



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room
May 4, 2016

AGENDA

(Vacant), *Chairman*
Ernie Hogan, *Acting Chairman*
Raymond Gastil, *Director of Planning*
Erik Harless, *Assistant Chief PLI, Secretary*
Joe Serrao
Carol Peterson
Matthew Falcone

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business-None

New Business

- Approval of the minutes from the April 2016 hearings
- Certificates of Appropriateness Report – April 2016
- Applications for a Certificate of Economic Hardship – None

➤ **1:00 PM HEARING & ACTION**

1. Allegheny West Historic District

832 N. Lincoln Avenue
Cotton Acquisitions LLC, owner
Douglas Cotton, applicant

Window replacement

2. Allegheny West Historic District

852 Beech Avenue
Robin & Katherine Zoufalik, owner and
applicant

**Renovations to rear of building, carport,
and fencing**

3. Allegheny West Historic District

857 Western Avenue
John DeSantis, owner and applicant

Alterations to building and grounds

4. Deutschtown Historic District

501 Avery Street
N. Davis Enterprises LLC, owner
William G. West, Jr., applicant

**Building renovations including window
replacement and garage door**

5. Deutschtown Historic District

526 Pressley Street
George Rieke, owner and applicant

Building renovations

6. East Carson Street Historic District

729 E. Carson Street
729 E. Carson Street
JGWS, LLC, owner

Robert Eckenrode, applicant

Construction of a rear addition

7. **Langley High School—Individual Landmark**
2940 Sheraden Boulevard
Pittsburgh Public Schools, owner
Gary J. Cirrincione, applicant
Installation of fencing for playground

8. **Phipps Conservatory—Individual Landmark**
1 Schenley Drive
City of Pittsburgh, owner
Phipps Conservatory, applicant
Rehabilitation of serpentine roof glazing system

9. **Manchester Historic District**
1438 Columbus Avenue
Manchester Housing Development, LLC, owner
Lisa Freeman, applicant
Alterations to vacant lot including construction of a pavilion

10. **Manchester Historic District**
1115-1119 Fulton Street
BHI Capital, LLC, owner
Ryan Dedes, applicant
Building rehabilitation including installation of windows and doors

11. **Manchester Historic District**
1445 W. North Avenue
Peter Barner, owner
James R. Hoy, applicant
Alterations to after-the-fact window replacement

12. **Market Square Historic District**
223 Fourth Avenue
Bill Benter Orthos, owner
Robert S. Pfaffman, applicant
Revisions to roof deck and window replacement

13. **Mexican War Streets Historic District**
506 W. North Avenue
West North Development Group, owner
John D. Francona, applicant
Revisions to previously approved plans

14. **Mexican War Streets Historic District**
512 W. North Avenue
Dennis Vodzak, owner and applicant
Construction of new garage

➤ **DEMOLITIONS**

Walton House—Individual Landmark
4412-4416 Plummer Street
Chan Realty, owner
King Ng, applicant
Demolition and new construction

➤ **HISTORIC NOMINATIONS**

➤ **DIRECTOR’S REPORT**

➤ **ADJOURNMENT**

The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public. INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

Please contact Sarah Quinn with questions and comments: 412-255-2243
sarah.quinn@pittsburghpa.gov



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 4/11/16

LOT AND BLOCK NUMBER: 8-A-95

WARD: 2nd

FEE PAID: yes

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

DISTRICT:

ALLEGHENY WEST

ADDRESS OF PROPERTY:

832 N. LINCOLN AVE
PITTSBURGH, PA 15233

OWNER:

NAME: COTTON ACQUISITIONS LLC

ADDRESS: 102 WOODHAVEN CT
ALBUQUERQUE, PA 15001

PHONE: 724-462-1793

EMAIL: PGHMULTIUNITS@GMAIL.COM

APPLICANT:

NAME: DOUGLAS COTTON

ADDRESS: SAME

PHONE: _____

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

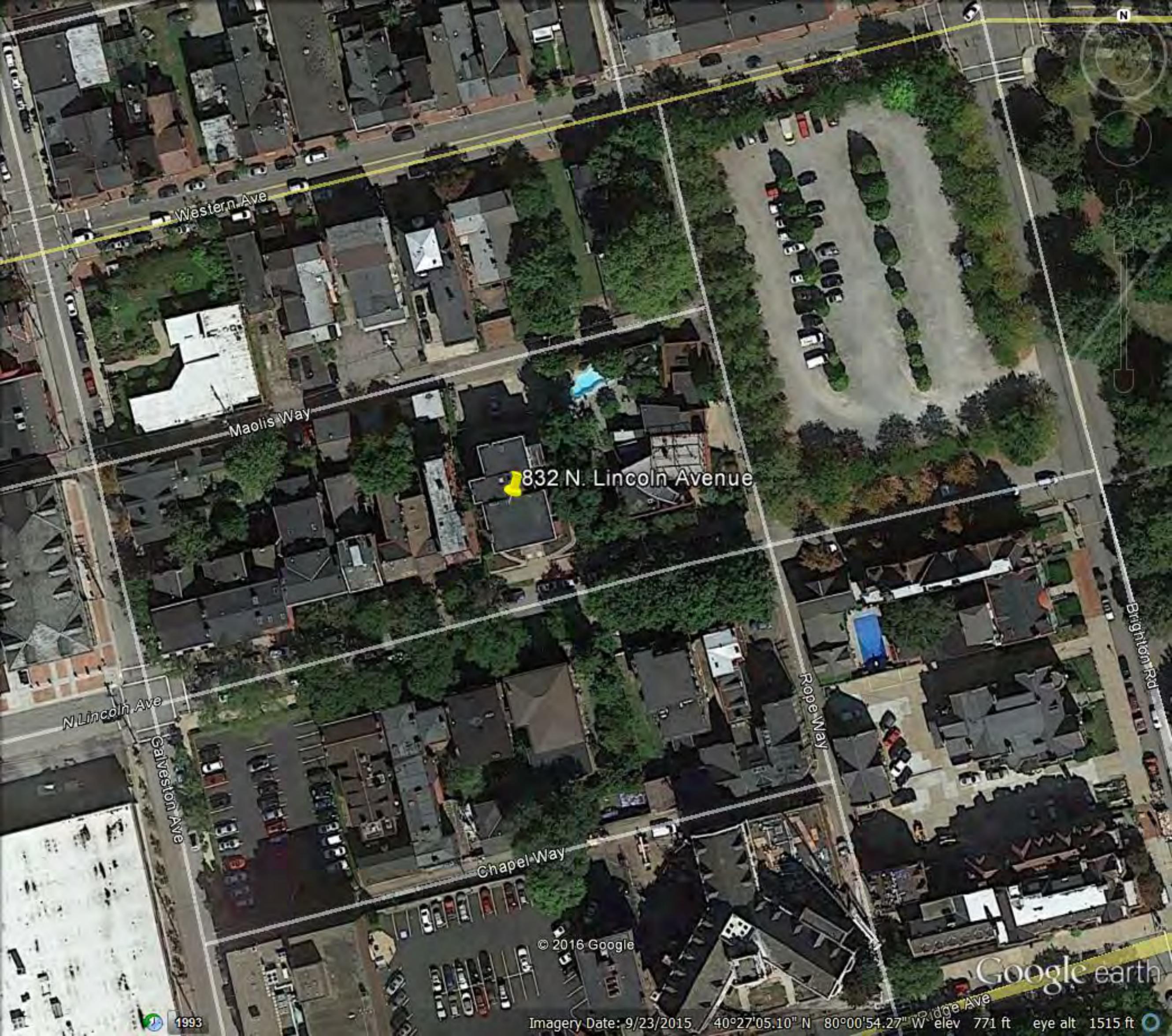
DETAILED DESCRIPTION OF PROPOSED PROJECT:

REPLACE 5 WHITE VINYL SLIDER & 4 WHITE VINYL DOUBLE HUNG WINDOWS
WITH 14 WHITE VINYL DOUBLE HUNG WINDOWS (6 SETS OF 2 WINDOWS MILLED
TOGETHER AT FACTORY PLUS 2 SINGLE DOUBLE HUNGS) - IN KIND REPLACEMENT

SIGNATURES:

OWNER: [Signature] DATE: 4-7-16

APPLICANT: [Signature] DATE: 4-7-16



Western Ave

Maolis Way

832 N. Lincoln Avenue

N Lincoln Ave

Galveston Ave

Chapel Way

Rope Way

Brighton Rd

© 2016 Google

Google earth

1993

Imagery Date: 9/23/2015 40°27'05.10" N 80°00'54.27" W elev 771 ft eye alt 1515 ft





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH

Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 4/15/16

LOT AND BLOCK NUMBER: 22-5-85

WARD: 2nd

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

852 BEECH AVE.

PITTSBURGH, PA 15233

DISTRICT:

ALLECHENY WEST

OWNER:

NAME: ROBIN & KATHERINE ZOUFALIK

ADDRESS: 852 BEECH AVE

PITTSBURGH, PA 15233

PHONE: 412-216-0207

EMAIL: ZOUFALIK73@GMAIL.COM

APPLICANT:

NAME: ROBIN & KATHERINE ZOUFALIK

ADDRESS: 852 BEECH AVE.

PITTSBURGH, PA 15233

PHONE: 412-216-0207

EMAIL: ZOUFALIK73@GMAIL.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

ATTACHED - PG 1-2 DESCRIPTION, 3-LOCATION, 4-SITE, 5-RENDERING
6- NOTES FOR RENDERING, 7-COLORS, 8-FRONT VIEW DWG, 9-SIDE VIEW DWG
10-GARDEN DOOR, 11-MATERIALS

SIGNATURES:

OWNER: [Signature] DATE: 4/15/2016

APPLICANT: [Signature] DATE: 4/15/2016



W North Ave

Galveston Ave

Buttercup Way

852 Beech Avenue

Beech Ave

Dounton Way

© 2016 Google

Google earth

1993

Imagery Date: 9/23/2015 40°27'10.80" N 80°00'58.98" W elev 762 ft eye alt 1304 ft

Proposed Renovation for Rear of 852 Beech Ave on Buttercup Way

There are three (3) major elements involved in the renovation work for the rear of 852 Beech Ave. The following scope of work is detailed within the submission.

1. Existing mudroom demolition and rebuild with a slight modification to footprint and redesign of roof to maintain distinctive historic view from Buttercup Way.
2. Existing carport roof demolition and rebuild to compliment mudroom utilizing existing structural wood posts and incorporating a new garage style door integral to fenced wall.
3. Existing fence and lattice wall to be replaced incorporating the new carport and garage door.

The proposed project is required due to deterioration of various components of the structure and to eliminate rain water runoff problems caused by neighbor's garage structure adjacent to the property.

Existing view rear view of 852 Beech Ave from Buttercup Way.



Existing mudroom.

Existing carport.



Existing sliding gate and fence with carport inside the fence.

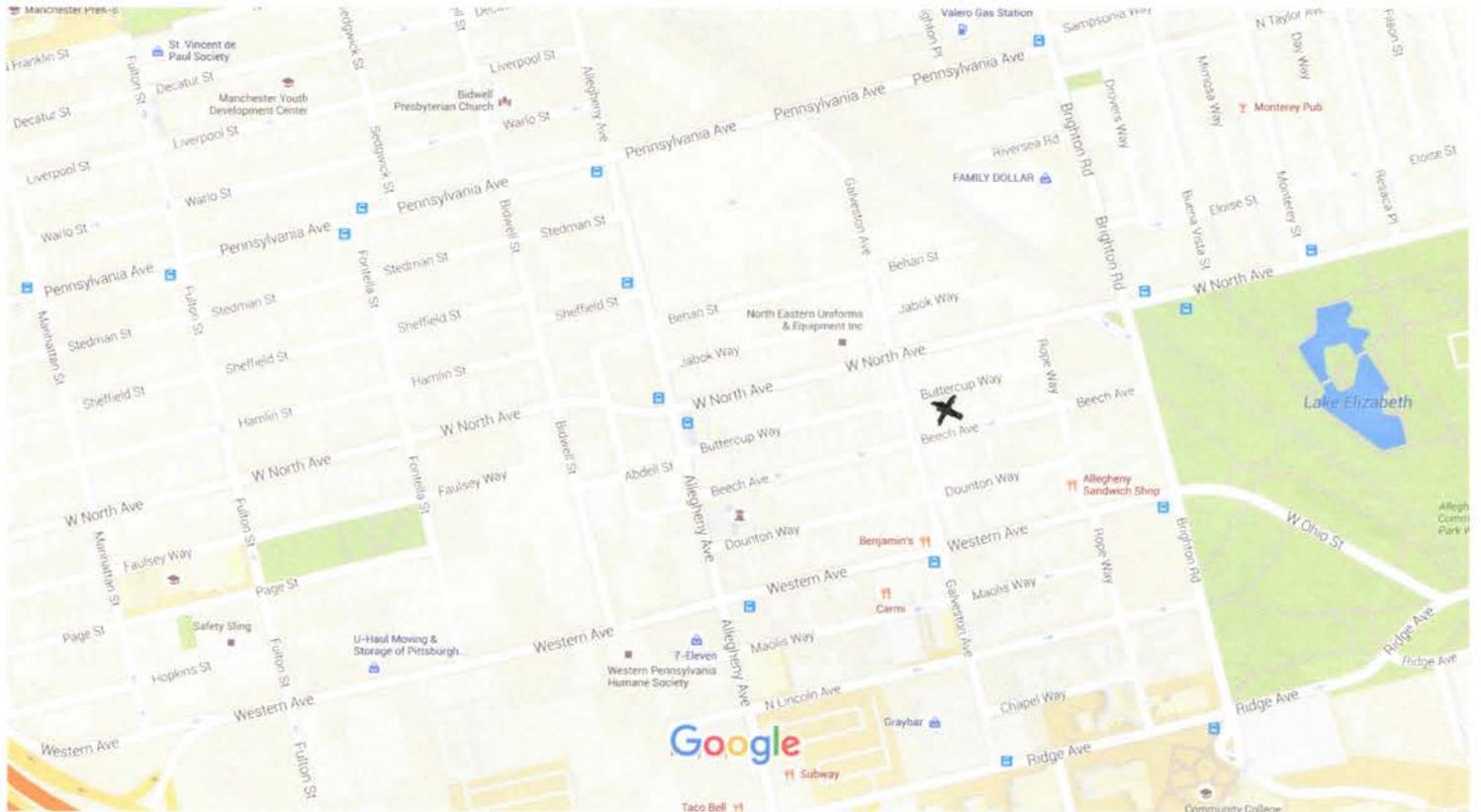


Neighbor's garage.

Based on available information and observation, the current construction of the mudroom and carport was completed in the late 90's.



852 Beech Ave from Buttercup Way

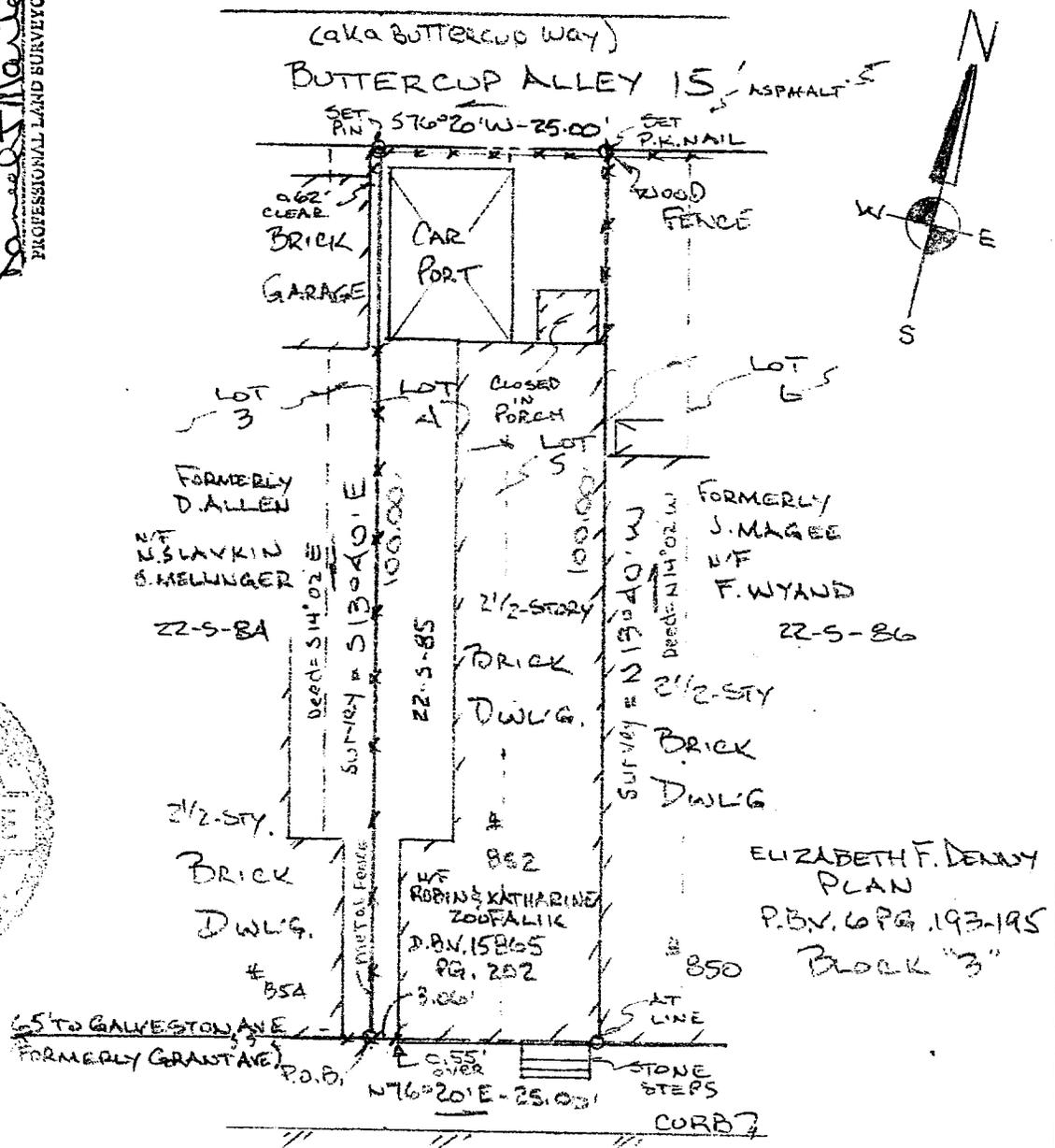


Map data ©2016 Google 200 ft

Google Maps

I HEREBY CERTIFY TO AND BELIEVE IN THE TRUTH AND ACCURACY OF THE INFORMATION CONTAINED IN THIS PLAN OF SURVEY. THIS PLAN OF SURVEY WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF PENNSYLVANIA. I HAVE CONDUCTED A SURVEY MADE TO THE BEST OF MY KNOWLEDGE AND BELIEF AND I HAVE SHOWN THE LOCATION OF ALL ADJACENT PROPERTIES AND THE LOCATION OF ALL ADJACENT OWNERS AS APPEARED TO ME AT THE TIME OF THE SURVEY. THIS PLAN OF SURVEY IS BASED UPON THE INFORMATION PROVIDED TO ME BY THE PERSONS WHOSE INTERESTS ARE REFERENCED IN A SURVEY MADE TO THE BEST OF MY KNOWLEDGE AND BELIEF OR REFERENCED IN A SURVEY MADE TO THE BEST OF MY KNOWLEDGE AND BELIEF UNLESS A SURVEY IS REFERENCED IN A SURVEY MADE TO THE BEST OF MY KNOWLEDGE AND BELIEF STATING THAT IT WAS PREPARED FOR RECORD BY ME OR BY ANOTHER LICENSED PROFESSIONAL LAND SURVEYOR.

Martone
PROFESSIONAL LAND SURVEYOR

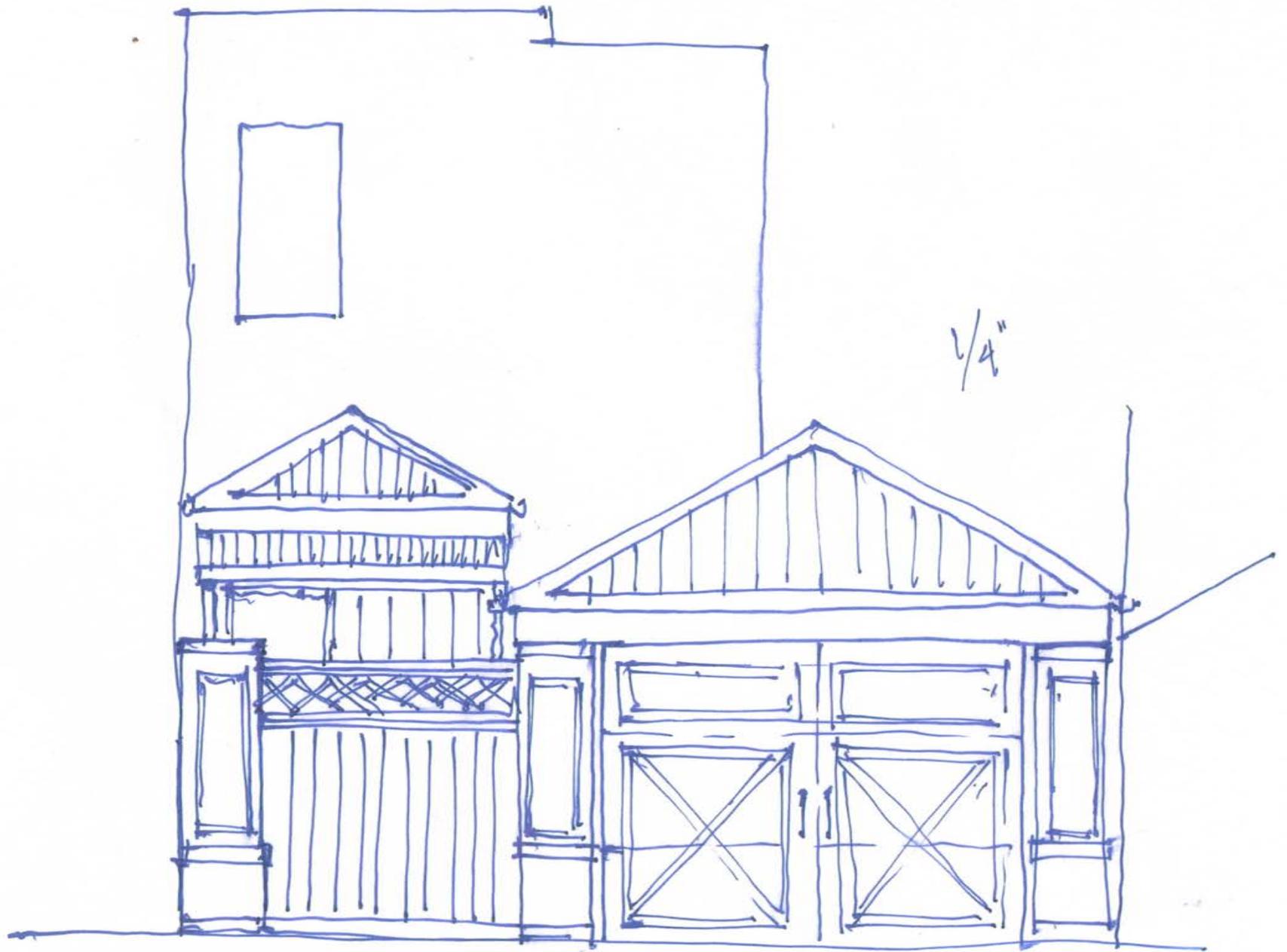


Notes:

1. This Plan of Survey was prepared without the benefit of a title report.
2. Prior to any construction and/or earthmoving activity, contact the Pa. One Call System at 1-800-242-1776 (or 811) for field markings and maps of all underground utilities of record.

BEECH AVENUE 50'
(B.T. Pav.)
(AKA BEECH STREET)

<p>PLAN OF SURVEY © 2015</p>		<p>MARTONE ENGINEERING and SURVEYING, LLC 206 FIRST STREET PITTSBURGH, PA 15215 412-781-5908</p>				
<p>SITUATE IN: 22ND WARD - CITY OF PITTSBURGH ALLEGHENY COUNTY, PA.</p>		DWN. BY:	CKD. BY:	DATE:	SCALE:	SHEET 1 OF 1
<p>PREPARED FOR: ROBIN & KATHERINE ZOUFALIK</p>		T.F.	D.M.	10/14/15	1"=20'	
		<p>JOB NO. G-93</p>		<p>DWG. NO. G-903</p>		

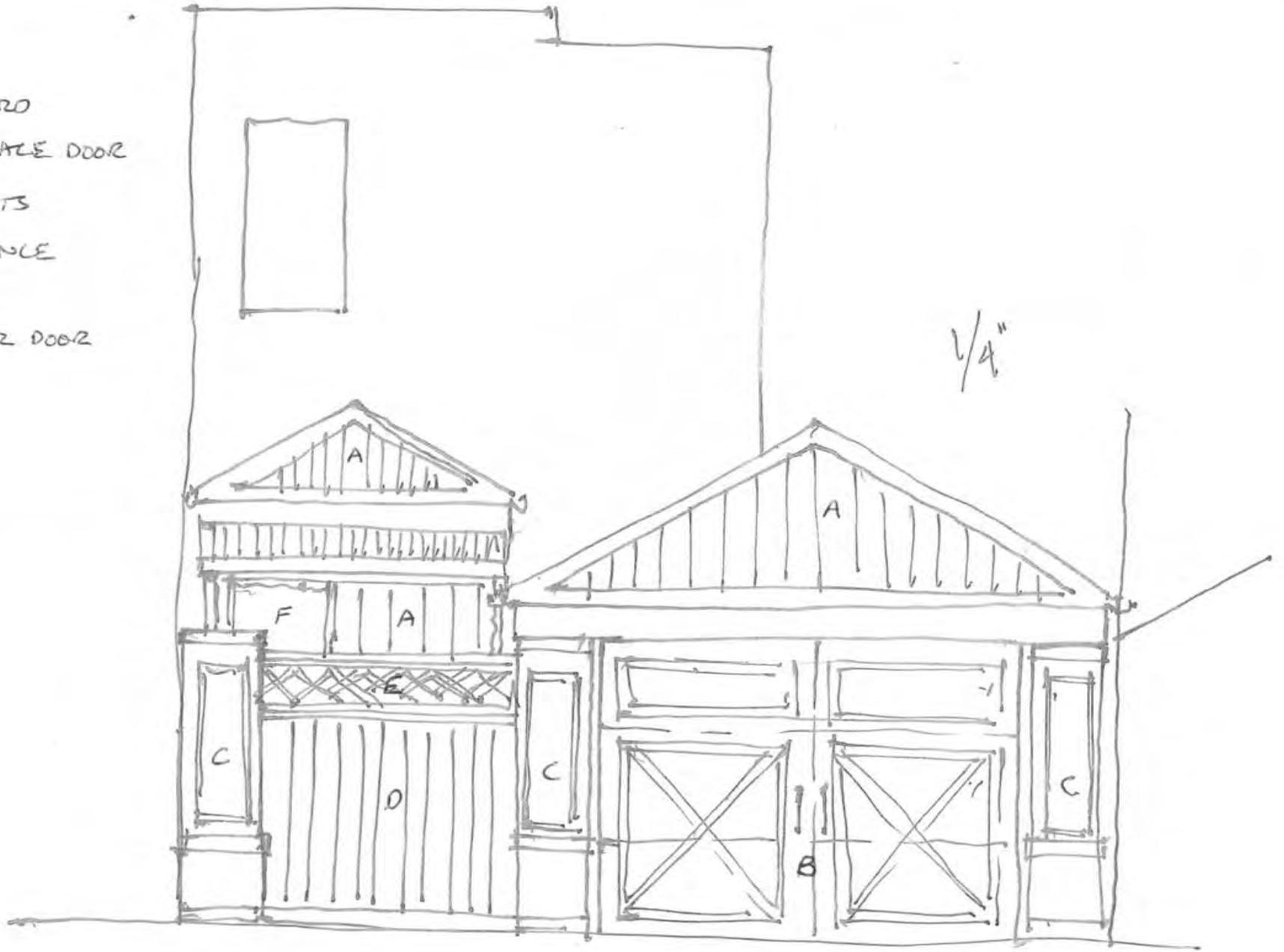


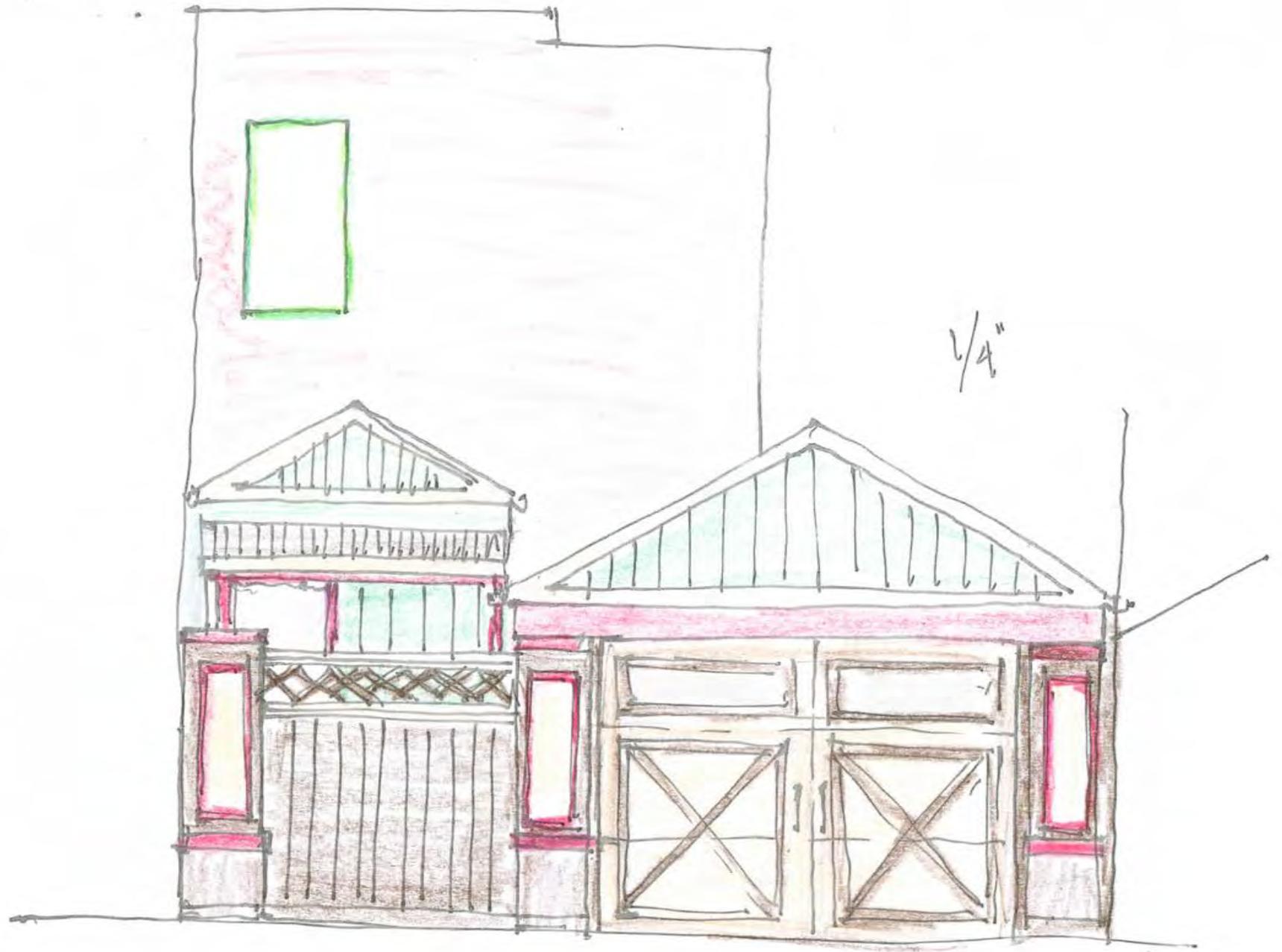
1/4"

