



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: PMC/Schenley HSB Associates, L.P.		Phone Number: ()	
Address: 1608 Walnut St.	City: Philadelphia	State: PA	Zip Code: 19103
2. Applicant/Company Name: Reed Smith LLP		Phone Number: (412) 288-4598	
Address: 225 Fifth Avenue	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Contractor ID: (assigned by the City) T/B/D			
3. Development Name: Schenley Building Conversion			
4. Development Location: Centre Avenue and Bigelow Boulevard in Oakland			
5. Development Address: 4101 Bigelow Boulevard			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	N/A		
Present Use of Site: (Select from attached list)	Vacant/School (General)		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: None on file	Date Issued: N/A	Existing Use of Property: Vacant/School (General)	
8. Estimated Construction:	Start Date: 04/15/2015	Occupancy Date: 05/01/2016	Project Cost: \$21 Million

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Multi-Unit Residential

10. Select the Type of Work:

<input type="checkbox"/> New Construction, New	<input checked="" type="checkbox"/> Renovation, Interior
<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input checked="" type="checkbox"/> Renovation, Change in Use

11. Describe the Development: Convert the existing building to 180 residential units with enclosed and surface parking areas. Plans provided.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	_____	N/A	sq ft
Existing to be Retained:	_____	331,525	sq ft
Retained Area to be Renovated:	_____	291,805	sq ft (including parking in basement, w/o parking in basement 250,545 sq. ft.)
To be Constructed:	_____	0	sq ft
Building Footprint:	_____	64,815	sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure		88		88
Proposed Addition/Extension			None	None

Provide Accessory Structure Type(s) and Height(s): N/A

16. Number of Dwelling Units:
 Existing to Remain: ∅ Proposed: 180

17. Lot Area: 167,183 sq. ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		77*
Compact (7 1/4' x 16')		55
Handicap (13 1/2' x 19')		6

Off-Street Loading Spaces: N/A
 Actual: **2** _____
 Required: **3** (administrator exception requested); _____
***Number of parking spaces does not include 9 additional tandem spaces.**

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm

Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

New Water Service Connection(s) Termination of Existing Water Service Tap(s)
 New Sewer Service Connection(s) Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

+YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: /s/ Michael A. Kostiew



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219 (412)
255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219 (412)
255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224 (412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

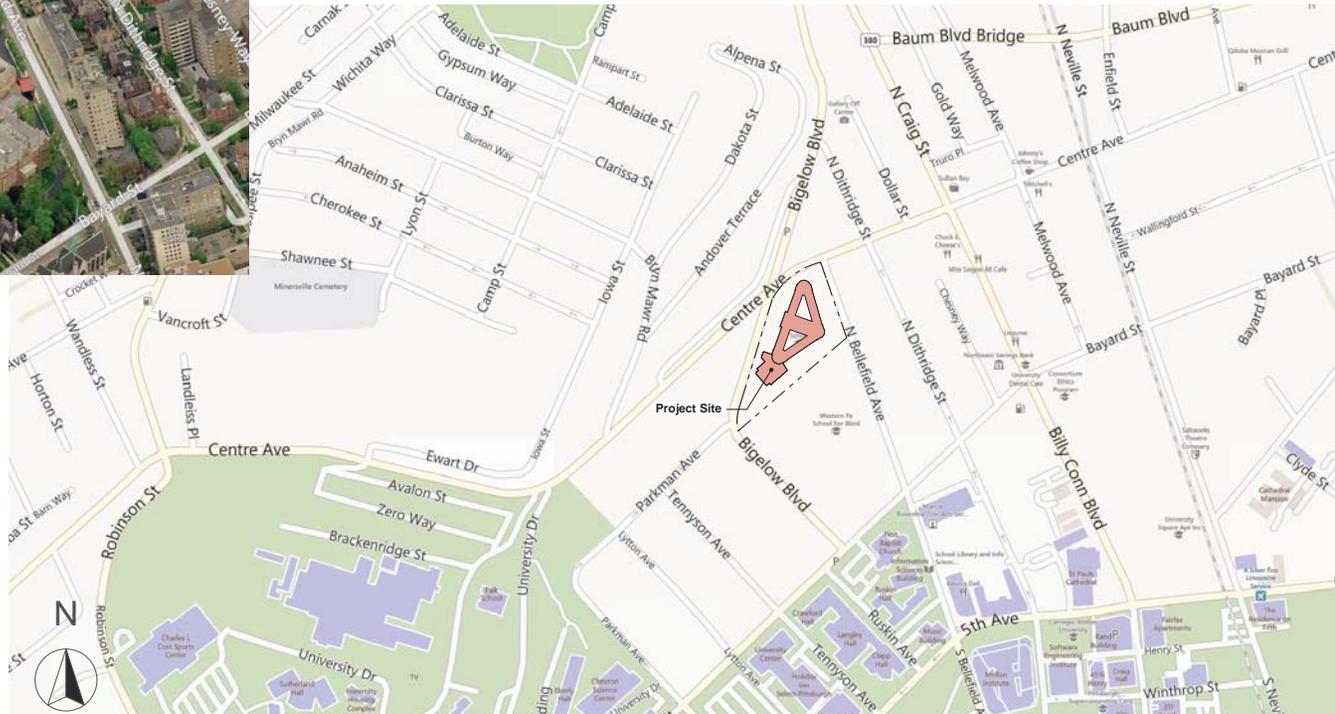
Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224 (412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

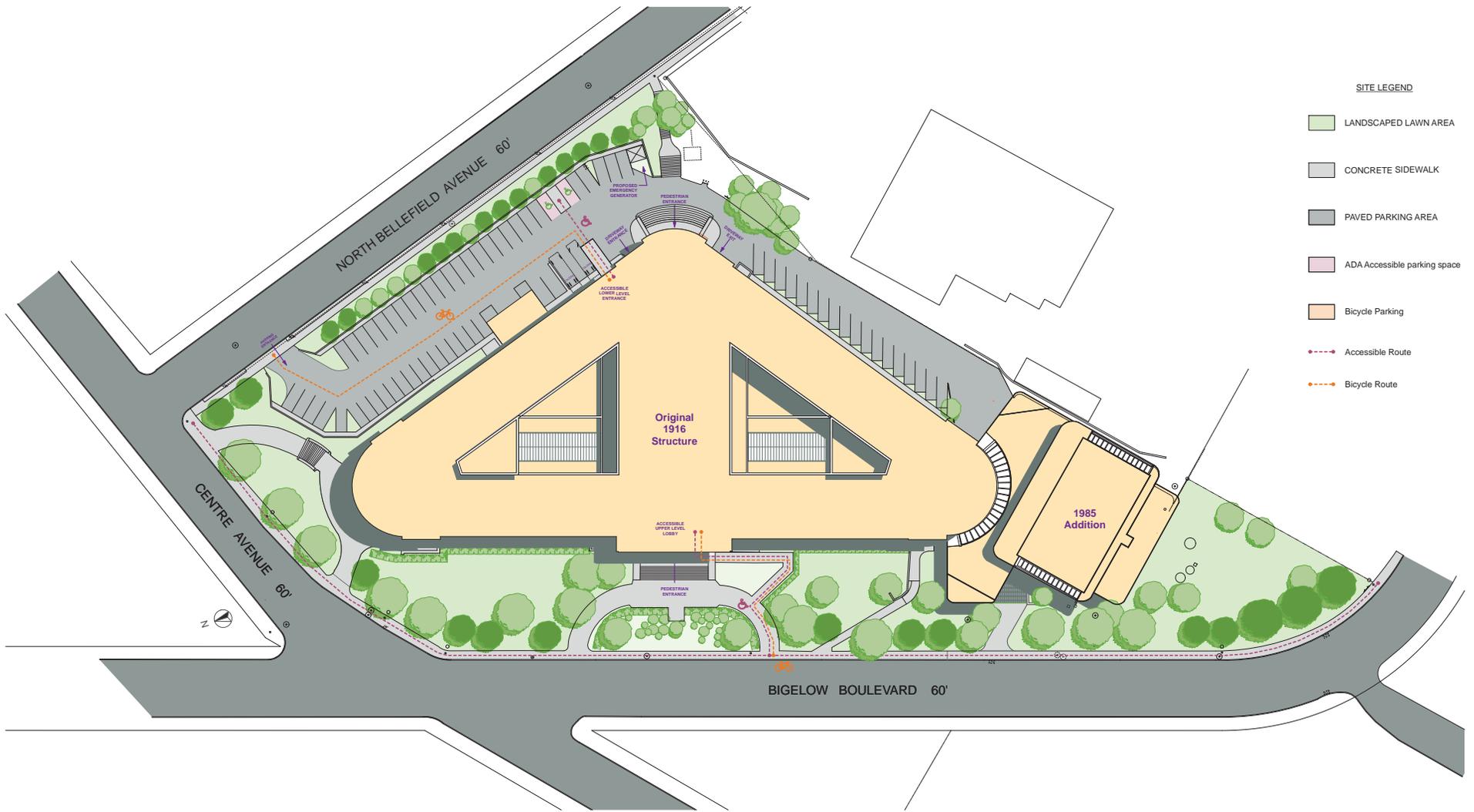
Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



1 Birdseye View



2 Site Vicinity Map



SITE LEGEND

- LANDSCAPED LAWN AREA
- CONCRETE SIDEWALK
- PAVED PARKING AREA
- ADA Accessible parking space
- Bicycle Parking
- Accessible Route
- Bicycle Route

1 Site Plan

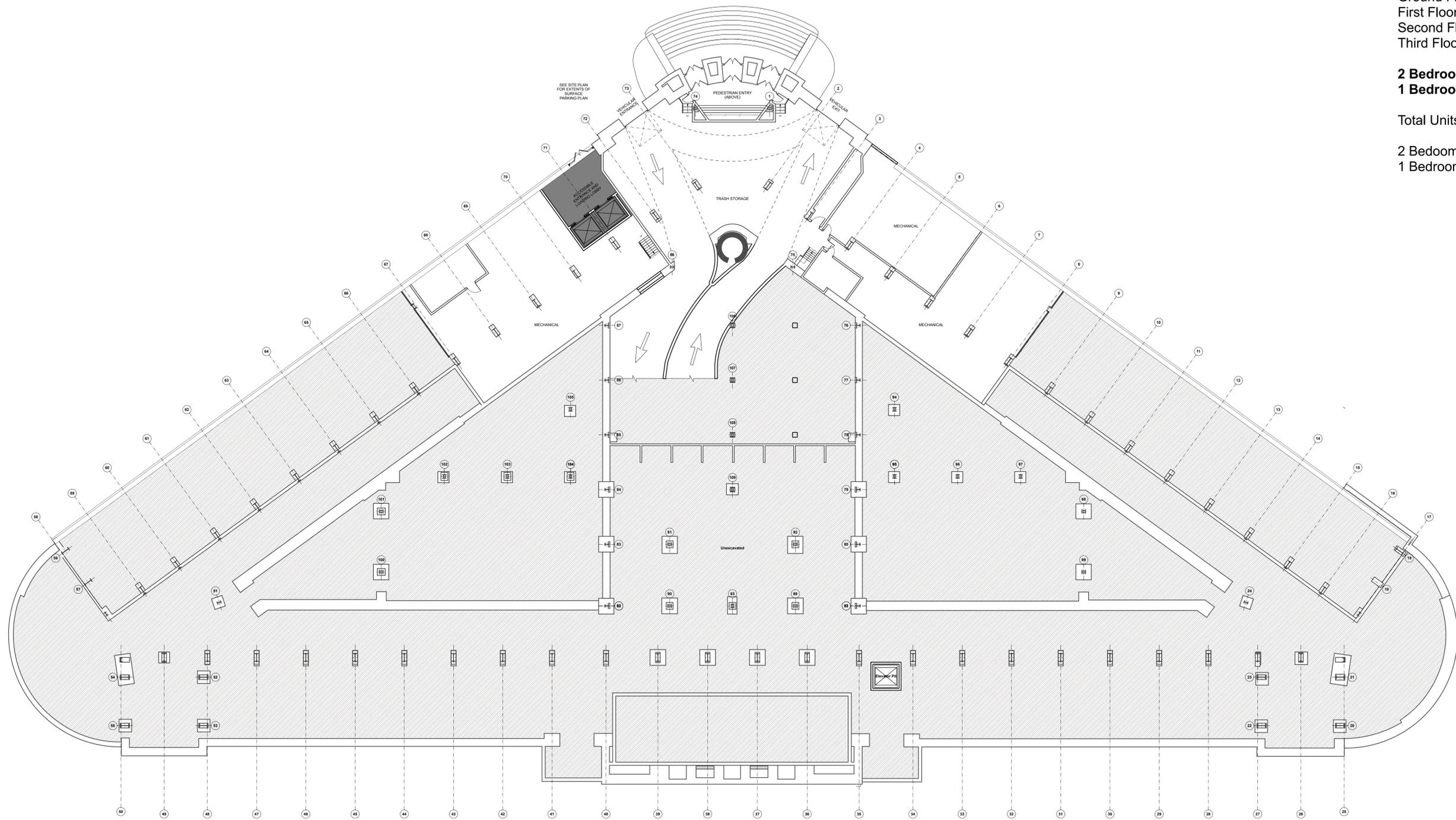


Lobby Level: 0 units
 Lower Level: 21 units
 Ground Floor: 44 units
 First Floor: 34 units
 Second Floor: 36 units
 Third Floor: 45 units

2 Bedroom Unit - 0
1 Bedroom Unit - 0

Total Units: 180 units

2 Bedroom: 49 units
 1 Bedroom: 131 units



1 Lobby Level Plan



Lobby Level: 0 units
Lower Level: 21 units
 Ground Floor: 44 units
 First Floor: 34 units
 Second Floor: 36 units
 Third Floor: 45 units

2 Bedroom Unit - 18
1 Bedroom Unit - 3

Total Units: 180 units
 2 Bedroom: 49 units
 1 Bedroom: 131 units

-  Accessible parking space
-  Bicycle Parking
-  Accessible Route
-  Bicycle Route



1 Lower Level Plan



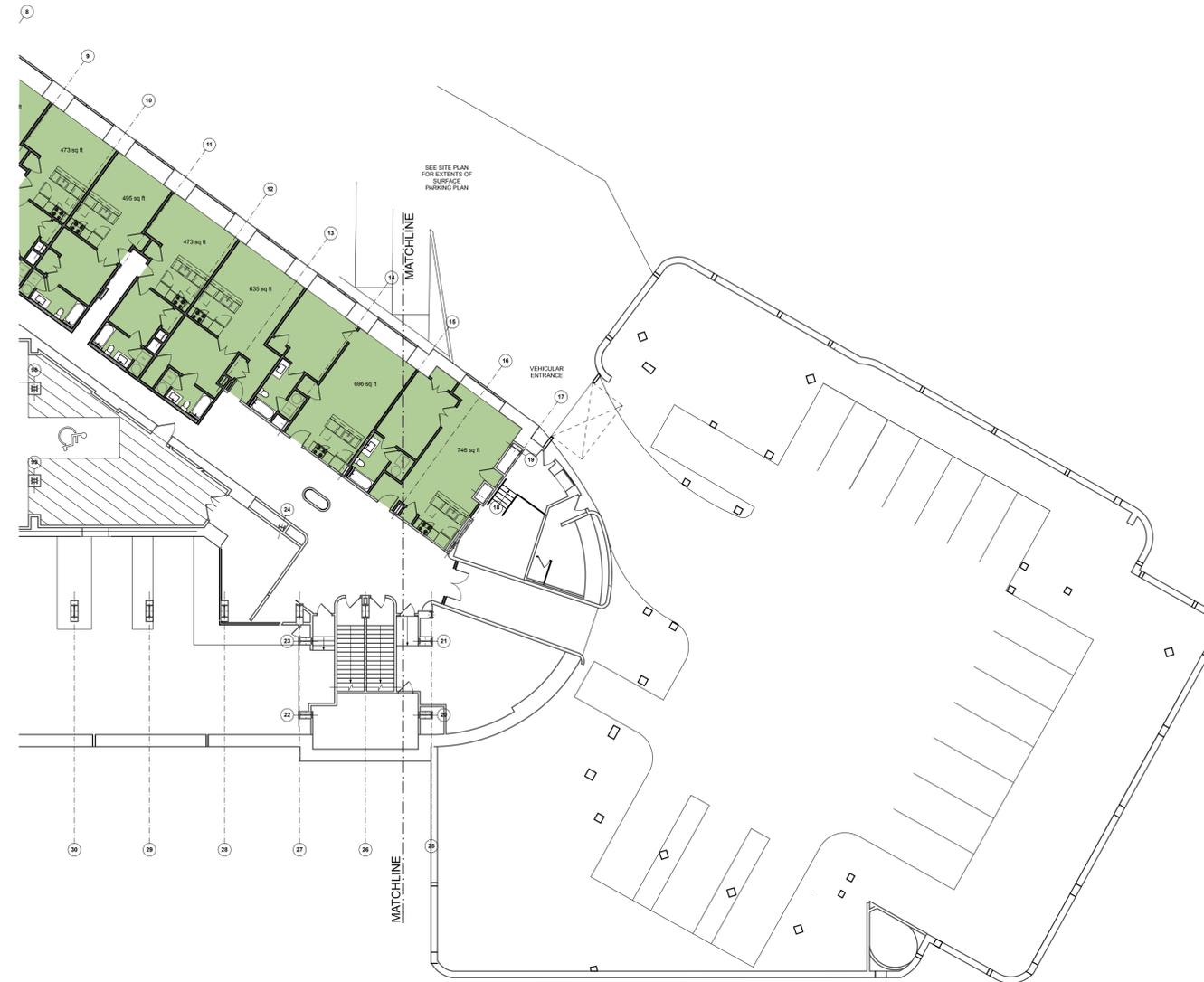


Lobby Level: 0 units
Lower Level: 21 units
 Ground Floor: 44 units
 First Floor: 34 units
 Second Floor: 36 units
 Third Floor: 45 units

2 Bedroom Unit - 18
1 Bedroom Unit - 3

Total Units: 180 units

2 Bedroom: 49 units
 1 Bedroom: 131 units



1 Partial Lower Level Plan





Lobby Level: 0 units
 Lower Level: 21 units
Ground Floor: 44 units
 First Floor: 34 units
 Second Floor: 36 units
 Third Floor: 45 units

2 Bedroom Unit - 31
1 Bedroom Unit - 13

Total Units: 180 units

2 Bedroom: 49 units
 1 Bedroom: 131 units



1 Ground Floor Plan





Lobby Level: 0 units
 Lower Level: 21 units
Ground Floor: 44 units
 First Floor: 34 units
 Second Floor: 36 units
 Third Floor: 45 units

2 Bedroom Unit - 31
1 Bedroom Unit - 13

Total Units: 180 units

2 Bedroom: 49 units
 1 Bedroom: 131 units



1 Partial Ground Floor Plan



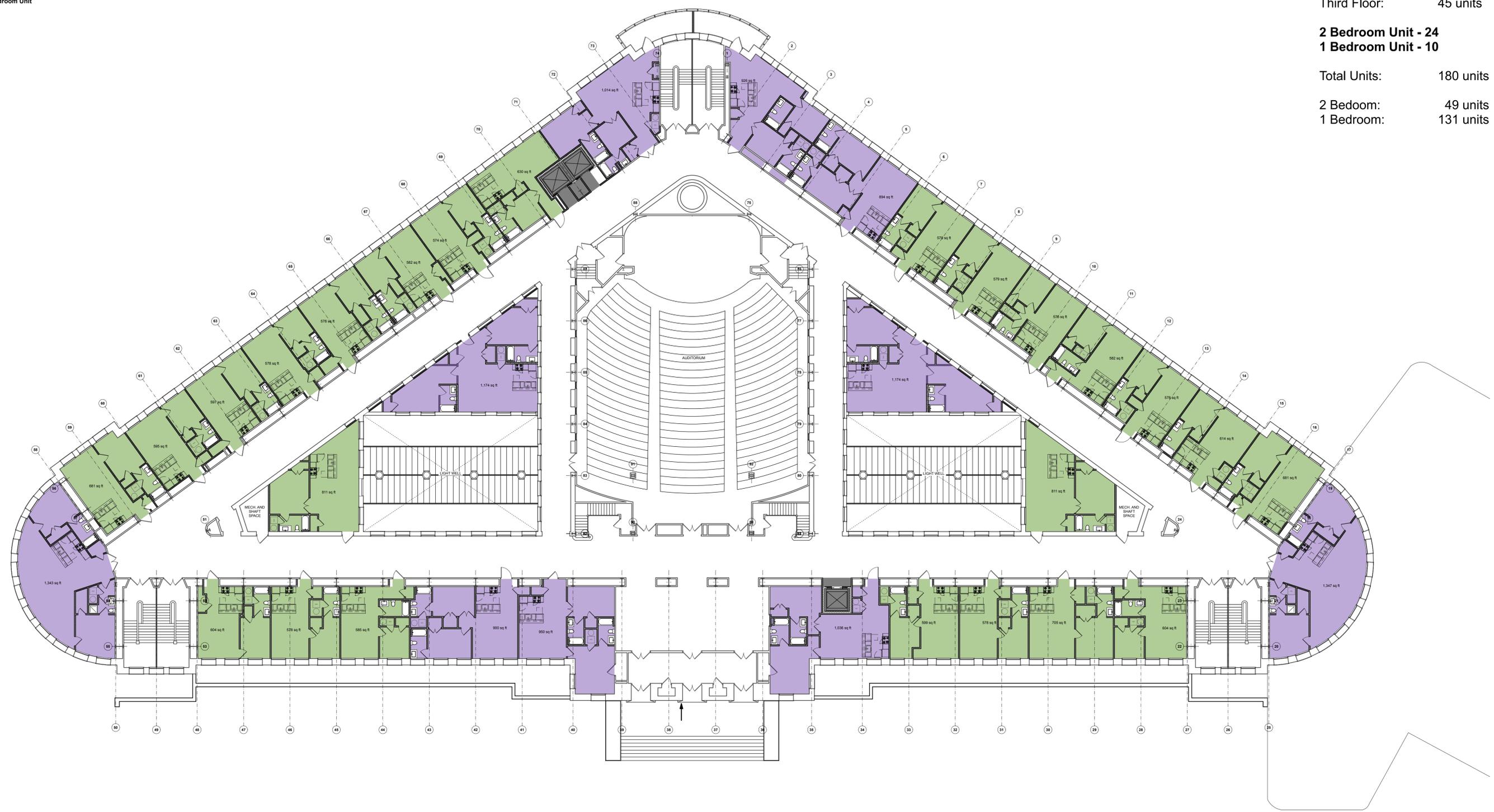
2 Bedroom Unit
 1 Bedroom Unit

Lobby Level: 0 units
 Lower Level: 21 units
 Ground Floor: 44 units
First Floor: 34 units
 Second Floor: 36 units
 Third Floor: 45 units

2 Bedroom Unit - 24
1 Bedroom Unit - 10

Total Units: 180 units

2 Bedroom: 49 units
 1 Bedroom: 131 units



1 First Floor Plan



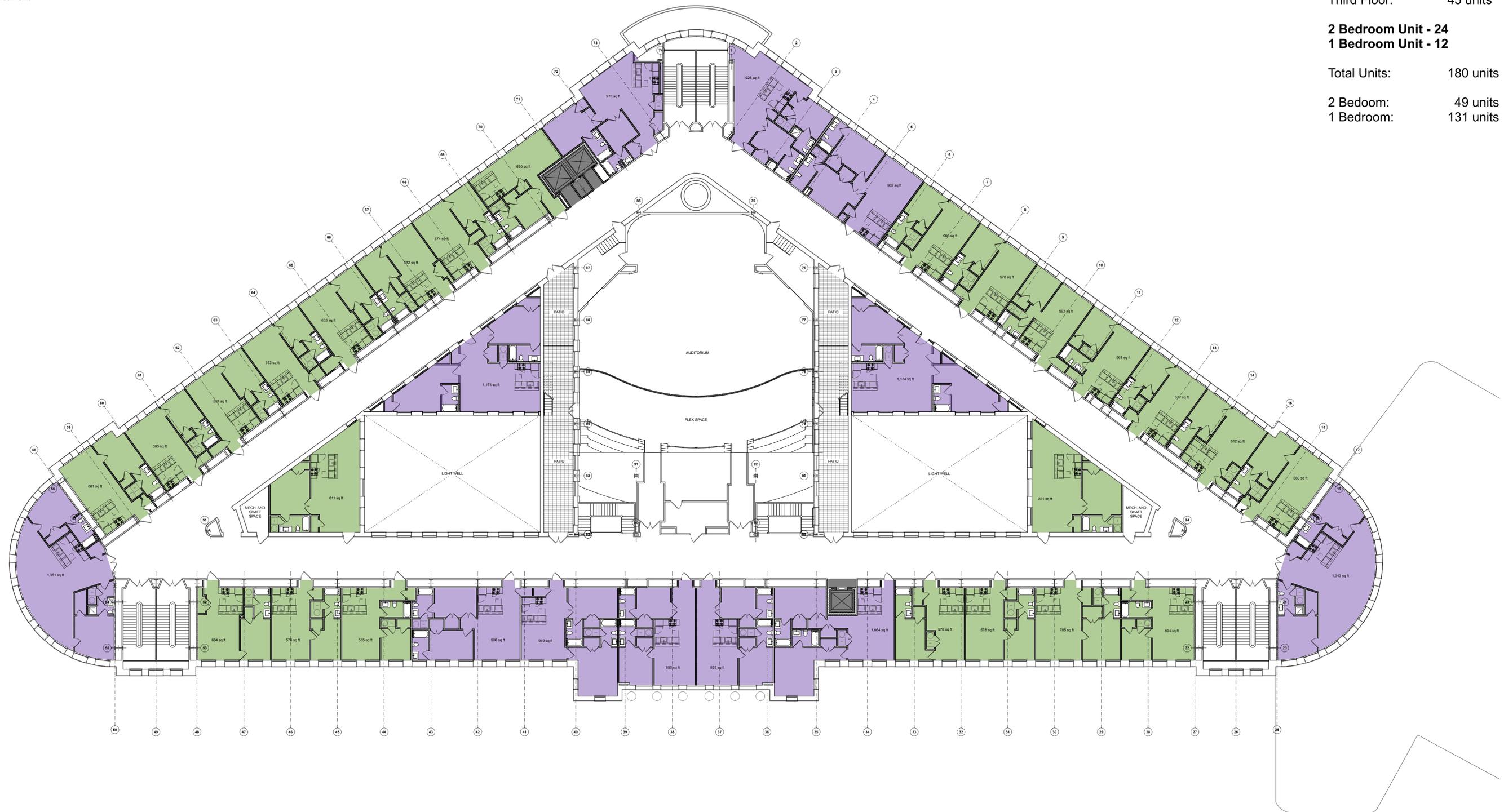


Lobby Level: 0 units
 Lower Level: 21 units
 Ground Floor: 44 units
 First Floor: 34 units
Second Floor: 36 units
 Third Floor: 45 units

2 Bedroom Unit - 24
1 Bedroom Unit - 12

Total Units: 180 units

2 Bedroom: 49 units
 1 Bedroom: 131 units



1 Second Floor Plan



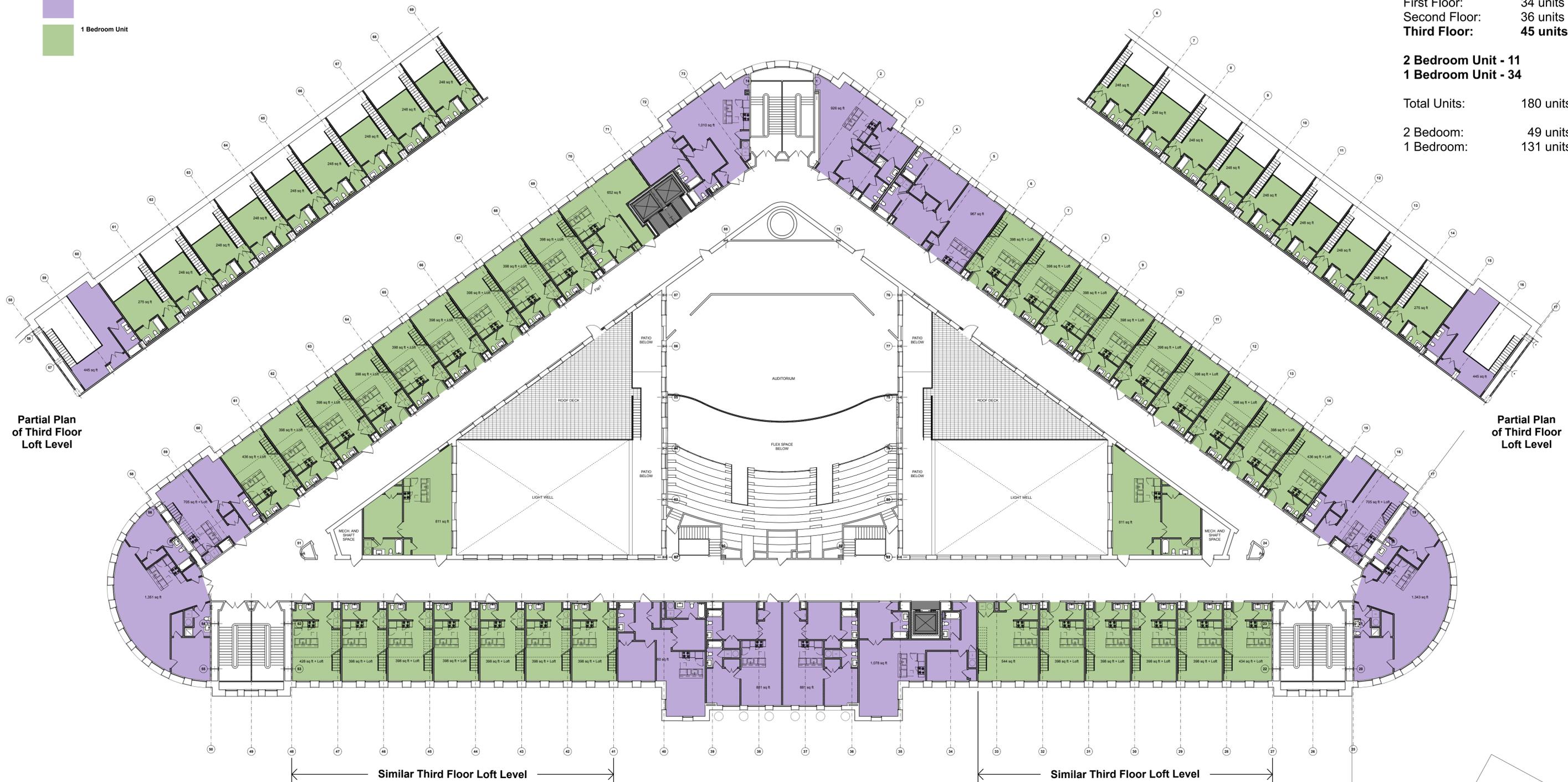
2 Bedroom Unit
 1 Bedroom Unit

Lobby Level: 0 units
 Lower Level: 21 units
 Ground Floor: 44 units
 First Floor: 34 units
 Second Floor: 36 units
Third Floor: 45 units

2 Bedroom Unit - 11
1 Bedroom Unit - 34

Total Units: 180 units

2 Bedroom: 49 units
 1 Bedroom: 131 units



Partial Plan of Third Floor Loft Level

Partial Plan of Third Floor Loft Level

1 Third Floor Plan



ZONING OVERVIEW

ZONING DISTRICT - MULTI-UNIT RESIDENTIAL – VERY HIGH VOLUME

180 Units Total (all within existing building)

Zoning Provision	Requirement	Provided (PMC Plan)
Minimum Lot Size	1,200 s.f.	167,183 s.f. (RM-VH portion of property)
Minimum Lot Size Per Unit	400 s.f. per unit = 72,000 s.f. (based on 180 units)	167,183 s.f. (RM-VH portion of property)
Maximum Height (RM)	No limit	88 ft. (no change from existing building)
Maximum Number of Units	417 (based on lot size)	180

Parking Summary

(Based on 180 Units)

Required (by Code)	Provided (PMC Plan)	Excess Parking
128 spaces	147 spaces*	19 spaces

***INCLUDES NINE (9) TANDEM SPACES**

Parking and Loading Details

Type	Required	Provided
ADA Spaces	6	6 (2 located on the surface lot; 4 within the garage)
ADA Van spaces	2 (included in count above)	2 (included in count above/located on surface lot)
Compact Spaces (40% max)	55 max	55
Bicycle Spaces	60	60 (enclosed in building)
Loading Docks	3	2 (Administrator Exception requested)

Unit Summary

Unit Type	Number of Units
One Bedroom	131
Two Bedroom	49
Total	180

Sustainable Features

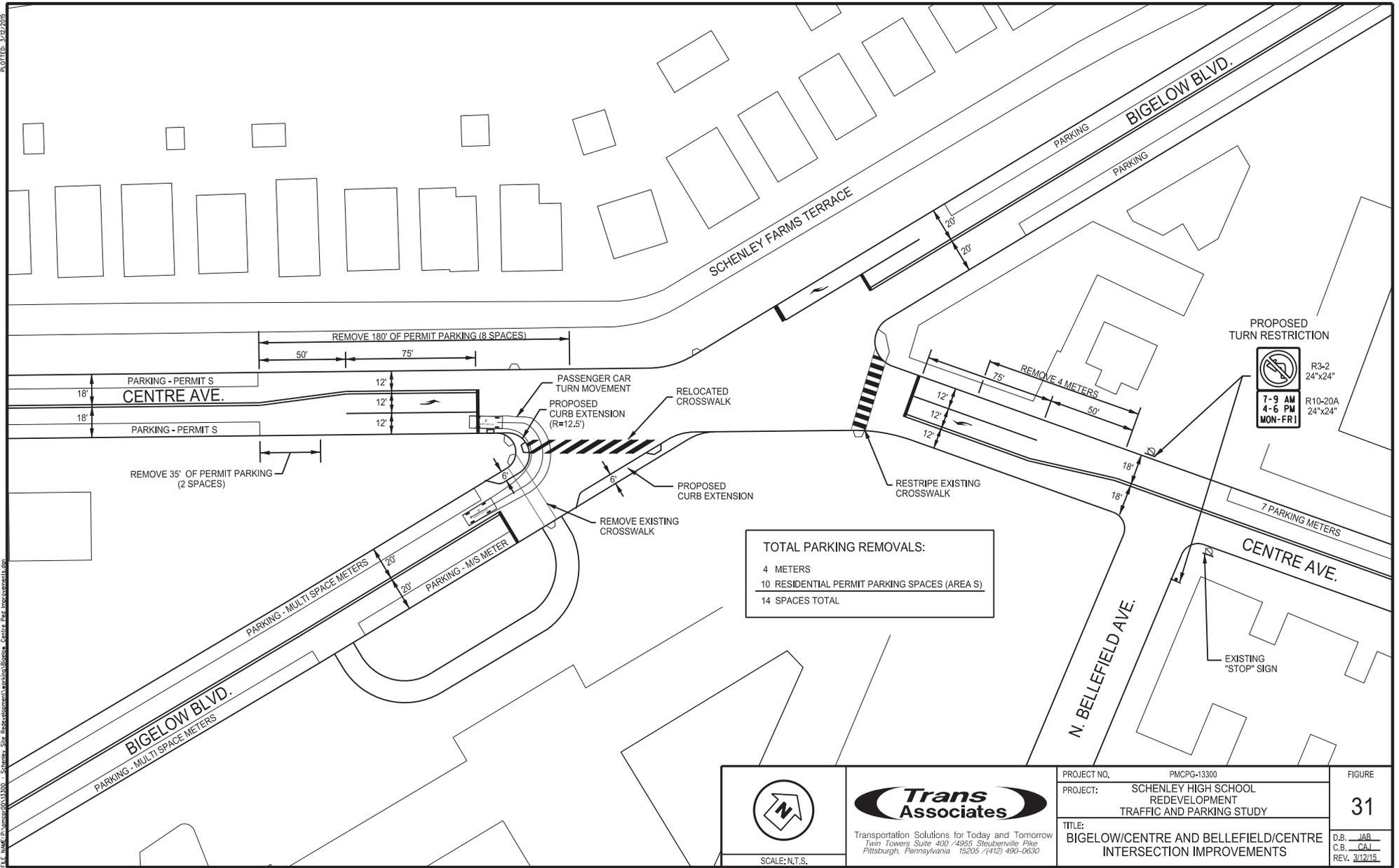
- Reuse of 90% of the existing building
- Access to public transportation (discussed later)
- Institutional shuttle transportation (discussed later)
- Bicycle parking
- Eliminating light polluting light fixtures leaving only the historic sconces
- No new impervious surfaces
- Additional plantings
- High efficiency mechanical systems
- LED light fixtures throughout
- Low VOC adhesives, paints, and millwork

Community Comments (Summary)

Comment	Developer Response
Opposition to rooftop units.	No rooftop units proposed as part of this application.
Parking concerns.	Developer added parking in the former pool area – exceeding code requirements.
Parkman and Bigelow Conditions (related to the Islamic Center).	Developer studied conditions and made recommendations for improvements as part of its Traffic Study.
Planting of additional trees on site by UPMC to mitigate helicopter noise.	Developer agreed to permit UPMC to plant mature trees on site (subject to reasonable approval per community agreement).
No parking on the Governor’s Drive (Bigelow side of building).	No parking is proposed for the Governor’s Drive.
Designation of guest parking spaces.	Developer agreed to designate 2 guest parking spaces.

PLOTTED: 3/12/2015

FILE NAME: P:\Projects\0413300 - Schenley - Site Reconfiguration\Map\SitePlan_Centre_Park_Improvements.dwg



SCALE: N.T.S.

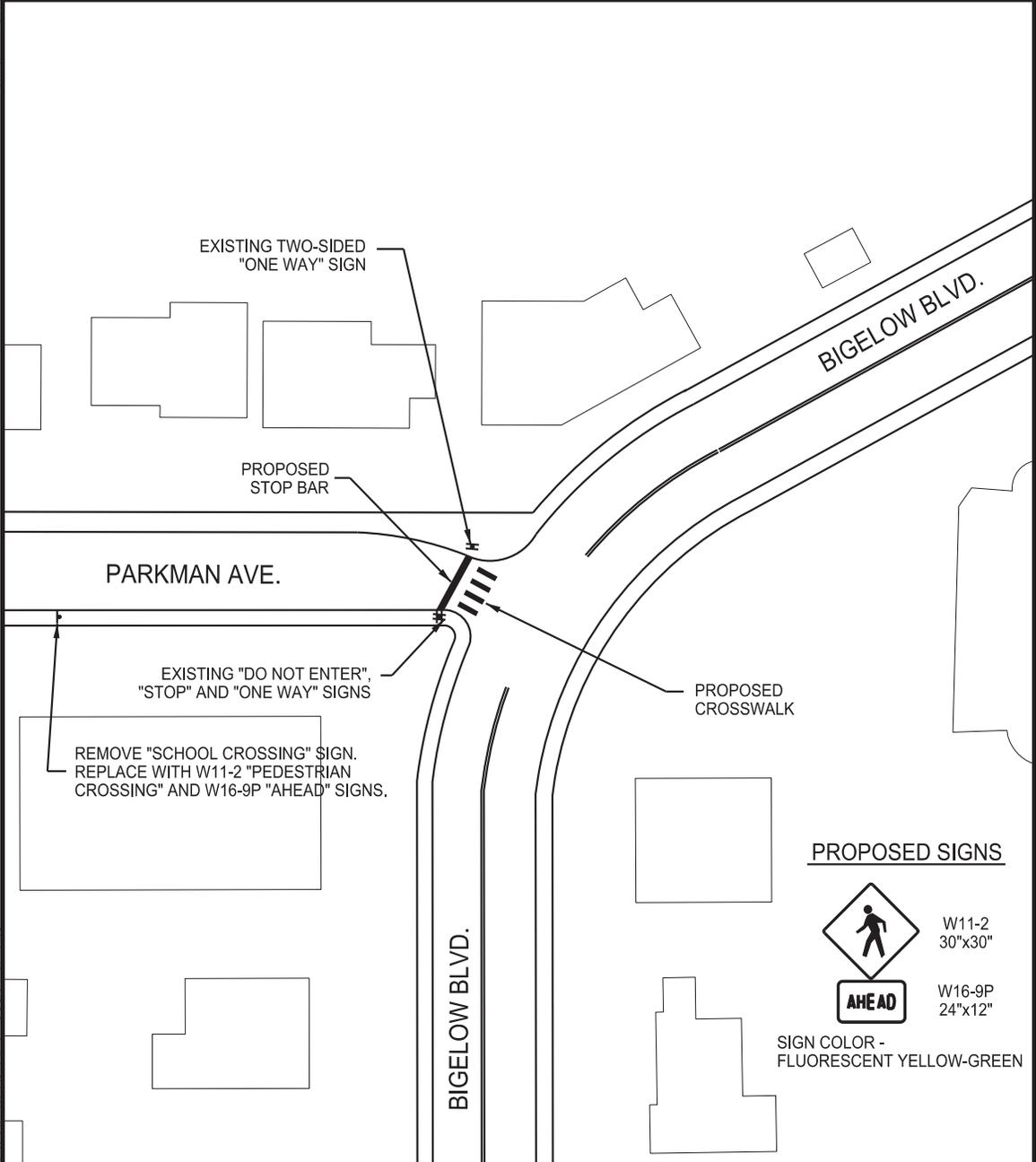


Transportation Solutions for Today and Tomorrow
 Twin Towers Suite 400 / 4955 Steubenville Pike
 Pittsburgh, Pennsylvania 15205 / (412) 490-0630

PROJECT NO.	PMCPG-13300
PROJECT:	SCHENLEY HIGH SCHOOL REDEVELOPMENT TRAFFIC AND PARKING STUDY
TITLE:	BIGELOW/CENTRE AND BELLEFIELD/CENTRE INTERSECTION IMPROVEMENTS

FIGURE	31
D.B.	JAB
C.B.	CAL
REV.	3/12/15

PLOTTED: 3/19/2015



FILE NAME: P:\pmcpg00\13300 - Schenley_Site_Redevelopment\work\plan\Bigelow_Parkman.dwg



SCALE: N.T.S.



