



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

**Office of the Zoning Administrator**

**200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219**

*(Zoning Use Only)*

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

<b>1. Property Owner Name:</b> Luxury Property Group LLC		Phone Number: (     )	
Address: 208 Foxburg Drive	City: Pittsburgh	State: Pennsylvania	Zip Code: 15205
<b>2. Applicant/Company Name:</b> Fukui Architects		Phone Number: ( 412 ) 281-6001	
Address: 4 Smithfield St	City: Pittsburgh	State: Pennsylvania	Zip Code: 15222
Applicant/Contractor ID:(assigned by the City)			
<b>3. Development Name:</b>			
<b>4. Development Location:</b>			
<b>5. Development Address:</b> 409 Wood Street Pittsburgh, PA 15222			
<b>6. If applicant is proposing a change to the Zoning District, the following is required:</b> (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
<b>7. If a Certificate of Occupancy exists, the following is required:</b>			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
<b>8. Estimated Construction:</b> Start Date: 05 /15 / 2015	Occupancy Date: / /	Project Cost: \$ 90,000	

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

**9. Proposed Use of Site (Select from attached list):**

**10. Select the Type of Work:**

New Construction, New       Renovation, Interior

New Construction,           Renovation, Exterior

Change in Use Only           Renovation, Change in Use

**11. Describe the Development:**

Facade renovation and vestibule change

**12. Is a Land Operations Permit needed?**                       YES                       NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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## DEVELOPMENT REVIEW APPLICATION

### LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions:  N/A

Residential     
  Commercial     
  Recreational     
  Industrial     
  Institutional

14. Gross Floor Area:

Existing to be Razed:	0	sq ft
Existing to be Retained:	all	sq ft
Retained Area to be Renovated:	128	sq ft
To be Constructed:	0	sq ft
Building Footprint:	3,208	sq ft

15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	3	approx. 60		
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):


16. Number of Dwelling Units:

Existing to Remain: 0                      Proposed: 0

17. Lot Area: 4,008 sq ft

18. On Site Parking:  N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A

Actual: \_\_\_\_\_

Required: \_\_\_\_\_

19. Please check any of the following items that will be part of the proposed work:  N/A

Demolition     
  HVAC (Interior)     
  HVAC (Exterior)     
  Electrical     
  Fire Alarm  
 Fire Protection/Sprinklers     
  Deck Construction     
  Commercial Cooking Hood     
  Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
(i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing     
  New Construction of Plumbing     
  No Plumbing Work is Proposed



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**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

0	New Water Service Connection(s)	0	Termination of Existing Water Service Tap(s)
0	New Sewer Service Connection(s)	0	Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES                       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street                       Private Property                       Not Applicable  
 Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?                       Yes                       No

Applicant Signature: \_\_\_\_\_



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Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



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**DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION**

**Department of City Planning**

200 Ross Street, Fourth Floor  
Pittsburgh, PA 15219  
(412) 255-2200  
[pittsburghpa.gov/dcp/](http://pittsburghpa.gov/dcp/)

**Department of City Planning  
Zoning Office Counter**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2246  
[pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/)

**City Zoning Code**

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety  
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2175  
[www.city.pittsburgh.pa.us/bbi/](http://www.city.pittsburgh.pa.us/bbi/)

**Department of Public Works (DPW)  
Bureau of Engineering and Construction**

City-County Building, Room 301  
441 Grant Street  
Pittsburgh, PA 15219  
(412) 255-2883  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Department of Public Works (DPW)  
Public Space Management**

**Permit Office**  
611 Second Avenue  
Pittsburgh, PA 15219  
(412) 255-2370  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Pittsburgh Water and Sewer Authority (PWSA)**

Penn-Liberty Plaza I  
1200 Penn Avenue  
Pittsburgh, PA 15222  
Permits (412) 255-2443; Engineering (412) 255-8987  
[www.pgh2o.com](http://www.pgh2o.com)  
*Refer to the PWSA Procedures Manual for Developers.*

**Allegheny County Health Department (ACHD)**

Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224  
(412) 578-8036  
[www.achd.net/plumbing/index.html](http://www.achd.net/plumbing/index.html)

**Allegheny County Health Department (ACHD)**

Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224  
(412) 578-8044  
[www.achd.net/food/foodstart.html](http://www.achd.net/food/foodstart.html)

**Allegheny County Health Department (ACHD)**

Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
[www.achd.net/housing/commenvironstart.html](http://www.achd.net/housing/commenvironstart.html)

# 409 Wood Street

## Facade Renovation 409 Wood Street Pittsburgh PA 15222

Fukui Architects Pc

4 Smithfield Street Floor 12  
Pittsburgh Pennsylvania 15222  
ph 412.281.6001 fx 412.281.6002

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### Drawing Index

CS	Cover Sheet
G-100	Abbreviations and Accessibility Diagram
A-101	Front Elevation, Window Details
A-102	Window Section Details
A-103	Partial Floor Plans
A-104	Building Section
A-105	Specifications
A-106	Specifications

### Code Conformance Information

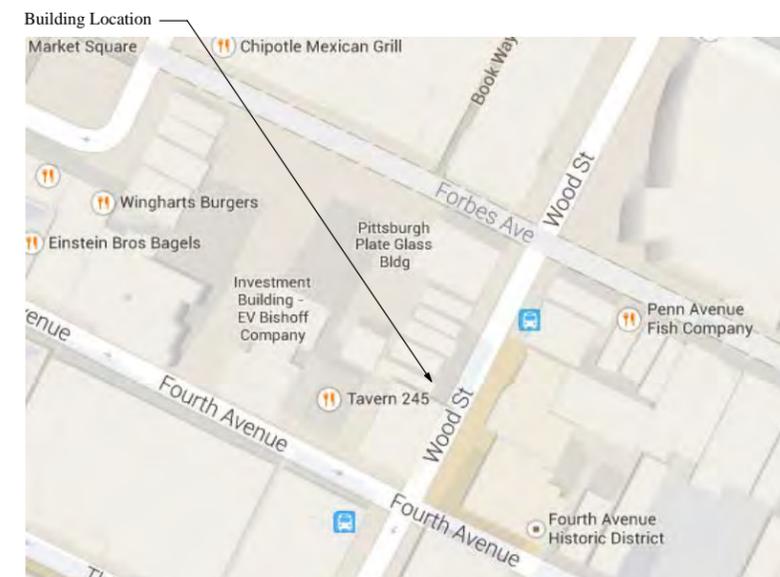
<b>Applicable Codes</b>	
General:	2009 International Existing Building Code
Accessibility:	2009 ICC/ANSI A117.1
Energy:	2009 International Energy Conservation Code
Electrical:	2008 NEC (NFPA 13)
Fire:	2009 International Fire Code
Fuel Gas:	2009 International Fuel Gas Code
Mechanical:	2009 International Mechanical Code
Plumbing:	2009 International Plumbing Code

<b>General Building / Project Information</b>	
Classification of Work:	Alteration - Level 2
Occupancy Group:	A-2
Stories:	3 Stories
Gross Area:	3,208 SF -First Floor
Construction Type:	Type III-A (assumed)
Sprinklered:	Non-Sprinklered

### Contact Schedule

Note: Any questions concerning the Construction Documents shall first be directed to the Architect.  
The Architect will forward questions as appropriate to the consulting engineers.

<b>Building Owner:</b> Luxury Property Group LP 208 Foxburg Drive Pittsburgh, PA 15205 contact: Semsi Yilmaz	<b>Architect:</b> Fukui Architects, PC 4 Smithfield Street Floor 12 Pittsburgh, PA 15222 ph: 412.281.6001 fx: 412.281.6002 contact: Felix Fukui	<b>Plan Review &amp; Inspection:</b> Pittsburgh Department of Permits, Licenses, and Inspections 200 Ross Street Pittsburgh, PA 15219 ph: 412.255.2175
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seal

#### general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

#### revisions

#### project title

**Owner:**  
Luxury Property Group LP  
208 Foxburg Drive  
Pittsburgh, PA 15205

**Project Location:**  
409 Wood Street  
Pittsburgh, PA 15222

#### drawing title

Cover Sheet

scale	As Noted
date	3/05/2015
no.	1 of 8

Sheet No.

CS

Project #1454

seal

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revisions

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208 Foxburg Drive  
Pittsburgh, PA 15205

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drawing title

**Abbreviations and  
Accessibility Diagram**

Materials Legend

NOT ALL MATERIALS USED

	EARTH
	COMPACTED STONE FILL
	CONCRETE
	STEEL
	RIGID INSULATION
	BLOCKING
	BATT INSULATION
	GYPSUM WALL BOARD
	WOOD
	PLYWOOD SHEATHING
	SPRAY FOAM INSULATION

Abbreviations

A.F.F. Above Finish Floor	EQUIP. Equipment	MISC. Miscellaneous
A.P. Access Panel	E.F. Exhaust Fan	N.I.C. Not In Contract
ACOUST. Acoustical	EXIST. Existing	N.T.S. Not To Scale
A.C.T. Acoustical Ceiling Tile	EXP. Expansion	
ADH. Adhesive	E.J. Expansion Joint	
ADJUST. Adjustable	ESH. Exterior Sheathing	O.C. On Center
A/C Air Conditioning	EXIST. Existing	OPP. Opposite
ALT. Alteration	EXP. Exposed	O.H. Overhead
ALTN. Alternate	EXT. Exterior	
ALUM. Aluminum	E.I.F.S. Exterior Insulation & Finish System	
A.O.R. Area of Refuge		
APPROX. Approximate	F.R.P. Fiberglass Reinforced Polyester	PR. Pair
ARCH. Architectural	F.F. Finish Floor	PLAS. Plaster
ASB. Asbestos	FIN.FLR. Finish Floor	PLAS.LAM. Plastic Laminated
ASPH. Asphalt	F.A.C.P. Fire Alarm Control Panel	P.C. Plumbing Contractor
AUTO. Automatic	F.E. Fire Extinguisher	PLYWD. Plywood
AVG. Average	FLR. Floor	POLY. Polyethylene
	F.D. Floor Drain	P.V.C. Polyvinyl Chloride
	FTG. Footing	PRE-FAB. Prefabricated
BLK. Block		
BD. Board		
BOT. Bottom	GA. Gauge	RE. Refer To
BLDG. Building	G.C. General Contractor	REF. Refrigerator
	G.F.I. Ground Fault Interrupter	R.C.P. Reinforced Concrete Pipe
C.I.P. Cast In Place	GYP. Gypsum	REINF. Reinforcement
C.B. Catch Basin	G.W.B. Gypsum Wall Board	RD. Roof Drain
CEM. Cement	GSH. Gypsum Sheathing	RM. Room
CER. Ceramic		S.A.T. Suspended Acoustical Tile
CG. Corner Guard	H/C Handicap	SCHED. Schedule
C.M.T. Ceramic Mosaic Tile	H.V.A.C. Heating, Ventilation &	SHT. Sheet
C.W.T. Ceramic Wall Tile	HT. Height	SH. Similar
C.O. Cleanout	HC Hollow Core	S.C. Solid Core
CL. Center Line	H.M. Hollow Metal	SPECS. Specifications
C.L.O. Closet	HORIZ. Horizontal	SQ. Square
C.W. Cold Water	HR. Hour	S.F. Square Foot
CLG. Ceiling	H.W. Hot Water	S.S. Stainless Steel
COL. Column		STL. Steel
CONC. Concrete	IN. Inch	STOR. Storage
C.M.U. Concrete Masonry Unit	I.M. Insulated Metal	STRUCT. Structural
CONT. Continuous	INSUL. Insulation or Insulated	
CORR. Corridor	INT. Interior	TEL. Telephone
C.M.P. Corrugated Metal Pipe	INV. Invert	THK. Thick
CRS. Courses	ISO. Isolation	T.B.D. To Be Determined
		T&G Tongue & Groove
		T.O. Top Of
		T.G. Top Of Grade
DIA. Diameter	JAN. Janitor's Closet	T.O.S. Top Of Steel
DET. Detail	J.T. Joint	TYP. Typical
DGL. Dens Glass Gold	LAM. Laminated	UNFIN. Unfinished
DR. Door	LAV. Lavatory	U.N.O. Unless Noted Otherwise
DN. Down	LG. Long	
D.S. Downspout		V.B. Vapor Barrier
DWG. Drawing	M.D.F. Medium Density Fiberboard	VERT. Vertical
D.F. Drinking Fountain	M.D.H. Magnetic Door Holder	VEST. Vestibule
D.I.P. Ductile Iron Pipe	M.H. Manhole	V.C.T. Vinyl Composition Tile
	MFGR. Manufacturer	W.H. Water Heater
EA. Each	MAX. Maximum	W.W.F. Welded Wire Fabric
E.W. Each Way	MECH. Mechanical	WIN. Window
ELEC. Electrical	MET. Metal	W. With
E.C. Electrical Contractor	MIN. Minimum	W/O Without
E.L. Elevation		WD. Wood
ELEV. Elevation		

Symbols

NOT ALL SYMBOLS USED

	ELEVATION HEIGHT
	NORTH ARROW
	GRAPHIC SCALE
	DRAWING TITLE
	BUILDING/ WALL SECTION MARKER
	ELEVATION MARKER
	INTERIOR ELEVATION MARKER
	DETAIL REFERENCE
	NOTE LEADER
	FINISH MATERIAL DESIGNATOR

scale	As Noted
date	3/05/2015
no.	2 of 8

**Sheet No.**  
**G-100**  
Project #1454

seal

general notes

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revisions

project title

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Luxury Property Group LP  
208 Foxburg Drive  
Pittsburgh, PA 15205

**Project Location:**  
409 Wood Street  
Pittsburgh, PA 15222

drawing title

**Front Elevation, Window Details**

scale  
As Noted

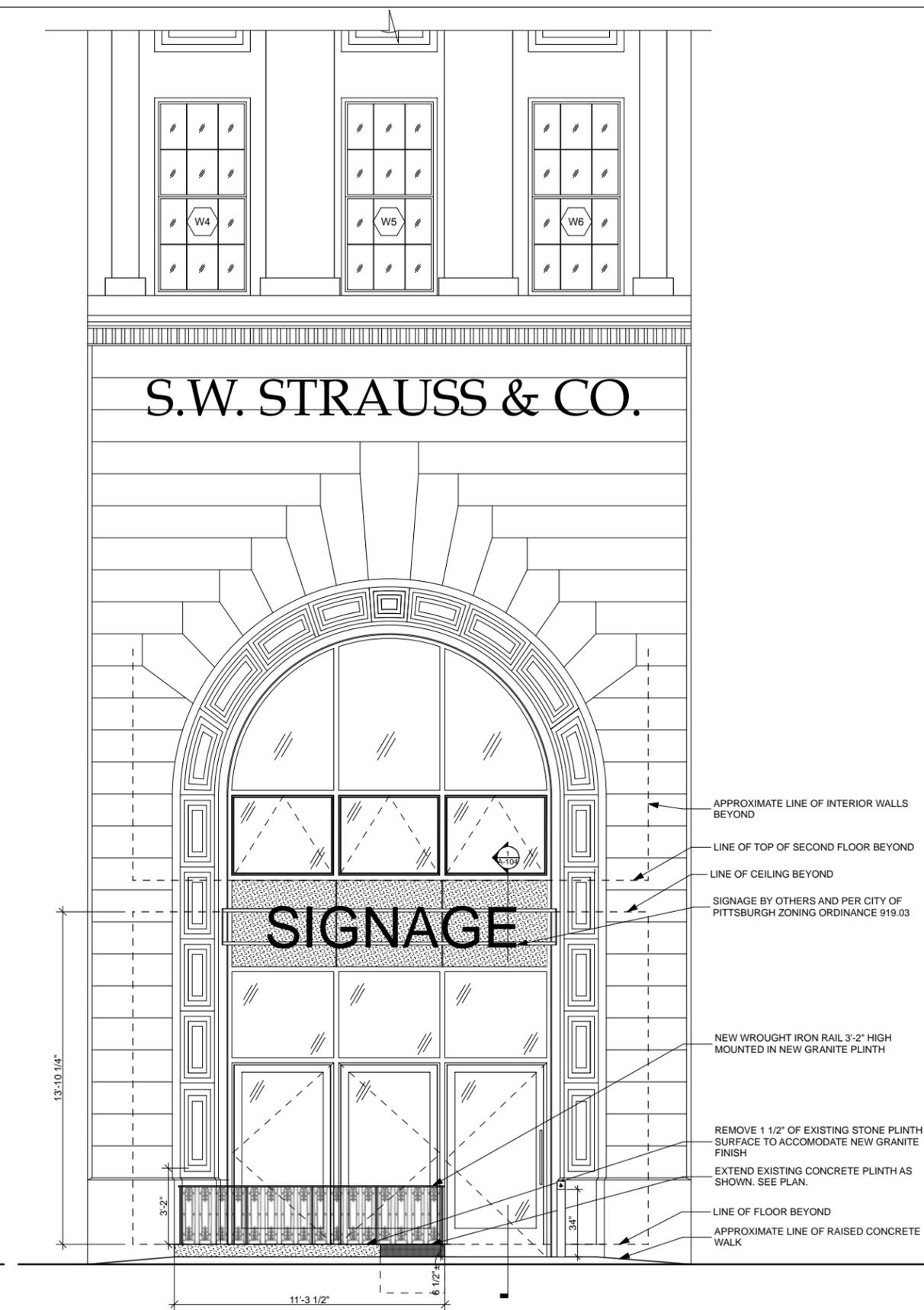
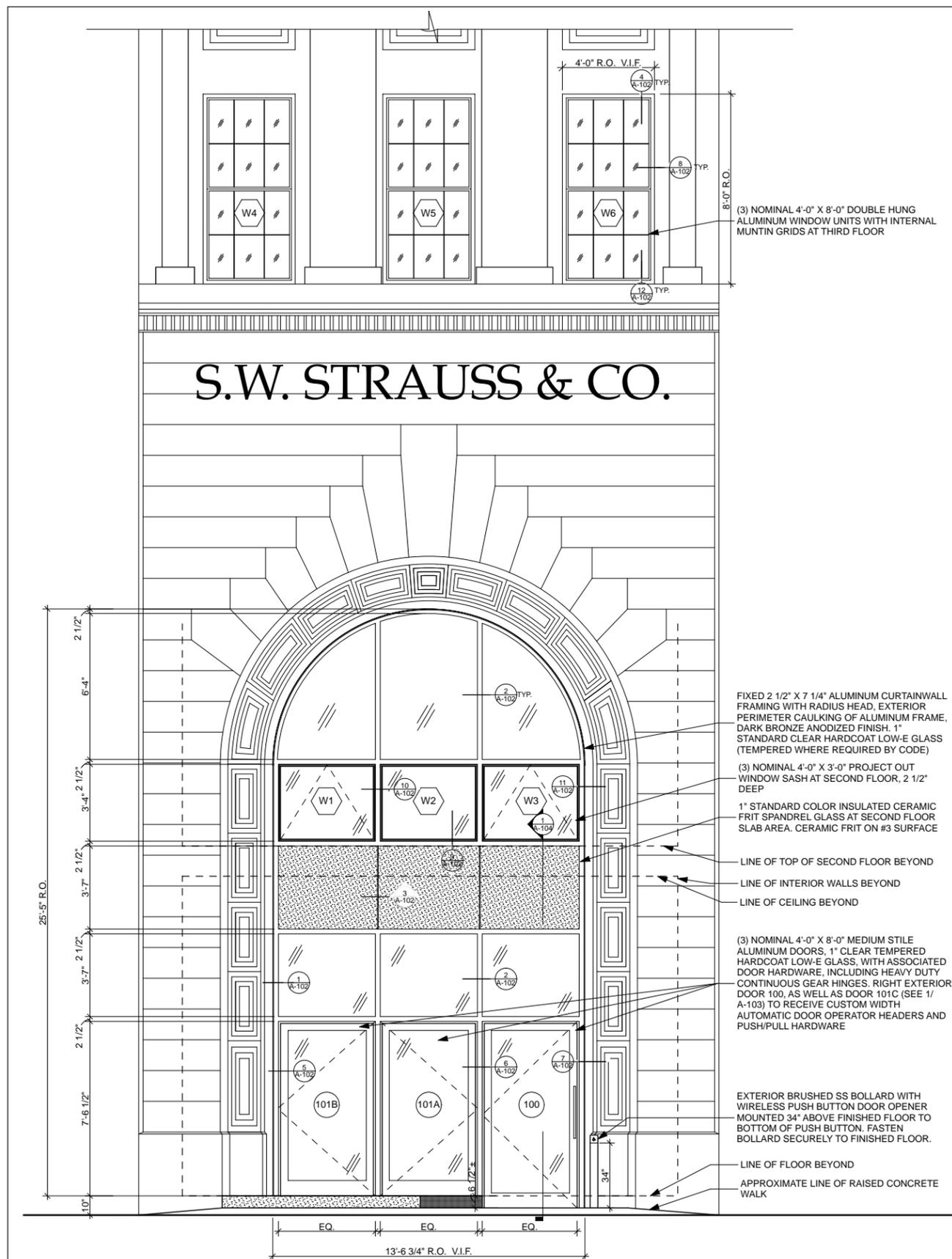
date  
3/05/2015

no. 3 of 8

Sheet No.

A-101

Project #1454



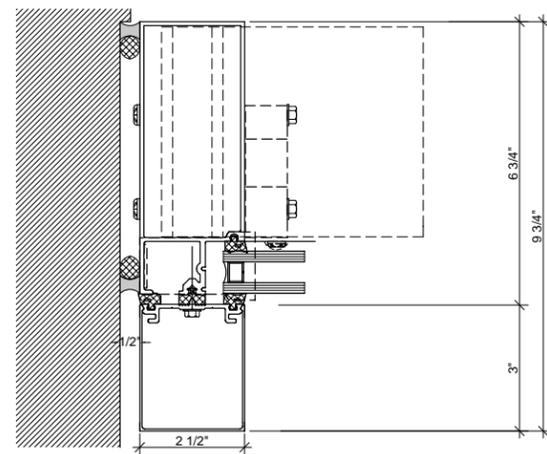
1 Wood Street Building Elevation (Showing New Storefront and Windows Only)

2 Wood Street Building Elevation

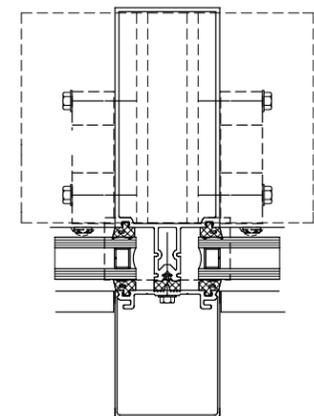
SCALE: 3/8" = 1'-0"

GENERAL NOTES  
1. ALL STOREFRONT AND WINDOW OPENINGS ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING DIMENSIONS AND EXACT BUILDING CONDITIONS TO CONFIRM INSTALLATION DETAILS AND SECURE FASTENING AND CONFIRMING WITH ARCHITECT PRIOR TO PROCEEDING

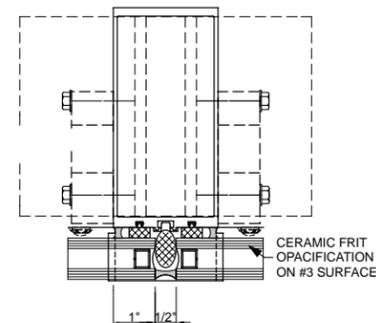
2. STOREFRONT CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL NEW WORK SHOWN ABOVE AND REFERENCED ON THIS ELEVATION



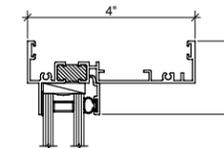
1 Tubular Jamb  
SCALE: 6" = 1'-0"



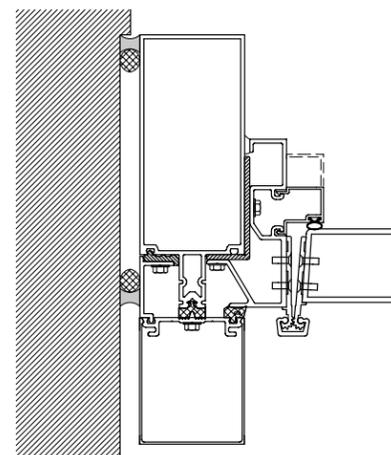
2 Vertical Mullion (Typ.)  
SCALE: 6" = 1'-0"



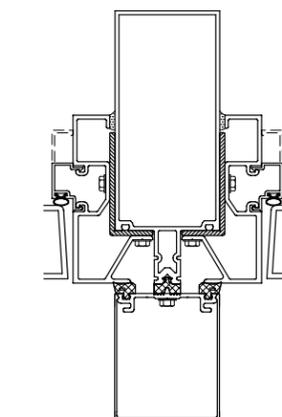
3 Common Spandrel Mullion  
SCALE: 6" = 1'-0"



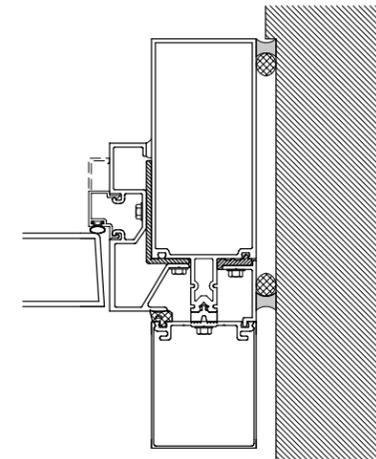
4 Double Hung Window Head  
SCALE: 6" = 1'-0"



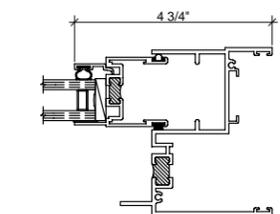
5 Door Jamb Hinge Side  
SCALE: 6" = 1'-0"



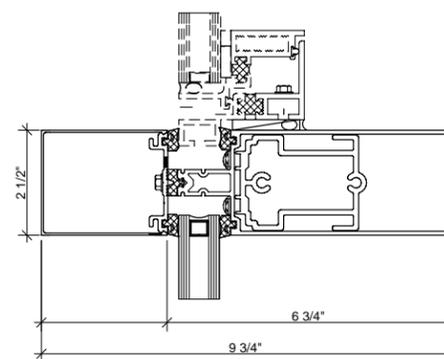
6 Common Vertical Door Mullion  
SCALE: 6" = 1'-0"



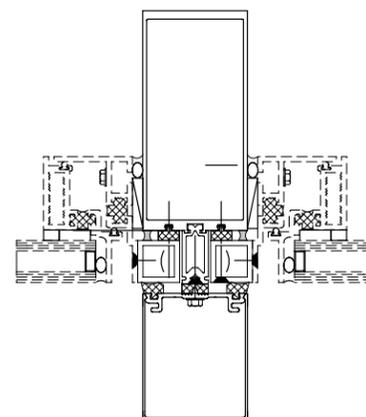
7 Door Jamb Latch Side  
SCALE: 6" = 1'-0"



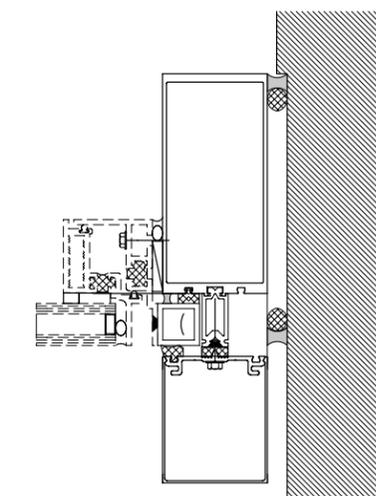
8 Double Hung Window Jamb  
SCALE: 6" = 1'-0"



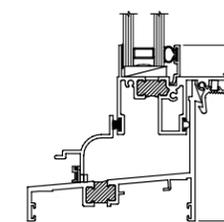
9 Horizontal Mullion at Operable Window Sill  
SCALE: 6" = 1'-0"



10 Common Operable Window Mullion  
SCALE: 6" = 1'-0"



11 Operable Window Jamb  
SCALE: 6" = 1'-0"



12 Double Hung Window Sill  
SCALE: 6" = 1'-0"

GENERAL NOTE  
ALUMINUM AND GLASS STOREFRONT SYSTEM DOORS AND WINDOWS SHOWN ARE BASED ON OLD CASTLE RELIANCE CURTAIN WALL SYSTEM AND WINCO DOUBLE HUNG 4410 WINDOWS

seal

general notes

- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
- Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
- All work shall be installed in accordance with applicable codes and regulations.
- Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
- All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
- All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

Owner:  
Luxury Property Group LP  
208 Foxburg Drive  
Pittsburgh, PA 15205

Project Location:  
409 Wood Street  
Pittsburgh, PA 15222

drawing title

Window Section Details

scale	As Noted
date	3/05/2015
no.	4
of.	8

Sheet No.

A-102

Project #1454

seal

general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

revisions

project title

**Owner:**  
Luxury Property Group LP  
208 Foxburg Drive  
Pittsburgh, PA 15205

**Project Location:**  
409 Wood Street  
Pittsburgh, PA 15222

drawing title

Partial Floor Plans

scale  
As Noted

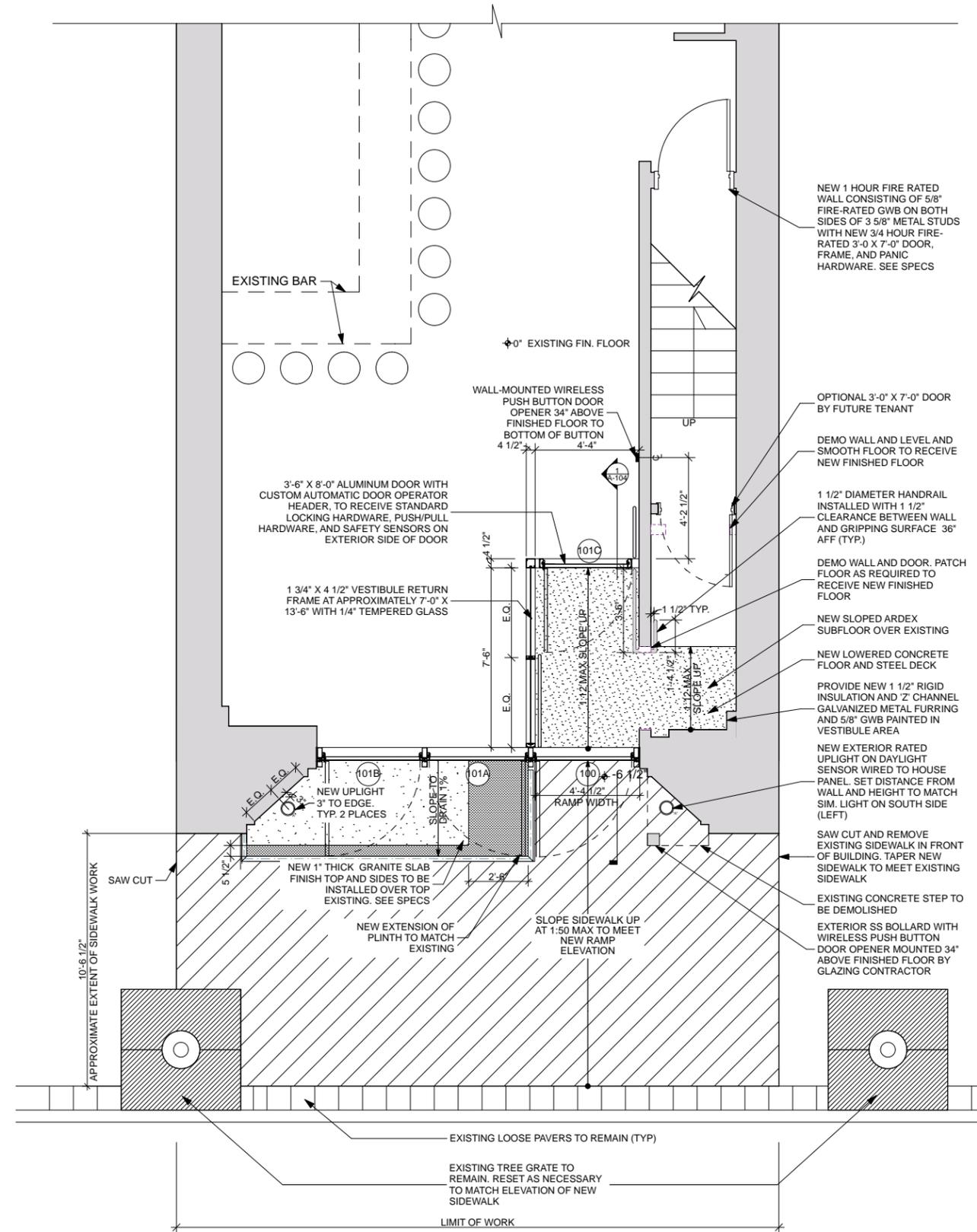
date  
3/05/2015

no.	of.
5	8

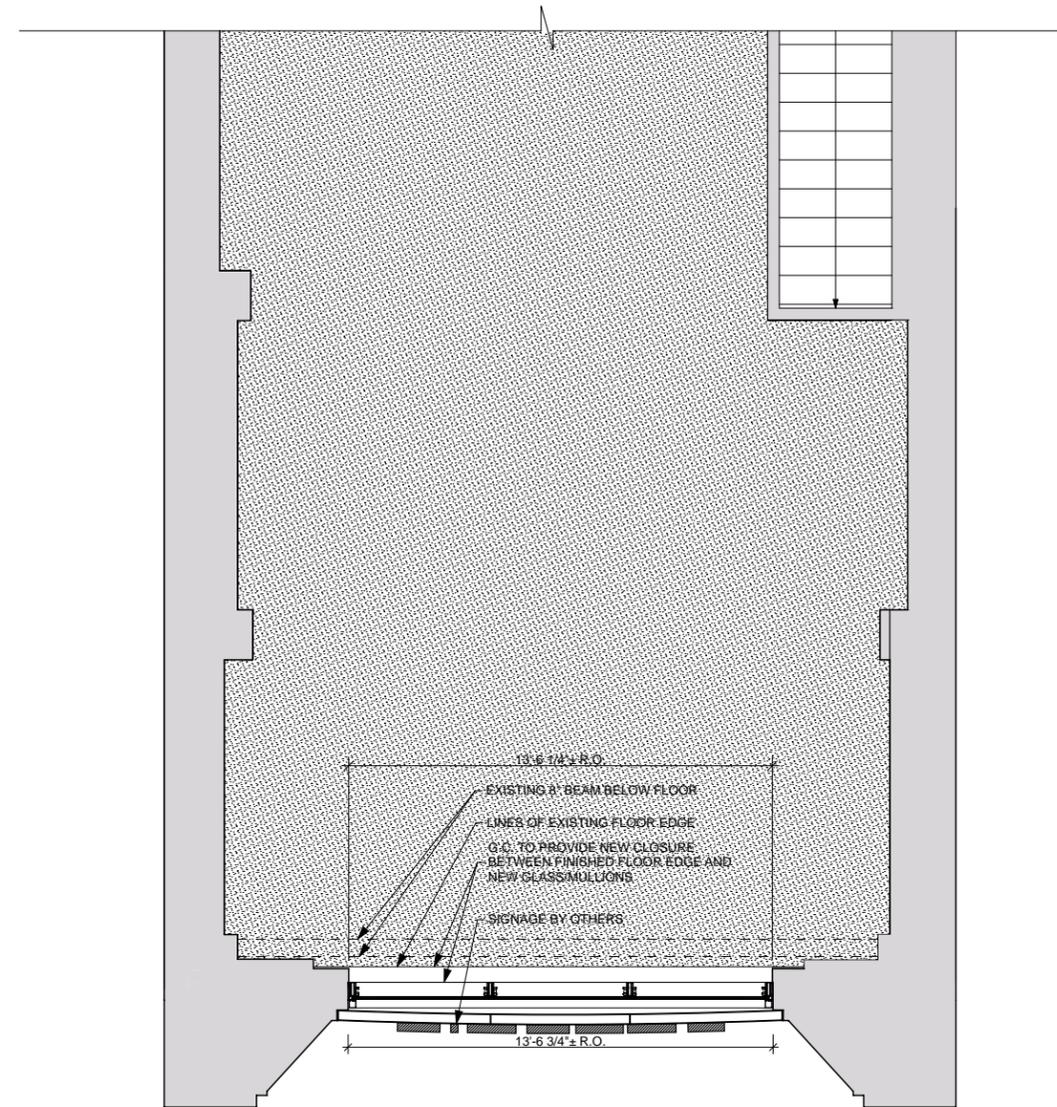
Sheet No.

A-103

Project #1454

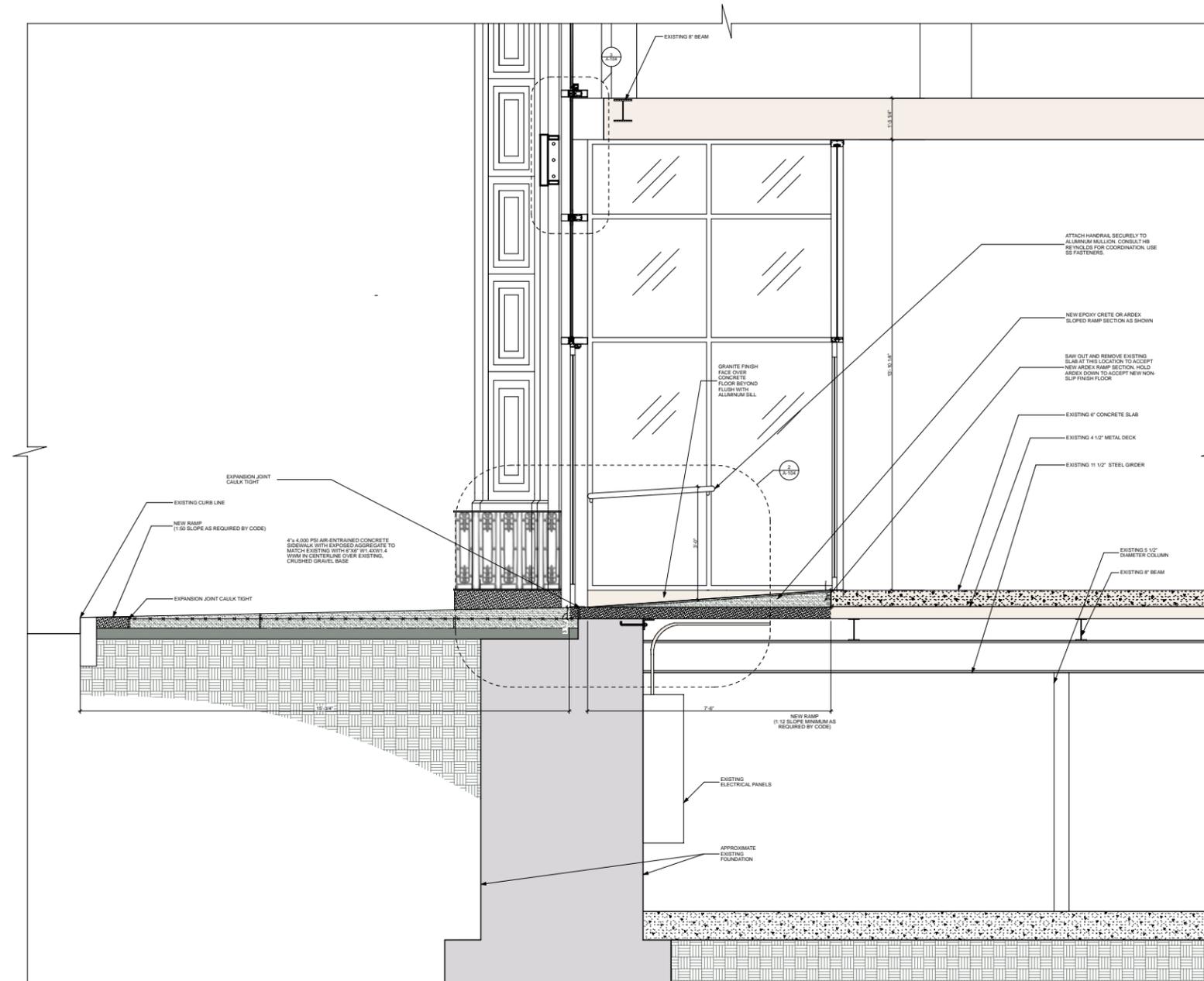


1 First Floor Plan  
SCALE: 3/8" = 1'-0"

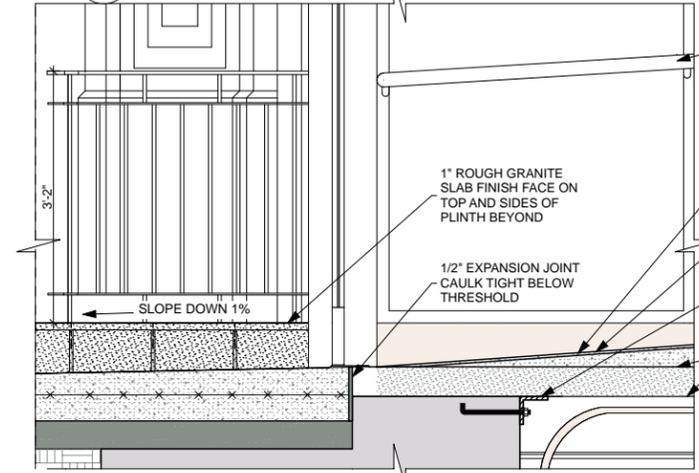


2 Second Floor Plan  
SCALE: 3/8" = 1'-0"

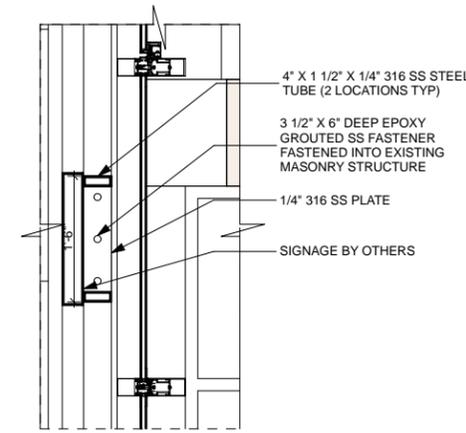
GENERAL NOTE  
DRAWINGS ARE BASED ON FIELD OBSERVATIONS MADE BY THE ARCHITECT. EXISTING SITE CONDITIONS INCLUDING BUT NOT LIMITED TO FURRING WALLS, ABANDONED EQUIPMENT, DEBRIS, AND OTHER OBSTRUCTIONS MAY AFFECT THE ACCURACY OF THE CONDITIONS SHOWN.



**1 Building Section**  
SCALE: 1/2" = 1'-0"



**2 Enlarged Building Section at Entry**  
SCALE: 1" = 1'-0"



**3 Signage Detail**  
SCALE: 1" = 1'-0"

**seal**

**general notes**

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

**revisions**

**project title**

**Owner:**  
Luxury Property Group LP  
208 Foxburg Drive  
Pittsburgh, PA 15205

**Project Location:**  
409 Wood Street  
Pittsburgh, PA 15222

**drawing title**

**Building Section**

scale	As Noted
date	3/05/2015
no.	6
of.	8

**Sheet No.**  
**A-104**  
Project #1454

#### GENERAL NOTES

##### USE OF THE DOCUMENTS

THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. RE-USE OR REPRODUCTION OF THE DOCUMENTS (IN WHOLE OR IN PART), FOR ANY OTHER PURPOSE IS PROHIBITED. TITLE TO THESE REMAINS WITH FUKUI ARCHITECTS P.C. (FAR). VISUAL CONTACT WITH THE DOCUMENTS IS PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

##### DIVISION 1 - GENERAL CONDITIONS

###### APPLICABILITY OF AIA A201 GENERAL CONDITIONS

THE A.I.A. DOCUMENT A201, GENERAL CONDITIONS, CURRENT EDITION, SHALL APPLY TO THE PROJECT. A COPY OF THE GENERAL CONDITIONS IS AVAILABLE AT THE OFFICE OF FAR.

