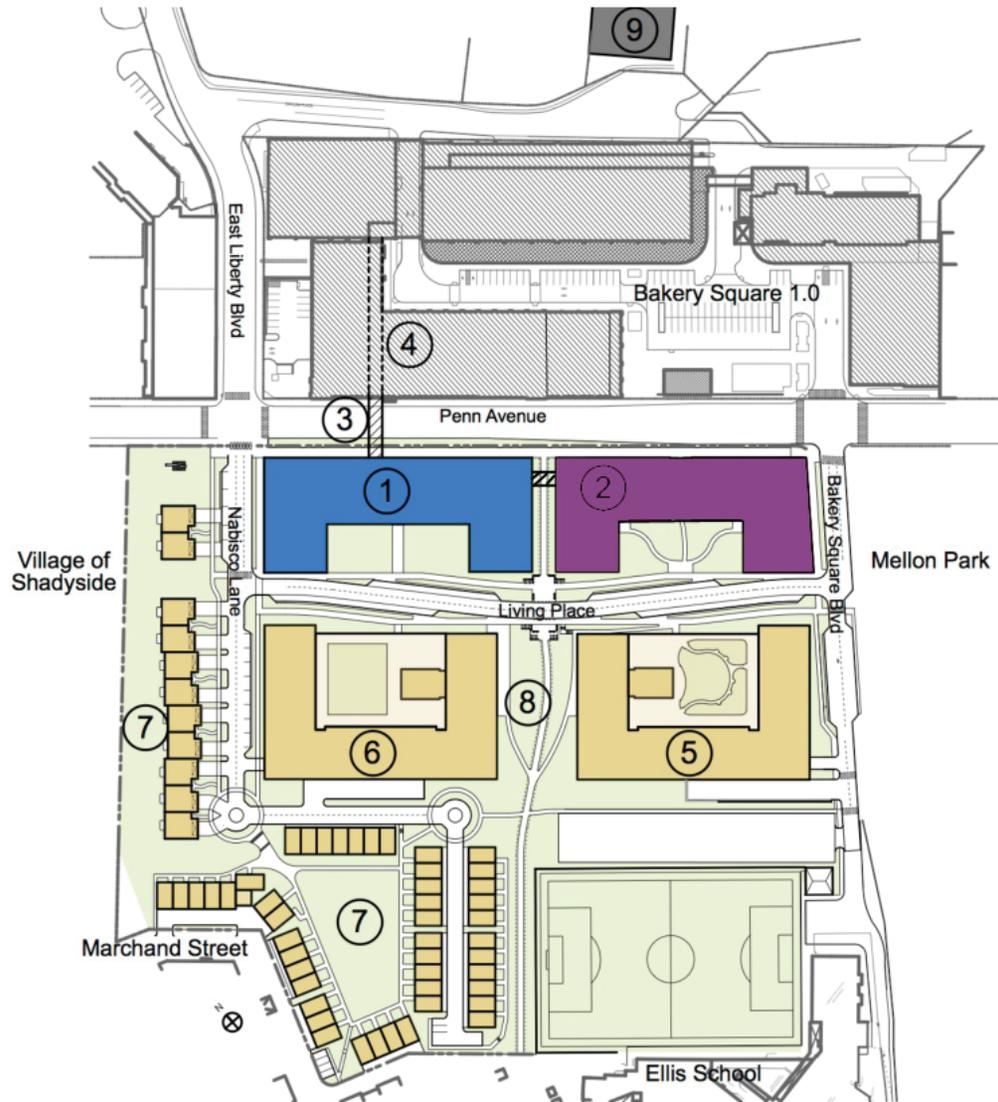




**BkSq<sup>2</sup>**  
BAKERY SQUARE 2.0

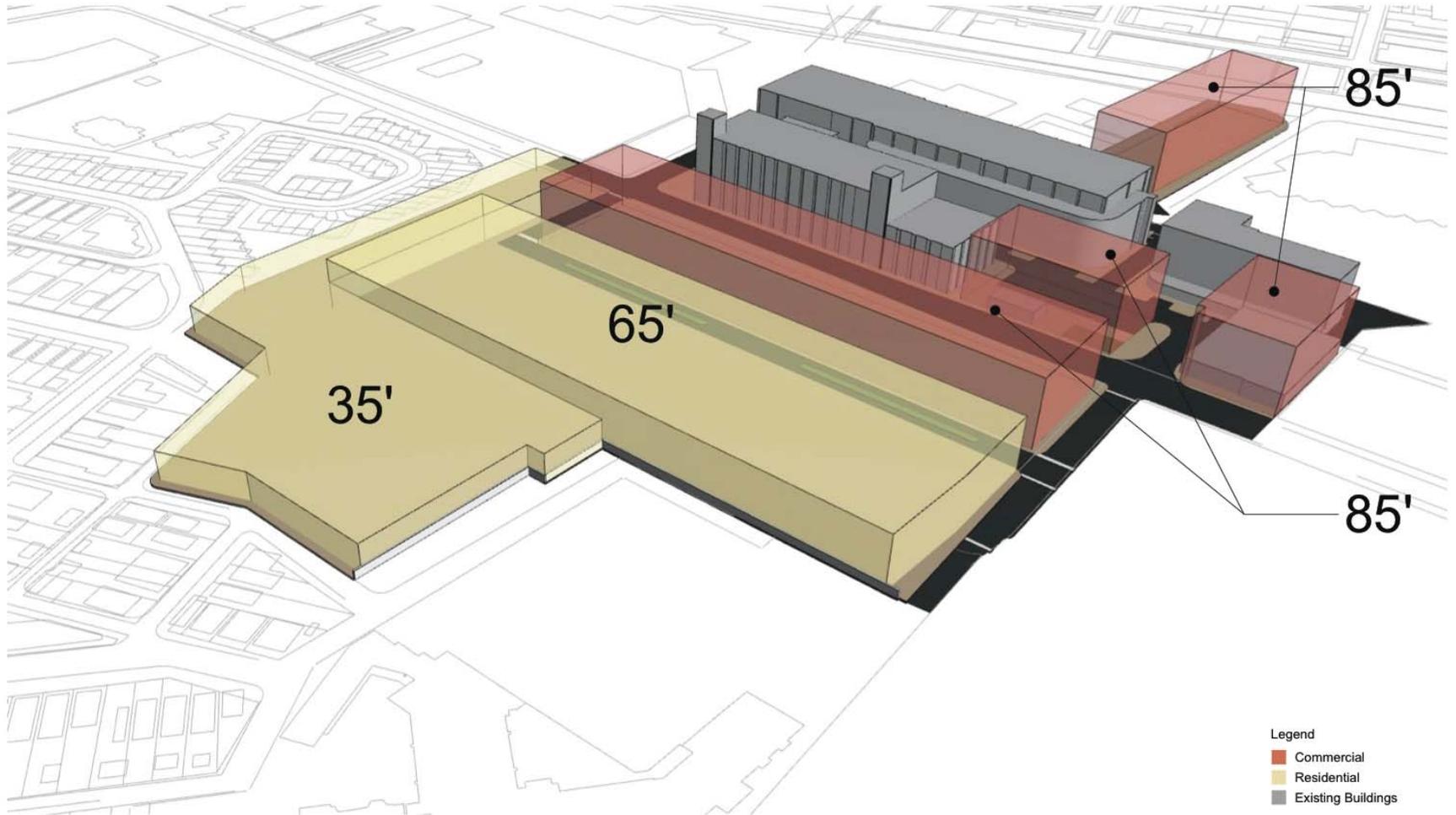
# Master Plan



## KEY PLAN

- ① A Office Building
- ② Beta Building
- ③ Skybridge (Connects 4th and 5th Floors of Buildings)
- ④ Access to Parking Garage (through 4th Floor Skybridge/Common Corridor)
- ⑤ Bakery Living Apartments 1.0 [now open](#)
- ⑥ Proposed Bakery Living 2.0
- ⑦ Proposed Townhouses
- ⑧ Bike Path
- ⑨ Future Parking Garage Site

# Master Plan Massing Diagram



**MASSING DIAGRAM**

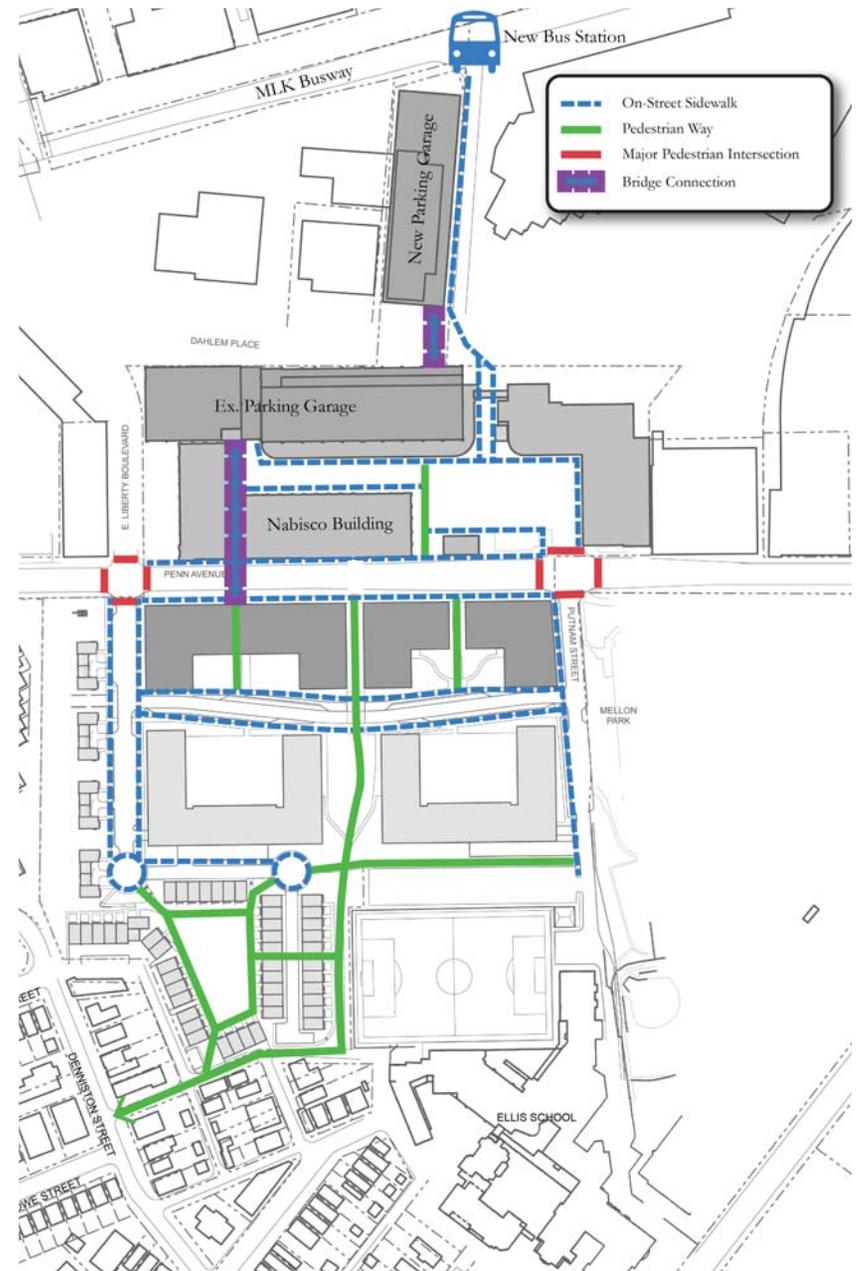
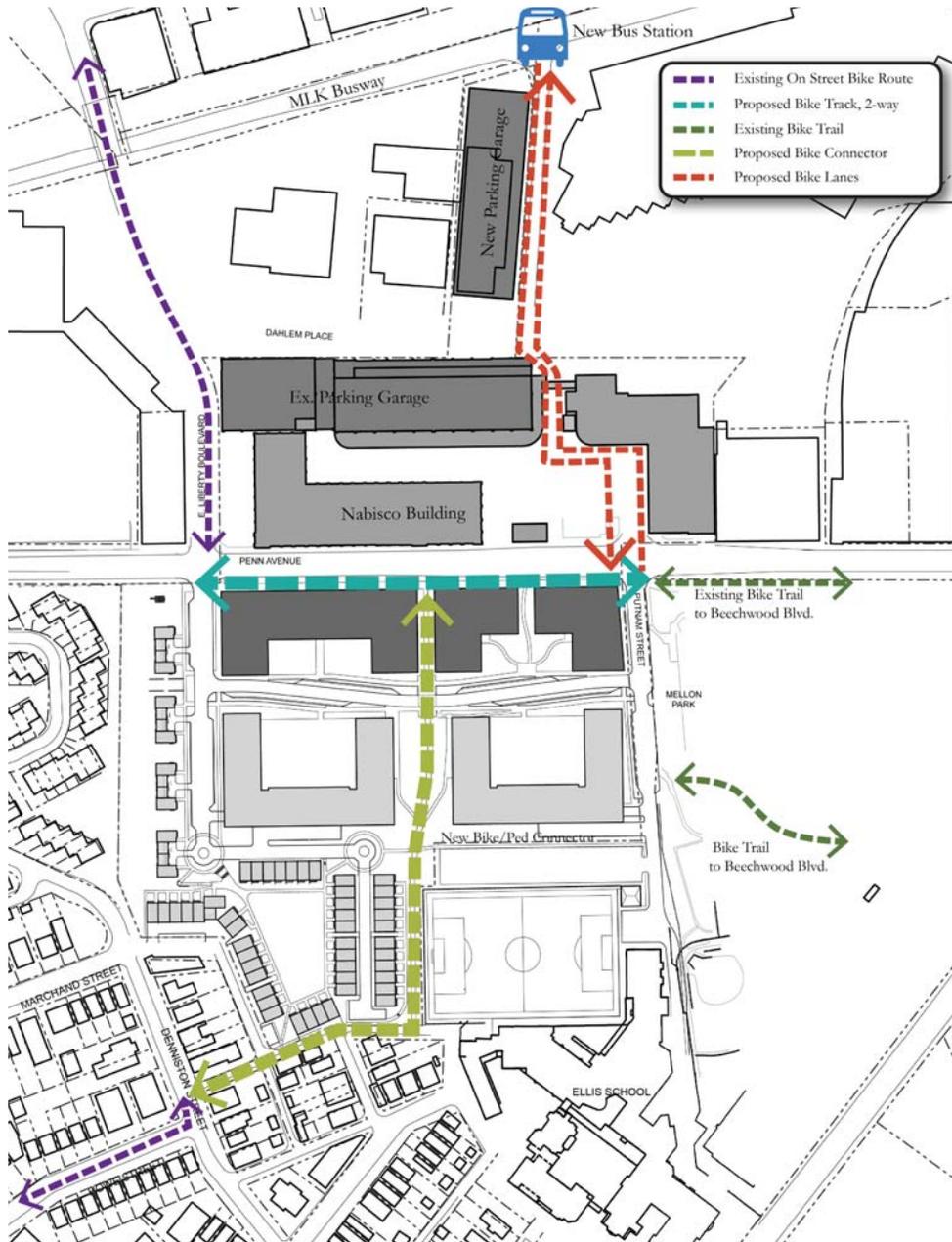
## Special Planning District – Design Guidelines

- Blend with the historic character of the Nabisco Building and Shadyside but meet contemporary needs.
- Create a dense, walkable mixed use development.
- Maintain consistent street wall along Penn Ave.
- Emphasize three-dimensionality of the façade.
- Massing to encourage natural light in interior spaces
- Step down massing as move away from Penn Ave.
- Prominent and highly visible street level entries
- Transparency at street level
- Use internal circulation as connective element where appropriate.
- Design to LEED Silver standards

## Design objectives:

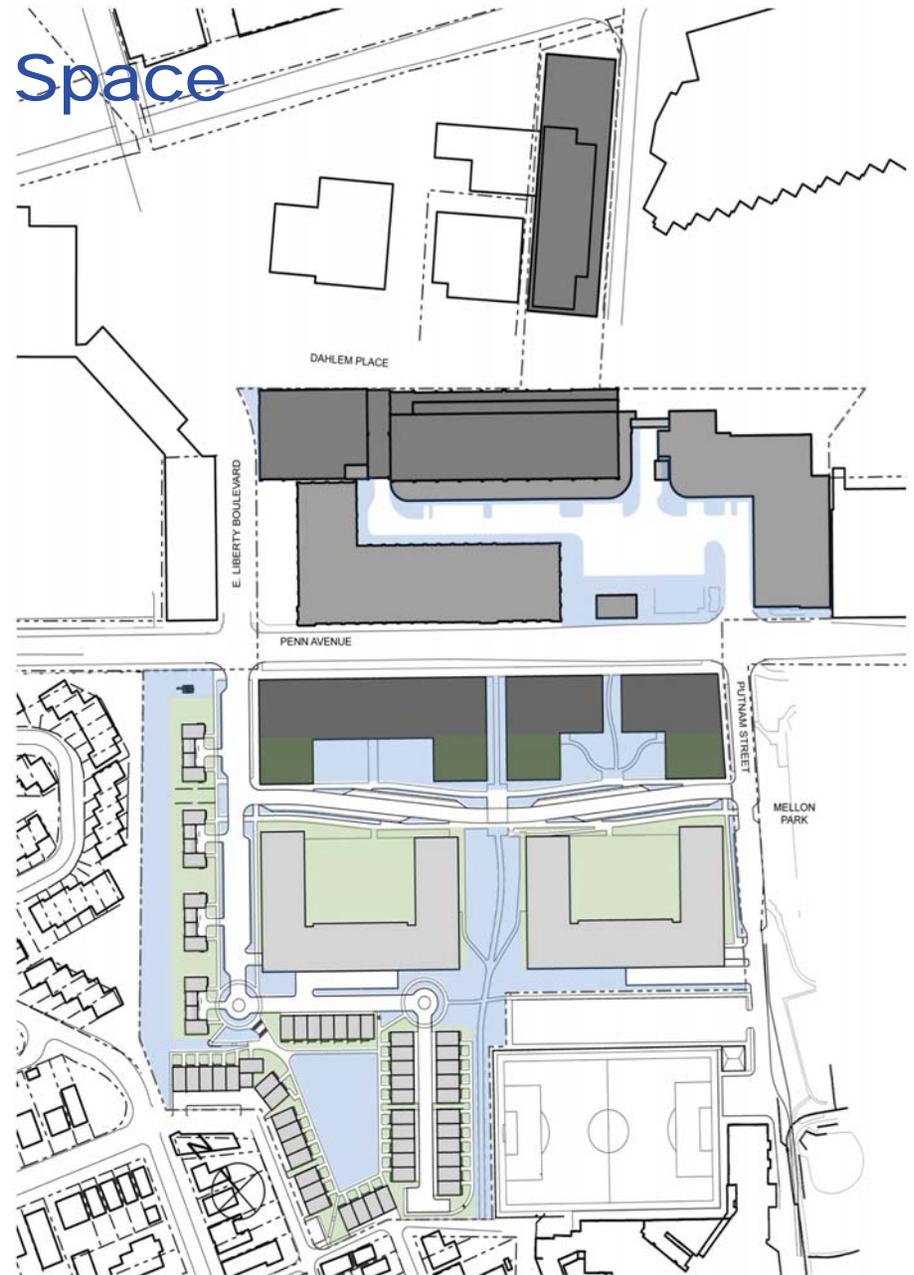
1. Create a strong Identity
2. Make memorable Connections
3. Encourage a Dialogue between the “Old” & the “New”





Master Plan - Bike and Pedestrian Networks

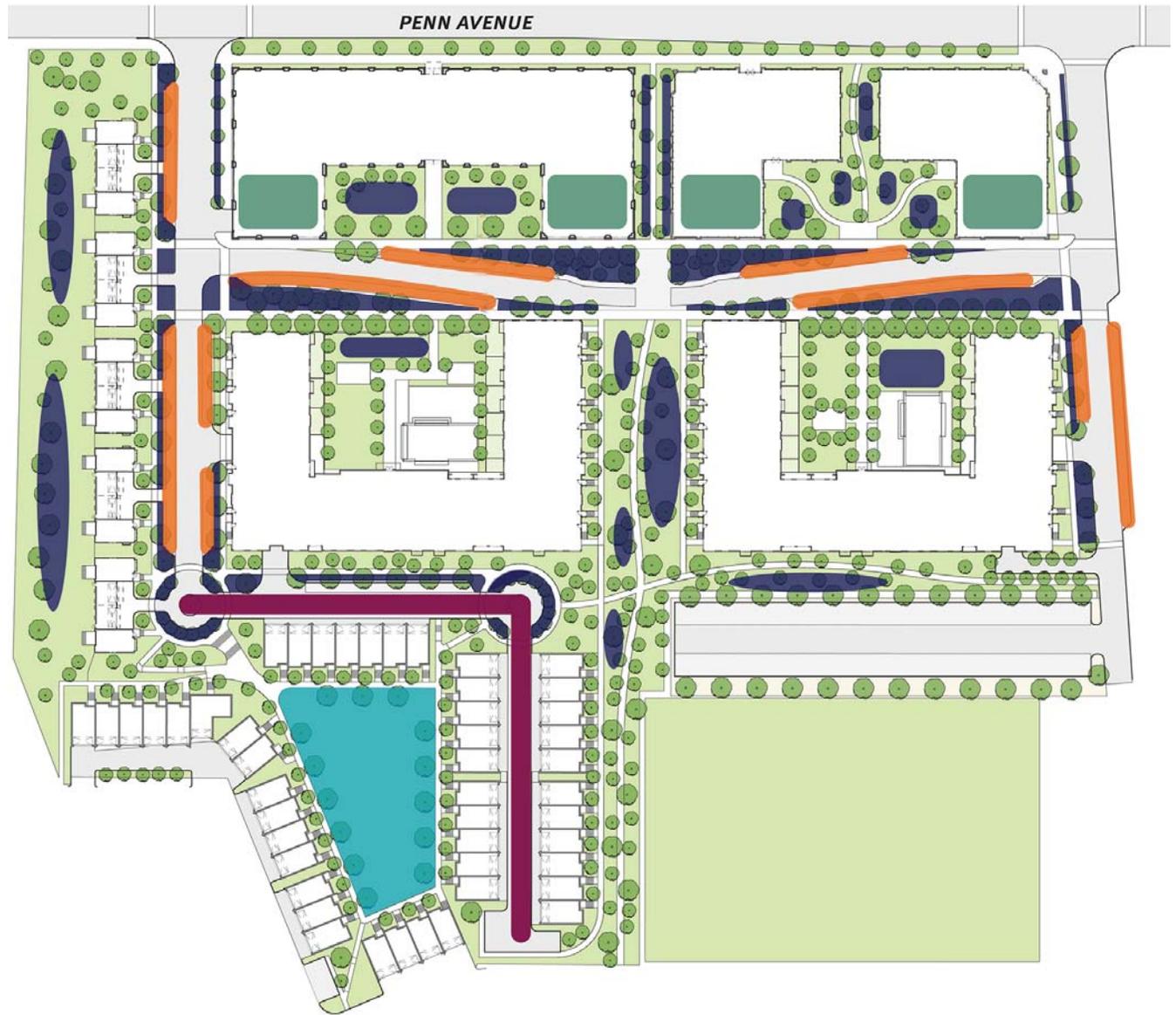
# Master Plan – Urban Open Space



PRIVATE GARDENS  
PUBLIC OPEN SPACE

TOTAL OPEN SPACE: 19%  
SUB-DISTRICT A: 14% OPEN SPACE  
SUB-DISTRICT B: 25% OPEN SPACE

URBAN OPEN SPACE

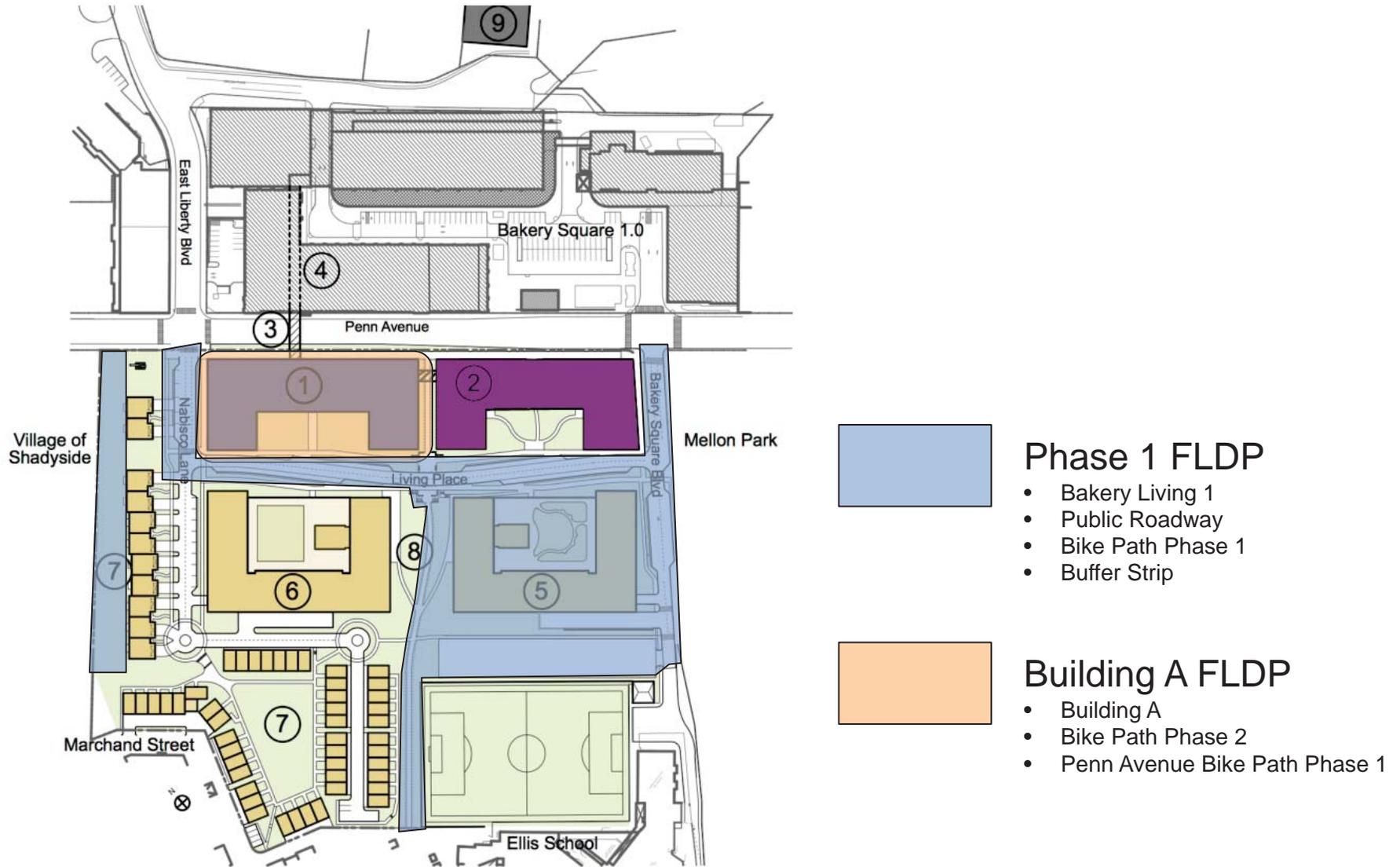


- EVENT LAWN BIORETENTION
- BIOSWALES AND RAINGARDENS
- GREEN ALLEYS
- POROUS PAVING
- GREEN ROOF

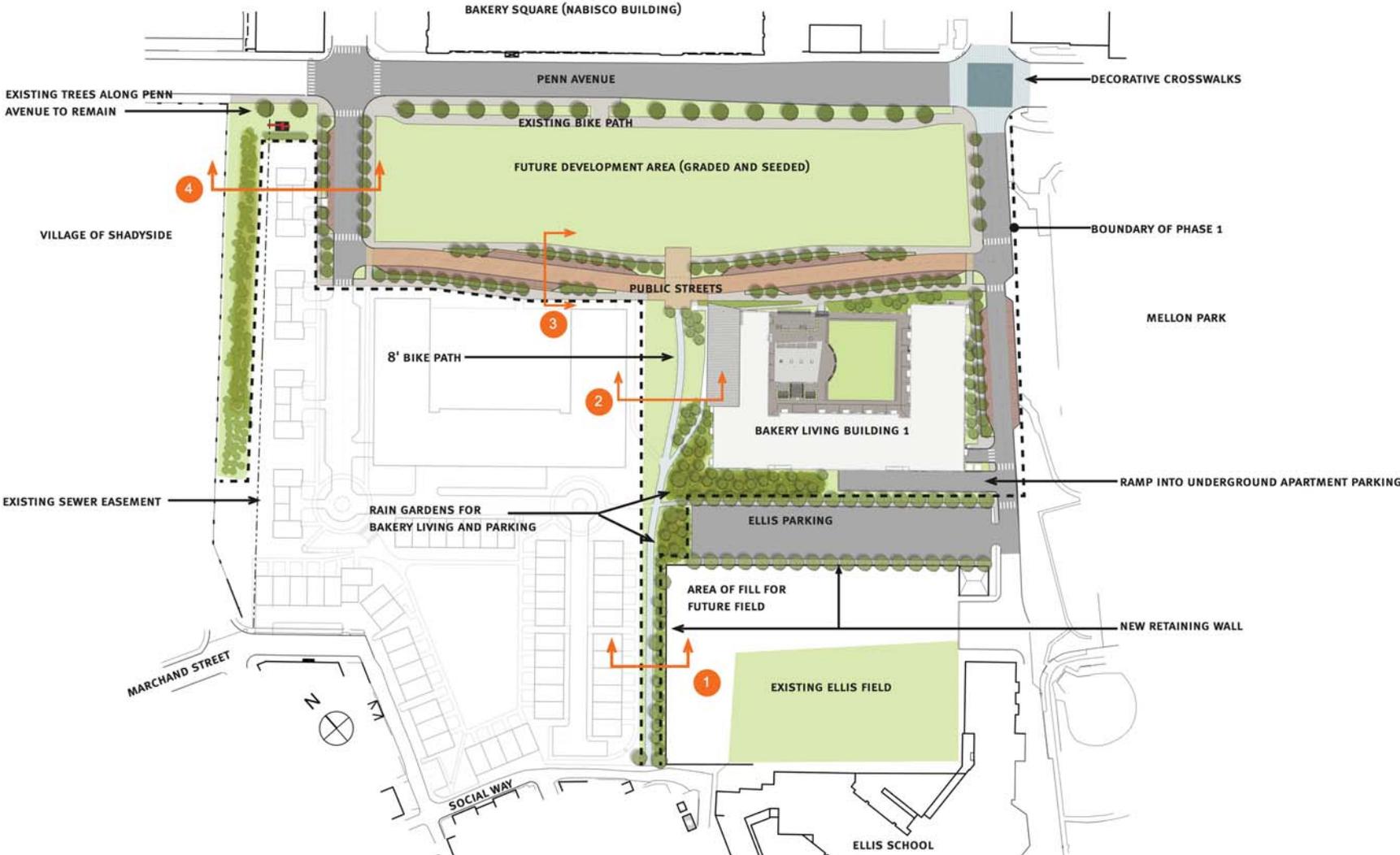
# Master Plan Green Infrastructure



# Master Plan - FLDPs Submitted



# Phase 1 FLDP - Landscape Plan



# Phase 1 FLDP – Green Infrastructure Plan



## Storm Water Management Plan Narrative

The development is being designed to minimize impervious areas and to remove the first 1.2" of stormwater in any one storm event. It will accomplish this through a variety of strategies. Part of the Bakery Living courtyard will actually be a green roof. In addition there will be a raingarden to the southwest of the building to handle additional roof water. Runoff from the Ellis Parking lot will also be handled in a raingarden to the west. In the roadway, porous paving will be used in the parking lanes. Planters will separate the sidewalk from the roadway. The roadway planters will be a combination of traditional planters and bioretention planters as required to remove the first 1.2" of stormwater. Both the rain gardens and the roadway bioretention planters will provide for overflow drains connected to a separated storm sewer for those rare rainfall events exceeding 1.2".

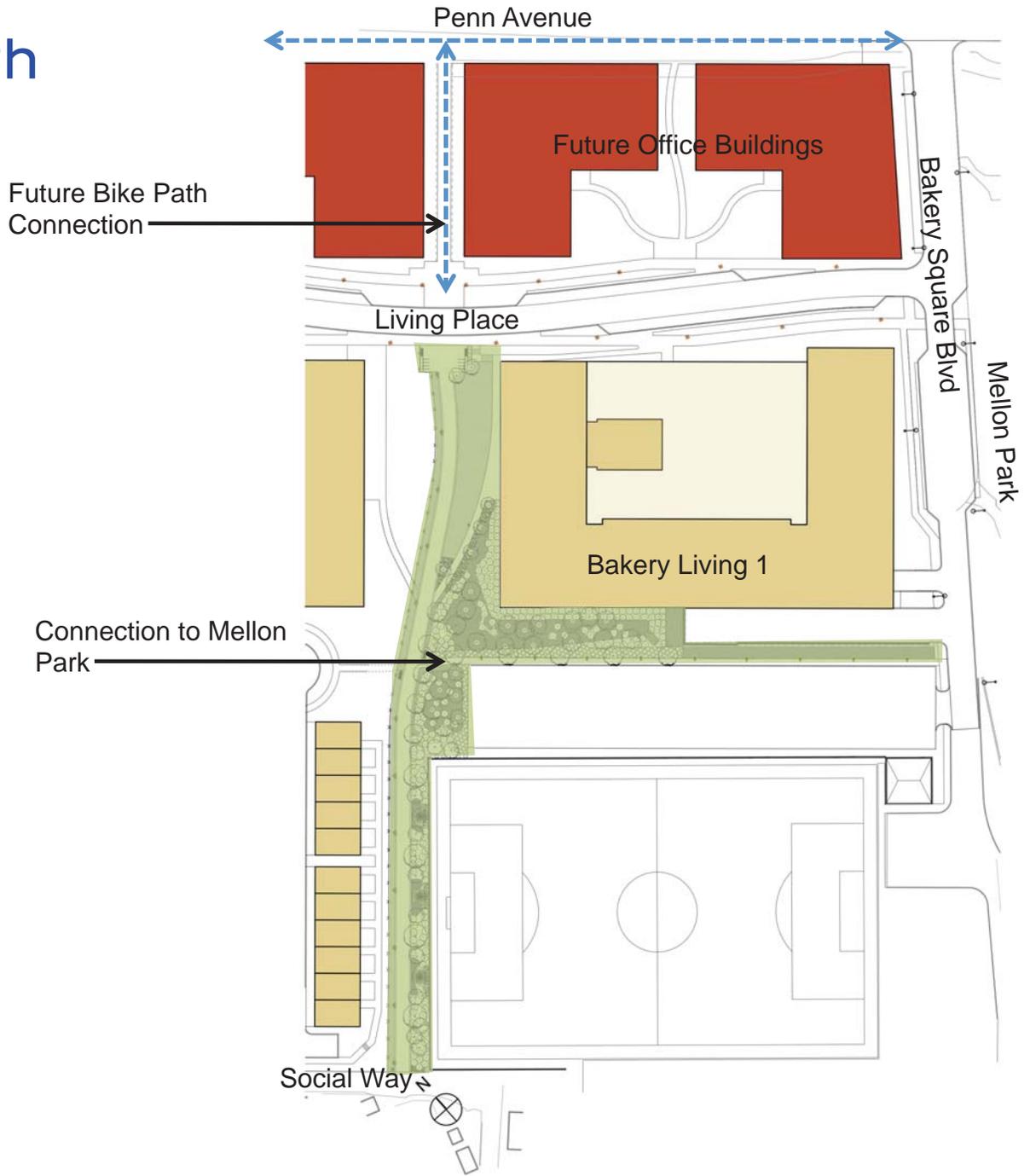
-  GREEN ROOF
-  RAIN GARDEN
-  PHASE 1 BOUNDARY
-  ROADWAY PLANTERS, TYP.
-  POROUS PAVERS, TYP.

# Bakery Living – Apartment Building



Now Open

# Phase 1 Bike Path



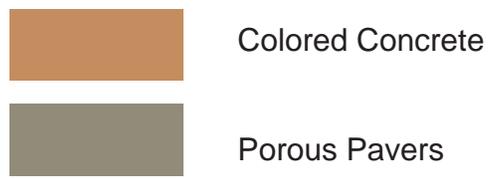
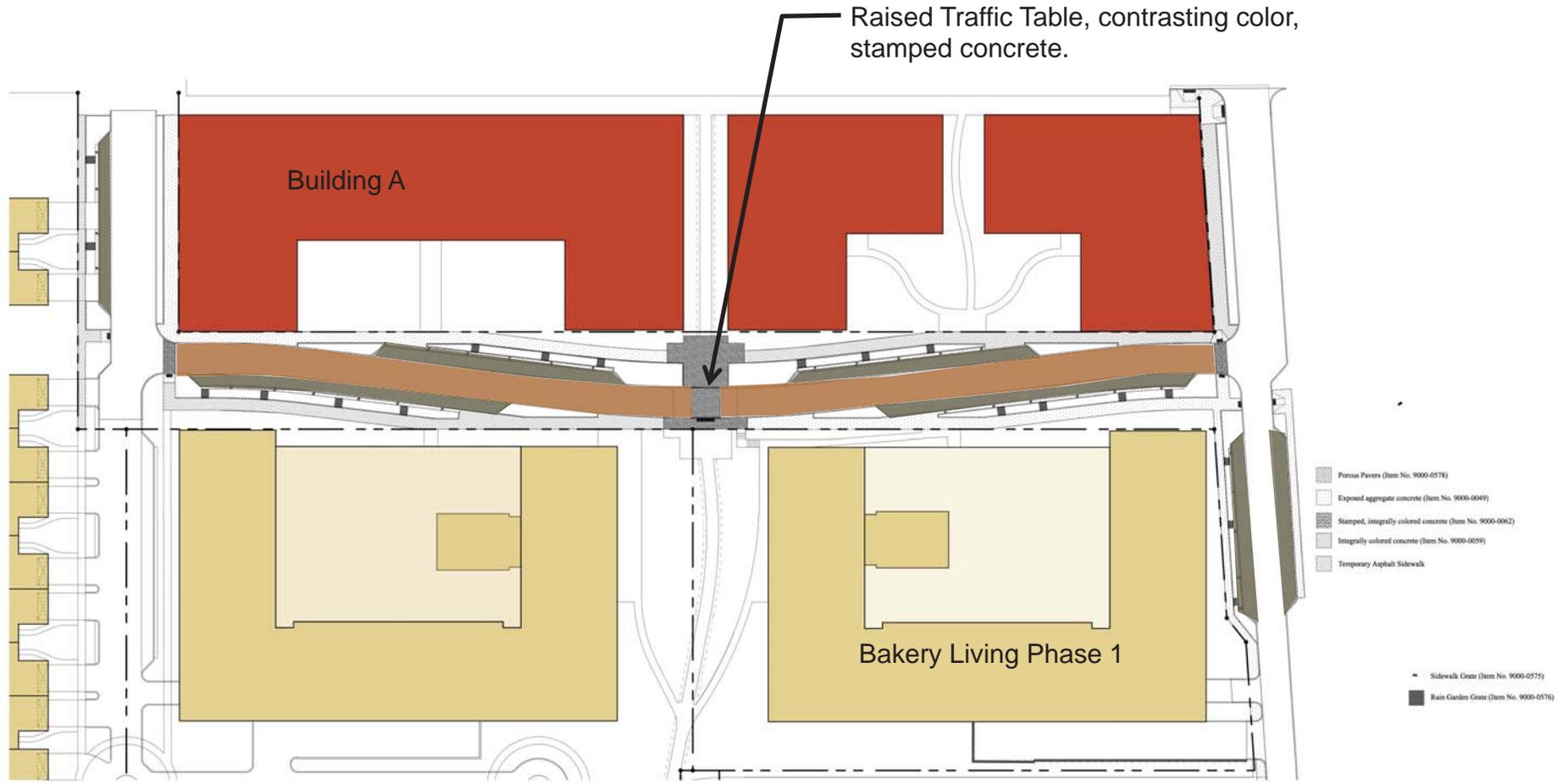
Under construction

# Public Streets



Under construction

# Public Streets



Under construction

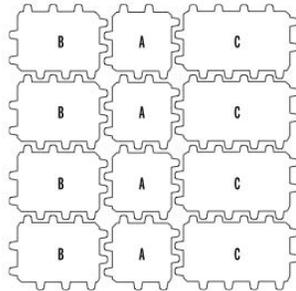
# Permea

**DESCRIPTION:** Paver  
**CODE:** 1810  
**TEXTURE:** Beveled



PAVERS

## PALLET OVERVIEW 1810



## APPLICATIONS

Pedestrian or light vehicular traffic, residential driveways, patios and swimming pool decks.

The use of permeable pavement systems throughout the world has proven effective in reducing storm water runoff while increasing infiltration rates as it returns the water to the environment. The use of permeable pavers also facilitates LEED® certification easier to obtain.

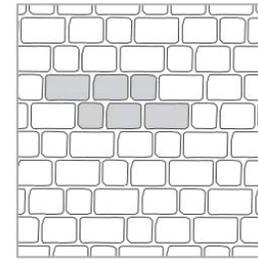
## NOTES

See page 113 for more technical information and installation details.