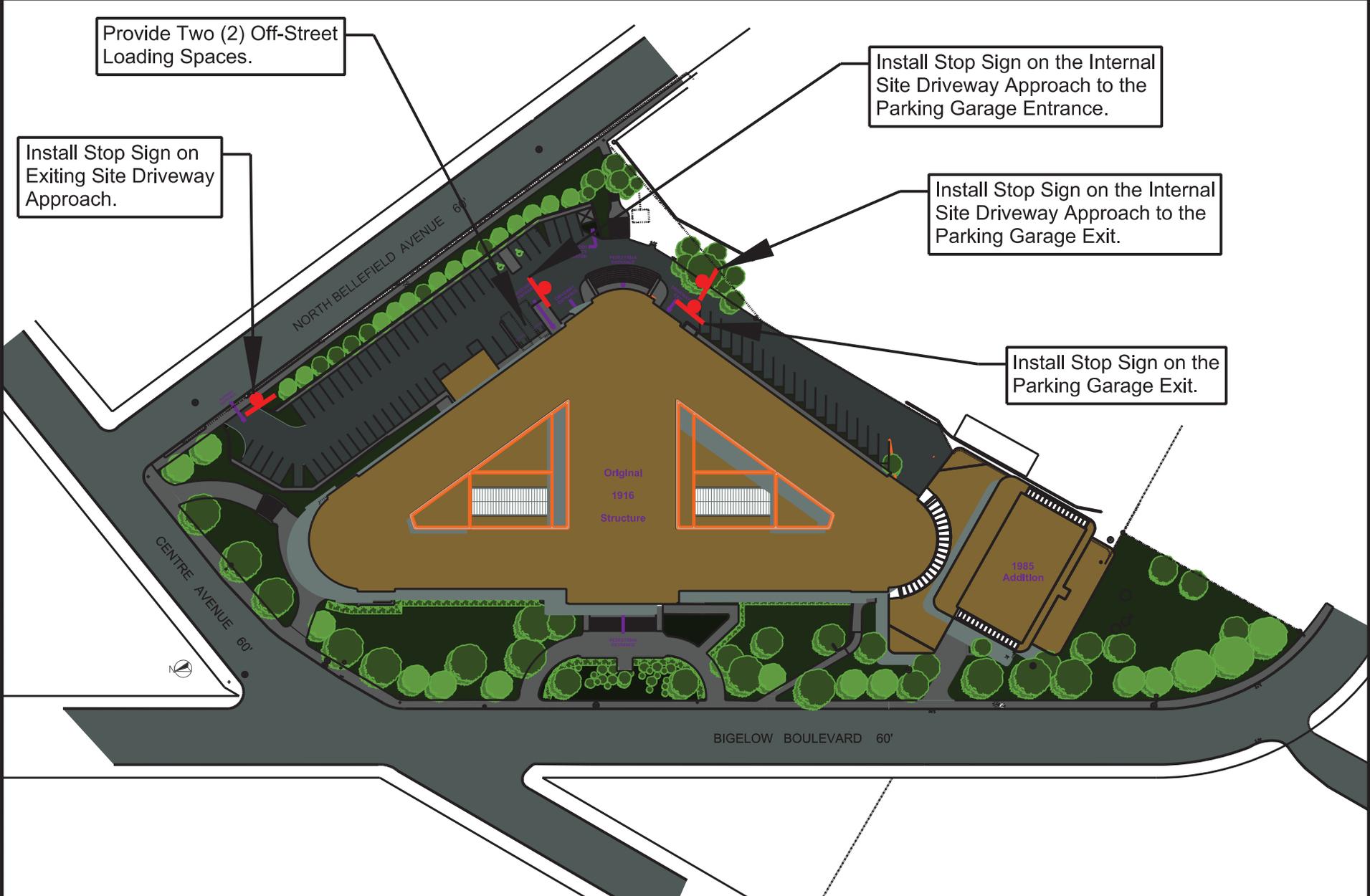
Transportation Solutions for Today and Tomorrow
Twin Towers Suite 400 /4955 Steubenville Pike
Pittsburgh, Pennsylvania 15205 / (412) 490-0630

PROJECT NO.	PMCPG-13300
PROJECT:	SCHENLEY HIGH SCHOOL REDEVELOPMENT TRAFFIC AND PARKING STUDY
TITLE:	BIGELOW AND PARKMAN INTERSECTION IMPROVEMENTS

FIGURE	32
D.B.	JAB
C.B.	CAJ
REV.	1/30/15

PLOTTED: 3/11/2015

FILE NAME: P:\pmcpr00\13300 - Schenley_Site_Redvelopment\Figures\Recommended_Improvements.dwg



SCALE: N.T.S.



Transportation Solutions for Today and Tomorrow
 Twin Towers Suite 400 / 4955 Steubenville Pike
 Pittsburgh, Pennsylvania 15205 / (412) 490-0630

PROJECT NO. PMCPG00 - 13300

PROJECT: Schenley High School Redevelopment
Traffic and Parking Study

TITLE: Recommended
On-Site Improvements

FIGURE

33

D.B. mds
 C.B. caj
 REV. _____



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Grandview Commons L.P.	Phone Number: (724) 375-6170
--	--------------------------------

Address: 100 Bet-Tech Dr.	City: Aliquippa	State: PA	Zip Code: 15001
---------------------------	-----------------	-----------	-----------------

2. Applicant/Company Name: Grandview Commons L.P.	Phone Number: (724) 375-6170
---	--------------------------------

Address: 100 Bet-Tech Dr.	City: Aliquippa	State: PA	Zip Code: 15001
---------------------------	-----------------	-----------	-----------------

Applicant/Contractor ID:(assigned by the City)

3. Development Name:

4. Development Location:

5. Development Address: 1553 Grandview Avenue, Pittsburgh, PA 15211 Lot/Block: 0006-G-00030-0000-00

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:	
---------------------------	--

Present Use of Site: (Select from attached list)	1 - Single Family Detached Residential
---	--

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#:	Date Issued:	Existing Use of Property:
----------------------------	--------------	---------------------------

8. Estimated Construction:	Start Date: / /	Occupancy Date: / /	Project Cost: \$
----------------------------	-----------------------	---------------------------	------------------

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 127 - Grassy Lot

10. Select the Type of Work:

<input type="checkbox"/> New Construction, New	<input type="checkbox"/> Renovation, Interior
<input type="checkbox"/> New Construction,	<input type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use

11. Describe the Development:

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	1091	sq ft
Existing to be Retained:	0	sq ft
Retained Area to be Renovated:	0	sq ft
To be Constructed:	0	sq ft
Building Footprint:	1203	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	1		0	
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:

Existing to Remain: 0 Proposed: 0

17. Lot Area: 3600 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A

Actual: _____

Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm

Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing 1 New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s) _____ Termination of Existing Water Service Tap(s)
 _____ New Sewer Service Connection(s) _____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____

GRANDVIEW COMMONS L.P.
AND
GRANDVIEW COMMONS I L.P.

**PROPOSED DEMOLITION OF
1553 GRANDVIEW AVENUE**

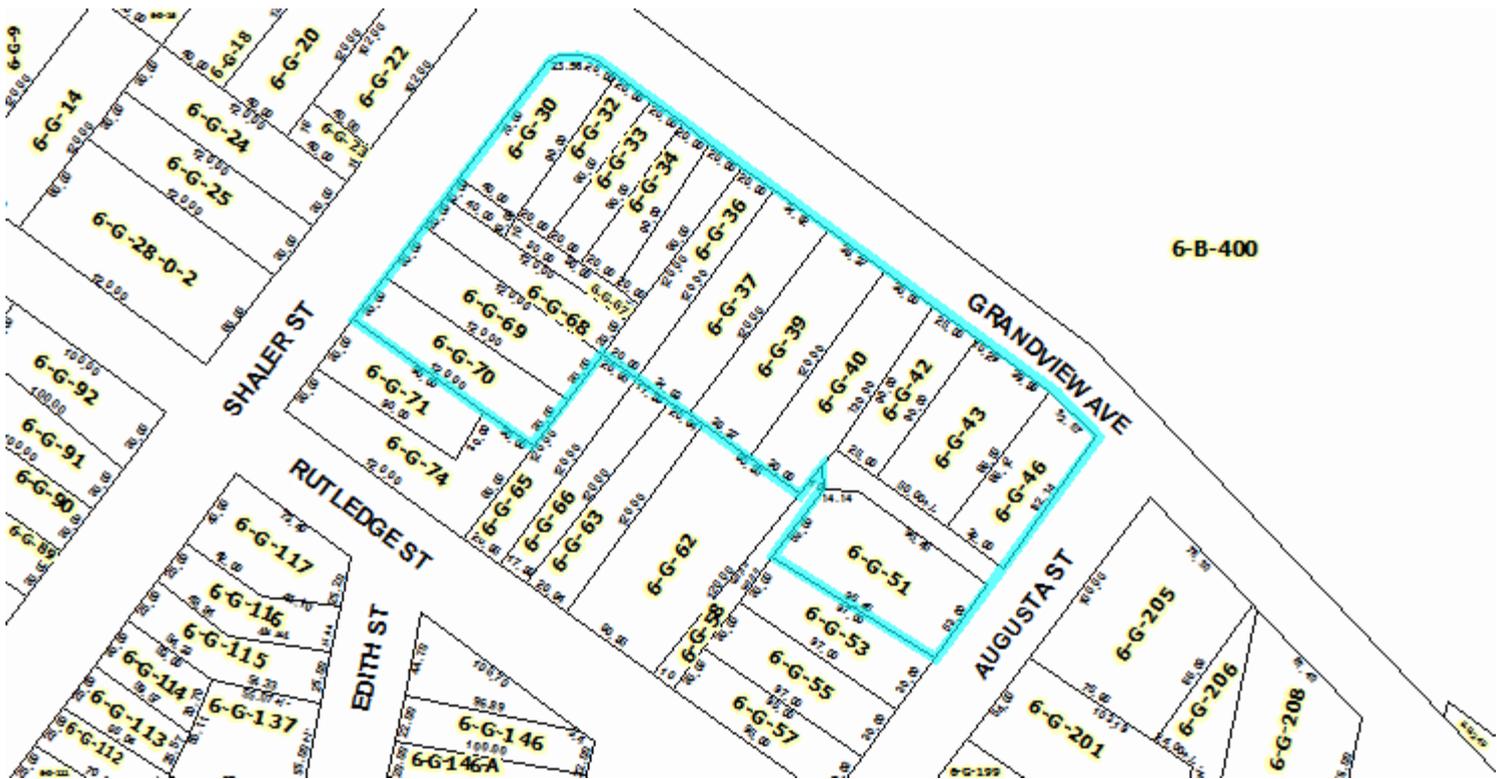
Grandview Commons L.P. and Grandview Commons I L.P. own 23 prime parcels on Grandview Avenue totaling 1.8 acres and providing spectacular view of the City



Grandview Commons I LP owns a series of contiguous lots in the 1600 Block of Grandview



Grandview Commons LP owns a series of lots in the 1500 Block of Grandview Avenue



Recent Demolition of Houses in the 1600 Block

View of Vacant Lots in the 1600 Block of Grandview – Looking South



View of Vacant Lots in the 1600 Block of Grandview – Looking North



Recent Demolition of House in the 1500 Block

House Located
at 1503
Grandview
Avenue was
demolished in
the past few
years.
Pictured here
is the well
maintained
vacant lot



Restoration of Lots

Following Demolition, parcels are restored to well-maintained grassy lots as shown here where several houses were demolished over the years.



House Currently Planned for Demolition at 1553 Grandview

House suffered a 100,000 gallon water leak with associated damage and mold and has fallen into disrepair. It is vacant and subject to vandalism.

Mold and Public Safety are Significant Concerns

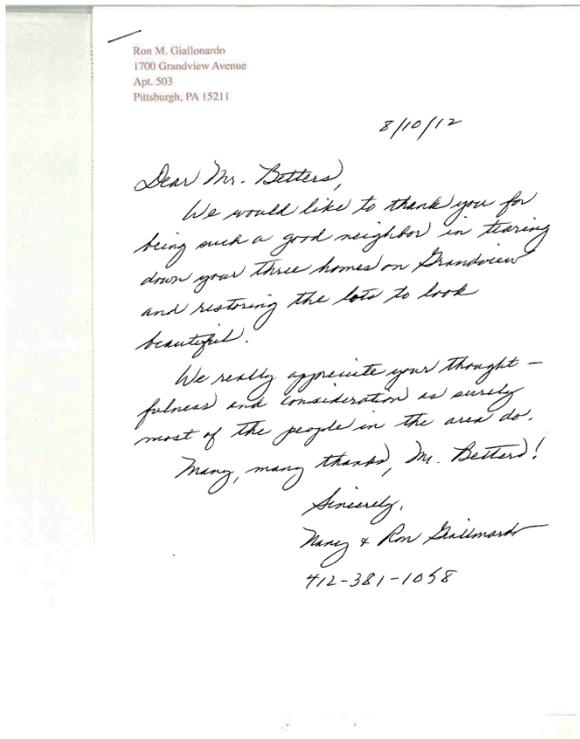


Demolition Contracts Executed

- Unis Construction Company, an approved city contractor, will perform demolition
- Demolition debris will be disposed of at a city approved landfill
- All concrete will be removed
- City sidewalks will be protected and preserved
- Site will be fully restored
- Unis will import structural fill as needed and compact to 95% standard proctor
- Unis will import topsoil as needed
- Unis will perform final grading as needed
- Unis will seed/straw the site upon completion of the work
- Unis will seed/straw later in the Spring if needed
- No explosives will be used
- All reasonable and necessary safeguards will be erected
- All safeguards will remain in place until completion of the work

Neighborhood Appreciation

Letter from Neighbor



Letter from Mt. Washington Community Development Corp.



MOUNT WASHINGTON
COMMUNITY DEVELOPMENT CORPORATION

Michael Moidel
Chief Operations Officer
C. J. Better Enterprises
3468 Brodhead Road, Suite 7
Monaca, PA 15061

12/11/13

Dear Mr. Moidel,

Please accept this letter as support for the demolition of your properties located at 1501 and 1531 Grandview Ave. We anticipate a smooth demolition process that will have little effect on neighbors and surrounding property.

Our support comes with one condition. We ask that the property be clear of fencing and become a properly maintained green space, such as the adjacent ones you currently own.

We understand that urban development can take many years to complete. As an involved property we appreciate your sharing of plans with us first before demolition was enacted.

We thank you for your help and cooperation. If you need any more information please do not hesitate to contact us either via email or phone.

Sincerely,

Jason Kambitsis
Executive Director
MWDCD

Proven Developer

Affiliates of Grandview Commons and Grandview Commons I have developed award winning condominium projects including the Point at Adams Ridge



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: VITMORE L.P.		Phone Number: (412) 952-3699	
Address: PO BOX 9009	City: PITTSBURGH	State: PA	Zip Code: 1522A
2. Applicant/Company Name: MOSHIER STUDIO		Phone Number: ()	
Address: 341 BUTLER ST.	City: PITTSBURGH	State: PA	Zip Code: 15201
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: 5500 BAUM BOULEVARD			
4. Development Location: BAUM BLVD & S. GRAHAM ST			
5. Development Address: 5500, 5514 & 5518 BAUM BLVD, PITTSBURGH PA 15232			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 4 / 1 / 2015	Occupancy Date: 7 / 1 / 2016	Project Cost: \$1A MILLION

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **5.02, 101, 105**

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: **6 STORY BUILDING WITH 2 LEVELS OF BELOW GRADE PARKING
FIRST FLOOR WILL CONTAIN LOBBY & SERVICES FOR MULTI FAMILY HOUSING ON UPPER FLOORS
AS WELL AS COMMERCIAL SPACE (OFFICE, RETAIL OR LIMITED RESTAURANT)**

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> 1 </u> New Water Service Connection(s)	<u> </u> Termination of Existing Water Service Tap(s)
<u> 1 </u> New Sewer Service Connection(s)	<u> </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial **1** Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: 4,945 sq ft
 Existing to be Retained: -0- sq ft
 Retained Area to be Renovated: -0- sq ft
 To be Constructed: 121,099 sq ft **+ PARKING**
 Building Footprint: 20,183 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	3	45	6	85
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: _____

17. Lot Area: 25,229 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	41	54
Compact (7 1/4' x 16')	0	32
Handicap (13 1/2' x 19')	0	4

Off-Street Loading Spaces: N/A
 Actual: 2
 Required: 2

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

5500 BAUM BOULEVARD SCHEMATIC DESIGN

PLANNING COMMISSION PRESENTATION - 2015.03.24

TABLE OF CONTENT

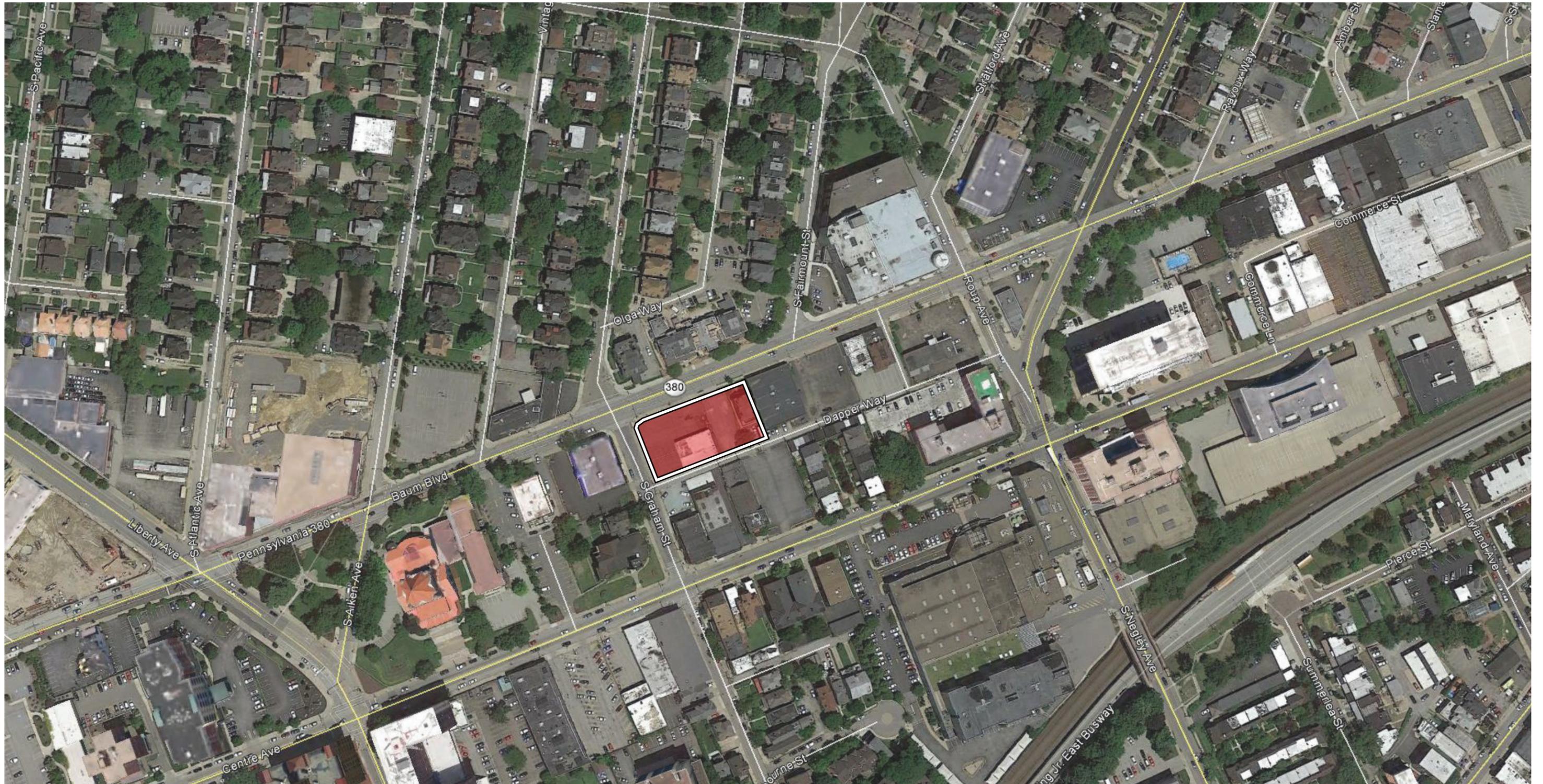
1. Site Context
2. Site Zoning Distance Map
3. Site Photo (Baum)
4. Site Photo (Baum & S Graham)
5. Site Photo (Baum & S Graham) with Proposed Building
6. Site Photo (S Graham & Dapper)
7. Site Photo (S Graham & Dapper) with Proposed Building
8. Solar Study (Summer Solstice)
9. Solar Study (Winter Solstice)
10. Alt. Solar Study (Winter Solstice)
11. Subcellar Floor Plan
12. Cellar Floor Plan
13. Ground Floor Plan
14. 3rd Floor Plan
15. 7th Floor Plan
16. Roof Plan
17. Environmental Sections
18. Baum Elevation
19. South Graham Elevation
20. Dapper Elevation
21. East Elevation
22. NW Aerial Perspective
23. Baum Elevational Perspective
24. Residential Lobby View
25. NW Aerial Perspective
26. West Elevational Perspective
27. Dapper Elevational Perspective
28. East Elevational Perspective
29. Roof Overhead View
30. NE Street View
31. SW Aerial View
32. Stormwater Management Report & Plans
39. Parking Analysis & Plans

DESCRIPTION OF PROJECT AND DESIGN CONCEPTS

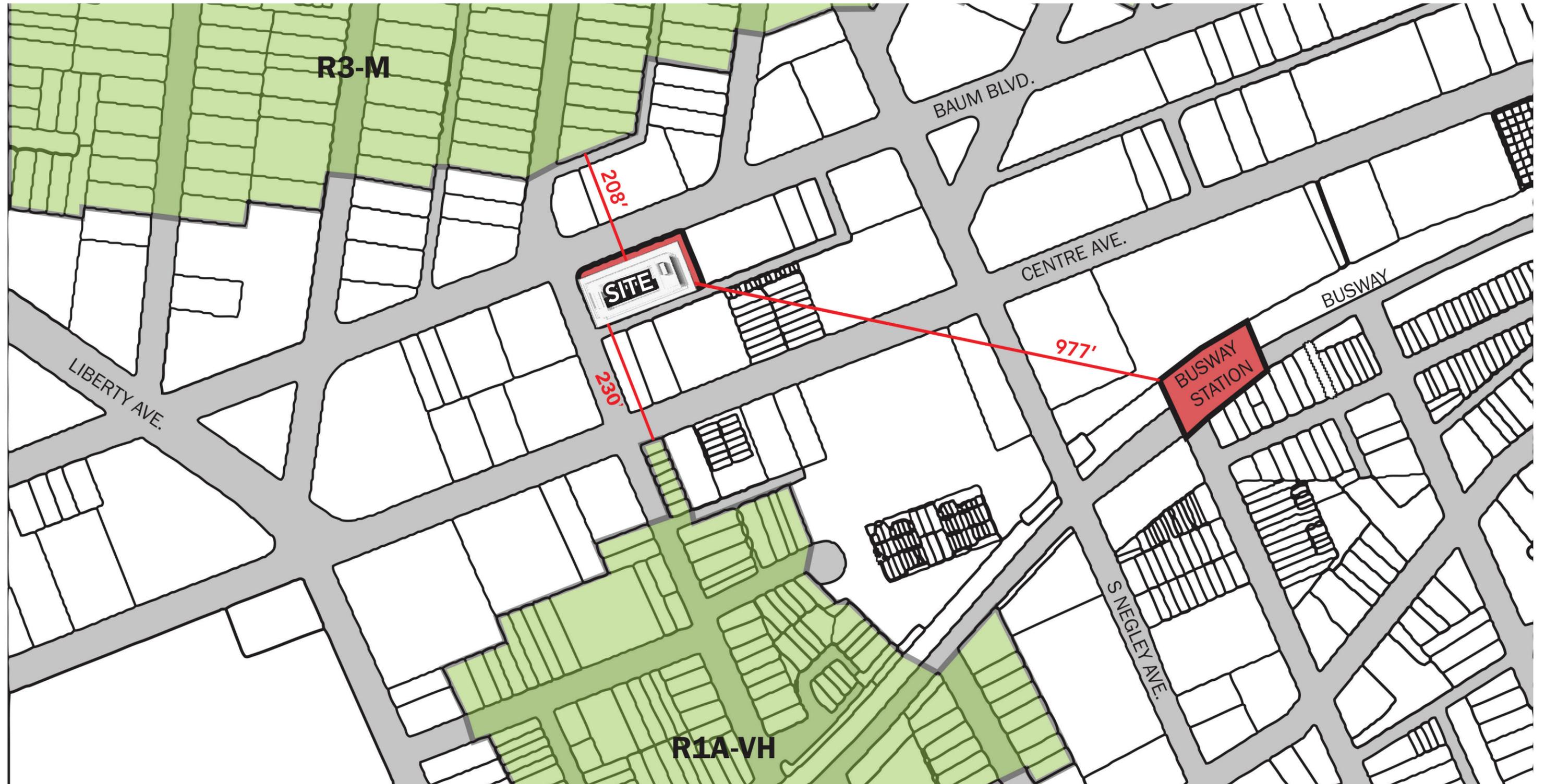
The proposed development at 5500 Baum Boulevard envisions a vibrant residential community that enlivens its local surroundings and enhances the character of Shadyside Neighborhood. Extending the language of the local context, the building is conceptualized as an articulated brick facade situated atop a glazed retail/entry level. The primary design element is the "Urban Window", an opening within the Baum Boulevard and Dapper Way façades that presents a striking visual feature for onlookers. Passersby will be able to see through the building or view the building's interior courtyard, which may feature installations by local artists on its South wall. Landscaped terraces located within each opening add touches of greenery to the facade. The Urban Window serves to articulate the building's massing and moderate the long facades along Baum Boulevard and Dapper Way. On the ground, the inset retail frontage and thoughtful landscape/hardscape design along Baum Boulevard and South Graham Street promote an inviting pedestrian streetscape. Parking has been integrated into the project, both at street level and below-grade. Access to parking is located along Dapper Way, away from primarily pedestrian circulation. A landscaped side yard also allows visual access through the site and emphasizes the residential feel of the development.



SITE CONTEXT



SITE ZONING DISTANCE MAP



SITE PHOTO (BAUM)



SITE PHOTO (BAUM & S GRAHAM)



SITE PHOTO (BAUM & S GRAHAM) W/ PROPOSED BUILDING



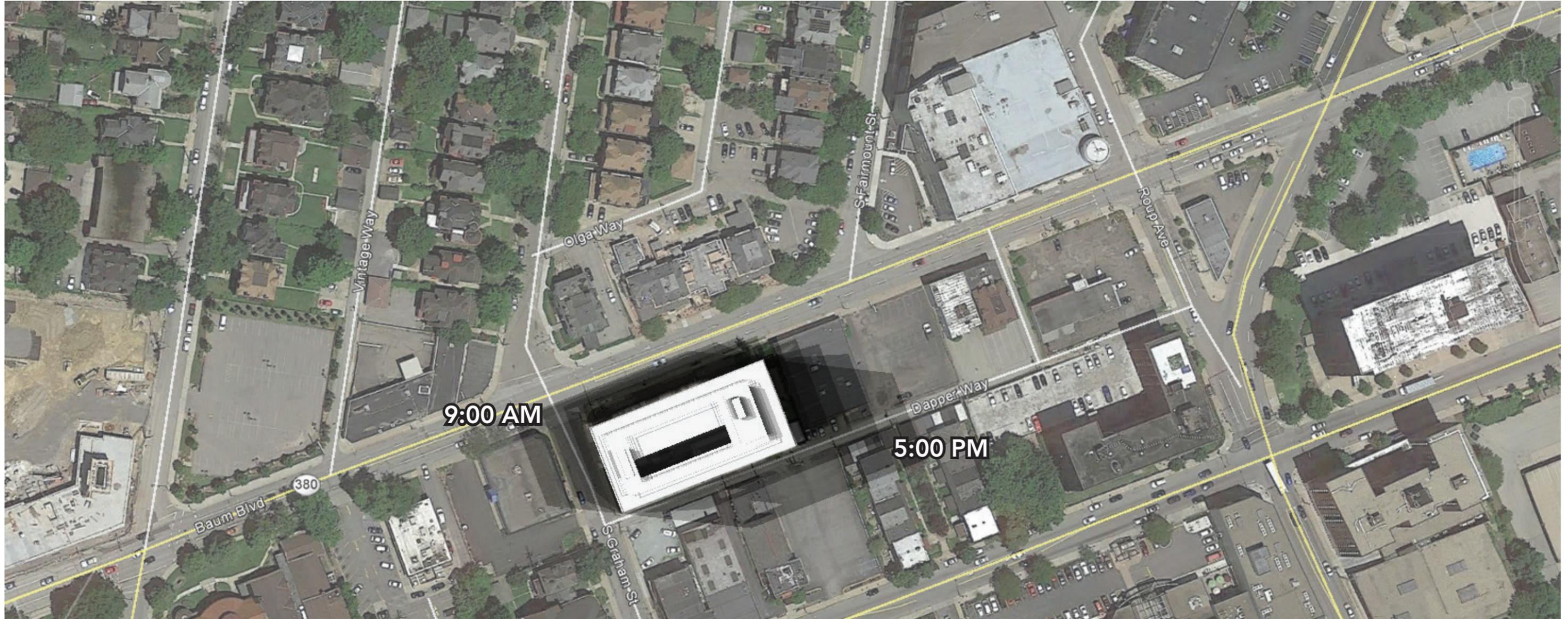
SITE PHOTO (S GRAHAM & DAPPER)



SITE PHOTO (S GRAHAM & DAPPER) W/ PROPOSED BUILDING



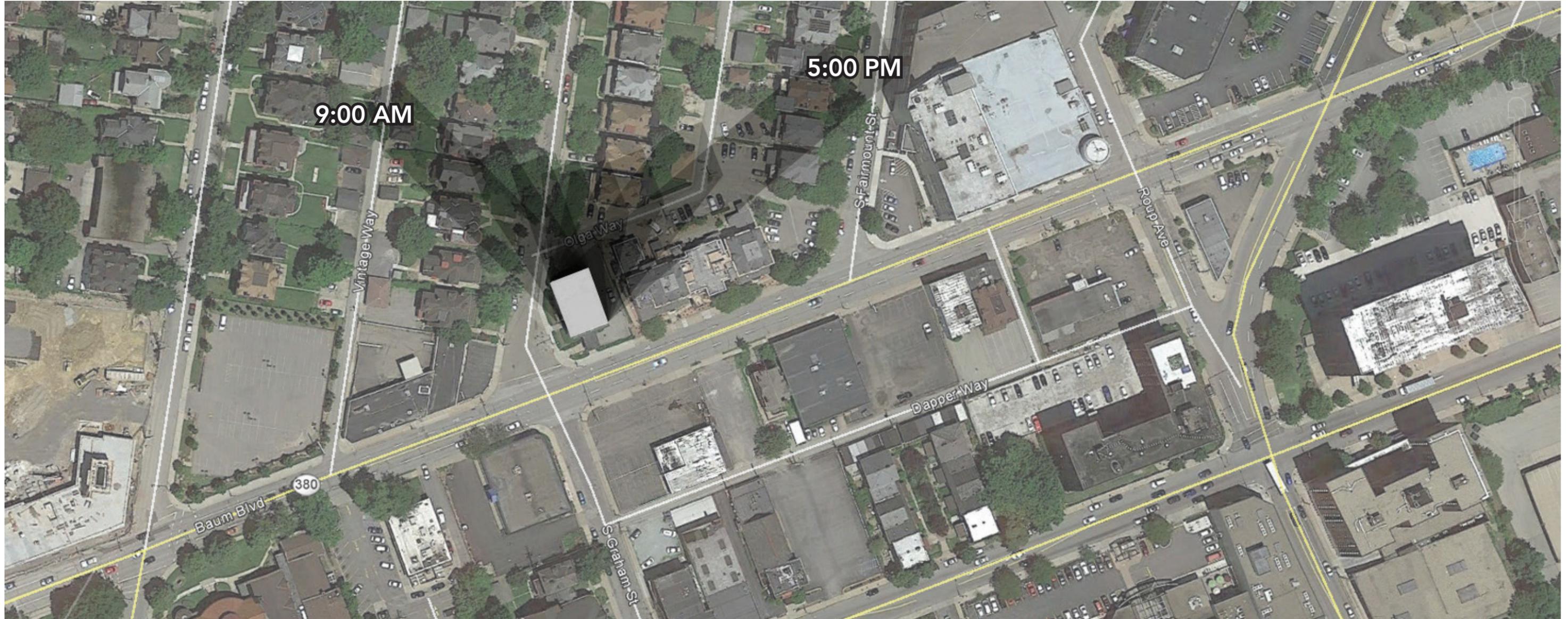
SOLAR STUDY (SUMMER SOLSTICE)



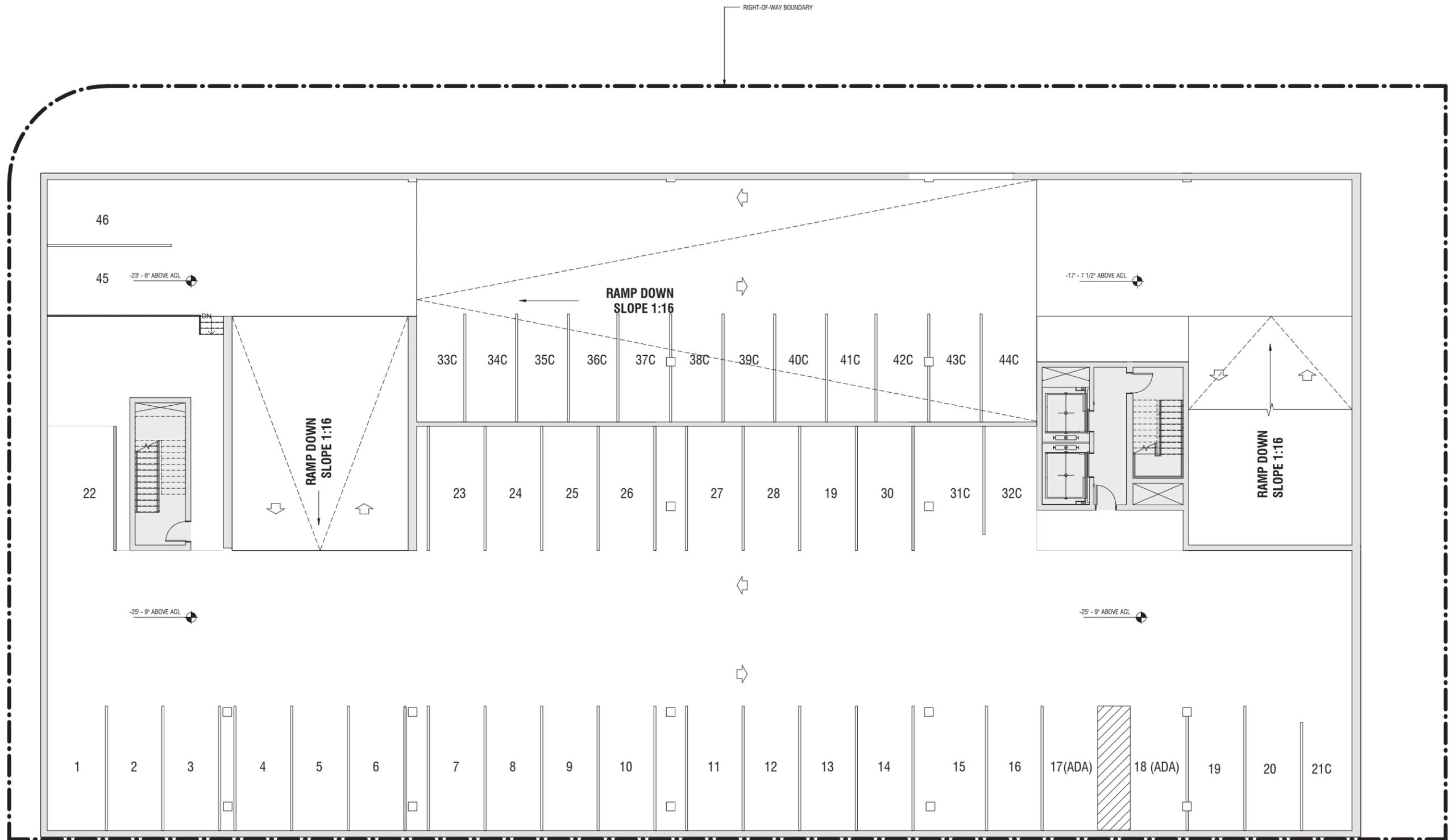
SOLAR STUDY (WINTER SOLSTICE)



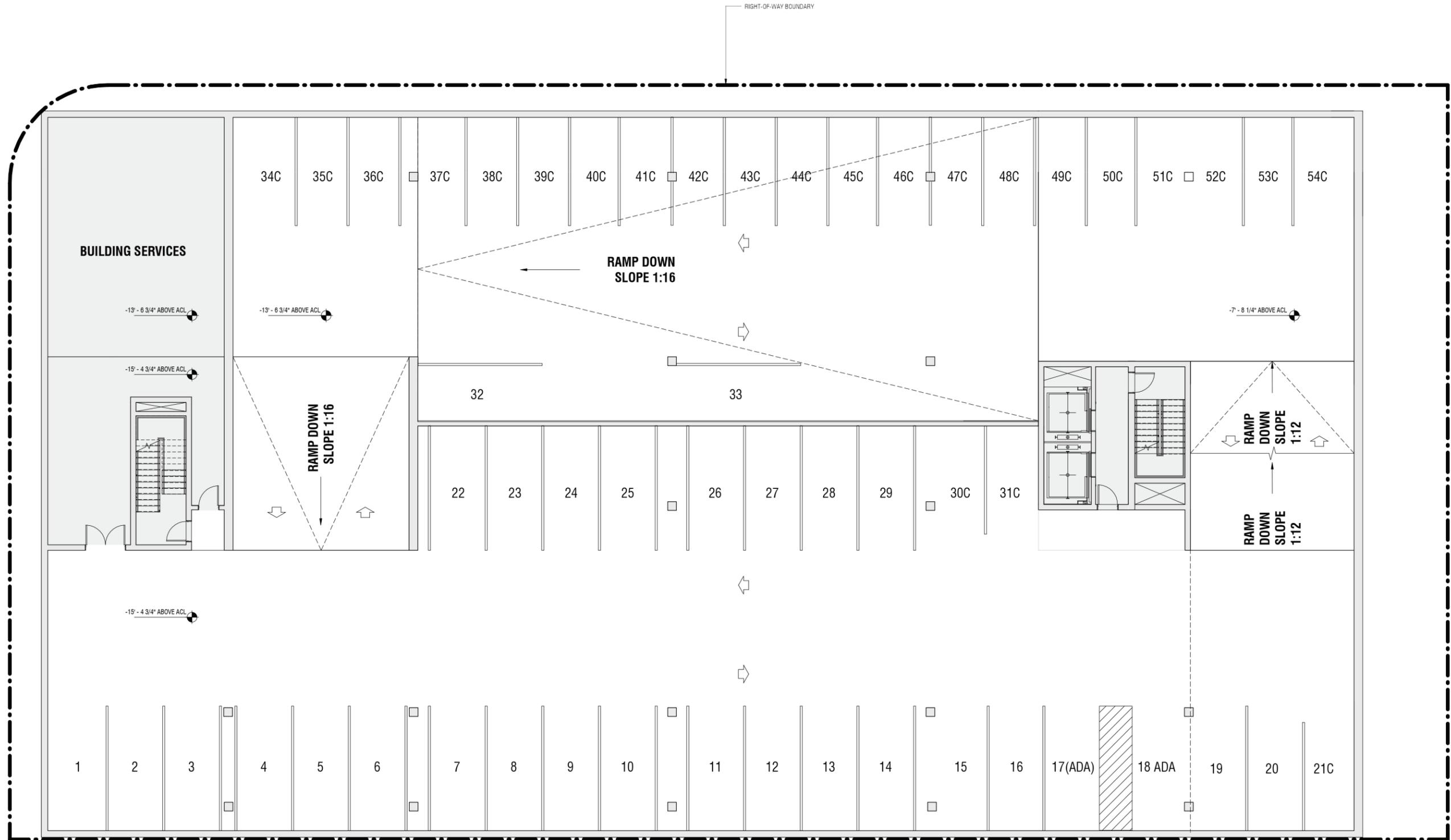
ALTERNATE SOLAR STUDY (WINTER SOLSTICE)



