



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room
September 2, 2015

AGENDA

(Vacant), *Chairman*
Ernie Hogan, *Acting Chairman*
Raymond Gastil, *Director of Planning*
Erik Harless, *Assistant Chief PLI, Secretary*
Joe Serrao
Carol Peterson
Matthew Falcone

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business

- Design Guidelines Review and Adoption

New Business

- Approval of the minutes from the July 1, 2015 hearing and July 15, 2015 special hearing
- Certificates of Appropriateness Report – July and August 2015
- Applications for a Certificate of Economic Hardship – None
- Allegheny West address to Commission

➤ **1:00 PM HEARING & ACTION**

1. Allegheny West Historic District

913 Beech Avenue
Shirley Mehring & Howard Brokenbek, owners
Howard Brokenbek, applicant
After-the-fact construction of rear carport

2. Allegheny West Historic District

929 Beech Avenue
Joseph & Linda Iannotta, owners and applicants
Replacement of front railing and after-the-fact alteration of steps

3. Allegheny West Historic District

911 Galveston Avenue
Delta Foundation of Pittsburgh, owners and applicants
After-the-fact storefront rehabilitation

4. Allegheny West Historic District

900-906 N. Lincoln Avenue
James Messer, owner's representative
RSH Architects, applicant
Renovations with composite materials

5. Deutschtown Historic District

500-502 Avery Street
Avery Street Properties, LLC, owner
Duane & Holly Palmieri, applicants
Refenestration at front and rear of building

6. Deutschtown Historic District

1002 Cedar Avenue
Weiyang Mao, owner
Thomas Liang & Weiyang Mao, applicants
Façade renovations including window replacement

-
7. ***East Carson Street Historic District***
907-909 E. Carson Street
Marwan Aboud, owner
George Nadour, applicant
Façade renovations, demolition of rear addition
8. ***East Carson Street Historic District***
1739 E. Carson Street
Main Street Holdings, owner and applicant
Construction of ADA ramp
9. ***East Carson Street Historic District***
2015 E. Carson Street
2015 E Carson LLC, owner
Brian Wilkes, applicant
Façade renovations
10. ***East Carson Street Historic District***
2017 E. Carson Street
Kephalogianis Demosthenes, owner
David Liu, applicant
Halo-lit signage
11. ***East Carson Street Historic District***
2214 E. Carson Street
Perry Sigismund, owner
David Bauer, applicant
Façade renovations and demolition of rear garage
12. ***East Carson Street Historic District***
2417 E. Carson Street
Veterans Leadership Program, owner
Scott P. Grady, applicant
Installation of trailer in parking lot
13. ***Immanuel Church – Individual Landmark***
810 Tripoli Street
Homestead Property Ventures, owner and applicant
After-the-fact glass block window installation
14. ***Market Square Historic District***
115 Forbes Avenue
Lawrence & William Knapp, owners
Franktuary Market Square LLC, applicant
Signage, lighting, addition of ceramic detailing on storefront
15. ***Mexican War Streets Historic District***
1244-1246 Buena Vista Street
Dr. Grant Latimore, owner
Margaret Ringel, applicant
Building renovations
16. ***Murray Hill Historic District***
1014 Murray Hill Avenue
Larry Wasserman, owner and applicant
Extension of front porch, alterations to side steps, addition of awning
17. ***Oakland Square Historic District***
19-21 Oakland Square
Stephen Pellegrino & Mary Shea, owners
Nathan Hart, applicant
Façade and porch restoration, garage alterations
18. ***Penn-Liberty Historic District***
821 Liberty Avenue
Catholic Charities, owner
Charles DiLoreto, applicant
ADA upgrades to existing ATM
19. ***Schenley Farms Historic District***
218 Tennyson Avenue
Clifford Rowe, owner and applicant
After-the-fact installation of skylights

➤ **DEMOLITIONS**

East Carson Street Historic District

1812 E. Carson Street
United American Savings Bank, owner and applicant
Demolition of rear building

➤ **HISTORIC NOMINATIONS**

Card Estate Carriage House

7122-7128 Card Lane
David and Eliza Kashi, owners
Marie King, nominator
Historic Designation

➤ **PUBLIC COMMENT REQUESTED - NATIONAL REGISTER NOMINATION**

PITTSBURGH BRASS MFG. CO. BUILDING

3147-3155 PENN AVENUE, PITTSBURGH, PA

[HTTP://APPS.PITTSBURGHPA.GOV/DCP/PGH_BRASS
_MANUFACTURING_COMPANY_NR_NOMINATION.
PDF](http://apps.pittsburghpa.gov/dcp/PGH_BRASS_MANUFACTURING_COMPANY_NR_NOMINATION.PDF)

THE SALVATION ARMY BUILDING

425-435 BLVD OF THE ALLIES, PITTSBURGH, PA

[HTTP://APPS.PITTSBURGHPA.GOV/DCP/SALVATION_
ARMY_BUILDING_NR_NOMINATION.PDF](http://apps.pittsburghpa.gov/dcp/SALVATION_ARMY_BUILDING_NR_NOMINATION.PDF)

➤ **DIRECTOR'S REPORT**

➤ **ADJOURNMENT**

The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public. INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

Please contact Sarah Quinn with questions and comments: 412-255-2243

sarah.quinn@pittsburghpa.gov



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 8/13/15

LOT AND BLOCK NUMBER: 7-D-47

WARD: 22nd

FEE PAID: 400

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

913 BEECH AVE
PGH PA 15233

DISTRICT:

22ND WARD

OWNER: HOWARD BROKENBEK APPLICANT:

NAME: SHIRLEY MEHRING

NAME: HOWARD BROKENBEK

ADDRESS: 913 BEECH AVE
PGH PA 15233

ADDRESS: 913 BEECH AVE
PGH PA 15233

PHONE: 412-400-1661

PHONE: 412-400-1661

EMAIL: SMMEHRING @
COMCAST. NET

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

8' X 20' X 15' CARPORT
(8' WIDE, 20' LONG, 15' HIGH)

SIGNATURES:

OWNER: Howard Brokenbek DATE: 8-4-15

APPLICANT: Howard Brokenbek DATE: 8-4-15





CITY OF PITTSBURGH

Department of Permits, Licenses, and Inspections.

William Peduto, Mayor

Maura Kennedy, Director

July 16, 2015

MEHRING SHIRLEY
913 BEECH AVE
PITTSBURGH PA 15233

FCM: 7/16/2015
Certified Mail:
Log #: O-774144

Location: **913 BEECH AVE**
Lot/Block: **0007D00047**
Ward: **22**

You are hereby directed to correct the following violation(s) cited under the Pittsburgh Code of Ordinances Title 10; International Building Code, Chapter 1002; International Property Maintenance Code Chapter 1004; and/or Conduct Title 6, Chapter 601 within 15 days:

Section of Code and Description of Violation

SEC 922.02A NO OCCUPANCY FOR CARPORT IN REAR

Title 6 Chapter 609.04 provides that the City of Pittsburgh can have the area cleaned and a lien cost placed against the property for non-compliance with the notice of violation.

If the violations have not been abated within 15 days, you will be subject to prosecution by the City of Pittsburgh.

For information, please contact Inspector SEAN O'MALLEY at 412-742-1605 between 8:00 and 10:00 a.m. weekdays.

Very truly yours,

A handwritten signature in black ink, appearing to read "Erik Harless".

Erik Harless
Building Code Officer



915



915











Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

929 BEECH AVENUE
PITTSBURGH, PA 15233

OWNER:

NAME: JOSEPH + Linda Iannotta

ADDRESS: 929 BEECH AVENUE
PITTSBURGH PA 15233

PHONE: 412-322-9454

EMAIL: ljannotta@verizon.net

STAFF USE ONLY:

DATE RECEIVED: 8/13/15

LOT AND BLOCK NUMBER: 7-D-56

WARD: 22nd

FEE PAID: 460

DISTRICT:

Allegheny West

APPLICANT:

NAME: JOSEPH + Linda Iannotta

ADDRESS: SAME

PHONE: SAME

EMAIL: SAME

REQUIRED ATTACHMENTS:

- Drawings [] Photographs [x] Renderings [] Site Plan [] Other []

DETAILED DESCRIPTION OF PROPOSED PROJECT:

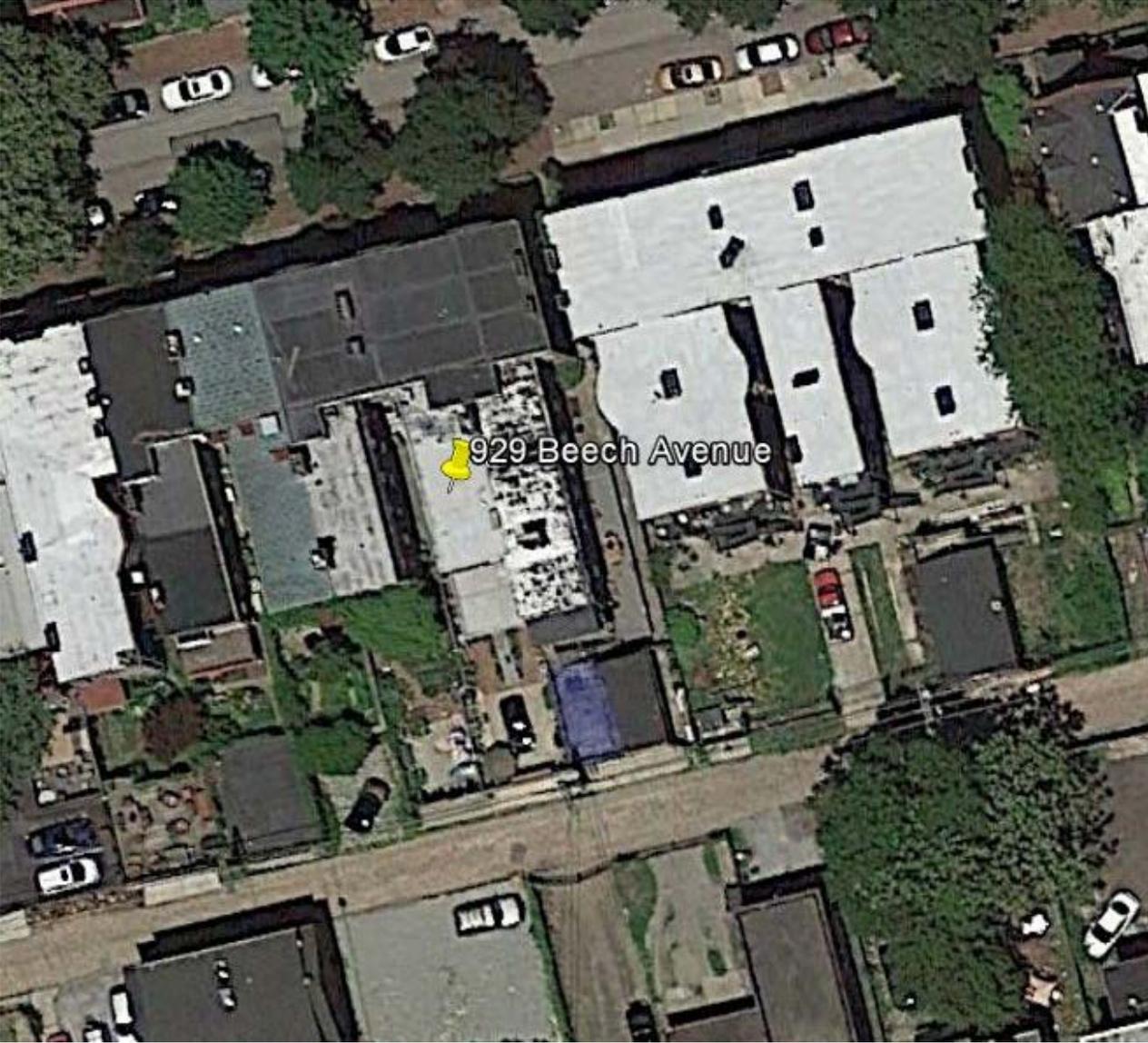
REPLACE EXISTING PORCH RAILING MADE OF PIPE + 2x4 WITH WROUGHT IRON RAILING ALMOST DUPLICATING RAILING ON ADJACENT 927 PROPERTY. NEW RAILING WILL BE THE SAME IN DIMENSIONS + ADORNMENT BUT BALUSTERS WILL BE STRAIGHT, NOT TWISTED.

SIGNATURES:

OWNER: JOSEPH + Linda Iannotta DATE: 8-4-2015

APPLICANT: JOSEPH + LINDA IANNOTTA DATE: 8-4-2015

Handwritten signatures of Joseph Iannotta and Linda Iannotta with dates 8-4-2015.



929 Beech Avenue



929
Railing



← 927
RAILING

← 929
RAILING



927 Railing



Rebuilding History in Pittsburgh

By Colleen C. Derda

Handling fire restoration at adjoining properties has its advantages. Demolition can be accomplished efficiently. Special order materials can be purchased in quantity and at the lowest cost. Technicians and craftsmen can be scheduled effectively. Yet challenges exist from the start, not the least of which include keeping similar yet very different projects on track and on budget, dealing with multiple insurance companies and adjusters, and keeping homeowners with comparable exteriors but very different interiors informed and satisfied at every step.

Multiply the number of properties and you multiply potential problems and benefits. Add into the mix the properties being historic homes, located in a historic district, and the challenges and rewards expand exponentially.

Insurance Restoration Services recently completed restoration projects at seven fire-damaged historic homes in a Pittsburgh neighborhood.

"It is rewarding to see them finished," says Mike Travers, the project manager for Insurance Restoration Services who coordinated the jobs concurrently. "Looking back I can say that one of the biggest challenges was keeping all of the projects on track. The townhouses share some of the same characteristics, but each restoration project dealt with a different homeowner, different insurance company, different adjuster and so many different issues."

Historic Homes

The seven residences are located in Allegheny West, a Pittsburgh neighborhood recognized locally and nationally for its collection of historic buildings from the 1800's. Four of the townhouses are located on Beech Avenue. Three are around the corner on Galveston Avenue. All are within the city-designated Allegheny West Historic District.

Fire hit the Beech Avenue row in mid September of last year when copper gutters were being replaced and a worker's soldering iron touched off the blaze. In the late afternoon after the workers had departed, neighbors saw smoke coming from the third floor of the rowhouse and alerted the fire department. Flames spread quickly across shared rafters of the row's five houses.

As published in the December 2002 issue of

Cleaning & Restoration

The Official Publication of ASCR International

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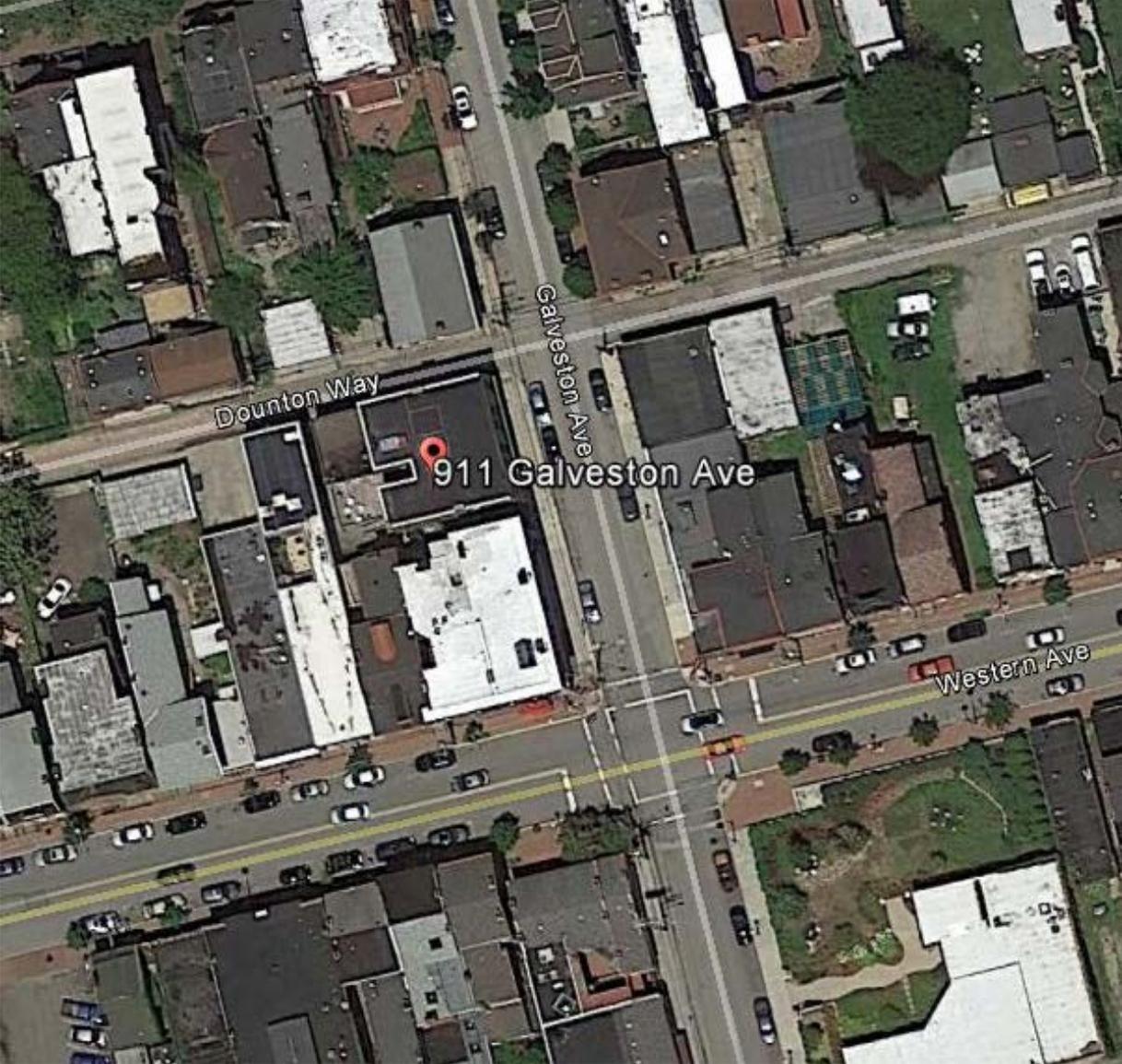


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SERVICES

MISTICK







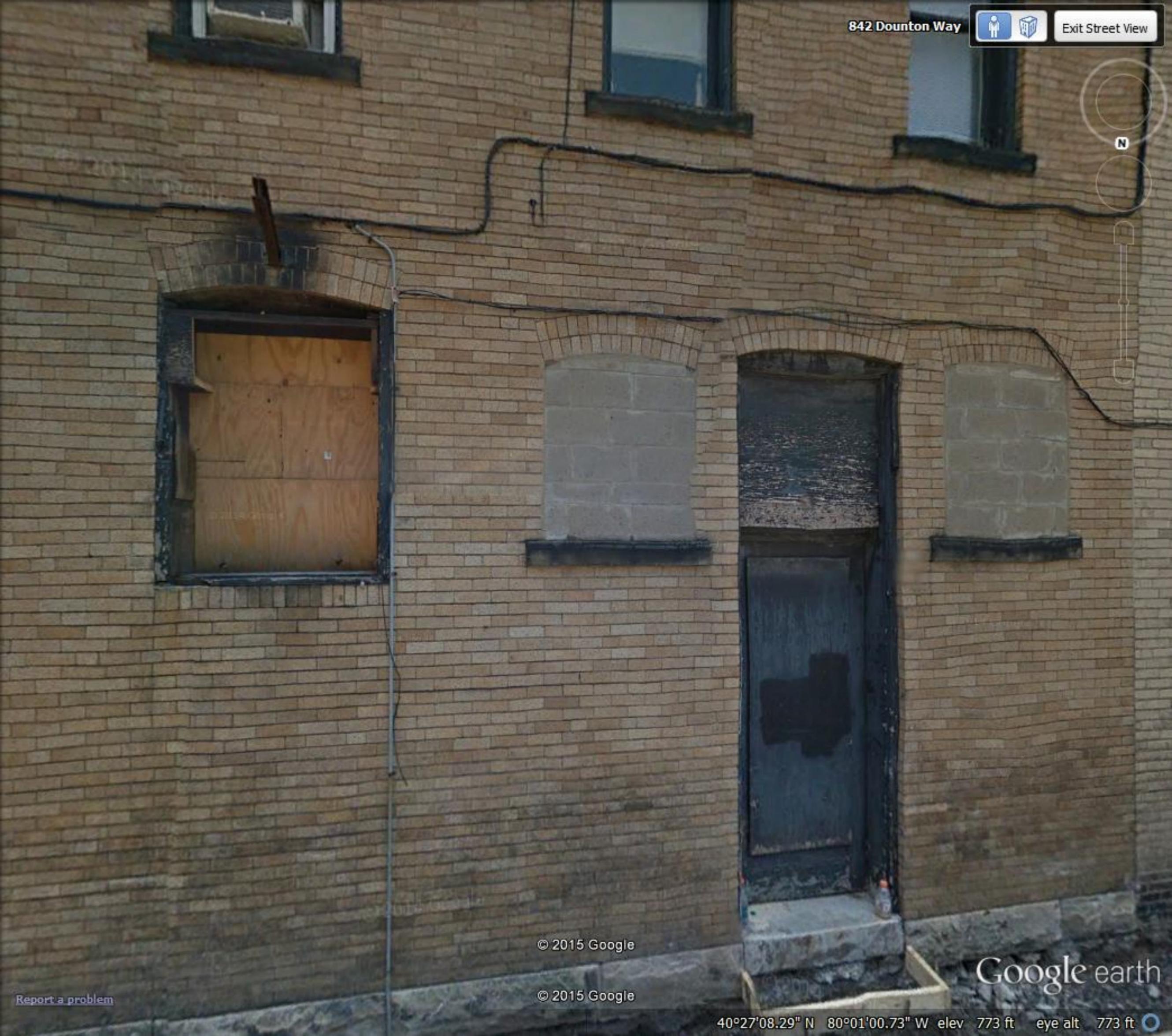
Addendum to application for application for exterior work for 911 Galveston Ave, Pittsburgh PA 15233:

On our about 4/25/15 someone damaged the front of the building including breaking of the 2nd from the right glass pane. Presently there is plate glass that is not tempered or laminated. The Foundation will replace all of the glass with safety insulated glass panes.

Additionally the front will be sanded, primed and painted to match existing sandstone color. This includes the storefront and the area above it.

+ replacement of windows + doors on alley







Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

- Staff Use -

DEADLINES:
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

FEE SCHEDULE: See attached
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid: \$ _____

Date Received: _____

Hearing Date: _____

Lot and Block #: _____

ADDRESS OF PROPERTY: 900-06 North Lincoln Avenue
Pittsburgh, Pennsylvania 15233

HISTORIC DISTRICT: Allegheny West

OWNER (RSP)

APPLICANT

Name: James Messer (Chief Facilities Officer)

Name: RSH Architects

Address: 808 Allegheny Avenue

Address: 363 Vanadium Road

City, State, Zip: Pittsburgh, PA 15233

City, State, Zip: Pittsburgh, PA 15243

Phone: (412) 237-3108 Fax: (412) 237-3133

Phone: (412) 429-1555 Fax: (412) 279-7285

E-MAIL: jmesser@ccac.edu

E-MAIL: jcluskey@rsharc.com

REQUIRED ATTACHMENTS: Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED WORK: Please see attached.

SIGNATURE

, Owner (RSP) DATE 8/12/15

, Applicant DATE 8-12-15

Detailed Description of Proposed Work

Attachment To: Historic Review Commission of Pittsburgh
Application for a Certificate of Appropriateness

Project: Exterior Envelope Improvements to:
CCAC – Visual Arts Center, 900-06 North Lincoln Ave.,
Pittsburgh, PA 15233
Allegheny West

In-Kind Repairs/Restoration

1. **Masonry Restoration:** Stone and brick on the building are generally in good condition, however a substantial portion of the building requires pointing. The project includes the following masonry restoration:

- a. Masonry Cleaning: Existing chimneys and brick facades will be cleaned with a mild detergent and low pressure spray to clean off dirt and efflorescence.
- b. Stone Trim: The project includes pointing a majority of the stone joints with soft mortar that will not damage the stone. Mortar profiles will match existing original profiles and mortar color will be selected to match existing original material.
- c. Brick pointing: It is estimated that approximately 40 percent of the red brick mortar is loose or missing and requires pointing. Mortar joints are thin (1/8”) and will require pointing methods that will not damage the brick but restore the joints. Mortar profiles will match existing original flat struck profile and mortar color will be selected to match existing original material.

2. **Sheetmetal Flashing and Trim:** All existing sheetmetal flashing and trim, including box gutter linings, will be replaced with 16 oz copper or terne coated stainless sheet metal. Work will be in conformance with good practice as detailed by the SMACNA.

Change in Material (Extent of change of material will be based on Alternates Selected)

1. **Slate Roof Replacement:** CCAC intends to replace the existing slate roof with a new roof. The existing slate required continuing maintenance over the past 40 years. Slate covers the primary hipped roof, gabled dormer roofs, and vertical dormer walls. The College requests approval for multiple shingle replacement options, all of which are designed to replicate or simulate the appearance of the original slate.

- a. Replacement Option 1 - Slate: Replace the existing slate roof with a new slate roof. New shingle material will match the existing in dimension, thickness and color.
- b. Replacement Option 2 – Simulated Slate: Replace the existing slate roof with new fiber cement shingles designed to replicate slate. New shingles will match

the existing in dimension, thickness, and color. Basis of design is Symphony by Certaineed. (Cut sheet attached)

c. Replacement Option 3 – Asphalt Shingles: Replace the existing slate roof with new laminated asphalt shingles designed to replicate the look of slate with layering and applied shadow lines. New shingles will match existing as close as possible in size, color, and appearance. Basis of design is GrandManor as manufactured by Certaineed. (Cut Sheet Attached)

2. Dormer Windows and Trim: Dormer windows and trim are to be restored to match the existing. Two pilasters frame the double hung windows and a rounded pediment caps the dormer face. The rounded pediment is actually a parapet that masks the gable roof behind it. The dormers have no protection from the elements and are significantly deteriorated. CCAC records show that the dormer face was rebuilt approximately 30 years ago with wood. The college requests approval of the following two options:

a. Dormer Face Option 1 – Reconstruct in Wood: This option will replicate the existing dormer design using decay resistant wood custom fabricated and painted to match the existing.

b. Dormer Face Option 2 – Reconstruct in molded fiberglass: This option replicate the existing dormer design but be fabricated from molded fiberglass. A custom mold for this building would be created and replicated for all 15 dormers.

3. Cornice Restoration: A dark bronze extruded aluminum assembly currently acts as the building's cornice. No doubt this assembly was installed to hide the deteriorated original building cornice. Its profile, although detailed, does not conform to a profile of the building's period of construction. We currently speculate that there was originally a painted wood cornice on the building and CCAC intends to reconstruct it as closely as possible to the original design, if it still exists, or provide a design created from any existing evidence or photographs. Research is ongoing and a final profile will be submitted for approval by the Historic Review Commission. The cornice will be fabricated from molded fiberglass because of its service life and maintenance free characteristics. A custom mold for the building would be created to assure an accurate appearance.

4. Downspouts and Boots: Existing 6" x 3" aluminum downspouts will be replaced with new 6" x 3" copper or terne-coated stainless steel. Existing cast iron boots which extend approximately 4'-0" (varies) feet above grade will be replaced with new cast iron boots, matching in diameter and profile the existing boots as closely as possible.

End of Description



Typical Dormer



Existing Metal Cornice



Deteriorated Mortar Joints and Existing Aluminum Downspouts



Existing Box Gutter Condition



Flashing at roof Valleys

Technical Data Sheet

Symphony™ Slate



PRODUCT INFORMATION

CertainTeed's Symphony synthetic slate is an innovative roofing product simulating the appearance, texture and contours of traditional natural slate. It is a carefully engineered polymer composite roofing product designed for beauty, durability, and easy-handling. Symphony is contractor friendly – simple to install and at a fraction of the weight and cost of slate.

Colors: Symphony is available in three widths – 6", 9" & 12", and in six colors – light, medium & dark gray, light & dark green and plum. Symphony is also available in pre-blended color blends in 12" width: Colonial Gray, Capital Blend, and Evergreen.

Limitations:

- Existing roofing material must be torn off prior to application; apply Symphony to a clean dry deck. Roof-overs are not permitted.
- Do not apply Symphony to roof slopes below 3:12.
- Low slope roofs from 3:12 through 5:12 the following conditions must be met:
 - Install CertainTeed WinterGuard™ Waterproofing Underlayment or equivalent waterproofing underlayment product over the entire roof deck. (Note: Ensure that adequate ventilation meeting or exceeding local code requirements is installed.)
 - Apply Symphony at a 6" exposure.
- At slopes greater than 5:12, Symphony can be applied at consistent exposures of 6" to 8" (maximum), in ½" increments.
- It is not recommended to apply Symphony at temperatures below 15° Fahrenheit.
- IMPORTANT:** Installation contractor is responsible for checking and following all local building codes and requirements.

Product Composition: Symphony consists of an innovative durable composite polymer material.

Applicable Standards: For all approved exposures of 6" – 8", unless otherwise noted.

ASTM E108, Class A Fire Resistance** – (Note: Class A Fire Resistance requires use of CertainTeed fiber glass All Weather/Empire™ Base Sheet or an equivalent product meeting ASTM D4601 Type II or WinterGuard HT or MetaLayment).

ASTM D3161, Class F Wind Resistance
 UL 1897 Wind Uplift Resistance, -82.5 PSF
 UL 2218 Class 4 Impact Resistance
 ICC-ES Evaluation Report ESR-3000
 Energy Star Rated
 CA Title 24, Part 6: Meets prescriptive SR requirement (aged SR > 0.20)
 USGBC LEED®-NC

Canadian CCMC Approval 13448-R
 TDI Roofing Evaluation RC-232
 Miami-Dade Product Control Approved
 Florida Product Approval # FL12924

Symphony Color Blend Name	CRRC Rated Initial SR	CRRC Rated Initial TE	CRRC Product ID No.	ASTM E408 Initial TE	Initial Solar Reflective Index (SRI)*	Energy-Star Rated
Capital Blend	0.26	0.90	0668-0065	0.94	29	YES
Colonial Gray	0.26	0.90	0668-0066	0.94	29	YES
Evergreen	0.31	0.90	0668-0067	0.94	35	YES

*Solar Reflective Index (SRI) is calculated by ASTM E1980, using ASTM E408 TE data. Roofing shingles with SRI ≥ 29 can qualify for a USGBC LEED®-NC Urban Heat Island point.

Technical Data: (Typical values)

- Shingle size: The typical shingle is nominal 12" wide x 18" tall dimension including the side-to-side spacing nibs. Shingles are also available in 9" and 6" widths.
- Shingle exposure options of 6.0", 6.5", 7.0", 7.5" and 8.0".
- 25 shingles per bundle for the 12 inch width blends.
- 150 shingles per square at 8" exposure.
- 6 bundles per square at 8" exposure.

Technical Data Continued: (Typical values)

- 6 squares per pallet (36 bundles) at 8" exposure for the 12 inch width blends.
- Typical pallet weight is 1350 lb/pallet. Each pallet holds 36 bundles of roofing shingles for the 12 inch width blends.
- Symphony is also available as a pre-formed hip and ridge product with a nominal 12" wide x 18" tall dimension and has exposure options of 6.0", 6.5", 7.0", 7.5" and 8.0". Symphony Hip and Ridge is packaged 15 pieces to a bundle, giving 10 linear feet of coverage with an 8.0" exposure. One bundle of Symphony Hip and Ridge weighs 18.75 lb.
- Contact CertainTeed's Technical Services Department at (800) 345-1145 for additional information.

INSTALLATION

Roof Deck Requirements:

- Symphony must be installed over a solid wood substrate. Plywood and oriented strand board (OSB) decking must comply with specifications outlined by the APA-Engineered Wood Association. Acceptable wood decking materials are minimum 3/8" thick plywood, minimum 7/16" OSB, and nominal 1" thick tongue and groove wood planks, or nominal 1" thick wood decking no wider than 6".

Ventilation:

- Ventilation should meet or exceed current local building code requirements.

Valleys and Flashing:

- CertainTeed WinterGuard or equivalent waterproofing underlayment product is required as an underlayment beneath the metal valley.
- Open or "closed" valley systems may be used. Whether installing an open or "closed" valley, valley metal is required and must be no less than 24" wide. Valley and flashing metal must be a minimum of 16-oz copper or 26-gauge corrosion resistant metal such as stainless steel, painted galvanized steel, color clad steel or color clad aluminum. Use same metal type cleats or fasteners as valley metal.
- For open metal valleys, either a "W" valley or a double "W" valley with hemmed outside slater's edge is acceptable. Apply Symphony 2" or more from the valley centerline. Cut 2" off the top valley side corner of a Symphony shingle at a 45-degree angle to help divert water back into the valley. A double "W" valley has metal bent in the centerline direction to look like a "V" with a "W" diverter on either side, 2" from the centerline. Cut pieces should be laid against the "W" diverters on either roof side edge.
- For "closed" metal valleys, use a "W" valley, a standing seam center crimp design, or a classic "V" bend metal valley design. Apply cut Symphony to within 1/4" of the center diverters or the centerline.
- Always fasten Symphony 6" or more from the valley centerline. Always overlap valley metal at joints by at least 4".
- Metal step-flashing size minimums are 4" up a side wall, 4" across the headlap portion of an applied shingle course and 14" up on the roof slope (4" x 4" x 14").

Underlayment:

- Use CertainTeed WinterGuard™ Waterproofing Underlayment or equivalent waterproof underlayment in the valleys, along rake and eave edges, under half-piece hip and ridge caps, around chimneys, skylights, and other roof penetrations as necessary.
- A minimum of #30 organic felt underlayment meeting ASTM D226 Type I or equivalent should be used to cover the roof deck areas that are not covered by WinterGuard or equivalent waterproof underlayment.
 - Note: For UL Class A Fire Resistance use CertainTeed fiber glass All Weather/Empire Base Sheet.

Fastening:

- Recommended fasteners (nails or screws) must penetrate at least 3/4" into wood decking or at least 1/8" through plywood or OSB sheathing, but in no case shall the fastener be less than 1-1/2" in length.
- Fasteners must be corrosion resistant, and higher quality fasteners such as electro galvanic (for non coastal areas), stainless steel, hot dipped galvanized, solid copper, brass or aluminum are recommended in order to comply with the full warranty duration for Symphony. Fasteners such as 11-gauge nails with 3/8" (10 mm) head, No. 8 or No. 9 brass flathead Phillips, square drive screws or similarly sized stainless steel screws are acceptable. Where additional holding power is desired, use screws or ring shank fasteners. Do not over- or under-drive fasteners.

- Staples are not allowed.
- Symphony has a dimpled nail pocket location for correct positioning of fasteners and ease of hand-nailing. Two fasteners per shingle are required, one placed in each of the nail pockets or within 1" of a cut edge in a non-exposed location.
- A fastener length of 2" is recommended for application of preformed hip and ridge pieces.

General Application

- The applicator-friendly design of Symphony includes spacer tabs, exposure marks, alignment marks (for left- and right-hand applications) and nail pockets.
- Symphony can be applied like traditional quarried slates with a straight or staggered bottom edge application, and with a half-piece offset (6"), or 5" or 4" offset with textured headlap show-through. It is recommended that side-edge to side-edge offset, regardless of shingle width, should not be less than 3".
- Tear off of the existing roofing material is required prior to application; apply Symphony to a clean dry deck following installation of the appropriate underlayment (i.e., roof-overs are not permitted.)
- If desired, apply standard drip edge or flared gable metal to eaves and rakes.
- Do not apply Symphony to roof slopes below 3:12 (a 3" rise for every horizontal run of 12").
- For roof slopes from 3:12 through 5:12 the following conditions must be met:
 - Apply Symphony at a 6" exposure.
 - CertainTeed WinterGuard or equivalent waterproofing underlayment product must be installed over the entire roof deck. (Note: When the entire roof deck is covered with a waterproofing underlayment, be sure to provide adequate ventilation.)
- On slopes over 5:12, Symphony can be applied with a greater exposure, but not in excess of 8".
- WinterGuard HT or an equivalent waterproof underlayment product may be used in place of traditional hidden hip and ridge metal flashing. It can be applied either as a continuous length, centered 8"-10" wide strip on the hip or ridge line and under the hip and ridge pieces or in place of individual flashing pieces. Overlap WinterGuard joints 4"-6" along the ridge line.

Hip and Ridge Application

- Symphony can be complemented with an available pre-formed full piece 12" x 18" hip and ridge product, available in 2 different pitch profiles; a shallow angled profile for hips and roof pitches less than 7:12 and a shaper angle for pitches 7:12 and higher.
- Hip and ridge can also be applied using one of the traditional half-piece application techniques that are typical for real slate applications, such as the saddle, comb, or mitered, with flashing covering the unexposed portion. Symphony 6" x 18" rake accessory shingles are ideal for this application. These pieces can be used as right-handed and left-handed sides, applied on either side of the hip or ridge line. Minimum two fasteners per piece.
- Alternative hip and ridge applications including – a minimum 16-oz. copper or metal lineals of 26-gauge corrosion resistant metal such as stainless steel, color clad steel, color clad aluminum, or metal ridge vent in a complementary color – are also acceptable for hips and ridges. Metal joint overlap should not be less than 4".

MAINTENANCE

Symphony slates require virtually no maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY

For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

FOR MORE INFORMATION

Sales Support Group: 800-233-8990

Web site: www.certainteed.com

CertainTeed Corporation
Roofing Products Group
P.O. Box 860
Valley Forge, PA 19482

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Patents Pending

CertainTeed
SAINT-GOBAIN

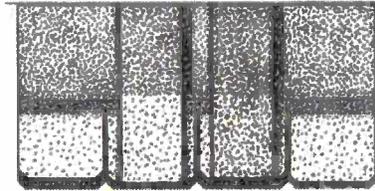
Technical Data Sheet

Grand Manor® Shingles

CertainTeed
SAINT-GOBAIN

PRODUCT INFORMATION

This product is the super heavyweight of laminated shingles. The difference is in the size and quality built-in by design. An 8" tab area, complete with two full-sized one-piece base shingles with random tabs and accented by shadow lines, gives an authentic, natural look with true depth and dimension. They are most aesthetically appealing when used on slopes of 9" per foot or greater. When applied, Grand Manor produces five layers of roof protection and the quality is reminiscent of handcrafted workmanship. It is designed to resist blow off in high wind conditions up to 110-mph with normal installation and 130-mph with special installation.



Grand Manor shingles are algae (commonly called fungus) resistant and help protect against staining or discoloration caused by algae.

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

Limitations: Use on roofs with slopes greater than 2" per foot. However, slopes greater than 9" per foot best show the product design. Low slope applications (2" to 4" per foot) require additional underlayment. In areas where icing along the eaves can cause the back-up of water, apply CertainTeed WinterGuard™ Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

On slopes greater than 21" per foot, apply three spots of roofing cement under the shingle and an additional fastener in each laminated tab according to application instructions provided on the shingle package.

Product Composition: Grand Manor shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. The laminated tabs are firmly adhered in a special tough asphaltic cement. These fiber glass based shingles have self-sealing adhesive applied.