###### INSURANCE REQUIREMENTS

THE CONTRACTOR SHALL OBTAIN, MAINTAIN DURING THE COURSE OF WORK WORKMAN'S COMPENSATION, COMPREHENSIVE LIABILITY INSURANCE INCLUDING COVERAGE FOR BODILY INJURY, PROPERTY DAMAGE AND AUTOMOBILE LIABILITY IN ACCORDANCE WITH TENANT, LANDLORD, AND LOCAL REQUIREMENTS. IN ACCORDANCE WITH THE LAWS OF THE STATE AND AS DIRECTED BY THE OWNER, PROVIDE EVIDENCE INDICATING INDEMNIFICATION OF THE OWNER, ARCHITECT, AND TENANT, THE BUILDING OWNER AND THE ARCHITECT. THE CONTRACTOR SHALL BEAR THE RISK OF LOSS AND RESPONSIBILITY FOR ALL INJURIES OR DAMAGES TO PERSONS OR PROPERTY THAT MAY ARISE FROM THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEFT OF TOOLS, MATERIALS AND EQUIPMENT STORED ON OR OFF THE SITE. CONTACT OWNER REPRESENTATIVE FOR ANY SPECIFIC INSURANCE REQUIREMENTS OR INDEMNIFICATION. ALL SUCH COSTS SHALL BE BORNE BY THE CONTRACTOR.

###### CODE CONFORMANCE

ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES, AND AUTHORITIES HAVING JURISDICTION INCLUDING BUT NOT LIMITED TO UNIVERSAL ACCESSIBILITY.

###### PERMITS, FEES

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES AND LICENSES REQUIRED TO PERFORM THE WORK (UNLESS OTHERWISE NOTED). A COPY OF SUCH SHALL BE FURNISHED TO THE OWNER. HE/SHE SHALL GIVE NOTICES AS REQUIRED AND PAY FOR ALL INSPECTION TESTS TO ENSURE THEY TAKE PLACE IN A TIMELY MANNER. ANY ADDITIONAL COSTS INCURRED BY THE TENANT OR THE OWNER FOR THE CONTRACTOR'S FAILURE TO ACT IN THIS MANNER SHALL BE BORNE BY THE CONTRACTOR.

###### SUBMITTALS

CONTRACTOR TO SUBMIT TO ARCHITECT FOUR COPIES OF SHOP DRAWINGS AND/OR PRODUCT INFORMATION. TWO SAMPLES OF ALL FINISHES ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.

###### SUBSTITUTIONS

SUBSTITUTIONS FOR PRODUCTS SPECIFIED HEREIN SHALL BE PERMITTED ONLY WITH THE ARCHITECT OR OWNER'S APPROVAL. ANY REQUESTS FOR SUBSTITUTION BY THE CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT WITH THE APPROPRIATE LITERATURE, SPECIFICATIONS, ETC. THE WARRANTY AND PERFORMANCE OF A SUBSTITUTED PRODUCT OR MATERIAL SHALL EQUAL OR EXCEED THE ORIGINALLY SPECIFIED PRODUCT. IN ADDITION THE CONTRACTOR SHALL WARRANT THAT SUBSTITUTED MATERIALS SHALL PERFORM AS SPECIFIED.

###### AS-BUILT DOCUMENTS

CONTRACTOR SHALL MAINTAIN AT THE PROJECT SITE ONE (1) SET OF PRINTS AND SPECIFICATIONS THAT SHALL BE UPDATED AS WORK PROGRESSES TO RECORD AND INDICATE ALL LOCATIONS OF UTILITIES, SYSTEMS, PIPES, CONDUITS, DUCT WORK, CABLING, ETC.; CHANGES WITHIN THE CONSTRUCTION DOCUMENTS; AND ANY OTHER ITEMS WHICH MAY AFFECT FUTURE CONSTRUCTION, RENOVATIONS OR REPAIRS. THIS INFORMATION SHALL BE SUBMITTED TO THE OWNER AND ARCHITECT ON A CLEAN SET OF MARKED-UP PRINTS UPON COMPLETION OF THE PROJECT.

###### PROJECT SUPERVISION

THE CONTRACTOR SHALL DILIGENTLY PROSECUTE THE WORK TO COMPLETION AND SHALL AT ALL TIMES GIVE HIS/HERPERSONAL SUPERVISION AND ATTENTION THERETO AND MAINTAIN A COMPETENT PROJECT MANAGER, SUPERINTENDENT AND NECESSARY FOREMAN TO ACT FOR HIM. PROVIDE SUFFICIENT AND SATISFACTORY FORCES REQUIRED TO ENSURE THE PROSECUTION OF THE WORK TO COMPLETION AND TO MEET AGREED UPON TURNOVER DATE. NEGLECT OR FAILURE TO FURNISH SUCH FORCES OR MEET REQUIRED DATES SHALL BE GROUNDS FOR TERMINATION OF AGREEMENT. THE OWNER AT THEIR OPTION MAY FURNISH ADDITIONAL FORCES AT THE CONTRACTOR'S EXPENSE TO MEET THE SCHEDULE AND COMPLETION DATE AND/OR WITH LEGAL NOTICE RECOVER DAMAGES ARISING FROM SUCH DELAYS, INCLUDING BUT NOT LIMITED TO RENT CHARGES.

###### PROJECT MEETINGS

CONTRACTOR TO SCHEDULE AND COORDINATE WEEKLY CONSTRUCTION MEETINGS. SUBCONTRACTORS WHOSE WORK IS UNDERWAY OR WHO SHOULD BE PRESENT FOR COORDINATION PURPOSES ARE TO ATTEND. CONTRACTOR TO PROVIDE MEETING MINUTES PRIOR TO SUBSEQUENT MEETING.

###### RESPONSIBILITY FOR JOB CONDITIONS

THE CONTRACTOR ACKNOWLEDGES THAT HE/SHE HAS SATISFIED HIM/HERSELF AS TO THE NATURE, LOCATION, GENERAL CONDITIONS AND LOCAL CONDITIONS, PARTICULARLY THOSE BEARING UPON TRANSPORTATION CODES AND ORDINANCES, DISPOSAL, HANDLING AND STORAGE OF MATERIALS; AVAILABILITY OF LABOR, TYPE OF PAYMENT AND FACILITIES REQUIRED TO DO SO, PROPERLY ESTIMATING THE DIFFICULTY OR COST THEREOF. THE OWNER ASSUMES RESPONSIBILITY FOR ANY REPRESENTATIONS MADE BY ANY OF ITS AGENTS OR REPRESENTATIVES TO CONTRACTOR DURING OR PRIOR TO EXECUTION OF AGREEMENT, UNLESS SUCH REPRESENTATION AND OWNER'S RESPONSIBILITY IS EXPRESSLY STATED IN THE AGREEMENT. NO ADDITION TO THE CONTRACT BID CAN BE ACCEPTED FOR CONDITIONS INCREASING THE COST IF SUCH CONDITIONS COULD HAVE BEEN OBSERVED THROUGH SITE INSPECTION.

###### FIELD VERIFICATION OF EXISTING CONDITIONS

VERIFY ALL LINES, LEVELS, INTERFERENCES, FIELD DIMENSIONS AND CONDITIONS AGAINST THE DRAWINGS AND REPORT ANY ERRORS, OMISSIONS OR DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK. THE GENERAL CONTRACTOR IS TO REPORT TO THE ARCHITECT ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK. FAILURE TO REPORT TO THE ARCHITECT FOR INTERPRETATION OF SUCH CONDITIONS OR COVERING OVER A CONDITION WHICH SUBSEQUENTLY CAUSES ANY DELAY OR ADDITIONAL COST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL BE HELD FOR ANY DAMAGES RESULTING THERE FROM.

###### INTERPRETATION OF THE DOCUMENTS

ALL MATERIAL SPECIFIED IS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. GENERAL CONTRACTOR IS TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE DOCUMENTS. THE ARCHITECT IS THE SOLE INTERPRETER OR ARBITER OF THE DOCUMENTS. ANY DEVIATION FROM THE INTENT OF THE DOCUMENTS, WITHOUT ARCHITECT'S APPROVAL, IS AT THE CONTRACTOR'S OWN RISK AND MAY RESULT IN A CORRECTION AT THE CONTRACTOR'S EXPENSE (MATERIALS AND LABOR).

###### LAYOUT, CONFLICTS AND DIMENSIONING

ALL PLAN DIMENSIONS ARE GIVEN FROM FINISHED SURFACES OR CENTERLINES, UNLESS NOTED OTHERWISE. WRITTEN DIMENSIONS ALWAYS SUPERSEDE MEASURED OR SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS.

ANY CONFLICT BETWEEN DETAIL, DIMENSION, MATERIAL OR SPECIFICATION IS TO BE ADDRESSED TO THE ARCHITECT FOR AN INTERPRETATION. IF NO ANSWER IS YET GIVEN, CORRECTION IS REQUIRED. SHALL BE AT THE CONTRACTOR'S EXPENSE. THE WORK SHALL BE LAID OUT FROM DIMENSIONS SHOWN ON THE DRAWINGS ONLY. CONTRACTOR SHALL WORK FROM MOST RECENT DRAWINGS SUPPLIED BY OWNER OR ARCHITECT - WORK SHALL BE PERFORMED ONLY AFTER WRITTEN DIRECTION BY OWNER OR ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HERLAYOUT AND FOR THAT OF HIS/HERSUB-TRADES. ALL DIMENSIONS INDICATED AS HOLD DIMENSIONS SHALL BE MAINTAINED. ANY VARIANCES FROM THESE WILL BE AT THE RISK OF THAT TRADE OR CONTRACTOR. VERIFY ANY EQUIPMENT CLEARANCES PRIOR TO LAYOUT, THE GC SHALL BE HELD FOR ANY DAMAGE TO OR ADDITIONAL COST FOR FAILURE TO DO SUCH LAYOUT. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL OVERALL DIMENSIONS, COLUMN LOCATIONS AND REPORT ANY DEVIATIONS FROM THOSE SHOWN TO THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE WORK AND SCHEDULING OF HIS/HERFORCES WITH SUB-TRADES, OWNER'S REPRESENTATIVE, TENANT REPRESENTATIVE, TENANT/OWNER SUPPLIED. ANY FAILURE TO PROPERLY COORDINATE THE WORK, WHICH RESULTS IN ADDITIONAL COST INCLUDING ANY DEMOLITION OF CONSTRUCTION IN PLACE, SHALL BE BORNE BY THE CONTRACTOR.

###### CLEANLINESS OF JOB SITE, PROTECTION OF PREMISES, AFTER HOURS WORK

THE ENTIRE AREA OF WORK IS TO BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES AND POLICED AT INTERVALS TO PREVENT ACCUMULATION OF TRASH AND DEBRIS. ALL MATERIALS SHALL BE STACKED NEATLY IN CENTRAL LOCATIONS APPROVED BY THE OWNER. IF CONTRACTOR DOES NOT MAINTAIN PROPER ORDER OR REQUIRES CONTINUED NOTICE TO COMPLY, HEREWIT, OWNER MAY AFTER 24 HOURS WRITTEN NOTICE TO THE CONTRACTOR, HIRE THE NECESSARY LABOR TO ADEQUATELY CLEAN. CHARGES FOR SUCH WORK SHALL BE DEDUCTED FROM PAYMENTS DUE THE CONTRACTOR. CONTRACTOR AND HIS/HERSUBCONTRACTORS MUST LEAVE THEIR WORK IN A NEAT AND CLEAN CONDITION READY FOR WORK TO BE PERFORMED BY OTHERS. PROVIDE DUMPSTERS AS REQUIRED.

###### TEMPORARY UTILITIES

THE CONTRACTOR SHALL FURNISH ALL TEMPORARY UTILITIES REQUIRED TO PERFORM HIS/HER WORK INCLUDING, BUT NOT LIMITED TO ELECTRICITY, WATER, HEAT AND TELEPHONE. THE CONTRACTOR SHALL MAINTAIN AT THIS/HERCOST A JOB PHONE, AND ON SITE OFFICE AREA PROPERLY SECURED.

###### CHANGES IN THE WORK

ANY ADDITIONAL WORK, CHANGES, ADDITIONAL SERVICES OR FEES SHALL NOT OCCUR OR BE PROVIDED WITHOUT WRITTEN CONFIRMATION OF THE OWNER OR ARCHITECT PRIOR TO EXECUTION. FAILURE TO DO SO SHALL RESULT IN NO PAYMENT BY THE OWNER OR HIS/HERREPRESENTATIVES FOR SUCH ITEMS.

###### ACCESSIBILITY GUIDELINES

ALL EQUIPMENT, ACCESSORIES AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES WITH RESPECT TO HANDICAP ACCESSIBILITY, AND WITH THE AMERICANS WITH DISABILITIES ACT (ADA). THE MORE RESTRICTIVE CODE SHALL APPLY.

###### DEMOLITIONAL/TERATION NOTES

###### HAZARDOUS MATERIALS REMOVAL

ANY MATERIALS DEEMED AS HAZARDOUS, SUCH AS BUT NOT LIMITED TO, ASBESTOS OR LEAD PAINTS, SHALL BE REMOVED, ENCAPSULATED OR LEFT IN ITS PRESENT CONDITION AS REQUIRED BY FEDERAL, STATE AND LOCAL CODES. CONTRACTOR SHALL UTILIZE THE APPROPRIATE TECHNIQUES, PROCEDURES AND DISPOSAL METHODS AS PER STANDARD PRACTICE, FEDERAL, STATE AND LOCAL CODES.

###### ABANDONED OR REMOVED EQUIPMENT

ALL PLUMBING, DUCT WORK, ROOF TOP UNITS, SEWER & WATER LINES TO BE REMOVED MUST BE CAPPED AND REMOVED TO THE POINT OF CONNECTION TO BUILDING MAIN UTILITY LOCATION - NO EXCEPTIONS. GENERAL CONTRACTOR TO VERIFY WITH LANDLORD REPRESENTATIVE AND TENANT PRIOR TO ANY SUCH WORK, INCLUDING ROOF PENETRATIONS. CONTRACTOR SHALL REMOVE ALL EXISTING MECHANICAL EQUIPMENT, DUCTWORK, PLUMBING FIXTURES, PIPING SYSTEMS, WIRING, ETC., NOT BEING REUSED.... **DO NOT ABANDON IN PLACE.**

CONTRACTOR IS RESPONSIBLE TO VERIFY VISUALLY ALL CONDITIONS RELATIVE TO SERVICE REQUIREMENTS AND CODE CONFORMANCE FOR THIS SPACE, AND TO COORDINATE ALL WITH OWNER'S REPRESENTATIVE. REPORT ANY DEVIATION FROM INFORMATION ON DRAWINGS TO ARCHITECT PRIOR TO COMMENCING WORK. FAILURE TO DO SO WILL RESULT IN CONTRACTOR BEING HELD RESPONSIBLE FOR ANY COSTS FOR SUBSEQUENT CHARGES.

###### CONTRACT CLOSEOUT:

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AND OWNER REPRESENTATIVE TO PERFORM A PRELIMINARY FINAL INSPECTION. A PUNCH LIST OUTLINING WORK TO BE CORRECTED, FINISHED, PERFORMED OR COMPLETED SHALL BE SUBMITTED BY THE CONTRACTOR. ALL WORK OUTLINED ON THE INITIAL PUNCH LIST SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO THE FINAL INSPECTION AND BEFORE THE PROJECT WILL BE ACCEPTED FOR FINAL COMPLETION. AFTER ALL REQUIREMENTS PREPARATORY TO THE FINAL INSPECTION HAVE BEEN COMPLETED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER TO PERFORM A FINAL INSPECTION. IF ALL THE WORK HAS BEEN COMPLETED, INCLUDING PUNCH LIST ITEMS FROM EARLIER INSPECTIONS, AND NO FURTHER CORRECTIONS ARE REQUIRED, THE ARCHITECT SHALL RECOMMEND FINAL ACCEPTANCE OF THE PROJECT.

ALL PUNCH LIST ITEMS TO BE COMPLETED WITHIN THIRTY (30) WORKING DAYS OF RECEIPT, OR FINAL 10% DRAW WILL BE FORFEITED. ALL WORK NOT COMPLETED WITHIN THE ALLOTTED TIME WILL BE COMPLETED BY OWNER AT GENERAL CONTRACTOR'S EXPENSE. FINAL COMPLETION OCCURS WHEN ALL PUNCH LIST ITEMS HAVE BEEN COMPLETED AND OCCUPANCY PERMIT HAS BEEN ISSUED.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE START UP OF ALL EQUIPMENT FURNISHED, INSTALLED OR SERVICED UNDER THIS CONTRACT. CONTRACTOR SHALL VERIFY THAT ALL EQUIPMENT, ELECTRICAL SYSTEMS AND APPLIANCES ARE FUNCTIONAL AND OPERATIONAL AND THAT ALL PLUMBING AND HVAC EQUIPMENT IS OPERATING QUIETLY AND FREE FROM VIBRATION. CONTRACTOR SHALL PROVIDE A BINDER FOR OWNER AND TENANT CONTAINING MAINTENANCE MANUALS, INCLUDING OPERATION INSTRUCTIONS, SPARE PARTS, WARRANTIES, INSPECTION PROCEDURES, AND DATA FOR EACH SYSTEM OR EQUIPMENT ITEM.

ALL ELECTRICAL PANELS AND BREAKERS TO BE PROPERLY MARKED AND A TYPED SCHEDULE TO BE FURNISHED.

FINAL CLEANING: AT THE TIME OF THE PROJECT CLOSE OUT, THE CONTRACTOR SHALL THOROUGHLY CLEAN AND READY THE SPACE FOR OCCUPANCY. THIS SHALL, AT MINIMUM, INCLUDE HARDWARE, LIGHT FIXTURES, REPLACEMENT OF BURNED OUT LAMPS, REMOVAL OF NON PERMANENT PROTECTION AND LABELS, TOUCH UP OF ANY MINOR FINISH DAMAGE, AND CLEANING OR REPLACEMENT OF MECHANICAL SYSTEM FILTERS. DAMAGE TO ANY FINISH, SURFACE, EQUIPMENT OR OBJECT CAUSED DURING CLEANING SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS/HER OWN COST.

UPON COMPLETION OF THE PROJECT, GENERAL CONTRACTOR SHALL OBTAIN A CERTIFICATE OF OCCUPANCY FROM THE BUILDING DEPARTMENT AND PROVIDE A COPY OF THE ORIGINAL TO OWNER AND TENANT.

AT FINAL PAYMENT THE CONTRACTOR SHALL DELIVER TO THE OWNER A COMPLETE RELEASE OF ALL SUB CONTRACTOR'S AND SUPPLIER'S LIENS ARISING OUT OF THIS CONTRACT, OR RECEIPTS IN FULL COVERING ALL LABOR AND MATERIALS FOR WHICH A LIEN COULD BE FILED OR A BOND SATISFACTORY TO THE OWNER INDEMNIFYING HIM AGAINST ANY LIEN.

###### CONTRACTOR GUARANTEES

WARRANTIES AND GUARANTEES: IN ADDITION TO OTHER GUARANTEES HEREIN REQUIRED, CONTRACTOR HEREBY GUARANTEES THAT WHEN HE DELIVERS TO THE OWNER FOR ACCEPTANCE THE WORK TO BE PERFORMED UNDER THIS AGREEMENT. THE SAME SHALL BE IN PROPER FUNCTIONAL ORDER WITHOUT FAILURE, AND THERE SHALL BE NO OMISSION OF OR DEFECT IN MATERIAL OR WORKMANSHIP OF ANY WORK, MACHINERY, EQUIPMENT, PARTS, ASSEMBLIES (EXCEPT THOSE FURNISHED BY OWNER) AND THAT ALL LABOR, THE AFORESAIDMENTIONED MATERIALS AND ALL OTHER PERFORMED SHALL COMPLY WITH THE AGREEMENT. IF ANY DEFECTIVE OR FAULTY WORKMANSHIP OR MATERIAL IS DISCOVERED WITHIN ONE (1) YEAR COMMENCING FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK, THE SAME SHALL BE PROMPTLY REMEDIED, REPLACED AND RESTORED TO THE OWNER'S SATISFACTION BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

###### DIVISION 2 – SITE WORK

THE SCOPE OF WORK UNDER THIS SECTION SHALL INCLUDE FURNISHING ALL MATERIALS, LABOR, EQUIPMENT, ETC. TO COMPLETE THE SITE PREPARATION WORK. THE WORK DESCRIBED HEREIN, INDICATED ON THE DRAWINGS OR NORMALLY AND REASONABLY REQUIRED WILL BE PROVIDED. THE WORK INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:

- STAKE OUT OF WORK
- EROSION AND SEDIMENT CONTROL
- PROTECTION OF FEATURES TO REMAIN
- ADJUST MISCELLANEOUS VALVES, COVERS, ETC.
- DEMOLITION AND REMOVAL
- GRUBBING
- DISPOSAL OF WASTE MATERIALS

###### SELECTIVE DEMOLITION

DEMOLITION REQUIRES THE SELECTIVE REMOVAL AND SUBSEQUENT OFF SITE DISPOSAL OF, BUT NOT LIMITED TO, EXISTING CONSTRUCTION AS INDICATED ON DRAWINGS. IN ADDITION, REMOVE OR RELOCATE ANY PORTION OF THE STRUCTURE REQUIRED BY THE WORK. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN STRUCTURES AND SURFACES TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURE OR ELEMENT TO BE DEMOLISHED AND ADJACENT FACILITIES OR WORK TO REMAIN. REMOVE PROTECTIONS AT COMPLETION OF THE WORK. DISPOSE OF ALL MATERIALS TO BE REMOVED AT A CODE LEGAL DUMP.

CAREFULLY REMOVE FINISH MATERIALS TO BE RETAINED FOR REUSE. STORE AND PROTECT MATERIALS FROM DAMAGE.

###### DIVISION 3 - CONCRETE

ALL CONCRETE DESIGN AND SPECIFICATIONS SHALL CONFORM TO ACI PUBLICATIONS 318, 301, 306, 305, 347, AND 315.

###### COMPRESSIVE STRENGTH & FINISH

ALL CONCRETE SHALL DEVELOPE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A SLUMP OF 4" OR LESS. AIR-ENTRAINED CONCRETE WITH EXPOSED AGGREGATE TO MATCH EXISTING 6"x6" W/1.4XW/1.4 W/M IN CENTERLINES OVER EXISTING CRUSHED GRAVEL BASE.

###### DIVISION 4

NOT USED

###### DIVISION 5 - METALS

###### CAT IRON DECORATIVE RAILING

CAST IRON RAILING PANELS AND HANDRAIL, FASTENERS TO BE TYPE 316 STAINLESS-STEEL FASTENERS. FABRICATE RAILINGS TO COMPLY WITH REQUIREMENTS INDICATED FOR DESIGN, DIMENSIONS, MEMBER SIZES AND SPACING, DETAILS, FINISH, AND ANCHORAGE BUT NOT LESS THAN THAT REQUIRED TO SUPPORT STRUCTURAL LOADS.

FABRICATE RAILINGS WITH NONWELDED CONNECTIONS UNLESS OTHERWISE INDICATED. CONNECT MEMBERS WITH CONCEALED MECHANICAL FASTENERS AND FITTINGS. FABRICATE MEMBERS AND FITTINGS TO PRODUCE FLUSH, SMOOTH, RIGID, HAIRLINE JOINTS. FORM CHANGES IN DIRECTION BY INSERTING PREFABRICATED ELBOW FITTINGS. CLOSE EXPOSED ENDS OF HOLLOW RAILING MEMBERS WITH PREFABRICATED END FITTINGS. PROVIDE BRACKETS, FLANGES, MISCELLANEOUS FITTINGS, AND ANCHORS TO INTERCONNECT RAILING MEMBERS TO OTHER WORK UNLESS OTHERWISE INDICATED.

###### SUBMITTALS

CONTRACTOR TO SUBMIT TO ARCHITECT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION

###### STRUCTURAL PERFORMANCE

RAILINGS, INCLUDING ATTACHMENT TO BUILDING CONSTRUCTION, SHALL WITHSTAND THE EFFECTS OF GRAVITY LOAD AND THE FOLLOWING LOADS AND STRESSES WITHIN LIMITS AND UNDER THESE FOLLOWING CONDITIONS:

HANDRAILS AND TOP RAILS OF GUARDS SHALL WITHSTAND UNIFORM LOAD OF 50 LB/FT APPLIED IN ANY DIRECTION, CONCENTRATED LOAD OF 200 LB/ F APPLIED IN ANY DIRECTION, UNIFORM AND CONCENTRATED LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.

INFILL OF GUARDS SHALL WITHSTAND A CONCENTRATED LOAD OF 50 LB/FT APPLIED HORIZONTALLY ON AN AREA OF 1SQ/FT. INFILL LOAD AND OTHER LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.

BRACKETS, FLANGES, AND ANCHORS TO BE SAME METAL AND FINISH AS SUPPORTED FAILS UNLESS OTHERWISE INDICATED.

###### INSTALLATION

FIT EXPOSED CONNECTIONS TOGETHER TO FORM TIGHT, HAIRLINE JOINTS. PERFORM CUTTING, DRILLING, AND FITTING REQUIRED FOR INSTALLING RAILINGS. SET RAILINGS ACCURATELY IN LOCATION, ALIGNMENT, AND ELEVATION, MEASURED FROM ESTABLISHED LINES AND LEVELS AND FREE OF RACK, SET POST'S PLUMB WITHIN A TOLERANCE OF 1/16 INCHES IN 3 FEET. ALIGN RAILS SO VARIATIONS FROM LEVEL FOR HORIZONTAL MEMBERS AND VARIATIONS FROM PARALLEL WITH RAKE OF STEPS AND RAMPS FOR SLOPING MEMBERS DO NOT EXCEED 1/4 INCH IN 12 FEET. PREVENT GALVANIC ACTION AND OTHER FORMS OF CORROSION BY INSULATING METALS AND OTHER MATERIALS FROM DIRECT CONTACT WITH INCOMPATIBLE MATERIALS.

FORM OR CORE-DRILL HOLES NOT LESS THAN 5/16 INCHES DEEP AND 3/4 INCH LARGER THAN OD OF POST FOR INSTALLING POSTS IN CONCRETE. CLEAN HOLES OF LOOSE MATERIAL, INSERT POSTS, AND FILL ANNULAR SPACE BETWEEN POST AND CONCRETE WITH NONSHRINK, NONMETALLIC GROUT.

IMMEDIATELY AFTER ERECTION, CLEAN FIELD WELDS, BOLTED CONNECTIONS, AND ABRADED AREAS OF SHOP PAINT, AND PAINT EXPOSED AREAS WITH THE SAME MATERIAL USED FOR SHOP PAINTING TO COMPLY WITH SSPC-PA 1 FOR TOUCHING UP SHOP-PAINTED SURFACES

###### ALUMINUM PIPE RAILING

ALUMINUM, GENERAL: PROVIDE ALLOY AND TEMPER RECOMMENDED BY ALUMINUM PRODUCER AND FINISHER FOR TYPE OF USE AND FINISH INDICATED, AND WITH NOT LESS THAN THE STRENGTH AND DURABILITY PROPERTIES OF ALLOY AND TEMPER DESIGNATED BELOW FOR EACH ALUMINUM FORM REQUIRED.

###### EXTRUDED PIPE: ASTM B 429/B 429 M

HANDRAILS AND TOP RAILS OF GUARDS SHALL WITHSTAND UNIFORM LOAD OF 50 LB/FT APPLIED IN ANY DIRECTION, CONCENTRATED LOAD OF 200 LB/ F APPLIED IN ANY DIRECTION, UNIFORM AND CONCENTRATED LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.

INFILL OF GUARDS SHALL WITHSTAND A CONCENTRATED LOAD OF 50 LB/FT APPLIED HORIZONTALLY ON AN AREA OF 1SQ/FT. INFILL LOAD AND OTHER LOADS NEED NOT BE ASSUMED TO ACT CONCURRENTLY.

BRACKETS, FLANGES, AND ANCHORS TO BE SAME METAL AND FINISH AS SUPPORTED FAILS UNLESS OTHERWISE INDICATED.

PROVIDE TYPE OF BRACKET WITH FLANGE TAPPED FOR CONCEALED ANCHORAGE TO THREADED HANGER BOLT THAT PROVIDES 1 1/2-INCH CLEARANCE FROM INSIDE FACE OF HANDRAIL TO FINISHED WALL SURFACE

###### DIVISION 6 – WOOD, PLASTICS, AND COMPOSITES

###### NOT USED

###### DIVISION 7 – THERMAL AND MOISTURE PROTECTION

###### DIVISION 8 - DOORS, WINDOWS AND HARDWARE

ALL DOORS AND WINDOWS SHALL BE INSTALLED PLUMB, LEVEL, SQUARE, AND PER ALL MANUFACTURERS SPECIFICATIONS.

###### EXTERIOR CURTAIN WALL

NEW EXTERIOR CURTAIN WALL TO BE OLDCASTLE BUILDING ENVELOPE RELIANCE COMMERCIAL GRADE ALUMINUM CURTAIN WALL SYSTEM. CURTAIN WALL SYSTEM AND DOORS TO BE DARK ANODIZED FINISH AND HAVE PERIMETER CAULKING ON BOTH THE EXTERIOR AND INTERIOR.

TEMPERED OR SAFETY GLAZING IS TO BE PROVIDED AS FOLLOWS: 1) IN DOORS, 2) WITHIN 12" OF A DOOR AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE. 3) IN FIXED PANELS WITH THE LOWEST EDGE LESS THAN 18" ABOVE THE FLOOR OR WALKING SURFACE WITHIN 36" OF SUCH GLAZING.

1" STANDARD COLOR CERAMIC FRIT SPANDREL GLASS AT FLOOR LINE WHERE SPECIFIED ON DRAWINGS

NEW EXTERIOR DOORS SHALL BE RELIANCE CURTAIN WALL DOORS AS SPECIFIED ON THE DRAWINGS. DOORS SHALL BE MEDIUM STILE DOOR LEAFS WITH HEAVY DUTY CONTINOUS GEAR HINGES AND SURFACE CLOSERS.

RIGHT EXTERIOR DOOR AND INTERIOR DOOR TO RECEIVE CUSTOM WIDTH EXIT DEVICE. 1" CLEAR HARDCOAT LOW-E AND TEMPERED WHERE REQUIRED BY CODE. CUSTOM WIDTH AUTOMATIC DOOR OPERATOR HEADERS FOR INTERIOR AND RIGHT EXTERIOR ENTRY DOORS THAT ARE CONNECTED TO WIRELESS PUSH BUTTON STATIONS FOR AUTOMATIC OPENERS AND SAFETY SENSORS

VERTICAL PULL BARS ON RIGHT EXTERIOR DOOR AND INTERIOR DOOR TO BE DARK BRONZE 1-1/4" INCH DIAMETER BAR DESIGN, EQUIPPED FOR CONCEALED MOUNTING 18 INCHES CENTER TO CENTER. MOUNTING LOCATION TO BE 4 INCHES FROM DOOR EDGE WITH TOP MOUNTING AT 45 INCHES ABOVE FINISH FLOOR AND EQUIPPED WITH STUD TO PASS THROUGH DOOR FOR CONCEALED SET SCREW MOUNTING OF PUSH BAR ON OPPOSITE SIDE. US10B FINISH (DARK BRONZE OIL RUBBED) TO MATCH DARK BRONZE CURTAIN WALL SYSTEM.

PANIC PUSH BAR EXIT DEVICE ON RIGHT EXTERIOR DOOR AND INTERIOR DOOR TO BE DARK BRONZE US10B FINISH (DARK BRONZE OIL RUBBED) TO MATCH DARK BRONZE CURTAIN WALL SYSTEM WITH LOCKING FEATURES. PROVISIONS FOR KEYYED CYLINDERS AT EXTERIOR ONLY. DOGGING FEATURE PROVIDED AT EACH DOOR DESIGNED TO KEEP LATCH BOLT RETRACTED FOR ORDINARY PUSH/PULL OPERATION. MOUNTING HEIGHT TO BE 42 INCHES FROM FINISH FLOOR TO PUSH BAR LINE.

PUSH BUTTON BOLLARD TO BE PLACED ON EXTERIOR – TO BE COORDINATED WITH DRAWINGS

###### INTERIOR STOREFRONT VESTIBULE RETURN

NEW INTERIOR STOREFRONT WALLS TO BE FG-2000 STOREFRONT SYSTEM WITH 3/4" CLEAR TEMPERED GLASS.

PUSH BUTTON TO BE PLACES IN INTERIOR – TO BE COORDINATED WITH DRAWINGS.

###### DOUBLE-HUNG WINDOWS

NEW DOUBLE HUNG WINDOWS ON THE THIRD FLOOR TO BE WINCO 4500 SERIES

MANUFACTURER AGREES TO REPAIR OR REPLACE ALUMINUM WINDOWS THAT FAIL IN MATERIALS OR WORKMANSHIP WITHIN SPECIFIED WARRANTY PERIOD.

HARDWARE TO INCLUDE COUNTERBALANCING MECHANISM AAMA 902, LOCKS AND LATCHES OPERATING FROM THE INSIDE ONLY, AND RELEASING TILT LATCH TO ALLOW SASH TO PIVOT ABOUT HORIZONTAL AXIS.

PROVIDE FULL-PERIMETER WEATHER STRIPPING FOR EACH OPERABLE SASH UNLESS OTHERWISE INDICATED. FASTENERS TO BE NONCORROSIVE AND COMPATIBLE WITH WINDOW MEMBERS, TRIM, HARDWARE, ANCHORS, AND OTHER COMPONENTS.

PROVIDE FULL-PERIMETER WEATHER STRIPPING FOR EACH OPERABLE SASH UNLESS OTHERWISE INDICATED. FASTENERS TO BE NONCORROSIVE AND COMPATIBLE WITH WINDOW MEMBERS, TRIM, HARDWARE, ANCHORS, AND OTHER COMPONENTS.

PROVIDE WEEP HOLES AND INTERNAL PASSAGES TO CONDUCT INFILTRATING WATER TO EXTERIOR. PROVIDE WATER-SHED MEMBERS ABOVE SIDE-HINGED SASHES AND SIMILAR LINES OF NATURAL WATER PENETRATION. PROVIDE MULLIONS AND COVER PLATES, MATCHING WINDOW UNITS, COMPLETE WITH ANCHORS FOR SUPPORT TO STRUCTURE AND INSTALLATION OF WINDOW UNITS. ALLOW FOR ERECTION TOLERANCES AND PROVIDE FOR MOVEMENT OF WINDOW UNITS DURE TO THERMAL EXPANSION AND BUILDING DEFLECTIONS, AS INDICATED. COMPLETE FABRICATION, ASSEMBLY FINISHING, HARDWARE APPLICATION, AND OTHER WORK IN FACTORY TO GREATEST EXTENT POSSIBLE. DISASSEMBLE COMPONENTS AS NECESSARY FOR SHIPMENT AND INSTALLATION.

INSTALL WINDOWS AND COMPONENTS TO DRAIN CONDENSATION, WATER PENETRATING JOINTS, AND MOISTURE MIGRATING WITHIN WINDOWS TO EXTERIOR. SEPARATE ALUMINIUM AND OTHER CORRODIBLE SURFACES FROM SOURCES OF CORROSION AND COVER PLATES. MATCHING WINDOW UNITS. CONTACT WITH OTHER MATERIALS. ADJUST OPERATING SASHES AND HARDWARE FOR A TIGHT FIT AT CONTACT POINTS AND WEATHER STRIPPING FOR SMOOTH OPERATION AND WEATHERTIGHT CLOSURE. CLEAN EXPOSED SURFACES IMMEDIATELY AFTER INSTALLING WINDOWS. AVOID DAMAGING PROTECTIVE COATINGS AND FINISHES. REMOVE EXCESS SEALANTS, GLAZING MATERIALS, DIRT, AND OTHER SUBSTANCES. REMOVE AND REPLACE GLASS THAT HAS BEEN BROKEN, CHIPPED, ABRADED, AND DAMAGED DURING CONSTRUCTION PERIOD.

PROVIDE NEW ALUMINUM FLASHING AT HEAD AND SILL TO DIRECT MOISTURE TO THE OUTSIDE.

###### DIVISION 9 – FINISHES

GYPSUM BOARD TO BE FINISHED AS SPECIFIED ACCORDING TO THE FOLLOWING:

STANDARD FINISH (LEVEL 4 PER GA 216-96): ALL JOINTS AND INTERIOR ANGLES HAVE TAPE EMBEDDED IN JOINT COMPOUND AND TWO SEPARATE COATS OF JOINT COMPOUND APPLIED OVER ALL FLAT JOINTS AND ONE SEPARATE COAT OF JOINT COMPOUND APPLIED OVER INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH THREE SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE FROM TOOL MARKS AND RIDGES. BEFORE FINAL DECORATION PREPARE SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINAL FINISHES.

ALL INTERIOR GYPSUM BOARD WALLS AND CEILINGS TO BE 5/8" THICK.

ALL PARTITIONS ARE TO BE SET IN CAULK.

ALL WORK TO BE COMPLETED IN A FIRST CLASS MANNER WITH NO EXPOSED, UNFINISHED EDGES, NAILS, SCREWS, ETC.

###### PAINTING

ALL INTERIOR DRYWALL AND PLASTER SURFACES SHALL RECEIVE 3-COAT SYSTEM, INCLUDING ONE COAT PRIMER SEALER OR AS RECOMMENDED BY PAINT MANUFACTURER (COLORED TO MATCH FINISH TOPCOAT), AND TWO FINISH COATS. PAINT SHALL BE INTERIOR GRADE LATEX PAINT BY SHERWIN WILLIAMS, PITTSBURGH PAINTS, OR APPROVED EQUIVALENT. ALL COLORS TO BE SELECTED BY ARCHITECT FROM MANUFACTURERS FULL LINE OF COLORS.

###### FLOORING PREP

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FLOORS PREPPED AND LEVEL READY TO RECEIVE SCHEDULED FLOOR FINISH. CONCRETE SLAB SURFACES SHALL BE CLEANED AND MADE SMOOTH WITH LEVELING COMPOUND AND POLISHED PRIMER PRIOR TO INSTALLATION OF ANY TILE OR CARPET. ALL PREPARATORY WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE FLOORING MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

GENERAL CONTRACTOR TO PROVIDE AND INSTALL VINYL TRANSITION AT MATERIAL CHANGES; MITER CUT AT CORNERS.

ALL DEBRIS TO BE REMOVED FROM PREMISES.

###### GRANITE

###### SUBMITTALS

CONTRACTOR TO SUBMIT TO ARCHITECT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION, INCLUDING DIMENSIONS AND PROFILES OF STONE, LOCATIONS AND DETAILS OF JOINTS. ARCHITECT TO PROVIDE STONE, MORTAR, AND SEALNT SAMPLES AT THE TIME OF SHOP DRAWING SUBMITTAL.

###### FIELD CONDITIONS

DO NOT USE FROZEN MATERIALS OR MATERIALS MIXED OF COATED WITH ICE OR FROST. REMOVE AND REPLACE STONE DAMAGED BY FROST. CONTRACTOR SHALL COMPLY WITH COLD-WEATHER CONSTRUCTION AND PROTECTION REQUIREMENTS FOR MANSORYN CONTAINED IN ACI 530.1/ASCE 6/TMS 602

###### STRUCTURAL PERFORMANCE

STONE ANCHORS SHALL WITHSTAND NOT LESS THAN TWO TIMES THE WEIGHT OF THE STONE CLADDING IN BOTH COMPRESSION AND TENSION. ALLOW FOR LOADS DUE TO CLEANING AND MAINTENANCE EQUIPMENT.

GRANITE TO COMPLY WITH ASTM C 615. FINISH TO BE POLISHED AND MATCH ARCHITECT'S SAMPLE.

###### INSTALLATION

SWEEP CONCRETE SUBSTRATES TO REMOVE DIRT, DUST, DEBRIS, AND LOOSE PARTICLES. REMOVE SUBSTRANCES FROM SUBSTRATES THAT COULD IMPAIR MORTAR BOND, INCLUDING CURING AND SEALING COMPOUNDS, FORM OIL, AND LANTIADE. DO NECESSARY FIELD CUTTING AS STONE IS SET. CUT LINES STRAIGHT AND TRUE AND FINISH FIELD-CUT EDGES TO MATCH SHOP-OUT EDGES. SCRIBE AND FIELD CUT STONE AS NECESSARY TO FIT AT OBSTRUCTIONS.

SATURATE STONE WITH CLEAN WATER SEVERAL HOURS BEFORE PLACING SETTING BED. REMOVE SURFACE WATER BEFORE ONE HOUR BEFORE PLACING SETTING BED. APPLY MORTAR-BED B

# Fukui Architects Pc

4 Smithfield Street Floor 12  
Pittsburgh Pennsylvania 15222  
ph 412.281.6001 fx 412.281.6002

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seal

## general notes

1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect.
2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, Pc of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
3. All work shall be installed in accordance with applicable codes and regulations.
4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

## revisions

## project title

### Owner:

Luxury Property Group LP  
208 Foxburg Drive  
Pittsburgh, PA 15205

### Project Location:

409 Wood Street  
Pittsburgh, PA 15222

## drawing title

### Specifications

#### **DIVISION 16 – ELECTRICAL**

CONFORM TO THE LATEST RULES OF THE NATIONAL ELECTRICAL CODE AND WITH LOCAL ORDINANCES AND LOCAL ELECTRIC UTILITY COMPANY REQUIREMENTS HAVING JURISDICTION. ALL ELECTRICAL WORK TO BE DONE SHALL CONFORM TO ALL STANDARDS PERTAINING TO ADEQUATE PROTECTION AGAINST A HAZARDOUS CONDITION AND CONFORM TO THE REQUIREMENTS OF THE CONTRACT DRAWINGS AND SPECIFICATIONS. DO NOT INTERPRET ANYTHING IN THE DRAWINGS OR SPECIFICATIONS AS AUTHORITY TO VIOLATE APPLICABLE CODES

CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM

THE LOCATIONS OF STREET MAINS, TRANSFORMERS, JUNCTIONS, AND ETC. MAY NOT HAVE BEEN FINALIZED BY THE UTILITY COMPANIES. CONTRACTOR SHALL VERIFY FINAL LOCATIONS AND CONNECT TO SERVICES AT THE LOCATIONS, AND IN THE MANNER DIRECTED BY THE RESPECTIVE UTILITY COMPANIES. ELECTRIC METER LOCATIONS SHALL BE VERIFIED WITH THE OWNER AND THE ELECTRIC COMPANY PRIOR TO INSTALLATION OF ANY UNDERGROUND CONDUIT

THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES. ALL DEVICES PROVIDED BY OTHERS THAT REQUIRE LINE VOLTAGE ELECTRICAL POWER SHALL BE CONNECTED BY THE ELECTRICAL CONTRACTOR

LIGHT FIXTURES, SWITCHES, AND ELECTRICAL/TELECATV OUTLETS ARE TO BE LOCATED AS INDICATED ON THE ARCHITECTURAL DRAWINGS. VERIFY AND COMPLY WITH ALL SERVICE INFORMATION AND REQUIREMENTS FOR POWER, CABLE TELEVISION, AND TELEPHONE WITH UTILITIES SUPPLYING THESE SERVICES

THE CONTRACTOR SHALL EXECUTE THE WORK IN STRICT ACCORDANCE WITH THE SPECIFICATION AND DRAWINGS. WHERE WORK IS SHOWN ON THE DRAWING AND NOT SPECIFIED OR SPECIFIED AND NOT SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL PROVIDE ALL SUCH WORK.

IN THE EVENT OF A CONFLICT BETWEEN THE SPECIFICATIONS AND DRAWINGS, THE MOST STRINGENT CONDITIONS SHALL APPLY. WHERE A CONFLICT ARISES BETWEEN PLANS, SPECIFICATIONS, DRAWINGS, DETAILS, SCHEDULES, APPLICABLE CODES OR REGULATIONS, THE MOST STRINGENT SHALL APPLY. NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUED TO CONFLICT WITH ANY NATIONAL, STATE, MUNICIPAL, OR LOCAL LAWS OR REGULATIONS GOVERNING THE WORK INDICATED OR SPECIFIED. ALL SUCH REQUIREMENT SHALL BE SATISFIED BY THE ELECTRICAL CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

MAINTAIN PROPER CLEARANCES AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER AND ALL INDUSTRY STANDARDS.

ALL ELECTRICAL WORK SHALL BE IN ACCORD WITH ALL APPLICABLE ORDINANCES, CODES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. ALL ELECTRICAL WORK SHALL BE INSPECTED AND APPROVED BY THE LOCAL ELECTRICAL INSPECTION AGENCY. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY FEES AND PERMIT, INCLUDING THE CERTIFICATE OF ELECTRICAL INSPECTION.

THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SAFETY. THE ARCHITECT AND/OR ENGINEER SHALL ASSUME NO RESPONSIBILITY FOR THE WORKMAN'S OR PEDESTRIAN'S SAFETY. NOTHING IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUED TO INSTRUCT PROCEDURES OR COMPONENTS FOR PROJECT SAFETY.