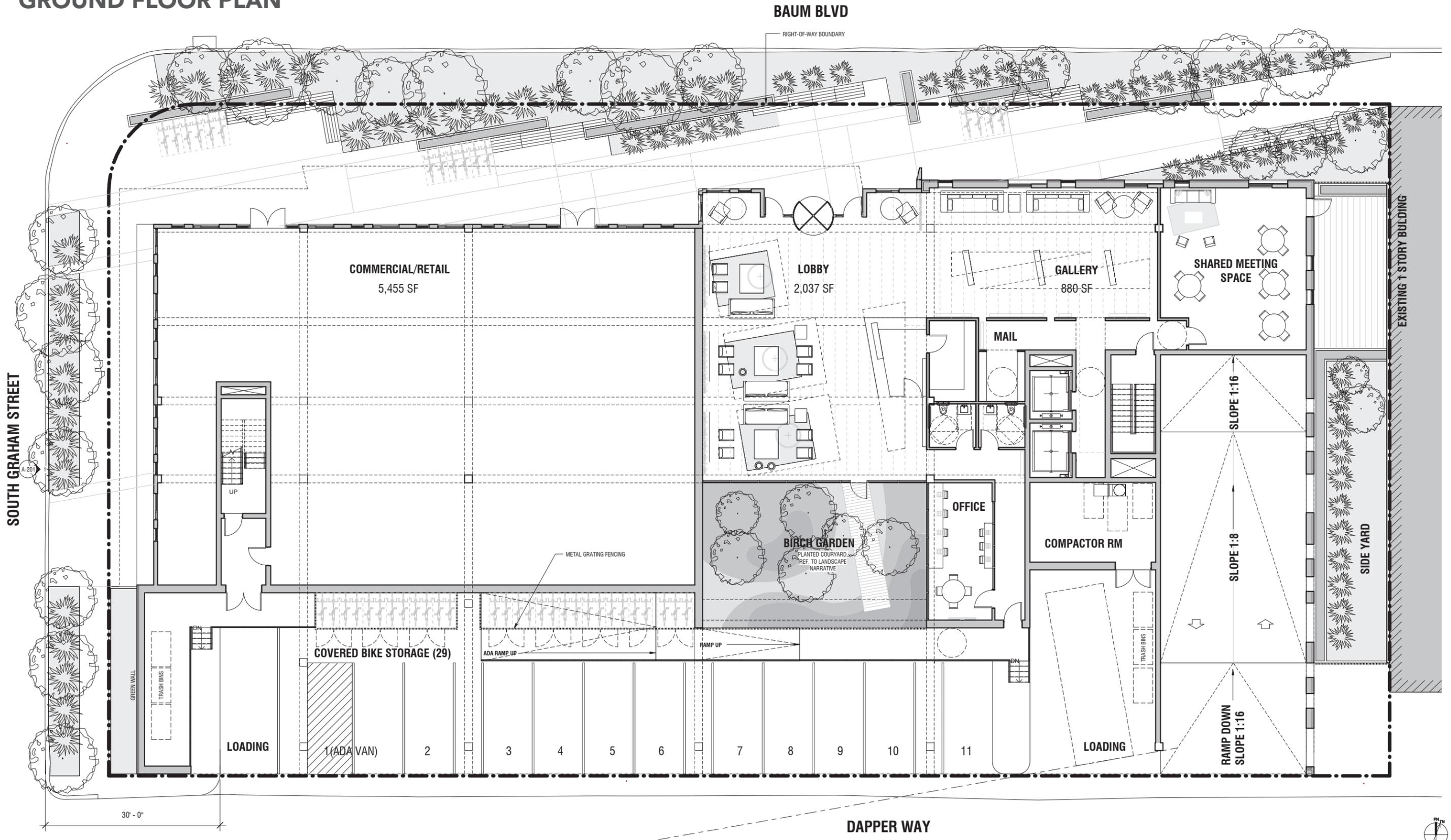
SUB-CELLAR FLOOR PLAN



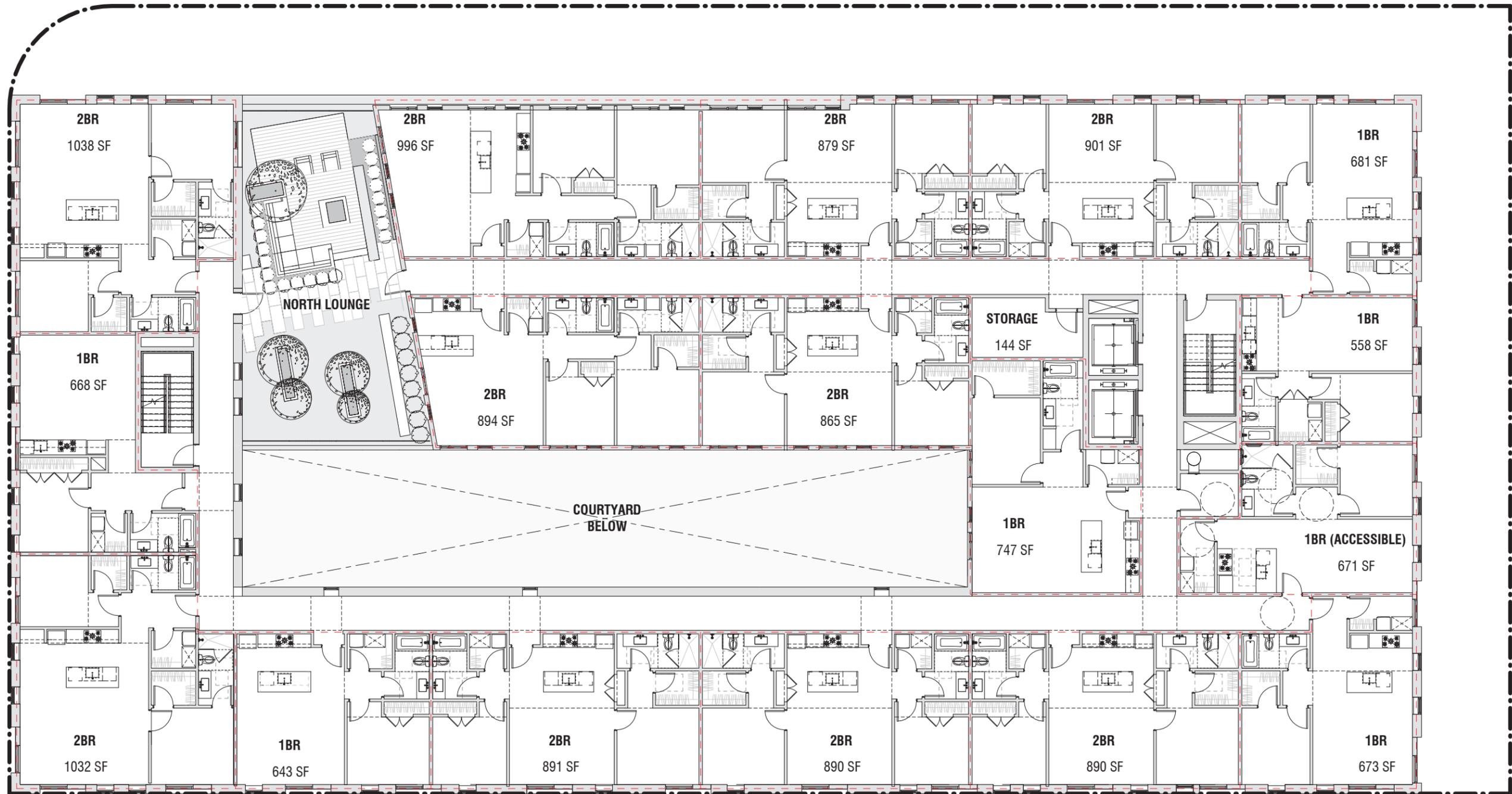
CELLAR FLOOR PLAN



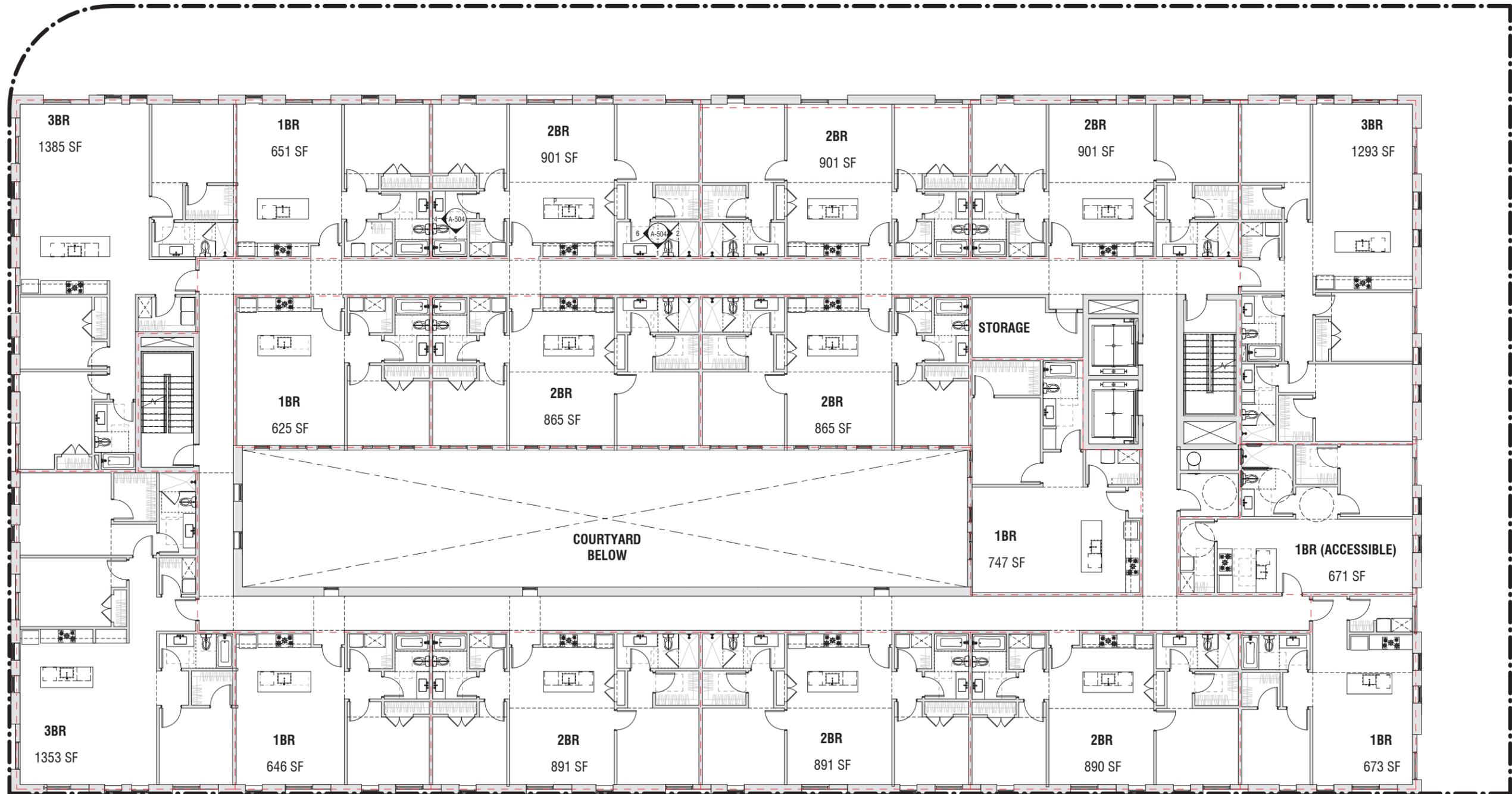
GROUND FLOOR PLAN



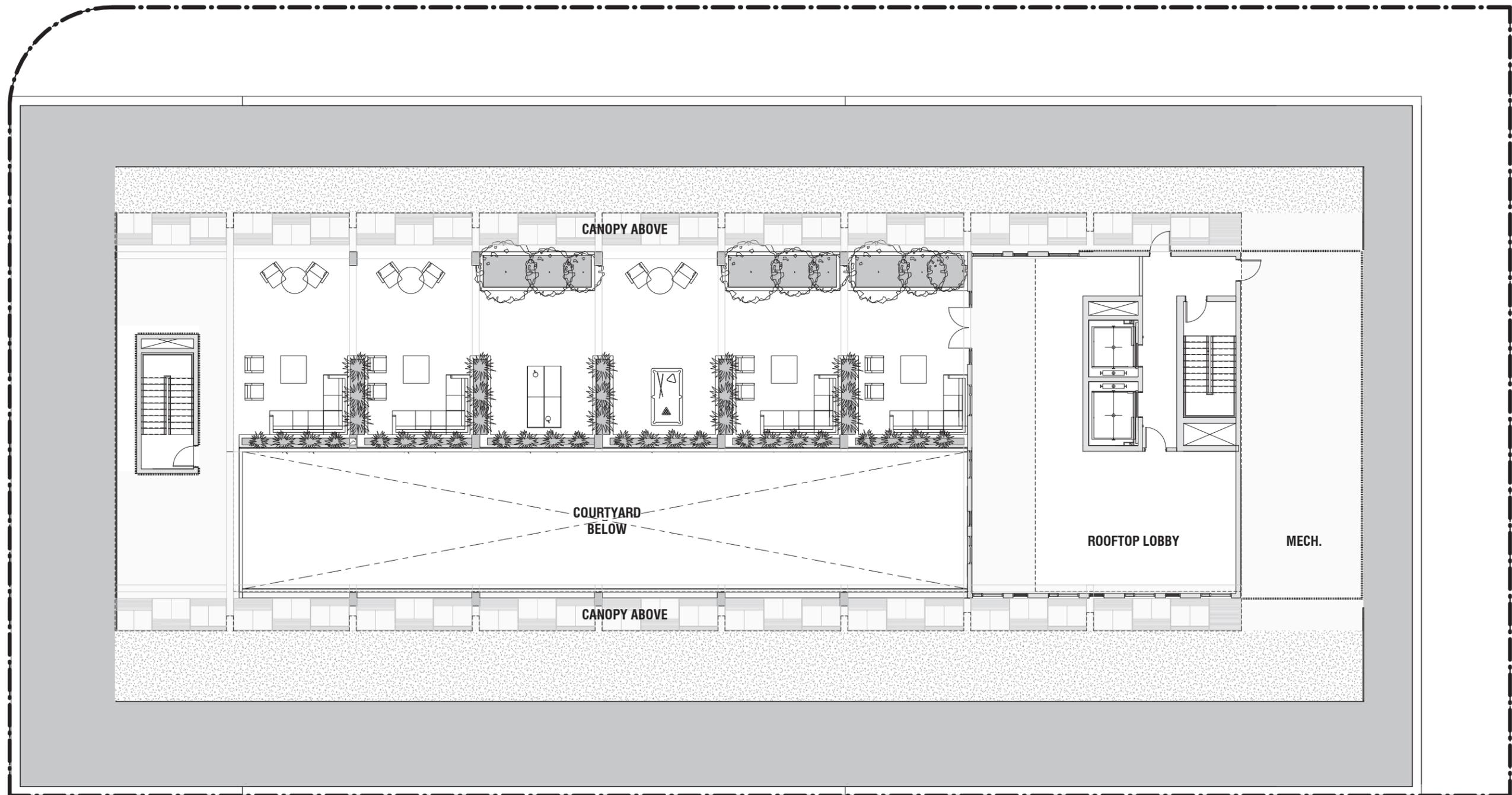
3RD FLOOR PLAN



7TH FLOOR PLAN

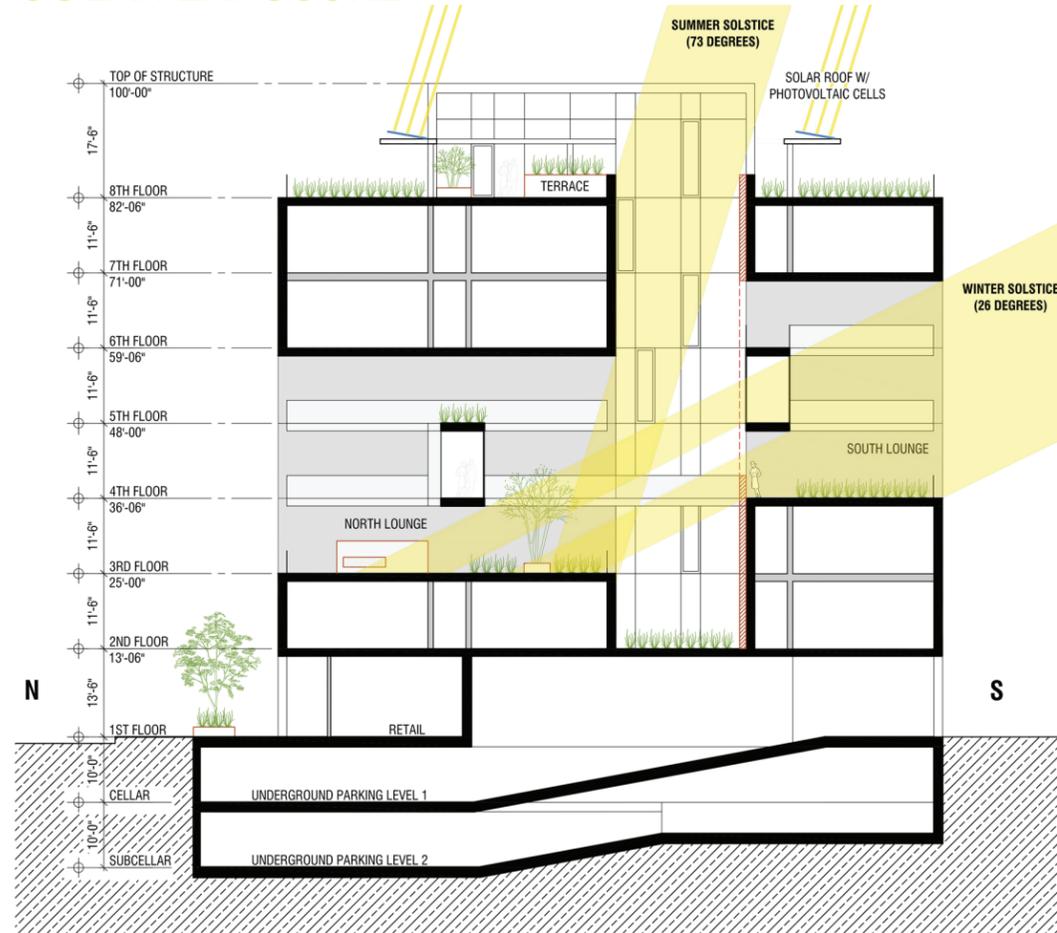


ROOF PLAN

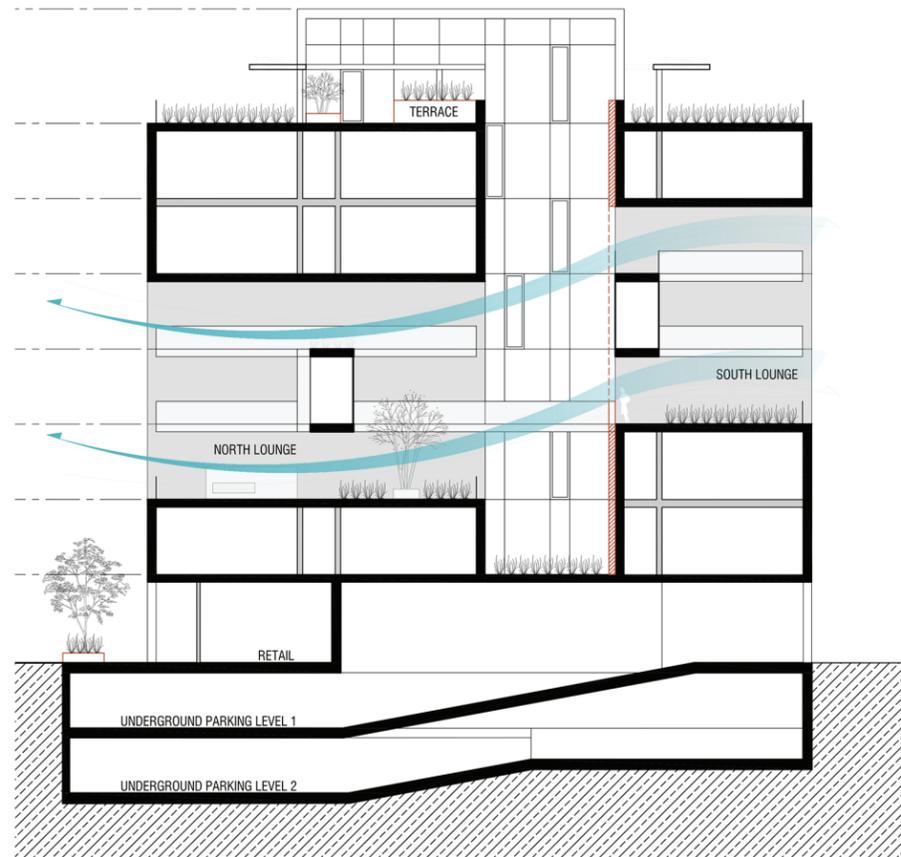


ENVIRONMENTAL SECTIONS

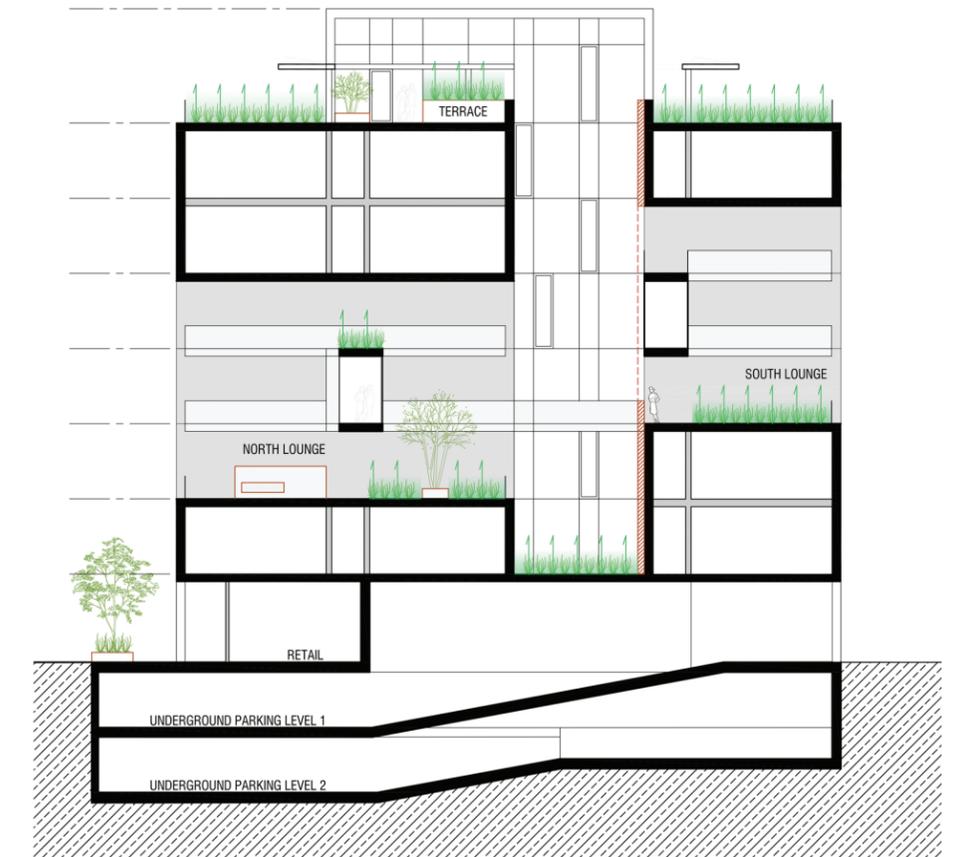
SOLAR EXPOSURE



CROSS VENTILATION



EVAPORATIVE COOLING



BAUM ELEVATION



S GRAHAM ELEVATION



DAPPER ELEVATION



DAPPER WAY

EAST ELEVATION



POWDER-COATED
ALUMINUM SLAT
MECHANICAL SCREEN

BRICK FACADE

POWDER-COATED
ALUM WINDOWS

POWDER-COATED
METAL PANEL

NW AERIAL PERSPECTIVE

POWDER-COATED ALUMINUM
SLAT MECHANICAL SCREEN
EXTENDS TO HEIGHT OF
ELEVATOR BULKHEAD

PATTERNED PV PANELS
ON POWDER-COATED
ALUMINUM TRELLIS

ALUMINUM TRELLIS
EXTENDS FROM STAIR &
ELEVATOR BULKHEAD

GREEN ROOF



BAUM BOULEVARD

S GRAHAM STREET

BAUM ELEVATIONAL PERSPECTIVE



RESIDENTIAL LOBBY VIEW



NW AERIAL PERSPECTIVE



WEST ELEVATIONAL PERSPECTIVE



DAPPER ELEVATIONAL PERSPECTIVE



EAST ELEVATIONAL PERSPECTIVE



ROOF OVERHEAD VIEW



NE STREET VIEW



SW AERIAL VIEW

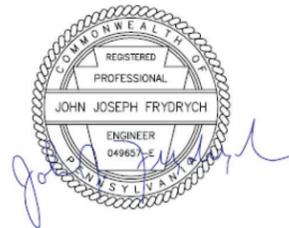


STORMWATER MANAGEMENT REPORT



Preliminary Post-Construction Stormwater Management Requirements

Vitmore
5500 Baum Boulevard
City of Pittsburgh
Allegheny County, Pennsylvania



Project No. 3140351

March 3, 2015



39 W 38TH STREET 7TH FL
NEW YORK, NY 10018

T 212 273 9712 F 212 273 9713
WORKSHOPAPD.COM E INFO@WORKSHOPAPD.COM



PRELIMINARY POST-CONSTRUCTION STORMWATER MANAGEMENT REQUIREMENTS for 5500 BAUM BOULEVARD CITY OF PITTSBURGH ALLEGHENY COUNTY, PENNSYLVANIA

I. PROJECT NARRATIVE

Applicant: Vitmore, L.P.
P.O. Box 9009
Pittsburgh, PA 15224

Consultant: R.A. Smith National, Inc.
300 Corbet Street, Suite 200B
Tarentum, PA 15084

Project: Apartment Residential Development
5500 Baum Boulevard
Pittsburgh, PA 15232

CITY OF PITTSBURGH STORMWATER MANAGEMENT REQUIREMENTS

INTRODUCTION:

R.A. Smith National, Inc. presents this conceptual stormwater management project narrative for the proposed 7-story residential apartment complex located on the south side of Baum Boulevard at 5500 Baum Boulevard, in the City of Pittsburgh, PA. The apartment complex will house an estimated 100 units. In addition, approximately 10,000 sq.ft. of retail space is being proposed. The site is bounded by South Graham Street and Dapper Way. There will be less than 0.70 acres of disturbance at the project site. The development includes two (2) levels of parking facilities that will be below grade. Approximately thirteen (13) additional parking spaces are being proposed at grade adjacent to the residential complex. An NPDES permit package is not required and will not be prepared as a part of this development design, as the disturbed acreage of the site will be less than an acre.

Preliminary PCSM Requirements

- 1 -



There will be an overall improvement in site layout and design. Enhancements are being proposed to the existing streetscape and eastern side yard. Additional trees and perimeter landscaping will be provided to improve upon the site's present existing condition.

The project design will seek to achieve the minimum level necessary to achieve LEED Gold Certification (2009 Edition) from the Green Building Certification Institute. To accomplish these necessary green building infrastructure standards, the project will incorporate biophilic design components such as a partial green roof, exposed building areas for energy efficiency, and a garden open space central to the site.

RATE OF RUNOFF CONTROL:

For areas not covered by a Release Rate Map from an approved Act 167 Stormwater Management Plan, and for all non-publicly funded projects within the City of Pittsburgh, post-development discharge rates shall not exceed the predevelopment discharge rates for the two (2), five (5), ten (10), twenty-five (25), fifty (50), and one-hundred (100) year storms, as listed in the City's ordinance under Chapters 906 and 1003, respectively. As this project is not within the adjoining Monongahela Watershed, no subarea release rate map will apply for this development. Therefore, post-development rates must be less than or equal to pre-development rates.

The existing site cover consists of asphalt (0.52 ac.), gravel (0.13 ac.), and negligible grass cover (0.03 ac.). All existing pervious non-forested areas must be considered meadow in good condition. The existing gravel must also be considered pervious according to the city's current ordinance. A geotechnical infiltration report must be provided to support an alternative, impervious assumption. In addition, 20% of existing impervious area, when present, must be considered meadow when modeled. Therefore, the existing site cover will consist of 0.52 acres of impervious areas and 0.16 acres of pervious areas. The proposed site cover will be modified and will consist of approximately 0.44 acres of impervious areas and 0.24 acres of grassy, open space areas that will include pervious improvements to the streetscape, eastern side yard and portions of the interior of the site.

Preliminary PCSM Requirements

- 2 -

VITMORE

5500 BAUM BLVD



MARCH 24, 2015

STORMWATER MANAGEMENT REPORT (cont.)



Because the City of Pittsburgh's stormwater ordinance requires that existing pervious areas be considered meadow in good condition, there will be a stormwater runoff rate increase in post-development if no low-impact development BMPs are proposed. The city lists recommendations concerning BMPs for rate control, such as soil amendments, bioswales, rain gardens, dry ponds, infiltration trenches with pervious piping, green roofs, and pervious pavers. A combination of some of these practices will be required for this project. Effective BMPs for rate control currently proposed for this project will be a combination of some or all of the following: soil amendments, bioswales with check dams, a possible underground perforated pipe with a pervious stone envelope, pockets of above-ground storage, and a partial green roof over the apartment complex.

STORMWATER RUNOFF WATER QUALITY VOLUME:

According to the City of Pittsburgh's stormwater requirements, any development disturbing 10,000 sq.ft. or more, or creating 5,000 sq.ft. or more of impervious surfaces must implement water quality controls. This project will create approximately 0.58 acres of impervious cover (~25,265 sq.ft.). Therefore, water quality control BMPs will be necessary. According to Chapter 1003.04 of the city's code, a designer can choose between two methods for calculating the water quality volume that must be treated and infiltrated. The Simplified Method is independent of site conditions and is the easiest to quantify. A preliminary analysis using this first method shows an ~2,200 cu.ft. volume that must be treated. The Design Storm Method requires detailed modeling of site conditions. A preliminary analysis using this second method shows an ~1,200 cu.ft. volume that must be treated. It is this second, more detailed method that will be utilized for this project, so as to more accurately account for the true volume that must be treated.

STORMWATER MANAGEMENT FACILITIES:

Preliminary discussions and email correspondences with the City's Senior Environmental Planner, Joshua Lippert, revealed that a pretreatment stormceptor may be required for this project in order to be in full compliance with the city's ordinance. The proposed stormceptor would be located adjacent to Dapper Way. The majority of the site's area would drain and feed



into this stormceptor if it is deemed necessary to complete the project. The BMPs already proposed for rate control will be designed to jointly treat the necessary water quality volume. As outlined in the introduction, all or a combination of the following BMPs will be necessary:

- Soil amendments
- Swales/bioswales
- Underground perforated pipe with a pervious stone envelope
- Above-ground pervious storage
- Proposed partial green roof

FUTURE MAINTENANCE PROGRAM

To provide for effective management of the proposed BMPs, a long-term operations and maintenance program must be implemented on the site once the site is stabilized with 70% vegetative cover. The following BMPs, if utilized, must be indefinitely maintained with its corresponding maintenance program:

- 1.) Soil amendments: The soil restoration process may need to be repeated over time, due to compaction by use and/or settling. For example, foot traffic areas will become compacted over time.
- 2.) Bioswales/vegetated channels: Compared to other stormwater management measures, the required upkeep of vegetated swales is minimal. Inspect swales immediately after spring melt and after major runoff events. Replace damaged vegetation without disturbing remaining vegetation. Adhere to the specified geometry of the swale at all time. Adjust to design configuration, if necessary. Maintain specified check dams with swale.
- 3.) Underground detention/infiltration: Any detention/infiltration facilities should be inspected and tested a minimum of four times per year and after major storms (greater than 2 inches in 24 hours) or rapid ice buildup. Any sediment or trash that accumulates in the facility should be cleared per the manufacturer's instructions.
- 4.) Above-ground storage: Ponding areas should be periodically inspected for sediment buildup. Any sediment or trash that accumulates in storage facilities should be cleared by

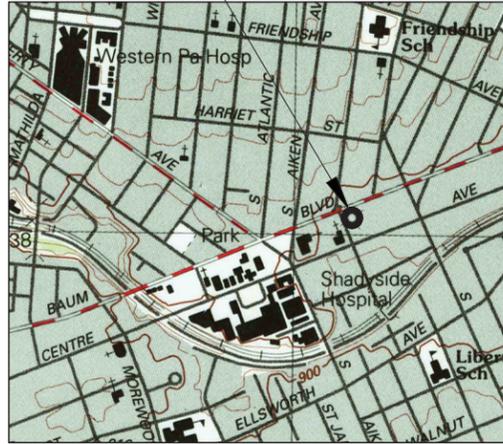


way of flushing (such debris may include aggregate material, leaves, grass, clippings, and soil material).

- 5.) Inlets and outlet structures: Inlets and outlet structures should be maintained as not to allow sediment or debris to prevent the flow of water into them or through the piping system. Any obstructions to the outlet pipes should be removed immediately.
- 6.) Street sweeping: Street sweeping should occur weekly or when pollutant loads are anticipated to be higher, such as after heavy vehicle use. Restricted parking when sweeping to improve pollutant removal. Street sweeping is therefore best in the early morning hours before heavy traffic.
- 7.) Green roofs: maintenance activities for green roofs vary according to installation and manufacturer recommendations. Minimum inspection schedules should be conducted once or twice a year to remove debris and maintain vegetative growth.

STORMWATER MANAGEMENT PLANS

PROJECT LOCATION



VICINITY MAP
SCALE: N.T.S.

VITMORE

5500 BAUM BOULEVARD

CITY OF PITTSBURGH

ALLEGHENY COUNTY, PA

ENGINEER:
R.A. SMITH NATIONAL, INC.

CONTACT:
JOHN J. FRYDRYCH, P.E.
300 CORBET STREET, SUITE 200 B
TARENTUM, PA 15084
PH: (724) 224-2330
FAX: (724) 224-5254

SURVEYOR:
R.A. SMITH NATIONAL, INC.

CONTACT:
PETE BROTHERS, P.L.S.
300 CORBET STREET, SUITE 200 B
TARENTUM, PA 15084
PH: (724) 224-2330
FAX: (724) 224-5254

ARCHITECT:
MOSHIER STUDIO

CONTACT:
MR. GARY P. MOSHIER, AIA, LEED AP PARTNER
3441 BUTLER STREET, SUITE 102
PITTSBURGH, PA 15201
PH: 412-361-5302x202

ARCHITECT:
TERRENCE SEAH

CONTACT:
39 WEST 38TH STREET
NEW YORK, NY 10018
PH: 212-273-9712

COMMUNITY:
CITY OF PITTSBURGH,
ALLEGHENY COUNTY, PA

R.A. SMITH NATIONAL, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH NATIONAL, INC.

OWNER:
VITMORE LP

CONTACT:
GEORGE
P.O. BOX 9009
PITTSBURGH, PA 15224
PH: 412-760-6671

RECEIVING WATERS:
SITE DRAINS TO AN UNNAMED TRIBUTARY TO ALLEGHENY RIVER, CHAPTER 93 DESIGNATED USE OF WARM WATER FISHES (WWF). IN ADDITION, THE ENTIRE SITE IS CONTAINED WITHIN THE LOWER ALLEGHENY RIVER WATERSHED

LEGEND (PROPOSED FEATURES)

- 869.5 --- PROPOSED 0.5-FOOT GRADE CONTOUR (ONLY USED WHEN CRITICAL)
- 869 --- PROPOSED 1-FOOT GRADE CONTOUR
- 870 --- PROPOSED 5-FOOT GRADE CONTOUR
- LIMIT OF DISTURBANCE
- Us HYDROLOGIC SOIL GROUP
- [Symbol] IMPERVIOUS COVER
- [Symbol] GRAVEL COVER
- [Symbol] PERVIOUS COVER
- [Symbol] PROPOSED SOIL AMENDMENTS
- TIME OF CONCENTRATION
- [Symbol] WATERSHED
- [Symbol] POINT OF INTEREST
- PROPOSED STORM ROOF COLLECTION
- ST PROPOSED STORM SEWER
- [Symbol] PROPOSED TYPE C INLET
- [Symbol] PROPOSED TYPE M INLET
- [Symbol] PROPOSED STORM MANHOLE
- [Symbol] PROPOSED AREA DRAIN
- [Symbol] PROPOSED DETAIL NUMBER
- [Symbol] PROPOSED SHEET NUMBER
- PROPOSED PROPERTY LINE

LEGEND (EXISTING FEATURES)

- () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT
- OR 1/4 SECTION OR 1/4 SECTION CORNER AS DESCRIBED
- 1" DIA. IRON PIPE FOUND (UNLESS OTHERWISE NOTED)
- 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED)
- [Symbol] BOLLARD
- [Symbol] SOIL BORING/MONITORING WELL
- [Symbol] FLAGPOLE
- [Symbol] MAILBOX
- [Symbol] SIGN
- [Symbol] BILLBOARD
- [Symbol] AIR CONDITIONER
- [Symbol] CONTROL BOX
- [Symbol] TRAFFIC SIGNAL
- [Symbol] RAILROAD CROSSING SIGNAL
- [Symbol] CABLE PEDESTAL
- [Symbol] POWER POLE
- [Symbol] GUY POLE
- [Symbol] GUY WIRE
- [Symbol] LIGHT POLE
- [Symbol] SPOT FARM/PEDESTAL LIGHT
- [Symbol] HANDICAPPED PARKING
- [Symbol] ELECTRIC MANHOLE
- [Symbol] ELECTRIC PEDESTAL
- [Symbol] ELECTRIC METER
- [Symbol] ELECTRIC TRANSFORMER
- [Symbol] TELEPHONE MANHOLE
- [Symbol] TELEPHONE PEDESTAL
- [Symbol] MARKED FIBER OPTIC
- [Symbol] GAS VALVE
- [Symbol] GAS METER
- [Symbol] GAS WARNING SIGN
- [Symbol] STORM MANHOLE
- [Symbol] ROUND INLET
- [Symbol] SQUARE INLET
- [Symbol] STORM SEWER END SECTION
- [Symbol] SANITARY MANHOLE
- [Symbol] SANITARY CLEANOUT OR SEPTIC VENT
- [Symbol] SANITARY INTERCEPTOR MANHOLE
- [Symbol] MISCELLANEOUS MANHOLE
- [Symbol] WATER VALVE
- [Symbol] HYDRANT
- [Symbol] WATER SERVICE CURB STOP
- [Symbol] WATER MANHOLE
- [Symbol] WELL
- [Symbol] WATER SURFACE
- [Symbol] WETLANDS FLAG
- [Symbol] MARSH
- [Symbol] CONIFEROUS TREE
- [Symbol] DECIDUOUS TREE
- [Symbol] SHRUB
- [Symbol] EDGE OF TREES
- [Symbol] SANITARY SEWER
- [Symbol] STORM SEWER
- [Symbol] WATERMAIN
- [Symbol] MARKED GAS MAIN
- [Symbol] MARKED ELECTRIC
- [Symbol] OVERHEAD WIRES
- [Symbol] BUREAU ELEC. SERV.
- [Symbol] MARKED TELEPHONE
- [Symbol] MARKED CABLE TV LINE
- [Symbol] MARKED FIBER OPTIC
- INDICATES EXISTING CONTOUR ELEVATION
- [Symbol] INDICATES EXISTING SPOT ELEVATION
- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- [Symbol] EXISTING WETLAND

PLAN	INDEX
SHEET NO.	DESCRIPTION
PCSM000	TITLE SHEET
PCSM100	EXISTING CONDITIONS PLAN
PCSM101	EXISTING HYDROLOGY PLAN
PCSM200	PRELIMINARY PCSM PLAN ASSESSMENT
PCSM300	SITE PLAN

PRELIMINARY POST-CONSTRUCTION STORMWATER MANAGEMENT ASSESSMENT



<p>R.A. Smith National Beyond Surveying and Engineering www.rasmiternational.com</p>	<p>VITMORE 5500 BAUM BOULEVARD CITY OF PITTSBURGH, ALLEGHENY CO., PA</p>
<p>VITMORE 5500 BAUM BOULEVARD CITY OF PITTSBURGH, ALLEGHENY CO., PA</p>	<p>TITLE SHEET</p>
<p>© COPYRIGHT 2015 R.A. Smith National, Inc. DATE: 03/03/2015 SCALE: NONE JOB NO. 3140351 PROJECT MANAGER: JOHN J. FRYDRYCH, P.E. DESIGNED BY: JJS CHECKED BY: JWF</p>	
<p>SHEET NUMBER PCSM000</p>	

PARKING ANALYSIS REPORT

Twin Towers, Suite 400, 4955 Steubenville Pike, Pittsburgh, PA 15205 T (412) 490-0630 F (412) 490-0631



March 3, 2015

Mr. Terrence Seah, RA, NCARB
Workshop/apd llc
39 West 38th Street
7th Floor
New York, NY 10018

Subject: Proposed 5500 Baum Boulevard Development
Parking Demand Evaluation
City of Pittsburgh, Allegheny County, Pennsylvania

Dear Mr. Seah:

As requested, Trans Associates (TA) has completed the parking demand evaluation for the proposed 5500 Baum Boulevard development located in the Friendship section of the City of Pittsburgh.

Project Description

The project site is bounded by Baum Boulevard, South Graham Street and Dapper Way with a site access garage driveway to be located on Dapper Way

The proposed development includes a 100 unit residential apartment building with an additional 5,455 SF of first floor commercial retail space. Parking for the development will be provided in an underground two-level 100 space parking garage which is accessed via Dapper Way. Additionally, 11 surface parking spaces will be provided along Dapper Way, for a combined total of 111 parking spaces as shown in Figures 1-3.

Zoning Code Requirements

According to Section 914.02.A of the City of Pittsburgh Zoning Code a minimum of one (1) off-street parking space per multi-unit building residential unit is required. This results in 100 spaces required for the proposed residential use. Additionally, the Zoning Code requires a minimum of one (1) off-street parking space per 500 SF of retail space above the first 2,400 SF. This results in four (4) parking spaces required for the proposed retail use. This calculation was based on 80% of the total gross floor area, as permitted by Section 914.03.C, of the City of Pittsburgh Zoning Code.

The total parking requirement for the proposed 5500 Baum Boulevard Development is 104 parking spaces. Of these 104 spaces, five (5) are required to be reserved for persons with disabilities (ADA spaces). Furthermore, one (1) of the reserved ADA spaces is required to be van accessible.

According to Section 914.05.D of the City of Pittsburgh Zoning Code, the proposed development is also required to provide a total of 33 bicycle parking spaces for the residential units (1 for every 3 units). The Code does not require bicycle parking for the proposed retail use since it is less than 6,000 SF.

Transportation Solutions for Today and Tomorrow
Offices in Pennsylvania and Ohio



Mr. Terrence Seah, RA, NCARB
March 3, 2015
Page 2

With the provision of bicycle parking spaces, the number of off-street automobile parking spaces may be reduced by no more than one space for each bicycle parking space, but no more than 30 percent of the total required spaces, excluding accessible spaces. Therefore, a 29 space reduction for bicycle spaces is permitted for the proposed development. The resultant parking requirement by Code is therefore 75 parking spaces with the bicycle parking reduction applied, with 33 bicycle parking spaces also required as a minimum. Detailed parking requirement calculations are provided in Table 1.

Proposed Parking Inventory

Parking for the development will be provided in an underground 100 space parking garage which is accessed via Dapper Way. Additionally, 11 surface parking spaces will be provided along Dapper Way, for a combined total of 111 parking spaces, which exceeds the Code required 75 parking spaces by 36 spaces. Parking within the garage will be gated, and reserved for residential use only. Of the 11 surface parking spaces, six (6) will be reserved at all times for a neighboring use based on a legal agreement. The remaining five (5) surface parking spaces will be available to the entire development. Of the 111, parking spaces, 39 (35% of total) are designated as compact parking spaces.

In addition, the development will be providing bicycle parking which will accommodate 44 bicycles. A detailed parking inventory summary is provided in Table 2. The parking plans for the development are presented in Figures 1 -3.

Conclusions

With a parking inventory of 111 parking spaces, the proposed 5500 Baum Boulevard development adequately satisfy the parking requirements from the City of Pittsburgh Zoning Code (104 spaces).

This concludes Trans Associates (TA) parking study for the proposed 5500 Baum Boulevard development located in the Friendship section of the City of Pittsburgh. If you have any questions, or require additional information, please contact me.

Yours truly,

Cynthia A. Jampole, P.E.
Principal

CAJ:CAD:cg

cc: File -works00/15044/Parking Demand Evaluation Letter Report 3-2-2015

Transportation Solutions for Today and Tomorrow
Offices in Pennsylvania and Ohio

PARKING ANALYSIS TABLE 1

TABLE 1
PARKING REQUIREMENT BASED ON CITY OF PITTSBURGH ZONING CODE
Proposed 5500 Baum Boulevard Development
City of Pittsburgh, Allegheny County, Pennsylvania

Development Component	Size	Automobile Parking Requirement: City of Pittsburgh Zoning Code ⁽¹⁾			Bicycle Parking Requirement: City of Pittsburgh Zoning Code ⁽¹⁾				Total Number of Automobile Parking Spaces Required with Bicycle Reductions
		Minimum Requirements without Bicycle Reductions			Required Minimum Bicycle Parking ⁽²⁾		Maximum Reduction of Automobile Parking Spaces Due to Implementation of Bicycle Spaces ⁽³⁾		
	rooms	Off-Street Automobile Parking Rate	Required Number of Automobile Spaces	Required Number of Reserved Spaces for Persons with Disabilities ⁽⁴⁾	Bicycle Parking Rate	Required Number of Bicycle Spaces	Maximum Bicycle Parking Reduction Rate	Maximum Reduction	
Apartments	100 units	1 space per unit	100	4	1 space per every 3 dwelling units	33	30% of required number automobile spaces, not including spaces reserved for persons with disabilities	29	71
Retail	5,455 SF	1 space per 500 SF above first 2,400 SF	4	1	0	0	30% of required number automobile spaces, not including spaces reserved for persons with disabilities	0	4
Total	--	--	104	5	--	33	--	29	75

(1) Based on the City of Pittsburgh Urban Zoning Code, Chapter 914: Parking Loading and Access. Parking spaces determined based on results of the parking Demand Study.

(2) Bicycle parking requirements are detailed in Section 914.05D of the City of Pittsburgh Urban Zoning Code.

(3) Section 914.05E of the City of Pittsburgh Urban Zoning Code indicates that the reduction in the number of automobile parking spaces shall be reduced by no more than one (1) space for each Bicycle Parking Space (minimum reduction), but by no more than thirty (30) percent of the total required spaces (maximum reduction), not including spaces reserved for persons with disabilities.

(4) Parking spaces reserved for persons with disabilities shall be counted toward fulfilling overall off-street parking standards. The number of spaces reserved for persons with disabilities is detailed in Section 914.06.A of the City of Pittsburgh Urban Zoning Code. One in every 6 ADA spaces must be van accessible.

Source: Analysis by Trans Associates.

PARKING ANALYSIS TABLE 2

TABLE 2
PROPOSED PARKING SUPPLY
 Proposed 5500 Baum Boulevard Development
 City of Pittsburgh, Allegheny County, Pennsylvania

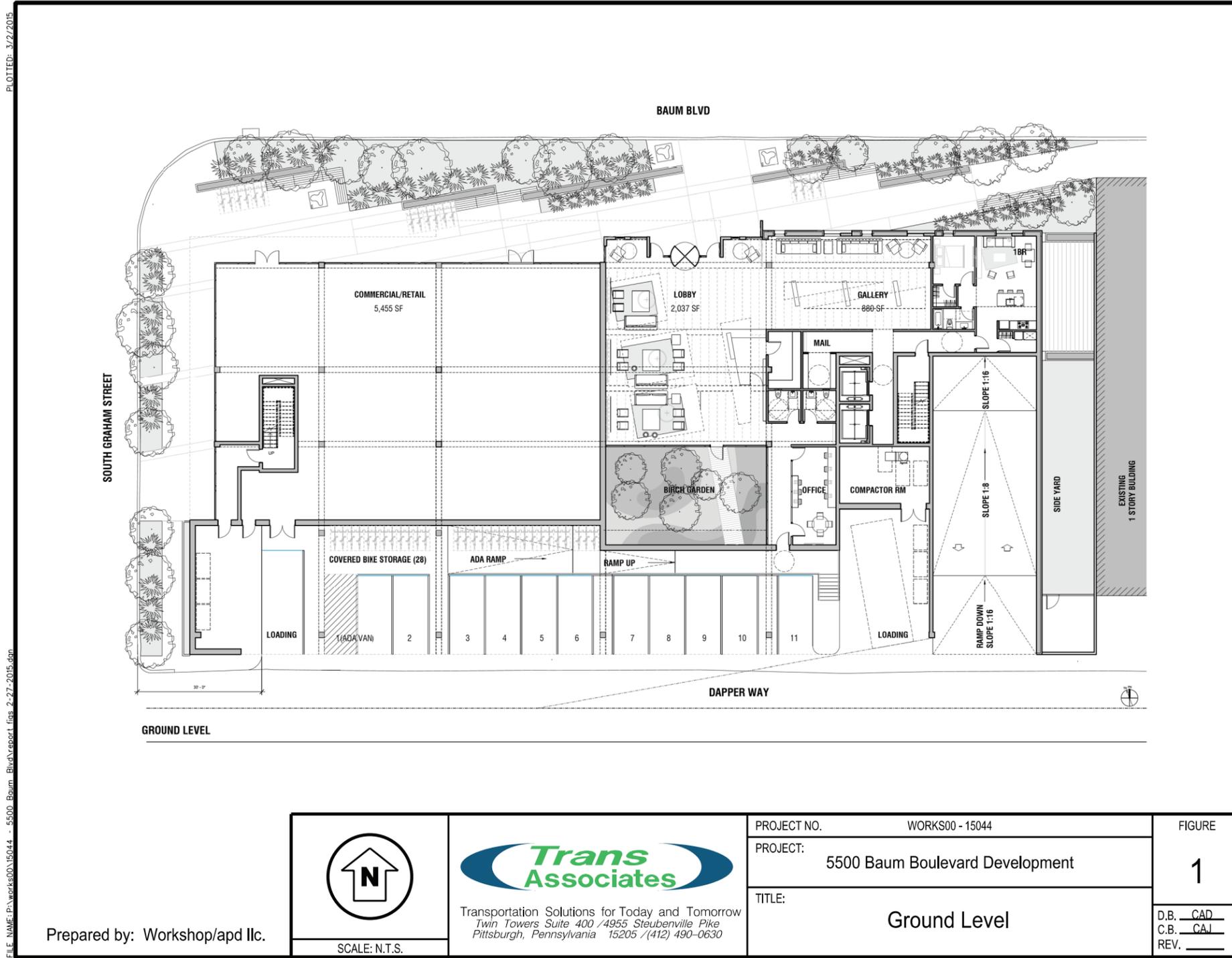
Parking Location	Number of Parking Spaces ⁽¹⁾
Parking Garage	
Cellar Level	
Standard Parking Spaces	28
Compact Parking Spaces	24
ADA Parking Spaces	2
Subtotal, Cellar	54
Sub-Cellar Level	
Standard Parking Spaces	29
Compact Parking Spaces	15
ADA Parking Spaces	2
Subtotal, Sub-Cellar	46
Total, Parking Garage	100
Dapper Way Parking	
Standard Parking Spaces	10
Compact Parking Spaces	0
ADA Parking Spaces ⁽²⁾	1
Subtotal, Dapper Way	11
Total, All Parking	111
Total, Bicycle Parking	44 bicycles

(1) Number of parking spaces provided by Client.

