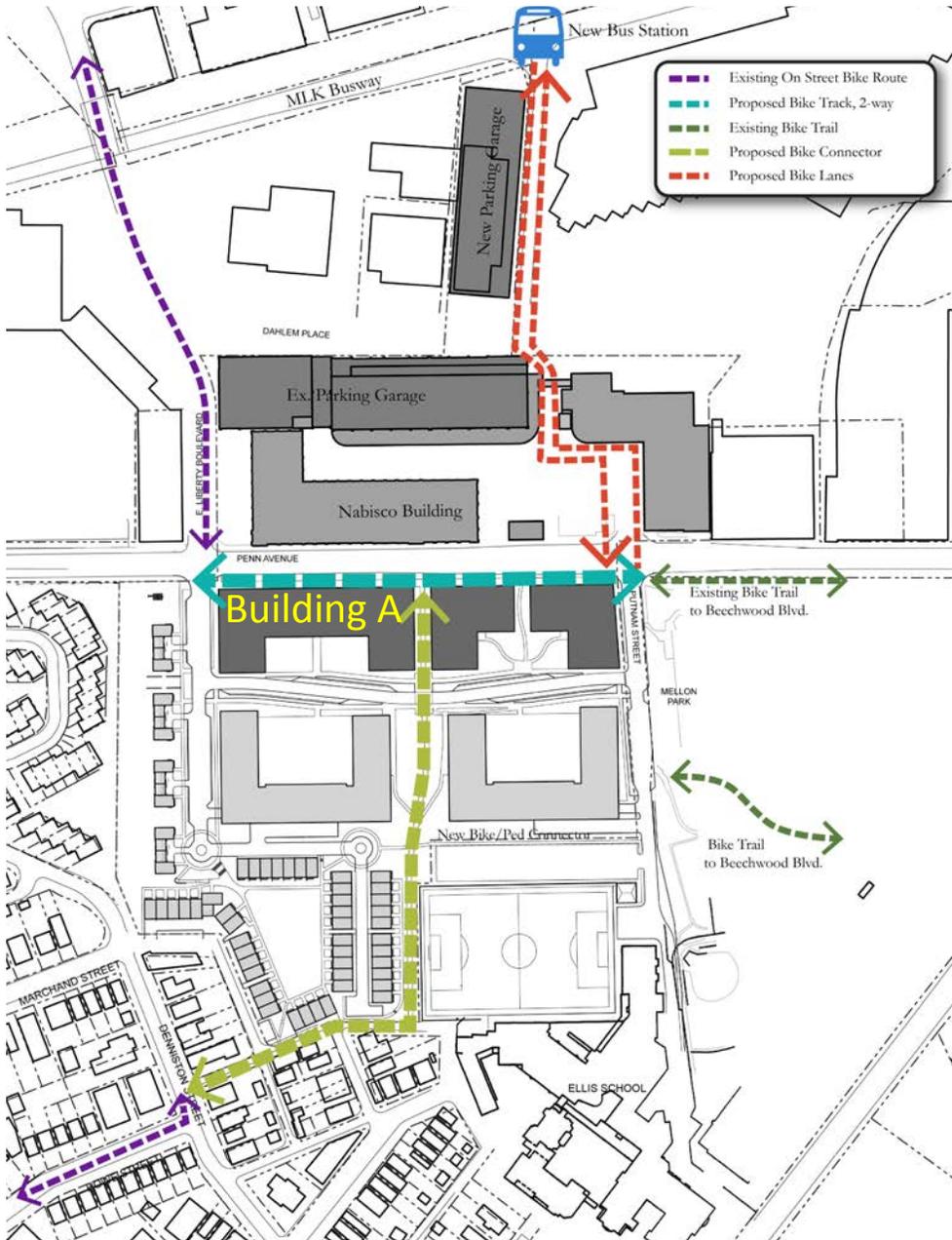


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# Building in Context – Penn Ave. looking west