THE CONTRACT DOCUMENTS ARE COMPRISED OF DRAWINGS AND SPECIFICATIONS. EACH ELECTRICAL BIDDER SHALL VISIT THE SITE TO DETERMINE EXISTING CONDITIONS PRIOR TO SUBMITTING BID PROPOSAL. BIDS SHALL BE BASED ON THE COMPLETE EXAMINATION OF DRAWINGS, SPECIFICATIONS, AND EXISTING CONDITIONS. NO CONSIDERATION WILL BE GIVEN ANY CONTRACTOR WHO FAILS TO DO SO.

THE WORK UNDER THIS CONTRACT SHALL INCLUDE THE FURNISHING OF ALL THE NECESSARY MATERIALS, TOOLS, AND LABOR FOR A COMPLETE AND WORKING INSTALLATION AS DEFINED BY THE PLANS AND SPECIFICATIONS. THE ELECTRICAL CONTRACTOR SHALL WARRANT THE WORK INDICATED AND SPECIFIED. THE WORK SHALL FUNCTION AS INTENDED, BE COMPLETE IN ALL DETAILS, AND SHALL INCLUDE AS INDICATED, SPECIFIED, OR REQUIRED ACCESSORIES FOR A FUNCTIONING SYSTEM.

THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR PRIOR TO AND FOR SCHEDULING AND INTERRUPTION OF ANY BUILDING UTILITY

ALL DIMENSIONS AND EXISTING CONDITIONS PERTAINING TO THE INSTALLATION OF THE ELECTRICAL SYSTEMS SHALL BE VERIFIED BY THE ELECTRICAL CONTRACTOR ON SITE. WHERE A CONTRACTOR UNCOVERS CONDITIONS NOT INDICATED ON THE PLANS OR IN THE SPECIFICATIONS, HE SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK. FAILURE TO NOTIFY THE ARCHITECT WILL MAKE THE CONTRACTOR RESPONSIBLE FOR ALL COSTS AND CONSEQUENCES OF SUCH FAILURE

ALL WIRING SHALL BE CONELED IN FINISHED AREAS AS SPECIFIED

ALL TRENCHING AND BACK FILL FOR UNDERGROUND CONDUITS SHALL BE BY THE ELECTRICAL CONTRACTOR

ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY LIGHT AND POWER WIRING AS REQUIRED FOR CONSTRUCTION

EXTERIOR INGROUND LIGHTS  
NEW EXTERIOR INGROUND LIGHT TO BE (2) ETC130-GB LED INGROUND FIXTURES

EXTERIOR SIGN MOUNTED LIGHTS  
NEW EXTERIOR DOWNUP LIGHT MOUNTED TO SIGNAGE TO BE (2) FLC131 LED

**DIVISION 21 – FIRE SUPPRESSION**  
NOT USED

scale	As Noted	
date	3/05/2015	
no.	8	of. 8

Sheet No.

**A-106**

Project #1454

Ad 1000.00

file C-784

ZCP# 776



**CITY OF PITTSBURGH**  
DEPARTMENT OF CITY PLANNING  
ZONING • DEVELOPMENT REVIEW 200  
ROSS STREET • THIRD FLOOR  
PITTSBURGH • PENNSYLVANIA • 15219

**ZONE CHANGE PETITION**

**Address** 400 Roup Avenue (51-H-118) Pittsburgh, PA 15232  
Aka Baum Grove

**Owner:** Friendship Development Associates, Inc. (FDA)  
**Address:** 375 S. Fairmount St. Pittsburgh PA 15232  
**Phone:** 412 362 2112

**Applicant / Agent:** Kenneth R. Stiles  
**Address:** 375 S. Fairmount St., Pittsburgh, Pa 15232  
**Phone:** 412 362 2112

Property owners or representatives of property described who join this petition.

Owner's Name	Property
FDA	400 Roup Ave.

*If additional space is required, list on a separate sheet and attach.*

**Block & Lot:** 51 H 118 \_\_\_\_\_ **Ward:** 8th  
**Sq. ft. of site:** 29,377 \_\_\_\_\_ **or, number of acres:**  
**Existing Zoning** RM-3 \_\_\_\_\_ **Proposed Zoning:** Parks District "P"

**Present use of site:**  
The site has been a community park for the Friendship neighborhood since its acquisition by the FDA in 1992

**Proposed use & improvements:** *(attach map of proposed zone change area)*  
The site would continue to be used as a community park. Aside from minor landscaping improvements there are no planned changes.

*(if additional space is required, attach a separate sheet)*

The proposed Zone Change is appropriate and desirable and that this use will not be detrimental to the immediate neighborhood because: There are no convenient City parks in Friendship The community park at 400 Roup Ave. (BAUM GROVE) has been an important part of the Friendship Community since 1992 and has been an integral part of all Friendship Community Plans (1999, 2005, and 2011). The change in zoning from RM-3 to Parks District would match the zoning classification with its use.

The proposed application will comply with the conditions specified in the Code by:

Provides and maintains a park for the enjoyment of the City's residents and visitors. Accommodates passive uses not otherwise available in the neighborhood.



**NOTICE TO ANYONE WHO JOINS THIS PETITION:**

Despite any statements of proposed use made above, enactment of this ordinance will permit involved property to be used for any of the uses listed in the classification table of the Zoning Ordinance.

**STATEMENT OF TRUTH  
COMMONWEALTH OF PENNSYLVANIA, COUNTY OF ALLEGHENY**

Deponent, being duly sworn, says that they are the:

- Owner of record of the property for which this application is made, and that all the statements and data furnished with this application is true and correct.
- Authorized agent for the owner of record of the property for which this application is made and as such has express authority to bind such owner to all terms and conditions of any Occupancy permit issued pursuant to this application, and that all the statements and data furnished with this application are true and correct.

Sworn to and subscribed before me **3** day of **MARCH** **2015**  
this

Notary Public

Applicant (signature)

Applicant (printed)

RECORD OF ACTIONS (to be completed by City Planning)

**Address Date**

**Fee; \$**

**Filed Zoning**

**Land Use # Zone**

**District**

**Change #**

**Proposed Zoning**

**Planning recommendation**

**Commission**

Approved

Denied

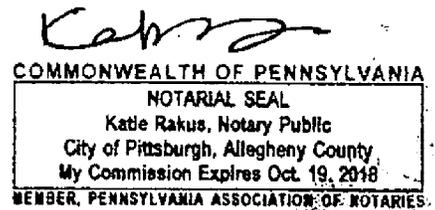
DATE OF ACTION

**City Council action**

Approved

Denied

DATE OF ACTION





AMBOY ST

R3-M

R1D

R3-D

S PACIFIC AVE

ASTERISK WAY

S ATLANTIC AVE

S ATLANTIC

ARCHON WAY

S AIKEN AVE

VINTAGE WAY

VINTAGE WAY

S GRAHAM ST

S GRAHAM ST

OLGA WAY

OLGA WAY

S FAIRMOUNT ST

ROUP AVE

STRATFORD AVE

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**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: <i>Sports &amp; Exhibition Authority</i>		Phone Number: <i>(412) 393.0200</i>	
Address: <i>171 10<sup>th</sup> St.</i>	City: <i>Pittsburgh</i>	State: <i>PA</i>	Zip Code: <i>15222</i>
2. Applicant/Company Name: <i>PESI Stadium LLC</i>		Phone Number: <i>(412) 697.7733</i>	
Address: <i>900 Art Rooney Ave.</i>	<i>Pittsburgh</i>	State: <i>PA</i>	Zip Code: <i>15212</i>
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: <i>South Plaza Project - Exterior Signage</i>			
4. Development Location: <i>Heinz Field</i>			
5. Development Address: <i>900 Art Rooney Ave., Pittsburgh PA 15212</i>			
6. If applicant is proposing a change to the Zoning District, the following is required: <input checked="" type="checkbox"/> (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: <i>7/15/15</i>	Occupancy Date: <i>8/1/15</i>	Project Cost: \$

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): <i>Public Assembly, General</i>	
10. Select the Type of Work:	
<input type="checkbox"/> New Construction, New	<input type="checkbox"/> Renovation, Interior
<input checked="" type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use
11. Describe the Development: <i>Exterior signage will be installed to support public events at Heinz Field.</i>	
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <a href="http://www.city.pittsburgh.pa.us/bbi/">http://www.city.pittsburgh.pa.us/bbi/</a> )	

**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13. Proposed Number of New Structures or Building Additions:**  N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

**14. Gross Floor Area:**  
 Existing to be Razed: \_\_\_\_\_ sq ft  
 Existing to be Retained: \_\_\_\_\_ sq ft  
 Retained Area to be Renovated: \_\_\_\_\_ sq ft  
 To be Constructed: \_\_\_\_\_ sq ft  
 Building Footprint: \_\_\_\_\_ sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure				
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):


**16. Number of Dwelling Units:**  
 Existing to Remain: \_\_\_\_\_ Proposed: \_\_\_\_\_

**17. Lot Area:** \_\_\_\_\_ sq ft

**18. On Site Parking:**  N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A  
 Actual: \_\_\_\_\_  
 Required: \_\_\_\_\_

**19. Please check any of the following items that will be part of the proposed work:**  N/A  
 Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm  
 Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

\_\_\_\_\_ New Water Service Connection(s)      \_\_\_\_\_ Termination of Existing Water Service Tap(s)  
\_\_\_\_\_ New Sewer Service Connection(s)      \_\_\_\_\_ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

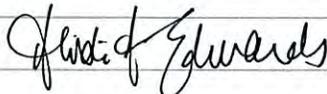
- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?       Yes       No

Applicant Signature: 

**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219**

**Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9**

**Residential Uses**

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

**Non-Residential Uses**

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219**

**DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION**

**Department of City Planning**

200 Ross Street, Fourth Floor  
Pittsburgh, PA 15219  
(412) 255-2200  
[pittsburghpa.gov/dcp/](http://pittsburghpa.gov/dcp/)

**Department of City Planning  
Zoning Office Counter**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2246  
[pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/)

**City Zoning Code**

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety  
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2175  
[www.city.pittsburgh.pa.us/bbi/](http://www.city.pittsburgh.pa.us/bbi/)

**Department of Public Works (DPW)  
Bureau of Engineering and Construction**

City-County Building, Room 301  
441 Grant Street  
Pittsburgh, PA 15219  
(412) 255-2883  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Department of Public Works (DPW)  
Public Space Management  
Permit Office**

611 Second Avenue  
Pittsburgh, PA 15219  
(412) 255-2370  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Pittsburgh Water and Sewer Authority (PWSA)**

Penn-Liberty Plaza I  
1200 Penn Avenue  
Pittsburgh, PA 15222  
Permits (412) 255-2443; Engineering (412) 255-8987  
[www.pgh2o.com](http://www.pgh2o.com)  
*Refer to the PWSA Procedures Manual for Developers.*

**Allegheny County Health Department (ACHD)**

Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224  
(412) 578-8036  
[www.achd.net/plumbing/index.html](http://www.achd.net/plumbing/index.html)

**Allegheny County Health Department (ACHD)**

Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224  
(412) 578-8044  
[www.achd.net/food/foodstart.html](http://www.achd.net/food/foodstart.html)

**Allegheny County Health Department (ACHD)**

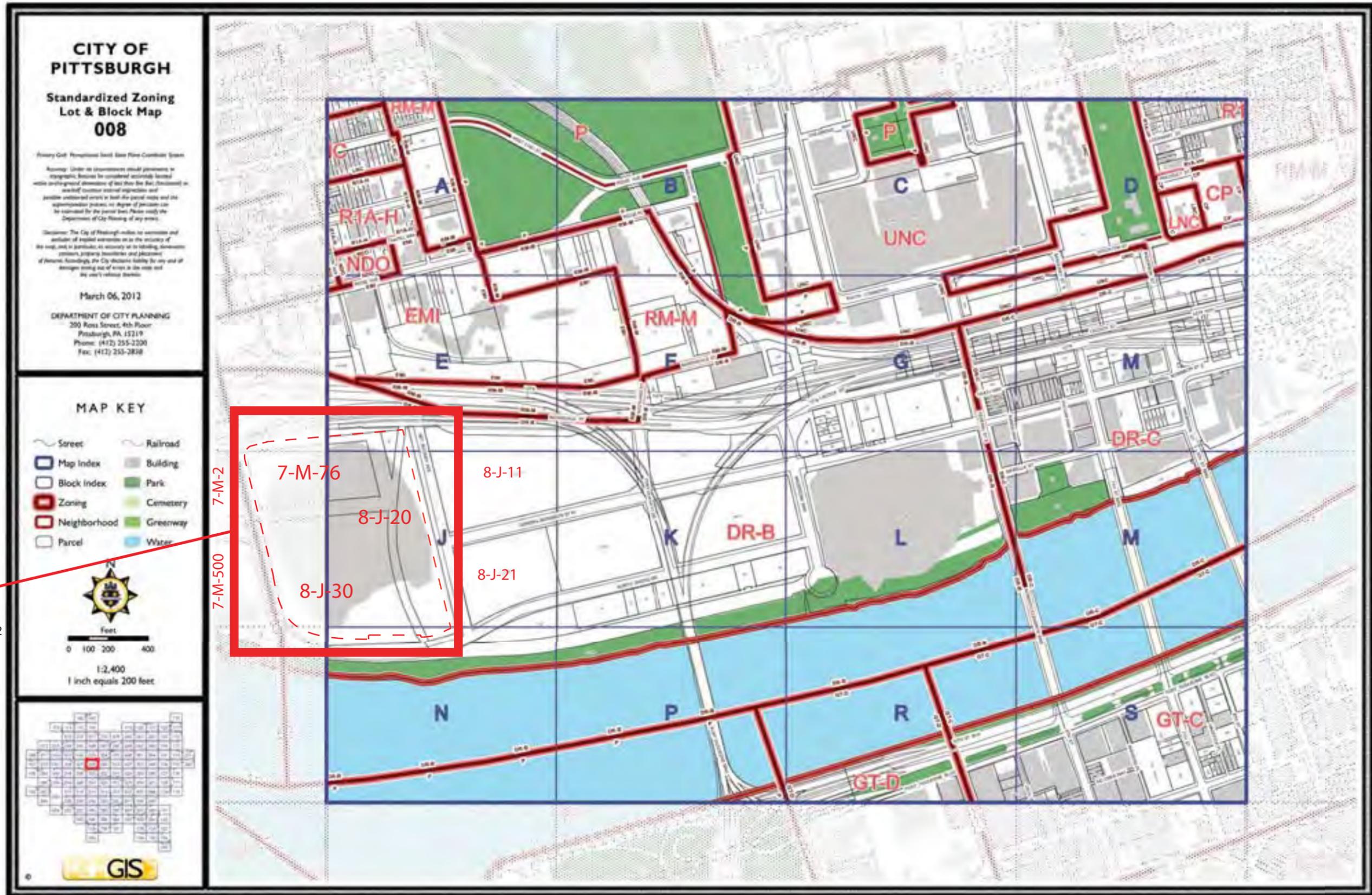
Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
[www.achd.net/housing/commenvironstart.html](http://www.achd.net/housing/commenvironstart.html)

# Heinz Field: South Plaza Exterior Signage Program

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February 6, 2015    REV 4.1.15

**KOLANO design**  
6026 Centre Ave.  
Pittsburgh, Pennsylvania 15206  
412.661.9000  
kolano.com



**919.03.M.7 GT and DR Zoning Districts**

(b) For public destination facilities, the total face area of wall mounted signs below forty (40) feet shall not exceed a total of three (3) percent of exposed building façade area or a maximum of two hundred (200) square feet per façade, whichever is smaller, shall permit electronic identification signs with no motion or animation, and shall be subject to design review and approval by the City Planning Commission.

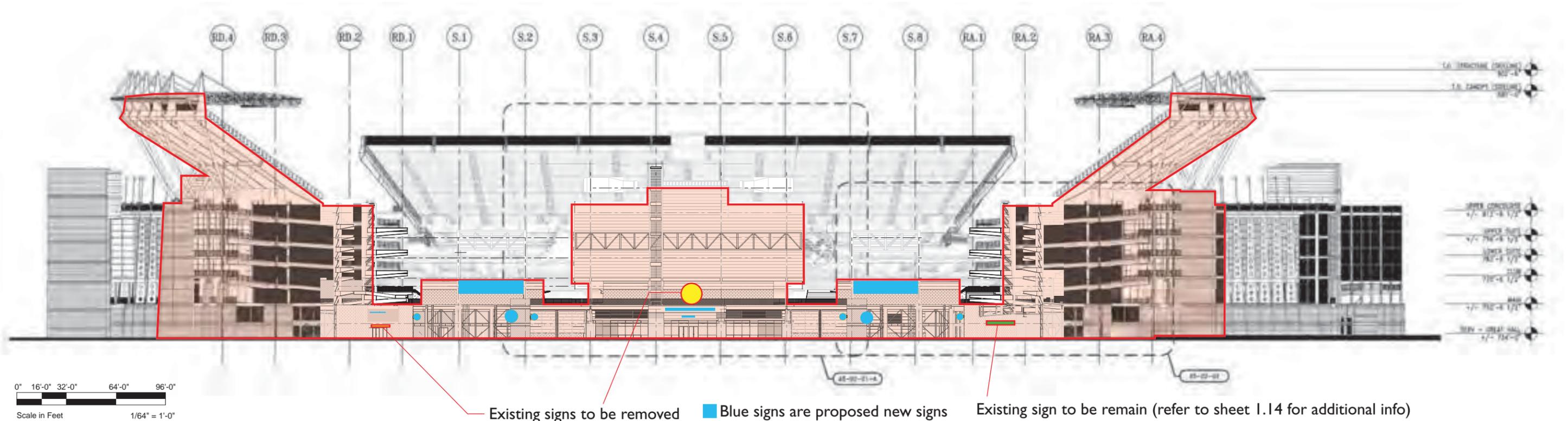
**South Elevation Exposed Building Façade Area: 94,162 sq ft**

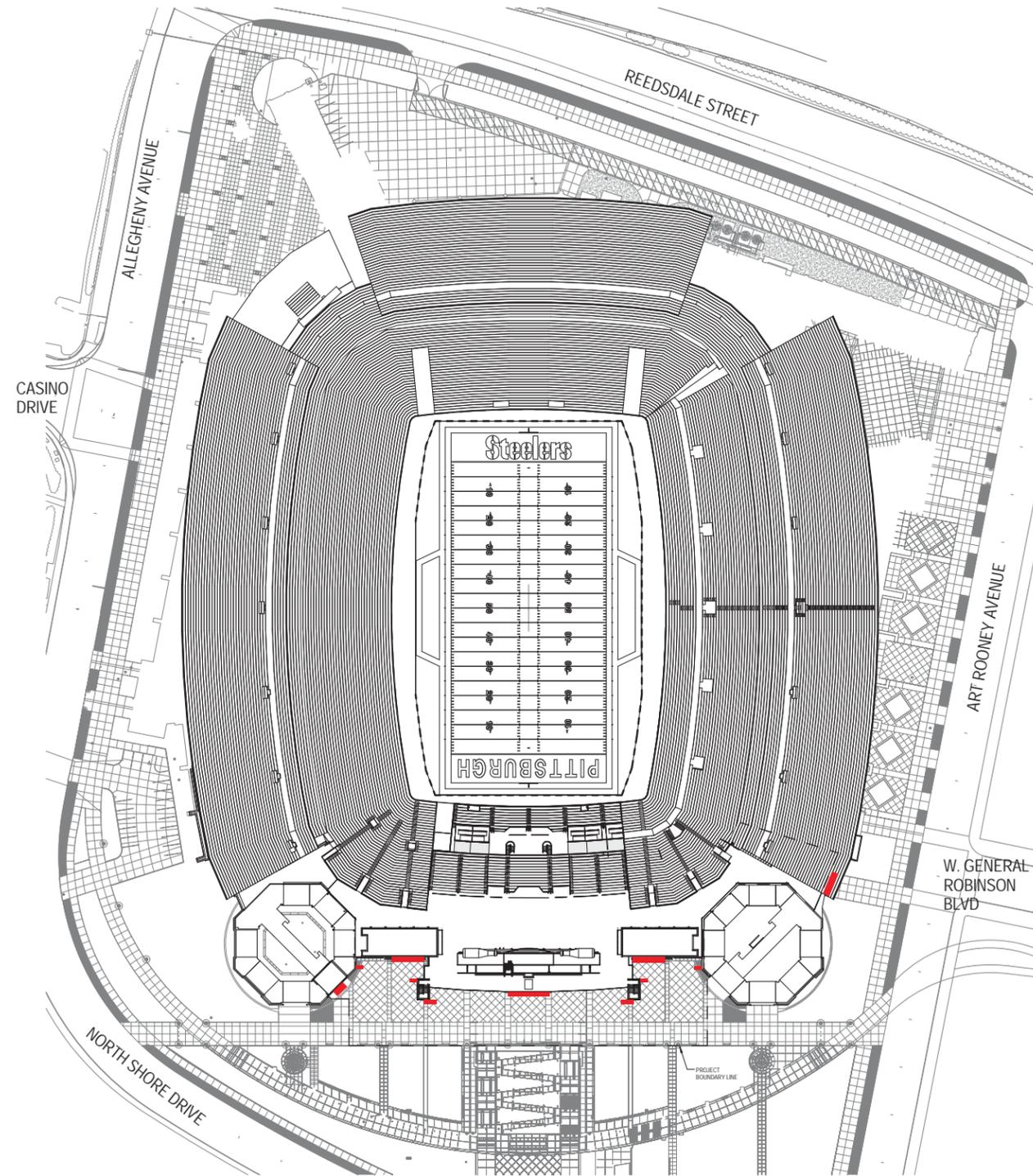
3% of 94,162 = **2,825 sq ft (for wall signs)**

Two (2) existing wall signs being removed: **179.5 sq ft**

One (1) existing wall sign to remain:	<b>40 sq ft</b>
New signs being proposed:	<b>993 sq ft REQUESTED</b>
<b>South Façade TOTAL =</b>	<b>1,033 sq ft</b>
(1,792 sq ft below 3% allowance)	

**VARIANCE** for 833 sq ft requested above the 200 sq ft permitted.





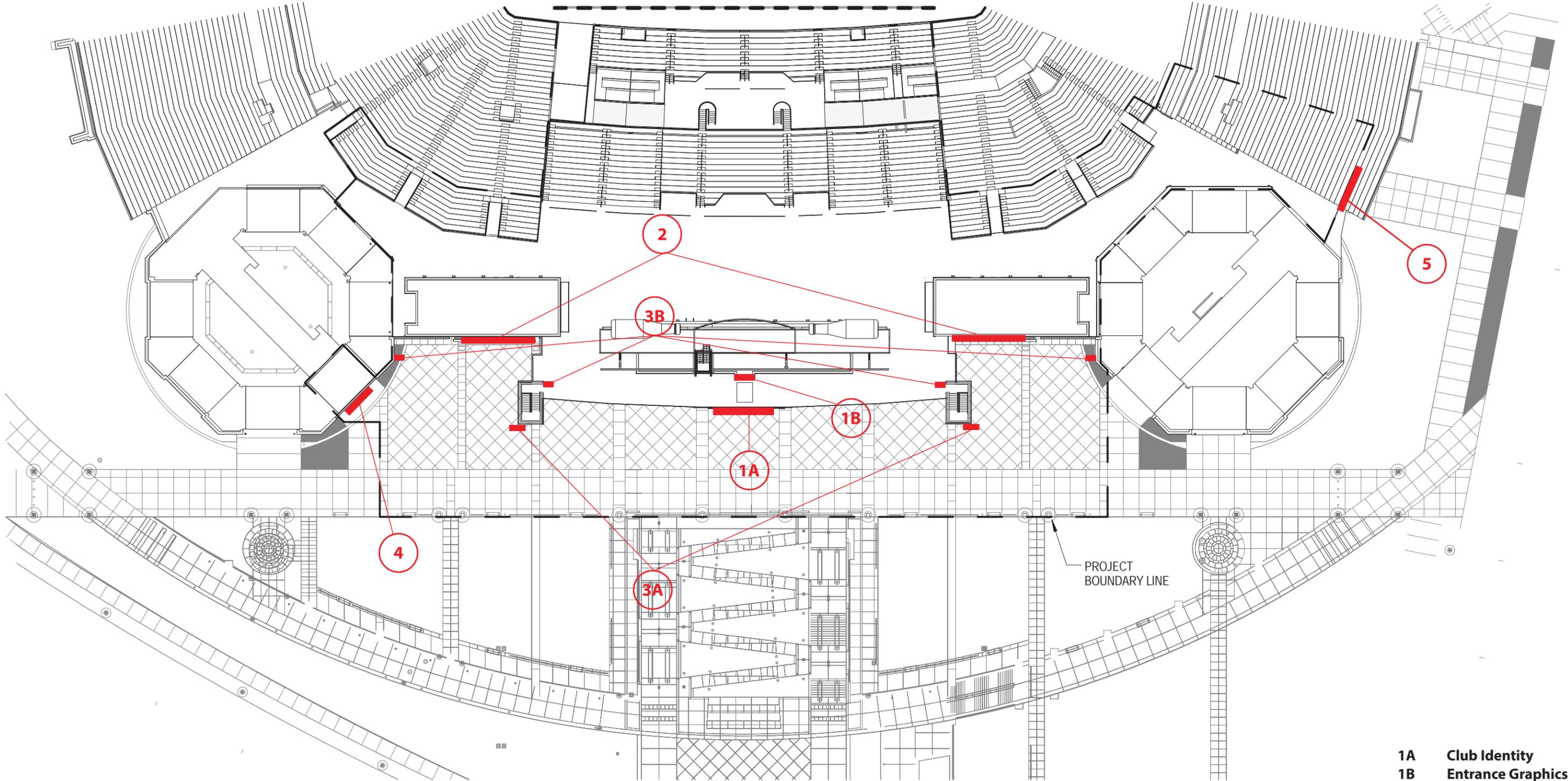
1 SITE PLAN  
Not to Scale



TRUE NORTH

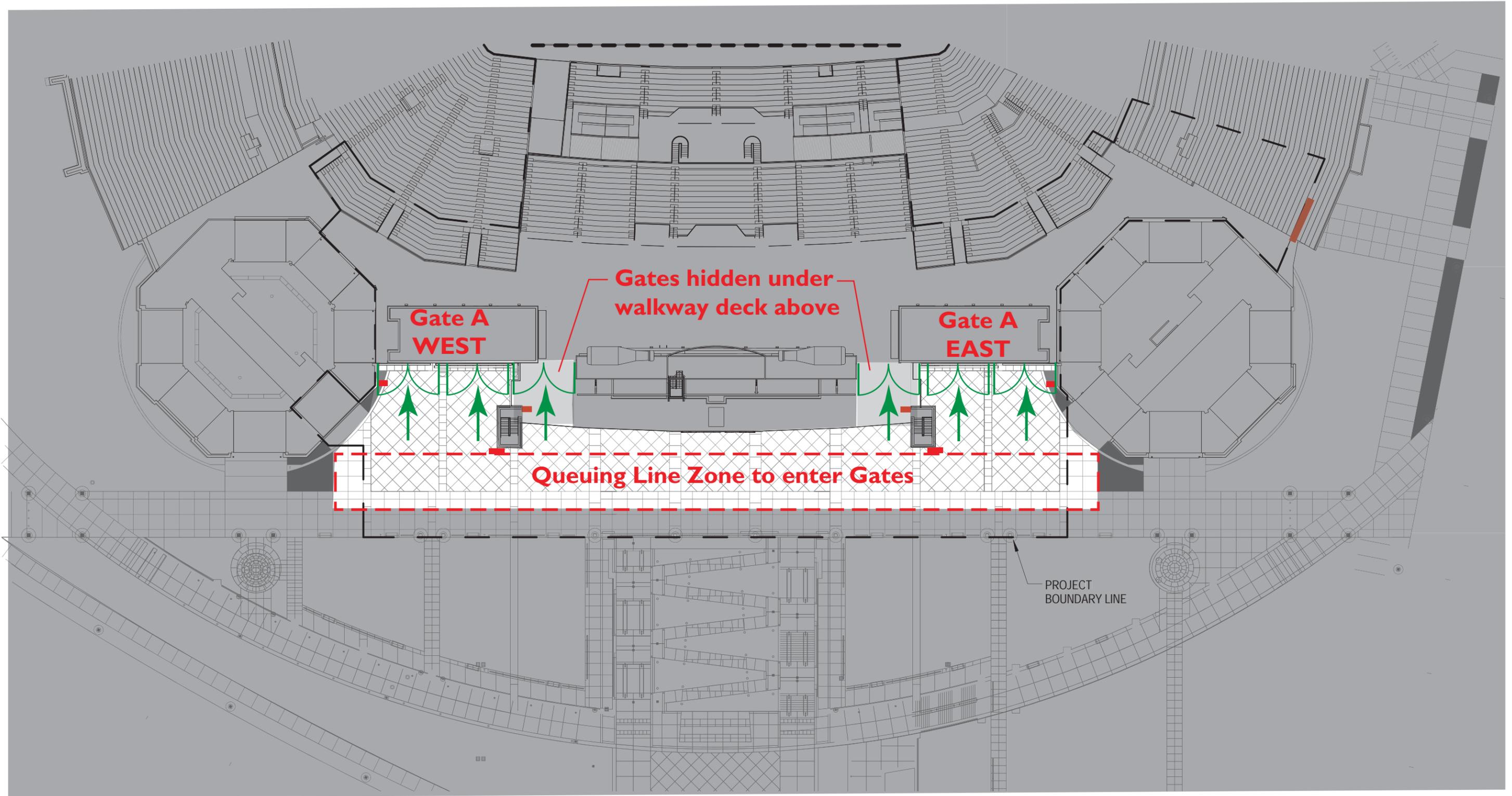


PROJECT NORTH

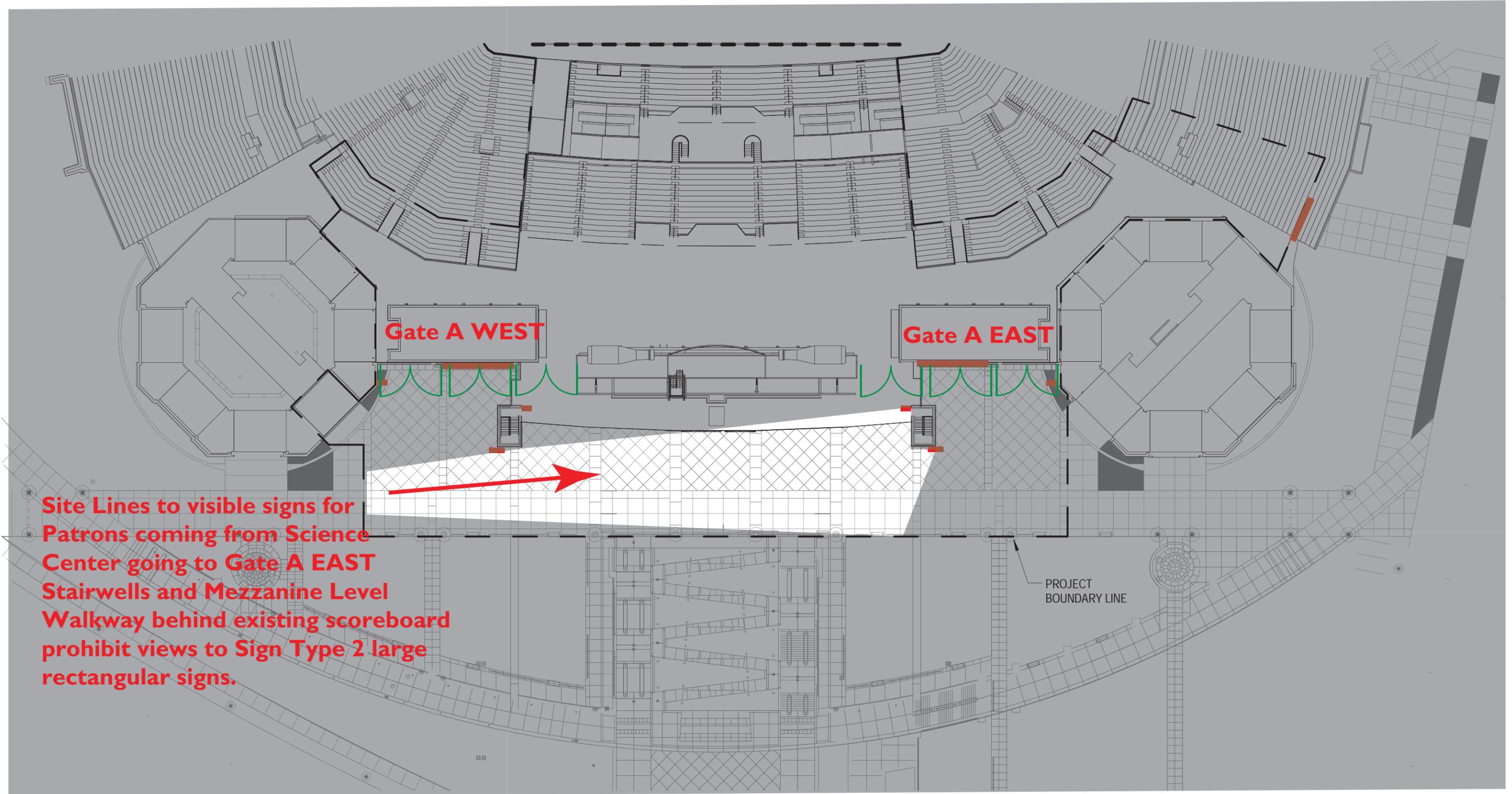


- 1A Club Identity
- 1B Entrance Graphics
- 2 Gate Identifier
- 3A Secondary Gate ID
- 3B Secondary Gate ID
- 4 Entrance ID
- 5 Gate Identifier

1 **SITE PLAN** Partial South Plaza Plan With Proposed Signs



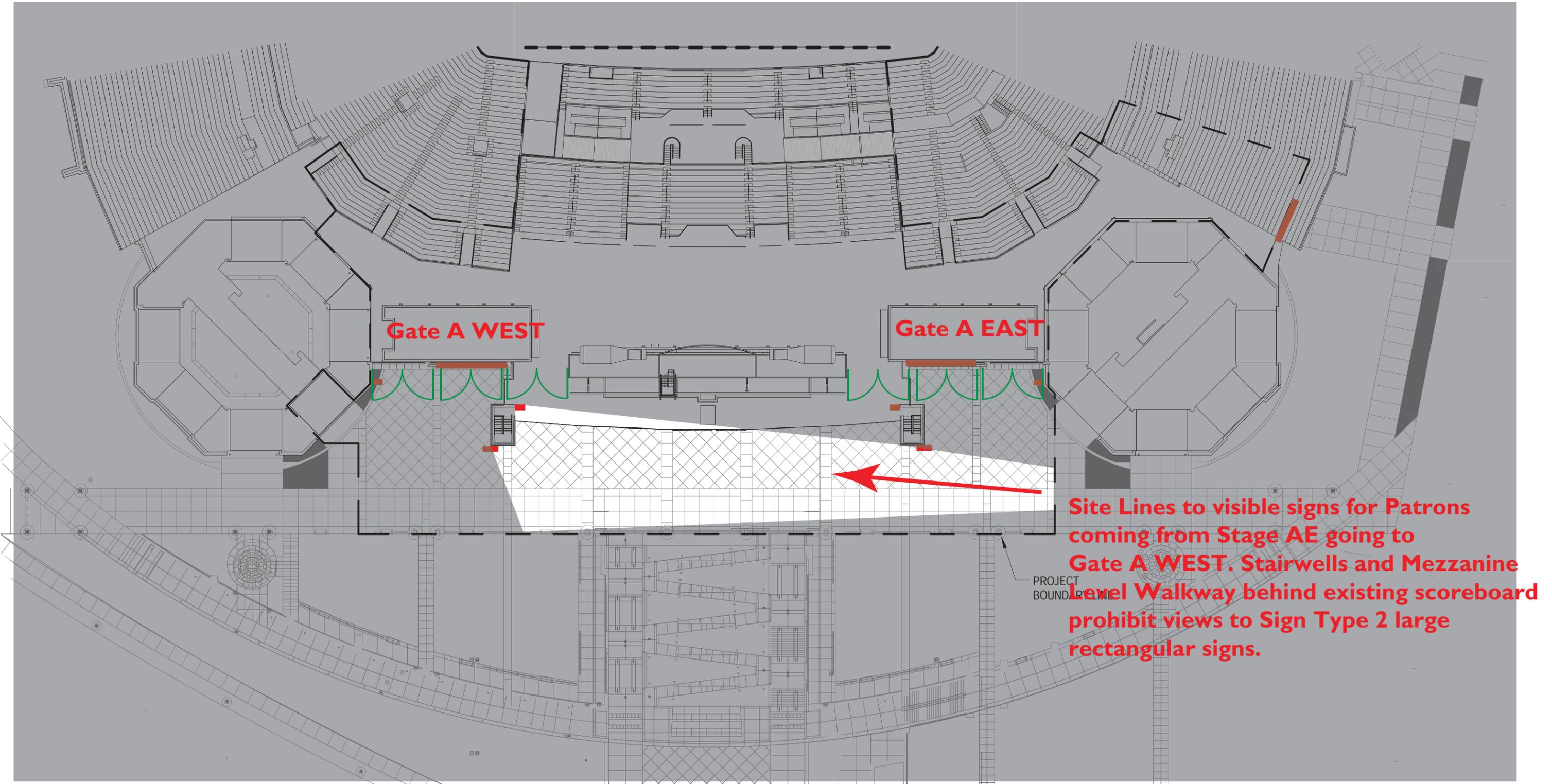
1 SITE PLAN Partial South Plaza Plan With Proposed Signs / Site Lines



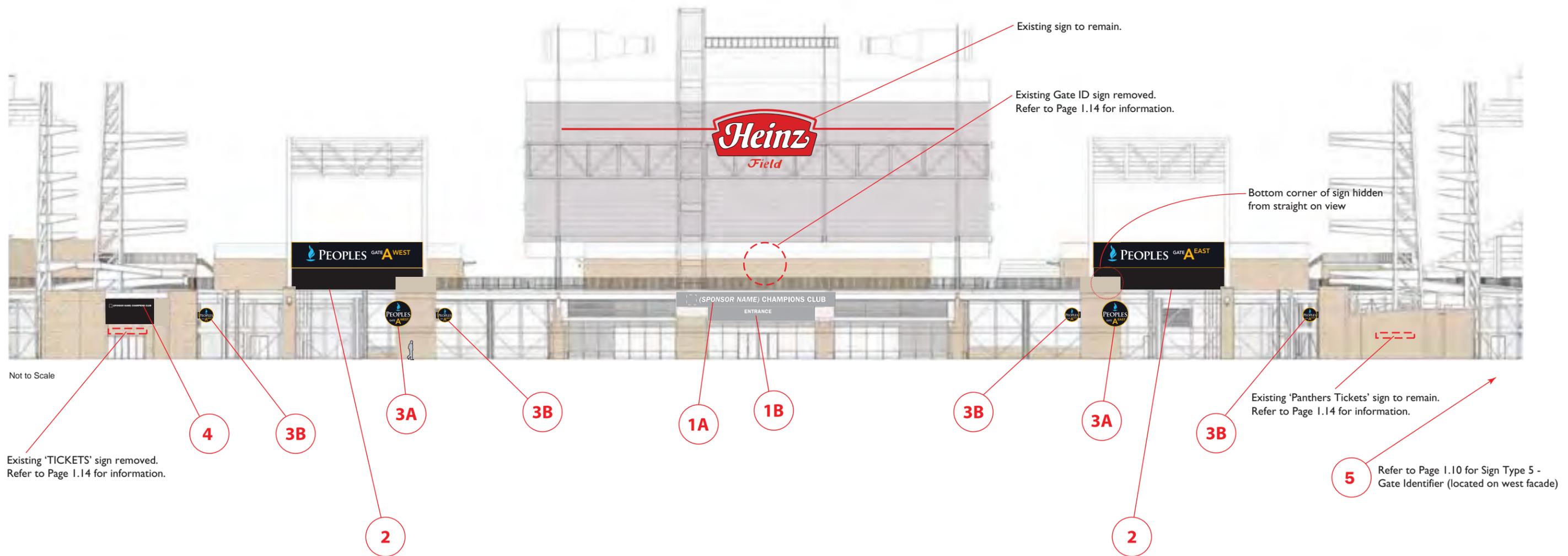
Site Lines to visible signs for Patrons coming from Science Center going to Gate A EAST Stairwells and Mezzanine Level Walkway behind existing scoreboard prohibit views to Sign Type 2 large rectangular signs.

PROJECT BOUNDARY LINE

1 SITE PLAN Partial South Plaza Plan With Proposed Signs / Site Lines



1 SITE PLAN Partial South Plaza Plan With Proposed Signs / Site Lines



**Partial South Plaza Facade Proposed Signs**

- 1A Club Identity
- 1B Entrance Graphics
- 2 Gate Identifier
- 3A Secondary Gate ID
- 3B Secondary Gate ID
- 4 Entrance ID
- 5 Gate Identifier



Existing sign to remain.

Existing sign to remain.

Partial South Plaza Facade Rendering



**(SPONSOR NAME) CHAMPIONS CLUB** 1'-7"

9" **ENTRANCE**

Total = 4.3 sq ft

Total = 105 sq ft

**Sign Type 1A Club Identity: Quantity 1**

Sponsor Name to be finalized. Face-Lit dimensional letters applied to canopy face.

**Sign Type 1B Secondary Entrance Graphics: Qty 1**

Sponsor Name to be finalized. Face-Lit dimensional letters applied to canopy face.