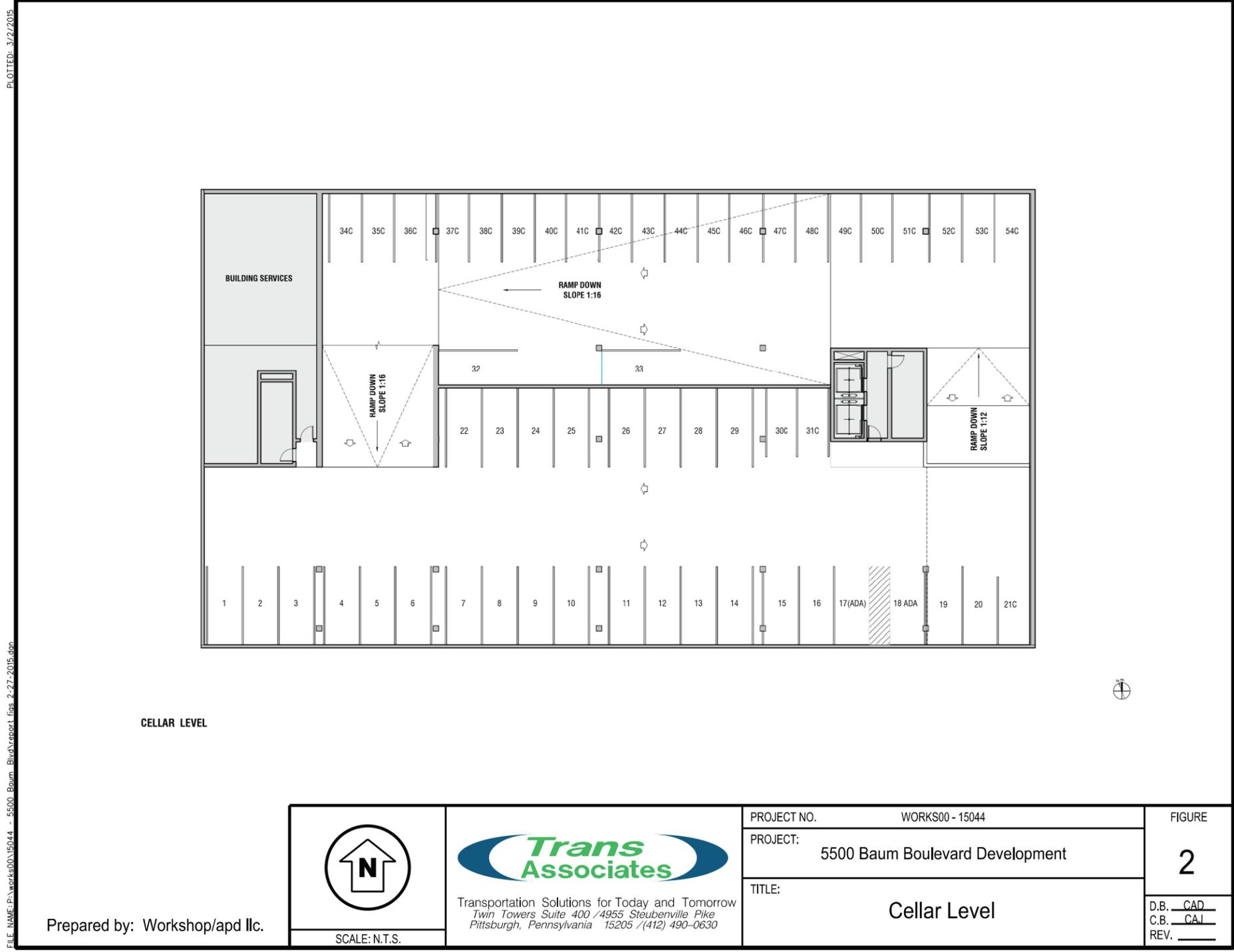
(2) Dapper Way parking includes 1 standard sized ADA parking space which can potentially be designated as ..

Source: Analysis by Trans Associates.

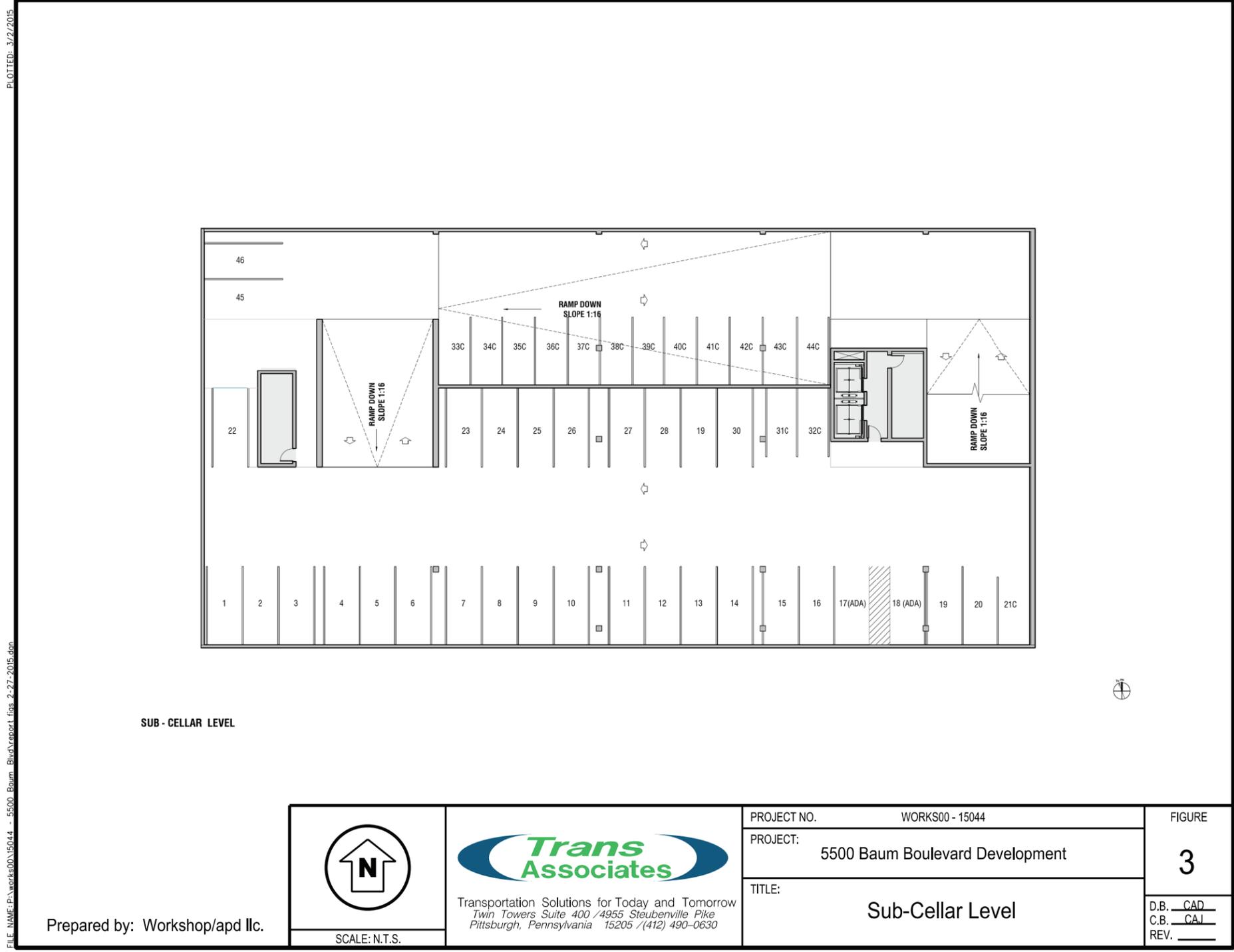
PARKING ANALYSIS PLANS - GROUND LEVEL



PARKING ANALYSIS PLANS - CELLAR LEVEL



PARKING ANALYSIS PLANS - SUB-CELLAR LEVEL





DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

*LOT 2 Block
7-L-032*

1. Property Owner Name: *Rivers Casino* Phone Number: *(412) 566-4520*

Address: *777 Casino Dr.* City: *Pittsburgh* State: *PA* Zip Code: *15212*

2. Applicant/Company Name: *Yoko Palmisano/Forty Eight Architecture* Phone Number: *(412) 281-8300*

Address: *9 Smithfield St. #108* City: *Pittsburgh* State: *PA* Zip Code: *15203*

Applicant/Contractor ID:(assigned by the City)

3. Development Name: *Rivers Casino*

4. Development Location: *Corner of Casino Drive and North Shore Drive*

5. Development Address: *777 Casino Drive, Pittsburgh PA 15212*

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:

Present Use of Site:
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: *200703738* Date Issued: *8/7/2009* Existing Use of Property: *A2 S2*

8. Estimated Construction: Start Date: */ /* Occupancy Date: */ /* Project Cost: \$

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): *Two story gaming facility, with retail, restaurants and parking*

10. Select the Type of Work:

- New Construction, New
- New Construction,
- Change in Use Only
- Renovation, Interior
- Renovation, Exterior
- Renovation, Change in Use

11. Describe the Development: *Demolish existing concrete masonry unit wall, construct new concrete masonry wall with masonry and overhead garage door in covered exterior loading / unloading area.*

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

 0 New Water Service Connection(s) 0 Termination of Existing Water Service Tap(s)
 0 New Sewer Service Connection(s) 0 Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



SALLY PORT ENCLOSURE RENOVATION PITTSBURGH, PENNSYLVANIA

40 80 Project Number 12-002.11

CLIENT

RIVERS CASINO
777 CASINO DRIVE
PITTSBURGH, PENNSYLVANIA 15212
412 566 4520

ARCHITECT

40 80 ARCHITECTURE
4 SMITHFIELD STREET
6TH FLOOR
PITTSBURGH, PENNSYLVANIA 15222
412 281 8300

STRUCTURAL ENGINEER

GENERAL NOTES

1. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS, AND FOR PAYMENT OF ALL APPLICABLE FEES RELATING TO SAME, PRIOR TO THE COMMENCEMENT OF THE WORK.
2. CONTRACTORS SHALL PROVIDE ALL MATERIALS AND LABOR, WHETHER IMPLIED BY, OR DIRECTLY STATED ON, THESE DRAWINGS, IN ORDER TO COMPLETE THE WORK AS INDICATED HEREIN. ALL MATERIALS AND ASSEMBLIES IDENTIFIED ON THESE DRAWINGS SHALL BE CONSTRUED AS NEW WORK, UNLESS SPECIFICALLY INDICATED AS "EXISTING."
3. GENERAL CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR COORDINATING THE WORK OF ALL TRADES PERFORMING WORK ON THIS PROJECT AND TO INSURE THAT THE WORK IS PERFORMED CONSISTENT WITH THE INTENT INDICATED ON THESE DRAWINGS.
4. ALL CONTRACTORS SHALL VISIT THE SITE AND THOROUGHLY ACQUAINT THEMSELVES WITH THE CONDITIONS IN THE FIELD AND THE NATURE AND EXTENT OF WORK TO BE PERFORMED.
5. CONTRACTORS SHALL VERIFY ALL CONDITIONS EXISTING IN THE FIELD WITH THESE DRAWINGS AND NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES FROM WHAT IS INDICATED HEREIN.
6. CONTRACTORS SHALL VERIFY ALL DIMENSIONS INDICATED ON THESE DRAWINGS IN THE FIELD. DO NOT SCALE DRAWINGS.
7. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED TO PERFORM WORK SPECIFIED HEREIN. ALL MATERIALS USED FOR PATCHING ARE TO MATCH THE EXISTING MATERIALS AND COMPLETED WORK SHALL BLEND IN COMPLETELY WITH EXISTING ADJACENT SURFACES.
8. ALL EXISTING CONSTRUCTION THAT IS TO REMAIN AS PART OF THE PROJECT SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE PERIOD OF CONSTRUCTION WORK. ANY DAMAGED CONSTRUCTION OR FEATURES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR TO THE SATISFACTION OF THE OWNER WITH MATERIAL EQUIVALENT OR SUPERIOR TO THE ORIGINAL ITEM(S).
9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SAFETY BARRICADES DURING CONSTRUCTION.
10. HOURS OF ON-SITE WORK ACTIVITIES AND CONSTRUCTION ACCESS TO THE SITE SHALL BE AS DIRECTED BY THE OWNER.
11. CONTRACTORS SHALL COORDINATE ALL WORK ACTIVITIES WITH THE OWNER AND BUILDING OCCUPANTS, SO AS NOT TO DISRUPT BUILDING OPERATIONS. IF ANY DISRUPTION OF NORMAL OPERATIONS IS ANTICIPATED, ADEQUATE PRIOR NOTICE SHALL BE GIVEN TO THE OWNER AND BUILDING OCCUPANTS PRIOR TO COMMENCEMENT OF SUCH ACTIVITIES.
12. CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM THE SITE AND CLEANING OF INSTALLED WORK.
13. WASTE DISPOSAL LOCATIONS SHALL BE COORDINATED WITH, AND APPROVED BY, THE OWNER BEFORE PLACING ON THE PROJECT SITE.
14. HOLD INDICATED DIMENSIONS. DO NOT SCALE DRAWINGS. RESOLVE ANY DISCREPANCIES WITH THE ARCHITECT BEFORE BEGINNING WORK.

IN THE CASE OF INCONSISTENCY BETWEEN DRAWINGS, SPECS, OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY ADDENDUM, THE BETTER QUALITY OR GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION.

IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO VERIFY ALL DIMENSIONS AND INSPECT CONDITIONS OF PRIOR WORK OF THE OTHER TRADES BEFORE STARTING WORK. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE OF PRIOR WORK.

THE GENERAL CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR, WHETHER IMPLIED BY, OR DIRECTLY STATED ON DRAWINGS, IN ORDER TO COMPLETE THE WORK INDICATED HEREIN.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONCEALED BLOCKING TO ACCOMMODATE FURNITURE OR FIXTURE INSTALLATION. THE CONTRACTOR SHALL COORDINATE LOCATIONS OF BLOCKING WITH FURNITURE OR FIXTURE INSTALLATION CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING, REPAIRING, AND PREPARING ALL EXISTING FLOOR, WALL, AND CEILING SURFACES TO RECEIVE SCHEDULED FINISHES. ALL OLD ADHESIVES AND SEALERS ARE TO BE REMOVED AND ALL DAMAGED SUBSTRATES ARE TO BE REPAIRED AND PRIMED TO ACCEPT NEW FINISHES.

UNDER NO CIRCUMSTANCES SHALL THE EXISTING FIREPROOFING OR FIRESAFING BE DISTURBED, MODIFIED OR REMOVED WITHOUT SPECIFIC PERMISSION FROM THE OWNER.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO SEPARATE ALL OCCUPIED AREAS FROM DEMOLITION, RENOVATION, OR CONSTRUCTION ACTIVITIES BY TEMPORARY SMOKE-TIGHT CONSTRUCTION PARTITIONS OF GYPSUM BOARD OR OTHER APPROVED NON-COMBUSTIBLE OR LIMITED-COMBUSTIBLE MATERIAL. PARTITIONS SHALL BE FULL HEIGHT, EXTENDING THROUGH SUSPENDED CEILINGS TO THE FLOOR SLAB OR ROOF DECK ABOVE AND SHALL BE ONE-HOUR FIRE RATED, UNLESS SPRINKLERS ARE INSTALLED AND ARE OPERATIONAL ON BOTH SIDES OF THE TEMPORARY PARTITION WHEREUPON THE PARTITION MAY BE PERMITTED TO TERMINATE AT THE CEILING IN ACCORDANCE WITH NFPA 241. WHERE THE CEILING ON ONE SIDE OF THE TEMPORARY CONSTRUCTION BARRIER HAS BEEN REMOVED, THE TEMPORARY WALL WOULD NEED TO GO TO THE DECK ABOVE.

CONSTRUCTION SHALL NEVER OBSTRUCT EXITS AND THE EXISTING EXIT SIGNS DIRECTING TO IT SHALL NOT BE OBSCURED.

MINIMIZE OR AVOID DISRUPTIONS TO FIRE ALARM AND SPRINKLER SYSTEMS. DELINEATE PHASING OF CONSTRUCTION TO ENSURE THAT INSTALLATIONS OF NEW SYSTEMS ARE EXPEDITED, AND WHERE POSSIBLE, MAINTAIN EXISTING SYSTEMS IN SERVICE UNTIL THE REPLACEMENT SYSTEM IS OPERATIONAL. IF FIRE PROTECTION SYSTEMS ARE TO BE DISRUPTED, ENSURE PROCEDURES ARE INCORPORATED TO MAINTAIN EQUIVALENT LEVELS OF FIRE PROTECTION AND PROVIDE FORMAL NOTIFICATION TO THE FACILITY WHILE SYSTEMS ARE DOWN.

BUILDING CODE INFORMATION

ALL CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE EXISTING BUILDING CODE 2008 VIA THE WORK AREA COMPLIANCE METHOD, LEVEL 2.

OCCUPANCY CLASSIFICATION:
PRIMARY OCCUPANCY: GROUP A-2 (ASSEMBLY)
AREA OF WORK: SECURITY TRUCK ACCESS

CONSTRUCTION TYPE:
TYPE IB

EXITS:
EXISTING BUILDING REQUIRED EGRESS HAS NOT BEEN ALTERED

FIRE PROTECTION SYSTEM
AUTOMATIC SPRINKLER SYSTEMS (903.2.10.3):
PROVIDED THROUGHOUT THE BUILDING

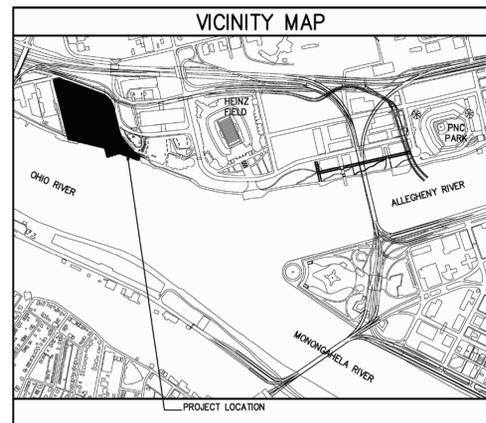
SPACES WITH ONE MEANS OF EGRESS (1015.1):
OCCUPANT LOAD TO BE MAXIMUM OF 49 PERSONS.

FIRE ALARM SYSTEM, STROBES, PULL STATIONS AND EMERGENCY LIGHTING ARE TO BE SUBMITTED UNDER A SEPARATE COVER IF REQUIRED AND ARE NOT INCLUDED IN THIS SET. LOCATION ARE TO BE COORDINATED WITH THE BUILDING OWNER.

WALLS DO NOT EXTEND TO DECK - SPRINKLERS ARE TO REMAIN AS IS. IF MODIFICATIONS ARE REQUIRED, DRAWINGS WILL BE SUBMITTED UNDER A SEPARATE COVER AND ARE NOT INCLUDED IN THIS SET. RELOCATED SPRINKLER HEAD TO BE COORDINATED WITH EXISTING EXTERIOR SPRINKLER SYSTEM.

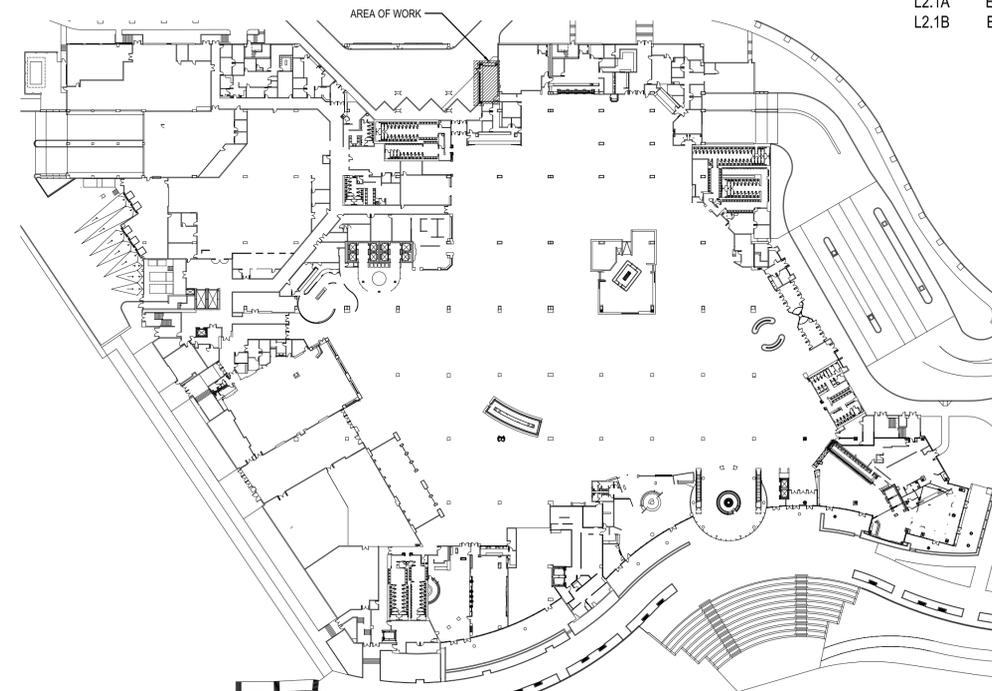
DRAWING LIST

- C1 PROJECT COVER SHEET
- A1 DEMOLITION PLAN, RENOVATED FLOOR PLAN
- A2 ELEVATIONS, DETAILS AND EXISTING CONDITION PHOTOGRAPHS
- C2.1.1 EXISTING SITE PLAN - BY CHESTER ENGINEERS
- C2.1.1B EXISTING SITE PLAN - BY CHESTER ENGINEERS
- L2.1A EXISTING PLANTING PLAN - BY STRADA
- L2.1B EXISTING PLANTING PLAN - BY STRADA



LOCATION MAP

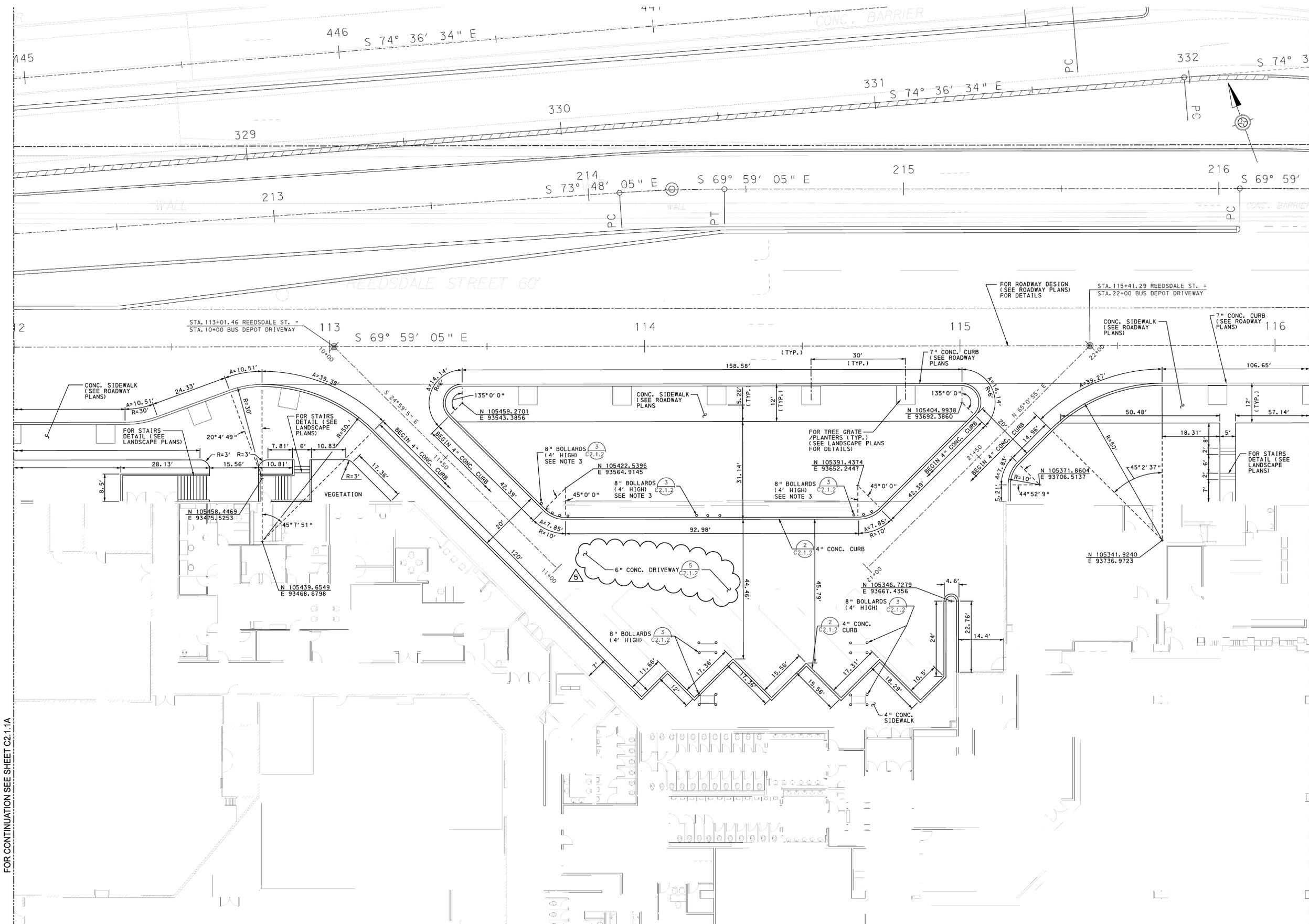
NOT TO SCALE



FIRST FLOOR LOCATION PLAN

1" = 60'-0"





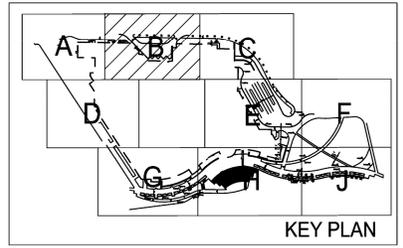
FOR CONTINUATION SEE SHEET C2.1.1A

FOR CONTINUATION SEE SHEET C2.1.1C

FOR CONTINUATION SEE SHEET C2.1.1D

SITE PLAN
SCALE: 1"=10'

- NOTES:**
- 1. FOR CONTROL MONUMENT POINTS AND PROPERTY CORNER POINTS SEE SHEET C1.2.1 (STAKE OUT PLANS).
 - 2. PROJECT COORDINATE SYSTEM INCLUDING CONTROL POINTS AND PROPERTY CORNERS ESTABLISHED BY GATEWAY ENGINEERS, INC. WITH THE ALTA/ACSM LAND TITLE SURVEY FOR PITG GAMING, LLC, DATED JANUARY 2007.
 - 3. SPACE BOLLARDS 2 FEET CENTER LINE TO CENTER LINE. (TYP.)

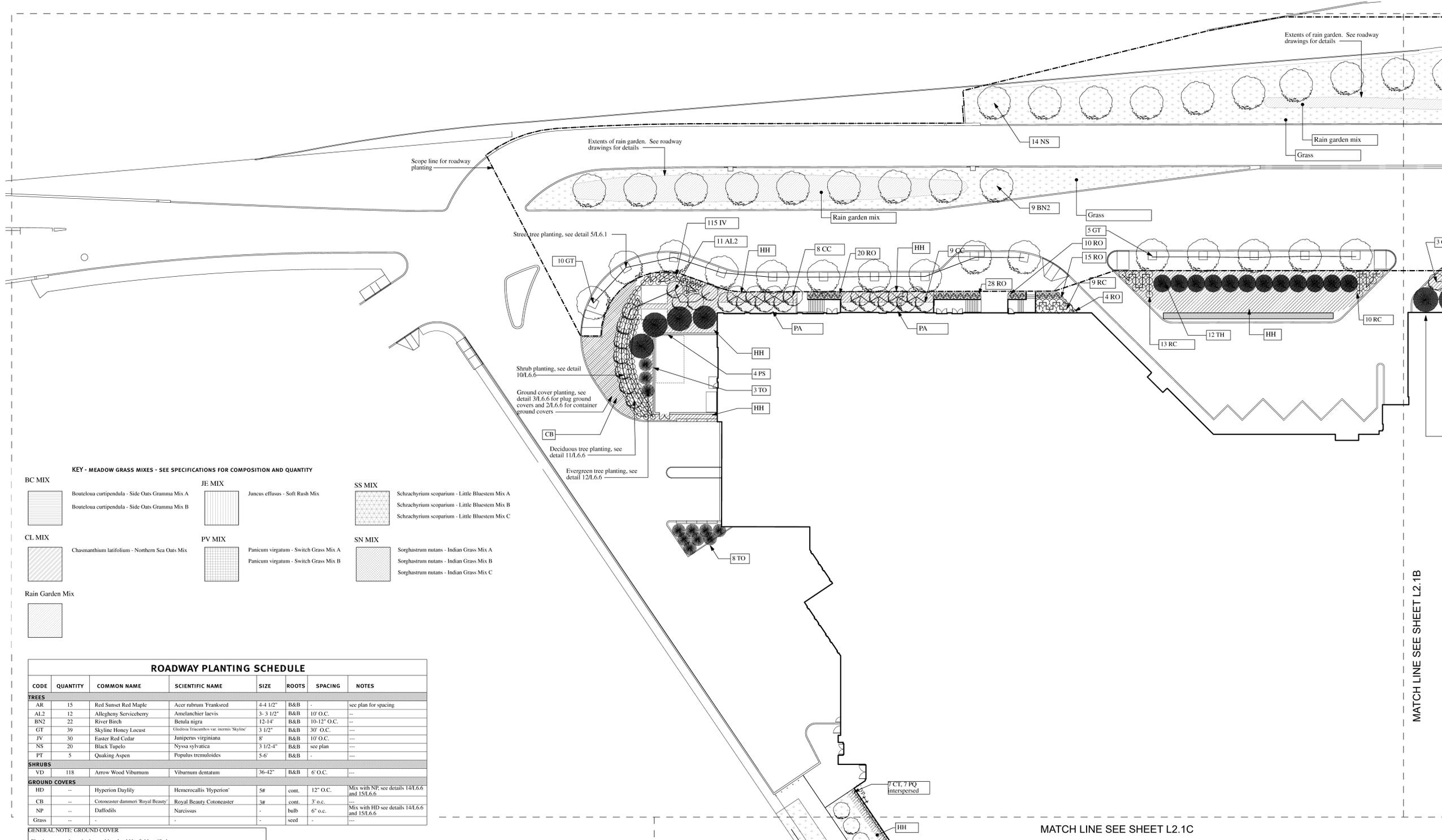


SITE PLAN

194001 16/DEC/07

C2.1.1B

DRAWING SHEET: 35x48
DATE: 12/16/07
DRAWN BY: [Name]
CHECKED BY: [Name]



KEY - MEADOW GRASS MIXES - SEE SPECIFICATIONS FOR COMPOSITION AND QUANTITY

BC MIX	Bouteloua curtipendula - Side Oats Gramma Mix A	JE MIX	Juncus effusus - Soft Rush Mix	SS MIX	Schizachyrium scoparium - Little Bluestem Mix A
	Bouteloua curtipendula - Side Oats Gramma Mix B				Schizachyrium scoparium - Little Bluestem Mix B
					Schizachyrium scoparium - Little Bluestem Mix C
CL MIX	Chasmanthium latifolium - Northern Sea Oats Mix	PV MIX	Panicum virgatum - Switch Grass Mix A	SN MIX	Sorghastrum nutans - Indian Grass Mix A
			Panicum virgatum - Switch Grass Mix B		Sorghastrum nutans - Indian Grass Mix B
					Sorghastrum nutans - Indian Grass Mix C
Rain Garden Mix					

ROADWAY PLANTING SCHEDULE

CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
TREES							
AR	15	Red Sunset Red Maple	Acer rubrum 'Franksred'	4-4 1/2"	B&B	-	see plan for spacing
AL2	12	Allegheny Serviceberry	Amelanchier laevis	3- 3 1/2"	B&B	10' O.C.	-
BN2	22	River Birch	Betula nigra	12-14"	B&B	10-12" O.C.	-
GT	39	Skyline Honey Locust	Gleditsia triacanthos var. 'inermis' 'Skyline'	3 1/2"	B&B	30' O.C.	-
JV	30	Easter Red Cedar	Juniperus virginiana	8"	B&B	10' O.C.	-
NS	20	Black Tupelo	Nyssa sylvatica	3 1/2-4"	B&B	see plan	-
PT	5	Quaking Aspen	Populus tremuloides	5-6"	B&B	-	-
SHRUBS							
VD	118	Arrow Wood Viburnum	Viburnum dentatum	36-42"	B&B	6' O.C.	-
GROUND COVERS							
HD	-	Hyperion Daylily	Hemerocallis 'Hyperion'	5#	cont.	12" O.C.	Mix with NP; see details 14/L6.6 and 15/L6.6
CB	-	Cotoneaster dammeri 'Royal Beauty'	Royal Beauty Cotoneaster	3#	cont.	3' o.c.	-
NP	-	Daffodils	Narcissus	-	bulb	6" o.c.	Mix with HD see details 14/L6.6 and 15/L6.6
Grass	-	-	-	-	seed	-	-

GENERAL NOTE: GROUND COVER
Planting area and required quantities should be field verified.

SITE PLANTING SCHEDULE

CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
TREES							
AR	25	Red Sunset Red Maple	Acer rubrum 'Franksred'	4-4 1/2"	B&B	-	see plan for spacing
AC	6	Shadblow Serviceberry	Amelanchier canadensis	5-6"	B&B	-	-
AL1	9	Allegheny Serviceberry	Amelanchier laevis	5-6"	B&B	-	riparian area (south of esplanade)
AL2	34	Allegheny Serviceberry	Amelanchier laevis	3- 3 1/2"	B&B	10' O.C.	north of esplanade
BN1	5	River Birch	Betula nigra	7-8"	B&B	-	riparian area (south of esplanade)
BN2	17	River Birch	Betula nigra	12-14"	B&B	10-12" O.C.	north of esplanade
CC	31	American Hornbeam	Carpinus caroliniana	2-2 1/2"	B&B	6-12" O.C.	-
CD1	4	Red Bud	Cercis canadensis	5-6"	B&B	-	riparian area (south of esplanade)
CD2	53	Red Bud	Cercis canadensis	8-10"	B&B	10-12" O.C.	North of esplanade
CF	9	Flowering Dogwood	Cornus florida	-	B&B	10-12" O.C.	-
GT	6	Skyline Honey Locust	Gleditsia triacanthos var. 'inermis' 'Skyline'	3 1/2"	B&B	30' O.C.	-
JV	10	Easter Red Cedar	Juniperus virginiana	8"	B&B	10' O.C.	-
MV	21	Sweetbay Magnolia	Magnolia virginiana	8"	B&B	10-12" O.C.	-
MZ	38	Calocarpa Crab Apple	Malus x. 'zumi' 'Calocarpa'	3 1/2-4"	B&B	20' O.C.	-
PS	7	White Pine	Pinus strobus	20"	B&B	20' O.C.	-
PO	9	American Sycamore	Platanus occidentalis	8-10"	B&B	-	-
PT	13	Quaking Aspen	Populus tremuloides	5-6"	B&B	-	-
TJ	1	Pyramidal Japanese Yew	Taxus cuspidata 'Capitata'	12"	B&B	per plan	Specimen plant, pyramidal form, trimmed to size.
TO	11	Wintergreen 'Arborvitae'	Thuja occidentalis 'Wintergreen'	8"	B&B	8' O.C.	-
TC	29	Greenspire Linden	Tilia cordata 'Greenspire'	5 1/2-6"	B&B	-	limbed up min. 6'; centered in planter between benches, see enlarged plan 13/L6.6
TH	14	Canadian Hemlock	Tsuga canadensis	10"	B&B	10' O.C.	-

SITE PLANTING SCHEDULE

CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
SHRUBS							
AS	46	Common Alder	Alnus serrulata	36-42"	B&B	-	-
AA	35	Red Chokeberry	Aronia arbutifolia 'Brilliantissima'	36-42"	B&B	-	-
AM	11	Black Chokeberry	Aronia melanocarpa	36-42"	B&B	-	-
CA	37	Silky Dogwood	Cornus anonomum	36-42"	B&B	-	-
CR	8	Grey Dogwood	Cornus racemosa	36-42"	B&B	-	-
CS	35	Redosier Dogwood	Cornus stolonifera	36-42"	B&B	-	-
IW	1	Apollo Winterberry	Ilex verticillata 'Apollo'	18-24"	B&B	-	Male for pollination
IW	78	Winter Red Winterberry	Ilex verticillata 'Winter Red'	36-42"	B&B	-	-
IV	480	Virginia Sweetspire	Itea virginica 'Little Henry'	3#	cont.	3' O.C.	-
LB	35	Spicebush	Lindera benzoin	42-48"	B&B	-	-
RC	64	Catawba Rhododendron	Rhododendron catawbiensis	10#	cont.	4' O.C.	-
RO	311	Olga Mezitt Rhododendron	Rhododendron Olga Mezitt	5#	cont.	2' O.C.	-
RA	47	Fragrant Sumac	Rhus aromatica	36-42"	B&B	-	-
TM	13	Brown's Yew	Taxus x. media 'Brownii'	24"	B&B	3' O.C.	-
VN	119	Lowbush Blueberry	Vaccinium angustifolium	18-24"	B&B	-	-
VC	33	Highbush Blueberry	Vaccinium corymbosum	36-42"	B&B	-	-
VA	30	Mapleleaf Viburnum	Viburnum acerifolium	36-42"	B&B	-	-
VW	35	Walters Viburnum	Viburnum cassinoides	36-42"	B&B	-	-

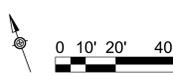
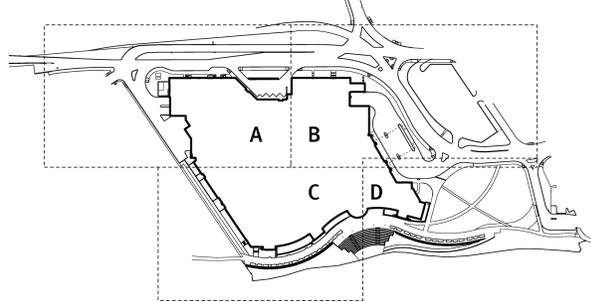
CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
GROUND COVERS							
HH	-	English Ivy	Hedera helix	5" plug	plug	8" O.C.	-
HD	-	Hyperion Daylily	Hemerocallis 'Hyperion'	5#	cont.	12" O.C.	Mix with NP; see details 14/L6.6 and 15/L6.6
CT	38	Trumpet Creeper	Campsis radicans	1#	cont.	per plan	-
CB	-	Royal Beauty Cotoneaster	Cotoneaster dammeri 'Royal Beauty'	3#	cont.	3' o.c.	-
LA	-	Lavender	Lavandula angustifolia	1#	cont.	12" o.c.	-
MS	-	Variegated Maiden Grass	Miscanthus sinensis 'Variegatus'	#5	cont.	12" o.c.	-
NP	-	Daffodils	Narcissus	-	bulb	6" o.c.	Mix with HD see details 14/L6.6 and 15/L6.6
PQ	38	Virginia Creeper	Parthenocissus quinquefolia	1#	cont.	per plan	-
PA	-	Christmas Fern	Polystichum acrostichoides	1#	cont.	1' O.C.	-

Sod to be from sandy soil source. Species composition - Fescue & Rye sunny mixture, not bluegrass. (Typically used for sports fields and fairways).
GENERAL NOTE: GROUND COVER
Planting area and required quantities should be field verified.