RENDERING OF VIEW
FROM BUTTERCUPWAY

NOTES:

- A - BEAD BOARD
- B - WOOD LATTICE DOOR
- C - WOOD POSTS
- D - WOOD FENCE
- E - LATTICE
- F - EXTERIOR DOOR



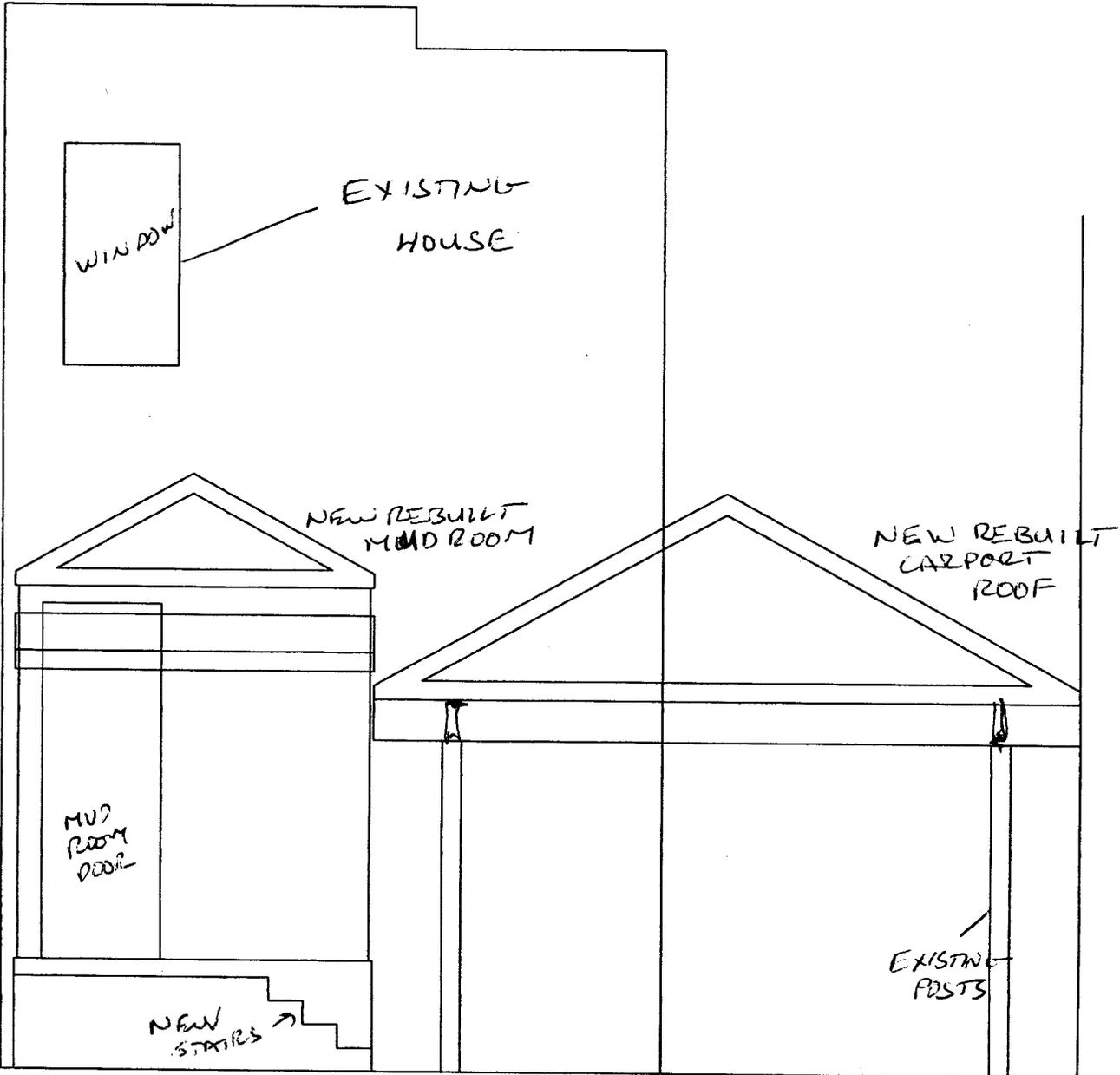


RENDERING OF VIEW
FROM BUTTER CUP WAY

NOTE: COLORS WILL MATCH EXISTING HOUSE COLORS IN PICTURES - GARAGE TO BE BROWN

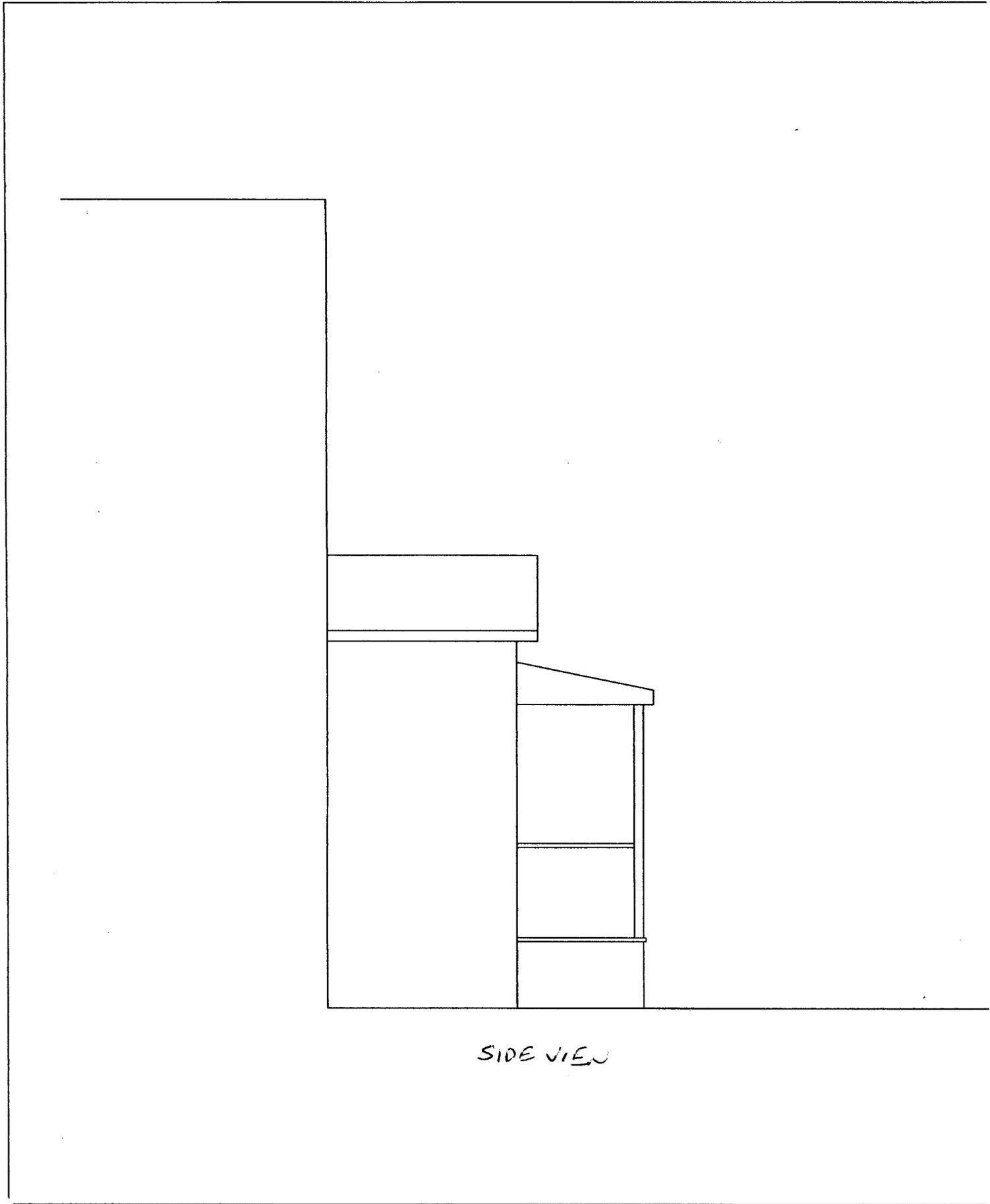
①

FFENCE



FRONT VIEW SECTION

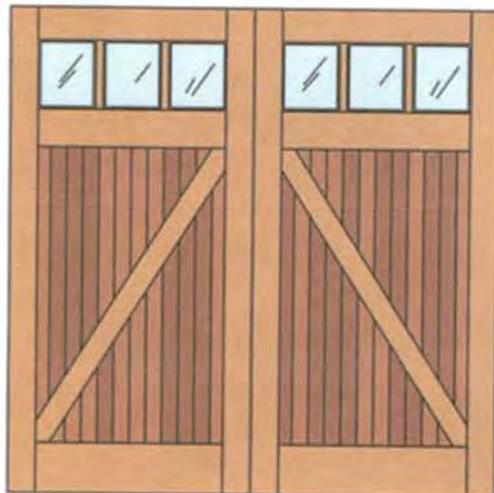
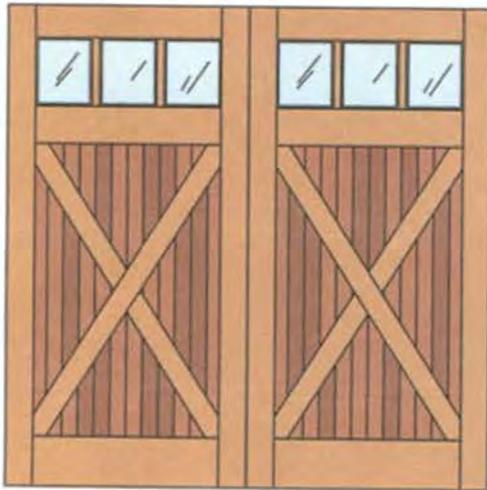
1/4"



SIDE VIEW

Garage Door – 12 ft wide x 8 ft high

Samples of garage doors made of wood and either be overhead door or slide open.





Preliminary Materials Overview;

(1) TRUSS PACKAGE
13' B2B 1' OVERHANG EACH SD
24' OC 11 COMMONS 5/12 PTH
(1) TRUSS PACKAGE 2
GAMBREL TRUSSES
16" OC 3'HIGH 8'TRUSS

ROOFING

(26) 7/16x4x8 OSB
(3) 15# FELT 4SQ
(5) 25 YR FRS ARK BROWN
(1) 20' ROLL VENT (O.C)
(1) 1-1/4x121 COILROOF 7.2 M
(80) PSCL 7/16

WALLS/FRAMING

(20) 3/8X4X8 OSBSMRT PNL8' OC
(25) 2X4X8 KD H-FIR STD&BTR
(4) 2X4X8 #2 PRIME TRT SYP
(1) SILL SEALER 3-1/2X50'
(6) 1X4X8 #2 COMMON BOARD
(1) GRP12ZH1 3-1/4X131CTD SM 1
(1) R13 KRF15-1/4X93 FB M88

WINDOWS

(3) TBDX24H FIXED WINDOW

MISC

(1) 1/4X3-1/4 HEXTPCN (BX100)
(1) QUAD VOC CLEAR SEAL 10.2 OZ

STOCKADE FENCE

(38) 1X6X6 DE PT FENCE BOARD
(4) 2X4X8 #2 PRIME TRT SYR
WOOD LATTICE



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FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

857 WESTERN Avenue
Pittsburgh, PA 15233

OWNER:

NAME: John DESANTIS
 ADDRESS: 719 BRIGHTON RD.
Pittsburgh, PA 15233
 PHONE: 412-298-2679
 EMAIL: PGH.HOME@VERIZON.NET

STAFF USE ONLY:

DATE RECEIVED: 4/12/16
 LOT AND BLOCK NUMBER: 7-0-163
 WARD: 2ard
 FEE PAID: yes
 DISTRICT: Allegheny WEST

APPLICANT:

NAME: SAME
 ADDRESS: _____
 PHONE: _____
 EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

- > ERECT 6'x6' ROOF AT ENTRY DOOR, 9" tall, COPPER WRAPPED
- > Place 12"x16" BRONZE ADDRESS PLAQUE ON ENTRY GATE SURROUND.
- > ERECT 19'5TH THOMAS POST CLOCK IN PLANTER AT NORTHWEST CORNER OF GARDEN WALL. HEADERS TO READ "ALLEGHENY WEST".
- > INSTALL 18" tall METAL TREE PIT GUARDS IN FOUR TREE PITS - WESTERN AVENUE

SIGNATURES:

OWNER: [Signature] DATE: 4-11-16

APPLICANT: _____ DATE: _____



CITY OF
PITTSBURGH

~~Spencer, Sharon - charon.spooner@pittsburghpa.gov~~

Application for 857 Western Avenue, Allegheny West

~~Pittsburgh Home & Garden Show <pgh.home@verizon.net>~~

~~Fri, Apr 15, 2016 at 7:47 AM~~

~~To: charon.spooner@pittsburghpa.gov, pgh.home@verizon.net~~

~~Hi Sharon,~~

For the Application at 857 Western Avenue in Allegheny West on the May HRC agenda, I'd like to add an item.

The new item will be:

Repair and re-glaze existing metal casement garage windows along Maolis Way alley at rear of building; paint existing frames and muntins dark green.

~~I'll email photos to you on Monday.~~

~~If any questions, please feel free to call me on my cell: 412-296-2676~~

~~Thanks very much,~~

~~John DeGaris~~



Dounton Way

Western Ave

Rope Way

857 Western Avenue

Maolis Way

Galveston Ave

N Lincoln Ave

© 2016 Google

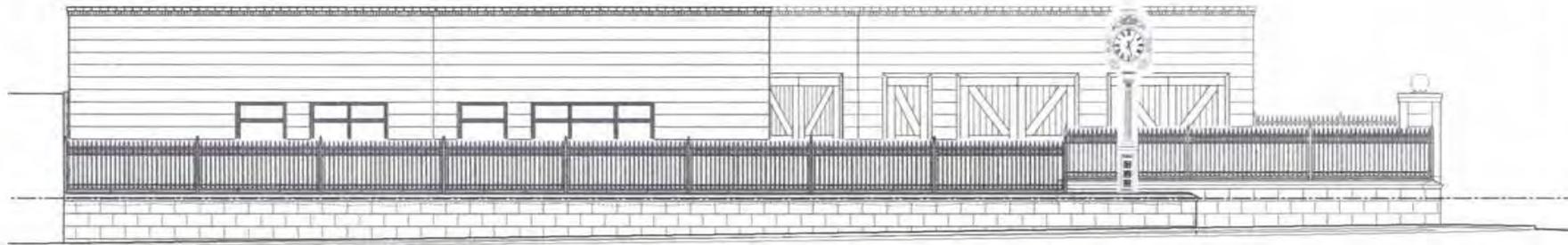
Google earth

1993

Imagery Date: 9/23/2015 40°27'06.11" N 80°00'57.48" W elev 767 ft eye alt 1401 ft



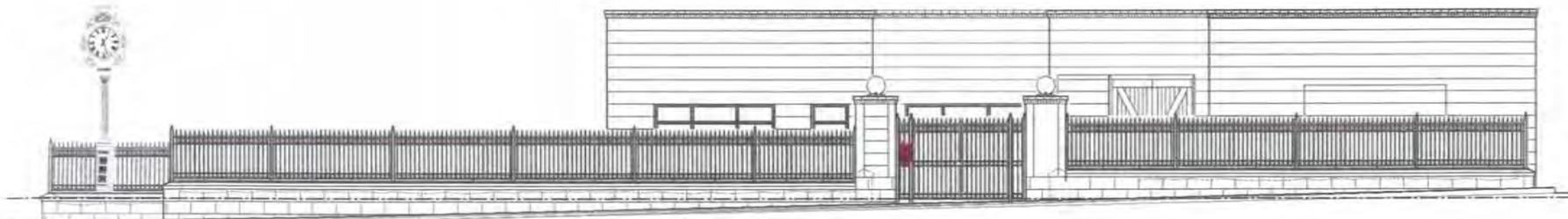
1
A401
EXTERIOR ELEVATION
NORTH / WESTERN AVE. VIEW
Scale: -1/4" = 1'-0"



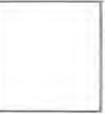
2
A401
EXTERIOR ELEVATION - STREET VIEW
NORTH / WESTERN AVE. VIEW
Scale: -1/4" = 1'-0"



3
A401
EXTERIOR ELEVATION
WEST / GALVESTON AVE. VIEW
Scale: -1/4" = 1'-0"



4
A401
EXTERIOR ELEVATION - STREET VIEW
WEST / GALVESTON AVE. VIEW
Scale: -1/4" = 1'-0"



PROJECT NO. 0000189
DATE: 11/17/2007

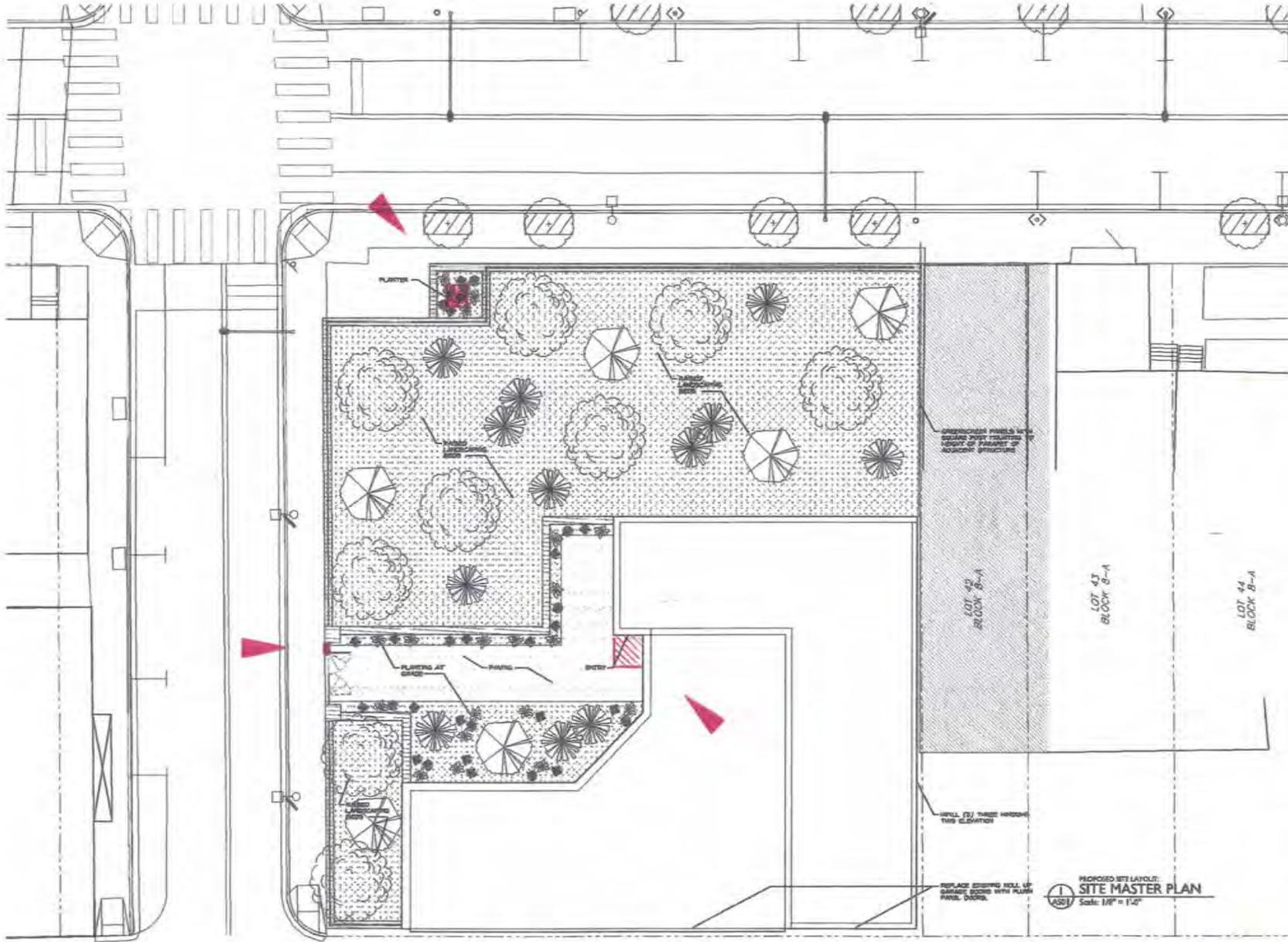
1. THIS DRAWING IS PROVIDED FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION OR AS A BASIS FOR ANY CONTRACT. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE APPROPRIATE AGENCIES.

Building & Site Renovation:
Home & Garden Offices
857 Western Avenue
Pittsburgh, PA 15233

OSCAR LU MORENO ARCHITECTS, P.C.
ARCHITECTS AND INTERIORS
1101 14th St., Pittsburgh, PA 15222
412.681.1100
oscarlu@oscarlu.com



A401



PROPOSED PAVEMENT WITH CURB AND GUTTER TO MATCH ADJACENT STRUCTURE

LOT 43
BLOCK B-A

LOT 43
BLOCK B-A

LOT 44
BLOCK B-A

REPLACE EXISTING ROLL UP GARAGE DOORS WITH PLANS PER DRAWING

PROPOSED SITE LAYOUT:
SITE MASTER PLAN
Scale: 1/8" = 1'-0"



PROJECT NO.	890218
DATE	05/11/2009
BY	
CHECKED BY	
APPROVED BY	

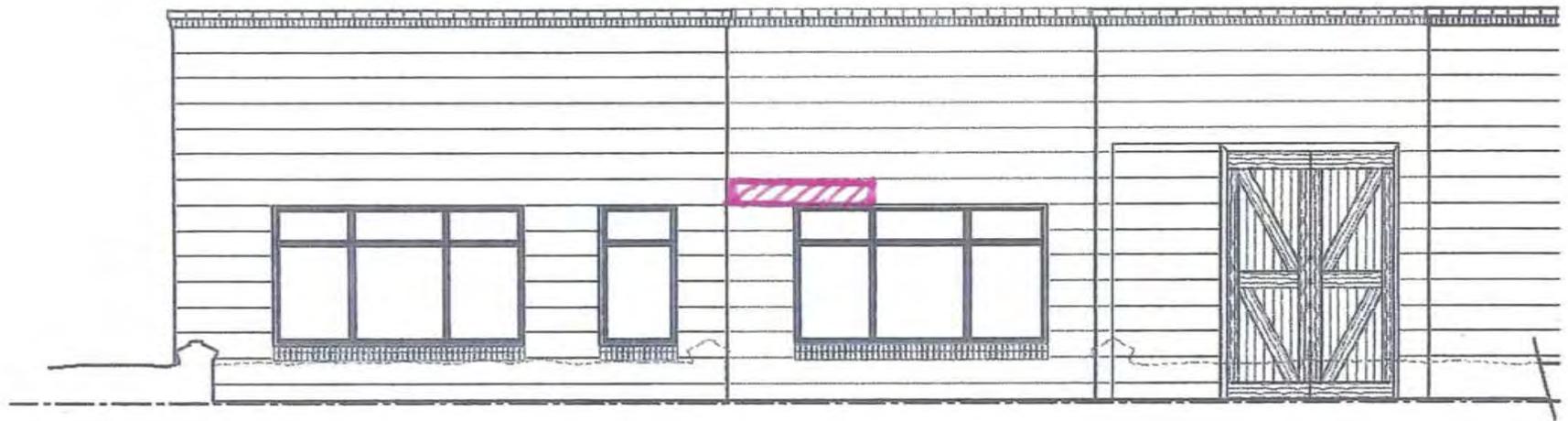
I, JAMES H. HENNING, a Professional Engineer in the State of Pennsylvania, hereby certify that I am the author of this drawing and that I am duly licensed to practice in the State of Pennsylvania.

Proposed Site Layout:
North Side Garage
 Westbury Avenue
 Pittsburgh, PA 15233

BERKHAUER HOPKINS ARCHITECTS, PC
 ARCHITECTS AND PLANNERS
 1000 PENNSYLVANIA AVENUE, SUITE 1000
 PITTSBURGH, PA 15222



AS01



3
A401

EXTERIOR ELEVATION
WEST / GALVESTON AVE. VIEW
Scale: $\frac{1}{4}'' = 1'-0''$

- > 6 FOOT by 6 FOOT ENTRY ROOF
- > ENTRY ROOF IS 9" TALL, FACED IN SHEET COPPER TO MATCH CAP AT TOP OF WALL PARAPET.
- > SLOPE OF ROOF IS HIDDEN BEHIND COPPER FACIA.