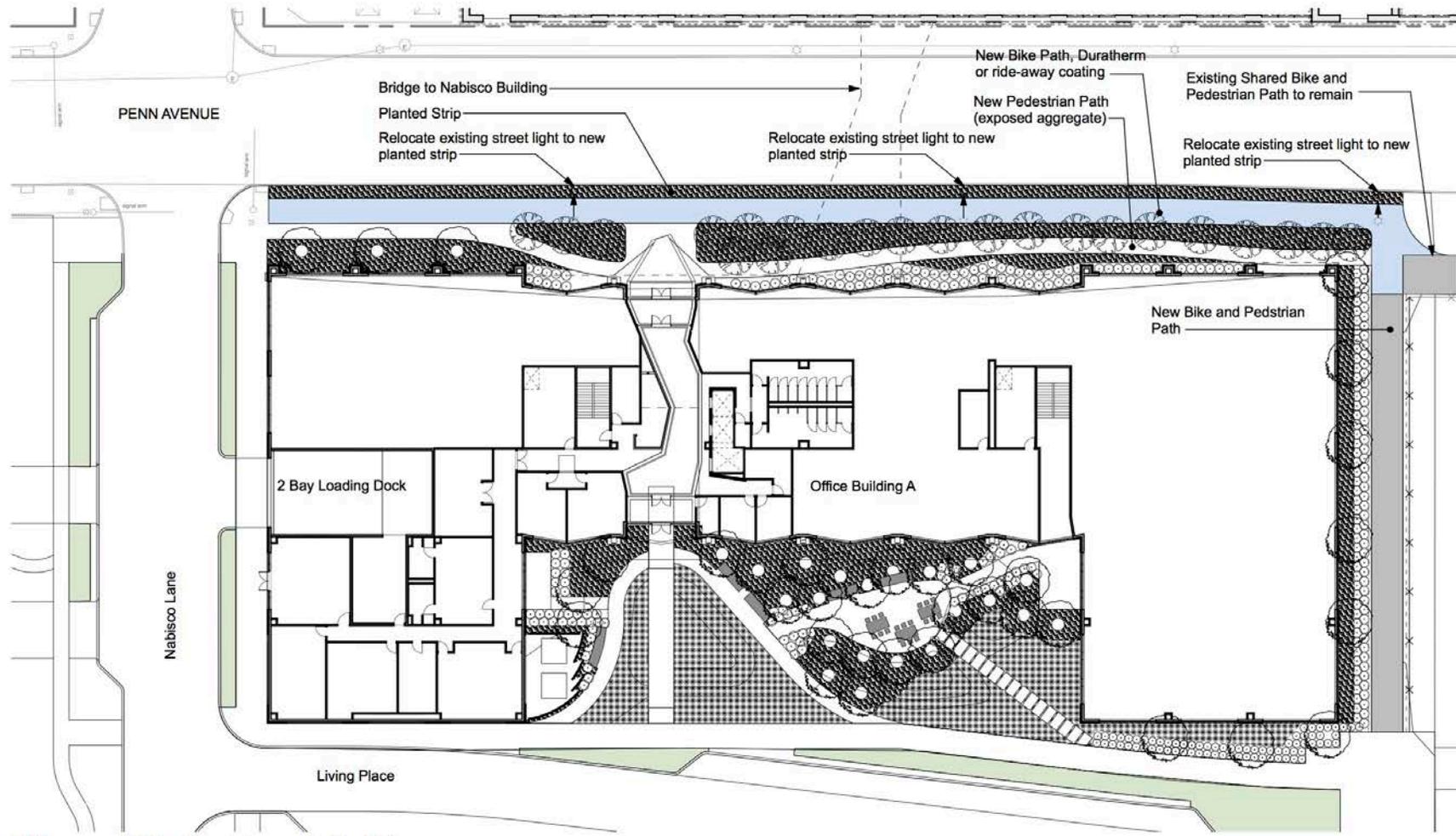


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**Strada Master Plan - Bike and Pedestrian Networks**