MATCH LINE SEE SHEET L2.1C

MATCH LINE SEE SHEET L2.1B

L2.1 SERIES KEY PLAN



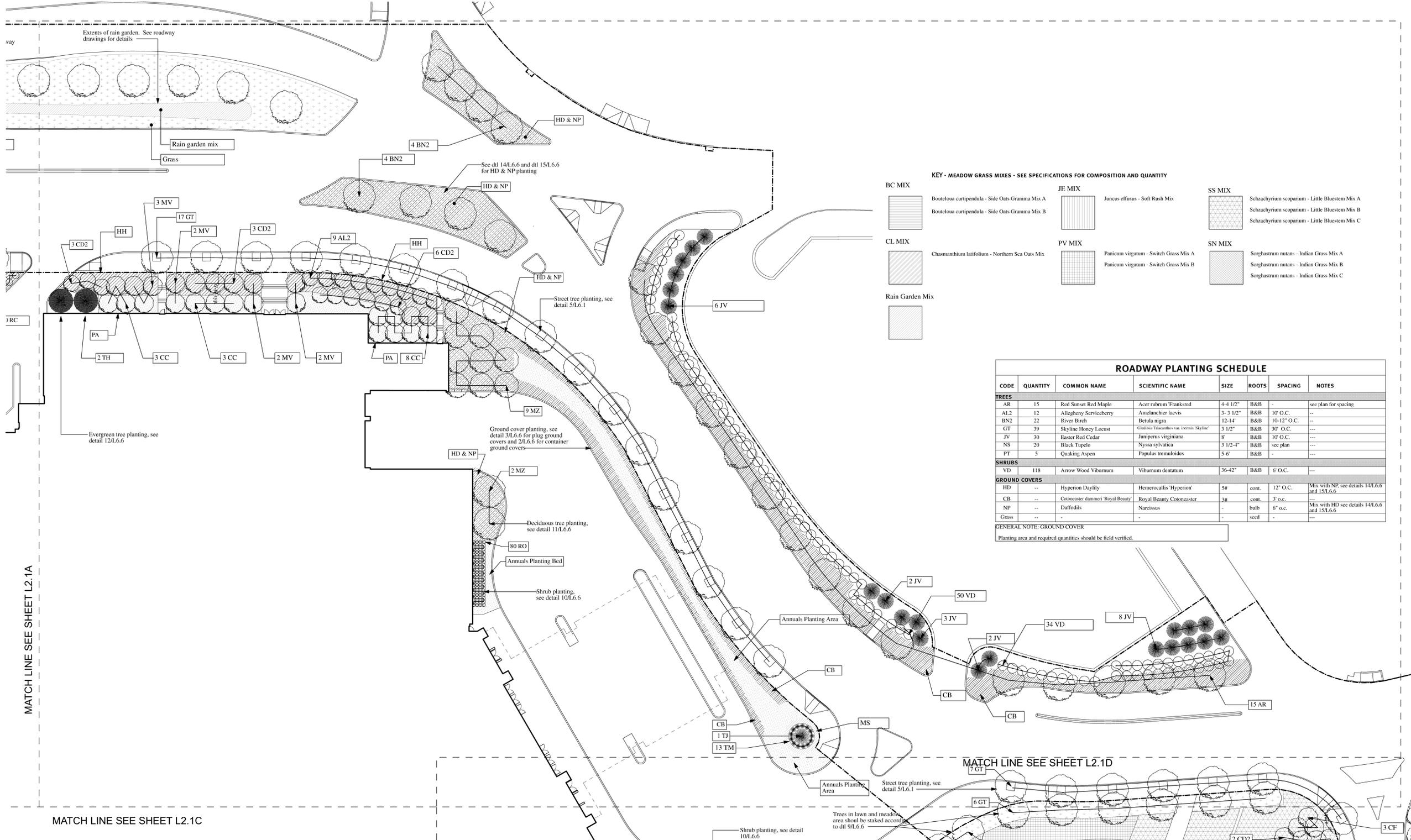
NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	12.17.07	For Construction
2	06.18.08	Revisions
3	05.13.08	Revisions 11 For Bidding & Permitting

Planting Plan

PROJECT NO.	194001	DRAWING DATE	10/13/2008
-------------	--------	--------------	------------

L2.1A



KEY - MEADOW GRASS MIXES - SEE SPECIFICATIONS FOR COMPOSITION AND QUANTITY

BC MIX	Bouteloua curtipendula - Side Oats Gramma Mix A	JE MIX	Juncus effusus - Soft Rush Mix	SS MIX	Schizachyrium scoparium - Little Bluestem Mix A
	Bouteloua curtipendula - Side Oats Gramma Mix B				Schizachyrium scoparium - Little Bluestem Mix B
CL MIX	Chasmanthium latifolium - Northern Sea Oats Mix	PV MIX	Panicum virgatum - Switch Grass Mix A	SN MIX	Sorghastrum nutans - Indian Grass Mix A
Rain Garden Mix			Panicum virgatum - Switch Grass Mix B		Sorghastrum nutans - Indian Grass Mix B
					Sorghastrum nutans - Indian Grass Mix C

ROADWAY PLANTING SCHEDULE

CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
TREES							
AR	15	Red Sunset Red Maple	Acer rubrum 'Frankford'	4-4 1/2"	B&B	-	see plan for spacing
AL2	12	Allegheny Serviceberry	Amelanchier laevis	3- 3 1/2"	B&B	10' O.C.	---
BN2	22	River Birch	Betula nigra	12-14"	B&B	10-12" O.C.	---
GT	39	Skyline Honey Locust	Gleditsia triacanthos var. 'inermis' 'Skyline'	3 1/2"	B&B	30' O.C.	---
JV	30	Easter Red Cedar	Juniperus virginiana	8"	B&B	10' O.C.	---
SS	20	Black Tupelo	Nyssa sylvatica	3 1/2-4"	B&B	see plan	---
PT	5	Quaking Aspen	Populus tremuloides	5-6"	B&B	-	---
SHRUBS							
VD	118	Arrow Wood Viburnum	Viburnum dentatum	36-42"	B&B	6' O.C.	---
GROUND COVERS							
HD	---	Hyperion Daylily	Hemerocallis 'Hyperion'	5#	cont.	12" O.C.	Mix with NP, see details 14/L6.6 and 15/L6.6
CB	---	Cotoneaster dammeri 'Royal Beauty'	Royal Beauty Cotoneaster	3#	cont.	3' o.c.	---
NP	---	Daffodils	Narcissus	bulb	6" o.c.	---	Mix with HD see details 14/L6.6 and 15/L6.6
Grass	---	-	-	seed	-	---	---

GENERAL NOTE: GROUND COVER
Planting area and required quantities should be field verified.

MATCH LINE SEE SHEET L2.1A

MATCH LINE SEE SHEET L2.1D

MATCH LINE SEE SHEET L2.1C

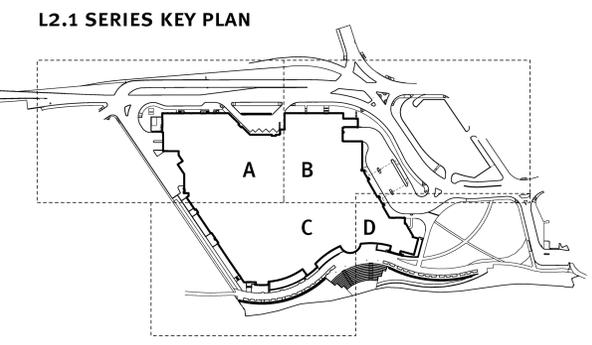
SITE PLANTING SCHEDULE

CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
TREES							
AR	25	Red Sunset Red Maple	Acer rubrum 'Frankford'	4-4 1/2"	B&B	-	see plan for spacing
AC	6	Shadblow Serviceberry	Amelanchier canadensis	5-6"	B&B	-	---
AL1	9	Allegheny Serviceberry	Amelanchier laevis	5-6"	B&B	-	riparian area (south of esplanade)
AL2	34	Allegheny Serviceberry	Amelanchier laevis	3- 3 1/2"	B&B	10' O.C.	north of esplanade
BN1	5	River Birch	Betula nigra	7-8"	B&B	-	riparian area (south of esplanade)
BN2	17	River Birch	Betula nigra	12-14"	B&B	10-12" O.C.	north of esplanade
CC	31	American Hornbeam	Carpinus caroliniana	2-2 1/2"	B&B	6-12" O.C.	---
CD1	4	Red Bud	Cercis canadensis	5-6"	B&B	-	riparian area (south of esplanade)
CD2	33	Red Bud	Cercis canadensis	8-10"	B&B	10-12" O.C.	North of esplanade
CF	9	Flowering Dogwood	Cornus florida	-	B&B	10-12" O.C.	---
GT	6	Skyline Honey Locust	Gleditsia triacanthos var. 'inermis' 'Skyline'	3 1/2"	B&B	30' O.C.	---
JV	10	Easter Red Cedar	Juniperus virginiana	8"	B&B	10' O.C.	---
MV	21	Sweetbay Magnolia	Magnolia virginiana	8"	B&B	10-12" O.C.	---
MZ	38	Calocarpa Crab-Apple	Malus x. zumi 'Calocarpa'	3 1/2-4"	B&B	20' O.C.	---
PS	7	White Pine	Pinus strobus	20"	B&B	20' O.C.	---
PO	9	American Sycamore	Platanus occidentalis	8-10"	B&B	-	---
PT	13	Quaking Aspen	Populus tremuloides	5-6"	B&B	-	---
TJ	1	Pyramidal Japanese Yew	Taxus cuspidata 'Capitata'	12"	B&B	per plan	Specimen plant, pyramidal form, trimmed to size.
TO	11	Wintergreen Arborvitae	Thuja occidentalis 'Wintergreen'	8"	B&B	8' O.C.	---
YC	29	Greenspire Linden	Tilia cordata 'Greenspire'	5 1/2-6"	B&B	-	limbed up min. 6'; centered in planter between benches, see enlarged plan 13/L6.6
TH	14	Canadian Hemlock	Tsuga canadensis	10"	B&B	10' O.C.	---

SITE PLANTING SCHEDULE

CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
SHRUBS							
AS	46	Common Alder	Alnus serrulata	36-42"	B&B	-	---
AA	35	Red Chokeberry	Aronia arbutifolia 'Brilliantissima'	36-42"	B&B	-	---
AM	11	Black Chokeberry	Aronia melanocarpa	36-42"	B&B	-	---
CA	37	Silky Dogwood	Cornus amomum	36-42"	B&B	-	---
CR	8	Grey Dogwood	Cornus racemosa	36-42"	B&B	-	---
CS	35	Redosier Dogwood	Cornus stolonifera	36-42"	B&B	-	---
IW	1	Apollo Winterberry	Ilex verticillata 'Apollo'	18-24"	B&B	-	Male for pollination
IW	78	Winter Red Winterberry	Ilex verticillata 'Winter Red'	36-42"	B&B	-	---
IV	480	Virginia Sweetspire	Itea virginica 'Little Henry'	3#	cont.	3' O.C.	---
LB	35	Spicebush	Lindera benzoin	42-48"	B&B	-	---
RC	64	Catawba Rhododendron	Rhododendron catawbiense	10#	cont.	4' O.C.	---
RO	311	Olga Mezitt Rhododendron	Rhododendron Olga Mezitt	5#	cont.	2' O.C.	---
RA	47	Fragrant Sumac	Rhus aromatica	36-42"	B&B	-	---
TM	13	Brown's Yew	Taxus x. media 'Brownii'	24"	B&B	3' O.C.	---
VN	119	Lowbush Blueberry	Vaccinium angustifolium	18-24"	B&B	-	---
VC	33	Highbush Blueberry	Vaccinium corymbosum	36-42"	B&B	-	---
VA	30	Mapleleaf Viburnum	Viburnum acerifolium	36-42"	B&B	-	---
VW	35	Withered Viburnum	Viburnum cassinoides	36-42"	B&B	-	---
GROUND COVERS							
HH	---	English Ivy	Hedera helix	5" plug	plug	8" O.C.	---
HD	---	Hyperion Daylily	Hemerocallis 'Hyperion'	5#	cont.	12" O.C.	Mix with NP, see details 14/L6.6 and 15/L6.6
CT	38	Trumpet Creeper	Campsis radicans	1#	cont.	per plan	---
CB	---	Royal Beauty Cotoneaster	Cotoneaster dammeri 'Royal Beauty'	3#	cont.	3' o.c.	---
LA	---	Lavender	Lavandula angustifolia	1#	cont.	12" o.c.	---
MS	---	Variiegated Maiden Grass	Miscanthus sinensis 'variegatus'	#5	cont.	12" o.c.	---
NP	---	Daffodils	Narcissus	-	bulb	6" o.c.	Mix with HD see details 14/L6.6 and 15/L6.6
PQ	38	Virginia Creeper	Parthenocissus quinquefolia	1#	cont.	per plan	---
PA	---	Christmas Fern	Polystichum acrostichoides	1#	cont.	1' O.C.	---
Sod	---	Sod to be from sandy soil source. Species composition - Fescue & Rye sunny mixture, not bluegrass. (Typically used for sports fields and fairways).					

GENERAL NOTE: GROUND COVER
Planting area and required quantities should be field verified.



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	12.17.07	For Construction
2	06.18.08	Revisions 8
3	06.11.08	Revisions 11 For Bidding & Permitting

Planting Plan

PROJECT NO: 194001 DRAWING DATE: 10/13/2008



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Baum Grove LP		Phone Number: (412) 657-1229	
Address: 6091 Grafton St.	City: Pittsburgh	State: PA	Zip Code: 15206
2. Applicant/Company Name: Anthony Dolan		Phone Number: (412) 657-1229	
Address: same	City:	State:	Zip Code:
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: temporary parking lot			
4. Development Location: Baum @ South Euclid and Commerce Way, East Liberty			
5. Development Address: 5848 Baum Blvd 15206 8th Ward			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)		empty lot with ground cover Zoning District UNC	
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property: empty lot
8. Estimated Construction:		Start Date: 01/14/2015	Occupancy Date: / / Project Cost: \$46,000.00

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list):

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development:

5450 sq.ft. temporary paved (TBD) parking lot for 17 cars with bioretention stormwater area and required landscaping

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	0	sq ft
Existing to be Retained:	0	sq ft
Retained Area to be Renovated:	0	sq ft
To be Constructed:	5,450 sq.ft. temp paving	sq ft
Building Footprint:	0	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure				
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: _____

17. Lot Area: 9,240 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	0	12
Compact (7 1/4' x 16')	0	4
Handicap (13 1/2' x 19')	0	1

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

0 New Water Service Connection(s) 0 Termination of Existing Water Service Tap(s)
0 New Sewer Service Connection(s) 0 Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk. (Dig under sidewalk to tap into ex. storm sewer)
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

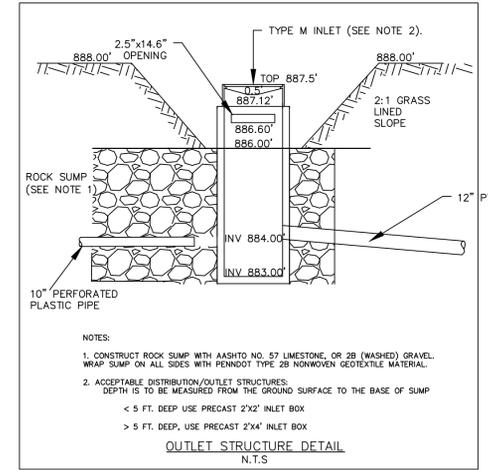
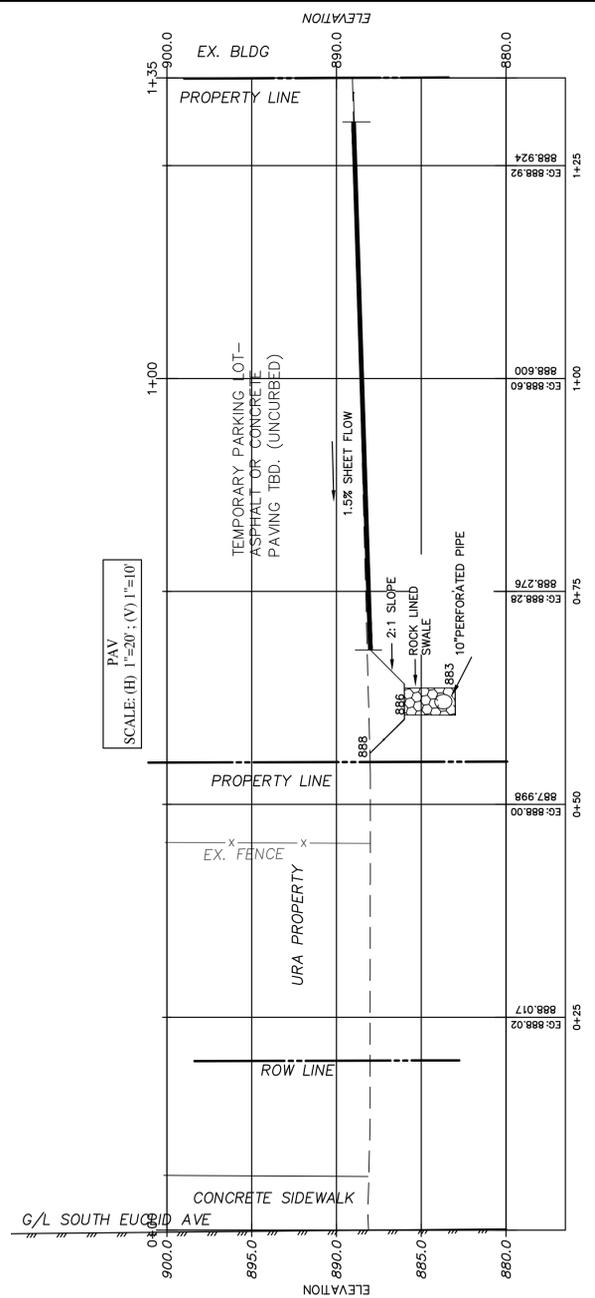
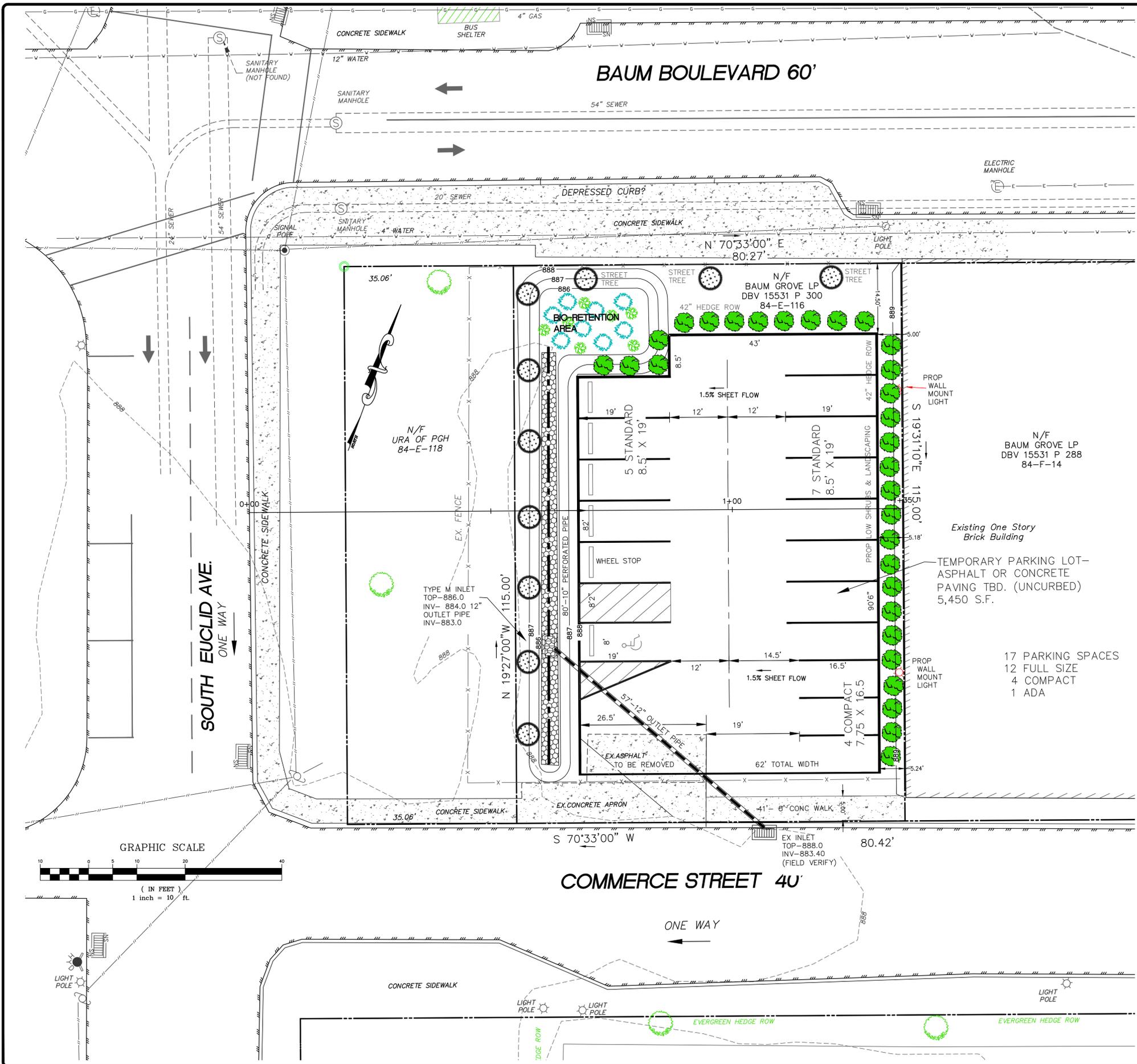
Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



HAMPTON TECHNICAL ASSOCIATES, INC.
 ENGINEERING LAND SURVEYORS
 ESTABLISHED 1960
 www.Hampton-Technical.com
 email@hampton-technical.com

Corporate Office: Rita Technical Center, 35 Wilson Street, Suite 201, Pittsburgh, PA 15223, Phone: (412) 781-9900, Fax: (412) 781-9804
 Main Office: 1000 Mt. Royal Blvd., Suite B, West Ridge, Pittsburgh, PA 15206, Phone: (724) 625-4544, Fax: (724) 625-4549

DRAWN BY: RAB
 CHECKED BY: AJL
 APPROVED BY:
 CAD FILE: 15-10755-1.dwg

Parking Concept Plan
 5848 Baum Boulevard, Pittsburgh, PA 15206
 8th Ward City of Pittsburgh, Allegheny County, PA
 CLIENT: Alphabet City Development, 930 Penn Avenue, Pittsburgh, PA 15222

DATE ISSUED: Jan 15, 2015
 HORIZONTAL SCALE: 1"=10'
 VERTICAL SCALE:
 SHEET: **Concept**
 HTA PROJECT #: 15-10755-1



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

SAR 14102
PDP

Date Filed:

9.29.2014

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <u>Highwoods Properties</u>		Phone Number: (412) 434-1931 <u>Andrew Wisniewski</u>	
Address: <u>Three PPG Place Suite 200</u>	City: <u>Pittsburgh</u>	State: <u>PA</u>	Zip Code: <u>15222</u>
2. Applicant/Company Name: <u>DVA Architecture</u>		Phone Number: (412) 921-4300 <u>X269 Kerry Solomon</u>	
Address: <u>Foster Plaza 9 Suite 200</u>	City: <u>Pittsburgh</u>	State: <u>PA</u>	Zip Code: <u>15220</u>
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: <u>Porospgh, Inc. (Porog Restaurant)</u>			
4. Development Location: <u>PPG 2</u>			
5. Development Address: <u>Corner of PPG 2 at Market Street</u>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) <u>N/A</u>			
Proposed Zoning District:	<u>GT-A</u>		
Present Use of Site: (Select from attached list)	<u>Vacant Tenant Space - New & Unlisted Uses</u>		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property: <u>Tenant Space (vacant)</u>	
8. Estimated Construction:	Start Date: <u>11/1/2014</u>	Occupancy Date: <u>3/31/2015</u>	Project Cost: <u>\$1,500,000</u>
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Munlcode.com website.			
9. Proposed Use of Site (Select from attached list): <u>Restaurant, Liquor License (General)</u>			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New	<input checked="" type="checkbox"/> Renovation, Interior		
<input type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior		
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use		
11. Describe the Development: <u>Two level restaurant/bar - first level: Dining, Bar Kitchen & seasonal exterior dining. lower level: Banquet Room(s) Kitchen</u>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (881) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION				
LAND AND BUILDING INFORMATION				
13. Proposed Number of New Structures or Building Additions: <input checked="" type="checkbox"/> N/A				
<input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Recreational <input type="checkbox"/> Industrial <input type="checkbox"/> Institutional				
14. Gross Floor Area:				
Existing to be Razed:	<u>0</u>	sq ft		
Existing to be Retained:	<u>7600</u>	sq ft	(rentable)	
Retained Area to be Renovated:	<u>7600</u>	sq ft		
To be Constructed:	<u>1830</u>	sq ft	(outdoor dining area)	
Building Footprint:	<u>33,844</u>	sq ft		
15. Height of Structures:				
	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	5	88' (1/Parapet)	Same as Existing	
Proposed Addition/Extension			N/A	
Provide Accessory Structure Type(s) and Height(s):				
Trellis	-	-	-	+/- 9'
Canopy (Entry)	-	-	-	+/- 12'
16. Number of Dwelling Units:				
Existing to Remain:		<u>N/A</u>	Proposed: <u>N/A</u>	
17. Lot Area: <u>38,652</u> sq ft				
18. On Site Parking: <input checked="" type="checkbox"/> N/A Valet parking to be provided in PPG Plaza parking garage				
		Existing	Proposed per lease agreement	
Full (8 1/2' x 19')		-	-	
Compact (7 1/4' x 16')		-	-	
Handicap (13 1/2' x 19')		-	-	
Off-Street Loading Spaces: <input checked="" type="checkbox"/> N/A				
Actual:		<u>4 spaces / Bldg #2</u>		
Required:		<u>1</u>		
19. Please check any of the following items that will be part of the proposed work: <input type="checkbox"/> N/A				
<input checked="" type="checkbox"/> Demolition <input checked="" type="checkbox"/> HVAC (Interior) <input checked="" type="checkbox"/> HVAC (Exterior) <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Fire Alarm				
<input checked="" type="checkbox"/> Fire Protection/Sprinklers <input checked="" type="checkbox"/> Deck Construction <input checked="" type="checkbox"/> Commercial Cooking Hood <input checked="" type="checkbox"/> Sign				
20. Please check the following items that pertain to any work proposed on private plumbing:				
(i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).				
<input type="checkbox"/> Repair or Replace Existing Plumbing <input checked="" type="checkbox"/> New Construction of Plumbing (Internal) <input type="checkbox"/> No Plumbing Work is Proposed				



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

0 New Water Service Connection(s) 0 Termination of Existing Water Service Tap(s)
0 New Sewer Service Connection(s) 0 Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
N/A Applicant retains private ownership of sewer mains and/or water lines
 Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

Public Property, Existing City Street Private Property Not Applicable
 Public Property, New City Street to be constructed as part of the development/project

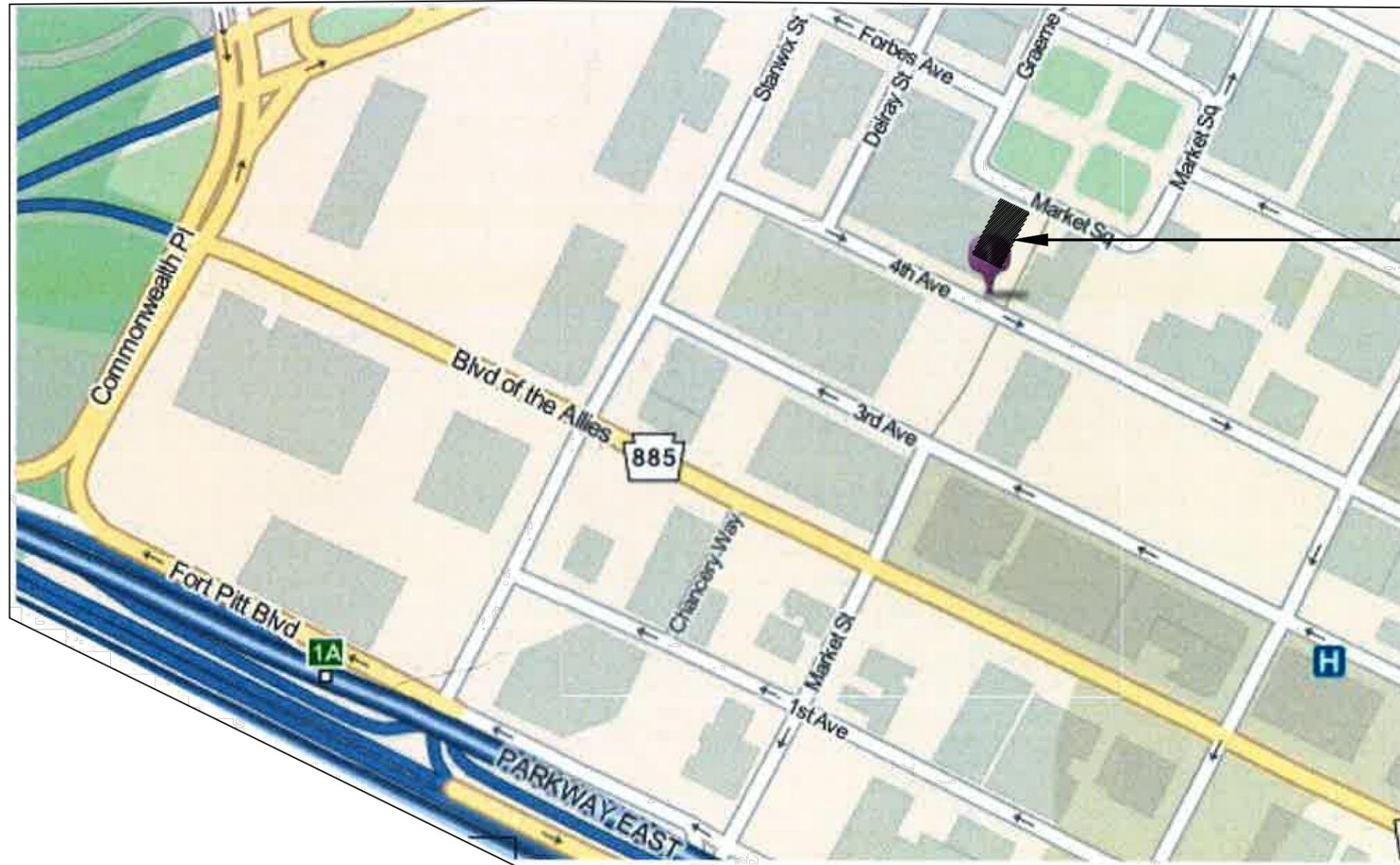
WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

Applicant requests to change or designate the name of a City Street.
 The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way. *Market Square canopy*
 Modification or reconstruction of City curbs.
 Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
 Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development. *outdoor dining area*
 The proposed work will create an obstruction of traffic on City rights-of-way.
 The proposed work includes the excavation of a City street or sidewalk.
 The proposed work includes the placement of a demolition dumpster in a City right-of-way.
 The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visibility Tax Credit? Yes No

Applicant Signature: *[Handwritten Signature]*



PROJECT
SITE

LOCATION MAP



POROS RESTAURANT - 2 PPG PLACE

11/21/2014



LOOKING NORTH WEST



LOOKING SOUTH



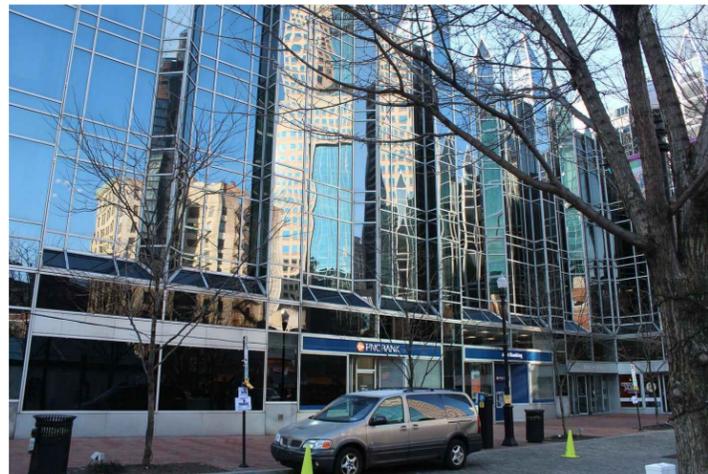
LOOKING SOUTH EAST



LOOKING SOUTH EAST



LOOKING SOUTH



LOOKING SOUTH WEST



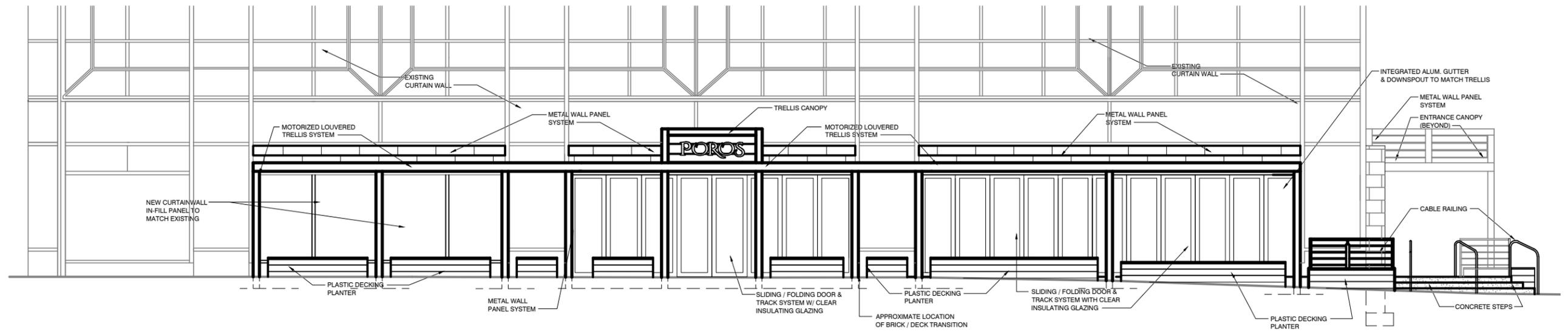
LOOKING EAST



LOOKING SOUTH WEST

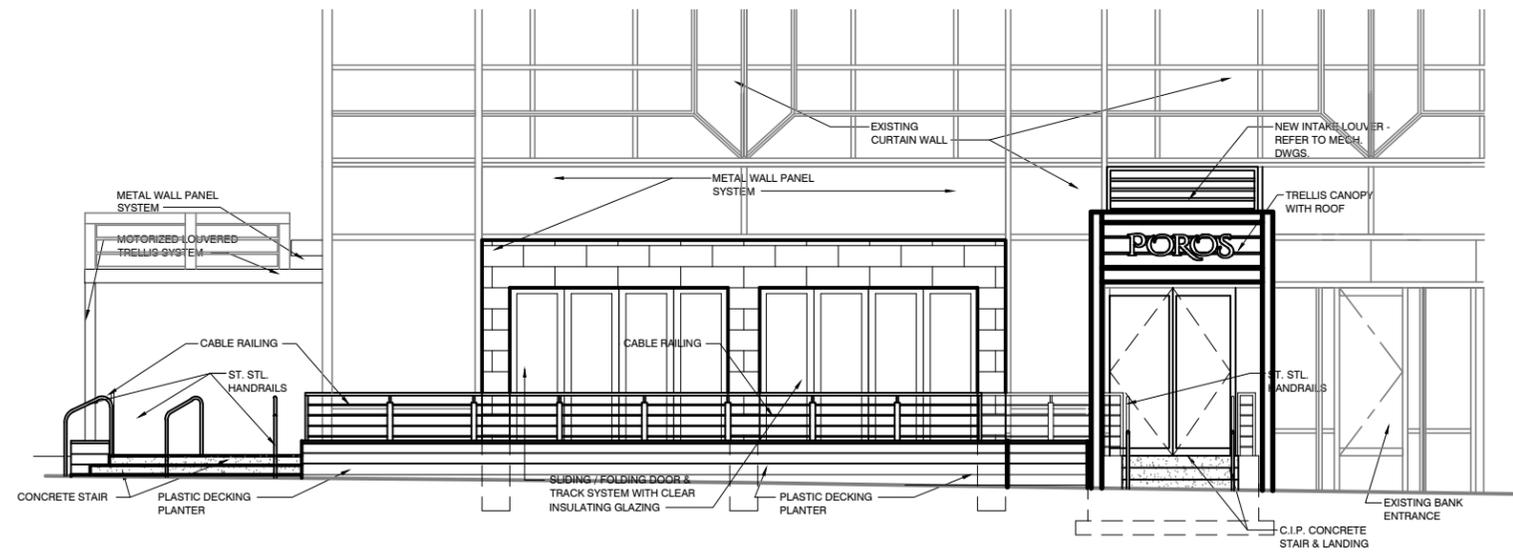
POROS RESTAURANT - 2 PPG PLACE

11/21/2014



EAST ELEVATION

1/8" = 1'-0"

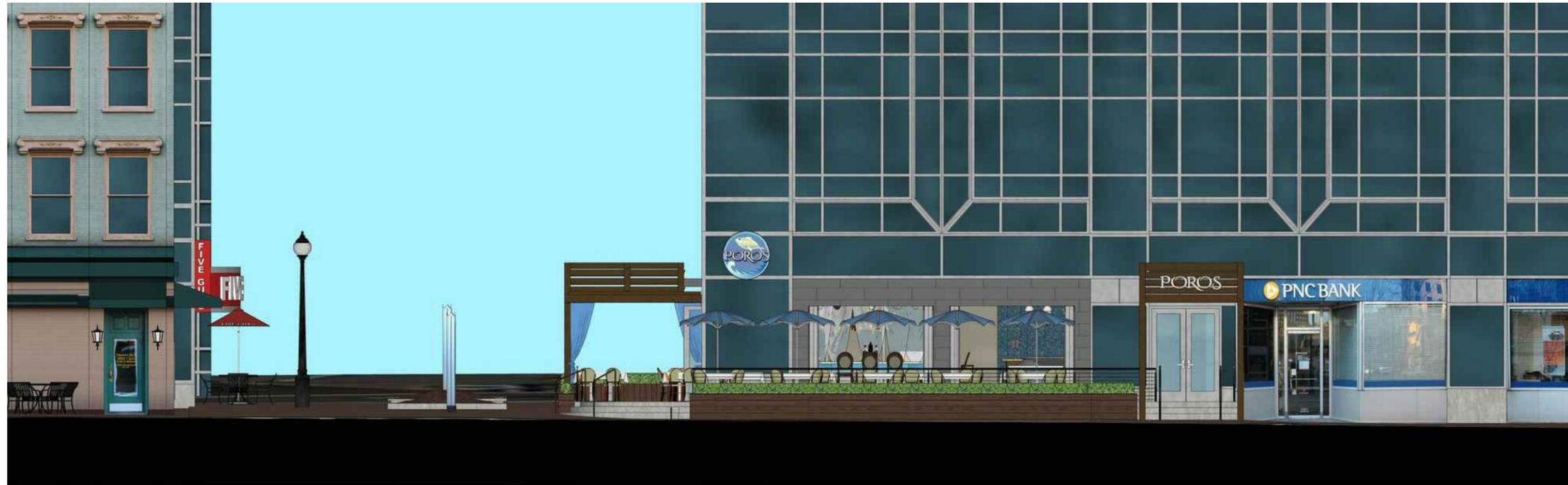


NORTH ELEVATION

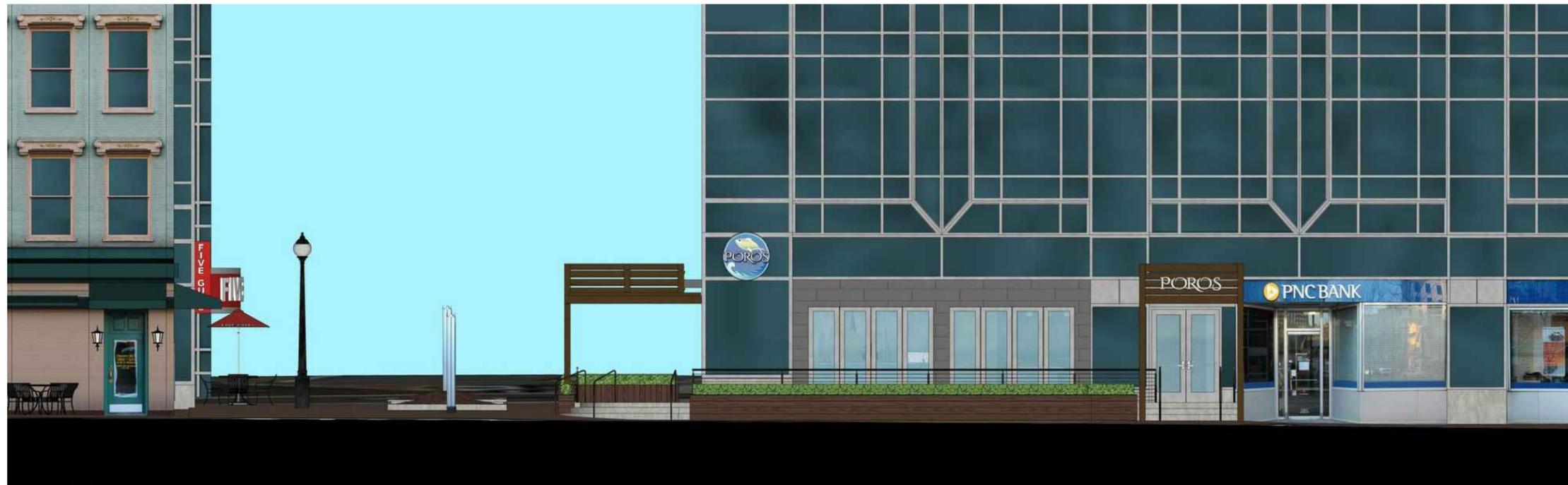
1/8" = 1'-0"

POROS RESTAURANT - 2 PPG PLACE

02/19/2015



VIEW FROM MARKET SQUARE - IN SEASON



VIEW FROM MARKET SQUARE - OFF SEASON

POROS RESTAURANT - 2 PPG PLACE

01/19/2015



POROS RESTAURANT - 2 PPG PLACE

11/21/2014



POROS RESTAURANT - 2 PPG PLACE

01/19/2015



POROS RESTAURANT - 2 PPG PLACE

11/21/2014



CAST-IN-PLACE CONCRETE, BROOM FINISH



IPE WOOD DECK TILE PAVERS ON PEDESTALS



COMPOSITE DECKING BOARD PLANTERS



METAL WALL PANEL SYSTEM



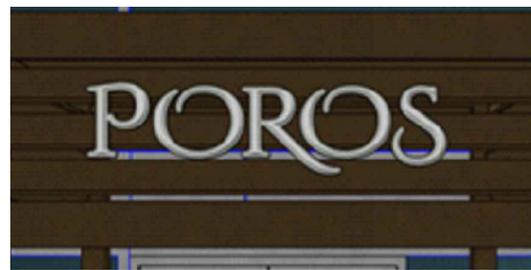
ALUMINUM CANOPY STRUCTURE



FOLDING DOORS WITH CLEAR GLASS



STAINLESS STEEL RAILINGS AND WIRE ROPE GUARDRAILS



ILLUMINATED SIGNAGE

MATERIALS INFORMATION

POROS RESTAURANT - 2 PPG PLACE

01/19/2015



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: VPMC Phone Number: ()

Address: 200 LOTHROP ST. City: PITTSBURGH State: PA Zip Code: 15213

2. Applicant/Company Name: GBBN ARCHITECTS Phone Number: (412) 345-5005

Address: 5411 PENN AVE City: PITTSBURGH State: PA Zip Code: 15116

Applicant/Contractor ID: (assigned by the City)

3. Development Name: PST RECONSTRUCTION

4. Development Location: PITTSBURGH, PA (OAKLAND)

5. Development Address: 200 LOTHROP ST.

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District: —

Present Use of Site: (Select from attached list) 66. HOSPITAL

7. If a Certificate of Occupancy exists, the following is required: YES

Certificate of Occupancy#: UNKNOWN Date Issued: 1986-87 Existing Use of Property: HOSPITAL

8. Estimated Construction: Start Date: 4/15/15 Occupancy Date: 3/1/16 Project Cost: \$ 30 M

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 66. HOSPITAL

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: REMOVAL OF APPROX. 2/3 OF EXG CHILDREN'S HOSPITAL. RE-DESIGN OF INTERIOR CIRCULATION.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	<u>7/8 500,000</u>	sq ft
Existing to be Retained:	<u>92,110</u>	sq ft
Retained Area to be Renovated:	<u>35,210</u>	sq ft
To be Constructed:	<u>0</u>	sq ft
Building Footprint:	<u>7/8 10,000</u>	sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	12	—	8	—
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

	—	—	—	—

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 7/8 2.8 ACRES sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	—	—
Compact (7 1/4' x 16')	—	—
Handicap (13 1/2' x 19')	—	—

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

0 New Water Service Connection(s) 0 Termination of Existing Water Service Tap(s)
0 New Sewer Service Connection(s) 0 Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO **DECREASE BOTH.**

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

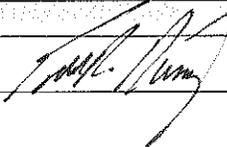
- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs. **ATWOOD INTERSECTION @ FIFTH AVE**
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way. **DURING CONSTRUCTION.**
- The proposed work includes the excavation of a City street or sidewalk. **YES**
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