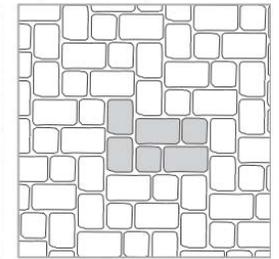
Specifications per pallet	Imperial	Metric
Cubing	72 ft. <sup>2</sup>	6.70 m <sup>2</sup>
Weight	2470 lbs	1120 kg
Number of rows	8	
	9 ft. <sup>2</sup> /row	0.84 m <sup>2</sup> /row
Void space: 9.1%		
Joint width	7/8"	22 mm

	Unit dimensions		Units/pallet	
	in	mm		
<b>A</b>	Thickness	3 1/8	80	32 units
	Width	9	228	
	Length	9	228	
<b>B</b>	Thickness	3 1/8	80	32 units
	Width	9	228	
	Length	12	305	
<b>C</b>	Thickness	3 1/8	80	32 units
	Width	9	228	
	Length	14 15/16	380	

01 | Linear pattern



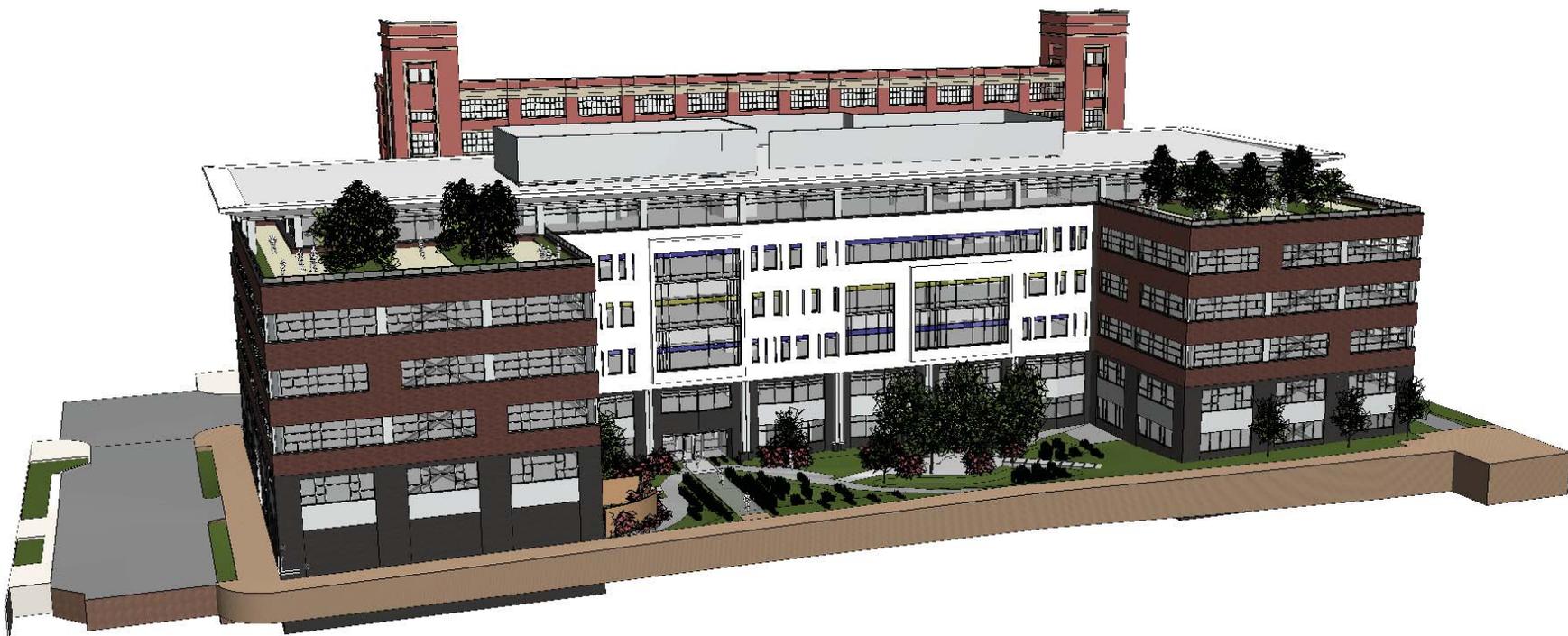
02 | Herringbone pattern



# South Elevation



# Southside birdseye



## Building A Courtyard



Under construction

# Penn Avenue (North) Elevation



- Lower sill of windows is 1'-8" above grade on average.
- Window height varies from 6' to 8'-8" along Penn Avenue
- Transparency at ground floor is approximately 60%

Building A – Penn Avenue looking East



Under construction

Building A – Penn Ave. looking west



Under construction

## Building A – Bridge over Penn Avenue

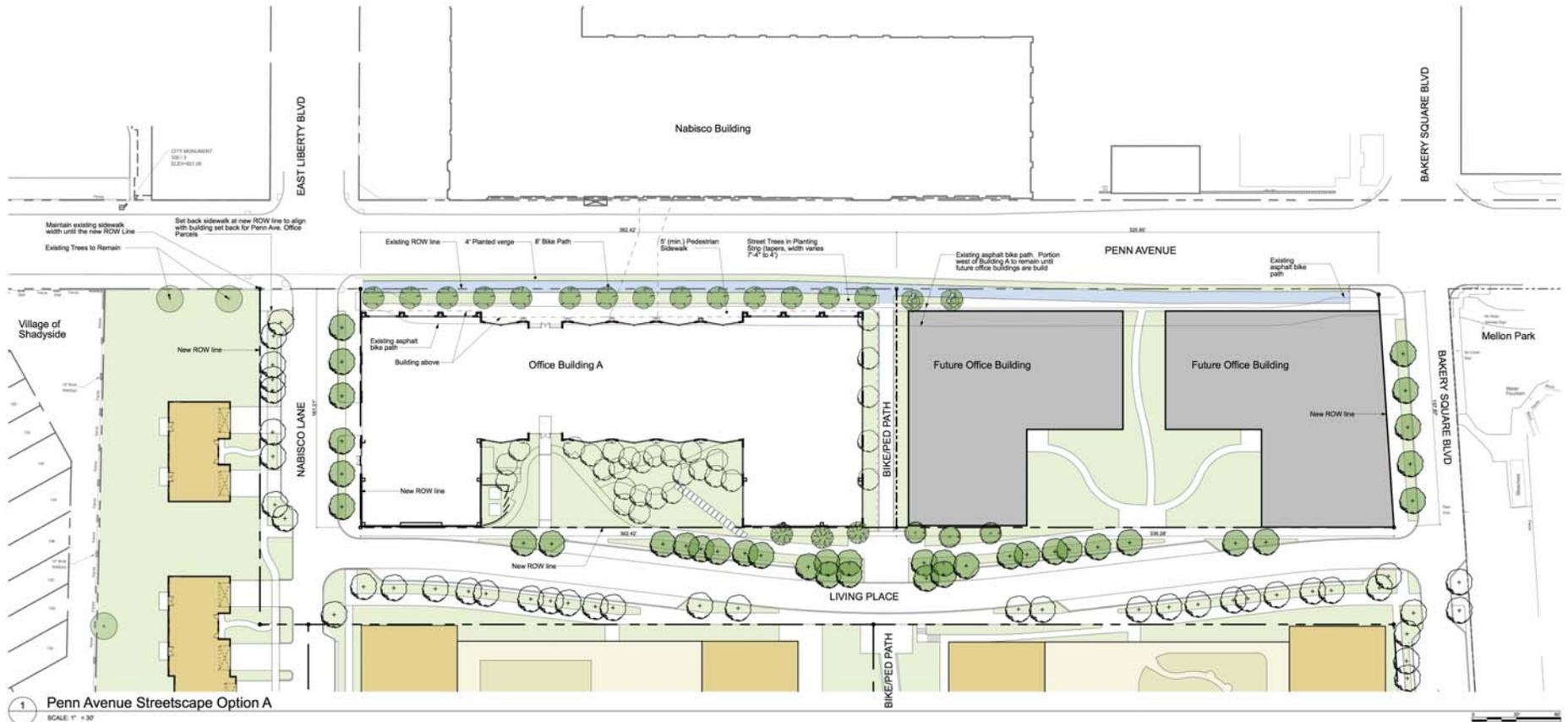


Under construction

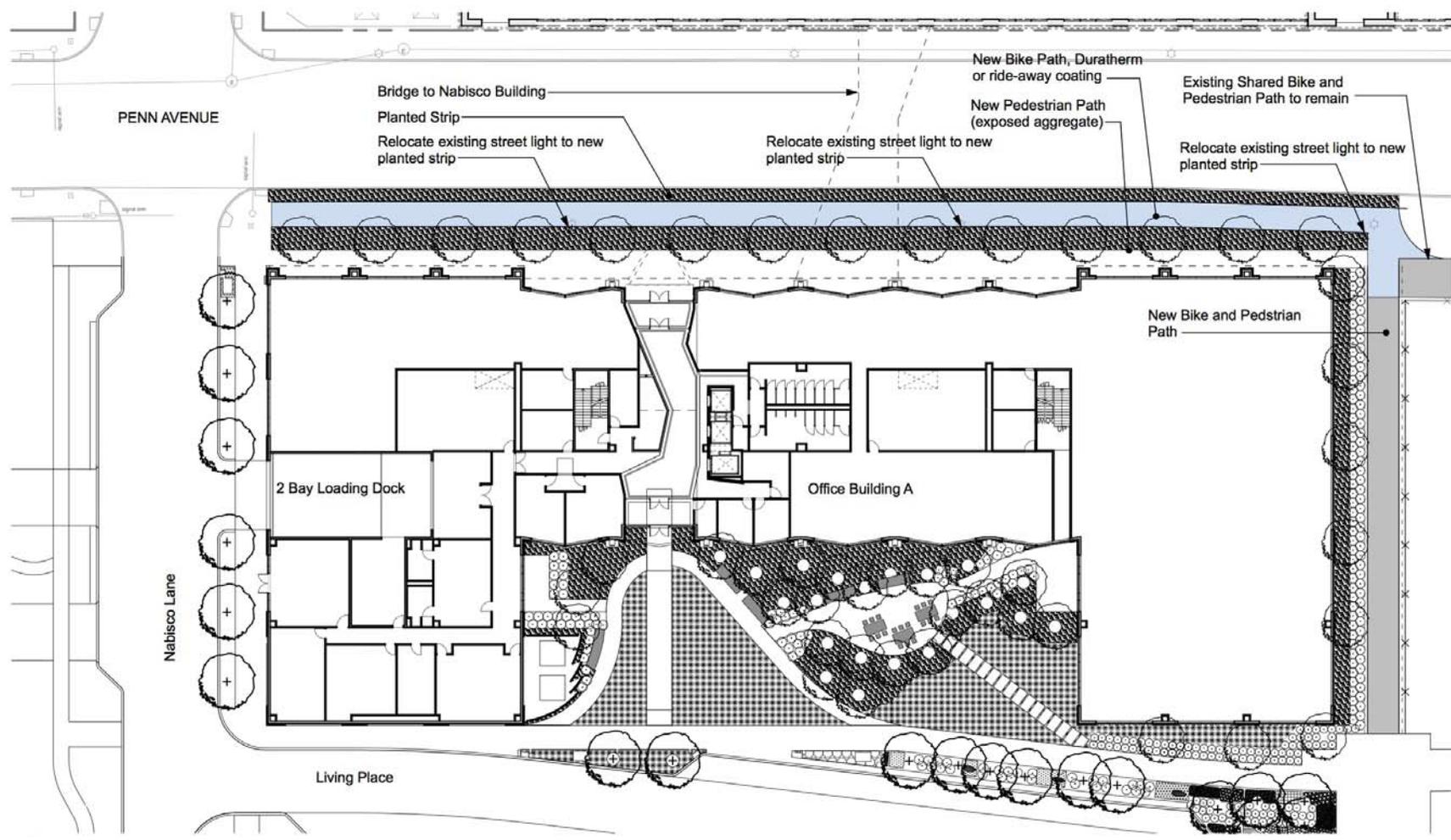
# Streetscape – Birdseye



# Bike and Pedestrian Connections – Master Plan Penn Avenue



# Building A: Bike and Pedestrian Connections



Under construction



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: MCKNIGHT 535 SMITHFIELD, L.P.		Phone Number: ( 614 ) 281-9000	
Address: 310 GRANT ST. SUITE 2500	City: PITTSBURGH	State: PA	Zip Code: 15219-2303
2. Applicant/Company Name: OHM ADVISORS		Phone Number: (614 ) 418.0600	
Address: 101 MILL STREET	City: GAHANNA	State: OH	Zip Code: 43230
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: EMBASSY SUITES HOTEL			
4. Development Location: NORTHSIDE OF SMITHFIELD STREET BETWEEN 6TH AVENUE & OLIVER AVENUE			
5. Development Address: 535 SMITHFIELD STREET			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	No Change (Existing District: GT-A)		
Present Use of Site: (Select from attached list)	82 - OFFICE (GENERAL)		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: multiple Certificates of	Date Issued: Occupancies exist for the upper 11 floors	Existing Use of Property: B-Office	
8. Estimated Construction:	Start Date: 01 / 15 / 14	Occupancy Date: 04 / 01 / 15	Project Cost: \$ 35,000,000.00
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to <a href="http://pittsburghpa.gov/dcp/zoning/">pittsburghpa.gov/dcp/zoning/</a> and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): 68 - HOTEL/MOTEL (GENERAL)			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New	<input checked="" type="checkbox"/> Renovation, Interior		
<input type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior		
<input type="checkbox"/> Change in Use Only	<input checked="" type="checkbox"/> Renovation, Change in Use		
11. Describe the Development:			
THE PROJECT CONSISTS OF RENOVATING A PORTION OF THE INTERIOR OF THE EXSTING OLIVER BUILDING TO HOTEL USE. AN ENTRY CANOPY WILL ALSO BE ADDED TO THE FRONT FACADE. THERE WILL BE MINOR BASEMENT WORK, A FIRST FLOOR LOBBY, SUITE FLOORS 14-23, AND COMMON AREAS ON FLOORS 24 & 25.			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <a href="http://www.city.pittsburgh.pa.us/bbi/">http://www.city.pittsburgh.pa.us/bbi/</a> )			



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13. Proposed Number of New Structures or Building Additions:**  N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

**14. Gross Floor Area:**

Existing to be Razed:	0	sq ft
Existing to be Retained:	APPROX. 273,575	sq ft
Retained Area to be Renovated:	APPROX. 250,688	sq ft
To be Constructed:	0	sq ft
Building Footprint:	APPROX. 24,200	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	25	41'-9"	No Change	No Change
Proposed Addition/Extension			N/A	N/A

Provide Accessory Structure Type(s) and Height(s):

N/A				

**16. Number of Dwelling Units:**  
 Existing to Remain:           N/A                Proposed:           229          

**17. Lot Area:**           26,040           sq ft

**18. On Site Parking:**  N/A

	Existing	Proposed
Full (8 1/2' x 19')	N/A	N/A
Compact (7 1/4' x 16')	N/A	N/A
Handicap (13 1/2' x 19')	N/A	N/A

Off-Street Loading Spaces:  N/A  
 Actual:           1            
 Required:           3          

**19. Please check any of the following items that will be part of the proposed work:**  N/A  
 Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm  
 Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u>  0  </u> New Water Service Connection(s)	<u>  0  </u> Termination of Existing Water Service Tap(s)
<u>  0  </u> New Sewer Service Connection(s)	<u>  0  </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?       Yes       No

Applicant Signature:



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219**

**Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9**

**Residential Uses**

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

**Non-Residential Uses**

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219**

**DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION**

**Department of City Planning**

200 Ross Street, Fourth Floor  
Pittsburgh, PA 15219  
(412) 255-2200  
[pittsburghpa.gov/dcp/](http://pittsburghpa.gov/dcp/)

**Department of City Planning  
Zoning Office Counter**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2246  
[pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/)

**City Zoning Code**

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety  
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2175  
[www.city.pittsburgh.pa.us/bbi/](http://www.city.pittsburgh.pa.us/bbi/)

**Department of Public Works (DPW)  
Bureau of Engineering and Construction**

City-County Building, Room 301  
441 Grant Street  
Pittsburgh, PA 15219  
(412) 255-2883  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Department of Public Works (DPW)  
Public Space Management  
Permit Office**

611 Second Avenue  
Pittsburgh, PA 15219  
(412) 255-2370  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Pittsburgh Water and Sewer Authority (PWSA)**

Penn-Liberty Plaza I  
1200 Penn Avenue  
Pittsburgh, PA 15222  
Permits (412) 255-2443; Engineering (412) 255-8987  
[www.pgh2o.com](http://www.pgh2o.com)  
Refer to the PWSA Procedures Manual for Developers.

**Allegheny County Health Department (ACHD)**

Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224  
(412) 578-8036  
[www.achd.net/plumbing/index.html](http://www.achd.net/plumbing/index.html)

**Allegheny County Health Department (ACHD)**

Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224  
(412) 578-8044  
[www.achd.net/food/foodstart.html](http://www.achd.net/food/foodstart.html)

**Allegheny County Health Department (ACHD)**

Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
[www.achd.net/housing/commenvironstart.html](http://www.achd.net/housing/commenvironstart.html)



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

**DEVELOPMENT REVIEW APPLICATION - WORKSHEET**

Please read this Worksheet to obtain instructions for completing Pages DRA-1 through DRA-3 of the Development Review Application. Please type, or print legibly all of the information requested on the Application. Each item on the Worksheet must be checked Complete once the Question has been answered on the Application form.

Questions 6, 12, and 26 may not apply to all applications. If they are not applicable, provide the appropriate response on the Application form and mark as "Not Needed" on this Worksheet.

The Worksheet must be submitted along with a complete Application form at the Zoning Office.

QUESTION NUMBER AND INSTRUCTIONS	COMPLETE	NOT NEEDED
<p><b>QUESTION 1:</b></p> <p>Provide the Property Owner's name, phone number, address (with state and zip code), as well as the Owner Identification Number.</p>	■	
<p><b>QUESTION 2:</b></p> <p>Provide the Applicant's name, phone number, address (with state and zip code), as well as the Application Identification Number.</p> <p>Enter your Contract ID Number (which is assigned by the Bureau of Building Inspection). If you are a Contractor and do not have a number, please see the BBI office.</p> <p>If you are not a Contractor, then an Applicant Identification Number is a number will be generated at the Department of City Planning – Development Administration and Review (Zoning Counter) for tracking purposes. If you do not have an Applicant Identification Number, a Zoning Counter Staff Member will issue a number when reviewing the Development Review Application with the Applicant. (It is important that the applicant save this number for future applications.)</p>	■	
<p><b>QUESTION 3:</b></p> <p>Provide the name of the development.</p>	■	
<p><b>QUESTION 4:</b></p> <p>Indicate the development location. For example: Corner of Smithfield Street and Forbes Avenue.</p>	■	
<p><b>QUESTION 5:</b></p> <p>Indicate the development address.</p> <p>This must be a valid City street address. If a City address is not available for the property or if the applicant desires to change a current City address, then the City of Pittsburgh Department of Public Works (DPW) must be contacted.</p>	■	



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

<b>DEVELOPMENT REVIEW APPLICATION – WORKSHEET (continued)</b>		
<b>QUESTION NUMBER AND INSTRUCTIONS</b>	<b>COMPLETE</b>	<b>NOT NEEDED</b>
<b>QUESTION 6:</b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>If a change to the Zoning District is being proposed, the proposed zoning district and present use of site is required information. The Present Use of Site must be a Use type from the list provided on <b>Page DRA-4</b> of the Development Review Application.</p> <p>Also, a Zone Change Petition must be completed and turned in with this application. A Zone Change Petition may be found on the Department of City Planning – Development Administration and Review website at <a href="http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html">http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html</a> and select forms.</p>		
<b>QUESTION 7:</b>	<input checked="" type="checkbox"/>	
<p>If a Certificate of Occupancy exists, please enter the following information, existing Certificate of Occupancy Number, date the Certificate of Occupancy was issued and existing use of property.</p> <p>If a Certificate of Occupancy exists and the information is not known, please contact the Zoning Staff for assistance in obtaining this information.</p> <p>If a Certificate of Occupancy does not exist, please move on to Question 8.</p>		
<b>QUESTION 8:</b>	<input checked="" type="checkbox"/>	
Provide an estimated construction start date, occupancy date and project cost.		
<b>QUESTION 9:</b>	<input checked="" type="checkbox"/>	
<p>Refer to <b>Page A4</b> of the Development Review Application for a complete listing of proposed use types. For further detailed descriptions of the use types refer to <a href="http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html">http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html</a> and select the link for the City Zoning Code maintained at the Municode.com website. Dependent upon the project, more than one use type may be selected.</p> <p>For example: A five story building may include space for a Restaurant (Limited), Retail Sales and Services (General) and a Bank or Financial Institution (Limited).</p>		
<b>QUESTION 10:</b>	<input checked="" type="checkbox"/>	
Select the type of work in which you are applying for by placing an "X" or check mark next to the appropriate type of work. More than one description can be selected.		

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DEVELOPMENT REVIEW APPLICATION – WORKSHEET (continued)		
QUESTION NUMBER AND INSTRUCTIONS	COMPLETE	NOT NEEDED
<p><b>QUESTION 11:</b></p> <p>Provide a general description of the development. Examples of a description are provided as follows:</p> <ul style="list-style-type: none"> <li>◆ Construction of a new four story building that will contain two floors designed for retail space and two floors designed for offices.</li> <li>◆ Interior renovation to an existing grocery store.</li> </ul>	<input checked="" type="checkbox"/>	
<p><b>QUESTION 12:</b></p> <p>An application for Land Operations Permit must be made by a contractor <b>registered</b> by the City of Pittsburgh unless the work is to be performed by the owner on property where that owner is resident, for which you will need a <b>General Contractor's License</b>.</p> <p>(Visit the Bureau of Building Inspection Site at <a href="http://www.city.pittsburgh.pa.us/BBI/">www.city.pittsburgh.pa.us/BBI/</a> for more information on obtaining a General Contractor's License.)</p> <p>The following is a list of conditions that require an applicant to apply for a Land Operations Permit:</p> <ol style="list-style-type: none"> <li>1. Grading involving 50 cubic yards or more.</li> <li>2. An excavation or fill, 5 feet or more in vertical depth as measured from the natural ground surface or any slope with a gradient of 25% or more.</li> <li>3. Excavation below finished grade for basement, cellar, and/or foundation of any above ground structure, swimming pool, or underground structure on a lot with an average existing slope with a gradient of 25% or more.</li> <li>4. An easement for a public sewer, water main, storm drain or power line.</li> <li>5. An encroachment on or alteration of an existing drainage channel or watercourse.</li> <li>6. Surface mining involving 50 cubic yards or more.</li> <li>7. Removal of trees, vegetation or other natural ground cover over an area in excess of 10,000 square feet.</li> <li>8. Removal of trees, vegetation or other natural ground cover on any slope with a gradient in excess of 25%, and over 10,000 square feet in area. (The removal of such ground cover could affect the stability of existing slope).</li> <li>9. Surfacing and paving of land other than streets or ways with hard surface or compacted non-permeable material such as asphalt, concrete or slag, with an area in excess of 10,000 square feet.</li> <li>10. Transportation of any material for disposal purposes over public streets, in total quantity of material in excess of 1,500 cubic yards.</li> <li>11. Any "major excavating, grading or filling" operation as so defined in Section 903.02 and permitted as a conditional use under the Zoning Ordinance.</li> </ol>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



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<b>DEVELOPMENT REVIEW APPLICATION – WORKSHEET (continued)</b>																	
<b>QUESTION NUMBER AND INSTRUCTIONS</b>	<b>COMPLETE</b>	<b>NOT NEEDED</b>															
<p><b>QUESTION 13:</b></p> <p>Write the number of each type of structure proposed for new construction or renovation. If no work is proposed for a type of structure listed, then write a zero in its place. If no new structures or renovations are proposed for the entire development, then check the "N/A" box.</p>	■																
<p><b>QUESTION 14:</b></p> <p>Enter the gross floor area in square feet (sq ft) for each item listed. The "Existing to be razed" refers to any existing structure that is proposed to be razed or demolished as part of the work. The "Existing to be retained" refers to any portion of an existing structure that will remain in place and in use. The "To be constructed" refers to any new building, structure, or addition that is proposed to be constructed as part of the work. The "Building Footprint" is defined as the total surface area of the property lot occupied by any retained or new structures. Please write a zero for any items not included in the work.</p>	■																
<p><b>QUESTION 15:</b></p> <p>Write the existing heights of the main structure and accessory structures currently on the site that will remain and not be demolished. Also, list the type of accessory structure. If any item does not currently exist, write a zero for its height. Write the proposed final heights of the main structure, any proposed additions, and accessory structures in the "Proposed" column. If any item listed is not part of the proposed work, then write a zero for its height.</p> <p><b>Note:</b> More than one accessory structure may be part of the project, such as the need for a fence and a garage. The following is an example list of accessory structures:</p> <table border="0"> <tr> <td>Garage</td> <td>Dumpster (Permanent)</td> <td>Below-ground Swimming Pool</td> </tr> <tr> <td>Carport</td> <td>Gate/Guard House</td> <td>Above-ground Swimming Pool</td> </tr> <tr> <td>Patio/Porch</td> <td>Gazebo/Storage Shed</td> <td>Home Occupation/Business</td> </tr> <tr> <td>Fence</td> <td>Antennas (&lt; 32" diameter)</td> <td></td> </tr> <tr> <td>Deck</td> <td></td> <td></td> </tr> </table>	Garage	Dumpster (Permanent)	Below-ground Swimming Pool	Carport	Gate/Guard House	Above-ground Swimming Pool	Patio/Porch	Gazebo/Storage Shed	Home Occupation/Business	Fence	Antennas (< 32" diameter)		Deck			■	
Garage	Dumpster (Permanent)	Below-ground Swimming Pool															
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Patio/Porch	Gazebo/Storage Shed	Home Occupation/Business															
Fence	Antennas (< 32" diameter)																
Deck																	
<p><b>QUESTION 16:</b></p> <p>Provide the number of existing dwelling units that will remain as part of the work. A dwelling unit is defined as a residential unit such as an apartment, condo, townhouse, or house. If there are no existing dwelling units, indicate this by writing a zero. Also provide the number of proposed dwelling units to be constructed as part of the work. If no new dwelling units are proposed, then indicate this by writing a zero.</p>	■																



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<b>DEVELOPMENT REVIEW APPLICATION – WORKSHEET (continued)</b>		
<b>QUESTION NUMBER AND INSTRUCTIONS</b>	<b>COMPLETE</b>	<b>NOT NEEDED</b>
<b>QUESTION 17:</b>	<input checked="" type="checkbox"/>	
Provide the property lot area in square feet. If the area is known in acres, convert this value to square feet by multiplying the acreage by 43,560. (i.e. 2 acres x 43,560 = 87,120 square feet).		
<b>QUESTION 18:</b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Provide the total number of existing parking spaces that are full-size and/or compact-size spaces. Also provide the number of existing handicap parking spaces. If there are currently no parking spaces that exist, please indicate by writing a zero.  If Off-Street Loading pertains to your project, please provide the number of actual loading spaces and the number of required loading spaces. (Refer to Section 914.10 of the Pittsburgh Zoning Code for the Off-Street Loading Requirements.)		
<b>QUESTION 19:</b>	<input checked="" type="checkbox"/>	
Place an "X" or a check mark beside any of the choices listed in Question 19 that best describe the type of proposed work. More than one description can be marked. If none of the items listed will take place, then indicate this by checking the "N/A" box.		
<b>QUESTION 20:</b>	<input checked="" type="checkbox"/>	
Question 20 inquires about any plumbing work that will take place inside the building (existing or new building) and on private property. This does not include plumbing, water, or sewer work that will take place in the street or sidewalk within the public right-of-way. Please read through the three choices and make one choice with an "X" or check mark.		
<b>QUESTIONS 21-24:</b> These questions inquire about sewer and water construction that will take place in the street, sidewalk, or any other public right-of-way. The Pittsburgh Water and Sewer Authority (PWSA) owns and maintains the public sewers and the majority of the public water mains in the City of Pittsburgh. For more information on the PWSA requirements for water and sewer use and connections, please refer to the PWSA Procedures Manual for Developers. The Manual is available at <a href="http://www.pgh2o.com">www.pgh2o.com</a> or by calling 412-255-2443.		



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<b>DEVELOPMENT REVIEW APPLICATION – WORKSHEET (continued)</b>		
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<p><b>QUESTION 21:</b></p> <p>For each of the four items listed in Question 21, please indicate the number of each item that will be part of the proposed work. For example, if a new residential home will be constructed and needs one new water tap and one new sewer tap, then write a "1" beside "New Water Service Connections", a "1" beside the "New Sewer Service Connections" and zeros by all other items.</p> <p>Terminations of existing taps may be required by PWSA depending on the presence and location of any existing taps and the type of work that is proposed to take place. More detailed information on the PWSA requirements will be obtained as you proceed through the PWSA permitting process.</p> <p>Please note that the numbers you write in Question 21 are subject to change once you begin the PWSA permitting process because more detailed information about the water and sewer utilities at the property will be reviewed at that time.</p>	■	
<p><b>QUESTION 22:</b></p> <p>Question 22 inquires about the water consumption or the sewer discharge flows of the building or site changing from their existing conditions to new, proposed conditions. For example, if a property lot contains a one-family home currently and the applicant is proposing to renovate the home and retain its use as a one-family home, then the water consumption and sewer discharge flows should not change significantly. This use of the property is staying the same.</p> <p>One example of a change in water consumption and sewer discharge flows is when a retail store is converted into a restaurant and the water use in the bathrooms and a new kitchen increase the water consumption and sewer discharge flow. However the change in water consumption and sewer discharge flows can also be defined as a decrease from the current values, for example by converting a restaurant into a retail store.</p>	■	
<p><b>QUESTION 23:</b></p> <p>Question 23 inquires about any sewer main and/or water mains that an applicant is proposing to construct. Some examples of this type of work include:</p> <ul style="list-style-type: none"> <li>◆ Constructing an extension to existing PWSA water mains and sewer mains to service a home currently without public water and sewer utilities;</li> <li>◆ Constructing water mains and sewer mains for a new residential housing development.</li> </ul> <p>Please mark only one of the three boxes for the option you will pursue regarding the ultimate ownership of these new utilities.</p> <p>If this type of work is not proposed to take place, then mark the third box for "Not Applicable" with an "X" or check marks.</p>	■	

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<b>DEVELOPMENT REVIEW APPLICATION – WORKSHEET (continued)</b>		
<b>QUESTION NUMBER AND INSTRUCTIONS</b>	<b>COMPLETE</b>	<b>NOT NEEDED</b>
<b>QUESTION 24:</b>	<input checked="" type="checkbox"/>	
<p>Question 24 is a follow-up question to Question 23. Question 24 requests information on the physical location of the new, proposed water and sewer utilities described in Question 23.</p> <p>If Question 23 has been marked "Not Applicable", then also mark Question 24 as "Not Applicable".</p>		
<b>QUESTION 25:</b>	<input checked="" type="checkbox"/>	
<p>Question 25 provides a list of work that is typically performed within the City rights-of-way related to renovation, demolition, and construction work. Read through the list and select all applicable items by marking the appropriate boxes with an "X" or check mark. More than one item can be selected. If none of the items on the list will be part of the proposed work, then leave all boxes unmarked.</p>		
<b>QUESTION 26:</b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>Visitability Tax Credit:</p> <p>In October 2002, Pittsburgh City Council introduced Ordinance 939, which would require that all single family homes, duplexes and triplexes developed with public funds in the City of Pittsburgh be visitable.</p> <p>Visitability includes having one no step entrance to the house, 32" wide doorways, and a first floor accessible powder room. This would allow people with physical impairments to participate in family events and community gatherings at the house. This would also allow that a person with a temporary or permanent mobility impairment to remain living in his or her home.</p> <p>The Visitability Tax Credit provides a real estate tax credit up to \$2,500 for City taxes and up to \$2,500 for County taxes over five years.</p>		
<b>Applicant Signature:</b> 	<input checked="" type="checkbox"/>	
Applicant must sign the form in blue or black ink.		



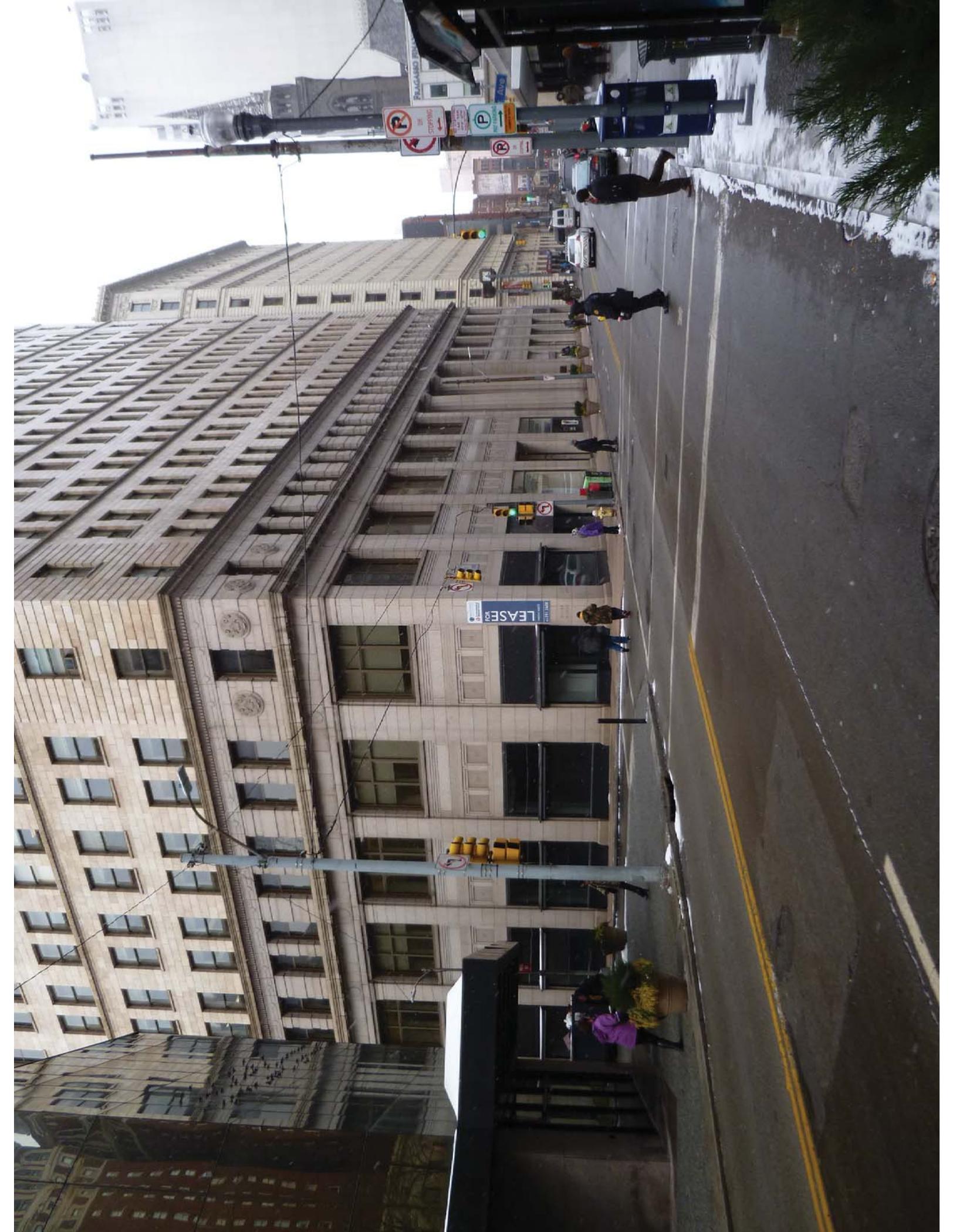
400  
Fifth Ave

verizon wireless

McDonald's

TO PITTSBURGH

TRIANGLE PLUMBING





LEASE FOR  
FOR LEASE

ALL TRAFFIC  
MUST  
TURN RIGHT



HENRY H. HOLT & COMPANY

NO LEFT TURN



C. HENRY OLIVER BUILDING

NO TURN ON RED  
ALL TRAFFIC MUST TURN RIGHT  
NO PARKING

NO TURN ON RED

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Dollar Bank

OLIVER BUILDING

TOYOTA

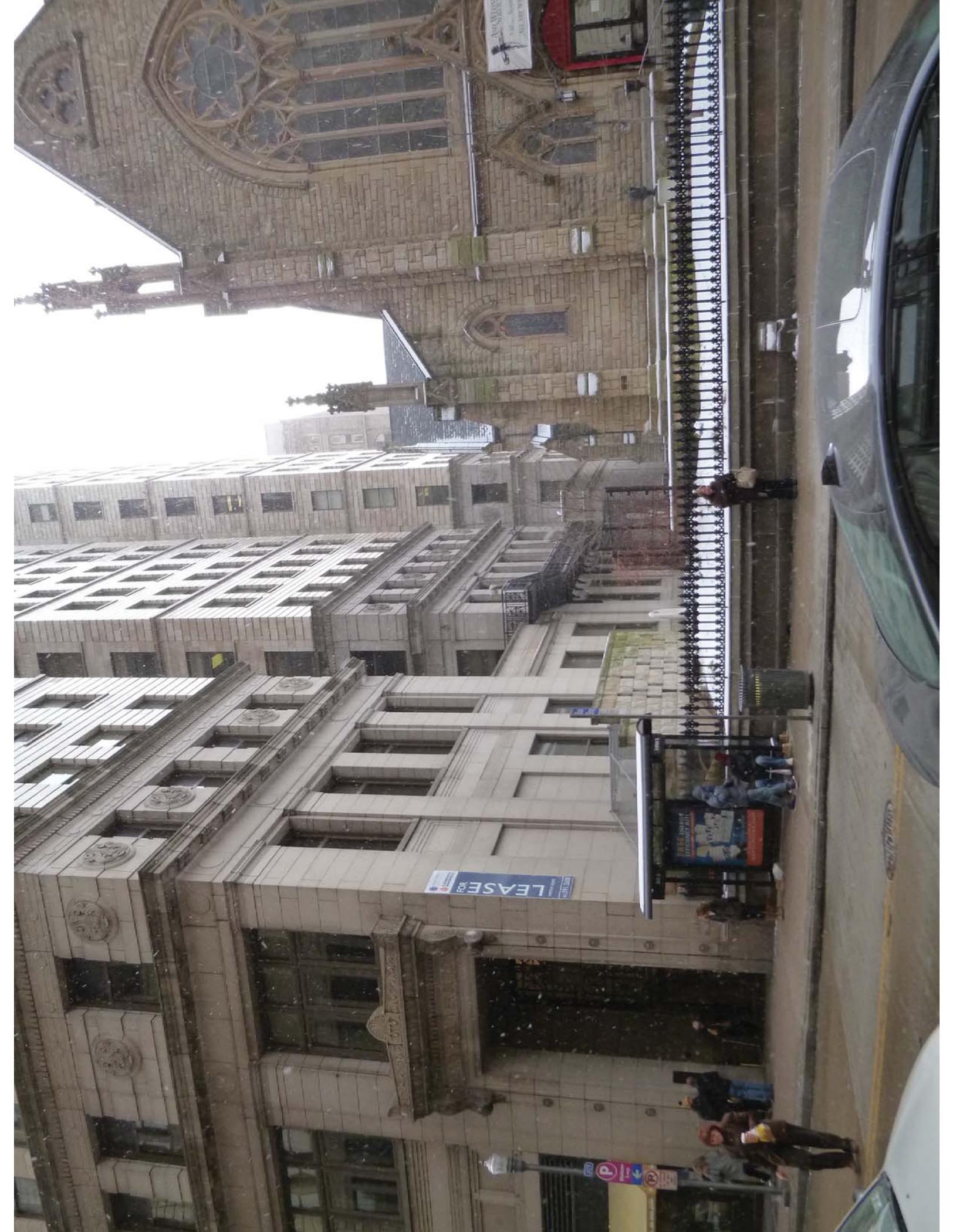


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www.abc.org/prostate  
or call 412-234-1234

Blue Stop

HENRY POLVER BULL

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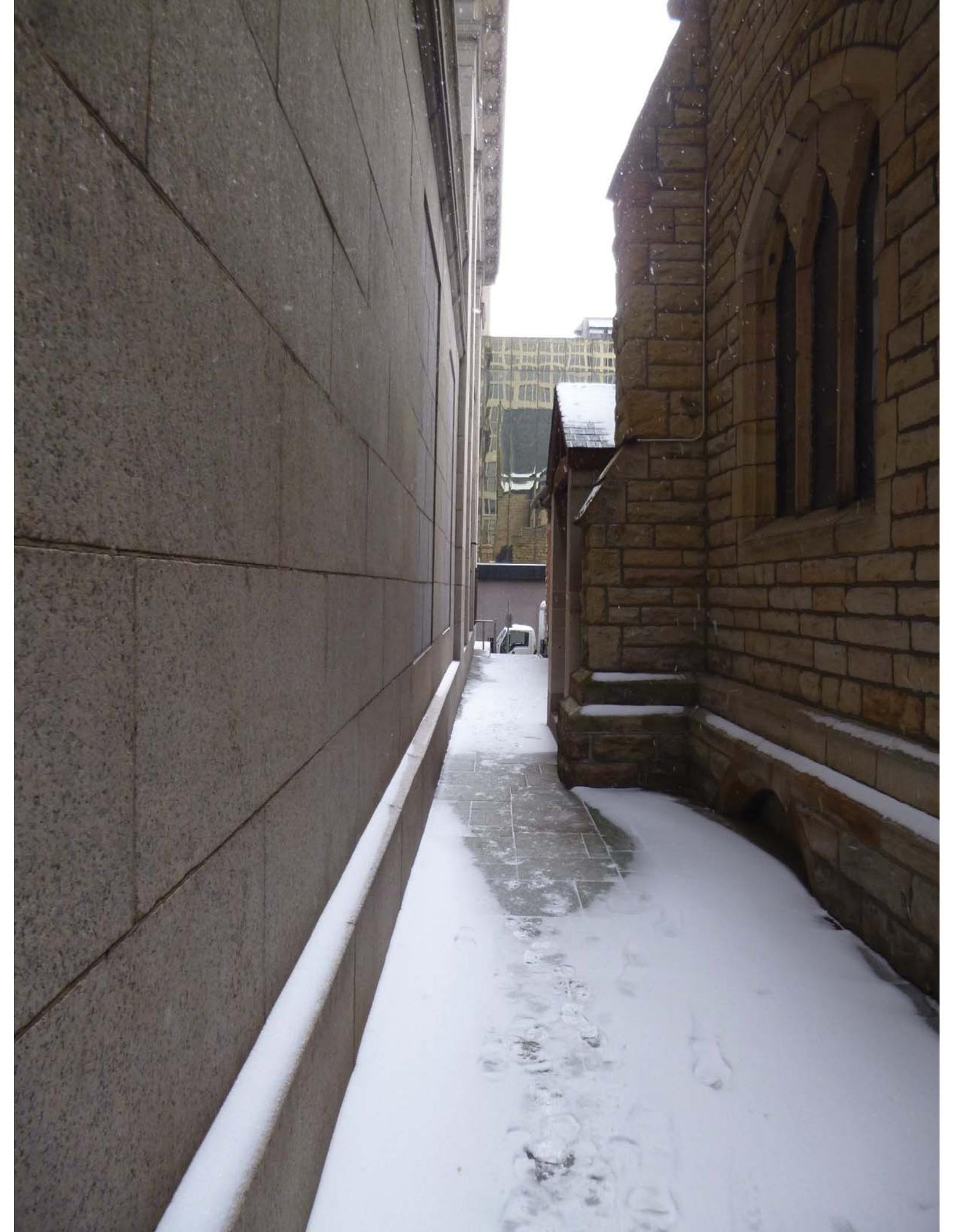
FREE internet  
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more