Applicable Standards:

ASTM D3018, Type I

ASTM D3462

ASTM E108 Class A Fire Resistance

ASTM D3161 Class F Wind Resistance

ASTM D7158 Class H Wind Resistance

UL 790 Class A Fire Resistance

UL 2218 Class 2 Impact Resistance

ICC-ES Evaluation Report ESR-1389

ICC-ES Evaluation Report ESR-3537

CSA Standard A123.5

Miami-Dade Product Control Approved

Florida Product Approval # FL5444

TDI Windstorm Resistance

TECHNICAL DATA

Weight/Square (approx.):	425 lb
Dimensions (overall):	18" x 36"
Shingles/Square:	50
Weather Exposure:	8"

INSTALLATION

The following is a general summary of the installation methods. Detailed installation instructions are supplied on each bundle of Grand Manor shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

Roof Deck Requirements: Apply shingles to minimum 3/8" thick plywood, minimum 7/16" thick non-veneer (E.g. OSB), or minimum 1" thick (nominal) wood decks. The plywood or non-veneer decks must comply with the specifications of APA-The Engineered Wood Association.

Ventilation: Provisions for ventilation should meet or exceed current HUD Standards. To ensure adequate balance ventilation, use a combination of continuous ridge ventilation (using CertainTeed Ridge Vent products, or a comparable product with an external baffle) combined with soffit venting.

Valleys: Open valley is required. Valley liner must be applied before shingles. It must be minimum 18" wide 16 oz. copper, or its equivalent, installed over 36" wide self-adhering CertainTeed WinterGuard Waterproofing Shingle Underlayment (apply directly to deck), or applied over 36" wide mineral surfaced roll roofing. After WinterGuard has been applied, install the 16-oz. copper centered in the valley. For application of copper valley, use copper cleats or large head copper nails. Refer to the application instructions on the shingle packaging for further information.

Underlayment:

On slopes 4" per foot or greater, CertainTeed recommends one layer of DiamondDeck™ Synthetic Underlayment, or Roofers' Select™ High-Performance shingle underlayment, or shingle underlayment meeting ASTM D226, D4869 or ASTM D6757. Always ensure sufficient deck ventilation, and take particular care when DiamondDeck or other synthetic underlayment is installed. For UL fire rating, underlayment may be required. Corrosion-resistant drip edge is recommended and should be placed over the underlayment at the rake and beneath the underlayment at the eaves. Follow manufacturer's application instructions.

On low slopes (2" up to 4" per foot), one layer of CertainTeed's WinterGuard Waterproofing Shingle Underlayment (or equivalent meeting ASTM D1970) or two layers of 36" wide felt shingle underlayment (Roofers' Select High-Performance Underlayment or product meeting ASTM D226, D4869 or ASTM D6757) lapped 19" must be applied over the entire roof, ensure sufficient deck ventilation. When DiamondDeck or other synthetic underlayment is installed, weather-lap at least 20" and ensure sufficient deck ventilation. When WinterGuard is applied to the rake area, the drip edge may be installed under or over WinterGuard. At the eave, when WinterGuard does not overlap the gutter or fascia, the drip edge should be installed under WinterGuard. When WinterGuard overlaps the fascia or gutter, the drip edge or other metal must be installed over it. Follow manufacturer's application instructions.

Fastening: Five nails are required per shingle. They are to be located 5/8" above the cutouts (8-5/8" above the bottom edge of the shingle) and 1" in from each side of the shingle. Nails must be of sufficient length to penetrate into the deck 3/4" or through the thickness of the decking, whichever is less. For new construction, nails must never be less than 1-1/2" long, for reroofing never less than 1-3/4" long, and for caps a minimum of 1-3/4" long. Nails are to be 11- or 12-gauge, corrosion-resistant roofing nails with 3/8" heads. If Miami-Dade acceptance is desired, six nails must be used, located as shown in the NOA. Staples are not allowed.

On steep slopes greater than 21" per foot, use seven nails and apply three spots of roofing cement according to application instructions provided on the shingle package. To prevent slippage of the laminated tabs on steep slopes or when individual shingles meet a wall or ridge at any slope, the two additional fasteners are to be horizontally centered on each laminated tab and placed within 1-1/2" of the upper edge of the shingle.

Application: The recommended application method is the 4-1/2" Stepped-Off, Single Column Vertical-Racking Method found on each bundle of shingles. These shingles may be used for new construction or for reroofing over one layer of old shingles, but due to the heavy weight of this shingle, it is important to determine that the roof deck is in satisfactory condition for the application of these shingles. Refer to product wrap for detailed reroofing limitations. All shingles on the finished roof must be applied with five fasteners. The weather exposure of these shingles is 8".

Special Application: CertainTeed Carriage House™ shingles can be blended into a CertainTeed Grand Manor roof to achieve a unique and distinctive appearance. A common application method uses several courses of Carriage House in the middle of a Grand Manor roof. Other aesthetically appealing applications are possible using Grand Manor and Carriage House shingles. Contact CertainTeed for more information.

Flashing: Use corrosion-resistant metal flashing. Please refer to illustration on our shingle packaging.

Hips and Ridges: Use only Shingle Ridge™ accessory shingles of the matching color for capping hips and ridges.

MAINTENANCE

Grand Manor shingles require virtually no maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

WARRANTY

Grand Manor carries a lifetime limited transferable warranty against manufacturing defects for the original homeowner. In addition, Grand Manor also carries 10-year SureStart™ Protection. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at www.certainteed.com).

FOR MORE INFORMATION

Sales Support Group: 800-233-8990

Web site: www.certainteed.com

See us at our on-line specification writing tool, CertaSpec, at www.certainteed.com/certaspec.

CertainTeed Roofing
P.O. Box 860
Valley Forge, PA 19482

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CertainTeed
SAINT-GOBAIN

EXTERIOR RENOVATIONS TO: CCAC VISUAL ARTS CENTER ALLEGHENY CAMPUS

900-06 NORTH LINCOLN AVE.
PITTSBURGH, PA 15233
CCAC JOB #15-AC-002

PROJECT DIRECTORY

OWNER: CCAC (COMMUNITY COLLEGE OF ALLEGHENY COUNTY)
ALLEGHENY CAMPUS
800 ALLEGHENY AVE.
PITTSBURGH, PA 15233

ARCHITECT: RSH ARCHITECTS
363 VANADIUM ROAD
PITTSBURGH, PA 15243
CONTACT: JOEL CLUSKEY, AIA (412) 429-1555 x29

DRAWING LIST

CS1.0 COVER SHEET
A1.0 ROOF PLAN
A2.0 EXTERIOR ELEVATIONS
A2.1 EXTERIOR ELEVATIONS
A3.0 DETAILS AND SECTIONS

VICINITY MAP



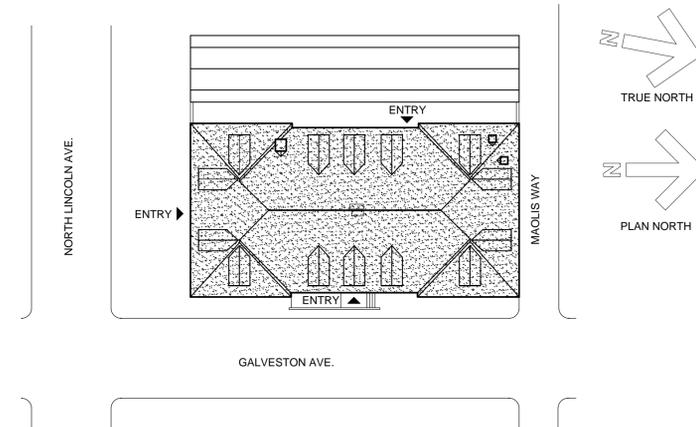
SITE LOCATION

LOCATION MAP



SITE LOCATION

KEY PLAN



RSH | ARCHITECTS

363 VANADIUM ROAD, SUITE 200, PITTSBURGH, PENNSYLVANIA 15243
412-429-1555 www.rsharc.com

REVISIONS:

NO.	DATE	DESCRIPTION

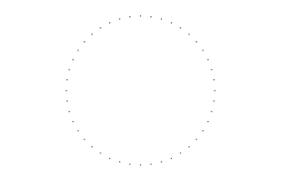
CONSULTANTS:

JOB TITLE:

CCAC Renovations at the Visual Arts Center

CCAC Job #15-AC-002

900-06 North Lincoln Ave.
Pittsburgh, PA 15233



RSH | ARCHITECTS
363 Vanadium Road, Suite 200
Pittsburgh, PA 15243
Architecture 412.429.1555 T
Planning 412.279.7263 F
Interior 412.279.7263 F
www.rsharc.com

NOT FOR CONSTRUCTION

DRAWING TITLE:
COVER SHEET

DATE: August 12th, 2015

PROJ. NO.: 2015-017

SHEET NO.: **CS1.0**

REVISIONS:		
NO.	DATE	DESCRIPTION

CONSULTANTS:

- NEW WORK KEY NOTES**
- 1 REMOVE EXISTING SLATE SIDING. REPLACE w/ SLATE SIDING OF SIMILAR SIZE AND APPEARANCE. SELECTED BY ARCHITECT.
 - 2 REMOVE EXISTING ALUMINUM DOUBLE HUNG WINDOW. REPLACE w/ NEW ALUMINUM WINDOW. SEE WINDOW SCHEDULE.
 - 3 REMOVE EXTERIOR WOOD FRAMING AND TRIM AT DORMERS. RECONSTRUCT w/ MOLDED FIBERGLASS. SEE EXTERIOR ELEVATIONS AND DETAILS.
 - 4 REPLACE EXISTING DETERIORATED CHIMNEY CAPS w/ NEW SANDSTONE PRECAST CAPS. SEE DETAILS.
 - 5A REMOVE ALL SLATE SHINGLES AND REPLACE w/ NEW SLATE SHINGLES OF MATCHING SIZE AND APPEARANCE. SLATE SHINGLES TO BE SELECTED BY ARCHITECT. (ALT #1A)
 - 5B REMOVE ALL SLATE SHINGLES AND REPLACE w/ NEW SYNTHETIC SLATE SHINGLES OF MATCHING SIZE AND APPEARANCE. SELECTED BY ARCHITECT. (ALT #1B)
 - 5C REMOVE ALL SLATE SHINGLES AND REPLACE w/ NEW ASPHALT SHINGLES OF MATCHING SIZE AND APPEARANCE. SELECTED BY ARCHITECT. (ALT #1C)
 - 6 PROVIDE ICE AND WATER SHIELD TO LIMITS SHOWN ON ROOF PLAN. INDICATED w/ HATCH. MIN. 2'-0" FROM ALL RIDGES, HIPs, VALLEYS AND VERTICAL PENETRATIONS.
 - 7 RAKE AND REPOINT ALL JOINTS AT EXISTING SANDSTONE WINDOW HEADS. PROVIDE SOFT JOINT TYP. (ALT #2) SEE FIGURE 'A' A2.0 FOR PHOTO REFERENCE
 - 8 RAKE AND REPOINT ALL JOINTS AT SANDSTONE BELT. HORIZONTAL JOINTS BETWEEN BELT AND BRICK FACADE AND HORIZONTAL JOINTS IN BELT. PROVIDE SOFT JOINT (ALT #2)
 - 9 REPOINT BRICK FACADE TO LIMITS SHOWN ON ELEVATION. REPOINT AREAS w/ MISSING MORTAR ONLY. NO MECHANICAL REMOVAL OF MORTAR PERMITTED. AREA TO BE REPOINTED IDENTIFIED w/ HATCH. (ALT #2)
 - 10 RAKE AND REPOINT ALL JOINTS AT SANDSTONE SILLS. PROVIDE SOFT JOINTS (ALT #2)
 - 11 DEMO EXISTING ALUMINUM DOWNSPOUT FOR BRICK REPOINTING. PROVIDE NEW 6" x 3" TERNE COATED STEEL BOX DOWNSPOUT AS SHOWN.
 - 12 REPOINT BRICK CHIMNEY (ALL SIDES). REPOINT AREAS w/ MISSING MORTAR ONLY. NO MECHANICAL REMOVAL OF MORTAR PERMITTED. AREA TO BE REPOINTED IDENTIFIED w/ HATCH. (ALT #2)
 - 13 PROVIDE NEW 16 oz. COPPER FLASHING AT ALL DORMER EDGES. LAP EDGES OF FLASHING w/ ICE AND WATER SHIELD AND SEAL.
 - 14 PROVIDE NEW 16 oz. COPPER FLASHING AT ALL ROOF VALLEYS AND HIPs. TYP. LAP EDGES OF FLASHING w/ ICE AND WATER SHIELD AND SEAL.
 - 15 REMOVE AND REPLACE EXISTING BOX GUTTER w/ NEW COPPER BOX GUTTER. PROVIDE EXPANSION JOINTS WHERE INDICATED ON PLAN. SEE CORNICE DETAIL.
 - 16 REMOVE EXISTING METAL CORNICE AND ORIGINAL, DETERIORATED WOOD CORNICE BEHIND. REPLACE w/ MOLDED FIBERGLASS CORNICE OF SIMILAR SIZE AND SHAPE. SEE CORNICE DETAIL.

JOB TITLE:
CCAC Renovations at the Visual Arts Center

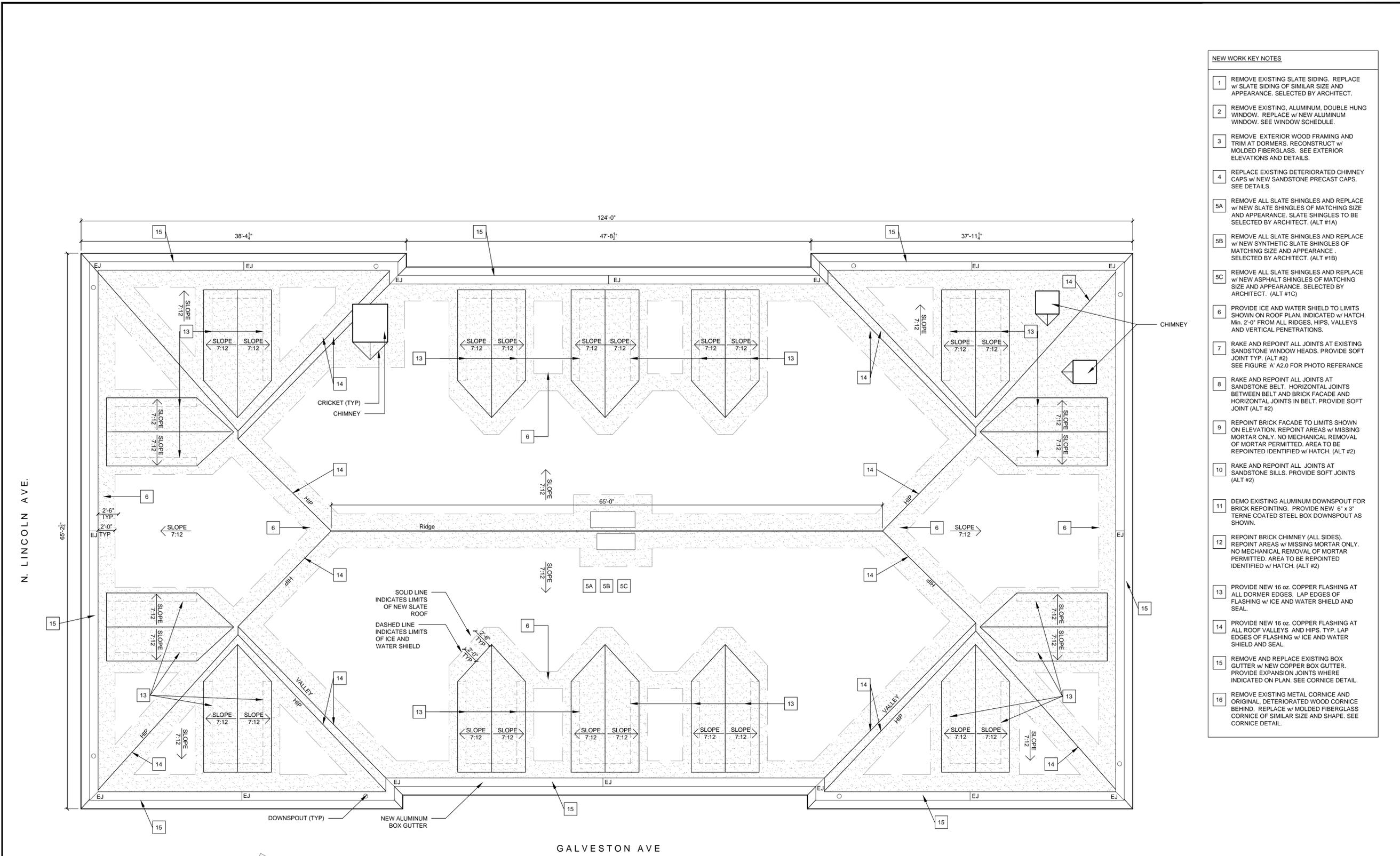
Galveston Ave. and North Lincoln Ave.
 Pittsburgh, PA

RSH | ARCHITECTS
 363 Vonadium Road, Suite 200
 Pittsburgh, PA 15243
 Architecture 412.429.1551 F
 Planning 412.279.7285 F
 Interiors www.rsharc.com

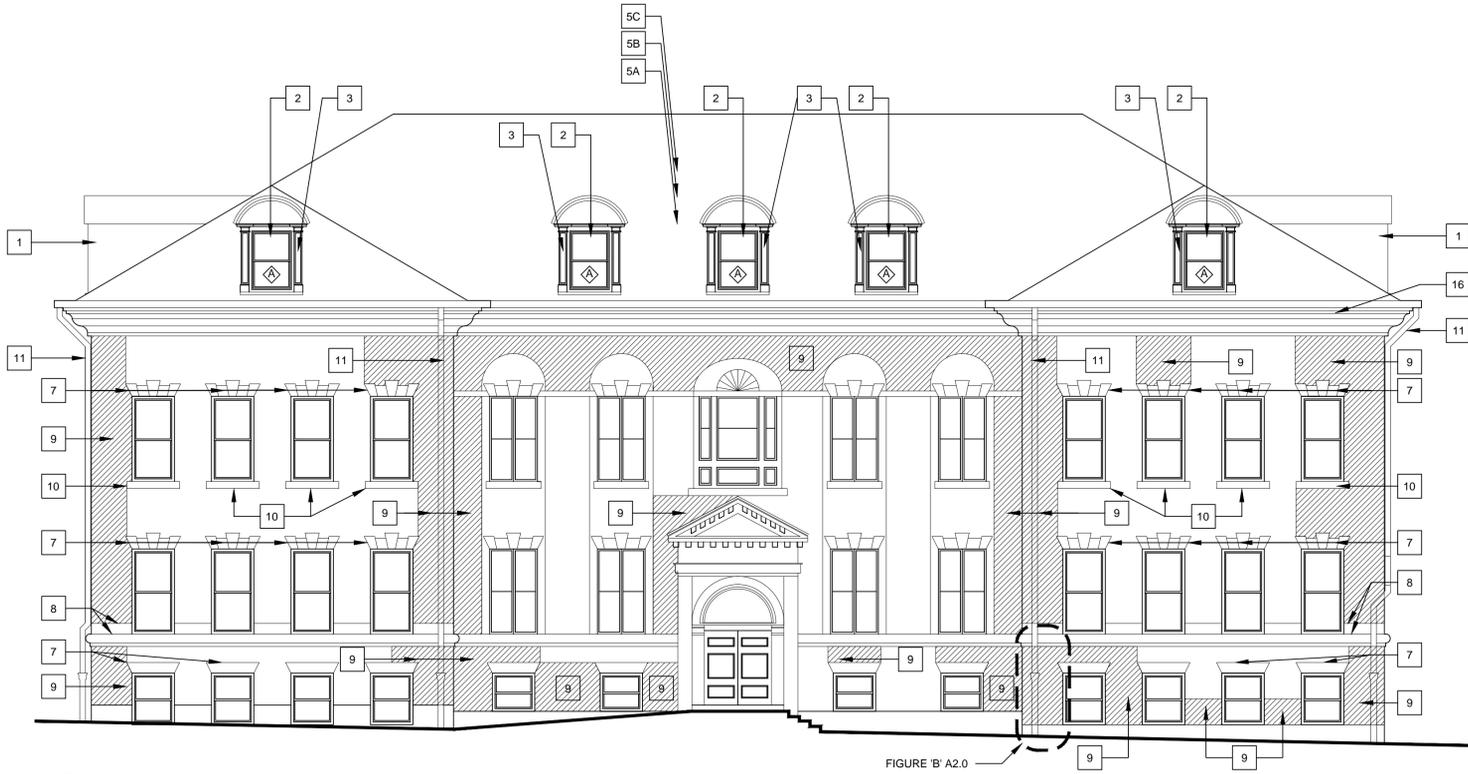
NOT FOR CONSTRUCTION
 DRAWING TITLE:
ROOF PLAN AND SCOPE OF WORK

DATE: **May 15, 2015**
 PROJ. NO.: **2015-017**
 SHEET NO.:

A1.0



1 Roof Plan
 3/16" = 1'-0"
 [North Arrow]



1 EAST ELEVATION (GALVESTON AVENUE)
3/16" = 1'-0"



2 SOUTH ELEVATION (NORTH LINCOLN AVENUE)
3/16" = 1'-0"

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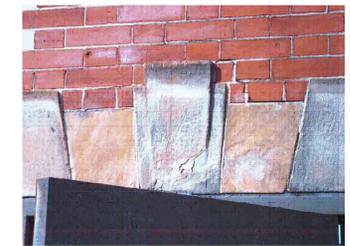


FIGURE 'A' : WINDOW HEAD (FIRST, SECOND FL.) TYP. NTS



FIGURE 'B' : DETERIORATED BRICK FACADE EX. NTS

REVISIONS:

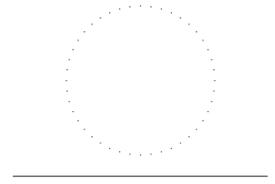
NO.	DATE	DESCRIPTION

CONSULTANTS:

JOB TITLE:
CCAC Renovations at the Visual Arts Center

CCAC Job #15-AC-002

900-06 North Lincoln Ave.
Pittsburgh, PA 15233



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Pittsburgh, PA 15243
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Planning 412.279.7263 F
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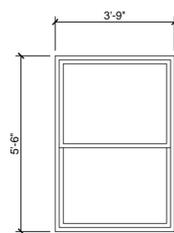
DRAWING TITLE:
Elevations

DATE:
August 12th, 2015

PROJ. NO.:
2015-017

SHEET NO.:
A2.0

WINDOW SCHEDULE



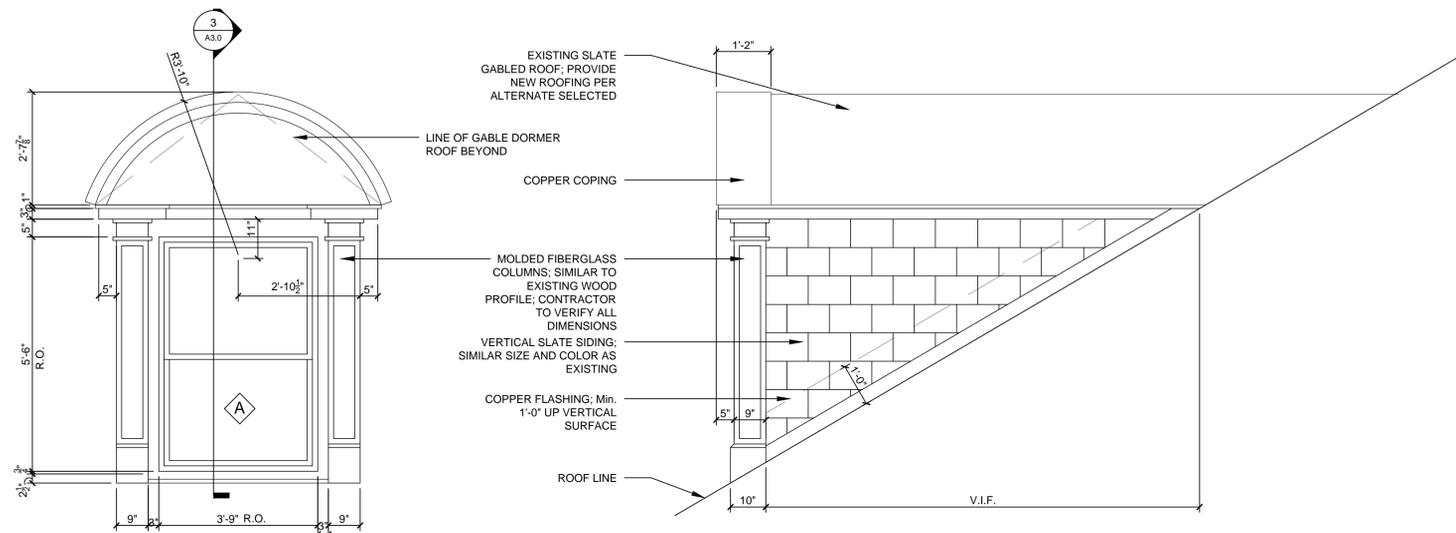
GENERAL NOTES

(1.) ALL GLASS TO BE 1/2" INSULATED GLAZING

(2.) ALL WINDOW DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO RELEASE OF SHOP DRAWINGS.

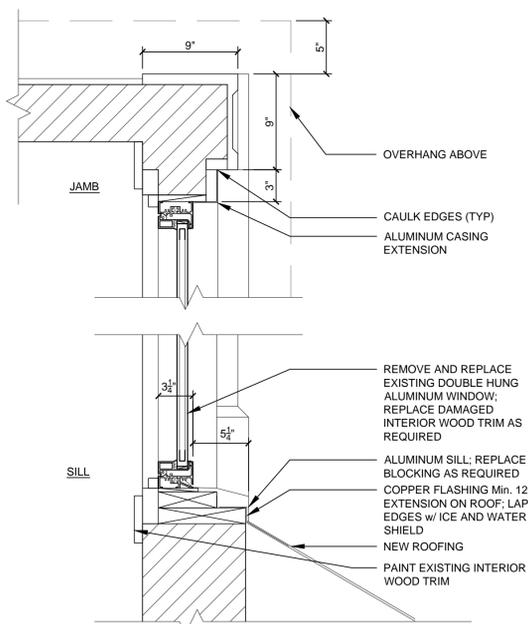
(3.) PAINT ALL WOOD TRIM ON INTERIOR SIDE OF WINDOW JAMB AND/OR ANY AREAS DAMAGED BY CONSTRUCTION.

A



1 DORMER FRONT ELEVATION (TYP)
1/2" = 1'-0"

2 DORMER SIDE ELEVATION (TYP)
1/2" = 1'-0"



3 DORMER WINDOW SECTION (TYP)
1" = 1'-0"

REVISIONS:

NO.	DATE	DESCRIPTION

CONSULTANTS:

JOB TITLE:

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CCAC Job #15-AC-002

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Pittsburgh, PA 15233



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Planning 412.279.7263 F
Interior 412.279.7263 F
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DRAWING TITLE:
DETAILS AND SECTIONS

DATE: August 12th, 2015
PROJ. NO.: 2015-017
SHEET NO.:

A3.0



900-906 N Lincoln Avenue

N Lincoln Ave

Galveston Ave

Jay



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 8/12/15

LOT AND BLOCK NUMBER: 23-S-97

WARD: 23rd

FEE PAID: yes

DISTRICT: Deutschtown

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

500-502 Avery Street.
Pgh, PA 15212

OWNER:

NAME: Avery Street Properties LLC
Duane A. Palmieri & Holly M. Palmieri
 ADDRESS: _____

APPLICANT: (Same as owner)

NAME: Duane & Holly Palmieri
 ADDRESS: 237 Edward Avenue.
Pittsburgh, PA 15216

PHONE: _____

PHONE: 412-341-1904

EMAIL: _____

EMAIL: duane@duanepalmieri.com
holly@hollypalmieri.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

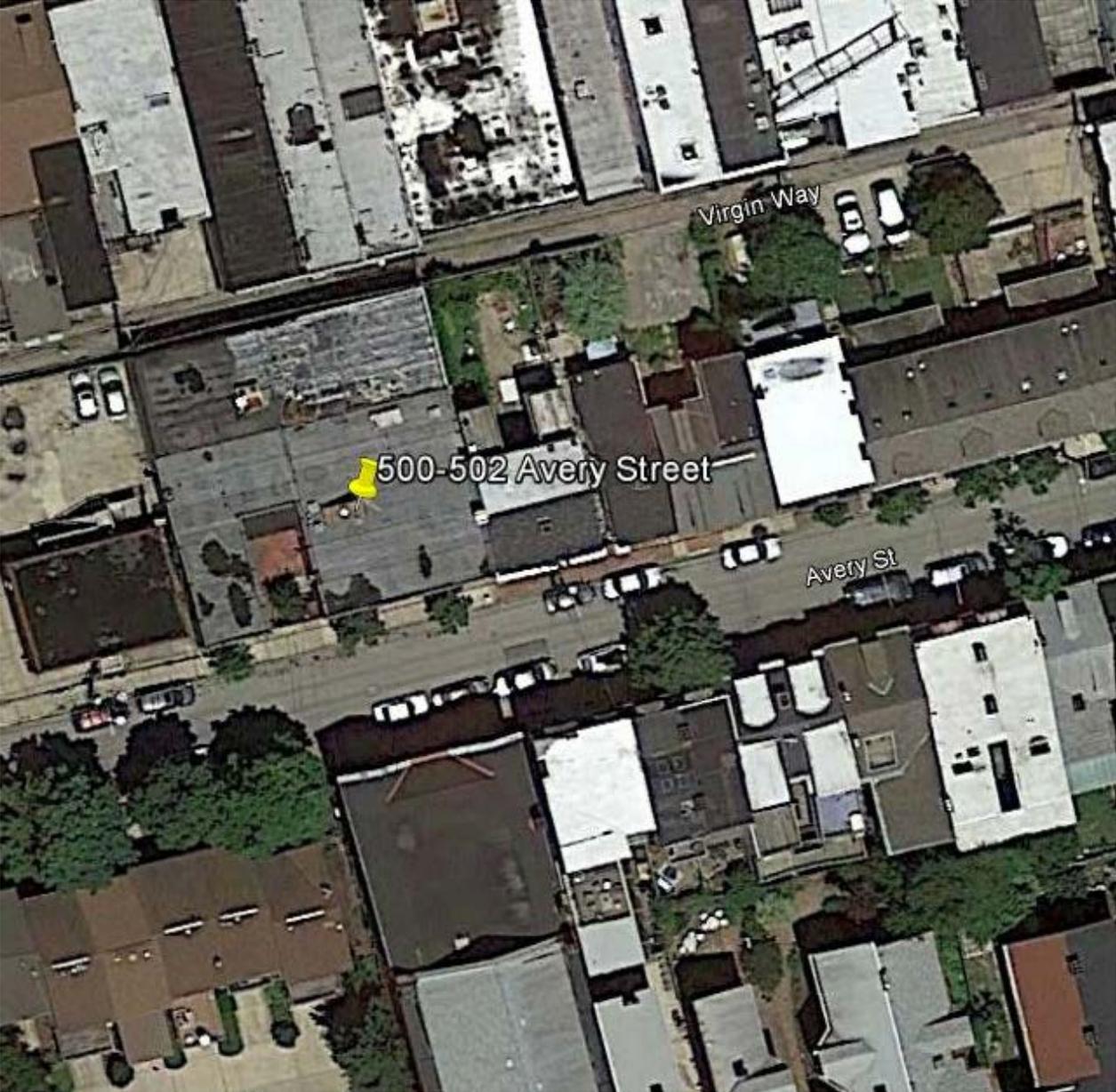
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Creation of multiple window opening at front & rear of
building. Creation of garage door access from rear alley.

SIGNATURES:

OWNER: Duane & Holly Palmieri DATE: 8-11-15

APPLICANT: Duane & Holly Palmieri DATE: 8-11-15



444 Avery St



Exit Street View

N



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Google earth

[Report a problem](#)

40°27'10.70" N 80°00'01.21" W elev 775 ft eye alt 775 ft

502 Avery St



Exit Street View



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Google earth

40°27'10.73" N 80°00'00.92" W elev 774 ft eye alt 776 ft

[Report a problem](#)



N



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Virgin Way



Exit Street View



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Google earth

[Report a problem](#)

40°27'11.44" N 80°00'01.07" W elev 779 ft eye alt 779 ft

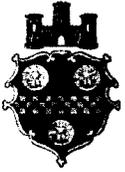


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HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1002 Cedar Ave
Pittsburgh, PA 15212

OWNER:

NAME: WEIYING MAO
 ADDRESS: 600 Chislett St.
Pittsburgh, PA 15206
 PHONE: 917-886-7802
 EMAIL: weiyingmao@gmail.com

STAFF USE ONLY:

DATE RECEIVED: 7/2/15
 LOT AND BLOCK NUMBER: 23-M-215
 WARD: 23rd
 FEE PAID: yes
 DISTRICT: Deutschtown

APPLICANT:

NAME: Thomas Liang & Weiyang Mao
 ADDRESS: 600 Chislett St.
Pittsburgh, PA 15206
 PHONE: 917-886-7802
 EMAIL: _____

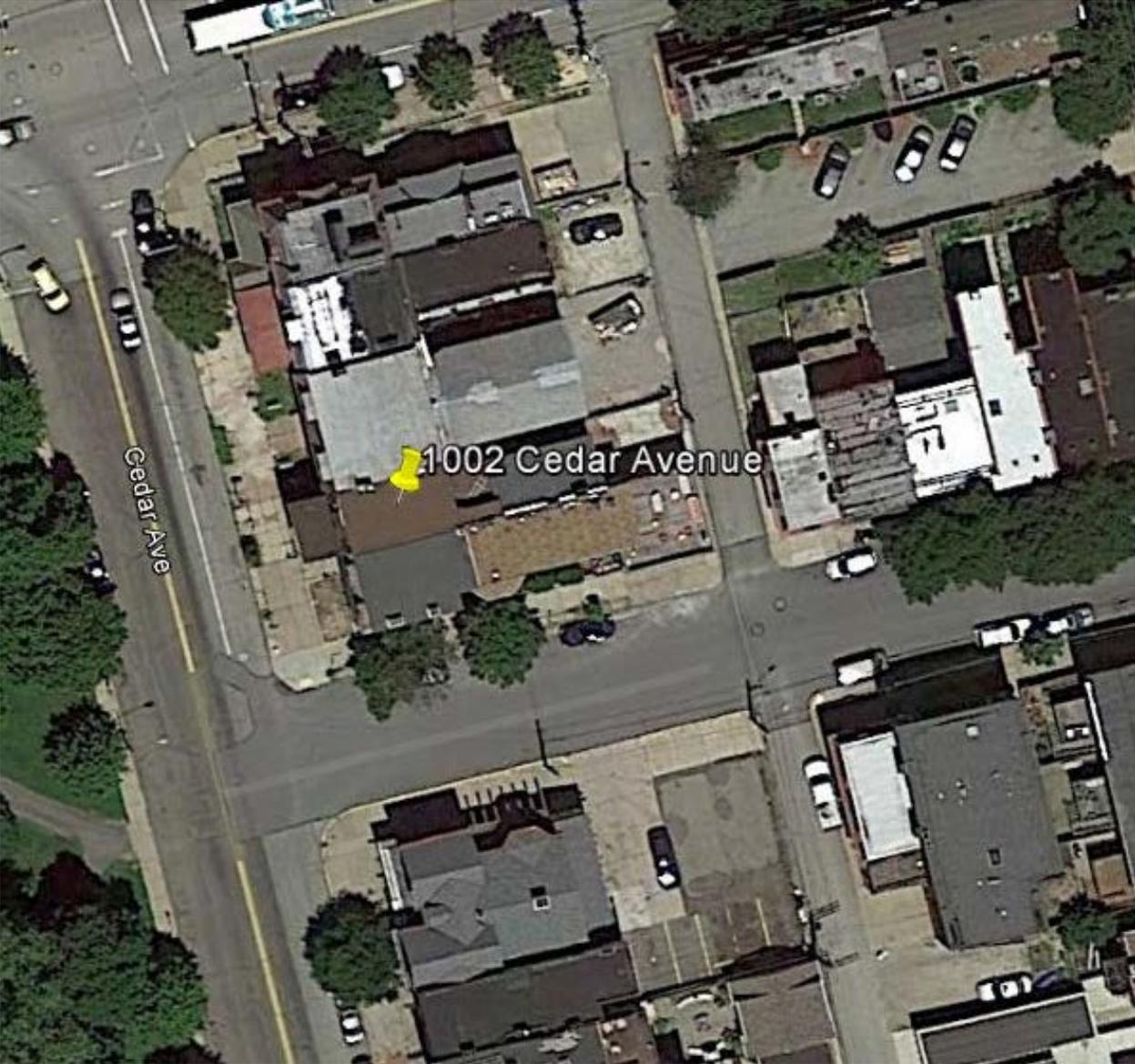
REQUIRED ATTACHMENTS:

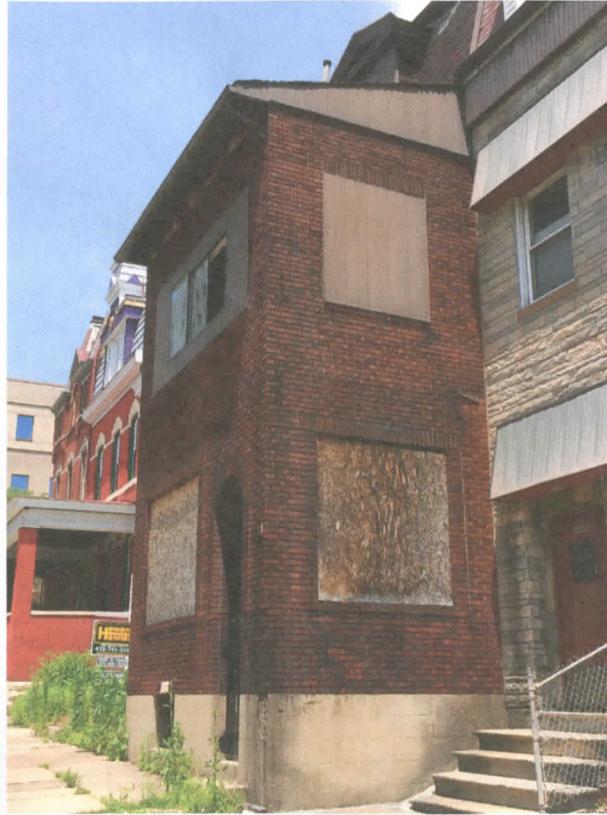
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

OWNER: DATE: 07/02/2015
 APPLICANT: DATE: 07/02/2015





1002 Cedar Ave. Pittsburgh, PA 15212



Customer Information

Name: THOMAS LIANG
 Address: 323 IVONDALE ST
 HAZELWOOD, PA 15207
 Primary Phone: 917-886-7802
 Secondary Phone: 917-886-7802

Store Information

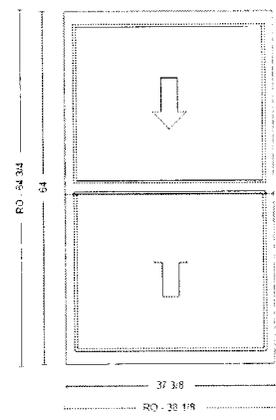
EAST LIBERTY
 400 N HIGHLAND AVE
 PITTSBURGH, PA 15206

Store Number: 4136
 Customer Agreement #: 396088
 Associate: ANTOINE

Line #	Product Description	Room Location	Qty	Unit Price	Total Price
--------	---------------------	---------------	-----	------------	-------------