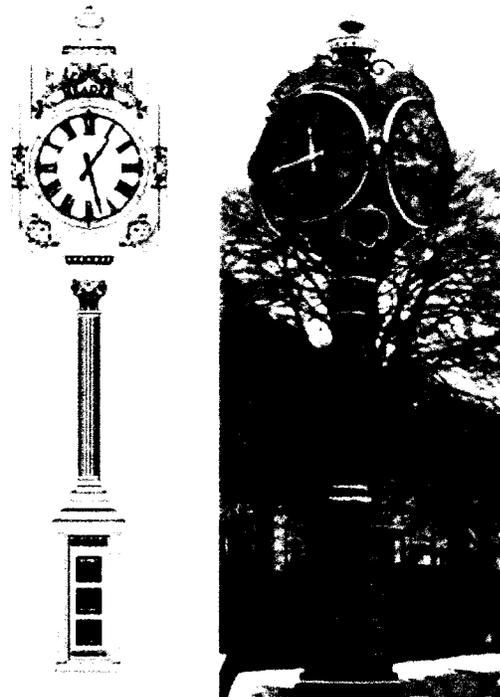
**Product & Services:****Street Clocks**

[Street Clocks](#) | [Tower Clocks](#) | [Bracket Clocks](#) | [Clock Movements](#) | [Controls & Chimes](#) | [Indoor Clocks](#)
[Industrial Products](#) | [Dial and Hand Designs](#) | [Miniatures](#) | [Services](#)

Street Clocks[Overview](#)[4 Dial Howard Large Street Clock](#)[4 Dial Howard Small](#)**4 Dial Seth Thomas**[2 Dial Howard Large](#)[4 Dial Washington Street Clock Large](#)[4 Dial Washington Street Clock Small](#)[2 Dial Howard Large - Illum Header](#)[2 Dial Howard Large Street Clock Pocket Watch Design](#)[2 Dial Howard Small](#)[2 Dial Howard Small - Illuminated Header](#)[2 Dial French Quarter](#)[2 Dial Kensington](#)[2 Dial Courtyard](#)[2 Dial Provident](#)[4 Dial Lucerne Street Clock](#)[4 Dial Small Lucerne Street Clock](#)[4 Dial O.B. McClintock](#)[2 Dial O.B. McClintock](#)[Two Dial Modern Street Clock](#)[Street Clock Bollards](#)[< Previous Product](#) [Next Product >](#)**4 Dial Seth Thomas**

SETH THOMAS (4 DIAL) 19' (579CM)

4 dial LED lighted [street clock](#). Nominal 36" sight opening. Cast aluminum post, saddle and head. Aluminum bezels. Automatically controlled from the base with 99B-MI automatic tower clock control with GPS satellite synchronization. Translucent acrylic dials with LED illumination controlled by a photoelectric cell. Black dial markings and hands. Black finish with gold highlighting. UL & CUL Listed. Options - headers with lettering - different dial lettering and hands - laminated glass dials - black on white dial.

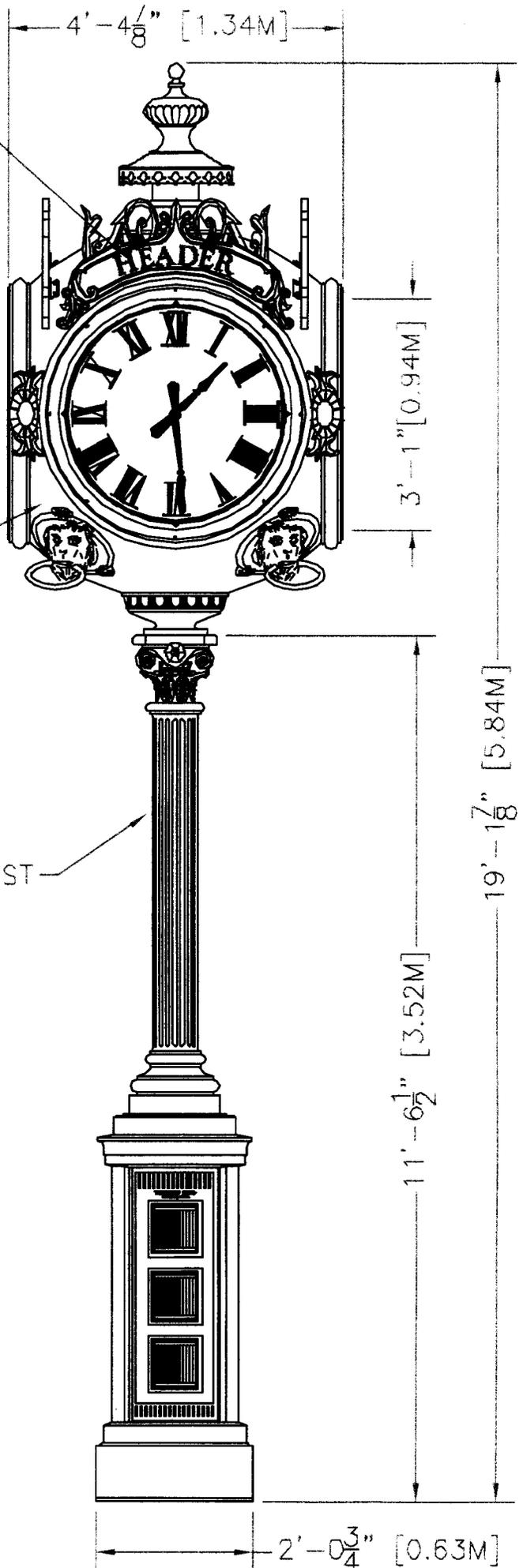
Installation[See an installation of this product](#)**Documentation**[Elevation \(AutoCad Release 12\)](#)[Elevation A-5592 \(PDF File\)](#)[Foundation \(AutoCad Release 12\)](#)[Foundation A-5597 \(PDF File\)](#)[Specification \(Word Document\)](#)

FACE: "F1"
HANDS: "FS-36"

3" LETTERING

SETH-HED

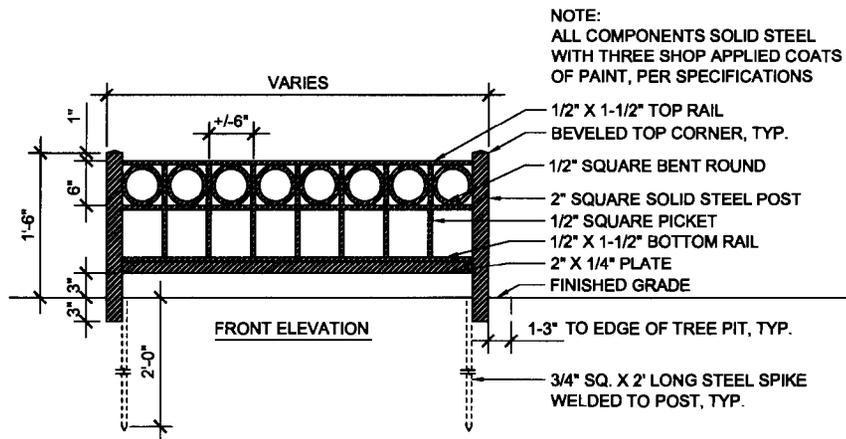
SETH-PST



VIEW LASER	PATH M:\ACAD10\A-5592.DWG			
DRAWING A-5592	TITLE Seth Thomas Post Clock (Replica)			
	● SCALE 2" = 1'	DATE 10-27-95	DRAWN WOR	APP'V TDE
				

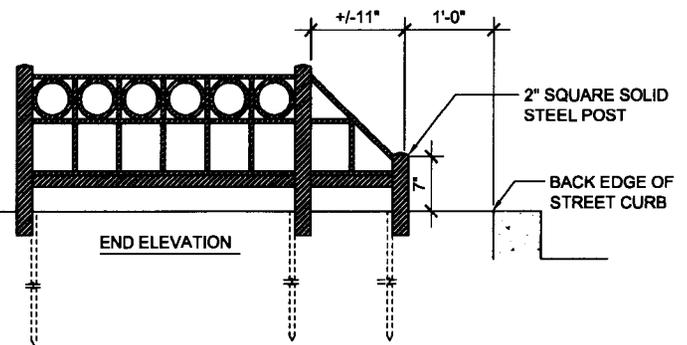
REVISIONS
Rev A 3-20-98 WOR
Rev B 4-26-00 WOR

2'-0³/₄" [0.63M]



TREE PIT GUARD TYPE 'B'

NOT TO SCALE



TYPE 'B' THREE-SIDED DESIGN

NOT TO SCALE









PENNSYLVANIA
XZ-0217

TSX

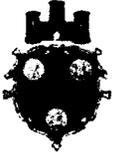
LINK BICYCLES
4 FEET

HBN-9562





PLEASE
RECYCLE



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 2/18/16

LOT AND BLOCK NUMBER: 8-0-172

WARD: 23rd.

FEE PAID: yes

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

501 Avery Street
Pittsburgh, PA 15212

DISTRICT:

City of Pittsburgh - Deutschtown

OWNER:

NAME: N. Davis Enterprises LLC
 ADDRESS: 400 Island Avenue
McKees Rocks, PA 15136
 PHONE: 412-787-0720
 EMAIL: morgan@mpcci.net

APPLICANT:

NAME: William G. West Jr
 ADDRESS: 406 10th Street
Dakmont PA 15139
 PHONE: 412-999-3035
 EMAIL: wgwest@castledev.com

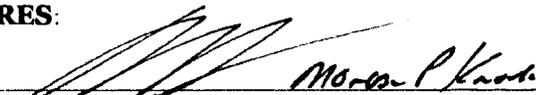
REQUIRED ATTACHMENTS:

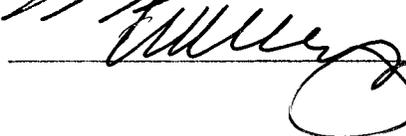
- Drawings Photographs Renderings Site Plan Other

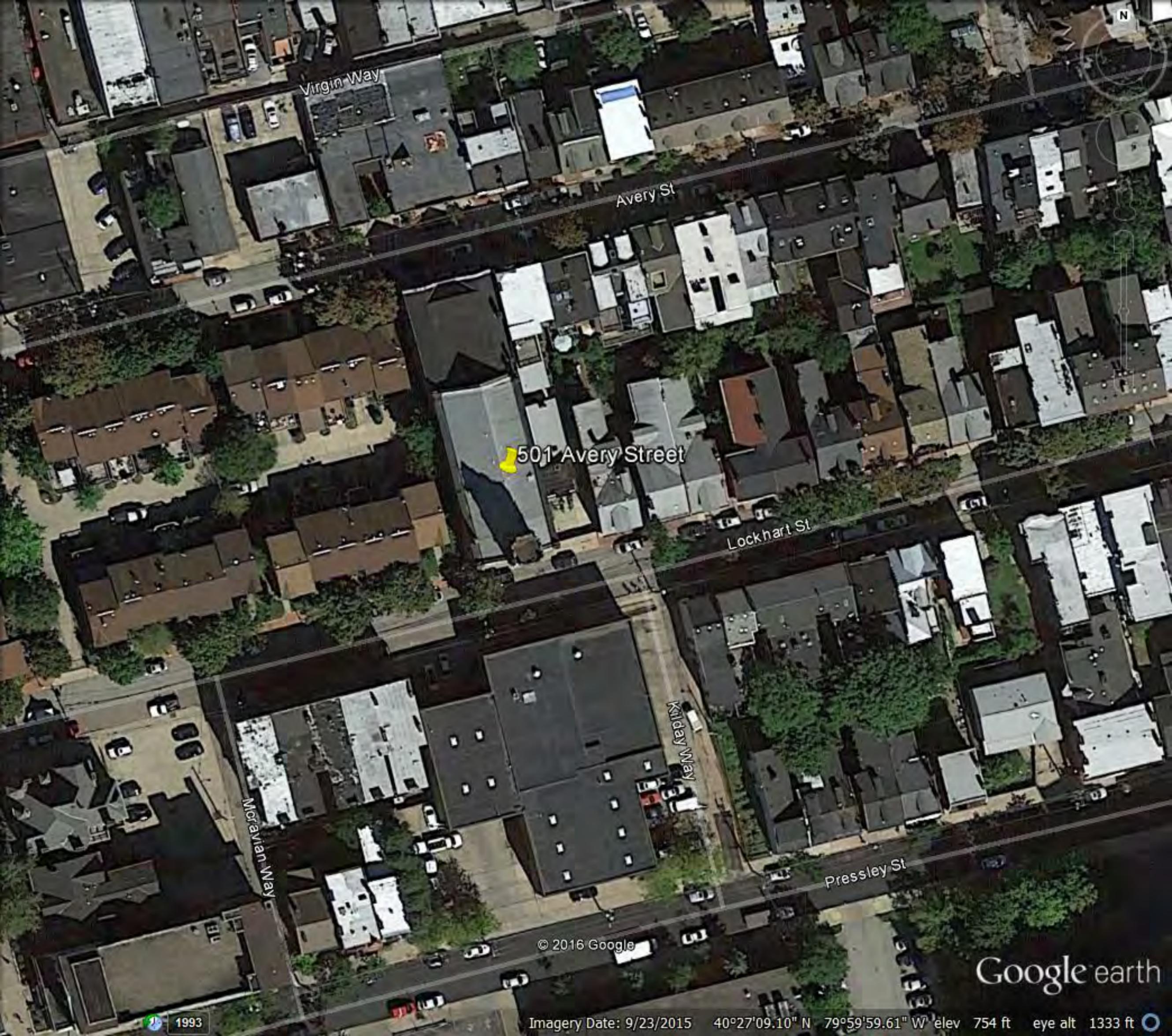
DETAILED DESCRIPTION OF PROPOSED PROJECT:

See Attached Description

SIGNATURES:

OWNER:  DATE: 3/16/2016

APPLICANT:  DATE: 3/18/2016



Virgin Way

Avery St

501 Avery Street

Lockhart St

Moravian Way

Kilday Way

Pressley St

© 2016 Google

Google earth

1993

Imagery Date: 9/23/2015 40°27'09.10" N 79°59'59.61" W elev 754 ft eye alt 1333 ft

Applicant to submit new materials prior to meeting

HISTORIC REVIEW COMMISSION OF PITTSBURGH
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
DETAILED DESCRIPTION OF PROPOSED PROJECT

The Applicant intends to pursue Adaptive Reuse of a former church, (St. Peter's Evangelical and Reformed Church) located at 501 Avery Street into 12 rental apartments in accordance with the Design Guidelines of the Deutschtown Historic District with the exception of two issues. Therefore, the applicant requests the Commission's approval of the following:

1. The conversion of the lower level into an internal parking garage to be accessed via a door to be constructed in the southwest corner of the Lockhart Street façade of the structure. This will allow the Applicant to meet the parking requirements of the Zoning Ordinance, and not compound an existing serious parking problem in the neighborhood.
2. There are 14 stained glass windows, 7 on each side of the church building. Of those, 10 have operative tilt in panels in the lower 10% or so of the window structure to allow air flow into the building. All of these panels will need to be repaired to operate properly and provide a proper thermal barrier and a safe and secure façade. At that time the Applicant wishes to replace that small amount of stained glass with vision glass panels and use the existing glass panels as necessary to repair and refurbish the remaining windows in the structure.



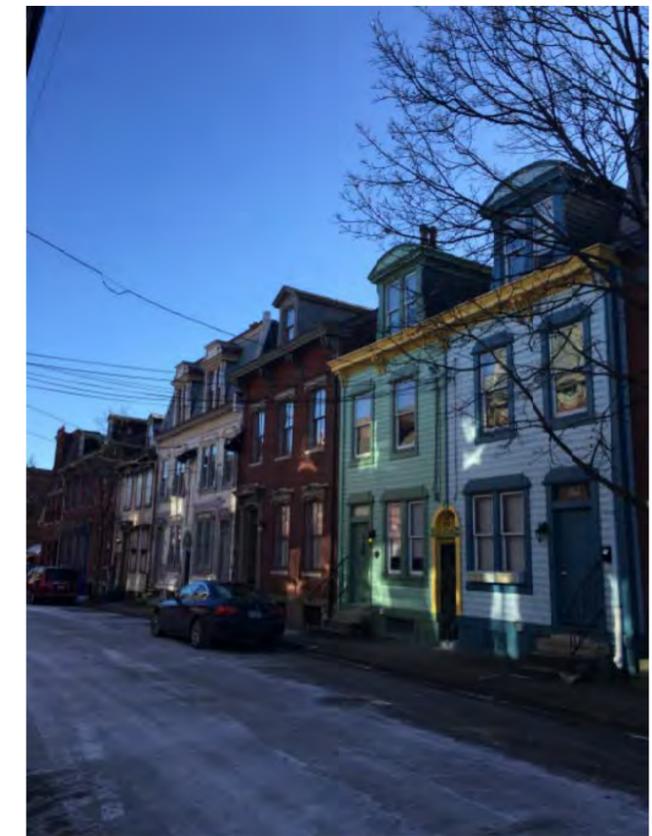
View looking East on Avery Street



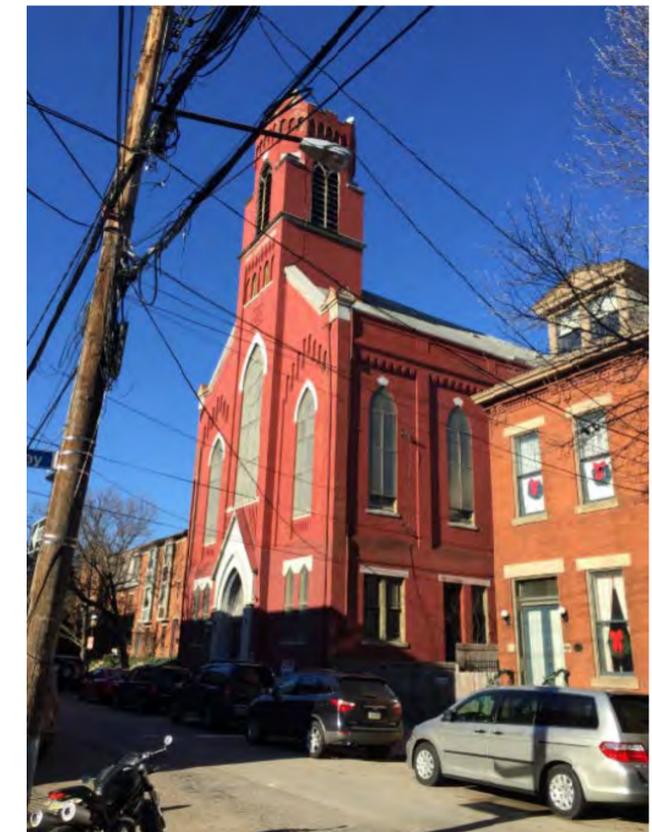
Existing Church Facade - Avery Street



View looking East on Lockhart Street



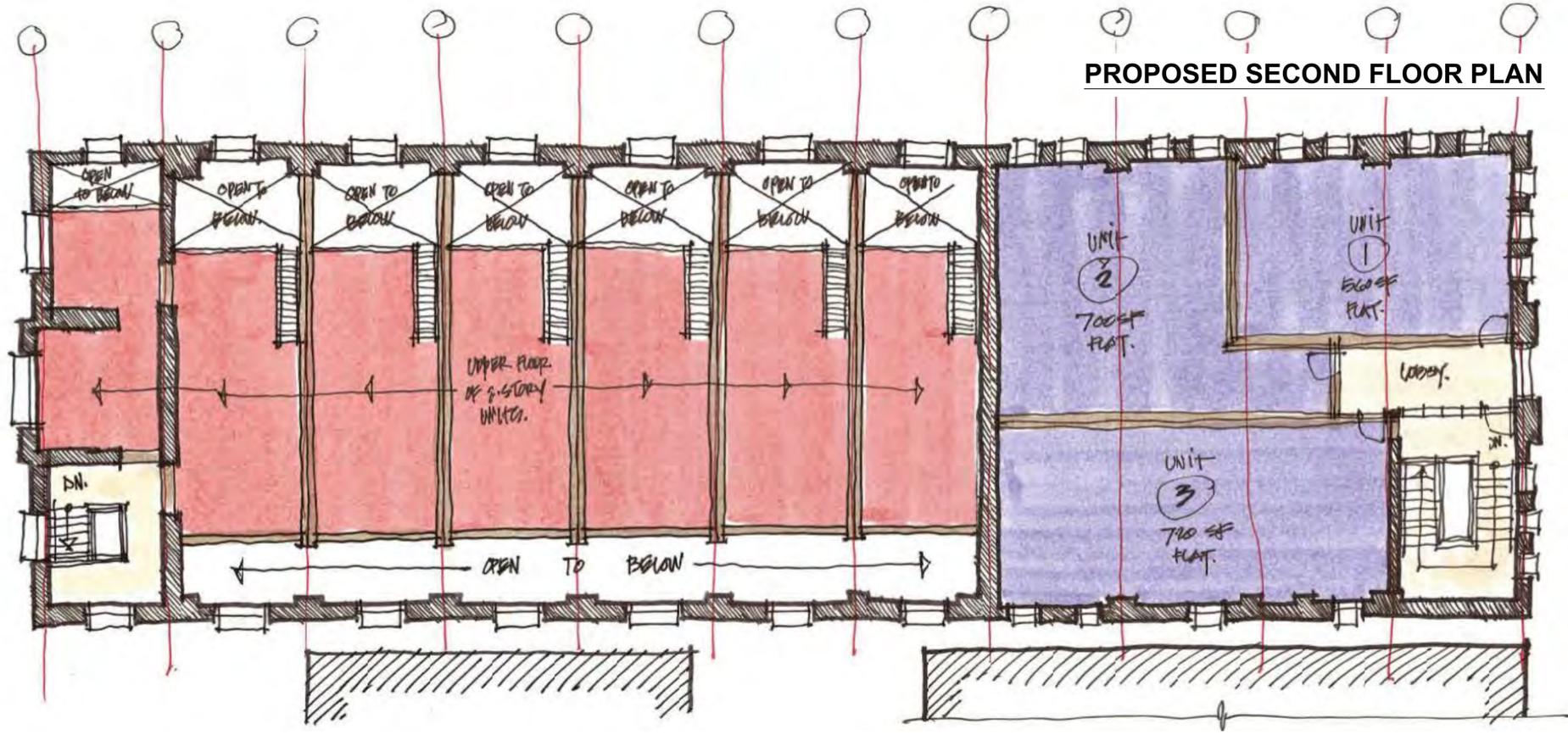
View looking East on Avery Street



Existing Church Facade - Lockhart Street



PROPOSED SECOND FLOOR PLAN



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EXISTING LOCKHART STREET ELEVATION

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Sheet No.

A3

GRAPHIC SCALE: 1/8" = 1'-0"



Project # 16007

Date MARCH 18, 2016

St. Peter's Evangelical & Reform Church - Adaptive Reuse

500 Lockhart Street Pittsburgh, PA

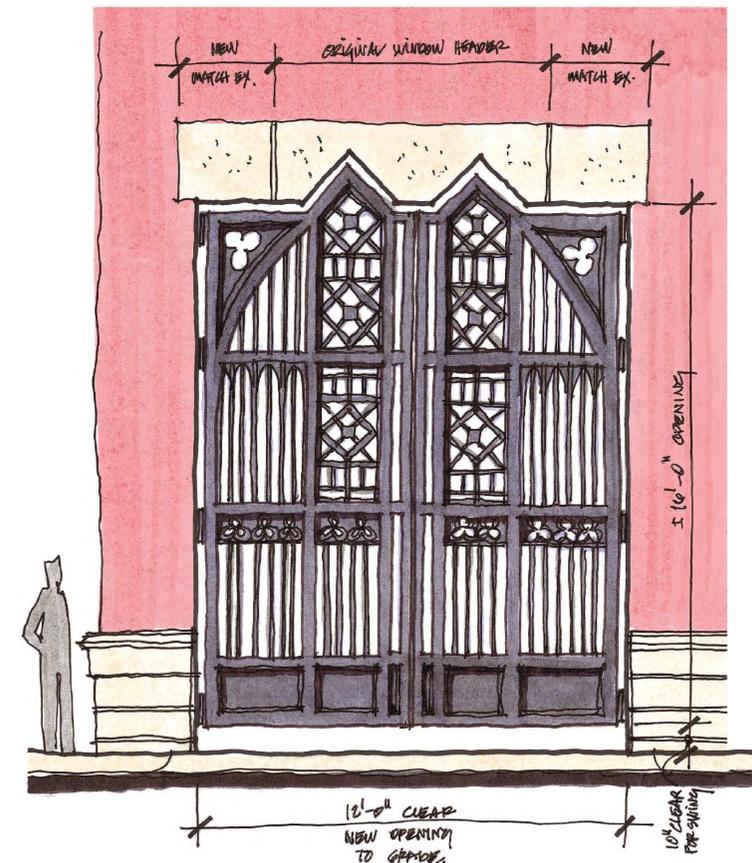
lga PARTNERS

1425 Forbes Ave. Suite 400 Pittsburgh, PA 15219

P 412.243.3430 F 412.224.4747



PROPOSED LOCKHART STREET ELEVATION



PROPOSED OPENING & GATE



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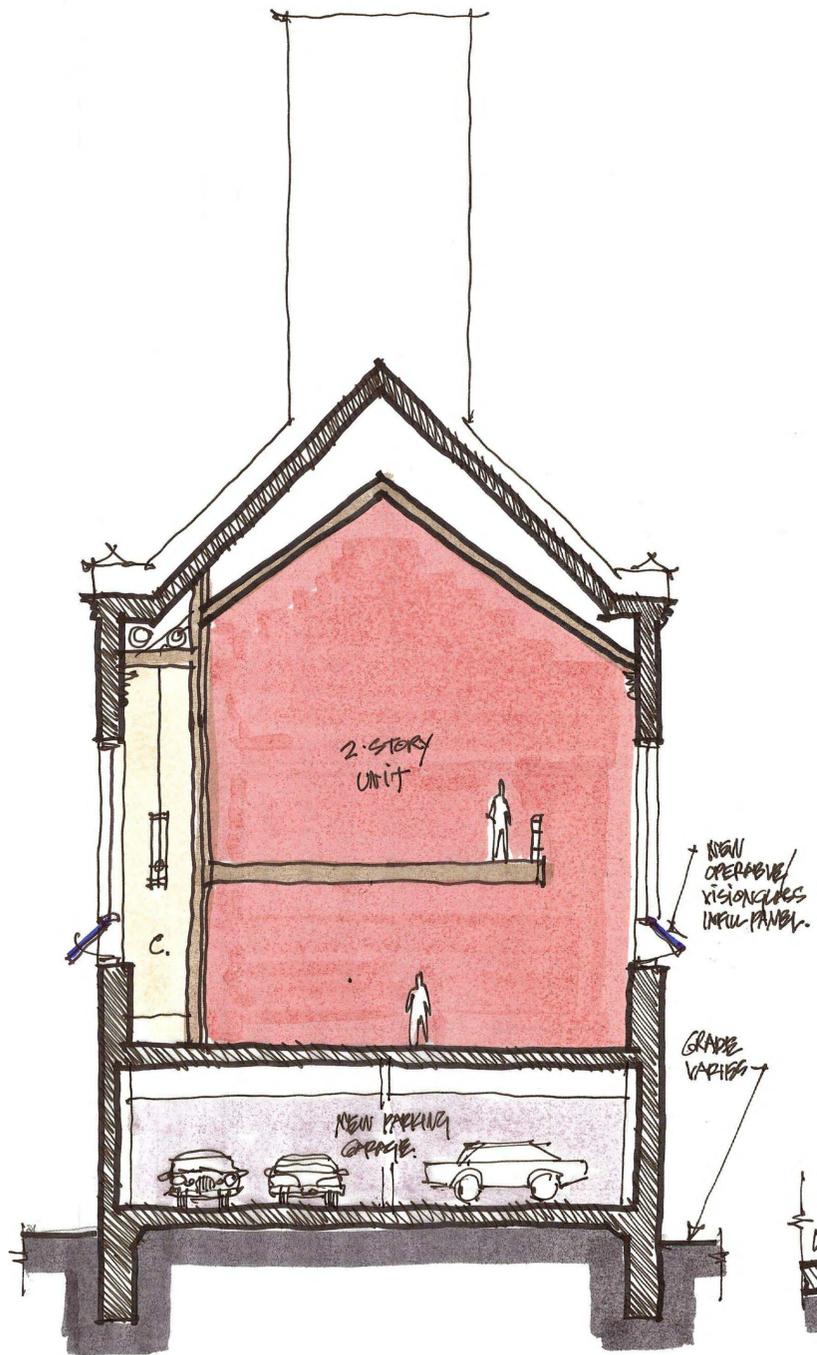
Sheet No.