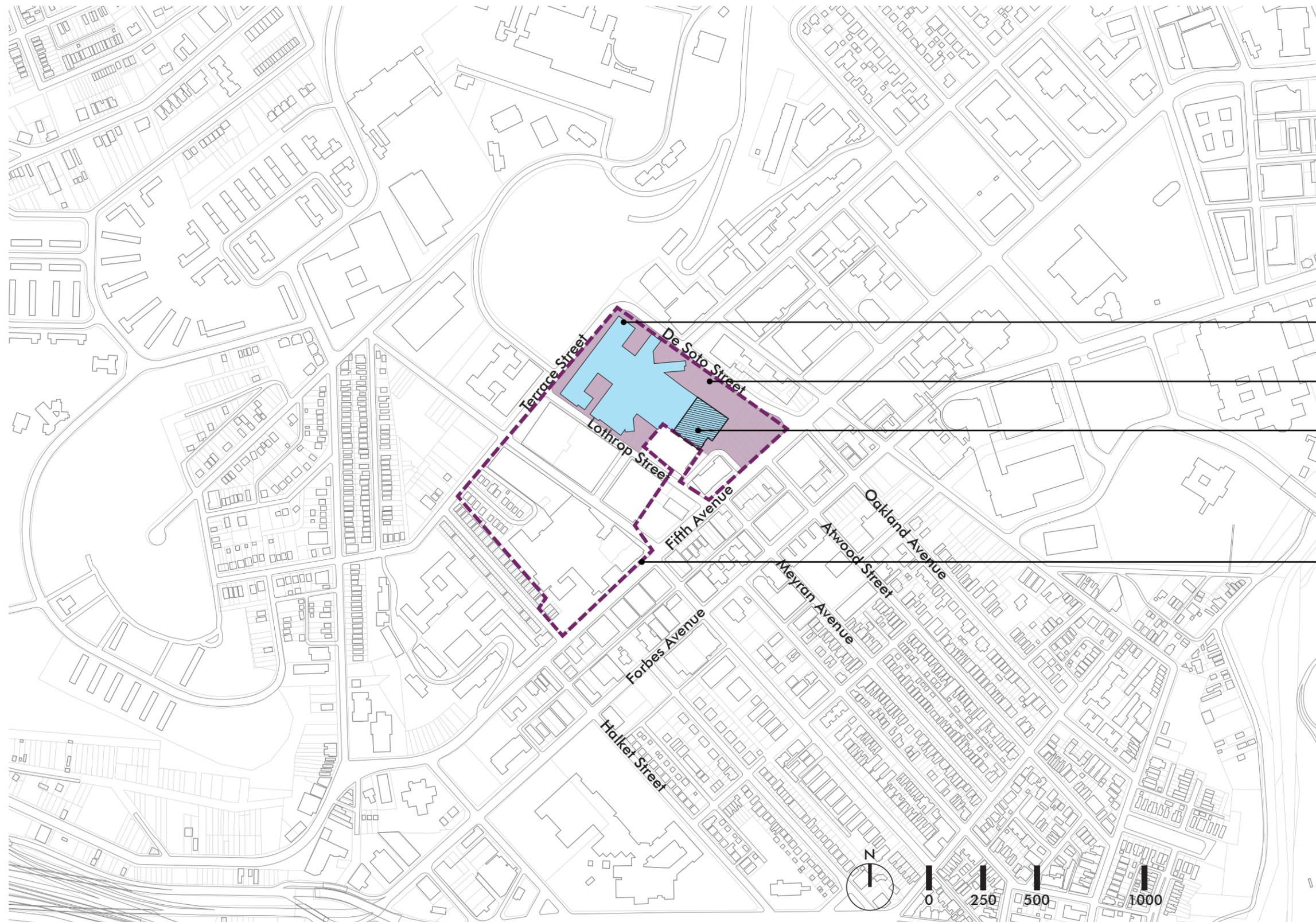
Applicant Signature: 

UPMC PRESBYTERIAN HOSPITAL
SOUTH TOWER DECONSTRUCTION

DESIGN REVIEW PRESENTATION

UPMC Presbyterian Hospital
27 January 2015





UPMC Presbyterian and Garage

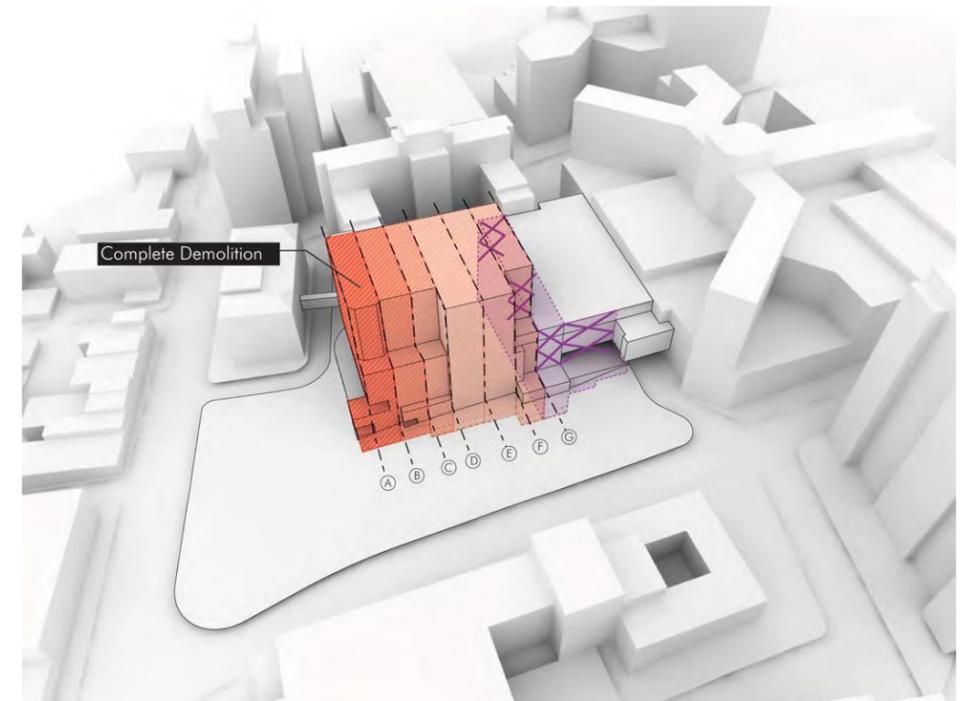
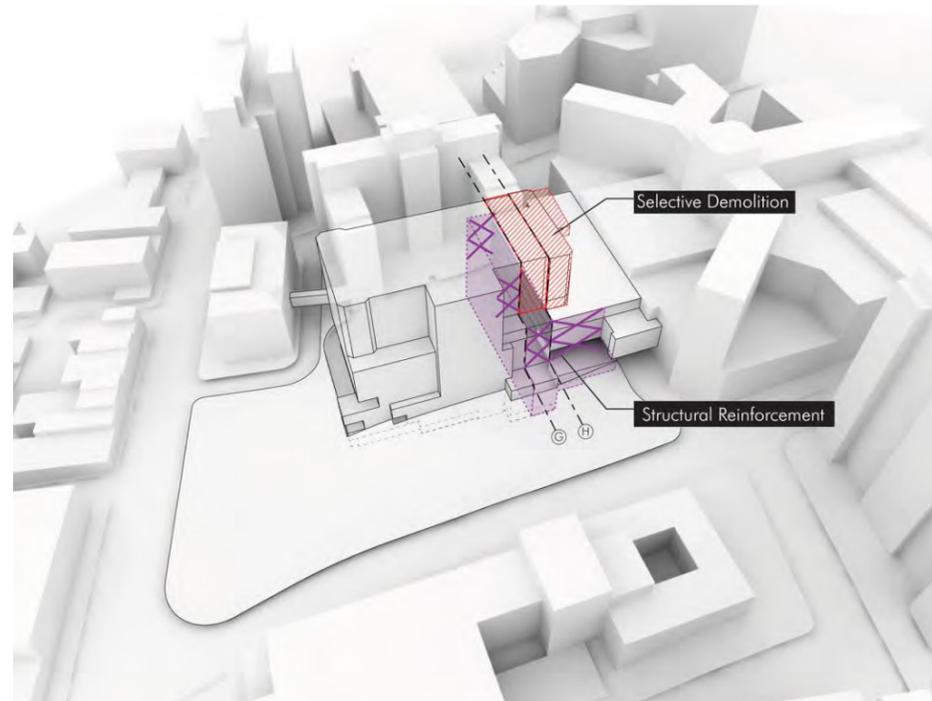
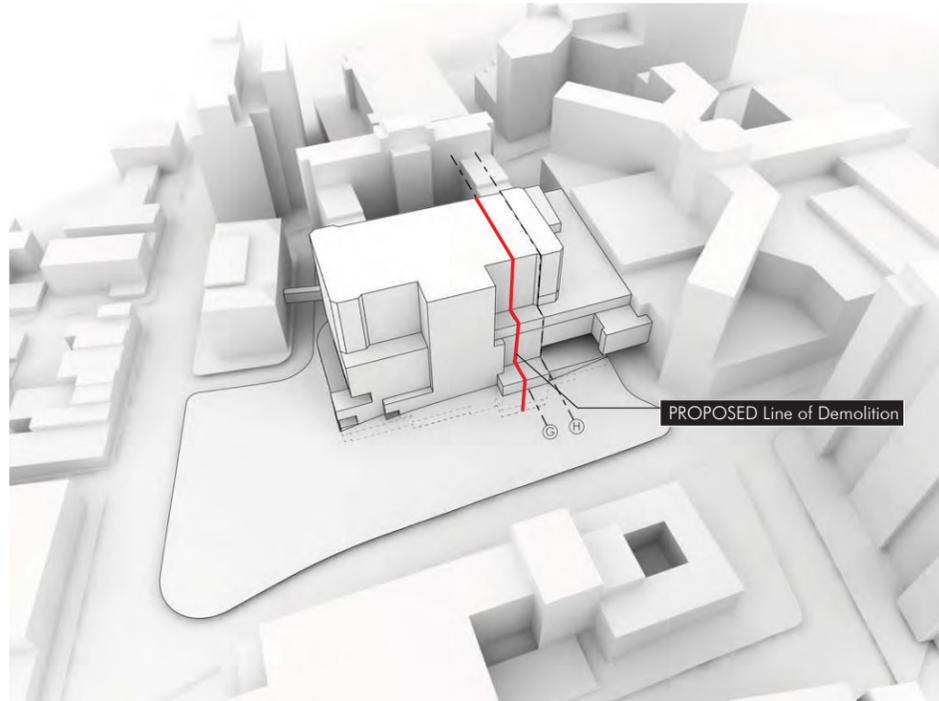
UPMC Property

Presbyterian South Tower Deconstruction

UPMC Oakland Campus

LOCATION MAP | DOCUMENTATION

UPMC Presbyterian Hospital | PST Deconstruction



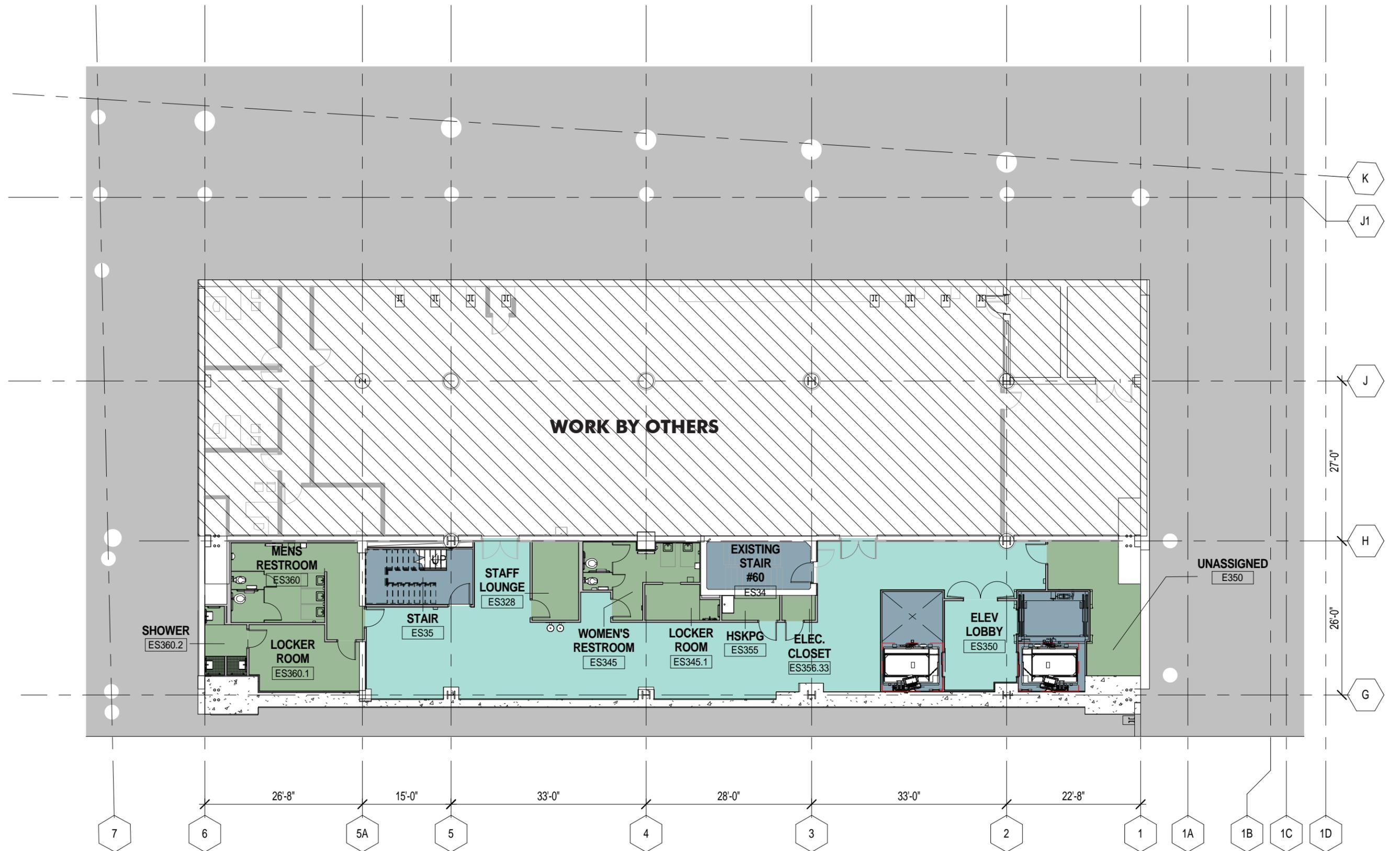
DECONSTRUCTION SEQUENCING | INFORMATION

UPMC Presbyterian Hospital | PST Deconstruction

Page 3
27 January 2015

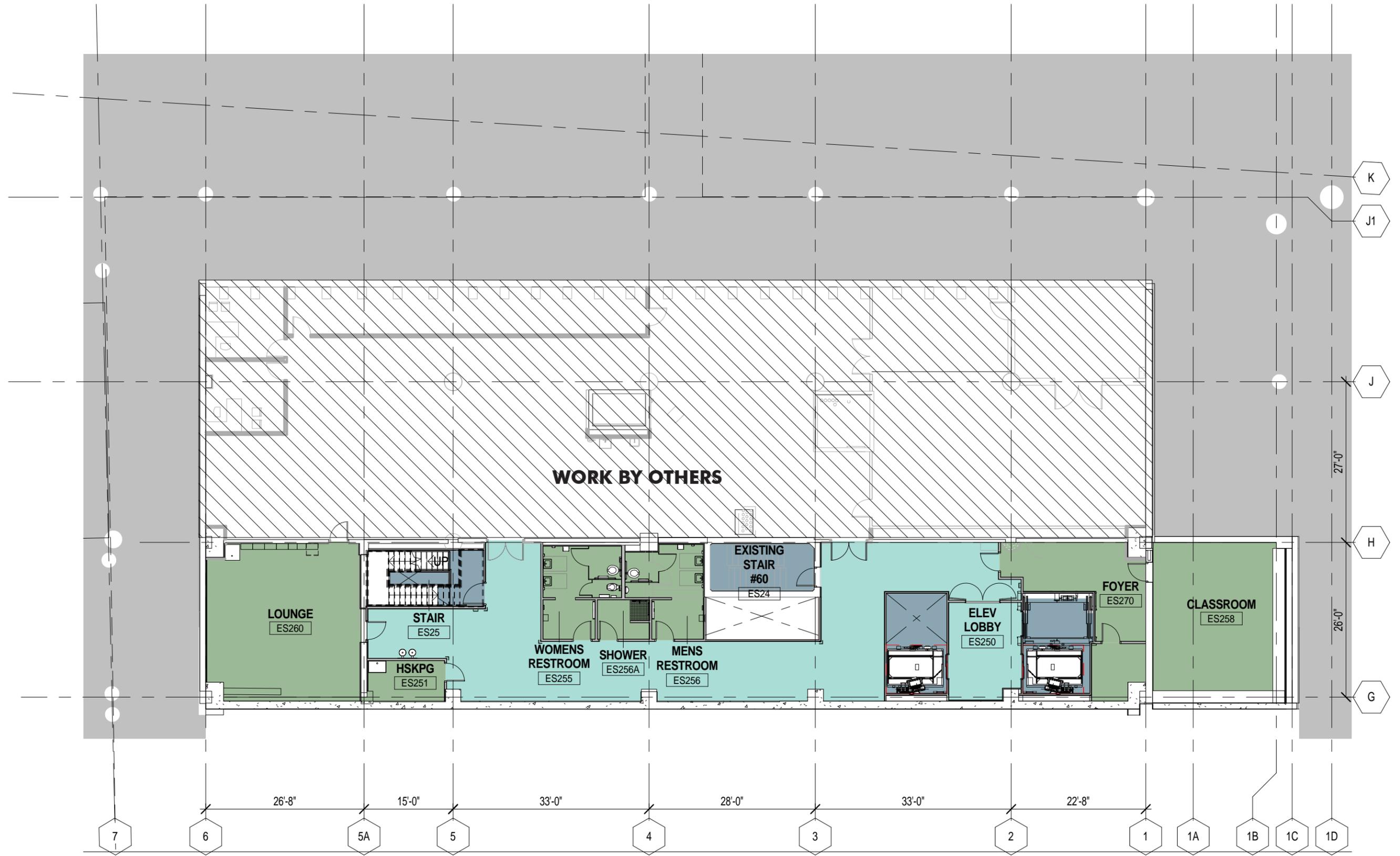
UPMC LIFE CHANGING MEDICINE





LEVEL S3 FLOOR PLAN | DRAWINGS
 UPMC Presbyterian Hospital | PST Deconstruction

- CIRCULATION
- VERTICAL CIRCULATION
- NON-CLINICAL



LEVEL S2 FLOOR PLAN | DRAWINGS

UPMC Presbyterian Hospital | PST Deconstruction

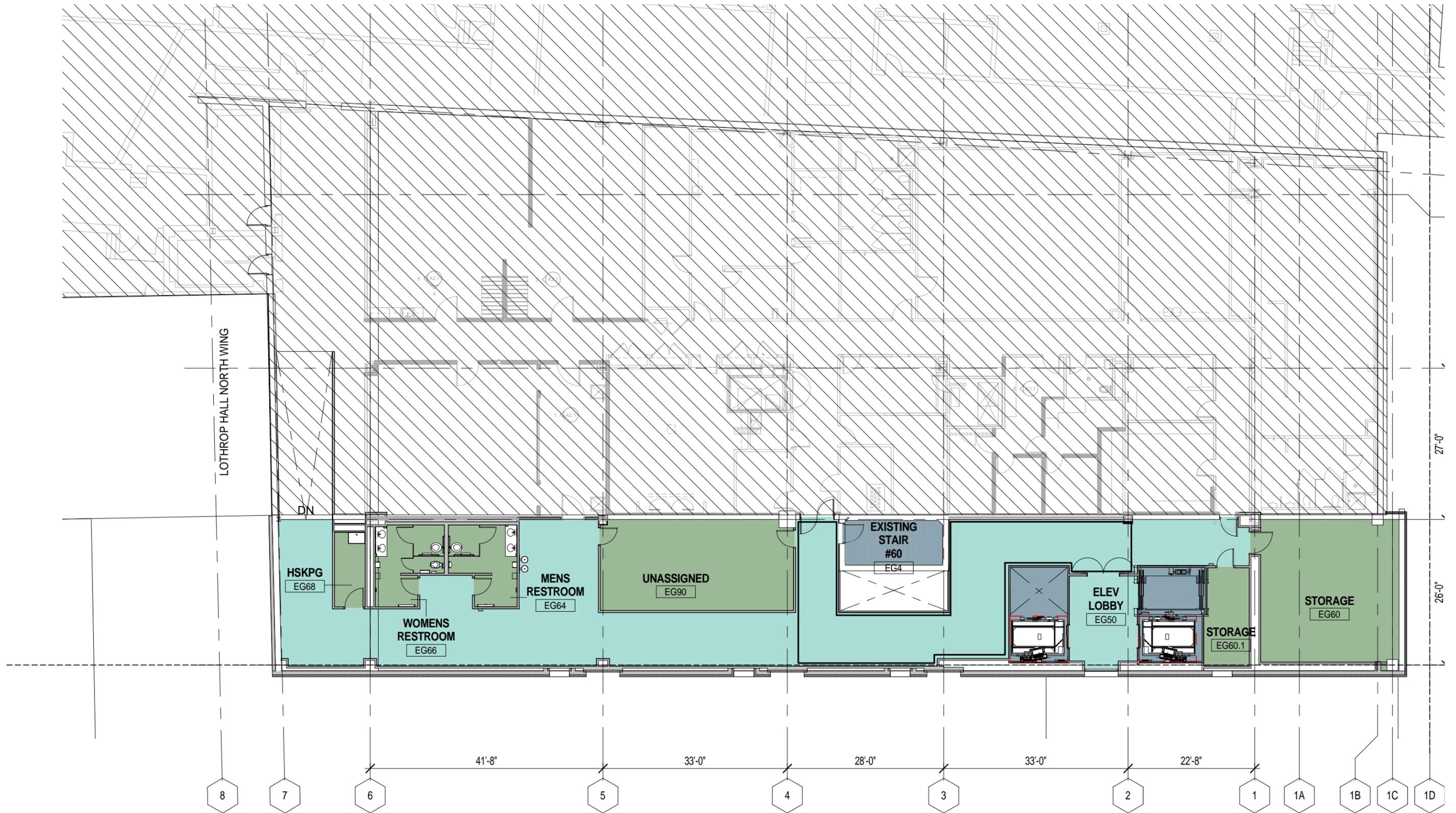
- CIRCULATION
- VERTICAL CIRCULATION
- NON-CLINICAL



LEVEL S1 FLOOR PLAN | DRAWINGS

UPMC Presbyterian Hospital | PST Deconstruction

- CIRCULATION
- VERTICAL CIRCULATION
- NON-CLINICAL

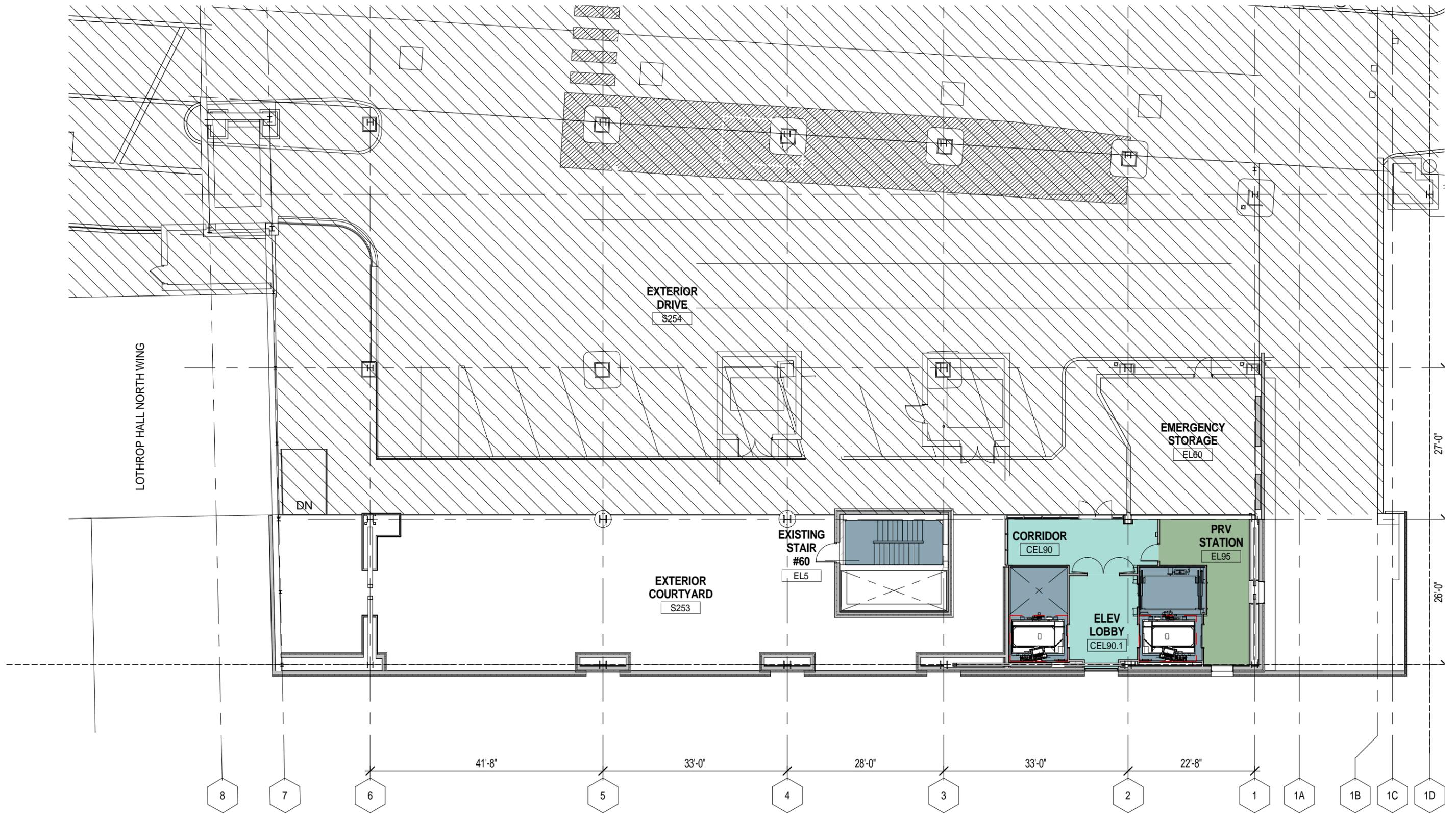


LEVEL G - FINISHED PI

LEVEL G FLOOR PLAN | DRAWINGS

UPMC Presbyterian Hospital | PST Deconstruction

- CIRCULATION
- VERTICAL CIRCULATION
- NON-CLINICAL



I FVFI I - FNI ARGFD PI

LEVEL L FLOOR PLAN | DRAWINGS

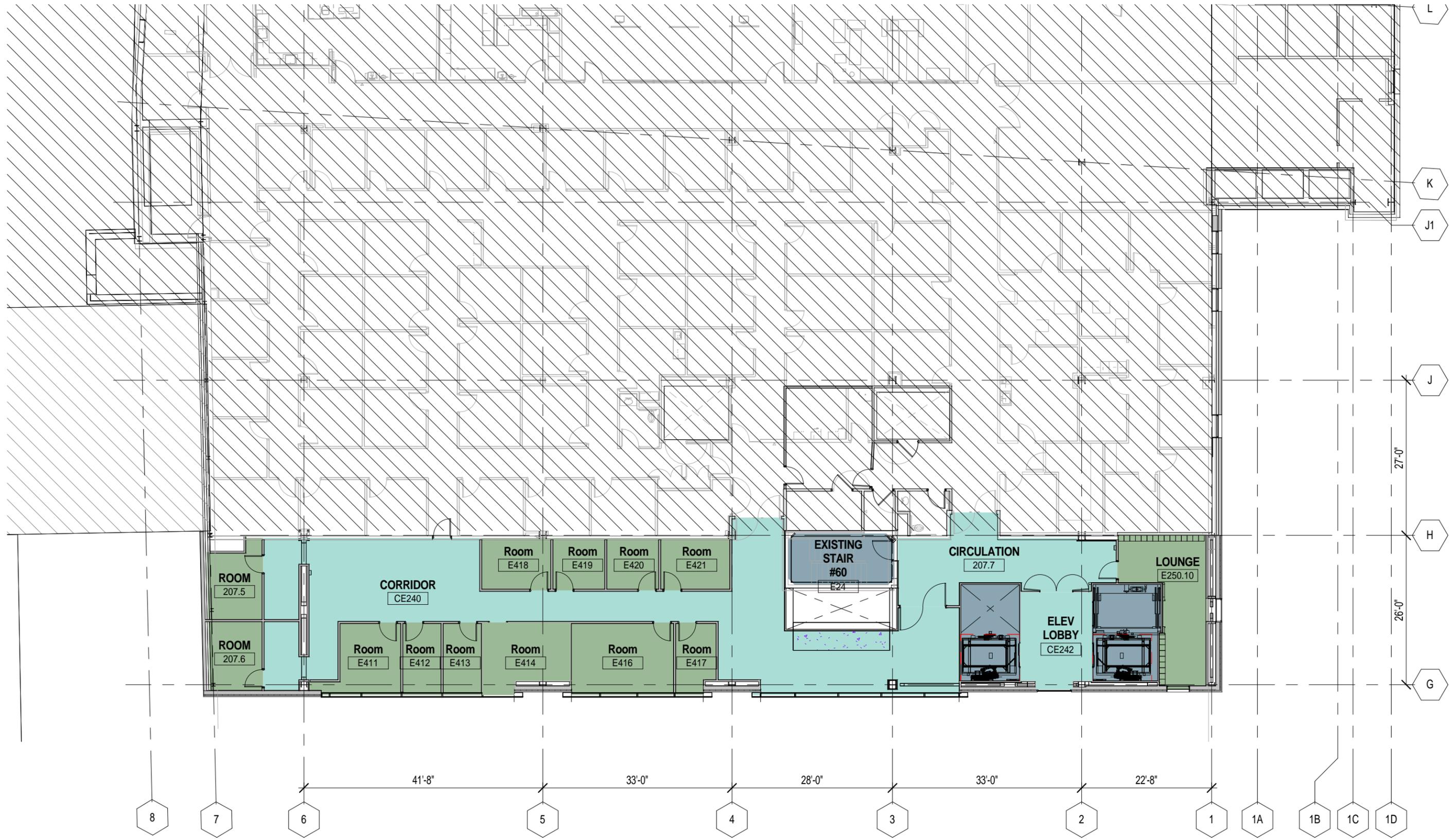
UPMC Presbyterian Hospital | PST Deconstruction

- CIRCULATION
- VERTICAL CIRCULATION
- NON-CLINICAL



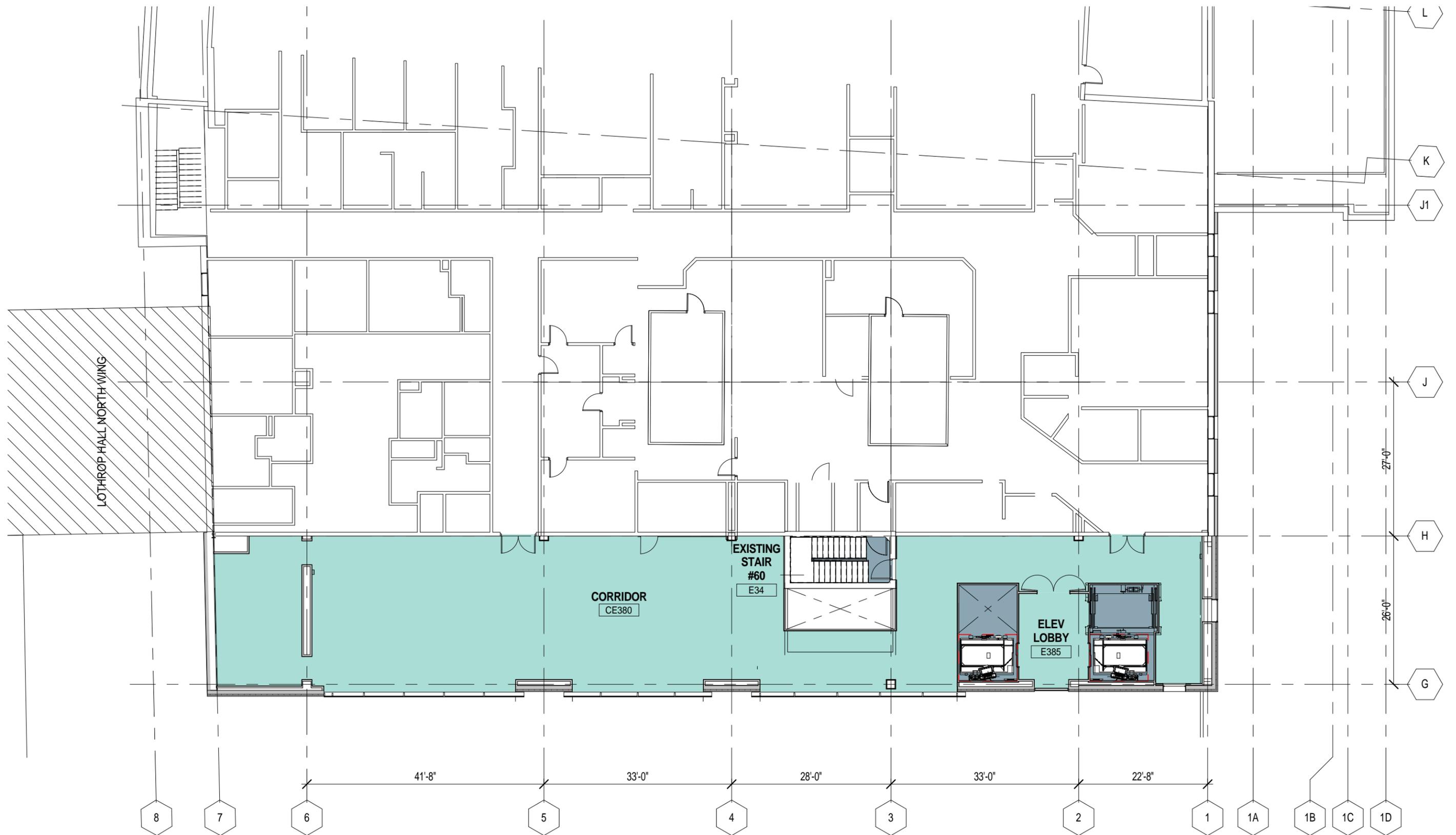
LEVEL 1 FLOOR PLAN | DRAWINGS
 UPMC Presbyterian Hospital | PST Deconstruction

- CIRCULATION
- VERTICAL CIRCULATION
- NON-CLINICAL



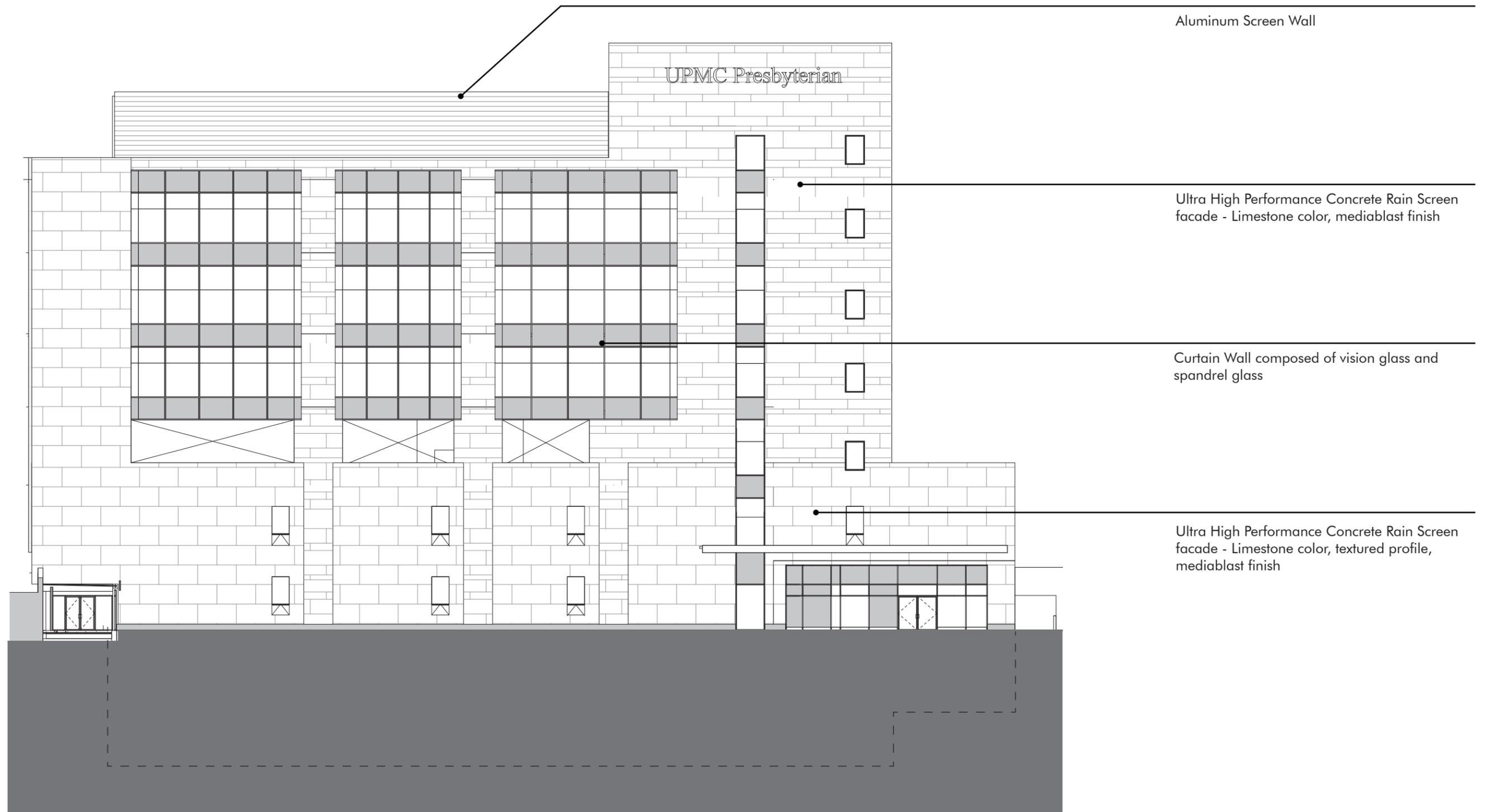
LEVEL 2 FLOOR PLAN | DRAWINGS
 UPMC Presbyterian Hospital | PST Deconstruction

- CIRCULATION
- VERTICAL CIRCULATION
- NON-CLINICAL



LEVEL 3 FLOOR PLAN | DRAWINGS
 UPMC Presbyterian Hospital | PST Deconstruction

- CIRCULATION
- VERTICAL CIRCULATION
- NON-CLINICAL



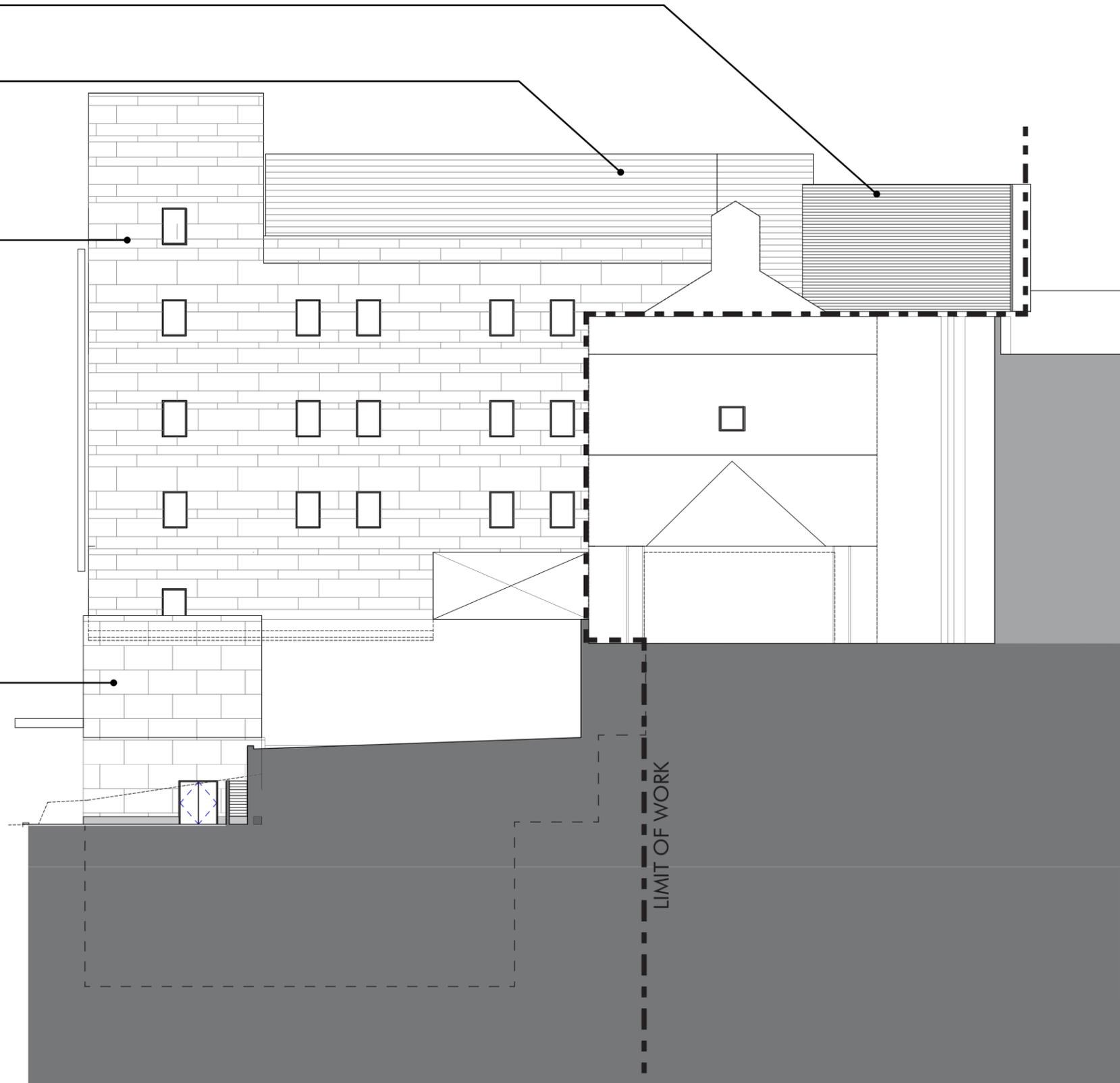
SOUTH ELEVATION | DRAWINGS
 UPMC Presbyterian Hospital | PST Deconstruction

Aluminum Louver Screen Wall

Aluminum Screen Wall

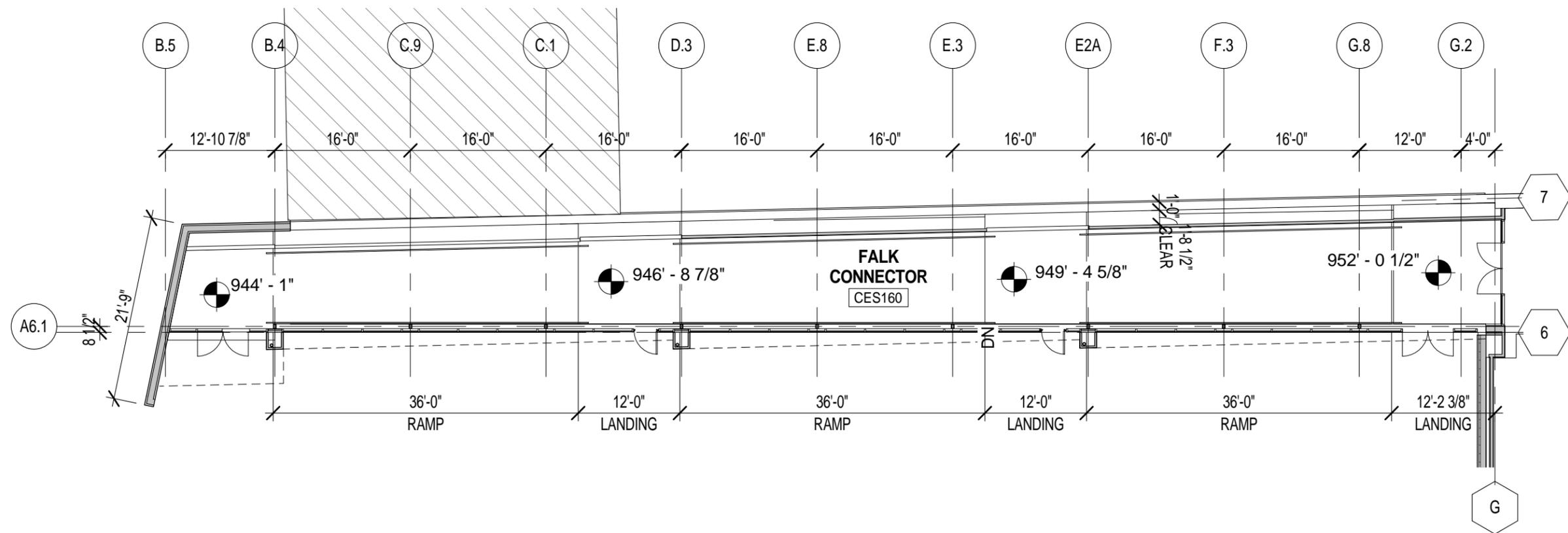
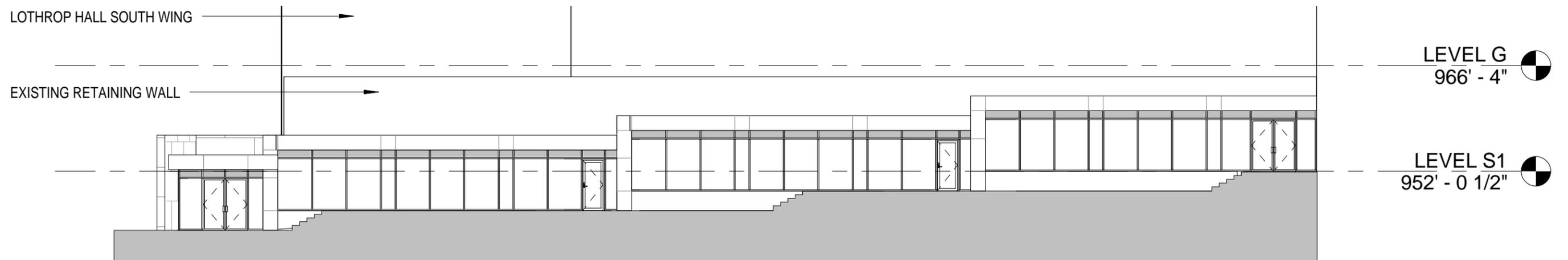
Ultra High Performance Concrete Rain Screen facade - Limestone color, mediablast finish

Ultra High Performance Concrete Rain Screen facade - Limestone color, textured profile, mediablast finish



SOUTH ELEVATION | DRAWINGS

UPMC Presbyterian Hospital | PST Deconstruction





Ultra High Performance Concrete Rain Screen facade - Limestone color, mediablast finish

Curtain Wall composed of vision glass and spandrel glass

Ultra High Performance Concrete Rain Screen facade - Limestone color, textured profile, mediablast finish

ENLARGED FACADE DETAIL | RENDERING

UPMC Presbyterian Hospital | PST Deconstruction

Page 8
27 January 2015

UPMC LIFE
CHANGING
MEDICINE

GBBN
architects



LEGEND:

- ① BRT STATION
- ② VEHICLE ACCESS
- ③ AMBULANCE TRANSFER / SERVICE COURT
- ④ VALET DROP-OFF
- ⑤ ENTRY PLAZA
- ⑥ SIGNAGE / KIOSK
- ⑦ BUILDING ENTRANCE
- ⑧ SITE WALLS
- ⑨ MIXED STORY PLANTING
- ⑩ LAWN
- ⑪ STORMWATER RAIN GARDENS
- ⑫ FALK CONNECTOR

SITE DESIGN | SITE PLAN

UPMC Presbyterian Hospital | PST Deconstruction



METAL

CONCRETE
UNIT PAVER

BLUESTONE

ASPHALT
UNIT PAVER

Landscape / Hardscape Materials



UHPC PANEL -
TEXTURED & MEDIABLAST

UHPC PANEL -
MEDIABLAST

ALUMINUM

SPANDREL GLASS

VISION GLASS

Building Facade Materials



VIEW FROM FIFTH AVENUE | RENDERING

UPMC Presbyterian Hospital | PST Deconstruction

Page 18
27 January 2015

UPMC LIFE
CHANGING
MEDICINE

GBBN
architects



SITE VIEW | RENDERING

UPMC Presbyterian Hospital | PST Deconstruction

Page 19
27 January 2015

UPMC LIFE
CHANGING
MEDICINE

GBBN
architects



NIGHT VIEW | RENDERING
UPMC Presbyterian Hospital | PST Deconstruction



SITE VIEW FROM DE SOTO ST | RENDERING

UPMC Presbyterian Hospital | PST Deconstruction

Page 21
27 January 2015

UPMC LIFE
CHANGING
MEDICINE

GBBN
architects



SITE VIEW FROM DE SOTO ST | RENDERING

UPMC Presbyterian Hospital | PST Deconstruction

Page 22
27 January 2015

UPMC LIFE
CHANGING
MEDICINE

GBBN
architects



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Sports & Exhibition Authority **Phone Number:** (412 393-0200

Address: 171 10th Street, 2nd Flr City: Pittsburgh State: PA Zip Code: 15222

2. Applicant/Company Name: CRG-PAR JV, LP **Phone Number:** (312 229-6448

Address: 2199 Innerbelt Business Ctr Dr City: St. Louis State: Missouri Zip Code: 63114

Applicant/Contractor ID:(assigned by the City) TBD

3. Development Name: U.S. Steel Headquarters

4. Development Location: Block D Lower Hill District

5. Development Address: TBD

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District: **SP-11**

Present Use of Site:
(Select from attached list) **84**

7. If a Certificate of Occupancy exists, the following is required: N/A

Certificate of Occupancy#: Date Issued: Existing Use of Property:

8. Estimated Construction: Start Date: **4TH Q2015** Occupancy Date: **8/ 1 /17** Project Cost: \$ **Confidential**

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **82 & 106**

10. Select the Type of Work:

- | | |
|---|--|
| <input checked="" type="checkbox"/> New Construction, New | <input type="checkbox"/> Renovation, Interior |
| <input type="checkbox"/> New Construction, | <input type="checkbox"/> Renovation, Exterior |
| <input type="checkbox"/> Change in Use Only | <input type="checkbox"/> Renovation, Change in Use |

11. Describe the Development:

We are proposing a mixed use, office and retail, development in the Lower Hill Planned Development District.