ALL THE WAY













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Escapstone Cafe

Escapstone Cafe



HENRY WOLVERTON

OLIVER  
BYJULIUS

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DURIN C  
U.D.T 1886314



# HENRY W. OLIVER BUILDING

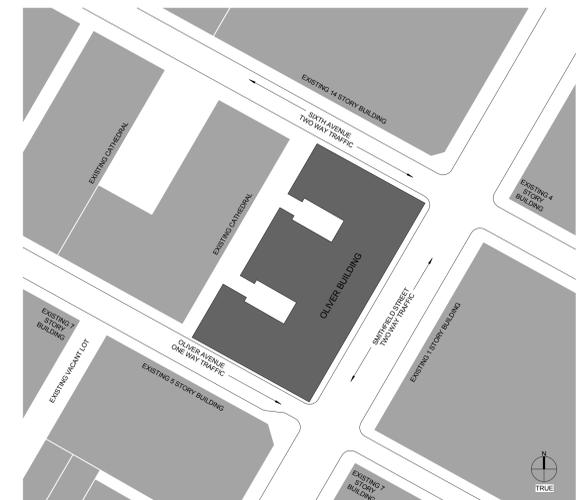
City of Pittsburgh Planning Commission -  
June, 2014



## EMBASSY SUITES HOTEL 535 SMITHFIELD STREET PITTSBURGH, PA 15222

Prepared for:  
**McKnight 535 Smithfield, L.P.**  
310 Grant Street, Suite 2500  
Pittsburgh, PA 15219

Architect of Record:  
**OHM Advisors**  
101 Mill Street, Suite 200  
Gahanna, OH 43230  
Phone: 614.418.0600  
Fax: 614.418.0614



Local Architect:  
**Perfido, Weiskopf, Wagstaff, Goettel**  
408 Boulevard of the Allies  
Pittsburgh, PA 15219  
Phone: 412.391.2884  
Fax: 412.391.1657

Civil Engineer:  
**Langan Engineering & Environmental**  
601 Technology Drive, Suite 200  
Cannonsburg, PA 15317  
Phone: 724.514.5100  
Fax: 724.514.5101

Structural Engineer:  
**Keystone Structural Solutions**  
8150 Perry Highway, Suite 302  
Pittsburgh, PA 15237  
Phone: 412.369.9020  
Fax: 412.369.9021

MEP Engineer:  
**Prater Engineering Associates**  
6130 Wilcox Road  
Dublin, OH 43016  
Phone: 614.766.4896  
Fax: 614.766.2354

Interior Designer:  
**Dina Caruso / thendesign architecture**  
204 Fifth Avenue, Suite 401  
Pittsburgh, PA 15222  
Phone: 412.621.2108

101 Mill Street, Suite 200  
Gahanna, Ohio 43230  
Phone: 614.418.0600  
www.ohm-advisors.com

PERFIDO  
WEISKOPF  
WAGSTAFF +  
GOETTEL

408 BOULEVARD OF THE ALLIES  
PITTSBURGH, PA 15219-1301  
412.391.2884 PH  
412.391.1657 FX  
WWW.PWWGARCH.COM

McKNIGHT 535 SMITHFIELD, L.P.  
**EMBASSY SUITES**  
535 SMITHFIELD STREET PITTSBURGH, PA 15222  
COVER  
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no.	revisions:	by:

job no: 6168-12-0011  
date: 10-JUN-14  
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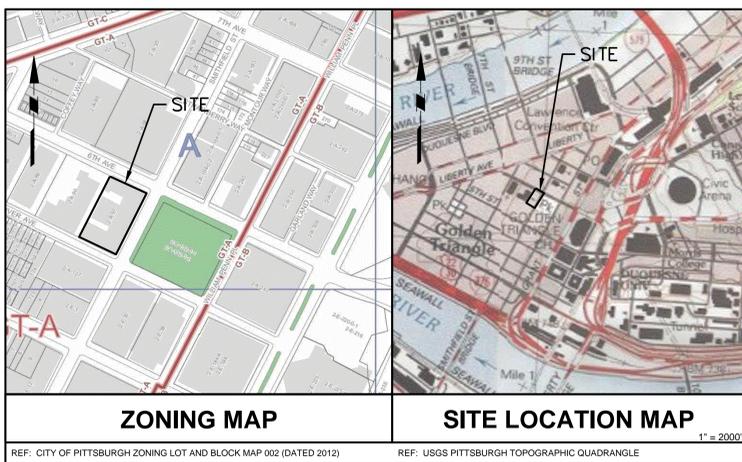
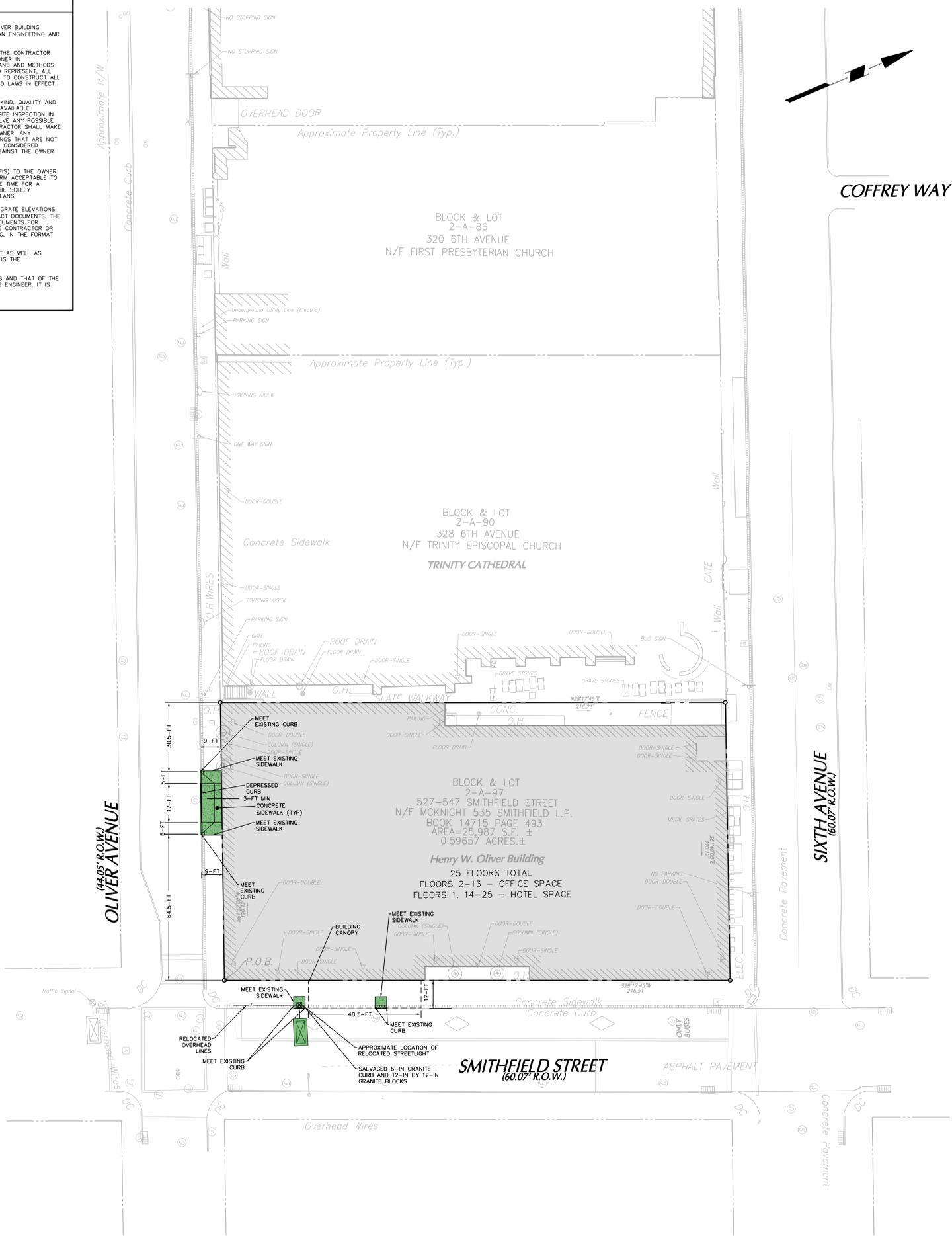
G-101

**GENERAL NOTES**

- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON A PLAN TITLED "TOPOGRAPHIC SURVEY" FOR THE "OLIVER BUILDING SIDEWALK/STREET AREA MODIFICATION" SITUATED IN ALLEGHENY CO., PENNSYLVANIA, PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, DATED JULY 13, 2013, LAST REVISED OCTOBER 9, 2013.
- THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL, WHEN THEY BECOME NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- FOR COST ESTIMATION PURPOSES, CONTRACTOR SHALL ASSUME DEPTH OF GRANITE CURB TO BE 18-INCHES AND THAT OF THE GRANITE BLOCK TO BE 2-INCHES. THIS ASSUMPTION IS BASED ON INFORMATION FROM THE OLIVER BUILDING ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE DEPTH OF THE GRANITE CURB.

**LEGEND**

PROPERTY LINE	EXISTING	PROPOSED
BUILDING LINE		
BUILDING ENTRY		
BUILDING OVERHANG		
BUILDING COLUMN		
CURB WITH 12-IN BY 12-IN GRANITE BLOCK		
ADA ACCESSIBLE RAMP		
MANHOLE (TYPE AS LABELED)		
WATER VALVE		
CATCH BASIN		
SPOT ELEVATION		
UTILITY POLE		
SIAMSE CONNECTION		
FIRE HYDRANT		
LIGHT POLE		
TRAFFIC SIGNAL CABLE		
TRAFFIC SIGNAL		
SIDEWALK		



PITTSBURGH CITY ZONING TABLE - OLIVER BUILDING		
Block: 02-A, Lot: 97		
ZONING DISTRICT: GT-A GOLDEN TRIANGLE SUBDISTRICT A (1)		
ITEM	PERMITTED/REQUIRED	PROPOSED LOT
<b>SITE</b>		
LAND USE:	OFFICE, COMMERCIAL, HOTEL	OFFICE, COMMERCIAL, HOTEL
LOT AREA:	0 AC	0.80 AC
MIN. LOT AREA PER DWELLING UNIT:	1 UNIT PER 110 SF = 237 UNITS	238 UNITS *
URBAN OPEN SPACE REQUIREMENT:	10% OF LOT AREA = 2804 SF	0 SF *
MAX. FLOOR AREA RATIO:	13	18 **
<b>PARKING AND ACCESS</b>		
MIN. BICYCLE PARKING SPACES:	1 for 6-20 EMPLOYEES	0 *
LOADING AREAS:		
MIN. NO. OF OFF-STREET LOADING AREAS	3	1 (2) **
MIN. STANDARD SIZE	10 FT x 25 FT	10 FT x 25 FT
<b>LANDS CAPING</b>		
STREET TREES:	1 TREE/30 FT OF STREET FRONT = 6 TREES	0 **
<b>NOTES</b>	(1) ALL DATA REFERENCED FROM PITTSBURGH ZONING CODE (2) AREA FOR LOADING AND UNLOADING LOCATED INSIDE BUILDING * INDICATES VARIANCE REQUESTED ** INDICATES EXISTING CONDITIONS DO NOT MEET REQUIREMENTS	



SIGNATURE: SCOTT D. ROWLAND DATE SIGNED:

101 Mill Street, Suite 200  
 Pittsburgh, PA 15203  
 Phone: 412.438.9600  
 www.ohm-advisors.com

**LANGAN**  
 801 Technology Drive, Suite 200, Coatesville, PA 19327  
 T: 610.382.1100 F: 610.382.1101  
 WWW.LANGAN.COM

MCKNIGHT 535 SMITHFIELD, L.P.  
**EMBASSY SUITES**  
 535 SMITHFIELD STREET PITTSBURGH, PA 15222

no. revisions: by:

job no: 6168-12-0011  
 date: 20-NOV-13  
 sheet:

**CS-101**  
 2 of 5





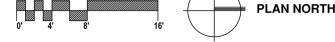
**15TH FLOOR PLAN**

SCALE: 1/8" = 1'-0"

Hotel Guest Room Suites

Egress Stair

FLOOR LIMIT COUNT	
15 KINGS	
5 DBL QUEEN	
2 STUDIO	
1 2 BEDROOM	
TOTAL: 23 UNITS	
HEARING IMPAIRED ROOM	
ACCESSIBLE ROOM	



**FLOOR PLAN GENERAL NOTES:**

- DO NOT SCALE DRAWINGS. IF DIMENSIONS CANNOT BE DETERMINED OR DOCUMENTS ARE IN CONFLICT, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUATION OF WORK.
- DIMENSIONS ARE FROM FACE OF STUDS.
- ALL DIMENSIONS LOCATING DOORS AND/OR WINDOWS ARE TO CENTERLINE OF OPENING, UNLESS NOTED OR SHOWN OTHERWISE.
- ALL DOORS ARE LOCATED 4" OFF ADJACENT PERPENDICULAR WALLS/PARTITIONS UNLESS NOTED OR SHOWN OTHERWISE.
- PROVIDE FIRE RETARDANT TREATED WOOD BLOCKING AT ALL WALL OR CEILING ATTACHED ITEMS.
- ALL CEILING, WALL AND FLOOR PENETRATIONS SHALL BE SEALED WITH APPROPRIATE MATERIAL. ALL FIRE PENETRATIONS SHALL BE SEALED AND IDENTIFIED PER LOCAL AND STATE BUILDING CODES.
- REFER TO G-1XX SHEETS FOR INFORMATION RELATED TO FIRE RATED ASSEMBLIES.
- REFER TO A-4XX SHEETS FOR ENLARGED PLANS.
- REFER TO A-6XX SHEETS FOR ALL SCHEDULES.
- REFER TO A-7XX SHEETS FOR INTERIOR DETAILS.
- COORDINATE LOCATION OF FIRE EXTINGUISHERS WITH LOCAL FIRE INSPECTOR, NFPA & THE OWNERS INSURANCE COMPANY. MAXIMUM TRAVEL DISTANCE TO FIRE EXTINGUISHER = 75'. LOCATIONS OF FIRE EXTINGUISHERS (SP-5) AND FIRE EXTINGUISHER CABINETS (SP-6) SHOWN TO BE COORDINATED.
- PROVIDE ADA SIGNAGE AT EXITS & PUBLIC RESTROOMS AS REQUIRED BY CODE AND PER ADA GUIDELINES. REFER TO SPECIALTY SCHED. FOR TYPES & PLANS FOR LOCATIONS.
- INDICATES NEW WALL/PARTITION. (REFER TO PARTITION SCHEDULE)
- SLOPE FLOOR CONSTRUCTION AS REQUIRED TO MAINTAIN POSITIVE SLOPE TO ALL FLOOR DRAINS. COORDINATE EXACT LOCATIONS WITH PLUMBING SHEETS.
- ALL EXISTING STRUCTURAL STEEL SHALL BE FIELD VERIFIED POST DEMOLITION AND SHALL BE FIRE-PROOFED OR WRAPPED AS REQ'D WITH AN APPROVED U.L. ASSEMBLY TO ACHIEVE THE REQUIRED 2HR RATING. NEW WALL TYPES SURROUNDING EXISTING STEEL MAY NOT REFLECT THIS, BUT SHALL BE PROVIDED AS REQ'D. REFER TO DETAILS 2-4/A702. STAGGER STUDS AS REQUIRED ADJACENT TO RATED WRAP TO ACHIEVE FLUSH FINISHED SURFACE.
- ALL EXISTING SHAFTS SHALL BE FIELD VERIFIED POST DEMOLITION AND SHALL BE REMOVED OR REPAIRED WITH AN APPROVED U.L. ASSEMBLY TO ACHIEVE THE REQUIRED 2HR RATING.
- NEW WALL CONSTRUCTION TO ALIGN WITH EXISTING IN LOCATIONS SHOWN, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS WHERE SPEED TILE WAS REMOVED DURING DEMOLITION & PROVIDE CMU INFILL AT ALL LOCATIONS TO MAINTAIN STRUCTURAL STABILITY OF WALL.

**FLOOR PLAN CODED NOTES:**

- DIVISION 02 - EXISTING CONDITIONS**
- 02.1 INDICATES AREA OF EXISTING RAISED FLOOR AREA (+/- 4") TO REMAIN UNDISTURBED UNLESS NOTED OTHERWISE.
  - 02.2 INDICATES AREA OF EXISTING RAISED FLOOR AREA TO BE REMOVED.
  - 02.3 EXISTING MECHANICAL PAD. REMOVE FINISHED SURFACE AS REQUIRED TO ACHIEVE SMOOTH ELEVATION FLUSH WITH ADJACENT NEW RAISED FLOOR AREA.
  - 02.4 EXISTING TENANT SPACE TO REMAIN UNDISTURBED U.N.O.
  - 02.5 EXISTING BUILDING LOBBY TO REMAIN UNDISTURBED U.N.O.
  - 02.6 EXISTING ELEVATOR TO REMAIN UNDISTURBED U.N.O.
  - 02.7 EXISTING STAIR TO REMAIN U.N.O.
  - 02.8 EXISTING MAIL CHUTES TO REMAIN.
  - 02.9 PROVIDE NEW OPENING IN EXISTING WALL TO ACCOMMODATE NEW DOOR & FRAME SHOWN. COORDINATE WITH STRUCTURAL FOR UNTEL, HEADER, ETC. AS REQ'D.
  - 02.10 DEMOLISH EXISTING CONSTRUCTION SHOWN DASHED. FIELD VERIFY EXISTING PRIOR TO DEMOLITION & COORDINATE WITH STRUCTURAL AS REQUIRED.
  - 02.11 SALVAGE & RELOCATE EXISTING DOOR TO NEW LOCATION AS SHOWN.
- DIVISION 03 - CONCRETE**
- 03.1 NEW CONCRETE RAMP FOR TRANSITION TO EXISTING +/- 4" RAISED FLOOR W/ MAX 1:12 SLOPE. REFER TO INT. DESIGN PACKAGE FOR FINAL FINISH SELECTION.
  - 03.2 NEW INFILL FLOOR STRUCTURE. REFER TO STRUCTURAL SHEETS.
  - 03.3 NEW RAISED FLOOR AREA TO MATCH EXISTING ADJACENT FLOOR AREA. REFER TO STRUCTURAL SHEETS.
  - 03.4 HATCHED AREA REPRESENTS RAISED 4" POOL DECK TOPPING SLAB. COORDINATE FINAL DIMENSIONS, CONFIGURATION, ETC. WITH POOL MANUFACTURER & MEP DRAWINGS.
- DIVISION 04 - MASONRY**
- DIVISION 05 - METALS**
- 05.1 STAINLESS STEEL HANDRAIL SYSTEM - REFER TO INTERIOR DESIGN DRAWINGS.
  - 05.2 REFER TO INTERIOR DESIGN DRAWING DETAILS FOR LOCATIONS OF METAL COUNTERTOP SUPPORT BRACKETS, PLATES, ETC. BELOW AS REQUIRED. COORDINATE FINAL LOCATIONS WITH FOOD SERVICE EQUIPMENT PRIOR TO INSTALLATION.
  - 05.3 NEW CONC. FILLED STEEL PAN STAIR, W/ 1-1/2" STEEL PIPE GUARDRAIL (42") & 1-1/2" STEEL PIPE HANDRAIL (36"), RISERS TO MATCH EXISTING & TERMINATE AT EXISTING LANDING. COORDINATE WITH STRUCTURAL AS REQ'D.
- DIVISION 06 - WOOD, PLASTICS, & COMPOSITES (REFER TO ARCH. WOODWORK SCHEDULE)**
- DIVISION 07 - THERMAL & MOISTURE PROTECTION (REFER TO INSULATION SCHEDULE)**
- DIVISION 08 - OPENINGS (REFER TO DOOR & WINDOW SCHEDULES)**
- 08.1 TEMPERED GLASS GUARDRAIL SYSTEM - REFER TO INTERIOR DESIGN DRAWINGS.
  - 08.2 CORNELL TRANZFORM ACCORDION FOLDING FIRE DOORS. COORDINATE WITH DOOR MANUFACTURER AS REQUIRED TO PROVIDE PROPER STRUCTURAL SUPPORT. COORDINATE INSTALLATION WITH FIRE ALARM SYSTEM.
  - 08.3 24" X 36" LOCKABLE FIRE-RATED FLUSH ACCESS DOOR. DOOR TO REMAIN LOCKED AT ALL TIMES.
- DIVISION 09 - FINISHES (REFER TO INTERIOR DESIGN SHEETS)**
- DIVISION 10 - SPECIALTIES (REFER TO SPECIALITY SCHEDULE)**
- DIVISION 11 - EQUIPMENT (REFER TO EQUIPMENT SCHEDULE & FOOD SERVICE EQUIP. DWGS.)**
- 11.1 ANSUL SYSTEM PULL STATION - COORDINATE EXACT LOCATION WITH FOOD SERVICE EQUIPMENT DRAWINGS.
  - 11.2 ANSUL SYSTEM PANEL - COORDINATE EXACT LOCATION WITH FOOD SERVICE EQUIPMENT DRAWINGS.
- DIVISION 12 - FURNISHINGS (REFER TO INTERIOR DESIGN SHEETS)**
- 12.1 WINDOW TREATMENT
  - 12.2 FURNISHINGS
- DIVISION 21 - FIRE SUPPRESSION (REFER TO FIRE PROTECTION SHEETS)**
- 21.1 NEW SPRINKLER STANDPIPE TO TIE IN AT FLOOR 11 AND CONTINUE THROUGH PENTHOUSE FLOOR 26 - JOG AS REQUIRED FROM 23RD TO 24TH FLOOR & TO AVOID EXISTING STRUCTURE, EQUIPMENT, ETC. ON ALL FLOORS.
- DIVISION 22 - PLUMBING (REFER TO PLUMBING SHEETS)**
- 22.1 WATER HEATER (TYP. OF 3)
- DIVISION 23 - HVAC (REFER TO HVAC SHEETS)**
- 23.1 HVAC DUCT
  - 23.2 DRYER VENT FOR GUEST LAUNDRY IN TRANSOM WINDOW LOCATION. MOUNT VENT IN ALUMINUM BLANK-OFF PANEL TO MATCH ALUMINUM WINDOW SYSTEM HVAC UNIT - REFER TO DETAIL 1/A-702
  - 23.3
- DIVISION 26 - ELECTRICAL (REFER TO ELECTRICAL SHEETS)**
- 26.1 ELECTRICAL PANEL
- DIVISION 32 - EXTERIOR IMPROVEMENTS (REFER TO CIVIL SHEETS)**
- 32.1 MODIFIED CURB, REFER TO CIVIL FOR ADDITIONAL INFORMATION
  - 32.2 RELOCATED LIGHT POLE & BASE

no.	revisions:	by:

job no: 6168-12-0011  
 date: 29-APR-14  
 sheet:

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**25TH FLOOR PLAN**

SCALE: 1/8" = 1'-0"

Hotel Public Spaces

Egress Stair

no.	revisions:	by:

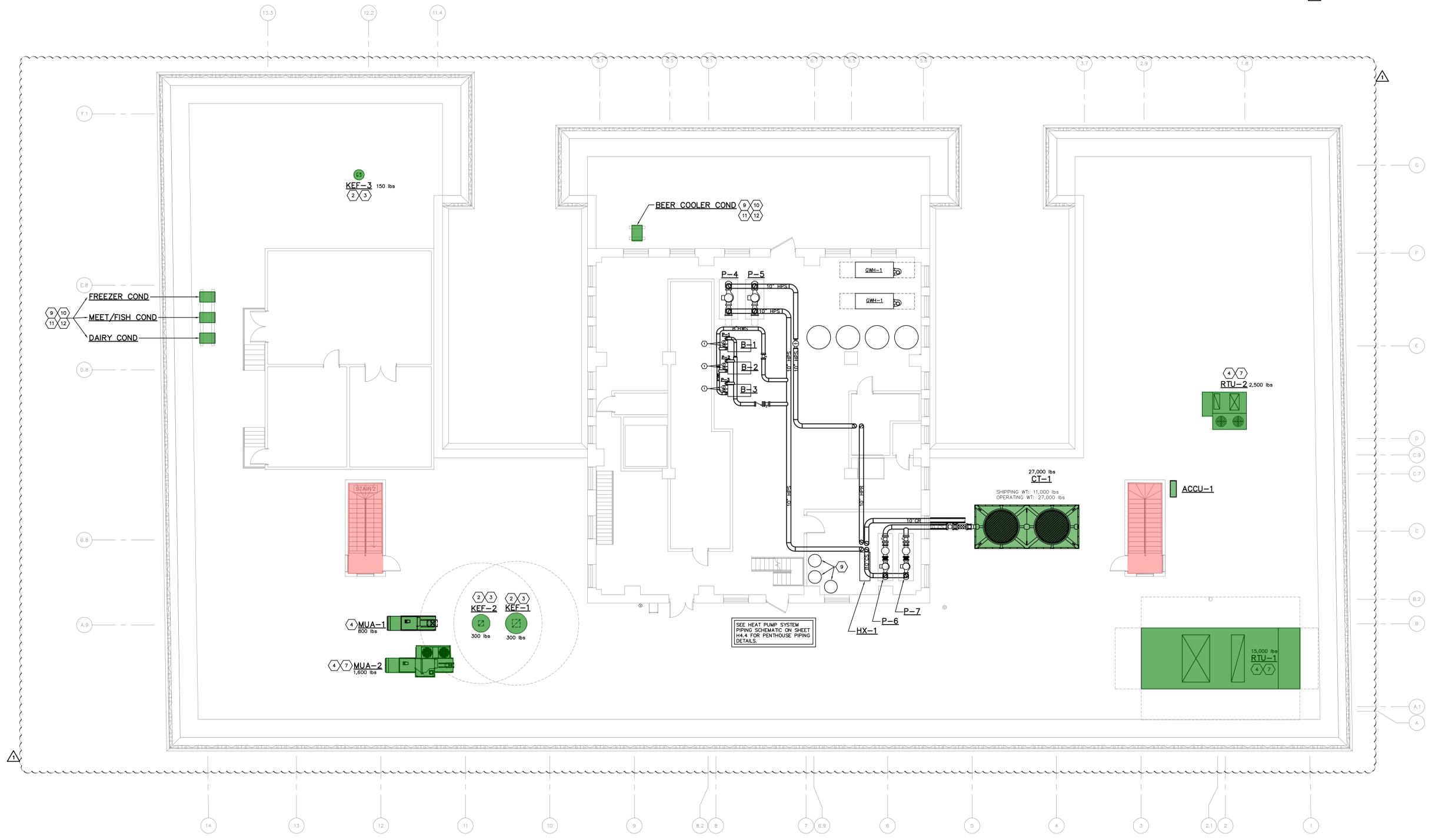
job no: 6168-12-0011  
 date: 29-APR-14  
 sheet:

**CODED NOTES**

1. 8" PVC COMBUSTION AIR AND 8" AL2O3-AC FLUE PIPING UP AND OUT THRU SIDE WALL OF BUILDING. TERMINATE PER MANUFACTURER'S INSTRUCTIONS WITH WALL CAP.
2. KITCHEN HOOD EXHAUST FAN WITH CURB FURNISHED & INSTALLED BY HVAC CONTR. REFER TO KITCHEN HOOD EXHAUST FAN DETAIL ON SHEET H4.3.
3. PROVIDE GREASE GUARD AROUND KITCHEN EXHAUST. USE FACILTEC OR EQUAL.
4. MAKE UP AIR UNITS WITH CURB FURNISHED AND INSTALLED BY HVAC CONTR.
5. MOUNT NEW ROOFTOP UNIT ON MANUFACTURER PROVIDED CURB.
6. DIRECT CONDENSATE FROM ROOFTOP UNIT TO SPLASHBLOCK ON ROOF.
7. CONDENSING UNITS FOR WALK IN COOLER, FREEZER AND ICE MAKER FURNISHED BY KITCHEN EQUIPMENT SUPPLIER, AND INSTALLED BY HVAC CONTRACTOR.
8. FUTURE CONDENSER WATER CHEMICAL TREATMENT EQUIPMENT TO BE FURNISHED AND INSTALLED AS A SEPARATE CONTRACT BY OWNER.
9. UNIT MOUNTED PATE ES CURB WITH SPRING ISOLATORS. COORDINATE ROOF PATCHING WITH GC.
10. EXTEND REFRIGERANT PIPING FROM ROOF MOUNTED CONDENSING UNITS TO COOLERS LOCATED IN BASEMENT. COORDINATE EXACT LOCATION OF VERTICAL RISER WITH STRUCTURE AND WALLS ON THE FLOORS BELOW.
11. SIZE REFRIGERANT LINES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. REFRIGERANT PIPING MAY BE PRE-CHARGED LINE SETS IF AVAILABLE IN REQ'D LENGTHS. INSULATE ALL REFRIGERANT SUCTION PIPING. PROVIDE WEATHER COATING ON INSULATION LOCATED OUTSIDE.
12. PIPING TO PENETRATE ROOF PER CURB DETAIL ON SHEET H4.02. TYPICAL.

101 mill street, suite 200  
 gahanna, ohio 43230  
 phone: 614-416-0600  
 www.ohm-advisors.com

**OHM**



SEE HEAT PUMP SYSTEM PIPING SCHEMATIC ON SHEET H4.4 FOR PENTHOUSE PIPING DETAILS.

New Hotel Mechanical Equipment  
 Egress Stair

OLIVER HOTEL LP, LTD.  
**EMBASSY SUITES PITTSBURGH**  
 PITTSBURGH, PA  
 ROOF AND PENTHOUSE HVAC PLAN  
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no.	revisions:	by:
	MEP Bid Package:	12-18-13
	Proposal Req 01	04-29-14

**ROOF AND PENTHOUSE HVAC PLAN**  
 SCALE: 1/8"=1'-0"

Page 6 of 15

**PRATER**  
 Engineering Associates, Inc.

6130 Wilcox Road  
 Dublin, Ohio 43016  
 (614) 766 4896  
 FAX: (614) 766 2354

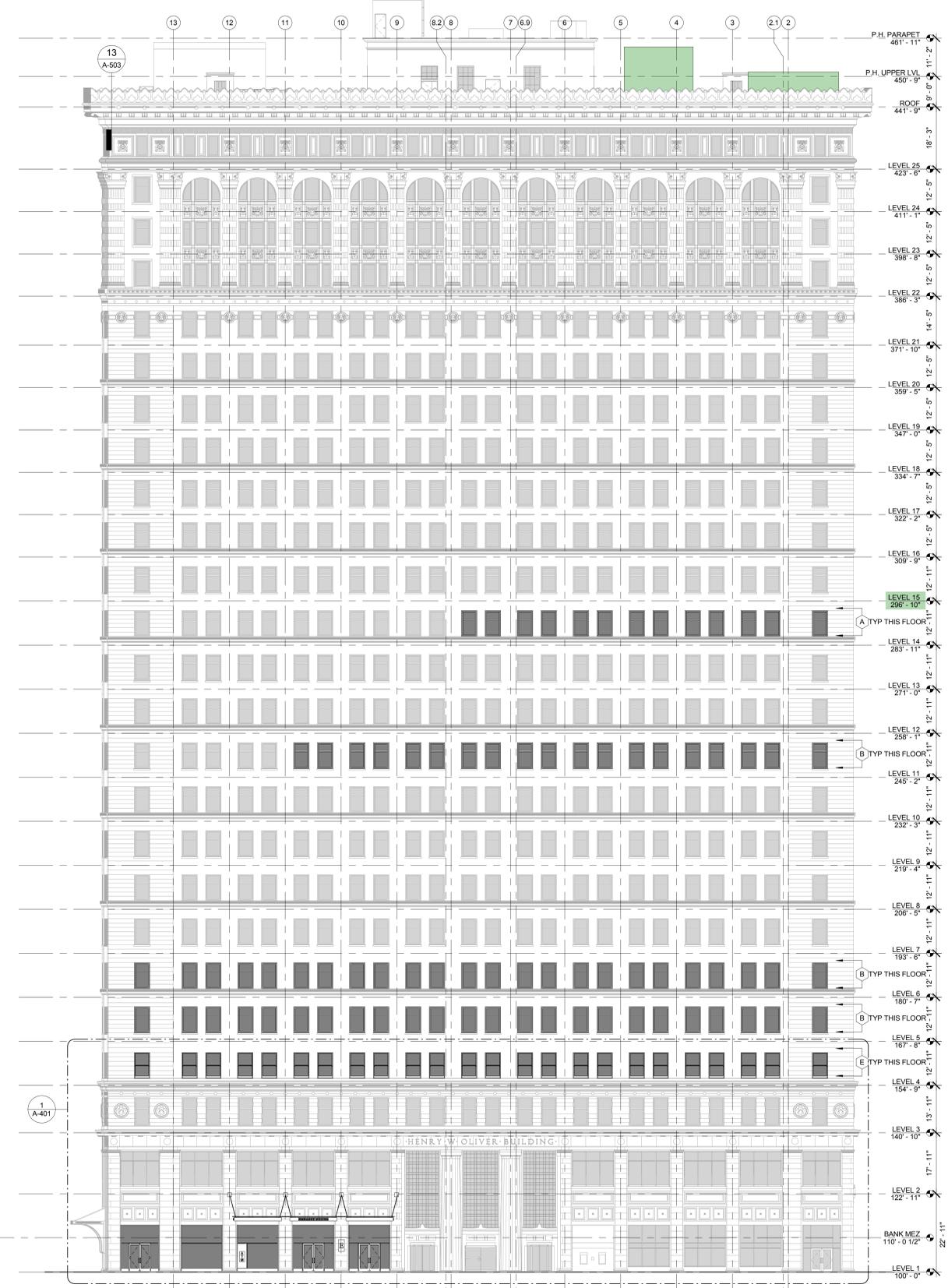
DESIGNED BY	DRAWN BY	CHECKED BY	JOB NUM.
MAM	MAM	JBK	13124

job no: 6168120011  
 date: 12/18/13  
 sheet: **H1.26**  
 of:

NOT FOR CONSTRUCTION



SIXTH AVE (NORTH) ELEVATION | 2  
1/16" = 1'-0" A-201



SMITHFIELD STREET (EAST) ELEVATION | 1  
1/16" = 1'-0" A-201

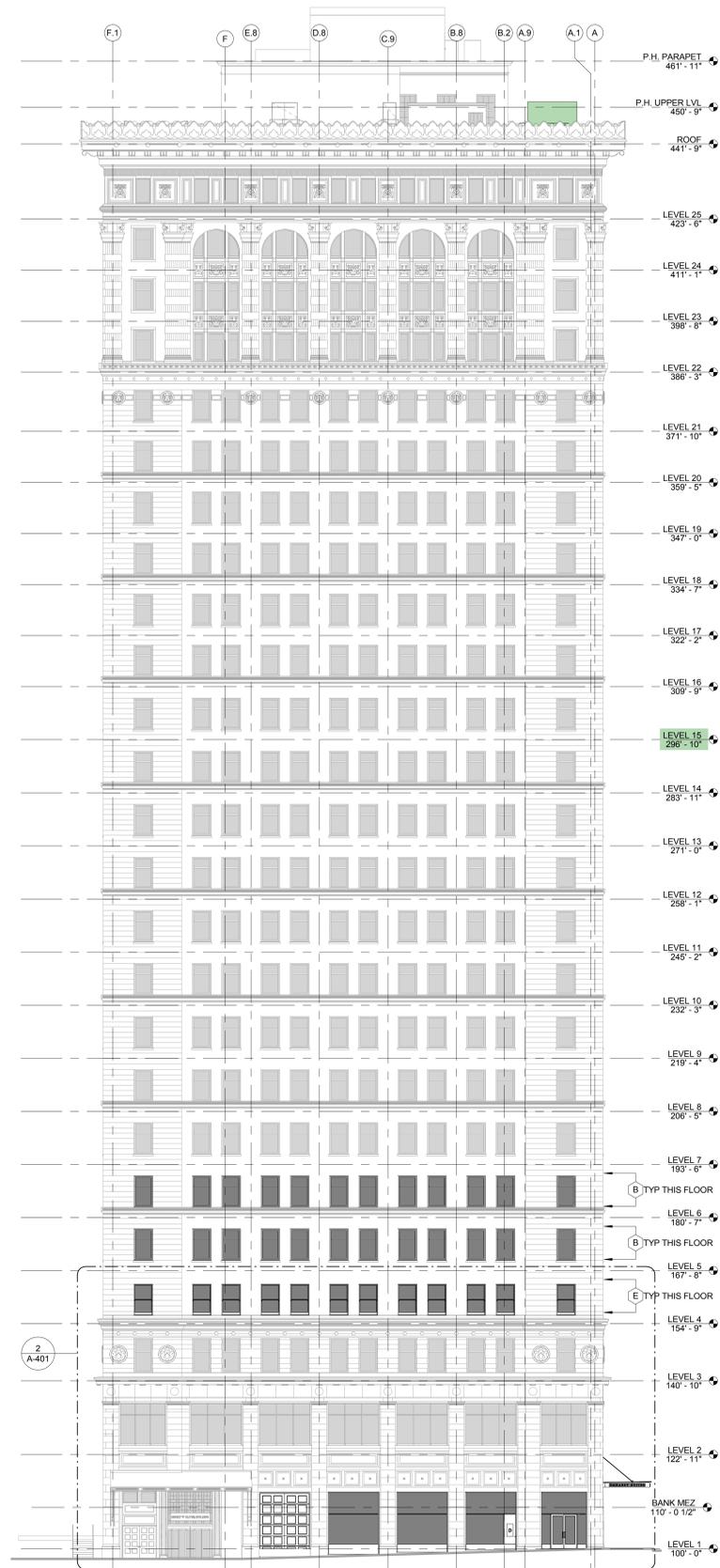
PWWG PROJECT NUMBER	21308.00
EXISTING CONDITIONS	08/30/2013
REVISIONS	
NO.	DESCRIPTION DATE

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HENRY W. OLIVER  
BUILDING  
535 SMITHFIELD STREET  
PITTSBURGH, PA 15222  
MCKNIGHT REALTY PARTNERS

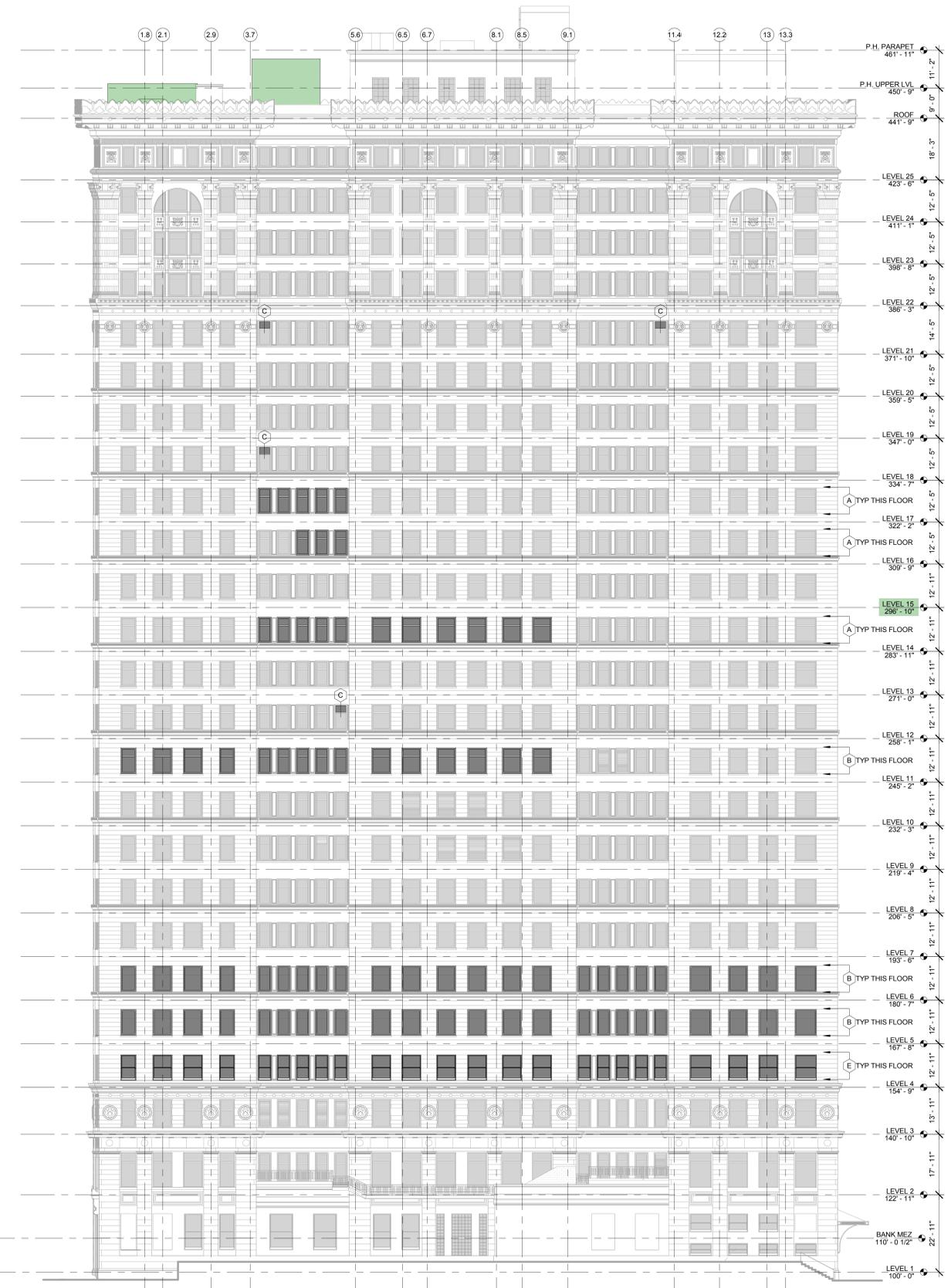
BUILDING ELEVATIONS

A-201

NOT FOR CONSTRUCTION



OLIVER AVE (SOUTH) ELEVATION | 2  
1/16" = 1'-0" A-202



WEST ELEVATION | 1  
1/16" = 1'-0" A-202

PWWG PROJECT NUMBER	21308.00
EXISTING CONDITIONS	08/30/2013
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NO.	DESCRIPTION
DATE	