A4

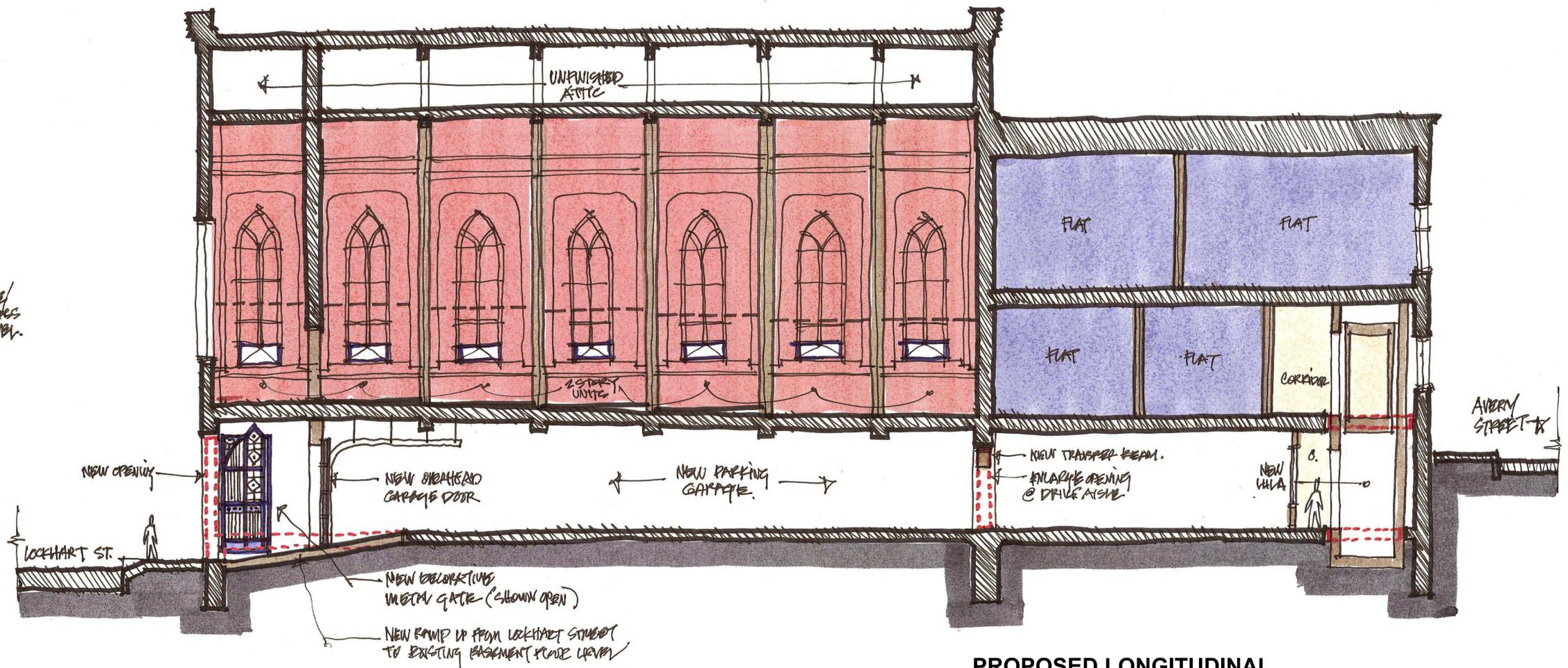
Project # 16007
Date MARCH 18, 2016

St. Peter's Evangelical & Reform Church - Adaptive Reuse
500 Lockhart Street Pittsburgh, PA

lga PARTNERS
1425 Forbes Ave. Suite 400 Pittsburgh, PA 15219
P 412.243.3430 F 412.224.4747



PROPOSED TRANSVERSE BUILDING SECTION



PROPOSED LONGITUDINAL BUILDING SECTION

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Sheet No.

A5

GRAPHIC SCALE: 1/8" = 1'-0"



Project # 16007

Date MARCH 18, 2016

St. Peter's Evangelical & Reform Church - Adaptive Reuse
 500 Lockhart Street Pittsburgh, PA

lga PARTNERS
 1425 Forbes Ave. Suite 400 Pittsburgh, PA 15219
 P 412.243.3430 F 412.224.4747



Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

526 Pressley Street
Pittsburgh, PA 15212

OWNER:

NAME: George Rieke
ADDRESS: 526 Pressley Street
Pittsburgh, PA 15212
PHONE: 412-370-1482 (cell)
EMAIL: hilliard87@yahoo.com

STAFF USE ONLY:

DATE RECEIVED: _____
LOT AND BLOCK NUMBER: _____
WARD: _____
FEE PAID: _____

DISTRICT:

Deuschtown

APPLICANT:

NAME: George Rieke
ADDRESS: 526 Pressley Street
Pittsburgh, PA 15212
PHONE: _____
EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

The house is non-contributing. It is a suburban style house built in the 1970's. Replace vinyl siding with stucco, metal paneling, and wood plank siding. Replace windows, sliding glass door and front door with similar to existing except color will be white and without fake decorative shutters. Replace garage door. Replace wood plank of the porch with new wood plank. Replace roof of porch with a wood balcony that is accessed from second floor bedrooms. Replace wood picket fence along Pressley Street with brick masonry site wall. Replace wood picket side fences with new wood side fence on existing posts.

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: _____ DATE: _____



Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

STAFF LEVEL REVIEW and FEES – Project adheres to historic guidelines

Type of Project	Residential Fees	Commercial Fees
In-kind repairs	\$25	\$5 per linear foot of the façade (minimum \$50)
In-kind restoration		
Mechanical and HVAC		
Commercial awnings		
Signage		
Painting	No Fee	

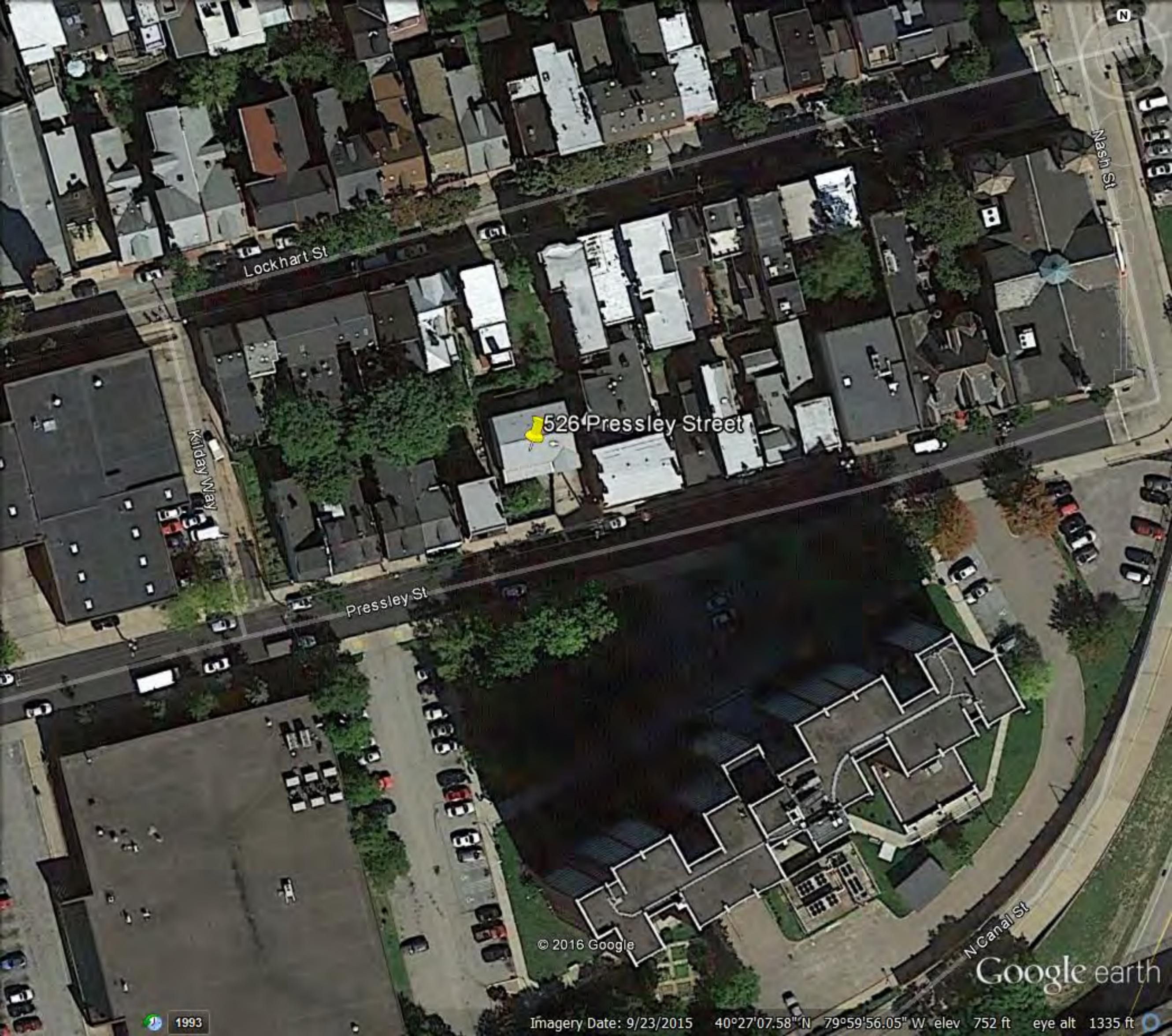
HISTORIC REVIEW COMMISSION LEVEL REVIEW AND FEES – Project does not adhere to historic guidelines and changes in materials

Type of Project	Residential Fees	Commercial Fees
Awnings	\$100	\$10 per linear foot of the façade (minimum \$150)
Fencing		
Painting		
Restoration		
Replacement		
Change in materials		
Change in fenestration		
Mechanical and HVAC		
New construction		
Signage		

****All demolitions and historic nominations require full HRC review. Fees vary for demolitions (\$100 or \$400) and for historic nominations (\$100 or \$250) depending on type.****

* Residential review is for single-family homes, and structures originally built as houses with four units or less. Properties with more than four units and apartment buildings are considered commercial buildings.

* Applicants do not pay for both the Staff Review and the full HRC review for any single project. Fees are non-refundable.



Lockhart St

Nash St

Kilday Way

526 Pressley Street

Pressley St

N Canal St

© 2016 Google

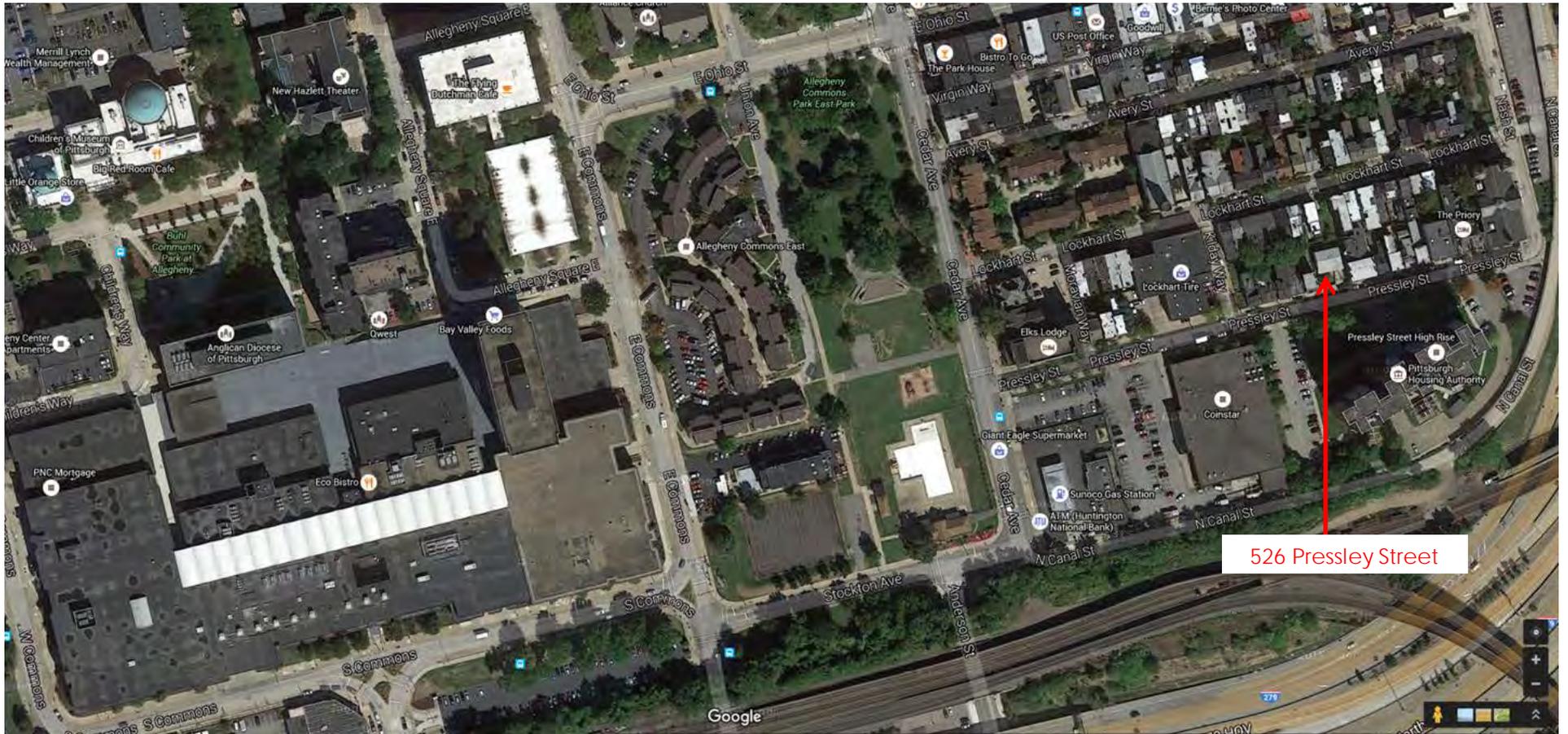
Google earth

1993

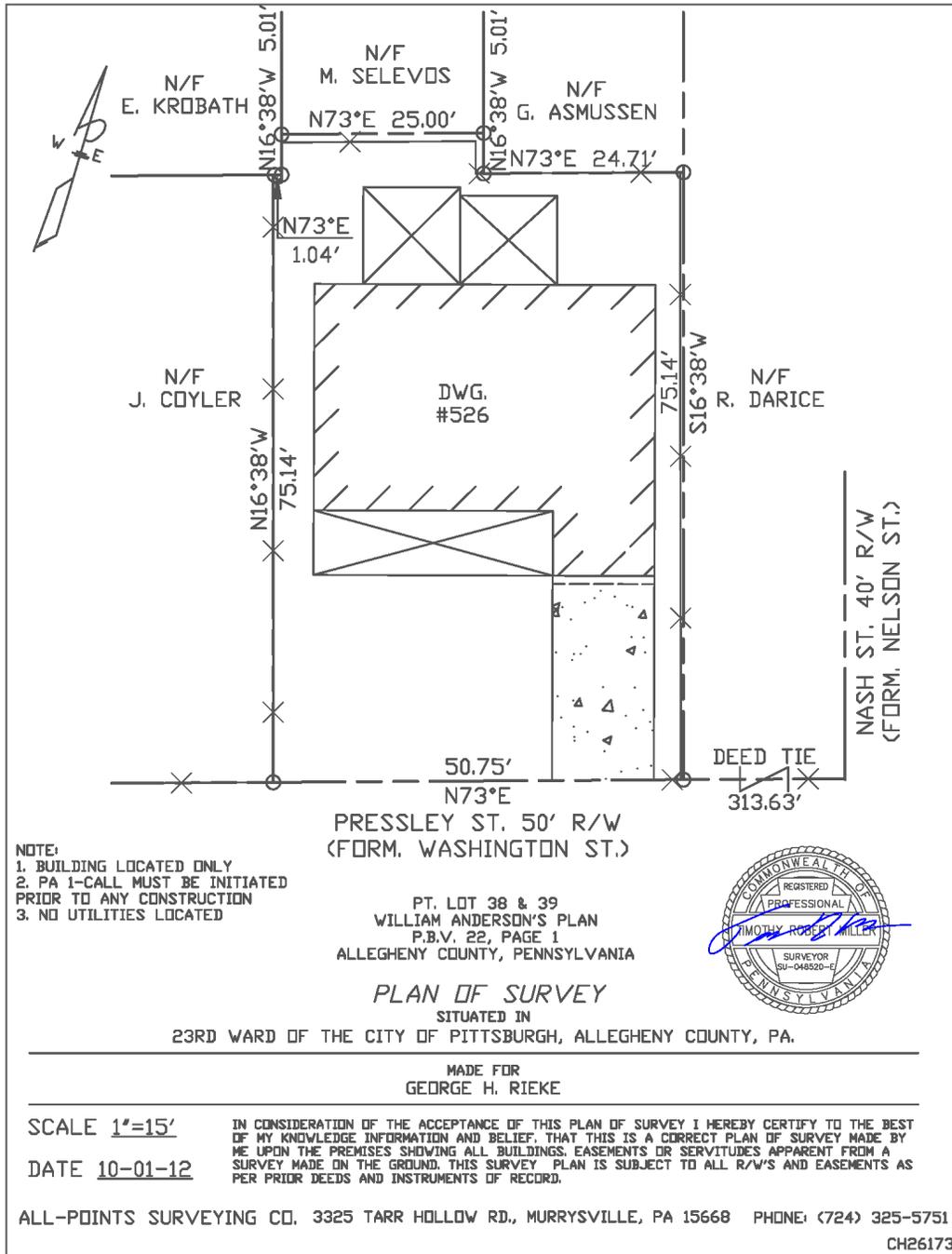
Imagery Date: 9/23/2015 40°27'07.58" N 79°59'56.05" W elev 752 ft eye alt 1335 ft



526 Pressley Street
Deuchtown



526 Pressley Street
Deutschtown



526 Pressley Street
Deutschtown



view looking down the street

526 Pressley Street
Deutschtown



view looking down the street

526 Pressley Street
Deutchtown



Pittsburgh Housing Authority directly
across from my house

526 Pressley Street
Deutschtown



526 Pressley Street
Deuchtown



- 1) Replace wood fence along Pressley Street with a brick wall. Brick to be similar to neighboring buildings. Accent coursing to pick-up datums of existing architecture.
- 2) Replace the wood picket fence along the side with new wood fence.
- 3) Replace vinyl siding with white stucco, warm natural wood, and ribbed metal paneling. Color of metal paneling similar to slate roofing of neighboring buildings.
- 4) Replace windows and doors with similar to existing except with white frames and without fake shutters.
- 5) Replace roof of porch with a wood balcony that is accessed from second floor bedrooms.
- 6) The shingle roof will be existing to remain.

526 Pressley Street
Deutschtown



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 3/14/16

LOT AND BLOCK NUMBER: 3-F-16

WARD: 17th

FEE PAID: Yes

DISTRICT: East Carson Street

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

729 East Carson Street
Pittsburgh, PA 15203

OWNER:

NAME: JGWS, LLC

ADDRESS: P.O. Box 13444
Pgh, PA 15243

PHONE: 412-287-5712

EMAIL: BNLY80Y2@AOL.COM

APPLICANT:

NAME: Robert Eckevode

ADDRESS: P.O. Box 13444
Pgh, PA 15243

PHONE: 412-287-5712

EMAIL: BNLY80Y2@AOL.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

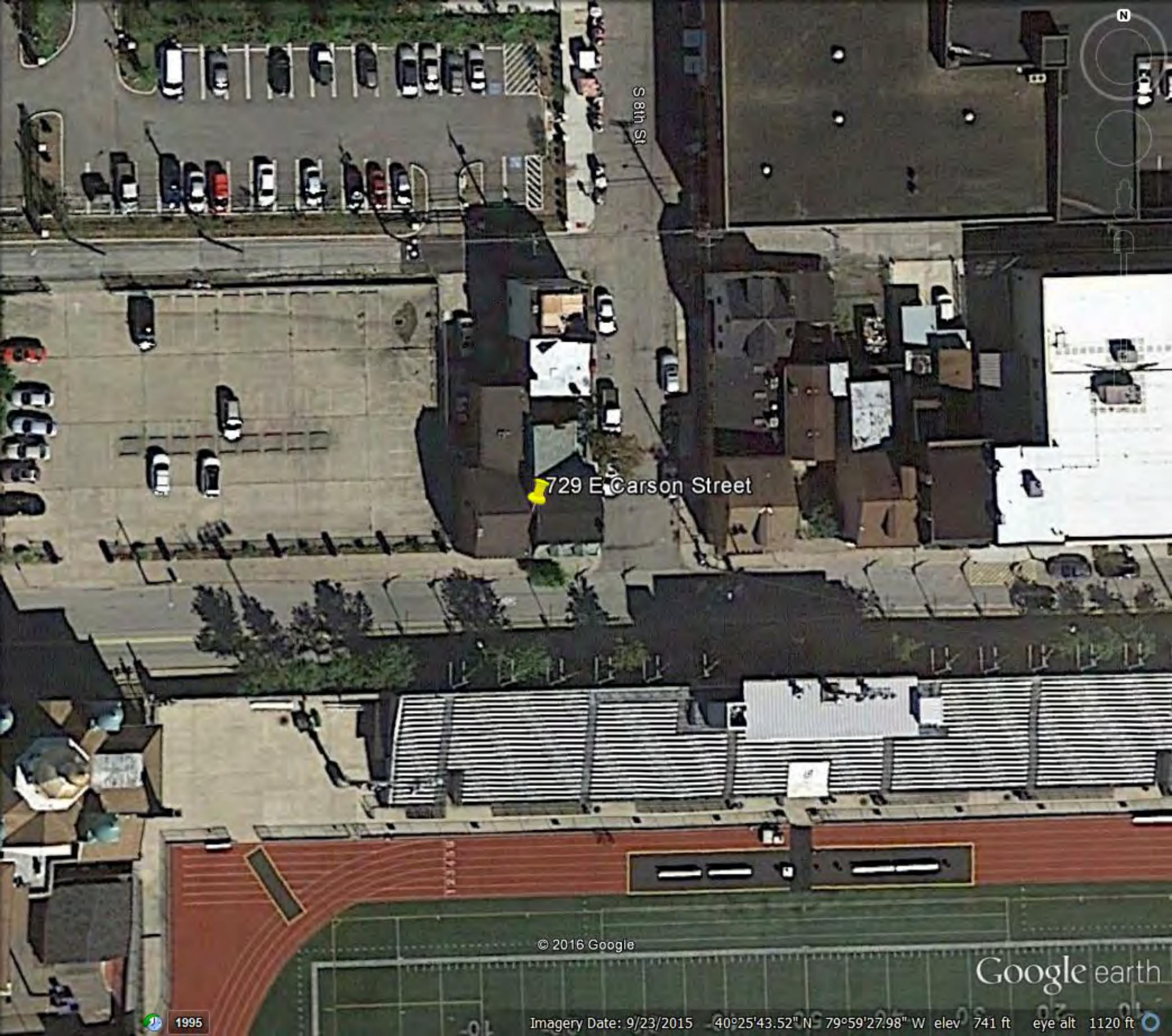
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Putting Addition on Back of House

SIGNATURES:

OWNER: JGWS, LLC DATE: 3-14-16

APPLICANT: Robert Eckevode DATE: 3-14-16



S 8th St

729 E Carson Street

© 2016 Google

Google earth

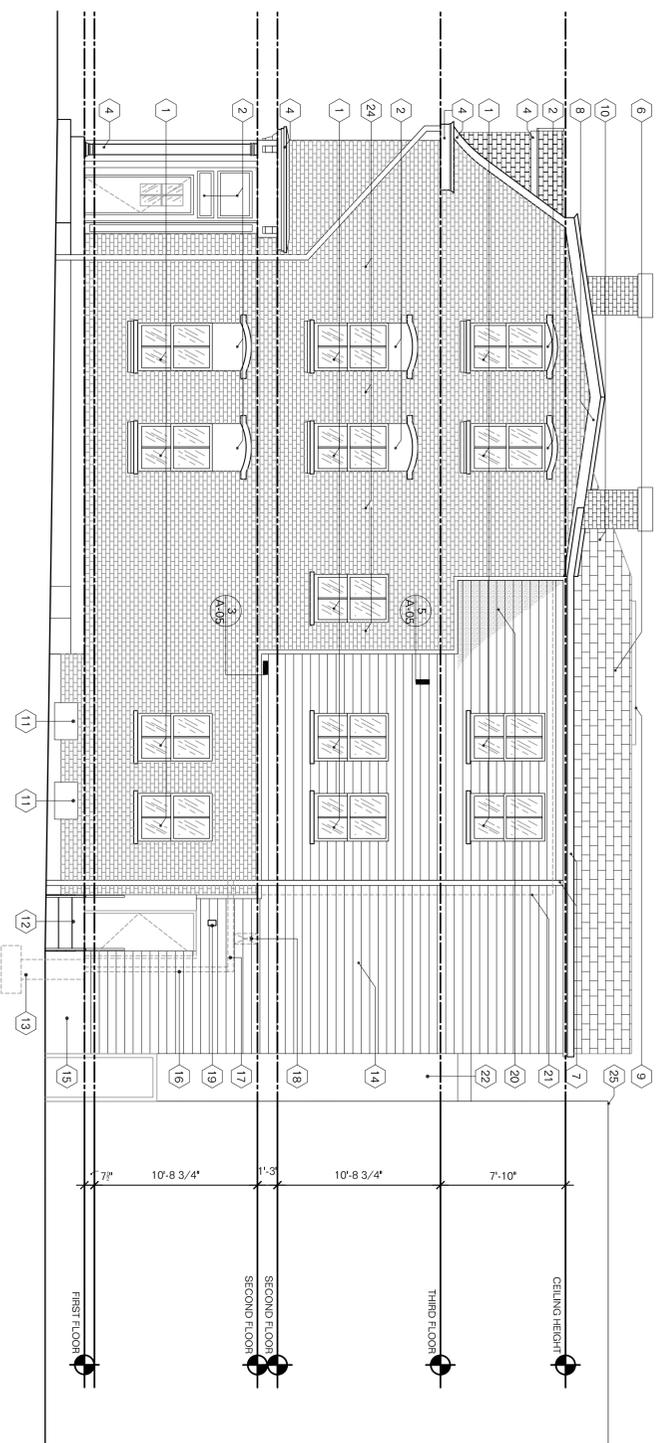
1995

Imagery Date: 9/23/2015 40°25'43.52" N 79°59'27.98" W elev 741 ft eye alt 1120 ft

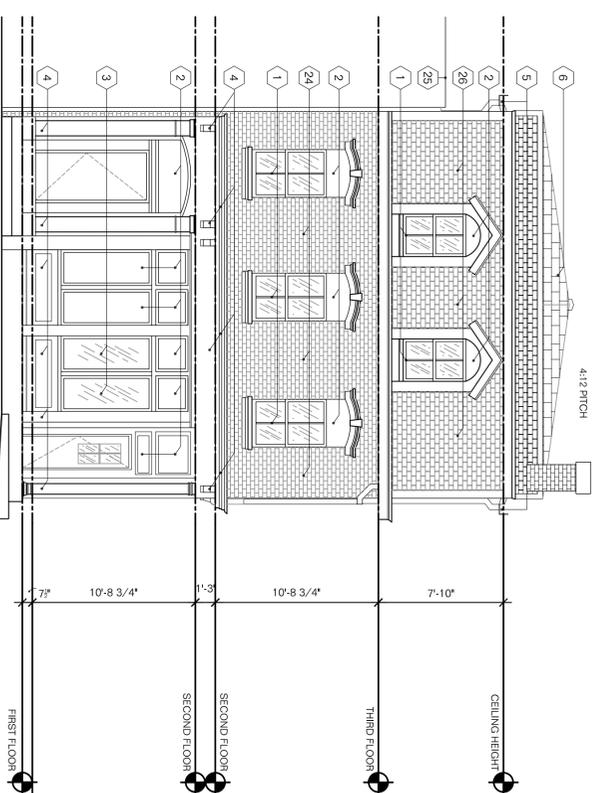
Applicant to submit new materials prior to meeting