See FLDP Submittal for Additional Information

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 1 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: _____ sq ft
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: _____ sq ft
 To be Constructed: 285,000 sq ft
 Building Footprint: 57,000 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure			5	77' - 6"
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: None

17. Lot Area: D1 = 82,328.4 sq ft 97,138.8
D2 = 14,810.4

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: 2
 Required: 4

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u>1</u>	New Water Service Connection(s)	_____	Termination of Existing Water Service Tap(s)
<u>1</u>	New Sewer Service Connection(s)	_____	Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

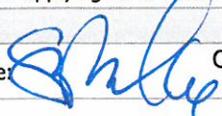
- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visibility Tax Credit? Yes No

Applicant Signature:  Chris McKee, President of CRG Services Management, LLC, manager of CRG-Andrew, LLC, the general partner of the applicant



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

FLOP ~~15-002~~ #15-002

Date Filed:

1/7/15

RL

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Housing Authority - City of Pittsburgh		Phone Number: (412) 456-5050	
Address: 200 Ross Street	City: Pittsburgh	State: Pennsylvania	Zip Code: 15219
2. Applicant/Company Name: KBK Enterprises		Phone Number: (412) 363-4401	
Address: 1300 Brighton Road	City: Pittsburgh	State: Pennsylvania	Zip Code: 15233
Applicant/Contractor ID:(assigned by the City) N/A			
3. Development Name: Skyline Terrace Phase 2 (second phase of the redevelopment of former Addison Terrace community)			
4. Development Location: Bentley Drive between Reed Street and Kirkpatrick Street, Hill District			
5. Development Address: To Be Determined			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	No Change (currently RP District)		
Present Use of Site: (Select from attached list)	5 (Multi-unit Residential)		
7. If a Certificate of Occupancy exists, the following is required: N/A (all existing buildings demolished)			
Certificate of Occupancy #:	N/A	Date Issued:	N/A
		Existing Use of Property:	Residential
8. Estimated Construction:	Start Date: July 2015	Occupancy Date: Dec 31, 2016	Project Cost: \$20M
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): 5 (Multi-unit Residential)			
10. Select the Type of Work:			
<input checked="" type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development:			
Construction of (90) new residential, rental apartment units within (9) new structures, associated private parking lots, sidewalks, (1) maintenance garage and landscaping, as well as the rehabilitation of the existing Bentley Drive public right-of-way.			
12. Is a Land Operations Permit needed? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u>20</u>	New Water Service Connection(s)	<u>1</u>	Termination of Existing Water Service Tap(s)
<u>20</u>	New Sewer Service Connection(s)	<u>1</u>	Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO New development will decrease consumption/discharge

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: Nisha Neumann - KBK Enterprises LLC



Skyline Terrace Phase II
"Formerly Addison Terrace"
Planning Commission Briefing
March 10, 2015



KBK Enterprises



Housing Authority of the City of Pittsburgh



Allies and Ross Management And Development Corporation



RDL Architects, Inc



LaQuatra Bonci Associates



Gateway Engineers



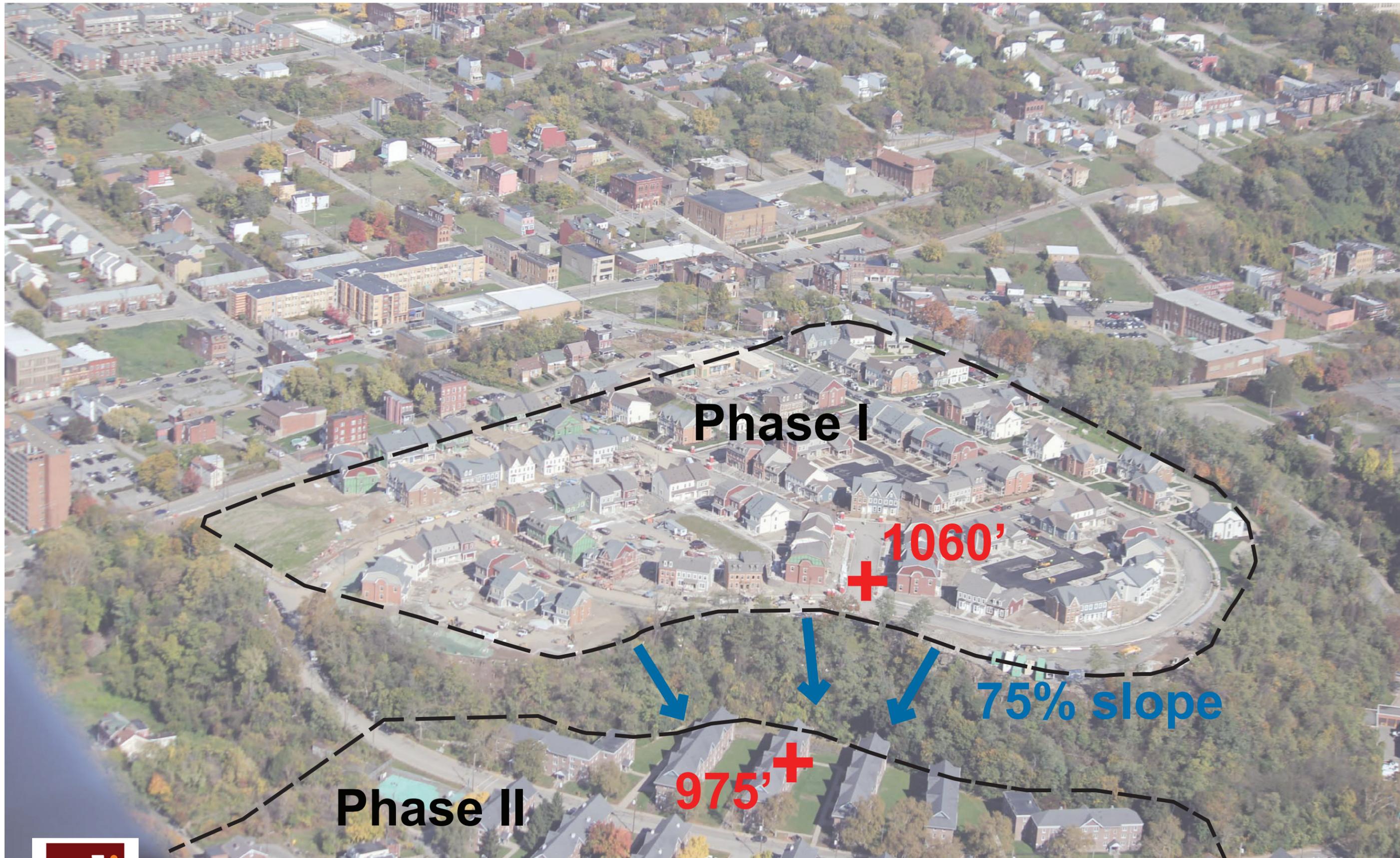
Skyline Terrace Phase II:
Planning Commission Briefing - March 10, 2015











Phase I

1060'

75% slope

Phase II

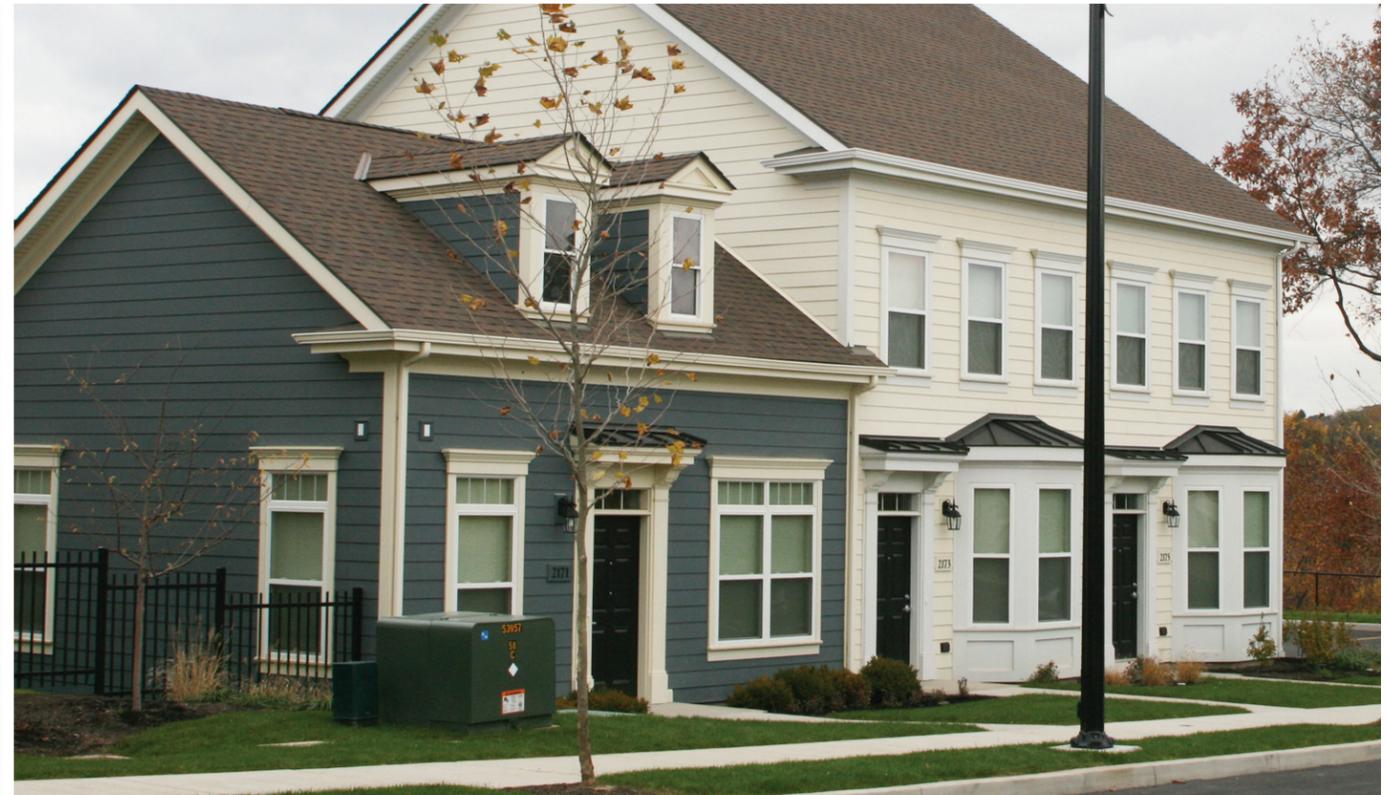
975'



Skyline Terrace Phase II:
Planning Commission Briefing - March 10, 2015

Topography















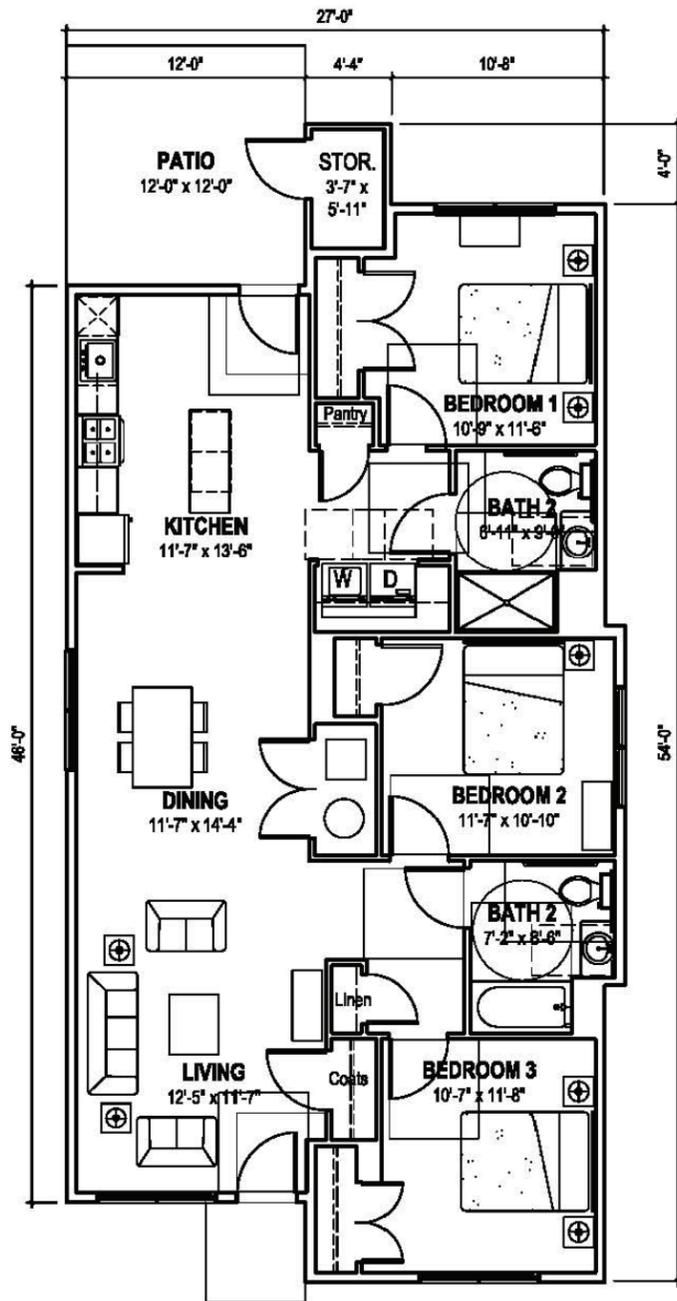


Apartment Buildings
 (54) Units/ (6) Accessible

Townhomes
 (36) Units (4) Accessible

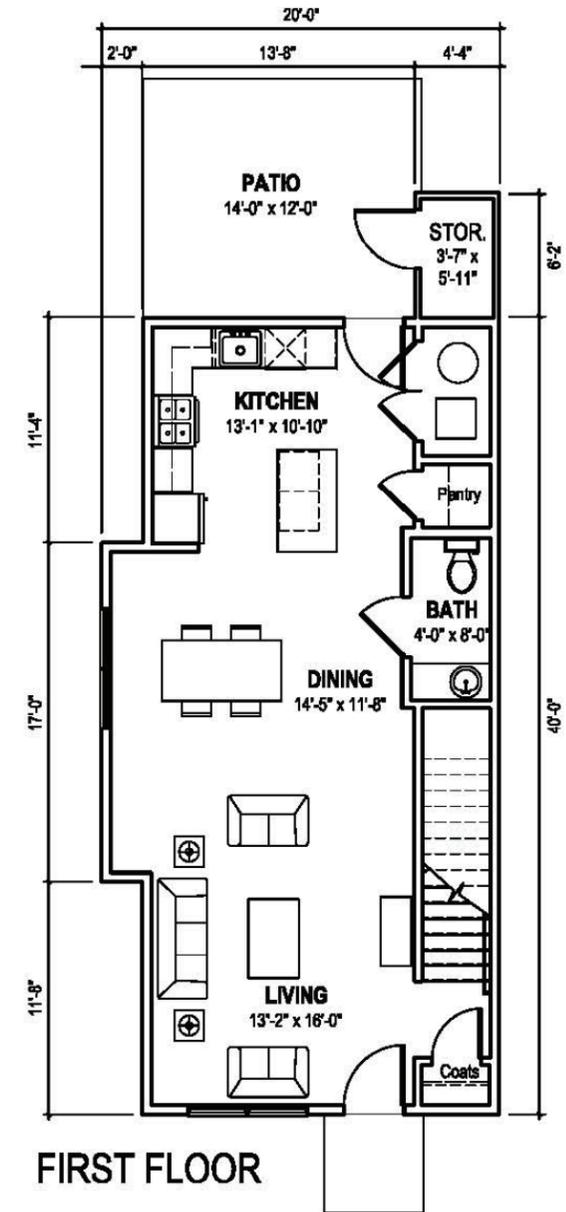






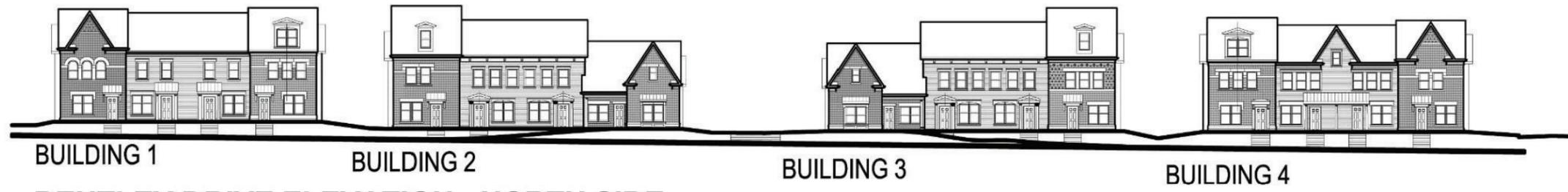
THREE-BEDROOM ACCESSIBLE

1,296 sq. ft. net area
1,403 sq. ft. gross area



FIRST FLOOR

THREE-BEDROOM TOWNHOME



BENTLEY DRIVE ELEVATION - NORTH SIDE

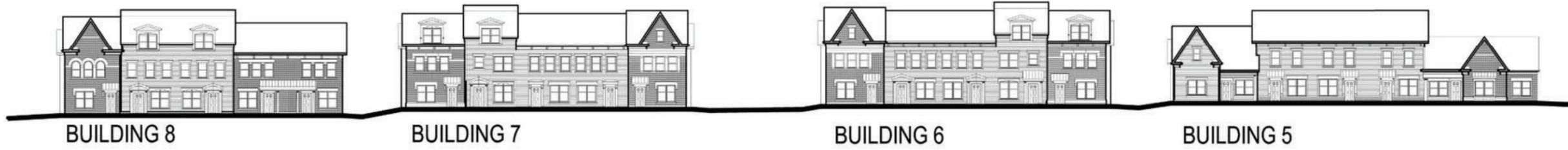


BUILDING 1



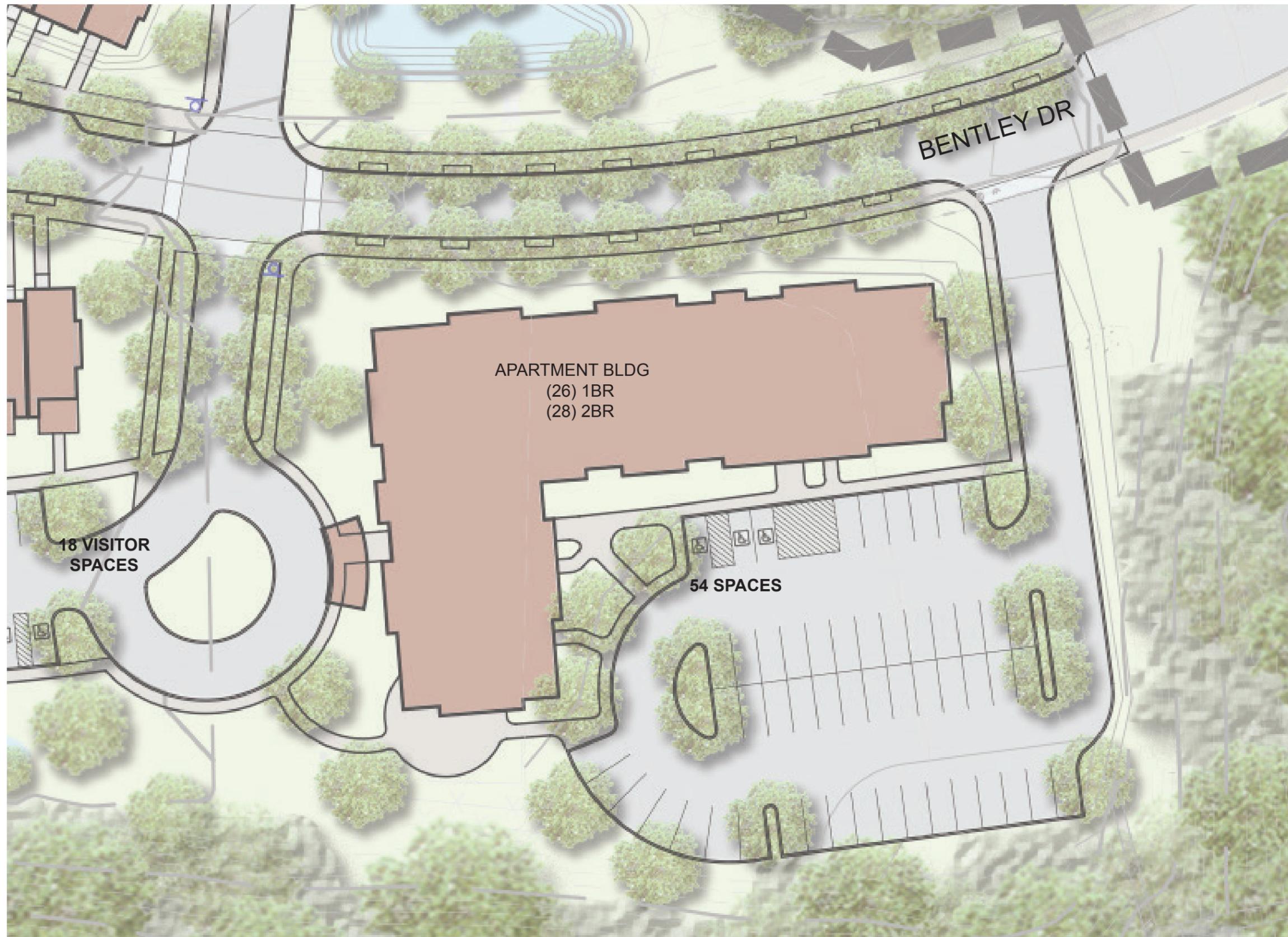
BUILDING 2

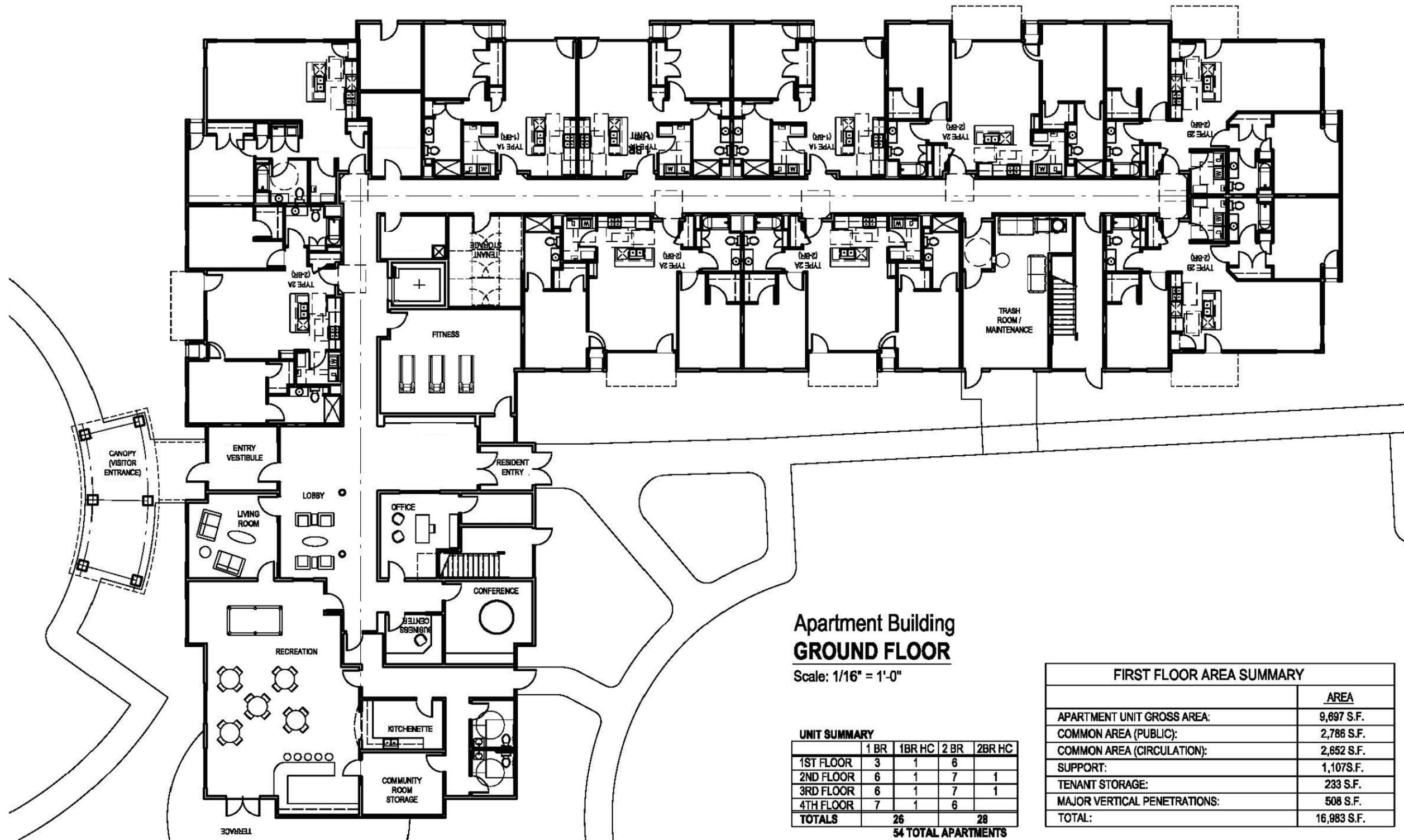




BENTLEY DRIVE ELEVATION - SOUTH SIDE







**Apartment Building
GROUND FLOOR**

Scale: 1/16" = 1'-0"

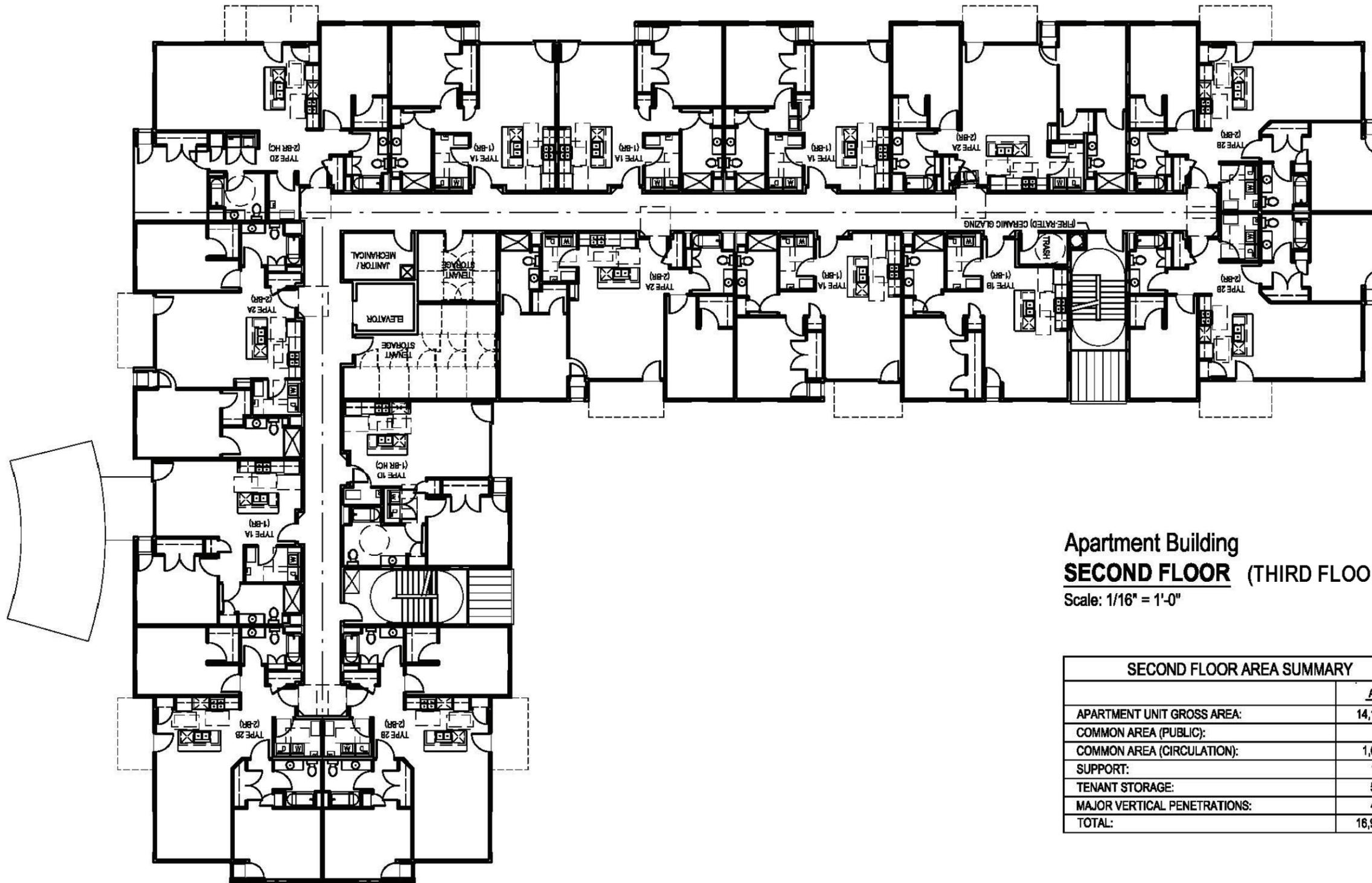
UNIT SUMMARY

	1 BR	1BR HC	2 BR	2BR HC
1ST FLOOR	3	1	6	
2ND FLOOR	6	1	7	1
3RD FLOOR	6	1	7	1
4TH FLOOR	7	1	6	
TOTALS	26		28	

54 TOTAL APARTMENTS

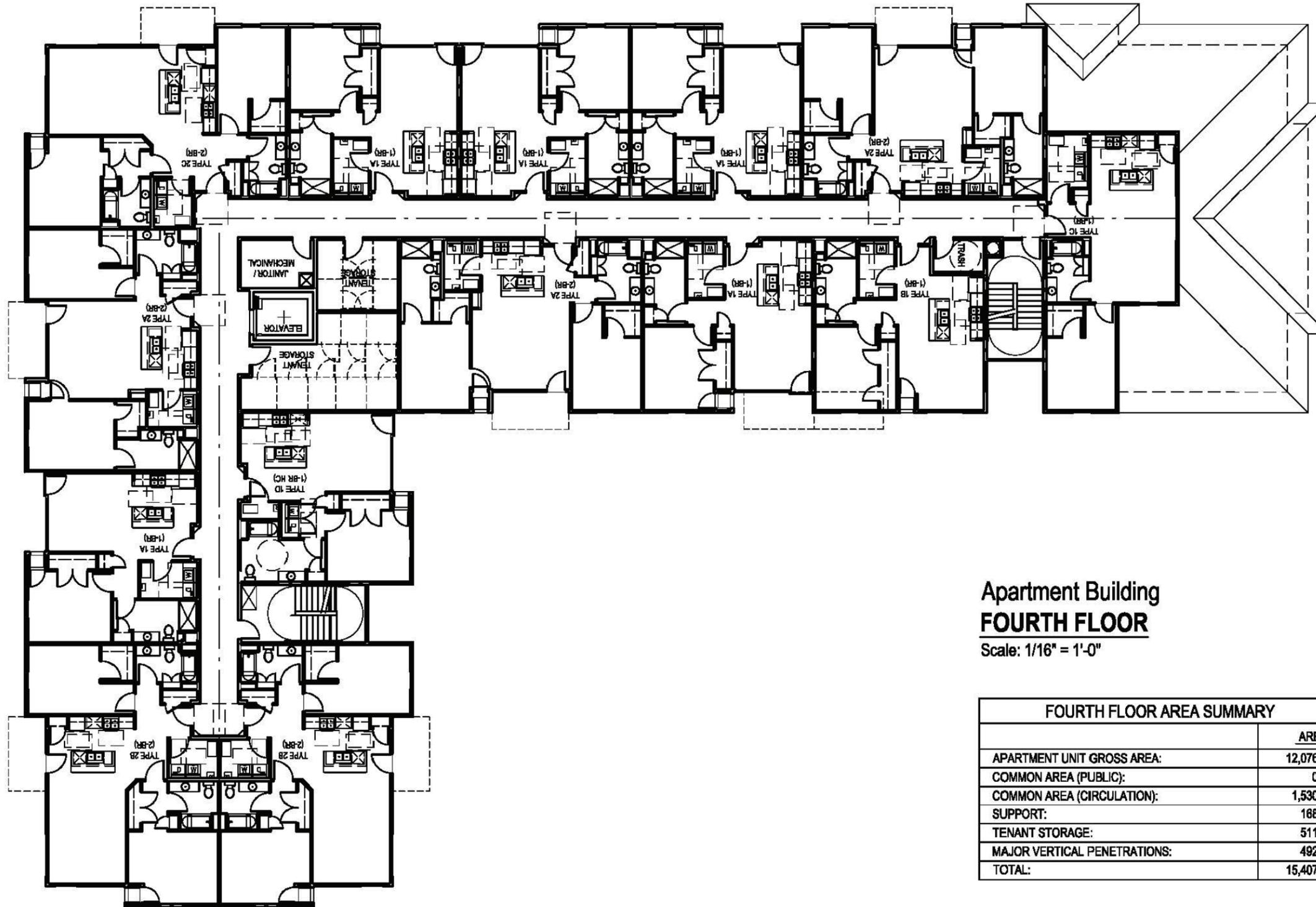
FIRST FLOOR AREA SUMMARY

	AREA
APARTMENT UNIT GROSS AREA:	9,697 S.F.
COMMON AREA (PUBLIC):	2,786 S.F.
COMMON AREA (CIRCULATION):	2,652 S.F.
SUPPORT:	1,107S.F.
TENANT STORAGE:	233 S.F.
MAJOR VERTICAL PENETRATIONS:	508 S.F.
TOTAL:	16,983 S.F.



Apartment Building
SECOND FLOOR (THIRD FLOOR SIMILAR)
 Scale: 1/16" = 1'-0"

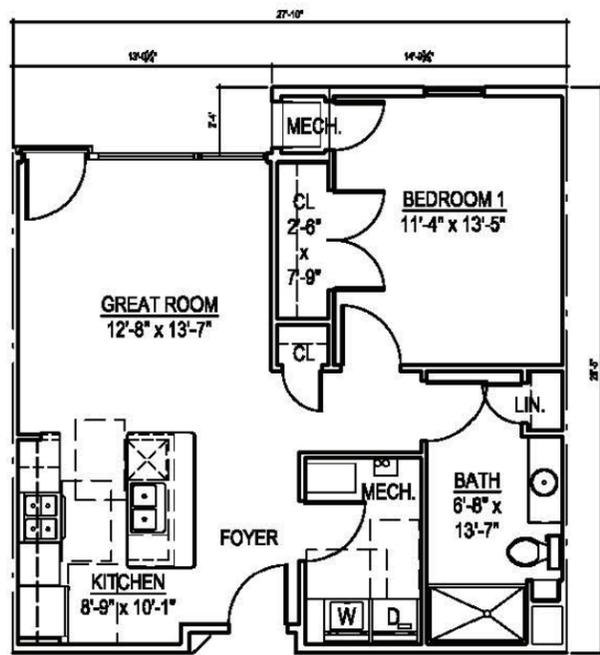
SECOND FLOOR AREA SUMMARY	
	AREA
APARTMENT UNIT GROSS AREA:	14,184 S.F.
COMMON AREA (PUBLIC):	0 S.F.
COMMON AREA (CIRCULATION):	1,628 S.F.
SUPPORT:	168 S.F.
TENANT STORAGE:	511 S.F.
MAJOR VERTICAL PENETRATIONS:	492 S.F.
TOTAL:	16,983 S.F.



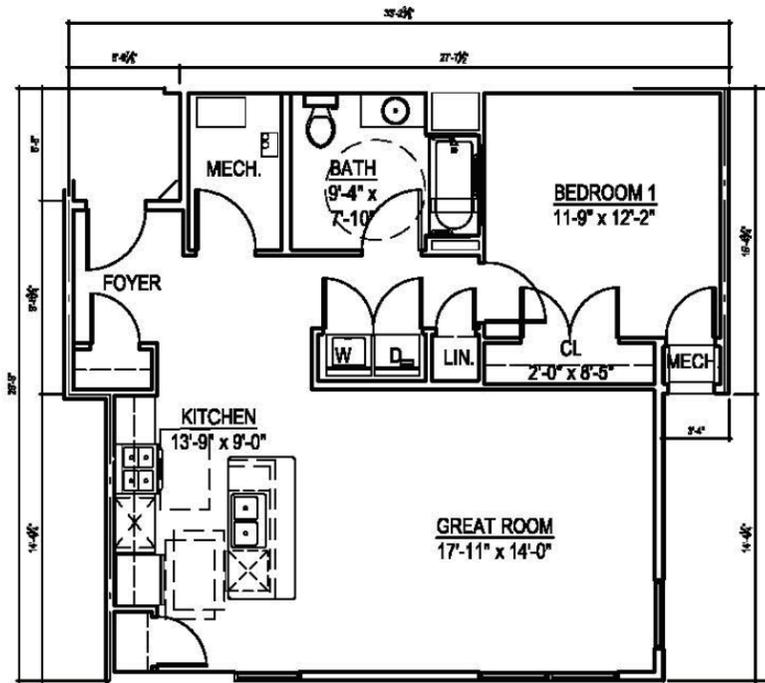
Apartment Building
FOURTH FLOOR

Scale: 1/16" = 1'-0"

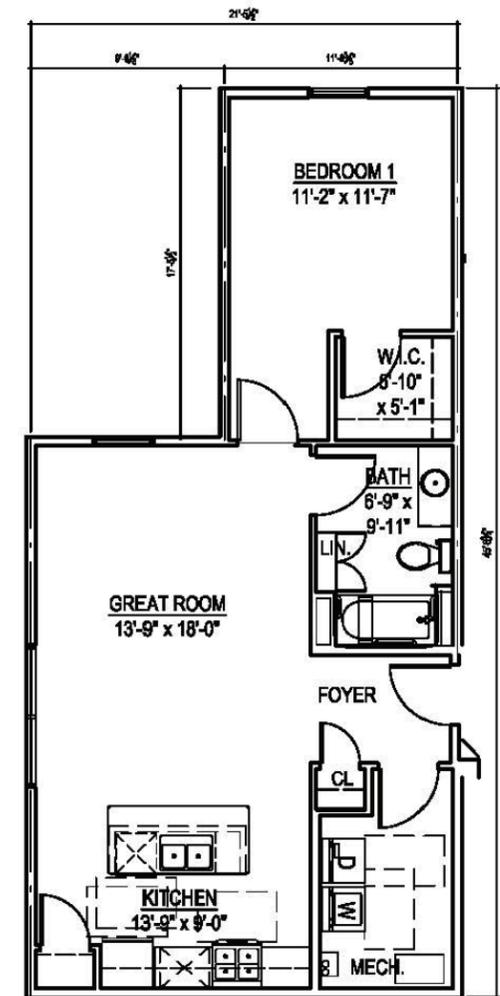
FOURTH FLOOR AREA SUMMARY	
	AREA
APARTMENT UNIT GROSS AREA:	12,076 S.F.
COMMON AREA (PUBLIC):	0 S.F.
COMMON AREA (CIRCULATION):	1,530 S.F.
SUPPORT:	168 S.F.
TENANT STORAGE:	511 S.F.
MAJOR VERTICAL PENETRATIONS:	492 S.F.
TOTAL:	15,407 S.F.