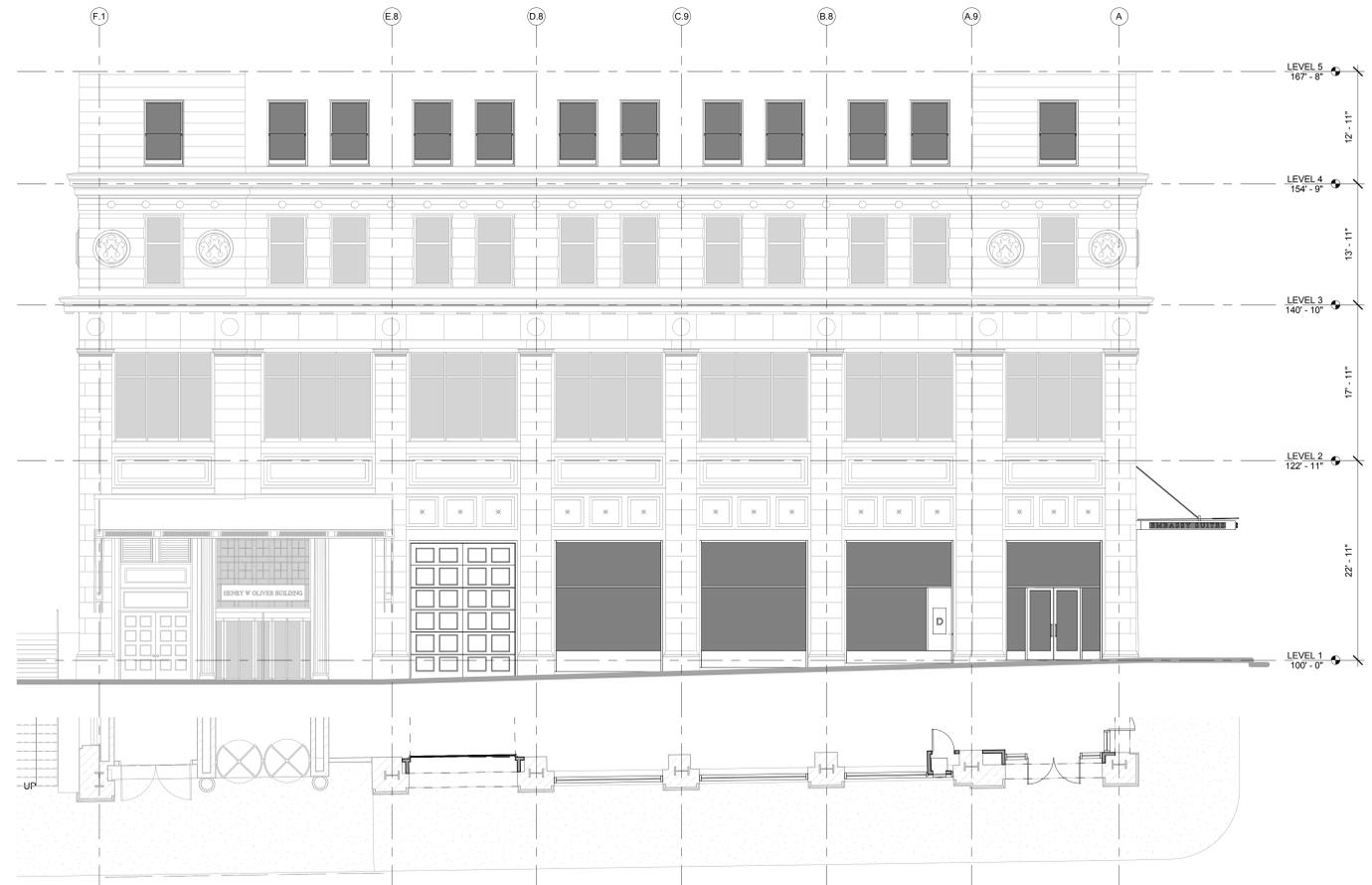
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HENRY W. OLIVER  
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BUILDING ELEVATIONS

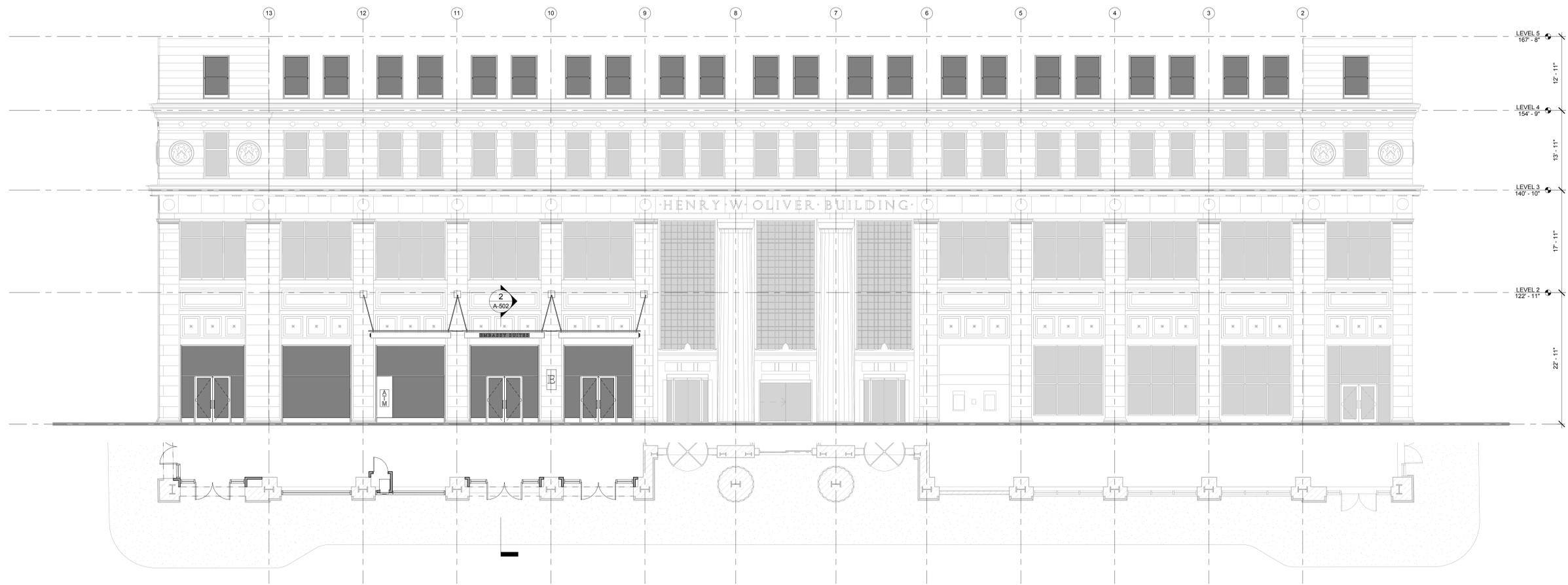
A-202



NOT FOR CONSTRUCTION



ENLARGED OLIVER AVE (SOUTH) ELEVATION 2  
1/8" = 1'-0" A-401



ENLARGED SMITHFIELD STREET (EAST) ELEVATION 1  
1/8" = 1'-0" A-401

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ENLARGED  
ELEVATIONS

A-401

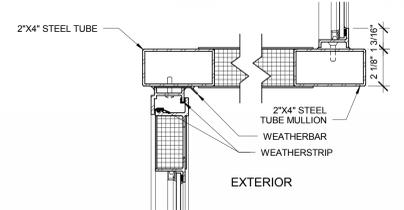
NOT FOR CONSTRUCTION



EX-Canopy from above | 6  
A-502



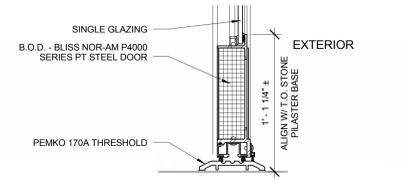
EX-Canopy Angle | 5  
A-502



STOREFRONT MULLION AT ENTRANCE DETAIL | 11  
3" = 1'-0" A-502



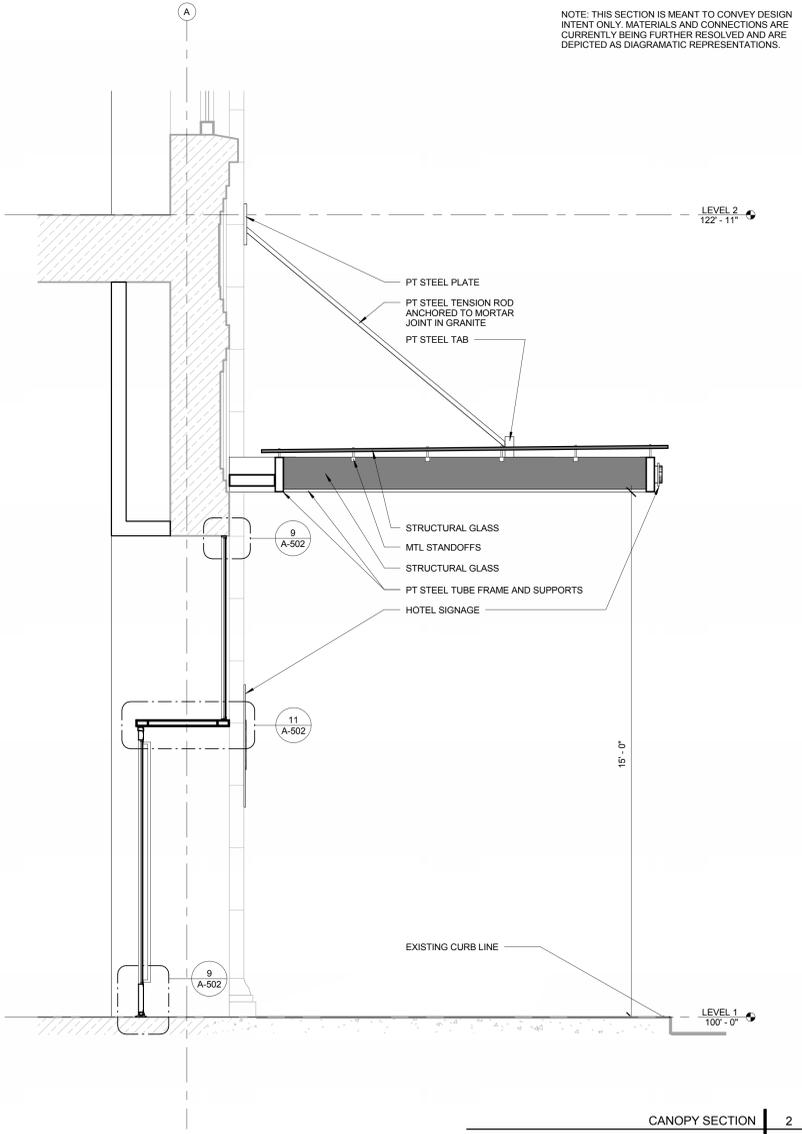
EX-Canopy close up | 4  
A-502



STOREFRONT SILL AT ENTRANCE DETAIL | 10  
3" = 1'-0" A-502

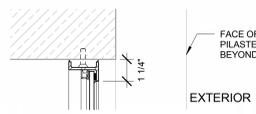


EX-Canopy down sidewalk | 3  
A-502

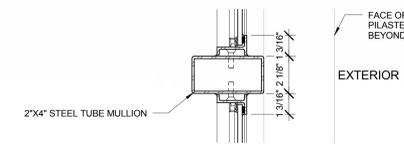


NOTE: THIS SECTION IS MEANT TO CONVEY DESIGN INTENT ONLY. MATERIALS AND CONNECTIONS ARE CURRENTLY BEING FURTHER RESOLVED AND ARE DEPICTED AS DIAGRAMATIC REPRESENTATIONS.

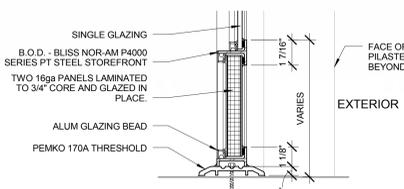
CANOPY SECTION | 2  
1/2" = 1'-0" A-502



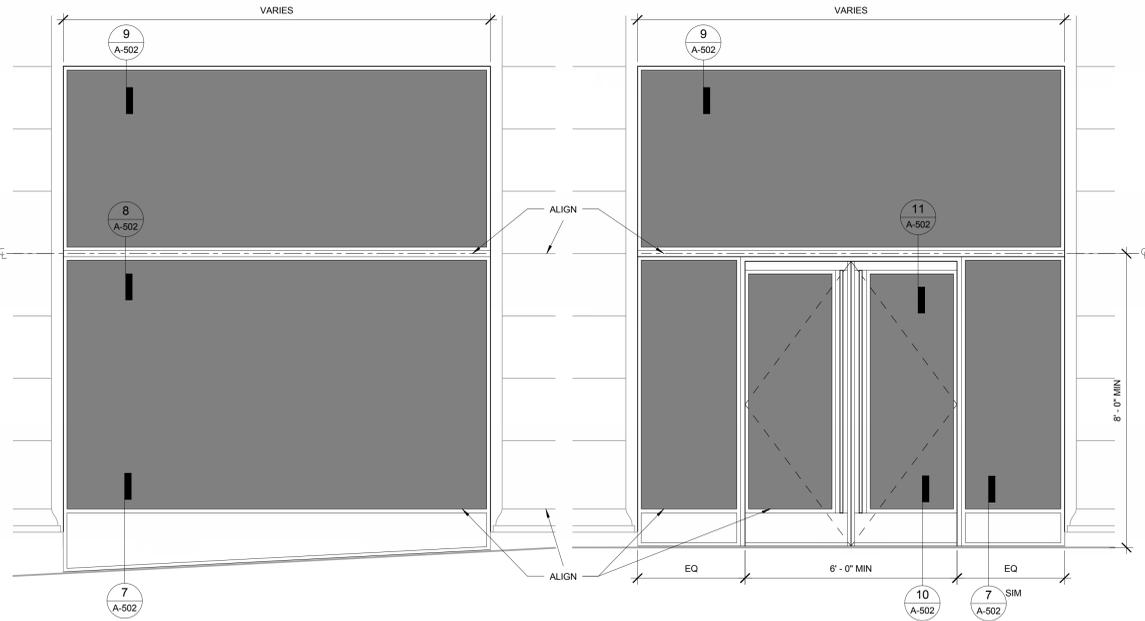
STOREFRONT HEAD DETAIL | 9  
3" = 1'-0" A-502



STOREFRONT MULLION DETAIL | 8  
3" = 1'-0" A-502



STOREFRONT SILL DETAIL | 7  
3" = 1'-0" A-502



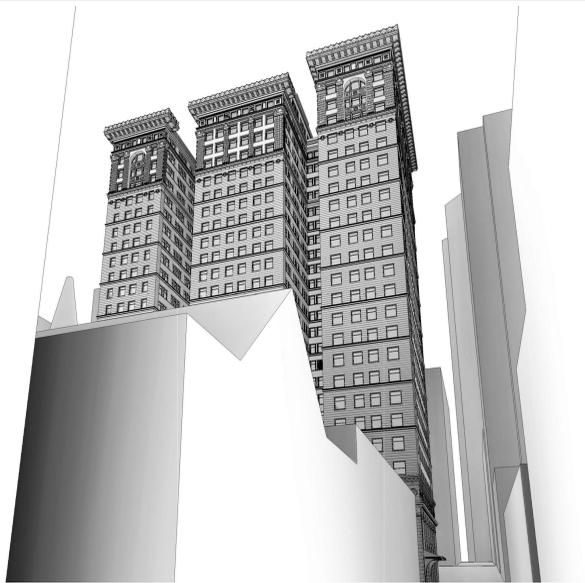
STOREFRONT TYPES | 1  
1/2" = 1'-0" A-502

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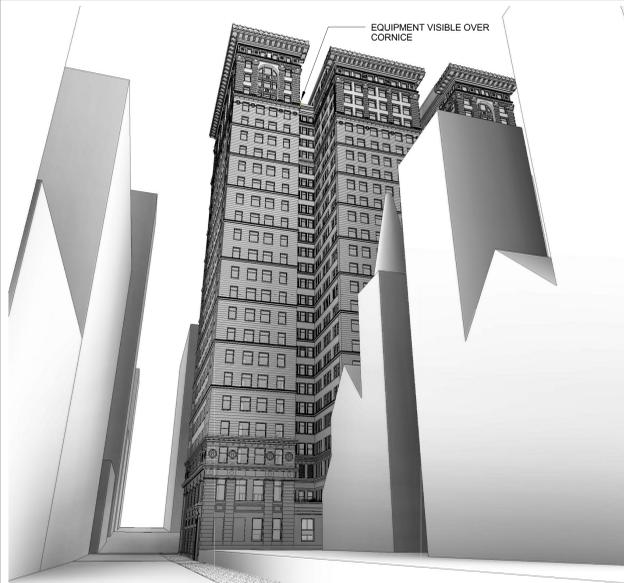
HENRY W. OLIVER  
BUILDING  
538 SMITHFIELD STREET  
PITTSBURGH, PA 15222  
MCKNIGHT REALTY PARTNERS

STOREFRONT AND  
CANOPY DETAILS

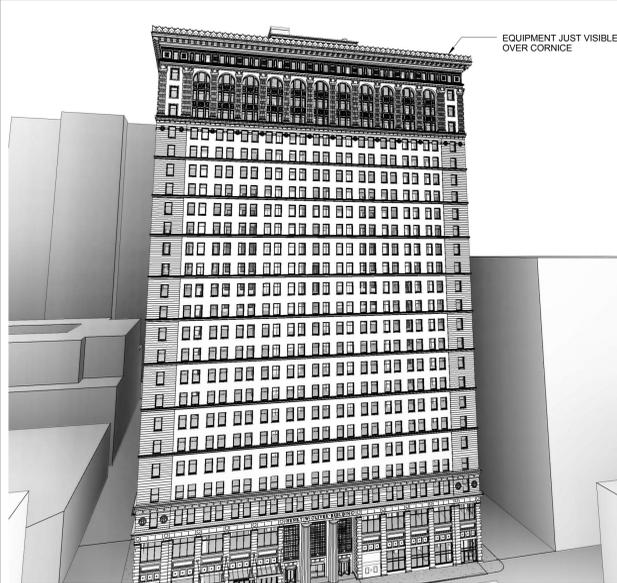
A-502



VIEW FROM OLIVER AVE LOOKING EAST  
NO ROOFTOP EQUIPMENT VISIBLE 8



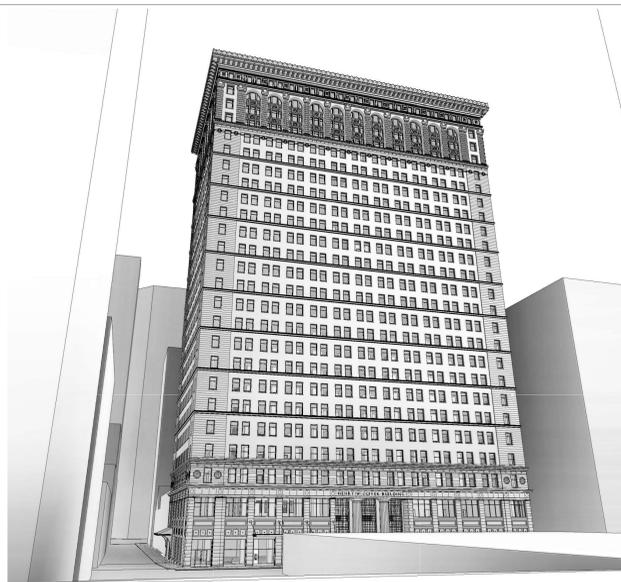
VIEW FROM SIXTH AVE LOOKING EAST  
NEW ROOFTOP EQUIPMENT IN GREEN 5



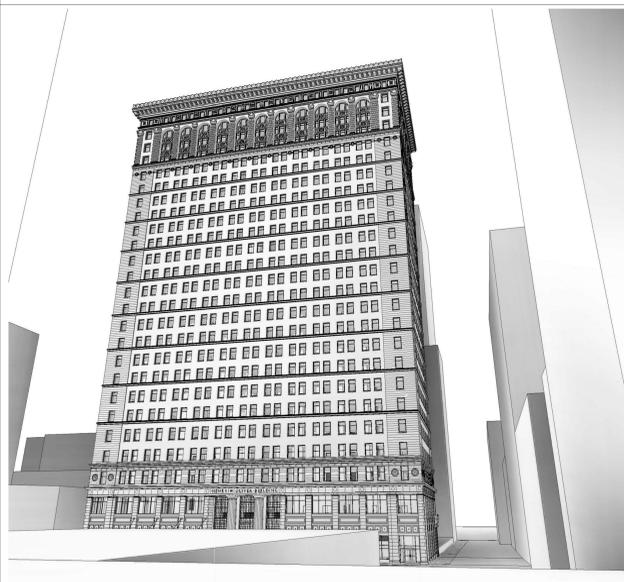
VIEW FROM ROOF OF OMNI WILLIAM PENN  
NEW ROOFTOP EQUIPMENT IN GREEN 2



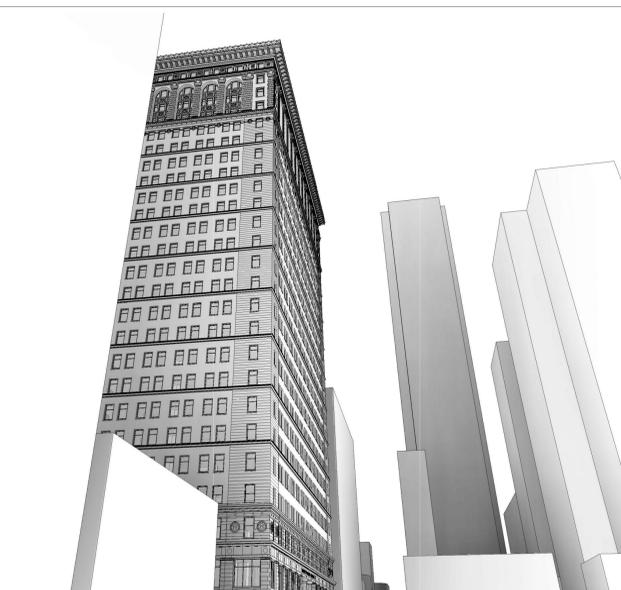
VIEW FROM US STEEL BUILDING (60TH FLOOR)  
NEW ROOFTOP EQUIPMENT IN GREEN 1



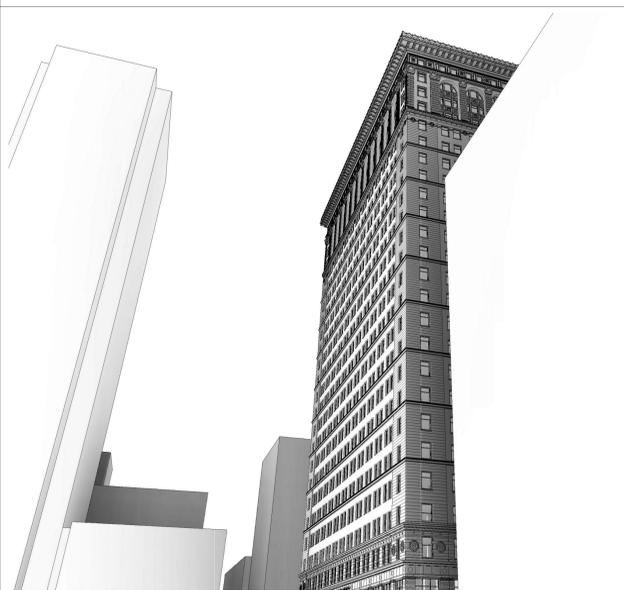
VIEW FROM OLIVER AVE LOOKING WEST  
NO ROOFTOP EQUIPMENT VISIBLE 7



VIEW FROM SIXTH AVE LOOKING WEST  
NO ROOFTOP EQUIPMENT VISIBLE 4



VIEW FROM SMITHFIELD ST LOOKING NORTH  
NO ROOFTOP EQUIPMENT VISIBLE 6

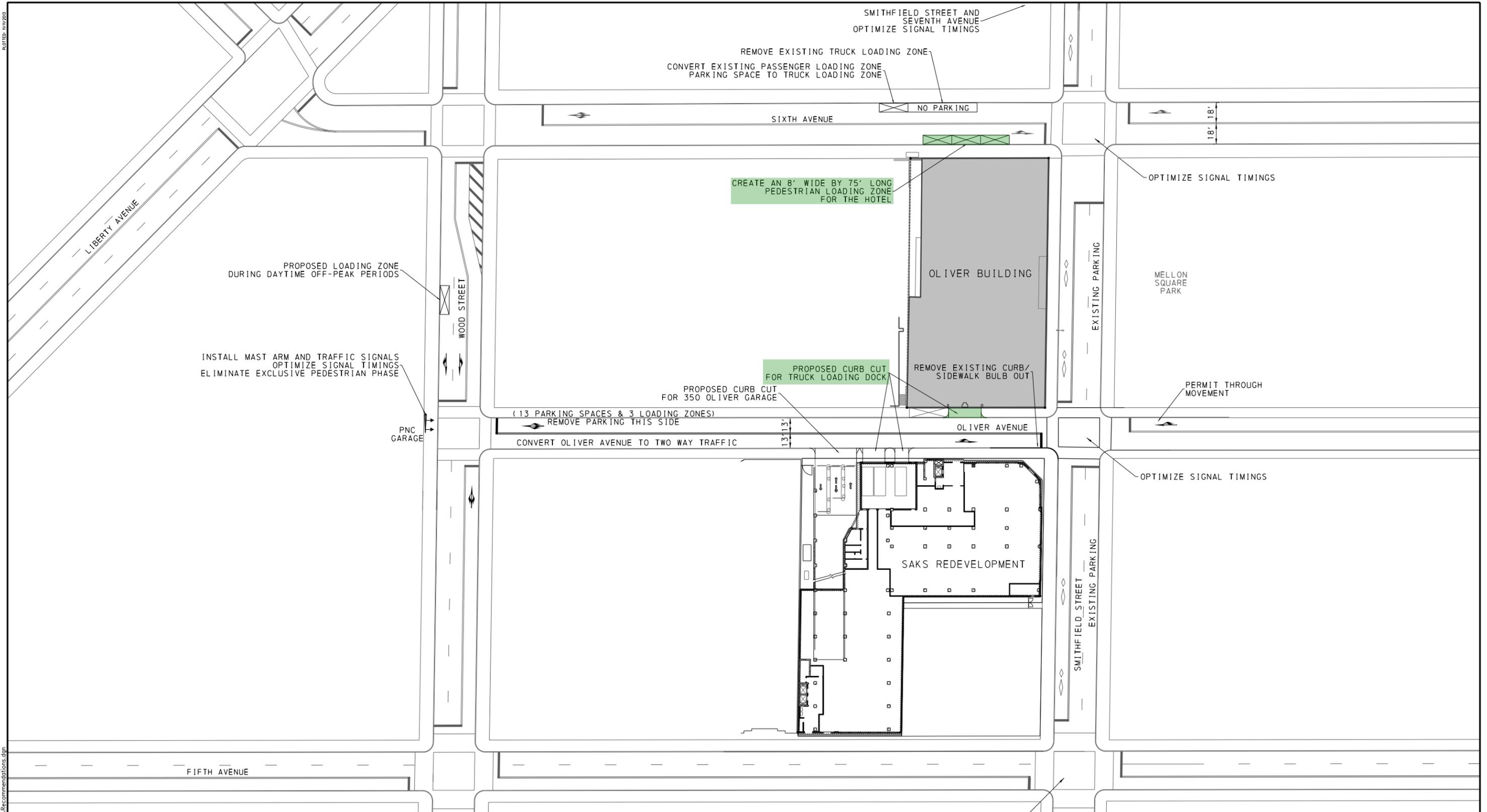


VIEW FROM SMITHFIELD ST LOOKING SOUTH  
NO ROOFTOP EQUIPMENT VISIBLE 3



FIGURE 37

FILE NAME: P:\mckni00\13061\Figures\Recommendations.dgn



Transportation Solutions for Today and Tomorrow  
Twin Towers Suite 400 / 4955 Steubenville Pike  
Pittsburgh, Pennsylvania 15205 / (412) 490-0630

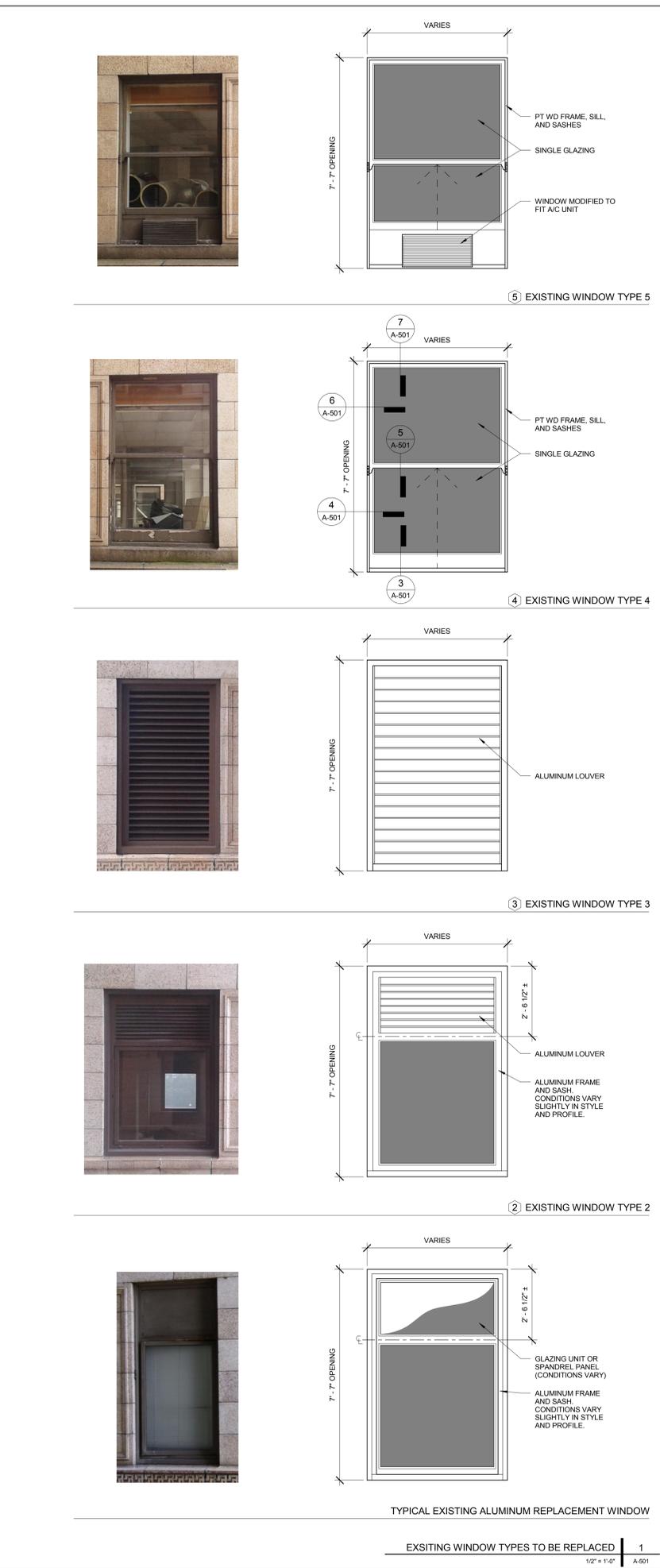
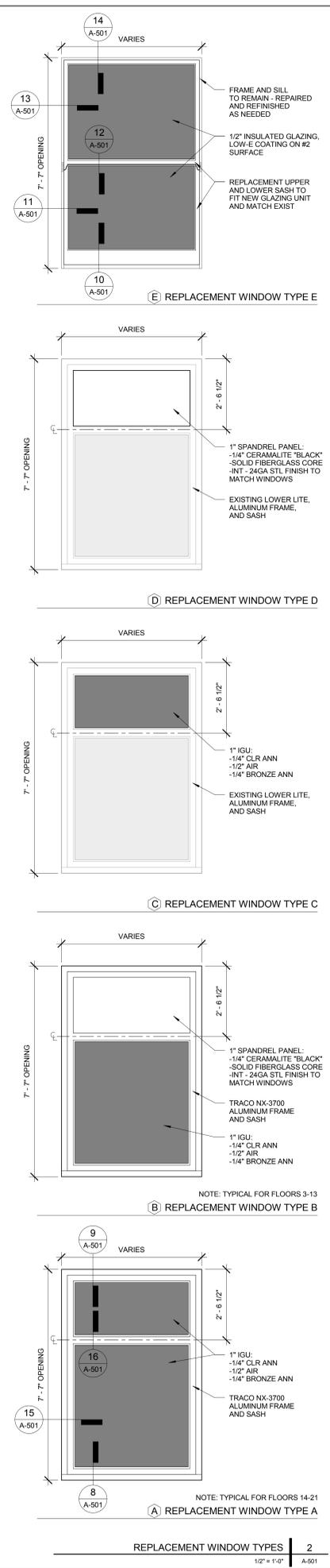
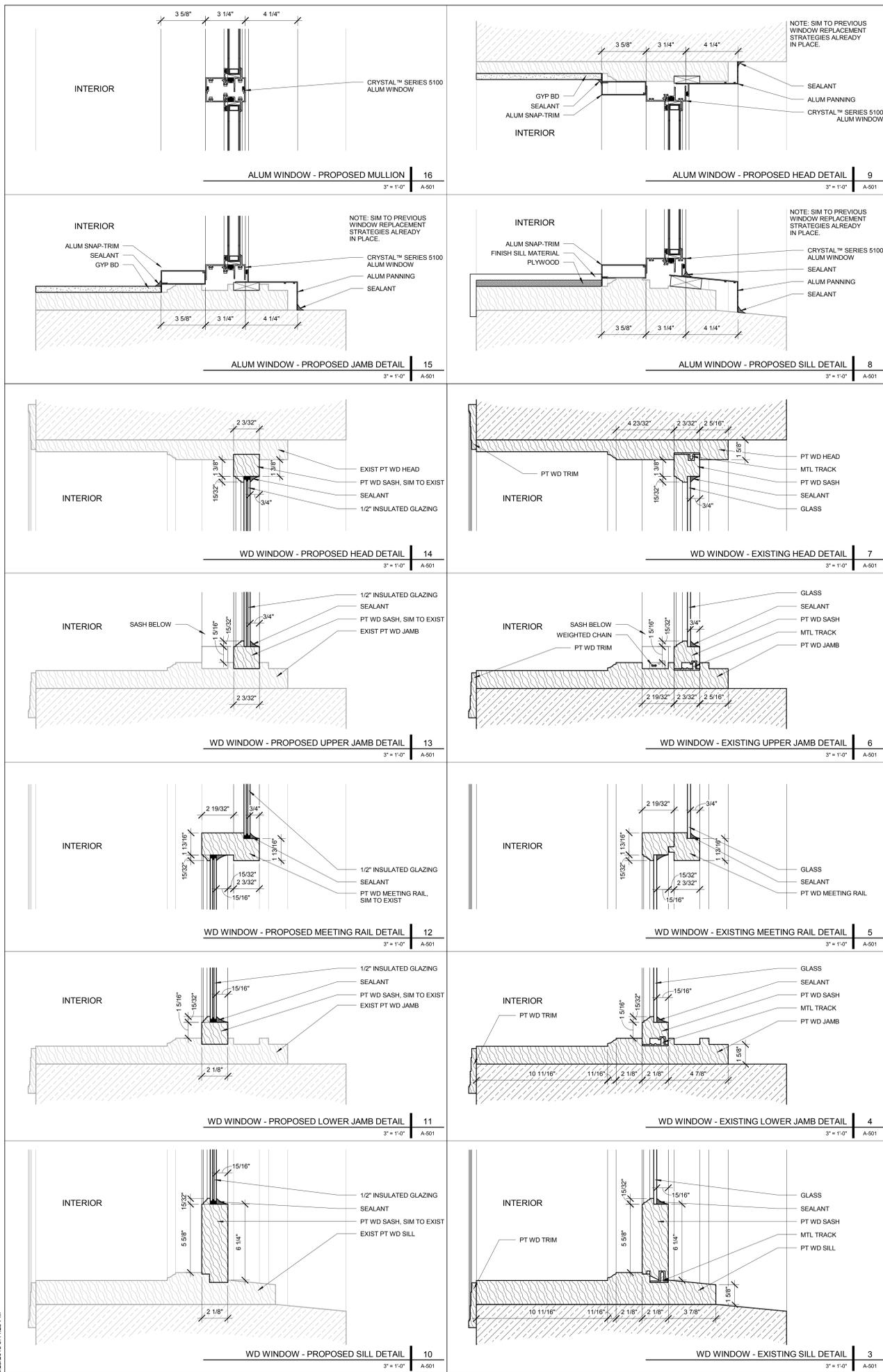
PROJECT NO.	MCKNI00 - 13061
PROJECT:	Saks Redevelopment / Oliver Building Hotel Transportation Study
TITLE:	Recommendations

FIGURE	37
D.B.	TMW
C.B.	REG
REV.	



OPTIMIZE SIGNAL TIMINGS

NOT FOR CONSTRUCTION

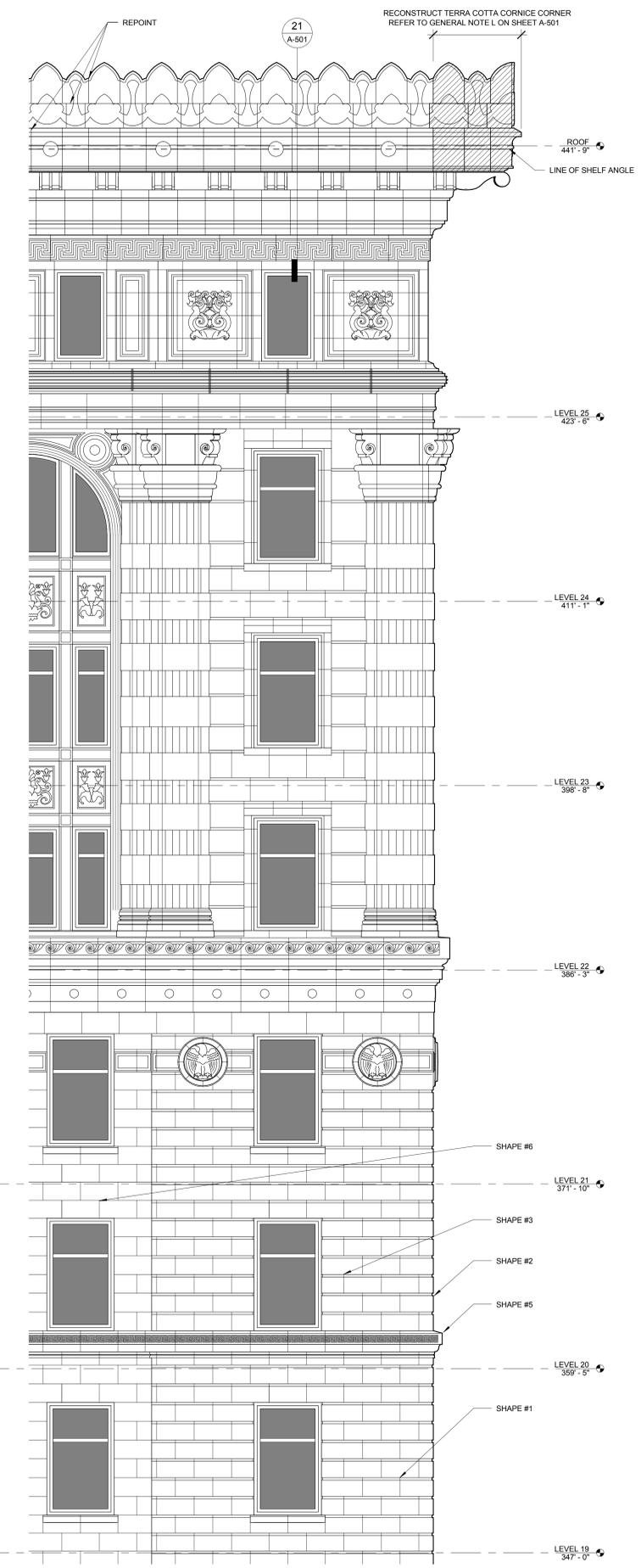
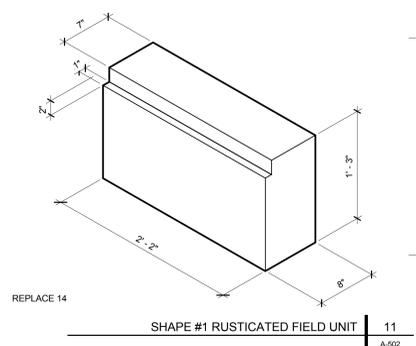
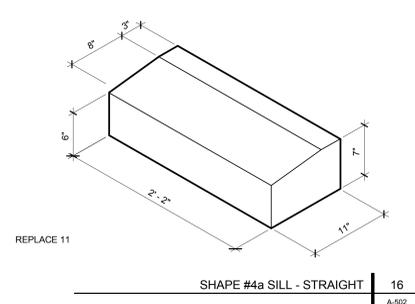
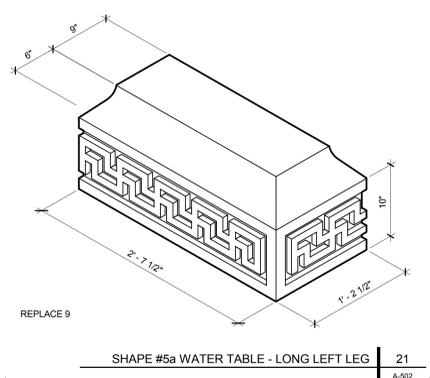
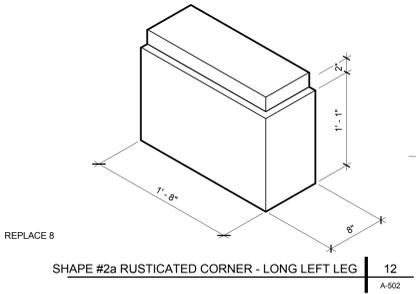
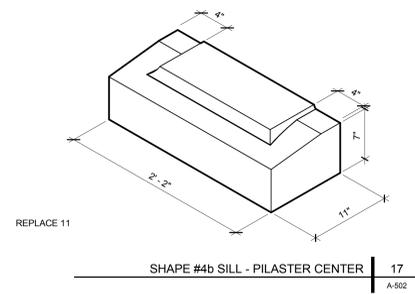
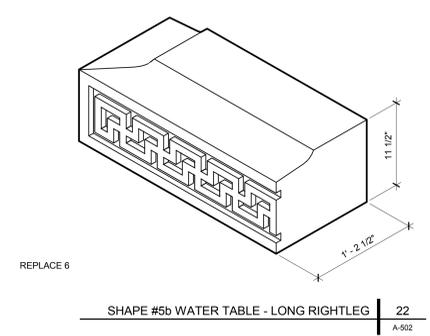
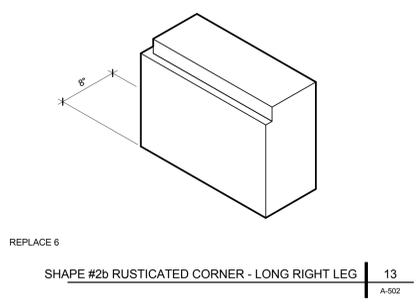
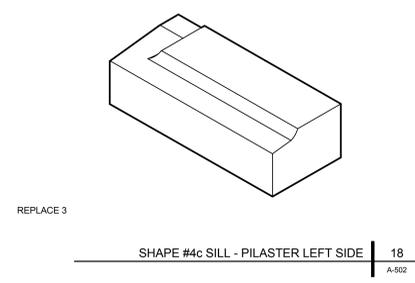
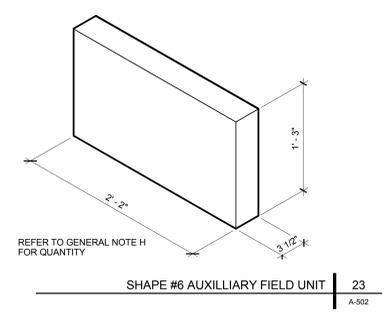
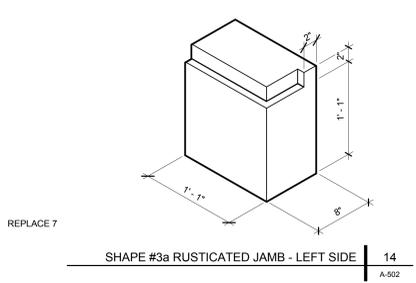
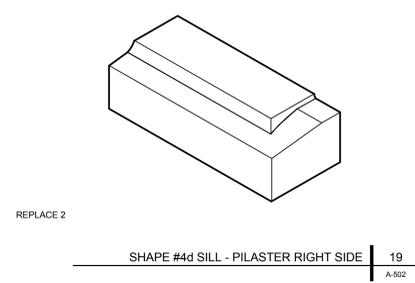
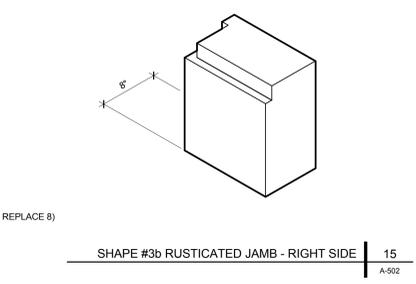
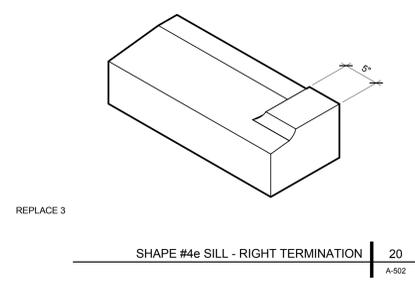
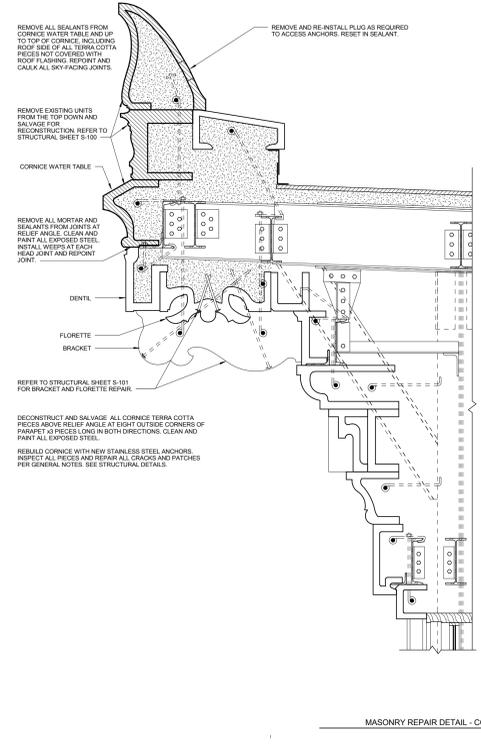


NO.	DESCRIPTION	DATE

© COPYRIGHT PERFIDO WEISKOPF WAGSTAFF + GOETTEL 2013  
**HENRY W. OLIVER BUILDING**  
535 SMITHFIELD STREET  
PITTSBURGH, PA 15222  
MCKNIGHT REALTY PARTNERS

WINDOW TYPES & DETAILS

**A-501**



NOT FOR CONSTRUCTION

NOTE: ALL TERRA COTTA UNIT SHAPES AND DIMENSIONS ARE APPROXIMATE, VIZ.