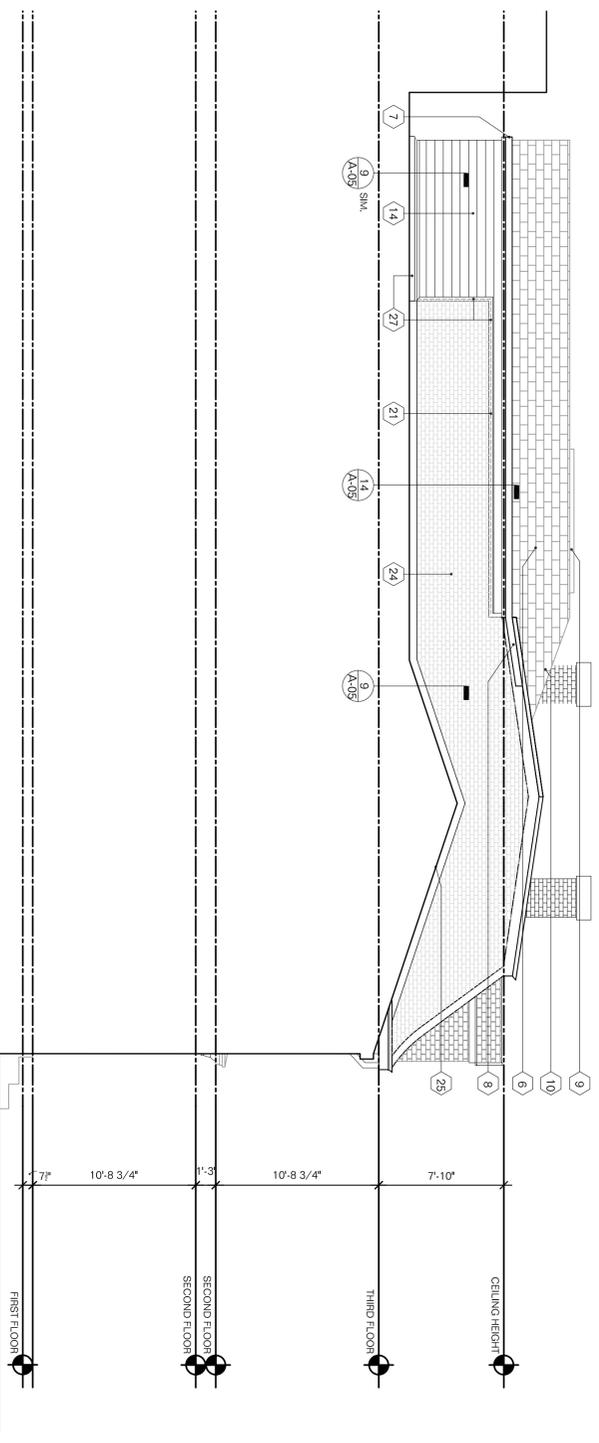




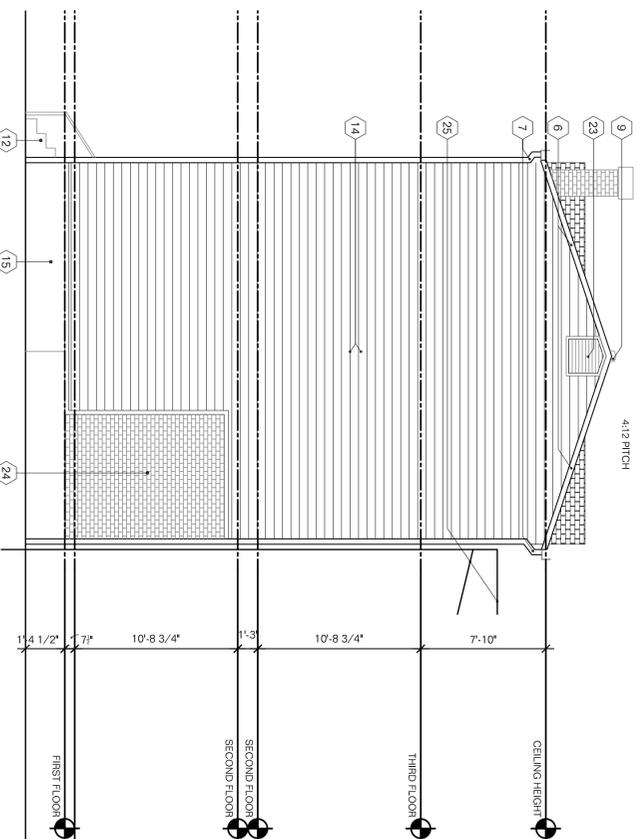
1 SIDE ELEVATION - EXTERIOR VIEW FROM EIGHTH STREET
SCALE: 3/16" = 1'-0"



2 FRONT ELEVATION - EXTERIOR VIEW FROM EAST CARSON STREET
SCALE: 3/16" = 1'-0"



3 SIDE ELEVATION - EXTERIOR VIEW TOWARD EIGHTH STREET
SCALE: 3/16" = 1'-0"



4 REAR ELEVATION - EXTERIOR VIEW TOWARD EAST CARSON STREET
SCALE: 3/16" = 1'-0"

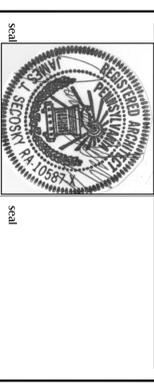
Architectural Keynotes

- 1 New thermo-pane double hung vinyl clad windows throughout. Contractor to field verify sizes of all new windows.
- 2 Typical wood stud rafter panel with 8'-12" batt insulation and interior 1/2" gypsum wall board. Exterior panel to be steel painted plywood panel with 2" urethane insulation and 1/2" gypsum wall board. Window openings to be 1 1/2" x 2" wood studs at 16" on center with 2" rigid urethane insulation and 1/2" gypsum wall board.
- 3 New thermo-pane vinyl clad fixed pane windows to fit in existing window frame.
- 4 Scrape and paint all existing exterior wood work. Typical. Color per Owner.
- 5 Aluminum gutter and downspout beyond.
- 6 New 1/2" plywood on new roof trusses and framing beyond 30ft building felt paper with new 25 year asphalt shingles. Vinyl fascia.
- 7 Aluminum gutter and downspout.
- 8 Sloping aluminum gutter.
- 9 10 foot length of roof ridge vent.
- 10 Asphalt shingled roof cricket. See Roof Framing Plan 3/A-04.
- 11 Infill openings with 8" wide brick masonry.
- 12 Concrete steps. See Detail 10/A-04.
- 13 New concrete footing and pedestal. See Detail 7/A-05.
- 14 Vinyl siding.
- 15 Existing foundation.
- 16 4" x 4" Schedule 40 Steel Column with 4 1/2" x 8" steel base and top plates.
- 17 New paragon beam. See Plan Detail 12" - 6" framing 1/A-05 for size. Minimum bearing of 8" on existing 8" brick wall.
- 18 Paragon beam to sit on shorter beam below. See Detail 12/A-05 for size.
- 19 Exterior stair light.
- 20 Remove existing 8" brick masonry this area only in order to simplify new wood stud wall framing.
- 21 Line of brick wall on opposite side of building.
- 22 Space between both buildings.
- 23 Aluminum attic vent.
- 24 Existing brick wall.
- 25 Adjacent building line.
- 26 Existing mansard roof.
- 27 Aluminum flashing and counter flashing at roof and existing masonry wall.

Consultants

key plan

revisions	no.	date	note

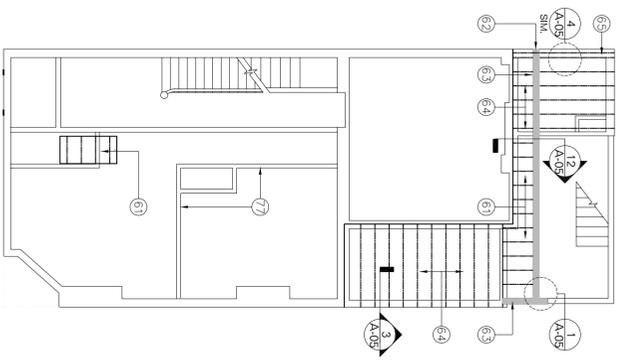


Rehabilitation of Existing
Retail / Residential Building
729 East Carson Street
Pittsburgh, PA 15203

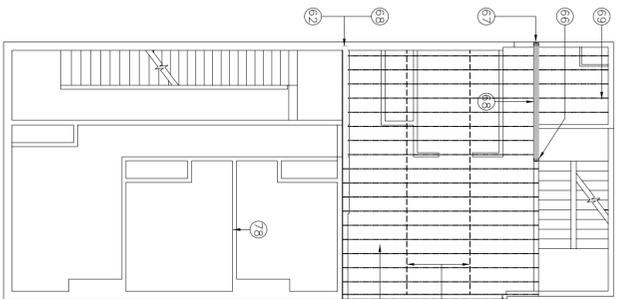
Scale: As Noted
date: January 29, 2016
drawn by: LAP
approved by: JAS
project number: 10239

JASATYA
DESIGN & CONSTRUCTION INC.
982 North Main Street
Shirlington, PA 15215
phone 412.901.4841 fax 724.510.3916 email jjascoyk@gmail.com

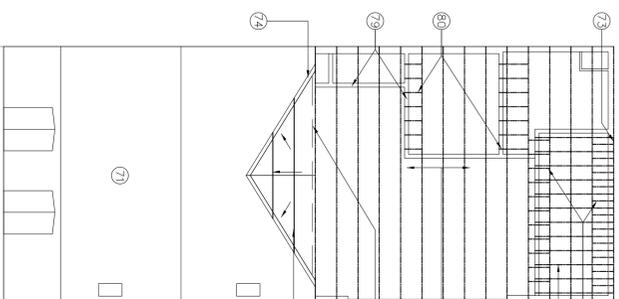
drawing title: Exterior Elevations
drawing no: **A-03**



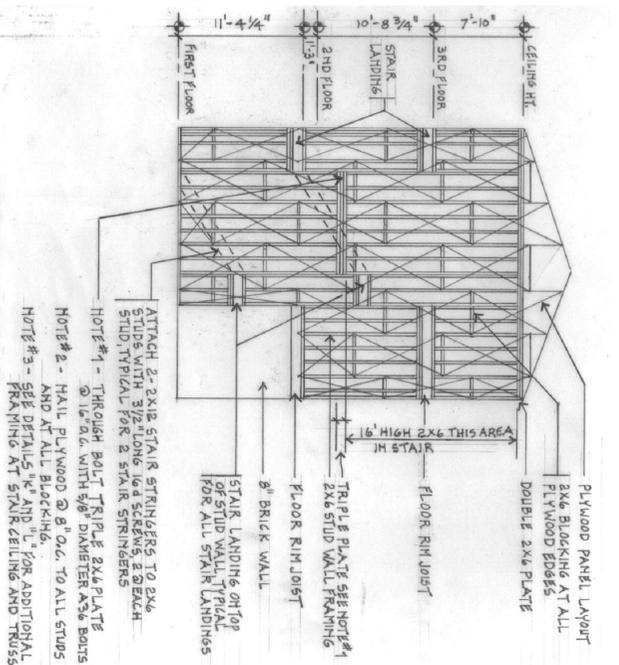
1 2ND FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"



2 3RD FLOOR FRAMING PLAN
SCALE: 1/8" = 1'-0"

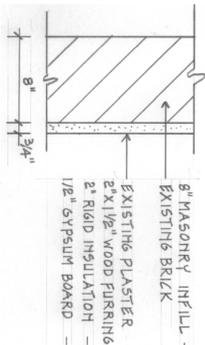


3 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"

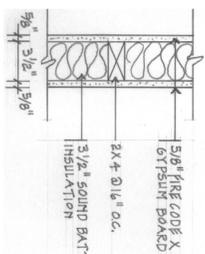


4 STUD WALL FRAMING AT NORTH ELEVATION
SCALE: 1/8" = 1'-0"

- Framing Keynotes**
- 61 2 x 10's at 16" on center with post hangers at first floor opening.
 - 62 Pocket beam into brick wall. Minimum 4" bearing.
 - 63 5 1/2" x 12" parallel beam. Minimum 4" bearing on brick wall.
 - 64 2 x 10' at 16" on center. Insulate between floor joists at exterior rim joist with R-19 batt insulation.
 - 65 Double floor joist spaced 5 1/2' out to support 6" stud wall above. Insulate empty between with batt insulation.
 - 66 3 1/2" x 5 1/2" parallel column. Center on column below. See detail "F".
 - 67 3 1/2" x 5 1/2" parallel column to sit on end of parallel beam below.
 - 68 3 1/2" x 12" parallel beam.
 - 69 2 x 12's at 12" on center.
 - 70 2 x 12 solid wood bridging.
 - 71 Existing masonry roof.
 - 72 Roof trusses at 24" on center. Install 2x bearing per roof truss manufacturer. Truss pitch 4:12. Cover new roof with 1/2" plywood and install galvanized Z-flips at seam mid-spans.
 - 73 Gable and truss.
 - 74 2 x 6 plate, nail to roof as knee rafter for cricket rafters.
 - 75 2 x 6 double sloping roof rafters to form roof crickets. Provide 2x vertical supports to existing roof rafters as required for cricket framing supports.
 - 76 2x nailer, nail to top chord of truss for plywood support for roof cricket.
 - 77 First floor outline below.
 - 78 Second floor outline below.
 - 79 Stud walls below.
 - 80 2 x 6 blocking at 16" on center. See Drawing Detail 12/A-04.
 - 81 2 x 6's at 16" on center stair ceiling framing. See Drawing Detail 13/A-04.



5 WALL TYPE "A"
SCALE: 1-1/2" = 1'-0" 2 HOUR FIRE RATED



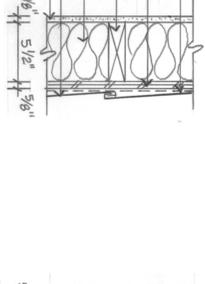
6 WALL TYPE "F" - UL NO. 305
SCALE: 1-1/2" = 1'-0" 1 HOUR FIRE RATED



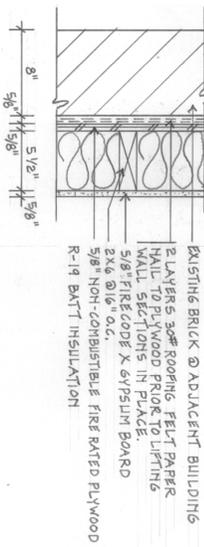
7 WALL TYPE "H"
SCALE: 1-1/2" = 1'-0" 2 HOUR FIRE RATED



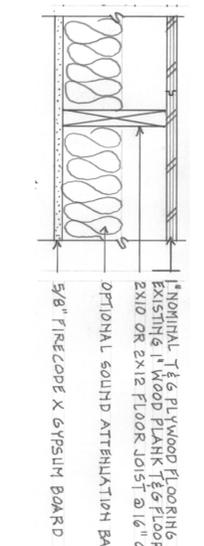
8 WALL TYPE "J" - UL NO. V311 (SIM)
SCALE: 1-1/2" = 1'-0" 1 HOUR FIRE PROTECTED BOTH SIDES



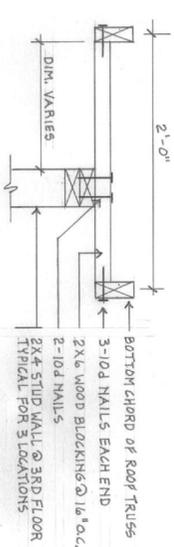
9 WALL TYPE "I"
SCALE: 1-1/2" = 1'-0" 1 HOUR FIRE PROTECTED BOTH SIDES



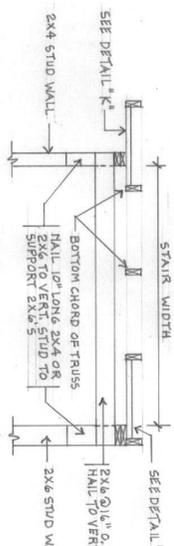
10 WALL TYPE "L"
SCALE: 1-1/2" = 1'-0" 1 HOUR FIRE PROTECTED BOTH SIDES



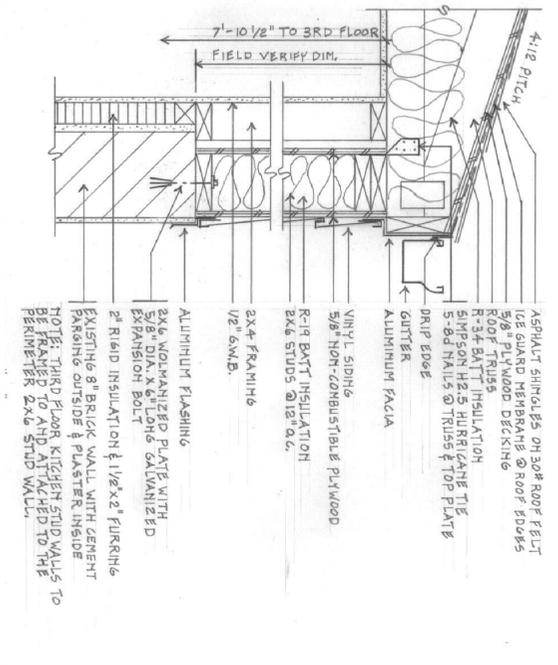
11 FLOOR ASSEMBLY (TYPICAL) - UL NO. 501
SCALE: 1-1/2" = 1'-0" 1 HOUR FIRE RATED



12 FRAMING DETAIL "K" AT ROOF TRUSS
SCALE: 1-1/2" = 1'-0"



13 FRAMING DETAIL "L" AT STAIR CEILING
SCALE: 1/2" = 1'-0"



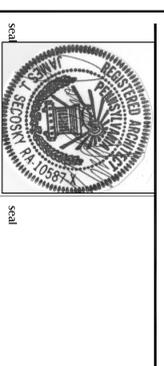
14 WALL SECTION "J" AT ROOF
SCALE: 1-1/2" = 1'-0"

Wall Types

- Existing 8" brick masonry and plaster. Remove wall paper, patch, and paint. See Wall Type Detail 5/A-04.
- 1/2" gypsum wall board over 1/2" wood framing at 16" on center. Wood stud mill as shown between 8" brick masonry wall.
- 2 x 4 wood studs at 16" on center with 1/2" gypsum board each side. Insulation and 1/2" gypsum wall board.
- NOT USED
- 2 x 4 wood studs at 16" on center with 3/4" firecode X gypsum board each side. Insulate between floor joists at exterior rim joist with R-19 batt insulation.
- 2 x 4 wood studs at 16" on center with 1/2" gypsum wall board above. Insulate empty between with batt insulation.
- 66 3 1/2" x 5 1/2" parallel column. Center on column below. See detail "F".
- 67 3 1/2" x 5 1/2" parallel column to sit on end of parallel beam below.
- 68 3 1/2" x 12" parallel beam.
- 69 2 x 12's at 12" on center.
- 70 2 x 12 solid wood bridging.
- 71 Existing masonry roof.
- 72 Roof trusses at 24" on center. Install 2x bearing per roof truss manufacturer. Truss pitch 4:12. Cover new roof with 1/2" plywood and install galvanized Z-flips at seam mid-spans.
- 73 Gable and truss.
- 74 2 x 6 plate, nail to roof as knee rafter for cricket rafters.
- 75 2 x 6 double sloping roof rafters to form roof crickets. Provide 2x vertical supports to existing roof rafters as required for cricket framing supports.
- 76 2x nailer, nail to top chord of truss for plywood support for roof cricket.
- 77 First floor outline below.
- 78 Second floor outline below.
- 79 Stud walls below.
- 80 2 x 6 blocking at 16" on center. See Drawing Detail 12/A-04.
- 81 2 x 6's at 16" on center stair ceiling framing. See Drawing Detail 13/A-04.

Consultants

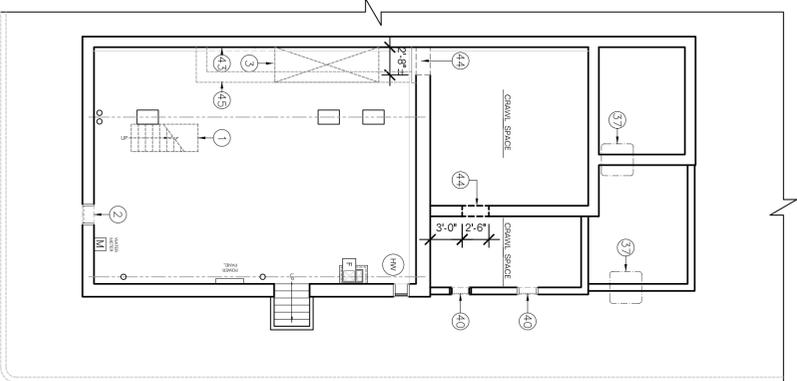
Key plan



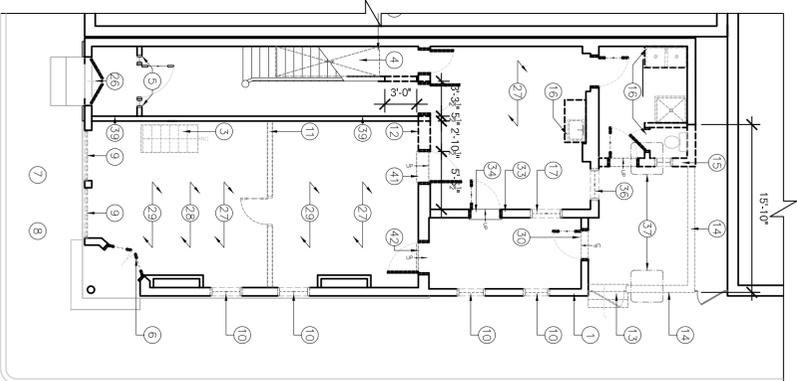
Rehabilitation of Existing Retail / Residential Building
729 East Carson Street
Pittsburgh, PA 15203

Scale: As Noted
Date: January 29, 2016
Drawn by: JAS
Approved by: JAS
Project number: 10239

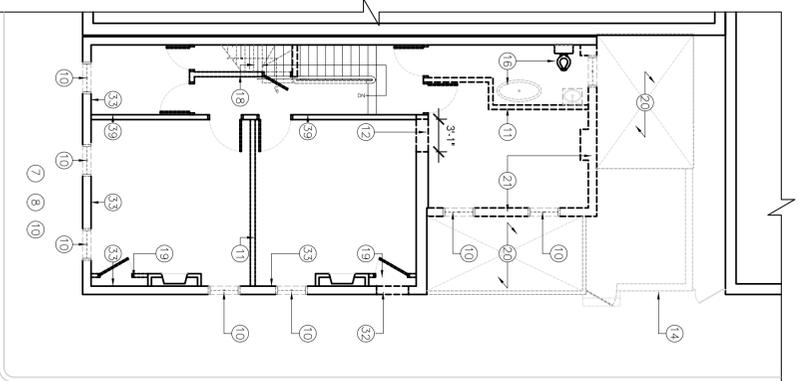
JASATYA
DESIGN & CONSTRUCTION, INC.
962 North Main Street
Shirlington, PA 15215
Phone 412-901-4444
Fax 724-310-3916
email jason@jasatya.com
drawing no. **A-04**
Sections and Details



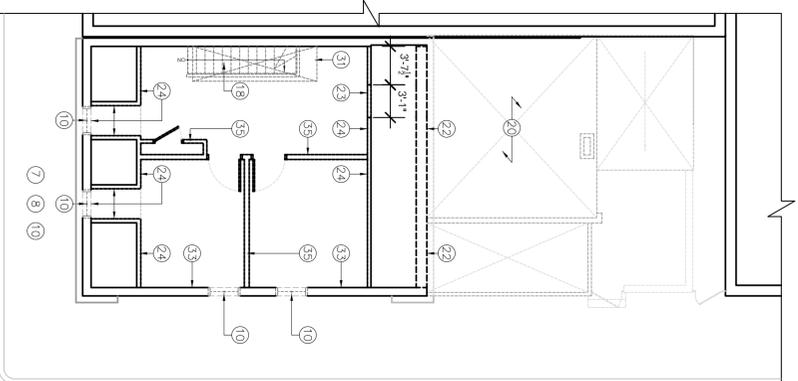
1 BASEMENT DEMOLITION PLAN
D-01 SCALE: 1/8" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
D-01 SCALE: 1/8" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN
D-01 SCALE: 1/8" = 1'-0"



4 THIRD FLOOR DEMOLITION PLAN
D-01 SCALE: 1/8" = 1'-0"

Demolition Keynotes

GENERAL NOTE: The sequence of demolition must be planned and coordinated with the renovation work. Logical sequence mandates that the demolition contractor have the electrical, security, and plumbing work either temporarily removed, or relocated in order to complete the demolition work. Key note enumeration does not suggest any preferred sequence of demolition but simply identify the intentions of the Owner and the Architect.

- 1 Remove existing stair and trap door to basement.
- 2 Remove screened vent at sidewalk.
- 3 Remove existing closet floor framing for new basement stair. Contractor to verify length of demolition for new stair.
- 4 Remove wood paneled wall for new door.
- 5 Keep existing door and side lights.
- 6 Remove double doors and transom glass window above.
- 7 Remove all interior doors and frames unless noted.
- 8 Remove all existing floor finishes throughout.
- 9 Remove windows and transom glass windows above.
- 10 Remove all exterior windows and frames, typical.
- 11 Remove existing wall.
- 12 Remove existing brick wall for new opening.
- 13 Remove concrete steps.
- 14 Remove existing 8" concrete block wall to concrete slab floor.
- 15 Remove brick masonry wall to 4" below concrete slab floor.
- 16 Remove all plumbing fixtures, typical. Cut and cap plumbing lines.
- 17 Remove interior window and frame.
- 18 Remove existing steps and surrounding walls.
- 19 Remove existing closet.
- 20 Remove existing roof and ceilings below.
- 21 Remove existing masonry wall and chimney this floor.
- 22 Remove existing sloping area of mansard roof. Interior load bearing interior stud wall to remain.
- 23 Remove existing studs for new opening. Frame new jamb and install double 2 x 12 structural header over new opening.
- 24 Remove existing plaster and lath at interior faces of existing roof support walls. Existing wood wall studs and framing to remain.
- 25 Remove plaster and lath on existing ceiling.
- 26 Remove existing double doors and hinges and glazing in transom above. Existing door framing to remain.
- 27 Remove existing wood panel wainscot at all walls this area.
- 28 Remove existing shelving and millwork at this area.
- 29 Remove existing ceiling mounted light fixtures this area.
- 30 Remove existing door and frame.
- 31 Remove existing floor framing for new stair to third floor.
- 32 Remove existing masonry wall for new window opening. Match new sill height and window opening size to match window openings in new second floor addition. Install a 4"x5/16" steel angle lintel for each brick width to support brick masonry above.
- 33 Remove interior plaster and lath at existing exterior perimeter walls.
- 34 Remove existing doors, frames, and glass transoms above.
- 35 Remove interior stud walls as shown.
- 36 Remove window, window frame, and brick masonry below for new door.
- 37 Remove existing concrete slab (2' x 2') and expose existing foundation and footing for Architect's inspection. Note: New footing and foundation for new columns may be necessary. See plan for exact location of concrete removal.
- 38 Remove existing stair.
- 39 Keep these stud walls. Remove existing lath and plaster.
- 40 Remove existing grills and frames.
- 41 Remove existing door, frame, and steps.
- 42 Remove existing door, frame, glass transom, and sloped tread at opening.
- 43 Remove portion of existing footing to allow for new stairs and landing.
- 44 Provide access opening in existing foundation wall. See architectural plan Drawing 1/A-01 for additional information.
- 45 Remove existing concrete floor slab this area for new concrete footing. See Architectural Plan Drawing 1/A-01 for additional information.

Demolition Symbol Legend

	Existing Construction to Remain
	Existing Construction to be Removed. Refer to Keynotes for additional information.
	Existing Frame Glass Window to be Removed. Refer to Keynotes for additional information.
	Existing Stairs to be Removed. Refer to Keynotes for additional information.
	Existing Door to be Removed. Refer to Keynotes for additional information.

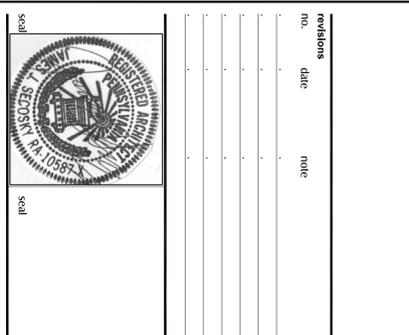
Architectural Drawing Legend

Architectural	ISSUED
D-01 BASEMENT 1ST, 2ND, 3RD FLOOR DEMOLITION PLANS	●
D-02 FIRST FLOOR DEMOLITION PLANS	●
D-03 2ND & 3RD FLOOR ARCHITECTURAL PLANS	●
D-04 EXTERIOR ELEVATIONS	●
D-05 FRAMING PLANS, WALL TYPES, AND DETAILS	●
D-06 DETAILS	●

consultants

no.	date	note

key plan



Rehabilitation of Existing Retail / Residential Building

729 East Carson Street
Pittsburgh, PA 15203

JASATA DESIGN & CONSTRUCTION Inc.