Colite face-lit letter



41'-7"W x 8'-0"H = 332.6 sq ft

Sign Type 2 Graphic Layout - Southeast Location

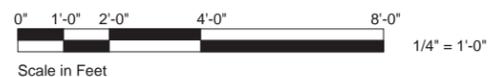


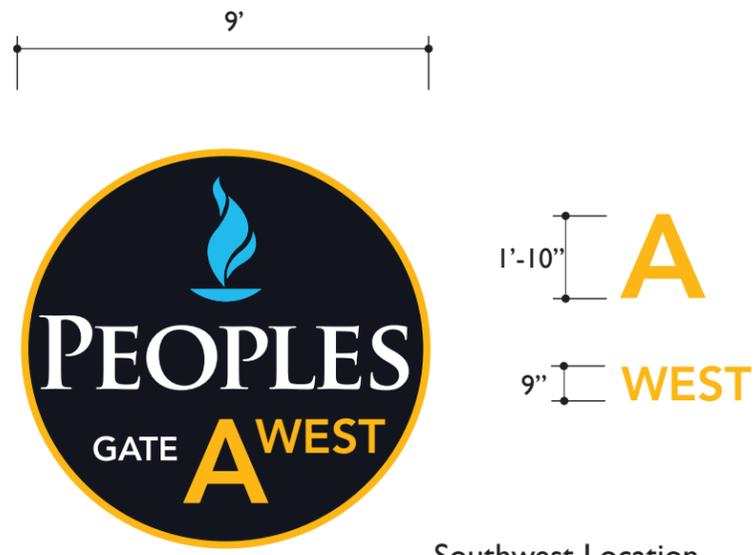
Sign Type 2 Graphic Layout - Southwest Location

Total = 665 sq ft

**Sign Type 2 Gate Identifier: Quantity 2**

Internally illuminated sign cabinets mounted to wall





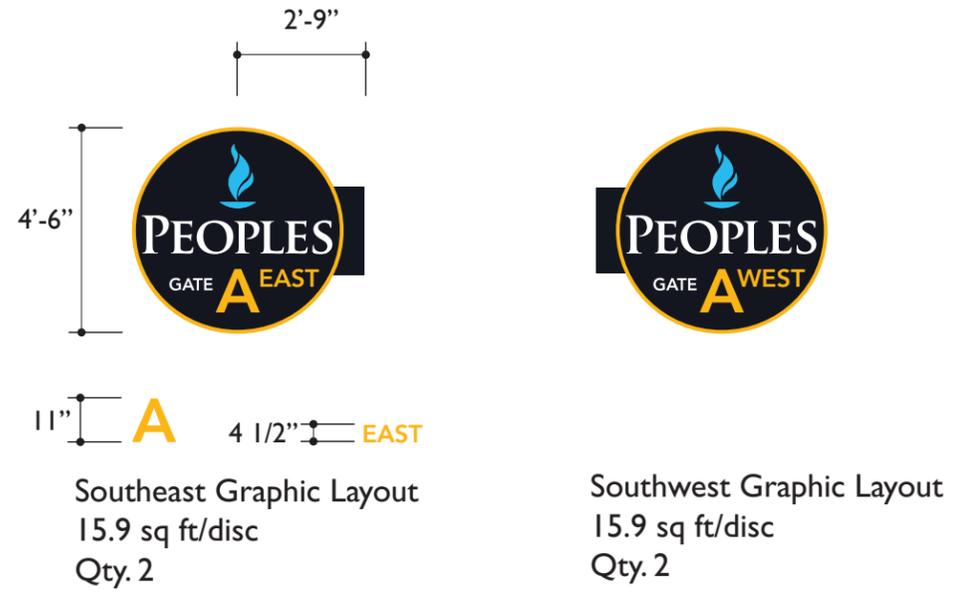
Southwest Location



Southeast Location

63.6 sq ft/disc  
Qty. 2

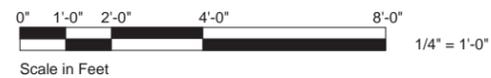
Total = 127.2 sq ft

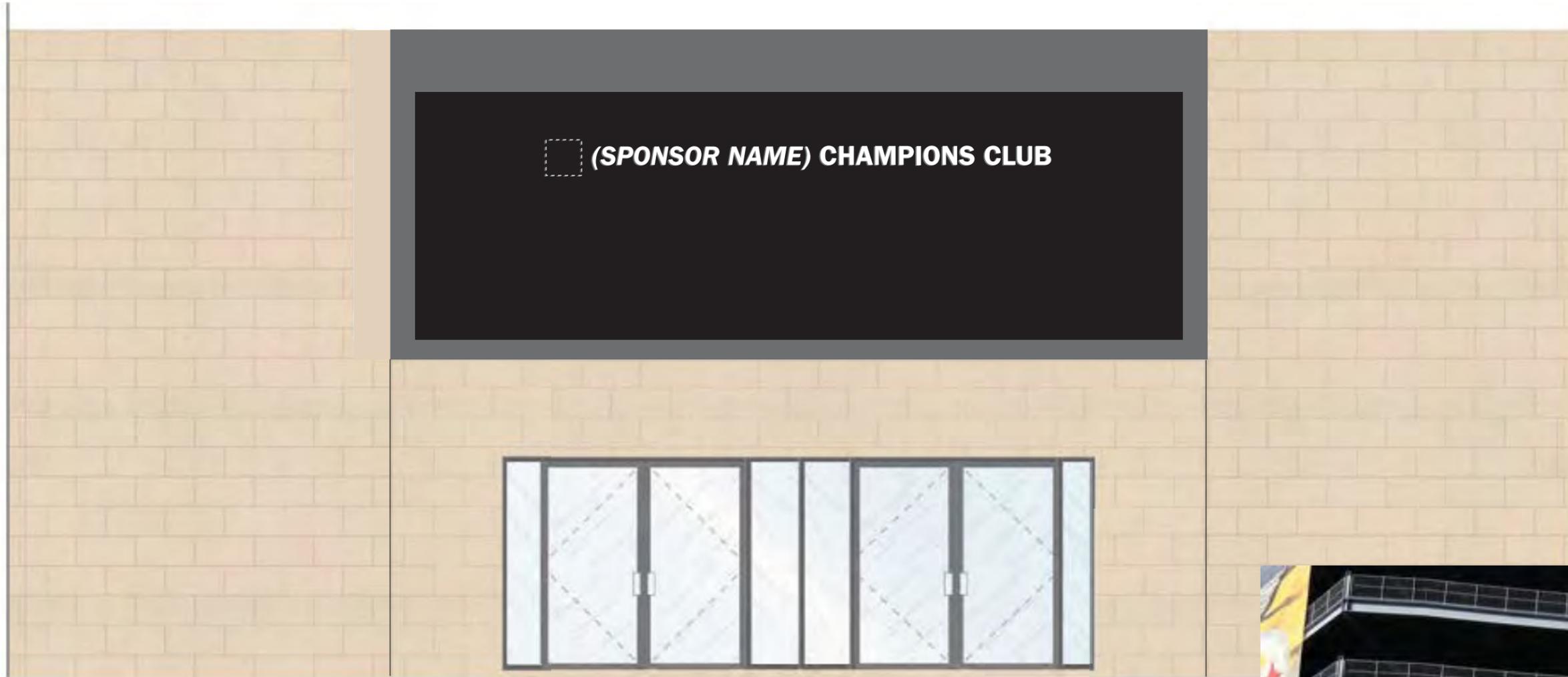


Total = 63.6 sq ft

**Sign Type 3B Secondary Gate ID: Quantity 4**  
Internally illuminated sign cabinets flag mounted to wall

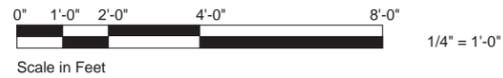
**Sign Type 3A Secondary Gate ID (Single-Sided): Quantity 2**  
Internally illuminated sign cabinets mounted to wall





(SPONSOR NAME) CHAMPIONS CLUB  7 1/2"  
Total = 18 sq ft

**Sign Type 4 Entrance ID: Quantity 1**  
Sponsor name to be finalized.  
Face-Lit dimensional letters applied to wall

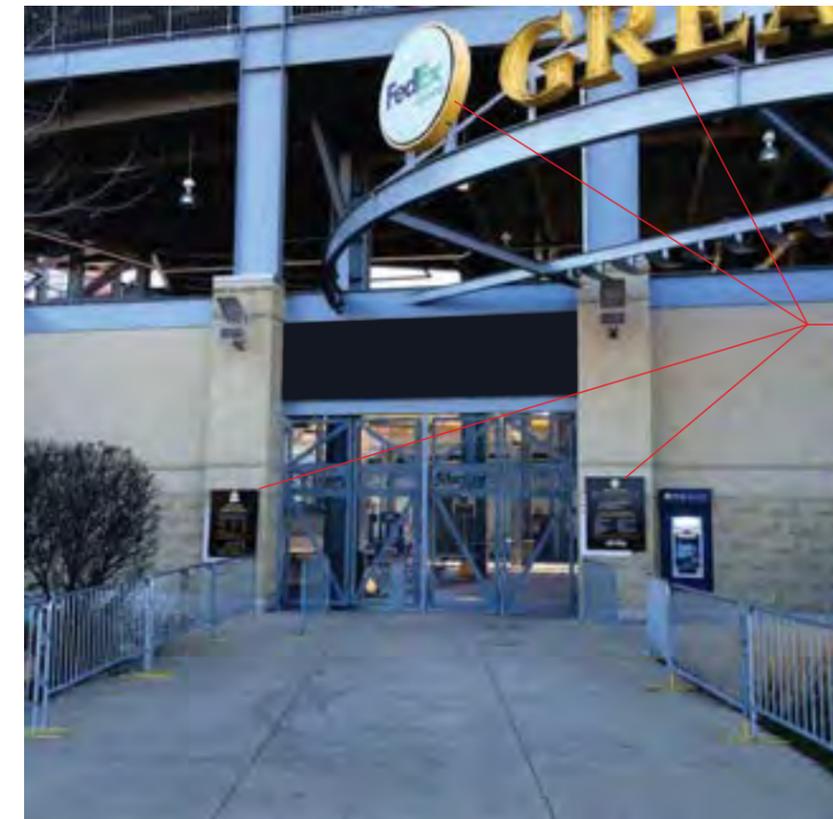


Colite face-lit letter

Existing 'TICKETS' sign removed.  
Refer to Page I.14 for information.



Existing Site Photo



Existing signs to remain.

Existing Site Photo

(SPONSOR NAME) CHAMPIONS CLUB 3 3/4"

6'-5"W x 3 3/4"H = 5 sq ft

Total = 9.8 sq ft

**Sign Type 5 Gate Identifier: Quantity 1**

Sponsor name to be finalized.

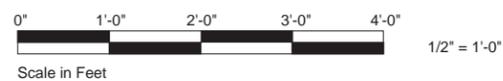
Face-Lit dimensional letters applied to wall



10 1/2"H x 5'-9"W  
10 1/2"H 'FEDEX' Letters  
3 1/4" 'VIP Entrance' Letters  
4.8 sq ft



Colite face-lit letter





View 1



View 2



View 3



View 4

**Existing Site Line Conditions From Adjacent Roadway  
Heading towards PNC Park from the Carnegie Science Center**



View 5



View 6



View 7

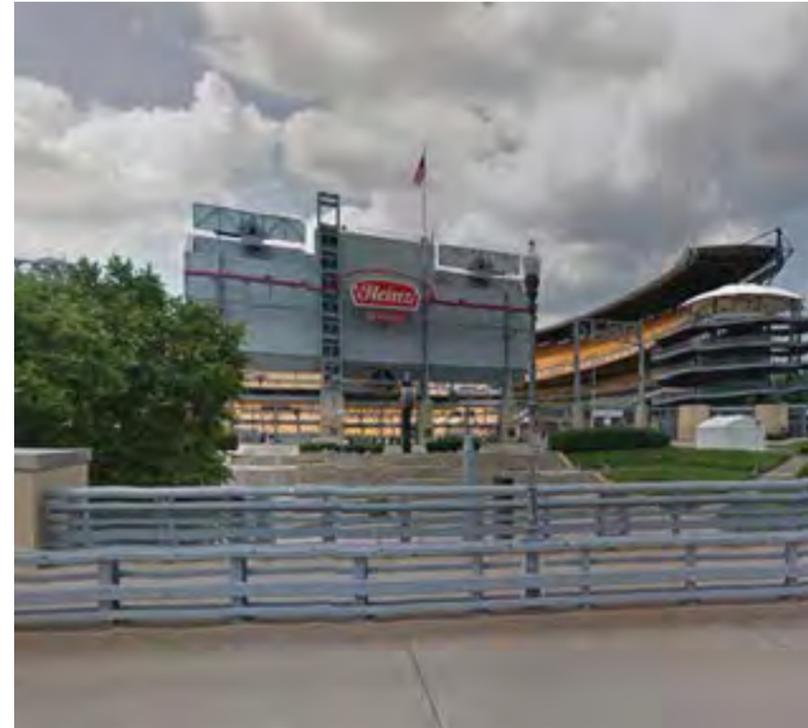


View 8

**Existing Site Line Conditions From Adjacent Roadway  
Heading towards PNC Park from the Carnegie Science Center**



View 9



View 10



View 11

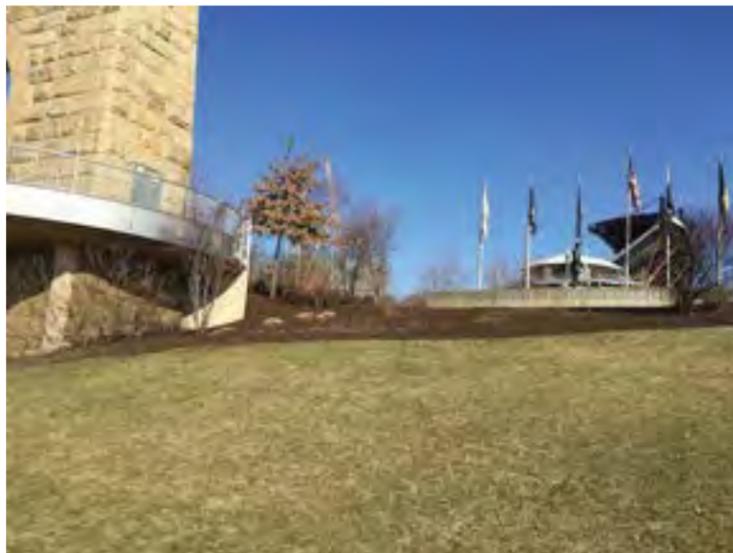


View 12

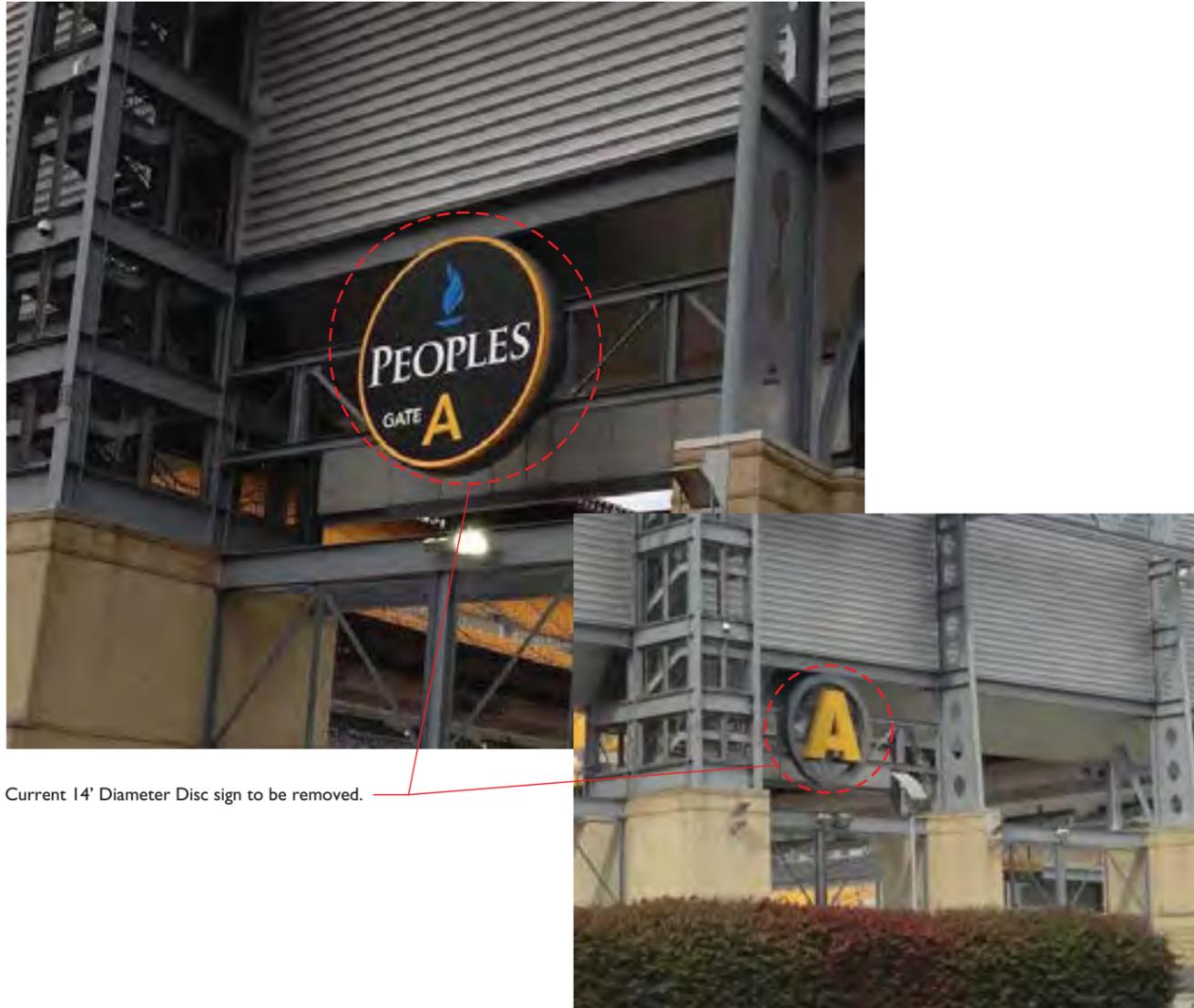
**Existing Site Line Conditions From Adjacent Roadway  
Heading towards PNC Park from the Carnegie Science Center**



Existing Site Line Conditions From Adjacent Riverwalk / River Edge Heading towards PNC Park from the Carnegie Science Center



Existing Site Line Conditions From Adjacent Riverwalk / River Edge Heading towards PNC Park from the Carnegie Science Center



Current 14' Diameter Disc sign to be removed.

Original Disc sign when stadium was erected.

**Existing Gate A ID Sign Removed**  
**14' Diameter Disc = 154 sq ft**



Existing 'TICKETS' sign letters removed. 2'H x 12'-9"W = 25.5 sq ft

**Existing TICKETS Sign Removed**  
**2'H x 12'-9"W letters = 25.5 sq ft**



Existing 'PANTHERS TICKETS' sign letters to remain. 1'-9"H x 22'-9"W = 40 sq ft

**Existing PANTHERS TICKETS Sign To Remain**  
**2'H x 22'-9"W letters = 40 sq ft**

**Variance Sign Overall Square Footages**

Sign Type 1A	Club Identity	105 sq ft (approx.) - sponsor name to be finalized
Sign Type 1B	Entrance Graphics	4.3 sq ft
Sign Type 2	Gate Identifier	665 sq ft
Sign Type 3A	Secondary Gate ID	127.2 sq ft
Sign Type 3B	Secondary Gate ID	63.6 sq ft
Sign Type 4	Entrance ID	18 sq ft (approx.) - sponsor name to be finalized
Sign Type 5	Gate Identifier	<u>9.8 sq ft (approx.) - sponsor name to be finalized</u>

**TOTAL Additional SQ FT      992.9**

**EXISTING Sign To Remain**

Existing Panthers Tickets ID	40 sq ft
------------------------------	----------

**EXISTING Signs Removed**

Existing Gate A ID	154 sq ft
Existing TICKETS Letters	<u>25.5 sq ft</u>

**TOTAL Removed SQ FT      179.50**



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

**Office of the Zoning Administrator**

**200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219**

*(Zoning Use Only)*

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

**1. Property Owner Name:** Central Catholic High School, Inc. **Phone Number:** ( 412 ) 208-3400

**Address:** 4720 Fifth Avenue **City:** Pittsburgh **State:** Pa **Zip Code:** 15213

**2. Applicant/Company Name:** (same as above) **Phone Number:** ( )

**Address:** **City:** **State:** **Zip Code:**

**Applicant/Contractor ID:**(assigned by the City)

**3. Development Name:** STEM Building Addition

**4. Development Location:** 4720 Fifth Avenue, Pittsburgh, Pa, 15213

**5. Development Address:** 4720 Fifth Avenue, Pittsburgh, Pa, 15213

**6. If applicant is proposing a change to the Zoning District, the following is required:** (Attach Zone Change Petition)

**Proposed Zoning District:** EMI RM-H  
**Present Use of Site:** School, Elementary or Secondary  
 (Select from attached list)

**7. If a Certificate of Occupancy exists, the following is required:**

**Certificate of Occupancy#:** **Date Issued:** **Existing Use of Property:**

**8. Estimated Construction:** **Start Date:** 5/1/15 1/5/2015 **Occupancy Date:** 4/31/16 12/20/2015 **Project Cost:** \$10M

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

**9. Proposed Use of Site (Select from attached list):** Addition to an existing School, Elementary or Secondary

- 10. Select the Type of Work:**
- New Construction, New  Renovation, Interior
  - New Construction,  Renovation, Exterior
  - Change in Use Only  Renovation, Change in Use

**11. Describe the Development:**

Central Catholic High School plans to construct a 50,000sf +/-, five story STEM (Science, Technology, Engineering and Math) building on the current site of six row-houses currently fronting South Neville Street.

**12. Is a Land Operations Permit needed?**  YES  NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13. Proposed Number of New Structures or Building Additions:**  N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

**14. Gross Floor Area:**

Existing to be Razed:	0	sq ft
Existing to be Retained:	46,157	sq ft
Retained Area to be Renovated:	0	sq ft
To be Constructed:	50,000sf +/-	sq ft
Building Footprint:	8,995	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure				
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				
STEM Building			5	61'4" <del>77.33'</del>

**16. Number of Dwelling Units:** (NA - no new dwelling to be added)  
 Existing to Remain: \_\_\_\_\_ Proposed: \_\_\_\_\_

**17. Lot Area:** 273,787  
~~271,987~~ sq ft

**18. On Site Parking:**  N/A

	Existing	Proposed
Full (8 1/2' x 19')	168 <del>175</del>	153 <del>205</del>
Compact (7 1/4' x 16')	0	33 <del>22</del>
Handicap (13 1/2' x 19')	0	4 <del>5</del>

Off-Street Loading Spaces:  N/A  
 Actual: \_\_\_\_\_  
 Required: \_\_\_\_\_

**19. Please check any of the following items that will be part of the proposed work:**  N/A

Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm  
 Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219**

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

**21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:**

<u>  1  </u> New Water Service Connection(s)	<u>  TBD  </u> Termination of Existing Water Service Tap(s)
<u>  1  </u> New Sewer Service Connection(s)	<u>  TBD  </u> Termination of Existing Sewer Service Tap(s)

**22. Will the proposed work change the current water consumption and sewer discharge of the building or site?**

YES       NO

**23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:**

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

**24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:**

- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

**25. Please select the following items that apply to the proposed work:**

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

**26. Applicant will be applying for a Visitability Tax Credit?**       Yes       No

Applicant Signature:



~~File # 484~~      ~~3/21/15~~      3/21/15

**CITY OF PITTSBURGH**  
 DEPARTMENT OF CITY PLANNING  
 ZONING • DEVELOPMENT REVIEW  
 200 ROSS STREET • THIRD FLOOR  
 PITTSBURGH • PENNSYLVANIA • 15219

**ZONE CHANGE PETITION**

**Address** 4720 Fifth Avenue, Pittsburgh, PA 15213

**Owner:** Central Catholic High School  
 Address: 4720 Fifth Avenue, Pittsburgh, PA 15213  
 Phone: 412-208-34

**Applicant / Agent:** Red Swing Group  
 Address: 4154 Old William Penn HW, Suite 300, Murrysville, PA 15668  
 Phone: 724-325-1215

Property owners or representatives of property described who join this petition.

Owner's Name	Property
Brother Robert Schaeffer, FSC	4720 Fifth Avenue

*If additional space is required, list on a separate sheet and attach.*

**Block & Lot:** Block 52-J, Lots 264 and 104-1-1,2      **Ward:** 14  
**Sq. ft. of site:** D.B.V. 14215, Pg. 70      **or, number of acres:** 6.285 acres  
**Existing Zoning** RM-H & EMI      **Proposed Zoning:** RM-H

**Present use of site:**

The site is currently used as a college preparatory, Catholic school for boys with associated educational and sports facilities. Six row-houses were recently demolished on site.

**Proposed use & improvements:** *(attach map of proposed zone change area)*

The High School wishes to construct a new, multi-story Science, Technology, Engineering, and Math (STEM) building addition on the campus grounds in the location of the recently demolished row-houses.

*(if additional space is required, attach a separate sheet)*

The proposed Zone Change is appropriate and desirable and that this use will not be detrimental to the immediate neighborhood because:

The proposed STEM building will be integrated into the neighborhood and campus via sidewalks and compatible architectural scale. Additional off-street parking will minimize impacts as well.

The proposed application will comply with the conditions specified in the Code by:

The STEM Building design meets the general setback guidelines of the surrounding EMI Zoning District and will comply with the regulations for conditional use specified by the City of Pittsburgh Planning and Zoning Department.

**NOTICE TO ANYONE WHO JOINS THIS PETITION:**

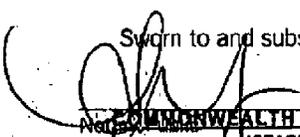
Despite any statements of proposed use made above, enactment of this ordinance will permit involved property to be used for any of the uses listed in the classification table of the Zoning Ordinance.

**STATEMENT OF TRUTH**  
COMMONWEALTH OF PENNSYLVANIA, COUNTY OF ALLEGHENY

Deponent, being duly sworn, says that they are the:

- Owner of record of the property for which this application is made, and that all the statements and data furnished with this application is true and correct.
- Authorized agent for the owner of record of the property for which this application is made and as such has express authority to bind such owner to all terms and conditions of any Occupancy permit issued pursuant to this application, and that all the statements and data furnished with this application are true and correct.

Sworn to and subscribed before me this 26<sup>th</sup> day of February 2015.

  
Applicant (signature)

Robert L. Smith  
Applicant (printed)

NOTARIAL SEAL  
Sharon R. Jack, Notary Public  
Murrysville Boro, Westmoreland County  
My Commission Expires Nov. 9, 2019

RECORD OF THIS DOCUMENT IS MAINTAINED BY City Planning

Address  Check #  PAID \$

Date Filed  Land Use #

Zoning District  Zone Change #

Proposed Zoning

**Planning Commission recommendation**

Approved  Denied DATE OF ACTION

**City Council action**

Approved  Denied DATE OF ACTION



# Central Catholic High School

ZONING HEARING

4/2/2015

PLANNING 4/7/2015

## STEM Building



World • United States • PA • Allegheny Co. • Pittsburgh • Squirrel Hill North



100 feet 25 m

© 2013 Microsoft Corporation Pictometry Bird's Eye © 2012 Pictometry International Corp

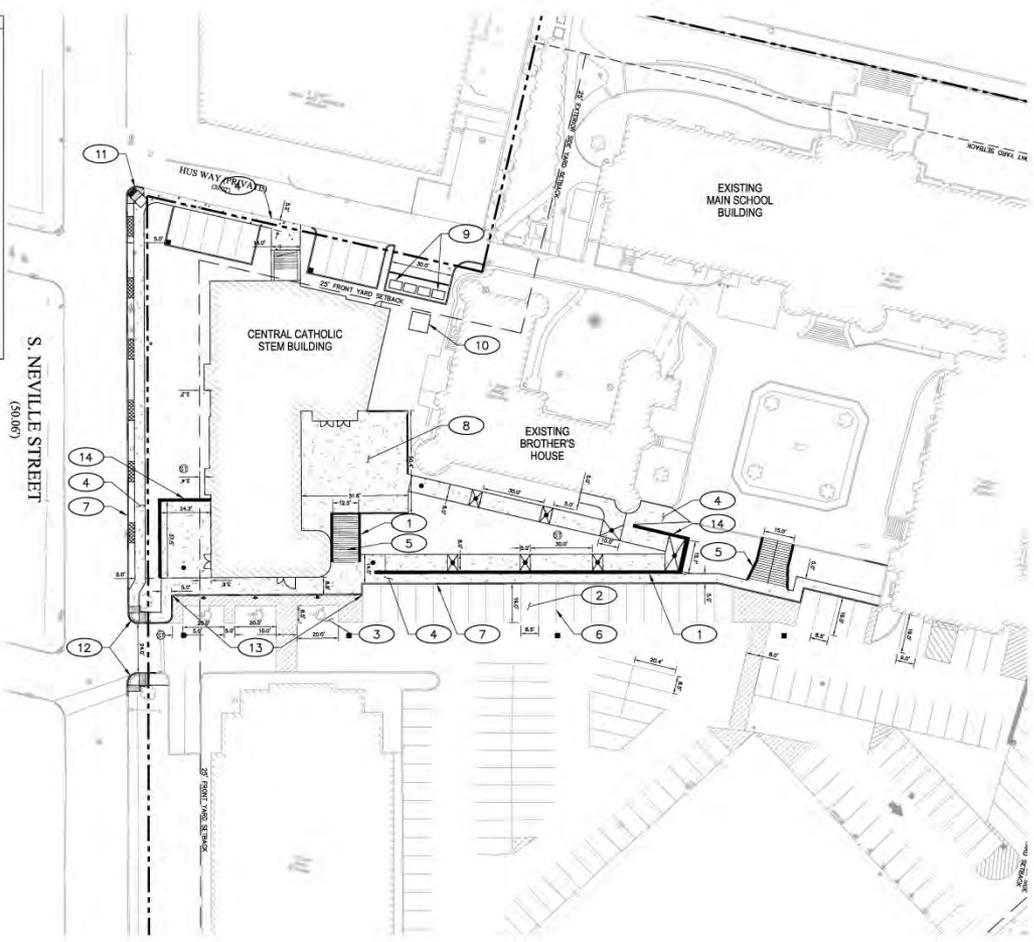
BIRDS EYE  
AERIAL



OVERALL RENDERED BIRDSEYE



- SITE PLAN KEYED NOTES**
- 1 PROPOSED RETAINING WALL WITH HANDRAIL REFER TO ARCHITECTURAL PLAN SHEETS FOR DETAILS.
  - 2 PROPOSED STANDARD PARKING SPACE (TYP.).
  - 3 PROPOSED HANDICAPPED ACCESSIBLE PARKING SPACE. SEE DETAILS 8, AND 9, SHEET C2.4.
  - 4 PROPOSED CONCRETE SIDEWALK. SEE DETAILS 1 AND 2, SHEET C2.4.
  - 5 PROPOSED CONCRETE STEPS. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS.
  - 6 PROPOSED PAVEMENT STRIPING.
  - 7 PROPOSED CONCRETE CURB. SEE DETAIL 5, SHEET C2.4.
  - 8 PROPOSED COURTYARD AREA. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS.
  - 9 PROPOSED DUMPSTERS.
  - 10 PROPOSED CONCRETE PAD FOR ELECTRICAL TRANSFORMER.
  - 11 PROPOSED BLENDED TRANSITION HANDICAPPED RAMP. SEE DETAIL 1, SHEET C2.5.
  - 12 PROPOSED TYPE 1 HANDICAPPED CURB RAMP. SEE DETAIL 2, SHEET C2.5.
  - 13 PROPOSED DEPRESSED CURB AREA.
  - 14 PROPOSED WALL. REFER TO ARCHITECTURAL PLAN SHEETS FOR DETAILS.



Site

CENTRAL CATHOLIC HIGH SCHOOL  
STEM Building

FIFTH AVENUE  
PITTSBURGH, PA

Project Status  
CONSTRUCTION SET 10/2015

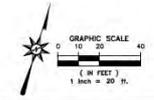
Revisions

No.	Date	Description
1	10/20/15	2015

Drawing Name  
SITE ENLARGEMENT PLAN SHEET 1 OF 2

Project No. 218010631  
Drawing Number

C2.2



CALL BEFORE YOU DIG  
PENNSYLVANIA LAW REQUIRES  
A WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 15 WORKING  
DAYS NOTICE IN DESIGN STAGE.  
IF YOU CALL  
PENNSYLVANIA ONE CALL SYSTEM, INC.  
1-800-242-1778

# NEVILLE STREET SITE PLAN











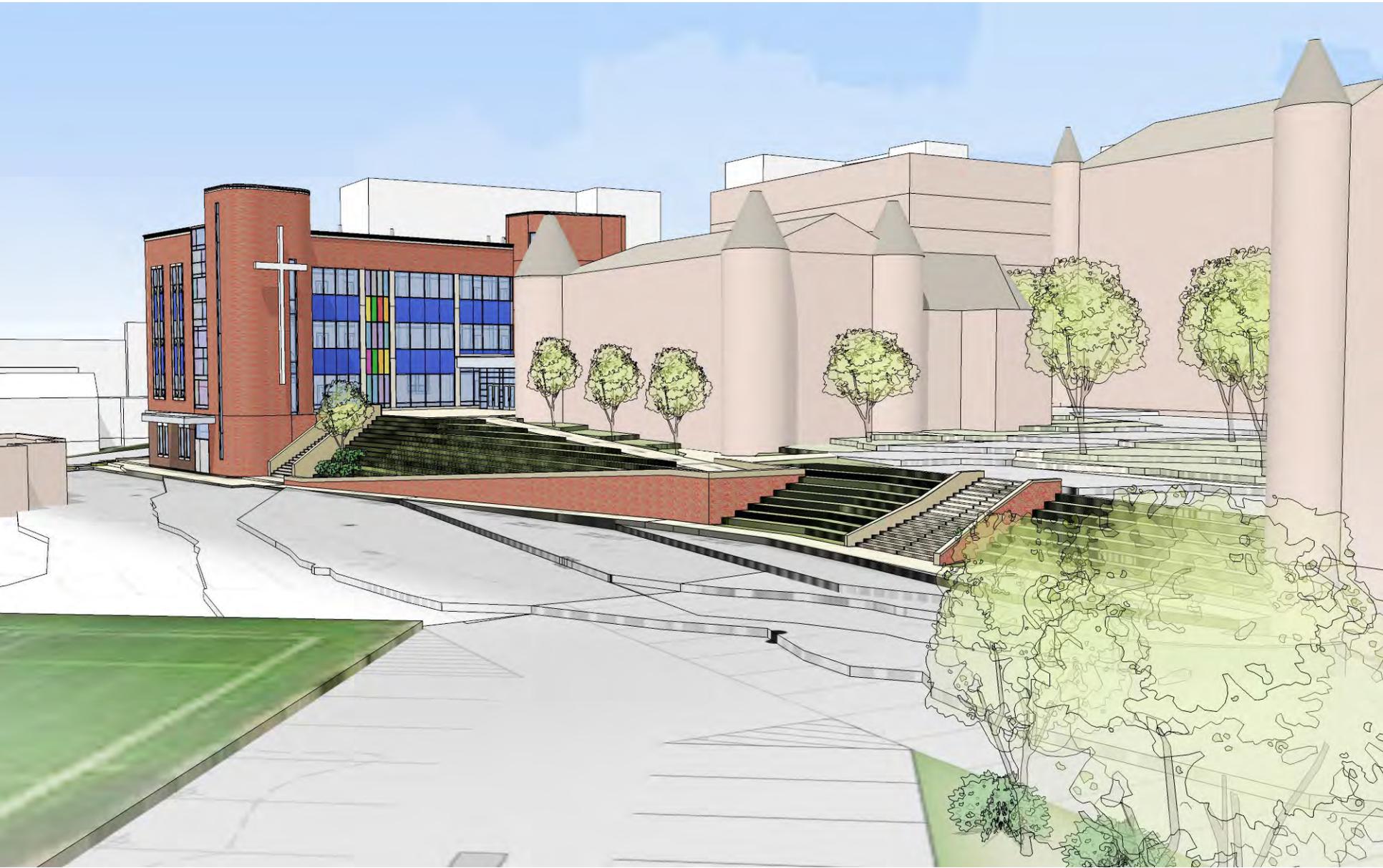
BIRDS EYE VIEW OF STEM BUILDING



VIEW FROM NEVILLE



VIEW FROM 5<sup>TH</sup> AVENUE AND NEVILLE

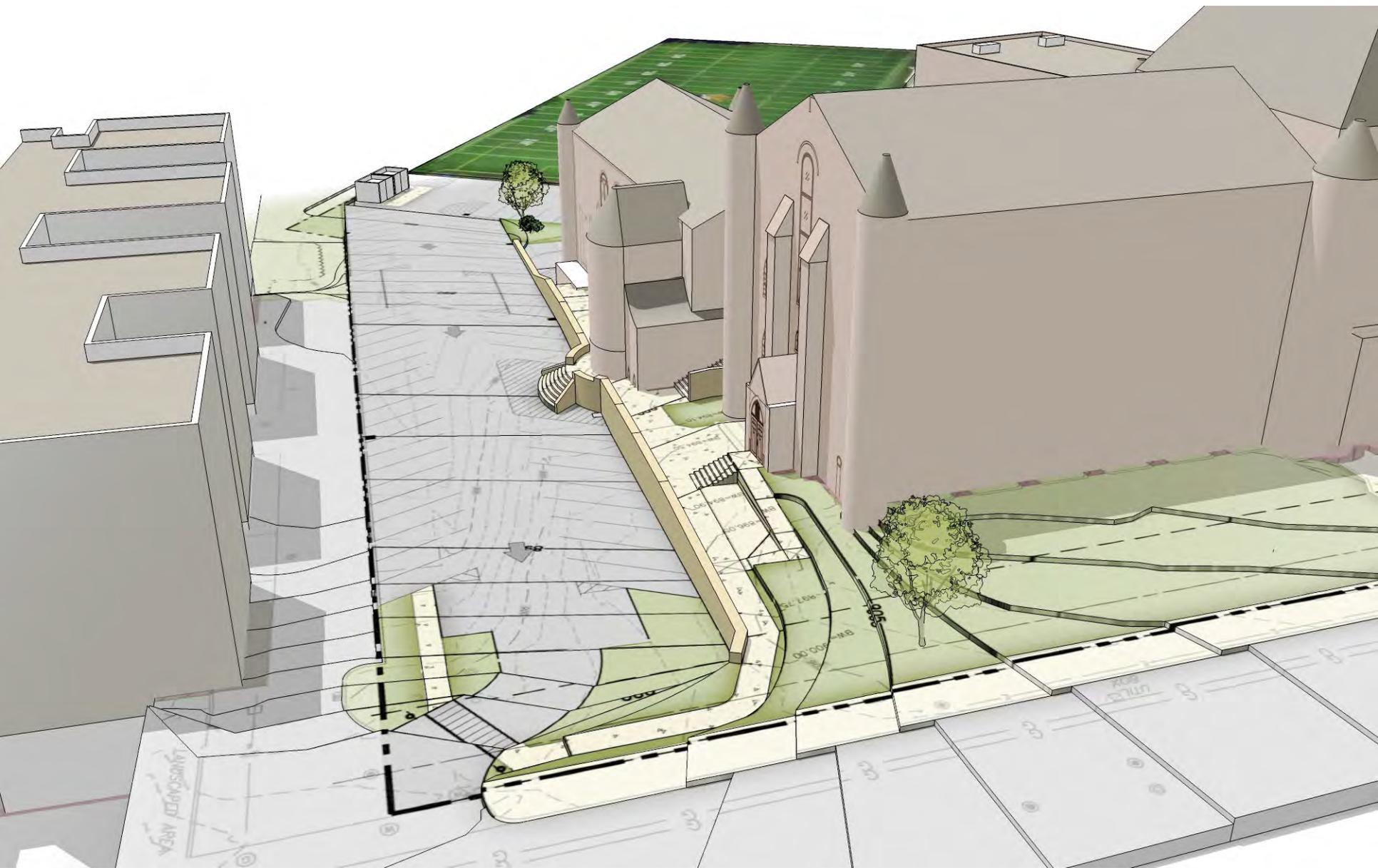


VIEW FROM FOOTBALL FIELD



A OF CONTOURS  
RIVED FROM PA MAP  
AR PROJECT - 2006

BIRDS-EYE VIEW FROM LOWER END



BIRDS-EYE VIEW FROM 5<sup>TH</sup> AVENUE







NEVILLE STREET CONTEXT PHOTOS



NEVILLE STREET CONTEXT PHOTOS



NEVILLE STREET CONTEXT PHOTOS



NEVILLE STREET CONTEXT PHOTOS



WQED CONTEXT PHOTOS



WQED CONTEXT PHOTOS









DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

*LOT 2 Block  
7-L-032*

1. Property Owner Name: *Rivers Casino* Phone Number: *(412) 566.4520*

Address: *777 Casino Dr.* City: *Pittsburgh* State: *PA* Zip Code: *15212*

2. Applicant/Company Name: *Yoko Palmisano/Forty Eight Architecture* Phone Number: *(412) 281.8300*

Address: *9 Smithfield St. #108* City: *Pittsburgh* State: *PA* Zip Code: *15203*

Applicant/Contractor ID:(assigned by the City)

3. Development Name: *Rivers Casino*

4. Development Location: *Corner of Casino Drive and North Shore Drive*

5. Development Address: *777 Casino Drive, Pittsburgh PA 15212*

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:

Present Use of Site:  
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: *200703738* Date Issued: *8/7/2009* Existing Use of Property: *A2 S2*

8. Estimated Construction: Start Date: */ /* Occupancy Date: */ /* Project Cost: \$

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): *Two story gaming facility, with retail, restaurants and parking*

10. Select the Type of Work:

- New Construction, New
- New Construction,
- Change in Use Only
- Renovation, Interior
- Renovation, Exterior
- Renovation, Change in Use

11. Describe the Development: *Demolish existing concrete masonry unit wall, construct new concrete masonry wall with masonry and overhead garage door in covered exterior loading / unloading area.*

12. Is a Land Operations Permit needed?  YES  NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)





**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

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21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

0 New Water Service Connection(s)      0 Termination of Existing Water Service Tap(s)  
0 New Sewer Service Connection(s)      0 Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

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25. Please select the following items that apply to the proposed work:

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- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?       Yes       No

Applicant Signature:



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219**

**Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9**

**Residential Uses**

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

**Non-Residential Uses**

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



# SALLY PORT ENCLOSURE RENOVATION PITTSBURGH, PENNSYLVANIA

40 80 Project Number 12-002.11

CLIENT

RIVERS CASINO  
777 CASINO DRIVE  
PITTSBURGH, PENNSYLVANIA 15212  
412 566 4520

ARCHITECT

40 80 ARCHITECTURE  
4 SMITHFIELD STREET  
6TH FLOOR  
PITTSBURGH, PENNSYLVANIA 15222  
412 281 8300

STRUCTURAL ENGINEER

GENERAL NOTES

1. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS, AND FOR PAYMENT OF ALL APPLICABLE FEES RELATING TO SAME, PRIOR TO THE COMMENCEMENT OF THE WORK.
2. CONTRACTORS SHALL PROVIDE ALL MATERIALS AND LABOR, WHETHER IMPLIED BY, OR DIRECTLY STATED ON, THESE DRAWINGS, IN ORDER TO COMPLETE THE WORK AS INDICATED HEREIN. ALL MATERIALS AND ASSEMBLIES IDENTIFIED ON THESE DRAWINGS SHALL BE CONSTRUED AS NEW WORK, UNLESS SPECIFICALLY INDICATED AS "EXISTING."
3. GENERAL CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR COORDINATING THE WORK OF ALL TRADES PERFORMING WORK ON THIS PROJECT AND TO INSURE THAT THE WORK IS PERFORMED CONSISTENT WITH THE INTENT INDICATED ON THESE DRAWINGS.
4. ALL CONTRACTORS SHALL VISIT THE SITE AND THOROUGHLY ACQUAINT THEMSELVES WITH THE CONDITIONS IN THE FIELD AND THE NATURE AND EXTENT OF WORK TO BE PERFORMED.
5. CONTRACTORS SHALL VERIFY ALL CONDITIONS EXISTING IN THE FIELD WITH THESE DRAWINGS AND NOTIFY THE OWNER AND ARCHITECT OF ANY DISCREPANCIES FROM WHAT IS INDICATED HEREIN.
6. CONTRACTORS SHALL VERIFY ALL DIMENSIONS INDICATED ON THESE DRAWINGS IN THE FIELD. DO NOT SCALE DRAWINGS.
7. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED TO PERFORM WORK SPECIFIED HEREIN. ALL MATERIALS USED FOR PATCHING ARE TO MATCH THE EXISTING MATERIALS AND COMPLETED WORK SHALL BLEND IN COMPLETELY WITH EXISTING ADJACENT SURFACES.
8. ALL EXISTING CONSTRUCTION THAT IS TO REMAIN AS PART OF THE PROJECT SHALL BE PROTECTED FROM DAMAGE THROUGHOUT THE PERIOD OF CONSTRUCTION WORK. ANY DAMAGED CONSTRUCTION OR FEATURES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR TO THE SATISFACTION OF THE OWNER WITH MATERIAL EQUIVALENT OR SUPERIOR TO THE ORIGINAL ITEM(S).
9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL SAFETY BARRICADES DURING CONSTRUCTION.
10. HOURS OF ON-SITE WORK ACTIVITIES AND CONSTRUCTION ACCESS TO THE SITE SHALL BE AS DIRECTED BY THE OWNER.
11. CONTRACTORS SHALL COORDINATE ALL WORK ACTIVITIES WITH THE OWNER AND BUILDING OCCUPANTS, SO AS NOT TO DISRUPT BUILDING OPERATIONS. IF ANY DISRUPTION OF NORMAL OPERATIONS IS ANTICIPATED, ADEQUATE PRIOR NOTICE SHALL BE GIVEN TO THE OWNER AND BUILDING OCCUPANTS PRIOR TO COMMENCEMENT OF SUCH ACTIVITIES.
12. CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM THE SITE AND CLEANING OF INSTALLED WORK.
13. WASTE DISPOSAL LOCATIONS SHALL BE COORDINATED WITH, AND APPROVED BY, THE OWNER BEFORE PLACING ON THE PROJECT SITE.
14. HOLD INDICATED DIMENSIONS. DO NOT SCALE DRAWINGS. RESOLVE ANY DISCREPANCIES WITH THE ARCHITECT BEFORE BEGINNING WORK.

IN THE CASE OF INCONSISTENCY BETWEEN DRAWINGS, SPECS, OR WITHIN EITHER DOCUMENT NOT CLARIFIED BY ADDENDUM, THE BETTER QUALITY OR GREATER QUANTITY OF WORK SHALL BE PROVIDED IN ACCORDANCE WITH THE ARCHITECT'S INTERPRETATION.

IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO VERIFY ALL DIMENSIONS AND INSPECT CONDITIONS OF PRIOR WORK OF THE OTHER TRADES BEFORE STARTING WORK. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE OF PRIOR WORK.