100-1	Clad W-2500 Double Hung Double Hung 37.375 x 64	tr	1	Was: \$516.60 Now: \$439.13	\$516.60 \$439.13
JELD WEN	Width = 37.375 Height = 64 Sash Split = Even Quick Config = Yes Sash Model = Standard Operation (Outside View) = Double Hung Assembly = Unit DP Rating = DP35 Jambliner Color = White Jambliners Exterior Color = Chestnut Bronze Interior Finish = Walnut Certification = Sustainable Forestry Initiative Customer Elevation = 0 - 4000 feet Energy Rating = Energy Star Zip Code = default Energy Star Zone = EStar Northern Glazing Type = Insulated Low-E Option = Low-E EC Tinted Glass = No Tint (Clear) Glass Style = Clear Tempered Glass = Not Tempered California Fire Code Label = No Neat Glass = Neat Preserve Glass = No Preserve IG Options = Argon Hardware Finish = Chestnut Bronze Sash Limiter = No Sash Limiter Window Egress = Meets Egress 5.7 Clear Opening (Check Local Code) Screen Option = BetterVue Mesh Screen Frame Color = Chestnut Bronze Check Info Link = Acoustic Ratings Info link Room Location = tr Is This a Remake = No Specific Information = SKU = 339970 Vendor Name = S/OJELD-WEN PREMIUM WOOD Vendor Number = 60058104 Customer Service = 1-800-246-9131 Option 2 Manufacturer = JELD-WEN Wood Windows & Patio Doors Catalog Version Date = 04/30/2015 Jamb Width = 4.5625 Exterior Trim = No Drip Cap/No Nail Fin				
Ver. 44					

Save \$77.47 (15.0%) until 7/8/2015
 * S/OJELD-WEN PREMIUM
 WOOD-339970 Promotion until
 7/8/2015





HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 8/14/15

LOT AND BLOCK NUMBER: 3-6-57

WARD: 17th

FEE PAID: yes

DISTRICT:

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

907 - 909 CARSON STREET

E Carson Street

OWNER:

NAME: MARWAN ABOUD

ADDRESS: 1024 BERKSHIRE AVE.
Pg 10 PA 15226

PHONE: 412-341-2847

EMAIL: _____

APPLICANT:

NAME: George Madonn

ADDRESS: 126 Kensington Dr
Pittsburgh Pa 15237

PHONE: 412-527-8729

EMAIL: Gmadonn@gmail.com

REQUIRED ATTACHMENTS:

FAD: ABOUD (412-916-0704) | Contact

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

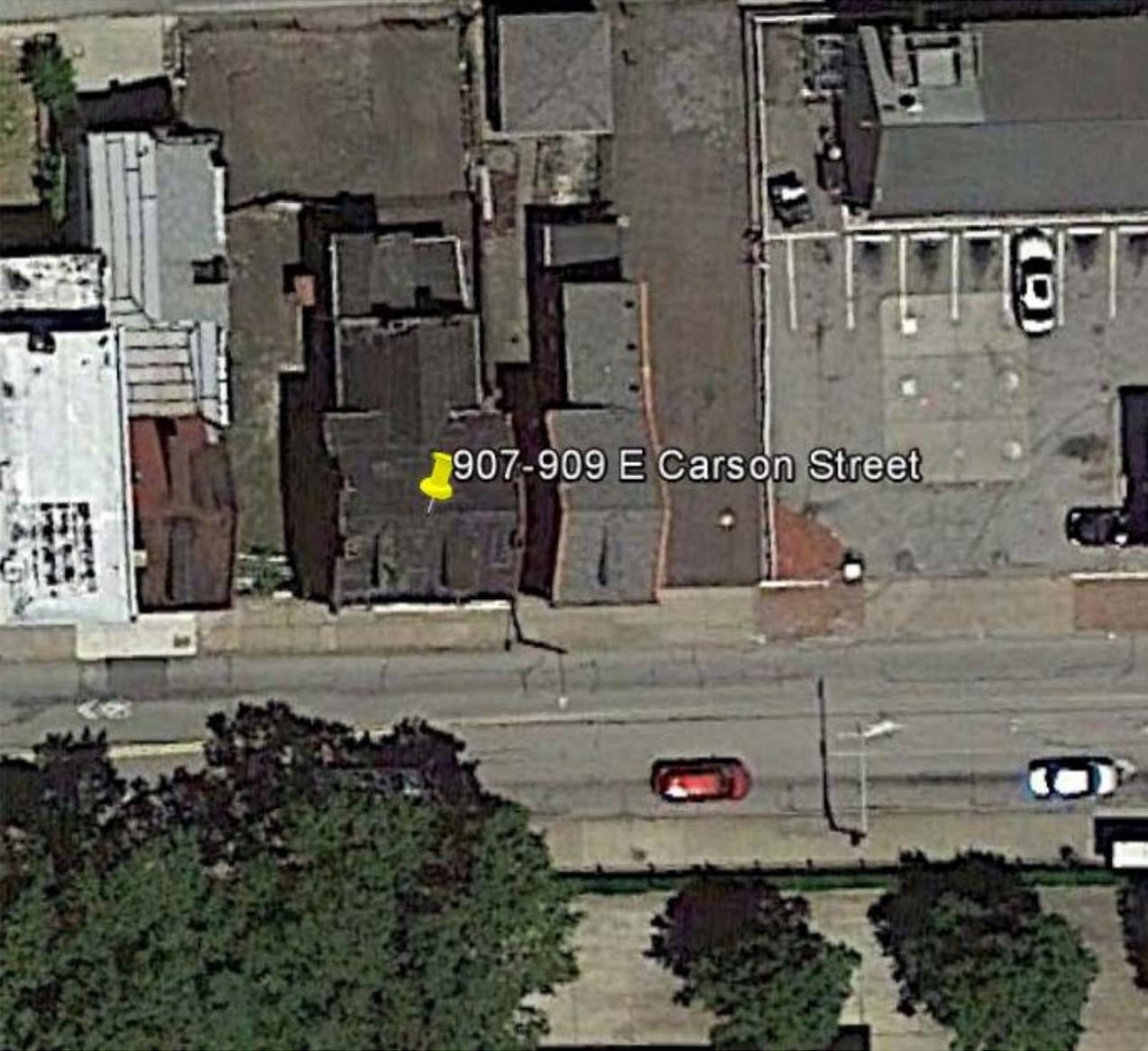
SIGNATURES:

OWNER: *Marwan Aboud*

DATE: July 18/2015

APPLICANT: _____

DATE: _____



907-909 E Carson Street



FOR SALE

Commercial Property
3 Units 288-307-309



Call Bob Cowley
412-671-3311

612

907

BLW





SALE
Commercial Prop
3 Lots (00

















HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1739 E. Carson St
Pittsburgh, PA 15203

OWNER:

NAME: Andrew Stewart - Main Street Holdings
 ADDRESS: 5812 Darlington Rd
Pittsburgh, PA 15217
 PHONE: 412-421-4600
 EMAIL: anstewart@silkandstewart.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

OWNER: Main Street Holdings DATE: 7/9/15
 APPLICANT: By Andrew Stewart DATE: _____
Andrew Stewart

STAFF USE ONLY:

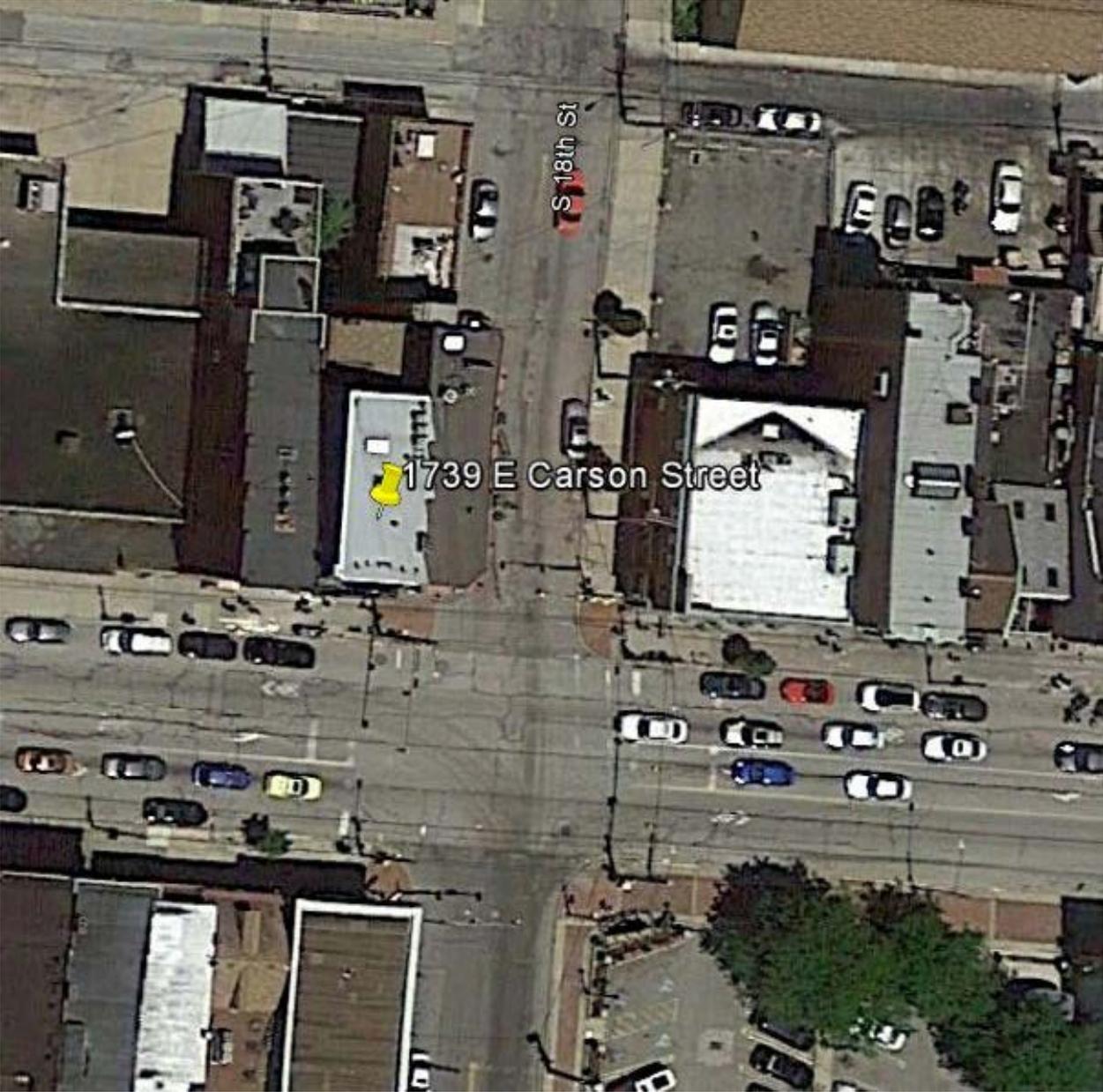
DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

East Carson Street

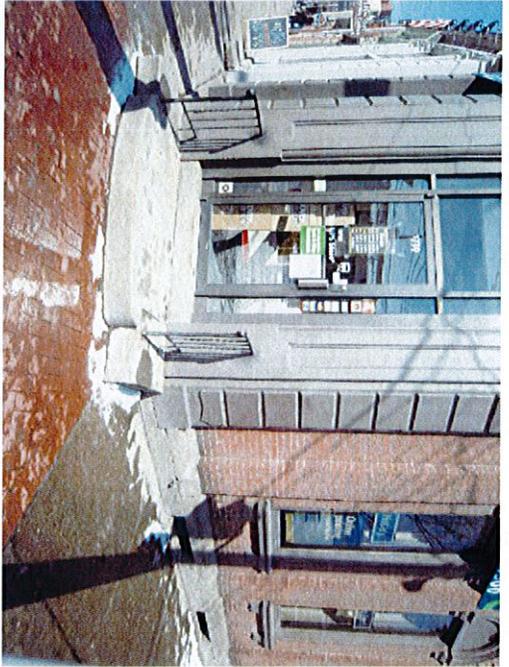
APPLICANT:

NAME: same
 ADDRESS: _____
 PHONE: _____
 EMAIL: _____



S 18th St

1739 E Carson Street



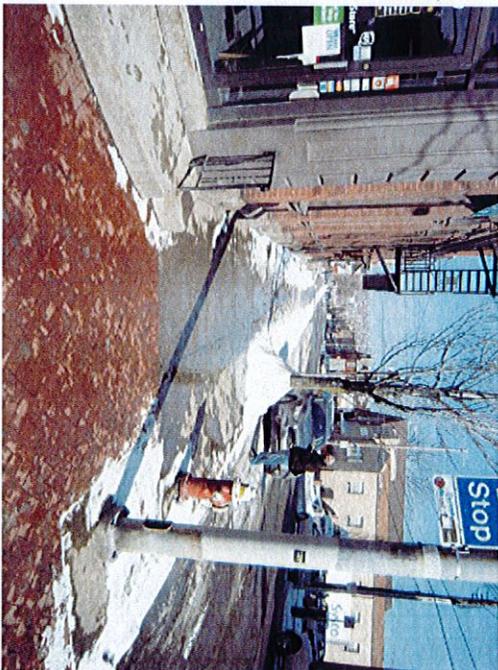
1. VIEW TOWARD
MAIN ENTRANCE



2. VIEW TOWARD
MAIN ENTRANCE



3. VIEW ALONG E.
CARSON STREET

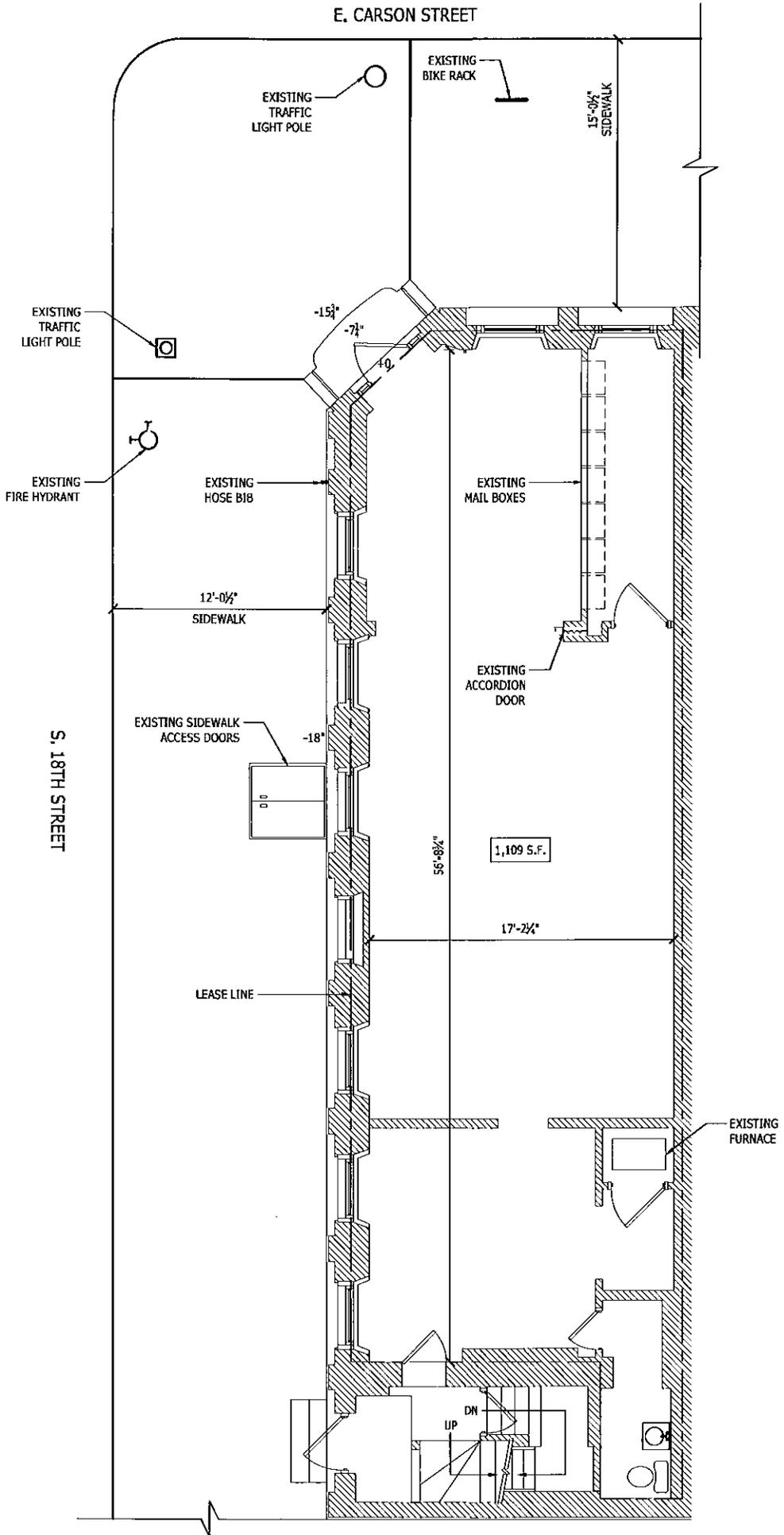


4. VIEW ALONG S. 18TH
STREET

Project 1739 E Carson Street (UPS Store)
 Project # 14102
 Title Existing Site Photos (Proposed Encroachment Location)
 Scale N.T.S.
 Date 12-05-2014

Lami Grubb

A R C H I T E C T S
 Lami Grubb Architects, LP
 100 East Swissvale Ave, Pittsburgh, PA 15218
 Phone: 412.243.3430 • Fax: 412.371.1586



Project 1739 E Carson Street (UPS Store)
 Project # 14102
 Title Existing First Floor Plan
 Scale 3/16" = 1'-0"
 Date 12-05-2014

Lami Grubb
 ARCHITECTS

Lami Grubb Architects, LP
 100 East Switzer Ave, Pottsville, PA 17218
 Phone: 412.243.3430 • Fax: 412.371.1586



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

DISTRICT:

ADDRESS OF PROPERTY:

2017 E Carson St
 Pittsburgh PA 15203

OWNER:

NAME: Kephalogianis Demosthenes
 ADDRESS: 4346 Brownsville Rd
 Pittsburgh, PA 15236

APPLICANT:

NAME: David Liu
 ADDRESS: 125 Sheridan St
 Pittsburgh, PA 15209
 PHONE: 412 951 9341

PHONE: _____

EMAIL: _____

EMAIL: _____

REQUIRED ATTACHMENTS:

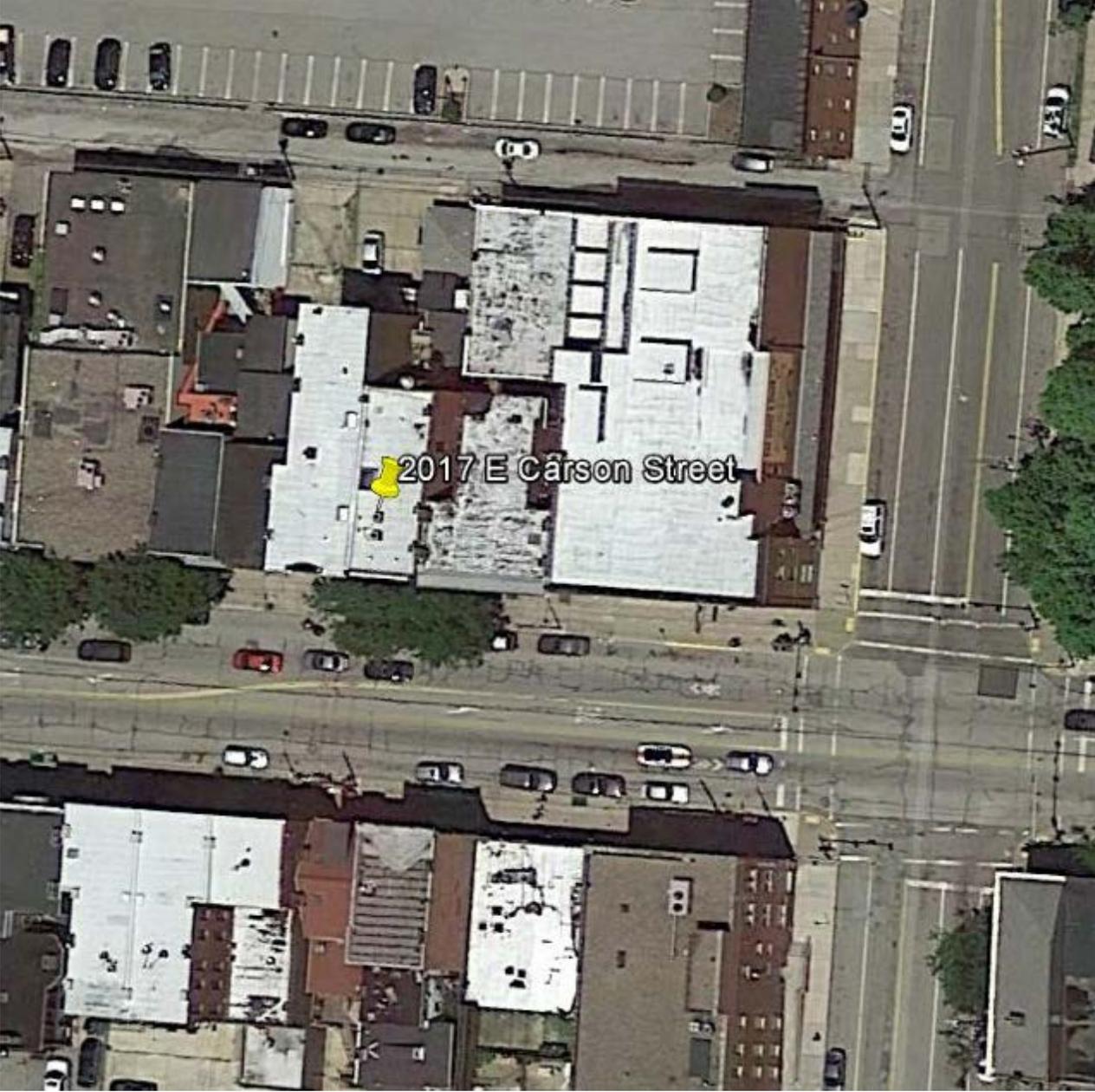
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: David Liu DATE: 8/11/15



23'

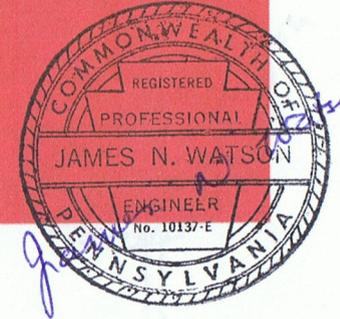
108.3"

16"

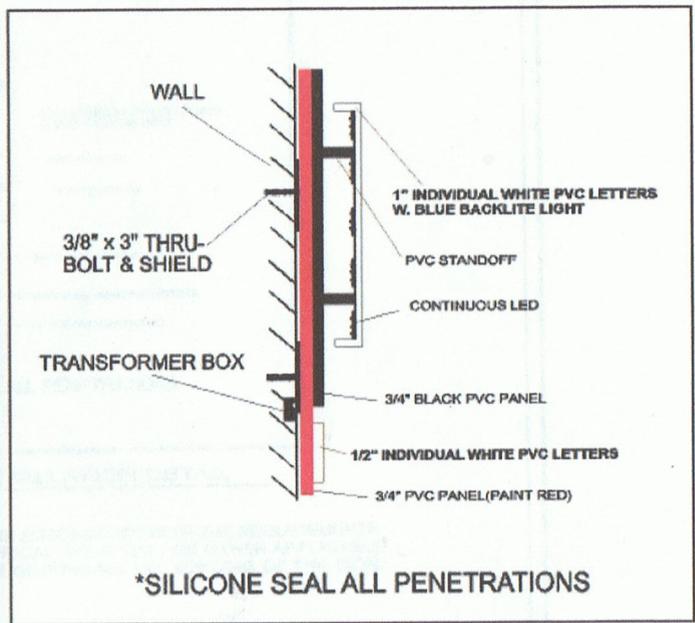
M & J Bistro

5.6"

Steak · Seafood & Sushi Bar · Asian Fusion

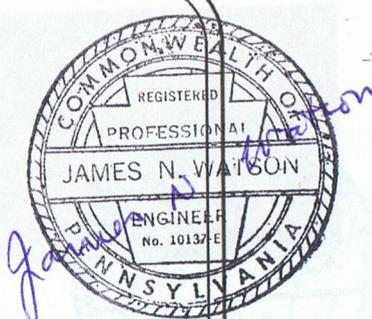
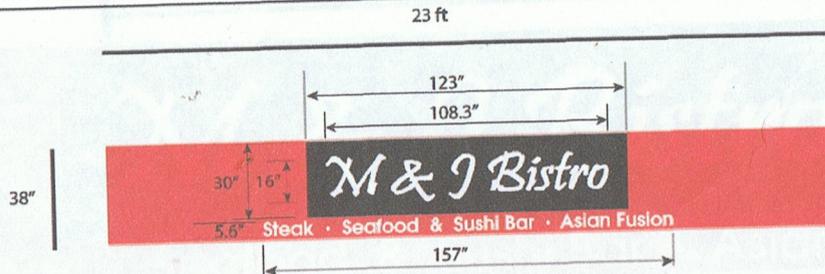


157"



2017 East Carson Street,
Pittsburgh, PA, 15203

Tommy Construction & Sign Co
220 Stanton Ave
Pittsburgh, PA 15209
412-951-9341
chinadavee@gmail.com



SIGNAGE DETAILS

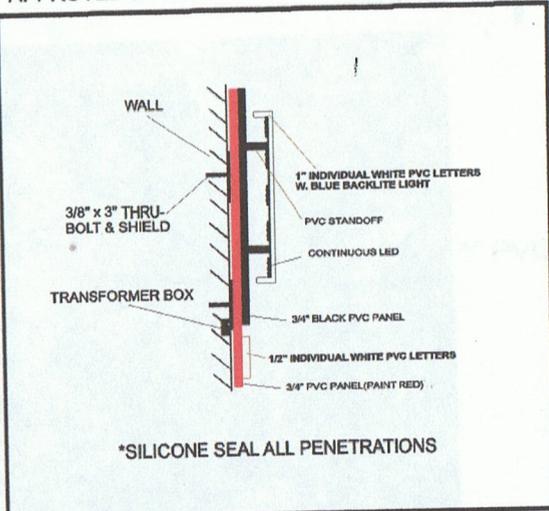
- * 16" MAX. INDIVIDUAL 1" WHITE PVC LETTER W. BLUE BAKELITE LIGHT
- * 5.6" MAX. INDIVIDUAL 1/2" WHITE PVC LETTER
- * MOUNTED ON 30" X 123" X 3/4" BLACK PVC PANEL & 38" X 345" X 3/4" PVC PANEL (PAINT RED)
- * ALL SIGN W. U/L LABEL

* THE BEST WAY TO INSTALL ILLUMINATED LETTERS
* APPROVED BY U/L

SPS-40-12
CABLE NO. E306782
NEON PRO INSTRUCTION

LED ELECTRODE RECEPTACLE
U/L LESTED 1310 CLASS 2 COMPLANT
P-K 12 VOLTS
MFG. BY
NEON PRO INSTRUCTION
BERKELEY, CA 94710

LED TRANSFORMERS
50/60 HZ
100-132 VAC
MA-1.0



LETTER / PANEL INSTALLATION DETAIL
NO SCALE

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND / OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

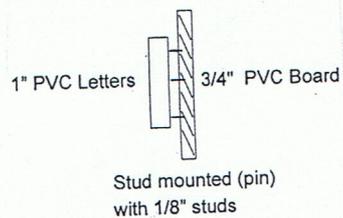
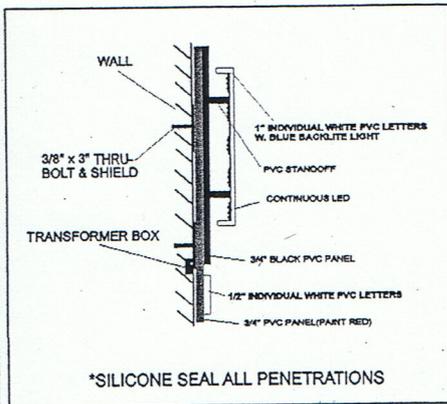
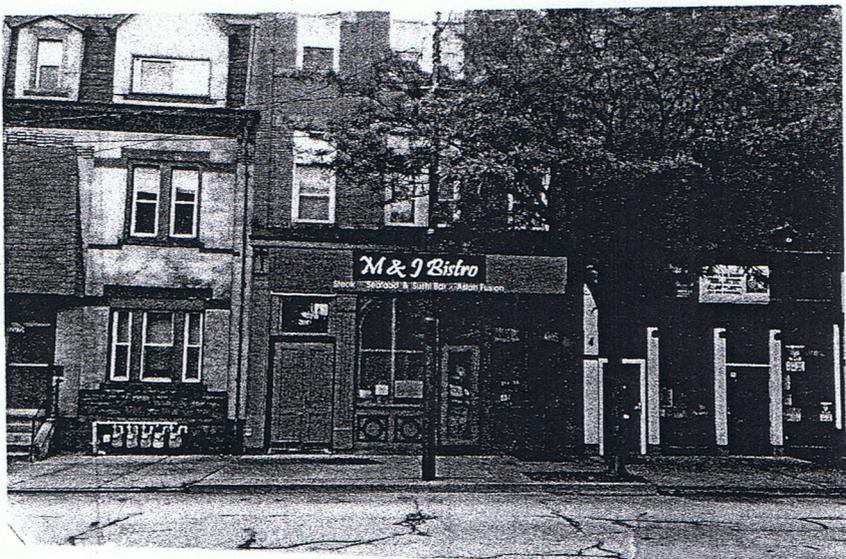
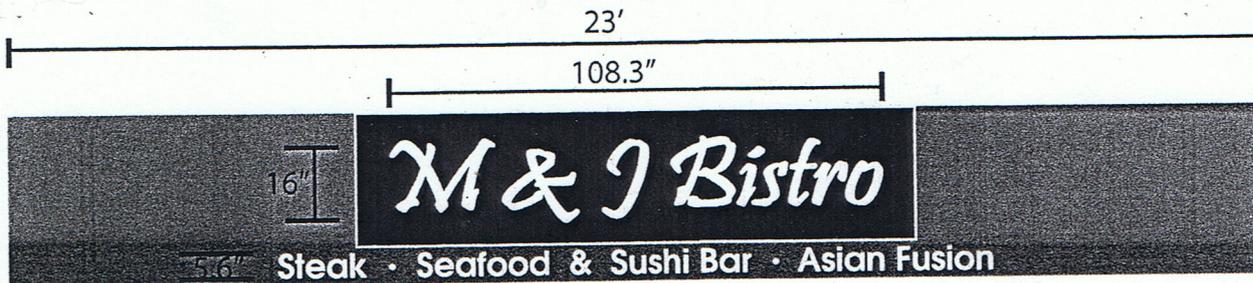
Customer: _____
 Company: _____
 Address: _____
 City: _____ State/ZIP: _____
 Phone: _____
 Email: _____

Tommy Construction & Sign Co
 220 Stanton Ave
 Pittsburgh, PA 15209
 412-951-9341
 chinadavee@gmail.com

Job No.:	Date: 7/2/2015
Order Date:	Salesperson:
Sign Dimensions: 72.000in x 15.000in	Estimate: \$0.00
BY SIGNING BELOW, CUSTOMER IS GIVING VIDA GRAPHICS & SIGNS APPROVAL TO START PRODUCTION ON SIGN SHOWN ABOVE. PLEASE EXAMINE THE DRAWING & THE SIGNAGE DETAILS FOR CORRECT COLORS & SIZE BEFORE SIGNING. THANK YOU!	
SIGNATURE: _____	DATE: _____

WATSON ENGINEERS

BY JNW DATE 7/28/15 SUBJECT M&J BISTRO SIGN SHEET NO. 1 OF 1
 CHKD. BY _____ DATE _____ MOUNTING FOR TOMMY JOB NO. _____
 _____ CONSTRUCTION & SIGN CO. _____



FOR INDIVIDUAL 5.6' LETTERS USE MINIMUM 2 SCREWS / LETTER

FOR M & J BISTRO SIGN $W = \left[\frac{108}{12} \times \frac{16}{12} \right] 10 \text{ PSF} = 120\#$

WIND. 90 MPH EXPOSURE B - $P = 20 \text{ psf}$

$H = 12.59 \text{ ft} \times 20 \text{ psf} = 240\#$

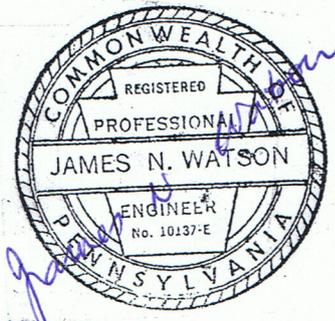
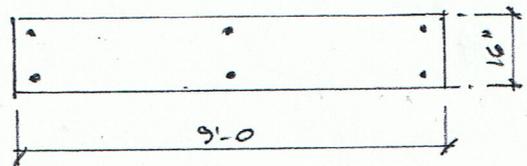
FOR 6 FASTENERS $V = \frac{120}{6} = 20\#$ $T = \frac{240}{6} = 40\#$

FOR 3/8" DIA THRU BOLT OR LAG BOLT

ALLOW. SHEAR = 450* ALLOW TENSION = 300*

THEN $\frac{20}{450} + \frac{40}{300} = 0.044 + 0.133 = 0.177 < 1.0 - \text{OK}$

ALTERNATE MOUNTING











Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

DISTRICT:

ADDRESS OF PROPERTY:

2017 E Carson St
 Pittsburgh PA 15203

OWNER:

NAME: Kephalogianis Demosthenes
 ADDRESS: 4346 Brownsville Rd
 Pittsburgh, PA 15236

APPLICANT:

NAME: David Liu
 ADDRESS: 125 Sheridan St
 Pittsburgh, PA 15209
 PHONE: 412 951 9341

PHONE: _____

EMAIL: _____

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: David Liu DATE: 8/11/15



23'

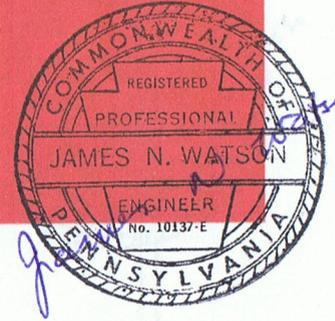
108.3"

16"

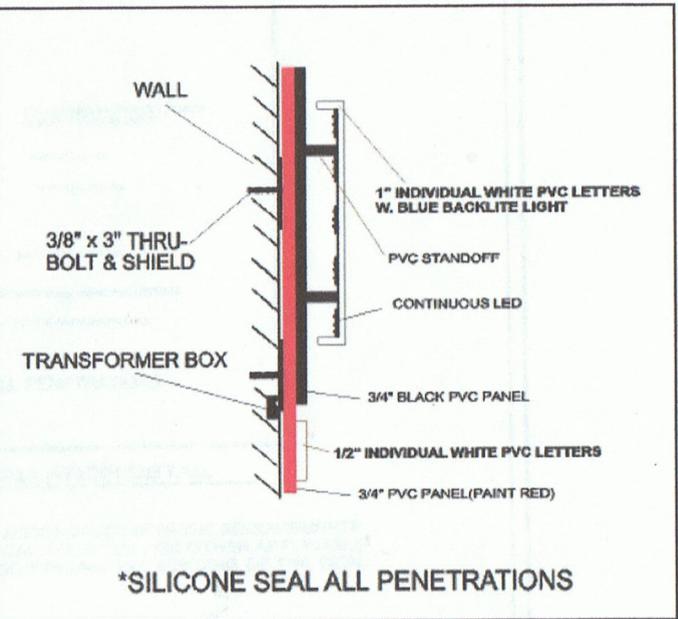
M & J Bistro

5.6"

Steak · Seafood & Sushi Bar · Asian Fusion

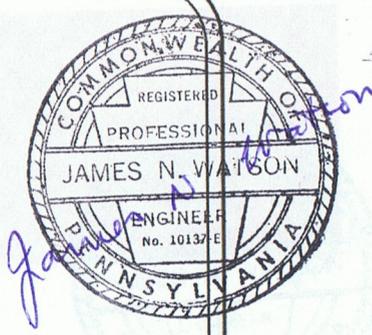
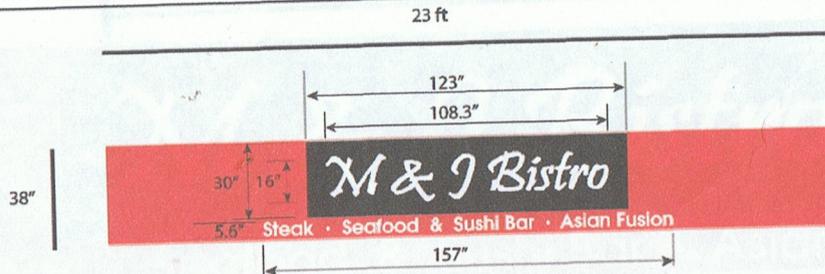


157"



2017 East Carson Street,
Pittsburgh, PA, 15203

Tommy Construction & Sign Co
220 Stanton Ave
Pittsburgh, PA 15209
412-951-9341
chinadavee@gmail.com



SIGNAGE DETAILS

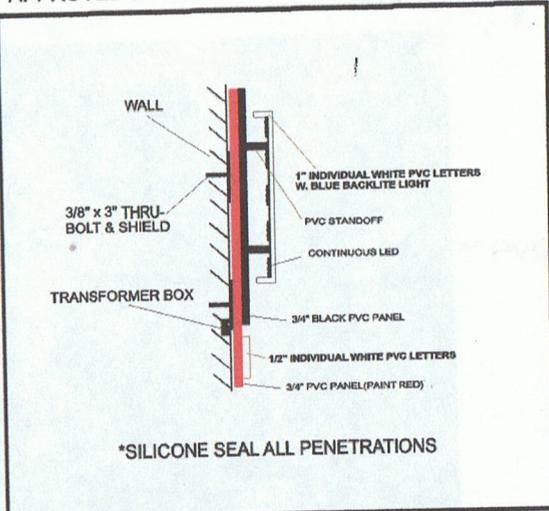
- * 16" MAX. INDIVIDUAL 1" WHITE PVC LETTER W. BLUE BAKELITE LIGHT
- * 5.6" MAX. INDIVIDUAL 1/2" WHITE PVC LETTER
- * MOUNTED ON 30" X 123" X 3/4" BLACK PVC PANEL & 38" X 345" X 3/4" PVC PANEL (PAINT RED)
- * ALL SIGN W. U/L LABEL

* THE BEST WAY TO INSTALL ILLUMINATED LETTERS
 * APPROVED BY U/L

SPS-40-12
 CABLE NO. E306782
 NEON PRO INSTRUCTION

LED ELECTRODE RECEPTACLE
 U/L LESTED 1310 CLASS 2 COMPLANT
 P-K 12 VOLTS
 MFG. BY
 NEON PRO INSTRUCTION
 BERKELEY, CA 94710

LED TRANSFORMERS
 50/60 HZ
 100-132 VAC
 MA-1.0



LETTER / PANEL INSTALLATION DETAIL
 NO SCALE

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND / OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