302 North Main Street
Shirlington, PA 15215
phone: 412.501.4444 fax: 724.538.7016 email: jaseco@jseco.com



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 4/8/16

LOT AND BLOCK NUMBER: 42-R-45

WARD: 20th

FEE PAID: yes

DISTRICT:
N/A

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

2940 Sheraden Blvd
Pittsburgh, PA 15204

OWNER:

NAME: Pittsburgh Public Schools

ADDRESS: 1305 Muriel ST
Pittsburgh, PA 15203

PHONE: 412-529-4300

EMAIL: vpatil1@pghboe.net

APPLICANT:

NAME: Gary J Cirincione, Architect

ADDRESS: 5507 Hays ST
Pittsburgh, PA 15206

PHONE: 412-661-2782

EMAIL: cirinc@verizon.net

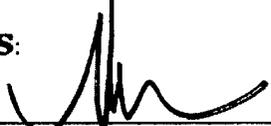
REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

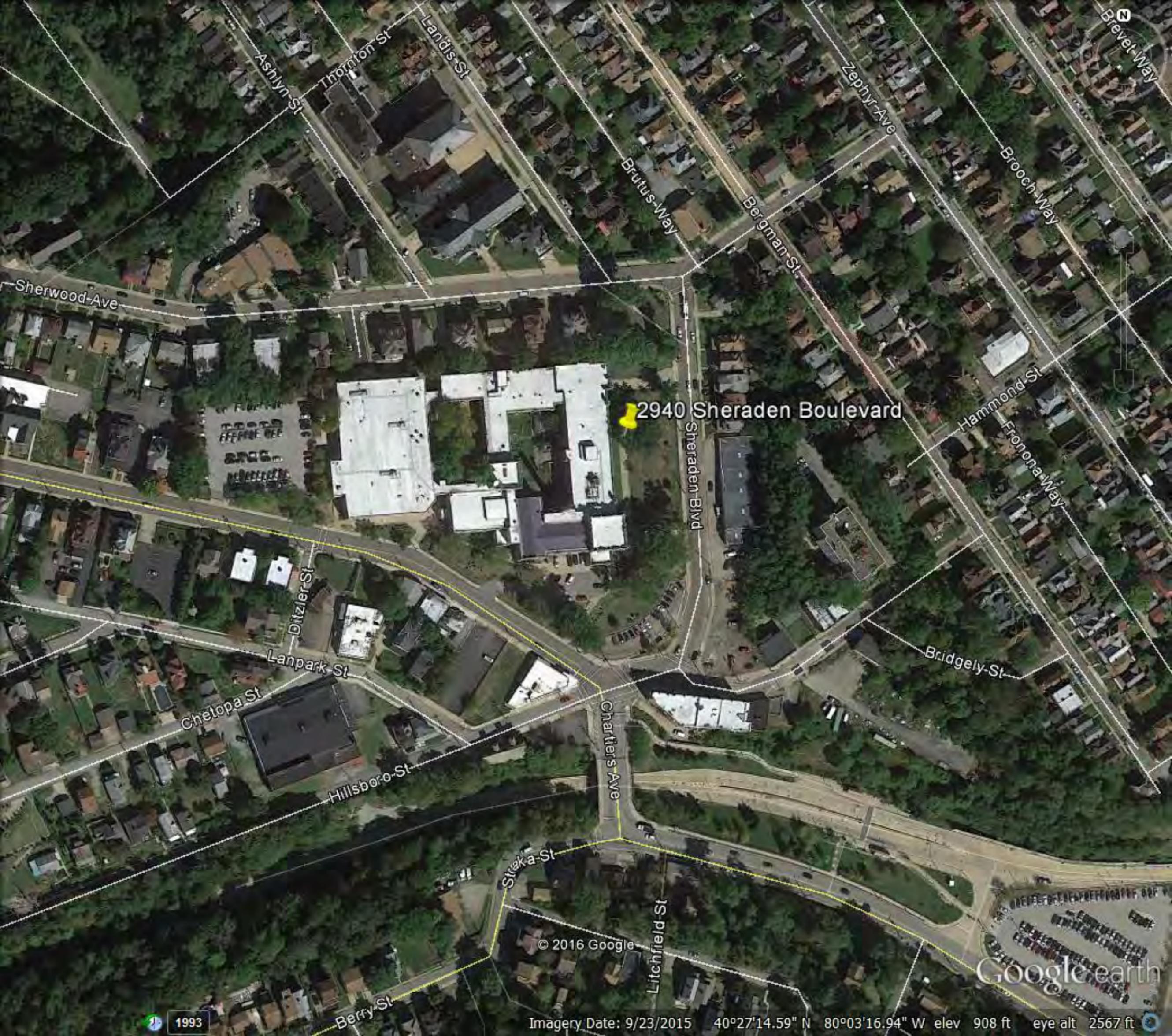
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Installation of pre-fabricated playground equipment and 6' high, black, metal fence
in open yard space at northeast corner of Pittsburgh Langley K-8 School building.

SIGNATURES:

OWNER:  DATE: 3.22.16

APPLICANT:  DATE: 4.3.16



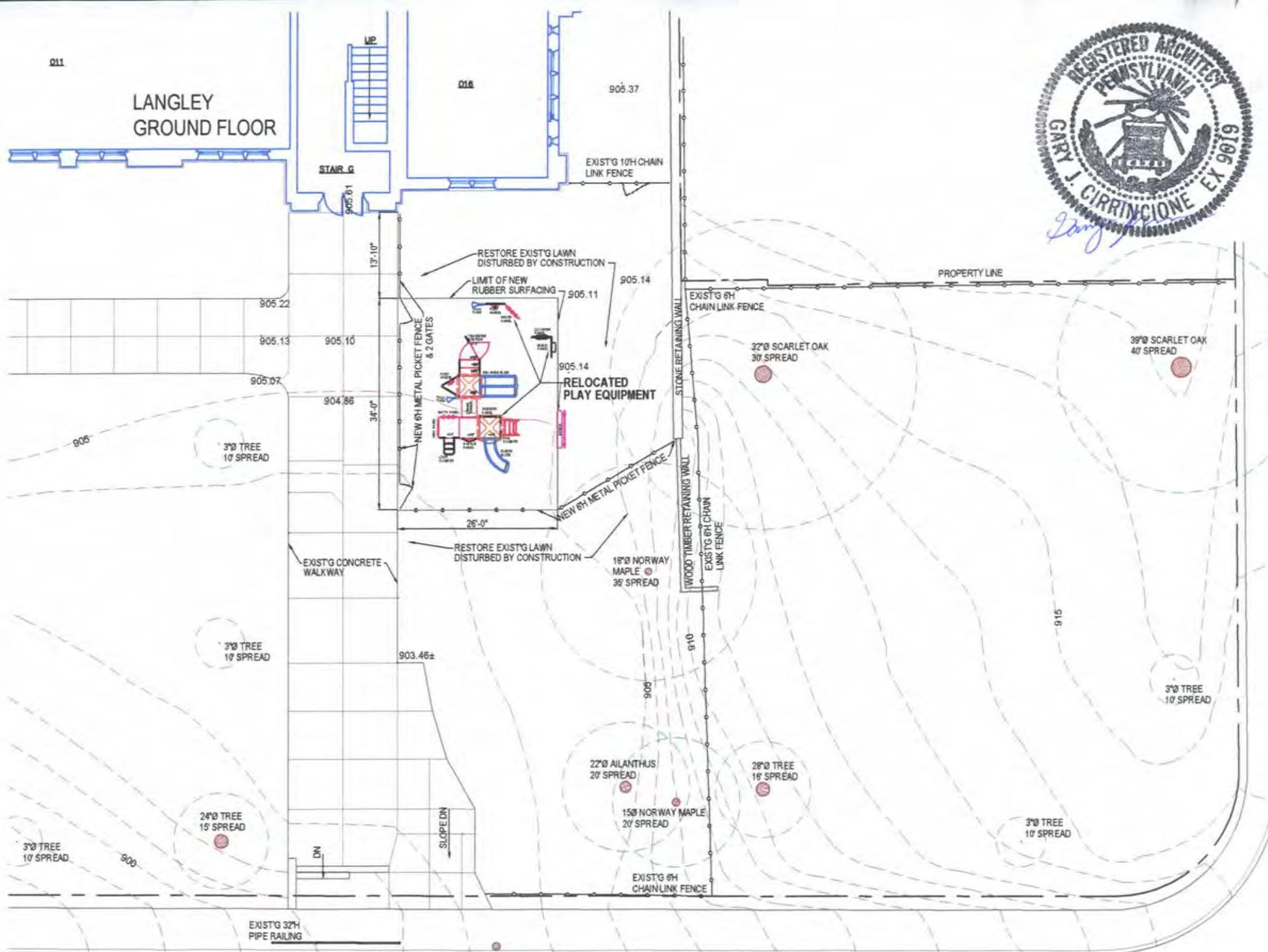
2940 Sheraden Boulevard

© 2016 Google

Google earth

1993

Imagery Date: 9/23/2015 40°27'14.59" N 80°03'16.94" W elev 908 ft eye alt 2567 ft



SITE PLAN

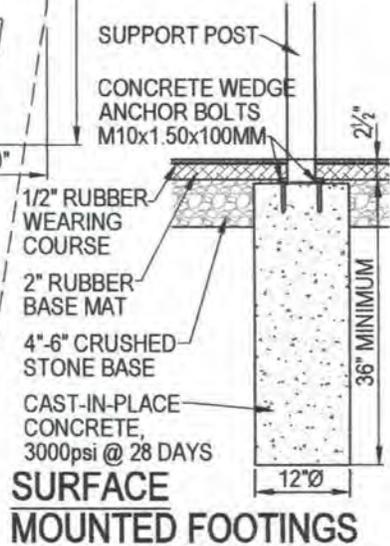
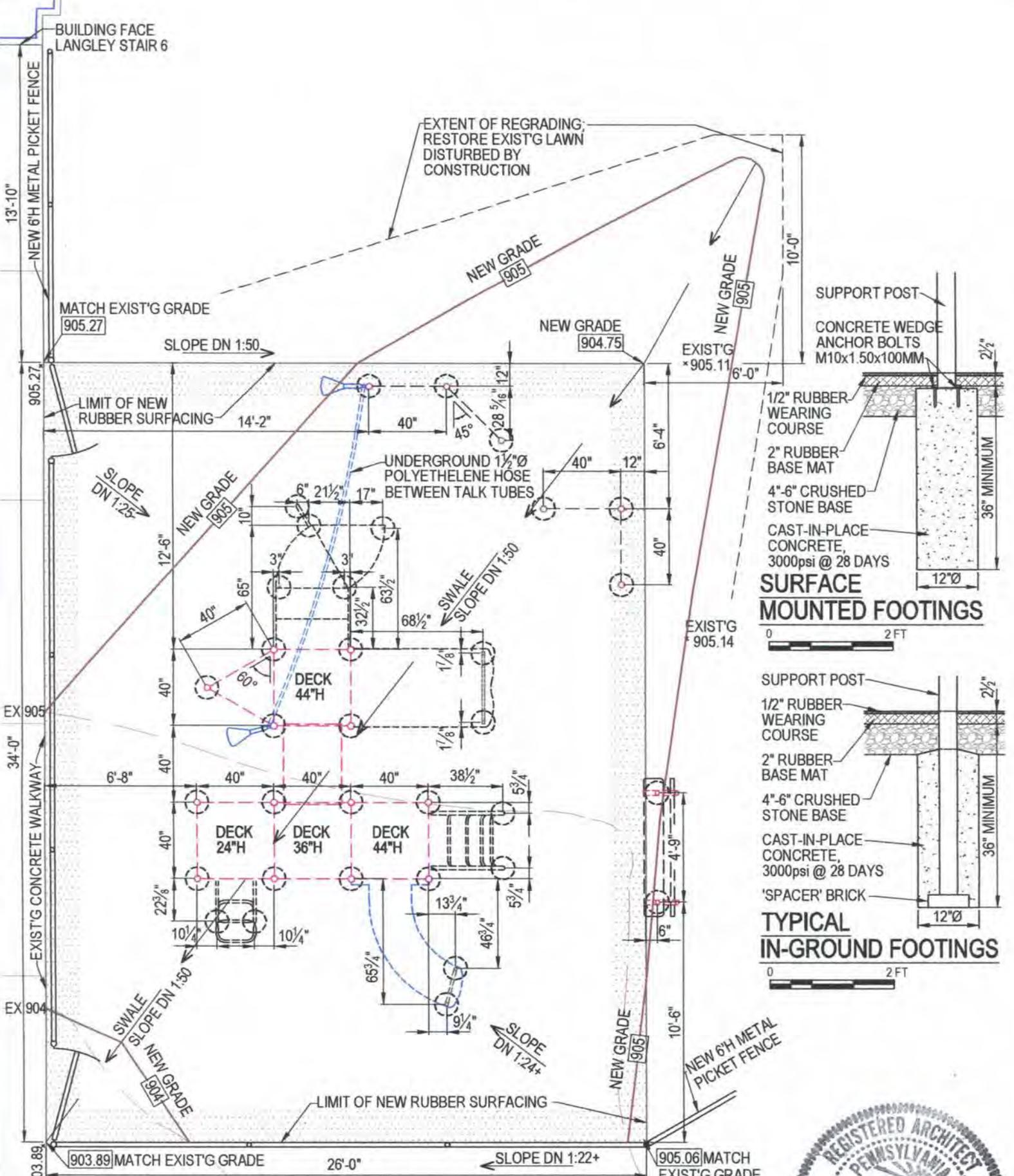
LITTLE TIKES PLAY EQUIPMT RELOCATION TO LANGLEY K-8 SCHOOL
 PITTSBURGH PUBLIC SCHOOLS GARY CIRRINCIONE, ARCHITECT



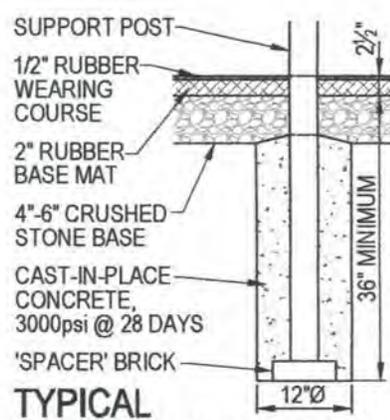
SHERADEN BLVD

DRAWING 1

3-21-16



SURFACE MOUNTED FOOTINGS



TYPICAL IN-GROUND FOOTINGS

FOUNDATION & GRADING PLAN

LITTLE TIKES PLAY EQUIPMT RELOCATION TO LANGLEY K-8 SCHOOL
 PITTSBURGH PUBLIC SCHOOLS GARY CIRRINCIONE, ARCHITECT



DRAWING 2
 3-21-16





**Proposed Play
Equipment Area**



East Side of Sheraden Blvd



South Side of Sherwood Ave



**Proposed Play Equipment
(from former Sheraden School)**



3-22-16



Proposed Black Anodized Aluminum Fencing



Langley K-8 School, 2940 Sheraden Blvd, Pittsburgh 15204



HISTORIC REVIEW COMMISSION OF PITTSBURGH
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DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

One Schenley Park
Pittsburgh PA 15213

OWNER:

NAME: City of Pittsburgh (Phipps tenent)

ADDRESS: _____

PHONE: _____

EMAIL: _____

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

APPLICANT:

NAME: Phipps Conservatory and Botanical Gardens

ADDRESS: One Schenley Park

Pittsburgh PA 15213

PHONE: 412-477-1222 - Jason Wirick

EMAIL: jwirick@phippconservatory.org

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Rehabilitation of the Serpentine Roof Glazing System. New window mullions, new coating on structure, reglaze with safety glass

SIGNATURES:

OWNER: _____ DATE: _____

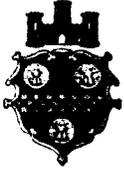
APPLICANT: [Signature] Phipps Conservatory DATE: 4/13/2016











Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
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DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

DISTRICT:

Manchester

ADDRESS OF PROPERTY:

22-J-304 22-J-305
22-E-248

OWNER:

NAME: _____

ADDRESS: _____

PHONE: _____

EMAIL: _____

APPLICANT:

NAME: Lisa Freeman

ADDRESS: 1320 Liverpool St
Agh, PA 15233

PHONE: 412 290-9294

EMAIL: lisalisaVIP@aol.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Farmer's Market

SIGNATURES:

OWNER: cb DATE: 4-19-16

APPLICANT: Lisa Freeman DATE: _____



Adams St

Warner St

Chateau St

1438 Columbus Avenue

Columbus Ave

Lake St

Juniata St

Ohio River Blvd

Beaver Ave

65

19

© 2016 Google

Google earth

Imagery Date: 9/23/2015 40°27'27.24" N 80°01'43.01" W - elev 758 ft eye alt 1599 ft

1993



N





Warner Street

Hexagonal Planters 18", 24", and 36" high.

Raised Planting Beds

22-E-253

Shade Tree

Flowering Trees

22-E-249

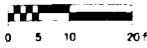
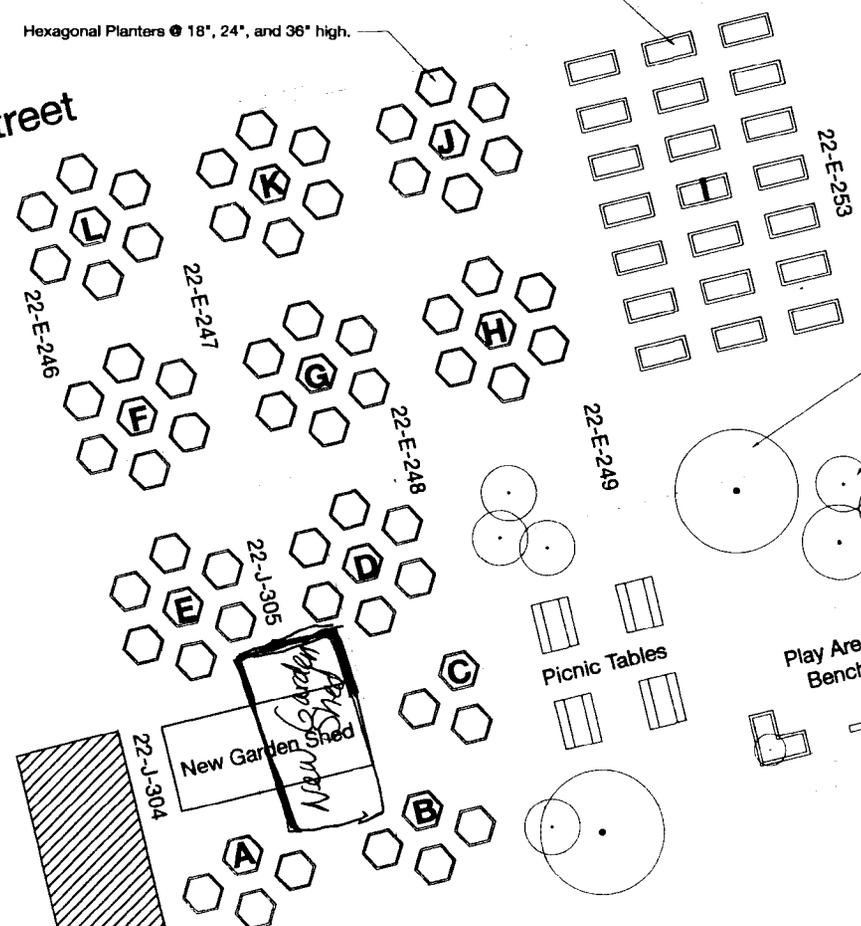
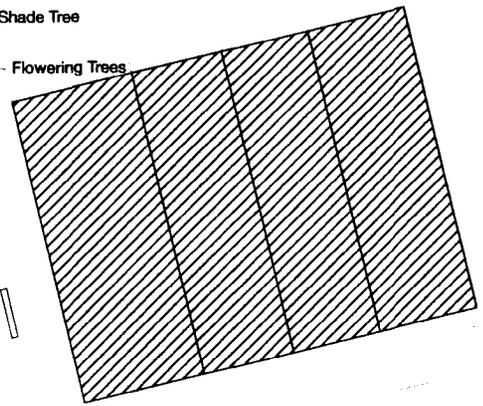
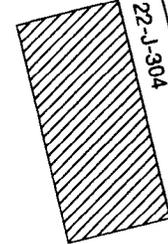
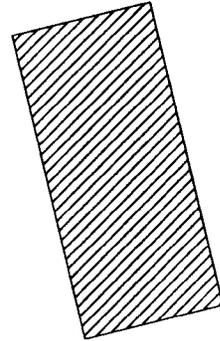
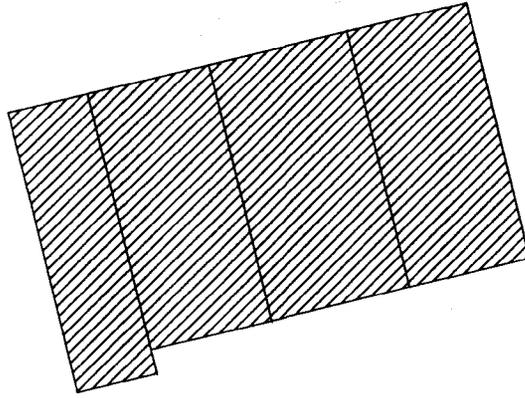
Picnic Tables

Play Area w/
Benches

New Garden Shed

22-J-304

Columbus Avenue



New England Style Structure Comparisons

STANDARD PEAK



Standard Vinyl Peak
(Left) Shown with clay lifetime vinyl siding, white trim, red shutters, and weatherwood lifetime shingle roof. **Options Included:** Aluminum ridge vent.

New England Style Vinyl Peak

(Right) Shown with clay lifetime vinyl siding, white trim, white transom wood doors, red toned panel shutters, and weatherwood lifetime shingle roof.

NEW ENGLAND PEAK



Standard LP Peak

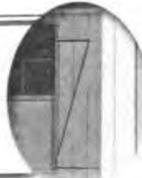
(Left) Shown with navajo white LP Smart Side, clay trim, and weatherwood lifetime shingle roof. **Options Included:** Aluminum ridge vent.

New England Style LP Peak

(Right) Shown with beige 50-year Smart Side siding, buckskin trim & doors, avocado shutters, and shakewood lifetime shingle roof. **Options Included:** New England package.



6 New England Style Features

		
• Wider Face Boards	• Transom Doors	• 'Z' Shutters
• Wider Corner Trim	• Wider Door Trim	• Higher Walls

STANDARD COTTAGE



Standard Vinyl Cottage
(Left) Shown with clay lifetime vinyl siding, clay trim, green shutters, and weatherwood lifetime shingle roof. **Options Included:** Raised panel shutters and aluminum ridge vent.

New England Style Vinyl Cottage
(Right) Shown with white lifetime vinyl siding, light grey trim, black 'Z' shutters, and charcoal lifetime shingle roof. **Options Included:** Transom windows above standard windows, taller doors, and arch top wood gable end vents. Also available with raised panel shutters.

NEW ENGLAND COTTAGE



Standard LP Cottage

(Left) Shown with navajo white LP Smart Side, buckskin trim, and shakewood lifetime shingle roof. **Options Included:** Gable end vents and diamond-plate tread at doors.

New England Style LP Cottage

(Right) Shown with beige LP Smart Side, buckskin doors and trim, avocado shutters, and weatherwood lifetime shingle roof. **Options Included:** Arch top wood gable end vents.



If You Can Dream It, WE CAN BUILD IT!

Any buildings in this brochure can be modified or customized to accommodate your needs. Ask about shelving, lofts, electrical, metal roofing, venting, extra doors, windows, ramps, porches, cupolas, flower boxes, and much more!



14 x 32 Custom Peak Style Pavilion with 8' Kitchen Area
Shown with mushroom stained board 'n' batten siding, and red metal roof. **Options Included:** Metal roof and carriage house door.



12 x 24 Hip Style Custom Cabana
Shown with cedar stained Duratemp siding and weatherwood lifetime shingle roof.

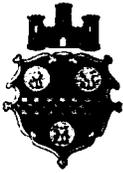
Go to pinecreekstructures.com for more custom ideas!

People are Talking!

A happy customer, Bill, says, "Tim was great at coordinating the delivery... Also, my shed had to be 6" shorter to conform to my Home Owners Association... Tim got it right for me and I really appreciate his efforts. The shed was built EXACTLY as I ordered and what I wanted... Love the quality of the finished product!" (Bill Luch—Jefferson, MD)

(Tim Furman, Manager—Littletown, PA)





HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1115/1117/1119 FULTON ST.
Pgh PA 15233

OWNER:

NAME: BHI Capital, LLC.
 ADDRESS: 302 E. MAIN ST
CARNEGIE PA 15104
 PHONE: 412-953-3590
 EMAIL: ryandedes.bhicapital@gmail.com

STAFF USE ONLY:

DATE RECEIVED: 4/13/16
 LOT AND BLOCK NUMBER: 22-P-301-303
 WARD: 21st
 FEE PAID: yes
 DISTRICT: MANCHESTER

APPLICANT:

NAME: RYAN DEDES
 ADDRESS: same
 PHONE: same
 EMAIL: same

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

NEW WOOD WINDOW INSTALLATION; NEW WOOD FRONT DOORS; NEW RUBBER FLAT ROOFS.
EXTERIOR PAINTING; WOOD BOX GUTTER REPAIR;

SIGNATURES:

OWNER: [Signature] DATE: 3-29-16
 APPLICANT: [Signature] DATE: 3-29-16

Stedman St

Sheffield St

Hamlin St

W-North Ave

Fulton St

1115-1119 Fulton Street

© 2016 Google

Google earth

1993

Imagery Date: 9/23/2015 40°27'10.75" N 80°01'27.74" W elev 773 ft eye alt 1373 ft



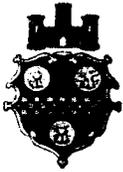




n St



Travis
Keller
A+F
2004



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
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DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 4/15/16

LOT AND BLOCK NUMBER: 7-B-313

WARD: 21st

FEE PAID: yes

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1445 W. NASH Ave

DISTRICT:

Manchester

OWNER:

NAME: Peter Barner

ADDRESS: _____

APPLICANT:

NAME: James r hay

ADDRESS: 1322 Junata St

PHONE: _____

PHONE: 412.491.0554

EMAIL: _____

EMAIL: jamesrhay@gmail.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

replace picture window rear of building with wood frame double hung

SIGNATURES:

OWNER: [Signature] DATE: 4/15/16

APPLICANT: [Signature] DATE: 4/15/16

N

W North Ave

1445 W. North Avenue

Faulsey Way

Chateau St

Page St

65

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Google earth

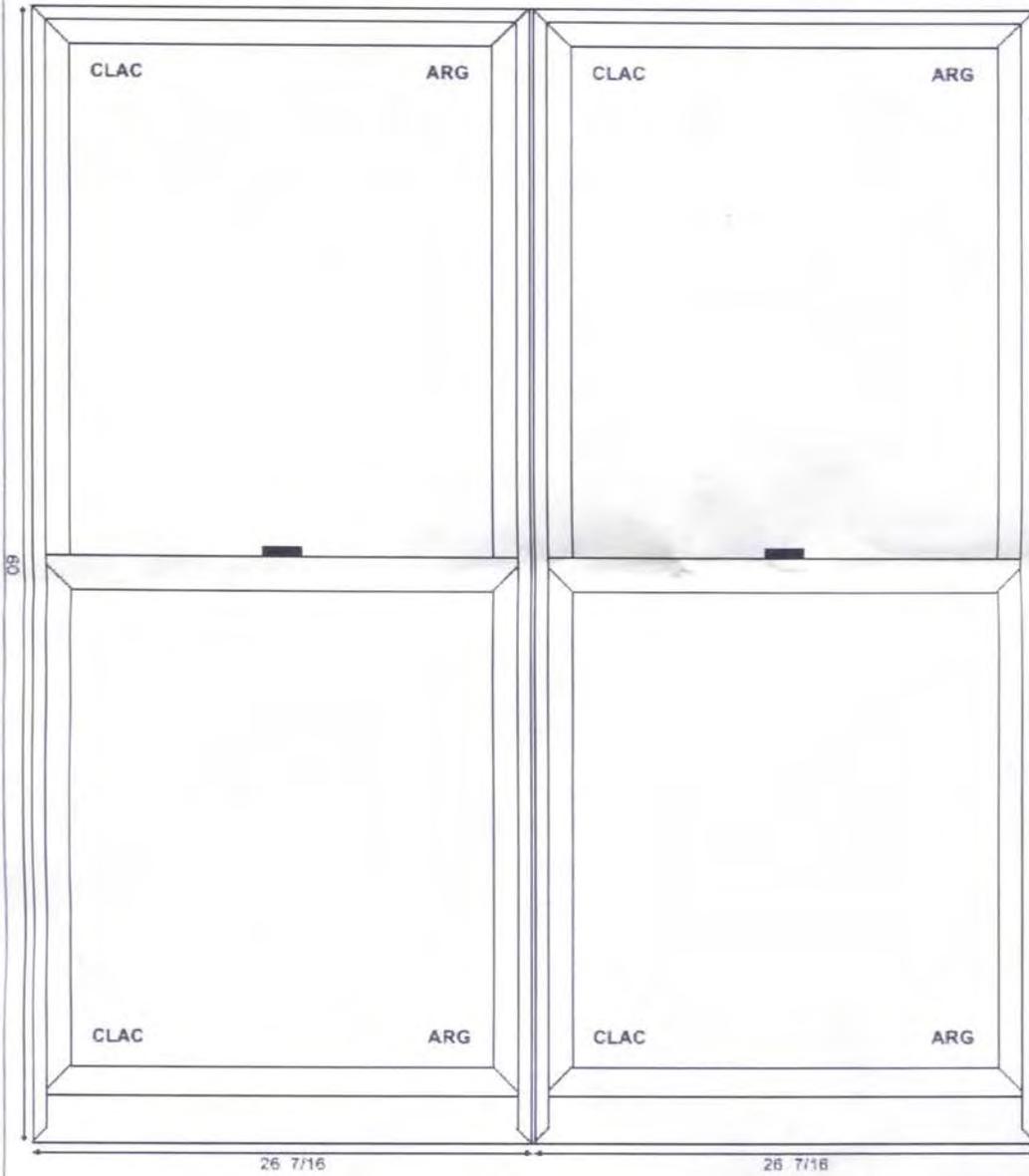
1993

Imagery Date: 9/23/2015 40°27'06.10" N -80°01'37.13" W elev 742 ft eye alt 1300 ft



