



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room
October 7, 2015

AGENDA

(Vacant), *Chairman*
Ernie Hogan, *Acting Chairman*
Raymond Gastil, *Director of Planning*
Erik Harless, *Assistant Chief PLI, Secretary*
Joe Serrao
Carol Peterson
Matthew Falcone

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business

New Business

- Approval of the minutes from the September 2, 2015 hearing
- Certificates of Appropriateness Report – September 2015
- Applications for a Certificate of Economic Hardship – None

➤ **1:00 PM HEARING & ACTION**

1. Allegheny West Historic District

913 Beech Avenue
Shirley Mehring & Howard Brokenbek, owners
Howard Brokenbek, applicant

Alterations to after-the-fact carport design

2. Allegheny West Historic District

929 Beech Avenue
Joseph & Linda Iannotta, owners and applicants

Replacement of front railing and after-the-fact alteration of steps

3. Deutschtown Historic District

900 Cedar Avenue
Odontological Society, owners and applicants

Installation of new metal grates over glass block windows, installation of exterior meters

4. East Carson Street Historic District

907-909 E. Carson Street
Marwan Aboud, owner
George Nadour, applicant

Façade renovations, demolition of rear addition

5. East Carson Street Historic District

1739 E. Carson Street
Main Street Holdings, owner and applicant

Construction of ADA ramp

6. Arsenal School—Individual Landmark

215 39th Street
Pittsburgh Public Schools, owner
Caplan Engineering Co, applicant

Installation of new exterior LED lighting

7. ***Immanuel Church—Individual Landmark***
810 Tripoli Street
Homestead Property Ventures, owner and applicant
After-the-fact glass block window installation
8. ***Naser’s Tavern—Individual Landmark***
4021-4029 Butler Street
Lawrenceville Holdings, owner
PWWG Architects, applicant
Partial rear demolition and construction of rear addition
9. ***South Side Market House—Individual Landmark***
1201 Bingham Street
City of Pittsburgh, owner
Renaissance 3 Architects, applicant
Replacement of asphalt shingle roof with faux slate

10. ***Oakland Civic Center Historic District***
GSCC—130 Thackeray Street
University of Pittsburgh, owner
Dunn and Associates, Inc., applicant
Infill of one of two entrance doors, signage
11. ***Schenley Farms Historic District***
4309 Parkman Avenue
Massimo & Giuliana Trucco, owners and applicants
Addition of terracing to front landscape

➤ **DEMOLITIONS**

East Carson Street Historic District
1812 E. Carson Street
United American Savings Bank, owner and applicant
Demolition of rear building

➤ **HISTORIC NOMINATIONS**

Card Estate Carriage House
7122-7128 Card Lane
David and Eliza Kashi, owners
Marie King, nominator
Historic Designation

➤ **DIRECTOR’S REPORT**

➤ **ADJOURNMENT**

The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public. INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

Please contact Sarah Quinn with questions and comments: 412-255-2243
sarah.quinn@pittsburghpa.gov



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

DISTRICT:

ADDRESS OF PROPERTY:

913 BEECH AVE
 PGH PA 15233

OWNER:

NAME: HOWARD BROKENBEK
 ADDRESS: 913 BEECH AVE
 PGH PA 15233

APPLICANT:

NAME: _____
 ADDRESS: _____

PHONE: 412-400-1661

EMAIL: SMMEHRING@COMCAST.NET

PHONE: _____

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

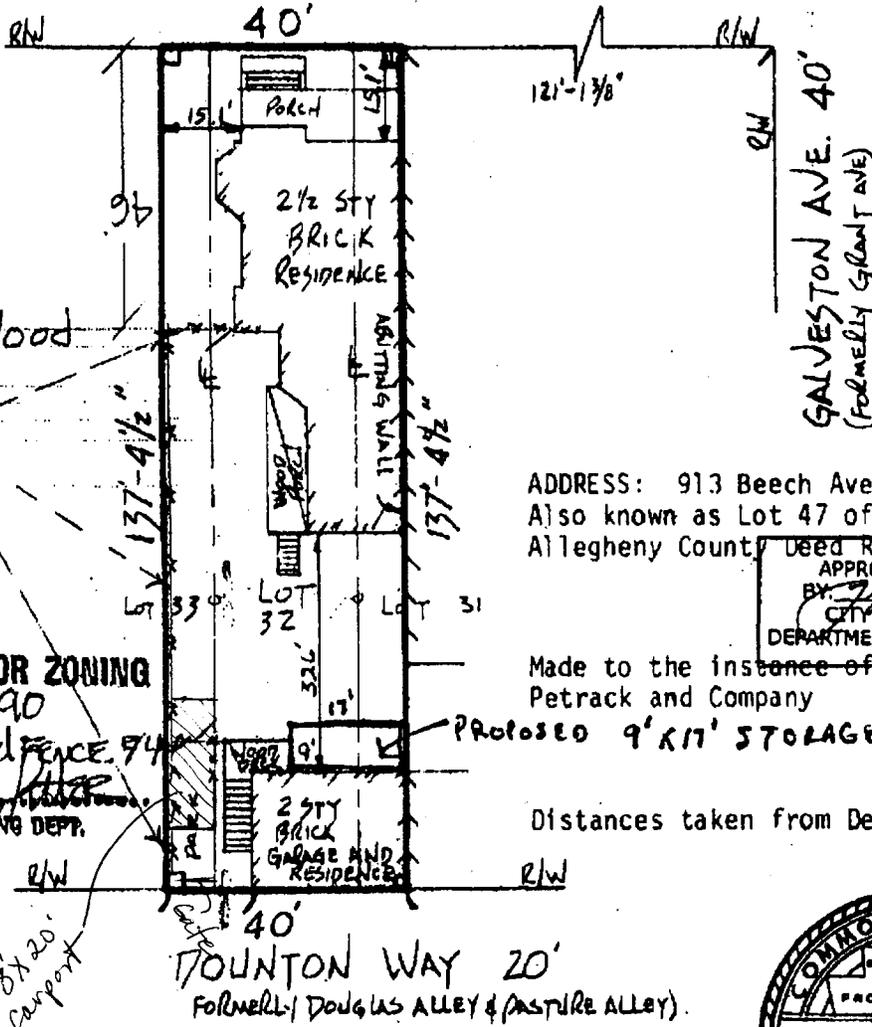
OWNER: Howard Brokenbek DATE: 9-15-15

APPLICANT: _____ DATE: _____



Buyers: Dennis Weber & Joseph Scullii

913 (Formerly Beech St.)
BEECH AVE. 50'



ADDRESS: 913 Beech Avenue
Also known as Lot 47 of Block 7-D in the Allegheny County Deed Registry.

APPROVED BY ZONING
BY *[Signature]*
CITY OF PITTSBURGH
DEPARTMENT OF CITY PLANNING

Made to the instance of Petrack and Company 3/26/14

PROPOSED 9' X 17' STORAGE SHED

Distances taken from Deed Bk. Vol. 8047, pg. 451.

APPROVED FOR ZONING
JULY 17th 1990
CITY PLANNING DEPT.



LOCATION MAP OF SURVEY

I hereby certify that this is a location map of survey of the westerly 8 ft. of Lot No. 31, all of Lot No. 32, & the easterly 8 ft. of Lot No. 33 in Block No. 2 in the 2nd Ward, Allegheny City Plan of the Denny Estate, situate in the 22nd Ward of the City of Pittsburgh Allegheny County, PA, as recorded in Deed Bk. Vol. 8047, Pg. 451 & in Plan Bk. Vol. 6, pg. 193. This certification made by me this 27th day

of June 19 90

Lawrence D. Phillips



Morris Knowles
& Associates, Inc.

Consulting Engineers - Surveyors - Managers

909 Park Building, 385 Fifth Avenue
Pittsburgh, Pennsylvania 15222
Telephone: 612/281-3882

SCALE: 1 INCH = 30 FEET

1296MLIA 683

No pins were set

ICB

913 Beech Ave



Exit Street View



© 2015 Google

© 2015 Google

Google earth

40°27'09.44" N 80°01'02.34" W elev 777 ft eye alt 772 ft

[Report a problem](#)



915





© 2015 Google

© 2015 Google

Google earth

[Report a problem](#)









913

PROPERTY OF
[Illegible text]
NO
[Illegible text]



Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

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FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

929 BEECH AVENUE
Pittsburgh, PA 15233

OWNER:

NAME: JOSEPH & Linda Iannotta

ADDRESS: 929 BEECH AVENUE
PITTSBURGH PA 15233

PHONE: 412-322-9454

EMAIL: ljannotta@verizon.net

STAFF USE ONLY:

DATE RECEIVED: 8/13/15

LOT AND BLOCK NUMBER: 7-D-56

WARD: 22nd

FEE PAID: 400

DISTRICT:

Allegheny West

APPLICANT:

NAME: JOSEPH & Linda Iannotta

ADDRESS: SAME

PHONE: SAME

EMAIL: SAME

REQUIRED ATTACHMENTS:

- Drawings, Photographs, Renderings, Site Plan, Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

REPLACE EXISTING Porch RAILING MADE OF PIPE + 2X4 with Wrought Iron RAILING ALMOST Duplicating RAILING ON ADJACENT 927 PROPERTY. NEW railing will be the SAME IN DIMENSIONS + ADORNMENT BUT Balusters will be straight, not twisted.

SIGNATURES:

OWNER: JOSEPH & Linda Iannotta DATE: 8-4-2015

APPLICANT: JOSEPH & LINDA IANNOTTA DATE: 8-4-2015

Handwritten signatures of Joseph Iannotta and Linda Iannotta with dates 8-4-2015.



929 Beech Avenue



1929
Railing



927
RAILING

929
RAILING



927 Railing



Rebuilding History in Pittsburgh

By Colleen C. Derda

Handling fire restoration at adjoining properties has its advantages. Demolition can be accomplished efficiently. Special order materials can be purchased in quantity and at the lowest cost. Technicians and craftsmen can be scheduled effectively. Yet challenges exist from the start, not the least of which include keeping similar yet very different projects on track and on budget, dealing with multiple insurance companies and adjusters, and keeping homeowners with comparable exteriors but very different interiors informed and satisfied at every step.

Multiply the number of properties and you multiply potential problems and benefits. Add into the mix the properties being historic homes, located in a historic district, and the challenges and rewards expand exponentially.

Insurance Restoration Services recently completed restoration projects at seven fire-damaged historic homes in a Pittsburgh neighborhood.

"It is rewarding to see them finished," says Mike Travers, the project manager for Insurance Restoration Services who coordinated the jobs concurrently. "Looking back I can say that one of the biggest challenges was keeping all of the projects on track. The townhouses share some of the same characteristics, but each restoration project dealt with a different homeowner, different insurance company, different adjuster and so many different issues."

Historic Homes

The seven residences are located in Allegheny West, a Pittsburgh neighborhood recognized locally and nationally for its collection of historic buildings from the 1800's. Four of the townhouses are located on Beech Avenue. Three are around the corner on Galveston Avenue. All are within the city-designated Allegheny West Historic District.

Fire hit the Beech Avenue row in mid September of last year when copper gutters were being replaced and a worker's soldering iron touched off the blaze. In the late afternoon after the workers had departed, neighbors saw smoke coming from the third floor of the rowhouse and alerted the fire department. Flames spread quickly across shared rafters of the row's five houses.

As published in the December 2002 issue of

Cleaning & Restoration

The Official Publication of ASCR International

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1300 BRIGHTON ROAD
PITTSBURGH PA 15233
412.322.1135 • FAX 412.322.7304
TOLL FREE 1.800.322.3520

www.disastercontractor.com



**INSURANCE
RESTORATION
SERVICES**

MISTICK







Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

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FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

STAFF USE ONLY:

DATE RECEIVED: 9/18/15

LOT AND BLOCK NUMBER: 23-5-273

WARD: 23rd

FEE PAID: yes

ADDRESS OF PROPERTY:

900 Cedar Avenue
Pittsburgh, PA 15212

DISTRICT:

Deutshtown

OWNER:

NAME: Odontological (Dental) Society
 ADDRESS: 900 Cedar Avenue
Pittsburgh, PA 15212
 PHONE: 412-321-5810
 EMAIL: threeriversdental@verizon.net

APPLICANT:

NAME: Odontological (Dental) Society
 ADDRESS: 900 Cedar Avenue
Pittsburgh, PA 15212
 PHONE: 412-321-5810
 EMAIL: threeriversdental@verizon.net

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

See attached.

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: _____ DATE: _____



Relating to previous requests and discussions, we have 3 issues and 1 new request.

1. Requesting permission to install grates over existing glass block windows. Grates are not able to be restored for use. Nor can they be used as is. Grates were not returned to us until June 7, 2015. Therefore, we were unable to proceed working a solution until then. Which type or design will be approved to replace old grates? Will you reconsider having them installed over existing glass block? See emailed photos.
2. Painting and repairing windows and trim on exterior of house. Permission was granted to paint and repair exterior with in kind color brown as is. We would like to consider installing new Pella or Marvin Architectural Line Windows in brown. Restoring existing windows is cost prohibitive.
3. Paint HVAC vents that are white – what color do you want us to paint them? Dark brown or sandstone? You have photo as is.
4. New item: Request permission to install 3 meter electric meter board in place of the one meter present on Suismon side of house. See example in photo email.

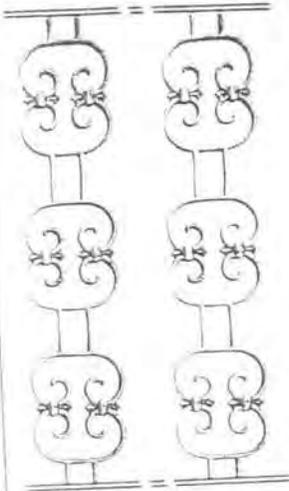




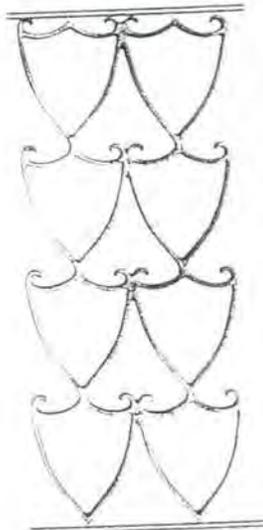
Sent from my iPhone

Column, Railing and Room Divider

Ideal For Screens- Divider- Railing- Column, etc.



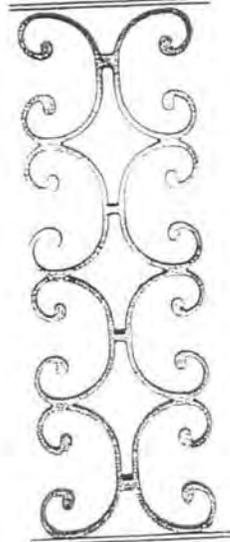
No. 600
Height 26-1/4"
Width 5-3/8"
6 lbs



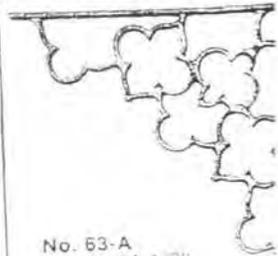
No. 31-A
Height 28-1/2"
Width 11-3/4"
6-1/2 lbs



No. 63-B
Height 28"
Width 8-7/8"
3 lbs



No. 33-A
Height 29-1/2"
Width 9-3/4"
8 lbs.



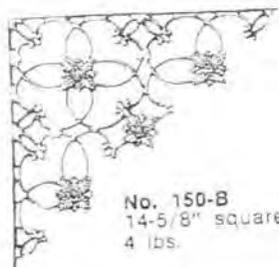
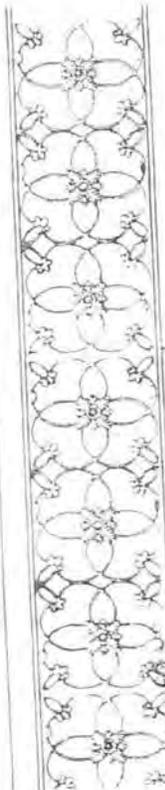
No. 63-A
Height 14-1/2"
Width 14-1/2"
4 lbs

"WEDDING RING DESIGN" (copyrighted)

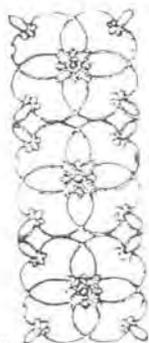


FRIEZE No. 150 F
4' x 18-1/2"
3 lbs.

THIS ONE →



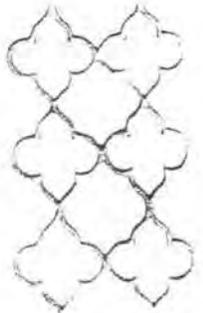
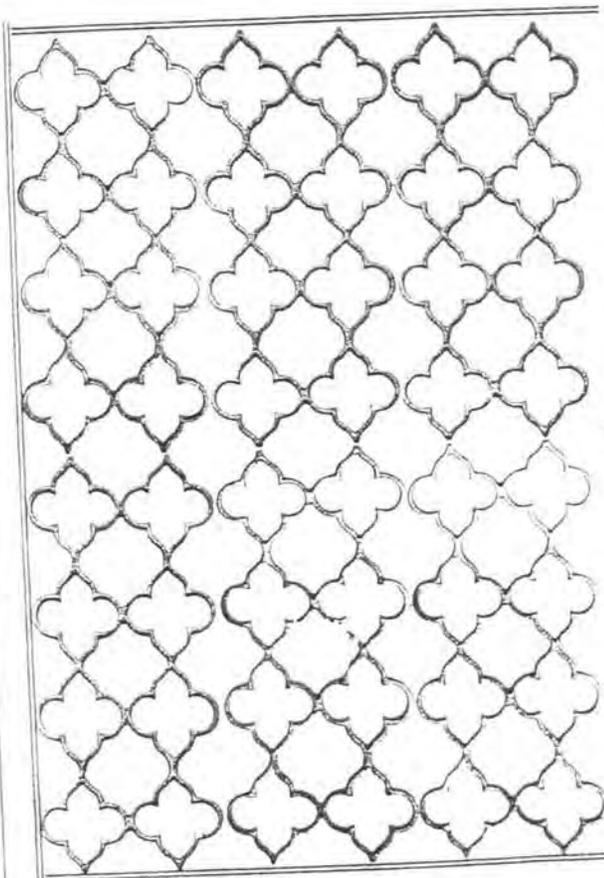
No. 150-B
14-5/8" square
4 lbs.



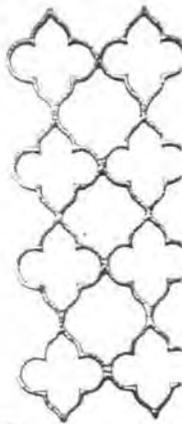
No. 150
Height 19-1/4"
width 7-1/4"
4 lbs.

FRIEZE

No. 63F
5" x 21-1/4"
3 lbs.



No. 63-XS
Height 15-3/4"
width 9-1/2"
2-1/2 lbs



No. 63
Height 21-1/2"
width 9-1/2"
3 lbs



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STAFF USE ONLY:

DATE RECEIVED: 8/14/15

LOT AND BLOCK NUMBER: 3-6-57

WARD: 17th

FEE PAID: yes

DISTRICT:

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

907 - 909 CARSON STREET

E Carson Street

OWNER:

NAME: MARWAN ABOUD

ADDRESS: 1024 BERKSHIRE AVE.
Pg # PA 15226

PHONE: 412-341-2847

EMAIL: _____

APPLICANT:

NAME: George Madonn

ADDRESS: 126 Kensington Dr
Pittsburgh Pa 15237

PHONE: 412-527-8729

EMAIL: Gmadonn@gmail.com

REQUIRED ATTACHMENTS:

FAD: ABOUD (412-916-0704) | Contact

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

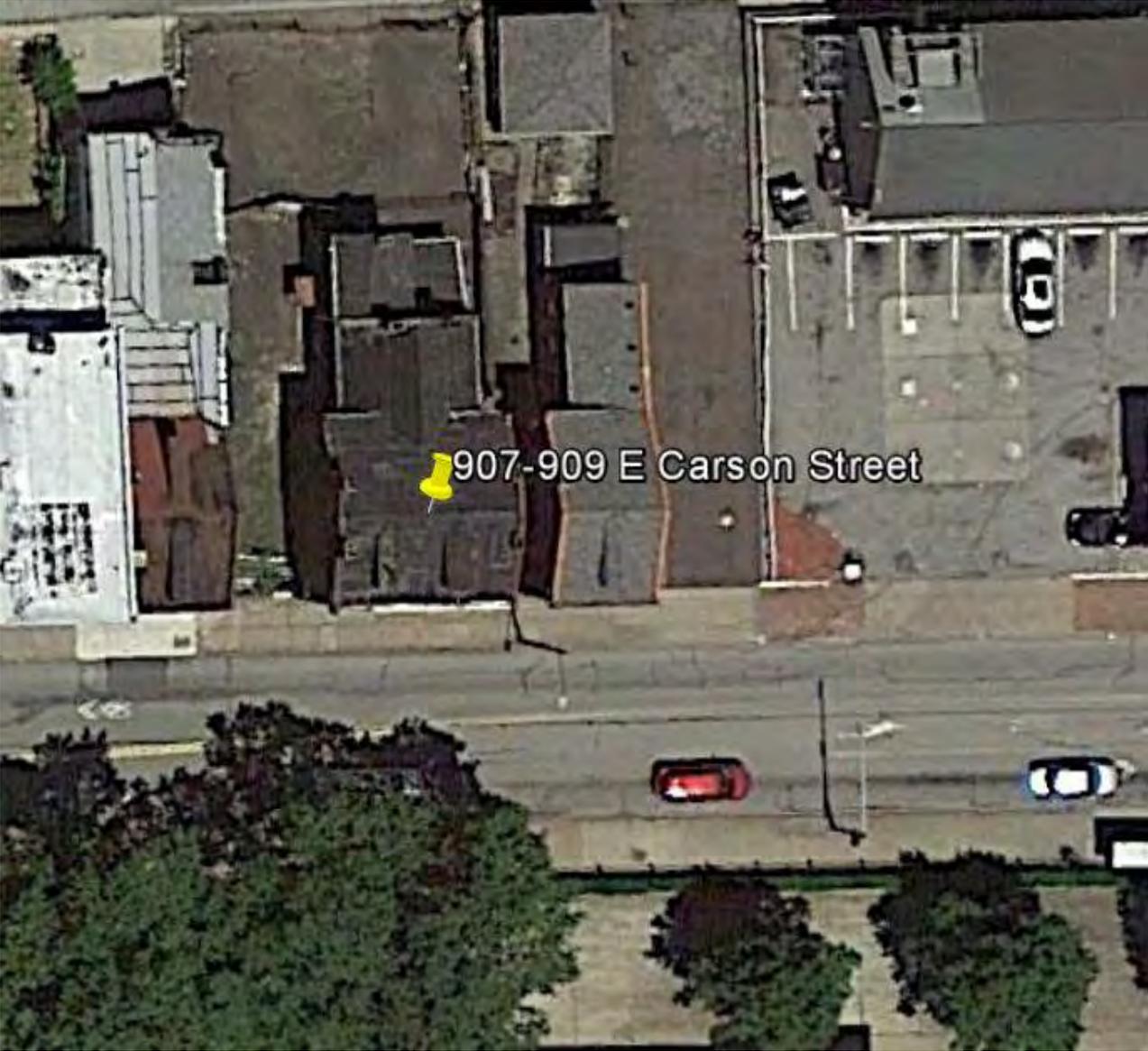
SIGNATURES:

OWNER:

DATE: July 18/2015

APPLICANT: _____

DATE: _____



907-909 E Carson Street



FOR SALE

Commercial Property
3 Units (800-807-888)



Call Bob Owing
412-471-3311

412

907

BLW





SALE
Commercial Prop
3 Lots for









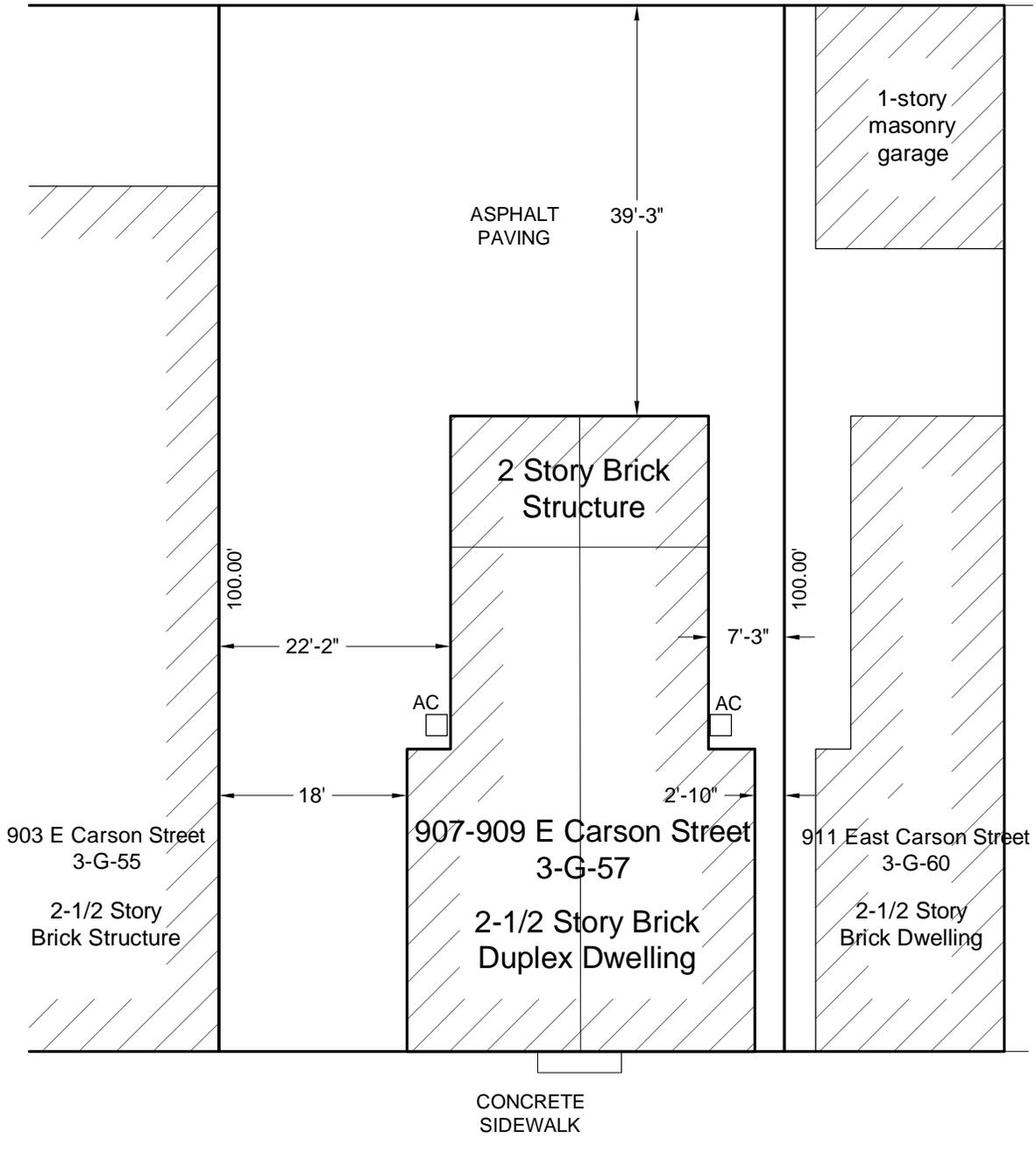






Cabot Way

54.00'



E Carson Street

Date
09.13.2015

Scale
1/16" = 1'-0"



Facade Renovations

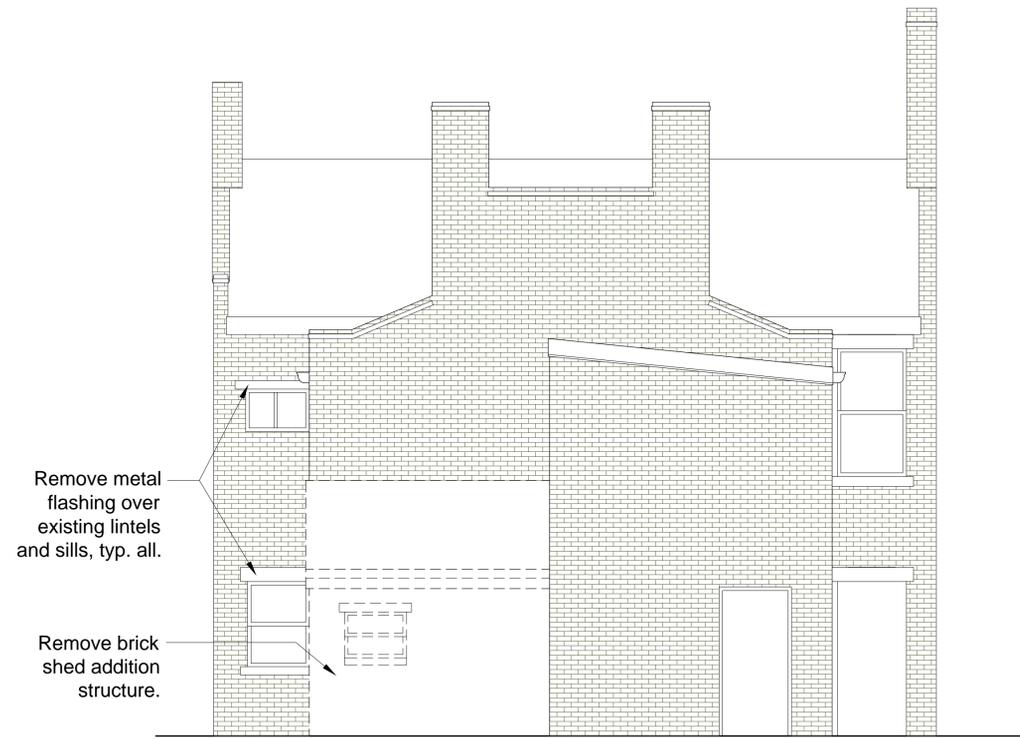
907 East Carson Street
Pittsburgh, PA 15203