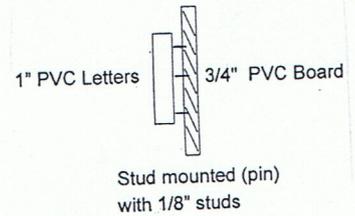
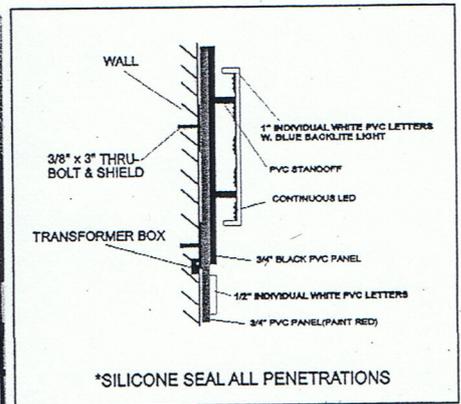
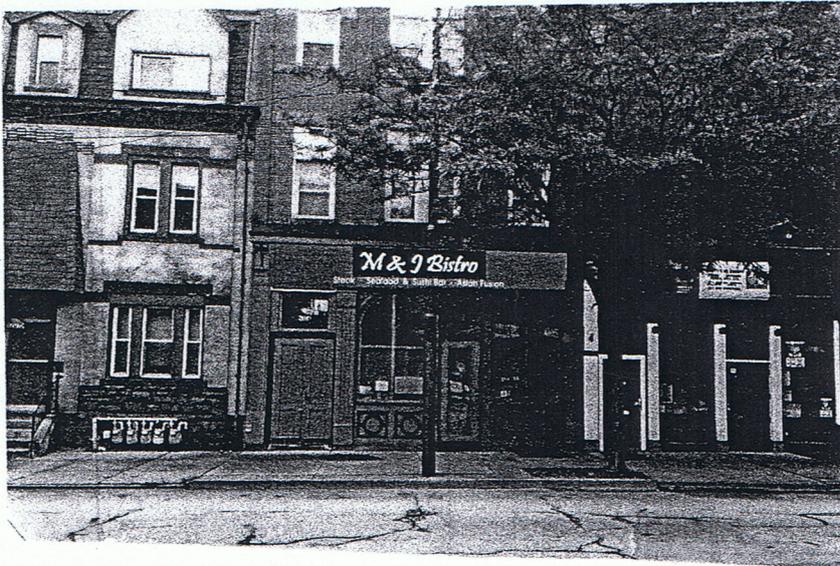
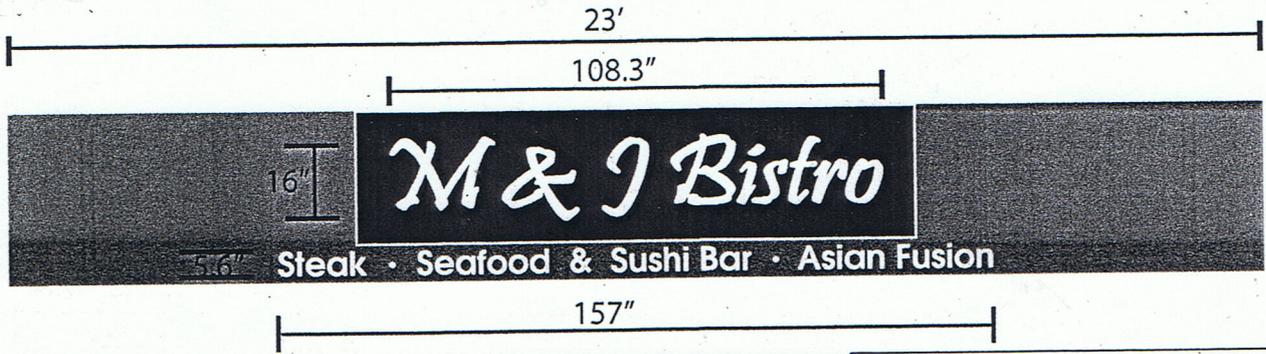
Customer: _____
 Company: _____
 Address: _____
 City: _____ State/ZIP: _____
 Phone: _____
 Email: _____

Tommy Construction & Sign Co
 220 Stanton Ave
 Pittsburgh, PA 15209
 412-951-9341
 chinadavee@gmail.com

Job No.:	Date: 7/2/2015
Order Date:	Salesperson:
Sign Dimensions: 72.000in x 15.000in	Estimate: \$0.00
BY SIGNING BELOW, CUSTOMER IS GIVING VIDA GRAPHICS & SIGNS APPROVAL TO START PRODUCTION ON SIGN SHOWN ABOVE. PLEASE EXAMINE THE DRAWING & THE SIGNAGE DETAILS FOR CORRECT COLORS & SIZE BEFORE SIGNING. THANK YOU!	
SIGNATURE: _____	DATE: _____

WATSON ENGINEERS

BY JNW DATE 7/20/15 SUBJECT M&J BISTRO SIGN SHEET NO. 1 OF 1
 CHKD. BY _____ DATE _____ MOUNTING FOR TOMMY JOB NO. _____
 _____ CONSTRUCTION & SIGN CO. _____



FOR INDIVIDUAL 5.6' LETTERS USE MINIMUM 2 SCREWS / LETTER

FOR M & J BISTRO SIGN $W = \left[\frac{108}{12} \times \frac{16}{12} \right] 10 \text{ PSF} = 120\#$

WIND. 90 MPH EXPOSURE B - $P = 20 \text{ psf}$

$H = 12.59 \text{ ft} \times 20 \text{ psf} = 240\#$

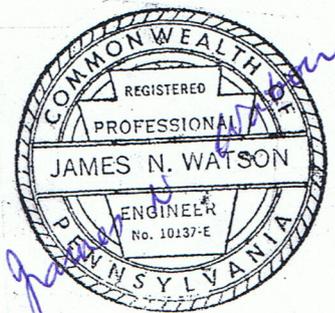
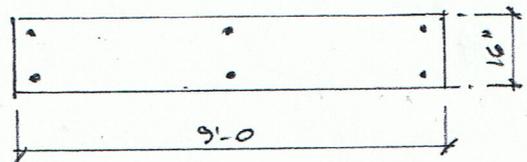
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FOR 3/8" DIA THRU BOLT OR LAG BOLT

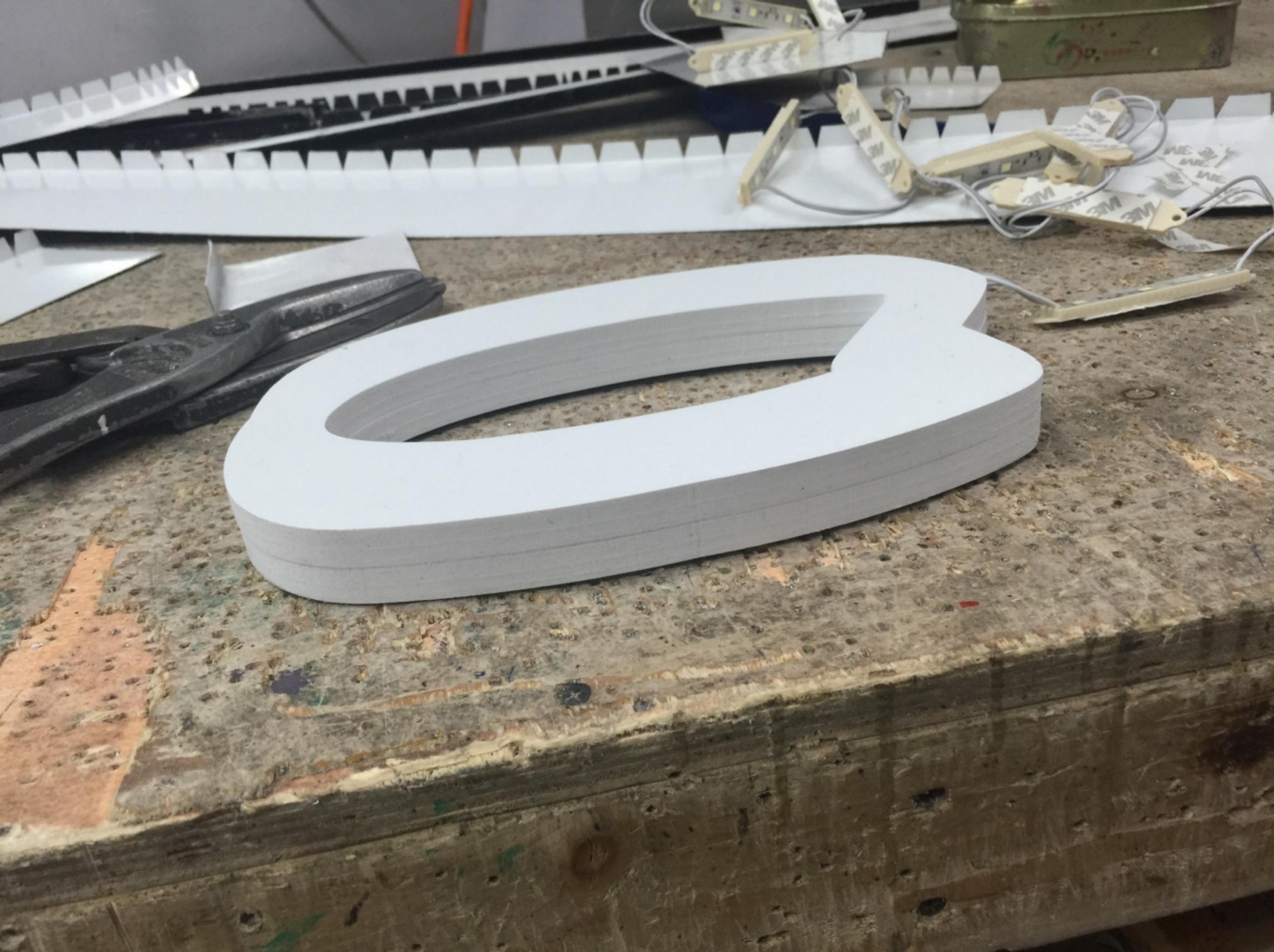
ALLOW. SHEAR = 450* ALLOW TENSION = 300*

THEN $\frac{20}{450} + \frac{40}{300} = 0.044 + 0.133 = 0.177 < 1.0 - \text{OK}$

ALTERNATE MOUNTING











HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

2214 EAST CARSON STREET.
PITTSBURGH, PA. 15203

OWNER:

NAME: PERRY SIGESMUND
 ADDRESS: 2214 E. CARSON ST.
PITTSBURGH, PA. 15203
 PHONE: _____
 EMAIL: PERRY@PERLORA.COM

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

EAST CARSON STREET.

APPLICANT:

NAME: DAVID L. BAUER
 ADDRESS: 3485 BUTLER ST.
PITTSBURGH, PA. 15201
 PHONE: 412-779-5103
 EMAIL: DBAUER@K5BA.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

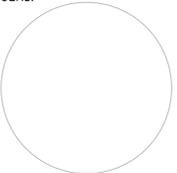
DETAILED DESCRIPTION OF PROPOSED PROJECT:

- 1.) DEMOLITION OF 2 STORY GARAGE ADDITION AT REAR.
2.) RENOVATION/REPAIR OF EXISTING FACADE @ CARSON ST.

SIGNATURES:

OWNER: _____ DATE: _____
 APPLICANT: David L. Bauer DATE: 7/27/15





NEW WOOD CORNICE TRIMS ARE TO BE MADE AND INSTALLED TO MATCH THE EXISTING TRIM PIECES. COLOR TO BE SELECTED BY THE ARCHITECT.

EXISTING METAL CORNICE (2 SECTIONS) ARE TO BE INSPECTED, REPAIRED, PREPPED FOR PAINTING, AND PAINTED. COLOR TO BE SELECTED BY THE ARCHITECT. INSTALL NEW ALUMINUM CAP FLASHING WHEN NEW ROOF IS INSTALLED.

EXISTING WOOD CORNICE TRIM IS TO BE REPAIRED, PREPPED FOR PAINTING, AND PAINTED. COLORS TO BE SELECTED BY THE ARCHITECT.

EXISTING (6) WINDOWS ARE TO BE SCRAPPED, PREPPED FOR PAINTING, AND PAINTED. COLORS TO BE SELECTED BY THE ARCHITECT. GLASS TO BE RE-SEALED AND PERIMETER JOINTS ARE TO BE CAULKED.

EXISTING WOOD MEDALLION TO BE REPAIRED AND PREPPED FOR PAINTING.

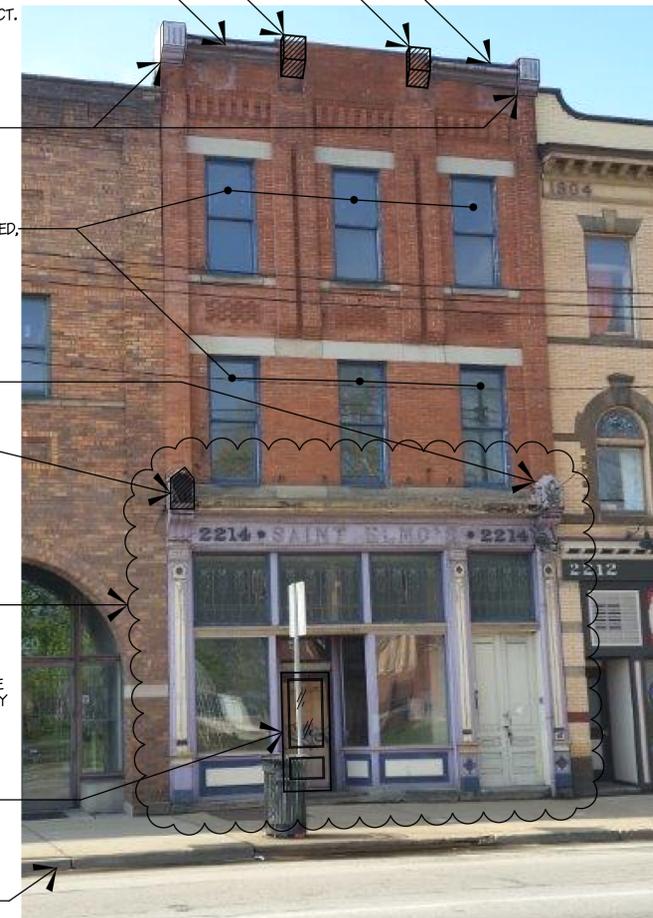
EXISTING WOOD MEDALLION (LOCATED INSIDE THE BUILDING) IS TO BE RE-INSTALLED, REPAIRED AND PREPPED FOR PAINTING.

EXISTING STOREFRONT WORK:

- CLEAN AND SCRAPE ALL WOOD SURFACES AND PREP FOR PAINTING.
- PAINT ALL WOOD SURFACES; COLOR SCHEME TO BE BY THE ARCHITECT.
- CLEAN AND SEAL EXISTING DECORATIVE GLASS TRANSOM WINDOWS. REPAIR ANY DAMAGED MEMBERS.
- RE-SEAL ALL GLASS PANELS.

NEW WOOD DOOR WITH LOWER WOOD PANEL AND UPPER GLASS PANEL. DOOR TO BE PAINTED; COLOR TO BE SELECTED BY THE ARCHITECT.

EXTERIOR BRICK TO BE INSPECTED FOR AREAS THAT MAY NEED REPOINTED. SUBMIT REPORT FOR REVIEW BY THE ARCHITECT AND THE OWNER.



CONSULTANTS:

CLIENT APPROVAL:
 DESIGN DEVELOPMENT:

SIGNATURE

DATE

SEAL:

PROJECT:

**PERLORA
 SOUTH SIDE**

2214 East Carson St
 Pittsburgh, PA 15203

COPYRIGHT:

This drawing is an instrument of service and is the exclusive property of KSBA Architects. This drawing is not to be altered, copied or used for construction, or used on any other projects or for alterations to the original project without the written permission of KSBA Architects. Copyright 2015 KSBA Architects. All rights reserved.

DRAWING TITLE:

**BUILDING
 DEMOLITION
 PLANS**

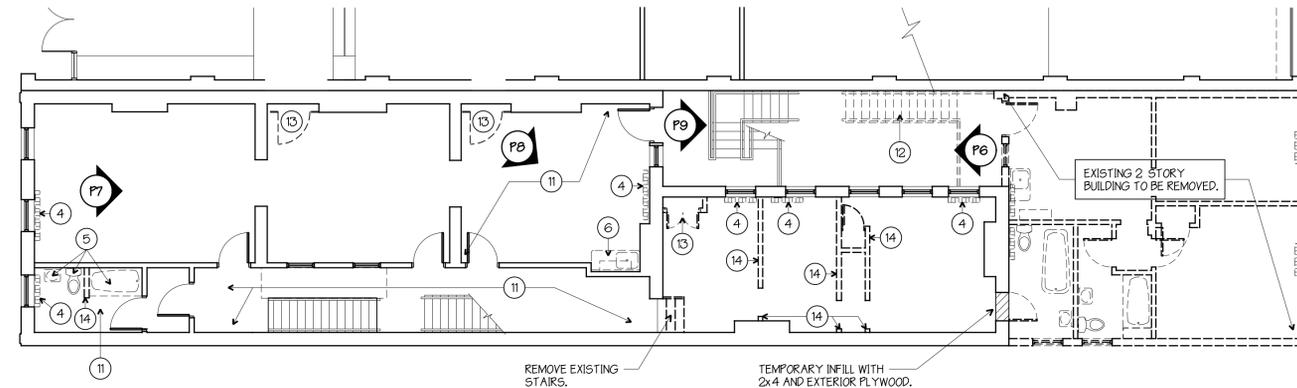
DATE / REVISIONS:

REVIEW PACKAGE: 2015-07-09
 HRC SUBMISSION: 2015-07-28

PROJECT #: 75242.00

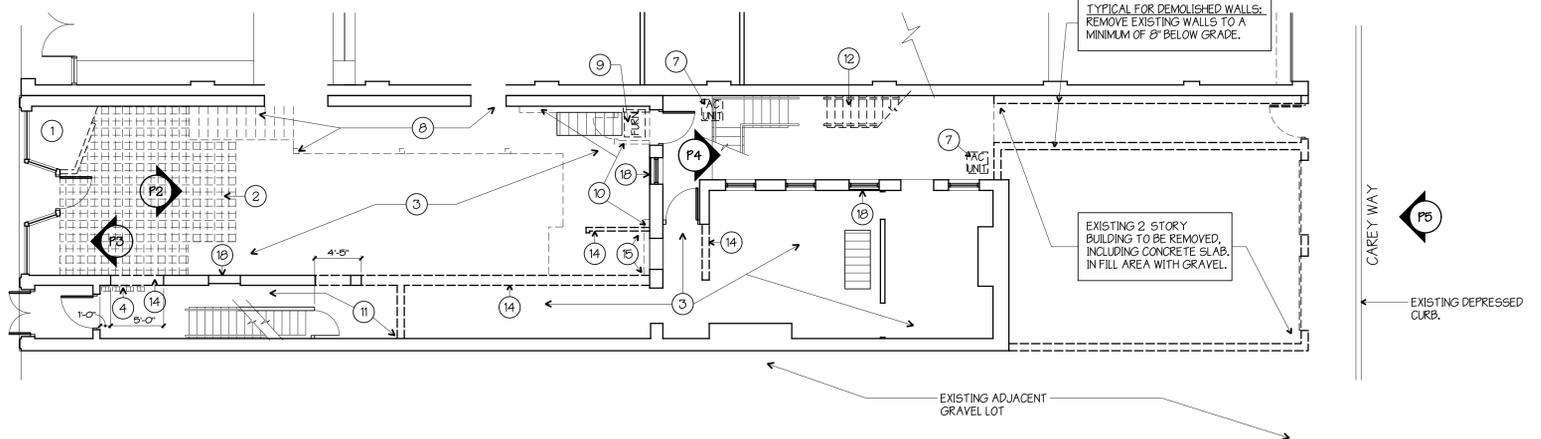
DRAWING #:

D1.1



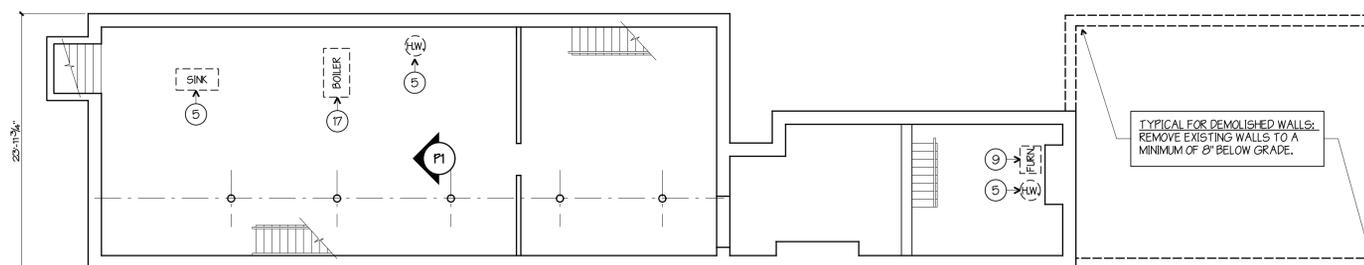
3 SECOND FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



1 BASEMENT DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



5 PHOTOS

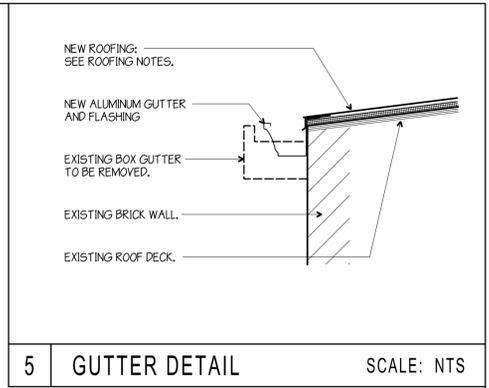
SCALE: NTS

KEY NOTES:

- 1 REMOVE LOW WALL AND PLATFORM.
- 2 REMOVE CERAMIC TILE.
- 3 REMOVE PLYWOOD COVERING EXISTING WOOD FLOOR.
- 4 REMOVE CAST IRON RADIATORS AND ASSOCIATED PLUMBING.
- 5 REMOVE PLUMBING FIXTURES AND ALL ASSOCIATED PLUMBING.
- 6 REMOVE KITCHEN SINK, CABINETS, AND ALL ASSOCIATED PLUMBING.
- 7 REMOVE AIR CONDITIONING CONDENSERS.
- 8 REMOVE MEZZANINE, POST AND STAIRS.
- 9 REMOVE FURNACE.
- 10 REMOVE WALLS ON MEZZANINE LEVEL.
- 11 REMOVE VCT FLOOR COVERING.
- 12 REMOVE FIRE ESCAPE.
- 13 REMOVE CLOSET.
- 14 REMOVE WALL.
- 15 REMOVE LEFT OVER PIPING.
- 16 REMOVE CHIMNEYS TO UNDERSIDE OF ROOF DECK.
- 17 REMOVE BOILER AND ALL ASSOCIATED PLUMBING.
- 18 REMOVE WALL COVERING WINDOW / DOOR.

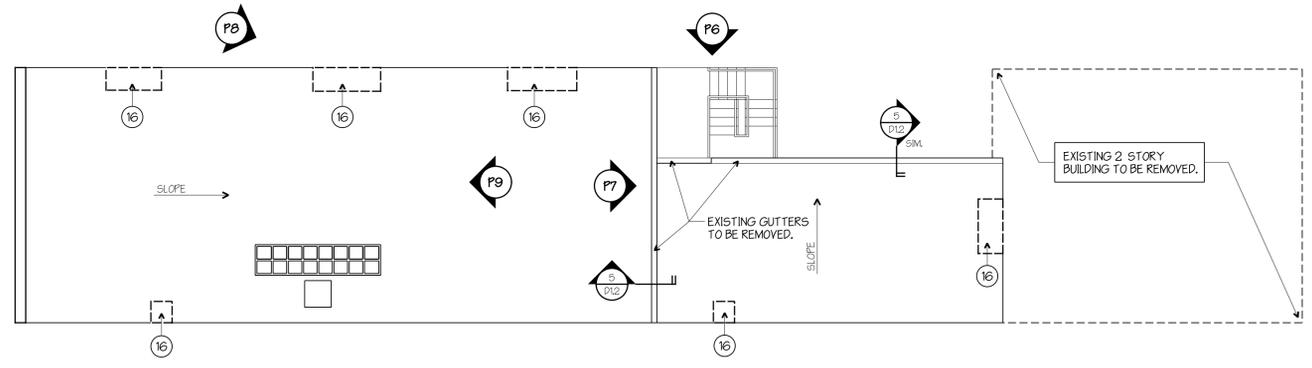
4 DEMOLITION KEY NOTES

SCALE: NTS

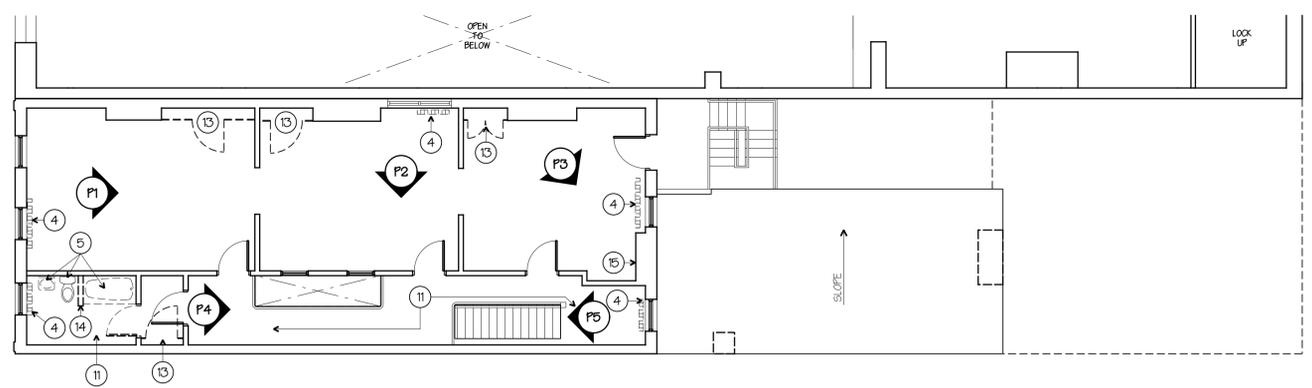


5 GUTTER DETAIL SCALE: NTS

- ROOFING NOTES:**
- 1) REMOVE EXISTING BUILT UP ROOFING GUTTERS, DOWN SPOUTS AND FLASHING FROM ENTIRE BUILDING. ROOF MATERIALS CONTAINING ASBESTOS ARE TO BE DISPOSED OF PROPERLY.
 - 2) INSPECT WOOD DECKING AND REPLACE AS NECESSARY.
 - 3) INSTALL ROOF DECK OVER EXISTING CHIMNEYS REMOVED.
 - 4) INSTALL NEW ROOF MEMBRANE ASSEMBLY AS FOLLOWS:
 - 1/2" POLYISOCYANURATE ROOF INSULATION BOARD
 - GAF "EVER GUARD" TPO ROOF, FULLY ADHERED SYSTEM
 - INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - 5) INSTALL NEW FLASHING, GUTTERS, DOWN SPOUTS AND PERIMETER TERMINATION STRIPS PER MANUFACTURER'S SPECIFICATIONS.



2 ROOF DEMOLITION PLAN AND ROOF PACKAGE SCALE: 1/8" = 1'-0"



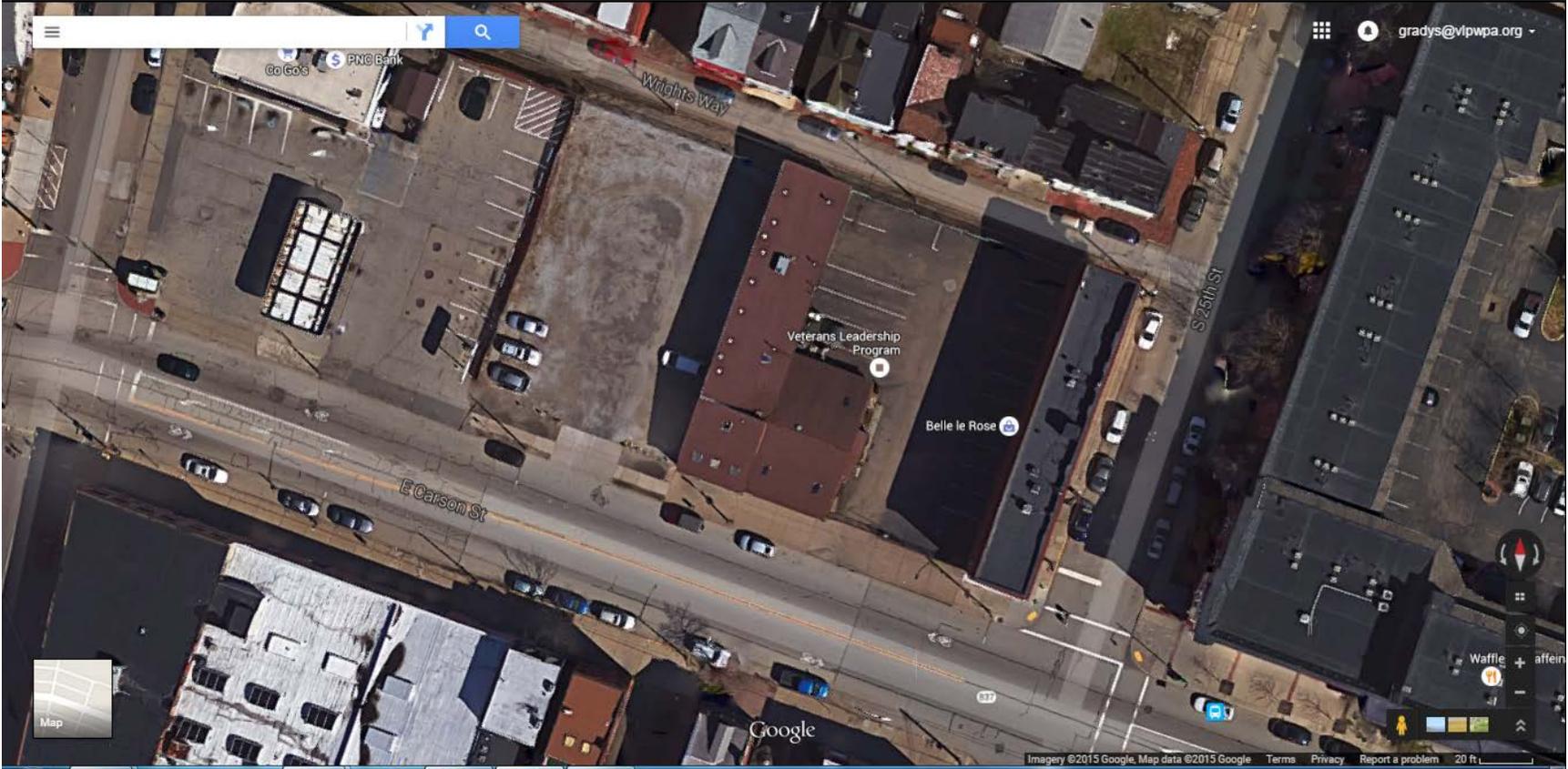
1 THIRD FLOOR DEMOLITION PLAN SCALE: 1/8" = 1'-0"



4 PLOT PLAN SCALE: NTS

- KEY NOTES:**
- 1) REMOVE LOW WALL AND PLATFORM.
 - 2) REMOVE CERAMIC TILE.
 - 3) REMOVE PLYWOOD COVERING EXISTING WOOD FLOOR.
 - 4) REMOVE CAST IRON RADIATORS AND ASSOCIATED PLUMBING.
 - 5) REMOVE PLUMBING FIXTURES AND ALL ASSOCIATED PLUMBING.
 - 6) REMOVE KITCHEN SINK, CABINETS, AND ALL ASSOCIATED PLUMBING.
 - 7) REMOVE AIR CONDITIONING CONDENSERS.
 - 8) REMOVE MEZZANINE, POST AND STAIRS.
 - 9) REMOVE FURNACE.
 - 10) REMOVE WALLS ON MEZZANINE LEVEL.
 - 11) REMOVE VCT FLOOR COVERING.
 - 12) REMOVE FIRE ESCAPE.
 - 13) REMOVE CLOSET.
 - 14) REMOVE WALL.
 - 15) REMOVE LEFT OVER PIPING.
 - 16) REMOVE CHIMNEYS TO UNDERSIDE OF ROOF DECK.
 - 17) REMOVE BOILER AND ALL ASSOCIATED PLUMBING.
 - 18) REMOVE WALL COVERING WINDOW / DOOR.

3 DEMOLITION NOTES SCALE: NTS





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

2417 East Carson Street
 Pittsburgh PA 15203

OWNER:

NAME: Veterans Leadership Program
 ADDRESS: 2417 East Carson Street
 Pittsburgh PA 15203
 PHONE: (412) 481-8200
 EMAIL: amelior@vlpwpa.org

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

Southside 16th Ward

APPLICANT:

NAME: Scott P. Grady
 ADDRESS: 2417 East Carson Street
 Pittsburgh PA 15203
 PHONE: (412) 481-8200 xt253
 EMAIL: gradys@vlpwpa.org

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

We would like to place an 8'x20' secured office trailer in our parking lot to accommodate staff overflow. Details provided in scope of work.

SIGNATURES:

OWNER: Raymond C. Amelio DATE: 7/31/15
 APPLICANT: Scott P. Grady DATE: 11 Aug 2015

Scope of Work for 2417 East Carson Street

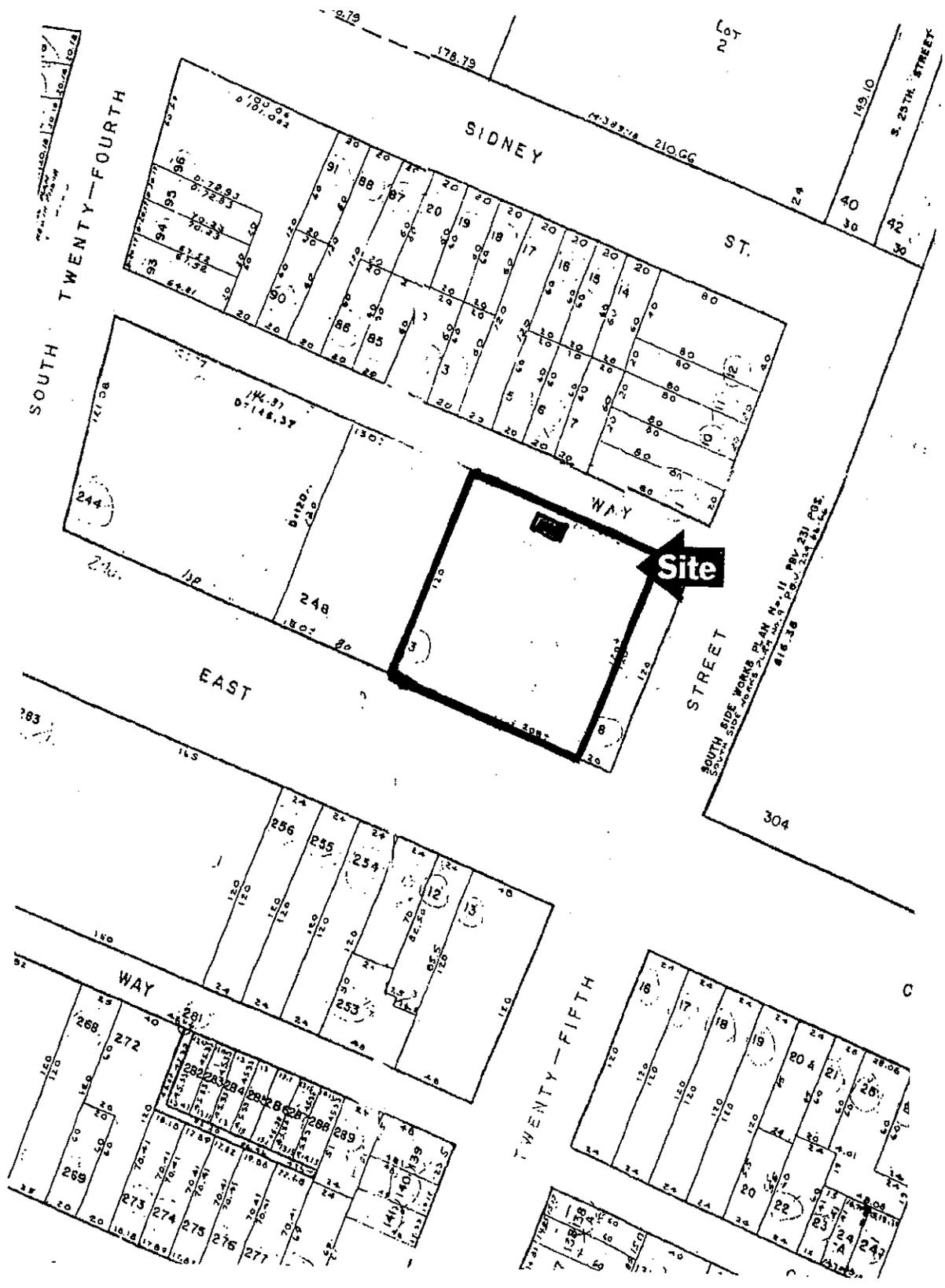
The Veterans Leadership Program of Western Pennsylvania (VLP) has been serving Veterans, service members and their families since 1982 with the mission of providing essential housing, employment and other vital supportive services to eligible Veterans, service members and their families to improve self-sufficiency, sustainability and quality of life.

As the need for services has grown over the last few years, VLP has increased its staff. Currently, VLP employs 29 full time staff members at our Southside Location with plans on hiring an additional 2-3 over the next few months. The size of our current building does not allow for our case managers to have their own offices or cubicles. Due to the sensitive nature of the information that our Veterans share with their case managers, it is necessary for us to obtain additional space until our agency is able to find an affordable space to permanently relocate to.

Our plan is to obtain an 8 x 20' mobile office unit from Mobile Mini (specs printed from their website are included with our submitted materials). The trailer will sit in the far corner of our parking lot next to our building along Sydney Street (as is indicated on the drawings and photos presented). The trailer will be securely locked and has no exterior lighting.

Our board of directors, specifically the Building Committee is actively seeking another property for VLP to purchase so that we may relocate to a building that will accommodate the number of staff we employ. The building committee hopes that a new site will be chosen this fall and that our agency will be able to relocate in January-February 2016. As a result, the trailer would only be present in our lot from late September early October 2015 through January/February 2016.

Plot Plan





844-355-2927

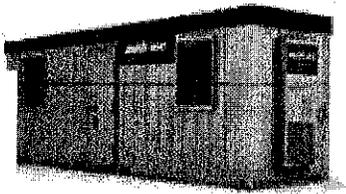
CHAT NOW

NEED A QUOTE

8' x 20' Open Bay High Security Office (Ground Level)

One of our most popular offerings, the 20 foot open bay portable office provides easy, ground level access. Perfect for storing business records or valuable equipment. Ideal for construction sites.