# Bike and Pedestrian Connections



Bike and Pedestrian Path Plan

# Streetscape – Birdseye



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# Bike Path - Precedents



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# Streetscape – Eye Level Perspective



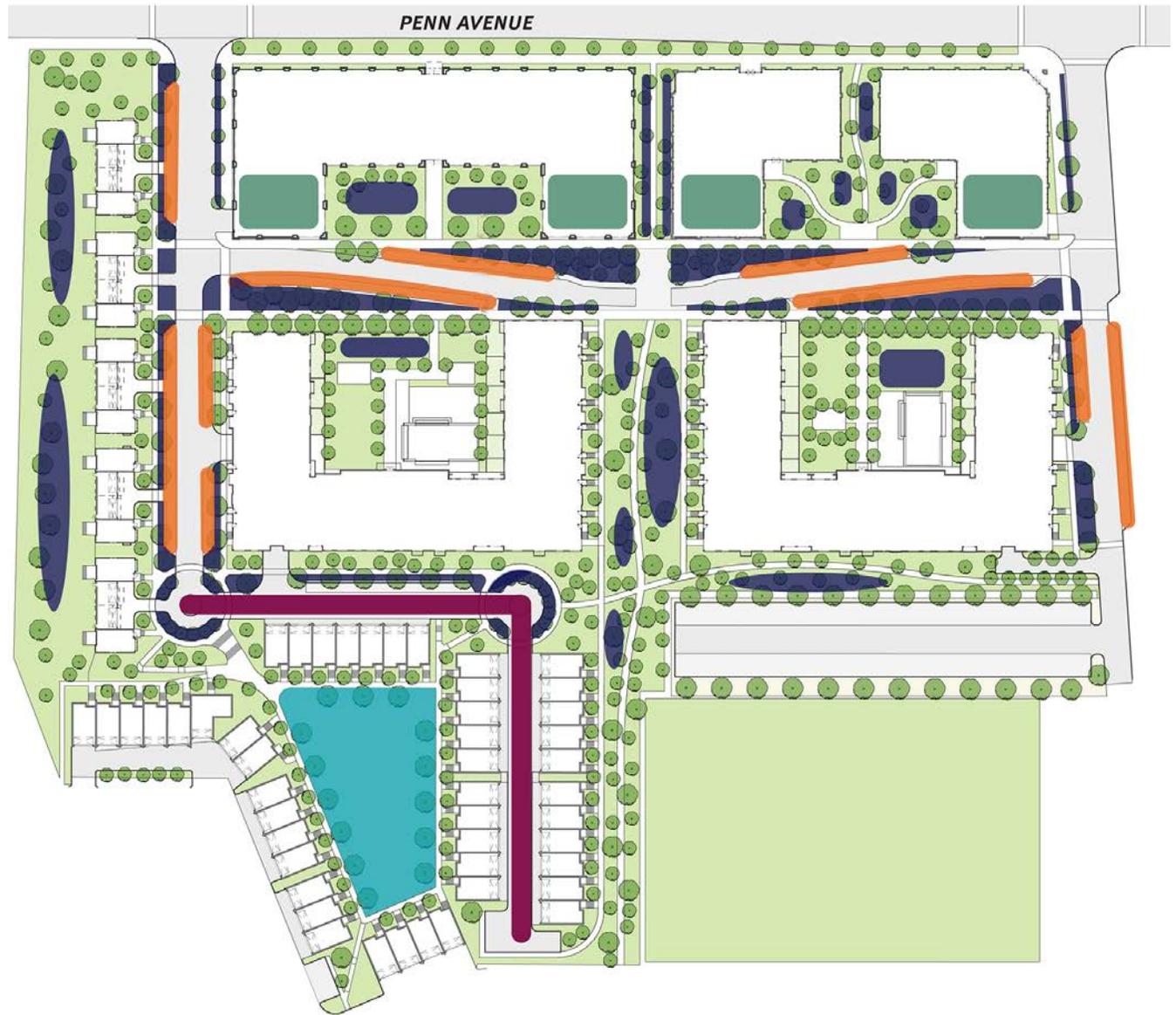
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# Streetscape – Eye Level Perspective