Project No.
1410.121

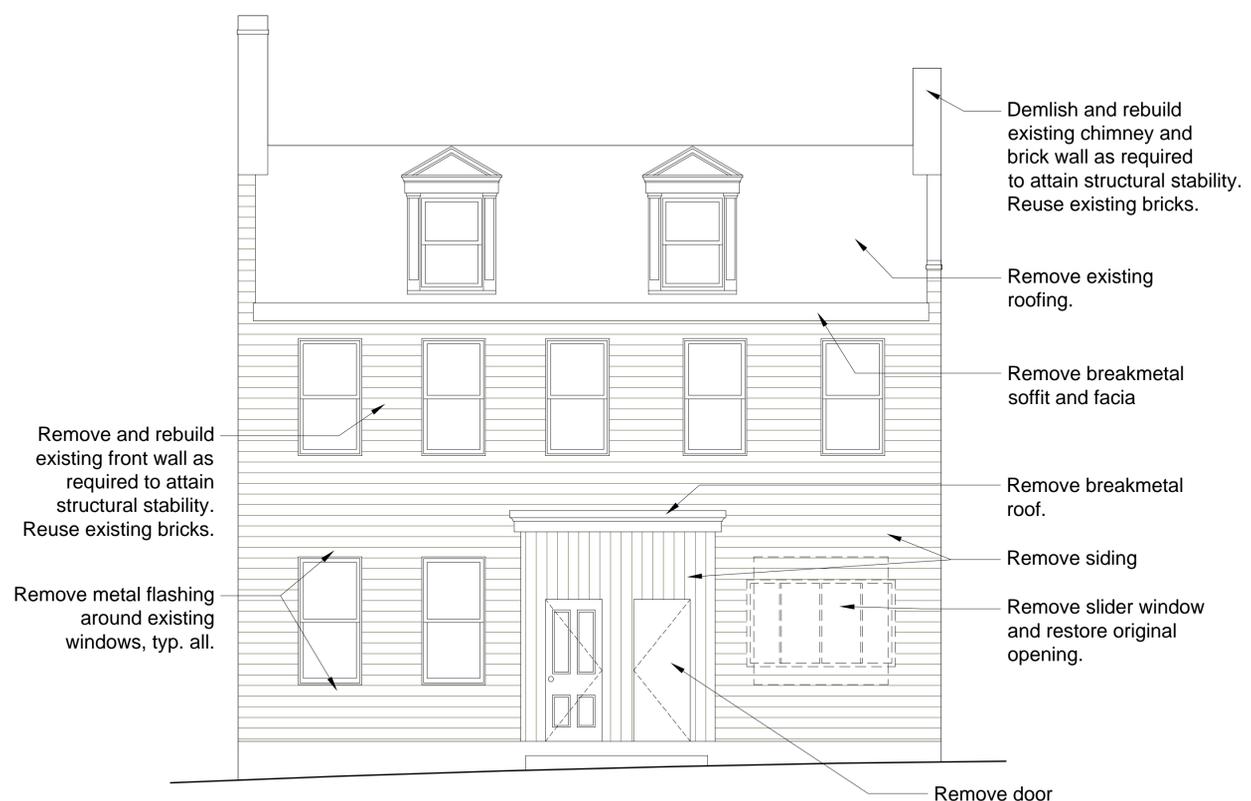
Drawing Title
Site Plan

Sheet

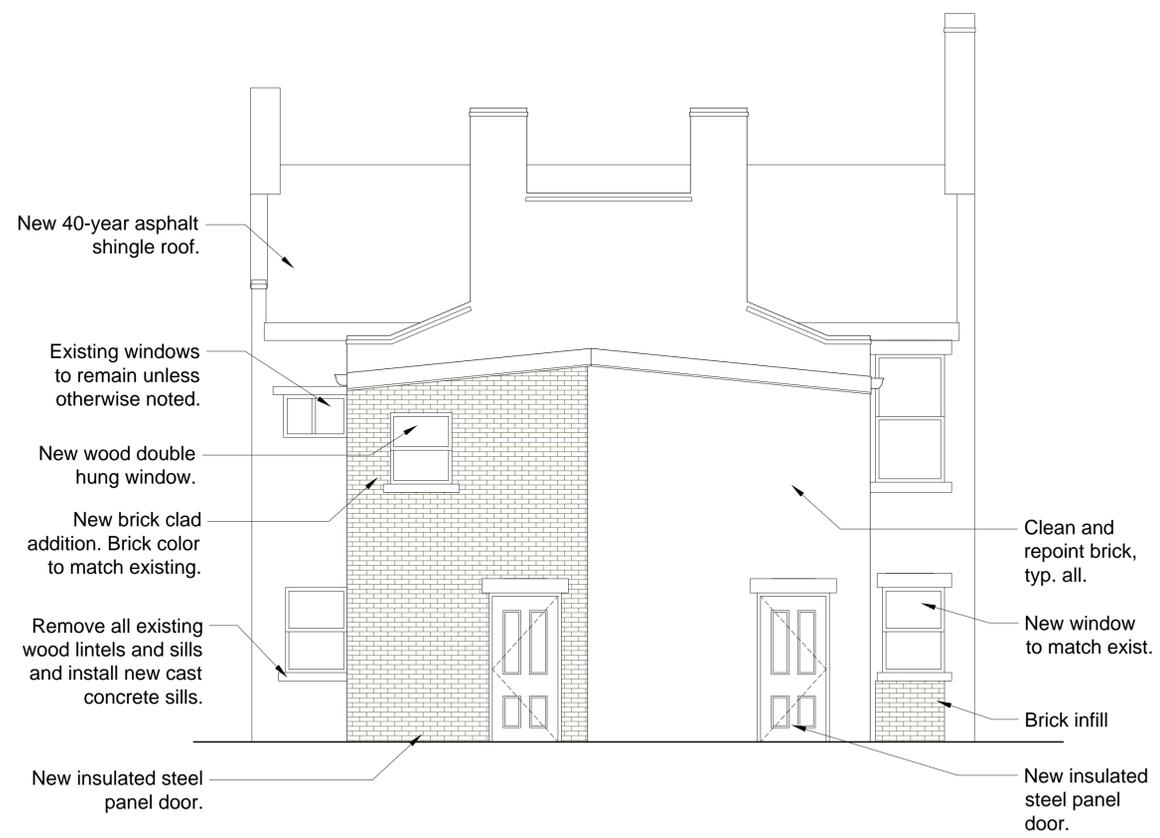
S1.1



1 North (Rear) Elevation - Existing and Demolition
1/4" = 1'-0"



3 South (Front) Elevation - Existing and Demolition
1/4" = 1'-0"



2 North (Rear) Elevation - Proposed Work
1/4" = 1'-0"



4 South (Front) Elevation - Proposed Work
1/4" = 1'-0"

Facade Renovations
907 East Carson Street
Pittsburgh, PA 15203

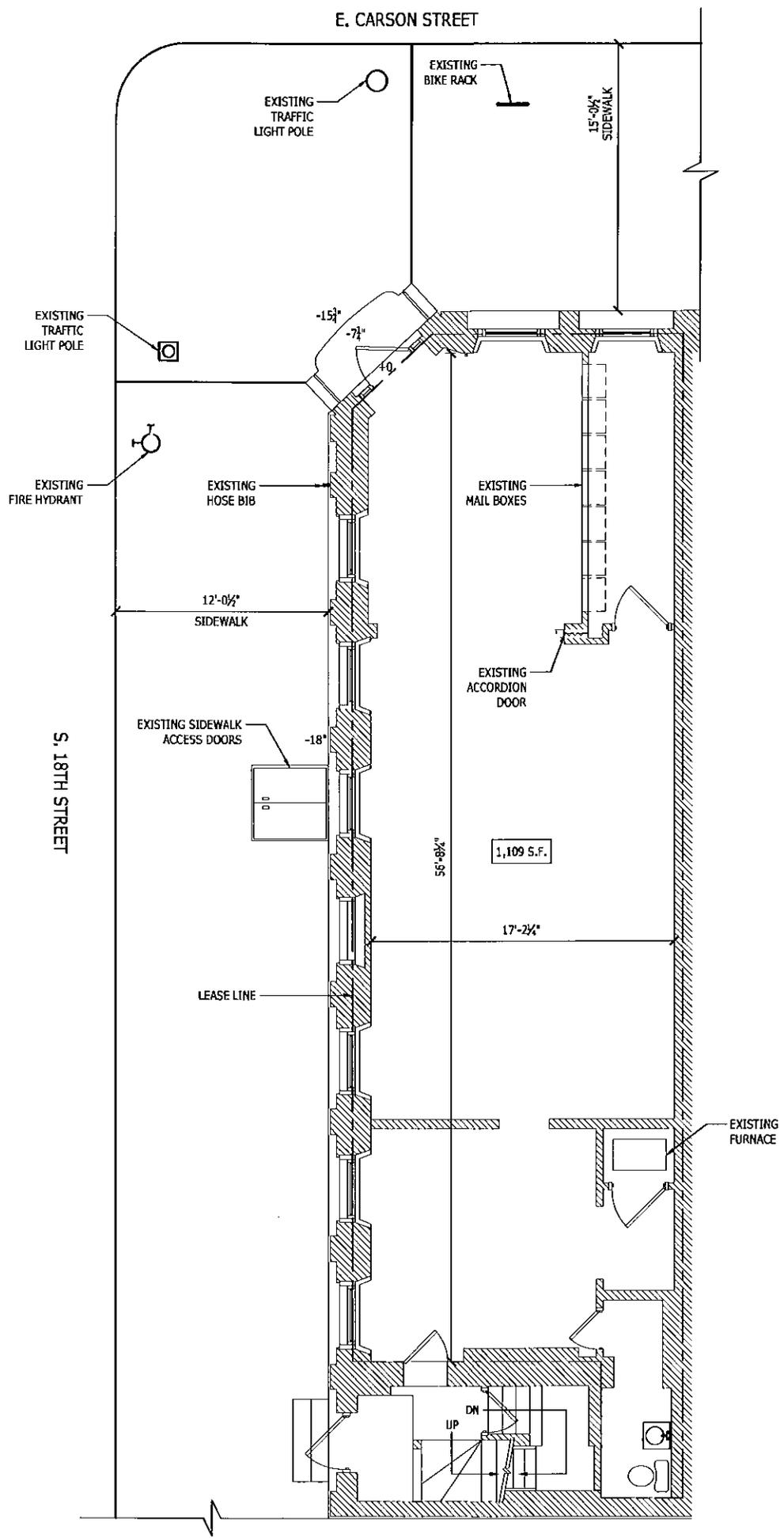
Revisions
Date 11.01.2014
Client Fadi About
Project No. 1410.121
Drawing Title Elevations
Sheet A5.0



1739 E Carson Street

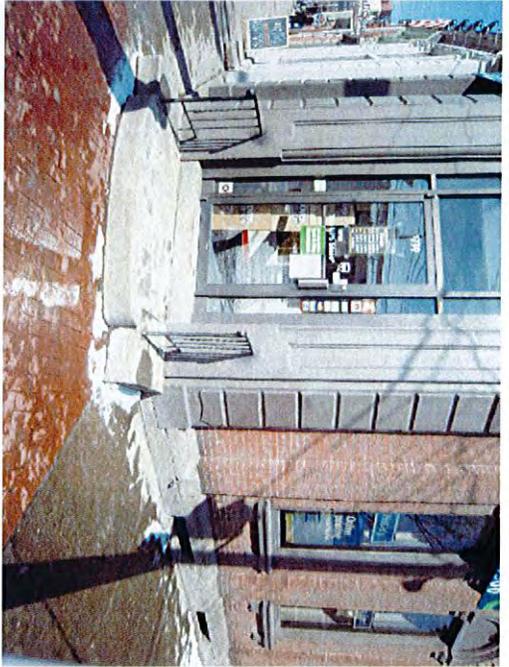
S 18th St

Project 1739 E Carson Street (UPS Store)
 Project # 14102
 Title Existing First Floor Plan
 Scale 3/16" = 1'-0"
 Date 12-05-2014



Lami Grubb
 ARCHITECTS

Lami Grubb Architects, LP
 100 East Swetsdale Ave., Pitsburgh, PA 15218
 Phone: 412.243.3430 • Fax: 412.371.1586



1. VIEW TOWARD
MAIN ENTRANCE



2. VIEW TOWARD
MAIN ENTRANCE



3. VIEW ALONG E.
CARSON STREET

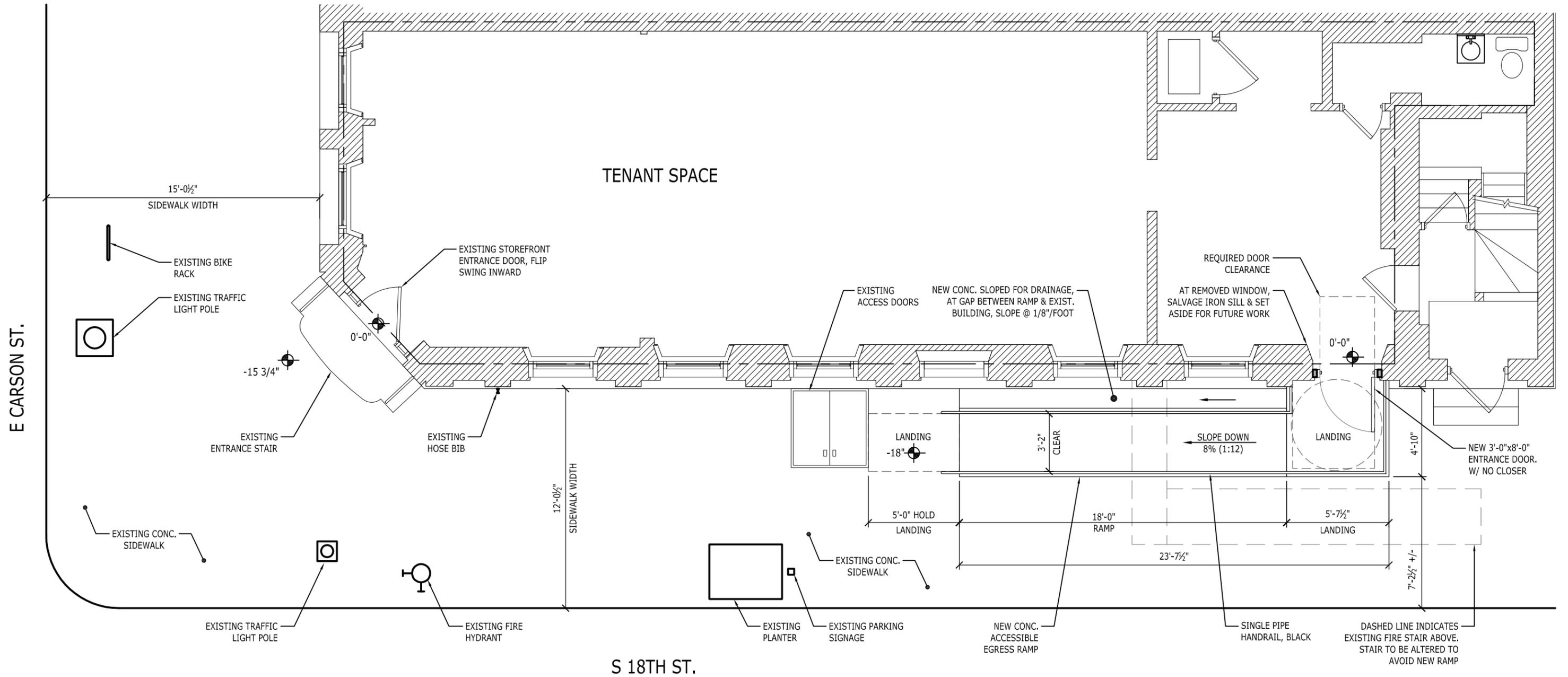


4. VIEW ALONG S. 18TH
STREET

Project 1739 E Carson Street (UPS Store)
 Project # 14102
 Title Existing Site Photos (Proposed Encroachment Location)
 Scale N.T.S.
 Date 12-05-2014

Lami Grubb

A R C H I T E C T S
 Lami Grubb Architects, LP
 100 East Swissvale Ave, Pittsburgh, PA 15218
 Phone: 412.243.3430 • Fax: 412.371.1586

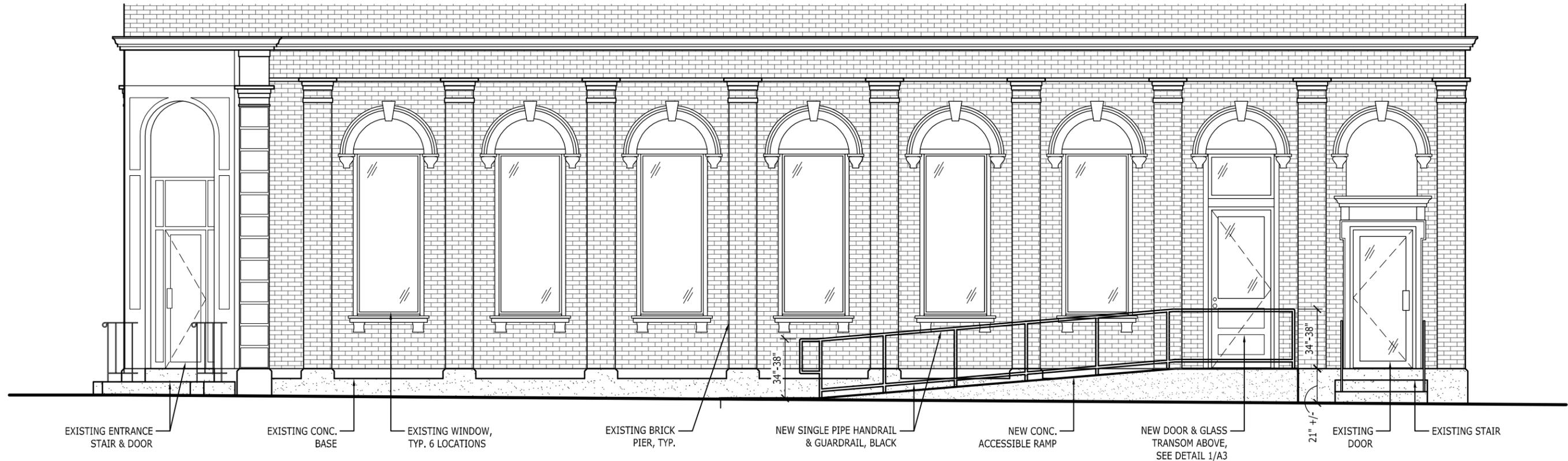


Sheet No. **A1**
 Title **SITE PLAN**
 Project # **14102**
 Date **09.25.2015**

1739 E CARSON STREET
NEW ACCESSIBLE EGRESS RAMP
 SCALE: 3/16"=1'-0"

lga PARTNERS
 1425 Forbes Ave. Suite 400 Pittsburgh, PA 15219
 P 412.243.3430 F 412.224.4747

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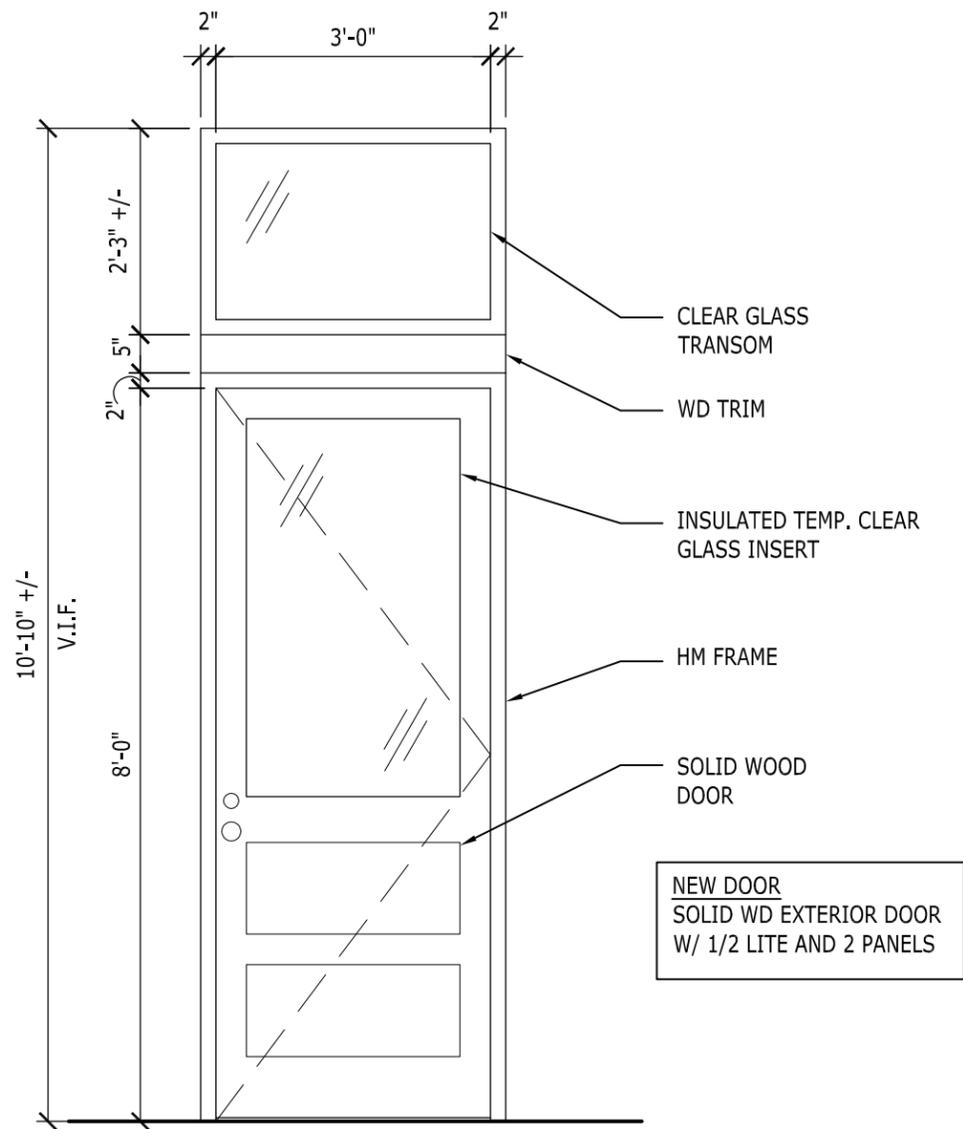


Sheet No. **A2** Title **ELEVATION: S 18TH STREET**
 Project # **14102**
 Date **09.25.2015**

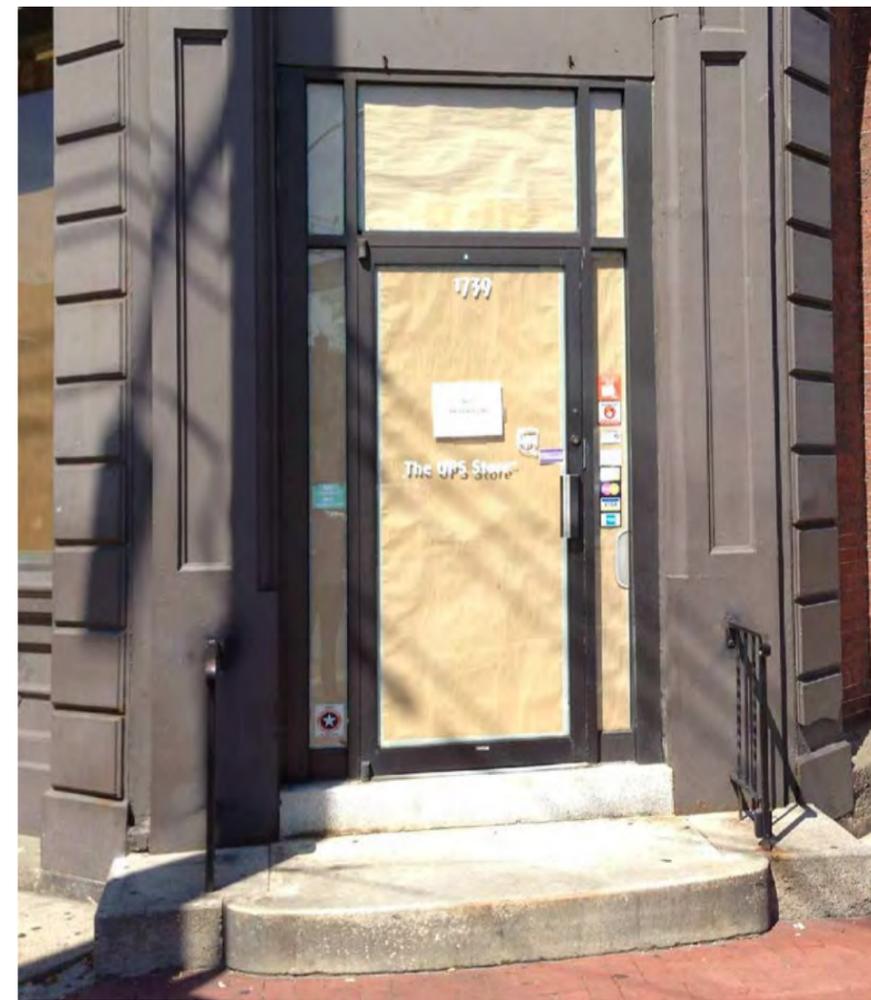
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1739 E CARSON STREET
NEW ACCESSIBLE EGRESS RAMP
 SCALE: 3/16"=1'-0"

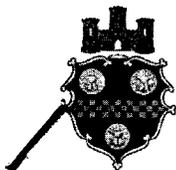
lga PARTNERS
 1425 Forbes Ave. Suite 400 Pittsburgh, PA 15219
 P 412.243.3430 F 412.224.4747



1
A3 **New Side Entrance Door**
SCALE: 1/2"=1'-0"



2
A3 **Existing Storefront Door**
SCALE: N.T.S.



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FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

215 39th St -
Arsenal School

OWNER:

NAME: PPS

ADDRESS: _____

PHONE: _____

EMAIL: _____

STAFF USE ONLY:

DATE RECEIVED: 9/18/15

LOT AND BLOCK NUMBER: 49-E-245

WARD: 6th

FEE PAID: _____

DISTRICT:

Ind.

APPLICANT:

NAME: Caplan Engineering Co.

ADDRESS: _____

PHONE: _____

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

New exterior lighting

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: _____ DATE: _____



CE

CAPLAN ENGINEERING COMPANY

ELECTRICAL CONSULTANTS

7531 ROSLYN STREET • PITTSBURGH, PENNSYLVANIA 15218 • TELEPHONE 412-271-4700

July 15, 2015

Sharon Spooner
Department of City Planning
Historic Preservation Office
200 Ross Street
3rd Floor
Pittsburgh, PA 15219

RE: Pittsburgh Arsenal School
New Exterior Lighting

Dear Sharon:

Please find enclosed the following items:

- Drawings
- Fixture cuts
- Footcandle plots

We are proposing new exterior lighting renovations at the above school. This consists of:

- (a) Main entry pendant lantern restoration.
- (b) Replacement of existing wall lighting at exterior doors with new LED luminaires.
- (c) New roof mounted security lighting for front and rear areas.

Luminaires will mount on swivel brackets from the roof deck side of the parapet walls and will not be mounted to the visible existing stone surfaces.

- (d) New rear service alley area LED wall and ceiling luminaires. Most luminaires are to replace existing ones.

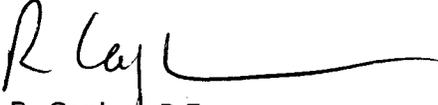
PPS is requesting approval for this new installation.

Thank you for your prompt attention.

Please call if you have further questions.

Yours truly,

CAPLAN ENGINEERING COMPANY


Robert B. Caplan, P.E.

RBC/eb

Cc: Daryl Saunders, PPS
Alexis Gorgacz, PPS

ROBERT B. CAPLAN, P.E.



LaFace & McGovern Associates, Inc.

5330 Enterprise Boulevard P.O. Box 515 Bethel Park, PA 15102 Phone: 412-854-3200 Fax: 412-854-0202

To:	Job/Project Name: ARSENAL SCHOOL
-----	-------------------------------------

BOM - Bill Of Material - BOM

Qty	Type	Mfg	Description
	A	LITH	VGO1C 26TRT 120 DWHG LPI
	B	LITH	TCLM 2 32 MVOLT GEB10PS
	C	LITH	VGR1 2/26TRT 120 DWHD LPI
	D	LUMN	DWL512-1PLT32-120-OP-WHT-TX/SD
	EX	LITH	LE S 1 R
	F	LUMN	SWP610HO-20W HP-4000K-120-277-CP-OP-BRZ-PC-KO-TX/SD <i>Rear Doors</i>
	G	LUMN	SWP1212-25W-4000K-120/277-OP-WHT-PC-WET-TX/SD <i>Rear Canopies</i>
	H	LITH	DSXF3 LED 6 A530/40K WFR MVOLT IS DDBXD <i>Front Reef Lights</i>
	K	LITH	DSXF3 LED 6 A530/40K FL MVOLT DDBXD AFWMA <i>Rear Parking Lot</i>
	L	LITH	DSXF2 LED 3 A530/40K MFL 120 DNAXD BSXF1/2TS AFWMA <i>J</i>
	M	SHAP	
	N	LUMV	1400-16-30K
	Q	LITH	VGO1C 25LED 41K 120 DWHG LPI
	R	LITH	DSXF2 LED 3 A530/40K FL MVOLT IS DDBXD <i>Rear Parking Lot</i>
	T	LITH	DSXF2 LED 3 A530/40K FL MVOLT IS DDBXD <i>Rear Parking Lot</i>
	U	LITH	DSXW2 LED 30C 700 40K T2M MVOLT VG DDBXD BBW <i>Rear Driveway</i>
	W	LUMV	1400-16-30K
	Z	TERO	TLNW-THB-L216-8-120V-BZ-40K-LED-PCL-120 <i>Front & Side Exterior Doors</i>
<i>Deleted</i>	AA	LUMP	LBS-208-40K-VN-SI-NO <i>Front Accent Lights</i>
<i>Deleted</i>	AA	LUMP	LBX-RO-208-40K-NS-S1-NO <i>Front Accent Lights</i>
<i>Deleted</i>	AA	HAPS	42X84X24-DAVARM-GUS-CAL-SI <i>Front Accent Lights</i>

MFG Code	F.O.B	TERMS	LeadTime
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Prices firm for entry by: 8/27/2015 Shipment by: 10/11/2015 Lead Time: Per MFG

- 1) LAMPS ARE NOT INCLUDED UNLESS OTHERWISE SPECIFIED.
- 2) FUSES, PLASTER FRAMES, HANGING HARDWARE, OTHER ACCESSORIES NOT INCLUDED UNLESS NOTED.
- 3) STANDARD MANUFACTURERS FREIGHT TERMS APPLY UNLESS OTHERWISE SPECIFIED.
- 4) LIQUIDATED DAMAGES ARE NOT THE RESPONSIBILITY OF LAF/MCG. OR MFG'S.
- 5) LABOR CHARGES MUST BE PRE-AUTHORIZED, IN WRITING, BY MANUFACTURER
- 6) MANUFACTURES STD FINISH QUOTED UNLESS OTHERWISE SPECIFIED
- 7) LAMP/BALLAST COMPATIBILITY TO BE VERIFIED BY OTHERS.
- 8) ALL ITEMS SUBJECT TO APPROVAL & BASED ON QUANTITIES LISTED.

Printed - NS: 07/13/15 14:13:02 Per: CRAIG LOCKWOOD Email:

Swoop 610

SWP610HO
YWP610HO
YWPH610HO

Vandal Resistant
High Output LED

Project Information

Fixture Type **F** Date

Job Name

Approved By

Catalog Number **SWP610HO - 20W HP - 4000K - 120-277 - CP - BRZ - PG-KO**



WALL /CEILING MOUNT
LAMPS: LED

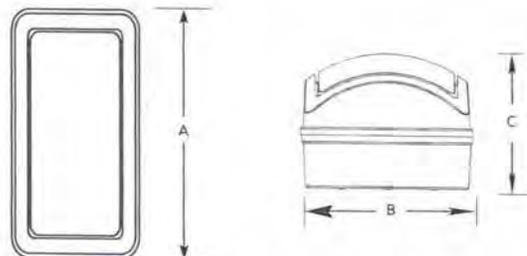


SPECIFICATIONS

- Description** The Swoop 610 series features a durable, color-impregnated, polycarbonate housing supported by a marine grade, die cast aluminum base plate to provide a lighting fixture that will survive in the harshest environments.
- Bezel** One piece injection molded UV stabilized polycarbonate mechanically interlocked to lens. Minimum wall thickness shall be 0.140". Color is molded through entire part for scratch resistant finish.
- Lens** One piece injection molded UV stabilized prismatic polycarbonate with minimum 0.140" wall thickness. Available in Clear or Opal and secured to base plate with (4) concealed captive stainless steel screws. YWP models come with a chemically etched, scratch resistant surface painted lens.
- Reflector** Die formed, shaped for maximum efficiency and finished with high gloss electrostatically applied white polyester powder coat.
- Driver** Constant current driver at 500mA, 100-277V only.
- LED** Samsung 561B series @ 3000K, 3500K, or 4000K and 82 CRI wired in parallel-series. L₇₀ projected life of over 130,000 hours at 50°C. Ten year warranty on LED boards against operational defects.
- Housing** Pressure die cast marine grade aluminum. Chemically primed and finished with electrostatically applied polyester powder coat.
- Gasket** Closed cell die cut, self-adhesive neoprene gasket provided between fixture base plate and mounting surface. High temperature silicone O-ring between lens and base plate.
- UL Listing** U.L., C.U.L., Wet standard, 1598a
- Lifetime Warranty** Luminaire LED Incorporated will repair or replace any fixture damaged due to vandalism for the lifetime of the installation.