Share



OFFICE SPECIFICATIONS

ADD-ON EQUIPMENT

SECURITY FEATURES

FLOOR PLAN

SIZE

Ground mounted

8' ceiling height

8' wide

20' box size

20' long

EXTERIOR FINISH

All steel structural components

1 1/8" plywood sub floor

Standard drip rail gutters

10 - 16 gauge floor; joist 12

16 gauge steel siding

INTERIOR FINISH

Vinyl tile floors

Drywall textured ceilings & walls

DOOR OPTIONS

Windows and doors

Exterior Security

Horizontal slider windows with screens

Mini Blinds

Hydraulic Door Closures

MMI High Security Door System with three-part interior locking system

[Home](#) [About](#) [Careers](#) [Contact](#) [Mobile Mini UK](#)

[National Accounts](#)

[Storage Solutions](#)

[Customer Care](#)

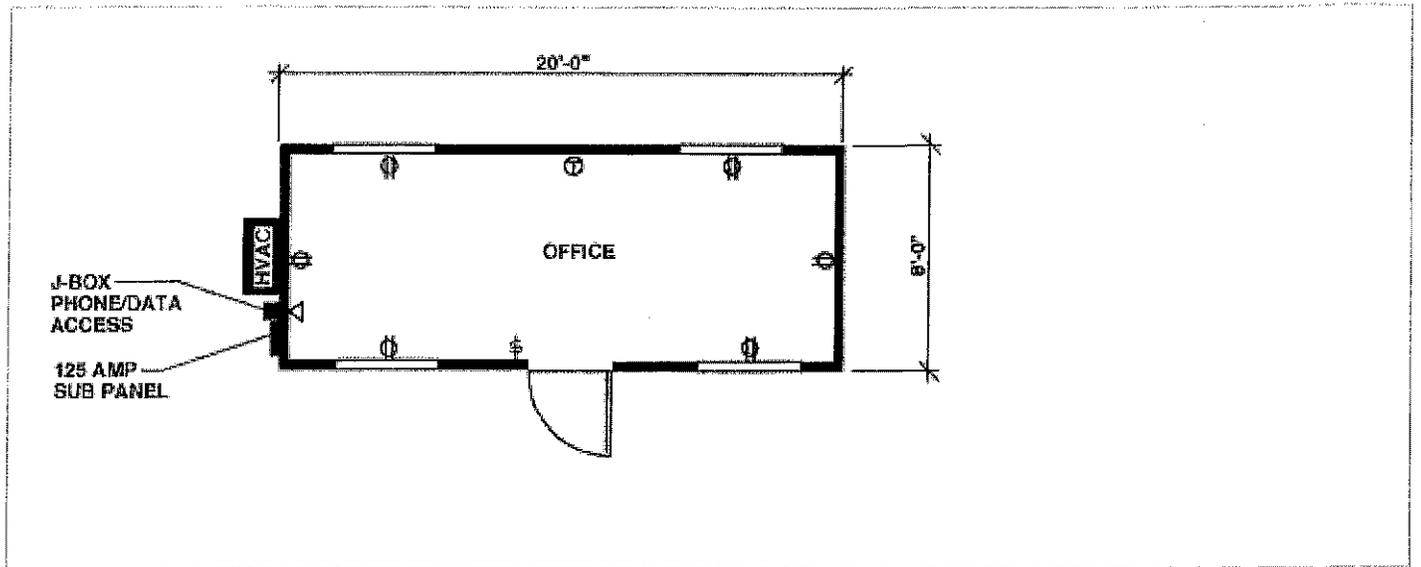
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[Storage Solutions](#)

[Customer Care](#)

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[Investor Relations](#)

[Privacy & Legal](#)

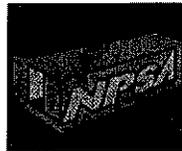
[Employee Intranet](#)

[Industries](#)

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Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: June 9, 2015

LOT AND BLOCK NUMBER: 24-J-229-1

WARD: 23 rd

FEE PAID: yes

DISTRICT:

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

810 TRIPOLI ST

Individual

OWNER:

NAME: HOMESTEAD PROPERTY VENTURES

ADDRESS: 5889 AYLESBORO AVE
PITTSBURGH, PA 15217

PHONE: 412 427 7539

EMAIL: gkparker@outlook.com

APPLICANT:

NAME: same

ADDRESS: |

PHONE: |

EMAIL: |

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

OWNER: [Signature] DATE: 5/27/15

APPLICANT: [Signature] DATE: 5/27/15



HOMESTEAD PROPERTY VENTURES, LLC
5889 Aylesboro Avenue
Pittsburgh, PA 15217
412 427 7539

29 May 2015

Sarah Quinn
Historic Preservation Planner
City of Pittsburgh
200 Ross Street, 3rd floor
Pittsburgh, PA 15219

RE: 810 Tripoli Street
Immanuel Church Historic Application

Dear Ms Quinn:

Please find enclosed our application for work completed on this property, a check for \$350, and photos of the work completed.

We replaced cinder blocks with glass windows and believed that the designation process had not been completed so did not apply at the time for this work. I apologise for this error.

Our contractor is certain that the property originally had glass block windows and we have attached a photo of the property where we believe you can see the block windows as they were.

We may also wish to replace the cinder block in the Tripoli Street house along the Turtle Way frontage. I have enclosed a photo of this property also.

Please call me if you have any questions on 412 427 7539.

Sincerely,



G.K. Parker
Director

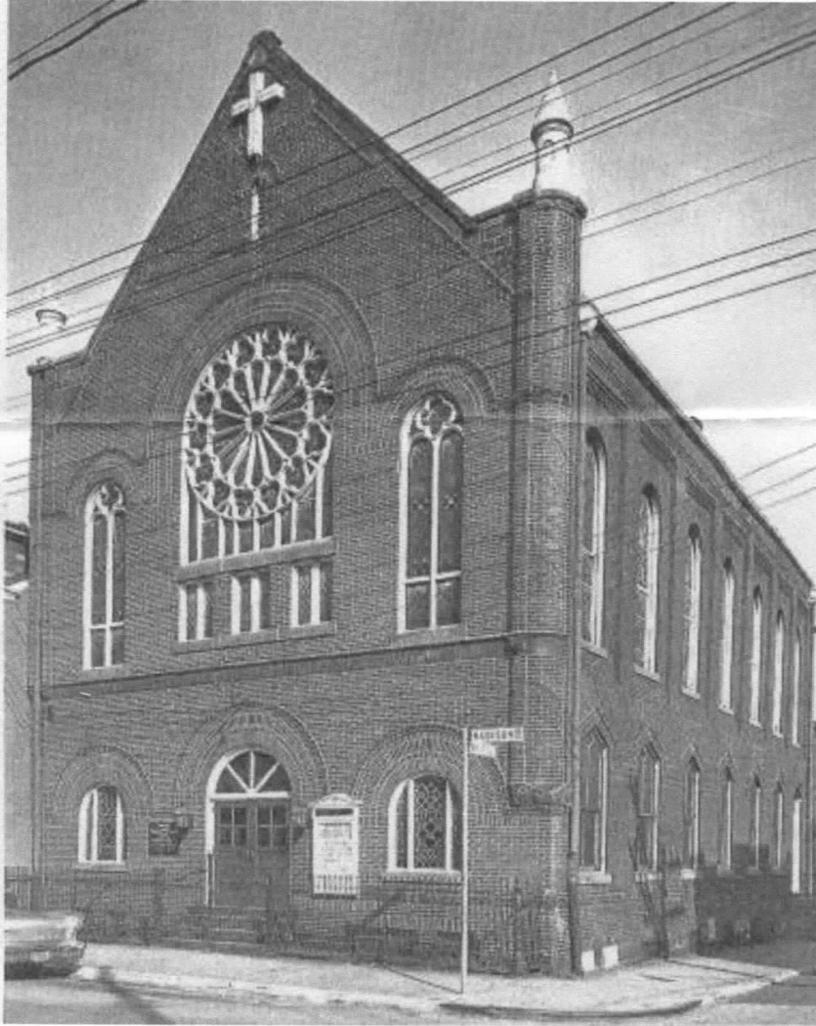
Description of Work Completed

The cinder block inserts that had been put into the old church basement block window spaces were removed in four spots and new glass block windows were inserted.

The glass block contractor indicated that these windows had previously been glass block based on the nature of the ledge that he encountered during construction.

This has greatly improved the light and ventilation into the basement space and we believe is consistent with how the building looked in the past.

ORIGINAL BUILDING.



1 blocks.



PICTURE BEFORE WORK COMPLETED.

Four windows as they look now.







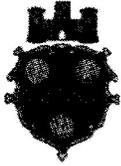


TRIPOLI RESIDENCE.



Block wall on Turtle Way.

Replace with block windows.



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 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

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DEADLINE:

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FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

115 Forbes Avenue, Pittsburgh, PA, 15222

STAFF USE ONLY:

DATE RECEIVED: 8/12/15

LOT AND BLOCK NUMBER: 1-D-B2

WARD: 15th

FEE PAID: 140

DISTRICT:

Downtown - Market Square

OWNER:

NAME: LAWRENCE W. KNAPP^{III}, WENDY B. KNAPP

ADDRESS: 232 N. MARKET ST.
LIGONIER, PA 15658-1231

PHONE: 724-238-9795

EMAIL: SKIP@SKIPKNAPP.COM

APPLICANT:

FRANKTUARY MARKET SQUARE LLC
 NAME: owners: Megan Lindsey, Tim Tobitsch

ADDRESS: until restaurant opens:
3810 Butler St, Pittsburgh, PA, 15201

PHONE: 412.523.6226

EMAIL: megan@franktuary.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

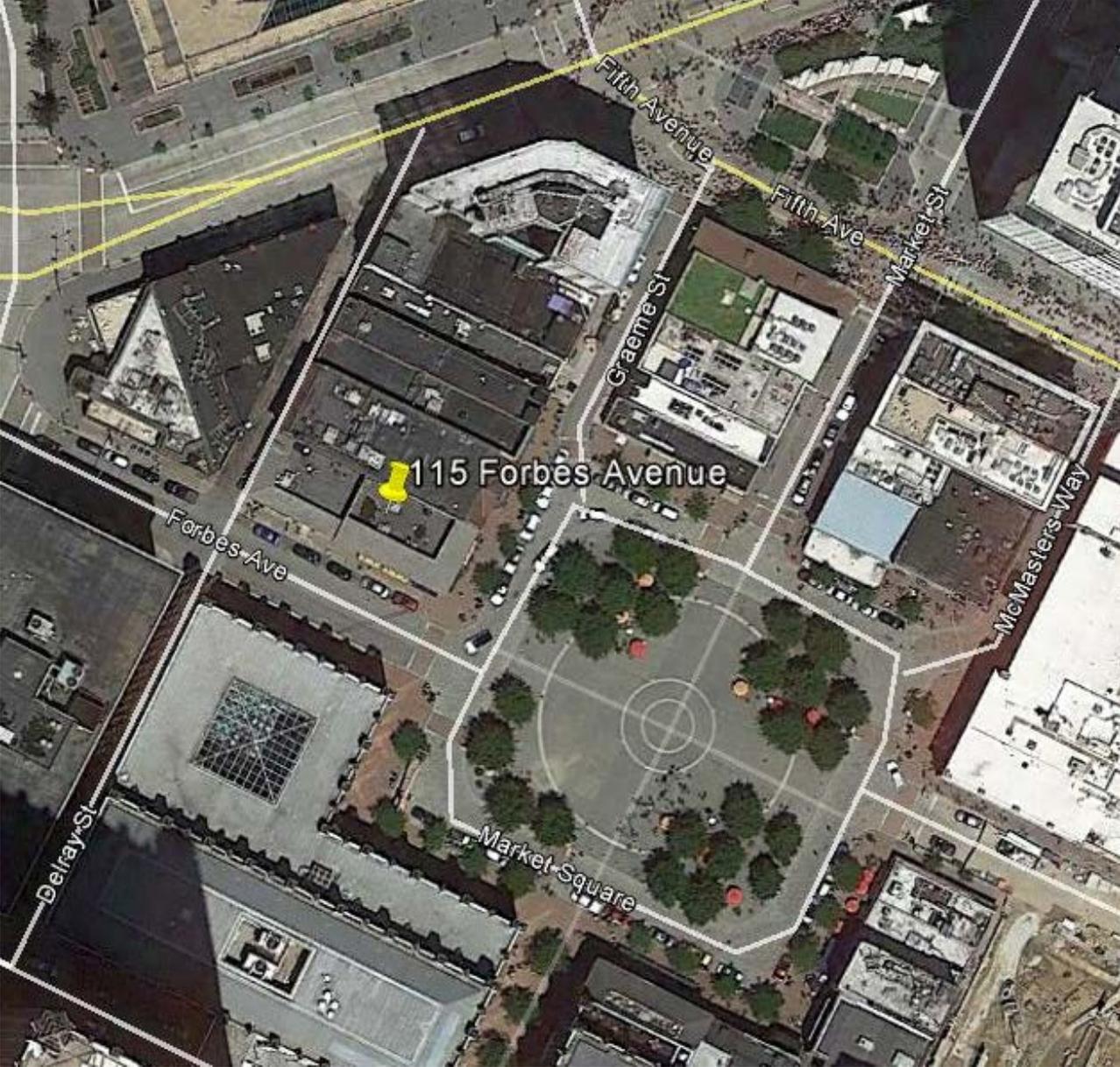
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Remove existing awning and beer signs, remove existing lettering, update plywood panels with ceramic wood-grain tile, add logo letters and round logo marks, add lantern lighting, add panels describing restaurant's wares.

SIGNATURES:

OWNER: William B. Knapp DATE: 7-20-15

APPLICANT: Megan Lindsey DATE: 20 July 2015



FRANKTUARY

115 FORBES AVE, PITTSBURGH, PGH

MARKET SQUARE HISTORIC DISTRICT

HISTORIC REVIEW COMMISSION

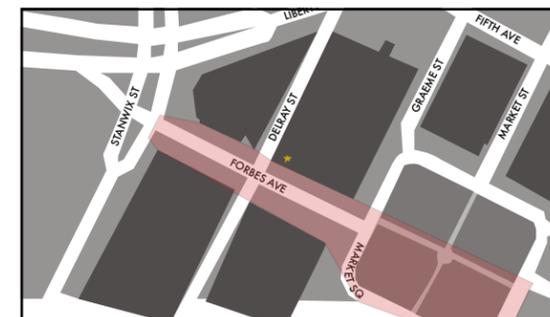
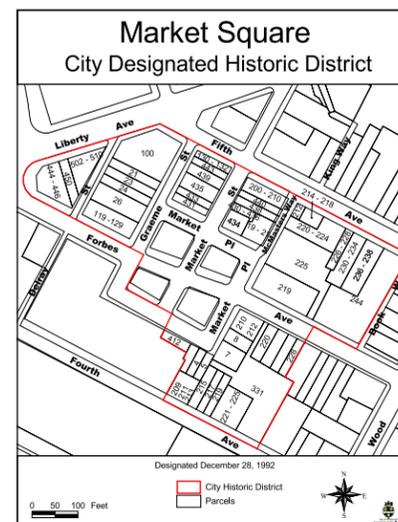
- REPLACING THE EXTERIOR TILE WITH WOOD GRAIN CERAMIC TILE UNDERNEATH THE EXTERIOR WINDOWS
- REMOVAL OF EXISTING AWNING
- UPDATING LOGO TO REFLECT NEW BUSINESS NAME WITH LETTERS NOT EXCEEDING 15" H; PAINTED MDO MINIMALLY ATTACHED FOR EASY REMOVAL
- WOOD PANELS FRAMING PANELS TYING IN THE TOP AND BOTTOM OF THE FACADE NOT EXCEEDING DEPTH OF EAVES
- ADDING LANTERN LIGHTING TO BOTH SIDES OF THE FACADE USING EXISTING ELECTRICAL BOXES
- LOGO AND HOURS PAINTED ON RIGHT SIDE ENTRANCE DOOR



PROPOSED FACADE



CURRENT FACADE



MARKET SQUARE SITE MAP: FACADE VISIBILITY

- UNOBTRUSIVE GRAPHICS
- MATERIALS UPGRADE
- SIGNAGE DOES NOT BLOCK OR HIDE ANY ARCHITECTURAL DETAILS





HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 8/14/15

LOT AND BLOCK NUMBER: 23-J-297

WARD: 22nd

FEE PAID: yes

DISTRICT:

MEXICAN WAR STREETS HISTORIC DISTRICT

FEE SCHEDULE: \$ 570.00 ATTACHED
 See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1244-1246 BUENA VISTA STREET
9 NORTH TAYLOR AVENUE

OWNER:

NAME: DR GRANT LATIMORE

ADDRESS: 743 CHEROKEE ST
PITTSBURGH, PA 15219

PHONE: 662 880 4195

EMAIL: autumnlattimore@gmail.com

APPLICANT:

NAME: MARGARET RINGEL & ASSOCIATES

ADDRESS: 55 WYOMING STREET
PITTSBURGH, PA 15211

PHONE: 412.488.0310

EMAIL: ringel_and_assoc@msn.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SEE ATTACHED SHEET

SIGNATURES:

OWNER: AUTUMN LATIMORE MRB DATE: 8.14.15

APPLICANT: Margaret Ringel Bah DATE: August 19 2015



**Historic Review Commission
City of Pittsburgh PA**

**Drover Hotel 1244-1246 Buena Vista Street,
Mexican War Street Historic District
Pittsburgh, PA**

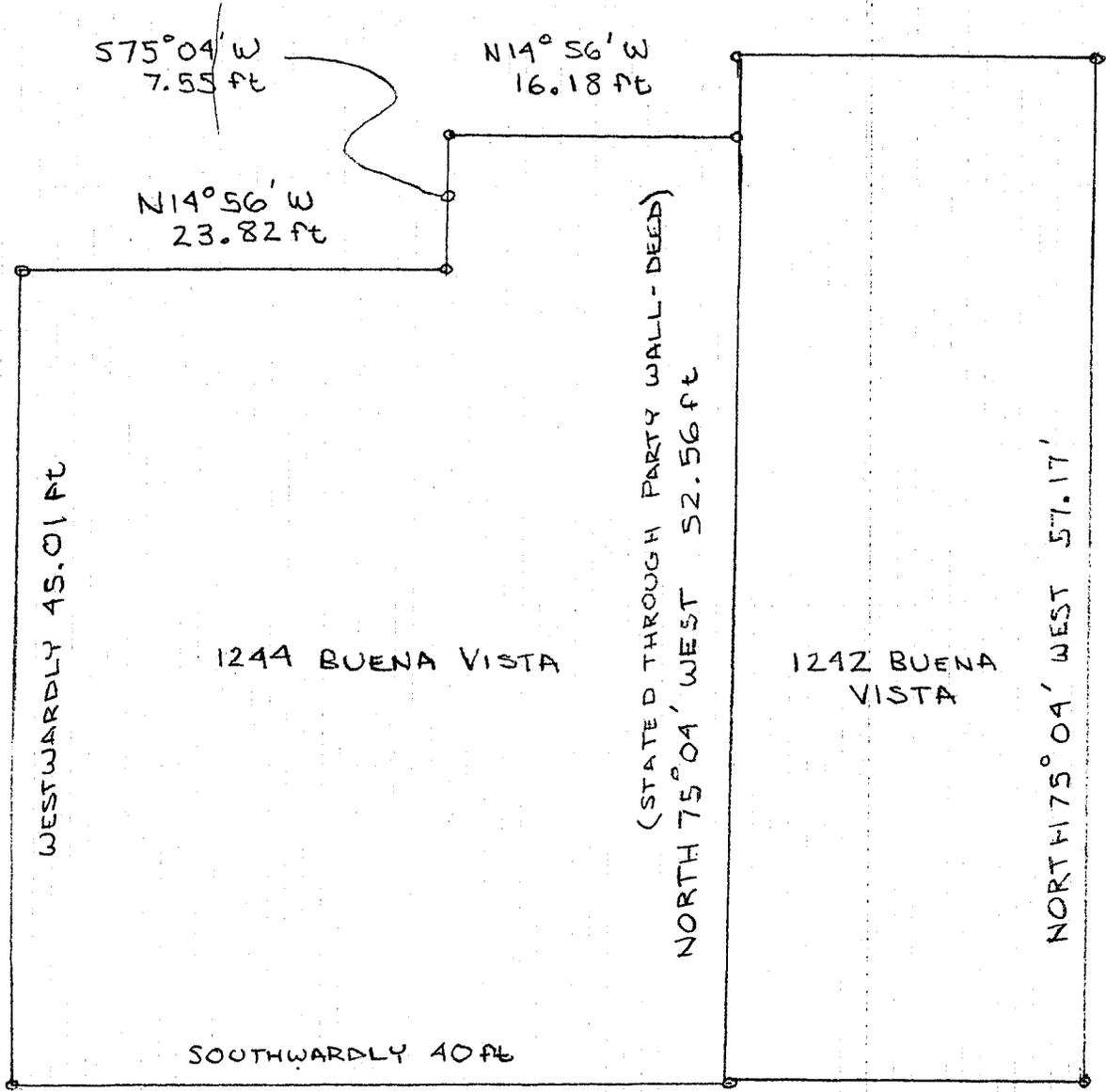
The Drover Hotel, located in the Mexican War Street Historic District of Pittsburgh was first utilized by farmers who brought their cattle to market at local stock yards on the North side. This was one of the designated drover hotels in the Allegheny North Area and the oldest of the drover hotel buildings - dating about 1848-1858. It is a corner building located at Buena Vista and Taylor Avenue with an addition on the Buena Vista elevation. The corner building is the oldest building; the adjacent addition on the Buena Vista side, of a later date, is connected to a mirror image residence (not a part of this project) with a passageway between.

The project consists of the preservation/restoration of the exterior of the buildings and general streetscape. The interior will be repurposed utilizing similar original uses. Professional/commercial and ADA housing is planned for the first level and accessible/visitable housing on the second and half story above.

In the proposed work, a courtyard/garden facility will be located in the rear which would have ADA accessibility and provide egress from the basement. It is anticipated the reuse of existing materials where possible.

N. TAYLOR AVENUE

BRICK SIDEWALK - 9'-9" WIDE



$S75^{\circ}04' W$
7.55 ft

$N14^{\circ}56' W$
16.18 ft

$N14^{\circ}56' W$
23.82 ft

WESTWARDLY 45.01 ft

1244 BUENA VISTA

(STATED THROUGH PARTY WALL - DEED)

NORTH $75^{\circ}04'$ WEST 52.56 ft

1242 BUENA VISTA

NORTH $75^{\circ}04'$ WEST 57.17'

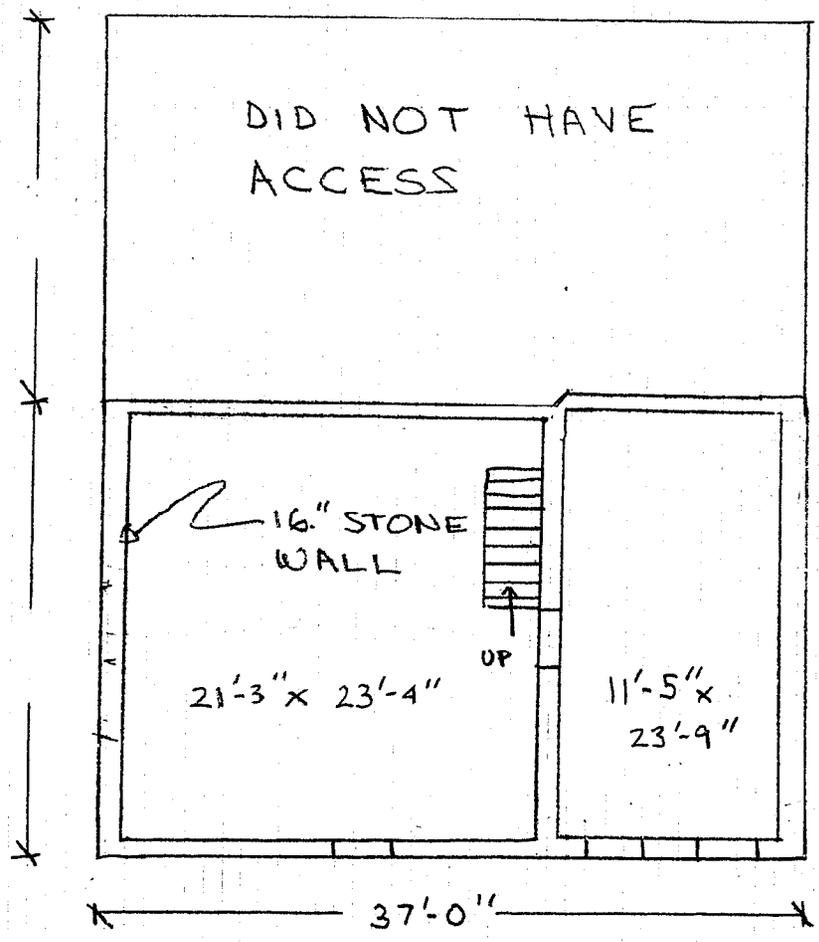
SOUTHWARDLY 40 ft

5" CURB

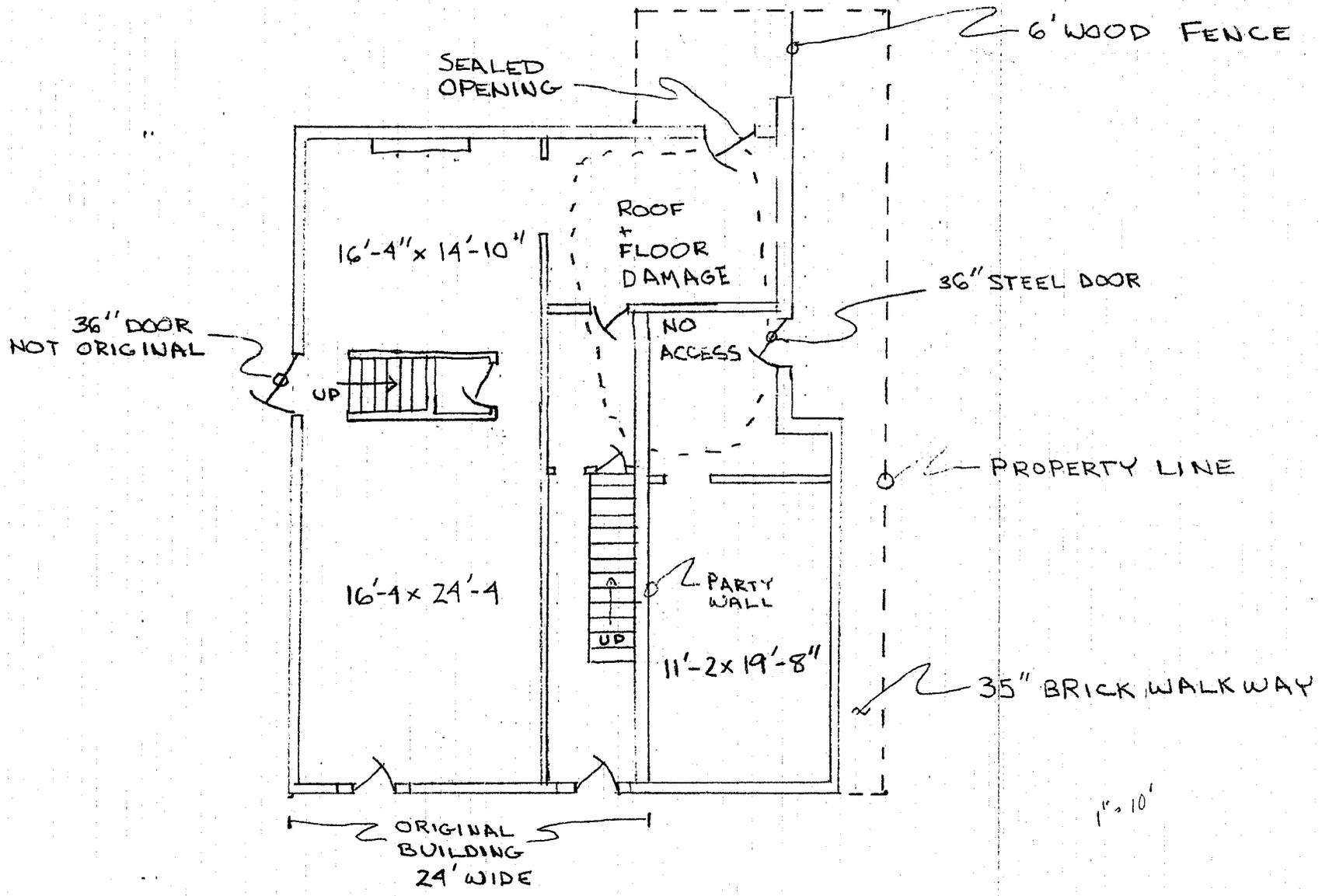
BUENA VISTA

BASEMENT PLAN

N. TAYLOR AVE

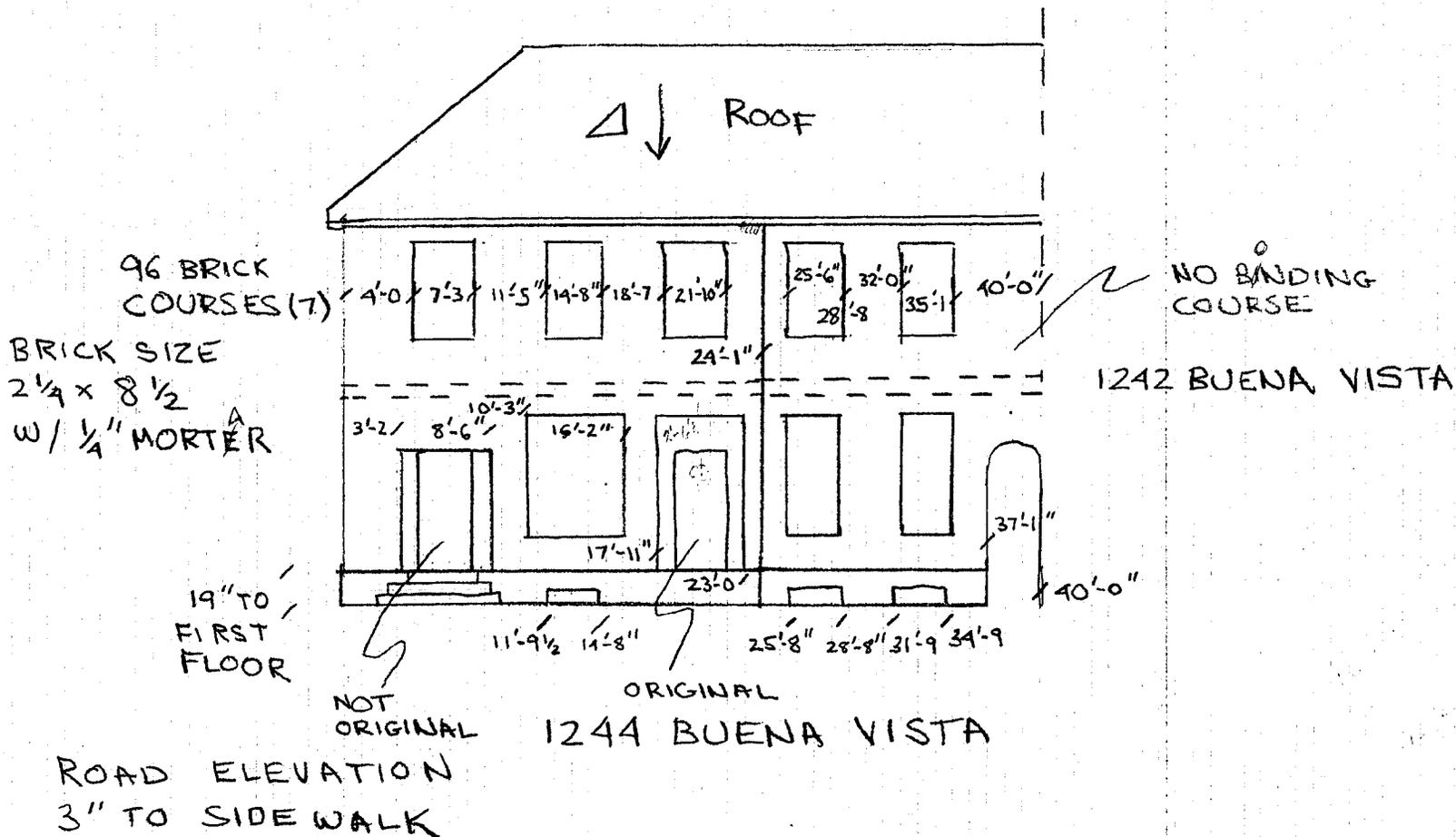


BUENA VISTA



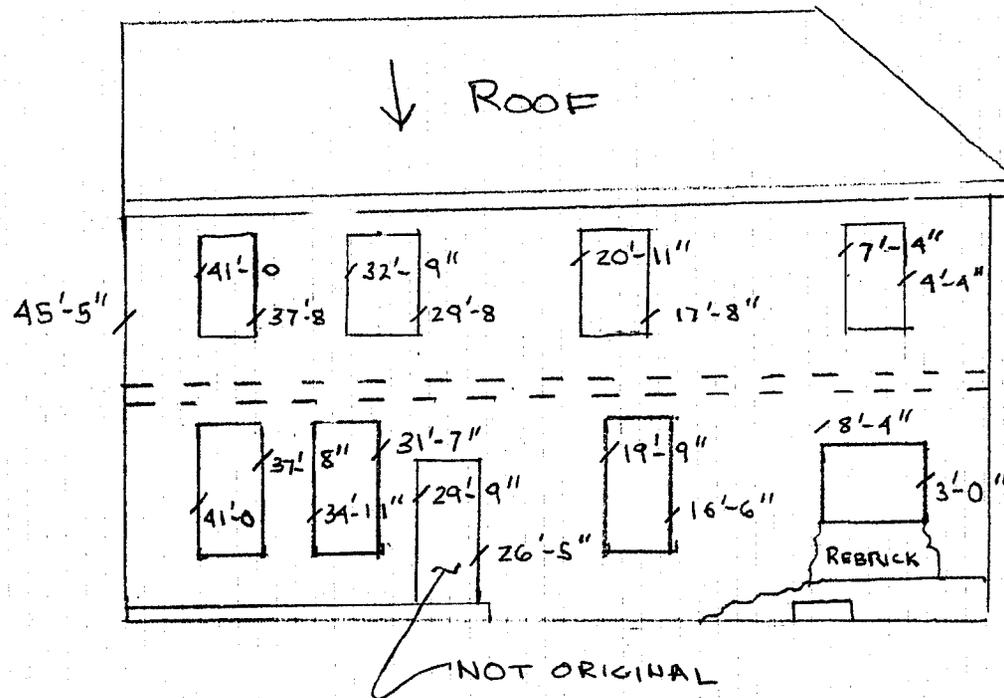
1ST STORY PLAN VIEW

WEST ELEVATION
(BUENA VISTA)