NO.	DESCRIPTION	DATE

OLIVER BUILDING  
MASONRY RESTORATION  
535 SMITHFIELD STREET  
PITTSBURGH, PA 15222  
MCKNIGHT REALTY PARTNERS

MASONRY RESTORATION DETAILS

A-502

ENLARGED ELEVATION 1  
1/4" = 1'-0" A-502

PDP - 2 NEW DWELLING UNITS 709 PENN 14-55

City of Pittsburgh



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Date Filed:

6/5/14

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: **Charles Pellegrini** Phone Number: (412) **512-1021**

Address: **PO Box 10451** City: **Pittsburgh** State: **PA** Zip Code: **15234**

2. Applicant/Company Name: Phone Number: ( )

Address: City: State: Zip Code:

Applicant/Contractor ID:(assigned by the City)

3. Development Name: **Proper Brick Oven and 709 ART Gallery Combined**

4. Development Location: **709 Penn Ave 2nd floor + 3rd floor**

5. Development Address: **709 Penn Ave Consolidated with 139 7th Street**

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:

Present Use of Site: (Select from attached list) **2 and 98**

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: **13-B-768** Date Issued: **8-22-2013** Existing Use of Property: **Restaurant**

8. Estimated Construction Start Date: **6/24/2014** Occupancy Date: **7/11/2014** Project Cost: \$ **2000.**

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **4**

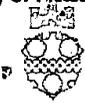
10. Select the Type of Work:  
 New Construction, New  Renovation, Interior **709 2nd floor**  
 New Construction,  Renovation, Exterior  
 Change in Use Only  Renovation, Change in Use **709 3rd floor**

11. Describe the Development: **Remodel existing Apt on floor 2 and Church on floor 3 to 2 Residential Apartments** **709**  
~~Remodel Restaurant 2nd floor as an Apartment with Deck~~

12. Is a Land Operations Permit needed?  YES  NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

ALREADY APPROVED



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

13. Proposed Number of New Structures or Building Additions:  N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

14. Gross Floor Area:  
 Existing to be Razed: \_\_\_\_\_ sq ft  
 Existing to be Retained: \_\_\_\_\_ sq ft  
 Retained Area to be Renovated: \_\_\_\_\_ sq ft  
 To be Constructed: \_\_\_\_\_ sq ft *Deck*  
 Building Footprint: \_\_\_\_\_ sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	3	34	-	-
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):


16. Number of Dwelling Units:  
 Existing to Remain: 1      Proposed: 3 2 3 TOTAL

17. Lot Area: \_\_\_\_\_ sq ft

18. On Site Parking:  N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A  
 Actual: \_\_\_\_\_  
 Required: \_\_\_\_\_

19. Please check any of the following items that will be part of the proposed work:  N/A  
 Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm  
 Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s)	_____ Termination of Existing Water Service Tap(s)
_____ New Sewer Service Connection(s)	_____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES  NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street  Private Property  Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

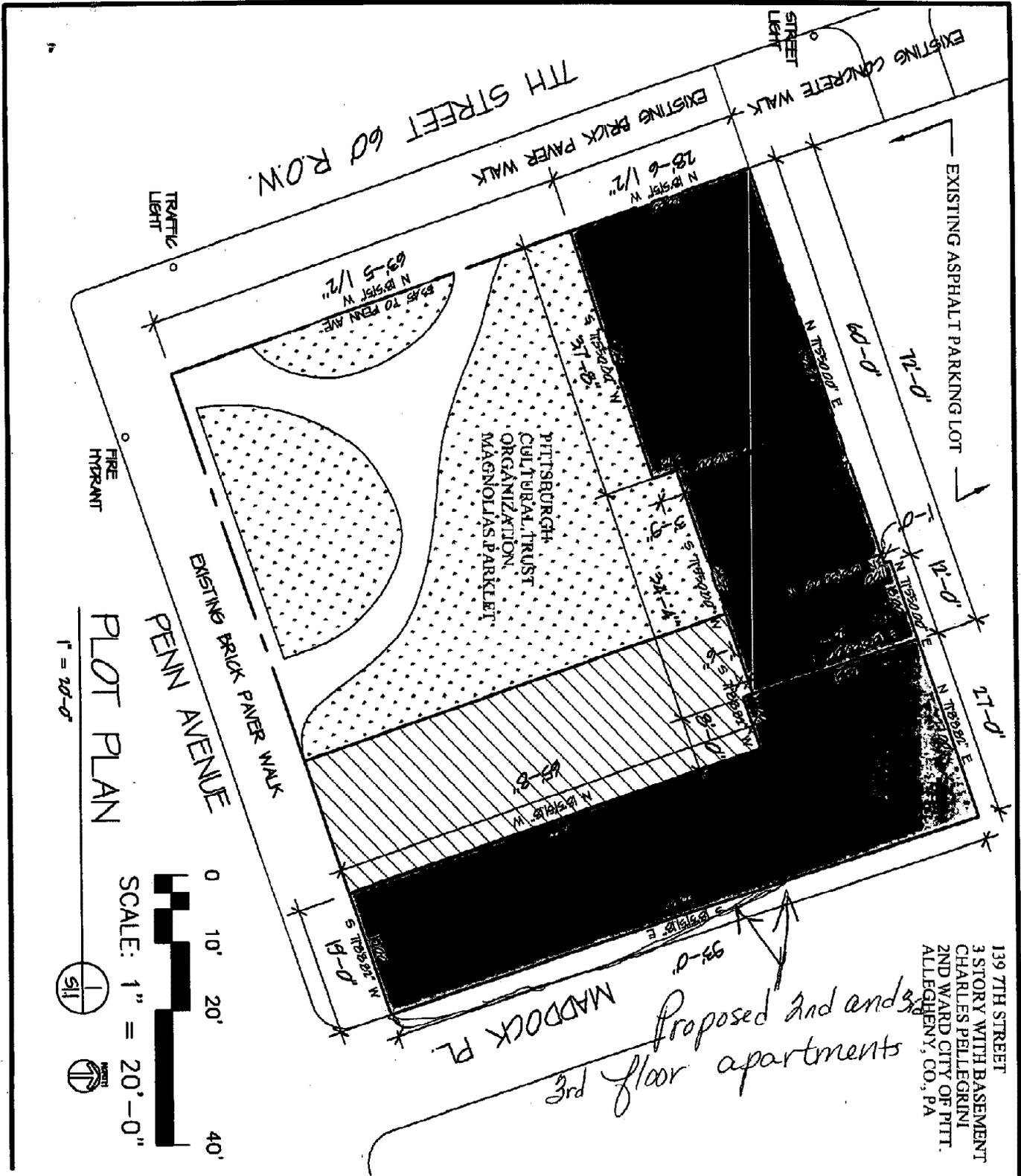
**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

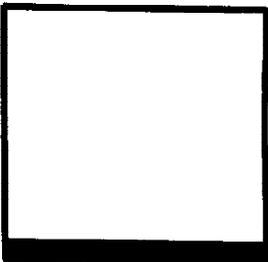
26. Applicant will be applying for a Visitability Tax Credit?  Yes  No

Applicant Signature: *Charles Pellegrini*



**SITE PLAN - PELLEGRINI**  
**139 7TH ST., PITTSBURGH**

Scale : 1" = 20'  
 Date : 6-7-13



**SOURCE ARCHITECTNOLOGY SYSTEMS INC. SASI**  
 64 East Crofton Avenue Pittsburgh, PA 15205 412-921-5487

**SOURCE  
ARCHITECTNOLOGY  
SYSTEMS  
INC.**

**ARCHITECTS • PLANNERS • DEVELOPERS**

64 EAST CRAFTON AVENUE  
PITTSBURGH, PA 15205-2902

412/921-5487  
412/921-4808 FAX  
e-mail: source@sasipmvarchitect.com

6/4/14

**NO EXTERIOR RENOVATION AS  
PART OF THIS APPLICATION**

The following is a breakdown of the building areas for the building at 139 7th Street and 709 Penn Avenue:

Existing to be Razed.....	0 sf	
Existing to be Retained		
1st Floor	139 7th Street (Proper Pizza).....2,239 sf -	
	709 Penn Avenue (Art Gallery).....1,661 sf	
2nd Floor	Existing Apartment (Penn Ave).....2,120 sf	- NO OCCUPANCY PERMIT CURRENTLY
3rd Floor	Existing Assembly (Penn Ave).....1,800 sf	
Existing to be Renovated		
2nd Floor	Apartment (7th Street).....1,780 sf	
To be Constructed	Roof Deck (7th Street).....1,020 sf	- NOT PART OF THIS APPLICATION
Building Footprint.....	3,900 sf	

**P. Mark Viola, AIA**  
NCARB CERTIFIED  
ARCHITECT  
PENNSYLVANIA · OHIO





**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

**Office of the Zoning Administrator**

**200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219**

*(Zoning Use Only)*

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: William Benter		Phone Number: ( 412 ) 576-4598	
Address: 2901 Smallman St.	City: Pittsburgh	State: PA	Zip Code: 15201
2. Applicant/Company Name: Gary Carlough, AIA / GBBN Architects		Phone Number: ( 412 ) 345-5005	
Address: 5411 Penn Ave	City: Pittsburgh	State: PA	Zip Code: 15201
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Benter Offices			
4. Development Location: Benedum Trees Building, 18th and 19th Floors			
5. Development Address: 223 Fourth Avenue, Pittsburgh, PA 15222			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	80618	Date Issued:	JAN 2001
		Existing Use of Property:	Business
8. Estimated Construction:	Start Date: 06 / 01 / 2014	Occupancy Date: 09 / 01 / 2014	Project Cost: \$ 1.9M

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [http://www.city.pittsburgh.pa.us/cp/html/land\\_use\\_control\\_and\\_zoning.html](http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list):

10. Select the Type of Work:

New Construction, New       Renovation, Interior

New Construction,           Renovation, Exterior

Change in Use Only           Renovation, Change in Use

11. Describe the Development:

Interior renovations for business use. Exterior renovation of existing roof deck.

12. Is a Land Operations Permit needed?                       YES                       NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13. Proposed Number of New Structures or Building Additions:**  N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

**14. Gross Floor Area:**

Existing to be Razed:	0	sq ft
Existing to be Retained:	7,800	sq ft
Retained Area to be Renovated:	7,800	sq ft
To be Constructed:	0	sq ft
Building Footprint:	4,685	sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	20	247	20	247
Proposed Addition/Extension			0	0

Provide Accessory Structure Type(s) and Height(s):


**16. Number of Dwelling Units:**  
 Existing to Remain:           n/a                Proposed:           n/a          

**17. Lot Area:**           4,685           sq ft

**18. On Site Parking:**  N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 ½' x 19' )		
Compact (7 ¼' x 16' )		
Handicap (13 ½' x 19' )		

Off-Street Loading Spaces:  N/A  
 Actual: \_\_\_\_\_  
 Required: \_\_\_\_\_

**19. Please check any of the following items that will be part of the proposed work:**  N/A

Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm  
 Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<input type="text" value="0"/> New Water Service Connection(s)	<input type="text" value="0"/> Termination of Existing Water Service Tap(s)
<input type="text" value="0"/> New Sewer Service Connection(s)	<input type="text" value="0"/> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES                       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street                       Private Property                       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?                       Yes                       No

Applicant Signature: \_\_\_\_\_



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219**

**Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9**

**Residential Uses**

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

**Non-Residential Uses**

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

**DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION**

**Department of City Planning**

200 Ross Street, Fourth Floor  
Pittsburgh, PA 15219  
(412) 255-2200  
[www.city.pittsburgh.pa.us/cp/](http://www.city.pittsburgh.pa.us/cp/)

**Department of City Planning  
Zoning Office Counter**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2246  
[www.city.pittsburgh.pa.us/cp/html/land\\_use\\_control\\_and\\_zoning.html](http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html)

**City Zoning Code**

<http://www.municode.com/resources/gateway.asp?sid=38&pid=13525>

**Department of Public Safety  
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2175  
[www.city.pittsburgh.pa.us/BBI/](http://www.city.pittsburgh.pa.us/BBI/)

**Department of Public Works (DPW)  
Bureau of Engineering and Construction**

Bureau of Public Space Management  
City-County Building, Room 301  
414 Grant Street  
Pittsburgh, PA 15219  
(412) 255-8850  
[www.city.pittsburgh.pa.us/pw/](http://www.city.pittsburgh.pa.us/pw/)

**Department of Public Works (DPW)  
Permit Office**

611 Second Avenue  
Pittsburgh, PA 15219  
(412) 255-2382  
[www.city.pittsburgh.pa.us/pw/](http://www.city.pittsburgh.pa.us/pw/)

**Pittsburgh Water and Sewer Authority (PWSA)**

Permit Counter  
441 Smithfield Street, Second Floor  
Pittsburgh, PA 15222  
(412) 255-2443  
[www.pgh2o.com](http://www.pgh2o.com)  
*Refer to the PWSA Procedures Manual for Developers.*

**Allegheny County Health Department (ACHD)**

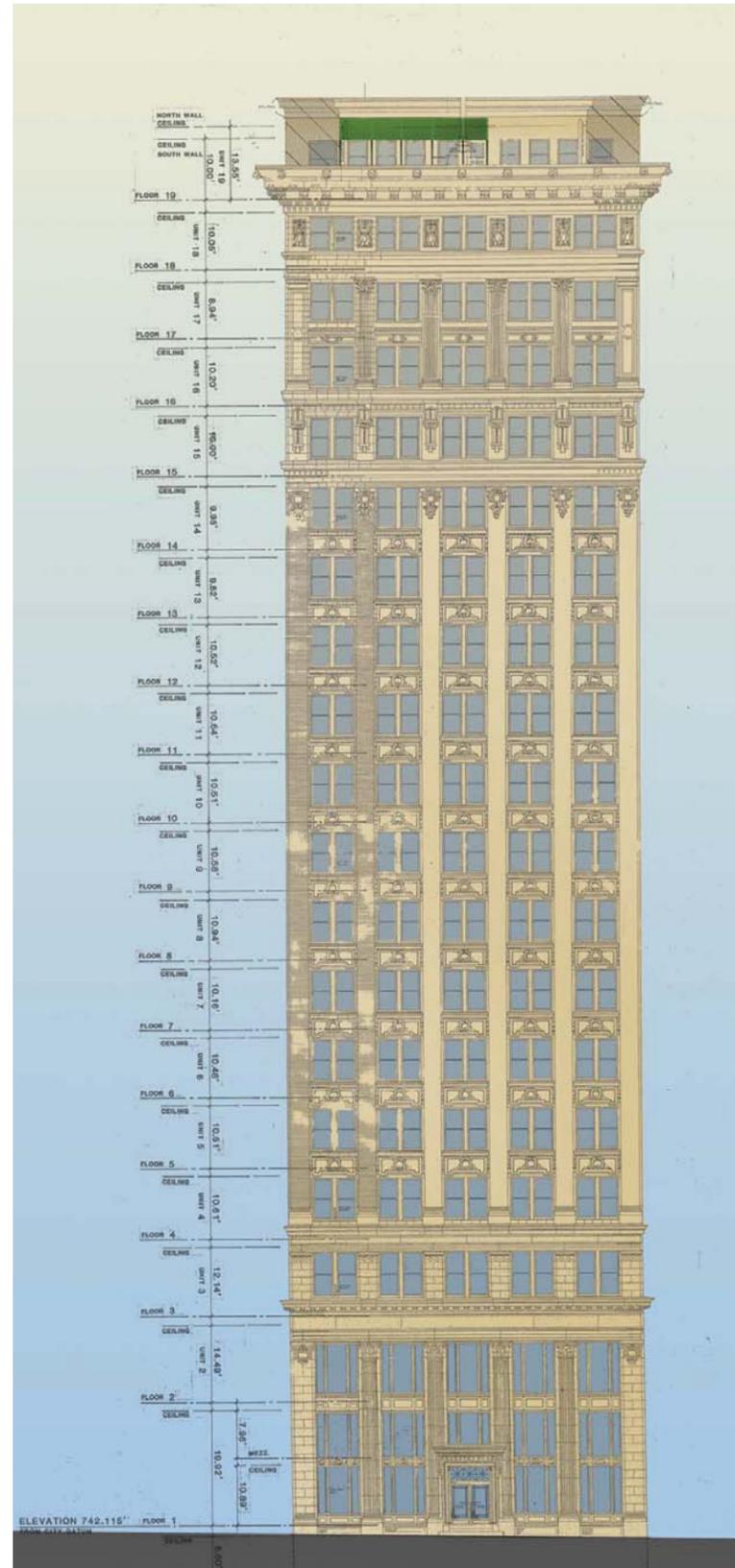
Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224  
(412) 578-8036  
[www.achd.net/progstartfolder/plumbingstart.html](http://www.achd.net/progstartfolder/plumbingstart.html)

**Allegheny County Health Department (ACHD)**

Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224  
(412) 578-8044  
<http://www.achd.net/food/foodstart.html>

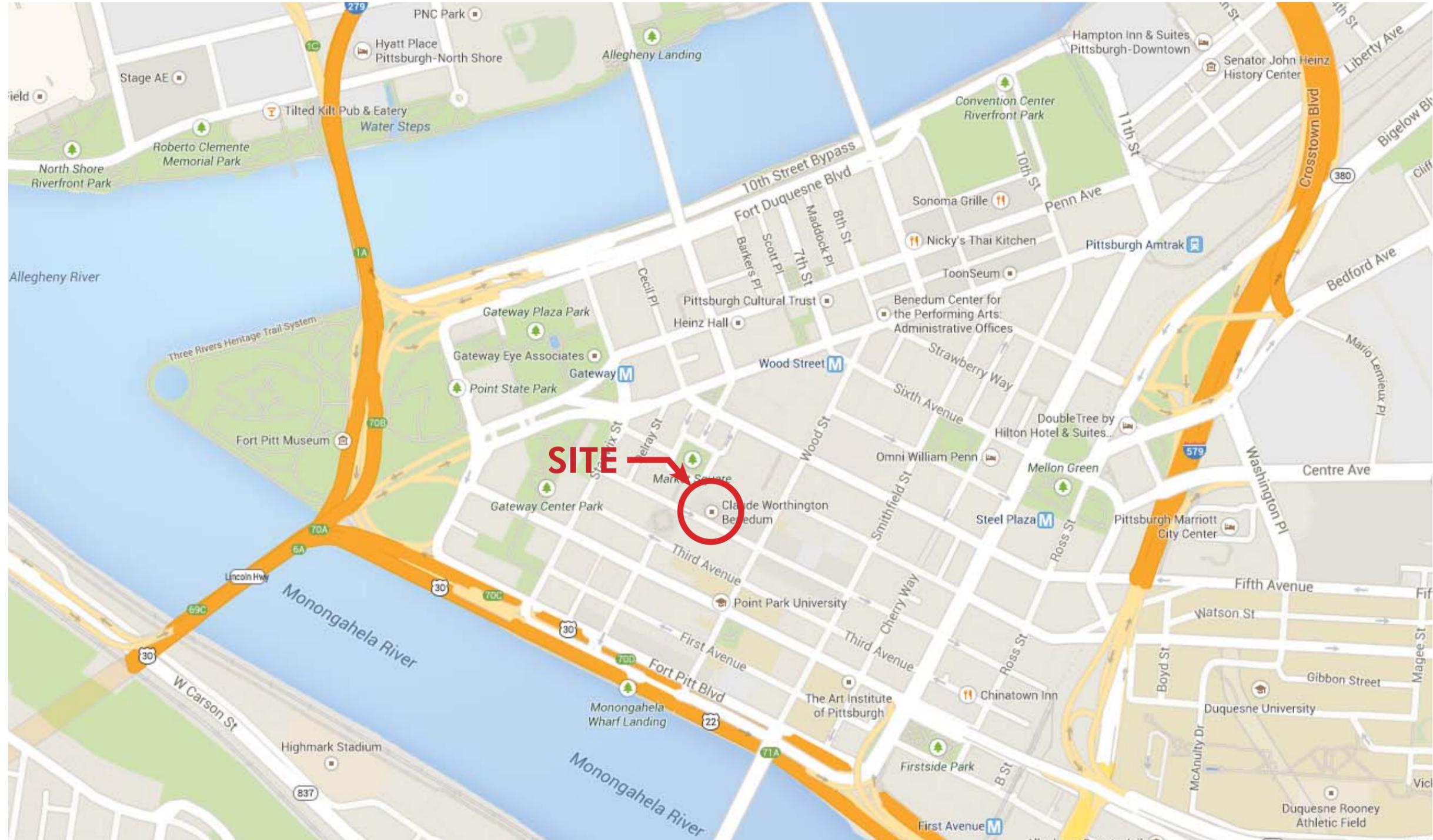
**Allegheny County Health Department (ACHD)**

Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
<http://www.achd.net/housing/commenvironstart.html>