DIMENSIONAL DATA

	A	B	C
SWP610HO	10.84	6.74	5.79
YWP610HO	10.84	6.74	5.79
YWPH610HO	6.74	10.84	5.79



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Luminaire LED Incorporated products are manufactured in the USA with components purchased from USA suppliers, and meet the Buy American requirements under the ARRA.



www.luminaireled.net

Rev: 1/15

Swoop 610

SWP610HO
YWP610HO
YWPH610HO

Vandal Resistant
High Output LED

Fixture Type

F

ORDERING INFORMATION

SERIES	LED	CCT	VOLTS	LENS	COLORS	OPTIONS	TX/SD (REQUIRED)
YWP610HO	20W HP	4000K	120-277	CP	BRZ	PC-KO	

SERIES	LED	CCT	VOLTS	LENS	COLORS	OPTIONS
SWP610HO	20W HP	3000K	120-277	CP	BLK - Black	DIM
YWP610HO		3500K		Clear Prismatic Standard	WHT - White	EMB20R
YWPH610HO		4000K		OP Opal Optional	BRZ - Bronze	EMB375R
					GRY - Gray	KO
					CUST - Custom Color Consult Factory	PC
						GLR

TRIM OPTIONS

SWP610



YWP610



YWPH610



OPTIONS

DIM	0-10V dimming.
EMB20R	Remote mounted micro inverter that will operate a 20W maximum load for 90 minutes. 0°C (32°F) to 50°C (122°F).
EMB125R	Stand-alone inverter that will operate a 125W maximum load for 90 minutes. Select ceiling grid, recessed wall or surface mount. 20°C (68°F) to 30°C (86°F).
EMB375R	Stand-alone inverter that will operate 375W maximum load for 90 minutes. 20°C (68°F) to 30°C (86°F).
KO	Add (3) 1/2" i.p.t. holes for conduit entry in housing.
PC	Photoelectric switch.
GLR	Fuse and fuse holder.
TX/SD	TORX® head bit.

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Luminaire Led

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Swoop 1212

SWP1212
XWP1212
YWP1212

Vandal Resistant LED

Project Information

Fixture Type

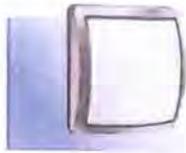
G

Date

Job Name

Approved By

Catalog No. SWP1212 - 25W - 4000K - 120-277 - OP - WHT - PC-WET



WALL /CEILING MOUNT
LAMPS: LED

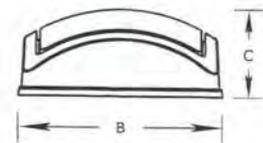
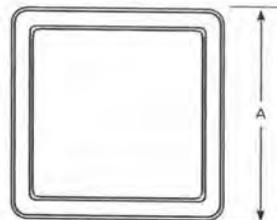


SPECIFICATIONS

- Description** The Swoop 1212 series features a durable, color-impregnated, polycarbonate housing supported by a marine grade, die cast aluminum base plate to provide a lighting fixture that will survive in the harshest environments.
- Bezel** One piece injection molded UV stabilized polycarbonate mechanically interlocked to lens. Minimum wall thickness shall be 0.140". Color is molded through entire part for scratch resistant finish.
- Lens** One piece injection molded UV stabilized prismatic polycarbonate with minimum 0.140" wall thickness. Available in Clear or Opal and secured to base plate with (4) concealed captive stainless steel screws. XWP and YWP models come with a chemically etched, scratch resistant surface painted lens.
- Reflector** Die formed, shaped for maximum efficiency and finished with high gloss electrostatically applied white polyester powder coat.
- Driver** Constant current driver at 350mA, 120-277V. 347V optional.
- LED** Samsung LM561B Series @ 3000K, 3500K or 4000K and 80 CRI wired in parallel-series. L₇₀ projected life of over 130,000 hours at 50°C. Ten year warranty on LED boards against operational defects.
- Base Plate** Pressure die cast marine grade aluminum. Chemically primed and finished with electrostatically applied polyester powder coat.
- Gasket** Closed cell die cut, self-adhesive neoprene gasket provided between fixture base plate and mounting surface. High temperature silicone O-ring between lens and base plate.
- UL Listing** U.L., C.U.L., Wet standard, 1598a Marine Listed
- Lifetime Warranty** Luminaire LED Incorporated will repair or replace any fixture damaged due to vandalism for the lifetime of the installation.

DIMENSIONAL DATA

	A	B	C
SWP1212	12.34	12.34	5.05
XWP1212	12.34	12.34	5.05
YWP1212	12.34	12.34	5.05



Luminaire Led
www.luminaireled.net

5 Sutton Place
P.O. Box 2162
Edison, NJ 08818

P. 732.549.0056
F. 732.549.9737

 Luminaire LED Incorporated products are manufactured in the USA with components purchased from USA suppliers, and meet the Buy American requirements under the ARRA. Content of specification sheets is subject to change; please consult our website for current product information.

Rev: 4/15

Swoop 1212

SWP1212
XWP1212
YWP1212

Vandal Resistant LED

Fixture Type

G

ORDERING INFORMATION

SERIES	LED	CCT	VOLTS	LENS	COLORS	OPTIONS	TX/SD (REQUIRED)
SWP1212	25W	4000K	120-277	OP	WHT	PC-WET	

SERIES	LED	CCT	VOLTS	LENS	COLORS	OPTIONS
SWP1212	15W	3000K	120-277	CP	BLK - Black	DIM OCC
XWP1212	25W	3500K		Clear Prismatic Standard	WHT - White	EMB20R EMB23
YWP1212		4000K		OP Opal Optional	BRZ - Bronze GRY - Gray CUST - Custom Color Consult Factory	EMB125R EMB250R EMB375R CAB PC GLR DKO

TRIM OPTIONS

SWP1212



XWP1212



YWP1212



OPTIONS

DIM	0-10V dimming driver (requires CAB).
OCC	Microwave occupancy sensor mounted behind the lens.
EMB 20R	Remote mounted micro inverter that will operate a 25W maximum load for 90 minutes. 0°C (32°F) to 50°C (122°F). Not available in 347V.
EMB 23	450 lumen self contained 90 minute emergency battery pack. CAB option required and included. 0°C (32°F) to 50°C (122°F).
EMB 125R	Stand-alone inverter that will operate a 125W maximum load for 90 minutes. 20°C (68°F) to 30°C (86°F). Not available in 347V.
EMB 250R	Stand-alone inverter that will operate a 250W maximum load for 90 minutes. 20°C (68°F) to 30°C (86°F). Not available in 347V.
EMB 375R	Stand-alone inverter that will operate a 375W maximum load for 90 minutes. 20°C (68°F) to 30°C (86°F). Not available in 347V.
CAB	Die cast marine grade aluminum back box. Provided with (3) 1/2" i.p.t. holes for conduit entry and (3) threaded plugs. Chemically primed and finished with electrostatically applied polyester powder coat.
PC	Photoelectric switch (requires CAB option).
GLR	Fuse and fuse holder.
DKO	Delete (3) 1/2" i.p.t. holes in CAB.



d"series

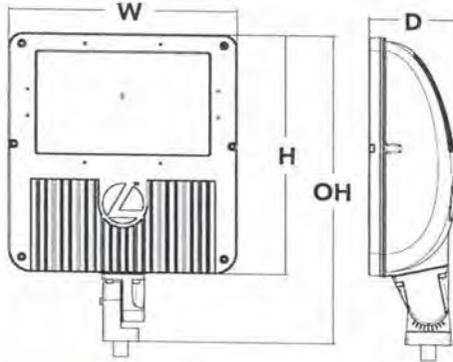
D-Series Size 3 LED Flood Luminaire



Catalog Number	DSXF3 LED 6 A530/40K MVOLT IS DDBXD
Notes	
Type	H

Specifications

EPA:	1.4 ft ² (0.13 m ²)
Depth:	5" (127.0 mm)
Width:	13" (330.0 mm)
Height:	13-5/8" (346.0 mm)
Overall Height:	17-1/2" (442.5 mm)
Weight:	21 lbs (9.5 kg)



Introduction

The D-Series Size 3 Flood features precision optics to beautifully illuminate a variety of applications as its sleek, compact styling blends seamlessly with its environment.

The D-Series Flood reflector systems and cutting-edge chip-on-board LED technology produce low field-to-beam ratios for minimal spill light and incredible photometric performance. It's the ideal long-life replacement for 250 - 400W metal halide floods, with typical energy savings of 67% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSXF3 LED 8 A530/40K FL MVOLT THK DDBXD

Series	Light Engines	Performance Package	Distribution	Voltage	Mounting	Options	Finish/Color
DSXF3 LED	6 Six COB engines 8 Eight COB engines	530 mA options: A530/30K 3000K A530/40K 4000K A530/50K 5000K	NSP Narrow spot MSP Medium spot MFL Medium flood FL Flood WFL Wide flood WFR Wide flood, rectangular HMF Horizontal medium flood	MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 480	IS IS Integral slipfitter (fits 2-3/8" O.D. tenon) Shipped separately ² FTS CG6 Tenon slipfitter (fits 2-3/8" to 2-7/8" O.D. tenon, YKC62 required)	Shipped included THK Knuckle with 3/4" NPT threaded pipe YKC62 Yoke with 16-3 SO cord Shipped installed PER NEMA twist-lock receptacle only (no controls) DMG 0-10V dimming driver (no controls) DCR Dimmable and controllable via ROAM [®] (no controls) ³ SF Single fuse (120, 277, 347V) ⁴ DF Double fuse (208, 240, 480V) ⁴ WTB Utility terminal block Shipped separately ² UBV Upper/bottom visor (universal) FV Full visor VG Vandal guard WG Wire guard SC Shorting cap ¹ DLL127F 1.5 JU Photocell - SSL twist-lock (120-277V) ⁵ DLL347F 1.5 CUL JU Photocell - SSL twist-lock (347V) ¹ DLL480F 1.5 CUL JU Photocell - SSL twist-lock (480V) ¹	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White

Accessories

Ordered and shipped separately:

FTS CG6 DDBXD U	Slipfitter for 2-1/8" to 2-7/8" O.D. tenons; mates with yoke mount; (specify finish)	DSXEUBV DDBXD U	Upper/bottom visor accessory (specify finish)
FRWB DDBXD U	Radius wall bracket, 2-1/8" O.D. tenon (specify finish)	DSXF3V DDBXD U	Full visor accessory (specify finish)
FSPB DDBXD U	Steel square pole bracket, 2-3/8" O.D. tenon (specify finish)	DSXE3VG U	Vandal guard accessory
		DSXE3WG U	Wire guard accessory

For more mounting options, visit our [Mounting & Accessories](#) pages
For more control options, visit [DCL](#) and [DC205](#) online

NOTES

- MVOLT driver operates on any line voltage from 120-277V. Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Also available as separate accessories; see Accessories information at left.
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

Lum. Effic.	Dim. Control	Performance Package	System Watts	Opt. Type	Field Angle		Beam Angle		30° (5000K to 6000K)			40° (4000K to 6000K)			50° (4000K to 6000K)			
					m	ft	W	H	W	H	W	H	W	H	W	H	W	H
					°	°	°	°	°	°	°	°	°	°	°	°	°	°
6	530	A530/-K	112W	NSP	48	49	19	19	37,879	7554	67	39,299	9076	81	39,177	9119	81	
					MSP	50	48	24	23	32,755	7443	66	36,284	8943	80	36,171	8986	80
					MFL	60	60	47	46	12,061	7057	63	15,104	8479	76	15,057	8519	76
					FL	85	84	63	62	9898	9399	84	9985	11292	101	9954	11346	101
					WFL	106	106	71	72	6979	9327	83	7488	11927	106	7465	11260	101
					WFR	107	88	85	64	6859	9461	84	7460	11368	101	7436	11422	102
					HMF	100	62	80	13	7751	4138	37	6779	4972	44	6758	4996	45
					NSP	48	49	19	19	52,471	10464	71	51,658	12572	85	51,496	12632	85
8	530	A530/-K	148W	NSP	50	48	24	23	52,368	11900	80	47,694	14286	97	47,546	14354	97	
					MFL	60	60	47	46	16,707	9775	66	19,854	11745	79	19,792	11801	80
					FL	85	84	63	62	13,711	13019	88	13,125	15642	106	13,084	15717	106
					WFL	106	106	71	72	9650	12897	87	9843	15482	105	9812	15556	105
					WFR	107	88	85	64	9501	13106	89	9805	15747	106	9775	15821	107
					HMF	100	62	80	13	10,736	5732	39	8911	6887	47	8883	6920	47

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

0°C	32°F	1.05
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the DSXF LED 8 A530 platform based on 8400 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.90	0.80

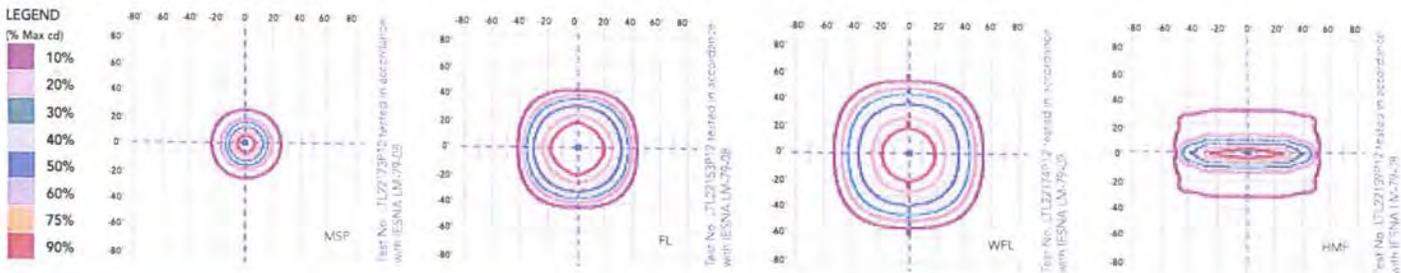
Electrical Load

		Operating Hours						
		120	208	240	277	347	480	
6	530	112W	0.92	0.53	0.47	0.47	0.32	0.23
8	530	148W	1.20	0.69	0.60	0.53	0.41	0.30

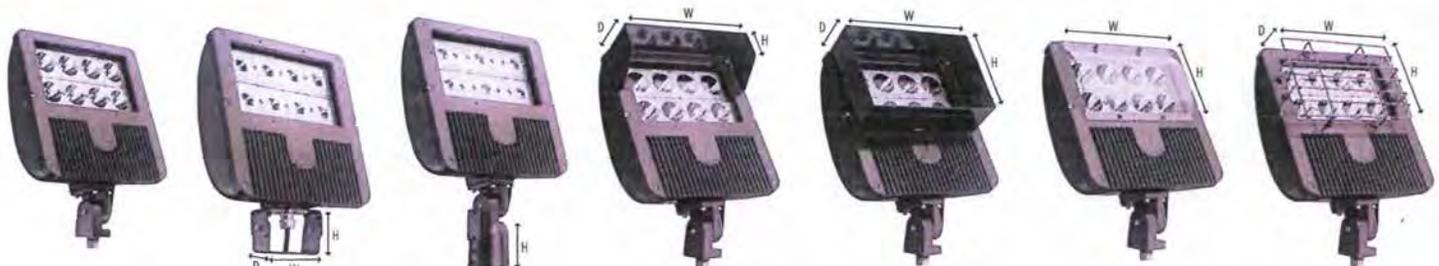
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [3 Series Flood Size 3 homepage](#).

Iscandela plots for the DSXF3 LED 8 A530/40K.



Mounting, Options and Accessories



THK - Knuckle with 3/4" NPT threaded pipe

YKC62 - Yoke with SO cord
 W=5" (12.7 cm)
 H=3-1/2" (8.8 cm)
 D=2" (5.0 cm)

IS - Integral slipfitter
 H=4-1/2" (11.4 cm)
 ID=2-3/8" (6.0 cm)
 OD=3-1/2" (8.8 cm)

UBV - Upper/bottom visor
 W=12" (30.4 cm)
 H=7-1/5" (19.0 cm)
 D=3" (7.6 cm)

FV - Full visor
 W=12" (30.4 cm)
 H=7-1/5" (19.0 cm)
 D=3" (7.6 cm)

VG - Vandal guard
 W=10-1/2" (26.6 cm)
 H=7-1/2" (19.0 cm)

WG - Wire guard
 W=10-1/2" (26.6 cm)
 H=7-1/2" (19.0 cm)
 D=1-1/5" (3.8 cm)



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DSXF3-LED
 Rev 10/02/2014



d³series

D-Series Size 3 LED Flood Luminaire



Catalog
Number

DSXF3 LED6 A530/40K FL MVOLT IS DDBXD AFWMA

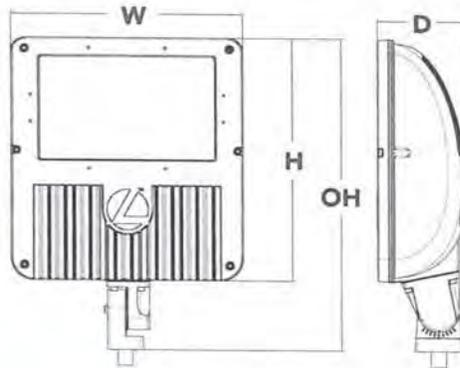
Notes

Type

K

Specifications

EPA:	1.4 ft ² (0.13 m ²)
Depth:	5" (12.7 cm)
Width:	13" (33.0 cm)
Height:	13-5/8" (34.6 cm)
Overall Height:	17-1/2" (44.5 cm)
Weight:	21 lbs (9.5 kg)



Introduction

The D-Series Size 3 Flood features precision optics to beautifully illuminate a variety of applications as its sleek, compact styling blends seamlessly with its environment.

The D-Series Flood reflector systems and cutting-edge chip-on-board LED technology produce low field-to-beam ratios for minimal spill light and incredible photometric performance. It's the ideal long-life replacement for 250 - 400W metal halide floods, with typical energy savings of 67% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSXF3 LED 8 A530/40K FL MVOLT THK DDBXD

DSXF3 LED

Series	Light Engines	Performance Package	Distribution	Voltage	Mounting	Options	Finish (required)
DSXF3 LED	6 Six COB engines	530 mA options: A530/30K 3000K A530/40K 4000K A530/50K 5000K	NSP Narrow spot	MVOLT ¹	Shipped included THK Knuckle with 3/4" NPT threaded pipe YKC62 Yoke with 16-3 SO cord IS Integral slipfitter (fits 2-3/8" O.D. tenon)	Shipped installed PER NEMA twist-lock receptacle only (no controls) DMG 0-10V dimming driver (no controls) DCR Dimmable and controllable via ROAM [®] (no controls) ¹ SF Single fuse (120, 277, 347V) ⁴ DF Double fuse (208, 240, 480V) ¹ WTB Utility terminal block	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White
	8 Eight COB engines		FL Flood WFL Wide flood WFR Wide flood, rectangular HMF Horizontal medium flood	120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 480			

Accessories

Ordered and shipped separately.

FTS CG6 DDBXD U	Slipfitter for 2-3/8" to 2-1/8" O.D. tenons; mates with yoke mount (specify finish)	DSXF3UBV DDBXD U	Upper/bottom visor accessory (specify finish)
FRWB DDBXD U	Radius wall bracket, 2-1/8" O.D. tenon (specify finish)	DSXF3FV DDBXD U	Full visor accessory (specify finish)
FSPB DDBXD U	Steel square pole bracket, 2-3/8" O.D. tenon (specify finish)	DSXF3VG U	Vandal guard accessory
		DSXF3WG U	Wire guard accessory

For more mounting options, visit our [Mounting Options](#) pages.
For more control options, visit [1](#) and [2](#) online.

NOTES

- MVOLT driver operates on any line voltage from 120-277V. Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Also available as separate accessories; see Accessories information at left.
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

Luminaire Config	Drive Current (mA)	Refluxance (Voltage)	System Watts	Dist. (ft)	Beam Angle		30° Beam (1000K, 70 CRI)			60° Beam (4000K, 70 CRI)			90° Beam (5000K, 70 CRI)					
					Min	Max	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam	Beam			
					ft	ft	ft	ft	ft	ft	ft	ft	ft	ft	ft			
6	530	A530/-K	112W	NSP	48	49	19	19	37,879	7554	67	39,299	9076	81	39,177	9119	81	
					MSP	50	48	24	23	32,755	7443	66	36,284	8943	80	36,171	8986	80
					MFL	60	60	47	46	12,061	7057	63	15,104	8479	76	15,057	8519	76
					FL	85	84	63	62	9898	9399	84	9985	11292	101	9954	11346	101
					WFL	106	106	71	72	6979	9327	83	7488	11927	106	7465	11260	101
					WFR	107	88	85	64	6859	9461	84	7460	11368	101	7436	11422	102
					HMF	100	62	80	13	7751	4138	37	6779	4972	44	6758	4996	45
					NSP	48	49	19	19	52,471	10464	71	51,658	12572	85	51,496	12632	85
8	530	A530/-K	148W	MSP	50	48	24	23	52,368	11900	80	47,694	14286	97	47,546	14354	97	
					MFL	60	60	47	46	16,707	9775	66	19,854	11745	79	19,792	11801	80
					FL	85	84	63	62	13,711	13019	88	13,125	15642	106	13,084	15717	106
					WFL	106	106	71	72	9650	12897	87	9843	15482	105	9812	15556	105
					WFR	107	88	85	64	9501	13106	89	9805	15747	106	9775	15821	107
					HMF	100	62	80	13	10,736	5732	39	8911	6887	47	8883	6920	47

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

0°C	32°F	1.05
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the DSXF LED 8 A530 platform based on 8400 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.90	0.80

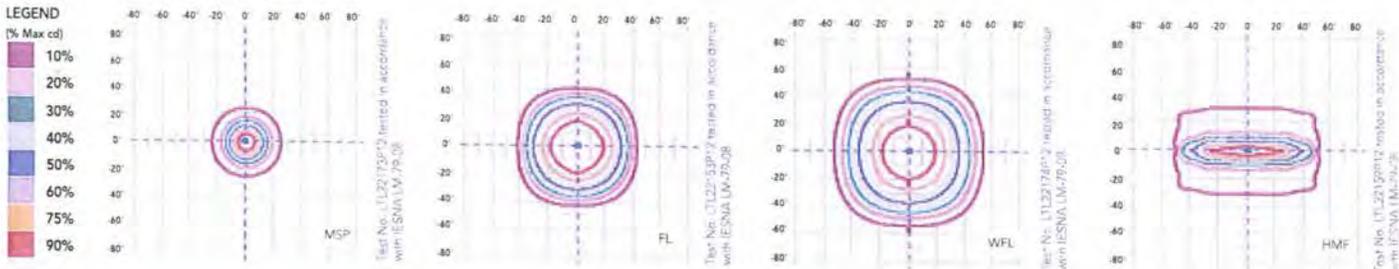
Electrical Load

			120	208	240	277	347	480
6	530	112W	0.92	0.53	0.47	0.47	0.32	0.23
8	530	148W	1.20	0.69	0.60	0.53	0.41	0.30

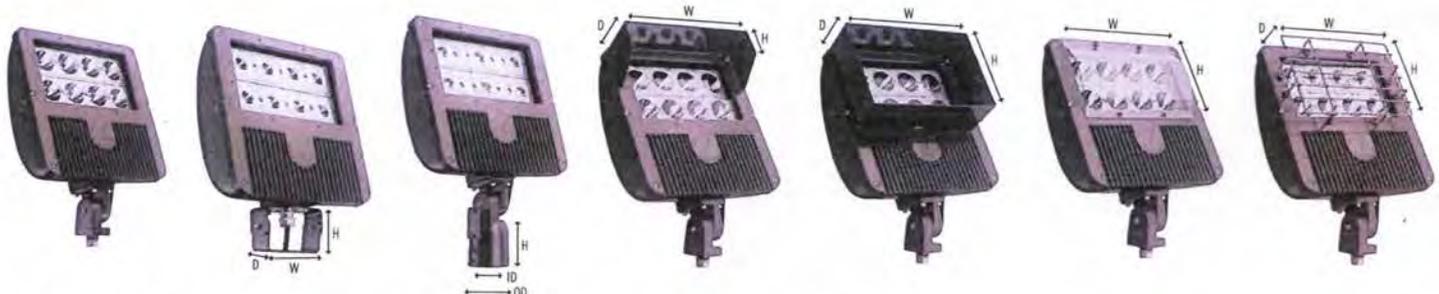
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Flood Site 3 homepage](http://D-Series-Flood-Site-3.htm).

Iscandela plots for the DSXF3 LED 8 A530/40K.



Mounting, Options and Accessories



THK - Knuckle with 3/4" NPT threaded pipe

YKC62 - Yoke with SO cord
 W= 5" (12.7 cm)
 H= 3-1/2" (8.8 cm)
 D= 2" (5.0 cm)

IS - Integral slipfitter
 H= 4-1/2" (11.4 cm)
 ID= 2-3/8" (6.0 cm)
 OD= 3-1/2" (8.8 cm)

UBV - Upper/bottom visor
 W= 12" (30.4 cm)
 H= 7-1/5" (19.0 cm)
 D= 3" (7.6 cm)

FV - Full visor
 W= 12" (30.4 cm)
 H= 7-1/5" (19.0 cm)
 D= 3" (7.6 cm)

VG - Vandal guard
 W= 10-1/2" (26.6 cm)
 H= 7-1/2" (19.0 cm)

WG - Wire guard
 W= 10-1/2" (26.6 cm)
 H= 7-1/2" (19.0 cm)
 D= 1-1/5" (3.8 cm)



One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • Fax: 770.918.1209 • www.lithonia.com
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DSXF3-LED
 Rev. 10/02/2014



d"series

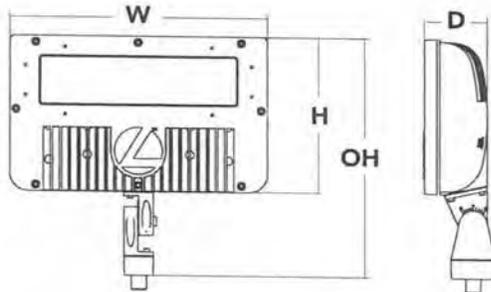
D-Series Size 2 LED Flood Luminaire



Catalog Number	DSXF2 LED 3 A530/40K FL MVOLT IS DDBXD
Notes	
Type	T

Specifications

EPA:	0.8 ft ² (0.05 m ²)
Depth:	3-1/8" (8.0 cm)
Width:	12-7/8" (32.5 cm)
Height:	7-3/4" (19.8 cm)
Overall Height:	12" (30.5 cm)
Weight:	10.5 lbs (4.8 kg)



Introduction

The D-Series Size 2 Flood features precision optics to beautifully illuminate a variety of applications as its sleek, compact styling blends seamlessly with its environment.

The D-Series Flood reflector systems and cutting-edge chip-on-board LED technology produce low field-to-beam ratios for minimal spill light and incredible photometric performance. It's the ideal long-life replacement for 150 - 250W metal halide floods, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSXF2 LED 4 A530/40K MSP MVOLT THK DDBXD

DSXF2 LED

Series	Light Engines	Performance Package	Distribution	Voltage	Mounting	Options	Finish/Color
DSXF2 LED	3 Three COB engines ¹	530 mA options: A530/30K 3000K A530/40K 4000K A530/50K 5000K	NSP Narrow spot	MVOLT ²	THK Knuckle with 1/2" NPS threaded pipe	PE Photocontrol, button style ³	DDBXD Dark bronze
	4 Four COB engines		MSP Medium spot				
			MFL Medium flood	208 ⁴	IS Integral slipfitter (fits 2-3/8" O.D. tenon)	SF Single fuse (120, 277, 347V) ⁶	DNAXD Natural aluminum
			FL Flood	240 ⁴		Shipped separately ⁷	DF Double fuse (208, 240, 480V) ⁶
			WFL Wide flood	277 ⁴	DSXF1/2TS Tenon slipfitter (2-3/8" O.D. THK required)		UBV Upper/bottom visor (universal)
			WFR Wide flood, rectangular	347	FTS CG6 Tenon slipfitter (2-7/8" O.D. YKC62 required)	FV Full visor	
			HMF Horizontal flood	480		VG Vandal guard	

Stock configurations are offered for shorter lead times:

Stock Part Number	Stock Part Number
DSXF2 LED 3 A530/40K WFL MVOLT THK DDBXD	DSXF2 LED 3 40K
DSXF2 LED 3 A530/50K WFL MVOLT THK DDBXD	DSXF2 LED 3 50K
DSXF2 LED 4 A530/40K WFL MVOLT THK DDBXD	DSXF2 LED 4 40K
DSXF2 LED 4 A530/50K WFL MVOLT THK DDBXD	DSXF2 LED 4 50K

Accessories

Ordered and shipped separately:

DSXF1/2TS DDBXD U	Slipfitter for 1-1/4" to 2-3/8" O.D. tenons, mates with 1/2" threaded knuckle (specify finish)
FTS CG6 DDBXD U	Slipfitter for 2-3/8" to 2-7/8" O.D. tenons, mates with yoke mount (specify finish)
FRWB DDBXD U	Radius wall bracket, 2-3/8" O.D. tenon (specify finish)
FSPB DDBXD U	Steel square pole bracket, 2-3/8" O.D. tenon (specify finish)
DSXF2UBV DDBXD U	Upper/bottom visor accessory (specify finish)
DSXF2FV DDBXD U	Full visor accessory (specify finish)
DSXF2VG U	Vandal guard accessory

For more mounting options, visit our [Product Information](#) pages

NOTES

- Not available with 347 or 480V.
- MVOLT driver operates on any line voltage from 120-277V. Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options) or photocontrol (PE).
- Also available as separate accessories; see Accessories information at left.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option.
- Not available with three-engine product (DSXF2 LED 3).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

Light Fixture	Drive Current (mA)	Performance Package	System Watt	Dist. Type	THX (4000K/70 CRI)			HX (5000K/90 CRI)			SJK (5000K/90 CRI)							
					lm	lm/ft ²	lm/ft	lm	lm/ft ²	lm/ft	lm	lm/ft ²	lm/ft					
3	530	A530/-K	54W	NSP	48	49	19	19	19,398	3868	72	20,166	4648	86	20,103	4670	86	
					MSP	50	48	24	23	18,631	4234	78	18,619	5087	94	18,561	5111	95
					MFL	60	60	47	46	6177	3614	67	7751	4342	80	7726	4363	81
					FL	85	84	63	62	5069	4813	89	5124	5783	107	5108	5810	108
					WFL	106	106	71	72	3573	4776	88	3842	6108	113	3830	5766	107
					WFR	107	88	85	64	3513	4845	90	3828	5821	108	3816	5849	108
					HMF	100	62	80	13	3969	2119	39	3479	2546	47	3468	2558	47
					4	530	A530/-K	74W	NSP	48	49	19	19	25,870	5159	70	26,893	6198
MSP	50	48	24	23						25,415	5775	78	24,830	6933	94	24,752	6966	94
MFL	60	60	47	46						8237	4820	65	10,336	5791	78	10,304	5818	79
FL	85	84	63	62						6760	6419	87	6833	7712	104	6811	7749	105
WFL	106	106	71	72						4758	6359	86	5124	7633	103	5108	7670	104
WFR	107	88	85	64						4684	6462	87	5105	7764	105	5089	7801	105
HMF	100	62	80	13						5293	2826	38	4639	3396	46	4625	3412	46

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

0°C	32°F	1.07
10°C	50°F	1.04
20°C	68°F	1.02
25°C	77°F	1.00
30°C	86°F	0.98
40°C	104°F	0.95

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the DSXF LED 4 A530 platform based on 8400 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
3	1.0	0.94	0.90	0.80

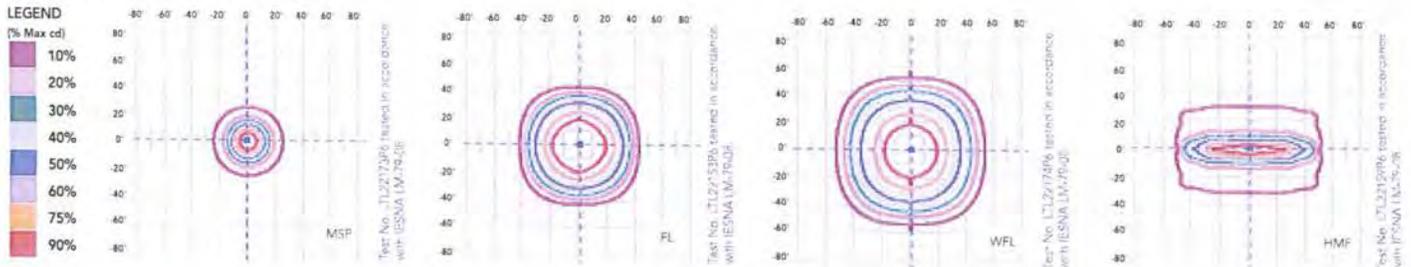
Electrical Load

			120	208	240	277	347	480
3	530	54W	0.47	0.28	0.22	0.2	0.17	0.12
4	530	74W	0.63	0.37	0.33	0.3	0.22	0.16

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [DSXF2 LED 4 A530/40K](#) homepage.