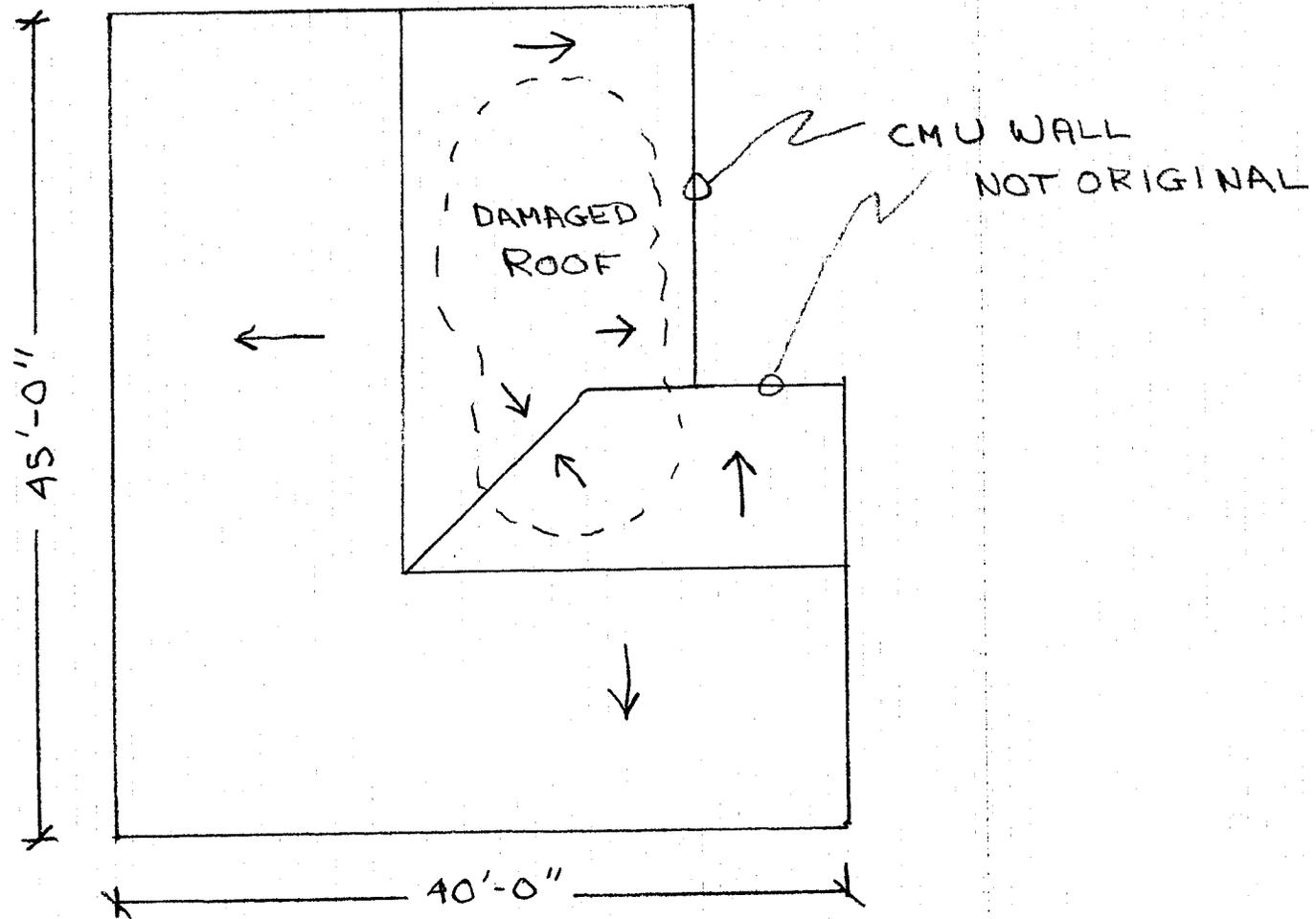
ROAD ELEVATION
3" TO SIDE WALK

NORTH ELEVATION
N. TAYLOR



1244 BUENA VISTA

ROOF PLAN



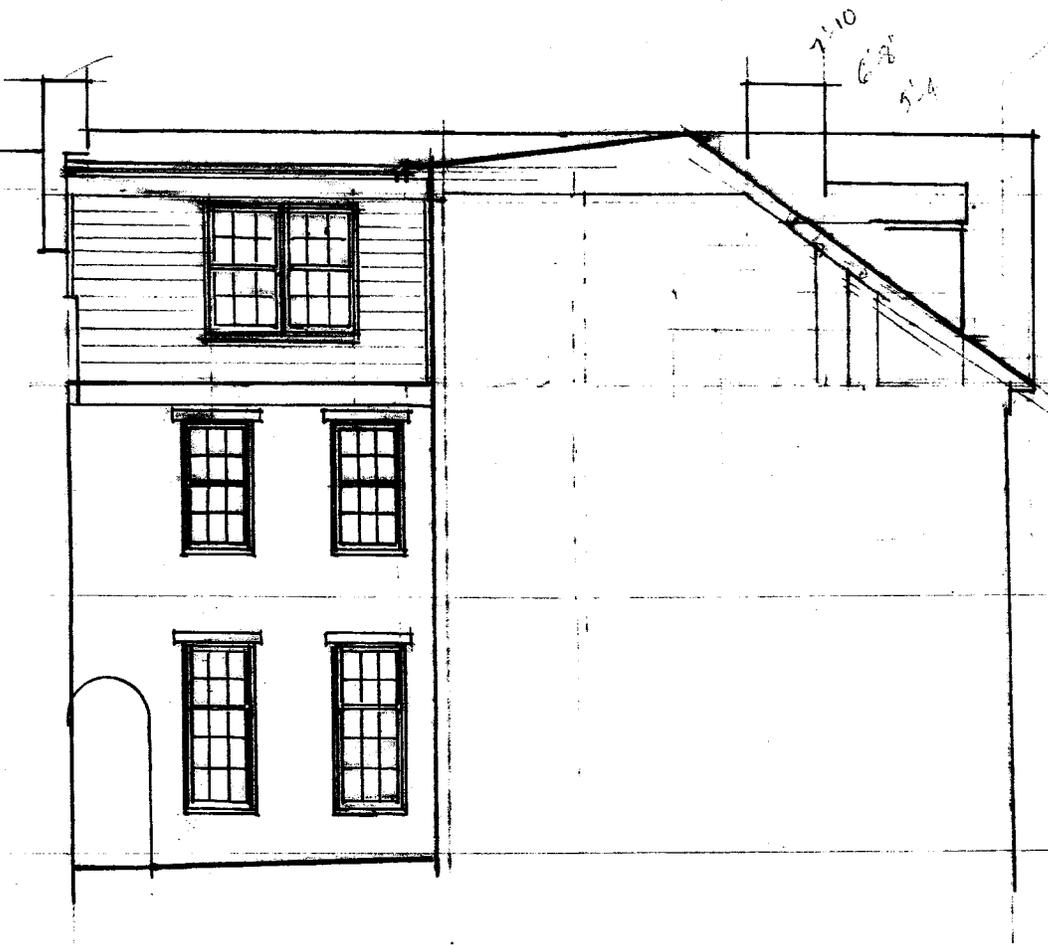
BUENA VISTA







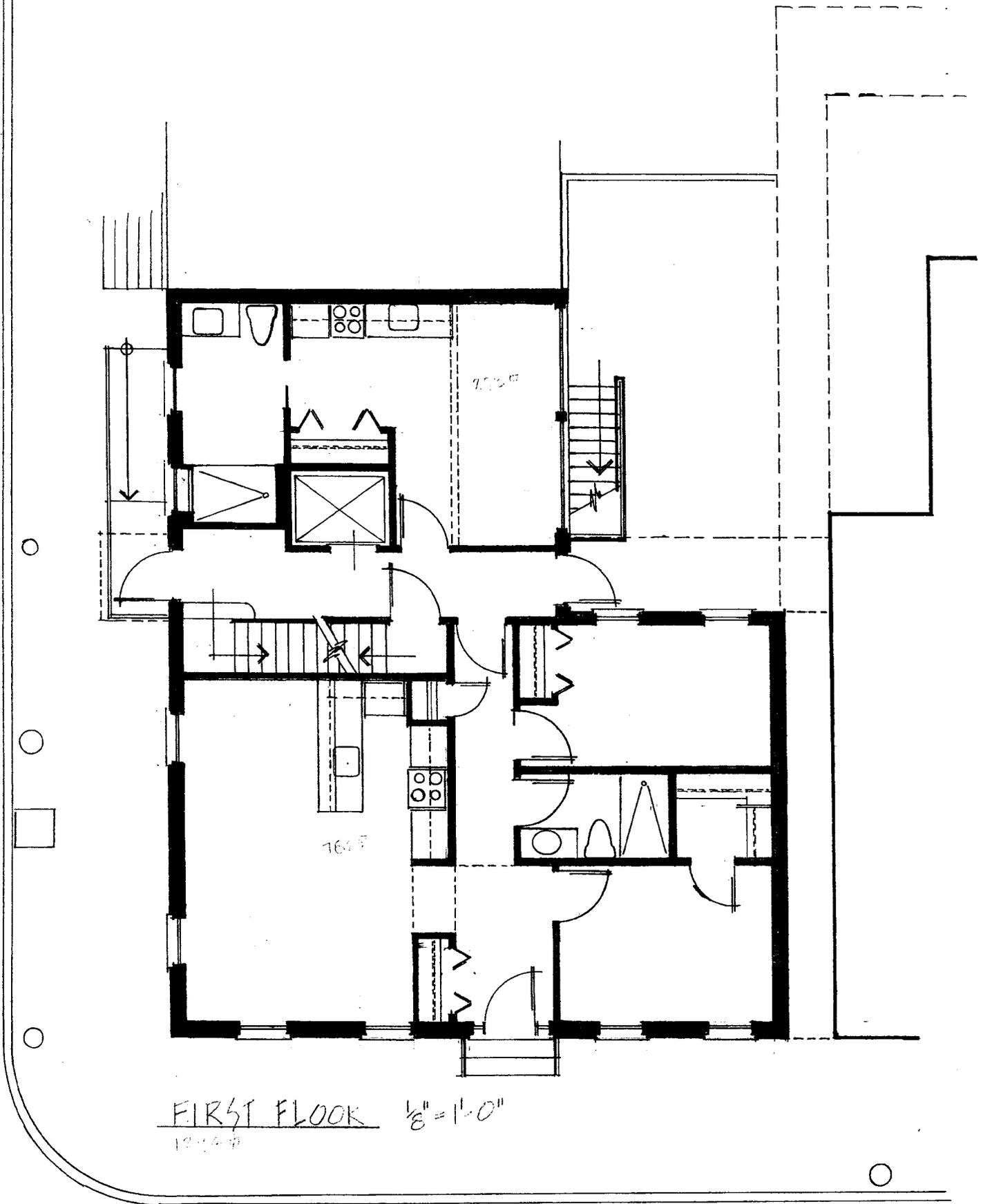
56'
20'
2.76



7.10
6.8
5.4

9/12

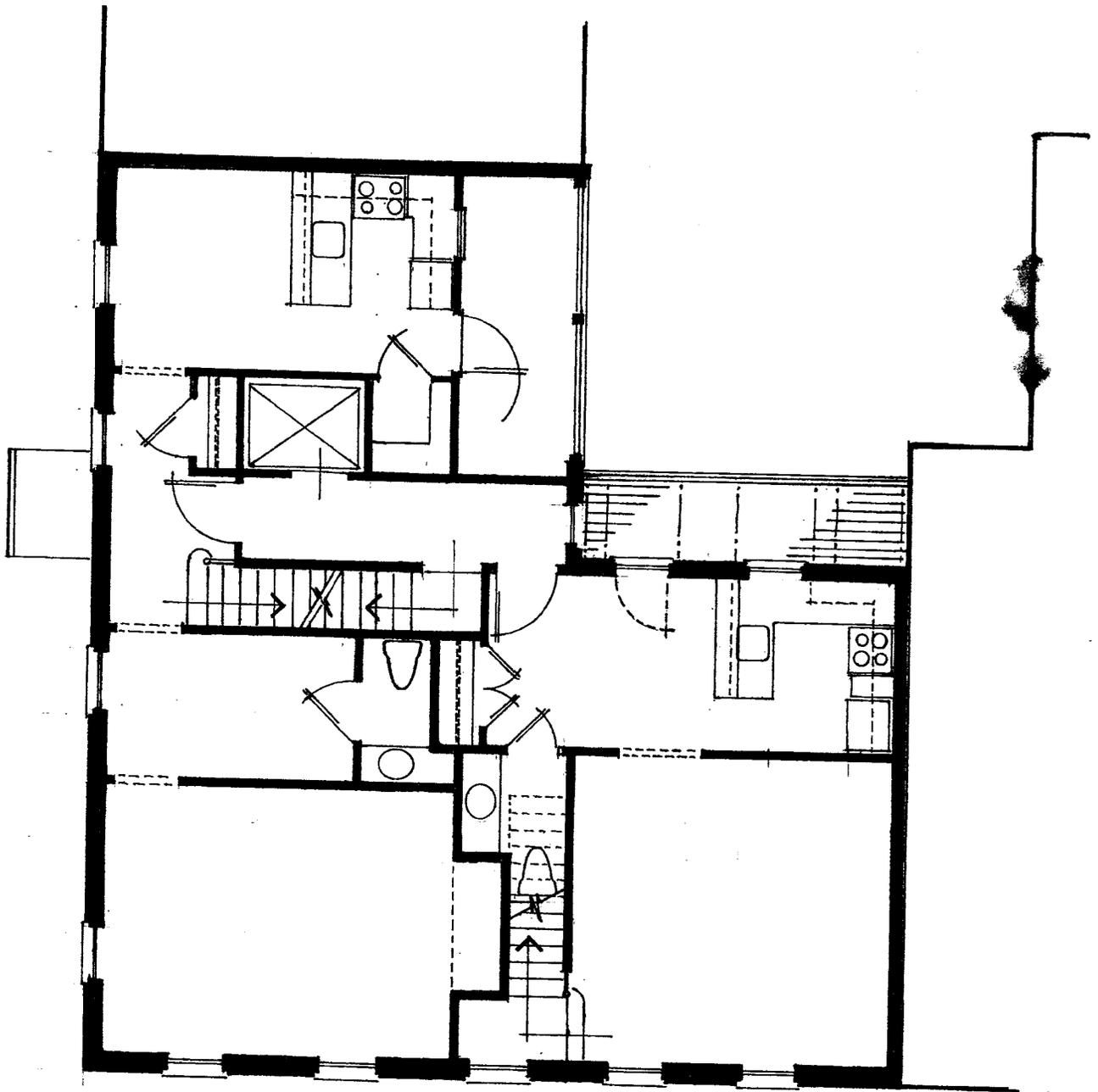
N. TAYLOR



FIRST FLOOR $\frac{1}{8}'' = 1'-0''$
1914-17

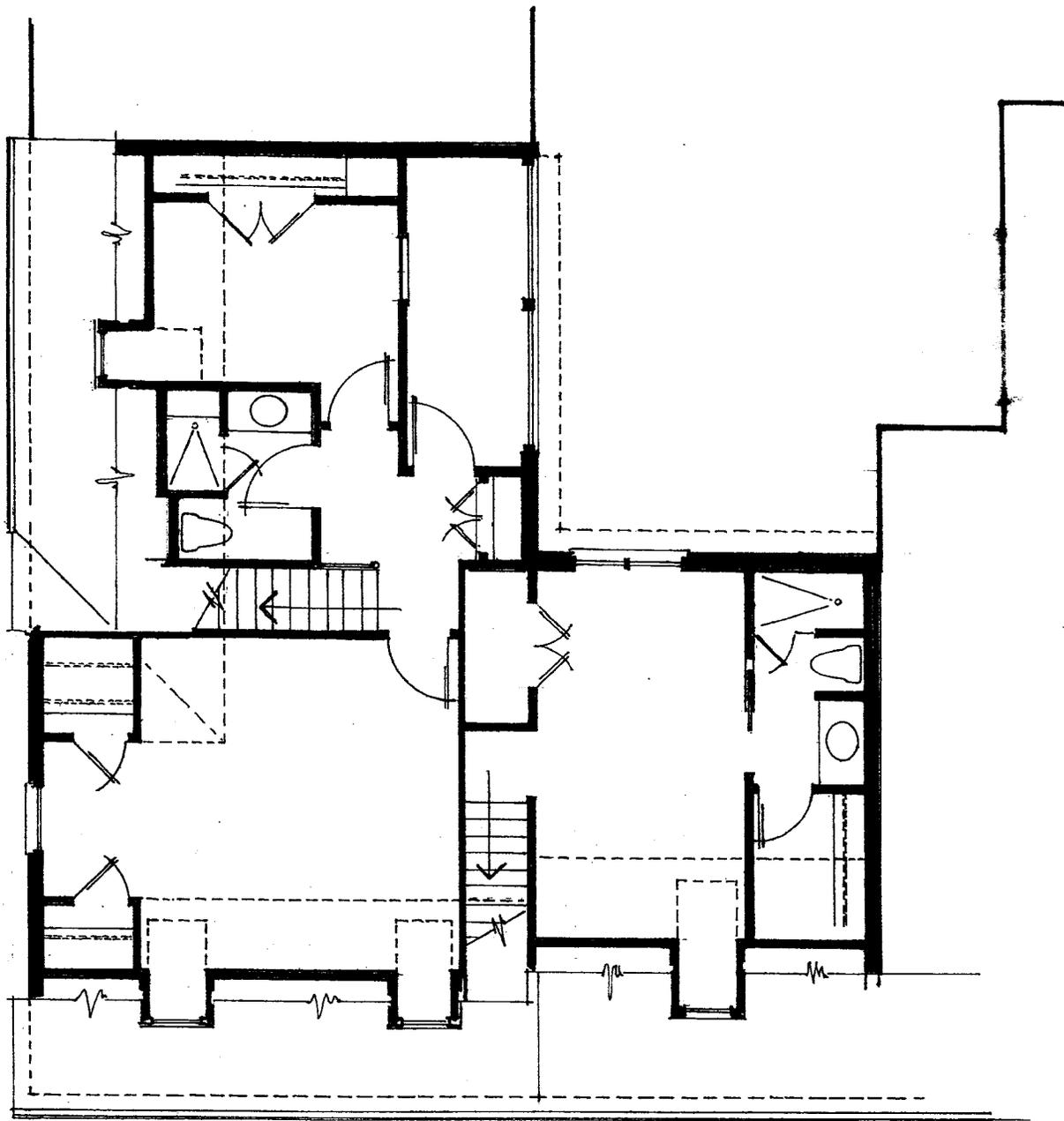
B. VISTA

02.26.12



SECOND FLOOR $\frac{1}{8}'' = 1'-0''$

1/2/77

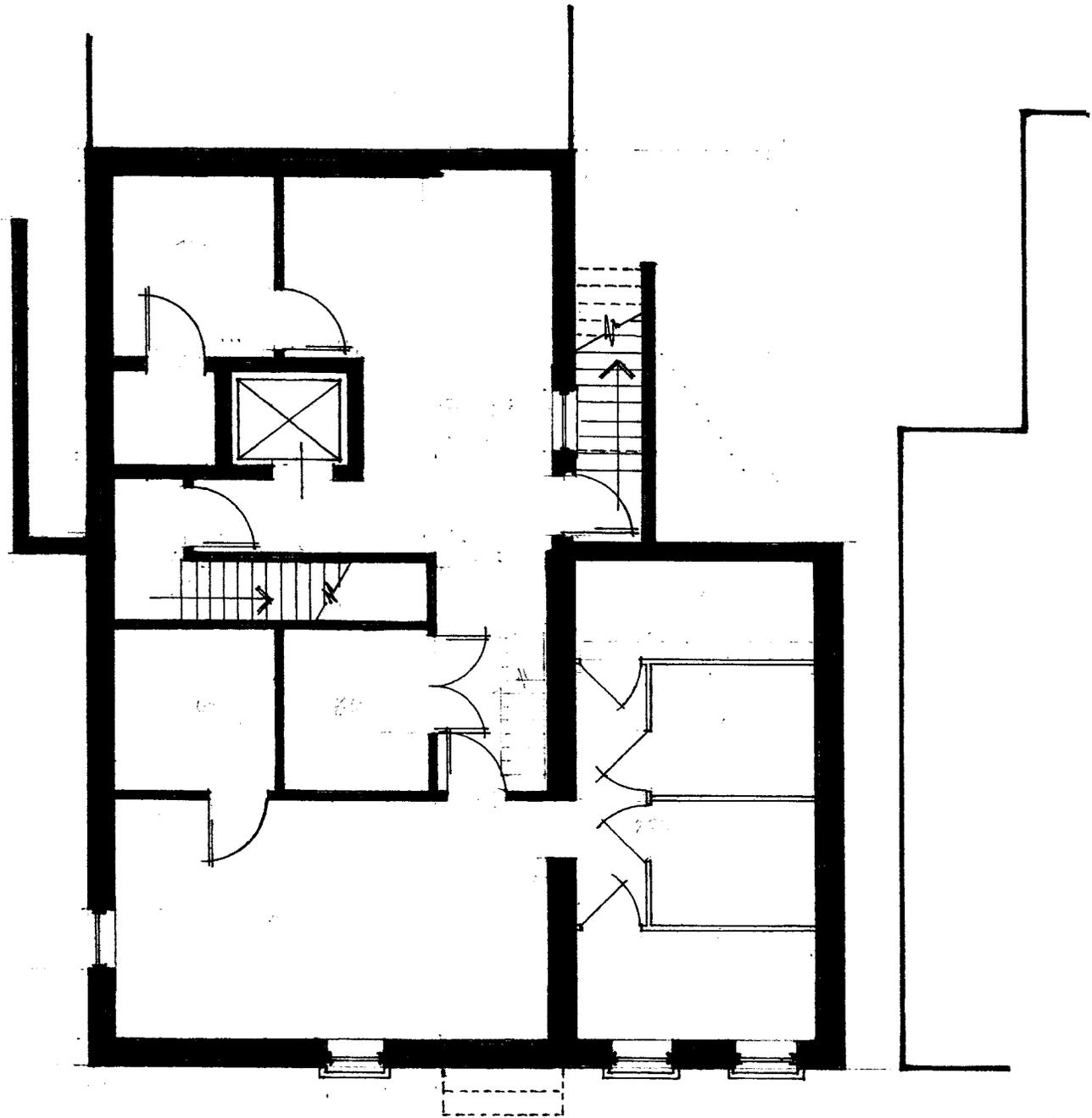


THIRD FLOOR $\frac{1}{8}'' = 1'-0''$

7077

CW

CW

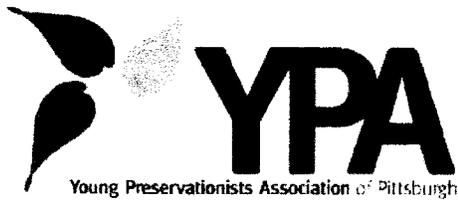


BASEMENT $\frac{1}{8}'' = 1'-0''$

1231

CW

03.06.15



28

OCT 2014

YPA Top Ten 2014 – #2 – Drover's Hotel

Sanjeev Baidyaroy Blog, Board Members, Events, News, Top Ten
0 Comments



The locally known "Drover's Hotel" is located at 1244 Buena Vista Drive in the Central Northside and is included in the Mexican War Streets Historic District. The structure has been unoccupied for multiple years and has fallen into disrepair.

The building first served as a grocery store until the early 1860s. It also served as a beer saloon and boarding house occupied by cattle drovers during and after the Civil War, at a time when Buena Vista Street contained one of the largest stockyards in the Pittsburgh area. Between 1921 and 1944, the building was owned by Northside Progressive Associates, a non-profit housing organization formed by a group of African-American North Side residents. It is one of the oldest buildings in the area, characterised by pre-Civil War aspects. The building sits in a neighborhood that's both a City Historic District and honored by a listing on the National Register of Historic Places, which makes demolition particularly concerning.

Unfortunately, the owners are seriously considering demolishing the building and selling the vacant land to a developer. The building was placed on the Bureau of Building Inspection's demolition list in June. Through the community organizing work of the Mexican War Streets Society (MWSS) they were able to get the building temporarily removed from the demolitions list. The MWSS plans to apply for historic nomination through the Historic Review Commission (HRC) before the next meeting in order to prevent demolition. The Drover's Hotel is scheduled to be on the November 5th HRC agenda.

The purpose of the HRC is to protect and maintain historically and architecturally significant buildings and neighborhoods in the City. The HRC is composed of seven members appointed by the Mayor which must include an architect, a preservationist, a realtor, a building inspector, and a planner. This seven member board will determine the fate of the building at the November 5th HRC meeting. If you are interested in voicing your opinion on the future of this structure, anyone is welcome to attend the meeting located in the First Floor Hearing Room, 200 Ross Street at 12:30pm.

Leave a Reply

1244 Buena Vista St. "The Drover's Hotel"

June 19, 2014

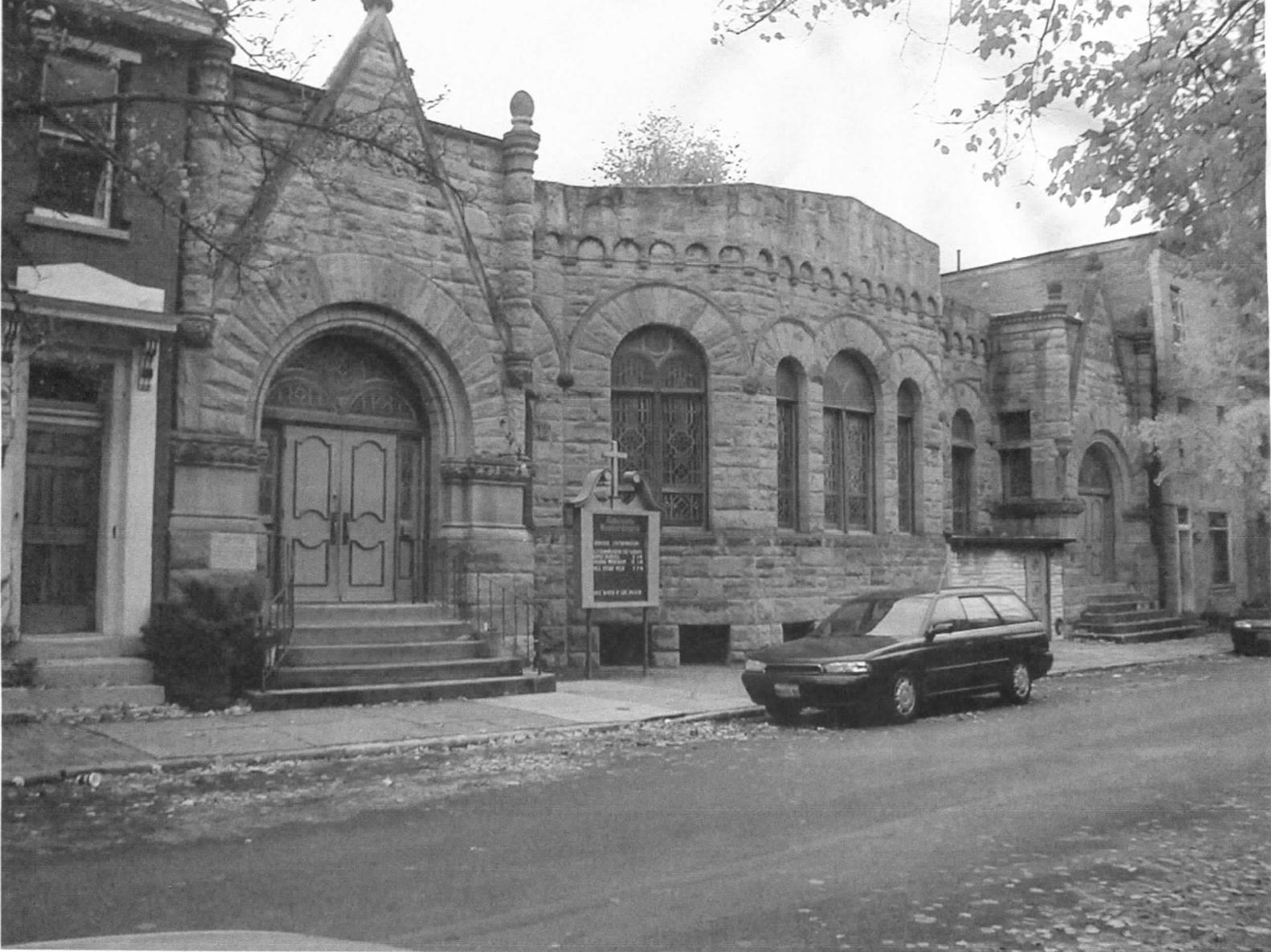
North Siders and preservationists around Pittsburgh were dismayed to learn this week that the Bureau of Building Inspection is asking the Historic Review Commission's permission to demolish this building at Buena Vista Street and North Taylor Avenue on the Mexican War Streets. The building was constructed in about 1858, and is one of the oldest structures on its street. It contained a grocery in the late 1850s and early 1860s. It was a beer saloon and boarding house occupied by cattle drovers during and after the Civil War, at a time when Buena Vista Street contained one of the largest stockyards in the Pittsburgh area. Between 1921 and 1944, the building was owned by North Side Progressive Associates, a non-profit housing organization formed by a group of African-American North Side residents.

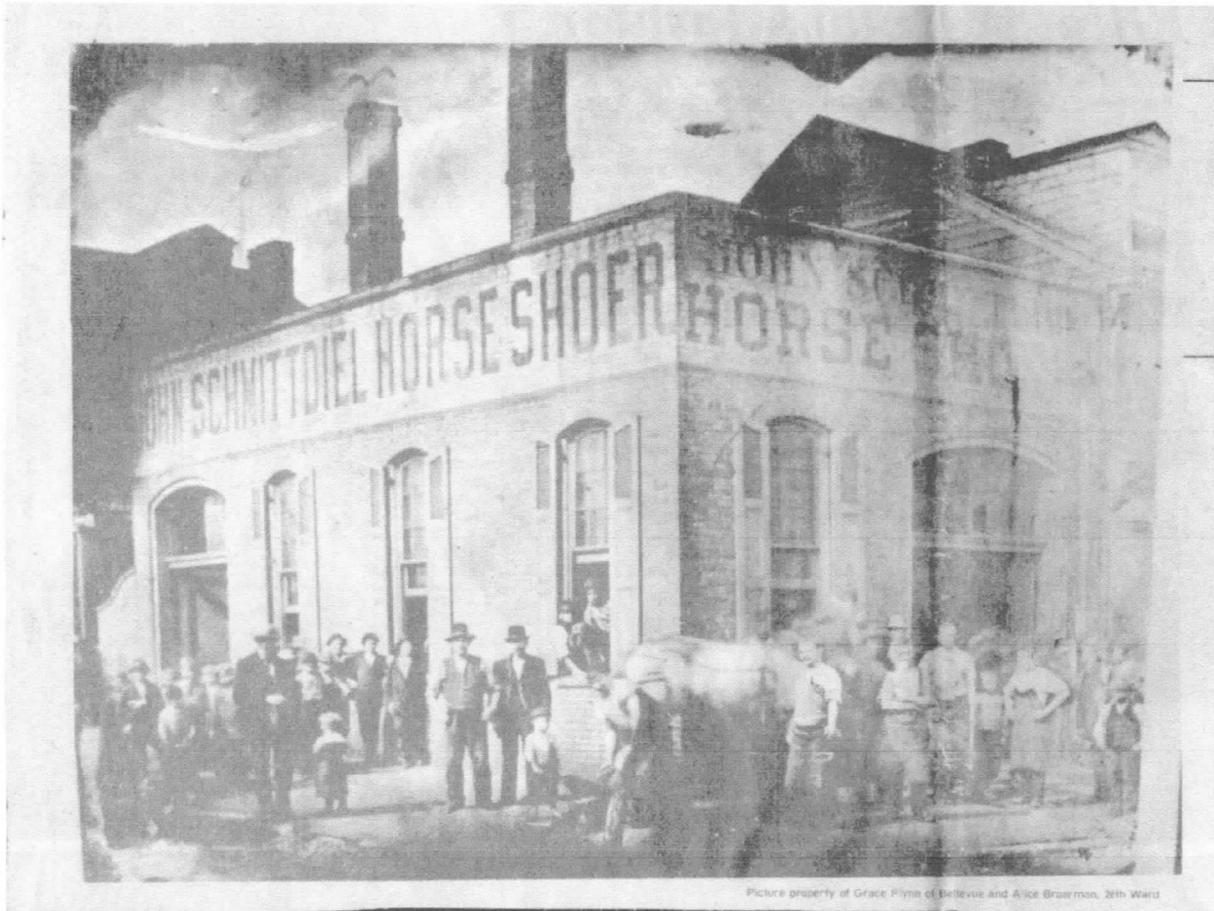
The building has been unoccupied for years, and has clearly deteriorated. But its form and small scale are unmistakably that of a pre-Civil War building, and it retains enough original exterior features that a knowledgeable restoration is completely feasible. And of course, any demolition plan in a city neighborhood that's both a City Historic District and honored by listing on the National Register of Historic Places is troubling- even if not on a corner, like this structure is. I'm glad to learn that residents are concerned about the planned demolition, and hope they're able to prevent it.

- Carol Peterson, Architectural and Community Historian

412-687-0342

cpeterson155@yahoo.com





Schmittdiel Horse Shoer, Middle and Suismon Streets; picture property of Grace Flynn of Bellevue and Alice Broerman, 26th Ward; reprinted from the News Record, 22 August 1978.

Turn right at Suismon Street. At Suismon Street are found Max's Allegheny Tavern * (1889), built as the Farmer's and Drover's Hotel; a Catholic church, Our Lady, Queen of Peace (around 1910); and on the SE corner, a building originally a cigar factory, now converted to medical offices.

Walk west on Suismon Street. On the south side of the street remains a nearly intact block of late-Victorian houses. At 525 Suismon is a new house behind an old façade, a project of the EACC begun in 2001.

Turn right on James Street, heading north. On the left at 907 James Street is a house restored for the EACC by the Pittsburgh Housing Development Corporation (PHDC), a branch of the Urban Redevelopment Authority of Pittsburgh, in 2005. At 921-925 James Street are three new houses in a late-Victorian style, built by a private developer (October Development), designed by architect Bob Baumbach.

Turn left on Tripoli Street, heading west. The houses at 420, 422, and 424 Tripoli Street were restored by the EACC in 2001. The house at 414 Tripoli was restored for the EACC by PHDC in 2005. The house at 413 Tripoli was restored by October Development in 2009.

Turn left on Cedar Avenue, heading south.

Turn left on Suismon Street, heading east. The house at 414 Suismon, at the corner of Moravian way, was built new in 2001 by the EACC, on the foundation of an old

SEARCH



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- News
- For Sale
- Resources

For Sale > Listing > Lantz House

For Sale

- All Properties
- Indianapolis Historic Properties
- Indianapolis - Fall Creek Place
- Indiana (outside Indianapolis)
- Endangered Properties For Sale
- Paid Real Estate Ads

Centerville Lantz House

214 W. Main Street

\$234,500

Contact: Anne Liebert

765-962-1489

anne.liebert@lingle.com

Lantz House, built 1823 – 1835, was home and shop of wagon maker Daniel Lantz. In Centerville Historic District. 5 bedrooms, 6 baths. Attached commercial space (original wagon shop). Restored 20 years ago. Featured on cover of *Midwest Living*. Learn more about the [property](#).



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Indiana Landmarks | 1201 Central Avenue | Indianapolis, IN 46202 | 800-450-4534 | 317-639-4534 | Fax 317-639-6734



















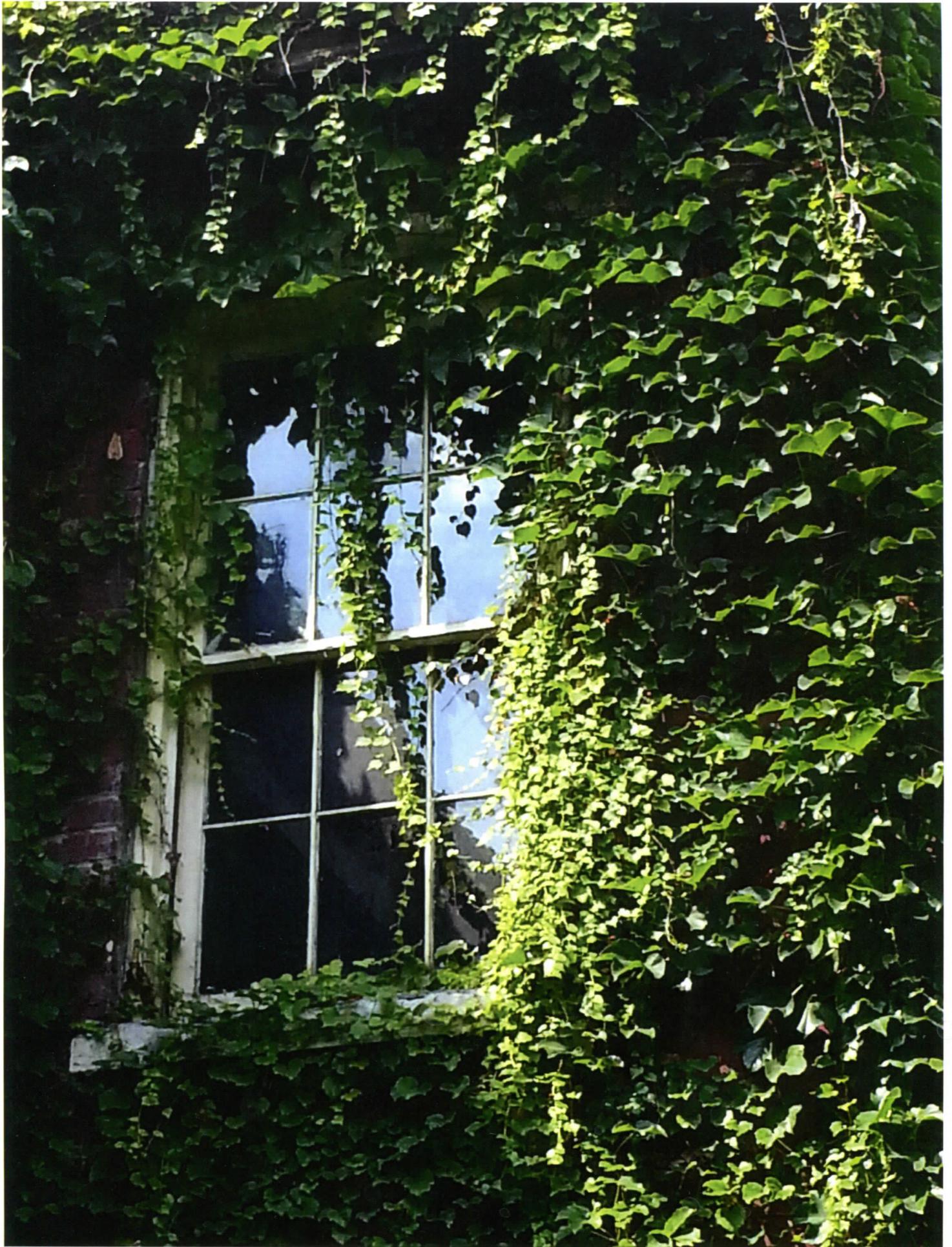
STOP



































Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1014 Murrayhill Ave
Pittsburgh PA 15217

OWNER:

NAME: Larry Wasserman

ADDRESS: 1014 Murrayhill Ave
Pittsburgh PA 15217

PHONE: 412-361-3146

EMAIL: larrywasserman.calk@gmail.com

STAFF USE ONLY:

DATE RECEIVED: 7/1/15

LOT AND BLOCK NUMBER: 85-F-88

WARD: 14th

FEE PAID: yes

DISTRICT:

Squirrel-hill

APPLICANT:

NAME: Same

ADDRESS: _____

PHONE: _____

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

attached

SIGNATURES:

OWNER: [Signature] DATE: July 1 2015

APPLICANT: _____ DATE: _____



1014 Murray Hill Avenue

**Proposed extension of front porch
1014 Murrayhill Ave**

Larry Wasserman
412-361-3146, 412-478-2556
larrywasserman.cool@gmail

June 24 2015

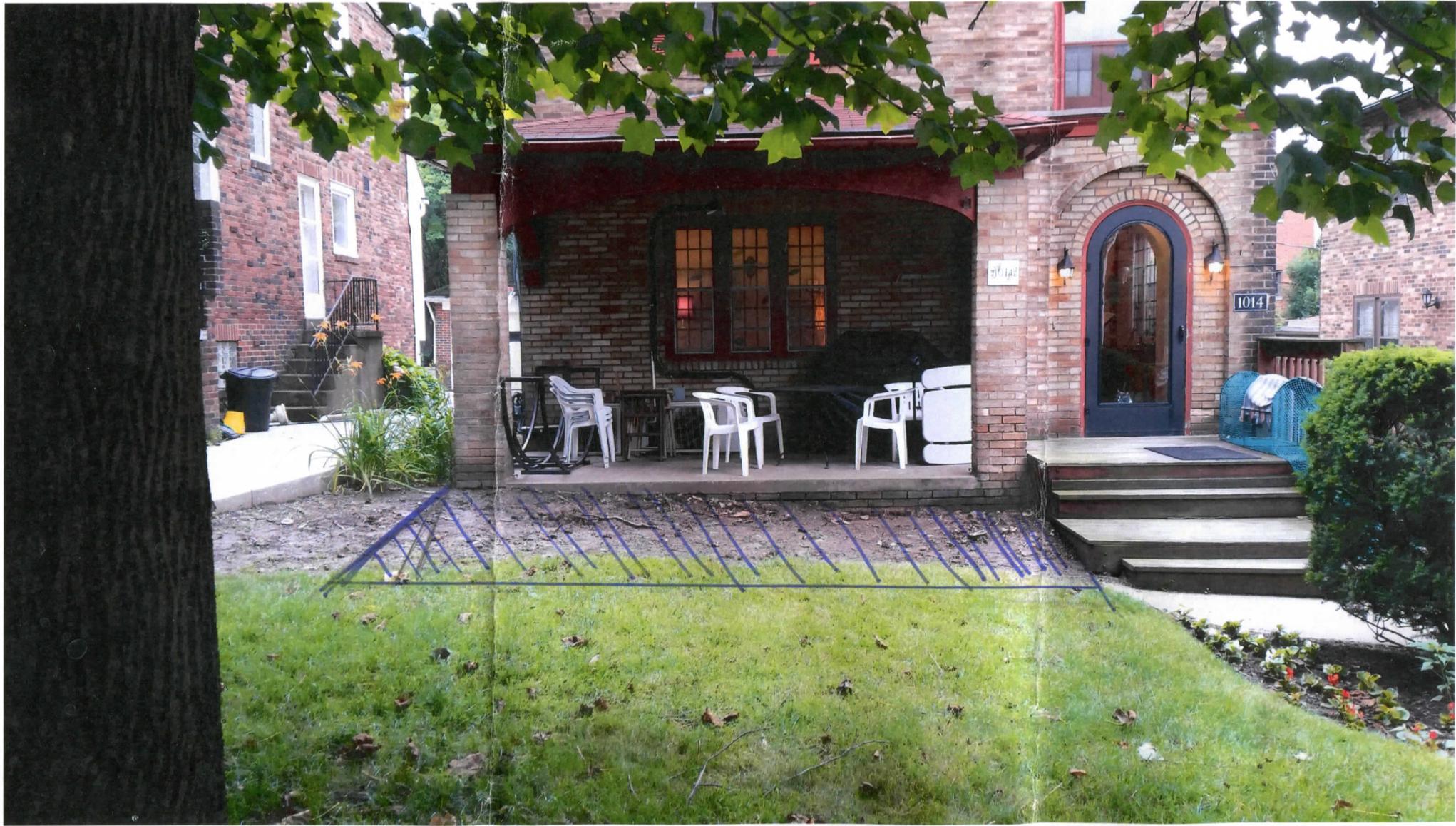
1. The proposal is to extend the front porch (currently 8 feet by 16 feet) by 8 feet. The extended porch will be wood or synthetic material that looks like wood. The structure of the house will be unchanged.
2. Construction details from carpenter:

The proposed 8 feet by 16 feet extension of the existing covered 8 feet by 16 feet concrete porch creates a 16 feet by 16 feet patio, one half of which is covered by the existing porch roof and one half of which will project into the yard toward Murrayhill Avenue. The right side of the patio will blend into a series of steps and landings which create the walkway to the house. The elevation of the front door determines the height of the deck and in this case the size of the joists I can use. The door is about 7 inches above the concrete, which means the largest framing member I can use is a 2 by 6. The typical joist size for a deck of this size would be a 2 by 8. I will have to shorten the spans, decrease the space between joists, and add extra footing in order to use 2 by 6 framing. The grade issue also encourages me to use a 2 by 6. Hence, I have decided to build using 12 inches centers instead of 16 inches centers, with a maximum span of 8 feet. The footings will be 10 inches round concrete piers 36 inches deep. The posts will be 4 inches by 6 inches. All lumber will be pressure treated, all fasteners will be galvanized and rated for pressure treated lumber. I have priced using 5/4 inches by 6 inches pressure treated lumber for the decking. The joists and posts will be #1 and the decking will be rated as premium. If you decide to use a synthetic decking, I can price it out. The side of the walkway along the driveway will have a simple railing similar to the existing.

The extended porch may require a retaining wall to keep the joists out of the dirt. This retaining wall could be a nice design feature, standing in front of the deck and providing some privacy, and could blend into some attractive landscaping. It could also be placed at the edge of the deck and provide the support for the front end of the deck. Whether we need the retaining wall will be determined as construction proceeds.

3. The material will be Trex (www.trex.com) which is a composite material that looks like wood but does not rot. The color will be Madeira (brownish-red).
4. The work will be done by:

Tsagaris Custom Carpentry
711 South Trenton Avenue
Pittsburgh, PA., 15221
PAO50167



(1) Awning on porch over the front door. The awning will be of the type in the attached image.

(2) Stairs at driveway side entrance to the house.