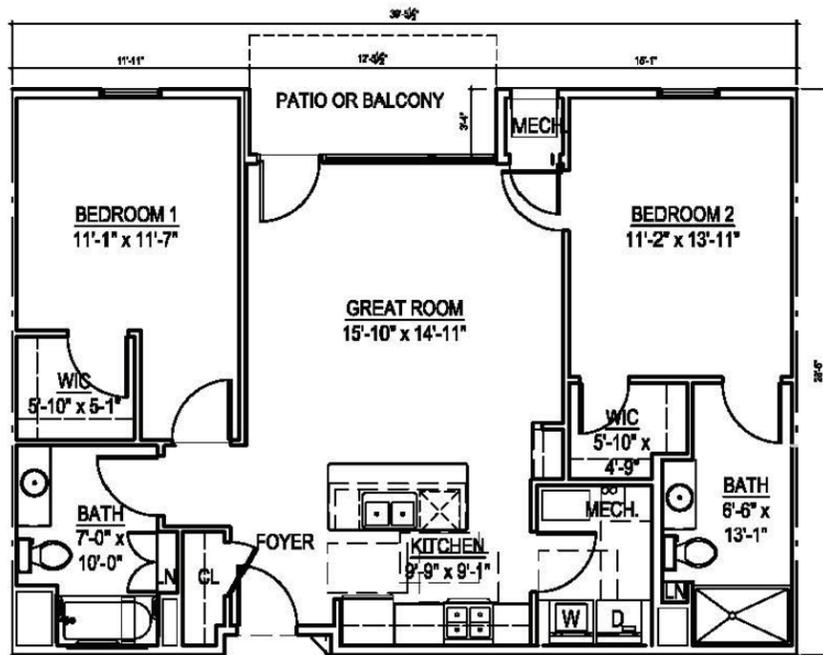
ONE-BEDROOM FLAT - "1A"
703 SQ. FT. NET



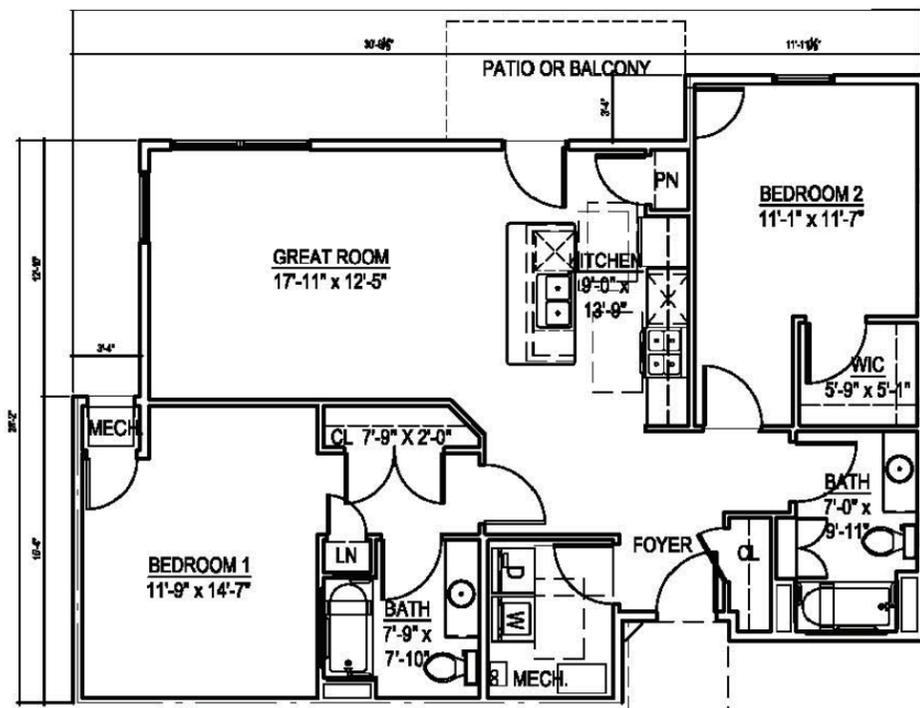
ONE-BEDROOM FLAT - "1E"
834 SQ. FT. NET
ACCESSIBLE UNIT



ONE-BEDROOM FLAT - "1C"
767 SQ. FT. NET



TWO-BEDROOM FLAT - "2A"
1,022 SQ. FT. NET



TWO-BEDROOM FLAT - "2B"
1,092 SQ. FT. NET

APARTMENT BUILDING
TYPICAL FLATS





EAST ELEVATION

Scale: 1/16" = 1'-0"



SOUTH ELEVATION

Scale: 1/16" = 1'-0"





WEST ELEVATION (VISITOR ENTRANCE)

Scale: 1/16" = 1'-0"



NORTH ELEVATION (BENTLEY STREET)

Scale: 1/16" = 1'-0"



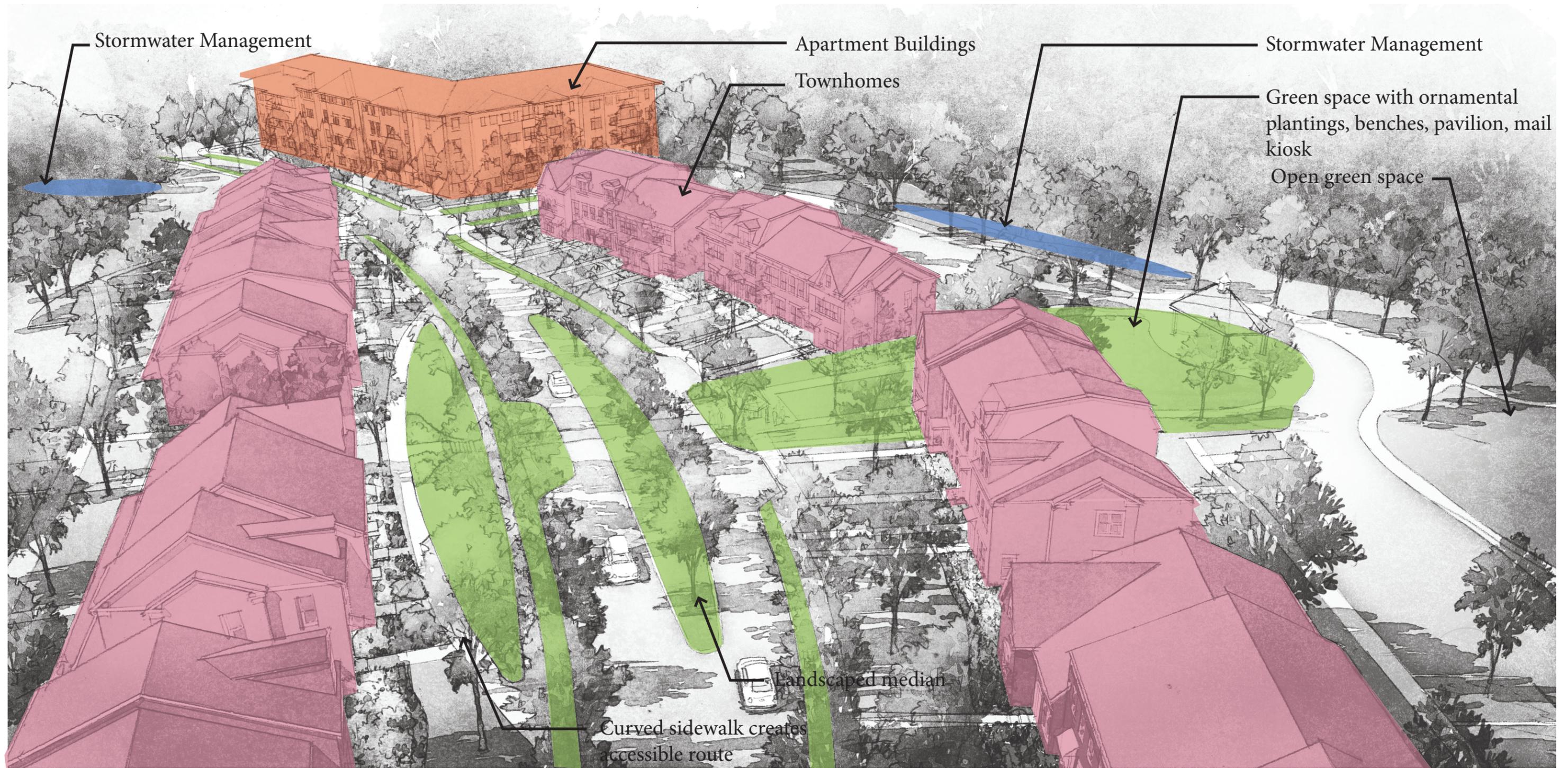


Skyline Terrace Phase II:
Planning Commission Briefing - March 10, 2015

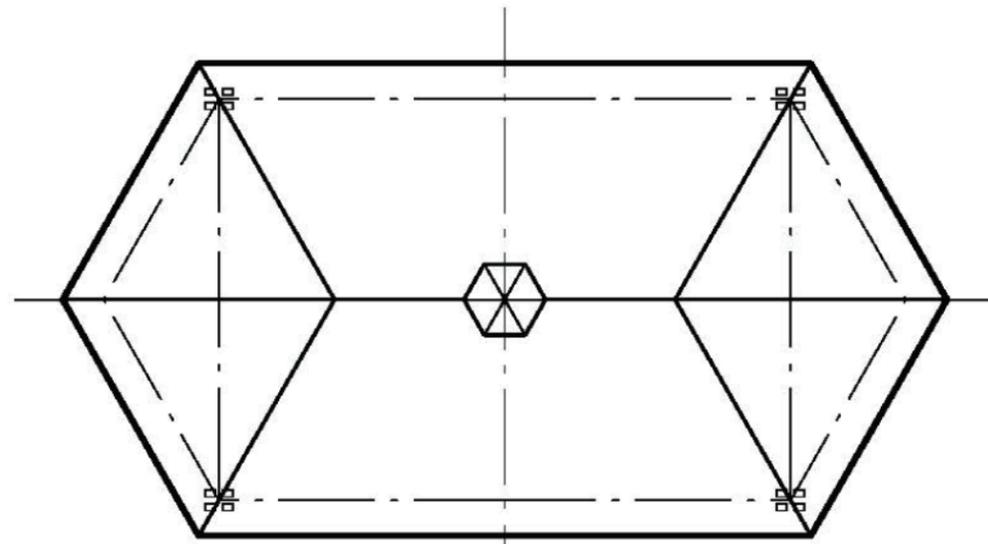
Community Center



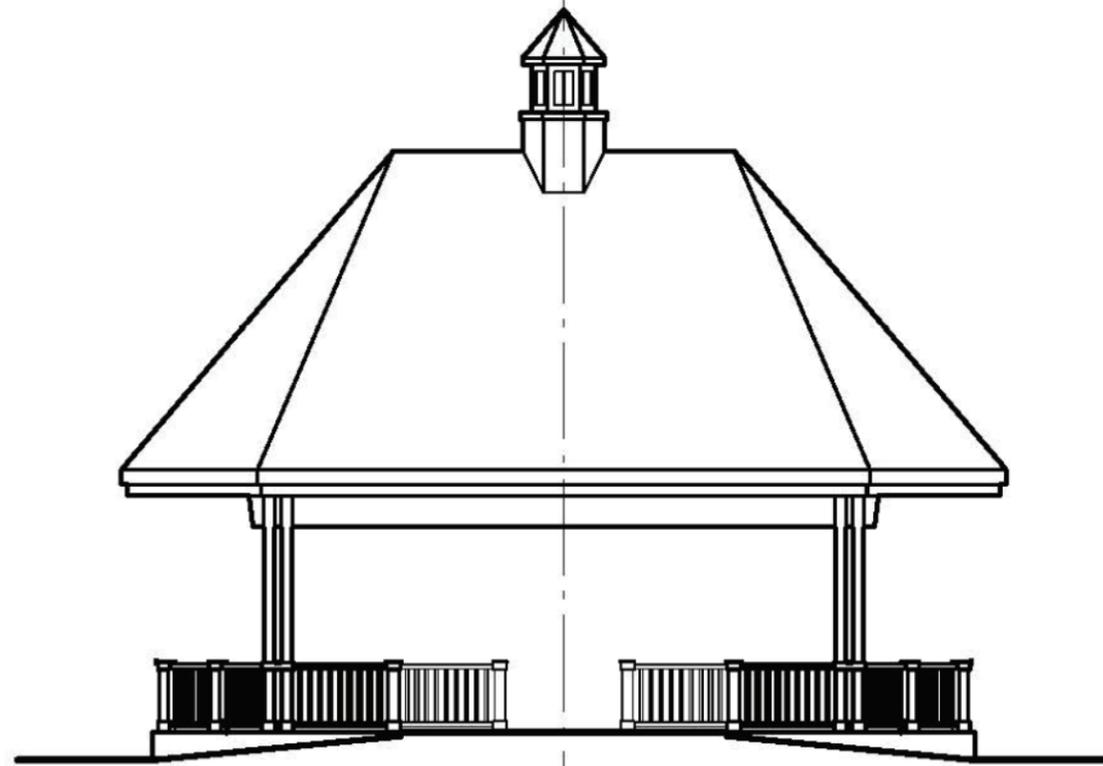




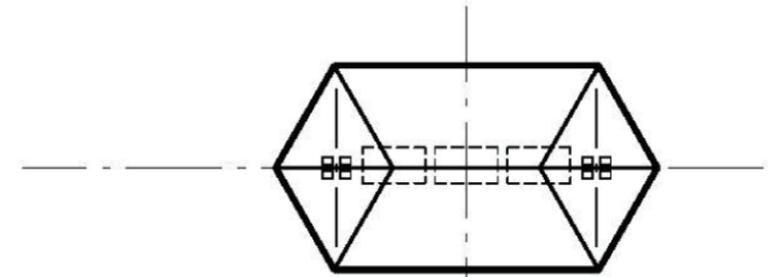
Enterprise Green Communities



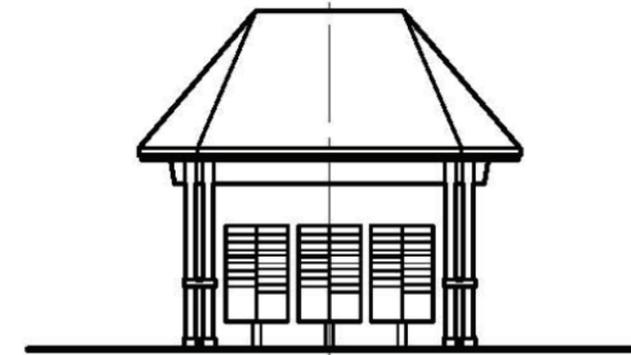
PLAYGROUND PAVILION - PLAN



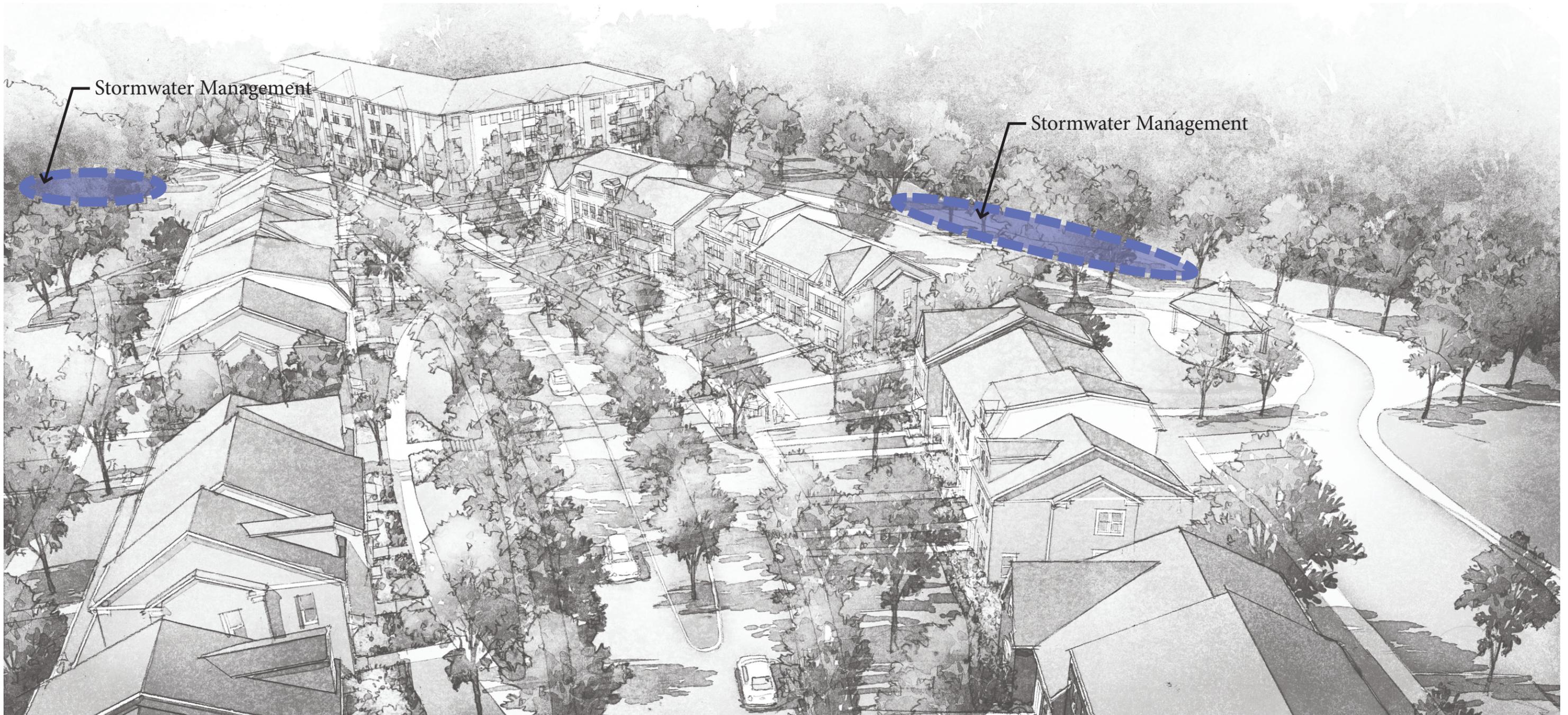
PLAYGROUND PAVILION - ELEVATION



MAIL KIOSK - PLAN



MAIL KIOSK - ELEVATION



Volume Analysis:

Pre-Development Runoff Volume (2-yr storm): 38,008 cf*
 Post-Development Runoff Volume (2-yr storm): 45,700 cf
 Volume of Storage Held in Proposed Pond: 8,071 cf
 Post-Development Runoff Volume with Pond: 37,629 cf

Peak Rate Analysis:

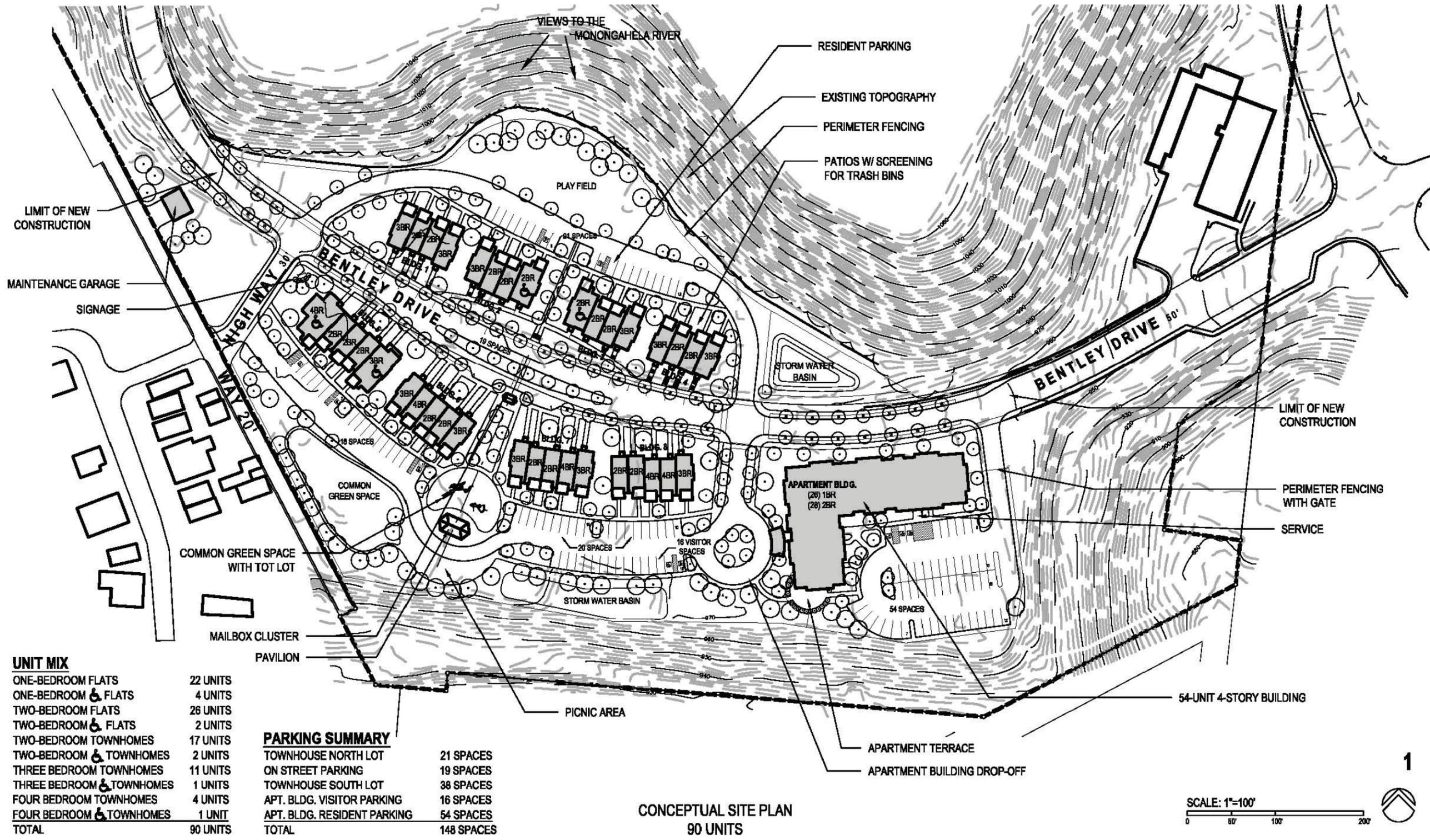
Storm	2	5	10	25	50	100
Pre-Development Rate	16.47	23.01	28.61	36.57	43.28	50.16
Post-Development Rate	13.18	18.31	22.72	28.99	34.27	39.67
Difference	-3.29	-4.7	-5.89	-7.58	-9.01	-10.49
% Reduction	20%	20%	21%	21%	21%	21%

Schedule:

Tax Credit Submission	Nov 15 2014
Resident Move-Out	Dec 31 2014
CDAP	Feb 03 2015
Planning Commission Briefing	March 10 2015
Planning Commission Hearing	March 24 2015
Demolition	April 01 2015
Phase II Construction Start	Summer 2015
Phase II Construction Completion	Summer 2016



Skyline Terrace Phase II
"Formerly Addison Terrace"
Planning Commission Briefing
March 10, 2015



UNIT MIX

ONE-BEDROOM FLATS	22 UNITS
ONE-BEDROOM & FLATS	4 UNITS
TWO-BEDROOM FLATS	26 UNITS
TWO-BEDROOM & FLATS	2 UNITS
TWO-BEDROOM TOWNHOMES	17 UNITS
TWO-BEDROOM & TOWNHOMES	2 UNITS
THREE BEDROOM TOWNHOMES	11 UNITS
THREE BEDROOM & TOWNHOMES	1 UNITS
FOUR BEDROOM TOWNHOMES	4 UNITS
FOUR BEDROOM & TOWNHOMES	1 UNIT
TOTAL	90 UNITS

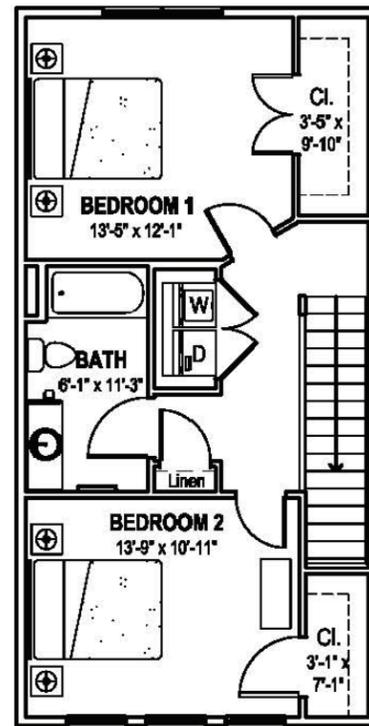
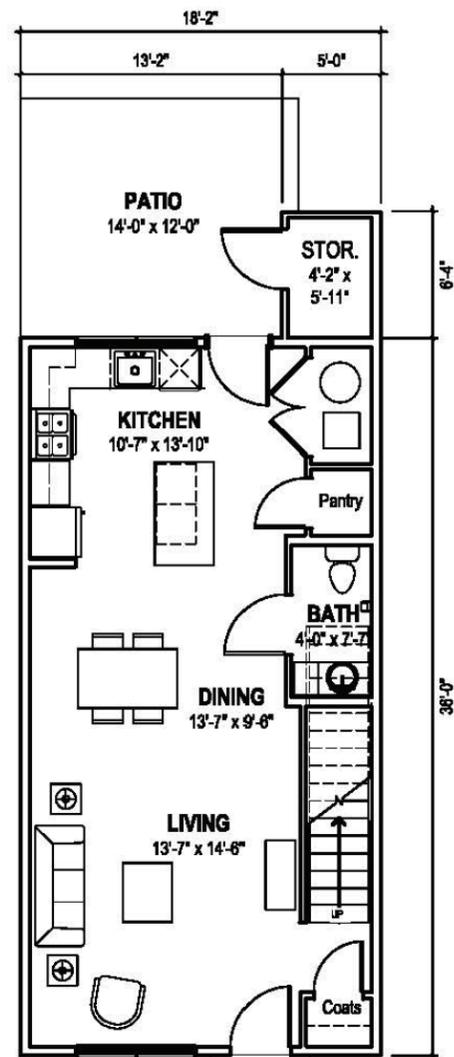
PARKING SUMMARY

TOWNHOUSE NORTH LOT	21 SPACES
ON STREET PARKING	19 SPACES
TOWNHOUSE SOUTH LOT	38 SPACES
APT. BLDG. VISITOR PARKING	16 SPACES
APT. BLDG. RESIDENT PARKING	54 SPACES
TOTAL	148 SPACES

CONCEPTUAL SITE PLAN
90 UNITS

SCALE: 1"=100'

1

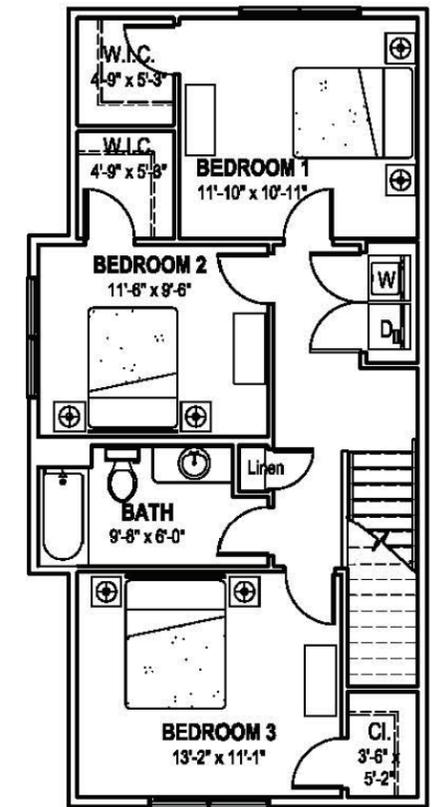
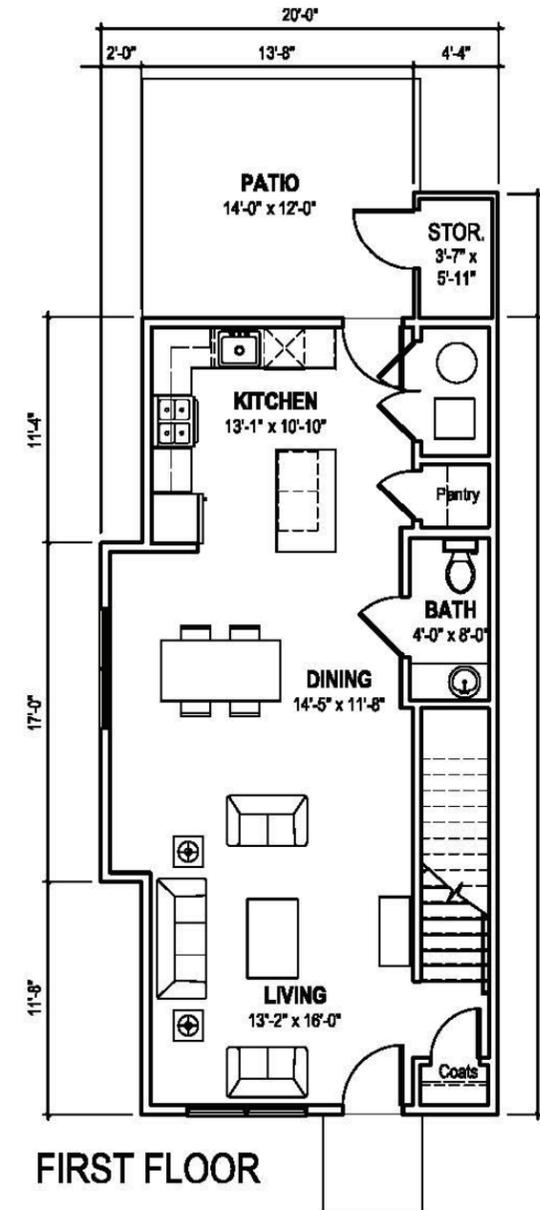


FIRST FLOOR

SECOND FLOOR

TWO-BEDROOM TOWNHOME

	Net	Gross
FIRST FL:	605	686
SECOND FL:	562	654
TOTAL:	1,167	1,340



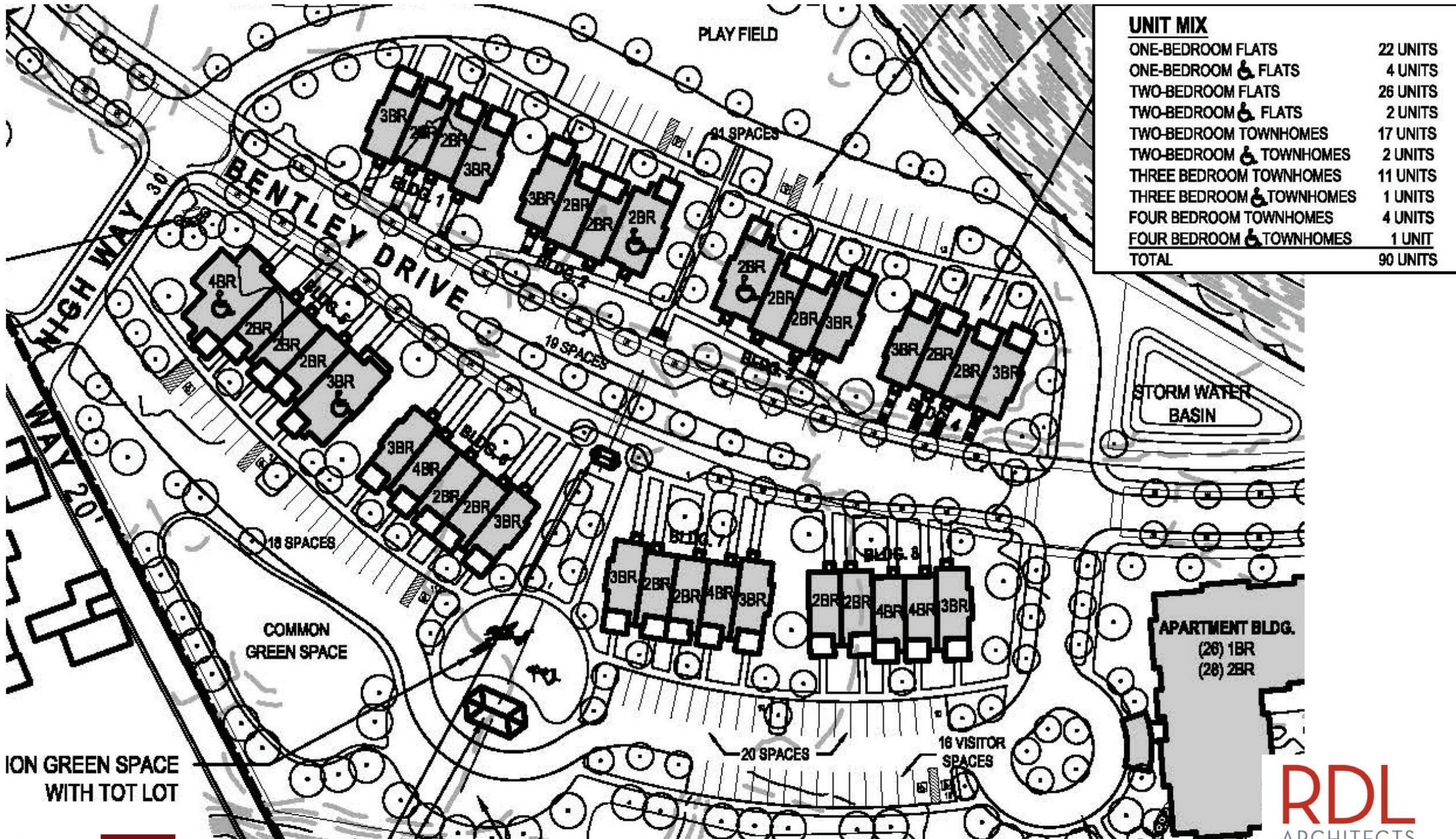
FIRST FLOOR

SECOND FLOOR

THREE-BEDROOM TOWNHOME

	Net	Gross
FIRST FL:	697	778
SECOND FL:	659	755
TOTAL:	1,356	1,533





ION GREEN SPACE WITH TOT LOT

Skyline Terrace Phase II:
Planning Commission Briefing - March 10, 2015





pittsburgh city planning

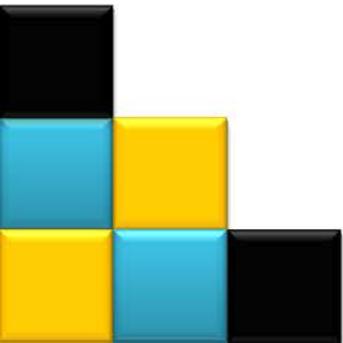
Agriculture Code Amendments

March 10, 2015



Agriculture in the Code: An overview

- City Departments involved in Urban Agriculture
- History of the Code
 - Before 2009
 - 2010/11 Urban Agriculture amendments
 - Planning Commission Review / Urban Ag Symposium
- Amendments to the Code
- Q & A



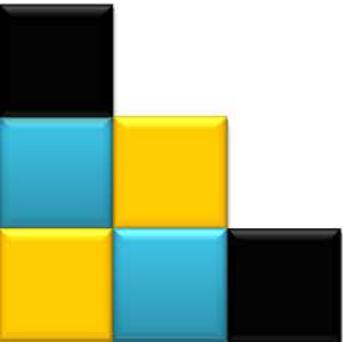
City Departments involved in Agriculture

- Department of City Planning (DCP) – Zoning Code creation, overseer, and occupancy certificate review, first step in the process
- Department of Permits, Licenses, and Inspections (PLI, formerly BBI) – Review and inspection of occupancy permit, enforces the Zoning Code
- Bureau of Animal Care and Control (Public Safety) – handles stray animals, assists with animal concerns, advises residents of responsible animal care



Before 2009 – Agriculture in Zoning Code

- Agriculture (General) – All crops & livestock
 - Allowed on 5+ Acre Lots
- Gardening as accessory to residential permitted
 - No bees
 - No chickens
 - No livestock



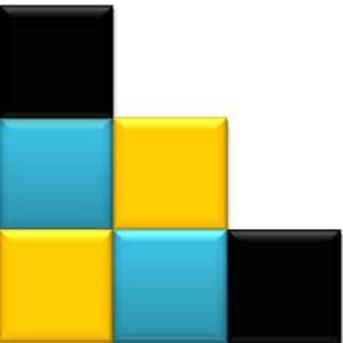
2010-11 Urban Agriculture Amendments

- Reduction in lot size for Agriculture (General) from 5 to 3 acres. (Special Exception @ Zoning Board of Adjustment (ZBA))
- Sale of agricultural products on the site of an Agriculture use, subject to 912.06 (Outdoor Retail Sales and Service)
- Urban Agriculture as a primary use (hives: ZBA)
- Urban Agriculture as an accessory use with no animals
- Urban Agriculture as an accessory use with animals (beehives or chickens) – ZBA
- Applicable in Zoning Districts: R, P, H, GI, UI



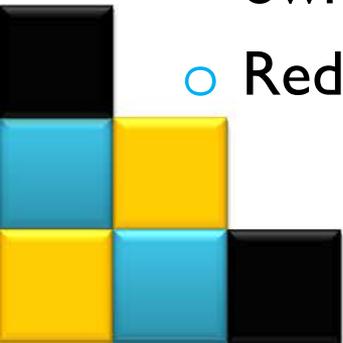
2010-11 Urban Agriculture Amendments

- Signed into law February 1, 2011
- City Council required 1 year reporting to them / P.C.
- Report done to P.C. February 21, 2012
- Due to lack of applications at the time, staff was advised to come back after more applications had been processed.



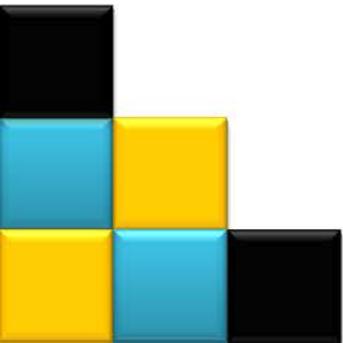
Sep 2013 Planning Commission Review

- Review of 311 / Other Complaints
 - 9 Complaints per year average
 - Few come into compliance
- Planning Commission's Recommendations:
 - Explore other cities inspection process
 - Encourage compliance with new revisions
 - Remove the Zoning Board from the standard process
 - Simplify process and allow more freely for responsible ownership that minimizes secondary effects
 - Reduce costs

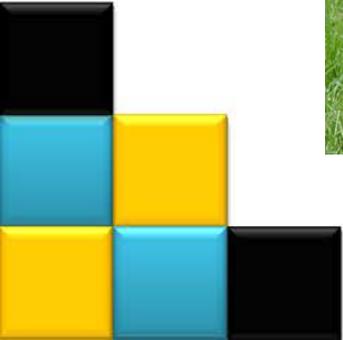


Urban Agriculture Symposium

- Held by Grow Pittsburgh in December 2013
- Mayor-elect Peduto talks about revisions to code to make Pittsburgh more friendly to urban agriculture and food sustainability

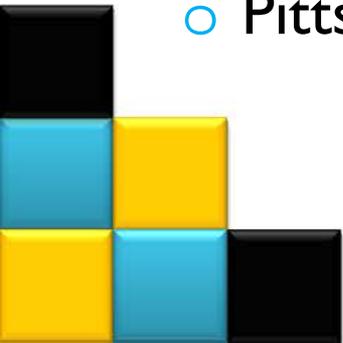


Direction to make changes



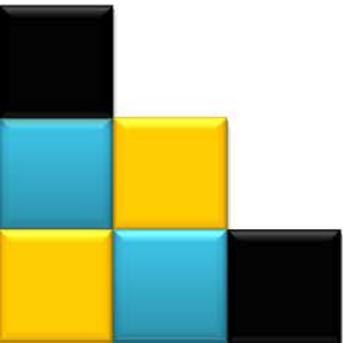
Revisions to the Code – who participated?

- City of Pittsburgh
 - DCP – met with stakeholders, led drafting of Code
 - PLI – provided assistance in process / inspection
- Urban Agriculture Stakeholders
 - Grow Pittsburgh
 - Pittsburgh Food Policy Council
 - Burgh Bees
 - Pittsburgh Pro-Poultry People



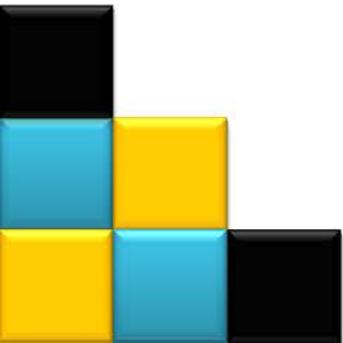
Revisions to the Code – what are they?

- Larger Scale Agriculture (Agriculture General - 911.04.A.2 (a) in the Code)
 - Reduced from 3 acres of land to 2 acres of land
 - Permitted by right
 - Chickens, bees, & goats permitted on lot w/o residence
 - Added to NDI and HC Zoning Districts
 - 1,164 additional parcels now eligible



Revisions to the Code – what are they?

- **Smaller Scale Agriculture (Agriculture Limited)**
 - Beekeeping added to NDO, NDI, and HC Zoning Districts
 - Now permitted by right
 - 1,279 additional parcels now eligible
 - Setbacks reduced
 - w/o Bees added to NDO, NDI, HC, & LNC Districts
 - 7,509 additional parcels now eligible



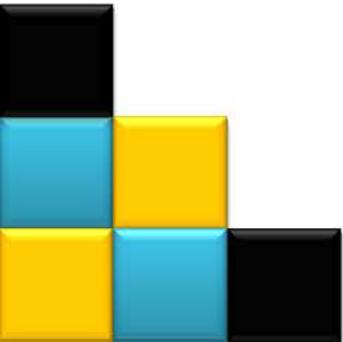
Revisions to the Code – what are they?

- Beehives on a residential lot
 - Permitted by right
 - 2,000 sf lot = right to 2 hives
 - Each additional 2,000 sf = 2 hives
 - Permitted with chickens or goats
 - Hives setback 10 feet, flyway required (screen or buffer)



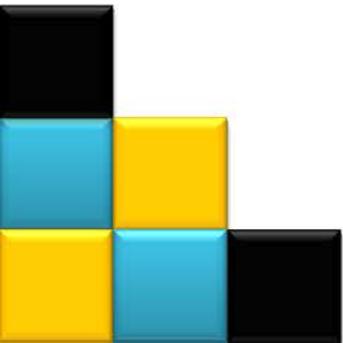
Revisions to the Code – what are they?

- Chickens or Ducks on a residential lot
 - Permitted by right
 - 2,000 sf lot = right to 5 chickens or ducks
 - Each additional 1,000 sf = 1 additional chicken or duck
 - No additional livestock (bees also permitted) <10K SF
 - Enclosure or screening required for roaming areas



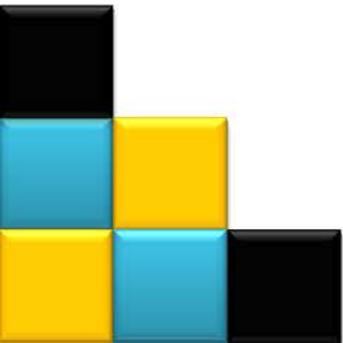
Revisions to the Code – what are they?

- Miniature Goats on a residential lot (Pygmy, Dwarf)
 - Permitted by right
 - 2,000 sf lot = right to 2 miniature goats (no more, no less)
 - Miniature goats must be dehorned and males neutered
 - No additional livestock (bees also permitted) < 10K SF
 - Enclosure or screening required



Revisions to the Code – what are they?

- Goats on a residential lot
 - Permitted by right
 - 10,000 sf lot = right to 2 goats
 - Each additional 5,000 sf = 1 additional goat
 - Goats must be dehorned and males neutered
 - Enclosure or screening required for roaming areas



Thank you!

Q&A



pittsburgh
city planning