THE GENERAL CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR, WHETHER IMPLIED BY, OR DIRECTLY STATED ON DRAWINGS, IN ORDER TO COMPLETE THE WORK INDICATED HEREIN.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONCEALED BLOCKING TO ACCOMMODATE FURNITURE OR FIXTURE INSTALLATION. THE CONTRACTOR SHALL COORDINATE LOCATIONS OF BLOCKING WITH FURNITURE OR FIXTURE INSTALLATION CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING, REPAIRING, AND PREPARING ALL EXISTING FLOOR, WALL, AND CEILING SURFACES TO RECEIVE SCHEDULED FINISHES. ALL OLD ADHESIVES AND SEALERS ARE TO BE REMOVED AND ALL DAMAGED SUBSTRATES ARE TO BE REPAIRED AND PRIMED TO ACCEPT NEW FINISHES.

UNDER NO CIRCUMSTANCES SHALL THE EXISTING FIREPROOFING OR FIRESAFING BE DISTURBED, MODIFIED OR REMOVED WITHOUT SPECIFIC PERMISSION FROM THE OWNER.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO SEPARATE ALL OCCUPIED AREAS FROM DEMOLITION, RENOVATION, OR CONSTRUCTION ACTIVITIES BY TEMPORARY SMOKE-TIGHT CONSTRUCTION PARTITIONS OF GYPSUM BOARD OR OTHER APPROVED NON-COMBUSTIBLE OR LIMITED-COMBUSTIBLE MATERIAL. PARTITIONS SHALL BE FULL HEIGHT, EXTENDING THROUGH SUSPENDED CEILINGS TO THE FLOOR SLAB OR ROOF DECK ABOVE AND SHALL BE ONE-HOUR FIRE RATED, UNLESS SPRINKLERS ARE INSTALLED AND ARE OPERATIONAL ON BOTH SIDES OF THE TEMPORARY PARTITION WHEREUPON THE PARTITION MAY BE PERMITTED TO TERMINATE AT THE CEILING IN ACCORDANCE WITH NFPA 241. WHERE THE CEILING ON ONE SIDE OF THE TEMPORARY CONSTRUCTION BARRIER HAS BEEN REMOVED, THE TEMPORARY WALL WOULD NEED TO GO TO THE DECK ABOVE.

CONSTRUCTION SHALL NEVER OBSTRUCT EXITS AND THE EXISTING EXIT SIGNS DIRECTING TO IT SHALL NOT BE OBSCURED.

MINIMIZE OR AVOID DISRUPTIONS TO FIRE ALARM AND SPRINKLER SYSTEMS. DELINEATE PHASING OF CONSTRUCTION TO ENSURE THAT INSTALLATIONS OF NEW SYSTEMS ARE EXPEDITED, AND WHERE POSSIBLE, MAINTAIN EXISTING SYSTEMS IN SERVICE UNTIL THE REPLACEMENT SYSTEM IS OPERATIONAL. IF FIRE PROTECTION SYSTEMS ARE TO BE DISRUPTED, ENSURE PROCEDURES ARE INCORPORATED TO MAINTAIN EQUIVALENT LEVELS OF FIRE PROTECTION AND PROVIDE FORMAL NOTIFICATION TO THE FACILITY WHILE SYSTEMS ARE DOWN.

BUILDING CODE INFORMATION

ALL CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE EXISTING BUILDING CODE 2008 VIA THE WORK AREA COMPLIANCE METHOD, LEVEL 2.

OCCUPANCY CLASSIFICATION:  
PRIMARY OCCUPANCY: GROUP A-2 (ASSEMBLY)  
AREA OF WORK: SECURITY TRUCK ACCESS

CONSTRUCTION TYPE:  
TYPE IB

EXITS:  
EXISTING BUILDING REQUIRED EGRESS HAS NOT BEEN ALTERED

FIRE PROTECTION SYSTEM  
AUTOMATIC SPRINKLER SYSTEMS (903.2.10.3):  
PROVIDED THROUGHOUT THE BUILDING

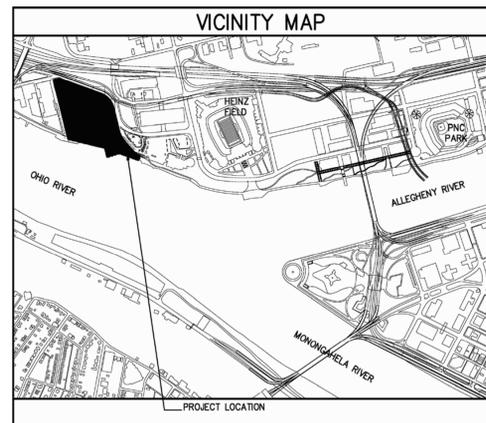
SPACES WITH ONE MEANS OF EGRESS (1015.1):  
OCCUPANT LOAD TO BE MAXIMUM OF 49 PERSONS.

FIRE ALARM SYSTEM, STROBES, PULL STATIONS AND EMERGENCY LIGHTING ARE TO BE SUBMITTED UNDER A SEPARATE COVER IF REQUIRED AND ARE NOT INCLUDED IN THIS SET. LOCATION ARE TO BE COORDINATED WITH THE BUILDING OWNER.

WALLS DO NOT EXTEND TO DECK - SPRINKLERS ARE TO REMAIN AS IS. IF MODIFICATIONS ARE REQUIRED, DRAWINGS WILL BE SUBMITTED UNDER A SEPARATE COVER AND ARE NOT INCLUDED IN THIS SET. RELOCATED SPRINKLER HEAD TO BE COORDINATED WITH EXISTING EXTERIOR SPRINKLER SYSTEM.

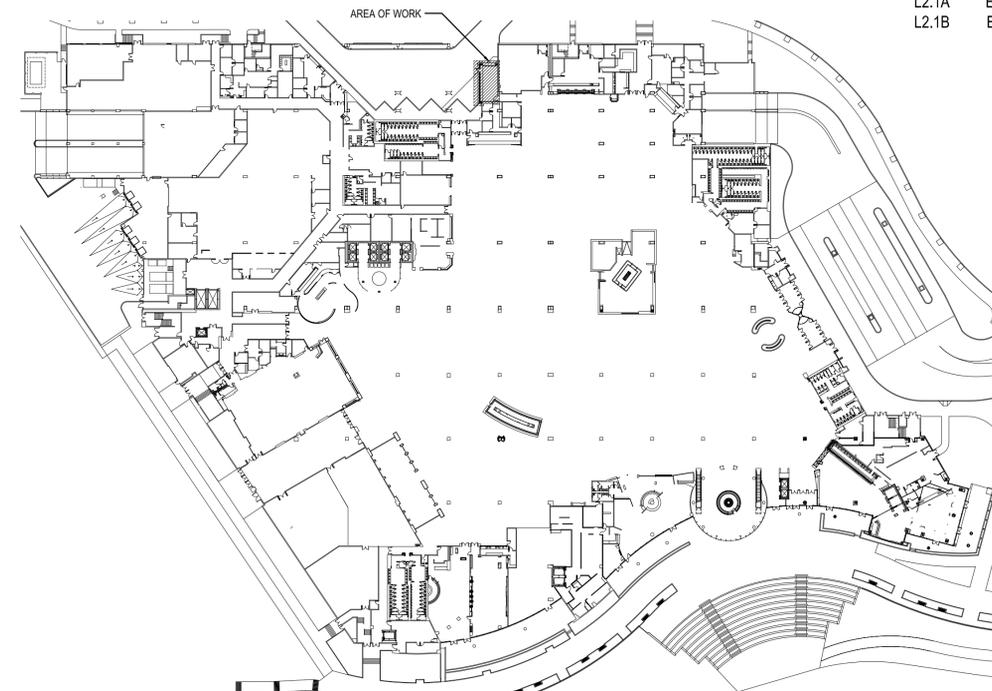
DRAWING LIST

- C1 PROJECT COVER SHEET
- A1 DEMOLITION PLAN, RENOVATED FLOOR PLAN
- A2 ELEVATIONS, DETAILS AND EXISTING CONDITION PHOTOGRAPHS
- C2.1.1 EXISTING SITE PLAN - BY CHESTER ENGINEERS
- C2.1.1B EXISTING SITE PLAN - BY CHESTER ENGINEERS
- L2.1A EXISTING PLANTING PLAN - BY STRADA
- L2.1B EXISTING PLANTING PLAN - BY STRADA



LOCATION MAP

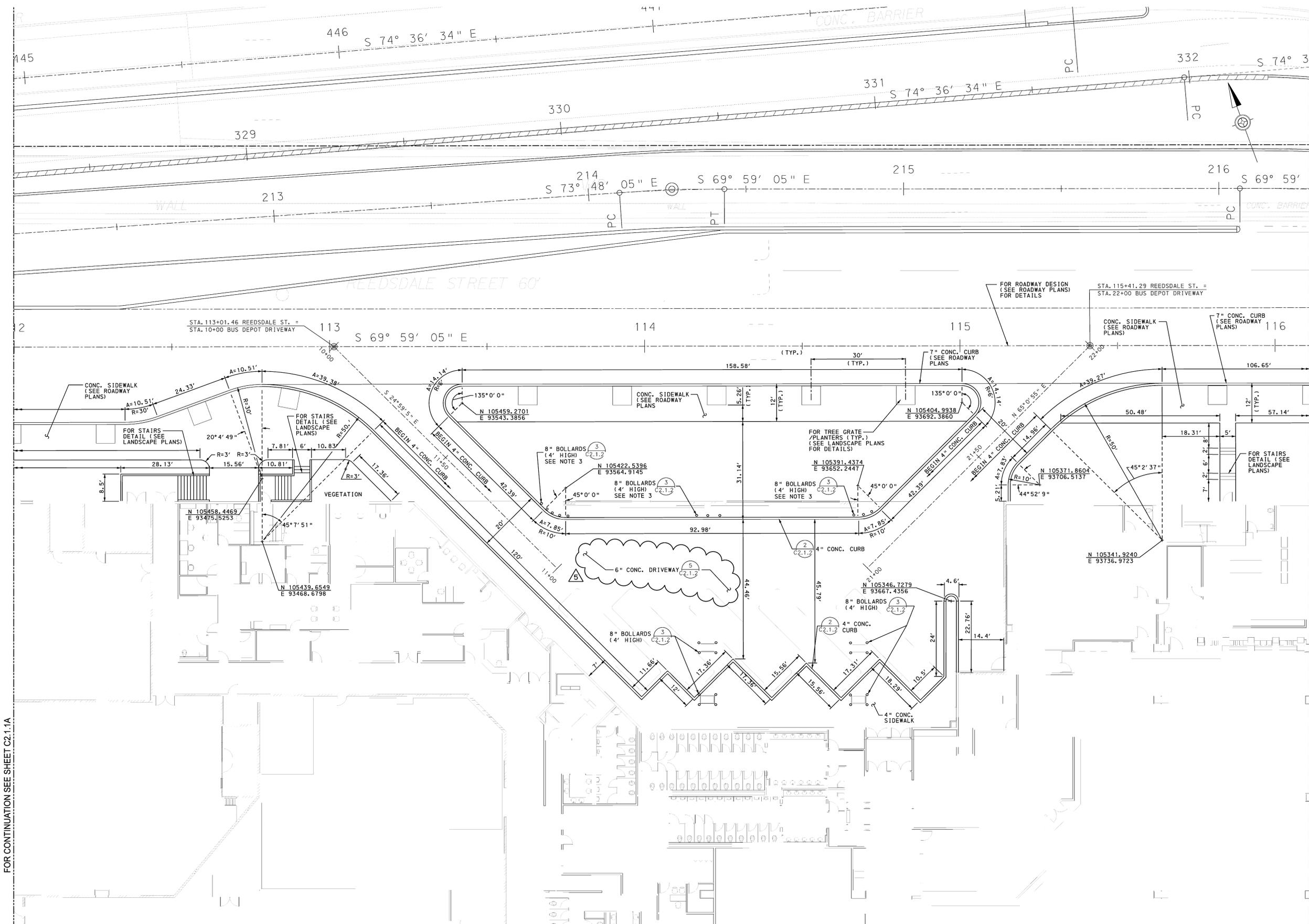
NOT TO SCALE



FIRST FLOOR LOCATION PLAN

1" = 60'-0"





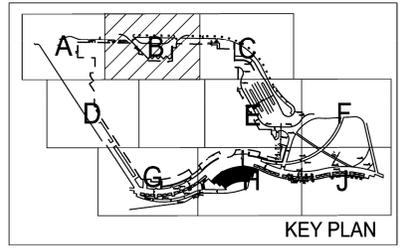
FOR CONTINUATION SEE SHEET C2.1.1A

FOR CONTINUATION SEE SHEET C2.1.1C

FOR CONTINUATION SEE SHEET C2.1.1D

1 SITE PLAN  
SCALE: 1"=10'

- \* 5 ADDED DIMENSIONS AND/OR INFORMATION FOR CLARIFICATION.
- NOTES:
- FOR CONTROL MONUMENT POINTS AND PROPERTY CORNER POINTS SEE SHEET C1.2.1 (STAKE OUT PLANS).
  - PROJECT COORDINATE SYSTEM INCLUDING CONTROL POINTS AND PROPERTY CORNERS ESTABLISHED BY GATEWAY ENGINEERS, INC. WITH THE ALTA/ACSM LAND TITLE SURVEY FOR PITG GAMING, LLC, DATED JANUARY 2007.
  - SPACE BOLLARDS 2 FEET CENTER LINE TO CENTER LINE. (TYP.)



SITE PLAN

194001 16/DEC/07

C2.1.1B

DRAWING SHEET: 35x48  
DATE: 12/16/07  
DRAWN BY: [Name]  
CHECKED BY: [Name]



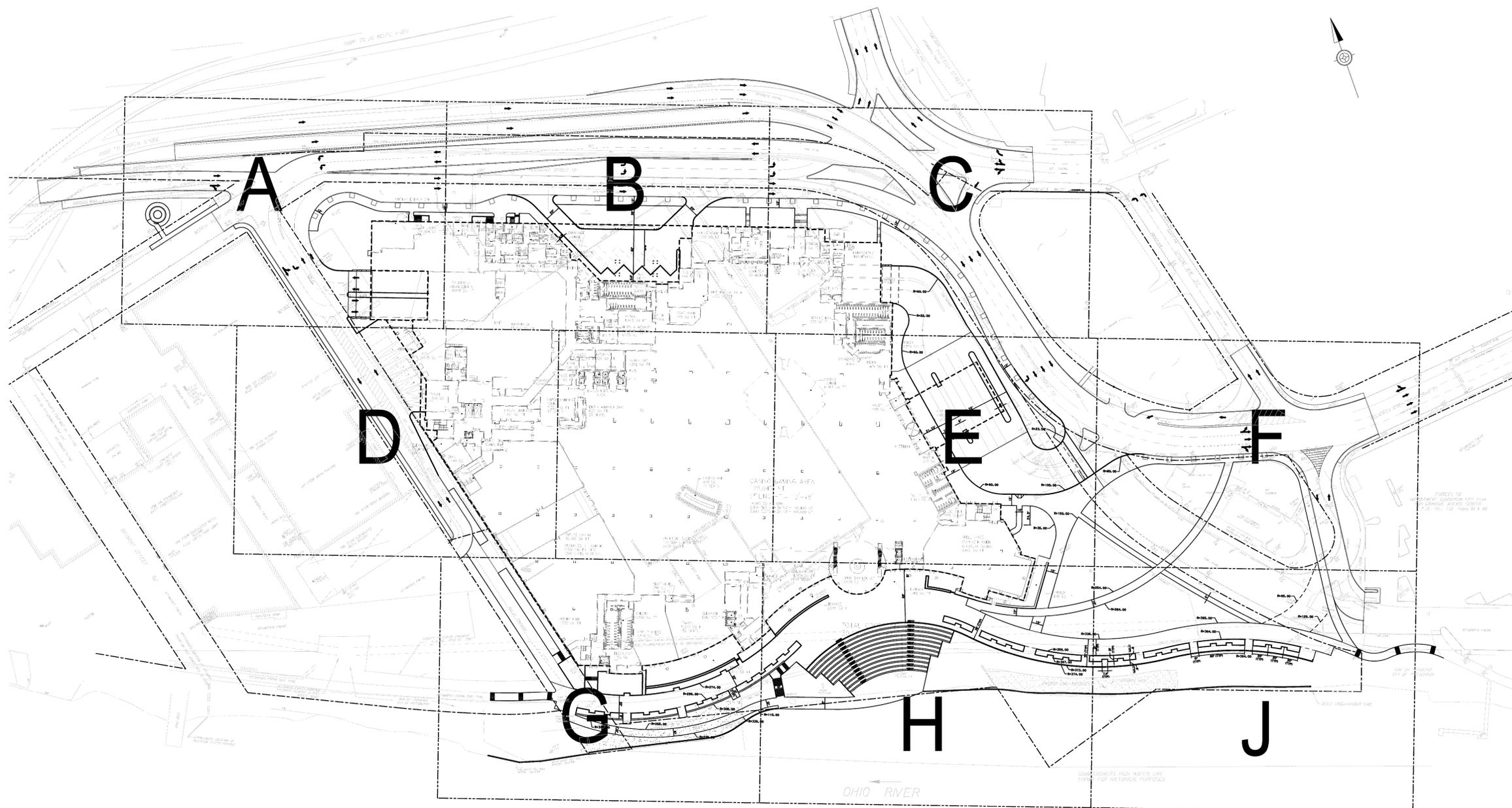
Bergman, Walls & Associates, Ltd.  
ARCHITECTS - PLANNERS

S+RADA  
ARCHITECTURE + INTERIORS + LANDSCAPE + SPECIAL RETAIL

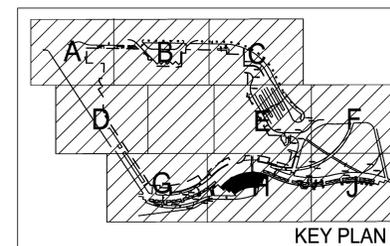
CHESTER  
ENGINEERS  
Chester Engineers  
Arlate Business Park  
207 Riverside Drive, Moon Twp., PA 15108-2733  
412.809.6500 FAX 412.809.6561  
www.chester-engineers.com

MAJESTIC  
STAR CASINO  
PITTSBURGH, PA.

Majestic  
Star  
CASINO



1 OVERALL SITE PLAN  
SCALE: 1"=60'



DATE REVISIONS	DATE	BY
12/16/07 FOR CONSTRUCTION	12/16/07	AW
2/11/08 BULLETIN # 2	2/11/08	AW

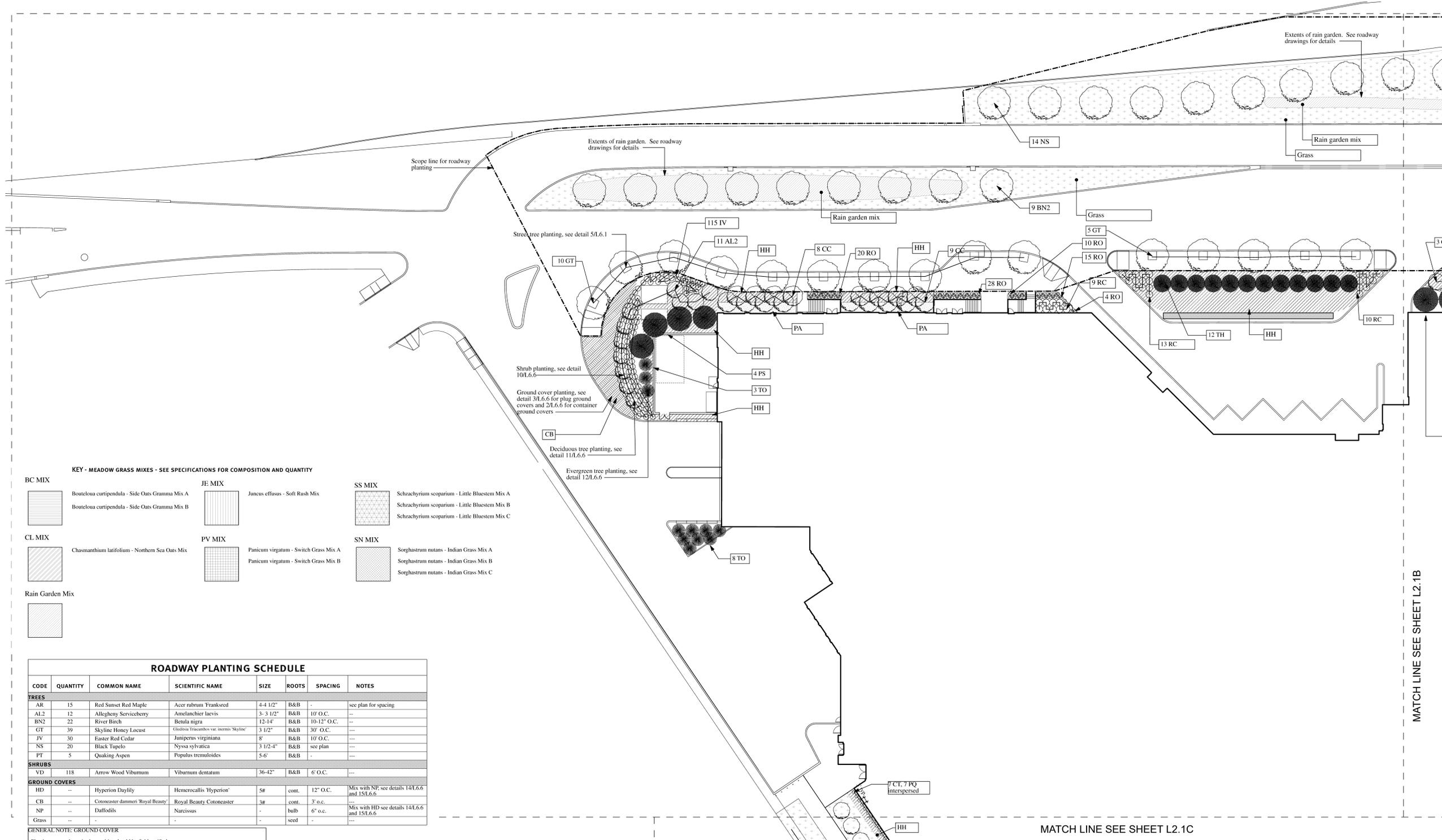
SITE PLAN  
194001 16/DEC/07

C2.1.1

DRAWING SIZE: 36x48  
TEXT: 1/8" HIGH  
DRAWING: 1/4" HIGH  
DATE: 12/16/07  
PROJECT: MAJESTIC STAR CASINO  
DRAWN BY: AW  
CHECKED BY: AW  
DATE: 12/16/07







**KEY - MEADOW GRASS MIXES - SEE SPECIFICATIONS FOR COMPOSITION AND QUANTITY**

<b>BC MIX</b>	Bouteloua curtipendula - Side Oats Gramma Mix A	<b>JE MIX</b>	Juncus effusus - Soft Rush Mix	<b>SS MIX</b>	Schizachyrium scoparium - Little Bluestem Mix A
	Bouteloua curtipendula - Side Oats Gramma Mix B				Schizachyrium scoparium - Little Bluestem Mix B
					Schizachyrium scoparium - Little Bluestem Mix C
<b>CL MIX</b>	Chasmanthium latifolium - Northern Sea Oats Mix	<b>PV MIX</b>	Panicum virgatum - Switch Grass Mix A	<b>SN MIX</b>	Sorghastrum nutans - Indian Grass Mix A
			Panicum virgatum - Switch Grass Mix B		Sorghastrum nutans - Indian Grass Mix B
					Sorghastrum nutans - Indian Grass Mix C
<b>Rain Garden Mix</b>					

**ROADWAY PLANTING SCHEDULE**

CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
<b>TREES</b>							
AR	15	Red Sunset Red Maple	Acer rubrum 'Franksred'	4-4 1/2"	B&B	-	see plan for spacing
AL2	12	Allegheny Serviceberry	Amelanchier laevis	3- 3 1/2"	B&B	10' O.C.	...
BN2	22	River Birch	Betula nigra	12-14"	B&B	10-12" O.C.	...
GT	39	Skyline Honey Locust	Gleditsia triacanthos var. inermis 'Skyline'	3 1/2"	B&B	30' O.C.	...
JV	30	Easter Red Cedar	Juniperus virginiana	8"	B&B	10' O.C.	...
NS	20	Black Tupelo	Nyssa sylvatica	3 1/2-4"	B&B	see plan	...
PT	5	Quaking Aspen	Populus tremuloides	5-6"	B&B	-	...
<b>SHRUBS</b>							
YD	118	Arrow Wood Viburnum	Viburnum dentatum	36-42"	B&B	6' O.C.	...
<b>GROUND COVERS</b>							
HD	...	Hyperion Daylily	Hemerocallis 'Hyperion'	5#	cont.	12" O.C.	Mix with NP; see details 14/L6.6 and 15/L6.6
CB	...	Cotoneaster dammeri 'Royal Beauty'	Royal Beauty Cotoneaster	3#	cont.	3' o.c.	...
NP	...	Daffodils	Narcissus	-	bulb	6" o.c.	Mix with HD see details 14/L6.6 and 15/L6.6
Grass	...	-	-	-	seed	-	...

GENERAL NOTE: GROUND COVER  
Planting area and required quantities should be field verified.

**SITE PLANTING SCHEDULE**

CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
<b>TREES</b>							
AR	25	Red Sunset Red Maple	Acer rubrum 'Franksred'	4-4 1/2"	B&B	-	see plan for spacing
AC	6	Shadbowl Serviceberry	Amelanchier canadensis	5-6"	B&B	-	...
AL1	9	Allegheny Serviceberry	Amelanchier laevis	5-6"	B&B	-	riparian area (south of esplanade)
AL2	34	Allegheny Serviceberry	Amelanchier laevis	3- 3 1/2"	B&B	10' O.C.	north of esplanade
BN1	5	River Birch	Betula nigra	7-8"	B&B	-	riparian area (south of esplanade)
BN2	17	River Birch	Betula nigra	12-14"	B&B	10-12" O.C.	north of esplanade
CC	31	American Hornbeam	Carpinus caroliniana	2-2 1/2"	B&B	6-12" O.C.	...
CD1	4	Red Bud	Cercis canadensis	5-6"	B&B	-	riparian area (south of esplanade)
CD2	53	Red Bud	Cercis canadensis	8-10"	B&B	10-12" O.C.	North of esplanade
CF	9	Flowering Dogwood	Cornus florida	-	B&B	10-12" O.C.	...
GT	6	Skyline Honey Locust	Gleditsia triacanthos var. inermis 'Skyline'	3 1/2"	B&B	30' O.C.	...
JV	10	Easter Red Cedar	Juniperus virginiana	8"	B&B	10' O.C.	...
MV	21	Sweetbay Magnolia	Magnolia virginiana	8"	B&B	10-12" O.C.	...
MZ	38	Calocarpa Crab Apple	Malus x. zumi 'Calocarpa'	3 1/2-4"	B&B	20' O.C.	...
PS	7	White Pine	Pinus strobus	20"	B&B	20' O.C.	...
PO	9	American Sycamore	Platanus occidentalis	8-10"	B&B	-	...
PT	13	Quaking Aspen	Populus tremuloides	5-6"	B&B	-	...
TJ	1	Pyramidal Japanese Yew	Taxus cuspidata 'Capitata'	12"	B&B	per plan	Specimen plant, pyramidal form, trimmed to size.
TO	11	Wintergreen 'Arborvitae'	Thuja occidentalis 'Wintergreen'	8"	B&B	8' O.C.	...
TC	29	Greenspire Linden	Tilia cordata 'Greenspire'	5 1/2-6"	B&B	-	limbed up min. 6'; centered in planter between benches, see enlarged plan 13/L6.6
TH	14	Canadian Hemlock	Tsuga canadensis	10"	B&B	10' O.C.	...

**SITE PLANTING SCHEDULE**

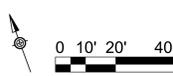
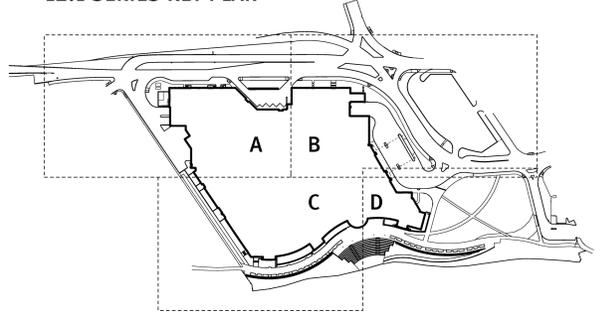
CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
<b>SHRUBS</b>							
AS	46	Common Alder	Alnus serrulata	36-42"	B&B	-	...
AA	35	Red Chokeberry	Aronia arbutifolia 'Brilliantissima'	36-42"	B&B	-	...
AM	11	Black Chokeberry	Aronia melanocarpa	36-42"	B&B	-	...
CA	37	Silky Dogwood	Cornus anonomum	36-42"	B&B	-	...
CR	8	Grey Dogwood	Cornus racemosa	36-42"	B&B	-	...
CS	35	Redosier Dogwood	Cornus stolonifera	36-42"	B&B	-	...
IW	1	Apollo Winterberry	Ilex verticillata 'Apollo'	18-24"	B&B	-	Male for pollination
IW	78	Winter Red Winterberry	Ilex verticillata 'Winter Red'	36-42"	B&B	-	...
IV	480	Virginia Sweetspire	Itea virginica 'Little Henry'	3#	cont.	3' O.C.	...
LB	35	Spicebush	Lindera benzoin	42-48"	B&B	-	...
RC	64	Catawba Rhododendron	Rhododendron catawbiensis	10#	cont.	4' O.C.	...
RO	311	Olga Mezitt Rhododendron	Rhododendron Olga Mezitt	5#	cont.	2' O.C.	...
RA	47	Fragrant Sumac	Rhus aromatica	36-42"	B&B	-	...
TM	13	Brown's Yew	Taxus x. media 'Brownii'	24"	B&B	3' O.C.	...
VN	119	Lowbush Blueberry	Vaccinium angustifolium	18-24"	B&B	-	...
VC	33	Highbush Blueberry	Vaccinium corymbosum	36-42"	B&B	-	...
VA	30	Mapleleaf Viburnum	Viburnum acerifolium	36-42"	B&B	-	...
VW	35	Walters Viburnum	Viburnum cassinoides	36-42"	B&B	-	...
<b>GROUND COVERS</b>							
HH	...	English Ivy	Hedera helix	5" plug	plug	8" O.C.	...
HD	...	Hyperion Daylily	Hemerocallis 'Hyperion'	5#	cont.	12" O.C.	Mix with NP; see details 14/L6.6 and 15/L6.6
CT	38	Trumpet Creeper	Campsis radicans	1#	cont.	per plan	...
CB	...	Royal Beauty Cotoneaster	Cotoneaster dammeri 'Royal Beauty'	3#	cont.	3' o.c.	...
LA	...	Lavender	Lavandula angustifolia	1#	cont.	12" o.c.	...
MS	...	Variagated Maiden Grass	Miscanthus sinensis 'Variegatus'	#5	cont.	12" o.c.	...
NP	...	Daffodils	Narcissus	-	bulb	6" o.c.	Mix with HD see details 14/L6.6 and 15/L6.6
PQ	38	Virginia Creeper	Parthenocissus quinquefolia	1#	cont.	per plan	...
PA	...	Christmas Fern	Polystichum acrostichoides	1#	cont.	1' O.C.	...

GENERAL NOTE: GROUND COVER  
Planting area and required quantities should be field verified.

MATCH LINE SEE SHEET L2.1C

MATCH LINE SEE SHEET L2.1B

**L2.1 SERIES KEY PLAN**



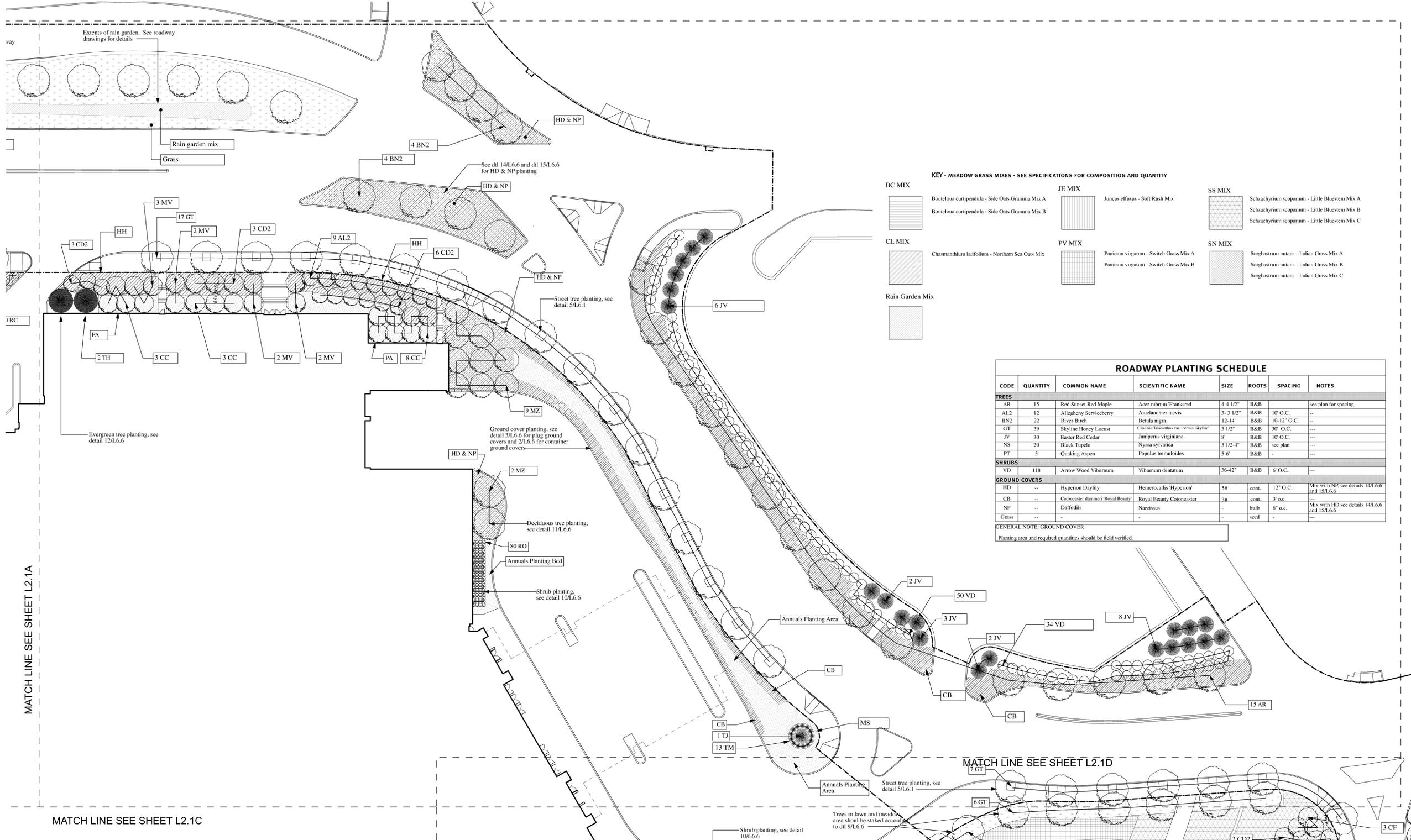
NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1	12.17.07	For Construction
2	06.18.08	Revisions
3	05.13.08	Revisions 11 For Bidding & Permitting

Planting Plan

PROJECT NO: 194001 DRAWING DATE: 10/13/2008

**L2.1A**



- KEY - MEADOW GRASS MIXES - SEE SPECIFICATIONS FOR COMPOSITION AND QUANTITY**
- BC MIX**  
Bouteloua curtipendula - Side Oats Gramma Mix A  
Bouteloua curtipendula - Side Oats Gramma Mix B
  - CL MIX**  
Chasmanthium latifolium - Northern Sea Oats Mix
  - Rain Garden Mix**
  - JE MIX**  
Juncus effusus - Soft Rush Mix
  - PV MIX**  
Panicum virgatum - Switch Grass Mix A  
Panicum virgatum - Switch Grass Mix B
  - SS MIX**  
Schizachyrium scoparium - Little Bluestem Mix A  
Schizachyrium scoparium - Little Bluestem Mix B  
Schizachyrium scoparium - Little Bluestem Mix C
  - SN MIX**  
Sorghastrum nutans - Indian Grass Mix A  
Sorghastrum nutans - Indian Grass Mix B  
Sorghastrum nutans - Indian Grass Mix C

**ROADWAY PLANTING SCHEDULE**

CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
<b>TREES</b>							
AR	15	Red Sunset Red Maple	Acer rubrum 'Frankred'	4-4 1/2"	B&B	-	see plan for spacing
AL2	12	Allegheny Serviceberry	Amelanchier laevis	3- 3 1/2"	B&B	10' O.C.	---
BN2	22	River Birch	Betula nigra	12-14"	B&B	10-12" O.C.	---
GT	39	Skyline Honey Locust	Gleditsia triacanthos var. 'inermis' Skyline'	3 1/2"	B&B	30' O.C.	---
JV	30	Easter Red Cedar	Juniperus virginiana	8"	B&B	10' O.C.	---
SS	20	Black Tupelo	Nyssa sylvatica	3 1/2-4"	B&B	see plan	---
PT	5	Quaking Aspen	Populus tremuloides	5-6"	B&B	-	---
<b>SHRUBS</b>							
VD	118	Arrow Wood Viburnum	Viburnum dentatum	36-42"	B&B	6' O.C.	---
<b>GROUND COVERS</b>							
HD	---	Hyperion Daylily	Hemerocallis 'Hyperion'	5#	cont.	12" O.C.	Mix with NP, see details 14/L6.6 and 15/L6.6
CB	---	Cotoneaster dammeri 'Royal Beauty'	Royal Beauty Cotoneaster	3#	cont.	3' o.c.	---
NP	---	Daffodils	Narcissus	bulb	6" o.c.	---	Mix with HD see details 14/L6.6 and 15/L6.6
Grass	---	-	-	seed	-	---	---

**GENERAL NOTE: GROUND COVER**  
Planting area and required quantities should be field verified.

MATCH LINE SEE SHEET L2.1A

MATCH LINE SEE SHEET L2.1D

MATCH LINE SEE SHEET L2.1C

**SITE PLANTING SCHEDULE**

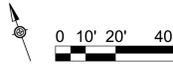
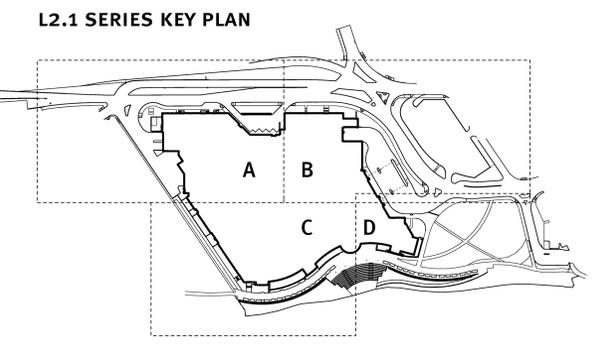
CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
<b>TREES</b>							
AR	25	Red Sunset Red Maple	Acer rubrum 'Frankred'	4-4 1/2"	B&B	-	see plan for spacing
AC	6	Shadblow Serviceberry	Amelanchier canadensis	5-6"	B&B	-	---
AL1	9	Allegheny Serviceberry	Amelanchier laevis	5-6"	B&B	-	riparian area (south of esplanade)
AL2	34	Allegheny Serviceberry	Amelanchier laevis	3- 3 1/2"	B&B	10' O.C.	north of esplanade
BN1	5	River Birch	Betula nigra	7-8"	B&B	-	riparian area (south of esplanade)
BN2	17	River Birch	Betula nigra	12-14"	B&B	10-12" O.C.	north of esplanade
CC	31	American Hornbeam	Carpinus caroliniana	2-2 1/2"	B&B	6-12" O.C.	---
CD1	4	Red Bud	Cercis canadensis	5-6"	B&B	-	riparian area (south of esplanade)
CD2	33	Red Bud	Cercis canadensis	8-10"	B&B	10-12" O.C.	North of esplanade
CF	9	Flowering Dogwood	Cornus florida	-	B&B	10-12" O.C.	---
GT	6	Skyline Honey Locust	Gleditsia triacanthos var. 'inermis' Skyline'	3 1/2"	B&B	30' O.C.	---
JV	10	Easter Red Cedar	Juniperus virginiana	8"	B&B	10' O.C.	---
MV	21	Sweetbay Magnolia	Magnolia virginiana	8"	B&B	10-12" O.C.	---
MZ	38	Calocarpa Crab-Apple	Malus x. zumi 'Calocarpa'	3 1/2-4"	B&B	20' O.C.	---
PS	7	White Pine	Pinus strobus	20"	B&B	20' O.C.	---
PO	9	American Sycamore	Platanus occidentalis	8-10"	B&B	-	---
PT	13	Quaking Aspen	Populus tremuloides	5-6"	B&B	-	---
TJ	1	Pyramidal Japanese Yew	Taxus cuspidata 'Capitata'	12"	B&B	per plan	Specimen plant, pyramidal form, trimmed to size.
TO	11	Wintergreen Arborvitae	Thuja occidentalis 'Wintergreen'	8"	B&B	8' O.C.	---
YC	29	Greenspire Linden	Tilia cordata 'Greenspire'	5 1/2-6"	B&B	-	limbed up min. 6'; centered in planter between benches, see enlarged plan 13/L6.6
TH	14	Canadian Hemlock	Tsuga canadensis	10"	B&B	10' O.C.	---

**SITE PLANTING SCHEDULE**

CODE	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOTS	SPACING	NOTES
<b>SHRUBS</b>							
AS	46	Common Alder	Alnus serrulata	36-42"	B&B	-	---
AA	35	Red Chokeberry	Aronia arbutifolia 'Brilliantissima'	36-42"	B&B	-	---
AM	11	Black Chokeberry	Aronia melanocarpa	36-42"	B&B	-	---
CA	37	Silky Dogwood	Cornus amomum	36-42"	B&B	-	---
CR	8	Grey Dogwood	Cornus racemosa	36-42"	B&B	-	---
CS	35	Redosier Dogwood	Cornus stolonifera	36-42"	B&B	-	---
IW	1	Apollo Winterberry	Ilex verticillata 'Apollo'	18-24"	B&B	-	Male for pollination
IW	78	Winter Red Winterberry	Ilex verticillata 'Winter Red'	36-42"	B&B	-	---
IV	480	Virginia Sweetspire	Itea virginica 'Little Henry'	3#	cont.	3' O.C.	---
LB	35	Spicebush	Lindera benzoin	42-48"	B&B	-	---
RC	64	Catawba Rhododendron	Rhododendron catawbiense	10#	cont.	4' O.C.	---
RO	311	Olga Mezitt Rhododendron	Rhododendron Olga Mezitt	5#	cont.	2' O.C.	---
RA	47	Fragrant Sumac	Rhus aromatica	36-42"	B&B	-	---
TM	13	Brown's Yew	Taxus x. media 'Brownii'	24"	B&B	3' O.C.	---
VN	119	Lowbush Blueberry	Vaccinium angustifolium	18-24"	B&B	-	---
VC	33	Highbush Blueberry	Vaccinium corymbosum	36-42"	B&B	-	---
VA	30	Mapleleaf Viburnum	Viburnum acerifolium	36-42"	B&B	-	---
VW	35	Withered Viburnum	Viburnum cassinoides	36-42"	B&B	-	---
<b>GROUND COVERS</b>							
HH	---	English Ivy	Hedera helix	5" plug	plug	8" O.C.	---
HD	---	Hyperion Daylily	Hemerocallis 'Hyperion'	5#	cont.	12" O.C.	Mix with NP, see details 14/L6.6 and 15/L6.6
CT	38	Trumpet Creeper	Campsis radicans	1#	cont.	per plan	---
CB	---	Royal Beauty Cotoneaster	Cotoneaster dammeri 'Royal Beauty'	3#	cont.	3' o.c.	---
LA	---	Lavender	Lavandula angustifolia	1#	cont.	12" o.c.	---
MS	---	Variiegated Maiden Grass	Miscanthus sinensis 'variegatus'	#5	cont.	12" o.c.	---
NP	---	Daffodils	Narcissus	-	bulb	6" o.c.	Mix with HD see details 14/L6.6 and 15/L6.6
PQ	38	Virginia Creeper	Parthenocissus quinquefolia	1#	cont.	per plan	---
PA	---	Christmas Fern	Polystichum acrostichoides	1#	cont.	1' O.C.	---

Sod Sod to be from sandy soil source. Species composition - Fescue & Rye sunny mixture, not bluegrass. (Typically used for sports fields and fairways).