Isocandela plots for the DSXF2 LED 4 A530/40K.



Mounting, Options and Accessories





D-Series Size 2 LED Wall Luminaire



d-series

Catalog Number **DSXW2 LED 30C 700 40K T2M MVOLT VG**
DDBXD BBW

Notes

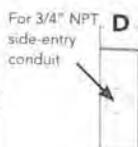
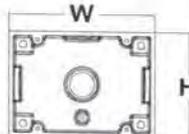
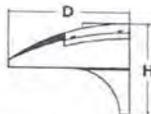
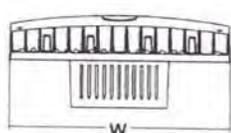
Type **U**

Specifications Luminaire

Width: 18-1/2" (470 mm)
Weight: 21 lbs (9.5 kg)
Depth: 10" (254 mm)
Height: 7-5/8" (194 mm)

Back Box (BBW)

Width: 5-1/2" (140 mm)
Weight: 1 lbs (0.5 kg)
Depth: 1-1/2" (38 mm)
Height: 4" (102 mm)



Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 76% in energy savings over comparable 400W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

DSXW2 LED

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options	Other Options	Finish (optional)			
DSXW2 LED	20C 20 LEDs (two engines)	350 350 mA	30K 3000 K	T2S Type II Short	MVOLT ¹	Shipped included (blank) Surface mounting bracket	Shipped installed PE Photoelectric cell, button type ⁸	Shipped installed SF Single fuse (120, 277, 347V) ¹	DDBXD Dark bronze			
		530 530 mA	40K 4000 K	T2M Type II Medium	120 ¹							
	700 700 mA	50K 5000 K	T3S Type III Short	208 ¹	Shipped separately ³					PER NEMA twist-lock receptacle only (no controls)	DF Double fuse (208, 240, 480V) ¹	DBLXD Black
	1000 1000 mA (1 A)	AMBPC Amber phosphor converted	T3M Type III Medium	240 ¹								
			T4M Type IV Medium	277 ¹	DCR Dimmable and controllable via ROAM [®] (no controls)					SPD Separate surge protection ⁴	DWHXD White	
			TFTM Forward Throw Medium	347 ²								PIRH 180° motion/ambient light sensor; 15-30' mtg ht ¹
			ASYDF Asym-metric diffuse	480 ²	WG Wire guard					DNATXD Textured natural aluminum		
												DBLBXD Textured black
												DWHGXD Textured white
							DSSTXD Textured sandstone					

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240 or 277 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347V, 480V or PIRH. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net.
- Specifies the Sensor Switch SBGR-6-ODP control; see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell) or DCR. Dimming driver standard.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

Accessories

Ordered and shipped separately

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹
SC U	Shorting cap
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2WG U	Wire guard accessory
DSXW2VG U	Vandal guard accessory
DSXW2BBW DDBXD U	Back box accessory (specify finish)



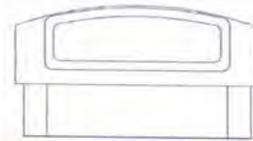
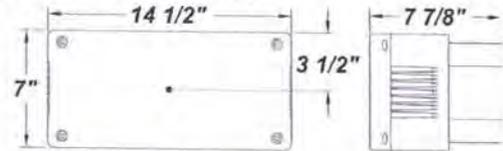
TALON W LED



PROJECT :
TYPE : Z
ORDERING # : TLNW-THB-L216-8-120V-BZ-40K-LED-PCL 120
COMMENTS :

FEATURES

- Die-Cast Aluminum Housing w/ Textured Black Polyester Powder Coat Finish
- Clear Tempered Glass Diffuser
- 50% Up / 50% Down Standard Light Distribution
- Thermal Compensation Technology Ensures Longer LED Lifetime, Which is Ideal For Fixtures Being Placed in Area With Fluctuating or Higher Ambient Temperatures
- Stainless Steel Hex-Head Screws
- Mounts Direct to Flat Surface w/ Two #8 Wall Anchors (Not Included)
- ELV Driver - Over-Voltage, Over-Current, and Short-Circuit Protection w/ Auto Recovery
- Constant Current, Dimmable to 10% From 120V to 230V
- 120V - 277V
- Surge Protector
- Integral Emergency LED Driver Available
- CSA Listed Wet Location For Wall Mounting



ORDERING INFORMATION

Example : (TLNW - L116.8 - SM - 120V - 277V - CGL - 30K)

Textured Black is Standard Finish

PRODUCT	SOURCE/WATTAGE	VOLTAGE	DRIVER OPTIONS	DIFFUSER	FINISH	OPTIONS
Talon W	<p>L116.8 - (4) 4.2W LED Modules - (One Side Illuminated) - (Downlight Only) - (1) 20 Watt Driver</p> <p>L216.8 - (8) 4.2W LED Modules - (Four LED Modules Per Side) - (1) 40 Watt Driver</p> <p>4.2W LED Modules - (LM80 Standard) **40,000 Hours(L70)</p> <p>L121.1 - 21.1W LED Strip(s) - (One Side Illuminated) - (Downlight Only)</p> <p>L218.1 - 18.1W LED Strip(s)</p> <p>L70 life time for 50,000hr</p>	<p>120 - 277V</p> <p>(L121.0 & L218.1 Are Dimmable From 120 - 230V)</p>	<p>12CV - 12V Constant Voltage Non-Dimming Electronic Driver (For L116.8 & L216.8)</p> <p>12CVD - 12V Constant Voltage Dimming Electronic Driver (For L121.1) (Dimmable 0 - 10V)</p> <p>ZE1100 - 1100mA Line Voltage Dimming Incandescent Driver (For L218.1) (Dimmable 0 - 10V)</p>	<p>CGL - Clear Glass Lens</p>	<p>SM - Matte Silver TB - Textured Black AC - Antique Copper AS - Antique Silver BT - Bronze Mist CP - Copper KC - Kenworth Chrome SN - Sand SW - Swedish Steel BZ - Textured Bronze TW - Textured White</p> <p>RAL Colors or Custom Match - Consult Factory</p>	<p>30K - 3000K Color Temp. 35K - 3500K Color Temp. (L121.1 & L218.1 Only) 40K - 4000K Color Temp. 51K - 5100K Color Temp. (L116.8 & L216.8 Only) EB - Bodine BSL26 - Will light 4 LED Modules - on Down Side of Fixture - AC Mode 960 Lumens - Battery @ 1 second = 322 Total Lumens - Battery @ 90 Minutes = 291 Total Lumens</p> <p>Please Note: 120V or 277V Must Be Specified When Ordering The EB Option</p>

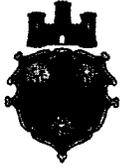
REPLACEMENT PARTS PART NO.

Replacement Clear Glass Lens	37966
Replacement Frosted Glass Lens	3796662

NOTES

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: June 9, 2015

LOT AND BLOCK NUMBER: 24-J-229-1

WARD: 23 rd

FEE PAID: yes

DISTRICT:

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

810 TRIPOLI ST

Individual

OWNER:

NAME: HOMESTEAD PROPERTY VENTURES

ADDRESS: 5889 AYLESBORO AVE

PITTSBURGH, PA 15217

PHONE: 412 427 7539

EMAIL: gkparker@outlook.com

APPLICANT:

NAME: same

ADDRESS: |

|

PHONE: |

EMAIL: |

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

OWNER: [Signature] DATE: 5/27/15

APPLICANT: [Signature] DATE: 5/27/15



HOMESTEAD PROPERTY VENTURES, LLC
5889 Aylesboro Avenue
Pittsburgh, PA 15217
412 427 7539

29 May 2015

Sarah Quinn
Historic Preservation Planner
City of Pittsburgh
200 Ross Street, 3rd floor
Pittsburgh, PA 15219

RE: 810 Tripoli Street
Immanuel Church Historic Application

Dear Ms Quinn:

Please find enclosed our application for work completed on this property, a check for \$350, and photos of the work completed.

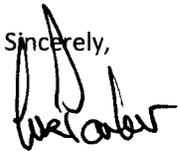
We replaced cinder blocks with glass windows and believed that the designation process had not been completed so did not apply at the time for this work. I apologise for this error.

Our contractor is certain that the property originally had glass block windows and we have attached a photo of the property where we believe you can see the block windows as they were.

We may also wish to replace the cinder block in the Tripoli Street house along the Turtle Way frontage. I have enclosed a photo of this property also.

Please call me if you have any questions on 412 427 7539.

Sincerely,



G.K. Parker
Director

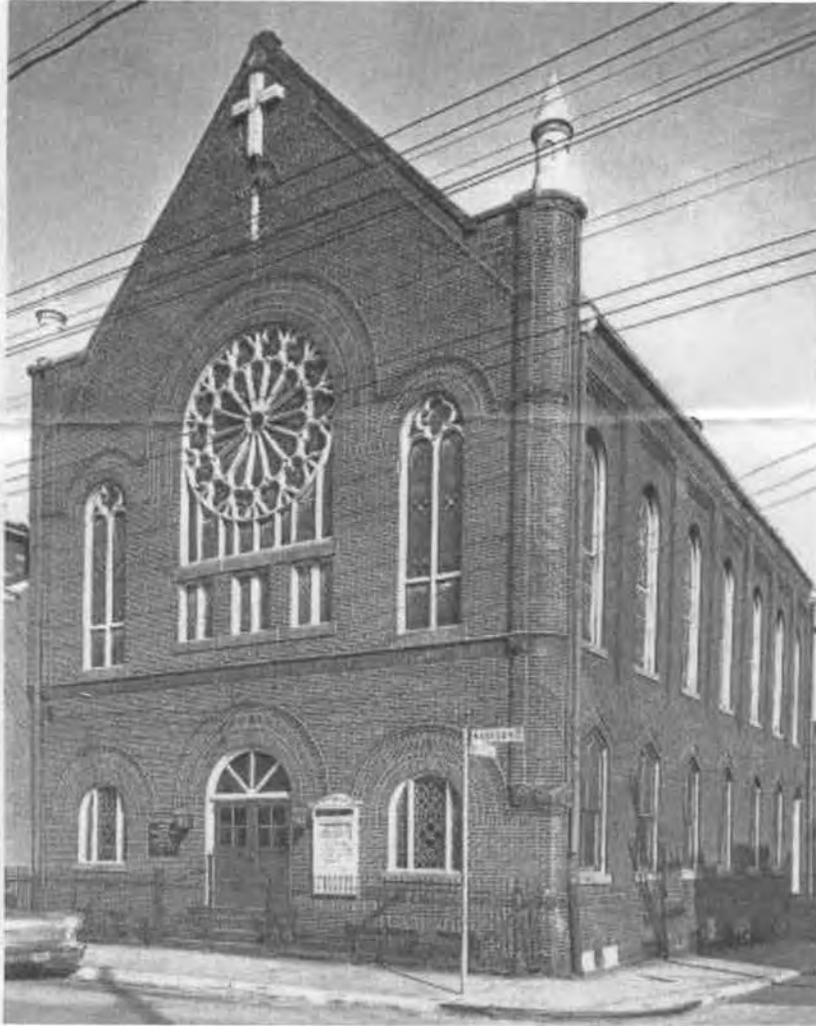
Description of Work Completed

The cinder block inserts that had been put into the old church basement block window spaces were removed in four spots and new glass block windows were inserted.

The glass block contractor indicated that these windows had previously been glass block based on the nature of the ledge that he encountered during construction.

This has greatly improved the light and ventilation into the basement space and we believe is consistent with how the building looked in the past.

ORIGINAL BUILDING.



1 blocks.



PICTURE BEFORE WORK COMPLETED

Four windows as they look now.









TRIPOLI RESIDENCE.



Block wall on Turtle Way.

Replace with block windows.



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

4021-4029 Butler Street
 Pittsburgh, PA 15201

OWNER:

NAME: Lawrenceville Holdings (c/o John Pergal)
 ADDRESS: 4025 Butler Street
Pittsburgh, PA 15201
 PHONE: 412-853-8609
 EMAIL: jpergal68@gmail.com

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

APPLICANT:

NAME: Lisa Carver, AIA - PWWG Architects
 ADDRESS: 408 Blvd of the Allies
Pittsburgh, PA 15219
 PHONE: 412-391-2884
 EMAIL: lcarver@pwwgarch.com

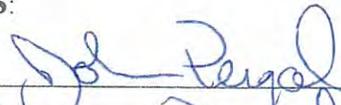
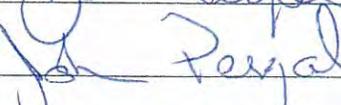
REQUIRED ATTACHMENTS:

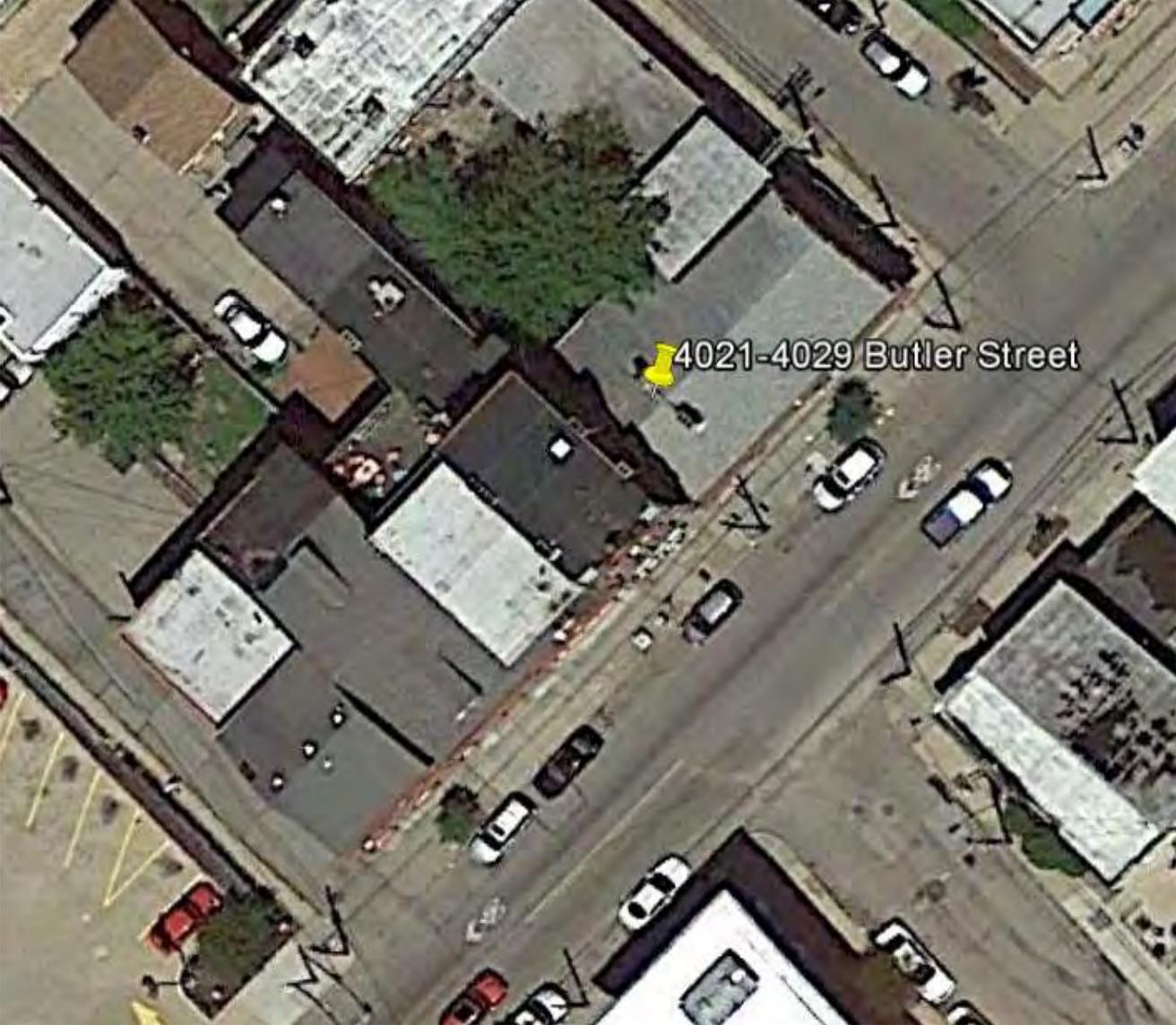
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

~~Partial demolition at rear of 4023-4029 Butler Street and construction of 2-3 story addition to accommodate new retail, apartments, and expansion of music venue.~~

SIGNATURES:

OWNER:  DATE: 9/16/13
 APPLICANT:  DATE: 9/16/15
 DATE: 9/18/15



Thunderbird Café Mixed-Use Project
Historic Review Commission Application
Design Narrative – September 18, 2015

By way of the consolidation of 3 lots, from 4021 to 4029 Butler Street, the proposed Thunderbird Café Mixed-use Project will include the expansion of the Thunderbird Café, a new deli tenant, an upscale retail tenant, and 11 dwelling units on upper floors.

The existing building at 4025-4029 Butler is a locally designated historic structure, therefore the entire project will be reviewed by the Historic Review Commission of the City of Pittsburgh’s planning department. Though the entire structure has been designated as historic, it is our opinion, based on building investigation, that the front original building is the most historically significant, intact, and sound portion of the structure. There were at least 2 additions to this building and while old, they do not have significant historic qualities. In particular, the rear-most addition, has been “re-faced” on the 41st St. and Eden Way elevations, eliminating any historic significance the building may have once had (see attached photos). With the machine made brick, steel window lintels, and the size of the windows, we estimate this re-facing occurred after 1930. The courtyard side of the building also had significant alterations to window openings, leaving little original fabric (see photo). The existing structure of all 3 areas of the building is losing its structural integrity and is becoming more of a safety hazard every day. Due to the multiple issues that this corner building has, the desire to create viable retail space in the corner building, and expand the Thunderbird Café building (4023 Butler), we are proposing to demolish the non-original portions of both and build a 3-story addition to contain the enlarged live music venue area, new retail tenant, and 6 new dwelling units above. The remaining 5 dwelling units will be contained within the footprints of the original buildings.

The Café intends to shift its target market by shortening the front bar to allow customer table seating at the Butler St. storefront and by increasing its food sales. The rear addition will allow for this increase in food sales during non-event nights as well, by providing a large amount of customer seating at tables and chairs to offset those patrons visiting the bar only. As agreed to with the neighborhood organizations of Lawrenceville United and Lawrenceville Corporation, a ‘full house’ for musical acts will be limited to 382 customers, and a rooftop deck will accommodate those same patrons who choose to smoke – another part of the neighborhood agreement, in order to limit crowding of Butler Street during performance times.

As a guest enters the front door of the Thunderbird, they will arrive, as previously noted, in the café portion of the restaurant, with tables, chairs, and reduced bar seating. Within the music venue addition, the first floor actually becomes the balcony to the stage below, located in the basement. Intimate booth seating is in the corners, and tables and chairs line the floor opening to provide views of the stage. Offices for the café, as well as property management company, Lawrenceville Holdings, will reside behind the stage, allowing windows and ‘eyes’ on the back of the development along Eden Way. An open stair guides patrons downstairs to the basement where the main performance area is located. There is a

secondary bar on this level, beneath the café, in an area which will retain and expose its original stone foundation. Original stone of the demolished portions of the buildings will be salvaged to the maximum extent possible and reused in the new addition at this level. The kitchen for the café, the band loading area and green room, public toilet rooms, and general storage are also located on this level.

The apartments above will have two main entrances, a 'walk-up' entrance on Butler, and the other on the back of the addition along Eden Way, where an elevator will provide accessibility (close to the onsite parking) as well as convenience for residents. This elevator will be shared with the retail tenant, but secure points between both will exist. There will be a mix of 1 and 2 bedroom apartments, each bedroom having its own bathroom. Laundry facilities will also be provided within each apartment.

The buildings along Butler will be sympathetically rehabilitated, with replacement of non-original or refurbishment of existing windows and storefront. Character defining decorative elements will be repaired to their original design and repainted. Along 41st Street, we are proposing to maintain the existing portion of the 'ell' building and reestablishing the original rhythm of openings, but instead of installing new windows we are proposing to recess new infill to allow for upcoming show posters or a community art project to be displayed. Along this façade we are also proposing historically appropriate signage for the retail tenant, in the spirit of the original use of this façade (see historic 1909 photo). Additionally, we propose to repaint the existing brick a light gray with dark trim, the light/dark scheme derived from the historic photo.

The height of the addition will be minimized as to not impact the view of the original historic properties along Butler. The initial juncture with the original building will be a setback balcony, minimizing the impact of the new building against the existing and cladding it in synthetic slate, with color, texture, and scale similar to the original cladding of the original addition. This smaller volume breaks down the scale of the majority of the addition, which is clad in red brick and has a simple repetitive window pattern as can be seen throughout Lawrenceville on side elevations of minor streets (see photos). The rear of the addition along 41st street is a dark brick base with a slate clad volume atop it. Again, reusing the material language of the existing building in a more contemporary, but sympathetic composition. The addition provides a façade with visual interest and variety, while still being contextual with the larger neighborhood. The rear of the addition behind the Thunderbird building is proposed to be a more economical material, such as profiled metal panel. The intent is to focus the more intricate detailing and rehabilitation to Butler and 41st streets and in order to do that, the rear of the building receives a more straightforward utilitarian design and cladding. Prior to submitting this application, the owner and design team met with the Lawrenceville Stakeholders to review the proposed exterior design and welcome feedback to address any concerns they may have. The design team worked through the comments and we believe the current strategy to be compatible with the existing fabric but still differentiated from the historic buildings through material use and form.

This project will be an asset to the community by providing enhanced services and providing a residential density more in line with the surrounding neighborhood. Additionally, 6 of the 11 dwelling units will be built to ANSI 117.1 Type B accessible standards, providing accommodation to a currently underserved population. Saving and rehabilitating the existing historic facades along Butler Street will highlight the commitment to the community by the owner and the reinvestment that Lawrenceville Holdings is making in the community.



September 17, 2015

Mr. Kevin Wagstaff, AIA
Perfido Weiskopf Wagstaff + Goettel
408 Boulevard of the Allies
Pittsburgh, PA 15219-1301

Project Name: Thunderbird Café Addition and Renovation – SE Project Number 015-060

Dear Kevin:

Per your request, I have performed a walk-thru of the rear of the building located at 4029 Butler Street in Pittsburgh, Pennsylvania. The purpose of the walk-thru was to visually observe and document the structural conditions of the existing basement and first floor framing in this portion of the building in order to determine if it is structurally feasible to re-use the framing and exterior wall facing 41st Street of this area in the proposed renovation project.

The proposed use of the first floor in this area of the renovation project is for a retail use which requires a live load of 150 pounds per square foot. A large portion of the existing framing for this level is not capable of supporting this loading. In fact, it would require reinforcing of the floor joists, the heavy timber beam which runs down the center of the space as well as the footings supporting the posts which support this heavy timber beam. Further, the layout of the existing foundation walls in the interior of the existing building do not fit in with the proposed layout of the renovation at this level.

The proposed use of the second floor in this area of the renovation project is for a residential use which requires a live load of 40 pounds per square foot. Since this framing level is currently serving as roof level, it is not likely to be capable of supporting this loading. I was not able to visually determine what the framing is at this level due to existing finishes. The typical live loading for a roof in the Pittsburgh area is approximately 25 – 30 pounds per square foot. Further, the layout of the existing bearing walls in the interior of the existing building do not fit in with the proposed layout of the renovation at this level.

It was requested to review the feasibility of re-using the existing exterior masonry wall along 41st Street in the renovation project. It is structurally feasible to do so but only if a new foundation wall is built behind that wall to support the new framing and to provide lateral bracing for the existing wall. This new wall would have to be provided with a new footing and would be required to be put in place prior to demolishing the existing framing behind the existing wall. The existing foundation wall is not structurally adequate to support the new loading of the renovation project as it is currently laid out. I was not able to see the footing for this wall but, since it is composed of stone/mortar with some areas requiring re-



To: Mr. Kevin Wagstaff, AIA
September 17, 2015

Page 2

pointing and some areas requiring new stone to be installed where there are voids present, based on my experience, this wall has no footing beneath it and the width of the wall itself is the only foundation providing support for the weight of the wall above. This wall width is not sufficient to support the proposed renovation loading as a footing.

Please call if you have any questions regarding this matter.