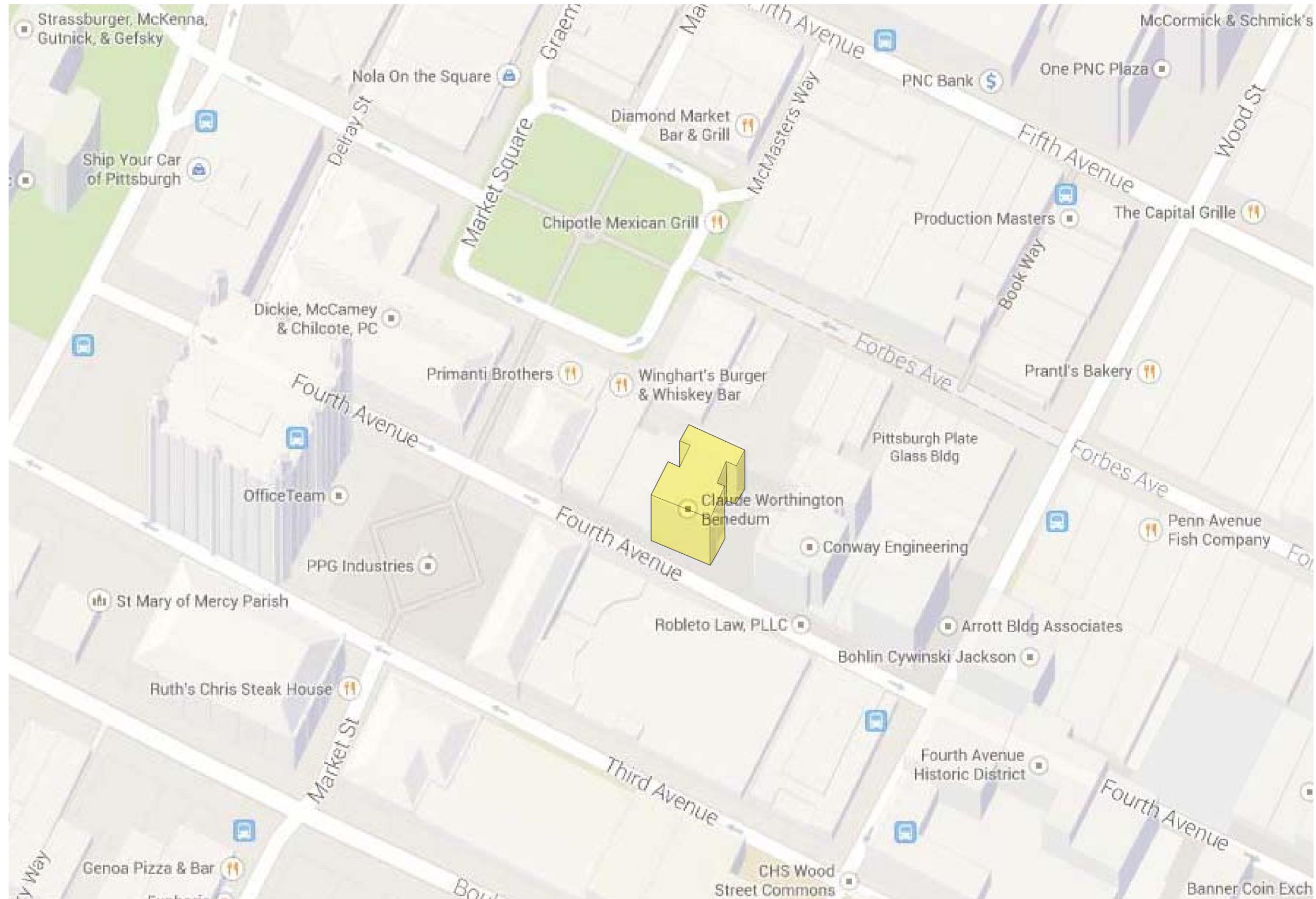


# BENEDUM TREES BUILDING - ROOF DECK RENOVATION

BENTER OFFICES | BENEDUM TREES BUILDING

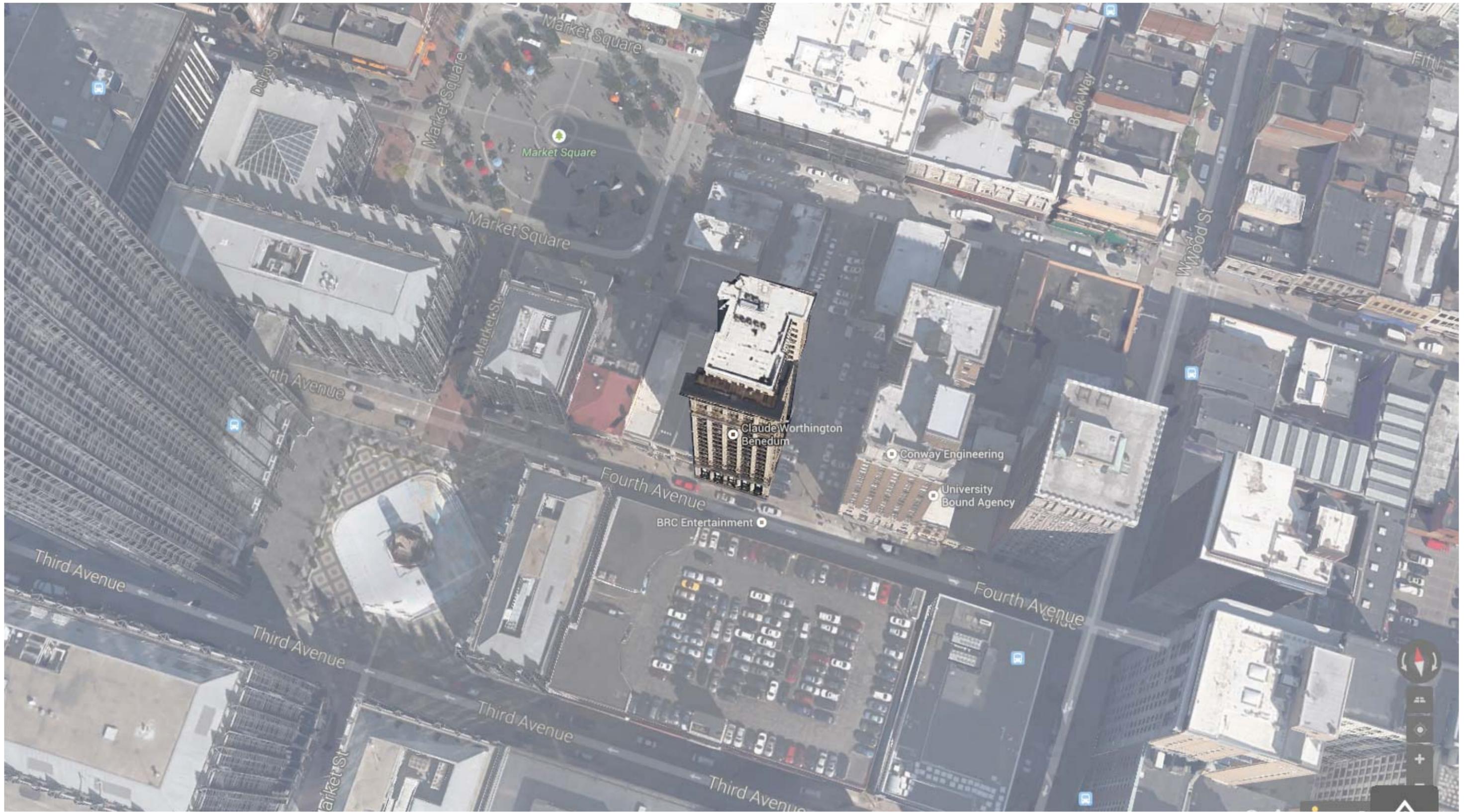


**LOCATION MAP - 223 FOURTH AVE**  
BENTER OFFICES | BENEDUM TREES BUILDING



# SITE PLAN

BENTER OFFICES | BENEDUM TREES BUILDING



**ADACENT CONTEXT**  
BENTER OFFICES | BENEDUM TREES BUILDING

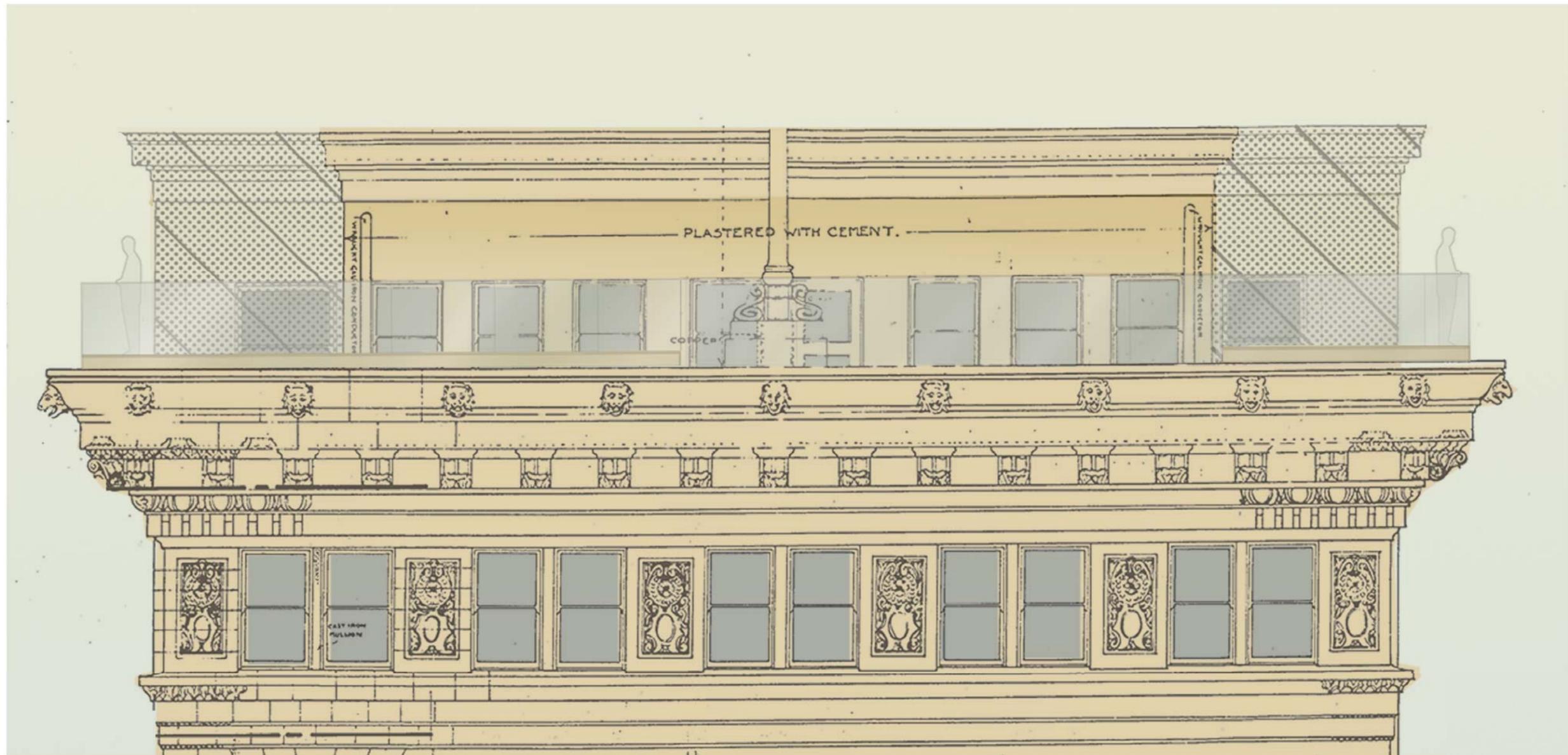


**ADJACENT CONTEXT**  
BENTER OFFICES | BENEDUM TREES BUILDING



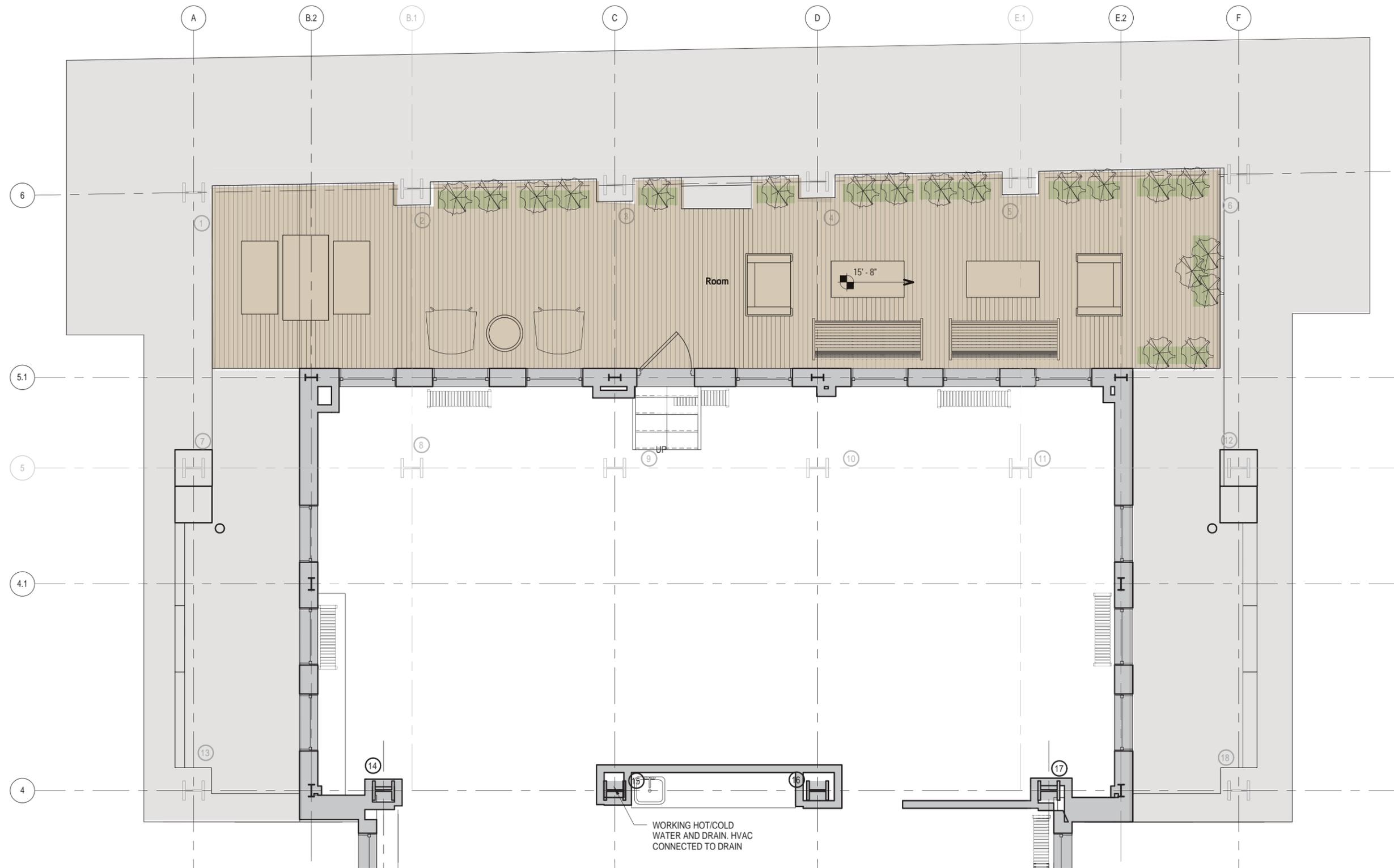
**FRONT ELEVATION - EXISTING**

BENTER OFFICES | BENEDUM TREES BUILDING

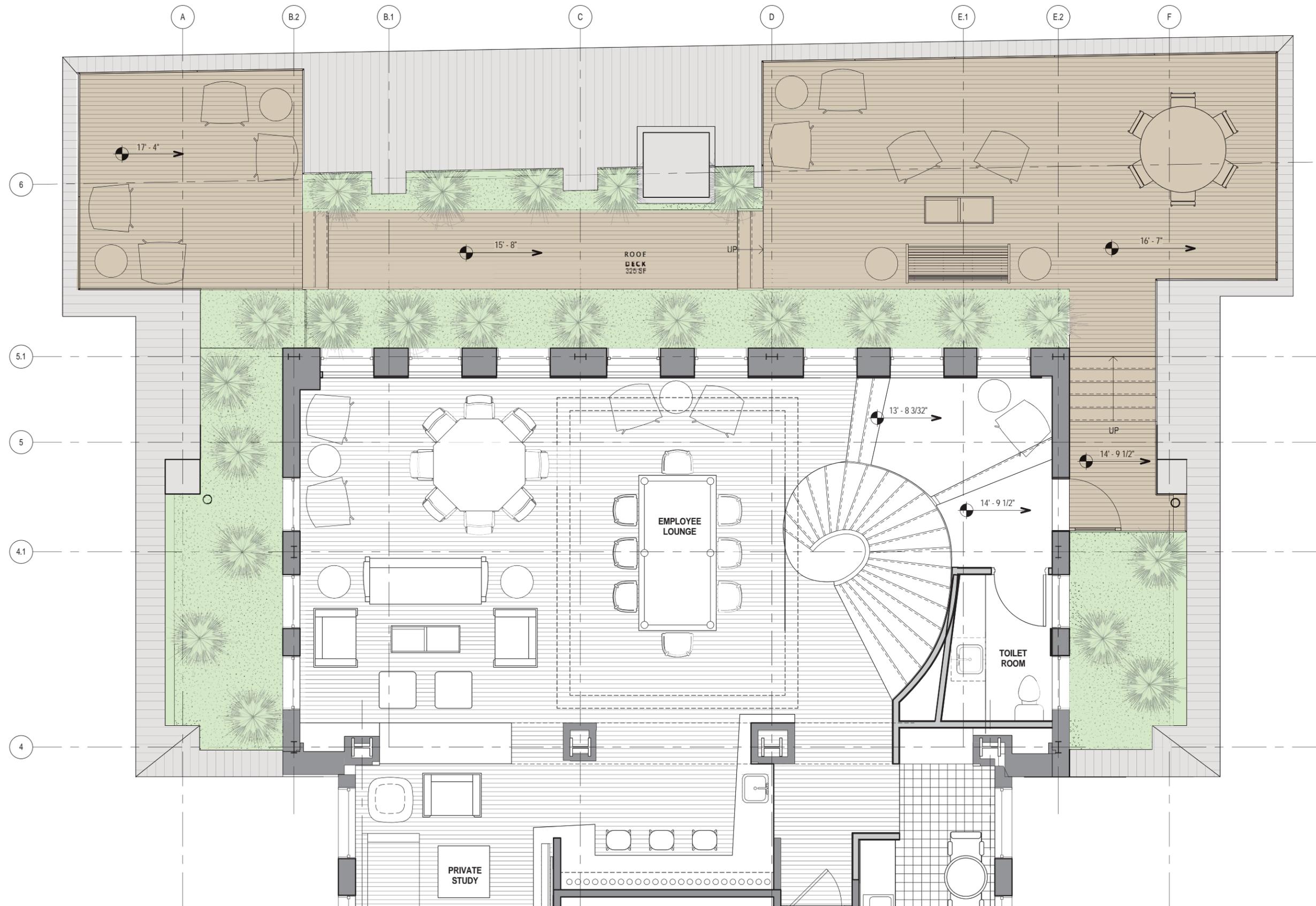


# FRONT ELEVATION - PROPOSED

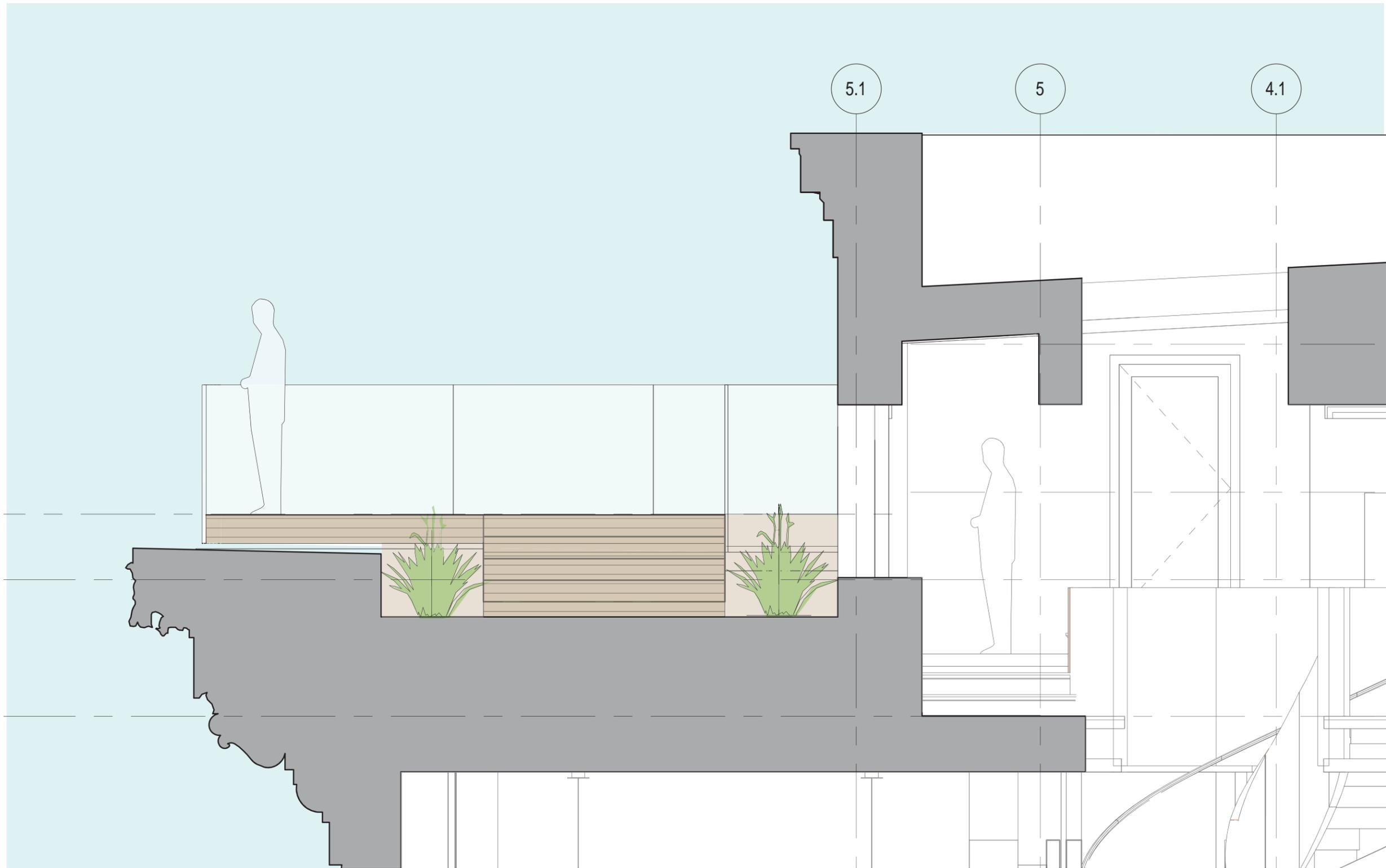
BENTER OFFICES | BENEDUM TREES BUILDING



**ROOF DECK PLAN - EXISTING**  
 BENTER OFFICES | BENEDUM TREES BUILDING



**ROOF DECK PLAN - PROPOSED**  
 BENTER OFFICES | BENEDUM TREES BUILDING

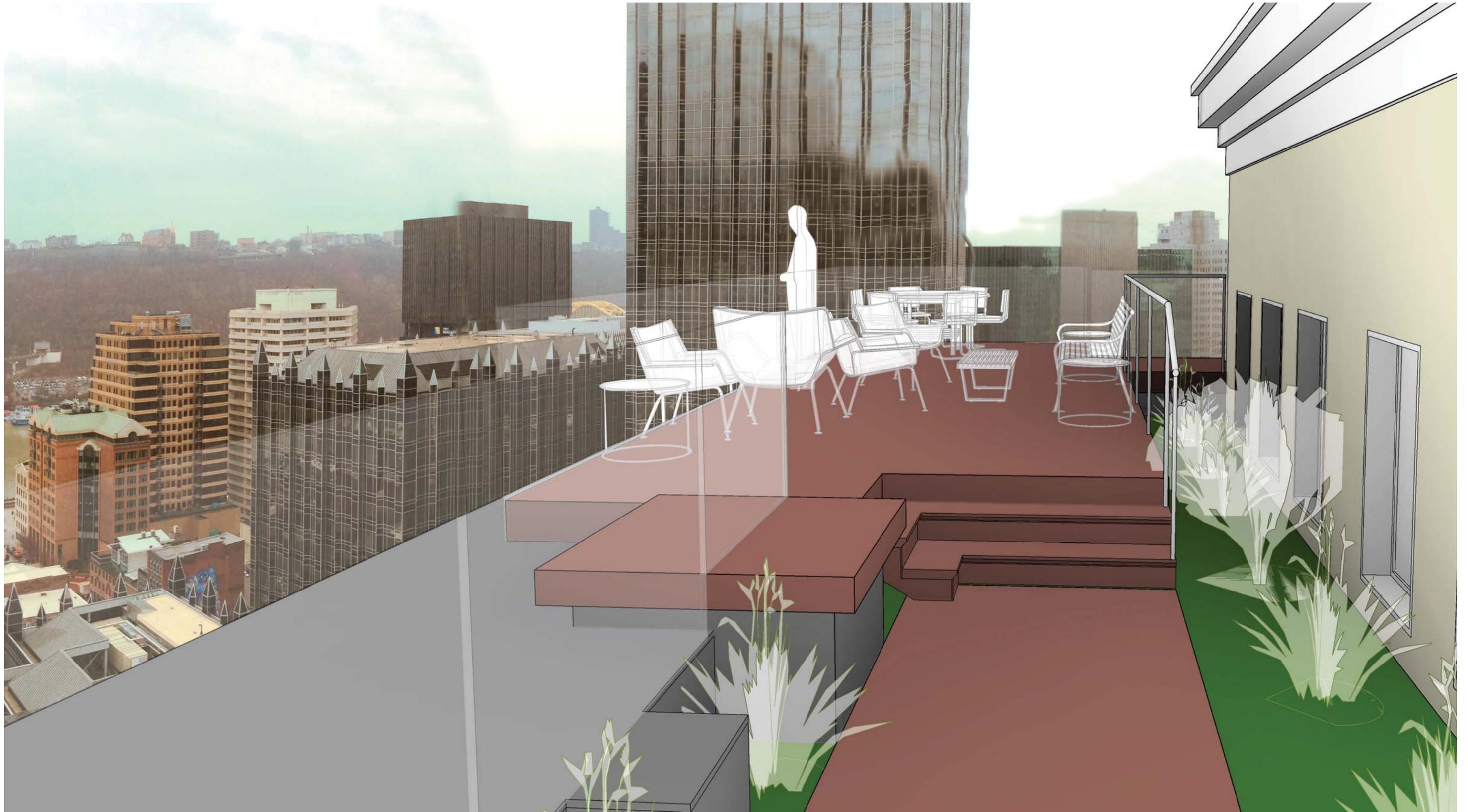


# ROOF DECK SECTION - PROPOSED

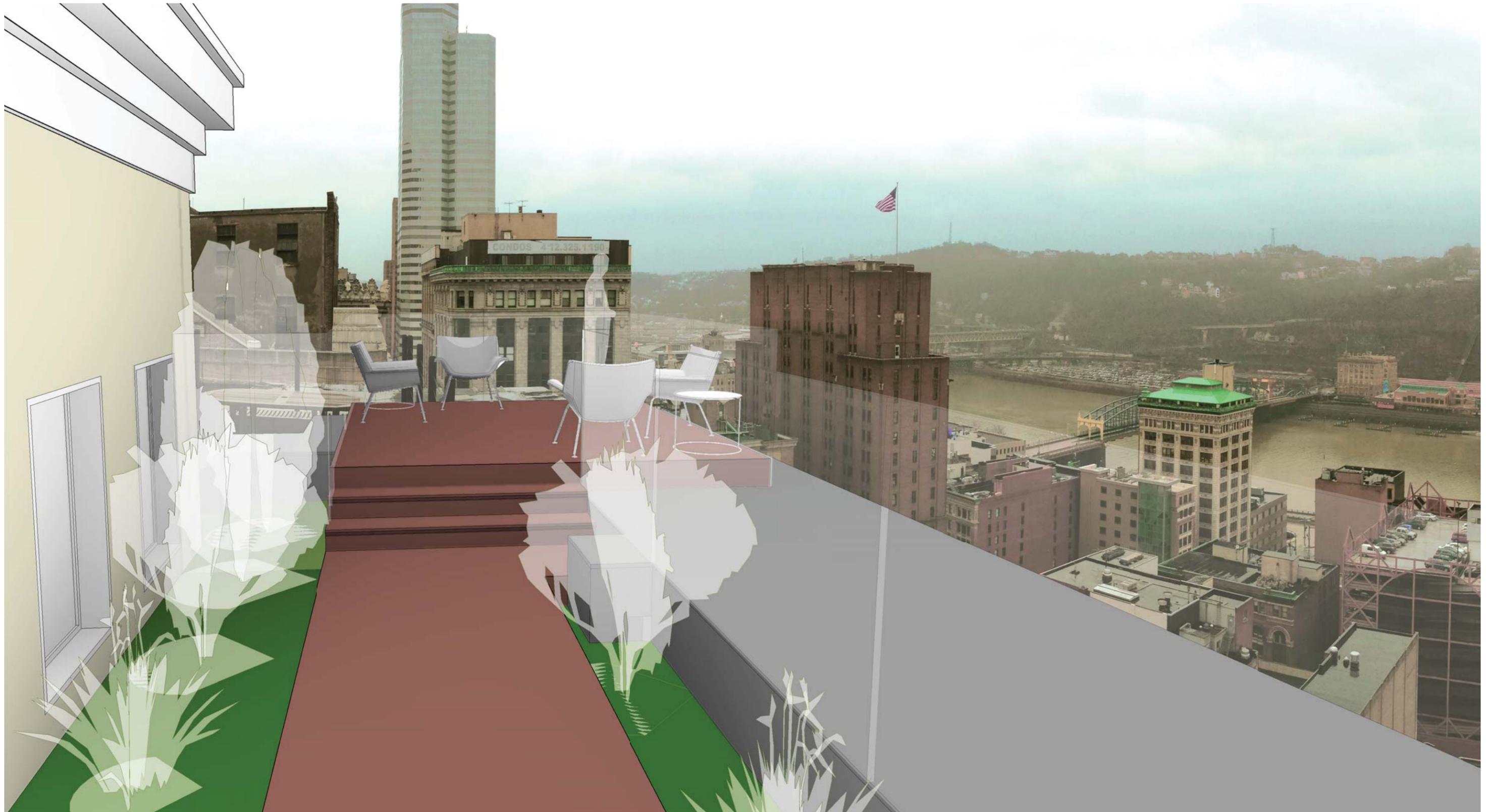
BENTER OFFICES | BENEDUM TREES BUILDING



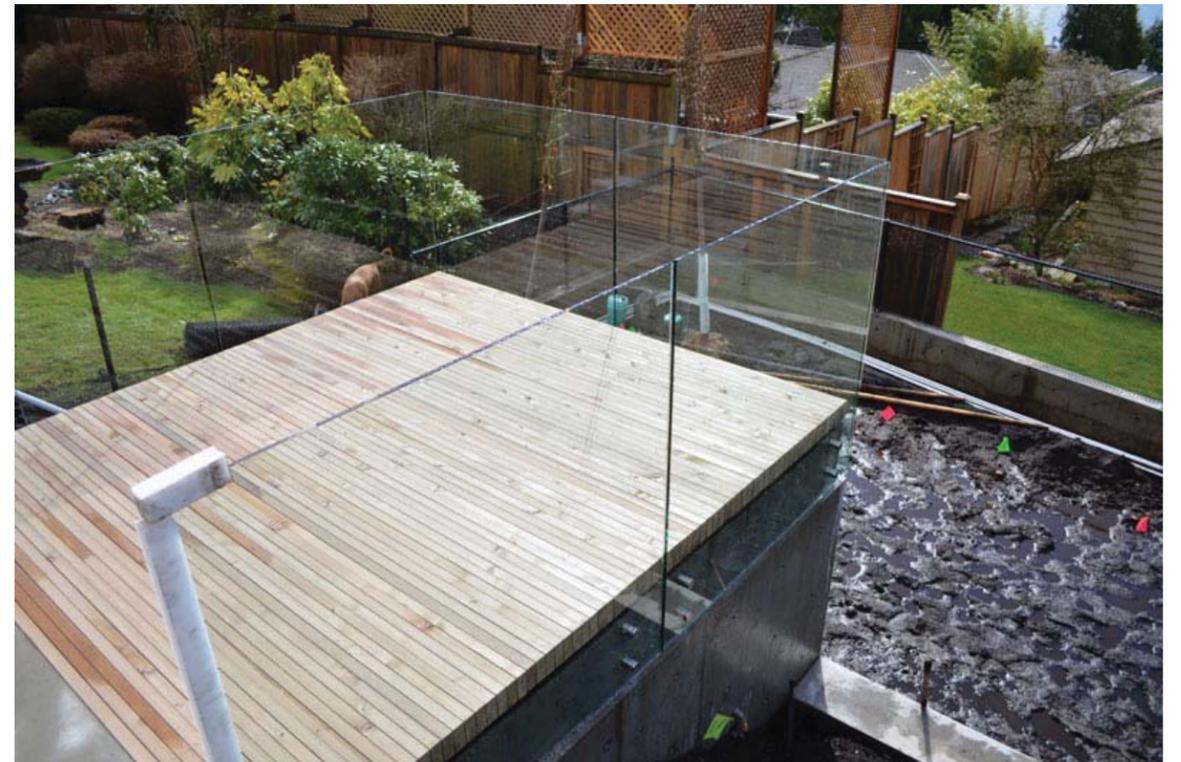
**ROOF DECK OVERALL AXON**  
BENTER OFFICES | BENEDUM TREES BUILDING



**LARGE PLATFORM PERSPECTIVE**  
BENTER OFFICES | BENEDUM TREES BUILDING

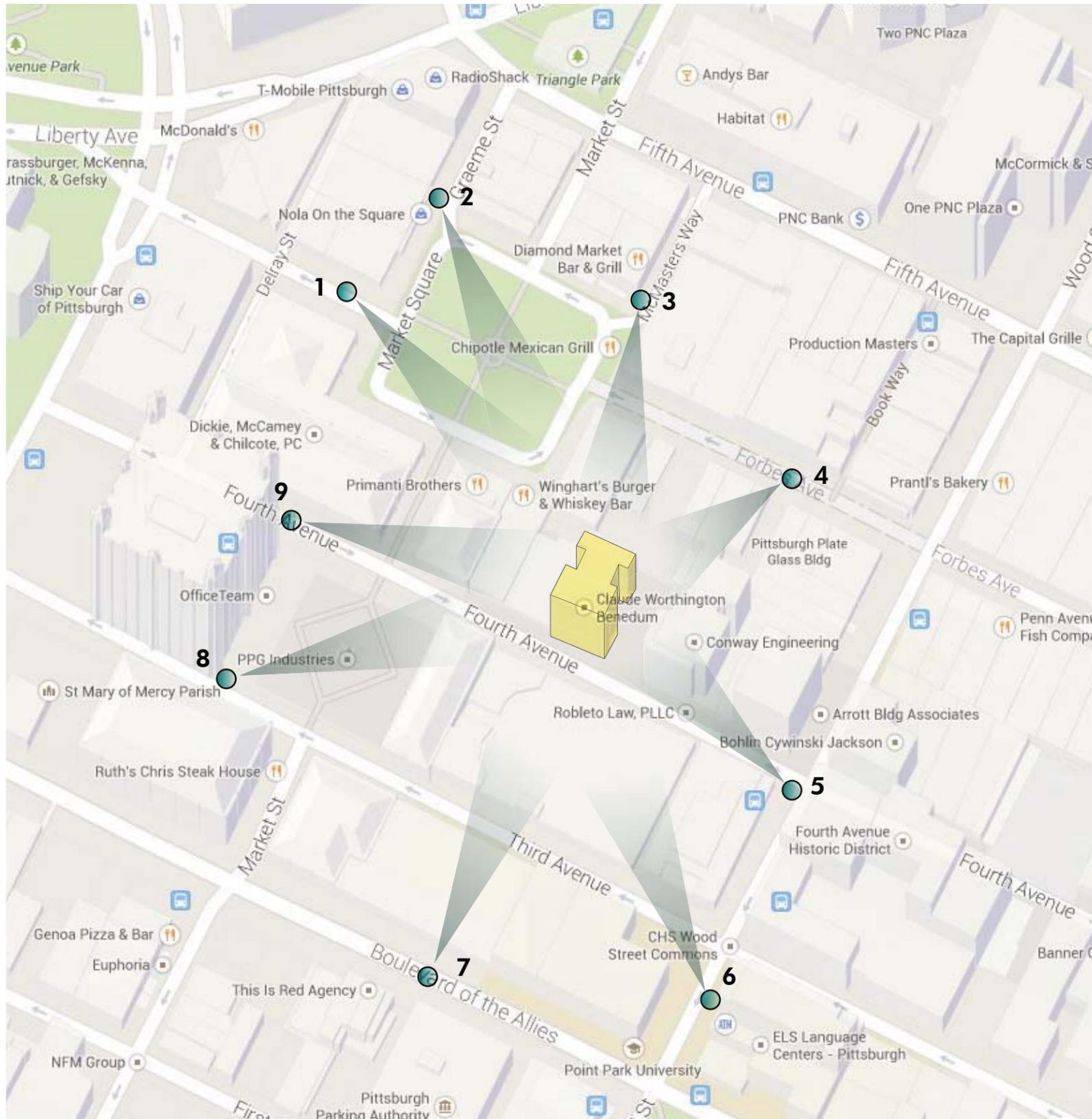


**SMALL PLATFORM PERSPECTIVE**  
BENTER OFFICES | BENEDUM TREES BUILDING



# GLASS RAILINGS

BENTER OFFICES | BENEDUM TREES BUILDING



## VIEWPOINT KEY

1. FORBES AVE WEST OF MARKET SQUARE
2. GRAEME ST AND MARKET SQUARE
3. MCMASTER WAY AND MARKET SQUARE
4. FORBES AVE EAST OF MARKET SQUARE
5. FOURTH AVE AND WOOD ST
6. THIRD AVE AND WOOD ST
7. BOULEVARD OF THE ALLIES
8. PPG PLAZA AND THIRD AVE
9. PPG PLAZA AND FOURTH AVE



EXISTING

# 1. FORBES AVE WEST OF MARKET SQUARE

BENTER OFFICES | BENEDUM TREES BUILDING



# 1. FORBES AVE WEST OF MARKET SQUARE

BENTER OFFICES | BENEDUM TREES BUILDING

PROPOSED



**2. GRAEME ST AND MARKET SQUARE**  
BENTER OFFICES | BENEDUM TREES BUILDING

EXISTING



PROPOSED

## 2. GRAEME ST AND MARKET SQUARE

BENTER OFFICES | BENEDUM TREES BUILDING



EXISTING

### 3. MCMASTER WAY AND MARKET SQUARE

BENTER OFFICES | BENEDUM TREES BUILDING



PROPOSED

### 3. MCMASTER WAY AND MARKET SQUARE

BENTER OFFICES | BENEDUM TREES BUILDING





EXISTING

## 4. FORBES AVE EAST OF MARKET SQUARE

BENTER OFFICES | BENEDUM TREES BUILDING



PROPOSED

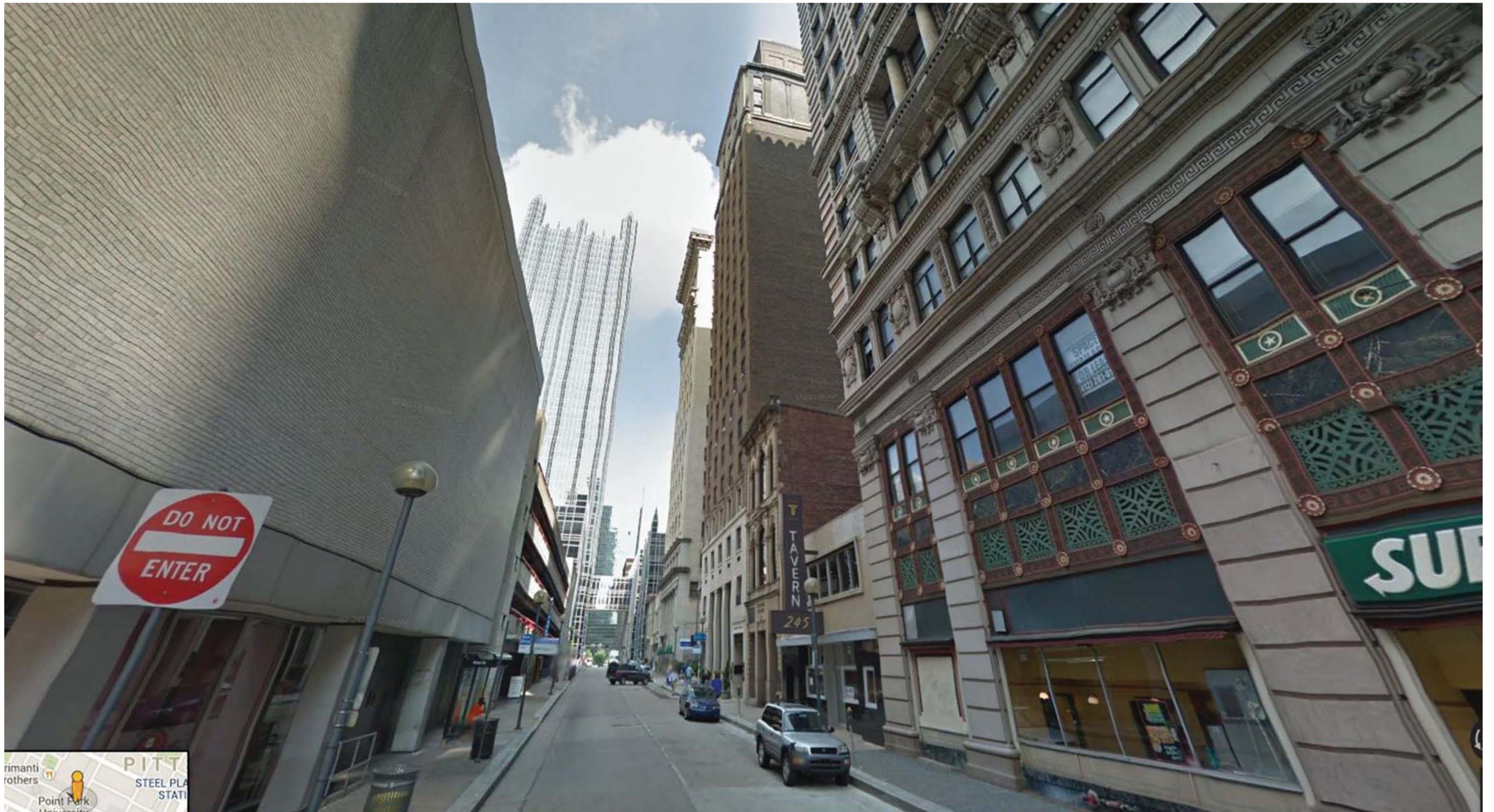
## 4. FORBES AVE EAST OF MARKET SQUARE

BENTER OFFICES | BENEDUM TREES BUILDING



EXISTING

## 5. FOURTH AVE AND WOOD ST BENTON OFFICES | BENEDUM TREES BUILDING



PROPOSED

## 5. FOURTH AVE AND WOOD ST BENTON OFFICES | BENEDUM TREES BUILDING



EXISTING

## 6. THIRD AVE AND WOOD ST

BENTER OFFICES | BENEDUM TREES BUILDING



PROPOSED

**6. THIRD AVE AND WOOD ST**  
BENTER OFFICES | BENEDUM TREES BUILDING



EXISTING

## 7. BOULEVARD OF THE ALLIES

BENTER OFFICES | BENEDUM TREES BUILDING



PROPOSED

**7. BOULEVARD OF THE ALLIES**  
BENTER OFFICES | BENEDUM TREES BUILDING



EXISTING

## 8. PPG PLAZA AND THIRD AVE

BENTER OFFICES | BENEDUM TREES BUILDING



PROPOSED

## 8. PPG PLAZA AND THIRD AVE

BENTER OFFICES | BENEDUM TREES BUILDING



EXISTING

## 9. PPG PLAZA AND FOURTH AVE

BENTER OFFICES | BENEDUM TREES BUILDING



PROPOSED

## 9. PPG PLAZA AND FOURTH AVE

BENTER OFFICES | BENEDUM TREES BUILDING

BENEDUM TREES CONDOMINIUM ASSOCIATION

---

City of Pittsburgh Department of City Planning  
Historic Review Commission  
200 Ross Street, Fourth Floor  
Pittsburgh, PA 15219

**Re: Roof Deck Improvements at the Benedum Trees Building**

Dear Members of the Historic Review Commission:

As President of the Benedum, Trees Condominium Association, I am writing to express my personal support, and the support of the office condominium owners at the Benedum Trees Building, for the proposal offered by Mr. Benter. Recently, the condominium association was presented with the improvement plans developed by GBBN Architects to renovate, expand and improve the existing rooftop deck at this property.

The membership is encouraged by the proposal and sees the investment as significant in helping to improve the overall value and amenity of the property. The membership voted unanimously in support of the proposal and is pleased by the high-quality materials planned for the renovation. The anti-reflective glass railing is nearly invisible at every angle from which it can be observed. I understand that this same system is currently in use in other historic applications with Rockefeller Center perhaps the most notable.

The condominium association members were further impressed that the concept was enthusiastically endorsed by two of its own members, both noted architects, Howard Graves, AIA and Robert Pfaffmann, AIA. Further, as a member of the Board of Directors of the Western Pennsylvania Conservancy and it's the Chair of the Committee that operates the Frank Lloyd Wright Fallingwater property, I am particularly sensitive to matters of historic preservation. I am very pleased with the manner in which Mr. Benter and GBBN have approached this project.

Thank you for your consideration for this proposal.

Sincerely,



Alexander C. Speyer, III  
President, Benedum Trees Condominium Association

223 Fourth Avenue, Pittsburgh, PA 15222



HISTORIC REVIEW COMMISSION OF PITTSBURGH  
CITY OF PITTSBURGH

CERTIFICATE OF APPROPRIATENESS

#14-054

Owner: William Benter  
Applicant: Stephen Mrdjenovich  
Building Inspector: Bob Molyneaux  
Address of Property: 221 Fourth Avenue

Issue Date: May 7, 2014  
Historic District: Market Square  
Ward: 1st  
Block and Lot: 1-H-181-0018, 0019

In accordance with Section 1.8 of Title Eleven – Historic Code of Ordinances of the City of Pittsburgh, the Historic Review Commission has reviewed the application for new construction, demolition, or exterior alterations submitted by the applicant, and has approved the following:

- Construction of new roof deck and upgrades to 19<sup>th</sup> floor of the Benedum Trees building, as submitted to the HRC on May 7, 2014, to include:
  - Installation of anti-reflective glass railings on roof deck.
  - Installation of dark brown GFRC panels to cover existing plaster.
  - This Certificate does not include installation of any awnings.
  
- This certificate shall be publically visible at the job site.
- All work items must meet zoning and building inspection codes, and all other applicable laws and regulations.

*This certificate must be presented to the Zoning Office and the Bureau of Building Inspection in order to obtain a permit.*

**This Certificate EXPIRES six (6) months after Issue Date**  
PLEASE DISPLAY THIS CARD PROMINENTLY

Staff of the Historic Review Commission

Administrative Approval

PDP #14-41

City of Pittsburgh



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Date Filed:

5/6/14

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <b>NORTH SHORE DEVELOPERS - 2013 LP</b>		Phone Number: (     )	
Address: <b>3400 SOUTH WATER STREET</b>	City: <b>PITTSBURGH</b>	State: <b>PA</b>	Zip Code: <b>15203</b>
2. Applicant/Company Name: <b>MOSS ARCHITECTS</b>		Phone Number: ( <b>412</b> ) <b>441 6400</b>	
Address: <b>181 42<sup>ND</sup> ST.</b>	City: <b>PITTSBURGH</b>	State: <b>PA</b>	Zip Code: <b>15201</b>
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: <b>NORTH SHORE PLACE</b>			
4. Development Location: <b>NORTH SHORE DRIVE BETWEEN CHUCK NOLL WAY AND TONY DORSETT</b>			
5. Development Address: <b>342 NORTH SHORE DRIVE, PITTSBURGH PA 15212</b>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	<b>N/A</b>		
Present Use of Site: (Select from attached list)	<b>N/A</b>		
7. If a Certificate of Occupancy exists, the following is required: <b>N/A</b>			
Certificate of Occupancy#:	<b>N/A</b>	Date Issued:	<b>N/A</b>
		Existing Use of Property:	<b>N/A</b>
8. Estimated Construction:	Start Date: <b>1/9/2014</b>	Occupancy Date: <b>1/2/2015</b>	Project Cost: \$ <b>500,000</b>

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): <b>104 RESTAURANT, LIQUOR LICENSE (GENERAL)</b>	
10. Select the Type of Work:	
<input type="checkbox"/> New Construction, New	<input type="checkbox"/> Renovation, Interior
<input type="checkbox"/> New Construction,	<input type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use
<b>INTERIOR FIT-OUT IN EXISTING BUILDING, NO CHANGE OF USE</b>	
11. Describe the Development:	
<b>MIXED-USE WITH RESTAURANT/RETAIL ON GROUND LEVEL, OFFICE USE ABOVE</b>	
12. Is a Land Operations Permit needed? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <b>DEVELOPER ACQUIRED ALL NECESSARY PERMITS FOR SITE/BLDG CONSTRUCTION</b>	
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <a href="http://www.city.pittsburgh.pa.us/bbi/">http://www.city.pittsburgh.pa.us/bbi/</a> )	

DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions:  N/A  
 Residential  Commercial  Recreational  Industrial  Institutional

14. Gross Floor Area:  
 Existing to be Razed: 0 sq ft  
 Existing to be Retained: 4208 sq ft  
 Retained Area to be Renovated: 4208 sq ft  
 To be Constructed: 950 sq ft  
 Building Footprint: 30070 sq ft

15. Height of Structures:	Existing		Proposed (FIT OUT)	
	Stories	Feet	Stories	Feet
Main Structure	3	± 57'	1	(EXISTING)
Proposed Addition/Extension			MEZZANINE	9'-0" T.O.F.F.
Provide Accessory Structure Type(s) and Height(s):				
PATIO			1	12'-10" T.O. ROOF
COOLER ENCLOSURE			1	11'-0"

16. Number of Dwelling Units:  
 Existing to Remain: 0 Proposed: 0

17. Lot Area: \_\_\_\_\_ sq ft

18. On Site Parking:  N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A  
 Actual: 3 PROPOSED  
 Required: 3 PER DPW

19. Please check any of the following items that will be part of the proposed work:  N/A  
 Demolition  HVAC (Interior)  HVAC (Exterior)  Electrical  Fire Alarm  
 Fire Protection/Sprinklers  Deck Construction  Commercial Cooking Hood  Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing  New Construction of Plumbing  No Plumbing Work is Proposed



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

2 New Water Service Connection(s)      \_\_\_\_\_ Termination of Existing Water Service Tap(s)  
2 New Sewer Service Connection(s)      \_\_\_\_\_ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES       NO

**DEVELOPER BELIEVED TAP PLAN APPROVAL FROM PWSA**

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?       Yes       No

Applicant Signature:



**mossArchitects**  
 181 42nd Street  
 Pittsburgh, PA 15201  
 412.441.6400 ph  
 412.441.0723 fx  
 www.mossarc.com

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 MOSS ARCHITECTS, LLC.

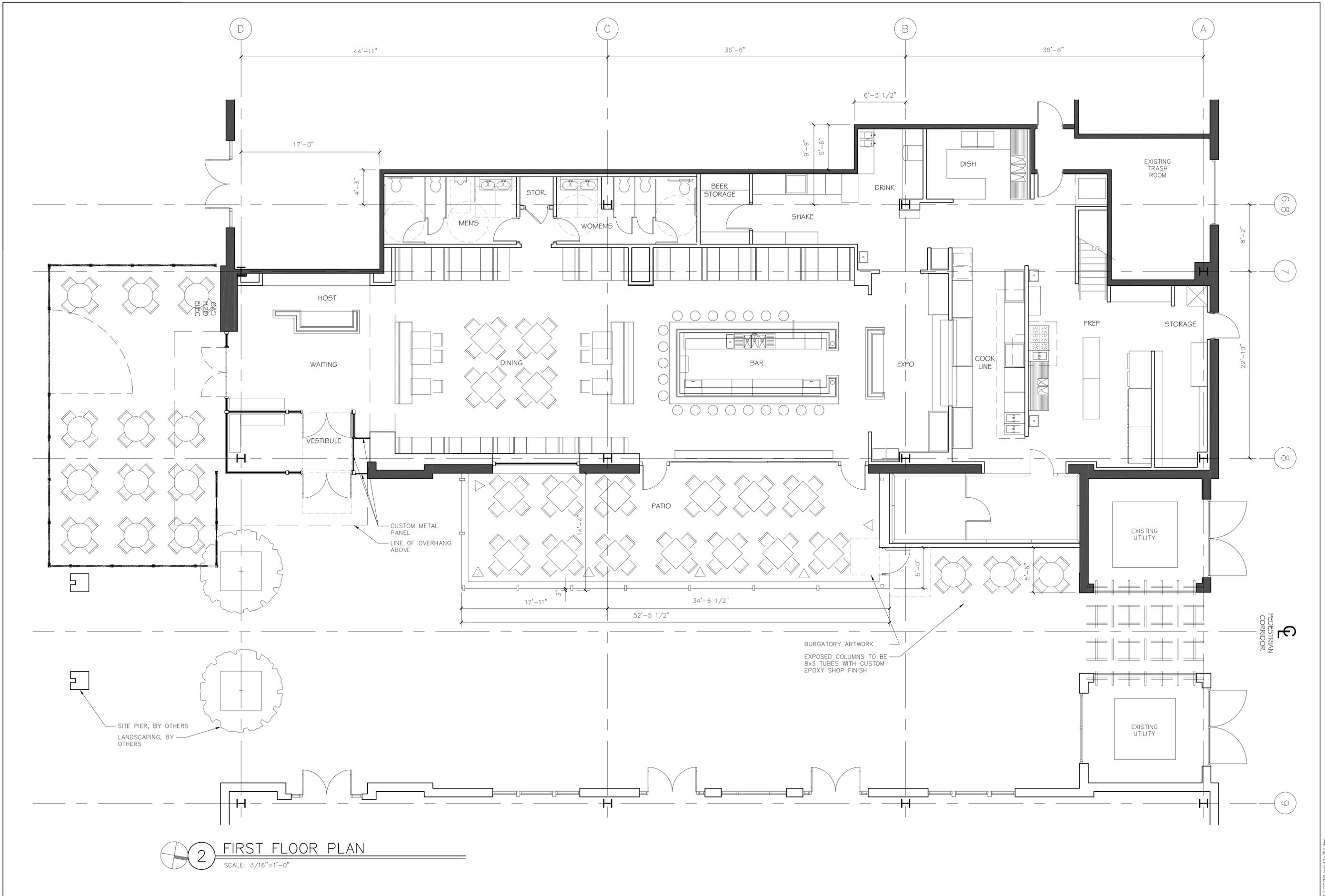
**BURGATORY north shore**  
 358 north shore drive  
 pittsburgh, pa 15206

DATE  
 X/X/XXXX

ISSUED FOR  
 XXXXXX

SHEET TITLE  
 PLANS  
 SHEET NO.

**AX.XX**



**2** FIRST FLOOR PLAN  
 SCALE: 3/16"=1'-0"



**mossArchitects**  
 181 42nd Street  
 Pittsburgh, PA 15201  
 412.441.6400 ph  
 412.441.0723 fx  
 www.mossarc.com

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 MOSS ARCHITECTS, LLC.

**BURGATORY north shore**  
 358 north shore drive  
 pittsburgh, pa 15206



**1 FRONT ELEVATION**  
 SCALE: 3/16"=1'-0"

DATE  
 X/X/XXXX

ISSUED FOR  
 XXXXX

PROJECT NO. 130510	DATE 1/23/14
DRAWN hem	CHECKED adm

SHEET TITLE  
 EXTERIOR ELEVATIONS  
 SHEET NO.

**A3.1**

S:\130510\bur\AS-BUR-NS.dwg



**mossArchitects**  
 181 42nd Street  
 Pittsburgh, PA 15201  
 412.441.6400 ph  
 412.441.0723 fx  
 www.mossarc.com

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 MOSS ARCHITECTS, LLC.