**GENERAL NOTE: GROUND COVER**  
Planting area and required quantities should be field verified.



**NOT FOR CONSTRUCTION**

NO.	DATE	DESCRIPTION
1	12.17.07	For Construction
2	06.18.08	Revisions 8
3	06.11.08	Revisions 11 For Bidding & Permitting

Planting Plan

PROJECT NO: 194001 DRAWING DATE: 10/13/2008



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: Grandview Commons L.P.	Phone Number: ( 724 ) 375-6170
--	--------------------------------

Address: 100 Bet-Tech Dr.	City: Aliquippa	State: PA	Zip Code: 15001
---------------------------	-----------------	-----------	-----------------

2. Applicant/Company Name: Grandview Commons L.P.	Phone Number: ( 724 ) 375-6170
---	--------------------------------

Address: 100 Bet-Tech Dr.	City: Aliquippa	State: PA	Zip Code: 15001
---------------------------	-----------------	-----------	-----------------

Applicant/Contractor ID:(assigned by the City)

3. Development Name:

4. Development Location:

5. Development Address: 1553 Grandview Avenue, Pittsburgh, PA 15211      Lot/Block: 0006-G-00030-0000-00

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:	
---------------------------	--

Present Use of Site: (Select from attached list)	1 - Single Family Detached Residential
---	--

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#:	Date Issued:	Existing Use of Property:
----------------------------	--------------	---------------------------

8. Estimated Construction:	Start Date:    /    /	Occupancy Date:    /    /	Project Cost: \$
----------------------------	-----------------------	---------------------------	------------------

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 127 - Grassy Lot

10. Select the Type of Work:

- |  |  |
|--|--|
| <input type="checkbox"/> New Construction, New | <input type="checkbox"/> Renovation, Interior      |
| <input type="checkbox"/> New Construction,     | <input type="checkbox"/> Renovation, Exterior      |
| <input type="checkbox"/> Change in Use Only    | <input type="checkbox"/> Renovation, Change in Use |

11. Describe the Development:

12. Is a Land Operations Permit needed?                       YES                       NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13. Proposed Number of New Structures or Building Additions:**  N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

**14. Gross Floor Area:**

Existing to be Razed:	1091	sq ft
Existing to be Retained:	0	sq ft
Retained Area to be Renovated:	0	sq ft
To be Constructed:	0	sq ft
Building Footprint:	1203	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	1		0	
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):


**16. Number of Dwelling Units:**

Existing to Remain: 0      Proposed: 0

**17. Lot Area:** 3600 sq ft

**18. On Site Parking:**  N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A

Actual: \_\_\_\_\_

Required: \_\_\_\_\_

**19. Please check any of the following items that will be part of the proposed work:**  N/A

Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm

Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

\_\_\_\_\_ New Water Service Connection(s)                      \_\_\_\_\_ Termination of Existing Water Service Tap(s)  
 \_\_\_\_\_ New Sewer Service Connection(s)                      \_\_\_\_\_ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES                       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street                       Private Property                       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?                       Yes                       No

Applicant Signature: \_\_\_\_\_

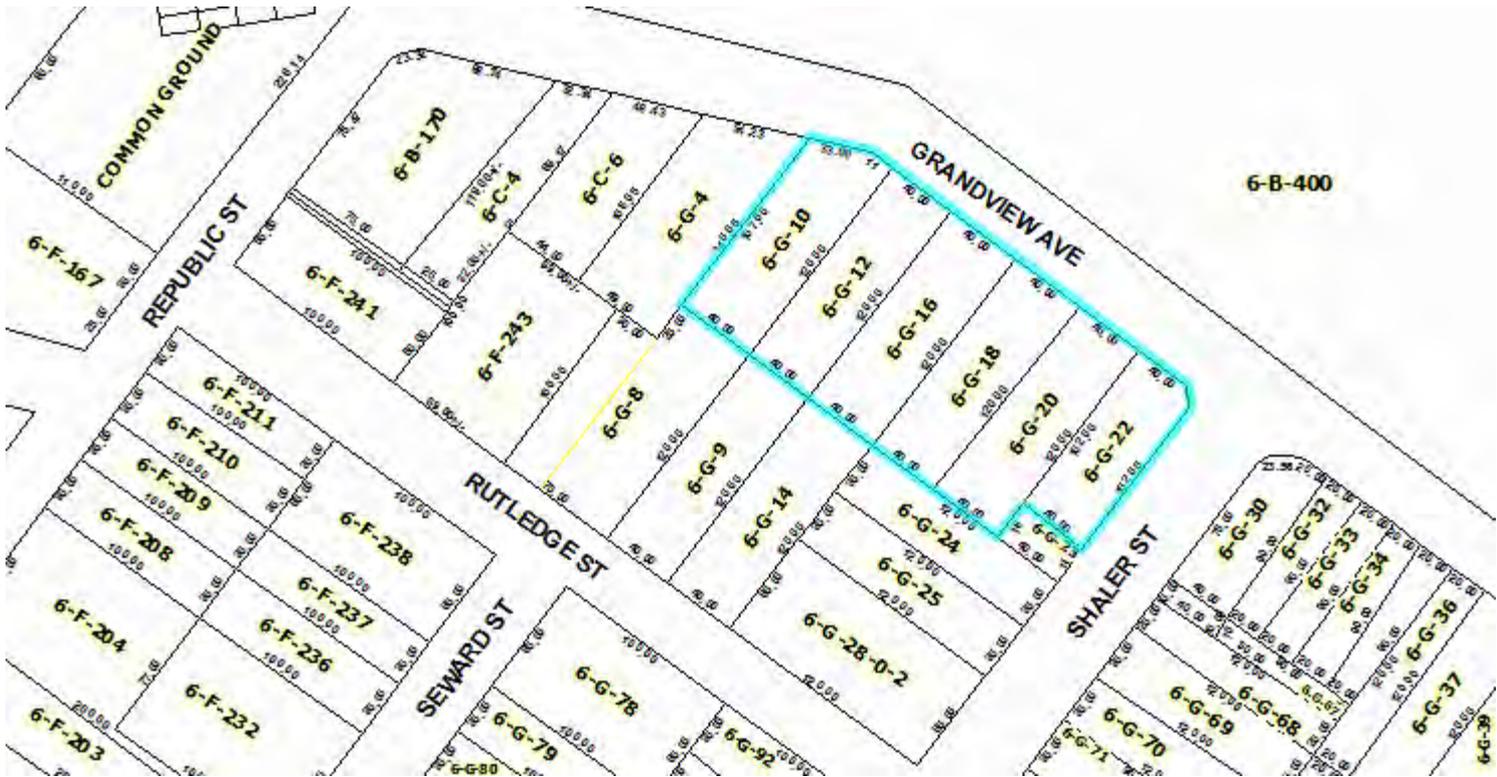
GRANDVIEW COMMONS L.P.  
AND  
GRANDVIEW COMMONS I L.P.

**PROPOSED DEMOLITION OF  
1553 GRANDVIEW AVENUE**

Grandview Commons L.P. and Grandview Commons I L.P. own 23 prime parcels on Grandview Avenue totaling 1.8 acres and providing spectacular view of the City



# Grandview Commons I LP owns a series of contiguous lots in the 1600 Block of Grandview



# Grandview Commons LP owns a series of lots in the 1500 Block of Grandview Avenue



# Recent Demolition of Houses in the 1600 Block

View of Vacant Lots in the 1600 Block of Grandview – Looking South



View of Vacant Lots in the 1600 Block of Grandview – Looking North



# Recent Demolition of House in the 1500 Block

House Located  
at 1503  
Grandview  
Avenue was  
demolished in  
the past few  
years.  
Pictured here  
is the well  
maintained  
vacant lot



# Restoration of Lots

Following Demolition, parcels are restored to well-maintained grassy lots as shown here where several houses were demolished over the years.



# House Currently Planned for Demolition at 1553 Grandview

House suffered a 100,000 gallon water leak with associated damage and mold and has fallen into disrepair. It is vacant and subject to vandalism.

Mold and Public Safety are Significant Concerns

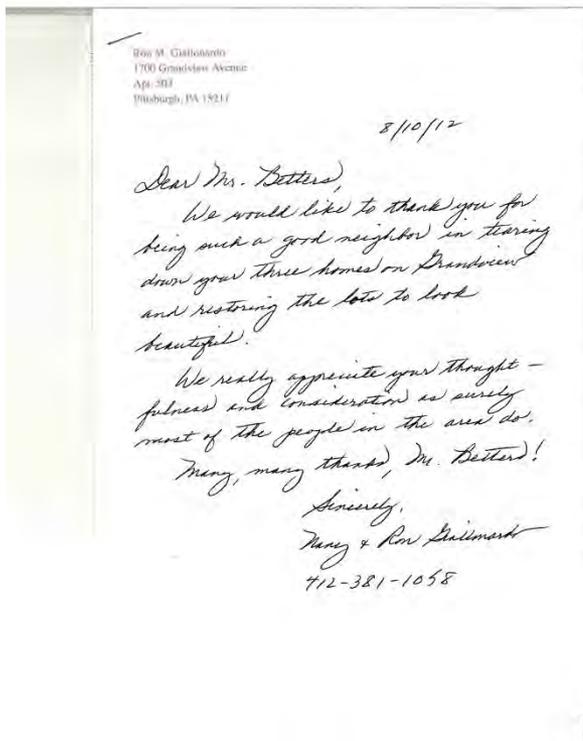


# Demolition Contracts Executed

- Unis Construction Company, an approved city contractor, will perform demolition
- Demolition debris will be disposed of at a city approved landfill
- All concrete will be removed
- City sidewalks will be protected and preserved
- Site will be fully restored
- Unis will import structural fill as needed and compact to 95% standard proctor
- Unis will import topsoil as needed
- Unis will perform final grading as needed
- Unis will seed/straw the site upon completion of the work
- Unis will seed/straw later in the Spring if needed
- No explosives will be used
- All reasonable and necessary safeguards will be erected
- All safeguards will remain in place until completion of the work

# Neighborhood Appreciation

## Letter from Neighbor



## Letter from Mt. Washington Community Development Corp.



**MOUNT WASHINGTON**  
COMMUNITY DEVELOPMENT CORPORATION

Michael Moidei  
Chief Operations Officer  
C. J. Better Enterprises  
3468 Brookhead Road, Suite 7  
Monaca, PA 15061

12/11/13

Dear Mr. Moidei,

Please accept this letter as support for the demolition of your properties located at 1501 and 1531 Grandview Ave. We anticipate a smooth demolition process that will have little effect on neighbors and surrounding property.

Our support comes with one condition. We ask that the property be clear of fencing and become a properly maintained green space, such as the adjacent ones you currently own.

We understand that urban development can take many years to complete. As an involved property we appreciate your sharing of plans with us first before demolition was enacted.

We thank you for your help and cooperation. If you need any more information please do not hesitate to contact us either via email or phone.

Sincerely,

Jason Kambitsis  
Executive Director  
MWDCD

# Proven Developer

Affiliates of Grandview Commons and Grandview Commons I have developed award winning condominium projects including the Point at Adams Ridge





**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

## DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: PMC/Schenley HSB Associates, L.P.		Phone Number: ( )	
Address: 1608 Walnut St.	City: Philadelphia	State: PA	Zip Code: 19103
2. Applicant/Company Name: Reed Smith LLP		Phone Number: (412) 288-4598	
Address: 225 Fifth Avenue	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Contractor ID: (assigned by the City) T/B/D			
3. Development Name: Schenley Building Conversion			
4. Development Location: Centre Avenue and Bigelow Boulevard in Oakland			
5. Development Address: 4101 Bigelow Boulevard			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	N/A		
Present Use of Site: (Select from attached list)	Vacant/School (General)		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: None on file	Date Issued: N/A	Existing Use of Property: Vacant/School (General)	
8. Estimated Construction:	Start Date: 04/15/2015	Occupancy Date: 05/01/2016	Project Cost: \$21 Million

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Multi-Unit Residential

10. Select the Type of Work:

<input type="checkbox"/> New Construction, New	<input checked="" type="checkbox"/> Renovation, Interior
<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input checked="" type="checkbox"/> Renovation, Change in Use

11. Describe the Development: Convert the existing building to 180 residential units with enclosed and surface parking areas. Plans provided.

12. Is a Land Operations Permit needed?  YES  NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions:  N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

14. Gross Floor Area:

Existing to be Razed:	_____	N/A	sq ft
Existing to be Retained:	_____	331,525	sq ft
Retained Area to be Renovated:	_____	291,805	sq ft (including parking in basement, w/o parking in basement 250,545 sq. ft.)
To be Constructed:	_____	0	sq ft
Building Footprint:	_____	64,815	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure		88		88
Proposed Addition/Extension			None	None

Provide Accessory Structure Type(s) and Height(s): N/A


16. Number of Dwelling Units:  
 Existing to Remain:     ∅          Proposed:     180    

17. Lot Area:     167,183     sq. ft

18. On Site Parking:  N/A

	Existing	Proposed
Full (8 1/2' x 19' )		77*
Compact (7 1/4' x 16' )		55
Handicap (13 1/2' x 19' )		6

Off-Street Loading Spaces:  N/A  
 Actual: **2** \_\_\_\_\_  
 Required: **3** (administrator exception requested); \_\_\_\_\_  
**\*Number of parking spaces does not include 9 additional tandem spaces.**

19. Please check any of the following items that will be part of the proposed work:  N/A

Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm

Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

New Water Service Connection(s)       Termination of Existing Water Service Tap(s)  
 New Sewer Service Connection(s)       Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

+YES       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?       Yes       No

Applicant Signature: /s/ Michael A. Kostiew



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

**Department of City Planning**

200 Ross Street, Fourth Floor  
Pittsburgh, PA 15219  
(412) 255-2200  
[pittsburghpa.gov/dcp/](http://pittsburghpa.gov/dcp/)

**Department of City Planning  
Zoning Office Counter**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219 (412)  
255-2246  
[pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/)

**City Zoning Code**

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety  
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219 (412)  
255-2175  
[www.city.pittsburgh.pa.us/bbi/](http://www.city.pittsburgh.pa.us/bbi/)

**Department of Public Works (DPW)  
Bureau of Engineering and Construction**

City-County Building, Room 301  
441 Grant Street  
Pittsburgh, PA 15219  
(412) 255-2883  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Department of Public Works (DPW)  
Public Space Management**

**Permit Office**  
611 Second Avenue  
Pittsburgh, PA 15219  
(412) 255-2370  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Pittsburgh Water and Sewer Authority (PWSA)**

Penn-Liberty Plaza I  
1200 Penn Avenue  
Pittsburgh, PA 15222  
Permits (412) 255-2443; Engineering (412) 255-8987  
[www.pgh2o.com](http://www.pgh2o.com)  
Refer to the PWSA Procedures Manual for Developers.

**Allegheny County Health Department (ACHD)**

Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224 (412) 578-8036  
[www.achd.net/plumbing/index.html](http://www.achd.net/plumbing/index.html)

**Allegheny County Health Department (ACHD)**

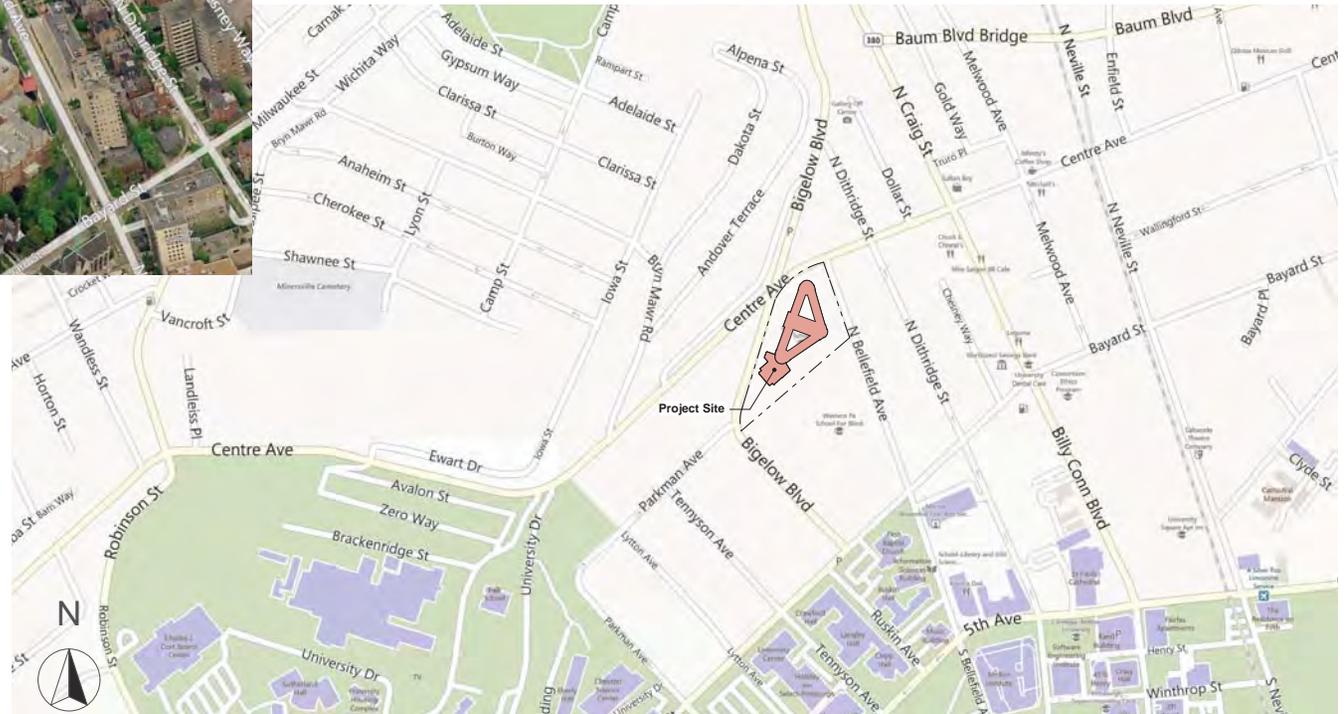
Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224 (412) 578-8044  
[www.achd.net/food/foodstart.html](http://www.achd.net/food/foodstart.html)

**Allegheny County Health Department (ACHD)**

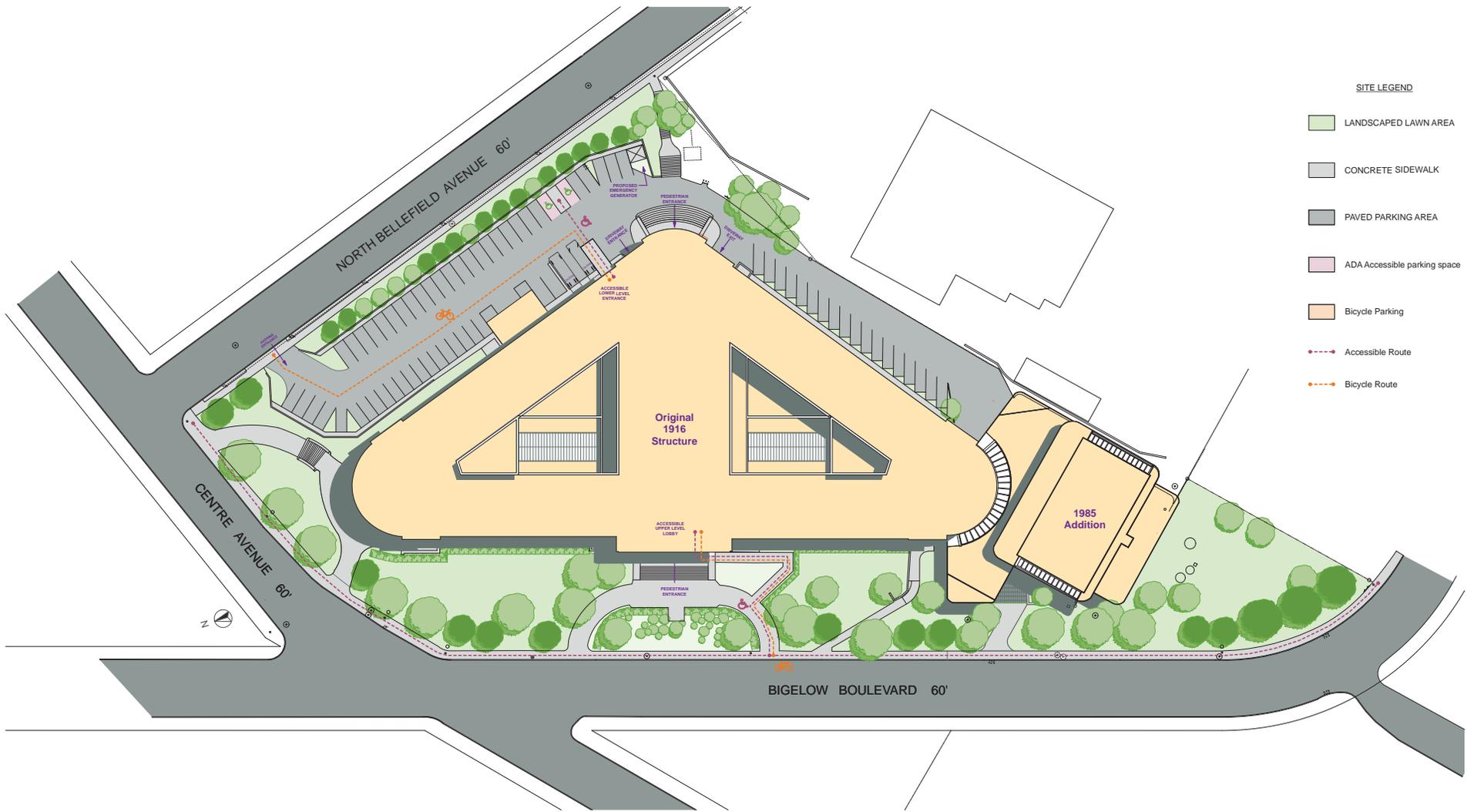
Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
[www.achd.net/housing/commenvironstart.html](http://www.achd.net/housing/commenvironstart.html)



1 Birdseye View



2 Site Vicinity Map



**SITE LEGEND**

- LANDSCAPED LAWN AREA
- CONCRETE SIDEWALK
- PAVED PARKING AREA
- ADA Accessible parking space
- Bicycle Parking
- Accessible Route
- Bicycle Route

1 Site Plan

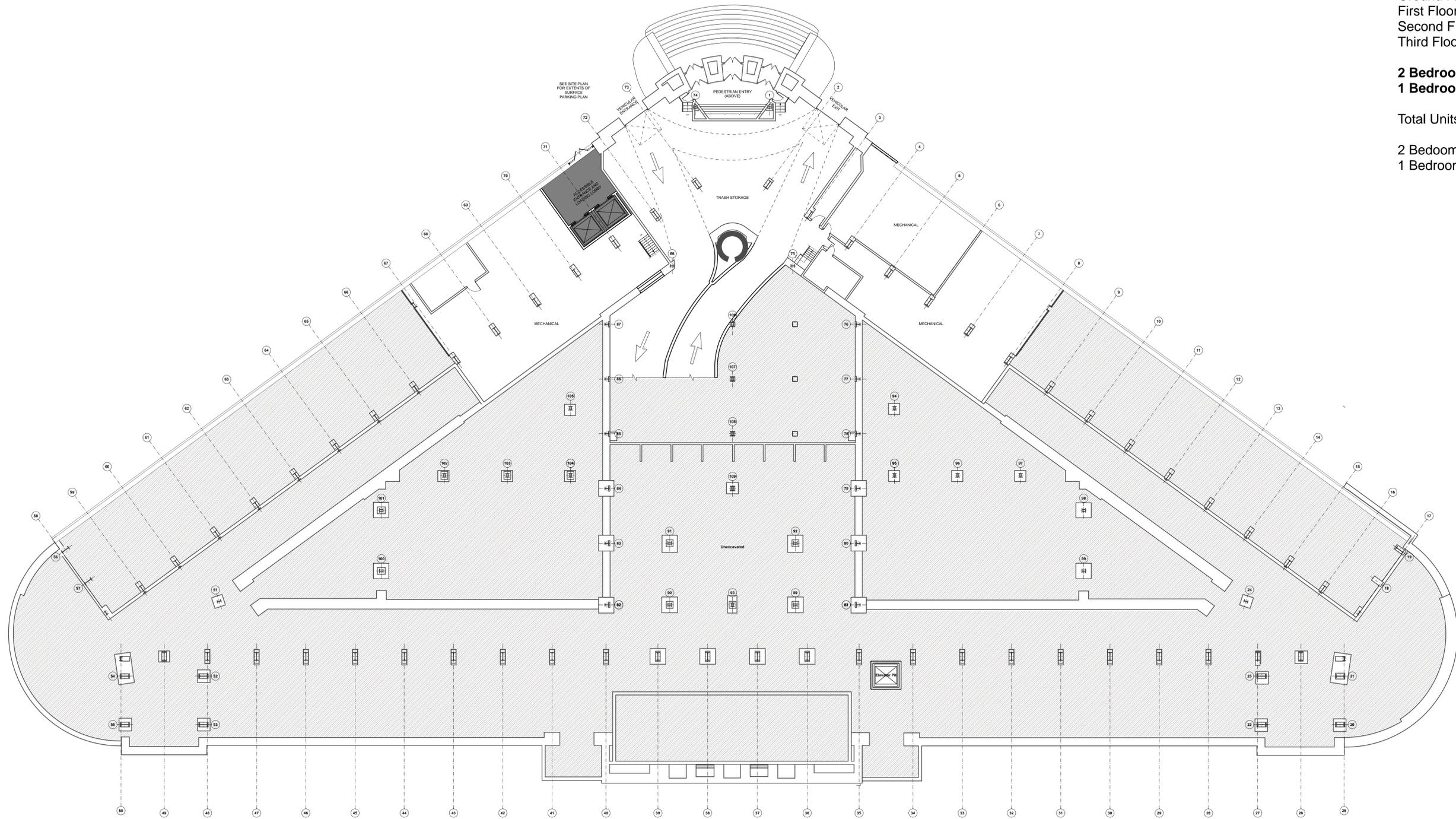


Lobby Level: 0 units  
 Lower Level: 21 units  
 Ground Floor: 44 units  
 First Floor: 34 units  
 Second Floor: 36 units  
 Third Floor: 45 units

**2 Bedroom Unit - 0**  
**1 Bedroom Unit - 0**

Total Units: 180 units

2 Bedroom: 49 units  
 1 Bedroom: 131 units



1 Lobby Level Plan



Lobby Level: 0 units  
**Lower Level: 21 units**  
 Ground Floor: 44 units  
 First Floor: 34 units  
 Second Floor: 36 units  
 Third Floor: 45 units

**2 Bedroom Unit - 18**  
**1 Bedroom Unit - 3**

Total Units: 180 units  
 2 Bedroom: 49 units  
 1 Bedroom: 131 units

-  Accessible parking space
-  Bicycle Parking
-  Accessible Route
-  Bicycle Route



1 Lower Level Plan

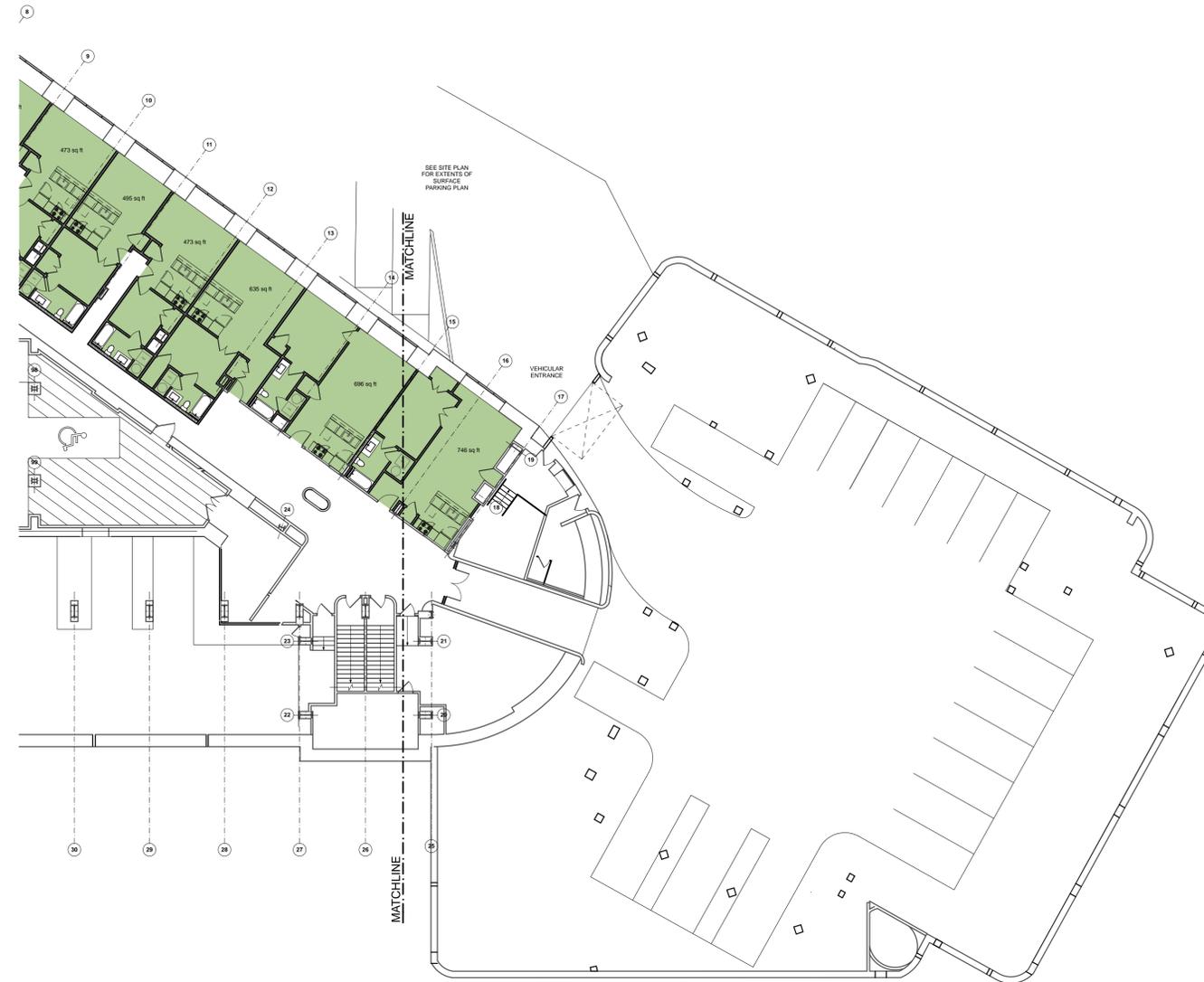


Lobby Level: 0 units  
**Lower Level: 21 units**  
 Ground Floor: 44 units  
 First Floor: 34 units  
 Second Floor: 36 units  
 Third Floor: 45 units

**2 Bedroom Unit - 18**  
**1 Bedroom Unit - 3**

Total Units: 180 units

2 Bedroom: 49 units  
 1 Bedroom: 131 units



1 Partial Lower Level Plan



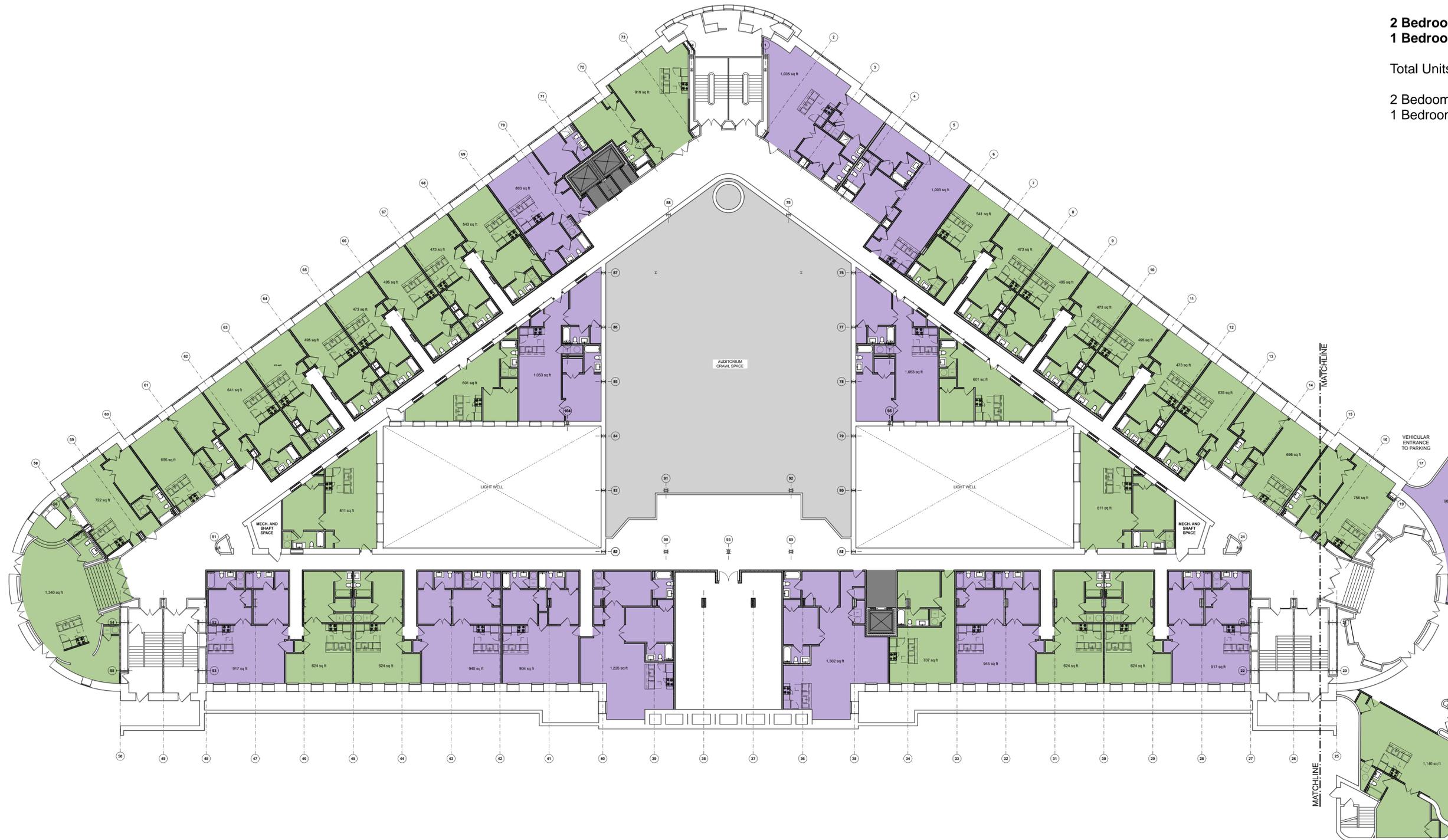


Lobby Level: 0 units  
 Lower Level: 21 units  
**Ground Floor: 44 units**  
 First Floor: 34 units  
 Second Floor: 36 units  
 Third Floor: 45 units

**2 Bedroom Unit - 31**  
**1 Bedroom Unit - 13**

Total Units: 180 units

2 Bedroom: 49 units  
 1 Bedroom: 131 units



1 Ground Floor Plan



Lobby Level: 0 units  
 Lower Level: 21 units  
**Ground Floor: 44 units**  
 First Floor: 34 units  
 Second Floor: 36 units  
 Third Floor: 45 units

**2 Bedroom Unit - 31**  
**1 Bedroom Unit - 13**

Total Units: 180 units

2 Bedroom: 49 units  
 1 Bedroom: 131 units



1 Partial Ground Floor Plan





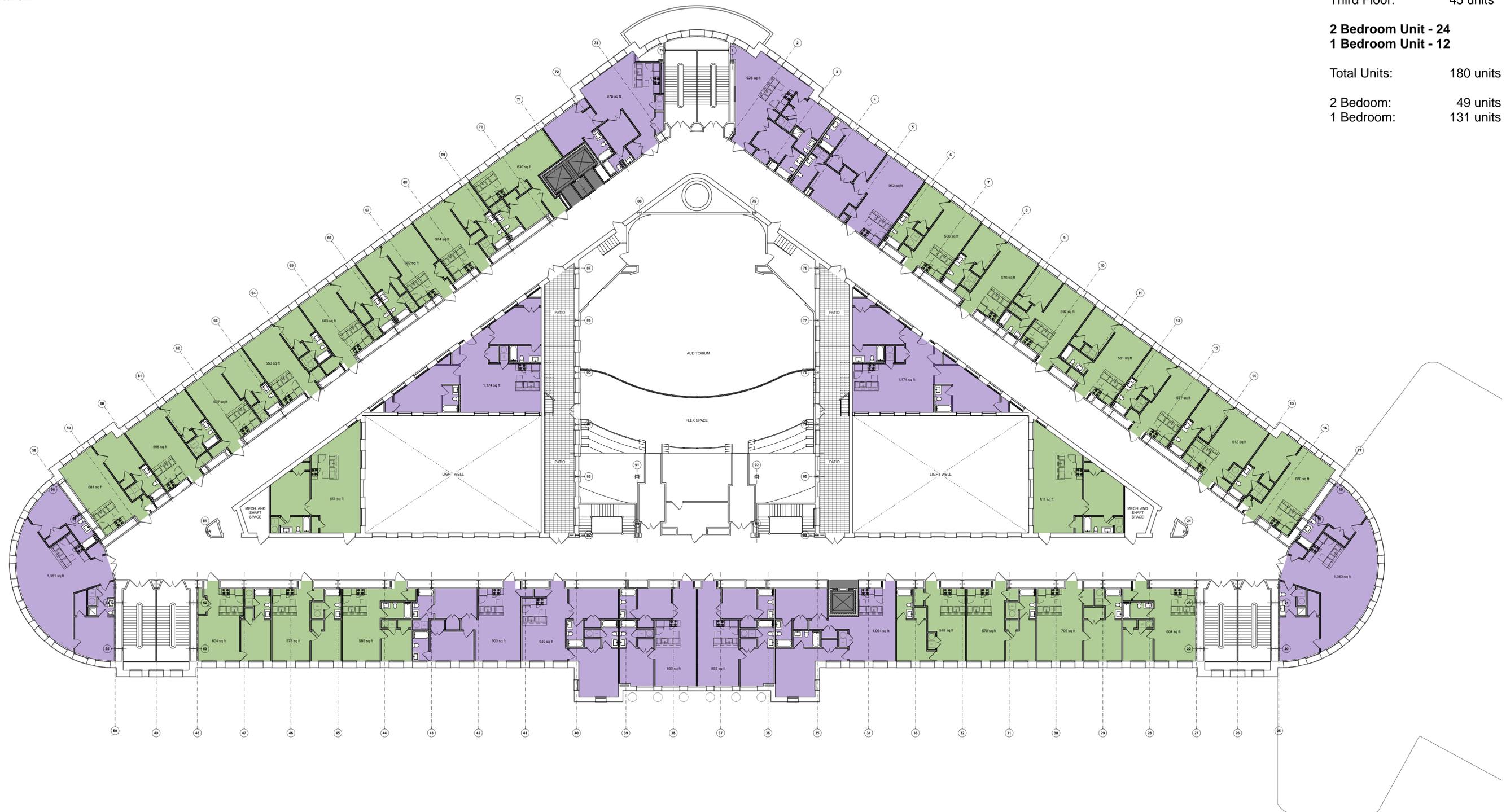


Lobby Level: 0 units  
 Lower Level: 21 units  
 Ground Floor: 44 units  
 First Floor: 34 units  
**Second Floor: 36 units**  
 Third Floor: 45 units

**2 Bedroom Unit - 24**  
**1 Bedroom Unit - 12**

Total Units: 180 units

2 Bedroom: 49 units  
 1 Bedroom: 131 units



1 Second Floor Plan



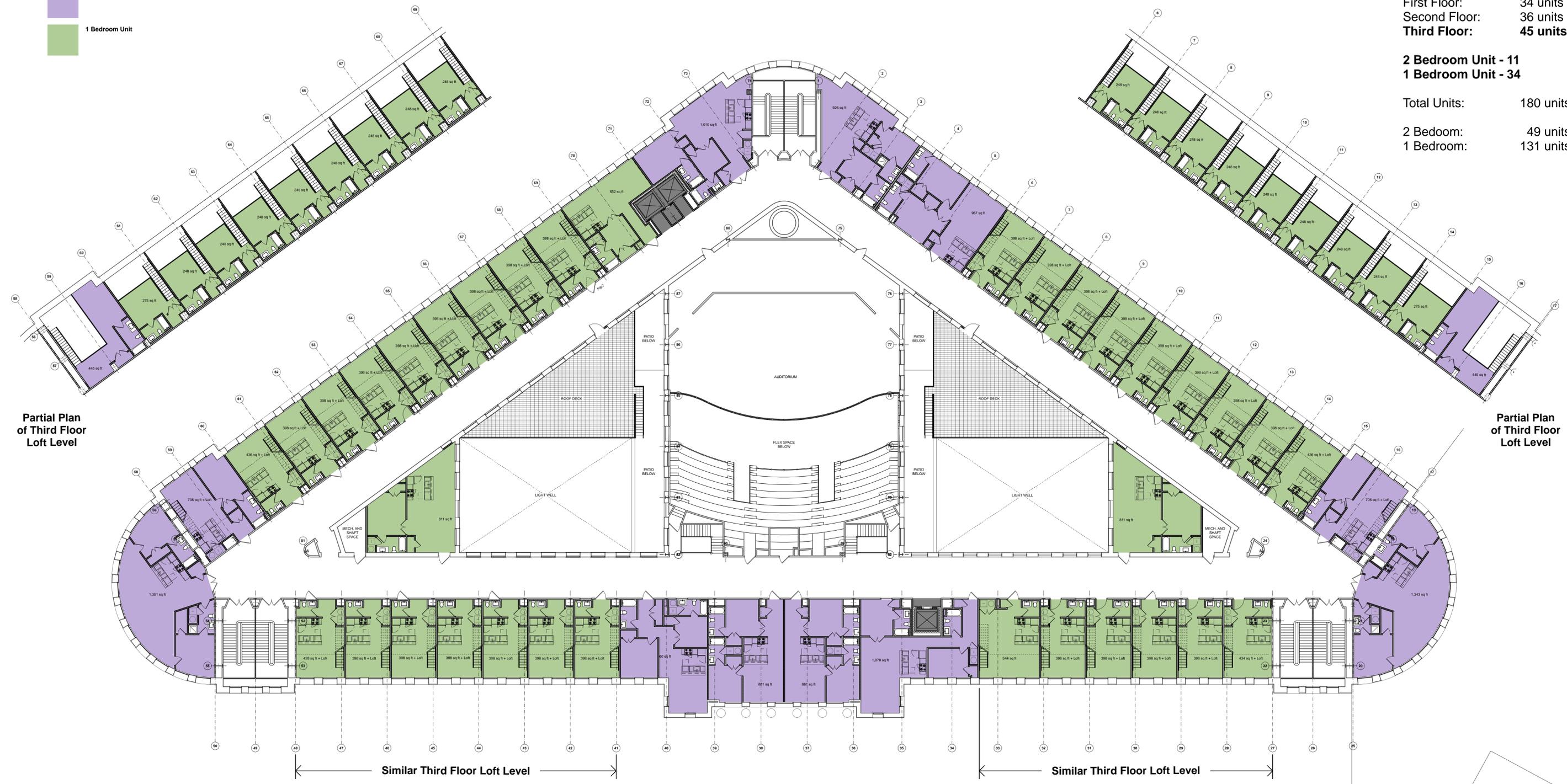
Lobby Level: 0 units  
 Lower Level: 21 units  
 Ground Floor: 44 units  
 First Floor: 34 units  
 Second Floor: 36 units  
**Third Floor: 45 units**

**2 Bedroom Unit - 11**  
**1 Bedroom Unit - 34**

Total Units: 180 units

2 Bedroom: 49 units  
 1 Bedroom: 131 units

2 Bedroom Unit  
 1 Bedroom Unit



1 Third Floor Plan



NEW PLANTING SCHEDULE						
Item #	Quantity	Symbol	Scientific Name	Common Name	Size	Notes
<b>TREES</b>						
1	3	QUPA	Quercus Palustris	Pin Oak	4 1/2" - 5" Cal.	
2	4	ACRU	Acer Rubrum 'Franksred'	Red Sunset Red Maple		Planted minimum 5' from sidewalk
3	2	ACGI	Acer Ginnala 'Emerald Elf'	Amur Maple		
4	5	ACFR	Acer x Freemanni	Freeman Maple		Planted minimum 5' from sidewalk
5	7	ACCA	Acer Campestre 'Evelyn'	Queen Elizabeth Hedge Maple	25'-40'	
6	6	COKO	Cornus Kousa	Kousa Dogwood	10' Ht.	