Sincerely,

John M. Schneider, P.E.
Schneider Engineering, LLC

Thunderbird Café Mixed Use Project – HRC Application

September 18, 2015

Lawrenceville Holdings

PERFIDO
WEISKOPF
WAGSTAFF+
GOETTEL

- Thunderbird
- Retail
- Residential
- Restaurant



4021-4029 Butler Street – Existing Site Plan

HRC Application
 September 18, 2015
Lawrenceville Holdings



- Thunderbird
- Retail
- Residential
- Restaurant



4021-4029 Butler Street – Proposed Site Plan

HRC Application
 September 18, 2015
Lawrenceville Holdings





Existing 4025-4029 Butler – Butler Elevation

HRC Application
September 18, 2015
Lawrenceville Holdings





Existing 4025-4029 Butler – View down 41st

HRC Application
September 18, 2015
Lawrenceville Holdings



Existing 4025-4029 Butler – View down 41st

HRC Application
September 18, 2015
Lawrenceville Holdings





Existing 4025-4029 Butler – View at 41st & Eden

HRC Application
September 18, 2015
Lawrenceville Holdings

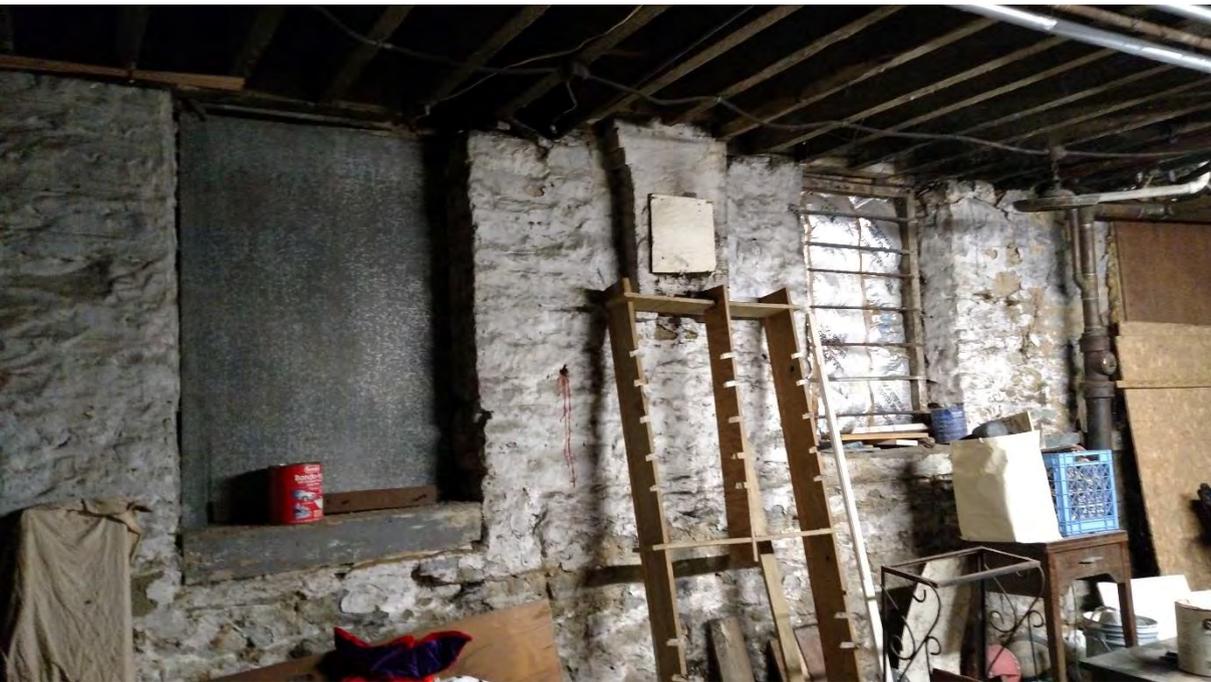




Existing 4021 and 4023 Butler – Butler and Eden Way Elevations

HRC Application
September 18, 2015
Lawrenceville Holdings

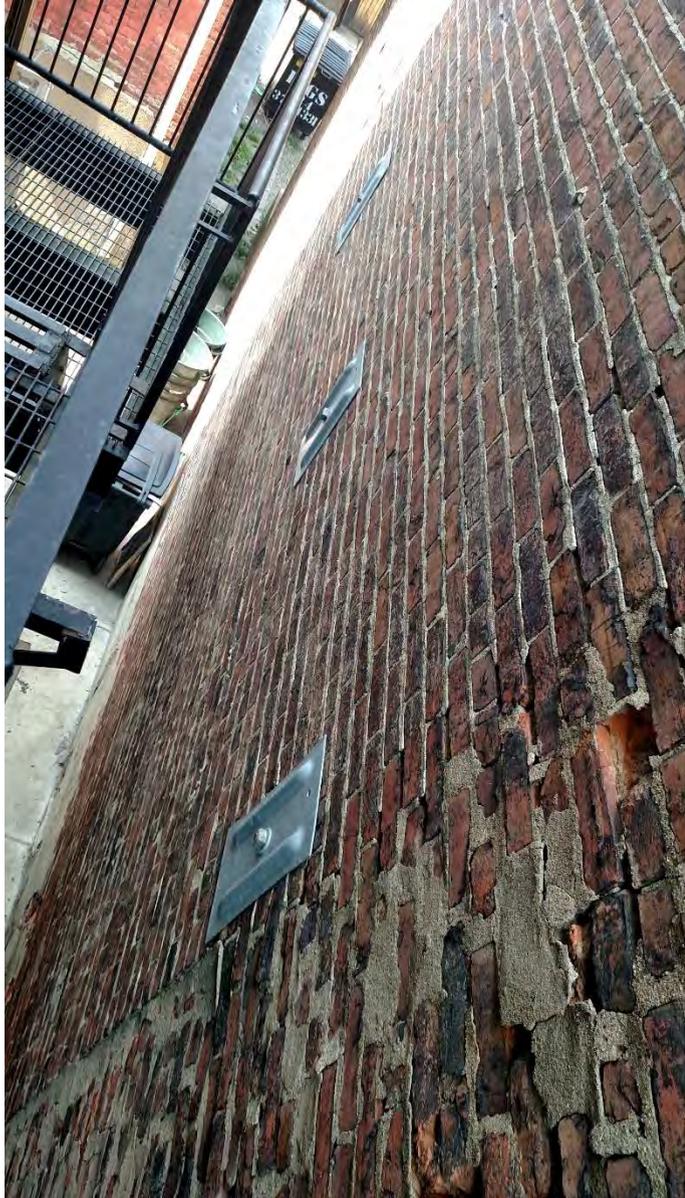




4025-4029 Butler – Existing Condition Photos

HRC Application
September 18, 2015
Lawrenceville Holdings

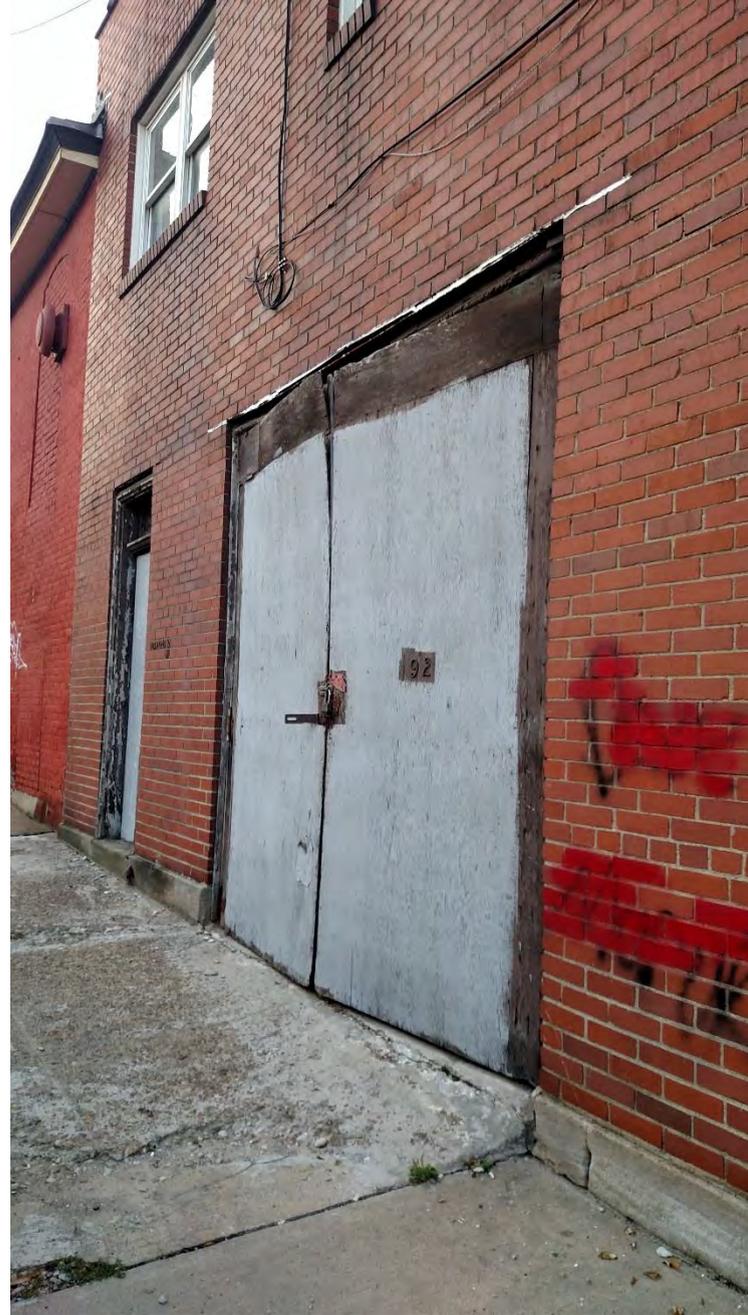




4025-4029 Butler – Existing Condition Photos

HRC Application
September 18, 2015
Lawrenceville Holdings



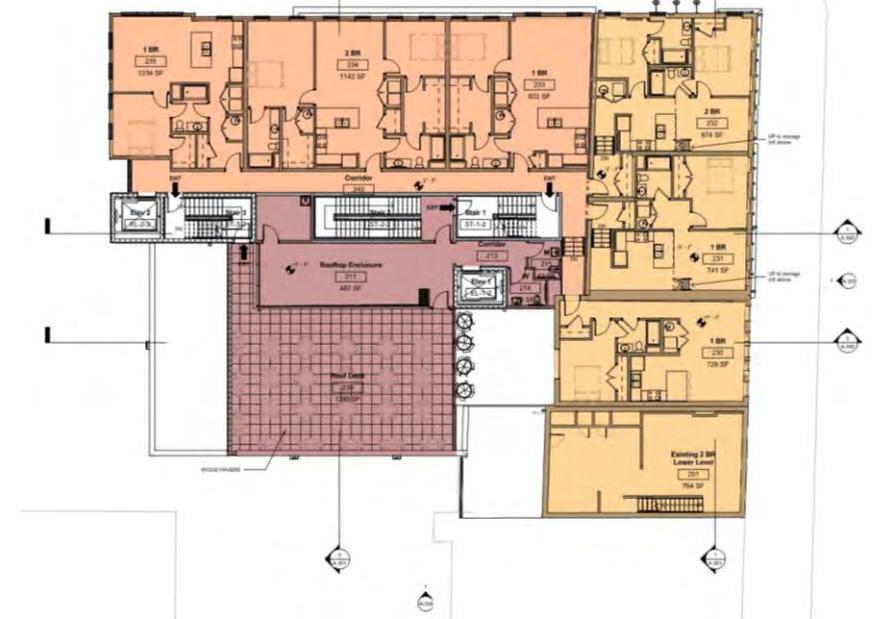
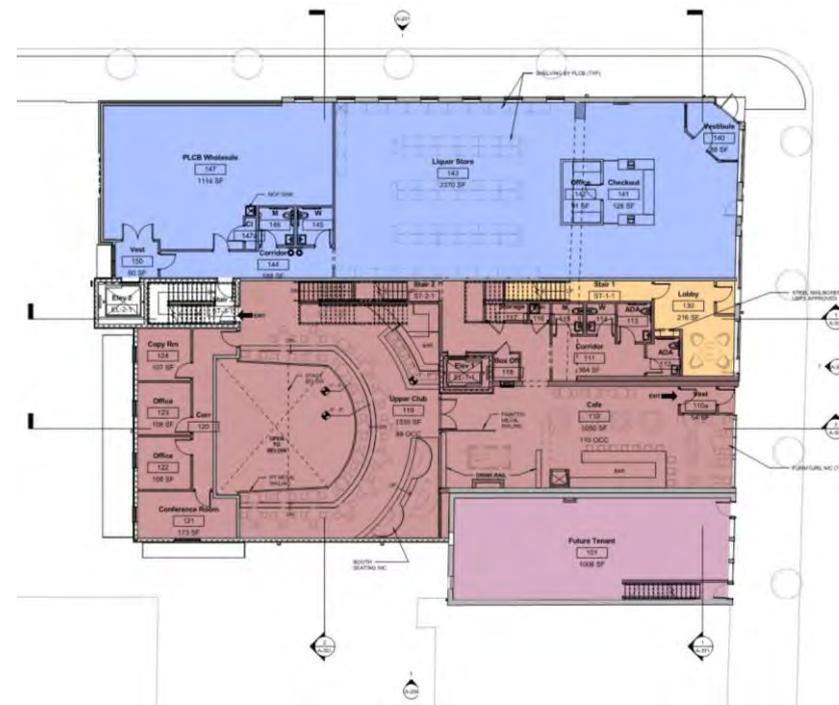
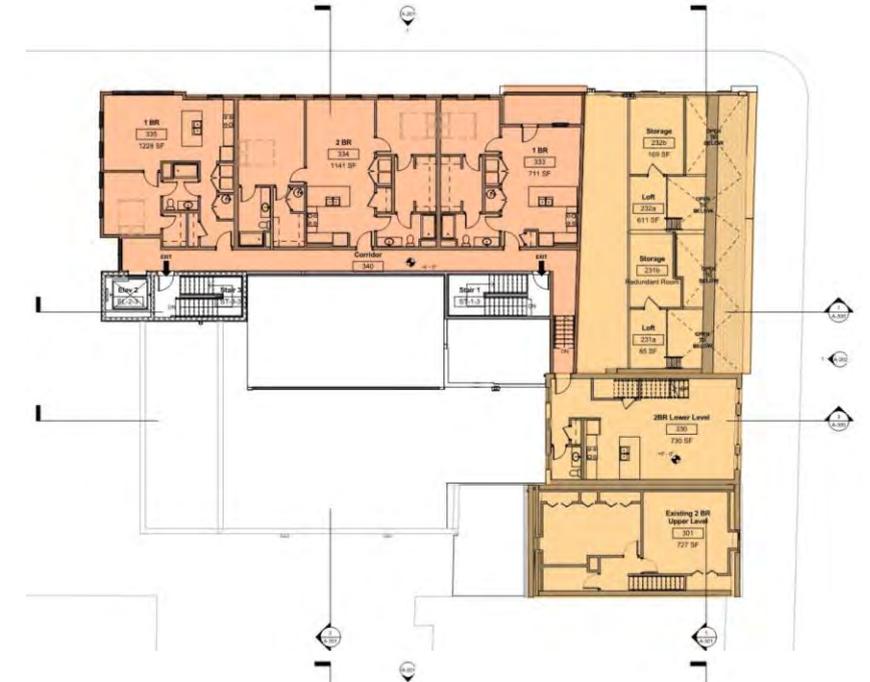
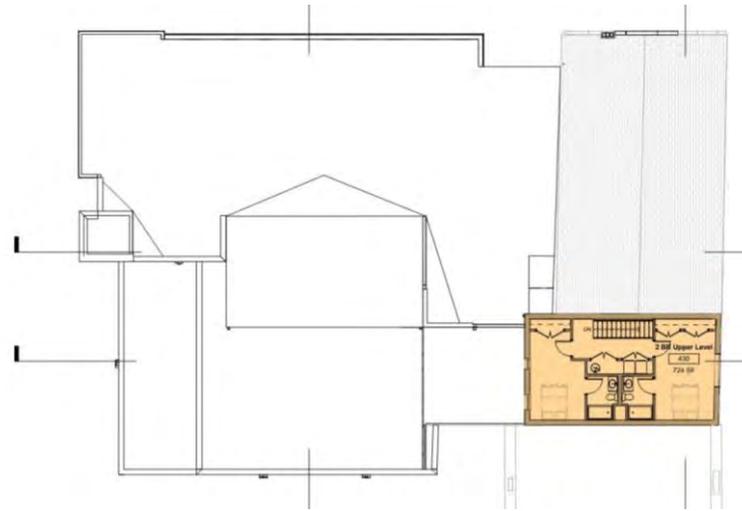


4025-4029 Butler – Existing Condition Photos

HRC Application
September 18, 2015
Lawrenceville Holdings



- Thunderbird
- Retail
- Residential
- Restaurant



HRC Application
 September 18, 2015
Lawrenceville Holdings



Existing 4021-4029 Butler – Floor Plans



Existing 4025-4029 Butler – 1909 Photo

HRC Application
September 18, 2015
Lawrenceville Holdings





Existing 4025-4029 Butler – Butler Elevation

HRC Application
 September 18, 2015
Lawrenceville Holdings





43rd and Butler

45th and Butler

Main and Butler

45th and Plummer

Simple Brick Volume with Regular Openings

HRC Application
September 18, 2015
Lawrenceville Holdings





Existing 4025-4029 Butler – Eden Way Elevation

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Existing 4021-4029 Butler – View across Butler

HRC Application
September 18, 2015
Lawrenceville Holdings





Proposed Building – View from Butler

HRC Application
September 18, 2015
Lawrenceville Holdings





Existing Building – View from Butler

HRC Application
September 18, 2015
Lawrenceville Holdings



Proposed Building – View from Butler

HRC Application
September 18, 2015
Lawrenceville Holdings



Existing Building – View from Eden Way

HRC Application
September 18, 2015
Lawrenceville Holdings



Proposed Building – View from Eden Way

HRC Application
September 18, 2015
Lawrenceville Holdings







Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1201 BINGHAM ST
PGH, PA 15203

OWNER:

NAME: CITY OF PITTSBURGH
 ADDRESS: CITY-COUNTY BUILDING
414 GRANT ST. ROOM 200
PGH, PA 15209
 PHONE: 412-255-8860
 EMAIL: _____

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

CARSON STREET DISTRICT

APPLICANT:

NAME: PATRICK RUSSELL / RENAISSANCE 3 ARCHITECTS
 ADDRESS: 48 S. 14TH ST
PGH, PA 15203
 PHONE: 412-431-2480
 EMAIL: pr@r3a.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

REMOVAL OF EXISTING ASPHALT SHINGLE ROOFING. INSTALLATION OF NEW
INSULATION, FAUX SLATE ROOF TILES, AND FAUX COPPER GUTTERS.

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: Pat Russell DATE: 7/18/15



Renaissance 3 Architects, P.C.

48 South 14th Street
Pittsburgh, PA 15203
T: 412-431-2480
F: 412-431-2670

Meeting Report

South Side Market House

City of Pittsburgh - Department of Public Works
15029.

HRC Application - Scope of Work

September 18, 2015

Brief:

The South Side Market House is located at 1 Bedford Square, at the intersections of 12th and Bedford Streets. Designed by Charles Bickel it was originally built in 1893. It burned in 1914 and was rebuilt in 1915 in the form that exists today.

Scope of Work:

- 1) The extent of the project is removal of the existing roofing material, repairing existing wood roof deck where required, and installation of insulation, new roofing, a working gutter, and painting of fascia, soffit, and existing rain leaders.
 - a) **Roof:** The existing roof material is asphalt shingles installed in the last 30 years. We propose to use faux slate shingles for the new roof to match what would be a typical material for a building of this time period and design. The slate would be Majestic Slate by EcoStar. A cut sheet of the slate is attached as well as photos of the selected slate in use on another project in the city.
 - b) **Gutter:** It is unknown when the current gutter system was installed, but from photographs and investigation, it is likely not original. The current design has also lead to water infiltration and damage to the wood structure below. The proposal is to install a copper-look half round gutter which would be an appropriate style for a building of this age and style. For cost purposes the gutter would be aluminum with Kynar or similar finish to look like dark patinated copper. A cut sheet of the gutter finish is attached.
 - c) **Paint:** Clean and re-paint the existing steel channel fascia, existing roof soffit, existing rain leaders, and the new Hardie-Board fascia. The soffit will be painted to match the existing window trim which is a Sherwin Williams 'Aspen Green'. A photo of the existing windows is attached. The steel channel and joists will be painted a complementary dark shade of green (Sherwin Williams Oakmoss). The rain leaders will be painted to match the gutters.

Prepared by:

Renaissance 3 Architects, P.C.

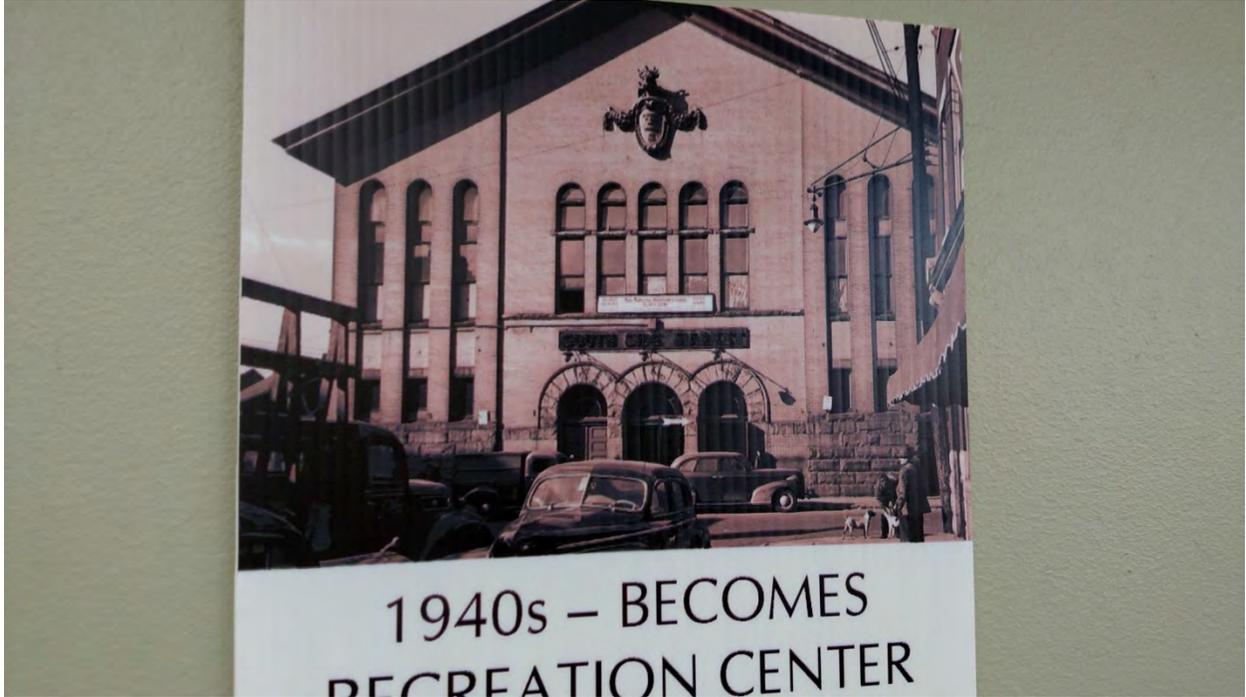
Patrick Russell
Project Designer



Before 1914 Fire



Fire Damage



1940s after rebuild from fire.



Sustainable Roofing



Majestic Slate



Environmentally friendly synthetic slate roofing tiles proudly made in the USA

Pioneers of sustainable roofing since 1993

Majestic Slate

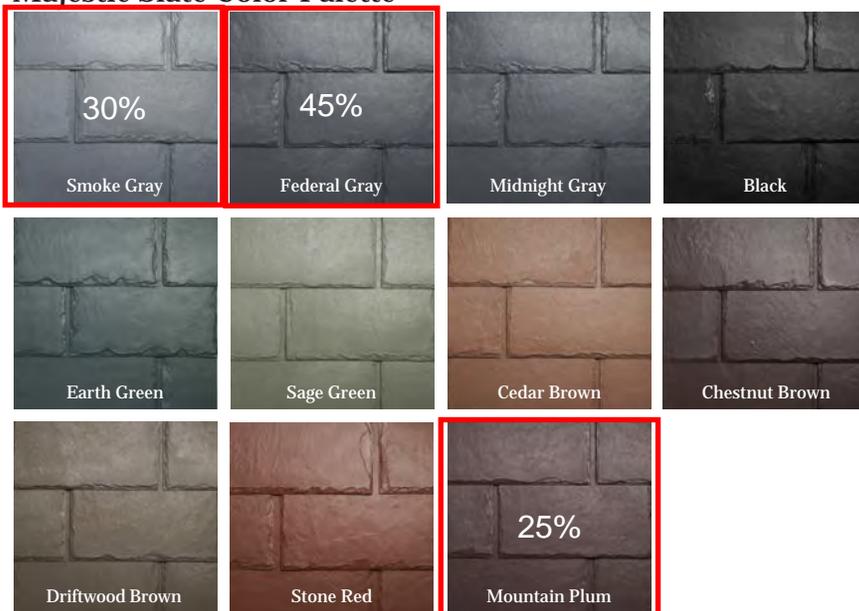


Historically, natural slate is one of the most appealing roofing choices, combining unmatched durability with aesthetic appeal. The cost of natural slate, as well as its weight and difficulty in finding a qualified slate installer, often makes its use prohibitive. EcoStar LLC, the leading manufacturer of premium synthetic steep-slope roofing products, combines classic appeal with modern technology to offer the lightweight and affordable alternative – Majestic Slate™.

Created with recycled rubber and plastics, Majestic Slate offers a sustainable, lighter and easy-to-install roofing product that provides the appearance of natural slate with lower application costs. Available in two widths and designer accents, this slate alternative offers endless possibilities for residential and commercial projects. The architectural detail of a project, whether historic or new construction, is further enhanced by a wide range of available color combinations using the palette of 11 standard color choices and array of custom options.

Curb appeal is everything when it comes to the look of your home, but protection from the elements must be a priority. Majestic Slate offers both.

Majestic Slate Color Palette



Note: Sample pieces, photographs or color samples may not accurately represent the true color level or variations of color blends that will appear on the roof. Before installation, ten tiles or so should be laid out and reviewed for conformity to desired color level. If color levels are unsatisfactory, advise your dealer before proceeding with installation. Colors and specifications subject to change without notice. EcoStar is not liable for color variations or shading. Tiles must be randomly blended for best results. Limited warranties carry terms and conditions. ¹Significant property insurance discounts may be available when upgrading or building a roof to protect against hail, wind or fire damage in regions where severe weather is common. EcoStar tiles meet or exceed industry standards for Impact Resistance and Fire Resistance. Contact your insurance provider for details.

02/14 © 2014 by EcoStar LLC. EcoStar and Majestic Slate are trademarks of EcoStar LLC. See www.ecostarllc.com for available warranties. P/N-602689 ECO-MAJESTIC SLATE CUT SHEETS

Advantages

- Weighs significantly less than natural slate
- Easy application keeps installation costs down
- Significant property insurance discounts may be available when upgrading or building a roof to protect against hail, wind or fire¹

Architectural Flexibility

- Majestic Slate widths 12" and 10" can be blended together to create texture and depth
- Majestic Slate Designer Series may also be included to add personal style to your home
- Staggered and offset installations can also enhance roof texture and depth
- Available in 11 standard color choices and an array of custom colors
- Natural appearance of real slate roofing
- Enhance the historical look in both residential and commercial buildings

Strength & Durability

- Formulated to provide improved durability and superior protection from extreme weather conditions that include wind, hail and driving rain
- Significant life cycle savings

Warranty Options

- 50-Year Limited Material Warranty available
- 50-Year Gold Star Labor & Material Warranty available
- 110 mph Wind Warranty available

Environmental Sustainability



- Manufactured with post-industrial recycled rubber and plastics

Technical Information

- UL listed Class A fire resistance (UL 790)
- UL listed Class C fire resistance (UL 790)
- UL listed wind resistance to 110 mph (D3161)
- UL Class 4 impact resistance (UL 2218)
- Prolonged UV Exposure (ASTM G155)
- ICC-ES, AC07 approved (ESR-1715)
- Contributes to LEED® points
- Manufactured in strict adherence to ISO 9001:2008 Quality Management



42 Edgewood Drive | Holland, NY 14080
800.211.7170 | www.ecostarllc.com

PAINTED ALUMINUM

80 White	30 White	Bone Linen	Heritage Cream
Herringbone	Almond	Light Maple	Savannah Wicker
Pearl Gray	Natural Clay	Pebblestone Clay	Red
Terra Bronze	Tuxedo Gray	Grecian Green	Royal Brown

Musket Brown	Dark Bronze	Black
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Copper Penny	Designer Copper Aluminum
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ADDITIONAL METALS

Copper	Copper Plus
Galvanized Steel	Paint Grip Steel
Lead Coated Copper	Galvalume
Prewathered Zinc	Freedom Gray Copper

Designer Copper Aluminum
Mimics the beautiful look of weathered copper



Available in K Style and Half Round

Textured "designer copper"

Comparison chart for actual copper weathering.



Finish for gutters and leaders



SW 6180 Oakmoss **Roof Fascia**



Color Details

Color Family: Greens
RGB Value: R-100 | G-108 | B-78
Hexadecimal Value: #646C4E
LRV: 15

Due to individual computer monitor limitations, colors seen here may not accurately reflect the selected color. To confirm your color choices, visit your neighborhood Sherwin-Williams store and refer to our in-store color cards.

STORE NEAR YOU

1900 GREENTREE RD
Pittsburgh, PA 15220-1813
(412) 531-2706

NOTES:

FAVORITE STORE

1900 GREENTREE RD
Pittsburgh, PA 15220-1813
(412) 531-2706

We can also be reached by phone at: 1-800-4-SHERWIN (1-800-474-3794)

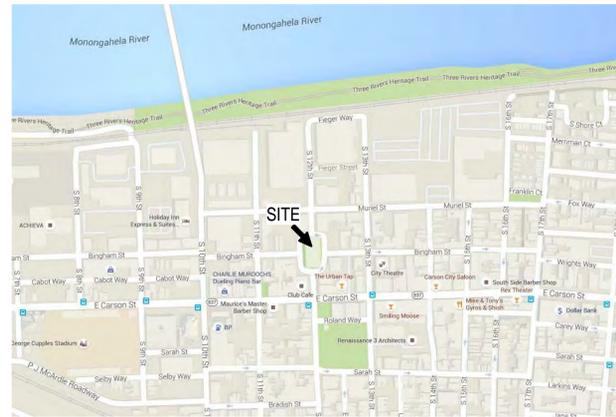
City of Pittsburgh Department of Public Works South Side Market House Roof Replacement

12th and Bingham Streets
Pittsburgh, PA 15203

9-18-15

OWNER: Department of Public Works
414 Grant Street
Pittsburgh, PA 15219
Phone: 412-255-8860
Fax: 412-255-8847
Contact: Federico Siegert

ARCHITECT: Renaissance 3 Architects, P.C.
48 South 14th Street
Pittsburgh, PA 15203
Phone: 412-431-2480
Fax: 412-431-2670
Contact: Carla Worthington



1 Location Map
NOT TO SCALE

Schematic Design / Design Development Drawings

List of Drawings

G-100	Cover Sheet
AD101	Roof Demolition Plan
A-101	Roof Plan
A-201	Exterior Elevations
A-202	Exterior Elevations
A-301	Sections and Details
A-901	3D View
A-902	Existing Images
A-903	Roof Precedent Images



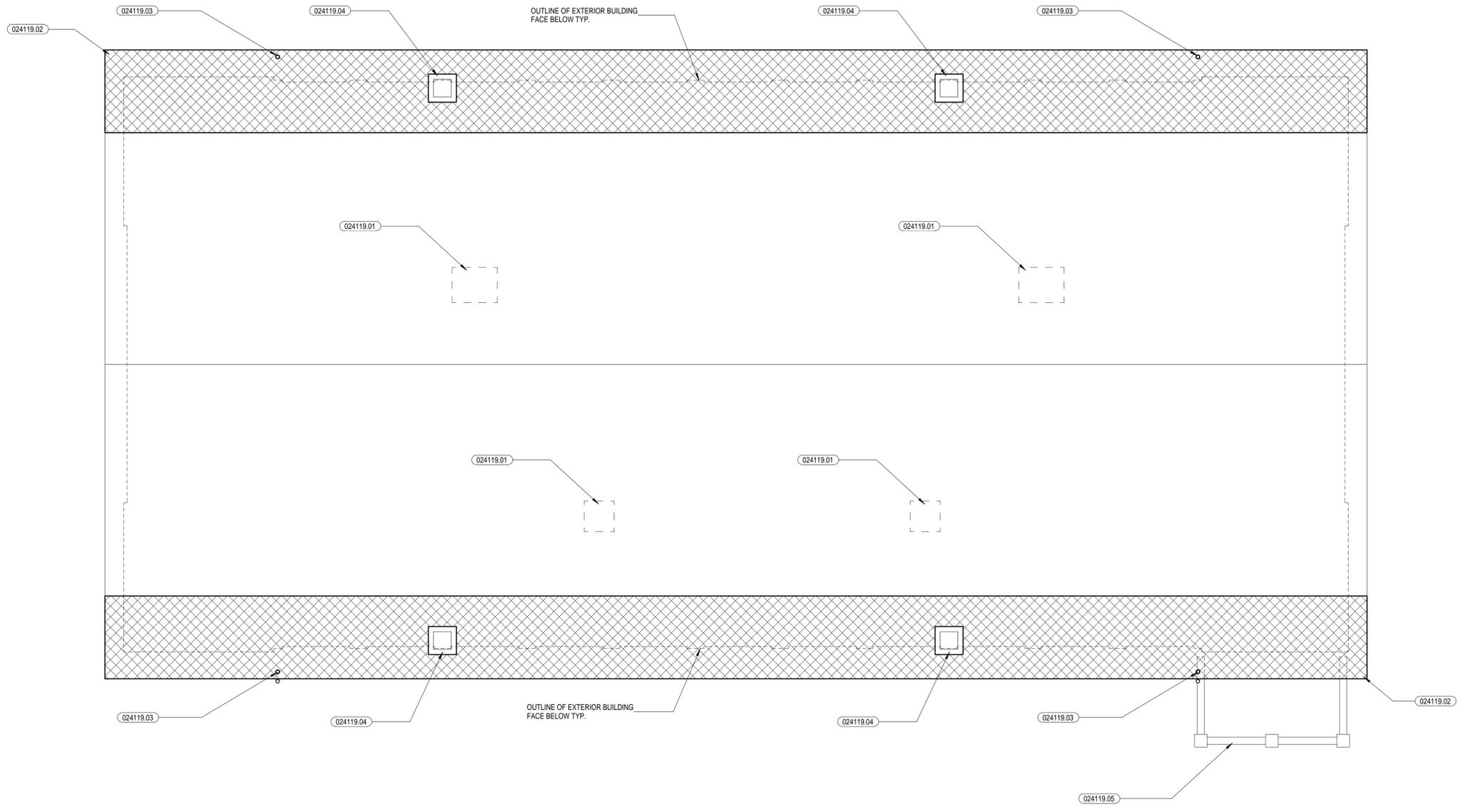
Renaissance 3 Architects, P.C.