Drawing

50078-1



53 W X 60 H



1155 Allegheny Avenue
Oakmont, PA 15139
PH: 412-826-1000
www.thermotwin.com

ORDER: 50078
ORDER DATE: 4/12/2016
EST. DELIVERY DATE: 5/3/2016
ORDER CONTACT: Coach

QUOTE

INVOICE INFORMATION

COACH HOUSE DESIGN
1322 JUNIATA ST
PITTSBURGH, PA 15233
PH: 4124910554

SHIPPING INFORMATION

COACH HOUSE DESIGN
1322 JUNIATA ST
PITTSBURGH, PA 15233
PH: 4124910554

SHIP VIA: TTI TRUCK

ORDER	ORDER DATE	PO NUMBER	CUSTOMER REF		TERMS
50078	4/12/2016	1445 W North Ave	Rear Kitchen		Deposit-Cash on Delivery
ITEM	DESCRIPTION	QTY	SIZE	PRICE	TOTAL
1	FMILLWORK D1=[All Wood Primed TWIN Double Hung], D2=[Low-E & Argon Glass, Full Screen]	1	53 W X 60 H	\$838.24	\$838.24
TOTALS: 1				SUBTOTAL: \$838.24 PA STATE SALES TAX 7%: \$58.68	\$896.92

COMMENT:

Supply only

Add \$ 750 for ~~~~ Labor
Basic*

*would have to discuss installation
and trim.*

Photos added from Google
Streetview by staff showing
original conditions from 2014
and 2007

Chateau St
Pittsburgh, Pennsylvania



Street View - Jun 2014



< > Hide imagery





Currently shown: Aug 2007

2007 2014





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
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FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

223 Fourth Avenue
Pittsburgh, PA 15222

OWNER:

NAME: Bill Benter Orthos, Inc.
 ADDRESS: 223 Fourth Avenue
11th Floor
 PHONE: 412) 576-4598
 EMAIL: bill@avenuefour.com

STAFF USE ONLY:

DATE RECEIVED: 4/14/16
 LOT AND BLOCK NUMBER: 1-H-181
 WARD: 1st
 FEE PAID: 450

DISTRICT:

Market Square

APPLICANT:

NAME: Robert S. Pfaffmann, AIA, AICP
 ADDRESS: 223 Fourth Ave
Pittsburgh, PA 15222
 PHONE: 412.471.2470
 EMAIL: rob@pfaffmann.com

REQUIRED ATTACHMENTS:

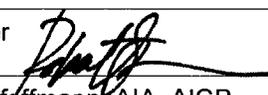
- Drawings Photographs Renderings Site Plan Other (Samples at HRC)

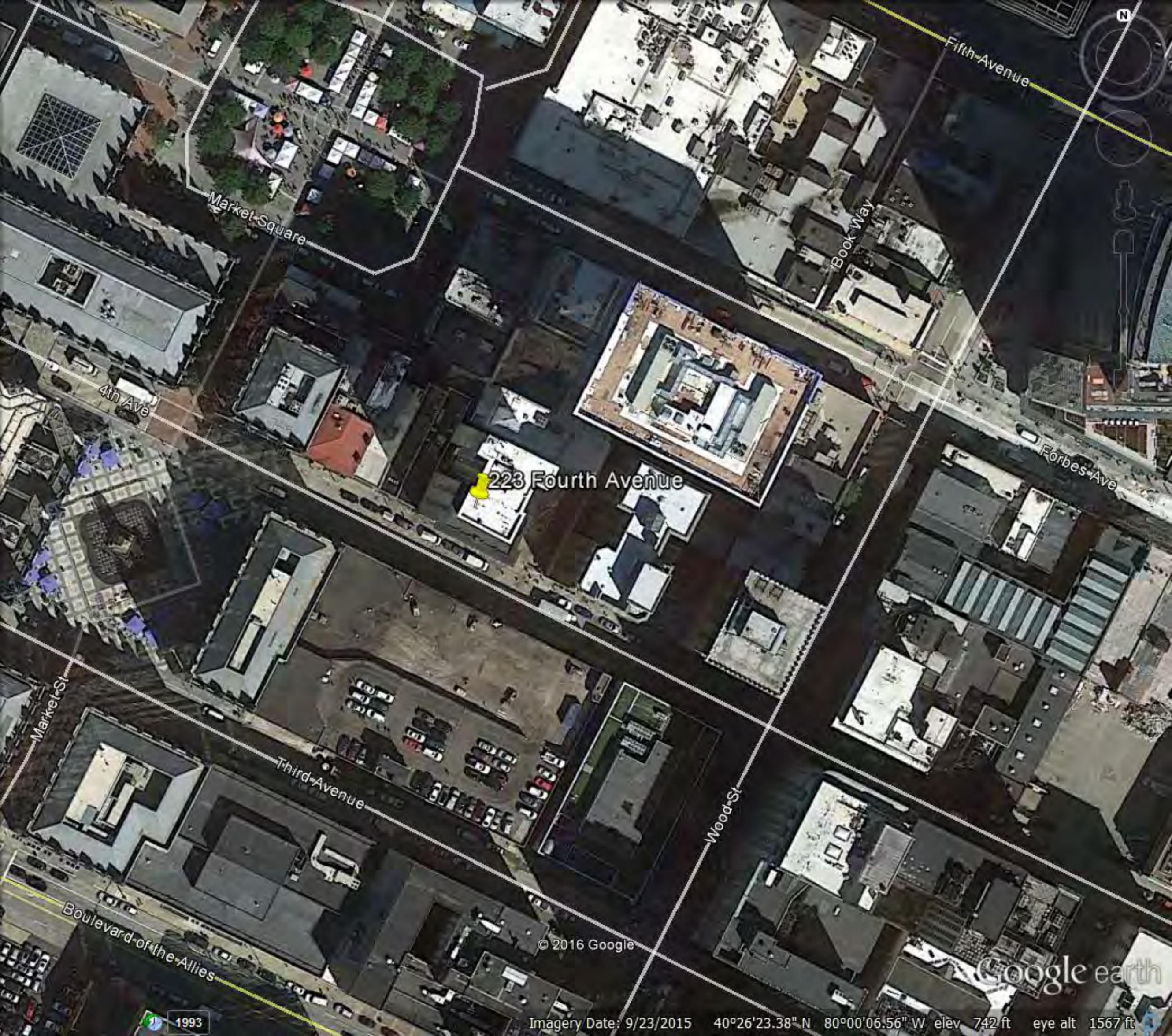
DETAILED DESCRIPTION OF PROPOSED PROJECT:

1. Proposed revision to the HRC approval for roof top deck, parapet for 19th Floor Alterations
2. Submission of window replacements for 17,18,19 as well as building standard for future window replacements

SIGNATURES:

60 feet long primary facade x \$10 per linear foot= \$600

OWNER: William Benter DATE: April 4, 2016
 APPLICANT:  DATE: April 4, 2016
Robert S. Pfaffmann, AIA, AICP



Market-Square

Fifth-Avenue

Book Way

4th Ave

223 Fourth Avenue

Forbes-Ave

Market-St

Third-Avenue

Wood-St

Boulevard-of-the-Allies

© 2016 Google

Google earth

1993

Imagery Date: 9/23/2015 40°26'23.38" N 80°00'06.56" W elev 742 ft eye alt 1567 ft



Exterior PVDF Alum Clad
Black Green



Custom Brick Mold to match original

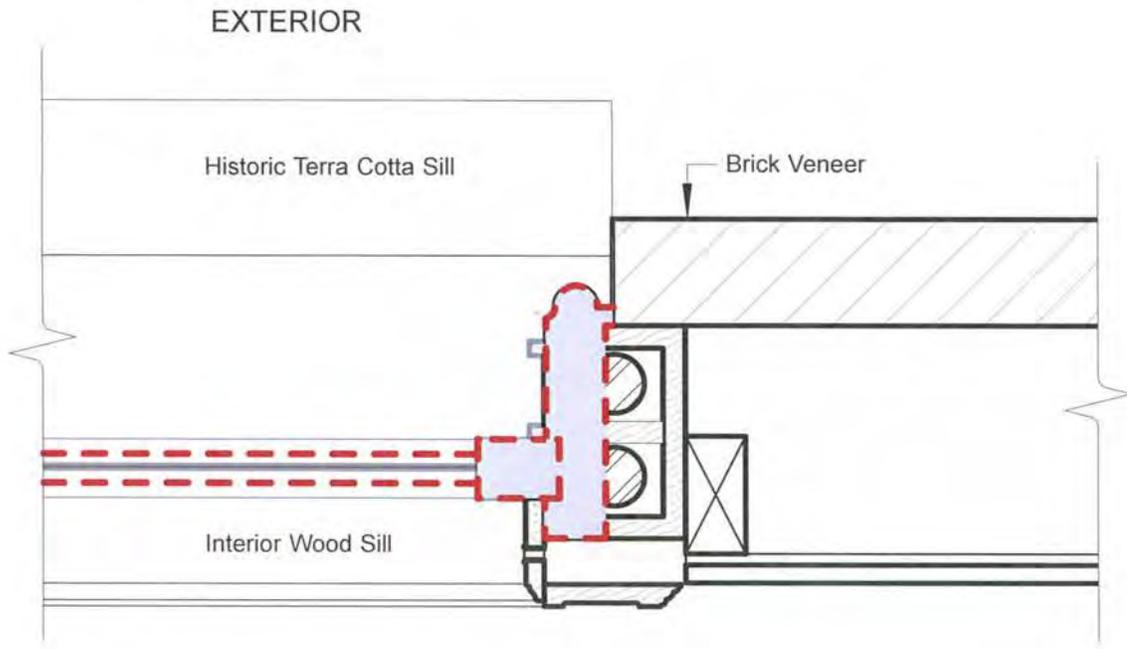


Interior Mahogany (17-19 flrs)

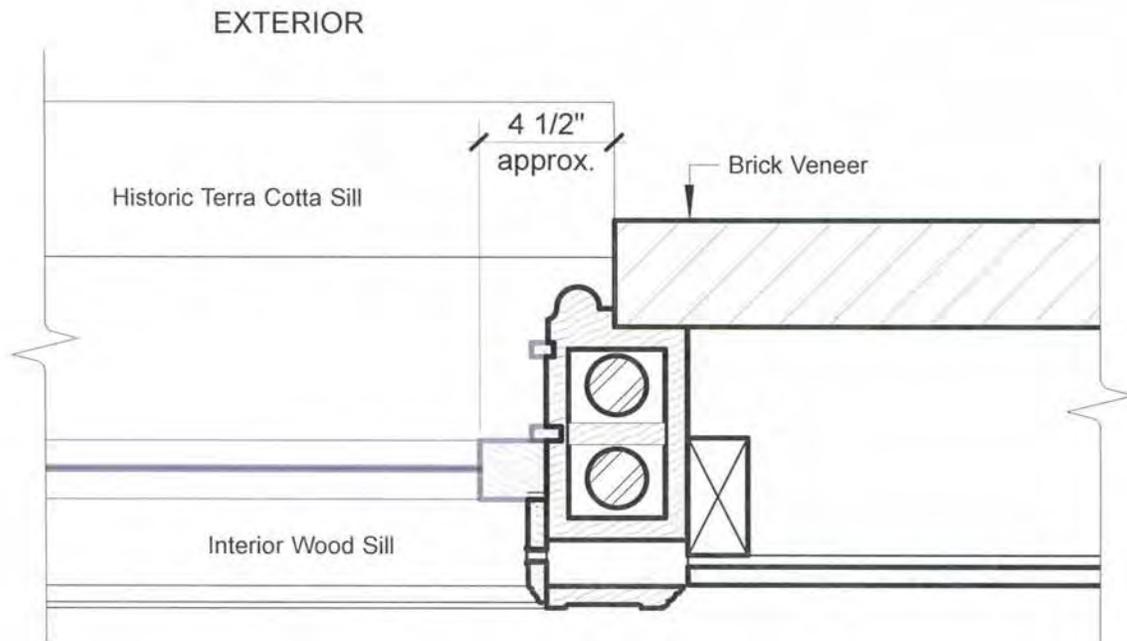
Kolbe & Kolbe Basis of Design for High Rise application

Ultra Series Majesta® Double Hungs

- 2-1/4" thick sash
- Class 5 balance system
- Wood-wrapped jambliner closure on interior
- CW-PG65 rating for Fluoropolymer Exterior Finish
- 70% PVDF fluoropolymer exterior finish
- Meets performance requirements of AAMA 2605-13
- Maintains film integrity, retains the color and gloss
- 30-year warranty
- Wood-wrapped jambliner closure on interior
- Standard - Double Pane Glass
- Double pane glass* achieves energy efficiency across various climate zones
- Double pane insulating glass unit
- LoE²-270 (for optional LoE coatings, see Glass Terminology)
- Argon gas (for exceptions, see Glass Terminology)
- Thermo-Edge, stainless steel spacer bars



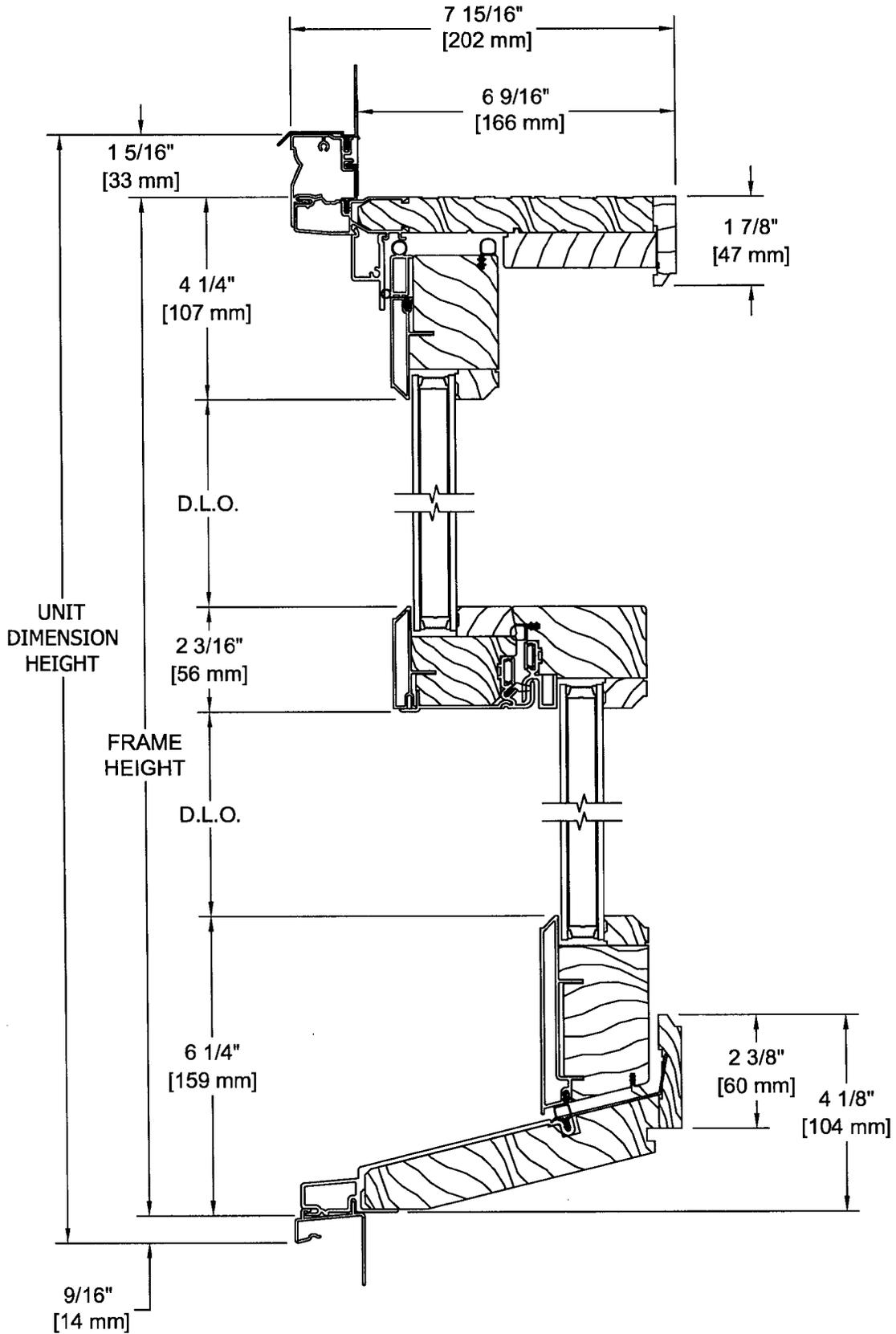
2 Modified Jamb Option
Scale: 2" = 1'-0"



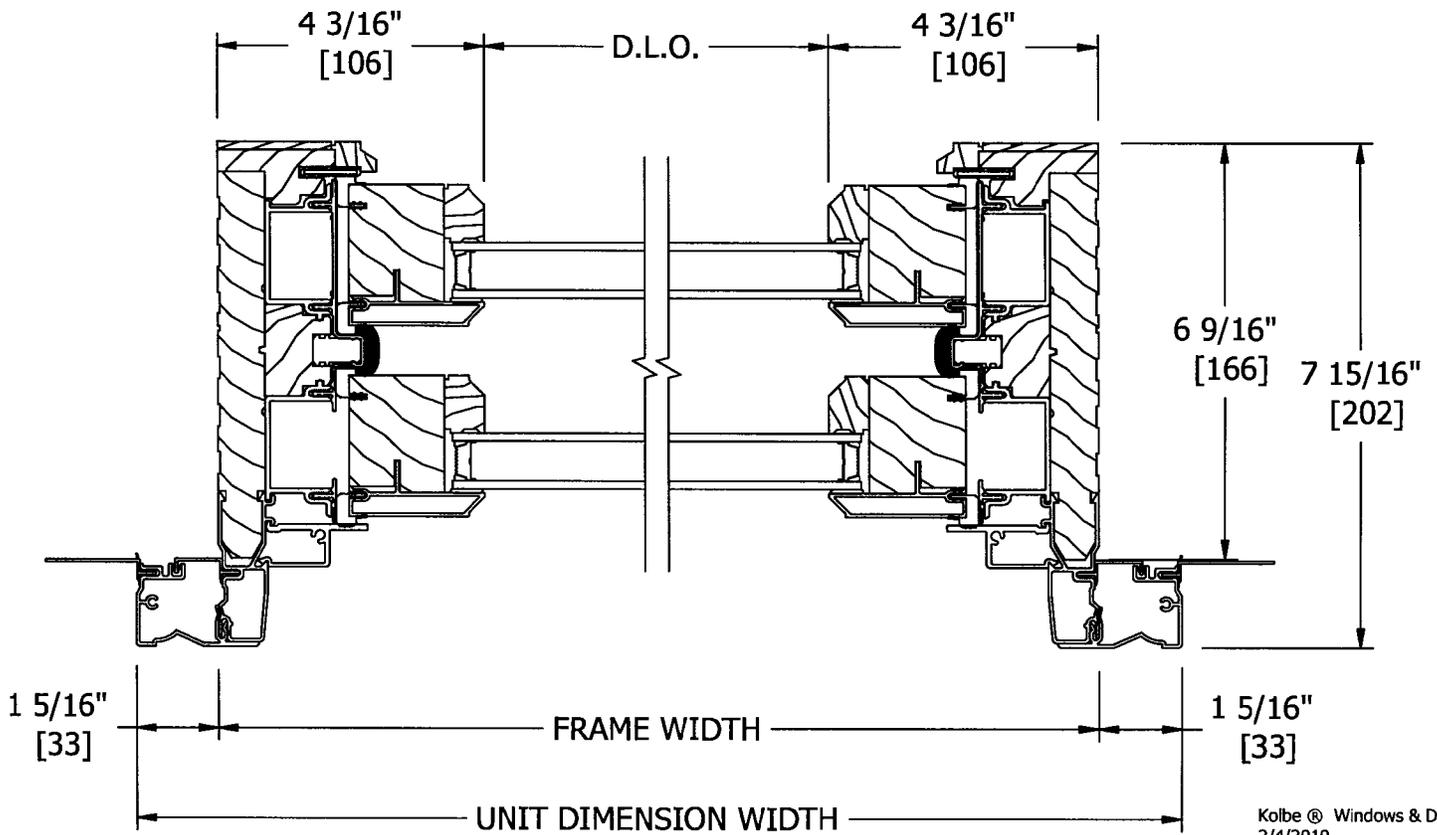
1 Historic Jamb (approximate)
Scale: 2" = 1'-0"

ULTRA SERIES
 Majesta Double Hung
 Active Unit with 6-9/16" Jamb
 7/8" Glass
 1 15/16" Brickmold
 Traditional Sill Nosing
 Vertical Cross Section

Kolbe® windows & doors
 10/14/14



ULTRA SERIES
 Majesta Double Hung - 7/8" Glass
 With 1 15/16" Brickmould
 Horizontal Cross Section





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 4/15/16

LOT AND BLOCK NUMBER: 23-N-66

WARD: 2nd

FEE PAID: yes

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

506 W North Avenue
Pittsburgh, PA 15212

Mexican War Streets

OWNER:

NAME: West North Development Group

ADDRESS: 506 West North Avenue

Pittsburgh, PA 15212

PHONE: _____

EMAIL: _____

APPLICANT:

NAME: John D. Francona, Architect

ADDRESS: 1234 Resaca Place

Pittsburgh, PA 15212

PHONE: 412-596-3477

EMAIL: john@johnfrancona.com

REQUIRED ATTACHMENTS:

Drawings Photographs Renderings Site Plan Other

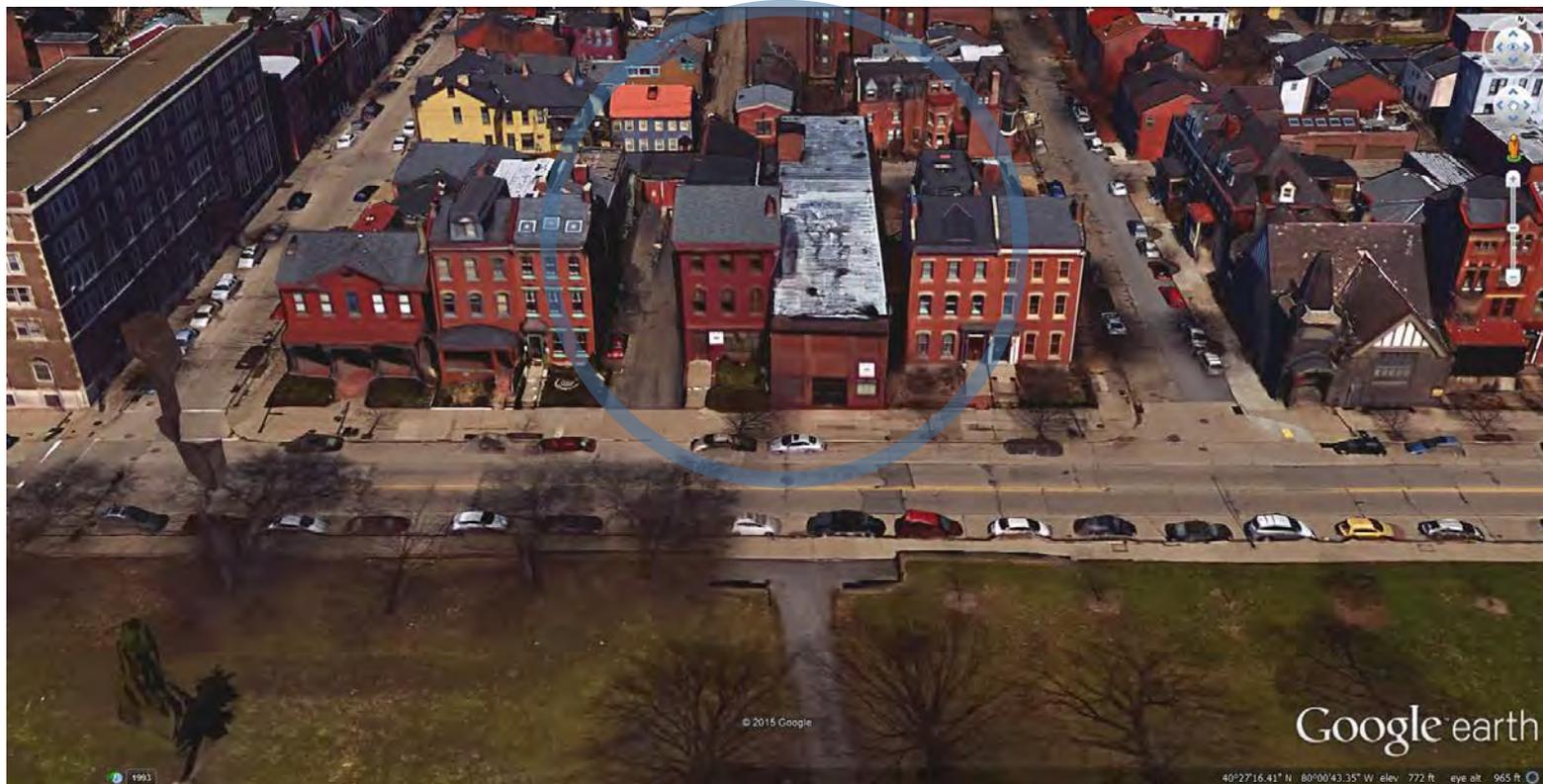
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Modifications to the previously approved Certificate of Appropriateness to substitute siding (Hardie Board) in place of brick on the penthouses and vertical expansion; add additional siding to the north and south elevations to cover existing concrete masonry; substitute shingles in place of standing seam roofing on the north elevation; and adding two additional garage doors on the north elevation.