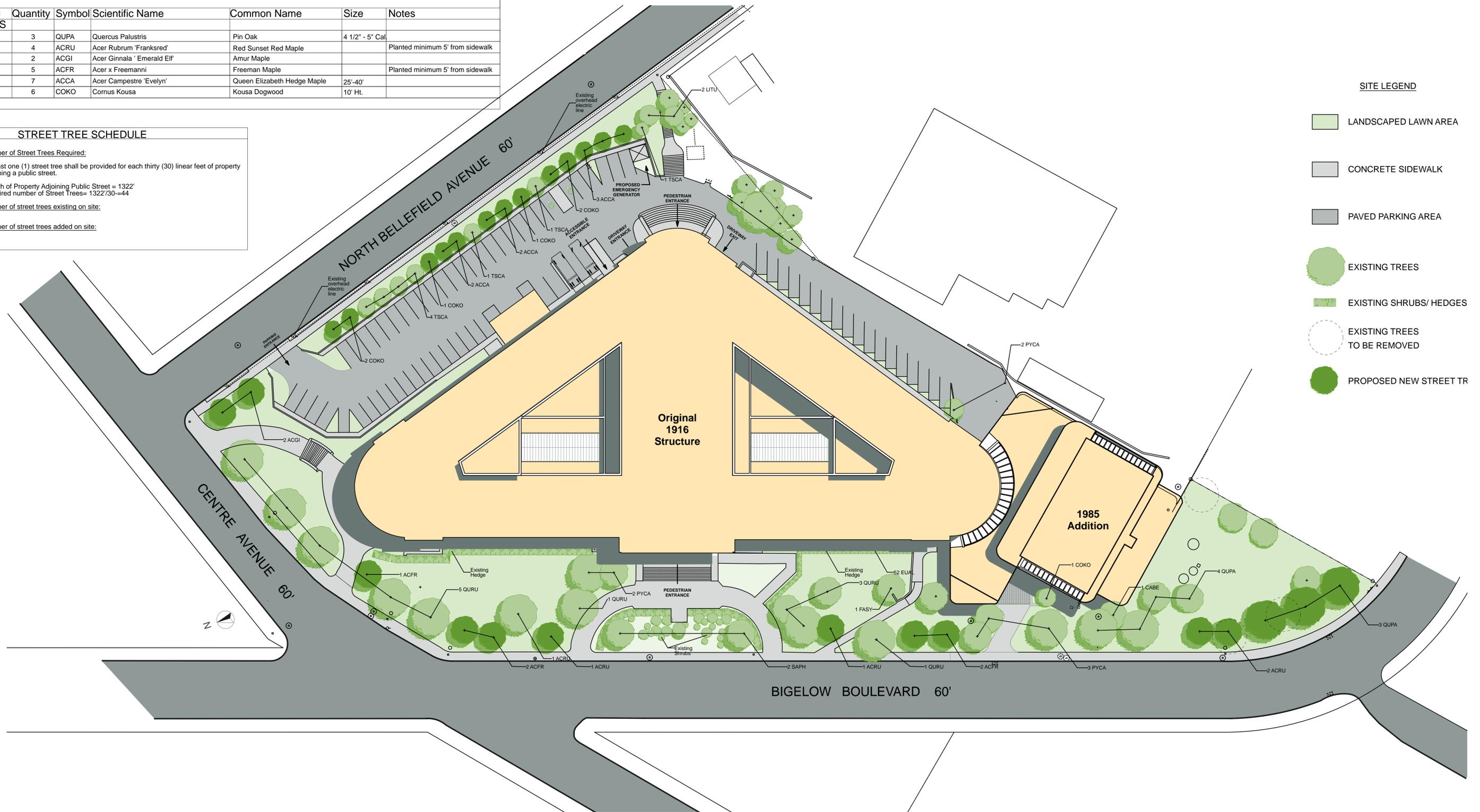
**STREET TREE SCHEDULE**

Number of Street Trees Required:  
 At least one (1) street tree shall be provided for each thirty (30) linear feet of property adjoining a public street.

Length of Property Adjoining Public Street = 1322'  
 Required number of Street Trees = 1322/30=44

Number of street trees existing on site:  
 19

Number of street trees added on site:  
 27



1 Planting Plan



# ZONING OVERVIEW

## ZONING DISTRICT - MULTI-UNIT RESIDENTIAL – VERY HIGH VOLUME

180 Units Total (all within existing building)

<b>Zoning Provision</b>	<b>Requirement</b>	<b>Provided (PMC Plan)</b>
Minimum Lot Size	1,200 s.f.	167,183 s.f. (RM-VH portion of property)
Minimum Lot Size Per Unit	400 s.f. per unit = 72,000 s.f. (based on 180 units)	167,183 s.f. (RM-VH portion of property)
Maximum Height (RM)	No limit	88 ft. (no change from existing building)
Maximum Number of Units	417 (based on lot size)	180

# Parking Summary

(Based on 180 Units)

<b>Required (by Code)</b>	<b>Provided (PMC Plan)</b>	<b>Excess Parking</b>
<b>128 spaces</b>	<b>147 spaces*</b>	<b>19 spaces</b>

**\*INCLUDES NINE (9) TANDEM SPACES**

# Parking and Loading Details

Type	Required	Provided
ADA Spaces	6	6 (2 located on the surface lot; 4 within the garage)
ADA Van spaces	2 (included in count above)	2 (included in count above/located on surface lot)
Compact Spaces (40% max)	55 max	55
Bicycle Spaces	60	60 (enclosed in building)
Loading Docks	3	2 (Administrator Exception requested)

# Unit Summary

Unit Type	Number of Units
One Bedroom	131
Two Bedroom	49
<b>Total</b>	<b>180</b>

# Sustainable Features

- Reuse of 90% of the existing building
- Access to public transportation (discussed later)
- Institutional shuttle transportation (discussed later)
- Bicycle parking
- Eliminating light polluting light fixtures leaving only the historic sconces
- No new impervious surfaces
- Additional plantings
- High efficiency mechanical systems
- LED light fixtures throughout
- Low VOC adhesives, paints, and millwork

# Community Comments

## (Summary)

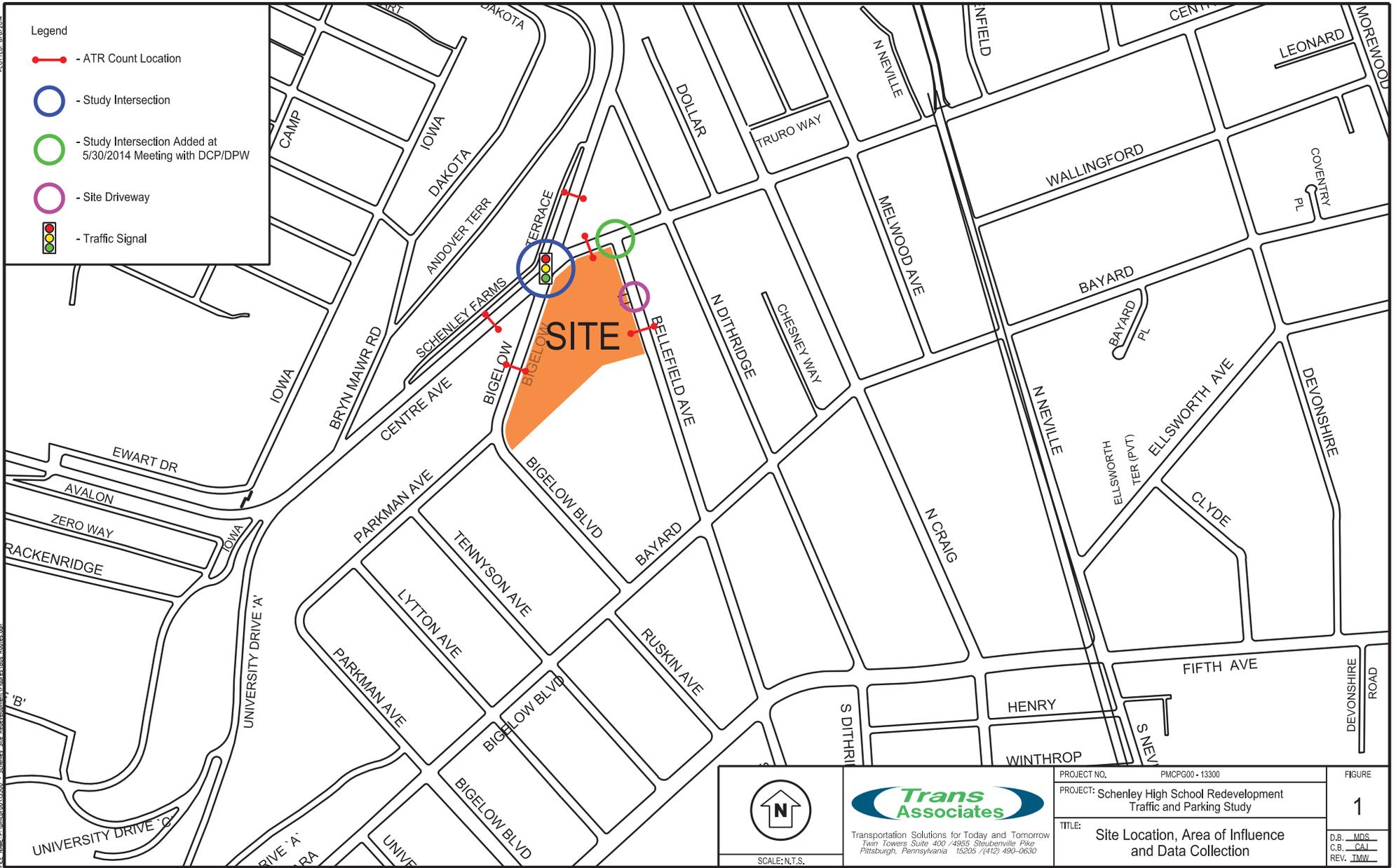
<b>Comment</b>	<b>Developer Response</b>
Opposition to rooftop units.	No rooftop units proposed as part of this application.
Parking concerns.	Developer added parking in the former pool area – exceeding code requirements.
Parkman and Bigelow Conditions (related to the Islamic Center).	Developer studied conditions and made recommendations for improvements as part of its Traffic Study.
Planting of additional trees on site by UPMC to mitigate helicopter noise.	Developer agreed to permit UPMC to plant mature trees on site (subject to reasonable approval per community agreement).
No parking on the Governor’s Drive (Bigelow side of building).	No parking is proposed for the Governor’s Drive.
Designation of guest parking spaces.	Developer agreed to designate 2 guest parking spaces.

PLOTTED: 8/22/2014

FILE NAME: P:\Projects\0413300 - Schenley - Site Redevelopment\Figures\Site\_Location.dwg

Legend

-  - ATR Count Location
-  - Study Intersection
-  - Study Intersection Added at 5/30/2014 Meeting with DCP/DPW
-  - Site Driveway
-  - Traffic Signal



SCALE: N.T.S.

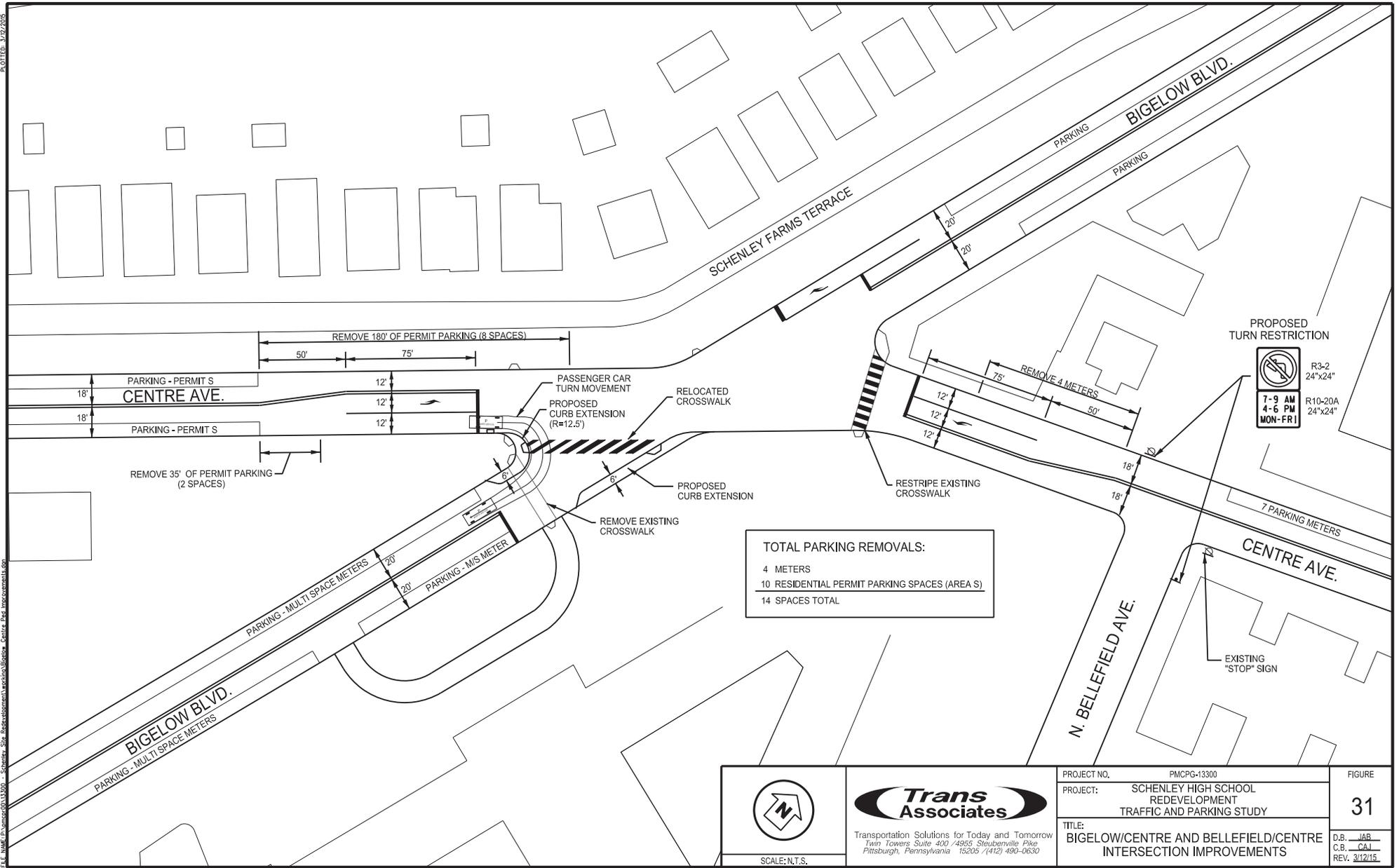


Transportation Solutions for Today and Tomorrow  
 Twin Towers Suite 400 / 4955 Steubenville Pike  
 Pittsburgh, Pennsylvania 15205 / (412) 490-0630

PROJECT NO.	PMCPG00 - 13300	FIGURE	1
PROJECT:	Schenley High School Redevelopment Traffic and Parking Study	D.B.	MDS
TITLE:	Site Location, Area of Influence and Data Collection	C.B.	CAL
		REV.	JMW

PLOTTED: 3/12/2015

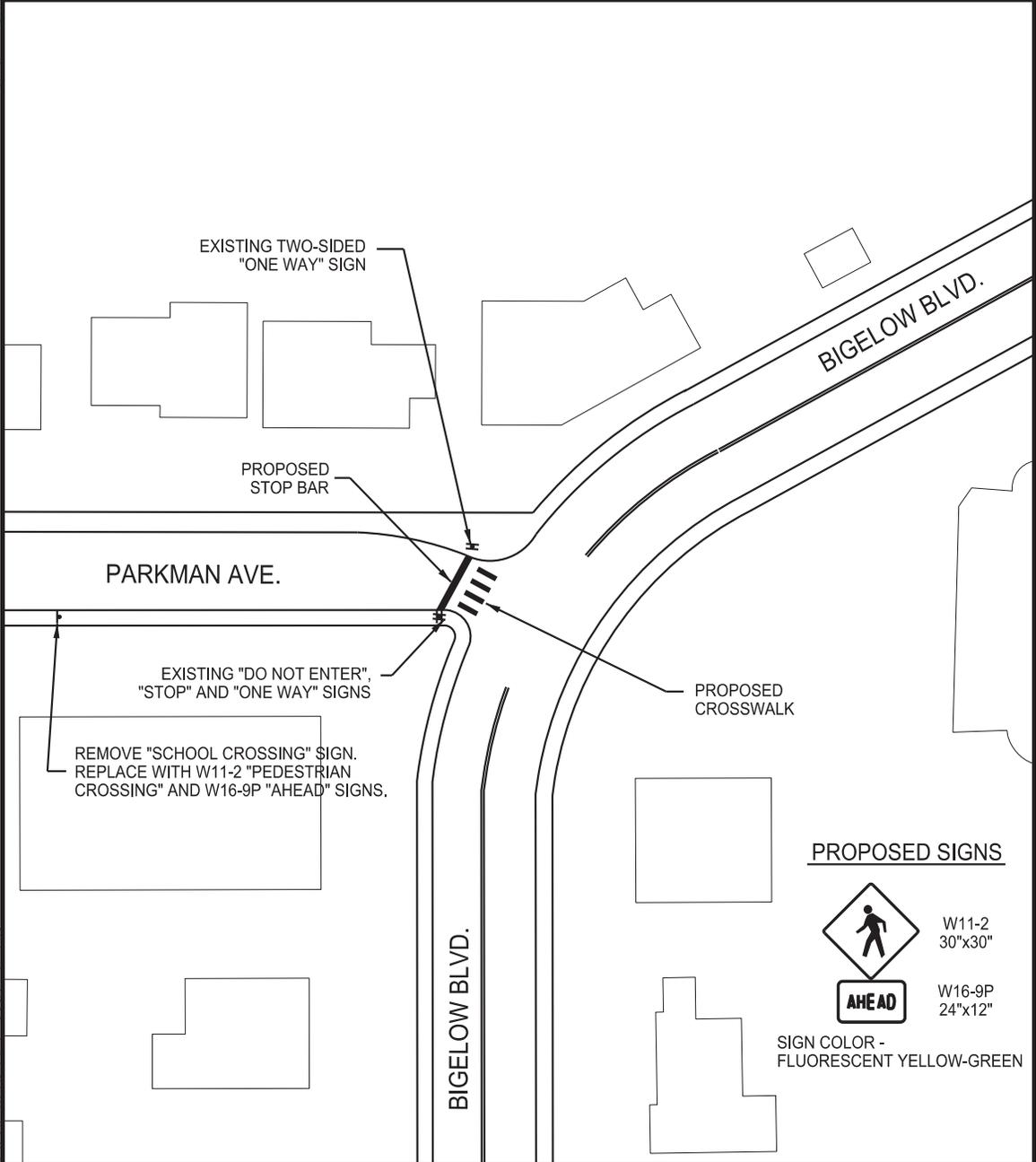
FILE NAME: P:\Projects\0413300 - Schenley - Site Reconfiguration\Map\SitePlan\_Centre\_Park\_Improvements.dwg



**TOTAL PARKING REMOVALS:**  
 4 METERS  
 10 RESIDENTIAL PERMIT PARKING SPACES (AREA S)  
 14 SPACES TOTAL

 SCALE: N.T.S.	 Transportation Solutions for Today and Tomorrow Twin Towers Suite 400 / 4955 Steubenville Pike Pittsburgh, Pennsylvania 15205 / (412) 490-0630	PROJECT NO. PMCPG-13300	FIGURE
		PROJECT: SCHENLEY HIGH SCHOOL REDEVELOPMENT TRAFFIC AND PARKING STUDY	<b>31</b>
		TITLE: BIGELOW/CENTRE AND BELLEFIELD/CENTRE INTERSECTION IMPROVEMENTS	D.B. JAB C.B. CAL REV. 3/12/15

PLOTTED: 3/19/2015



FILE NAME: P:\pmcpg00\13300 - Schenley\_Site\_Redevelopment\work\plan\Bigelow\_Parkman.dwg



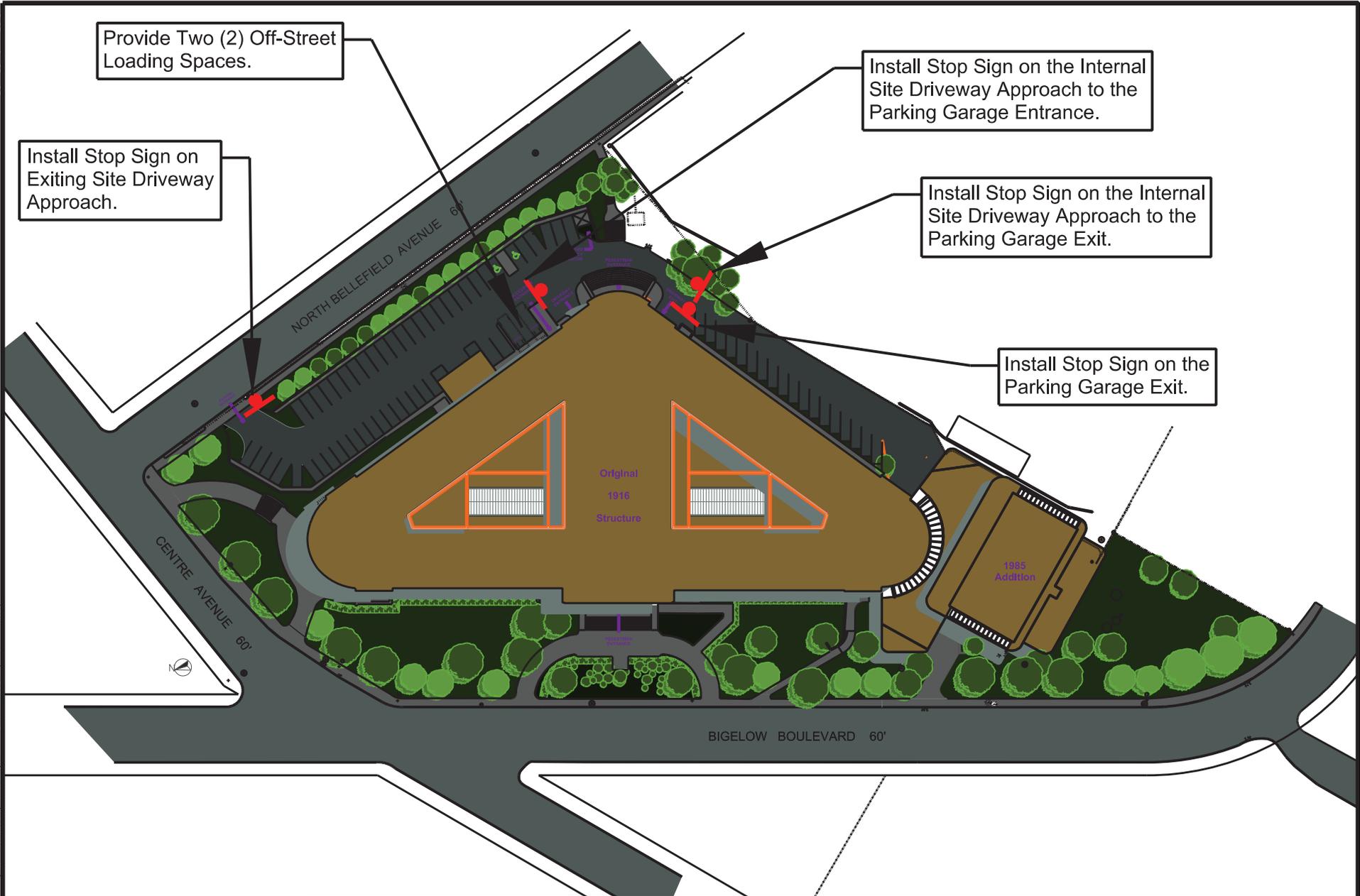
SCALE: N.T.S.



Transportation Solutions for Today and Tomorrow  
Twin Towers Suite 400 /4955 Steubenville Pike  
Pittsburgh, Pennsylvania 15205 / (412) 490-0630

PROJECT NO.	PMCPG-13300
PROJECT:	SCHENLEY HIGH SCHOOL REDEVELOPMENT TRAFFIC AND PARKING STUDY
TITLE:	<b>BIGELOW AND PARKMAN INTERSECTION IMPROVEMENTS</b>

FIGURE	32
D.B.	JAB
C.B.	CAJ
REV.	1/30/15



 SCALE: N.T.S.	 Transportation Solutions for Today and Tomorrow Twin Towers Suite 400 / 4955 Steubenville Pike Pittsburgh, Pennsylvania 15205 / (412) 490-0630	PROJECT NO. PMCPG00 - 13300	FIGURE
		PROJECT: Schenley High School Redevelopment Traffic and Parking Study	33
		TITLE: Recommended On-Site Improvements	D.B. <u>mds</u> C.B. <u>caj</u> REV. _____

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: <b>VITMORE L.P.</b>		Phone Number: <b>(412) 952-3699</b>	
Address: <b>PO Box 9009</b>	City: <b>PITTSBURGH</b>	State: <b>PA</b>	Zip Code: <b>1522A</b>
2. Applicant/Company Name: <b>MOSHIER STUDIO</b>		Phone Number: ( )	
Address: <b>3411 BUTLER ST.</b>	City: <b>PITTSBURGH</b>	State: <b>PA</b>	Zip Code: <b>15201</b>
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: <b>5500 BAUM BOULEVARD</b>			
4. Development Location: <b>BAUM BLVD &amp; S. GRAHAM ST</b>			
5. Development Address: <b>5500, 551A &amp; 551B BAUM BLVD, PITTSBURGH PA 15232</b>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: <b>4 / 1 / 2015</b>	Occupancy Date: <b>7 / 1 / 2016</b>	Project Cost: <b>\$1A MILLION</b>
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to <a href="http://pittsburghpa.gov/dcp/zoning/">pittsburghpa.gov/dcp/zoning/</a> and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): <b>5.02, 101, 105</b>			
10. Select the Type of Work:			
<input checked="" type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development: <b>7. STORY BUILDING WITH 2 LEVELS OF BELOW GRADE PARKING FIRST FLOOR WILL CONTAIN LOBBY &amp; SERVICES FOR MULTI FAMILY HOUSING ON UPPER FLOORS AS WELL AS COMMERCIAL SPACE (OFFICE, RETAIL OR LIMITED RESTAURANT)</b>			
12. Is a Land Operations Permit needed? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <a href="http://www.city.pittsburgh.pa.us/bbi/">http://www.city.pittsburgh.pa.us/bbi/</a> )			

DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

**13.** Proposed Number of New Structures or Building Additions:  N/A  
 Residential  Commercial  Recreational  Industrial  Institutional

**14.** Gross Floor Area:  
 Existing to be Razed: 4,945 sq ft  
 Existing to be Retained: -0- sq ft  
 Retained Area to be Renovated: -0- sq ft  
 To be Constructed: 133,714 sq ft + PARKING  
 Building Footprint: 22,330 sq ft (219 x 102)

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	3	45	7	89
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**16.** Number of Dwelling Units:  
 Existing to Remain: 0 Proposed: 100

**17.** Lot Area: 25,229 sq ft

**18.** On Site Parking:  N/A

	Existing	Proposed
Full (8 1/2' x 19')	41	54
Compact (7 1/4' x 16')	0	32
Handicap (13 1/2' x 19')	0	4

Off-Street Loading Spaces:  N/A  
 Actual: 2  
 Required: 2

**19.** Please check any of the following items that will be part of the proposed work:  N/A  
 Demolition  HVAC (Interior)  HVAC (Exterior)  Electrical  Fire Alarm  
 Fire Protection/Sprinklers  Deck Construction  Commercial Cooking Hood  Sign

**20.** Please check the following items that pertain to any work proposed on private plumbing:  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing  New Construction of Plumbing  No Plumbing Work is Proposed

**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

<b>DEVELOPMENT REVIEW APPLICATION</b>					
<b>WATER AND SEWER INFORMATION</b>					
<p><i>NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.</i></p> <p>For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at <a href="http://www.pgh2o.com">www.pgh2o.com</a>).</p>					
<p><b>21.</b> Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border: none;"> <input style="width: 80%;" type="text"/> New Water Service Connection(s)                 </td> <td style="width: 50%; border: none;"> <input style="width: 80%;" type="text"/> Termination of Existing Water Service Tap(s)                 </td> </tr> <tr> <td style="border: none;"> <input style="width: 80%;" type="text"/> New Sewer Service Connection(s)                 </td> <td style="border: none;"> <input style="width: 80%;" type="text"/> Termination of Existing Sewer Service Tap(s)                 </td> </tr> </table>		<input style="width: 80%;" type="text"/> New Water Service Connection(s)	<input style="width: 80%;" type="text"/> Termination of Existing Water Service Tap(s)	<input style="width: 80%;" type="text"/> New Sewer Service Connection(s)	<input style="width: 80%;" type="text"/> Termination of Existing Sewer Service Tap(s)
<input style="width: 80%;" type="text"/> New Water Service Connection(s)	<input style="width: 80%;" type="text"/> Termination of Existing Water Service Tap(s)				
<input style="width: 80%;" type="text"/> New Sewer Service Connection(s)	<input style="width: 80%;" type="text"/> Termination of Existing Sewer Service Tap(s)				
<p><b>22.</b> Will the proposed work change the current water consumption and sewer discharge of the building or site?</p> <p style="text-align: center;"> <input checked="" type="checkbox"/> YES                      <input type="checkbox"/> NO                 </p>					
<p><b>23.</b> If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:</p> <p style="margin-left: 40px;"> <input type="checkbox"/> Applicant requests PWSA to accept ownership of the sewer mains and/or water lines  <input type="checkbox"/> Applicant retains private ownership of sewer mains and/or water lines  <input checked="" type="checkbox"/> Not Applicable (Development does not include construction of sewer mains and/or water lines)                 </p>					
<p><b>24.</b> If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:</p> <p style="margin-left: 40px;"> <input type="checkbox"/> Public Property, Existing City Street                      <input type="checkbox"/> Private Property                      <input type="checkbox"/> Not Applicable  <input type="checkbox"/> Public Property, New City Street to be constructed as part of the development/project                 </p>					
<b>WORK IN AND AROUND THE CITY RIGHTS-OF-WAY</b>					
<p><b>25.</b> Please select the following items that apply to the proposed work:</p> <p style="margin-left: 40px;"> <input type="checkbox"/> Applicant requests to change or designate the name of a City Street.  <input type="checkbox"/> The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.  <input checked="" type="checkbox"/> Modification or reconstruction of City curbs.  <input type="checkbox"/> Design and construction of a new street where the Applicant will request the City to accept ownership of the street.  <input type="checkbox"/> Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.  <input checked="" type="checkbox"/> The proposed work will create an obstruction of traffic on City rights-of-way.  <input checked="" type="checkbox"/> The proposed work includes the excavation of a City street or sidewalk.  <input type="checkbox"/> The proposed work includes the placement of a demolition dumpster in a City right-of-way.  <input checked="" type="checkbox"/> The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.                 </p>					
<p><b>26.</b> Applicant will be applying for a Visitability Tax Credit?                      <input type="checkbox"/> Yes                      <input checked="" type="checkbox"/> No</p>					
<p>Applicant Signature: _____</p>					

# 5500 BAUM BOULEVARD SCHEMATIC DESIGN

## PLANNING COMMISSION PRESENTATION - 2015.03.24

### TABLE OF CONTENT

1. Site Context
2. Site Zoning Distance Map
3. Site Photo (Baum)
4. Site Photo (Baum & S Graham)
5. Site Photo (Baum & S Graham) with Proposed Building
6. Site Photo (S Graham & Dapper)
7. Site Photo (S Graham & Dapper) with Proposed Building
8. Subcellar Floor Plan
9. Cellar Floor Plan
10. Ground Floor Plan
11. 3rd Floor Plan
12. 7th Floor Plan
13. Roof Plan
14. Environmental Sections
15. Baum Elevation
16. South Graham Elevation
17. Dapper Elevation
18. East Elevation
19. NW Aerial Perspective
20. Baum Elevational Perspective
21. Residential Lobby View
22. NW Aerial Perspective
23. West Elevational Perspective
24. Dapper Elevational Perspective
25. East Elevational Perspective
26. Roof Overhead View
27. NE Street View
28. SW Aerial View
29. Landscape Narrative
33. Parking Analysis

### DESCRIPTION OF PROJECT AND DESIGN CONCEPTS

The proposed development at 5500 Baum Boulevard envisions a vibrant residential community that enlivens its local surroundings and enhances the character of Shadyside Neighborhood. Extending the language of the local context, the building is conceptualized as an articulated brick facade situated atop a glazed retail/entry level. The primary design element is the "Urban Window", an opening within the Baum Boulevard and Dapper Way façades that presents a striking visual feature for onlookers. Passersby will be able to see through the building or view the building's interior courtyard, which may feature installations by local artists on its South wall. Landscaped terraces located within each opening add touches of greenery to the facade. The Urban Window serves to articulate the building's massing and moderate the long facades along Baum Boulevard and Dapper Way. On the ground, the inset retail frontage and thoughtful landscape/hardscape design along Baum Boulevard and South Graham Street promote an inviting pedestrian streetscape. Parking has been integrated into the project, both at street level and below-grade. Access to parking is located along Dapper Way, away from primarily pedestrian circulation. A landscaped side yard also allows visual access through the site and emphasizes the residential feel of the development.

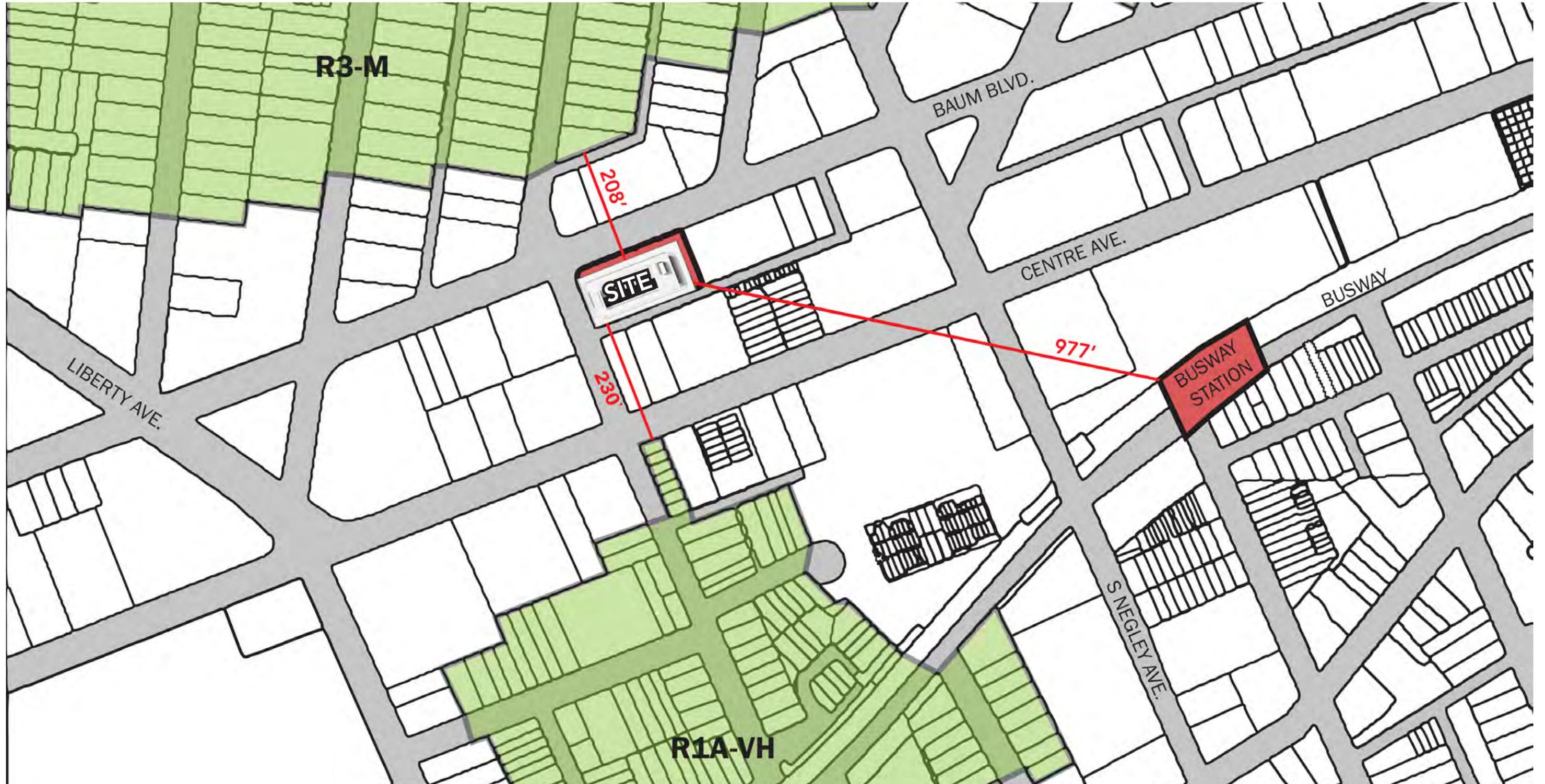
### COMMUNITY SUPPORT

Throughout the schematic design process for 5500 Baum Blvd both the Baum Centre Initiative (BCI) and the Friendship Community Group (FCG) were engaged and updated on design progress. Vitmore (owner) is committed to maintaining open communication with both BCI and FCG. Comments and recommendations from both groups were considered in the development of the design, and the proposed design enjoyed strong support from both community groups.





# SITE ZONING DISTANCE MAP



# SITE PHOTO (BAUM)



# SITE PHOTO (BAUM & S GRAHAM)



# SITE PHOTO (BAUM & S GRAHAM) W/ PROPOSED BUILDING



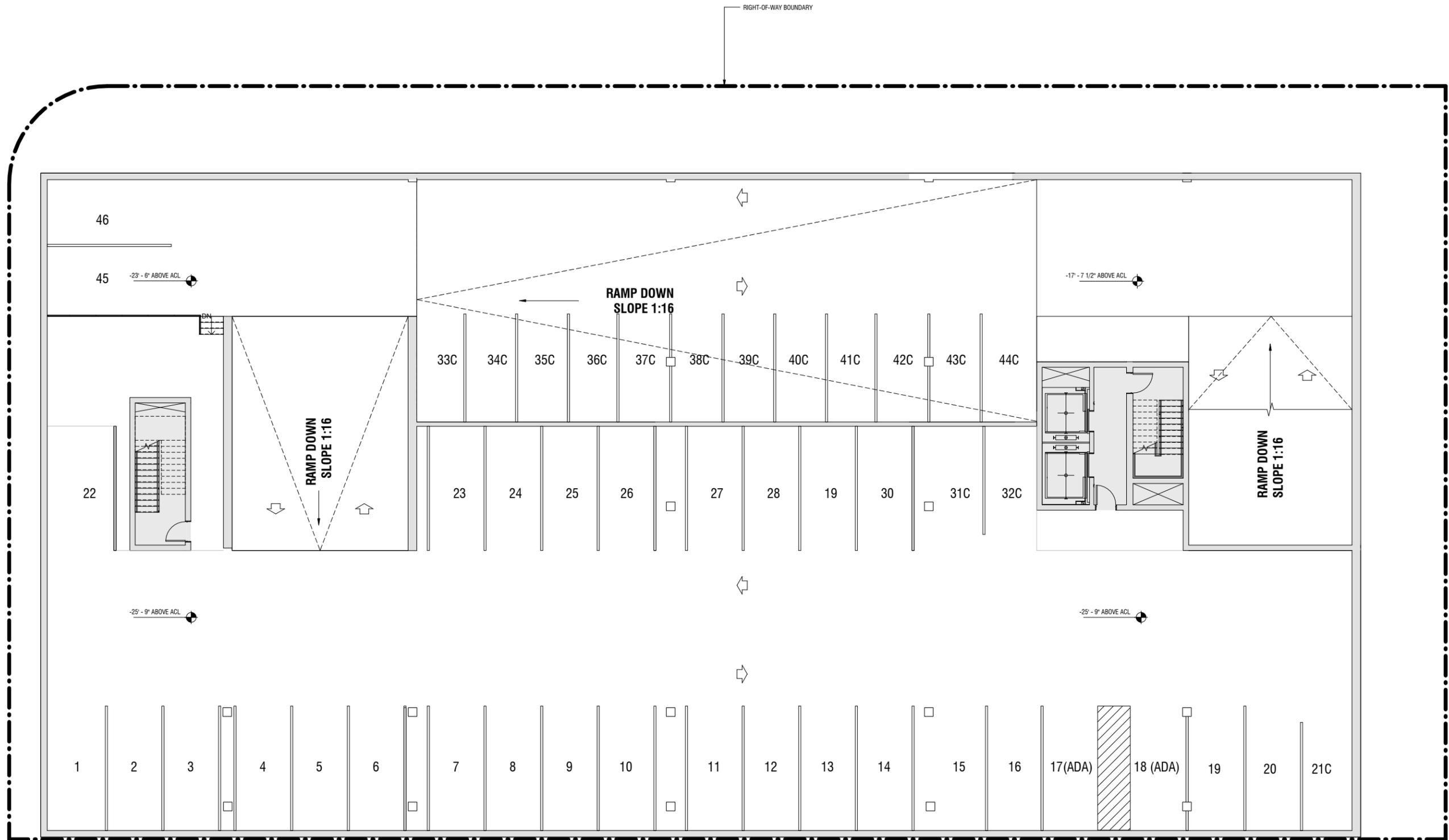
**SITE PHOTO (S GRAHAM & DAPPER)**



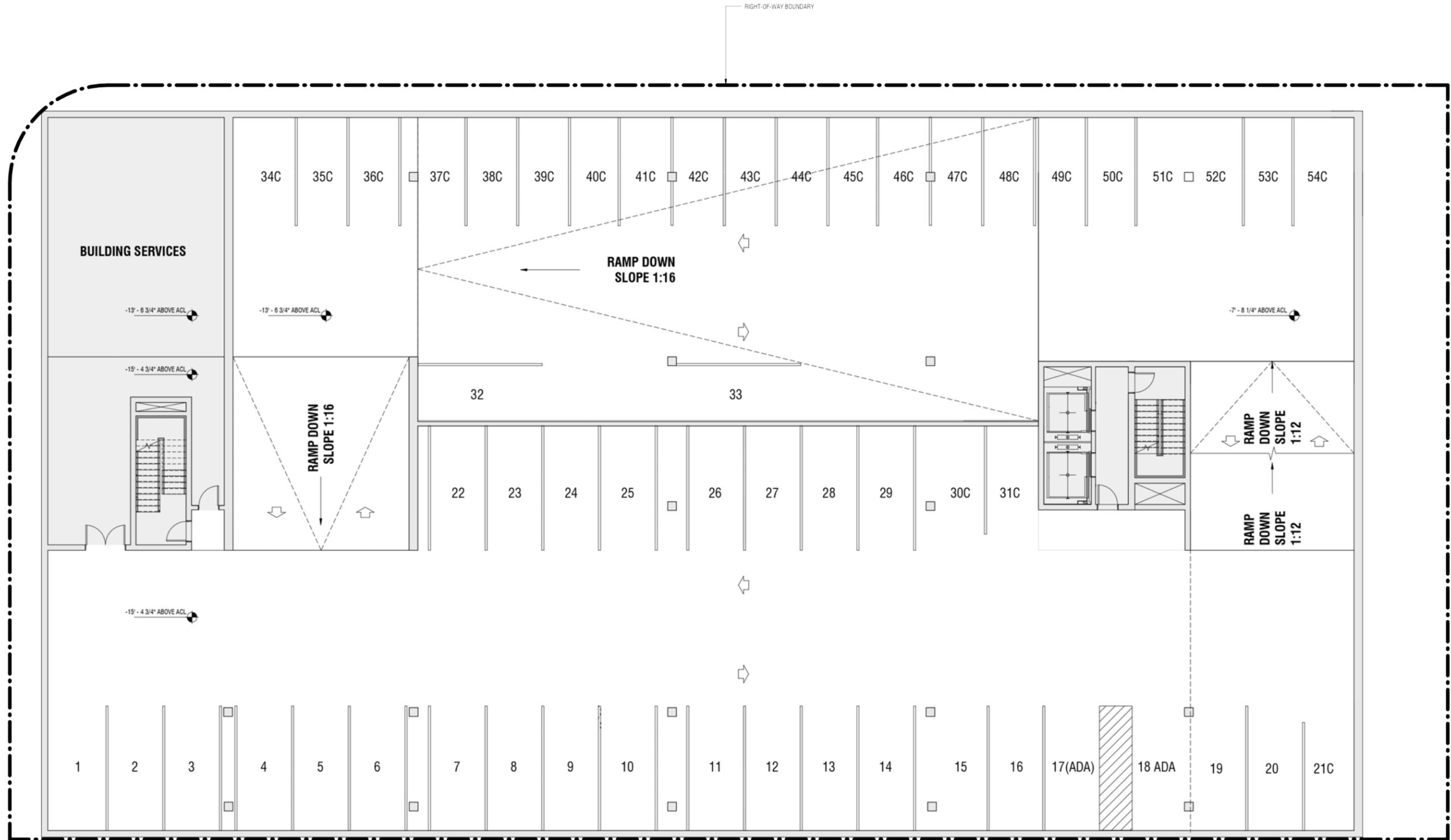
# SITE PHOTO (S GRAHAM & DAPPER) W/ PROPOSED BUILDING