48 South 14th Street
Pittsburgh, PA 15203
Phone: 412-431-2480
Fax: 412-431-2670
www.r3a.com

Design

Technology

Sustainability

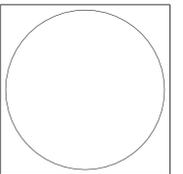


1 Roof Demolition Plan
1/8" = 1'-0"

REFERENCED DEMOLITION NOTES	
MARK	DESCRIPTION
024119.01	REMOVE EXISTING VENTS. DISCARD CURB AND MISCELLANEOUS ASSOCIATED STRUCTURE. PREPARE FOR INFILL
024119.02	REMOVE AND DISCARD EXISTING ROOFING SYSTEM PER LEGEND BELOW. REMOVE AND DISCARD EXISTING PERIMETER WOOD FASCIA BOARD, WOOD BLOCKING, METAL ROOF STOP ANGLE, WOOD CANT AND BLOCKING, ALUMINUM FLASHING AND SOFFIT ACCESSORIES TYPICAL AROUND THE ENTIRE ROOF PERIMETER. SECURE (4) EXISTING ROOF DRAIN LEADERS TO REMAIN AND PREPARE FOR NEW ROOFING SYSTEM.
024119.03	EXISTING ROOF DRAIN LEADER DOWN TO REMAIN
024119.04	EXISTING MASONRY CHIMNEY TO REMAIN
024119.05	EXISTING MASONRY ENCLOSURE BELOW AT SIDEWALK NOT IN CONTRACT

KEY	
	DEMOLISH
	OUTLINE OF EXTERIOR BUILDING FACE BELOW
	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM, TONGUE AND GROOVE WOOD DECKING SYSTEM
	REMOVE AND DISCARD EXISTING SHINGLE ROOFING SYSTEM AND SHEATHING DOWN TO EXISTING TONGUE AND GROOVE WOOD DECKING SYSTEM

SYMBOL LEGEND	
<p> 081000.01</p> <p>REFERENCED CONSTRUCTION NOTE SYMBOL INDICATOR</p> <p>NOTE NUMBER</p> <p>SPECIFICATION SECTION NUMBER</p> <p>REFER TO REFERENCED CONSTRUCTION NOTES ON EACH SHEET & MASTER LIST TO THE RIGHT</p>	<p></p> <p>EXTERIOR ELEVATION INDICATOR</p> <p>INDICATES SURFACE ELEVATED</p> <p>ELEVATION NUMBER</p> <p>SHEET NUMBER</p>
<p></p> <p>CEILING ELEVATION INDICATOR</p> <p>FINISHED ELEVATION</p> <p>FINISHED MATERIAL</p>	<p></p> <p>BUILDING SECTION INDICATOR</p> <p>INDICATES DIRECTION OF BUILDING SECTION VIEW</p> <p>SECTION NUMBER</p> <p>SHEET NUMBER</p>
<p></p> <p>DETAIL OR ENLARGED PLAN INDICATOR</p> <p>AREA OF DETAIL OR ENLARGED PLAN</p> <p>DETAIL OR ENLARGED PLAN NUMBER</p> <p>SHEET NUMBER</p>	<p></p> <p>WALL SECTION INDICATOR</p> <p>INDICATES DIRECTION OF WALL SECTION VIEW</p> <p>SECTION NUMBER</p> <p>SHEET NUMBER</p>
<p></p> <p>INTERIOR ELEVATION INDICATOR</p> <p>ELEVATION NUMBER</p> <p>ELEVATION NUMBER</p> <p>SHEET NUMBER</p> <p>ELEVATION NUMBER</p>	<p></p> <p>DETAIL INDICATOR</p> <p>INDICATES DIRECTION OF DETAIL VIEW</p> <p>DETAIL NUMBER</p> <p>SHEET NUMBER</p>



Renaissance 3 Architects, P.C.
48 South 14th Street
Pittsburgh, PA 15203
Phone: 412-431-2480
Fax: 412-431-2670
www.r3a.com

Design
Technology
Sustainability

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CONSULTANT:

City of Pittsburgh
Department of
Public Works
414 GRANT ST. #301
PITTSBURGH, PA 15219

South Side Market
House Roof
Replacement
12th and Bingham Streets
Pittsburgh, PA 15203

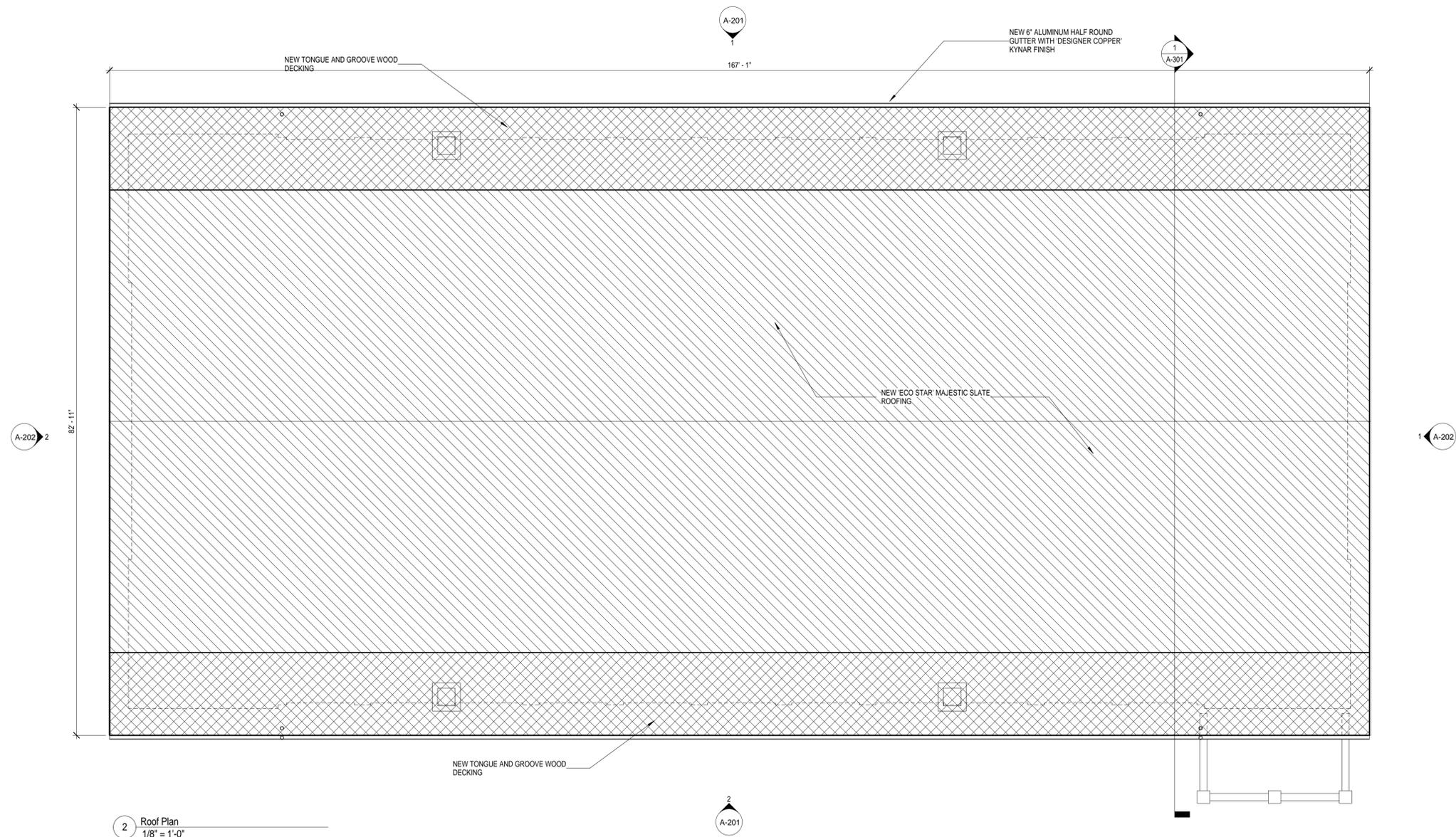
Schematic Design /
Design Development
Drawings

ISSUED: 9-18-15

Roof Demolition
Plan

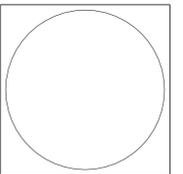
R3A PROJECT # 15029

AD101



2 Roof Plan
1/8" = 1'-0"

SYMBOL LEGEND	
<p>REFERENCED CONSTRUCTION NOTE SYMBOL INDICATOR</p> <p>081000.01</p> <p>NOTE NUMBER SPECIFICATION SECTION NUMBER</p> <p>REFER TO REFERENCED CONSTRUCTION NOTES ON EACH SHEET & MASTER LIST TO THE RIGHT</p>	<p>EXTERIOR ELEVATION INDICATOR</p> <p>INDICATES SURFACE ELEVATED</p> <p>ELEVATION NUMBER</p> <p>SHEET NUMBER</p>
<p>CEILING ELEVATION INDICATOR</p> <p>0'-0" GWB</p> <p>FINISHED ELEVATION</p> <p>FINISHED MATERIAL</p>	<p>BUILDING SECTION INDICATOR</p> <p>INDICATES DIRECTION OF BUILDING SECTION VIEW</p> <p>SECTION NUMBER</p> <p>SHEET NUMBER</p>
<p>DETAIL OR ENLARGED PLAN INDICATOR</p> <p>AREA OF DETAIL OR ENLARGED PLAN</p> <p>DETAIL OR ENLARGED PLAN NUMBER</p> <p>SHEET NUMBER</p>	<p>WALL SECTION INDICATOR</p> <p>INDICATES DIRECTION OF WALL SECTION VIEW</p> <p>SECTION NUMBER</p> <p>SHEET NUMBER</p>
<p>INTERIOR ELEVATION INDICATOR</p> <p>ELEVATION NUMBER</p> <p>ELEVATION NUMBER</p> <p>SHEET NUMBER</p> <p>ELEVATION NUMBER</p>	<p>DETAIL INDICATOR</p> <p>INDICATES DIRECTION OF DETAIL VIEW</p> <p>DETAIL NUMBER</p> <p>SHEET NUMBER</p>



Renaissance 3 Architects, P.C.
48 South 14th Street
Pittsburgh, PA 15203
Phone: 412-431-2480
Fax: 412-431-2670
www.r3a.com

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PITTSBURGH, PA 15219

South Side Market
House Roof
Replacement
12th and Bingham Streets
Pittsburgh, PA 15203

Schematic Design /
Design Development
Drawings

ISSUED: 9-18-15

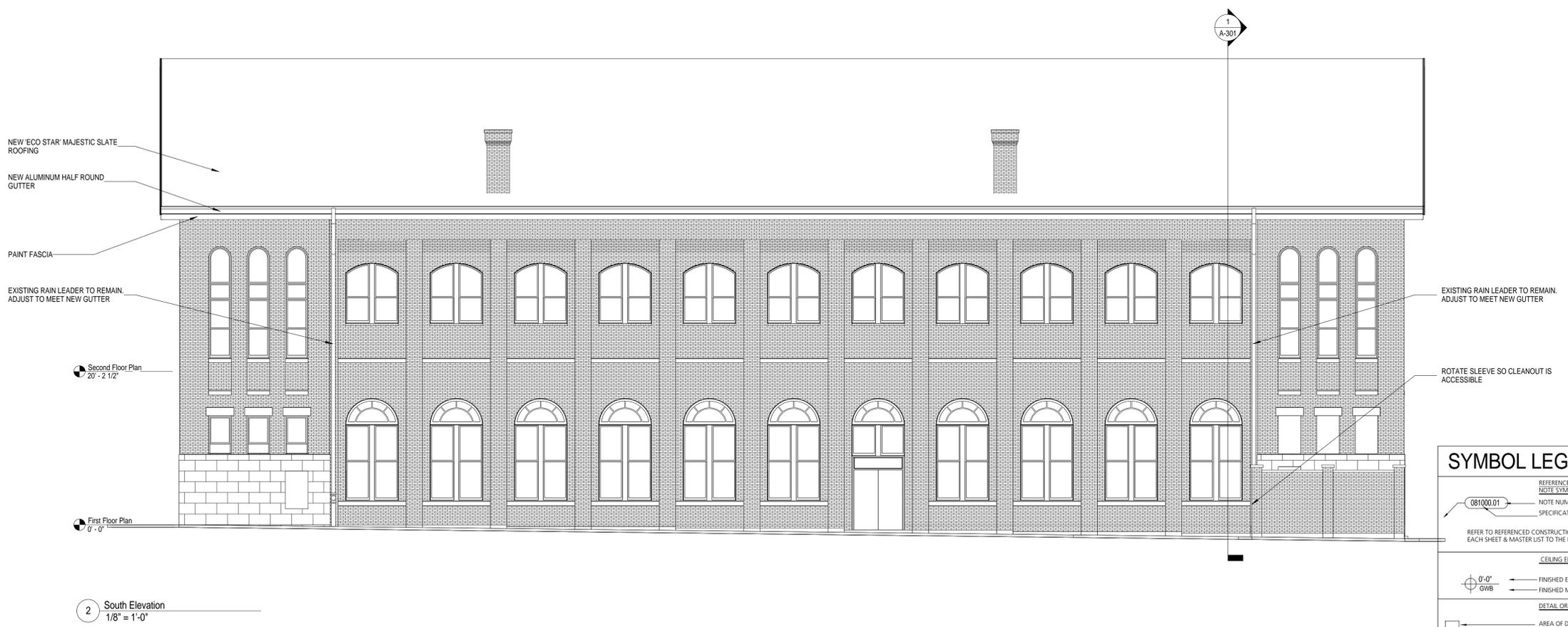
Roof Plan

R3A PROJECT # 15029

A-101

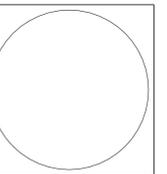


1 North Elevation
1/8" = 1'-0"



2 South Elevation
1/8" = 1'-0"

SYMBOL LEGEND	
<p>REFERENCED CONSTRUCTION NOTE SYMBOL INDICATOR</p> <p>NOTE NUMBER: SPECIFICATION SECTION NUMBER</p> <p>REFER TO REFERENCED CONSTRUCTION NOTES ON EACH SHEET & MASTER LIST TO THE RIGHT</p>	<p>EXTERIOR ELEVATION INDICATOR</p> <p>INDICATES SURFACE ELEVATED</p> <p>ELEVATION NUMBER</p> <p>SHEET NUMBER</p>
<p>CEILING ELEVATION INDICATOR</p> <p>FINISHED ELEVATION</p> <p>FINISHED MATERIAL</p>	<p>BUILDING SECTION INDICATOR</p> <p>INDICATES DIRECTION OF BUILDING SECTION VIEW</p> <p>SECTION NUMBER</p> <p>SHEET NUMBER</p>
<p>DETAIL OR ENLARGED PLAN INDICATOR</p> <p>AREA OF DETAIL OR ENLARGED PLAN</p> <p>DETAIL OR ENLARGED PLAN NUMBER</p> <p>SHEET NUMBER</p>	<p>WALL SECTION INDICATOR</p> <p>INDICATES DIRECTION OF WALL SECTION VIEW</p> <p>SECTION NUMBER</p> <p>SHEET NUMBER</p>
<p>INTERIOR ELEVATION INDICATOR</p> <p>ELEVATION NUMBER</p> <p>ELEVATION NUMBER</p> <p>SHEET NUMBER</p> <p>ELEVATION NUMBER</p>	<p>DETAIL INDICATOR</p> <p>INDICATES DIRECTION OF DETAIL VIEW</p> <p>DETAIL NUMBER</p> <p>SHEET NUMBER</p>



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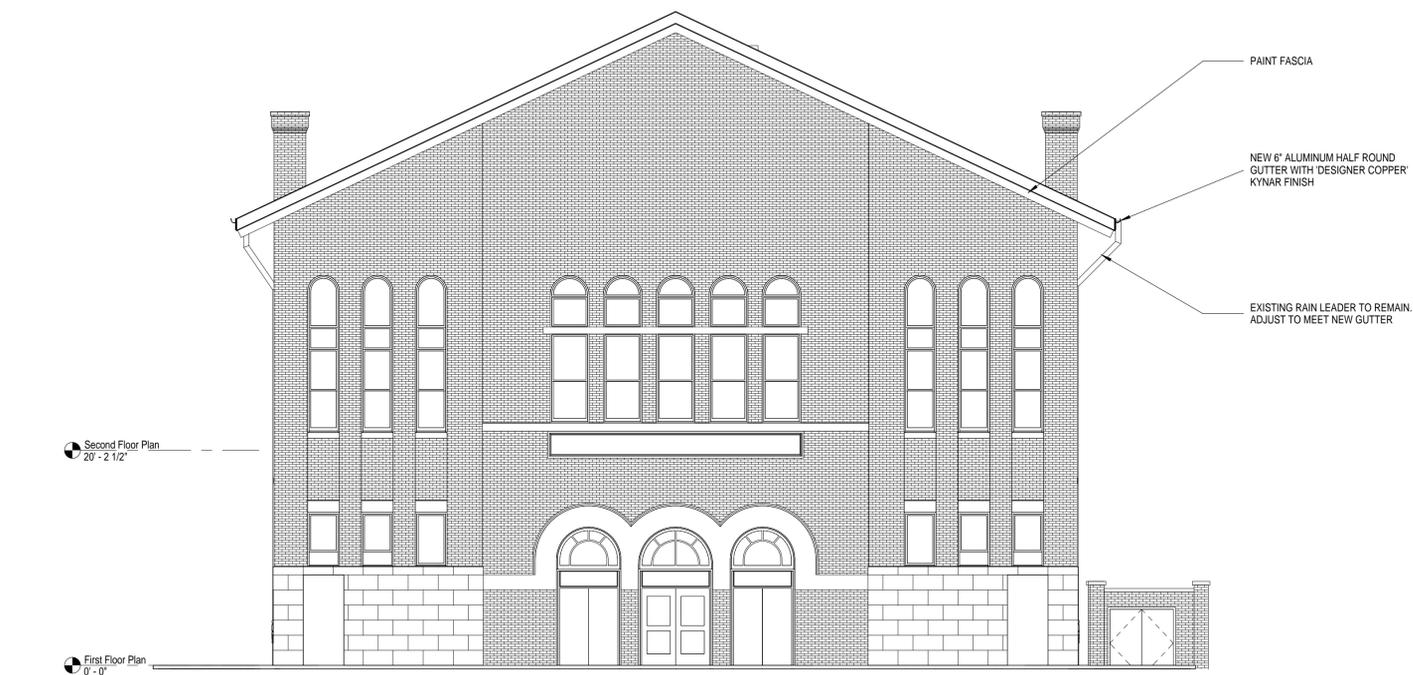
Exterior
Elevations

R3A PROJECT # 15029

A-201

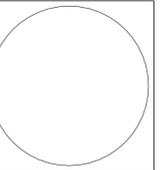


1 East Elevation
1/8" = 1'-0"



2 West Elevation
1/8" = 1'-0"

SYMBOL LEGEND	
<p>REFERENCED CONSTRUCTION NOTE SYMBOL INDICATOR</p> <p>081000.01 NOTE NUMBER SPECIFICATION SECTION NUMBER</p> <p>REFER TO REFERENCED CONSTRUCTION NOTES ON EACH SHEET & MASTER LIST TO THE RIGHT</p>	<p>EXTERIOR ELEVATION INDICATOR</p> <p>INDICATES SURFACE ELEVATED ELEVATION NUMBER SHEET NUMBER</p>
<p>CEILING ELEVATION INDICATOR</p> <p>0'-0" GWB FINISHED ELEVATION FINISHED MATERIAL</p>	<p>BUILDING SECTION INDICATOR</p> <p>INDICATES DIRECTION OF BUILDING SECTION VIEW SECTION NUMBER SHEET NUMBER</p>
<p>DETAIL OR ENLARGED PLAN INDICATOR</p> <p>AREA OF DETAIL OR ENLARGED PLAN DETAIL OR ENLARGED PLAN NUMBER SHEET NUMBER</p>	<p>WALL SECTION INDICATOR</p> <p>INDICATES DIRECTION OF WALL SECTION VIEW SECTION NUMBER SHEET NUMBER</p>
<p>INTERIOR ELEVATION INDICATOR</p> <p>ELEVATION NUMBER SHEET NUMBER ELEVATION NUMBER</p>	<p>DETAIL INDICATOR</p> <p>INDICATES DIRECTION OF DETAIL VIEW DETAIL NUMBER SHEET NUMBER</p>



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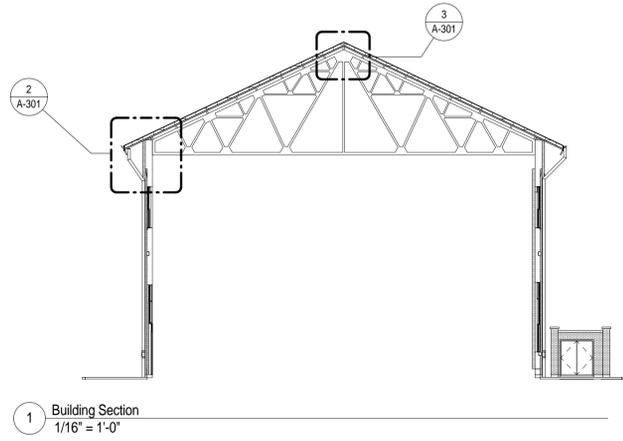
Schematic Design /
Design Development
Drawings

ISSUED: 9-18-15

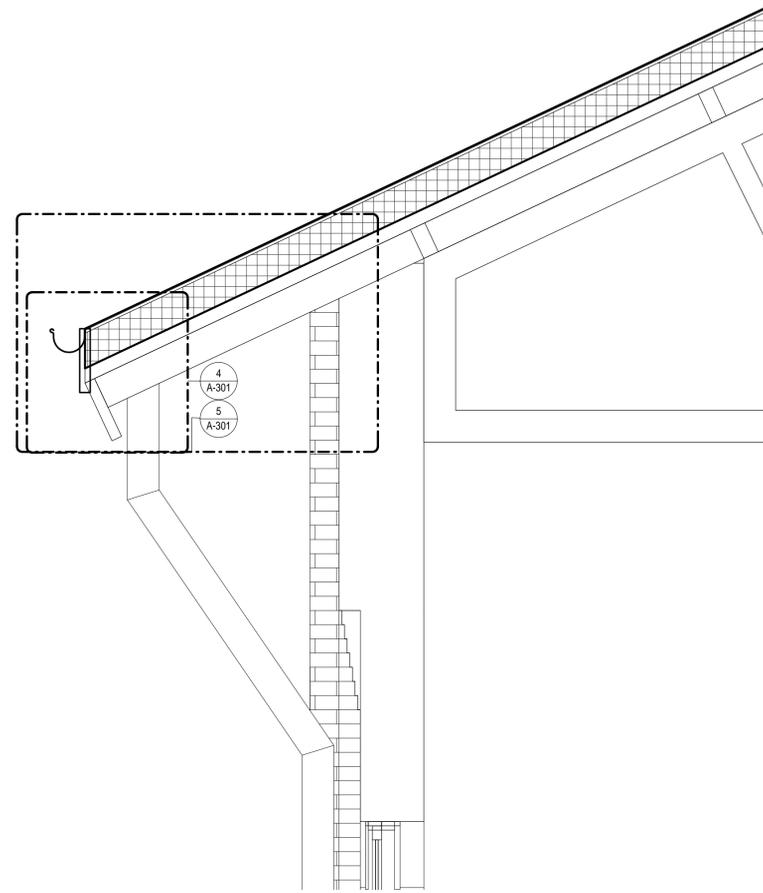
Exterior
Elevations

R3A PROJECT # 15029

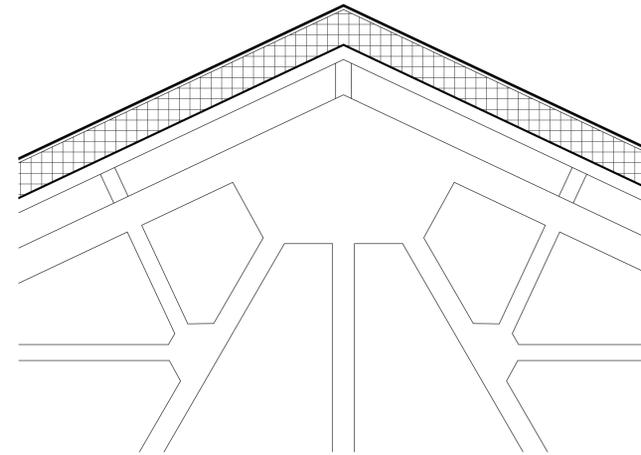
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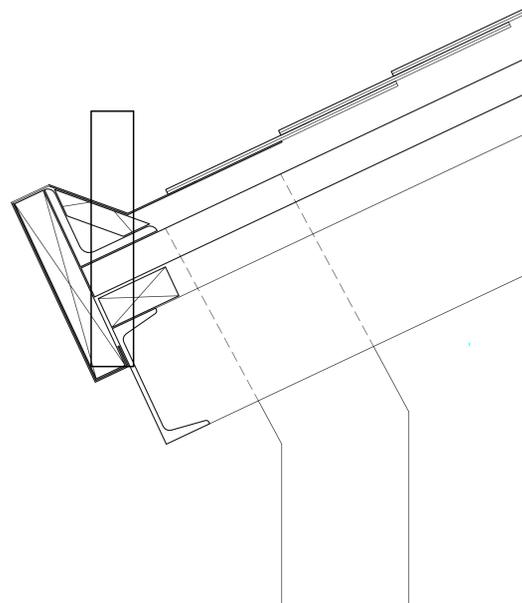
1 Building Section
1/16" = 1'-0"



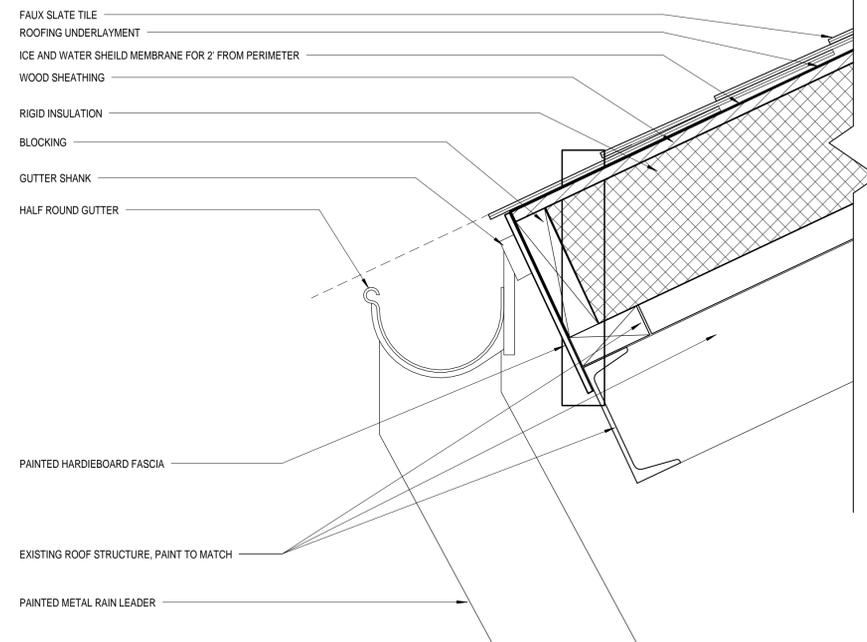
2 Wall Section
3/4" = 1'-0"



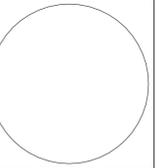
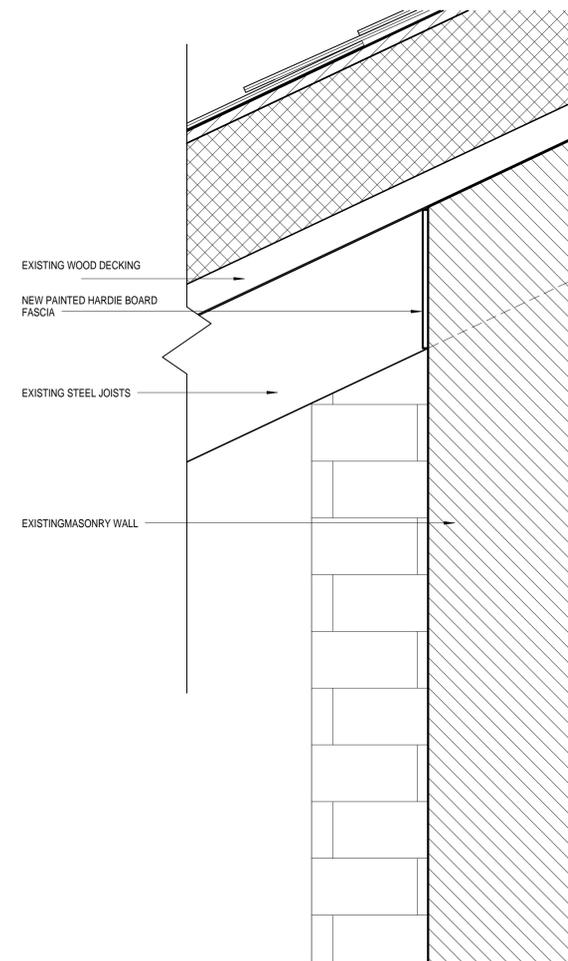
3 Roof Ridge Section
3/4" = 1'-0"



4 Existing Gutter Detail
3" = 1'-0"



5 Gutter Detail
3" = 1'-0"



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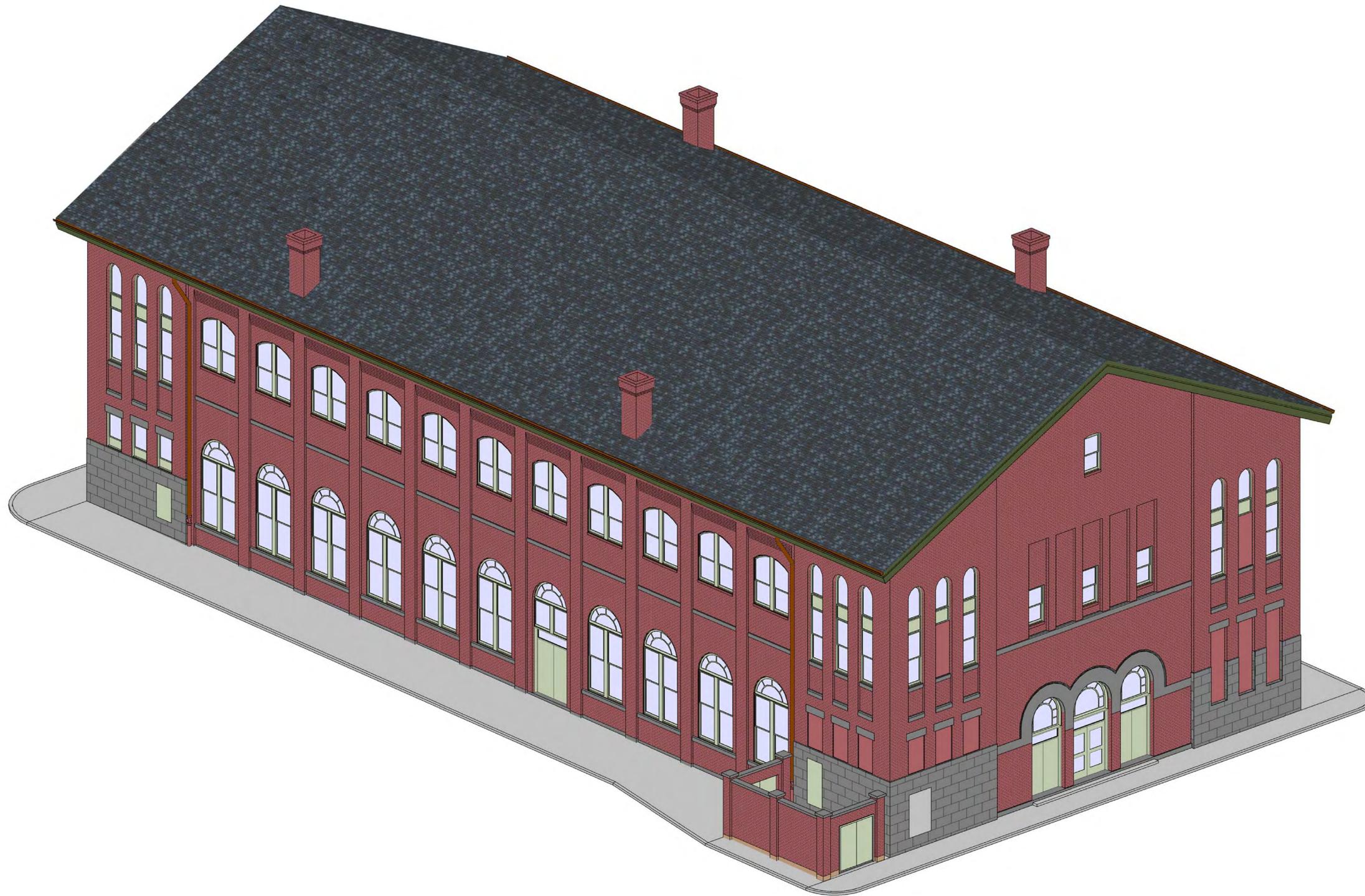
Schematic Design /
Design Development
Drawings

ISSUED: 9-18-15

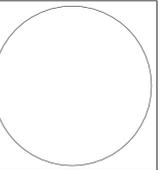
Sections and
Details

R3A PROJECT # 15029

A-301



1 3D Rendering
N.T.S.