The goal is to provide access to the side door entrance to the house from the garage, or rear of the house. Currently, there is a small 30" by 36" concrete landing, approximately 54 " above the driveway, with a set of concrete steps running toward the front of the house. We plan to leave the existing steps and landing in place, but will remove the black wrought iron railings. We will build a rectangular landing over the existing landing. The new landing will also be approximately 30 inches in width but will grow in length toward the front of the house, to approximately 8" in length. This added length will allow the landing to exceed the concrete steps, which, in turn, will allow us to enclose the concrete steps completely. We will build a second landing, trapezoidal in shape, approximately 6 inches above grade starting at the rear corner of the house and extending along the house toward the front until it extends beneath the bottom of the new stairs. The width of the landing will be approximately 30 inches, the distance from the house to the driveway curb. We will then connect the two with a set of steps. Both the landings and the stair treads will be wood, stained to match the color of the paint on the house.

The railings will be a simple pressure treated railing, similar to the one in the front of the house, using 2"x2" square balusters. Privacy lattice will be installed to enclose concrete stairs and landing similar to the existing lattice on the front porch.



Dome & Shade



HISTORIC REVIEW COMMISSION OF PITTSBURGH
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FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

19 & 21 Oakland Square

Pittsburgh, PA 15213

OWNER:

NAME: Stephen Pellegrino & Mary Shea

ADDRESS: 17 Oakland Square

Pittsburgh, PA 15213

PHONE: 412-400-7316

EMAIL: plasteraccordian@verizon.net

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

Oakland Square Historic District

APPLICANT:

NAME: Nathan Hart, R.A.

ADDRESS: 3729 Parkview Avenue

Pittsburgh, PA 15213

PHONE: 412-726-1941

EMAIL: nhart@hartarc.com

REQUIRED ATTACHMENTS:

Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Restoration of front porches and facades of this duplex structure. Rehab of existing 2-car garage in the rear yard of 19 Oakland Square off of Bolair Way Extension.

SIGNATURES:

OWNER: 

DATE: 7/24/2015

APPLICANT: 

DATE: 7/24/2015



19 & 21
Oakland
Square



Oakland Square

Oakland Square

Oakland Square
Historic District

iCracked

Parkview Park

St George Antiochian
Orthodox Cathedral

Junction Hollow Trail

Boulevard of the Allies

Panther
Hollow

Anderson P

Phipps
Frew

Pa





2014



STREET
CLEANING

PAN





© 2014 Google





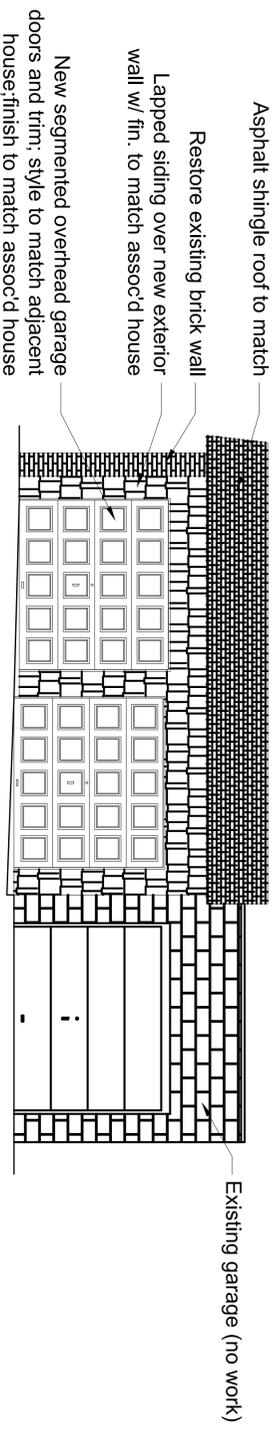
©2014 Google



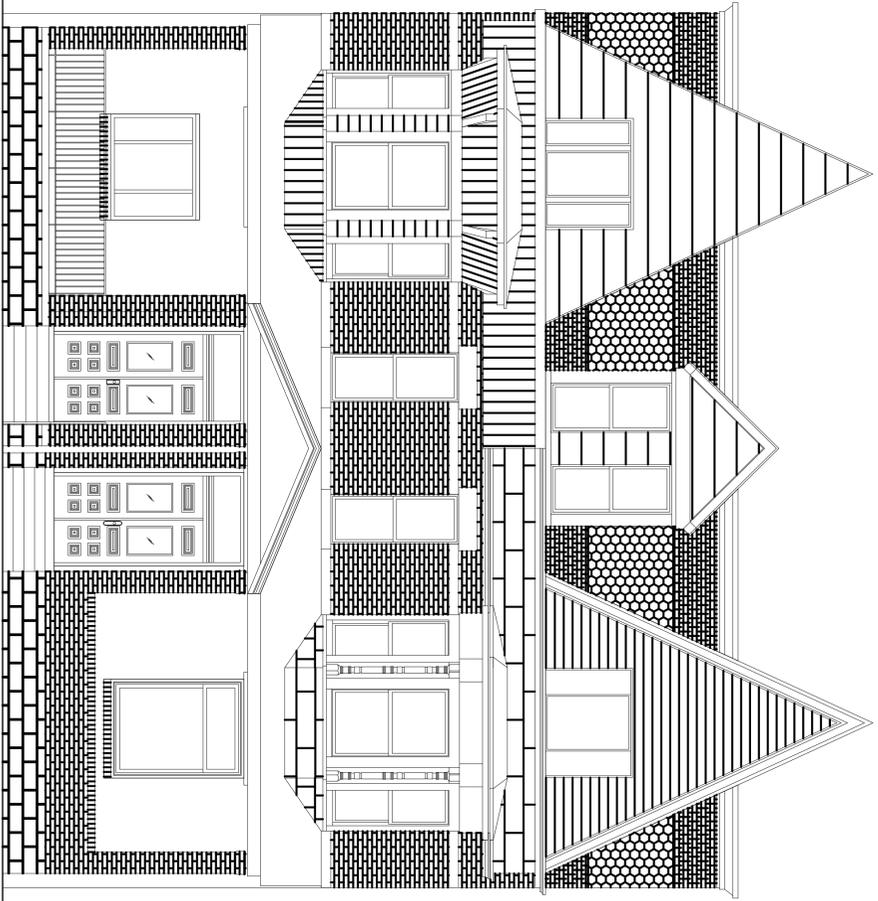
© 2014 Google



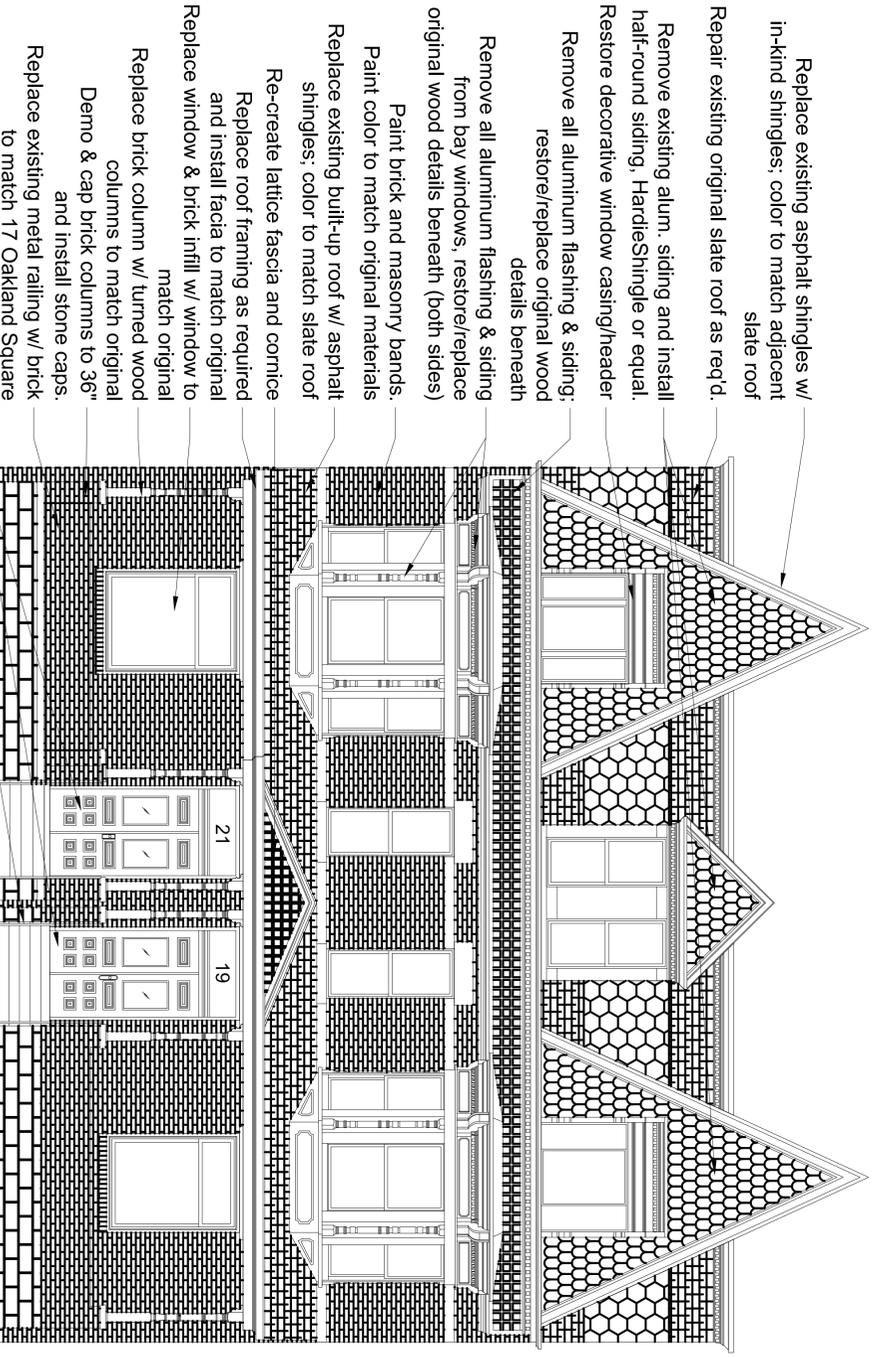
© 2014 Google



3
1/4" = 1'-0"
Proposed Rear Garage Elevation (19 Oakland Square)



2
1/4" = 1'-0"
Existing Front Elevation



1
1/4" = 1'-0"
Proposed Front Elevation

Facade Renovations

19-21 Oakland Square
Pittsburgh, PA 15213

Revisions

Date	7.24.2015
Client	Oakland Square
Project No.	1506.170
Drawing Title	Elevations
Sheet	A1.0



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

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FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

ADDRESS OF PROPERTY:

821 LIBERTY AVE & 212 NINTH ST.
Pittsburgh, PA. 15222

DISTRICT: ORIGINALLY 2ND WARD

currently DISTRICT 6, city of Pittsburgh

OWNER:

CATHOLIC CHARITIES OF THE
 NAME: Diocese of Pittsburgh Inc
Susan Raucher executive Director
 ADDRESS: 212 Ninth St
Pittsburgh, PA. 15222

APPLICANT:

NAI Pittsburgh (PWC)
 NAME: Charles Di Loreto
 ADDRESS: 38 W. MAIN ST
CARNEGIE, PA. 15106

PHONE: 412-456-6998
 EMAIL: srausc@cpgh.org

PHONE: 412-287-1357 c 412-937-19250
 EMAIL: cdiloreto@naipittsburgh.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

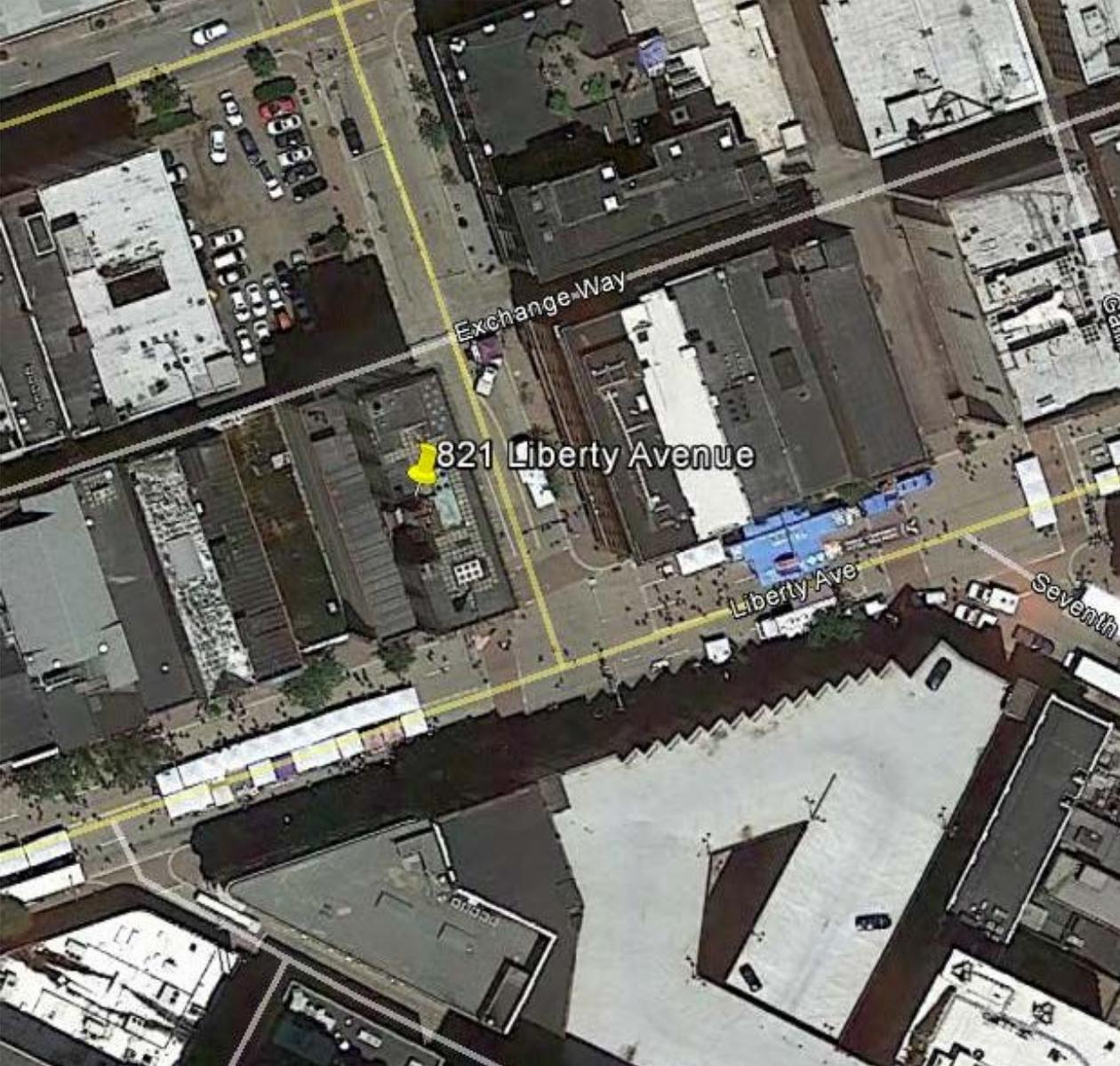
DETAILED DESCRIPTION OF PROPOSED PROJECT:

CITIZENS BANK would like to upgrade the
existing ATM to HANDICAP ACCESSIBLE
REQUIRING MODIFICATIONS TO THE FACADE.

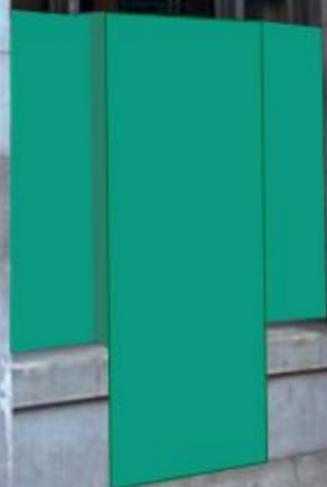
SIGNATURES:

OWNER: _____ DATE: 8-14-15

APPLICANT: Charles Di Loreto DATE: 8-14-15



Bump out that can accommodate a surround



Existing

 Citizens Bank



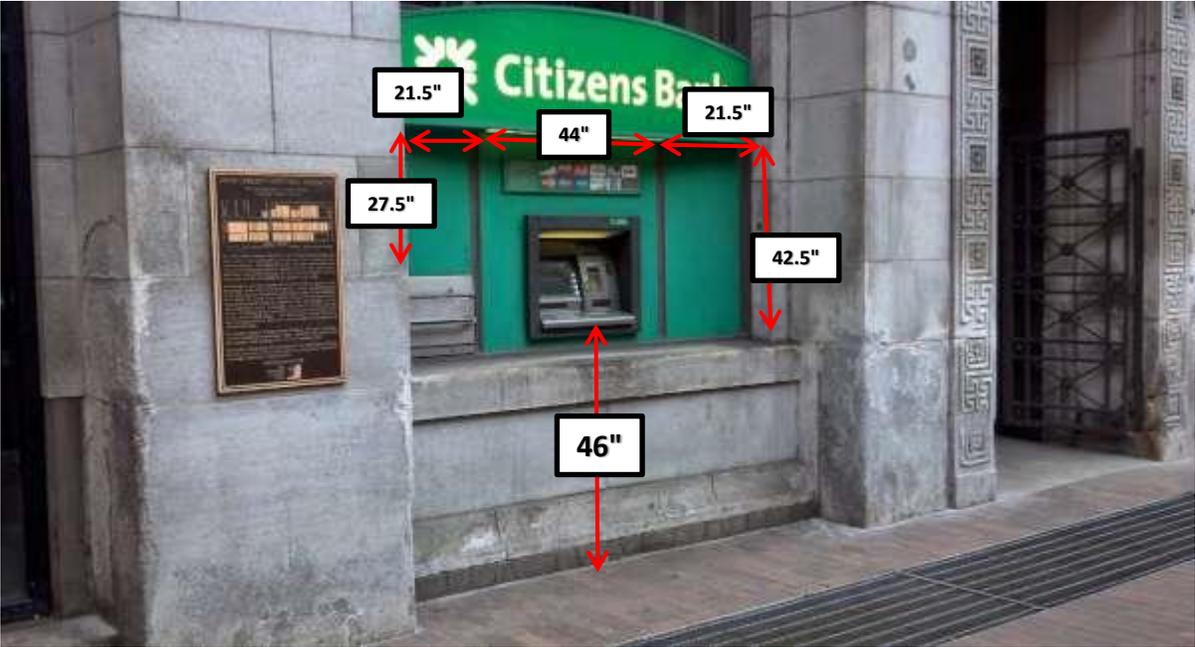
area to be cut out

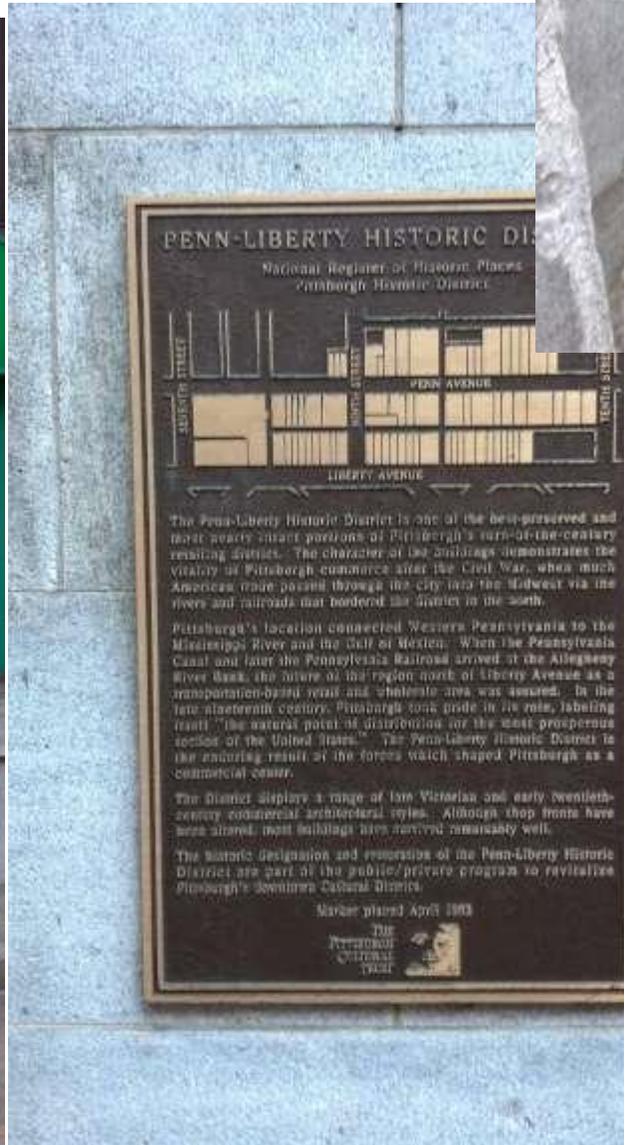
Bump out that will fill in entire area and utilize existing signage

 Citizens Bank



Customer Side Dimensions









3" foot ledge depth





Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

STAFF LEVEL REVIEW and FEES – Project adheres to historic guidelines

Type of Project	Residential Fees	Commercial Fees
In-kind repairs	\$25	\$5 per linear foot of the façade (minimum \$50)
In-kind restoration		
Mechanical and HVAC		
Commercial awnings		
Signage		
Painting	No Fee	

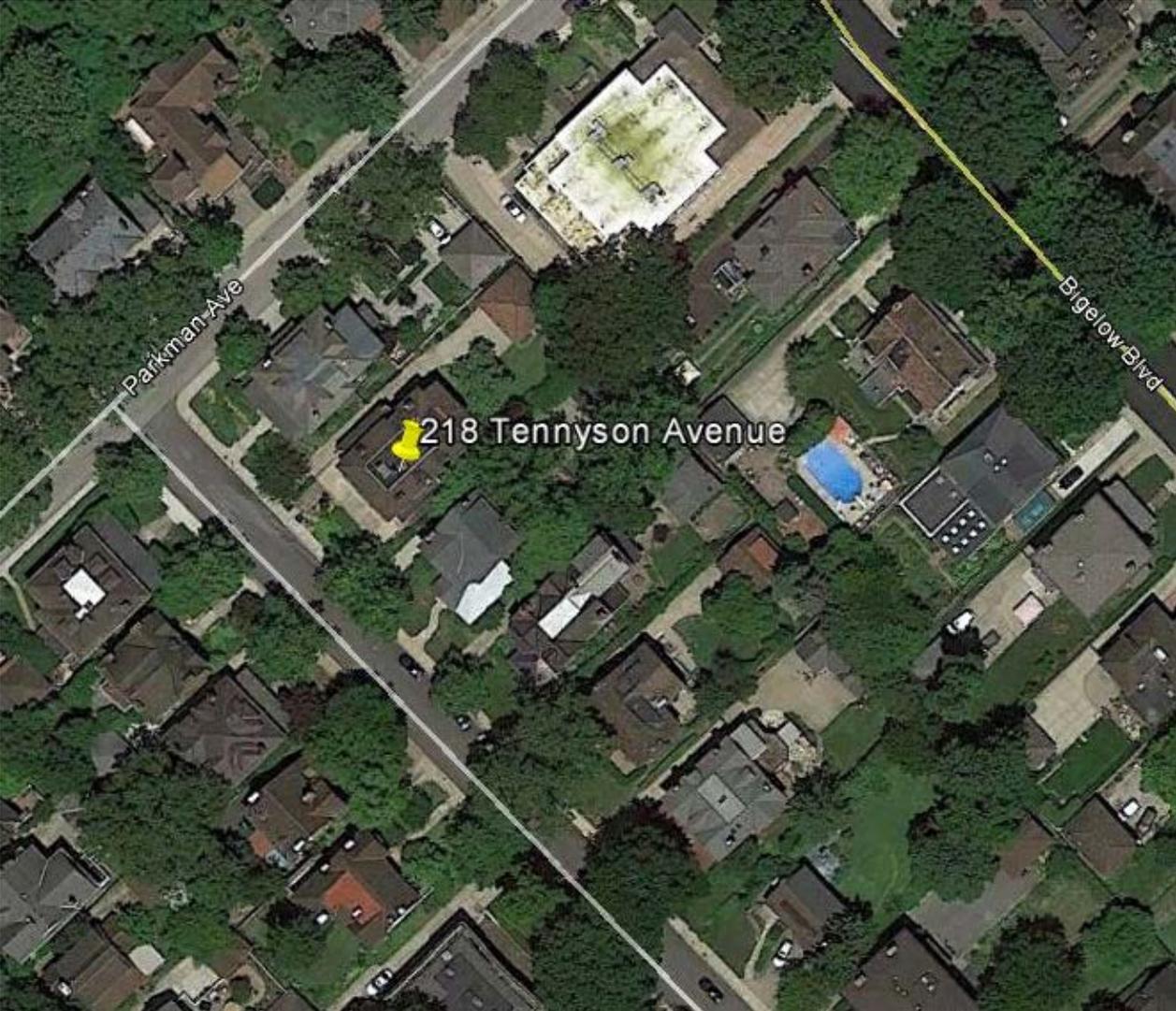
HISTORIC REVIEW COMMISSION LEVEL REVIEW AND FEES – Project does not adhere to historic guidelines and changes in materials

Type of Project	Residential Fees	Commercial Fees
Awnings	\$100	\$10 per linear foot of the façade (minimum \$150)
Fencing		
Painting		
Restoration		
Replacement		
Change in materials		
Change in fenestration		
Mechanical and HVAC		
New construction		
Signage		

****All demolitions and historic nominations require full HRC review. Fees vary for demolitions (\$100 or \$400) and for historic nominations (\$100 or \$250) depending on type.****

* Residential review is for single-family homes, and structures originally built as houses with four units or less. Properties with more than four units and apartment buildings are considered commercial buildings.

* Applicants do not pay for both the Staff Review and the full HRC review for any single project. Fees are non-refundable.



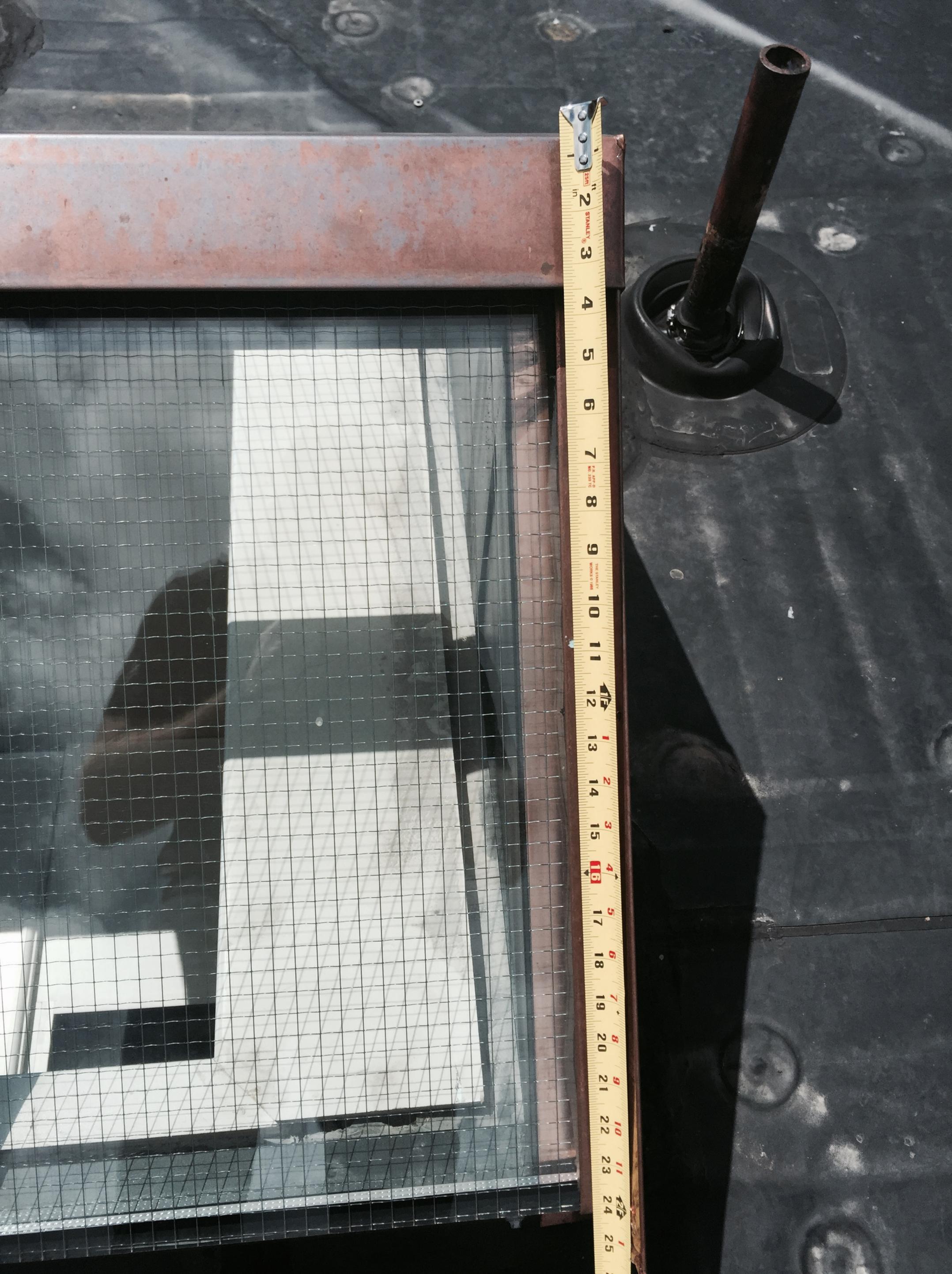












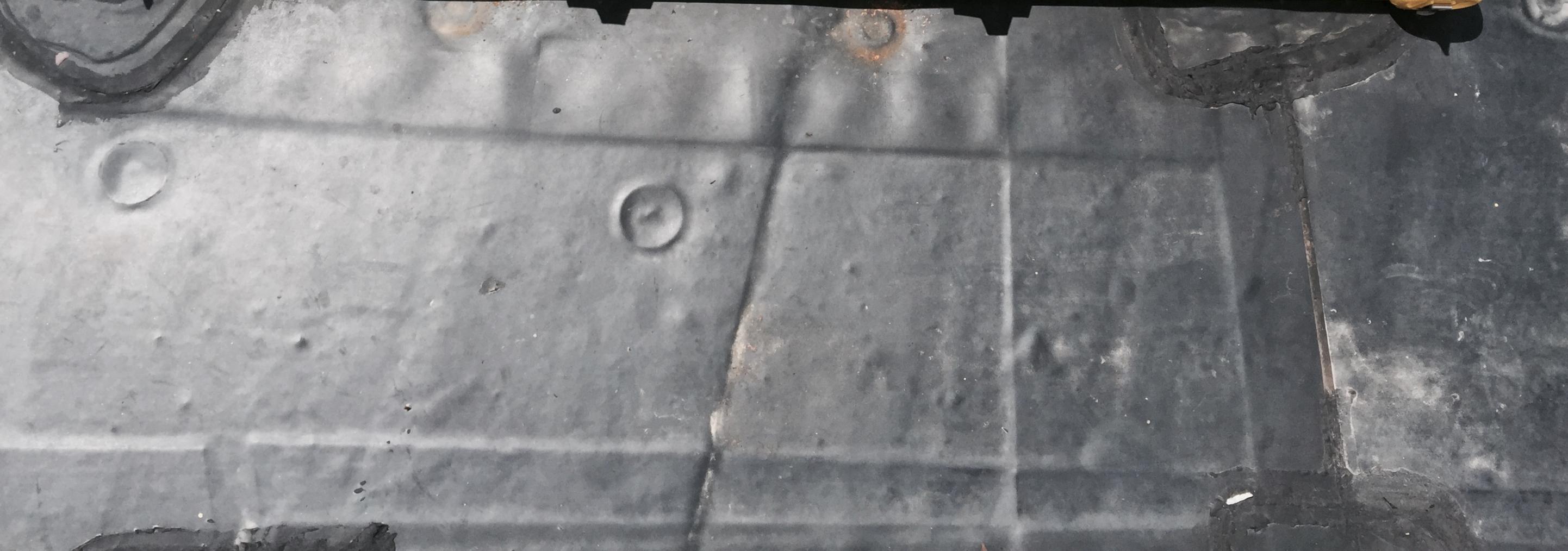




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Division of Development Administration and Review
City of Pittsburgh, Department of City Planning
200 Ross Street, Third Floor
Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1812 East Carson Street
Pittsburgh, PA 15203

OWNER:

NAME: United American Savings Bank
ADDRESS: 1812 East Carson Street
Pittsburgh, PA 15203
PHONE: (412)431-9191
EMAIL: tsmith@uasb.com

STAFF USE ONLY:

DATE RECEIVED: 8/14/15
LOT AND BLOCK NUMBER: 12-E-350
WARD: 17th
FEE PAID: yes
DISTRICT: E Carson St

APPLICANT:

NAME: United American Savings Bank
ADDRESS: 1812 East Carson Street
Pittsburgh, PA 15203
PHONE: (412)431-9191
EMAIL: tsmith@usab.com

REQUIRED ATTACHMENTS:

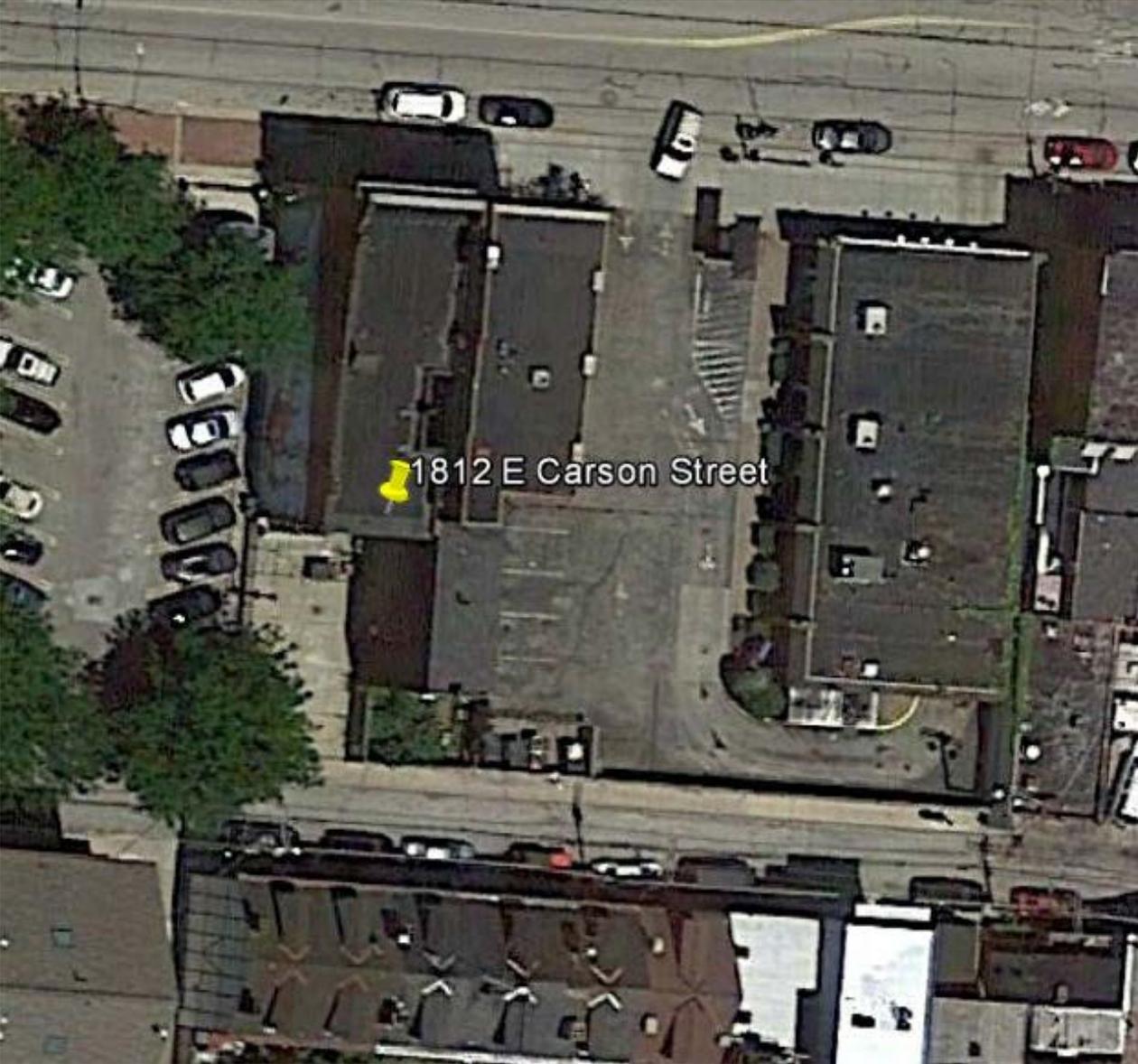
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

See attached

SIGNATURES:

OWNER: [Signature], President CEO DATE: 8-14-2015
APPLICANT: [Signature], President CEO DATE: 8-14-2015



1812 E Carson Street



UNITED AMERICAN SAVINGS BANK

NARRATIVE AND PHOTOS

SEPTEMBER 2015

M A V R O V I C

A R C H I T E C T S

A PROFESSIONAL CORPORATION

THE DESIGN CENTER T 412.687.1500

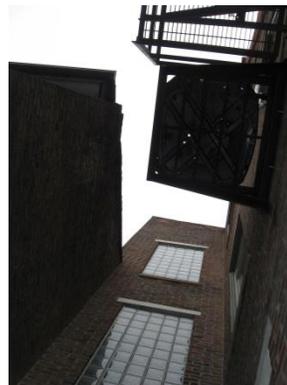
5001 BAUM BOULEVARD F 412.687.7909

PITTSBURGH PA 15213 www.mavrovic.com

The United American Savings Bank has been in operation on the Southside since 1922. The bank's current property at 1812 East Carson Street has been its sole business location since the late 1920's.



In 2010, the commercial multi-story building underwent a large scale renovation, but the attached 2 ½ story, 30' high brick single family dwelling, was not touched. The dwelling and the bank share a brick wall at the back of the bank, however they do not communicate.



The dwelling is located at the rear of the property and is accessible only from Carey Way, an alley parallel to East Carson St with a 24' right-of-way.



The dwelling was occupied at the time of the renovation, but was vacated soon thereafter and has remained vacant since then.



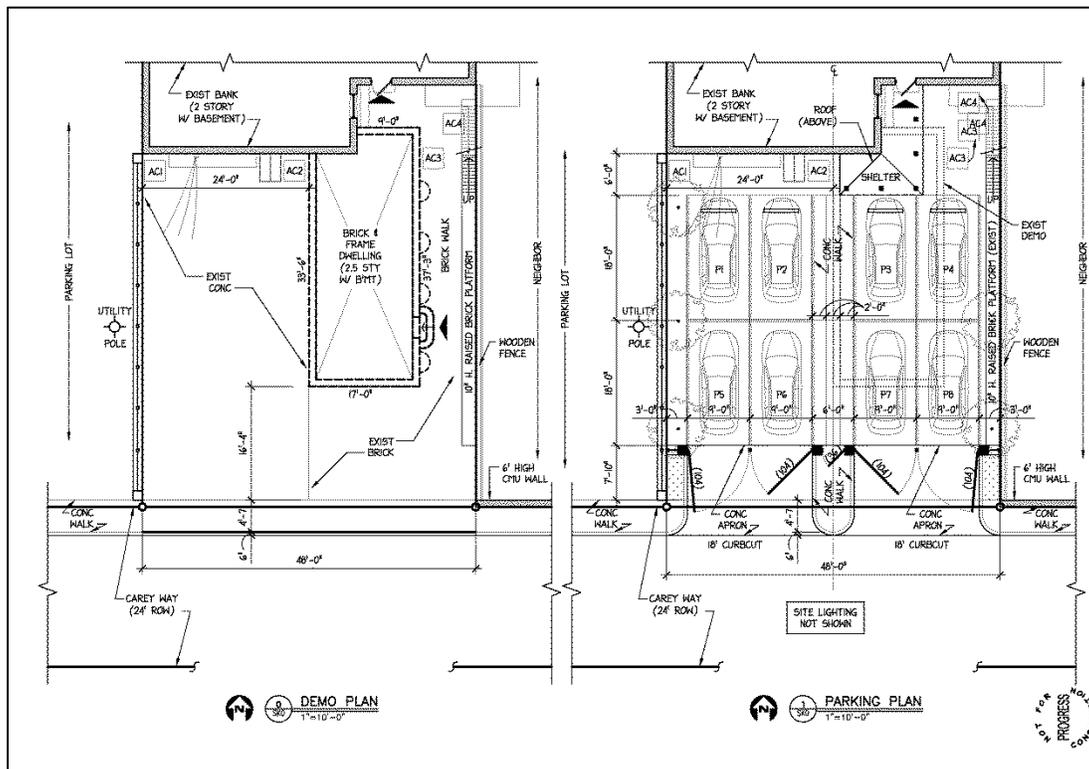
The bank property is flanked to the east by a Burger King with a 10 car parking lot and to the west with a public municipal parking lot that can hold 41 cars.