**BURGATORY north shore**  
 358 north shore drive  
 pittsburgh, pa 15206



**1** SIDE ELEVATION  
 SCALE: 3/16"=1'-0"

DATE	ISSUED FOR	PROJECT NO.	DATE
X/X/XXXX	XXXXXX	130510	1/23/14
		hem	adm
		hem	adm

PROJECT NO. 130510 DATE 1/23/14  
 DRAWN hem CHECKED adm  
 SHEET TITLE EXTERIOR ELEVATIONS  
 SHEET NO. **A3.2a**



**mossArchitects**  
 181 42nd Street  
 Pittsburgh, PA 15201  
 412.441.6400 ph  
 412.441.0723 fx  
 www.mossarc.com

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**BURGATORY north shore**  
 358 north shore drive  
 pittsburgh, pa 15206



**1** BACK ELEVATION  
 SCALE: 3/16"=1'-0"

DATE  
 x/x/xxxx

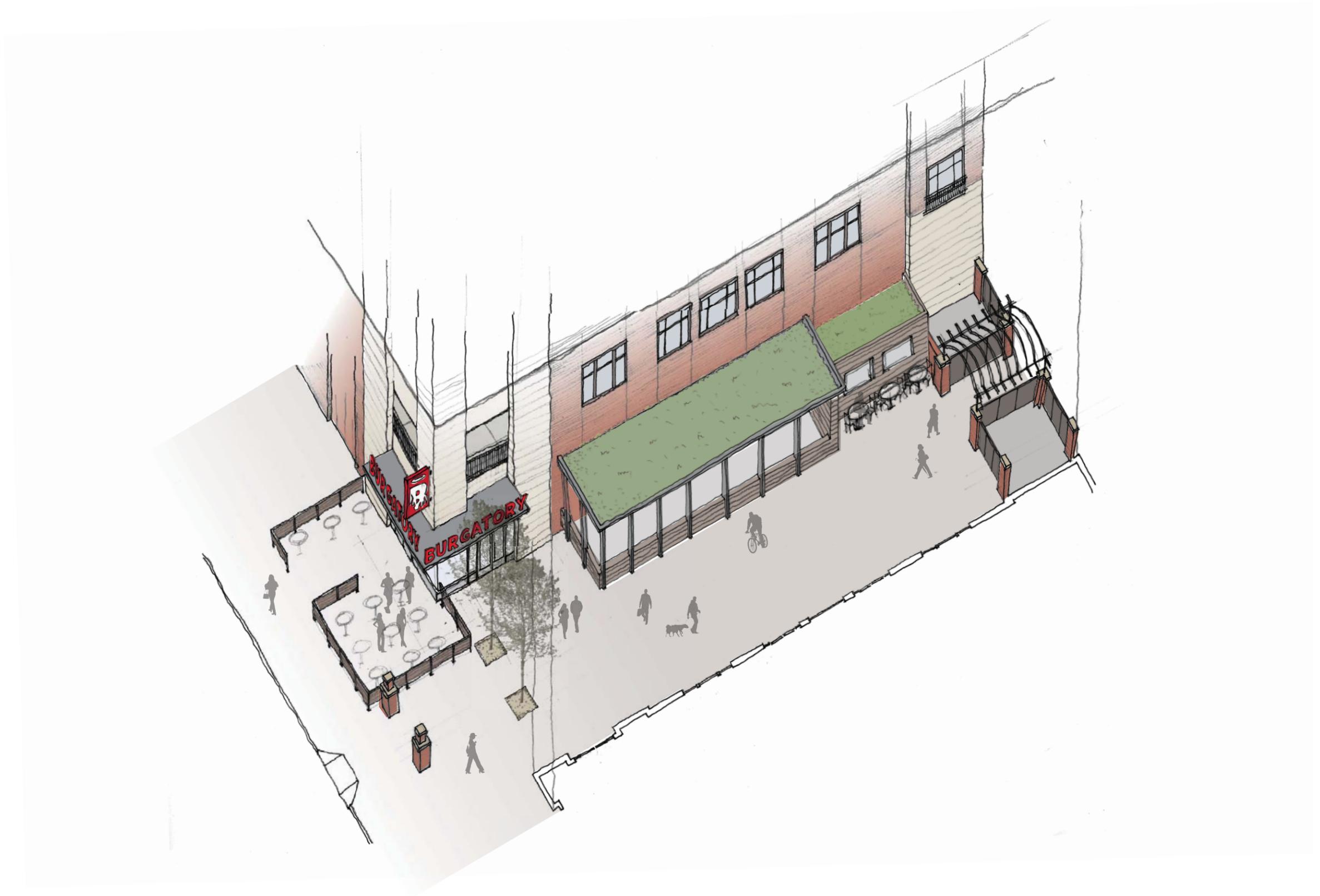
ISSUED FOR  
 xxxxxx

PROJECT NO.	DATE
130510	1/23/14
DRAWN	CHECKED
hem	adm

SHEET TITLE  
 EXTERIOR ELEVATIONS  
 SHEET NO.

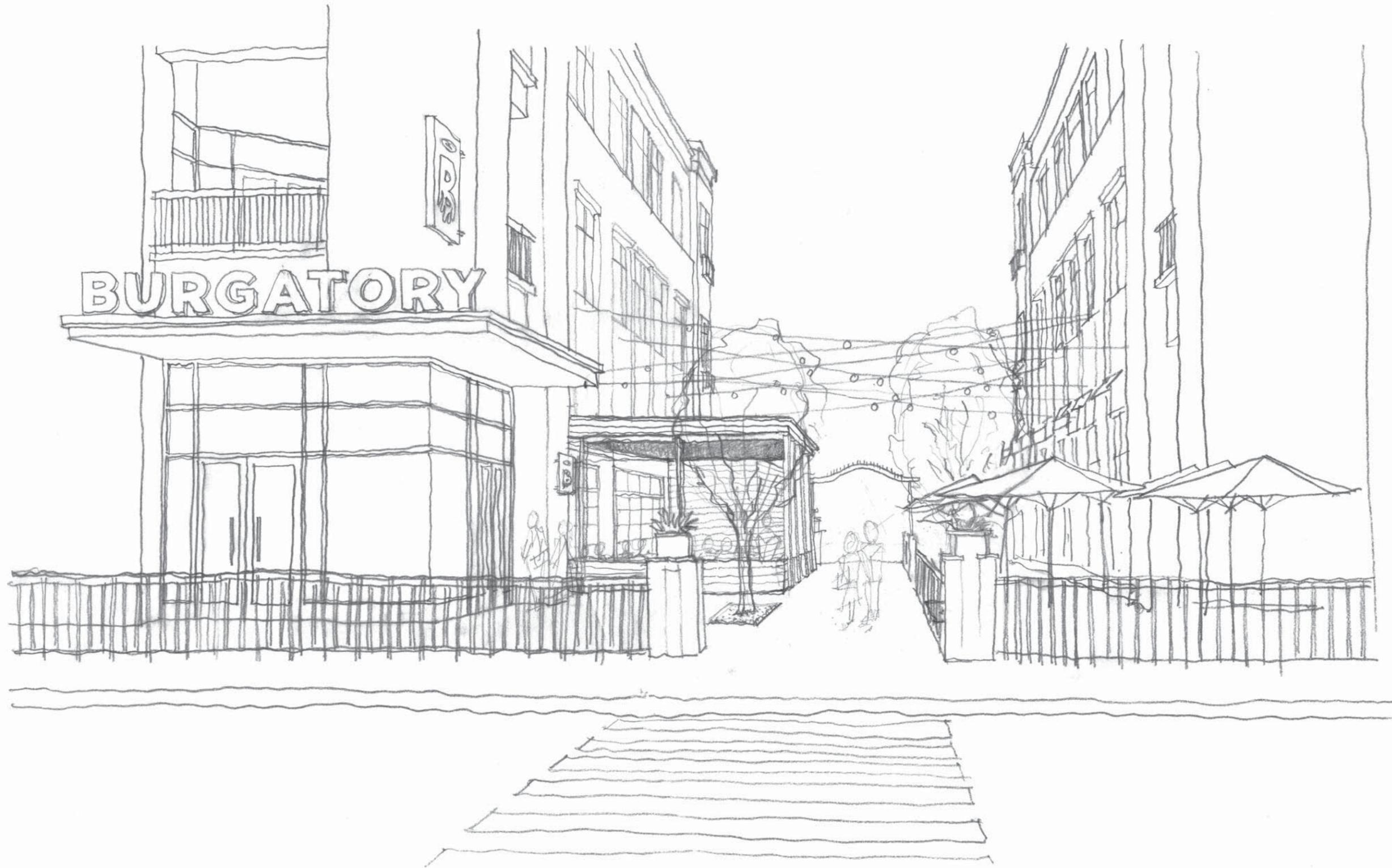
**A3.3**

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**BURGATORY**  
North Shore Place

 **mossArchitects**



**BURGATORY**  
North Shore Place

 **mossArchitects**



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: <b>THE FORZA GROUP</b>		Phone Number: <b>(412) 489.6397</b>	
Address: <b>738 WASHINGTON AVE., CARNEGIE</b>	City: <b>CARNEGIE</b>	State: <b>PA</b>	Zip Code: <b>15106</b>
2. Applicant/Company Name: <b>THE FORZA GROUP</b>		Phone Number: <b>(412) 489.6397</b>	
Address: <b>738 WASHINGTON AVE., CARNEGIE</b>	City: <b>CARNEGIE</b>	State: <b>PA</b>	Zip Code: <b>15106</b>
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: <b>FORT PITT HOLIDAY INN</b>			
4. Development Location: <b>435 FORT PITT BOULEVARD</b>			
5. Development Address: <b>435 FORT PITT BOULEVARD</b>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	<b>N/A</b>		
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: <b>1 / 1 / 2014</b>	Occupancy Date: <b>6 / 1 / 2015</b>	Project Cost: <b>\$ 9 MILLION</b>
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to <a href="http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html">http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html</a> and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): <b>(68) HOTEL / MOTEL</b>			
10. Select the Type of Work:			
<input checked="" type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development: <b>8 STORY HOTEL WITH LIMITED CUSTOMER PARKING ON GROUND LEVEL, 99 GUEST ROOMS WILL BE PROVIDED WITH GUEST COMMON AREAS ON THE FIRST-THIRD FLOORS, THE TOTAL FACILITY WILL BE APPROX. 54,000 SF.</b>			
12. Is a Land Operations Permit needed? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <a href="http://www.city.pittsburgh.pa.us/bbi/">http://www.city.pittsburgh.pa.us/bbi/</a> )			



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13. Proposed Number of New Structures or Building Additions:**  N/A  
 Residential  Commercial  Recreational  Industrial  Institutional

**14. Gross Floor Area:**  
 Existing to be Razed: ± 5160 sq ft  
 Existing to be Retained: — sq ft  
 Retained Area to be Renovated: — sq ft  
 To be Constructed: 54,116 sq ft  
 Building Footprint: 3900 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	2	24 ±	8	85'-4"
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):


**16. Number of Dwelling Units:**  
 Existing to Remain: \_\_\_\_\_ Proposed: 99 (TRANSIENT HOTEL)

**17. Lot Area:** 9600 sq ft

**18. On Site Parking:**  N/A

	Existing	Proposed
Full (8 1/2' x 19')		6
Compact (7 1/4' x 16')		2
Handicap (13 1/2' x 19')		1

Off-Street Loading Spaces:  N/A  
 Actual: \_\_\_\_\_  
 Required: \_\_\_\_\_

**19. Please check any of the following items that will be part of the proposed work:**  N/A  
 Demolition  HVAC (Interior)  HVAC (Exterior)  Electrical  Fire Alarm  
 Fire Protection/Sprinklers  Deck Construction  Commercial Cooking Hood  Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing  New Construction of Plumbing  No Plumbing Work is Proposed



# Holiday Inn - Fort Pitt

435 Fort Pitt Boulevard  
Pittsburgh, Pennsylvania

April, 2014



# FORT PITT HOLIDAY INN PROJECT SUMMARY

**OBJECTIVE:** To develop a unique hotel to enhance the growth of the surrounding area. Provide revitalization of the site to encourage further development.

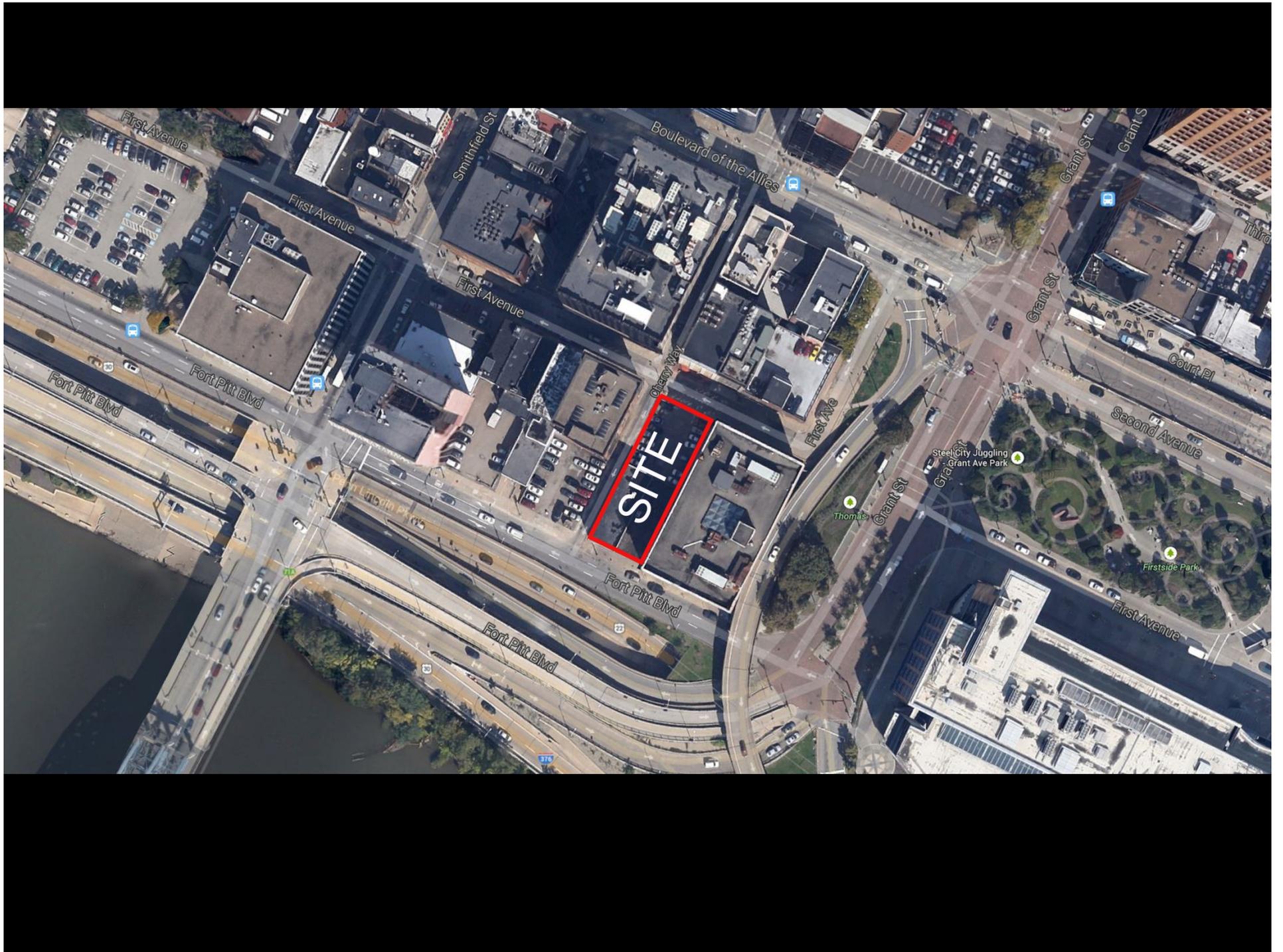
## **HIGHLIGHTS:**

- Riverview hotel with an affordable rate structure.
- Accessible from I-279 and I-376.
- Pedestrian and public transportation access to various Pittsburgh neighborhoods.
- Variety of room types to accommodate an assortment of visitors.

## **NUMBERS:**

- 54,116 Square Feet
- 8 Floors
- 99 Hotel Rooms
  - 30 Double Queen
  - 2 Deluxe Double Queen
  - 25 Deluxe King
  - 35 King
  - 4 Accessible Double Queen
  - 3 Accessible King













Site Plan



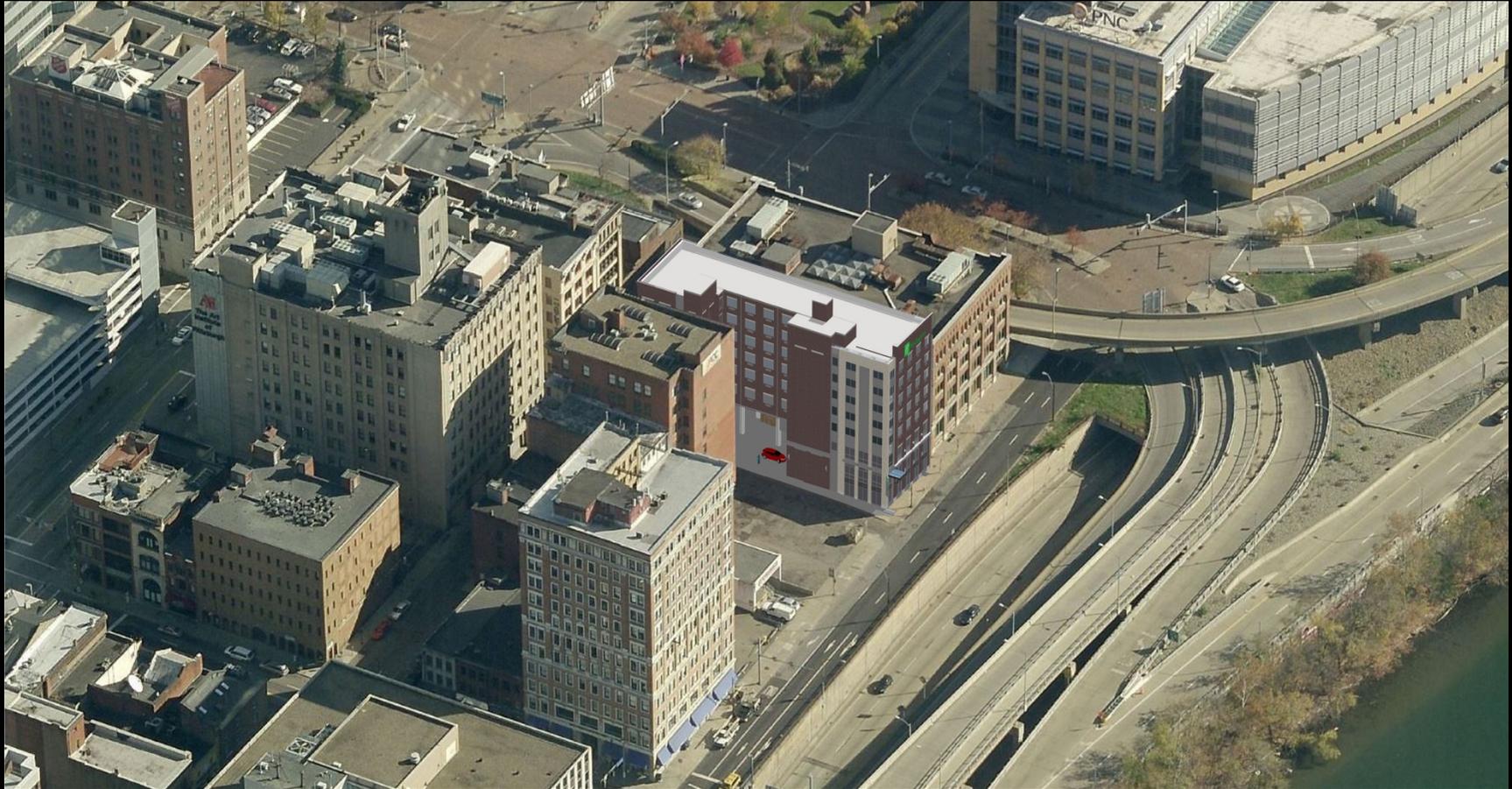
PROPOSED CONTEXTUAL ELEVATION



Proposed Fort Pitt Boulevard Holiday Inn – Fort Pitt Elevation



Proposed Fort Pitt Boulevard Holiday Inn— First Avenue Elevation



Proposed Fort Pitt Boulevard Holiday Inn – Aerial



**PROPOSED NEW HOLIDAY INN HOTEL  
FORT PITT BOULEVARD  
PITTSBURGH, PA**

**id** INTEGRITY DESIGN  
ARCHITECTURE & INTERIORS  
456 Washington Avenue Suite 100  
Bridgeville, PA 15017  
412-209-7822 P 412-209-7821 F

THE  
**FRZA**  
GROUP

SOUTHWEST PERSPECTIVE



**PROPOSED NEW HOLIDAY INN HOTEL  
FORT PITT BOULEVARD  
PITTSBURGH, PA**

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ARCHITECTURE & INTERIORS  
456 Washington Avenue Suite 100  
Pittsburgh, PA 15222  
412-220-7822 F 412-220-7821 F

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WEST ELEVATION



**PROPOSED NEW HOLIDAY INN HOTEL  
FORT PITT BOULEVARD  
PITTSBURGH, PA**

NORTH ELEVATION

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THE  
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GROUP



Proposed Fort Pitt Boulevard Holiday Inn – Front View



Proposed Fort Pitt Boulevard Holiday Inn – Courtyard

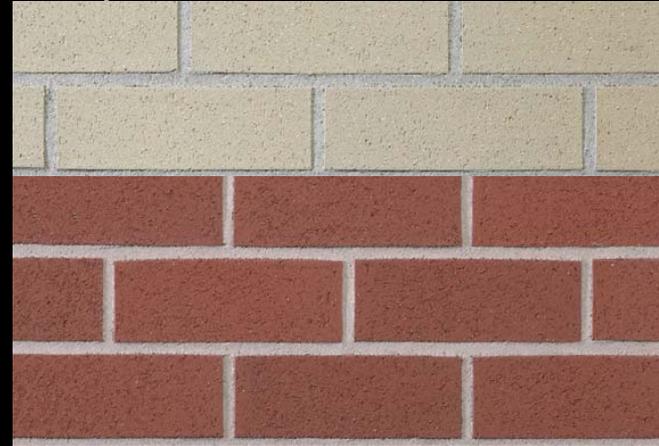


Proposed Fort Pitt Boulevard Holiday Inn – Back View

# Proposed Building Masonry and Textures



Masonry



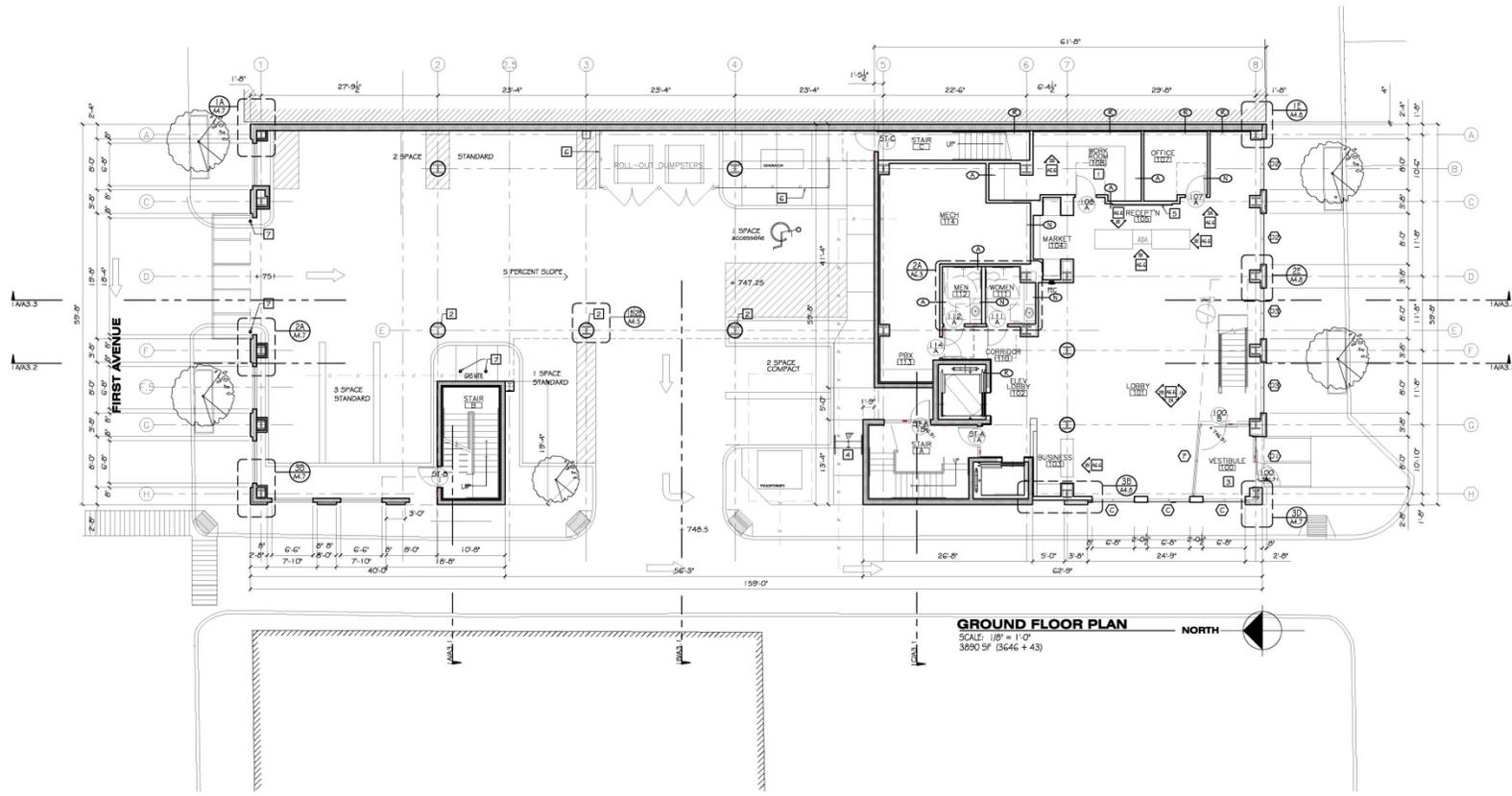
Gray and red brick



Glass overhang with steel frame.



Metal panels & Aluminum Storefront System



**GENERAL NOTES**

1. ELEVATION TSI SLAB IS 100'-0" = USGS ELEV 746.91'
2. SEE SHEET A6.4 FOR GROUND FLOOR PLAN ENLARGEMENT
3. SEE SHEETS A6.5, A6.7 FOR STAIR AND ELEVATOR ENLARGEMENTS
4. DIMENSIONS INDICATED ARE TO ONE OF THE FOLLOWING UNLESS NOTED OTHERWISE:
  - 4.1. FACE OF MASONRY
  - 4.2. CENTERLINE OF STEEL FRAME
  - 4.3. FACE OF METAL STUD FOR METEORIC PARTITION.
5. SEE DOOR SIGNAGE MATRIX FOR SIGNAGE DESIGNATION. REFER TO SIGN MOUNTING REQUIREMENTS ON SHEET
6. SEE SHEETS A6.1-46.2 FOR ROOM TYPES ENLARGEMENT.

**FLOOR PLAN KEY NOTES**

- [1] THIS ROOM DESIGNATED AS FIRE COMMAND CENTER FOR FIRE DEPARTMENT OPERATIONS PER SECTION 911 OF ISC 2009.
- [2] 24" DIAMETER METAL COLUMN COVER ON 24" DIAMETER CONCRETE PUNTH
- [3] RECESS FLOOR MAT
- [4] CONCRETE STEPS - REFER TO SITE DRAWINGS FOR GRADES AND DETAILS
- [5] HOLIDAY INN "HALLMARK" BRAND WALL
- [6] DUMPSTER AND GENERATOR SCREEN WALL - SEE SHEET \_\_\_\_ FOR ADDITIONAL DETAILS
- [7] 4" DIAMETER STEEL BOLLARD, FILL WITH CONCRETE, TOP OF BOLLARD SHALL BE 36" ABOVE SLAB, RECESS MIN. 36", PAINT WHITE

**LEGEND**

- FIRE EXTINGUISHER CABINET MOUNT TOP OF EXTINGUISHER @ 48" AFF
- ROOM SIGNAGE DESIGNATOR, SEE ROOM SIGN MATRIX
- CLEAR AREA REQUIREMENT AT DOOR

These drawings are instruments of service prepared by the architect and are the property of the architect. They are to be used only for the project and site indicated and no other project or site without written permission of the architect.

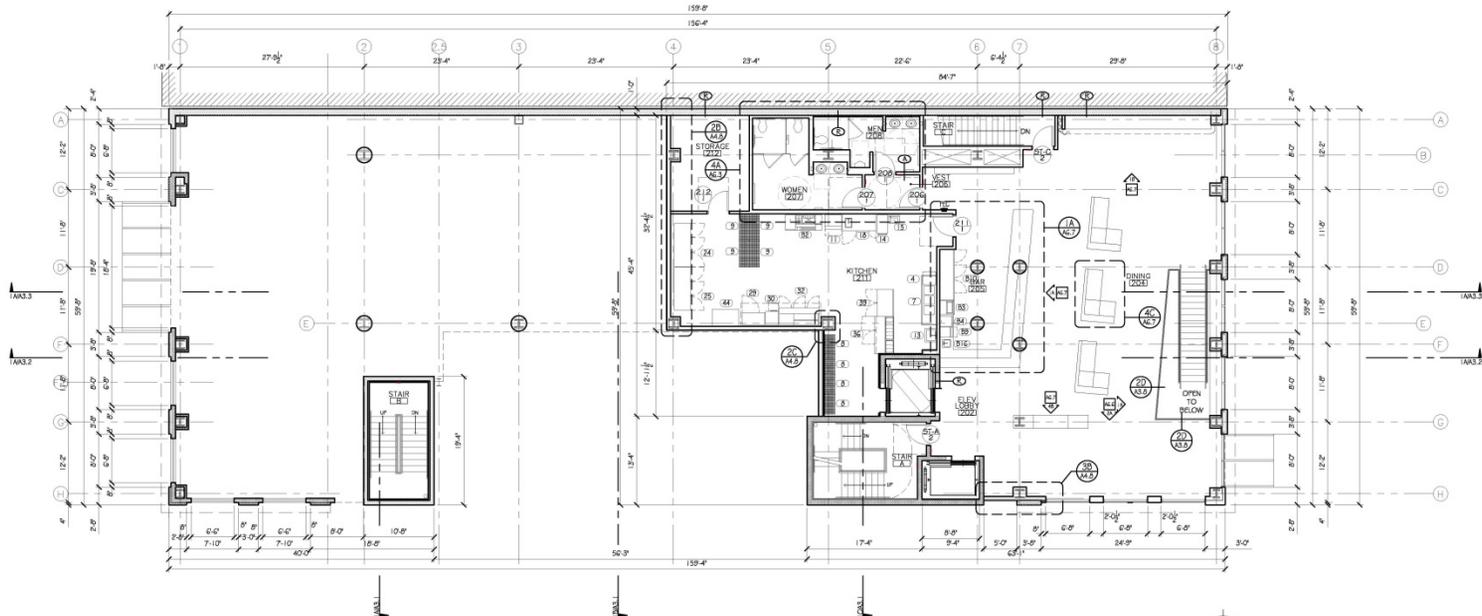
**REVISIONS:**

**FORT PITT BOULEVARD HOLIDAY INN HOTEL**  
**433 FORT PITT BOULEVARD**  
**PITTSBURGH, PA**

**INTEGRITY DESIGN**  
 100  
 458 Washington Avenue Suite 100  
 Pittsburgh, PA 15222  
 412-262-7822 P 412-262-7822 F

DATE: 7 JANUARY 2014  
 PROJECT NO: 2007-069  
 SITE PLAN / GROUND FLOOR PLAN  
 SHEET NO: **A1.1**

**REVIEW DRAWING**



**SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 4670 5" (4466 + 204)



**GENERAL NOTES**

1. ELEVATION SLAB IS 100'-0" = 1950 ELEV 746.91'
2. SEE SHEET AG-4 FOR GROUND FLOOR PLAN ENLARGEMENT
3. SEE SHEETS AS-5 - AS-7 FOR STAIR AND ELEVATOR ENLARGEMENTS
4. DIMENSIONS INDICATED ARE TO ONE OF THE FOLLOWING UNLESS NOTED OTHERWISE:  
 4.1. FACE OF MASONRY  
 4.2. CENTERLINE OF STEEL FRAME  
 4.3. FACE OF METAL STUD FOR INTERIOR PARTITION.
5. SEE DOOR SIGNAGE MATRIX FOR SIGNAGE DESIGNATION. REFER TO SIGN MOUNTING REQUIREMENTS ON SHEET.
6. SEE SHEETS AG-1-AG-2 FOR ROOM TYPED ENLARGEMENT.

**FLOOR PLAN KEY NOTES**

- 1 THIS ROOM DESIGNATED AS FIRE COMMAND CENTER FOR FIRE DEPARTMENT OPERATIONS PER SECTION 911 OF IBC 2009.
- 2 24" DIAMETER METAL COLLAR COVER ON 24" DIAMETER CONCRETE PLINTH
- 3 RECESS FLOOR MAT
- 4 CONCRETE STEPS - REFER TO SITE DRAWINGS FOR GRADES AND DETAILS
- 5 HOLIDAY INN <sup>TM</sup> BRAND WALL
- 6 DUMPSTER AND GENERATOR SCREEN WALL - SEE SHEET \_\_\_ FOR ADDITIONAL DETAILS
- 7 4" DIAMETER STEEL BOLLARD - FILL WITH CONCRETE. TOP OF BOLLARD SHALL BE 36" ABOVE SLAB. RECESS MIN. 36". PAINT WHITE

**LEGEND**

- THE EXTINGUISHER CABINET MOUNT TOP OF EXTINGUISHER @ 48" AT
- ROOM SIGNAGE DESIGNATOR SEE ROOM SIGN MATRIX
- CLEAR AREA REQUIREMENT AT DOOR

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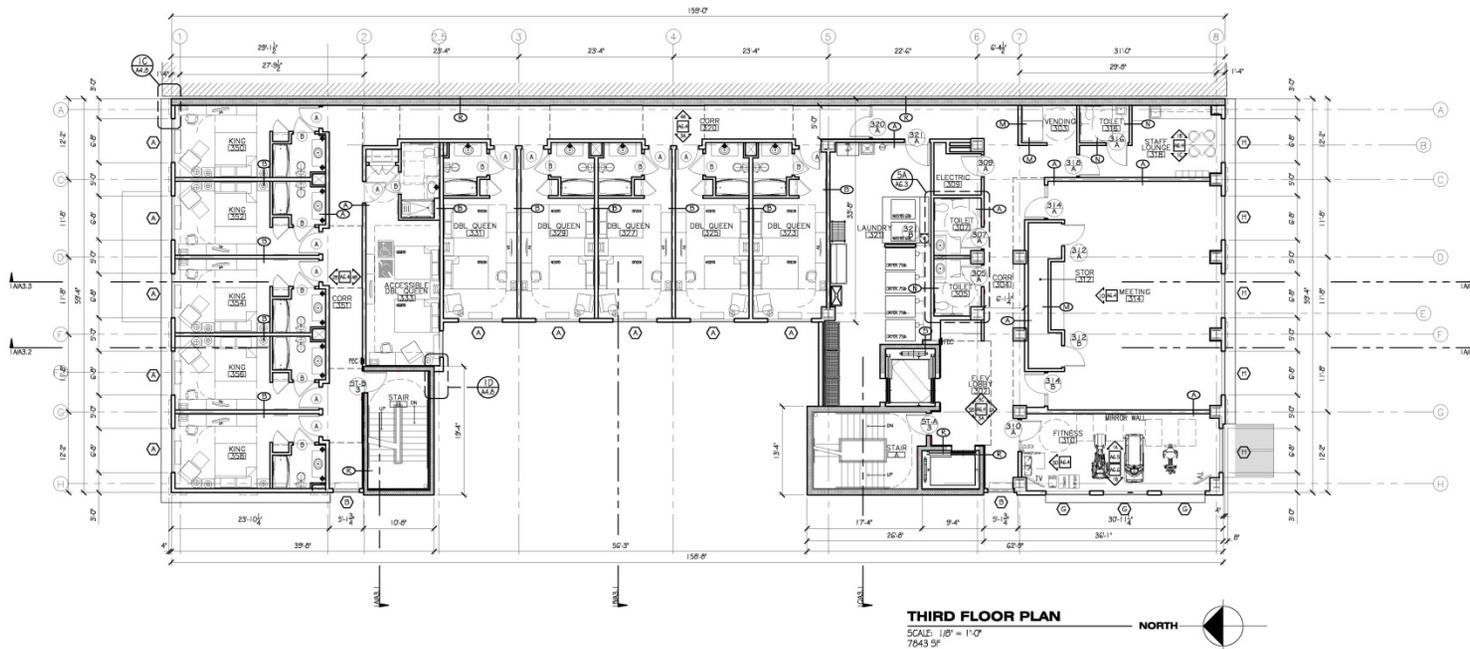
**REVISIONS:**

**FORT PITT BOULEVARD HOLIDAY INN HOTEL**  
 433 FORT PITT BOULEVARD  
 PITTSBURGH, PA

**INTEGRITY DESIGN**  
 2007 LITTLE LEBANON BLVD  
 456 Washington Avenue Suite 100  
 Pittsburgh, PA 15206  
 412-220-7822 F 412-220-7821P



DATE:  
 7 JANUARY 2014  
 PROJECT NO.  
 2007-066  
 SECOND FLOOR PLAN  
 SHEET NO.  
**A1.2**  
 REVIEW DRAWING



**THIRD FLOOR PLAN**

SCALE: 1/8" = 1'-0"  
7/643 5/8"



**GENERAL NOTES**

1. ELEVATION DIMS IS 1/32" 1/4" = USGS ELEV 746.311'
2. SEE SHEET AG-4 FOR GROUND FLOOR PLAN ENLARGEMENT
3. SEE SHEETS AS-5 - AS-7 FOR STAIR AND ELEVATOR ENLARGEMENTS
4. DIMENSIONS INDICATED ARE TO ONE OF THE FOLLOWING UNLESS NOTED OTHERWISE:
  - 4.1. FACE OF MASONRY
  - 4.2. CENTERLINE OF STEEL FRAME
  - 4.3. FACE OF METAL STUD FOR INTERIOR PARTITION.
5. SEE DOOR SIGNAGE MATRIX FOR SIGNAGE DESIGNATION. REFER TO SIGN MOUNTING REQUIREMENTS ON SHEET.
6. SEE SHEETS AG-1-AG-2 FOR ROOM TYPED ENLARGEMENT.

**FLOOR PLAN KEY NOTES**

- 1 THIS ROOM DESIGNATED AS FIRE COMMAND CENTER FOR FIRE DEPARTMENT OPERATIONS PER SECTION 911 OF IBC 2009.
- 2 24" DIAMETER METAL COLUMN COVER ON 24" DIAMETER CONCRETE PLINTH
- 3 RECESS FLOOR MAT
- 4 CONCRETE STEPS - REFER TO SITE DRAWINGS FOR GRADES AND DETAILS
- 5 HOLIDAY INN "H" MARK BRAND WALL
- 6 DUMPSTER AND GENERATOR SCREEN WALL - SEE SHEET \_\_\_ FOR ADDITIONAL DETAILS
- 7 4" DIAMETER STEEL BOLLARD - FILL WITH CONCRETE. TOP OF BOLLARD SHALL BE 3/4" ABOVE SLAB. RECESS MIN. 3/4". PAINT WHITE

**LEGEND**

- FIRE EXTINGUISHER CABINET  
MOUNT TOP OF DINGUSHER @ 48" AFF
- ROOM SIGNAGE DESIGNATOR  
SEE ROOM SIGN MATRIX
- CLEAR AREA REQUIREMENT AT DOOR

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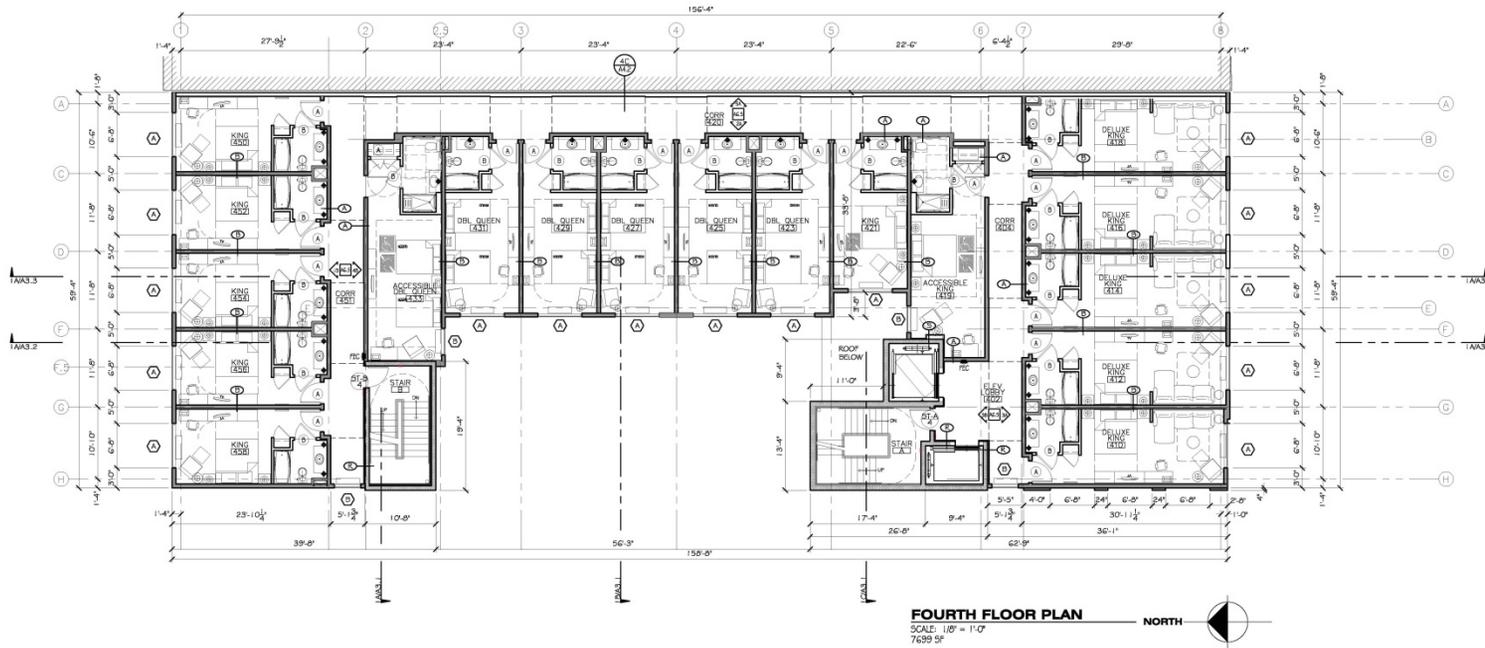
**REVISIONS:**

**FORT PITT BOULEVARD HOLIDAY INN HOTEL**  
433 FORT PITT BOULEVARD  
PITTSBURGH, PA

**INTEGRITY DESIGN**  
7025 LITTLEFIELD ROAD, SUITE 100  
PITTSBURGH, PA 15228  
436 Washington Avenue, Suite 100  
PITTSBURGH, PA 15222-7828 P 412-220-7828 F



DATE:  
7 JANUARY 2014  
PROJECT NO.  
2007-065  
THIRD FLOOR PLAN  
SHEET NO.  
**A1.3**  
REVIEW DRAWING



**FOURTH FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 7639.58

**GENERAL NOTES**

1. ELEVATION 126.48 @ 100'-0" = 1263 ELEV 746.91'
2. SEE SHEET A4.4 FOR GROUND FLOOR PLAN ENLARGEMENT
3. SEE SHEETS A3.5 - A3.7 FOR STAIR AND ELEVATOR ENLARGEMENTS
4. DIMENSIONS INDICATED ARE TO ONE OF THE FOLLOWING UNLESS NOTED OTHERWISE:  
 4.1. FACE OF MASONRY  
 4.2. CENTERLINE OF STEEL FRAME  
 4.3. FACE OF METAL STUD FOR INTERIOR PARTITION.
5. SEE DOOR SIGNAGE MATRIX FOR SIGNAGE DESIGNATION. REFER TO SIGN MOUNTING REQUIREMENTS ON SHEET \_\_\_\_
6. SEE SHEETS A4.1, A4.2 FOR ROOM TYPES ENLARGEMENT.