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3D View

R3A PROJECT # 15029

A-901



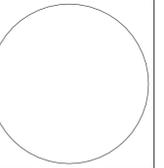
1 Deteriorating Wood Fascia



2 Existing Gutter



3 Existing Window



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Schematic Design /
 Design Development
 Drawings

ISSUED: 9-18-15

Existing Images

R3A PROJECT # 15029

A-902



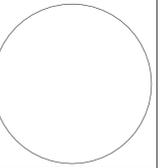
3 Romanesque Detail with Copper Gutter. Proposed Similar Detail



1 Existing 'Eco Slate' Roof Proposed For South Side Market House



2 Existing 'Eco Slate' Roof Proposed for South Side Market House



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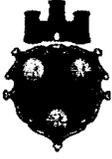
Schematic Design /
 Design Development
 Drawings

ISSUED: 9-18-15

Roof Precedent
 Images

R3A PROJECT # 15029

A-903



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 9/18/15

LOT AND BLOCK NUMBER: 27-R-27

WARD: 4th

FEE PAID: yes

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

130 Thackary St.
 Pittsburgh, PA 15213

DISTRICT:

Oakland Civic Center

OWNER:

NAME: University of Pittsburgh
 ADDRESS: 127 N. Bellefield Ave.
Pittsburgh, PA 15213

PHONE: 412-383-1284
 EMAIL: rel11@pitt.edu

APPLICANT:

NAME: Dunn and Associates, Inc.
 ADDRESS: 5813 Forbes Ave.
Pittsburgh, PA 15217

PHONE: 412-422-4622
 EMAIL: efritzberg@dunn-arch.com

REQUIRED ATTACHMENTS:

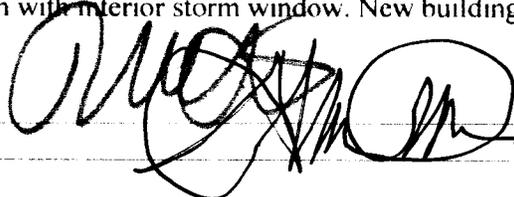
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Removal of existing doors & infill of the opening with masonry base and painted aluminum window (color to match ex. window frame color) or limestone panel with existing stained glass transom to remain with interior storm window. New building signage will be installed.

SIGNATURES:

OWNER:
 APPLICANT:

 DATE: 9/19/15
 DATE: 9/18/15



GENERAL NOTES

1. ALL DIMENSIONS & EXISTING CONDITIONS SHALL BE CHECKED & VERIFIED BY THE CONTRACTOR AT THE SITE.
2. ALL DIMENSIONS ARE TO FACE OF DRYWALL OR MASONRY UNLESS OTHERWISE NOTED.

KEYNOTES

- 1 CONSOLIDATE EX. SANDSTONE OR EX. CASTSTONE WITH 'CATHEDRAL STONE' PATCHING MORTAR- 'THURO' COAT OR 'THURO' SHEEN TO MATCH EX. (PRE FORM ADHESION & COLOR TEST PRIOR TO APPLICATION)
- 2 4-1/2" ALUM. STOREFRONT WALL FRAMING W/ 1" INSULATED TEMP. GLASS W/ LOW-E COATING (U-VALUE .33 & SHGC .4) (LOWER GLASS TO HAVE 3M BLACK OUT FILM APPLIED TO THE BACK SIDE OF THE GLASS)- PVDF PAINT FINISH ON ALUMINUM MEMBERS
- 3 REPLACE EX. AWNING FABRIC W/ NEW TO MATCH EX. REPAIR EX. FRAME AS REQ'D. NEW CANOPY SHOULD HAVE 'INNOVATION INSTITUTE' LETTERING & GRAPHIC PRINTED ONTO FABRIC.
- 4 NEW WEATHERSTRIPPING ON DOOR, PAINT DOOR COLOR TO MATCH NEW STOREFRONT SYSTEM
- 5 REMOVE LIGHT ABOVE DOOR, PAINT EX. TRANSOM PNL. FRAME & CAULK, INSTALL INTERIOR SINGLE PANE STORM WINDOW, CLEAN GLASS
- 6 'TAYLOR CLAY' 'PEARL GREY' SMOOTH MODULAR BRICK (MATCH EX. MORTAR JT. TOOLING & COURSING) NEW MORTAR TO MATCH EXISTING MORTAR COLOR W/ 6" CMU BACK UP- SEE ELEVATION & DETAIL
- 7 PREMADE BENCH BY UNIVERSITY
- 8 PROVIDE ADA COMPLIANT TACTILE 'ADA ENTRANCE' SIGN (RAISED LETTERS AND BRAILLE). CHARACTERS SHALL BE 48" MIN. AND 60" MAX. A.F.F. AND MEET ANSI STANDARDS. MOUNT WHERE INDICATED WITH 18"x18" CLEAR SPACE BEYOND ARC OF DOOR
- 9 PROVIDE ADA COMPLIANT TACTILE 'ADA ENTRANCE TO SPACE IS BETWEEN THACKERY HALL & GSCC, USE INTERCOM TO NOTIFY STAFF' SIGN (RAISED LETTERS AND BRAILLE). CHARACTERS SHALL BE 48" MIN. AND 60" MAX. A.F.F. AND MEET ANSI STANDARDS. MOUNT WHERE INDICATED WITH 18"x18" CLEAR SPACE BEYOND ARC OF DOOR
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- 11 RE GLAZE EX. WINDOWS, SEAL ALL SEAMS W/ FLEXIBLE PAINT ABLE SEALANT, CLEAN EX. GLASS BOTH SIDES, CONSOLIDATED ALL DAMAGED WOOD AS REQ'D. REPLACE ALL BROKEN OR CRACKED GLASS W/ NEW
- 12 CHECK EX. GUTTER & ROOF FOR FLASHING AND SHINGLES PROBLEMS, REPAIR AS REQ'D. FOR WATERPROOF SEAL. PAINT PLASTER
- 13 SPOT POINT ALL OPEN BRICK MORTAR JOINTS IN THIS AREA, USE COMPATIBLE LIME BASED PATCH MORTAR
- 14 EXTERIOR GRADE WIREMOLD, FEED FROM OUTSIDE OF PIERS AND CONTINUE BACK ON INSIDE FACE W/ EMPTY WIREMOLD
- 15 REMOVE EX. WINDOW GLASS, INSTALL EXHAUST LOVER, INSTALL WD. HORZ MULION IN EX. WDW. SASH & INSTALL NEW SINGLE PANE GLASS IN-FILL PNL. ABOVE LOUVER- PAINT & CAULK WINDOW AS REQ'D.
- 16 REMOVE EX. WINDOW GLASS, INSTALL EXHAUST LOVER- PAINT & CAULK WINDOW AS REQ'D.
- 17 EX. EXHAUST LOVER, CAP & ABANDON IN PLACE, INSTALL 2" MINERAL WOOL INSULATION BEHIND LOUVER & CAP W/ SHEET METAL.
- 18 INSTALL 4-1/2" T. PAINTED ALUM. CAST STAND OFF LETTERING, FONT TBD.
- 19 SLOPED LIMESTONE SILL W/ FLASHING UNDER
- 20 2" THK. LIMESTONE PANEL W/ 3/8" D. REVEALS.
- 21 SAW CUT OUT EX. STOOD POUR 2" TOPPING SLAB W/ BONDING AGENT



EXTERIOR ELEV. OPTION 1
SCALE: 1/8" = 1'-0" (THACKERY ST. ELEV.)



EXTERIOR ELEV. OPTION 2
SCALE: 1/8" = 1'-0" (THACKERY ST. ELEV.)



EXTERIOR ELEV. OPTION 3
SCALE: 1/8" = 1'-0" (THACKERY ST. ELEV.)



EXITING ENTRY



OPTION 2 RENDERING



OPTION 3 RENDERING

REVISIONS			
No	By	Date	Description

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University of Pittsburgh
Facilities Management

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Project Name	Job No.
INNOVATION INSTITUTE at GSCC	X5905
Drawing Description	Issue Date
EXTERIOR ELEVATIONS	9-11-15

CAD File Name	Drawn By
80% CD DOCUMENTS 8-21-15	EKF
Drawing Number	Set Order
10498 A-4	1 of 1

KEYNOTES

- 1 CONSOLIDATE EX. SANDSTONE OR EX. CASTSTONE WITH 'CATHEDRAL STONE' PATCHING MORTAR- 'THURO' COAT OR 'THURO' SHEEN TO MATCH EX. (PRE FORM ADHESION & COLOR TEST PRIOR TO APPLICATION)
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- 20 2" THK. LIMESTONE PANEL W/ 3/4" D. REVEALS.
- 21 SAW CUT OUT EX. STOOP POUR 2" TOPPING SLAB W/ BONDING AGENT



1 EXTERIOR ELEV. OPTION 2
 A-4 SCALE: 1/8" = 1'-0" (THACKERY ST. ELEV.)

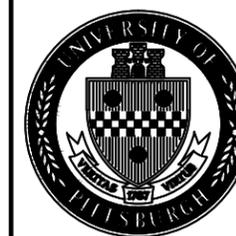


OPTION 2 RENDERING

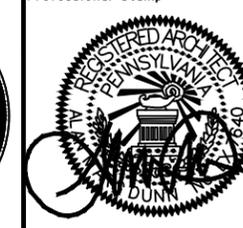
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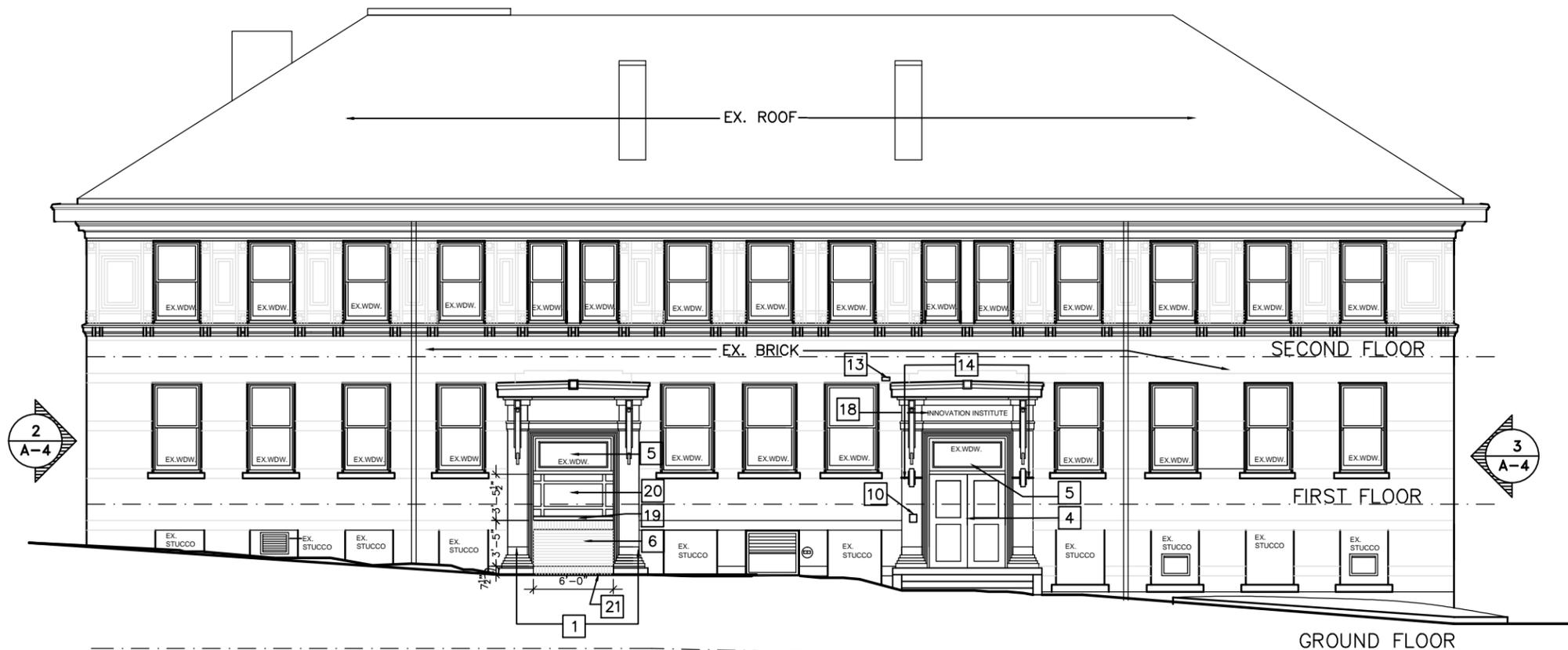
Project Name	Job No.
INNOVATION INSTITUTE at GSCC	X5905
	Issue Date
	9-11-15

Drawing Description
EXTERIOR ELEVATIONS

CAD File Name	Drawn By
	EKF
Drawing Number	Set Order
10498 A-4	___ of ___

KEYNOTES

- 1 CONSOLIDATE EX. SANDSTONE OR EX. CASTSTONE WITH 'CATHEDRAL STONE' PATCHING MORTAR- 'THURO' COAT OR 'THURO' SHEEN TO MATCH EX. (PRE FORM ADHESION & COLOR TEST PRIOR TO APPLICATION)
- 2 4-1/2" ALUM. STOREFRONT WALL FRAMING W/ 1" INSULATED TEMP. GLASS W/ LOW-E COATING (U-VALUE .33 & SHGC .4) (LOWER GLASS TO HAVE 3M BLACK OUT FILM APPLIED TO THE BACK SIDE OF THE GLASS)- PVFD PAINT FINISH ON ALUMINUM MEMBERS
- 3 REPLACE EX. AWNING FABRIC W/ NEW TO MATCH EX. REPAIR EX. FRAME AS REQ'D. NEW CANOPY SHOULD HAVE 'INNOVATION INSTITUTE' LETTERING & GRAPIC PRINTED ONTO FABRIC.
- 4 NEW WEATHERSTRIPING ON DOOR, PAINT DOOR COLOR TO MATCH NEW STOREFRONT SYSTEM
- 5 REMOVE LIGHT ABOVE DOOR, PAINT EX. TRANSOM PNL. FRAME & CAULK, INSTALL INTERIOR SINGLE PANE STORM WINDOW, CLEAN GLASS
- 6 'TAYLOR CLAY' "PEARL GREY" SMOOTH MODULAR BRICK (MATCH EX. MORTAR JT. TOOLING & COURSING) NEW MORTAR TO MATCH EXISTING MORTAR COLOR W/ 6" CMU BACK UP- SEE ELEVATION & DETAIL
- 7 PREMADE BENCH BY UNIVERISTY
- 8 PROVIDE ADA COMPLIANT TACTILE 'ADA ENTRANCE' SIGN (RAISED LETTERS AND BRAILLE). CHARACTERS SHALL BE 48" MIN. AND 60" MAX. A.F.F. AND MEET ANSI STANDARDS. MOUNT WHERE INDICATED WITH 18"x18" CLEAR SPACE BEYOND ARC OF DOOR
- 9 PROVIDE ADA COMPLIANT TACTILE 'ADA ENTRANCE TO SPACE IS BETWEEN THACKARY HALL & GSCC, USE INTERCOM TO NOTIFY STAFF' SIGN (RAISED LETTERS AND BRAILLE). CHARACTERS SHALL BE 48" MIN. AND 60" MAX. A.F.F. AND MEET ANSI STANDARDS. MOUNT WHERE INDICATED WITH 18"x18" CLEAR SPACE BEYOND ARC OF DOOR
- 10 PROVIDE ADA COMPLIANT TACTILE 'ADA ENTRANCE TO SPACE IS UPPER O'HARA STREET ENTRY, USE INTERCOM TO NOTIFY STAFF AT WHEELCHAIR LIFT' SIGN (RAISED LETTERS AND BRAILLE). CHARACTERS SHALL BE 48" MIN. AND 60" MAX. A.F.F. AND MEET ANSI STANDARDS. MOUNT WHERE INDICATED WITH 18"x18" CLEAR SPACE BEYOND ARC OF DOOR
- 11 RE GLAZE EX. WINDOWS, SEAL ALL SEAMS W/ FLEXIBLE PAINT ABLE SEALANT, CLEAN EX. GLASS BOTH SIDES, CONSOLIDATED ALL DAMAGED WOOD AS REQ'D. REPLACE ALL BROKEN OR CRACKED GLASS W/ NEW
- 12 CHECK EX. GUTTER & ROOF FOR FLASHING AND SHINGLES PROBLEMS, REPAIR AS REQ'D. FOR WATERPROOF SEAL. PAINT PLASTER
- 13 SPOT POINT ALL OPEN BRICK MORTAR JOINTS IN THIS AREA, USE COMPATIBLE LIME BASED PATCH MORTAR
- 14 EXTERIOR GRADE WIREMOLD, FEED FROM OUTSIDE OF PIERS AND CONTINUE BACK ON INSIDE FACE W/ EMPTY WIREMOLD
- 15 REMOVE EX. WINDOW GLASS, INSTALL EXHAUST LOVER, INSTALL WD. HORZ MULION IN EX WDW. SASH & INSTALL NEW SINGLE PANE GLASS IN-FILL PNL. ABOVE LOUVER- PAINT & CAULK WINDOW AS REQ'D.
- 16 REMOVE EX. WINDOW GLASS, INSTALL EXHAUST LOVER- PAINT & CAULK WINDOW AS REQ'D.
- 17 EX. EXHAUST LOVER, CAP & ABANDON IN PLACE, INSTALL 2" MINERAL WOOL INSULATION BEHIND LOUVER & CAP W/ SHEET METAL.
- 18 INSTALL 4-1/2"T. PAINTED ALUM. CAST STAND OFF LETTERING, FONT TBD.
- 19 SLOPED LIMESTONE SILL W/ FLASHING UNDER
- 20 2" THK. LIMESTONE PANEL W/ 3/4" D. REVEALS.
- 21 SAW CUT OUT EX. STOOP POUR 2" TOPPING SLAB W/ BONDING AGENT



1 EXTERIOR ELEV. OPTION 3
 A-4 SCALE: 1/8" = 1'-0" (THACKERY ST. ELEV.)

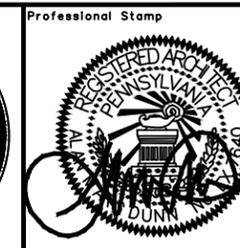
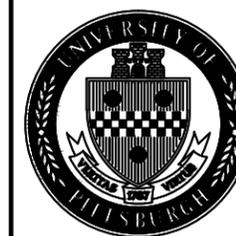


OPTION 3 RENDERING

Dunn
 www.DunnArch.com

Dunn and Associates Inc
 412 422 4622
 architecture • planning • interiors
 5813 FORBES AVE.
 PITTSBURGH, PA 15217
 f. 412 422 4206

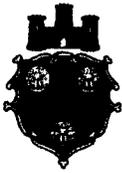
University of Pittsburgh
 Facilities Management



Project Name	Job No.
INNOVATION INSTITUTE at GSCC	X5905
	Issue Date
	9-11-15

Drawing Description
EXTERIOR ELEVATIONS

CAD File Name	Drawn By
	EKF
Drawing Number	Set Order
10498 A-4	___ of ___



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 9/18/15

LOT AND BLOCK NUMBER: 27-6-181

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

WARD: 4th

FEE PAID: 400

ADDRESS OF PROPERTY:

4309 PARKMAN AVE
PITTSBURGH, PA 15213

DISTRICT:
Schenley Farms

OWNER:

NAME: MASSIMO & GIULIANA TRUCCO

ADDRESS: 4309 PARKMAN AVE
PITTSBURGH, PA 15213

PHONE: 412-681-4610

EMAIL: giuliana.trucco@gmail.com

APPLICANT:

NAME: _____

ADDRESS: _____
SAME

PHONE: _____

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

(See drawings)

SIGNATURES:

OWNER: *Massimo Trucco* *Giuliana Trucco* DATE: 9-11-15

APPLICANT: *Massimo Trucco* *Giuliana Trucco* DATE: 9-11-15



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Go

House



Street

description of Proposed Project

Partial removal of ground cover, damaged by the infestation of poison ivy and other weeds.

Partial extension of existing versa lock step between hill side and sidewalk with two tiers of versa lock blocks in the area without ground cover to prevent sliding of the hill side into the sidewalk and improve the landscape of this historical property.

The size of the tiers will be 120"x 21" and 120"x 27".

The new landscape with flowerbeds in the new tiers will blend in the existing brick wall and front step, between the hillside and sidewalk.



Before



After

Sarsa lock block →
to match the
existing brick wall







Division of Development Administration and Review
City of Pittsburgh, Department of City Planning
200 Ross Street, Third Floor
Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1812 East Carson Street
Pittsburgh, PA 15203

OWNER:

NAME: United American Savings Bank
ADDRESS: 1812 East Carson Street
Pittsburgh, PA 15203
PHONE: (412)431-9191
EMAIL: tsmith@uasb.com

STAFF USE ONLY:

DATE RECEIVED: 8/14/15
LOT AND BLOCK NUMBER: 12-E-350
WARD: 17th
FEE PAID: yes
DISTRICT: E Carson St

APPLICANT:

NAME: United American Savings Bank
ADDRESS: 1812 East Carson Street
Pittsburgh, PA 15203
PHONE: (412)431-9191
EMAIL: tsmith@usab.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

See attached

SIGNATURES:

OWNER: [Signature], President CEO DATE: 8-14-2015
APPLICANT: [Signature], President CEO DATE: 8-14-2015



1812 E Carson Street



UNITED AMERICAN SAVINGS BANK

NARRATIVE AND PHOTOS

SEPTEMBER 2015

M A V R O V I C

A R C H I T E C T S

A PROFESSIONAL CORPORATION

THE DESIGN CENTER T 412.687.1500

5001 BAUM BOULEVARD F 412.687.7909

PITTSBURGH PA 15213 www.mavrovic.com

The United American Savings Bank has been in operation on the Southside since 1922. The bank's current property at 1812 East Carson Street has been its sole business location since the late 1920's.



In 2010, the commercial multi-story building underwent a large scale renovation, but the attached 2 ½ story, 30' high brick single family dwelling, was not touched. The dwelling and the bank share a brick wall at the back of the bank, however they do not communicate.



The dwelling is located at the rear of the property and is accessible only from Carey Way, an alley parallel to East Carson St with a 24' right-of-way.



The dwelling was occupied at the time of the renovation, but was vacated soon thereafter and has remained vacant since then.



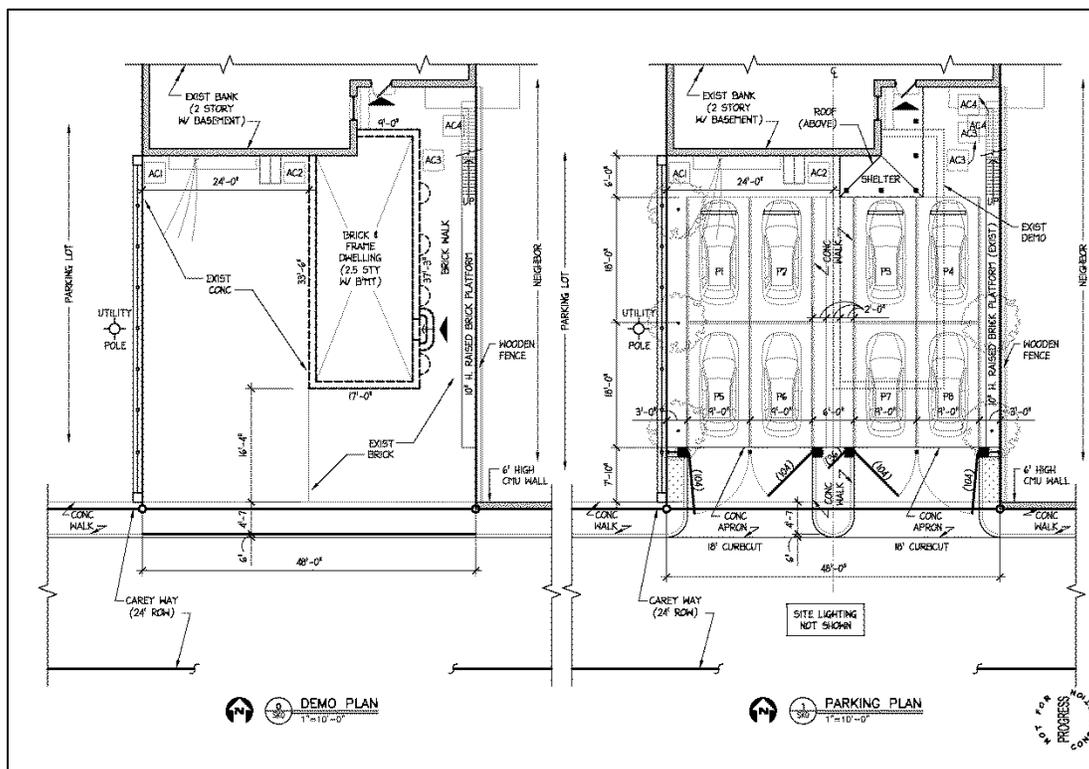
The bank property is flanked to the east by a Burger King with a 10 car parking long and to the west with a public municipal parking lot that can hold 41 cars.



The bank typically has 17 daily employees and, as you know, finding long term parking on the Southside is a challenge. The bank wants to provide safe and secure parking on-site for their employees. Currently, the bank staff can squeeze out a few on-site parking spaces (4 to 5 max.) adjacent to the brick dwelling. Access to those limited spaces is achieved from Carey Way. The existing on-site parking is cramped, inefficient, unsafe, and unattractive.



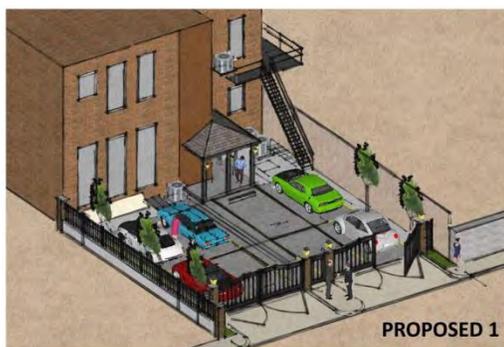
The proposed project will demolish the small 560 SF vacant brick dwelling and provide on-site parking for bank employees only. The proposed design will create parking for eight (8) vehicles.



The paved parking area will be safely enclosed with construction that matches that of the elements of the adjacent municipal parking lot: brick piers, aluminum fencing, and safety lighting. There will be a new employee gated, secure entrance from Carey Way with a sidewalk leading to the employee door entrance at the rear of the bank. The parking spaces will be accessed from Carey Way through automatically controlled gates designed to match the aluminum fencing and will be operable by employees only.



The eight parking spaces will be double stacked in four columns to most efficiently utilize the site. The piers, gates, and fencing will be set back from Carey Way so as not to further crowd the alley. Decorative landscaping at the sides and low level decorative safety lighting is proposed as part of the improvements. A small covered porch (open pavilion) is also proposed to give employees an area where they can go outside to enjoy their lunchtime breaks with cover from the elements.



This small site project will be an improvement to the community by opening up the air space at Carey Way, adding landscaping elements to a parcel that is currently barren, and giving secure, off-street parking to bank employees.



APPENDIX

Accompanying this Narrative, you will find a document titled USE ANALYSIS. That document contains maps and illustrations showing the subject property in the context of its Southside neighborhood. The maps and illustrations highlight major and minor streets, large scale and small scale parking, and building usage (business or residential).

That package also contains photos of the gateway points to the 1800 block of Carey Way (at 18th St and at 19th St) showing residential units on the South side of Carey Way and all business properties on the North side of Carey Way.

A list of property owners on the 1800 block of Carey Way is also included for quick reference.

The HRC Design Guidelines for the East Carson St District is part of this package as is the HRC District Map for the 1800 block of East Carson St.

We believe that the spirit of the HRC Design Guidelines has been met with the overall design of this small site improvement project.