The bank typically has 17 daily employees and, as you know, finding long term parking on the Southside is a challenge. The bank wants to provide safe and secure parking on-site for their employees. Currently, the bank staff can squeeze out a few on-site parking spaces (4 to 5 max.) adjacent to the brick dwelling. Access to those limited spaces is achieved from Carey Way. The existing on-site parking is cramped, inefficient, unsafe, and unattractive.



The proposed project will demolish the small 560 SF vacant brick dwelling and provide on-site parking for bank employees only. The proposed design will create parking for eight (8) vehicles.



The paved parking area will be safely enclosed with construction that matches that of the elements of the adjacent municipal parking lot: brick piers, aluminum fencing, and safety lighting. There will be a new employee gated, secure entrance from Carey Way with a sidewalk leading to the employee door entrance at the rear of the bank. The parking spaces will be accessed from Carey Way through automatically controlled gates designed to match the aluminum fencing and will be operable by employees only.



The eight parking spaces will be double stacked in four columns to most efficiently utilize the site. The piers, gates, and fencing will be set back from Carey Way so as not to further crowd the alley. Decorative landscaping at the sides and low level decorative safety lighting is proposed as part of the improvements. A small covered porch (open pavilion) is also proposed to give employees an area where they can go outside to enjoy their lunchtime breaks with cover from the elements.



This small site project will be an improvement to the community by opening up the air space at Carey Way, adding landscaping elements to a parcel that is currently barren, and giving secure, off-street parking to bank employees.



APPENDIX

Accompanying this Narrative, you will find a document titled USE ANALYSIS. That document contains maps and illustrations showing the subject property in the context of its Southside neighborhood. The maps and illustrations highlight major and minor streets, large scale and small scale parking, and building usage (business or residential).

That package also contains photos of the gateway points to the 1800 block of Carey Way (at 18th St and at 19th St) showing residential units on the South side of Carey Way and all business properties on the North side of Carey Way.

A list of property owners on the 1800 block of Carey Way is also included for quick reference.

The HRC Design Guidelines for the East Carson St District is part of this package as is the HRC District Map for the 1800 block of East Carson St.

We believe that the spirit of the HRC Design Guidelines has been met with the overall design of this small site improvement project.



UNITED AMERICAN SAVINGS BANK

USE ANALYSIS

SEPTEMBER 2015

M A V R O V I C	
A R C H I T E C T S	
A P R O F E S S I O N A L	C O R P O R A T I O N
THE DESIGN CENTER	T 412.687.1500
5001 BAUM BOULEVARD	F 412.687.7909
PITTSBURGH PA 15213	www.mavrovic.com



MAVROVIC ARCHITECTS PC
5001 BAUM BLVD.
PITTSBURGH, PA 15213
412-687-1500



MAPC #1508

UASB - SITE

UNITED AMERICAN SAVINGS BANK
1812 E. CARSON ST.
PITTSBURGH, PA 15203
412-431-9191



SEPTEMBER 2, 2015



MAVROVIC ARCHITECTS PC
 5001 BAUM BLVD.
 PITTSBURGH, PA 15213
 412-687-1500

VICINITY - GOOGLE

UNITED AMERICAN SAVINGS BANK
 1812 E. CARSON ST.
 PITTSBURGH, PA 15203
 412-431-9191



MAPC #1508

ROADS		PARKING		USE	
	MAJOR STREET		MULTIPLE		BUSINESS
	MINOR WAY		INDIVIDUAL		RESIDENTIAL



SEPTEMBER 2, 2015



MAVROVIC ARCHITECTS PC
 5001 BAUM BLVD.
 PITTSBURGH, PA 15213
 412-687-1500

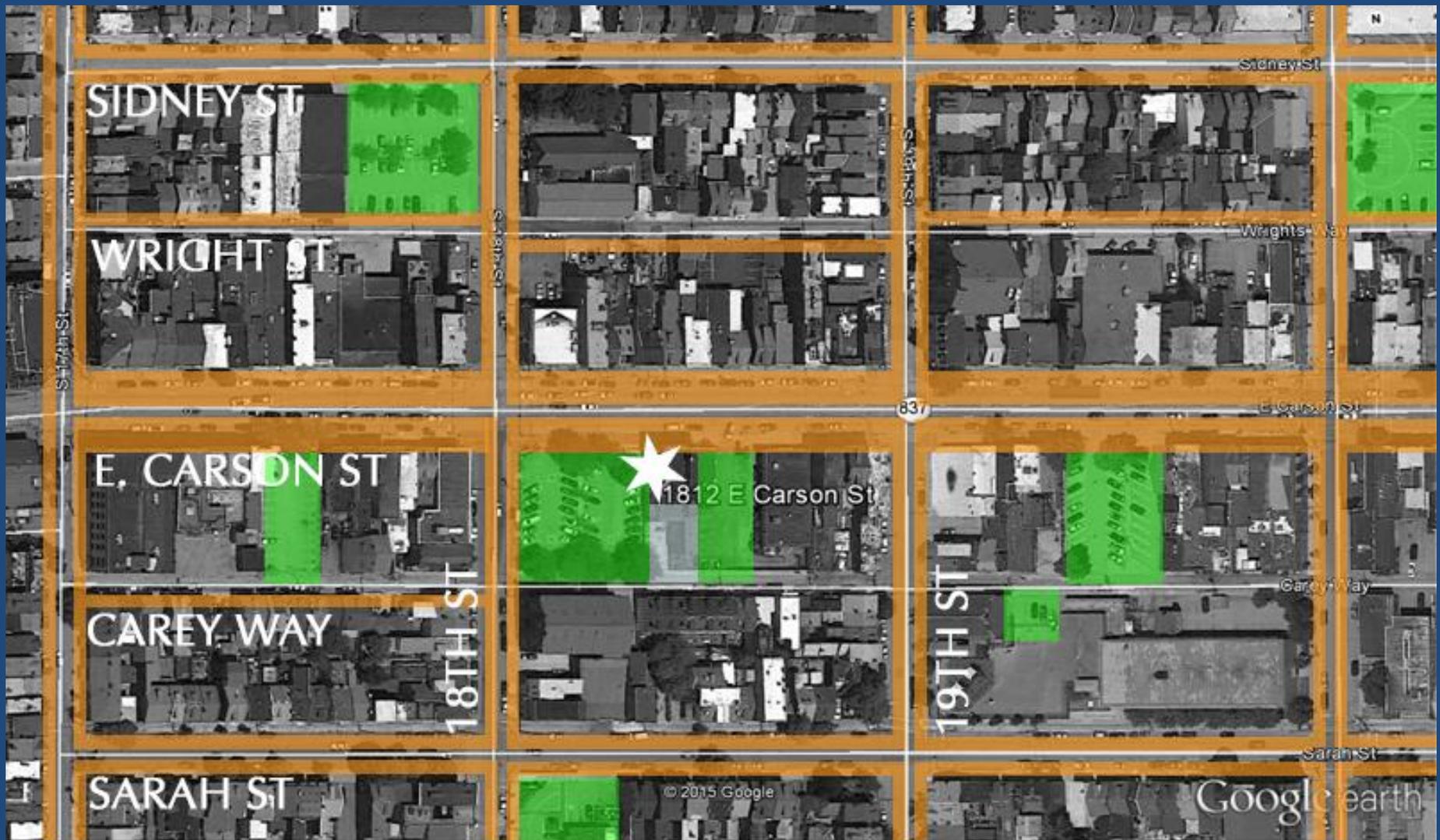
VICINITY - ROADS

UNITED AMERICAN SAVINGS BANK
 1812 E. CARSON ST.
 PITTSBURGH, PA 15203
 412-431-9191



MAPC #1508

- | ROADS | | PARKING | | USE | |
|-------|--------------|---------|------------|-----|-------------|
| | MAJOR STREET | | MULTIPLE | | BUSINESS |
| | MINOR WAY | | INDIVIDUAL | | RESIDENTIAL |



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VICINITY - PARKING

UNITED AMERICAN SAVINGS BANK
 1812 E. CARSON ST.
 PITTSBURGH, PA 15203
 412-431-9191



MAPC #1508

ROADS
 MAJOR STREET
 MINOR WAY

PARKING
 MULTIPLE
 INDIVIDUAL

USE
 BUSINESS
 RESIDENTIAL

3

SEPTEMBER 2, 2015



MAVROVIC ARCHITECTS PC
 5001 BAUM BLVD.
 PITTSBURGH, PA 15213
 412-687-1500

VICINITY - USE

UNITED AMERICAN SAVINGS BANK
 1812 E. CARSON ST.
 PITTSBURGH, PA 15203
 412-431-9191



MAPC #1508

ROADS
 MAJOR STREET
 MINOR WAY

PARKING
 MULTIPLE
 INDIVIDUAL

USE
 BUSINESS
 RESIDENTIAL



SEPTEMBER 2, 2015



MAVROVIC ARCHITECTS PC
 5001 BAUM BLVD.
 PITTSBURGH, PA 15213
 412-687-1500



MAPC #1508

VICINITY - COMBO

- | ROADS | | PARKING | | USE | |
|---|--------------|---|------------|---|-------------|
|  | MAJOR STREET |  | MULTIPLE |  | BUSINESS |
|  | MINOR WAY |  | INDIVIDUAL |  | RESIDENTIAL |

UNITED AMERICAN SAVINGS BANK
 1812 E. CARSON ST.
 PITTSBURGH, PA 15203
 412-431-9191



SEPTEMBER 2, 2015

18TH ST

E. CARSON ST

19TH ST



CAREY WAY

MAVROVIC ARCHITECTS PC
 5001 BAUM BLVD.
 PITTSBURGH, PA 15213
 412-687-1500

COMBO - BLOCK

UNITED AMERICAN SAVINGS BANK
 1812 E. CARSON ST.
 PITTSBURGH, PA 15203
 412-431-9191



MAPC #1508

ROADS
 MAJOR STREET
 MINOR WAY

PARKING
 MULTIPLE
 INDIVIDUAL

USE
 BUSINESS
 RESIDENTIAL

6

SEPTEMBER 2, 2015



FROM 18TH



FROM 19TH

MAVROVIC ARCHITECTS PC
5001 BAUM BLVD.
PITTSBURGH, PA 15213
412-687-1500

CAREY WAY - APPROACH

UNITED AMERICAN SAVINGS BANK
1812 E. CARSON ST.
PITTSBURGH, PA 15203
412-431-9191



MAPC #1508



SEPTEMBER 2, 2015

0012-J-00103-0000-00	CARIK VIRGINIA D & HENRY MICHAEL CARIK	1726 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00094-0000-00	CATANESE JOHN J & DEBORAH H (W)	1727 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00371-0000-00	RISACHER BRIAN	1810 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00371-000A-00	PHILLIPS TODD MICHAEL & MARY ELIZABETH (W)	1812 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00372-0000-00	ROSE JAMES E & THERESA (W)	1814 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00374-0000-00	WISBON IAN WISBON JAMES F II WISBON REBECCA S	1820 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00356-0000-00	GALLAGHER JAMES GALLAGHER JILLIAN	1822 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00376-0000-00	HEALEY MICHAEL F	1824 CAREY WAY	PITTSBURGH - 17TH WARD
0012-K-00099-0000-00	CHAK MILDRED	2008 CAREY WAY	PITTSBURGH - 17TH WARD
0012-K-00097-000A-00	WELSCH GARY G & MARIANNE (W)	2010 CAREY WAY	PITTSBURGH - 17TH WARD

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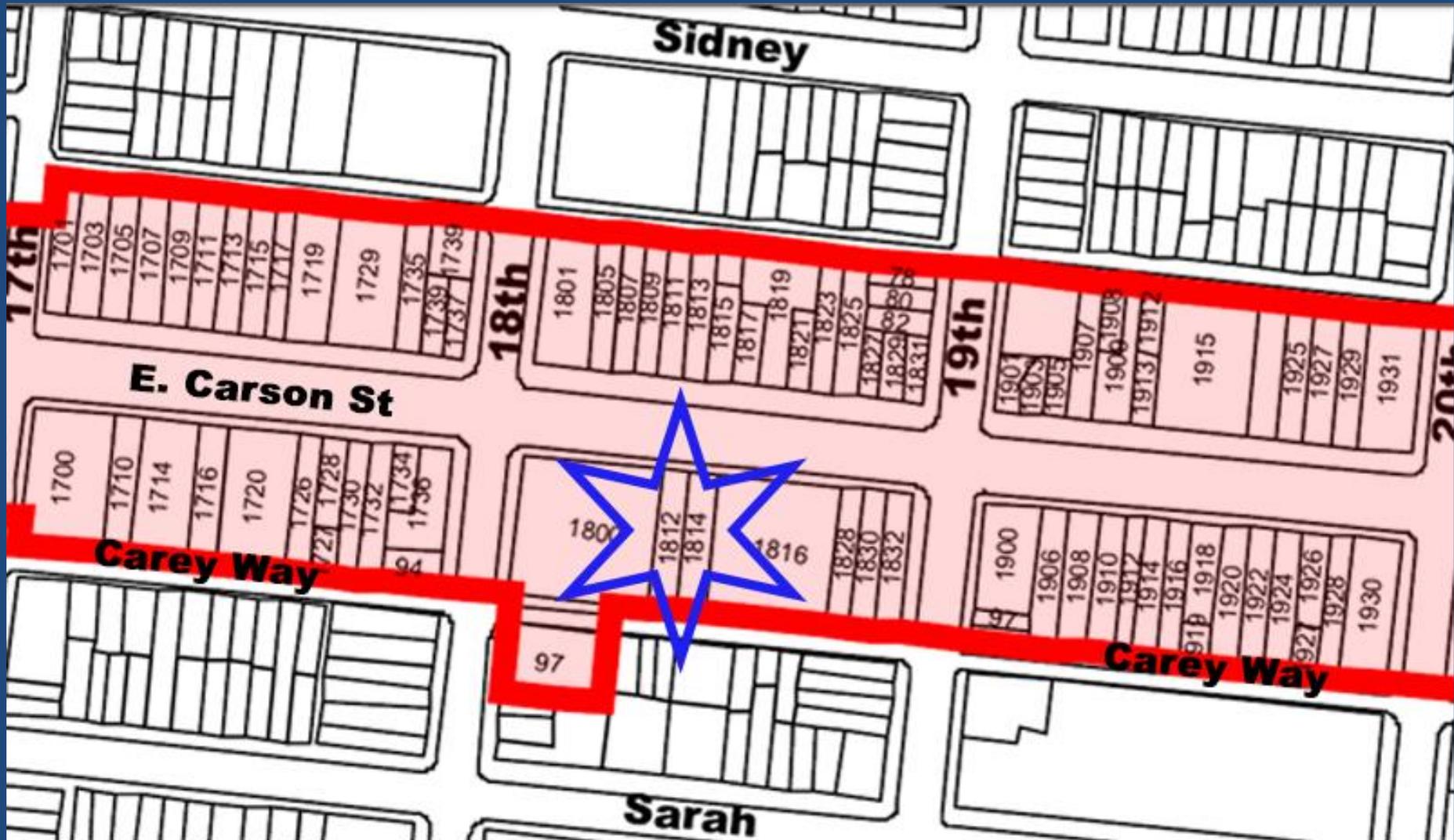
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PROPERTIES ON CAREY WAY

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ECS HISTORIC DISTRICT PARTIAL MAP

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A. Introduction

1. The following draft guidelines were adopted by the HRC after they were submitted to property owners in the proposed East Carson Street Historic District (and to other interested parties), revised in accordance with some of their comments, and discussed at a public hearing on May 14, 1993. They were submitted to City Council and incorporated in the designation of the historic district by Council.

2. The HRC uses guidelines when it reviews the appropriateness of proposed exterior alterations in the historic district, if it is designated. The guidelines can also assist property owners in the formulation of plans for the preservation, rehabilitation, and continued use of historic buildings in the district. They apply to all construction and demolition on the exteriors of all buildings in the district, as well as to all proposed exterior new construction in the district.

3. The East Carson Street Historic District is dominated by traditional commercial buildings from the nineteenth and early twentieth centuries. These buildings are typically two- to four-story masonry structures with a storefront on the first floor, smaller uniformly arranged windows in the upper stories, and a decorative cornice at the roofline. The storefront was usually framed by masonry side walls and an elaborate horizontal cornice or lintel above the storefront windows. The basic principle in the design of the storefront was to make it as transparent as possible by using as large an expanse of glass as possible, including large transom windows over the display windows. Store entrances were usually recessed behind the plane of the facade, and secondary doorways gave access to the upper floors. The lintel or cornice separated the storefront from the simpler upper floors, in which the masonry wall was usually broken only by the windows and their decorative frames (if any). The stylistic character of the building derived only in small part from the design of the storefront itself. Instead, the architectural style manifested itself mostly in the design of the window frames and moldings and of the buildings cornice. Although their sizes and styles may vary, traditional commercial buildings relate visually to each other because they share the characteristics described above.

4. Commercial buildings of a later date were often shorter, one- or two-story buildings with a storefront at the first floor. Although an occasional commercial building of the twentieth century was elaborately decorated, for the most part buildings of that period bore little or no ornamentation. They related to the earlier commercial buildings, when they did so at all, by the expanse of glass that marked their storefronts. Only in recent years have storefronts been closed up and their window areas reduced to any great degree.

DESIGN GUIDELINES: EAST CARSON STREET HISTORIC DISTRICT

Table with 2 columns: Section Name and Page Number. Includes sections A through L and District Map.

ECS HISTORIC DISTRICT DESIGN GUIDELINES



B. Basic Principles

1. The removal or alteration of original building materials or distinctive architectural features should be avoided when possible, especially if they are important in defining the overall historic or visual character of a building. If the materials and features are original and in serviceable repair, they should be kept as is.
2. Deteriorated materials and architectural features should be repaired, rather than replaced, whenever possible.
3. Materials and architectural features that are too deteriorated to repair should be replaced in kind or with a visually compatible substitute material (if replacement in kind is not technically or economically feasible). The appearance of the replacement should match the appearance of the original material or feature.
4. New features that are designed and installed to replace original features that are completely missing should either be an accurate restoration of the original features (based on photographs, drawings, or physical evidence), or new designs that may be contemporary in character and detailing while they are compatible with the scale, material, and color of the historic building.

C. General Guidelines

1. The HRC does not require, initiate, or propose any work on a building. The review process begins only after the owner proposes exterior (not interior) work that is visible from a public street or way.
2. All buildings and structures are products of their own time. Alterations that attempt to make a building look older than it is, or that try to change the architectural style of the building, should be avoided.
3. Later additions to an old building, or non-original facades or storefronts (especially Carrara glass facades), may have gained significance in their own right as examples of an architectural style or evidence of historical changes to the building. If so, these additions or alterations to the original building should be recognized and respected.
4. The surface cleaning of structures should be undertaken with the gentlest means possible. Sandblasting and other abrasive techniques shall not be used to clean the exterior of a building, because they will damage the original building materials.

5. Original openings should not be altered on the principal facade(s) of a building, because enlarging, reducing the size, or eliminating openings can dramatically alter the appearance and character of a building.

6. Original building materials and architectural features should not be covered by other materials.

7. Any non-original material or feature on a building that was in existence at the time of the designation of the historic district may be retained as is, repaired, or replaced to match. The HRC shall not require the removal or alteration of any material or features that existed at the time of designation.

8. The rears of many of the buildings in the proposed district, when they are visible from a street or alley appear to have been altered significantly in order to accommodate changes in the uses of the buildings. If the rear of a building is not basically the original design and materials, then proposals for work on the rear, when visible from a public street or way, should be treated as if they were proposals for work on non-contributing structures (see Section J).

9. Concurrent Review: When an owner intends to make use of Federal or State funds for the construction of a new building or the rehabilitation or alteration of an existing one in a National Register-listed historic district, he or she is required to submit the proposal to the Pennsylvania Bureau for Historic Preservation for review (or the City of Pittsburgh, acting for the State in some cases), in accordance with Section 106 of the National Historic Preservation Act. The Commission shall work with the owner, the Bureau, and the City to ensure that the reviews are concurrent and that the Commission, the Bureau, and the City concur in their approvals.

D. Building Rehabilitation and Alteration

1. Masonry Exteriors: The exterior surfaces of most of the contributing buildings in the district are predominantly masonry (brick and stone), with stone or terra cotta details. If replacement of deteriorated or missing materials is necessary, the replacements should be new or recycled materials that match the appearance of the original as closely as possible (including these characteristics: color, texture, shape, size, placement, detailing, and type of joint). Masonry surfaces should be cleaned, if necessary, by the gentlest means possible (water with detergent, or a mild acid, with low-pressure water wash not to exceed 600 psi); sandblasting and other abrasive cleaning methods shall not be used (except in extraordinary circumstances). Repointing of masonry should be done with a mortar that matches the original as closely as possible in terms of lime and cement content (to avoid damaging the masonry; Portland cement mortars may damage older bricks), color, and type of joint (to match the appearance). Waterproof and water-repellant coatings should not be used on masonry unless there is actual water penetration through the masonry.

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Artificial sidings and stucco (or synthetic stucco) should not be applied over masonry, except on a case-by-case basis when the masonry has been damaged. Unpainted masonry and architectural metals should not be painted.

2. Wood or Siding Exterior: If the facade of a building has wood siding, the wood siding should be repaired or replaced to match. All wooden trim, including window casings, cornices, and brackets, should be retained and repaired, or replaced to match, if necessary. No artificial siding (aluminum or vinyl siding, insulbrick, etc.), shingles, or stucco should be installed over existing wood siding on the front facades of buildings in the district. Aluminum or vinyl siding may be used on the sides and rears of buildings (except the sides of corner buildings).

3. Doors and Windows: The doors and windows of a building are essential elements of the overall design and architectural style of the building. Original door and window openings should not be altered or filled in, particularly on the principal facade(s) of the building. Original doors and windows should be retained and repaired, wherever possible. If they must be replaced, the new ones should match the originals in size, style, and appearance as closely as possible. Wood windows should be used as replacement windows on the front facades of buildings in the district. Aluminum or vinyl replacement windows may be used in the sides and rears of buildings (except in the sides of a corner building); all metal windows should be anodized or painted, and should avoid a metallic "mill" finish. Window glass may be double-glazed, but reflective and opaque glass, and artificial muntin grids, should be avoided. Storm windows should be installed so as to be inconspicuous: colored to match the window frames, sized to fit the openings, and divided like the windows that are being covered. New door and window openings may be installed only on building elevations of limited historic or visual significance.

4. Roofs: The existing roofline and architectural features that give a building its character, such as roof shapes, towers, dormers, cornices, brackets, and chimneys, should be retained. New features, such as vents, skylights, and rooftop utilities, should be placed out of view from the main street. Slate and tile roofs should be retained and maintained wherever possible, especially mansard roofs which, since they are such prominent features, should be repaired or replaced with new slate or artificial slate. Replacement roofing materials should maintain the visual character of the original materials, and should be black or dark gray in most cases. Flat or low-pitched roofs, if they are not visible from the street, shall not be reviewed by the HRC.

5. Ornamentation: Significant architectural and ornamental features should be retained and maintained.

6. Mechanical Systems: Utility and mechanical systems should be placed inconspicuously, and screened if necessary, so that they are not visible on the principal facade(s) of the building as seen from public streets; they should also be screened from residential uses.

Features that must be added to meet safety and code requirements, such as stairs and elevators, should be designed to be as inconspicuous as possible, and should not alter significant architectural features of the building. Features that must be added to make a building accessible to persons with disabilities should be designed and installed without damaging the historic character of the building. The Commission encourages placement of features on secondary facades if placement on primary facades cannot be done without damage to historic fabric.

7. Painting: The HRC urges the use of original color schemes in the painting of wood and metal elements, but will not ordinarily prescribe paint colors. Unpainted masonry and architectural metals should not be painted.

8. Accessories

a. Signs: The HRC will usually approve all signs that conform in size and material to the sign regulations of the Zoning Ordinance. Signs should not be installed in such a way as to obscure architectural features of the building.

b. Awnings: should be sloping and triangular in section, in most cases (arched awnings should be used only over arched openings); they should be made of canvas or canvas-like materials; and they should not be internally-illuminated.

c. Canopies: (supported in whole or in part from the ground) should not be installed over the sidewalks along East Carson Street; applications for the installation of canopies over the sidewalks of side streets shall be reviewed by the Commission on a case-by-case basis.

d. Security devices: should not be installed on the exterior of a storefront (but may be installed on the inside of the storefront windows and doors). Exterior lighting should be mounted in an inconspicuous and non-destructive manner, and screened from adjoining residential uses.

E. Storefronts

1. General guidelines: Original storefront materials and features should not be removed or destroyed, but should be retained and repaired, if possible. If it is impossible to repair them, they should be replaced with the same material or one that matches the original visually. Storefronts should be located within the original (or new) structural "frame" made up of the sidewalls and lintel that spans the storefront opening. The open commercial character of a storefront should be retained, regardless of the use of the building; the storefront should not be closed-up, but other interior devices to ensure privacy may be employed. A lintel, or cornice, should be maintained or provided above the storefront in order to separate it from the upper facade and to provide a signboard for the first-floor use.



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2. Windows: Storefronts should be glazed from the bulkheads under the display windows up to the lintels or cornices over the storefront, including the transom windows over the display windows. Reflective, opaque, or tinted glass should not be used in the storefront, with the exception that opaque glass may be used in transom windows above the display windows.

3. Doors: The main entry door into a commercial space should be a traditional wood-and-glass door (especially if an original or new wooden storefront exists), or a simple metal-and-glass door; in either case, the door should be commercial in character and have a large panel of clear glass. Secondary doors, including doors that give access to the upper floors, should be either paneled wood or wood-and-glass doors, but not solid metal doors (solid metal doors may be used at the rears of buildings). "Natural" mill-finish metal doors, or pseudo-historical doors, should not be used.

4. Materials: Storefronts should be constructed of high-quality, durable materials, similar in type and scale to traditional materials, such as wood, cast iron, structural metal, and glass. Brick may be used, but only if appropriate to the design of the building and only in narrow piers. Corrugated metal panels, aluminum or vinyl siding, synthetic stucco, plywood siding, and concrete block should not be used in storefronts. Storefronts should also not be decorated with half-timbering, shingles, pent roofs, or other pseudo-historical materials or treatments.

F. New Construction

1. The general aim of the guidelines for new construction is to encourage the visual compatibility of new construction with the character and quality of the nineteenth- and early twentieth-century buildings that give the district its historic architectural significance and visual character. This does not require, although it also does not forbid, replication of the styles of the existing buildings in the district. The review of the design of a new structure will take into account the immediate context of the buildings that surround it, as well as the historic and architectural character of the district as a whole.

2. Materials: Materials should be of a similar color, texture, and scale to building materials in the district's contributing buildings.

3. Scale, Massing, Rhythm, and Siting: The scale, massing, and rhythm of a new building and its individual elements (e.g., windows, doors, roof, and ornamentation) should be compatible with the forms found among the contributing buildings in the district. The ratio of wall surface to openings, and the proportions and direction of the door and window openings, should be consistent with those of the contributing buildings. Glass curtain walls and horizontal strip windows along the principal facades should be avoided, as well as large, flat wall surfaces unbroken by openings, setbacks, or moldings.

4. Detailing: The detailing of new buildings should correspond to the kinds of detailing found on contributing buildings in the district. This does not require replication of the degree of ornamentation found in those buildings but should generally include the following: a cornice or other definition of the roofline; a distinctive storefront or main door surround; window sills and lintels, or other distinctive detailing at the openings; and ornamental features such as moldings.

5. Accessories: The HRC will usually approve all signs for new buildings that conform in size and material to the sign regulations of the Zoning Ordinance. Awnings on new buildings should be sloping and triangular in section, in most cases (although arched windows should have rounded awnings); they should be made of canvas or canvas-like materials; and they should not be internally illuminated. Security devices should not be installed on the exterior of a storefront (but may be installed on the inside of the storefront windows and doors). Exterior lighting should be mounted in an inconspicuous and non-destructive manner, and screened from adjoining residential uses.

6. Roofing Elements: Structures on the roofs of new buildings, such as elevator or other mechanical housings or devices, vents, utilities, and skylights, should be designed so that they are inconspicuous from the public streets.

G. Additions

1. In general, additions should follow the guidelines for compatibility of new construction.
2. The design of an addition should respond specifically to the architecture of the building to which it is being added. It should be sympathetic to and compatible with the appearance of the original building, but this does not mean that the addition needs to replicate the design of the existing building.
3. An addition should be designed so that it is secondary to the existing building, and does not "overpower" it visually. It should not be located on the principal facade(s) of the building.
4. The connection of the addition to the original building should be designed so that it does not detract from either structure. Significant architectural features of the original building should not be destroyed, removed, or obscured by the addition.
5. Additions to the roof of a building (such as additional floors, elevator housings, decks, terraces, dormers, and skylights) should be designed so that they are inconspicuous from the public streets and do not damage or obscure character-defining elements of the building.

H. Demolitions

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1. The HRC shall take all of the following factors into consideration when it considers a proposal for the demolition of a structure in the historic district:

- a. the historic or architectural significance of the structure;
- b. the contribution of the structure to the character of the district;
- c. the structural condition of the building;
- d. the feasibility of renovation and continued use of the building;
- e. the character of the new construction proposed to replace the demolished structure;
- f. the ability of the owner to obtain a reasonable economic return from the use of all or part of the building (if a profit-making venture) or the marketability of the building to another individual or organization;
- g. the ability of the owner to use the structure in a manner compatible with its organizational purposes (if a non-profit organization or corporation) or the marketability of the building to another individual or organization.

2. The Commission shall allow the demolition of an inappropriate addition to a contributing structure in the district.

3. The Commission shall allow the demolition of a non-significant portion of a contributing building, as long as the demolition does not adversely affect significant elements of the building.

4. The Commission shall allow the demolition of a non-contributing structure in the district, as long as the demolition does not adversely affect the character of the district as a whole.

I. Site Improvements and Alterations

1. The HRC will review all construction on building lots within the historic district that are visible from a public street or way. This shall include paving, light standards, walls, fences, and landscaping.
2. Parking lots should be sufficiently screened by structures, screening, or landscaping to minimize the view of the lots and the cars stored there.

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3. Significant existing site features, such as steps, walks, and fences, which contribute to the character of the property, should be retained and maintained.

4. New site features should either replicate the original features or be compatible in design.

5. New chain-link fences may only be installed when they will be minimally visible along secondary views or facades. They should not be installed along principal facades or views.

J. Non-Contributing Buildings

1. Additions and alterations to, and rehabilitation of, non-contributing buildings in the district should either be compatible with the style and character of each building, or cause the building to become more compatible with the district.

2. The HRC shall not require that alterations to non-contributing buildings be made so as to make the buildings appear to be older than they are, or designed in a different style.

3. The HRC shall allow the demolition of non-contributing buildings in the district if the demolition will not adversely affect the character of the district.

K. Review Procedures

1. The HRC shall authorize its staff to review and approve all applications to repair or replace exterior building elements to match existing elements and designs, all applications that meet the guidelines for exterior rehabilitations and alterations as described above, and all applications to restore the exterior of a building to a documented original condition. The staff shall conduct its review and issue its approval or rejection of the application within ten (10) days of receipt of the completed application.

2. The HRC shall review all applications for new construction and additions, for demolitions, for major alterations to existing buildings, and for changes in materials. The Commission shall review each application and vote to approve or deny the application within sixty (60) days following receipt of the application. In the case of major new construction projects, the Commission shall review the conceptual or schematic design of the project and vote to approve or deny the design within sixty (60) days following receipt of the application, but it shall also review the details of the project and vote to approve or deny the details of the design at a later date, according to the schedule of the applicant. The applicant may choose to present such a proposal for a single review by the Commission.

3. The time limit for consideration of an application may be extended with the consent of the applicant.

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919.04A General

(A.1) Purpose. The purpose of these special provisions is to provide control over signage in commercial areas of the City which includes uses which are within and adjacent to residential neighborhoods, where such uses are physically oriented toward pedestrian traffic rather than vehicular traffic, and where the existing general provisions regulating signage allow types and sizes of signs which are not appropriate to these types of districts.

(A.2) Application. These regulations shall apply only to those areas specifically listed hereunder, and shall be used in addition to the general provisions for signs found above. Where differences occur between the provisions of Section 919.04 and those found elsewhere in this Chapter, the provisions of this section shall apply. In the Neighborhood Business Sign Districts, there shall be applied the regulations prescribed in this chapter and the qualifying regulations prescribed in other chapters specifically referred to in the following sections of this chapter.

(A.3) District Classifications. To carry out the purpose and provisions of the Zoning Ordinance, the following Neighborhood Business Sign Districts are hereby established:

Name	Boundary
1. East Carson Street	That area defined by the A1 Commercial/Residential Associated District along and adjacent to East Carson Street, as defined by ordinance on the City's Zoning District Map.

(A.4) Special Definitions.

(1) "Projecting Sign" means any business or identification sign which sole means of support is by attachment to a legal structure on a zoning lot and which projects more than twelve (12) inches into a public right of way. A projection sign shall contain no more than two (2) sign faces, which include lettering, and these sign faces shall be back-to-back.

(1) Number of Signs.

A. For each street level business, a maximum of one (1) wall sign, two (2) window signs, and either one (1) awning sign or one (1) projecting sign or one (1) ground sign shall be permitted for each facade of a structure facing a street.

B. For each upper floor business, a maximum of two (2) window signs, one (1) door sign, and either one (1) awning sign or one (1) projecting sign shall be permitted on the facade of a structure facing the street.

C. The maximum area of all signs, including ground signs, shall be fifteen percent (15%) of the area of the face of the building on which the signs are proposed. For ground signs, the area of the face of the buildings nearest to and visible from the ground signs shall be considered for this calculation.

(2) Size of Signs.

A. Wall signs shall be a maximum of two (2) square feet in area for every lineal foot of the building frontage, up to a maximum of forty (40) square feet. Maximum lettering size shall be eighteen (18) inches.

B. For each street level business window and doors signs shall be a maximum of twenty percent (20%) of the glazed area of the window or door in which they are placed up to a maximum of eight (8) square feet. For each upper floor business, window or door signs shall be a maximum of fifty percent (50%) of the glazed area of the window or door in which they are placed, up to a maximum of ten (10) square feet.

C. Projecting signs shall be a maximum of nine (9) square feet per side. The area of irregular or three-dimensional shapes shall be computed by multiplying the height and the width at the widest points.

D. Ground signs shall be limited to forty (40) square feet, and the sign and sign structure shall be no higher than twelve (12) feet.

(3) Location of Signs.

A. No sign or sign structure or support shall be place onto or obscure or damage any significant architectural feature of a building, including but not limited to a window or a door frame, cornice, molding, ornamental feature, or unusual or fragile material.

B. No sign shall be painted onto any significant architectural feature, including but not limited to a window or doorframe, cornice, molding, ornamental feature, or unusual or fragile material.

C. No sign or structure support shall be located on the roof of a building or structure, nor shall any sign or sign structure or support extend beyond the cornice line of any building structure.

D. Projecting signs shall extend no more than four (4) feet from the front of a building or structure or two-thirds (2/3) of the width of the sidewalk beneath the sign

ECS HISTORIC DISTRICT DESIGN GUIDELINES



919.04A General

(A.1) Purpose. The purpose of these special provisions is to provide control over signage in commercial areas of the City which includes uses which are within and adjacent to residential neighborhoods, where such uses are physically oriented toward pedestrian traffic rather than vehicular traffic, and where the existing general provisions regulating signage allow types and sizes of signs which are not appropriate to these types of districts.

(A.2) Application. These regulations shall apply only to those areas specifically listed hereunder, and shall be used in addition to the general provisions for signs found above. Where differences occur between the provisions of Section 919.04 and those found elsewhere in this Chapter, the provisions of this section shall apply. In the Neighborhood Business Sign Districts, there shall be applied the regulations prescribed in this chapter and the qualifying regulations prescribed in other chapters specifically referred to in the following sections of this chapter.

(A.3) District Classifications. To carry out the purpose and provisions of the Zoning Ordinance, the following Neighborhood Business Sign Districts are hereby established:

Name	Boundary
1. East Carson Street	That area defined by the A1 Commercial/Residential Associated District along and adjacent to East Carson Street, as defined by ordinance on the City's Zoning District Map.

(A.4) Special Definitions.

(1) "Projecting Sign" means any business or identification sign which sole means of support is by attachment to a legal structure on a zoning lot and which projects more than twelve (12) inches into a public right of way. A projection sign shall contain no more than two (2) sign faces, which include lettering, and these sign faces shall be back-to-back.

(1) Number of Signs.

A. For each street level business, a maximum of one (1) wall sign, two (2) window signs, and either one (1) awning sign or one (1) projecting sign or one (1) ground sign shall be permitted for each facade of a structure facing a street.

B. For each upper floor business, a maximum of two (2) window signs, one (1) door sign, and either one (1) awning sign or one (1) projecting sign shall be permitted on the facade of a structure facing the street.

C. The maximum area of all signs, including ground signs, shall be fifteen percent (15%) of the area of the face of the building on which the signs are proposed. For ground signs, the area of the face of the buildings nearest to and visible from the ground signs shall be considered for this calculation.

(2) Size of Signs.

A. Wall signs shall be a maximum of two (2) square feet in area for every lineal foot of the building frontage, up to a maximum of forty (40) square feet. Maximum lettering size shall be eighteen (18) inches.

B. For each street level business window and doors signs shall be a maximum of twenty percent (20%) of the glazed area of the window or door in which they are placed up to a maximum of eight (8) square feet. For each upper floor business, window or door signs shall be a maximum of fifty percent (50%) of the glazed area of the window or door in which they are placed, up to a maximum of ten (10) square feet.

C. Projecting signs shall be a maximum of nine (9) square feet per side. The area of irregular or three-dimensional shapes shall be computed by multiplying the height and the width at the widest points.

D. Ground signs shall be limited to forty (40) square feet, and the sign and sign structure shall be no higher than twelve (12) feet.

(3) Location of Signs.

A. No sign or sign structure or support shall be placed onto or obscure or damage any significant architectural feature of a building, including but not limited to a window or a door frame, cornice, molding, ornamental feature, or unusual or fragile material.

B. No sign shall be painted onto any significant architectural feature, including but not limited to a window or doorframe, cornice, molding, ornamental feature, or unusual or fragile material.

C. No sign or structure support shall be located on the roof of a building or structure, nor shall any sign or sign structure or support extend beyond the cornice line of any building structure.

D. Projecting signs shall extend no more than four (4) feet from the front of a building or structure or two-thirds (2/3) of the width of the sidewalk beneath the sign

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