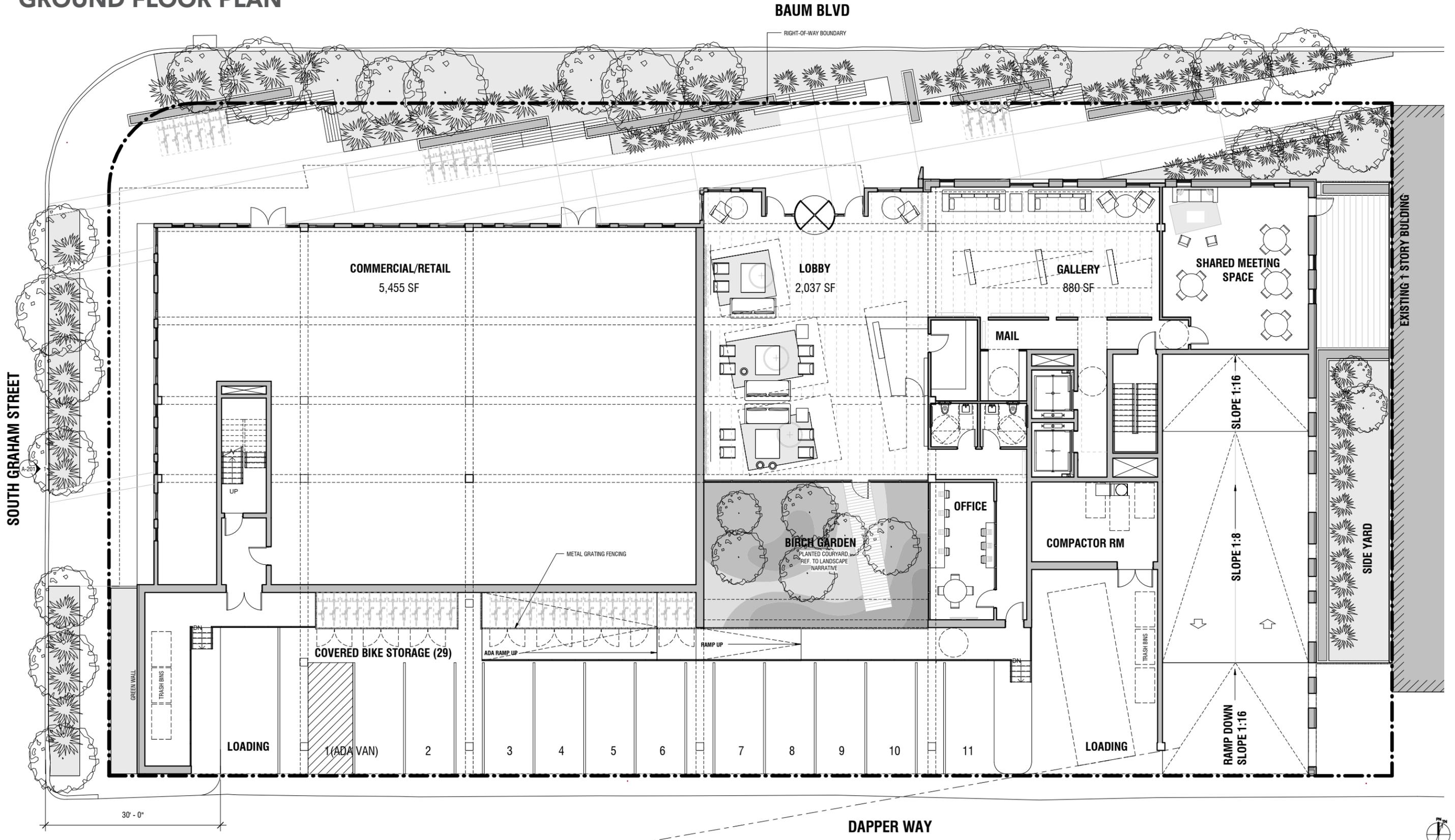
# SUB-CELLAR FLOOR PLAN



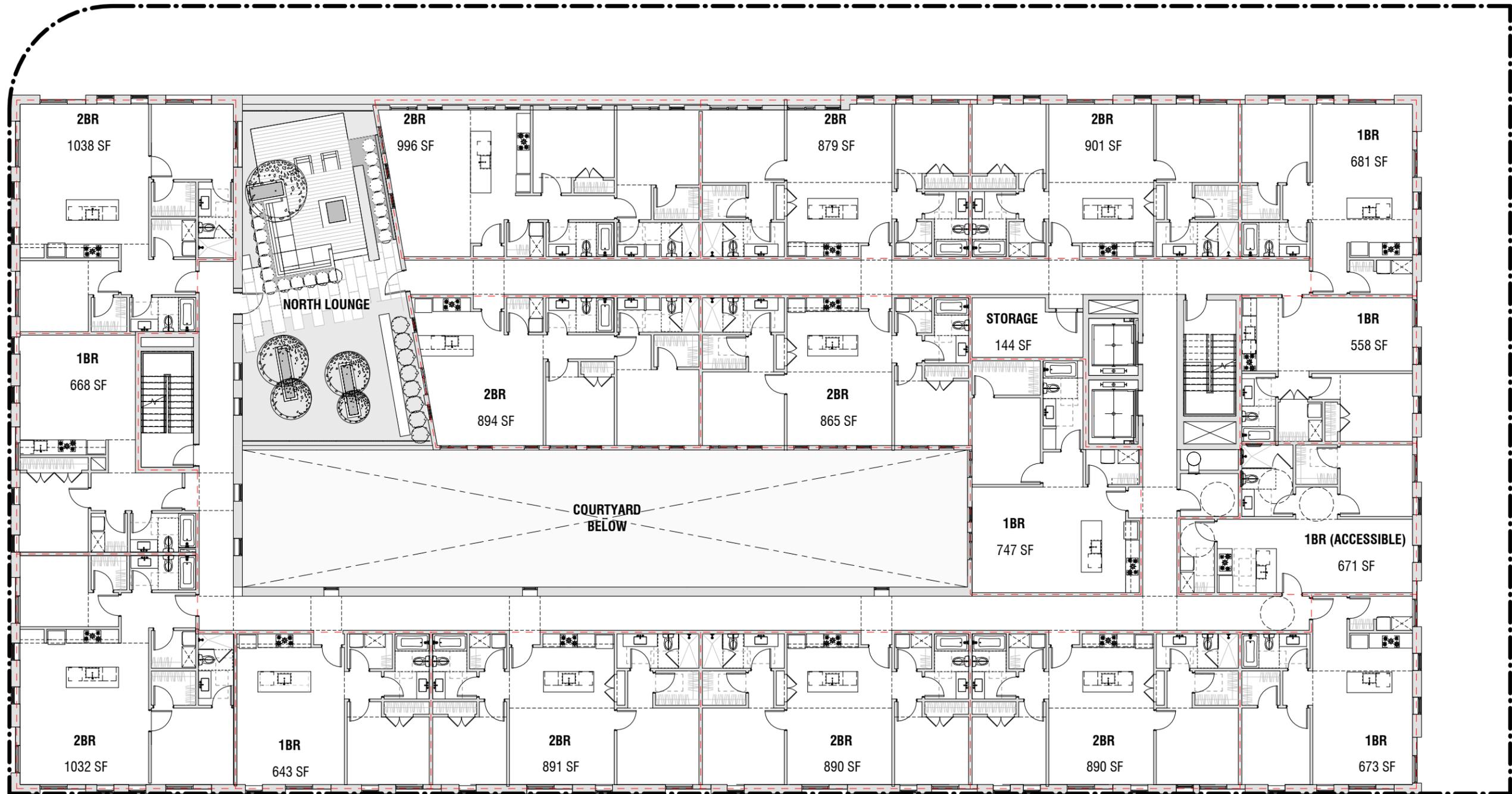
# CELLAR FLOOR PLAN



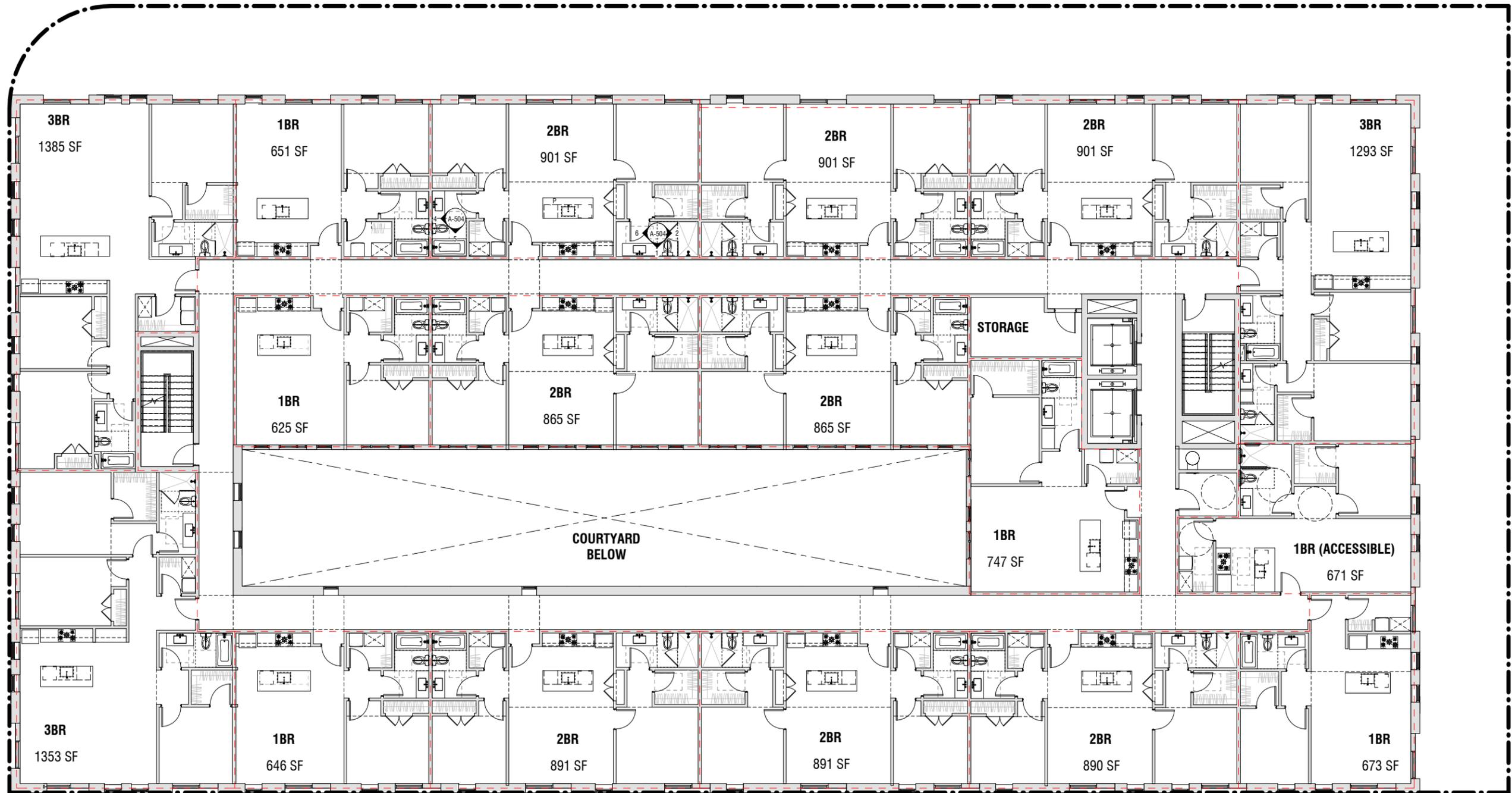
# GROUND FLOOR PLAN



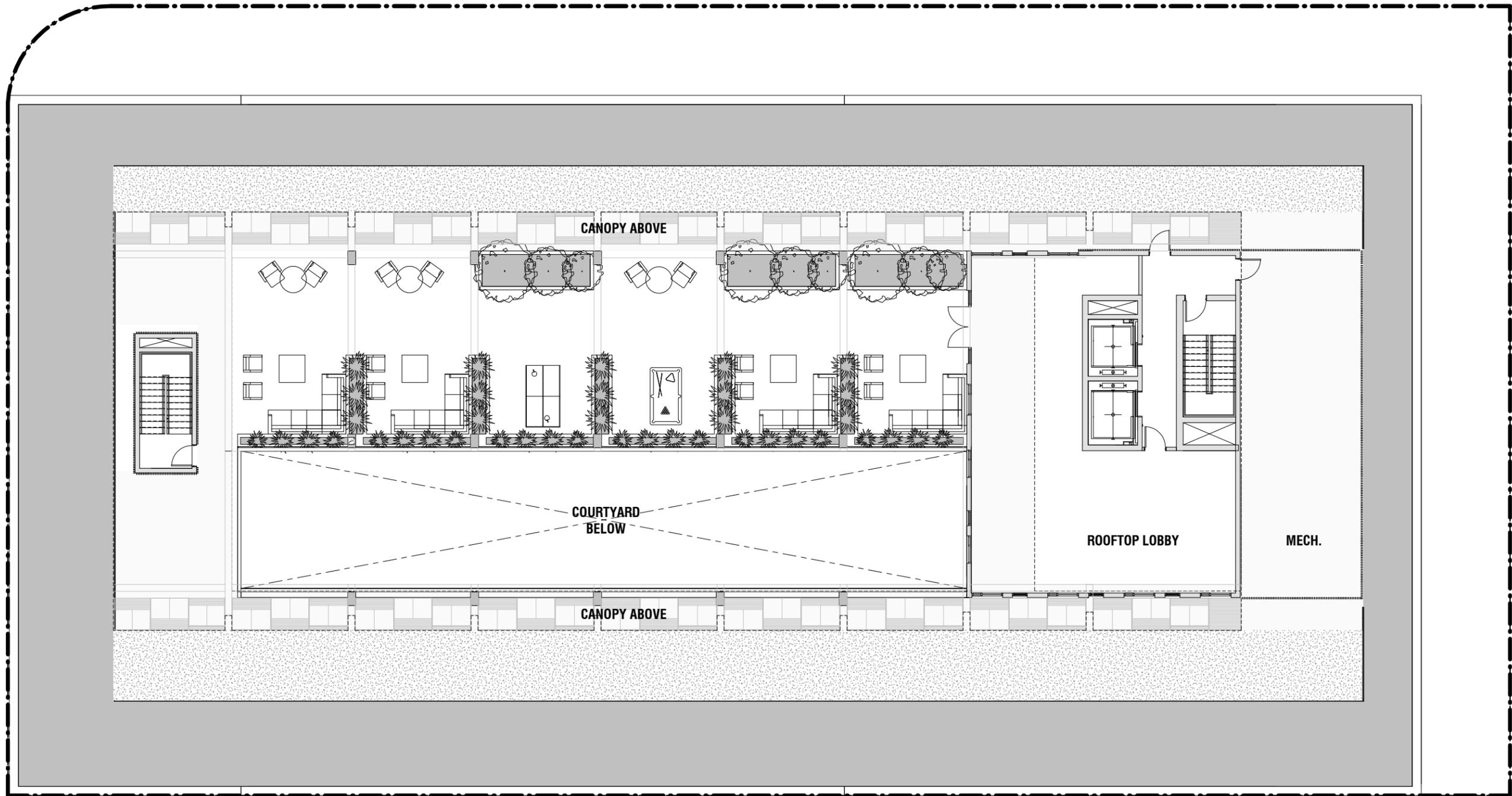
# 3RD FLOOR PLAN



# 7TH FLOOR PLAN

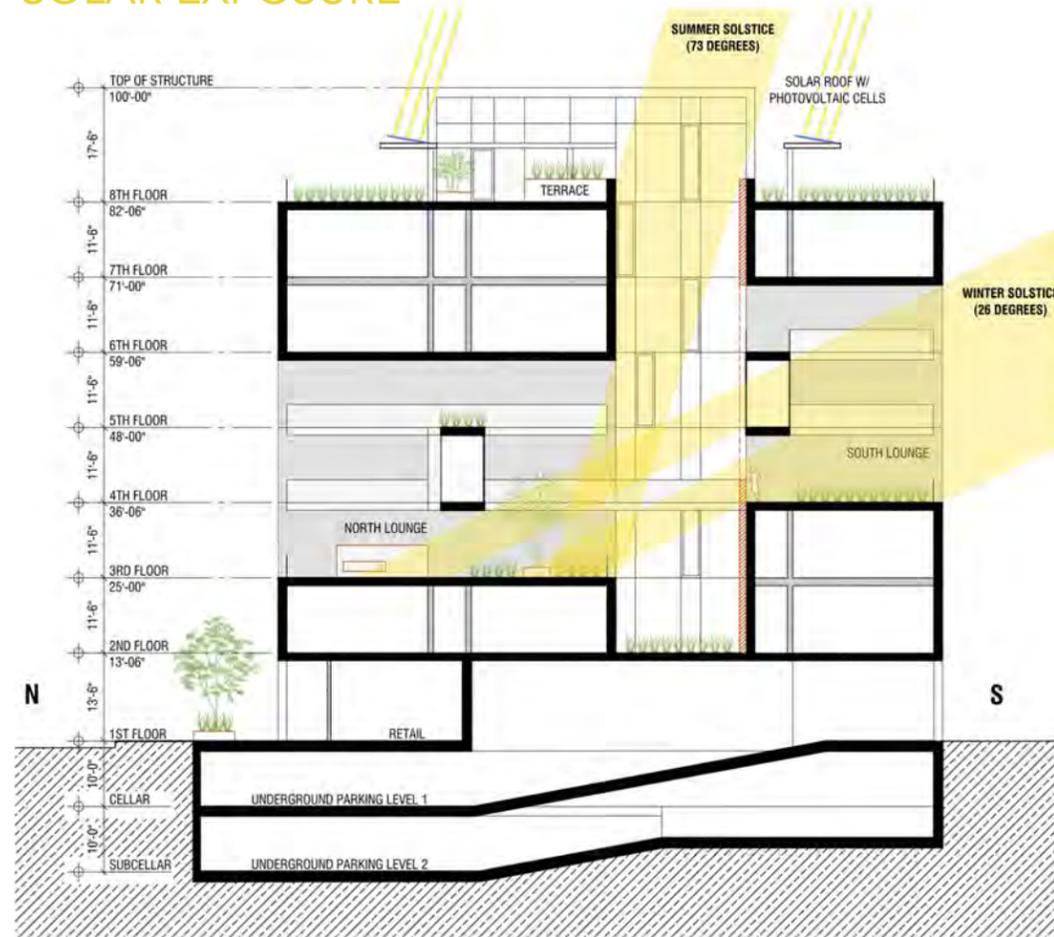


# ROOF PLAN

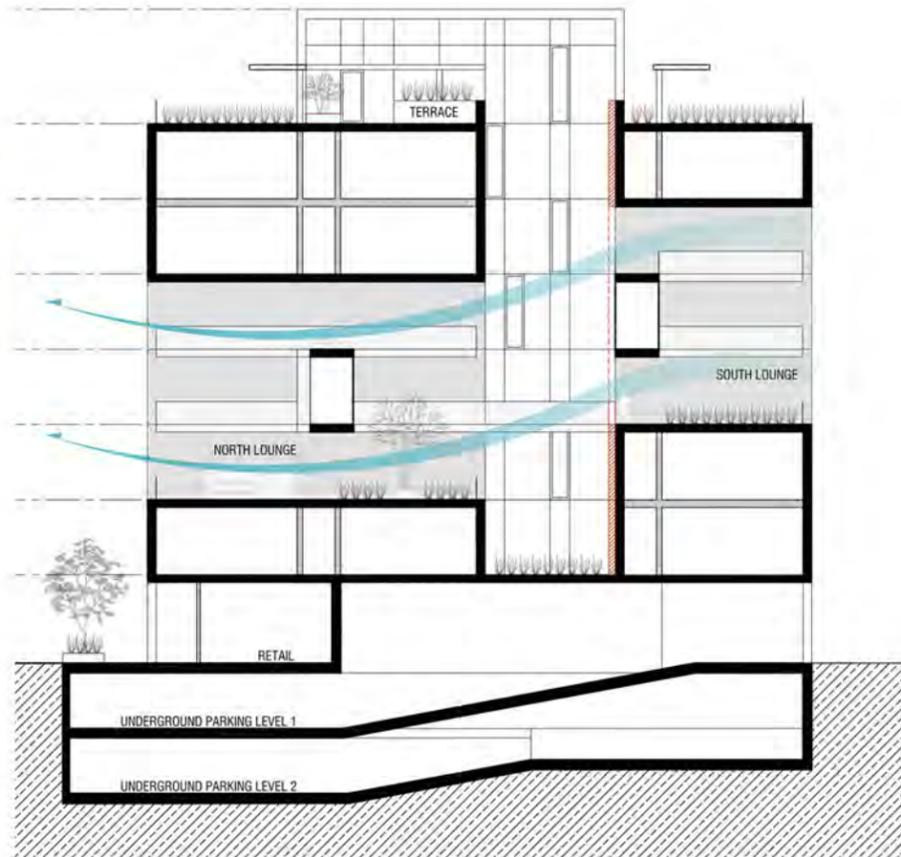


# ENVIRONMENTAL SECTIONS

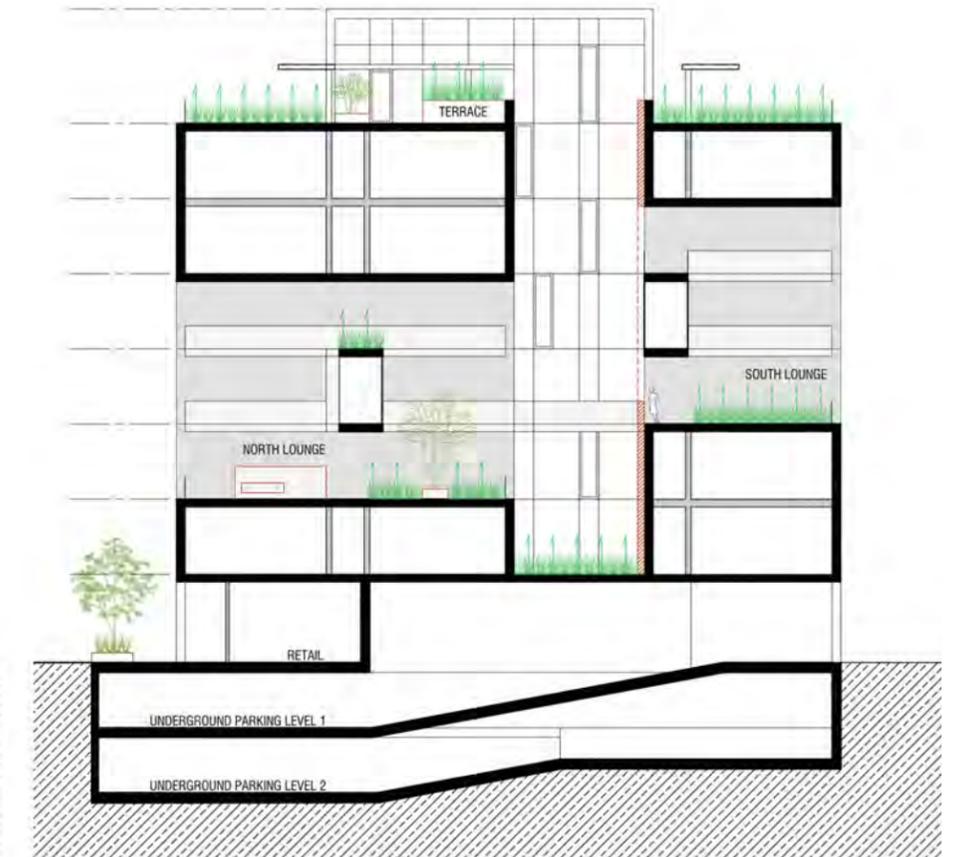
## SOLAR EXPOSURE



## CROSS VENTILATION



## EVAPORATIVE COOLING



# BAUM ELEVATION



# S GRAHAM ELEVATION



# DAPPER ELEVATION



## DAPPER WAY

# EAST ELEVATION



POWDER-COATED  
ALUMINUM SLAT  
MECHANICAL SCREEN

BRICK FACADE

POWDER-COATED  
ALUM WINDOWS

POWDER-COATED  
METAL PANEL

# NW AERIAL PERSPECTIVE

POWDER-COATED ALUMINUM  
SLAT MECHANICAL SCREEN  
EXTENDS TO HEIGHT OF  
ELEVATOR BULKHEAD

PATTERNED PV PANELS  
ON POWDER-COATED  
ALUMINUM TRELLIS

ALUMINUM TRELLIS  
EXTENDS FROM STAIR &  
ELEVATOR BULKHEAD

GREEN ROOF



BAUM BOULEVARD

S GRAHAM STREET

# BAUM ELEVATIONAL PERSPECTIVE



# RESIDENTIAL LOBBY VIEW



# NW AERIAL PERSPECTIVE



# WEST ELEVATIONAL PERSPECTIVE



# DAPPER ELEVATIONAL PERSPECTIVE



# EAST ELEVATIONAL PERSPECTIVE



# ROOF OVERHEAD VIEW



# NE STREET VIEW



# SW AERIAL VIEW



# LANDSCAPE NARRATIVE

## Baum Boulevard Streetscape

The design intent is to create a broad swath of green along the edge of Baum Boulevard, promoting a safe separation between pedestrian and vehicular travel. Raised planters and trees further accentuate the green band. Plant characteristics will exhibit varying colors of green with texture, be salt tolerant, and be planted in simple massings to soften the hardscape.

### Trees:

Ginkgo biloba, Maidenhair tree



Zelkova serrata 'Village Green'



### Raised Planters:

Pennisetum 'Moudry' (Moudry Fountain Grass)



Sporobolus heterolepis (Prairie Dropseed)



### Ground Plane:

Cornus sericea 'Kelsey's Dwarf'



Carex conica 'Snowline', Snowline Sedge



Liriope spicata, Creeping Lilyturf



Carex flacca 'Blue Zinger', Blue Zinger Sedge



# LANDSCAPE NARRATIVE

## South Graham Streetscape

Along this edge, rain gardens will be created to mitigate stormwater. Functional plants selected will be tolerant of fluctuating moisture, absorb precipitation, and acknowledge overhead utilities. A green vertical wall will flank a portion of the building façade. Simple massing (single plant species per each bed) will complement the planting along Baum.

### Trees:

Amelanchier x grandiflora 'Autumn Brilliance', Autumn Brilliance Serviceberry



### Groundcover:

Amsonia hubrichtii, Threadleaf Blue Star



### Vertical Green Wall:

Hedera helix, English Ivy



Carex stricta or muskingumensis



Carex nigra



# LANDSCAPE NARRATIVE

## Courtyard Garden

The design intent is to blur the line between indoor and outdoor spaces by bringing an intimate interior courtyard into the center of the building creating an additional amenity for residents. Plants selected may represent native Pennsylvania woodlands, tolerant of this shady portion of the site.

### Trees:

*Acer pennsylvanicum*, Striped Maple



*Sassafras albidum*, Sassafras (grove)



*Sassafras albidum*, Sassafras (grove)



### Groundcover:

*Bergenia cordifolia*, Heartleaf Bergenia



*Carex pennsylvanicum*, Pennsylvania sedge



*Pachysandra procumbens*, Allegheny Spurge



### Bulbs: (*inter-planted in Liriope; late season bloom*)

*Ixioliron tataricum*, Siberian Lily



*Hyacinthoides non scripta*, Bluebell



# LANDSCAPE NARRATIVE

## Green Roof

The design intent is to create an affordable, low maintenance pervious surface to capture and filter rainwater as part of the larger stormwater management plan. The following sedums create a low growing mat that reduces the need for irrigation and weeding as well as creates an attractive groundcover throughout four seasons.

Sedum mat (mixed sedum species)



## East Side Yard Buffer

The design intent for this narrow, intimate space is to create a green view from outdoor patios, including along the adjacent building wall, and with planters. Plants selected will tolerate shade.

Shrubs: (along adjacent building wall)

Fargesia rufa, Shweeash Bamboo



# PARKING ANALYSIS REPORT

Twin Towers, Suite 400, 4955 Steubenville Pike, Pittsburgh, PA 15205 T (412) 490-0630 F (412) 490-0631



March 3, 2015

Mr. Terrence Seah, RA, NCARB  
Workshop/apd llc  
39 West 38<sup>th</sup> Street  
7<sup>th</sup> Floor  
New York, NY 10018

Subject: Proposed 5500 Baum Boulevard Development  
Parking Demand Evaluation  
City of Pittsburgh, Allegheny County, Pennsylvania

Dear Mr. Seah:

As requested, Trans Associates (TA) has completed the parking demand evaluation for the proposed 5500 Baum Boulevard development located in the Friendship section of the City of Pittsburgh.

### Project Description

The project site is bounded by Baum Boulevard, South Graham Street and Dapper Way with a site access garage driveway to be located on Dapper Way

The proposed development includes a 100 unit residential apartment building with an additional 5,455 SF of first floor commercial retail space. Parking for the development will be provided in an underground two-level 100 space parking garage which is accessed via Dapper Way. Additionally, 11 surface parking spaces will be provided along Dapper Way, for a combined total of 111 parking spaces as shown in Figures 1-3.

### Zoning Code Requirements

According to Section 914.02.A of the City of Pittsburgh Zoning Code a minimum of one (1) off-street parking space per multi-unit building residential unit is required. This results in 100 spaces required for the proposed residential use. Additionally, the Zoning Code requires a minimum of one (1) off-street parking space per 500 SF of retail space above the first 2,400 SF. This results in four (4) parking spaces required for the proposed retail use. This calculation was based on 80% of the total gross floor area, as permitted by Section 914.03.C, of the City of Pittsburgh Zoning Code.

The total parking requirement for the proposed 5500 Baum Boulevard Development is 104 parking spaces. Of these 104 spaces, five (5) are required to be reserved for persons with disabilities (ADA spaces). Furthermore, one (1) of the reserved ADA spaces is required to be van accessible.

According to Section 914.05.D of the City of Pittsburgh Zoning Code, the proposed development is also required to provide a total of 33 bicycle parking spaces for the residential units (1 for every 3 units). The Code does not require bicycle parking for the proposed retail use since it is less than 6,000 SF.

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Mr. Terrence Seah, RA, NCARB  
March 3, 2015  
Page 2

With the provision of bicycle parking spaces, the number of off-street automobile parking spaces may be reduced by no more than one space for each bicycle parking space, but no more than 30 percent of the total required spaces, excluding accessible spaces. Therefore, a 29 space reduction for bicycle spaces is permitted for the proposed development. The resultant parking requirement by Code is therefore 75 parking spaces with the bicycle parking reduction applied, with 33 bicycle parking spaces also required as a minimum. Detailed parking requirement calculations are provided in Table 1.

### Proposed Parking Inventory

Parking for the development will be provided in an underground 100 space parking garage which is accessed via Dapper Way. Additionally, 11 surface parking spaces will be provided along Dapper Way, for a combined total of 111 parking spaces, which exceeds the Code required 75 parking spaces by 36 spaces. Parking within the garage will be gated, and reserved for residential use only. Of the 11 surface parking spaces, six (6) will be reserved at all times for a neighboring use based on a legal agreement. The remaining five (5) surface parking spaces will be available to the entire development. Of the 111, parking spaces, 39 (35% of total) are designated as compact parking spaces.

In addition, the development will be providing bicycle parking which will accommodate 44 bicycles. A detailed parking inventory summary is provided in Table 2. The parking plans for the development are presented in Figures 1 -3.

### Conclusions

With a parking inventory of 111 parking spaces, the proposed 5500 Baum Boulevard development adequately satisfy the parking requirements from the City of Pittsburgh Zoning Code (104 spaces).

This concludes Trans Associates (TA) parking study for the proposed 5500 Baum Boulevard development located in the Friendship section of the City of Pittsburgh. If you have any questions, or require additional information, please contact me.

Yours truly,

Cynthia A. Jampole, P.E.  
Principal

CAJ:CAD:cg

cc: File -works00/15044/Parking Demand Evaluation Letter Report 3-2-2015

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Offices in Pennsylvania and Ohio

# PARKING ANALYSIS TABLE 1

**TABLE 1**  
**PARKING REQUIREMENT BASED ON CITY OF PITTSBURGH ZONING CODE**  
**Proposed 5500 Baum Boulevard Development**  
**City of Pittsburgh, Allegheny County, Pennsylvania**

Development Component	Size	Automobile Parking Requirement: City of Pittsburgh Zoning Code <sup>(1)</sup>			Bicycle Parking Requirement: City of Pittsburgh Zoning Code <sup>(1)</sup>				Total Number of Automobile Parking Spaces Required with Bicycle Reductions
		Minimum Requirements without Bicycle Reductions			Required Minimum Bicycle Parking <sup>(2)</sup>		Maximum Reduction of Automobile Parking Spaces Due to Implementation of Bicycle Spaces <sup>(3)</sup>		
	rooms	Off-Street Automobile Parking Rate	Required Number of Automobile Spaces	Required Number of Reserved Spaces for Persons with Disabilities <sup>(4)</sup>	Bicycle Parking Rate	Required Number of Bicycle Spaces	Maximum Bicycle Parking Reduction Rate	Maximum Reduction	
Apartments	100 units	1 space per unit	100	4	1 space per every 3 dwelling units	33	30% of required number automobile spaces, not including spaces reserved for persons with disabilities	29	71
Retail	5,455 SF	1 space per 500 SF above first 2,400 SF	4	1	0	0	30% of required number automobile spaces, not including spaces reserved for persons with disabilities	0	4
<b>Total</b>	--	--	<b>104</b>	<b>5</b>	--	<b>33</b>	--	<b>29</b>	<b>75</b>

(1) Based on the City of Pittsburgh Urban Zoning Code, Chapter 914: Parking Loading and Access. Parking spaces determined based on results of the parking Demand Study.

(2) Bicycle parking requirements are detailed in Section 914.05D of the City of Pittsburgh Urban Zoning Code.

(3) Section 914.05E of the City of Pittsburgh Urban Zoning Code indicates that the reduction in the number of automobile parking spaces shall be reduced by no more than one (1) space for each Bicycle Parking Space (minimum reduction), but by no more than thirty (30) percent of the total required spaces (maximum reduction), not including spaces reserved for persons with disabilities.

(4) Parking spaces reserved for persons with disabilities shall be counted toward fulfilling overall off-street parking standards. The number of spaces reserved for persons with disabilities is detailed in Section 914.06.A of the City of Pittsburgh Urban Zoning Code. One in every 6 ADA spaces must be van accessible.

Source: Analysis by Trans Associates.

# PARKING ANALYSIS TABLE 2

**TABLE 2**  
**PROPOSED PARKING SUPPLY**  
**Proposed 5500 Baum Boulevard Development**  
**City of Pittsburgh, Allegheny County, Pennsylvania**

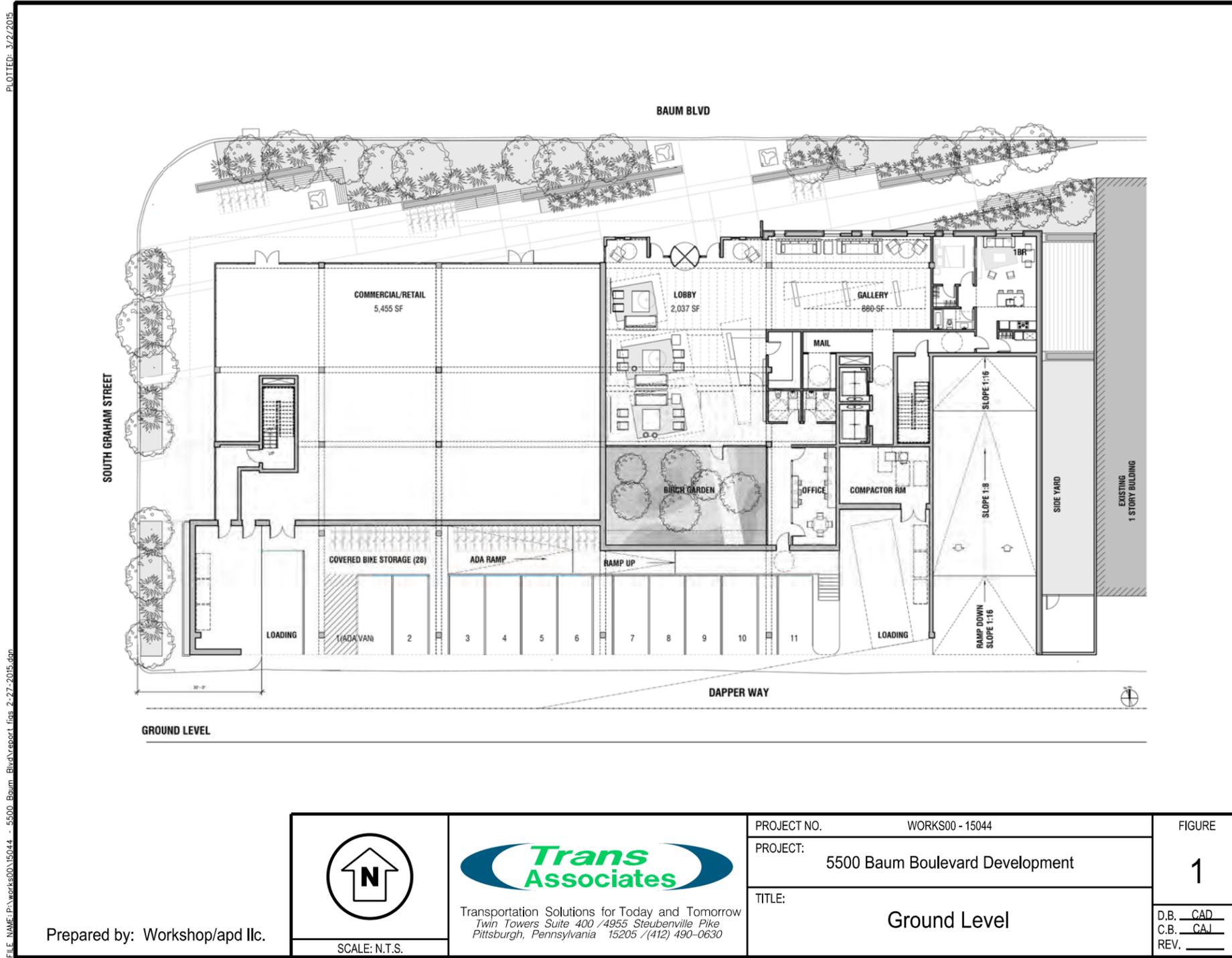
Parking Location	Number of Parking Spaces <sup>(1)</sup>
<b>Parking Garage</b>	
<b>Cellar Level</b>	
Standard Parking Spaces	28
Compact Parking Spaces	24
ADA Parking Spaces	2
<b>Subtotal, Cellar</b>	<b>54</b>
<b>Sub-Cellar Level</b>	
Standard Parking Spaces	29
Compact Parking Spaces	15
ADA Parking Spaces	2
<b>Subtotal, Sub-Cellar</b>	<b>46</b>
<b>Total, Parking Garage</b>	<b>100</b>
<b>Dapper Way Parking</b>	
Standard Parking Spaces	10
Compact Parking Spaces	0
ADA Parking Spaces <sup>(2)</sup>	1
<b>Subtotal, Dapper Way</b>	<b>11</b>
<b>Total, All Parking</b>	<b>111</b>
<b>Total, Bicycle Parking</b>	<b>44 bicycles</b>

(1) Number of parking spaces provided by Client.

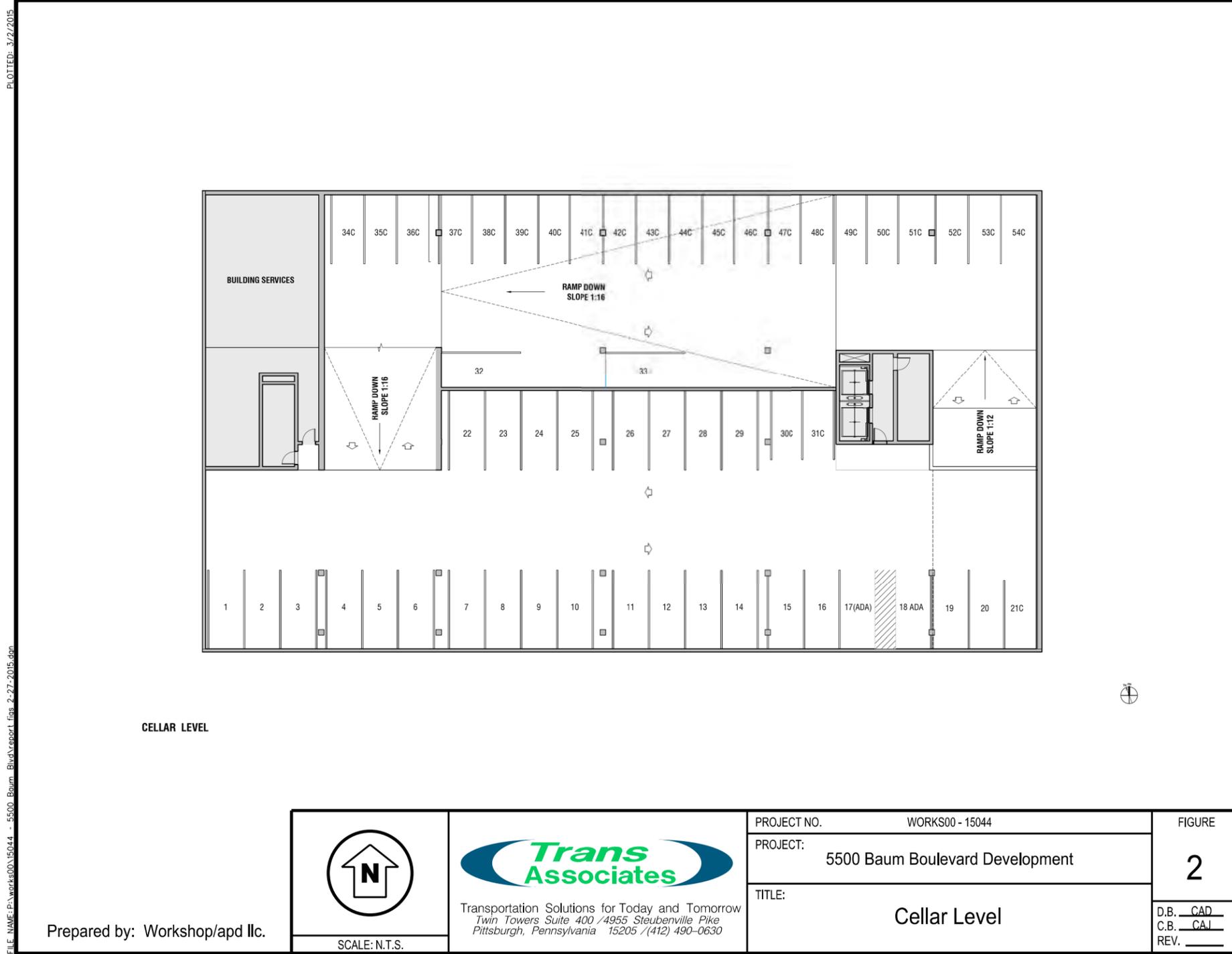
(2) Dapper Way parking includes 1 standard sized ADA parking space which can potentially be designated as ..

Source: Analysis by Trans Associates.

# PARKING ANALYSIS PLANS - GROUND LEVEL



# PARKING ANALYSIS PLANS - CELLAR LEVEL



# PARKING ANALYSIS PLANS - SUB-CELLAR LEVEL