**FLOOR PLAN KEY NOTES**

- 1 THIS ROOM DESIGNATED AS FIRE COMMAND CENTER FOR FIRE DEPARTMENT OPERATIONS FOR SECTION 911 OF ISC 2009.
- 2 24" DIAMETER METAL COLUMN COVER ON 24" DIAMETER CONCRETE PLINTH
- 3 RECESS FLOOR MAT
- 4 CONCRETE STEPS - REFER TO SITE DRAWINGS FOR GRADES AND DETAILS
- 5 HOLIDAY INN 'haimark' BRAND WALL
- 6 DUMPSTER AND GENERATOR SCREEN WALL - SEE SHEET \_\_\_\_ FOR ADDITIONAL DETAILS
- 7 4" DIAMETER STEEL BOLLARD. FILL WITH CONCRETE. TOP OF BOLLARD SHALL BE 3/4" ABOVE SLAB. RECESS MIN. 3/4" PAINT WHITE

**LEGEND**

- FIRE EXTINGUISHER CABINET  
MOUNT TOP OF EXTINGUISHER @ 48" AFF
- ROOM SIGNAGE DESIGNATOR  
SEE ROOM SIGN MATRIX
- CLEAR AREA REQUIREMENT AT DOOR

These drawings are instruments of the Architect and do not constitute a contract. The Contractor shall be responsible for obtaining all necessary permits and for any and all work without written permission of the Architect. (AIA A191)

**REVISIONS:**

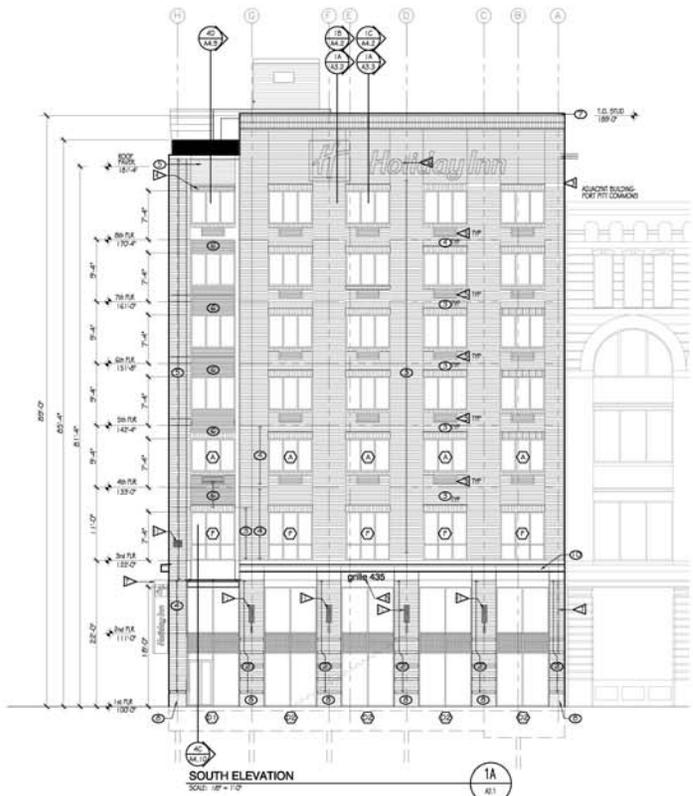
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**PITTSBURGH, PA**

**INTEGRITY DESIGN**  
 ARCHITECTURE & INTERIORS  
 408 Boulevard PA West  
 15047-1100  
 412-220-7822 F 412-220-7822 F

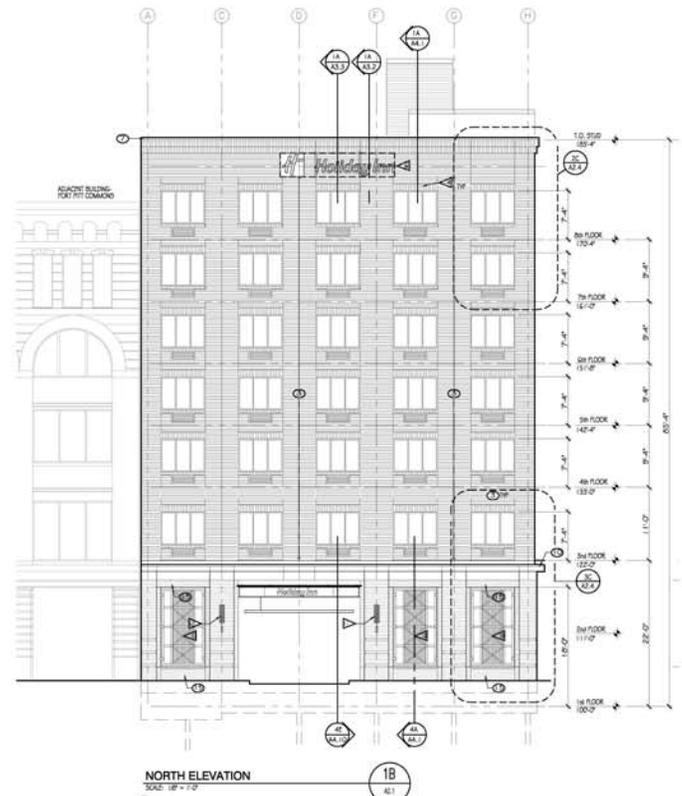


DATE:  
 7 JANUARY 2014  
 PROJECT NO.  
 2007-086  
 FOURTH FLOOR PLAN  
 SHEET NO.  
**A1.4**  
 REVIEW DRAWING

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**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE				
MATERIAL	MANUFACTURER	SIZE	COLOR	
1	BRICK MASONRY	BELDEN BRICK	4" x 4" x 12"	COMMODORE VIOLET
2	BRICK MASONRY VENEER	BELDEN BRICK	4" x 4" x 12"	SILVER BRICK
3	TRIM BRICK VENEER	BELDEN BRICK	4" x 4" x 12"	COMMODORE VIOLET
4	BRICK MASONRY	BELDEN BRICK	4" x 4" x 12"	COMMODORE VIOLET
5	TRIM BRICK VENEER	BELDEN BRICK	4" x 4" x 12"	IRACON GRAY VIOLET
6	METAL PANEL (TYPE 1) (COR. ALLIG.)	ATAS	4" x 12"	IRACON GRAY VENEER
7	METAL COPING	MPII 400 (BRICK WALL)		ZB SILVERSMITH
8	CAST STONE			ZB SILVERSMITH (ATAS)
9	METAL GUTTER + DOWNSPOUT			ZB SILVERSMITH (ATAS)
10	RFI PANEL - INTERMEDIATE CORNER			GUDM PANEL
11	2x4 MASONRY			
12	CON GLASS WALL SYSTEM			4" x 12" x 12"
13	METAL LOUVER			ZB SILVERSMITH
14				
15				

- EXTERIOR ELEVATION KEY NOTES**
- ▲ ALUMINUM REVEAL MOLDING- SEE DETAIL 1D ON SHEET A2.4
  - ▲ ALUMINUM J MOLD SEE DETAIL 2D ON SHEET A2.4
  - ▲ ALUMINUM CORNER TRIM SEE DETAIL 3D ON SHEET A2.4
  - ▲ SOLIDEX COURSE - 1" HGT UNIT
  - ▲ METAL LOUVER- REFER TO MECH. DRAWING FOR LOUVER SIZE COLOR. SILVERSMITH (BY ATAS)
  - ▲ WALL MOUNTED SIGNAGE- BY SIGN SUB-CONTRACTOR
  - ▲ WALL MOUNTED BLADE SIGN- BY SIGN SUB-CONTRACTOR
  - ▲ WALL MOUNTED TENANT SIGN- BY SIGN SUB-CONTRACTOR
  - ▲ ARM BRACE MTL PANEL- SEE DETAIL FOR MORE INFORMATION
  - ▲ PARKING AREA SCREEN WALL PANEL- SEE DETAILS ON SHEET
  - ▲ HOLIDAY INN BRAND STANDBOX SPLITLIGHT

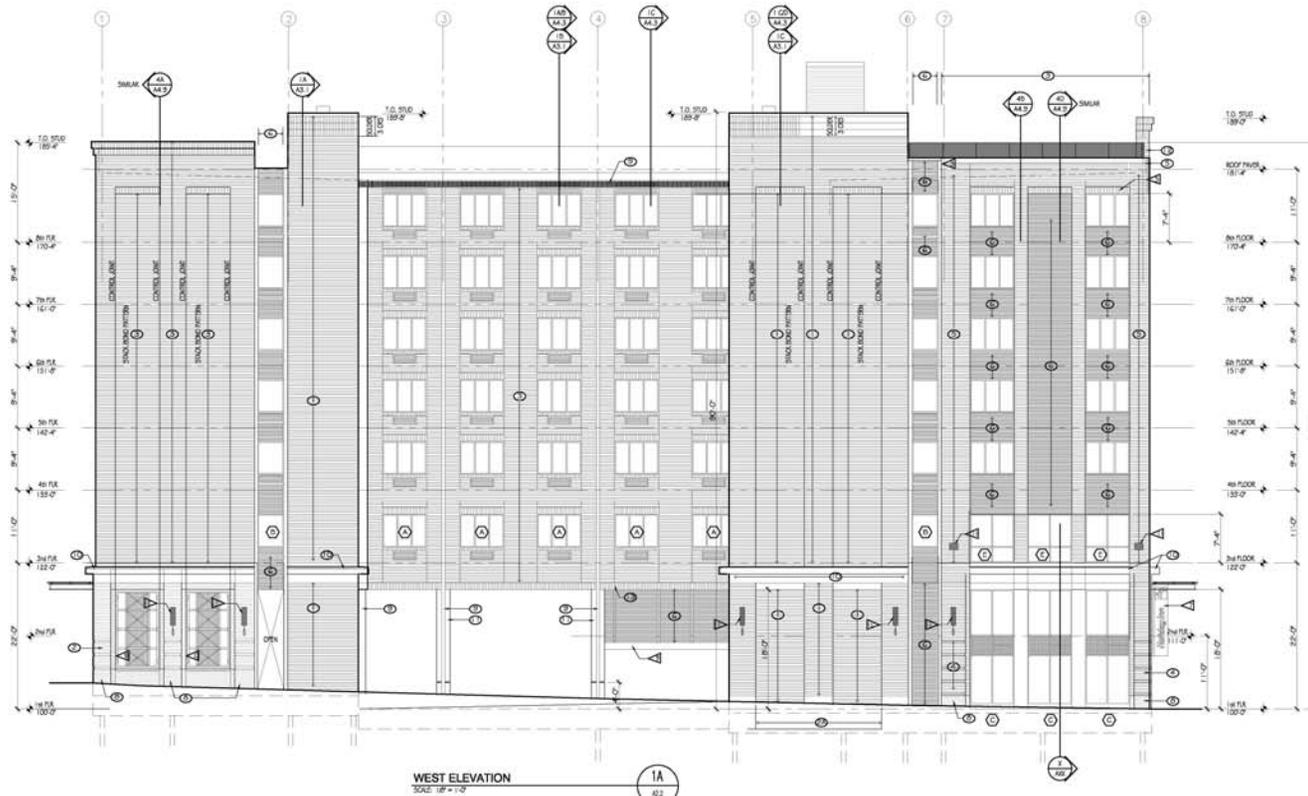
REVISIONS:

**FORT PITT BOULEVARD HOLIDAY INN HOTEL**  
433 FORT PITT BOULEVARD  
PITTSBURGH, PA

**INTEGRITY DESIGN**  
ARCHITECTS  
408 Washington Avenue, Suite 100  
Pittsburgh, PA 15222  
412-262-7622 P 412-262-7821 F



DATE:  
7 JANUARY 2014  
PROJECT NO:  
2007-065  
EXTERIOR ELEVATIONS  
SHEET NO:  
**A2.1**  
REVIEW DRAWING



WEST ELEVATION  
SCALE: 1/8" = 1'-0"

MATERIAL SCHEDULE			
MATERIAL	MANUFACTURER	SIZE	COLOR
1 BRICK MASONRY	BELDEN BRICK	8" x 8" x 16"	35/DEN BRICK
2 BRICK MASONRY VENEER	BELDEN BRICK	4" x 8" x 16"	COMMODORE VELOUR
3 THIN BRICK VENEER	BELDEN BRICK	4" x 12"	COMMODORE VELOUR
4 BRICK MASONRY	BELDEN BRICK	4" x 8" x 16"	REASON GRAY VELOUR
5 THIN BRICK VENEER	BELDEN BRICK	4" x 12"	REASON GRAY VELOUR
6 METAL PANEL TYPE 11 L-332 ALUM.	ATAK	MPL 140 (BRICK WALL)	28 SILVERSMITH
7 METAL COATING			
8 CAST STONE			
9 METAL GLITTER - DOWNPOUT			28 SILVERSMITH (ATAK)
10 REF PANEL - INTERMEDIATE CORNER		CUSTOM PANEL	
11 JET MOLDING			
12 GUM GLASS BAL SYSTEM		4" x 12" x 18"	
13 METAL LOUVER			28 SILVERSMITH
14			

- EXTERIOR ELEVATION KEY NOTES**
- ▲ ALUMINUM REVEAL MOLDING- SEE DETAIL 1D ON SHEET A2.4
  - ▲ ALUMINUM 3 MOLD SEE DETAIL 2D ON SHEET A2.4
  - ▲ ALUMINUM CORNER TRIM. SEE DETAIL 3D ON SHEET A2.4
  - ▲ SOLDER COURSE - 1/2" HT LWT
  - ▲ METAL LOUVER: REFER TO MECH. DRAWING FOR LOUVER SIZE  
COLOR: SILVERSMITH by ATAK
  - ▲ WALL MOUNTED SIGNAGE: BY SIGN SUB-CONTRACTOR
  - ▲ WALL MOUNTED "BLADE" SIGN: BY SIGN SUB-CONTRACTOR
  - ▲ WALL MOUNTED "TENT" SIGN: BY SIGN SUB-CONTRACTOR
  - ▲ ARM BRACE MTL PANEL: SEE DETAIL FOR MORE INFORMATION
  - ▲ PARKING AREA SCREEN WALL PANEL: SEE DETAILS ON SHEET
  - ▲ HOLIDAY INN BRAND STANDARD UP/LIGHT

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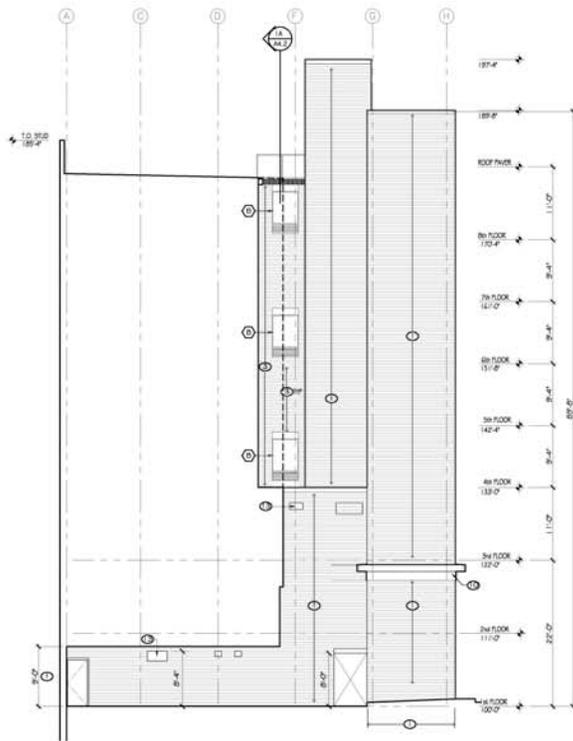
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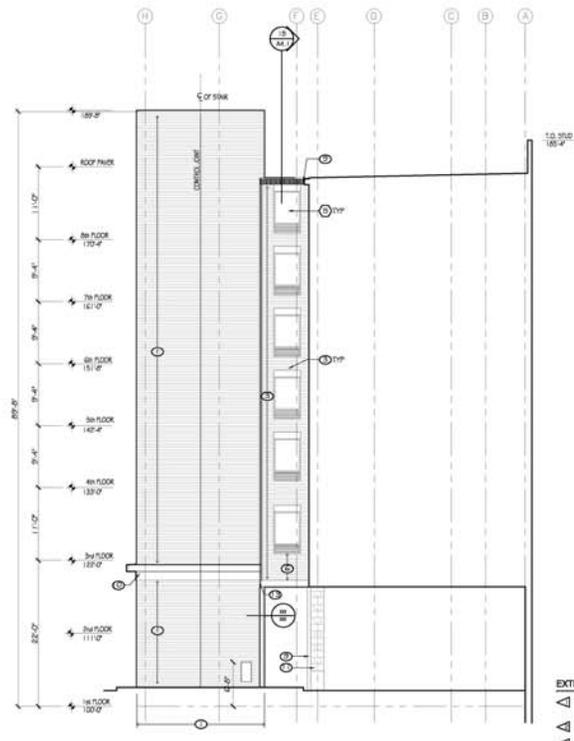
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DATE: 7 JANUARY 2014  
PROJECT NO. 2007-066  
SHEET NO. A2.2  
REVIEW DRAWING



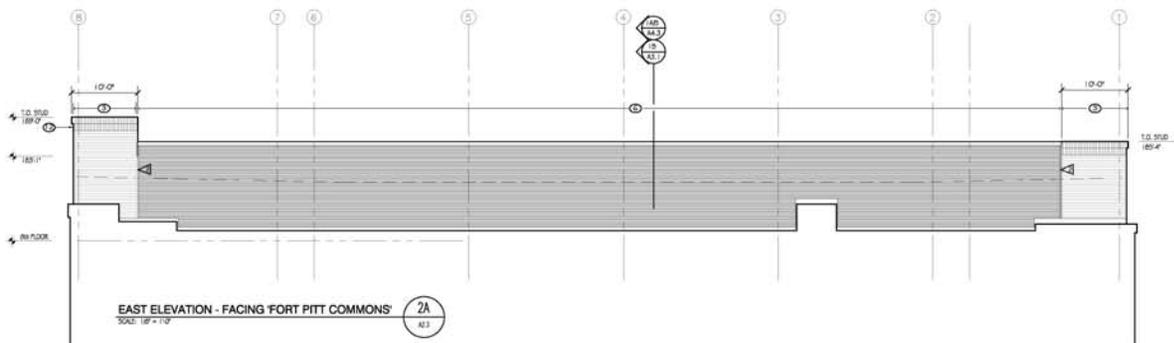
PARTIAL SOUTH ELEVATION - COURTYARD  
SCALE: 1/8" = 1'-0"

1A  
A3



PARTIAL NORTH ELEVATION - COURTYARD  
SCALE: 1/8" = 1'-0"

1B  
A3



EAST ELEVATION - FACING FORT PITT COMMONS  
SCALE: 1/8" = 1'-0"

2A  
A3

EXTERIOR ELEVATION KEY NOTES

- ▲ ALUMINUM REVEAL MOLDING - SEE DETAIL 10 ON SHEET A2.4
- ▲ ALUMINUM J-MOLD SEE DETAIL 00 ON SHEET A2.4
- ▲ ALUMINUM CORNER TRIM - SEE DETAIL 30 ON SHEET A2.4
- ▲ SOLIDEX COURSE - 1/2" HGT UNIT
- ▲ METAL LOUVER: REFER TO MECH. DRAWING FOR LOUVER SIZE COLOR: SILVERSMITH (BY AT&T)
- ▲ WALL MOUNTED SIGNAGE: BY SIGN SUB-CONTRACTOR
- ▲ WALL MOUNTED TRADE SIGN: BY SIGN SUB-CONTRACTOR
- ▲ WALL MOUNTED TENANT SIGN: BY SIGN SUB-CONTRACTOR
- ▲ AIRM BRAZE METAL PANELS - SEE DETAIL FOR MORE INFORMATION
- ▲ PARKING AREA SCREEN WALL PANELS - SEE DETAILS ON SHEET \_\_\_\_\_
- ▲ HOLIDAY INN BRAND STANDARD SPLIGHT

MATERIAL SCHEDULE

MATERIAL	MANUFACTURER	SIZE	COLOR
1 BRICK MASONRY	BELDEN BRICK	8" x 4" x 12"	COMMODORE VELOUR
2 BRICK MASONRY - VENEER	BELDEN BRICK	4" x 4" x 12"	BEORN BRICK
3 THIN BRICK VENEER	BELDEN BRICK	4" x 12"	COMMODORE VELOUR
4 BRICK MASONRY	BELDEN BRICK	4" x 4" x 12"	BEACON GRAY VELOUR
5 THIN BRICK VENEER	BELDEN BRICK	4" x 12"	BEACON GRAY VENEER
6 METAL PANEL (Type 1) CORE ALUMI	AT&T	MTK 60 (RSGO WALL)	20 SILVERSMITH
7 METAL COPING	-	-	-
8 CAST STONE	-	-	20 SILVERSMITH (AT&T)
9 METAL GUTTER + DOWNSPOUT	-	-	20 SILVERSMITH (AT&T)
10 RFP PANEL - INTERMEDIATE CORNER	-	CUSTOM PANEL	-
11 UNIT MASONRY	-	4" x 12" x 12"	-
12 CMR SLATS RAIL SYSTEM	-	-	-
13 METAL LOUVER	-	-	20 SILVERSMITH
14	-	-	-
15	-	-	-

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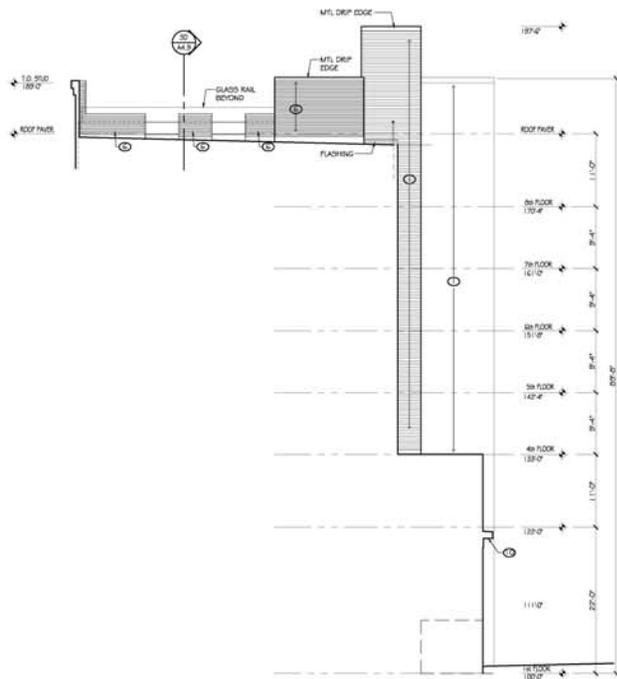
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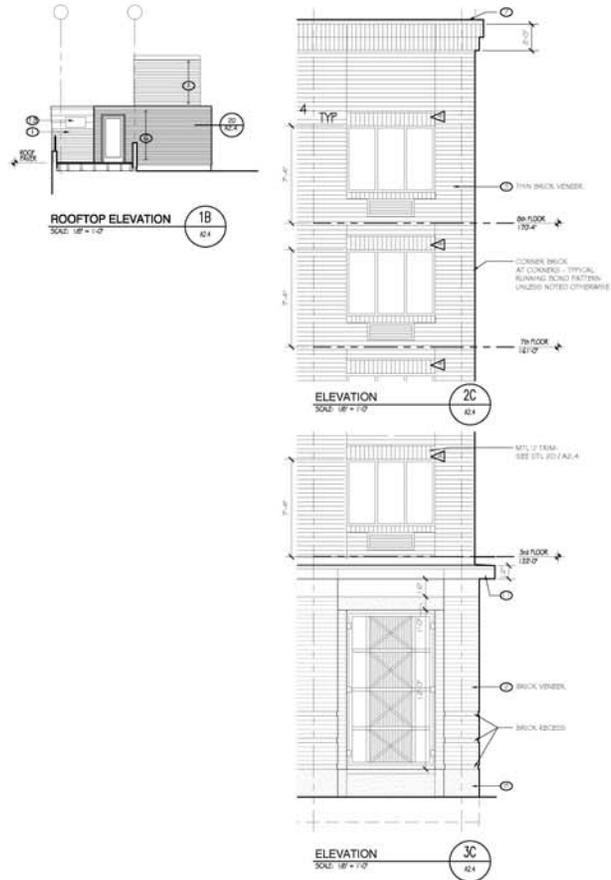


DATE: 7 JANUARY 2014  
PROJECT NO. 2007-066  
EXTERIOR ELEVATIONS  
SHEET NO. A2.3  
REVIEW DRAWING



ROOFTOP ELEVATION-LOOKING WEST  
SCALE: 1/8" = 1'-0"

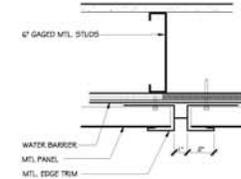
3A  
A2.4



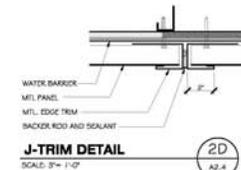
ROOFTOP ELEVATION 1B  
SCALE: 1/8" = 1'-0"

ELEVATION 2C  
SCALE: 1/8" = 1'-0"

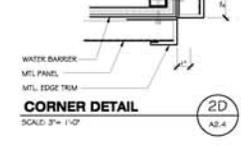
ELEVATION 3C  
SCALE: 1/8" = 1'-0"



REVEAL DETAIL 1D  
SCALE: 3/4" = 1'-0"



J-TRIM DETAIL 2D  
SCALE: 3/4" = 1'-0"



CORNER DETAIL 2D  
SCALE: 3/4" = 1'-0"

MATERIAL SCHEDULE			
MATERIAL	MANUFACTURER	SIZE	COLOR
1 BRICK MASONRY	BELDEN BRICK	8" x 4" x 12"	COMMON/CORNER VELOUR
2 BRICK MASONRY-TINDER	BELDEN BRICK	4" x 4" x 12"	COMMON/CORNER VELOUR
3 THIN BRICK VENEER	BELDEN BRICK	4" x 12"	COMMON/CORNER VELOUR
4 BRICK MASONRY	BELDEN BRICK	4" x 4" x 12"	BEACON GRAY VELOUR
5 THIN BRICK VENEER	BELDEN BRICK	4" x 12"	BEACON GRAY VELOUR
6 METAL PANELS (TYPE 1) (EDGE ALUM)	ATAS	48" x 96"	205 SILVERMATH
7 METAL COPING	ATAS	(ROGG-484)	
8 CAST STONE	-	-	205 SILVERMATH (KING)
9 METAL GUTTER + DOWNPOUT	-	-	205 SILVERMATH (KING)
10 FRP PANEL- INTERMEDIATE CORNER	-	GLASS PANEL	
11 UNIT MASONRY	-	4" x 12" x 12"	
12 CLEAR GLASS RAIL SYSTEM	-	-	
13 METAL LOUVER	-	-	205 SILVERMATH
14	-	-	
15	-	-	

- EXTERIOR ELEVATION KEY NOTES**
- ▲ ALUMINUM REVEAL MOLDING-SEE DETAIL 1D ON SHEET A2.4
  - ▲ ALUMINUM J-MOLD SEE DETAIL 2D ON SHEET A2.4
  - ▲ ALUMINUM CORNER TRIM- SEE DETAIL 3D ON SHEET A2.4
  - ▲ SOLDIER COURSE - 1/2" HGT UNIT
  - ▲ METAL LOUVER REFER TO MACH. DRAWING FOR LOUVER SIZE COLOR- SILVERMATH (By ATAS)
  - ▲ WALL MOUNTED SIGNAGE- BY SIGN SUB-CONTRACTOR
  - ▲ WALL MOUNTED BLADE SIGN- BY SIGN SUB-CONTRACTOR
  - ▲ WALL MOUNTED TENANT SIGN- BY SIGN SUB-CONTRACTOR
  - ▲ ARM BRACE METAL PANELS-SEE DETAIL FOR MORE INFORMATION
  - ▲ PARKING AREA SCREEN WALL PANELS-SEE DETAILS ON SHEET
  - ▲ HOLIDAY INN BRAND STANDARD UPLIGHT

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DATE:  
7 JANUARY 2014

PROJECT NO:  
2007086

EXTERIOR ELEVATIONS

SHEET NO:  
**A2.4**

**REVIEW DRAWING**

**SITE PLAN LEGEND**

-  PROPOSED INTEGRAL CONCRETE CURB AND SIDEWALK REFER TO DETAIL 500B1
-  4" THICK CONCRETE SIDEWALK (CITY RIGHT-OF-WAY) REFER TO DETAIL 600B1
-  PROPOSED TYPE 1 CURB RAMP (RC-67M) REFER TO DETAIL 600B1
-  PROPOSED 6" THICK CONCRETE PAVEMENT REFER TO DETAIL 400B1

-  PROPOSED DEEP SET CONCRETE CURB REFER TO DETAIL 100B1
-  PROPOSED YARD DRAIN (YD) REFER TO DETAIL 600B1
-  PRECAST CONCRETE MANHOLE FOR PIPES UNDER 48" IN DIAMETER REFER TO DETAIL 100B1

**NOTES:**

1. THE UNDERGROUND UTILITIES SHOWN HEREON HAVE NOT BEEN PHYSICALLY LOCATED BY THE SURVEYOR. HOWEVER, THE INFORMATION WAS OBTAINED FROM EXISTING PLANS AND SURFACE FACILITIES. THE GATEWAY ENGINEERS, INC. MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE GATEWAY ENGINEERS, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
2. THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE MUST BE REVIEWED BY THE CONTRACTOR. ALL RECOMMENDATIONS MADE IN THE REPORT MUST BE FOLLOWED DURING CONSTRUCTION.
3. IN THE PREPARATION OF THIS PLAN, THE CUTS AND/OR FILLS WERE SET WITHOUT KNOWLEDGE OF THE CAPABILITIES OF THE SOILS LOCATED ON THE SITE. THE GATEWAY ENGINEERS, INC. MAKES NO REPRESENTATION IN THIS PLAN OF THE STABILITY OF THE CUTS AND/OR FILLS SHOWN.
4. CONSTRUCTION NOTES MAY ONLY APPEAR ONCE ON THE DRAWINGS, BUT APPLY TO ALL SIMILAR TYPICAL CONDITIONS.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, UTILITY ENTRY POINTS, AND DETAILS.
6. CONTRACTOR SHALL CONTACT UTILITY COMPANIES TO COORDINATE CONNECTION TO EXISTING PUBLIC UTILITIES. ALL PROPOSED UTILITY CONDUITS, UTILITY LINES, PIPES, FITTINGS, COUPLERS, VALVES, AND MOUNTING PADS ETC. SHALL BE INSTALLED IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY REQUIREMENTS AND REGULATIONS. THIS SHALL INCLUDE ALL MATERIALS FOR INSTALLATION AND CONSTRUCTION ETC.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN THE EXACT LOCATION AND SIZE OF THE UTILITIES PRIOR TO CONSTRUCTION AND COORDINATE THE TIE-POINTS WITH THE CONTRACT DOCUMENTS AND THE APPROPRIATE UTILITY COMPANY.
8. SAW CUT ALL PAVING AND KEYWAYS PRIOR TO EXCAVATION.
9. CONTRACTOR IS TO WORK AROUND EXISTING UTILITIES. IF ADJUSTMENTS ARE NECESSARY, WORK WILL BE CONSIDERED INCIDENTAL.
10. TACK COAT SHALL BE REQUIRED IF PAVING LIFTS ARE NOT COMPLETED WITHIN 3 DAYS OF EACH OTHER.
11. TACK COAT VERTICAL SURFACE ALONG ALL SAW CUT LIMITS.
12. ALL EXCAVATION MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT.
13. ALL NEW MATERIAL AND CONSTRUCTION METHODS MUST MEET PDOT PUBLICATION 408 STANDARDS.

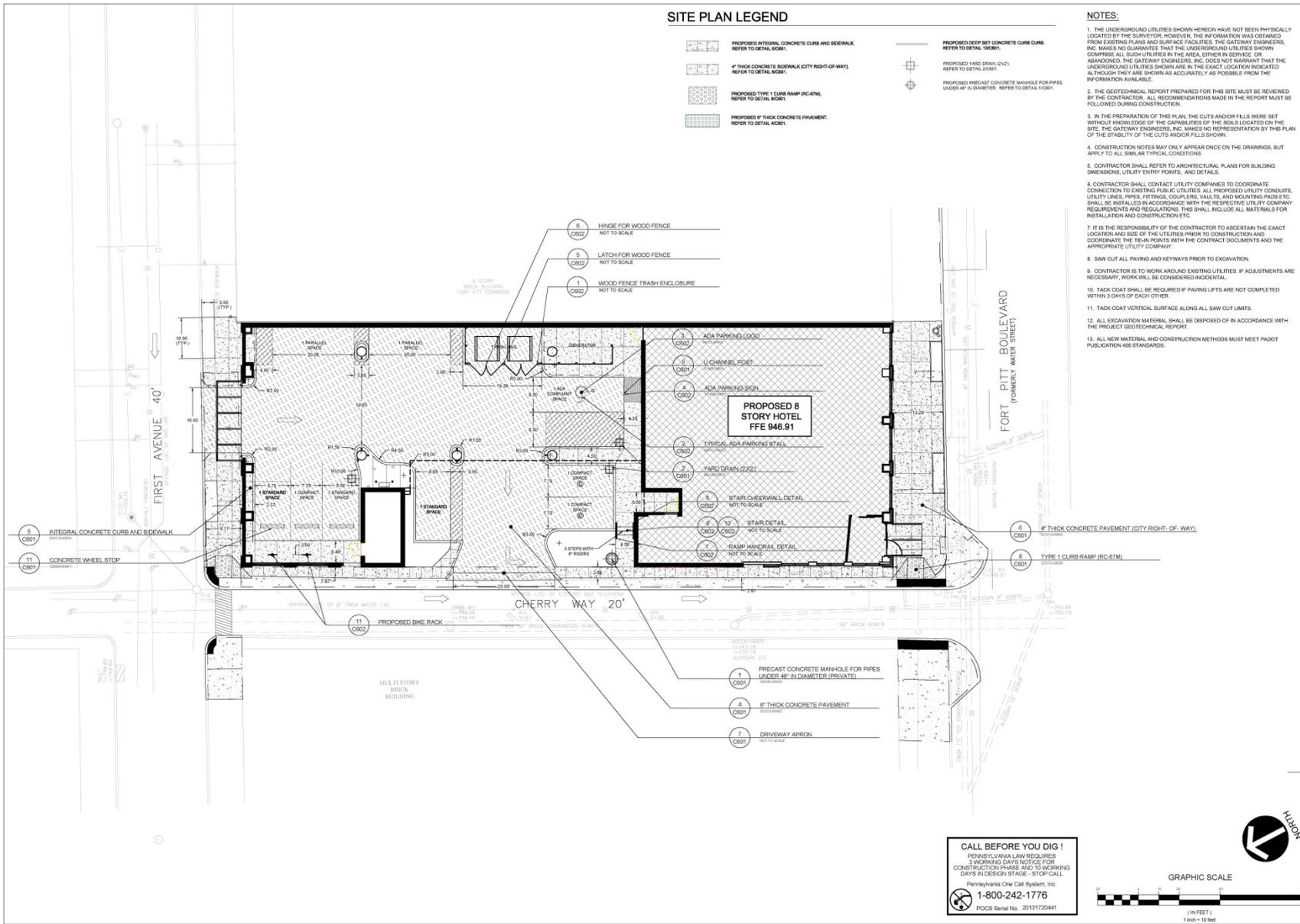
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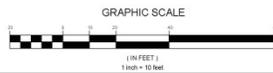
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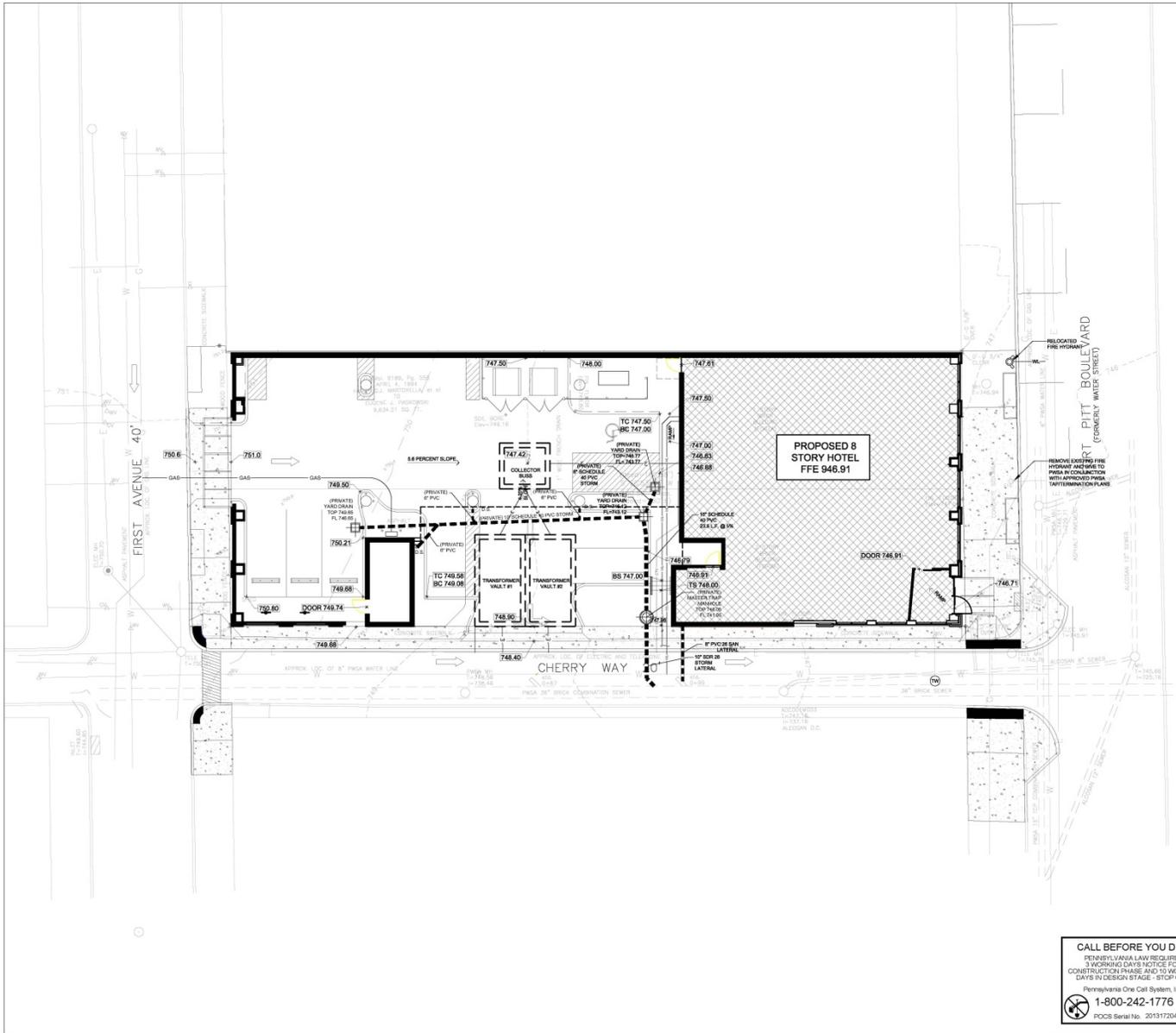


DATE: JANUARY 8, 2013  
PROJECT NO: 2007-068  
SITE PLAN  
SHEET NO: C101



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- NOTES:**
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  3. IN THE PREPARATION OF THIS PLAN, THE CUTS AND/OR FILLS WERE SET WITHOUT KNOWLEDGE OF THE CAPABILITIES OF THE SOILS LOCATED ON THE SITE. THE GATEWAY ENGINEERS, INC. MAKES NO REPRESENTATION AS TO THE STABILITY OF THE CUTS AND/OR FILLS SHOWN.
  4. CONSTRUCTION NOTES MAY ONLY APPEAR ONCE ON THE DRAWINGS, BUT APPLY TO ALL SIMILAR TYPICAL CONDITIONS.
  5. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, UTILITY ENTRY POINTS, AND DETAILS.
  6. CONTRACTOR SHALL CONTACT UTILITY COMPANIES TO COORDINATE CONNECTION TO EXISTING PUBLIC UTILITIES. ALL PROPOSED UTILITY CONDUITS, UTILITY LINES, FITTINGS, COUPLERS, VALVES, AND MOUNTING PADS ETC SHALL BE INSTALLED IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY REQUIREMENTS AND REGULATIONS. THIS SHALL INCLUDE ALL MATERIALS FOR INSTALLATION AND CONSTRUCTION ETC.
  7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN THE EXACT LOCATION AND SIZE OF THE UTILITIES PRIOR TO CONSTRUCTION AND COORDINATE THIS WITH THE CONTRACT DOCUMENTS AND THE APPROPRIATE UTILITY COMPANY.
  8. SAW CUT ALL PAVING AND KEYWAYS PRIOR TO EXCAVATION.
  9. CONTRACTOR IS TO WORK AROUND EXISTING UTILITIES. IF ADJUSTMENTS ARE NECESSARY, WORK WILL BE CONSIDERED INCIDENTAL.
  10. TACK COAT SHALL BE REQUIRED IF PAVING LAYS ARE NOT COMPLETED WITHIN 3 DAYS OF EACH OTHER.
  11. TACK COAT VERTICAL SURFACE ALONG ALL SAW CUT LIMITS.
  12. ALL EXCAVATION MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT.
  13. ALL NEW MATERIAL AND CONSTRUCTION METHODS MUST MEET PAODT PUBLICATION 408 STANDARDS.
  14. TWO ELECTRICAL TRANSFORMER VAULTS AND ONE COLLECTOR BUSS VAULT WILL BE REQUIRED BY DOUGHERTY LIGHT. ALL THREE WILL BE CAST IN PLACE CONCRETE. REFER TO CONSTRUCTION PLANS APPROVED BY DOUGHERTY LIGHT CO.

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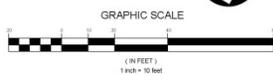
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TITLE: CONCEPTUAL PUBLIC IMPROVEMENTS

FIGURE  
**14**  
D.B. rjh  
C.B. no  
REV. 11/7/13