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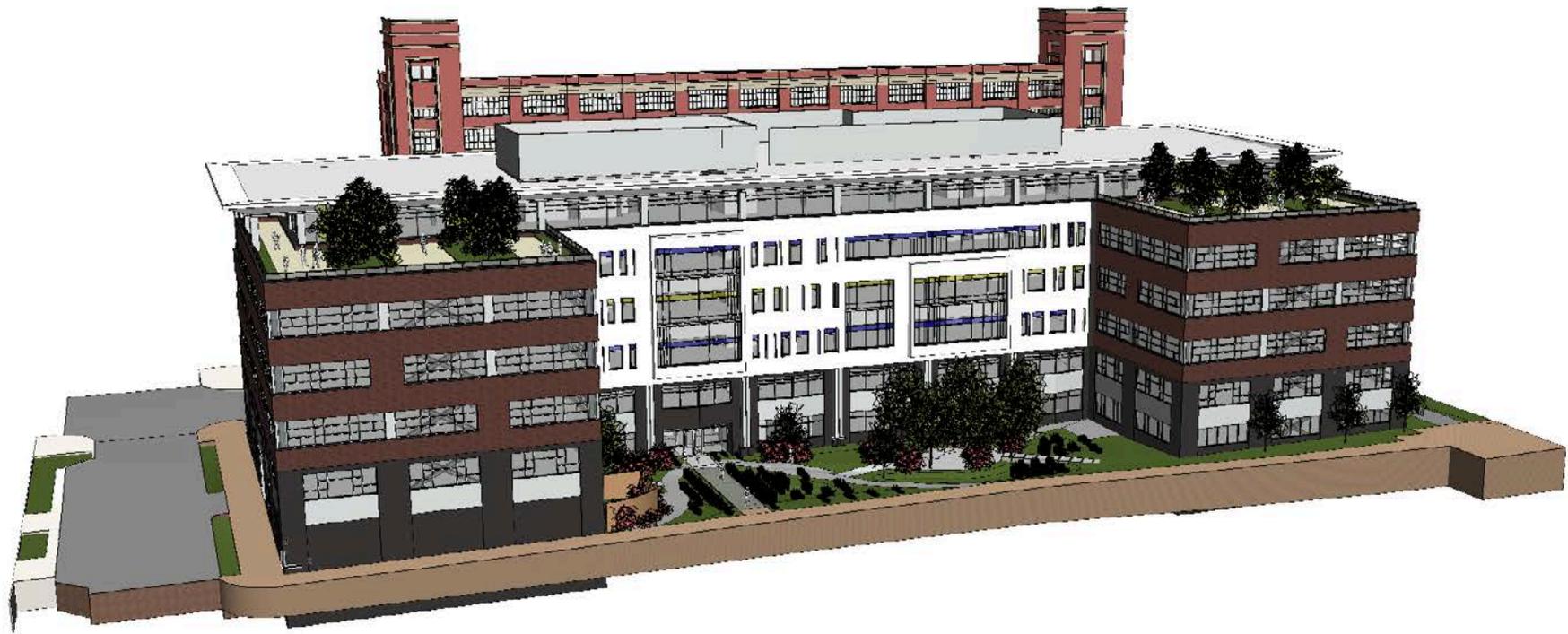
# Green Infrastructure



- EVENT LAWN BIORETENTION
- BIOSWALES AND RAINGARDENS
- GREEN ALLEYS
- POROUS PAVING
- GREEN ROOF



# Southside birdseye



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# Southside Play of Light and Shadow



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# South Elevation



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# The Courtyard Experience



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