UNITED AMERICAN SAVINGS BANK

USE ANALYSIS

SEPTEMBER 2015

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A R C H I T E C T S	
A P R O F E S S I O N A L	C O R P O R A T I O N
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5001 BAUM BOULEVARD	F 412.687.7909
PITTSBURGH PA 15213	www.mavrovic.com



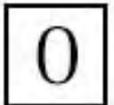
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MAPC #1508

UASB - SITE

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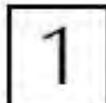
VICINITY - GOOGLE

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MAPC #1500

ROADS		PARKING		USE	
	MAJOR STREET		MULTIPLE		BUSINESS
	MINOR WAY		INDIVIDUAL		RESIDENTIAL



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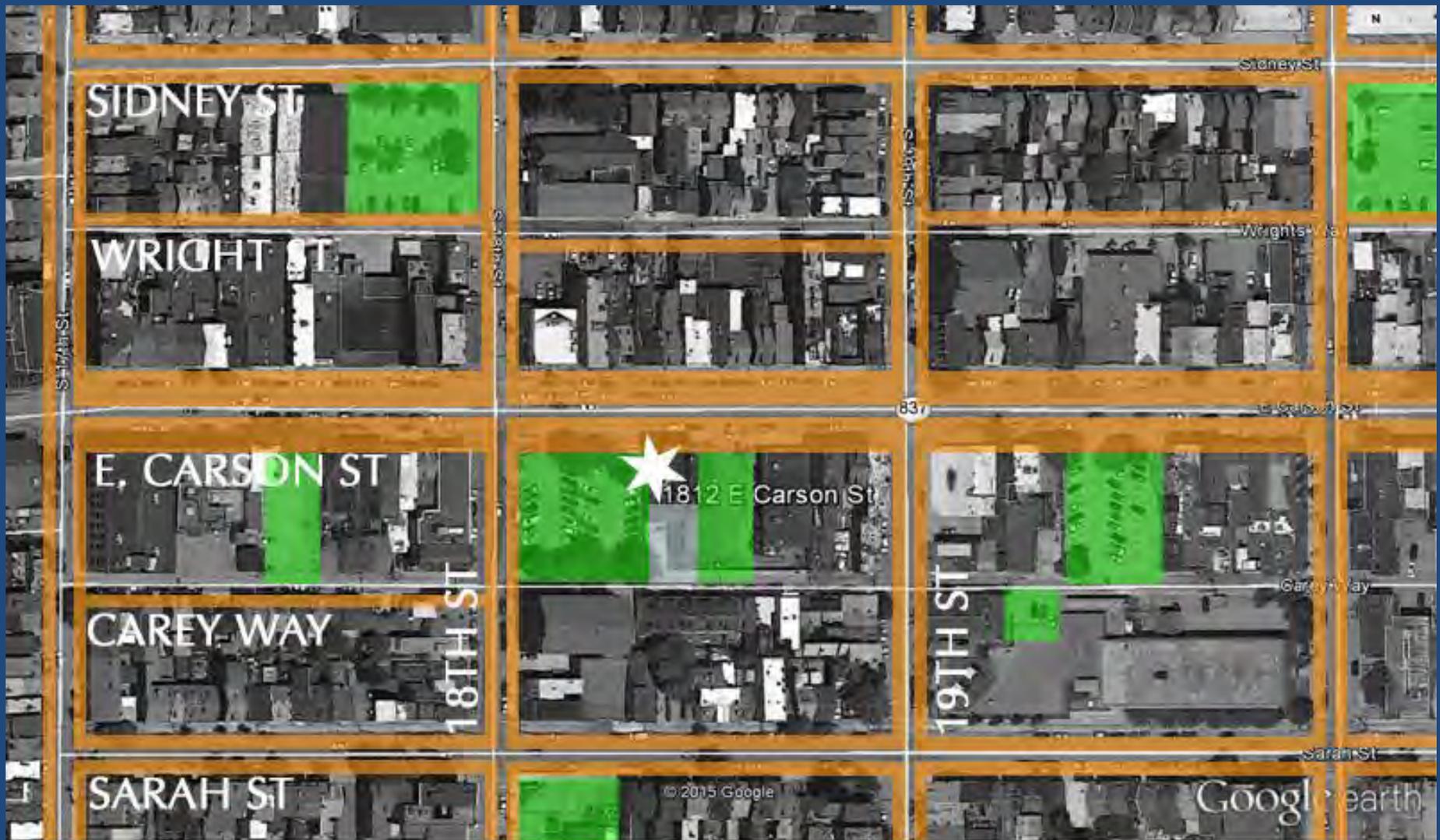
VICINITY - ROADS

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MAPC #1500

ROADS		PARKING		USE	
	MAJOR STREET		MULTIPLE		BUSINESS
	MINOR WAY		INDIVIDUAL		RESIDENTIAL



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MAPC #1500

VICINITY - PARKING

ROADS		PARKING		USE	
	MAJOR STREET		MULTIPLE		BUSINESS
	MINOR WAY		INDIVIDUAL		RESIDENTIAL

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VICINITY - USE

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MAPC #1508

ROADS

 MAJOR STREET

 MINOR WAY

PARKING

 MULTIPLE

 INDIVIDUAL

USE

 BUSINESS

 RESIDENTIAL



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MAPC #1508

VICINITY - COMBO

ROADS		PARKING		USE	
	MAJOR STREET		MULTIPLE		BUSINESS
	MINOR WAY		INDIVIDUAL		RESIDENTIAL

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18TH ST

E. CARSON ST

19TH ST



CAREY WAY

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MAPC #1508

COMBO - BLOCK

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ROADS		PARKING		USE	
	MAJOR STREET		MULTIPLE		BUSINESS
	MINOR WAY		INDIVIDUAL		RESIDENTIAL

6

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FROM 18TH



FROM 19TH

CAREY WAY - APPROACH

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SEPTEMBER 2, 2015

0012-J-00103-0000-00	CARIK VIRGINIA D & HENRY MICHAEL CARIK	1726 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00094-0000-00	CATANESE JOHN J & DEBORAH H (W)	1727 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00371-0000-00	RISACHER BRIAN	1810 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00371-000A-00	PHILLIPS TODD MICHAEL & MARY ELIZABETH (W)	1812 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00372-0000-00	ROSE JAMES E & THERESA (W)	1814 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00374-0000-00	WISBON IAN WISBON JAMES F II WISBON REBECCA S	1820 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00356-0000-00	GALLAGHER JAMES GALLAGHER JILLIAN	1822 CAREY WAY	PITTSBURGH - 17TH WARD
0012-J-00376-0000-00	HEALEY MICHAEL F	1824 CAREY WAY	PITTSBURGH - 17TH WARD
0012-K-00099-0000-00	CHAK MILDRED	2008 CAREY WAY	PITTSBURGH - 17TH WARD
0012-K-00097-000A-00	WELSCH GARY G & MARIANNE (W)	2010 CAREY WAY	PITTSBURGH - 17TH WARD

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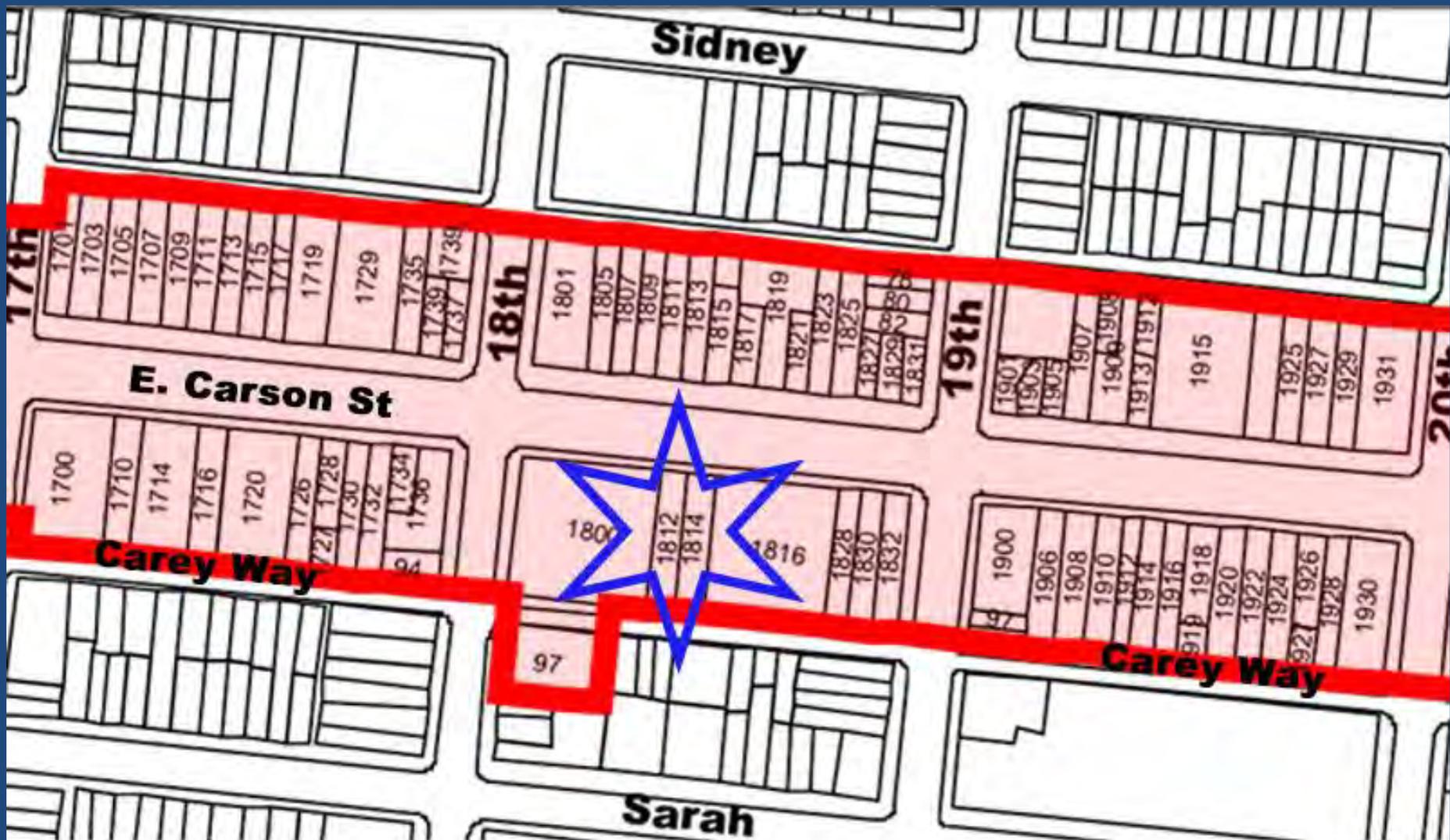
MAPC #1508

PROPERTIES ON CAREY WAY

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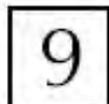
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ECS HISTORIC DISTRICT PARTIAL MAP

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MAPC #1500



SEPTEMBER 2, 2015



**DESIGN GUIDELINES:
EAST CARSON STREET HISTORIC DISTRICT**

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DESIGN GUIDELINES: EAST CARSON STREET HISTORIC DISTRICT

A. Introduction

1. The following draft guidelines were adopted by the HRC after they were submitted to property owners in the proposed East Carson Street Historic District (and to other interested parties), revised in accordance with some of their comments, and discussed at a public hearing on May 14, 1993. They were submitted to City Council and incorporated in the designation of the historic district by Council.

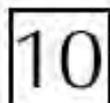
2. The HRC uses guidelines when it reviews the appropriateness of proposed exterior alterations in the historic district, if it is designated. The guidelines can also assist property owners in the formulation of plans for the preservation, rehabilitation, and continued use of historic buildings in the district. They apply to all construction and demolition on the exterior of all buildings in the district, as well as to all proposed exterior new construction in the district.

3. The East Carson Street Historic District is dominated by traditional commercial buildings from the nineteenth and early twentieth centuries. These buildings are typically two- to four-story masonry structures with a storefront on the first floor, smaller uniformly arranged windows in the upper stories, and a decorative cornice at the roofline. The storefront was usually framed by masonry side walls and an elaborate horizontal cornice or lintel above the storefront windows. The basic principle in the design of the storefront was to make it as transparent as possible by using as large an expanse of glass as possible, including large transom windows over the display windows. Store entrances were usually recessed behind the plane of the facade, and secondary doorways gave access to the upper floors. The lintel or cornice separated the storefront from the singular upper floors, in which the masonry wall was usually broken only by the windows and their decorative frames (if any). The stylistic character of the building derived only in small part from the design of the storefront itself. Instead, the architectural style manifested itself mostly in the design of the window frames and moldings and of the buildings cornice. Although their sizes and styles may vary, traditional commercial buildings relate visually to each other because they share the characteristics described above.

4. Commercial buildings of a later date were often shorter, one- or two-story buildings with a storefront on the first floor. Although an occasional commercial building of the twentieth century was elaborately decorated, for the most part buildings of that period bore little or no ornamentation. They related to the earlier commercial buildings, when they did so at all, by the expanse of glass that marked their storefronts. Only in recent years have storefronts been closed up and their window areas reduced to any great degree.



**ECS HISTORIC DISTRICT
DESIGN GUIDELINES**



B. Basic Principles

1. The removal or alteration of original building materials or distinctive architectural features should be avoided when possible, especially if they are important in defining the overall historic or visual character of a building. If the materials and features are original and in-serviceable repair, they should be kept as is.
2. Deteriorated materials and architectural features should be repaired, rather than replaced, whenever possible.
3. Materials and architectural features that are too deteriorated to repair should be replaced in kind or with a visually compatible substitute material (if replacement in kind is not technically or economically feasible). The appearance of the replacement should match the appearance of the original material or feature.
4. New features that are designed and installed to replace original features that are completely missing should either be an accurate restoration of the original features (based on photographs, drawings, or physical evidence), or new designs that may be contemporary in character and detailing, while they are compatible with the scale, material, and color of the historic building.

C. General Guidelines

1. The HRC does not require, initiate, or propose any work on a building. The review process begins only after the owner proposes exterior (not interior) work that is visible from a public street or way.
2. All buildings and structures are products of their own time. Alterations that attempt to make a building look older than it is, or that try to change the architectural style of the building, should be avoided.
3. Later additions to an old building, or non-original facades or storefronts (especially Curran glass facades), may have gained significance in their own right as examples of an architectural style or evidence of historical changes to the building. If so, these additions or alterations to the original building should be recognized and respected.
4. The surface cleaning of structures should be undertaken with the gentlest means possible. Sandblasting and other abrasive techniques shall not be used to clean the exterior of a building, because they will damage the original building materials.

5. Original openings should not be altered on the principal facade(s) of a building, because enlarging, reducing the size, or eliminating openings can dramatically alter the appearance and character of a building.
6. Original building materials and architectural features should not be covered by other materials.
7. Any non-original material or feature on a building that was in existence at the time of the designation of the historic district may be retained as is, repaired, or replaced to match. The HRC shall not require the removal or alteration of any material or features that existed at the time of designation.
8. The rear of many of the buildings in the proposed district, when they are visible from a street or alley appear to have been altered significantly in order to accommodate changes in the uses of the buildings. If the rear of a building is not basically the original design and materials, these proposals for work on the rear, when visible from a public street or way, should be treated as if they were proposals for work on non-contributing structures (see Section J).
9. **Concurrent Review:** When an owner intends to make use of Federal or State funds for the construction of a new building or the rehabilitation or alteration of an existing one in a National Register-listed historic district, he or she is required to submit the proposal to the Pennsylvania Bureau for Historic Preservation for review (or the City of Pittsburgh, acting for the State in some cases), in accordance with Section 106 of the National Historic Preservation Act. The Commission shall work with the owner, the Bureau, and the City to ensure that the reviews are concurrent and that the Commission, the Bureau, and the City concur in their approvals.

D. Building Rehabilitation and Alterations

1. **Masonry Careless:** The exterior surfaces of most of the contributing buildings in the district are predominantly masonry (brick and stone), with stone or terra cotta details. If replacement of deteriorated or missing materials is necessary, the replacements should be new or recycled materials that match the appearance of the original as closely as possible (including these characteristics: color, texture, shape, size, placement, detailing, and type of joint). Masonry surfaces should be cleaned, if necessary, by the gentlest means possible (water with detergent, or a mild acid, with low-pressure water wash not to exceed 600 psi); sandblasting and other abrasive cleaning methods shall not be used (except in extraordinary circumstances). Repointing of masonry should be done with a mortar that matches the original as closely as possible in terms of lime and cement content (to avoid damaging the masonry; Portland cement mortars may damage older bricks), color, and type of joint (to match the appearance). Waterproof and water-repellent coatings should not be used on masonry unless there is actual water penetration through the masonry.

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ECS HISTORIC DISTRICT DESIGN GUIDELINES

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11

SEPTEMBER 2, 2015

Artificial siding and stucco (or synthetic stucco) should not be applied over masonry, except on a case-by-case basis when the masonry has been damaged. Unpainted masonry and architectural metals should not be painted.

2. Wood or Siding Exterior. If the facade of a building has wood siding, the wood siding should be repaired or replaced to match. All wooden trim, including window casings, cornices, and brackets, should be retained and repaired, or replaced to match, if necessary. No artificial siding (aluminum or vinyl siding, insulbrick, etc.), shingles, or stucco should be installed over existing wood siding on the front facades of buildings in the district. Aluminum or vinyl siding may be used on the sides and rears of buildings (except the sides of corner buildings).

3. Original Windows. The doors and windows of a building are essential elements of the overall design and architectural style of the building. Original door and window openings should not be altered or filled in, particularly on the principal facade(s) of the building. Original doors and windows should be retained and repaired, wherever possible. If they must be replaced, the new ones should match the originals in size, style, and appearance as closely as possible. Wood windows should be used as replacement windows on the front facades of buildings in the district. Aluminum or vinyl replacement windows may be used on the sides and rears of buildings (except in the sides of a corner building). All metal windows should be anodized or painted, and should avoid a metallic "mill" finish. Window glass may be double-paned, but reflective and opaque glass, and artificial muntin grids, should be avoided. Storm windows should be installed so as to be inconspicuous: colored to match the window frames, sized to fit the openings, and divided like the windows that are being covered. New door and window openings may be installed only on building elevations of limited historic or visual significance.

4. Roofs. The existing roofline and architectural features that give a building its character, such as roof shapes, towers, dormers, cornices, brackets, and chimneys, should be retained. New features, such as vents, skylights, and roof-top antennas, should be placed out of view from the main street. Slate and tile roofs should be retained and maintained, wherever possible, especially mansard roofs which, since they are such prominent features, should be repaired or replaced with new slate or artificial slate. Replacement roofing materials should maintain the visual character of the original materials, and should be black or dark gray in most cases. Flat or low-pitched roofs, if they are not visible from the street, shall not be reviewed by the HRC.

5. Exterior Cornices. Significant architectural and ornamental features should be retained and maintained.

6. Mechanical Systems. Utility and mechanical systems should be placed inconspicuously, and screened if necessary, so that they are not visible on the principal facade(s) of the building as seen from public streets; they should also be screened from residential uses.

Features that must be added to meet safety and code requirements, such as stairs and elevators, should be designed to be as inconspicuous as possible, and should not alter significant architectural features of the building. Features that must be added to make a building accessible to persons with disabilities should be designed and installed without damaging the historic character of the building. The Commission encourages placement of features on secondary facades if placement on primary facades cannot be done without damage to historic fabric.

7. Painting. The HRC urges the use of original color schemes in the painting of wood and metal elements, but will not ordinarily prescribe paint colors. Unpainted masonry and architectural metals should not be painted.

8. Accessories

a. Signs. The HRC will usually approve all signs that conform in size and material to the sign regulations of the Zoning Ordinance. Signs should not be installed in such a way as to obscure architectural features of the building.

b. Awnings should be sloping and triangular in section, in most cases (arched awnings should be used only over arched openings); they should be made of canvas or canvas-like materials, and they should not be internally-illuminated.

c. Canopies (supported in whole or in part from the ground) should not be installed over the sidewalks along East Carson Street; applications for the installation of canopies over the sidewalks of side streets shall be reviewed by the Commission on a case-by-case basis.

d. Security devices should not be installed on the exterior of a storefront (but may be installed on the inside of the storefront windows and doors). Exterior lighting should be mounted in an inconspicuous and non-destructive manner, and screened from adjoining residential uses.

F. Storefronts

1. General guidelines. Original storefront materials and features should not be removed or destroyed, but should be retained and repaired, if possible. If it is impossible to repair them, they should be replaced with the same material or one that matches the original visually. Storefronts should be treated within the original (or new) structural "frame" made up of the sidewalks and lintel that spans the storefront opening. The open commercial character of a storefront should be retained, regardless of the use of the building; the storefront should not be closed-up, but other interior devices to ensure privacy may be employed. A lintel, or cornice, should be maintained or provided above the storefront in order to separate it from the upper facade and to provide a signboard for the first-floor use.



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2. Windows. Storefronts should be glazed from the bulkhead under the display windows up to the lintels or cornices over the storefront, including the transom windows over the display windows. Reflective, opaque, or tinted glass should not be used in the storefront, with the exception that opaque glass may be used in transom windows above the display windows.

3. Doors. The main entry door into a commercial space should be a traditional wood-and-glass door (especially if an original or new wooden storefront exists), or a simple metal-and-glass door, in either case, the door should be commercial in character and have a large panel of clear glass. Secondary doors, including doors that give access to the upper floors, should be either paneled wood or wood-and-glass doors, but not solid metal doors (solid metal doors may be used at the rear of buildings). "Natural" mill-finish metal doors, or pseudo-historical doors, should not be used.

4. Materials. Storefronts should be constructed of high-quality, durable materials, similar in type and scale to traditional materials, such as wood, cast iron, structural metal, and glass. Brick may be used, but only if appropriate to the design of the building and only in narrow joints. Corrugated metal panels, aluminum or vinyl siding, synthetic stucco, plywood siding, and concrete block should not be used in storefronts. Storefronts should also not be decorated with half-timbering, shingles, pent roofs, or other pseudo-historical materials or treatments.

F. New Construction

1. The general aim of the guidelines for new construction is to encourage the visual compatibility of new construction with the character and quality of the nineteenth- and early twentieth-century buildings that give the district its historic architectural significance and visual character. This does not require, although it also does not forbid, replication of the styles of the existing buildings in the district. The review of the design of a new structure will take into account the immediate context of the buildings that surround it, as well as the historic and architectural character of the district as a whole.

2. Materials. Materials should be of a similar color, texture, and scale to building materials in the district's contributing buildings.

3. Scale, Massing, Rhythm, and Form. The scale, massing, and rhythm of a new building and its individual elements (e.g., windows, doors, roof, and ornamentation) should be compatible with the forms found among the contributing buildings in the district. The ratio of wall surface to openings, and the proportions and direction of the door and window openings, should be consistent with those of the contributing buildings. Glass curtain walls and horizontal strip windows along the principal facades should be avoided, as well as large, flat wall surfaces unbroken by openings, setbacks, or moldings.

4. Detailing. The detailing of new buildings should correspond to the kinds of detailing found on contributing buildings in the district. This does not require replication of the degree of ornamentation found in those buildings but should generally include the following: a cornice or other definition of the roofline; a distinctive storefront or main door surround; window sills and lintels, or other distinctive detailing at the openings; and ornamental features such as moldings.

5. Decorations. The HRC will usually approve all signs for new buildings that conform in size and material to the sign regulations of the Zoning Ordinance. Awnings on new buildings should be sloping and triangular in section, in most cases (although arched windows should have rounded awnings); they should be made of canvas or canvas-like materials, and they should not be internally illuminated. Security devices should not be installed on the exterior of a storefront (but may be installed on the inside of the storefront windows and doors). Exterior lighting should be mounted in an inconspicuous and non-destructive manner, and screened from adjoining residential uses.

6. Roofing Elements. Structures on the roofs of new buildings, such as elevator or other mechanical housings or devices, vents, utilities, and skylights, should be designed so that they are inconspicuous from the public streets.

G. Additions

1. In general, additions should follow the guidelines for compatibility of new construction.

2. The design of an addition should respond specifically to the architecture of the building to which it is being added. It should be sympathetic to and compatible with the appearance of the original building, but this does not mean that the addition needs to replicate the design of the existing building.

3. An addition should be designed so that it is secondary to the existing building, and does not "overpower" it visually. It should not be located on the principal (side(s)) of the building.

4. The connection of the addition to the original building should be designed so that it does not detract from either structure. Significant architectural features of the original building should not be destroyed, removed, or obscured by the addition.

5. Additions to the roof of a building (such as additional floors, elevator housings, decks, terraces, dormers, and skylights) should be designed so that they are inconspicuous from the public streets and do not damage or obscure character-defining elements of the building.

H. Demolitions

MAVROVIC ARCHITECTS PC
5001 BAUM BLVD.
PITTSBURGH, PA 15213
412-687-1500

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UNITED AMERICAN SAVINGS BANK
1012 E. CARSON ST.
PITTSBURGH, PA 15203
412-431-0101



MAPC #1500

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SEPTEMBER 2, 2015

1. The HRC shall take all of the following factors into consideration when it considers a proposal for the demolition of a structure in the historic district:

- a. the historic or architectural significance of the structure;
- b. the contribution of the structure to the character of the district;
- c. the structural condition of the building;
- d. the feasibility of renovation and continued use of the building;
- e. the character of the new construction proposed to replace the demolished structure;
- f. the ability of the owner to obtain a reasonable economic return from the use of all or part of the building (if a profit-making venture) or the marketability of the building to another individual or organization;
- g. the ability of the owner to use the structure in a manner compatible with its organizational purposes (if a non-profit organization or corporation) or the marketability of the building to another individual or organization.

2. The Commission shall allow the demolition of an inappropriate addition to a contributing structure in the district.

3. The Commission shall allow the demolition of a non-significant portion of a contributing building, as long as the demolition does not adversely affect significant elements of the building.

4. The Commission shall allow the demolition of a non-contributing structure in the district, as long as the demolition does not adversely affect the character of the district as a whole.

J. Sign Improvements and Accessories

1. The HRC will review all construction on building lots within the historic district that are visible from a public street or way. This shall include paving, light standards, walls, fences, and landscaping.

2. Parking lots should be sufficiently screened by structures, screening, or landscaping to minimize the view of the lots and the cars stored there.

3. Significant existing site features, such as steps, walks, and fences, which contribute to the character of the property, should be retained and maintained.

4. New site features should either replicate the original features or be compatible in design.

5. New chain-link fences may only be installed when they will be minimally visible along secondary views or facades. They should not be installed along principal facades or views.

L. Non-Contributing Buildings

1. Additions and alterations to, and rehabilitation of, non-contributing buildings in the district should either be compatible with the style and character of each building, or cause the building to become more compatible with the district.

2. The HRC shall not require that alterations to non-contributing buildings be made so as to make the buildings appear to be older than they are, or designed in a different style.

3. The HRC shall allow the demolition of non-contributing buildings in the district (if the demolition will not adversely affect the character of the district).

K. Review Procedures

1. The HRC shall authorize its staff to review and approve all applications to repair or replace exterior building elements to match existing elements and designs, all applications that meet the guidelines for exterior rehabilitations and alterations as described above, and all applications to restore the exterior of a building to a documented original condition. The staff shall conduct its review and issue its approval or rejection of the application within ten (10) days of receipt of the completed application.

2. The HRC shall review all applications for new construction and additions, for demolitions, for major alterations to existing buildings, and for changes in materials. The Commission shall review each application and vote to approve or deny the application within sixty (60) days following receipt of the application. In the case of major new construction projects, the Commission shall review the conceptual or schematic design of the project and vote to approve or deny the design within sixty (60) days following receipt of the application, but it shall also review the details of the project and vote to approve or deny the details of the design at a later date, according to the schedule of the applicant. The applicant may choose to present such a proposal for a single review by the Commission.

3. The time limit for consideration of an application may be extended with the consent of the applicant.

MAVROVIC ARCHITECTS PC
51811 BALM BLVD.
PITTSBURGH, PA 15211
412-687-1500



MAPC #1500

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UNITED AMERICAN SAVINGS BANK
1012 E. CARSON ST.
PITTSBURGH, PA 15203
412-431-9101

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SEPTEMBER 2, 2015

919.04A General

(A.1) Purpose: The purpose of these special provisions is to provide control over signage in commercial areas of the City which includes uses which are within and adjacent to residential neighborhoods, where such uses are physically oriented toward pedestrian traffic rather than vehicular traffic, and where the existing general provisions regulating signage allow types and sizes of signs which are not appropriate to these types of districts.

(A.2) Application: These regulations shall apply only to those areas specifically listed hereunder, and shall be used in addition to the general provisions for signs found above. Where differences occur between the provisions of Section 919.04 and those found elsewhere in this Chapter, the provisions of this section shall apply. In the Neighborhood Business Sign Districts, there shall be applied the regulations prescribed in this chapter and the qualifying regulations prescribed in other chapters specifically referred to in the following sections of this chapter.

(A.3) District Classification: To carry out the purpose and provisions of the Zoning Ordinance, the following Neighborhood Business Sign Districts are hereby established:

Name	Boundary
1. East Carson Street	That area defined by the A) Commercial/Residential Associated District along and adjacent to East Carson Street, as defined by ordinance on the City's Zoning District Map.

(A.4) Special Definitions

(1) "Projecting Sign" means any business or identification sign which sole means of support is by attachment to a legal structure on a zoning lot and which projects more than twelve (12) inches into a public right of way. A projection sign shall contain no more than two (2) sign faces, which include lettering, and these sign faces shall be back-to-back.

(1) Number of Signs:

A. For each street level business, a maximum of one (1) wall sign, two (2) window signs, and either one (1) awning sign or one (1) projecting sign or one (1) ground sign shall be permitted for each facade of a structure facing a street.

B. For each upper floor business, a maximum of two (2) window signs, one (1) door sign, and either one (1) awning sign or one (1) projecting sign shall be permitted on the facade of a structure facing the street.

C. The maximum area of all signs, including ground signs, shall be fifteen percent (15%) of the area of the face of the building on which the signs are proposed. For ground signs, the area of the face of the buildings nearest to and visible from the ground signs shall be considered for this calculation.

(2) Size of Signs:

A. Wall signs shall be a maximum of two (2) square feet in area for every linear foot of the building frontage, up to a maximum of forty (40) square feet. Maximum lettering size shall be eighteen (18) inches.

B. For each street level business window and doors signs shall be a maximum of twenty percent (20%) of the glazed area of the window or door in which they are placed up to a maximum of eight (8) square feet. For each upper floor business, window or door signs shall be a maximum of fifty percent (50%) of the glazed area of the window or door in which they are placed, up to a maximum of ten (10) square feet.

C. Projecting signs shall be a maximum of nine (9) square feet per side. The area of irregular or three-dimensional shapes shall be computed by multiplying the height and the width at the widest points.

D. Ground signs shall be limited to forty (40) square feet, and the sign and sign structure shall be no higher than twelve (12) feet.

(3) Location of Signs:

A. No sign or sign structure or support shall be placed onto or obscure or damage any significant architectural feature of a building, including but not limited to a window or a door frame, cornice, molding, ornamental feature, or unusual or fragile material.

B. No sign shall be painted onto any significant architectural feature, including but not limited to a window or door frame, cornice, molding, ornamental feature or unusual or fragile material.

C. No sign or structure support shall be located on the roof of a building or structure, nor shall any sign or sign structure or support extend beyond the cornice line of any building structure.

D. Projecting signs shall extend no more than four (4) feet from the front of a building or structure or two-thirds (2/3) of the width of the sidewalk beneath the sign.

ECS HISTORIC DISTRICT DESIGN GUIDELINES



919.04A General

(A.1) Purpose. The purpose of these special provisions is to provide control over signage in commercial areas of the City which includes uses which are within and adjacent to residential neighborhoods, where such uses are physically oriented toward pedestrian traffic rather than vehicular traffic, and where the existing general provisions regulating signage allow types and sizes of signs which are not appropriate to these types of districts.

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Name	Boundary
1. East Carson Street	That area defined by the A1 Commercial/Residential Associated District along and adjacent to East Carson Street, as defined by ordinance on the City's Zoning District Map.

(A.4) Special Definitions

(1) "Projecting Sign" means any business or identification sign which sole means of support is by attachment to a legal structure on a zoning lot and which projects more than twelve (12) inches into a public right of way. A projection sign shall contain no more than two (2) sign faces, which include lettering, and these sign faces shall be back-to-back.

(1) Number of Signs

A. For each street level business, a maximum of one (1) wall sign, two (2) window signs, and either one (1) awning sign or one (1) projecting sign or one (1) ground sign shall be permitted for each facade of a structure facing a street.

B. For each upper floor business, a maximum of two (2) window signs, one (1) door sign, and either one (1) awning sign or one (1) projecting sign shall be permitted on the facade of a structure facing the street.

C. The maximum area of all signs, including ground signs, shall be fifteen percent (15%) of the area of the face of the building on which the signs are proposed. For ground signs, the area of the face of the buildings nearest to and visible from the ground signs shall be considered for this calculation.

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A. Wall signs shall be a maximum of two (2) square feet in area for every linear foot of the building frontage, up to a maximum of forty (40) square feet. Maximum lettering size shall be eighteen (18) inches.

B. For each street level business window and doors signs shall be a maximum of twenty percent (20%) of the glazed area of the window or door in which they are placed up to a maximum of eight (8) square feet. For each upper floor business, window or door signs shall be a maximum of fifty percent (50%) of the glazed area of the window or door in which they are placed, up to a maximum of ten (10) square feet.

C. Projecting signs shall be a maximum of nine (9) square feet per side. The area of irregular or three-dimensional shapes shall be computed by multiplying the height and the width at the widest points.

D. Ground signs shall be limited to forty (40) square feet, and the sign and sign structure shall be no higher than twelve (12) feet.

(3) Location of Signs

A. No sign or sign structure or support shall be placed over or obscure or damage any significant architectural feature of a building, including but not limited to a window or a door frame, cornice, molding, ornamental feature, or unusual or fragile material.

B. No sign shall be painted onto any significant architectural feature, including but not limited to a window or doorframe, cornice, molding, ornamental feature, or unusual or fragile material.

C. No sign or structure support shall be located on the roof of a building or structure, nor shall any sign or sign structure or support extend beyond the cornice line of any building structure.

D. Projecting signs shall extend no more than four (4) feet from the front of a building or structure or two-thirds (2/3) of the width of the sidewalk beneath the sign.



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