OWNER: _____ DATE: _____

APPLICANT: John D. Francona DATE: 4.15.2016

506 – 508 WEST NORTH AVENUE



BIRDSEYE VIEW FROM ALLEGHENY COMMONS



EXISTING 506-508 WEST NORTH AVENUE



EXISTING EAST ELEVATION



NORTHEAST CORNER FROM ELOISE WAY



NORTH ELEVATION FROM DAY WAY



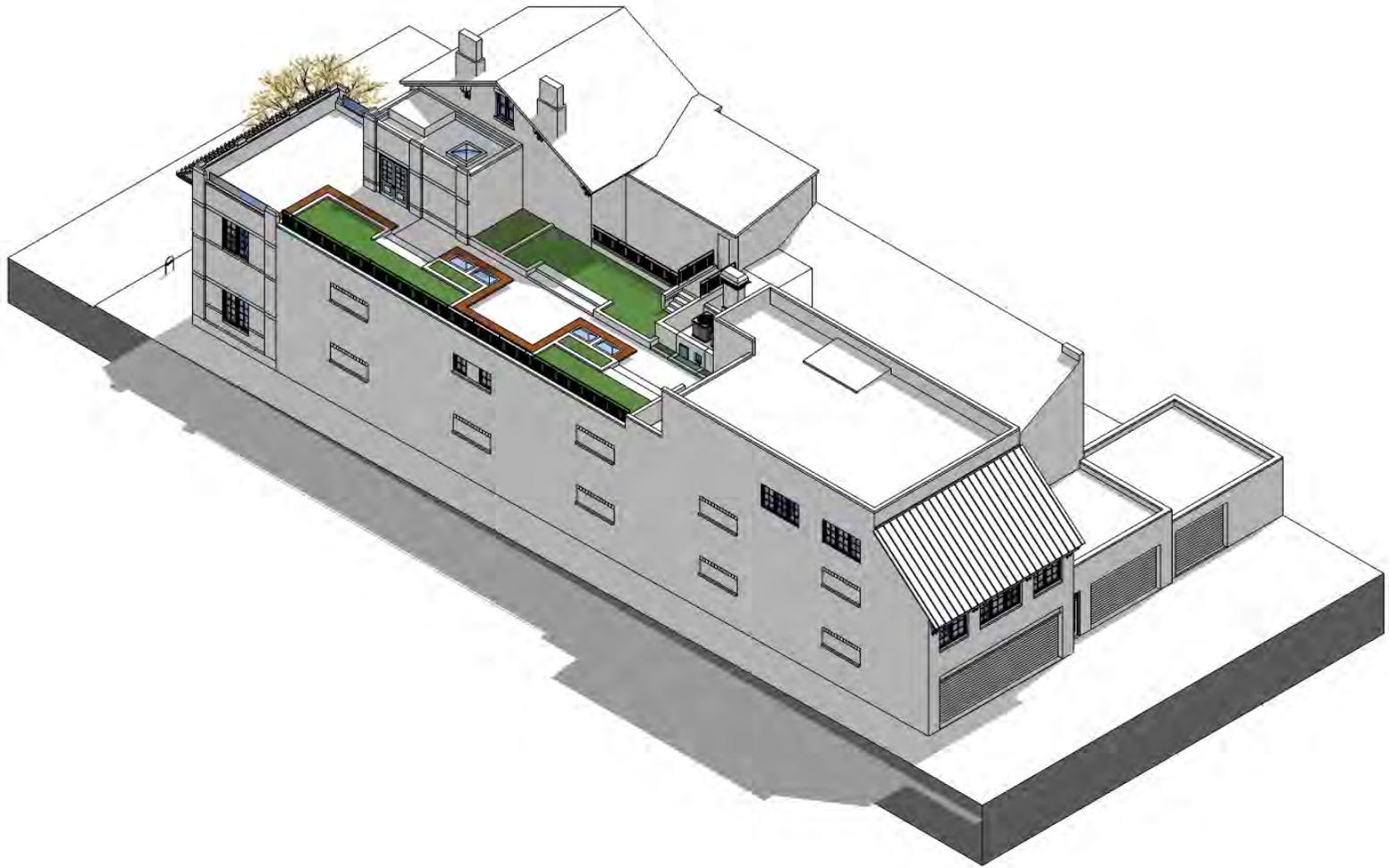
NORTH ELEVATION FROM ELOISE WAY



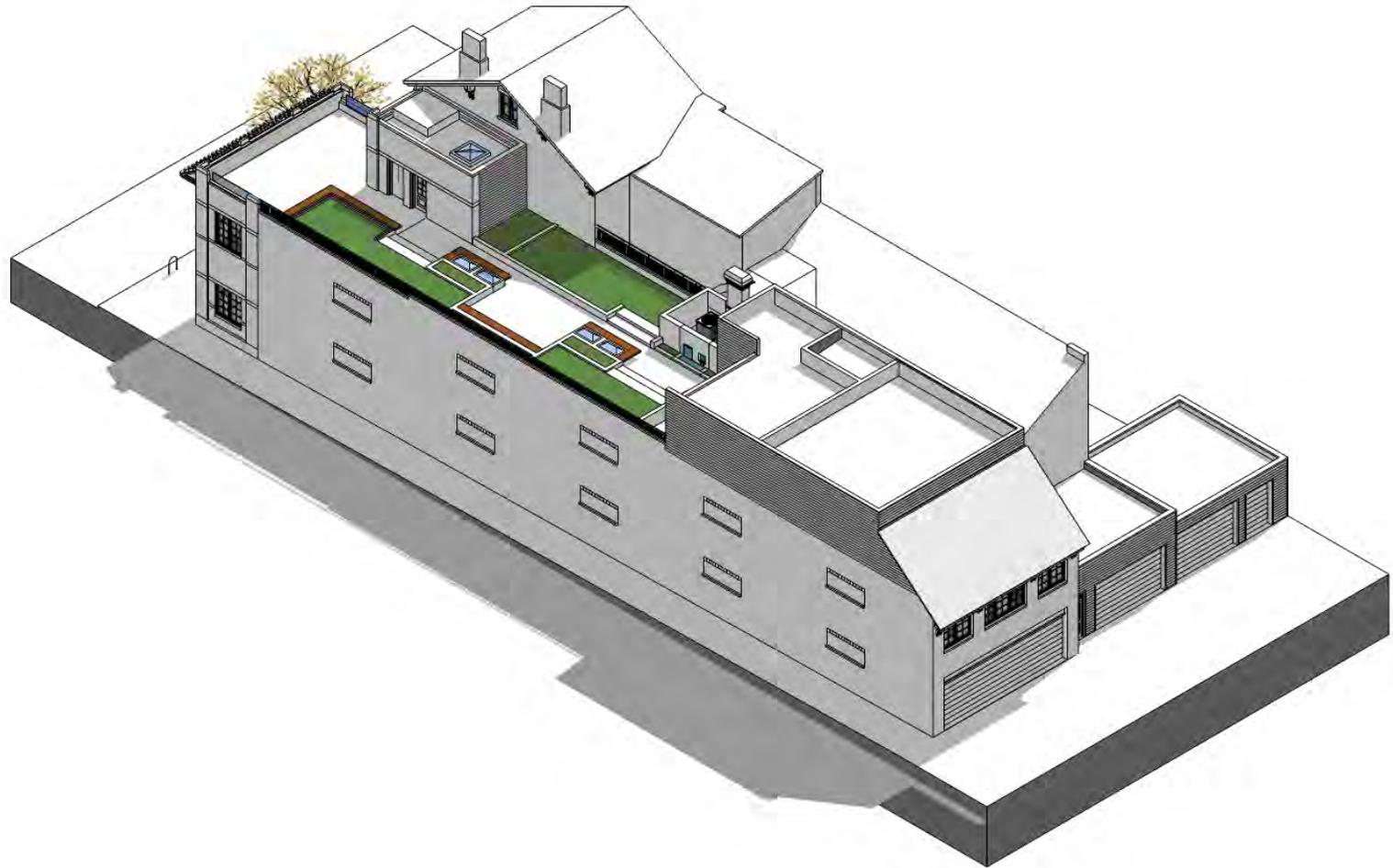
BIRDSEYE FROM SOUTH EAST



PROPOSED



BIRDSEYE FROM NORTH EAST



PROPOSED



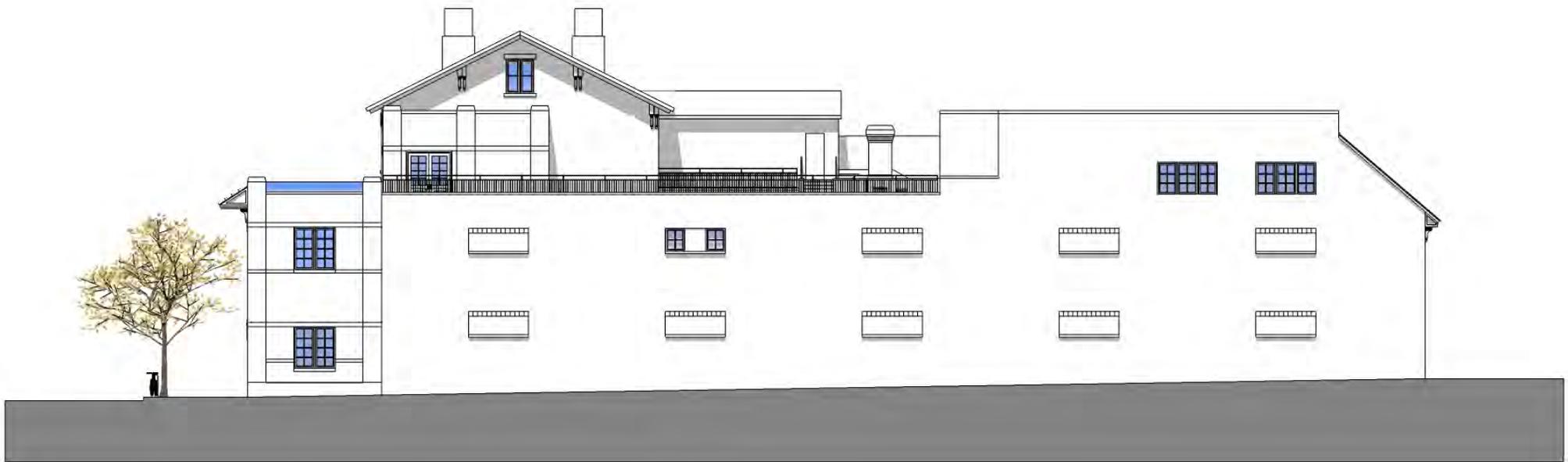
SOUTH ELEVATION



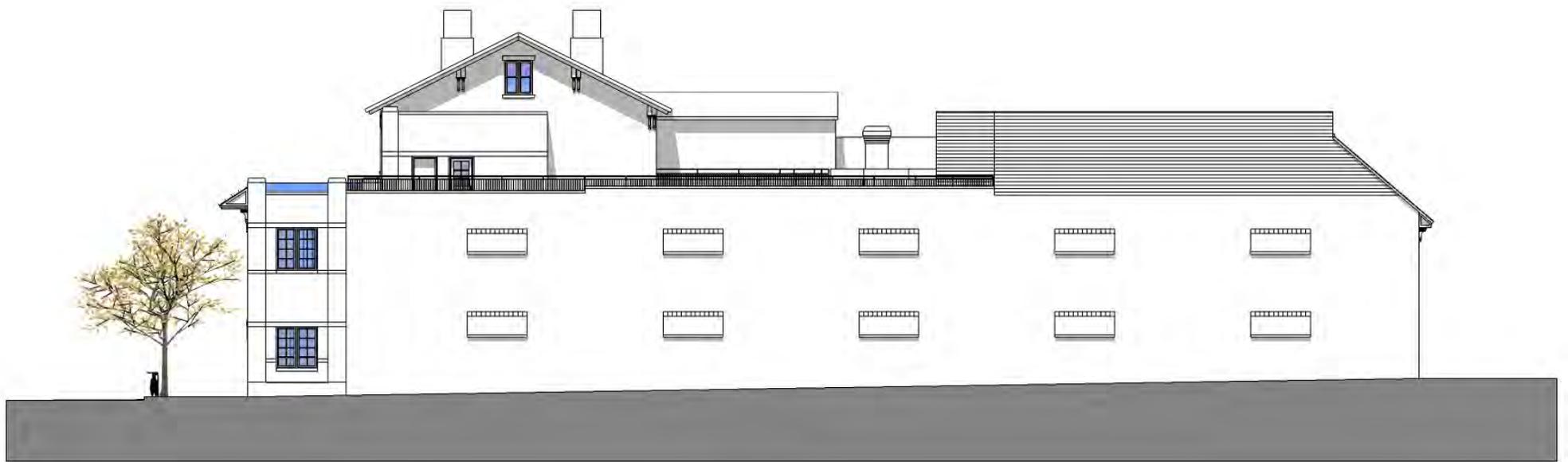
NORTH ELEVATION



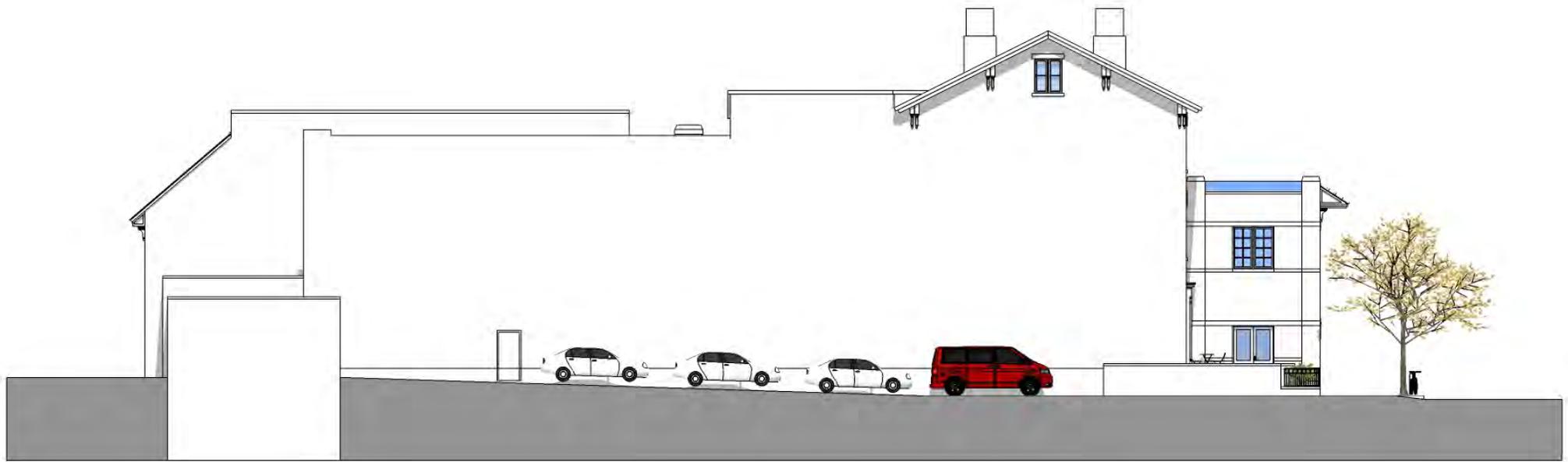
PROPOSED



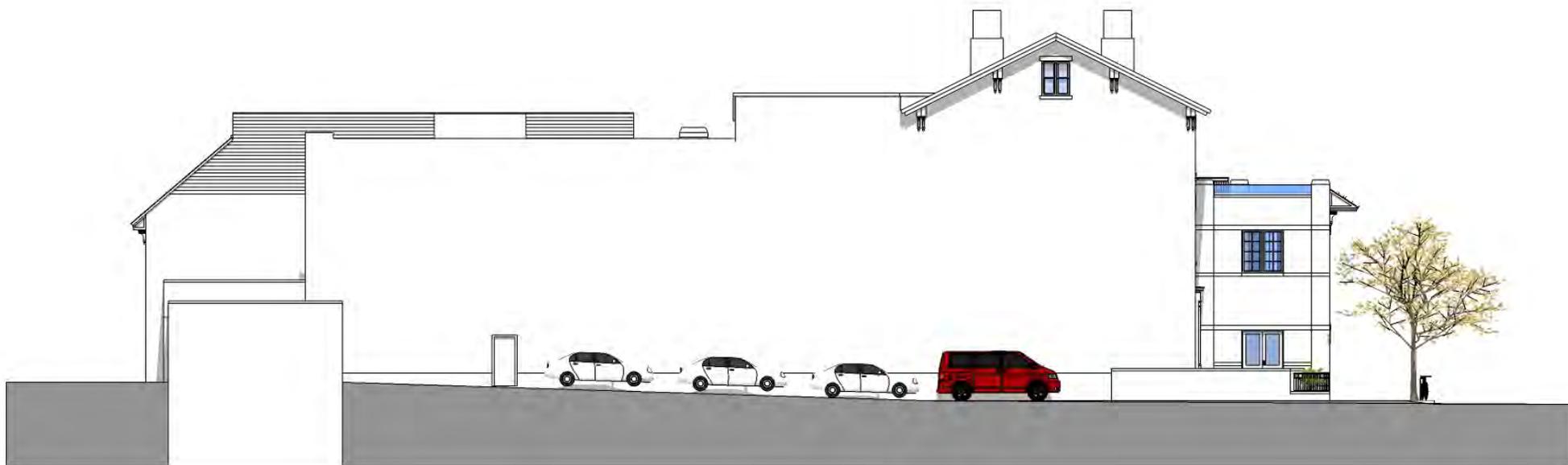
EAST ELEVATION



PROPOSED



WEST ELEVATION



PROPOSED



VIEW FROM SOUTH EAST



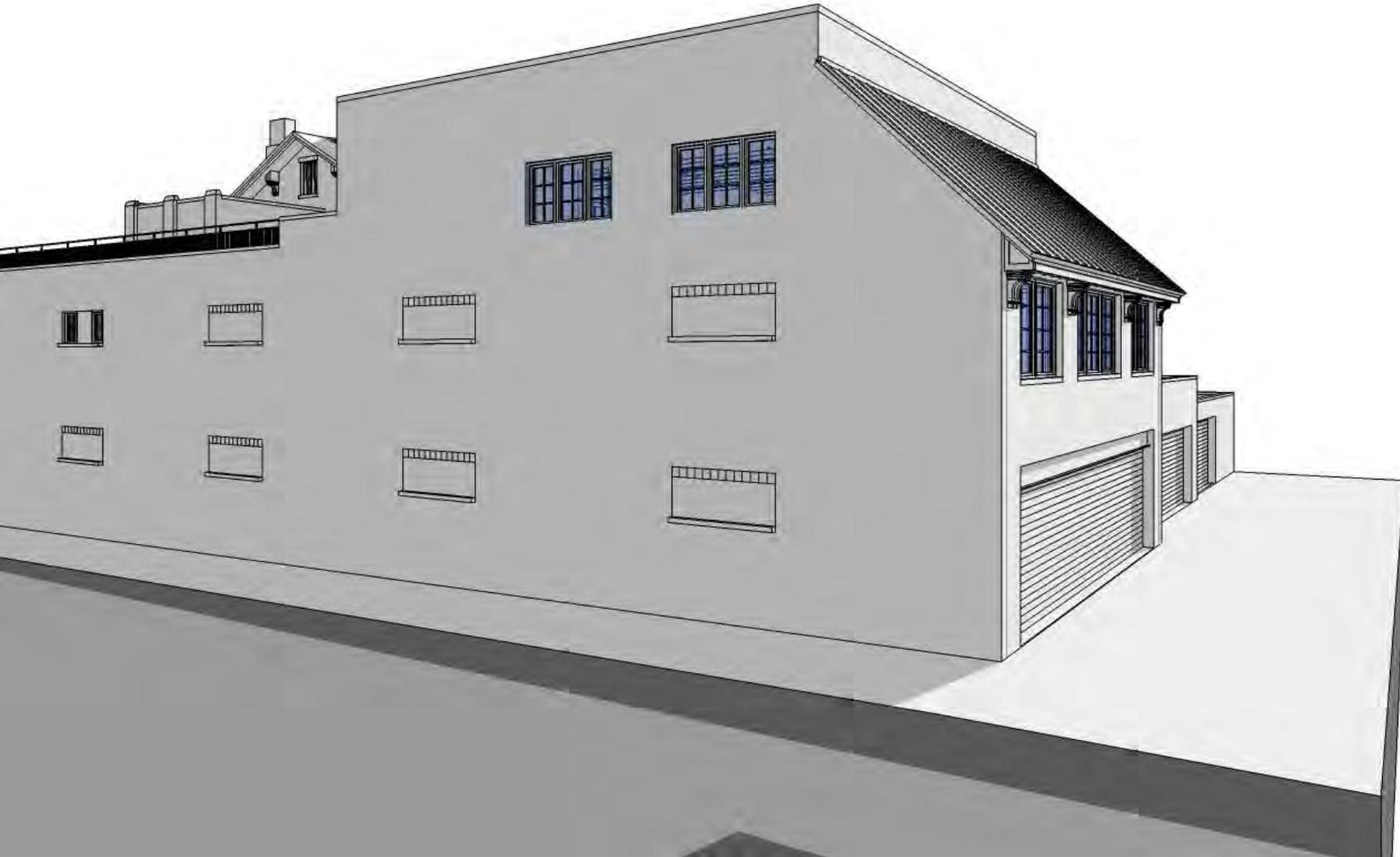
PROPOSED



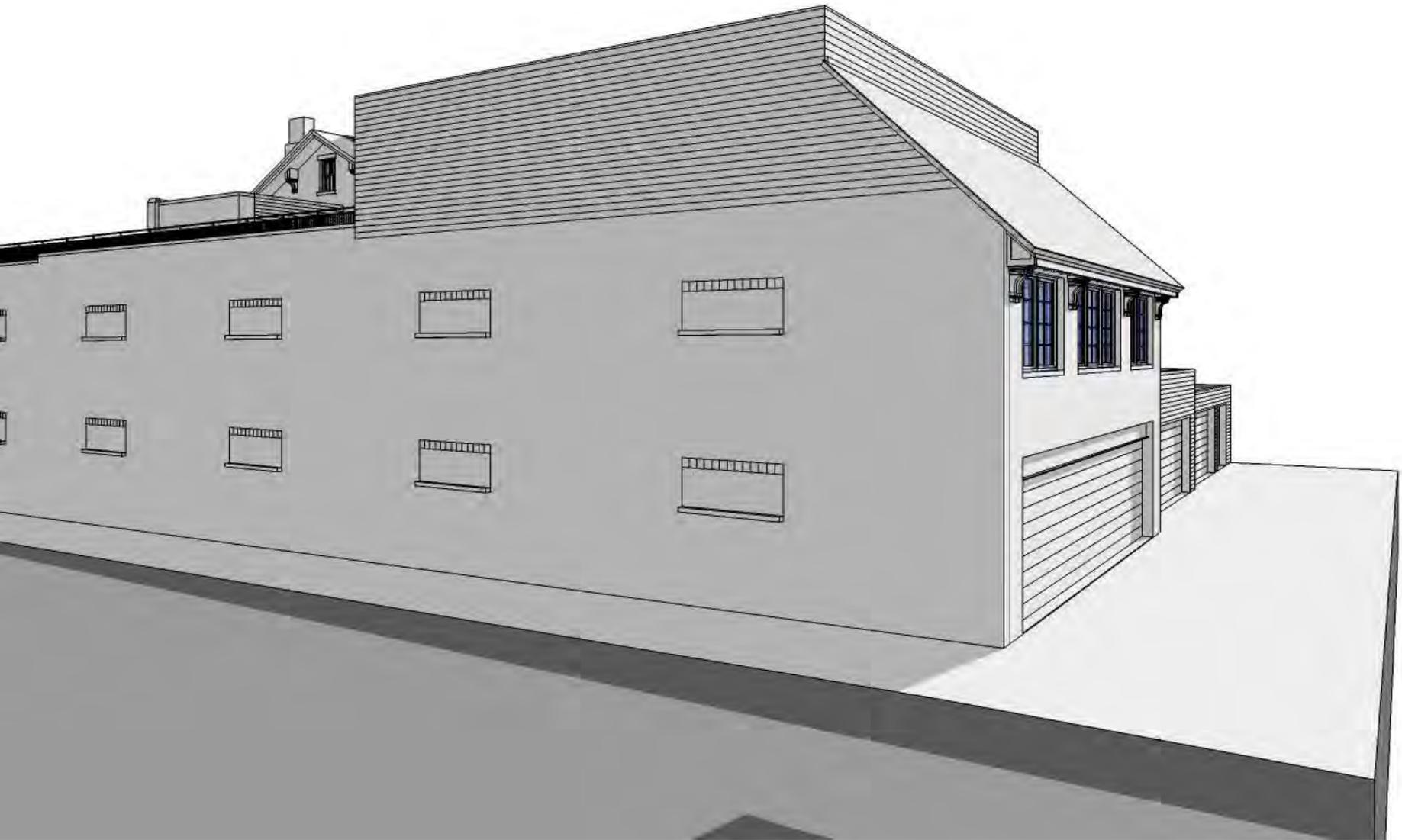
VIEW FROM NORTH WEST



PROPOSED



VIEW FROM NORTH WEST



PROPOSED



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 4/15/16

LOT AND BLOCK NUMBER: 23-N-70

WARD: 22nd

FEE PAID: yes

DISTRICT: Mexican War Streets

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

512 W. NORTH AVE
Pgh Pa 15212

OWNER:

NAME: Dennis Vadzak

ADDRESS: 512 W. North Ave
Pgh Pa 15212

PHONE: 412 - 512 - 5628

EMAIL: Dennis Vadzak @ Gmail.com

APPLICANT:

NAME: Same

ADDRESS: _____

PHONE: _____

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

OWNER: [Signature]

DATE: April 17, 2016

APPLICANT: _____

DATE: _____

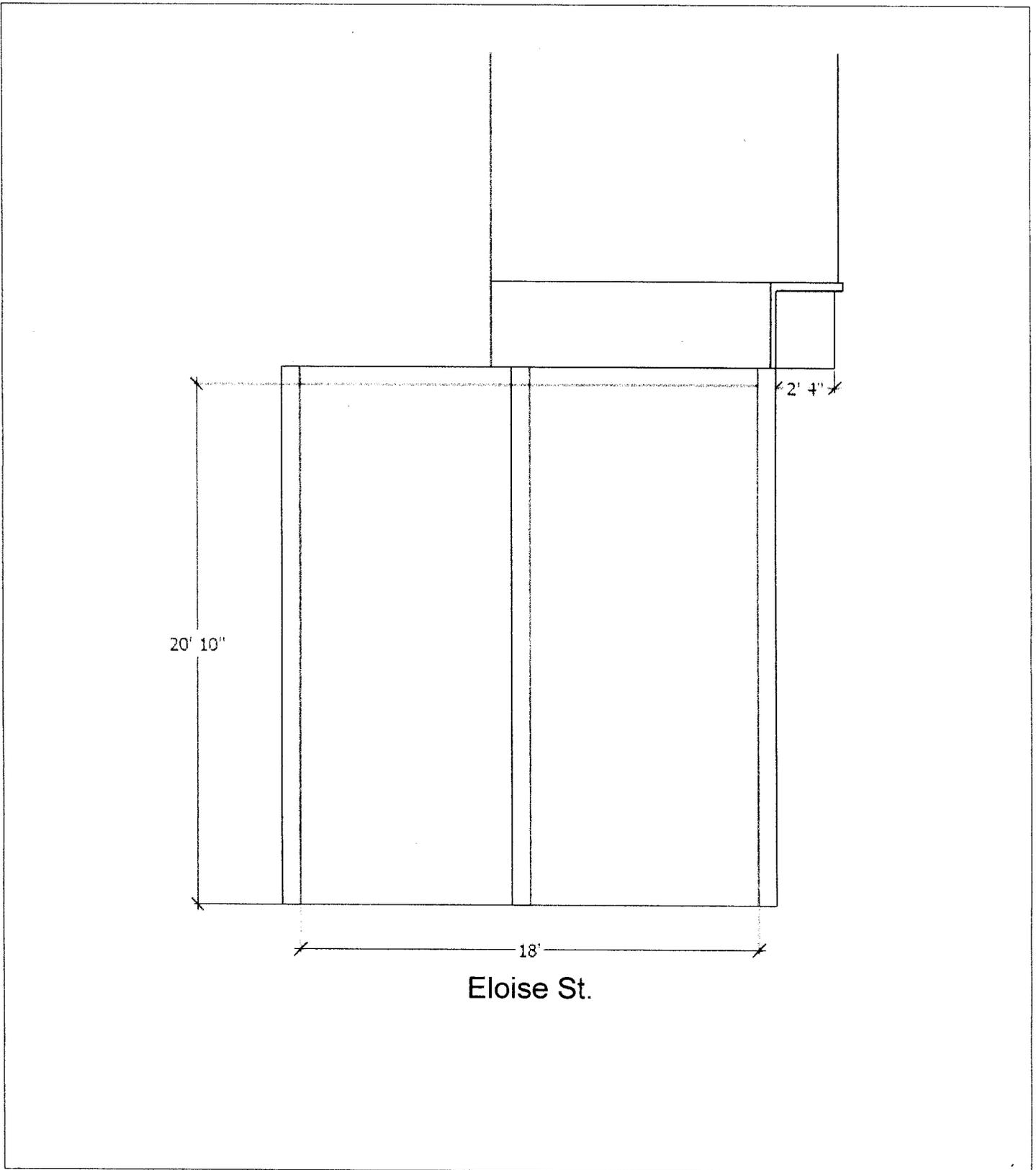


512 W North Ave

Google earth

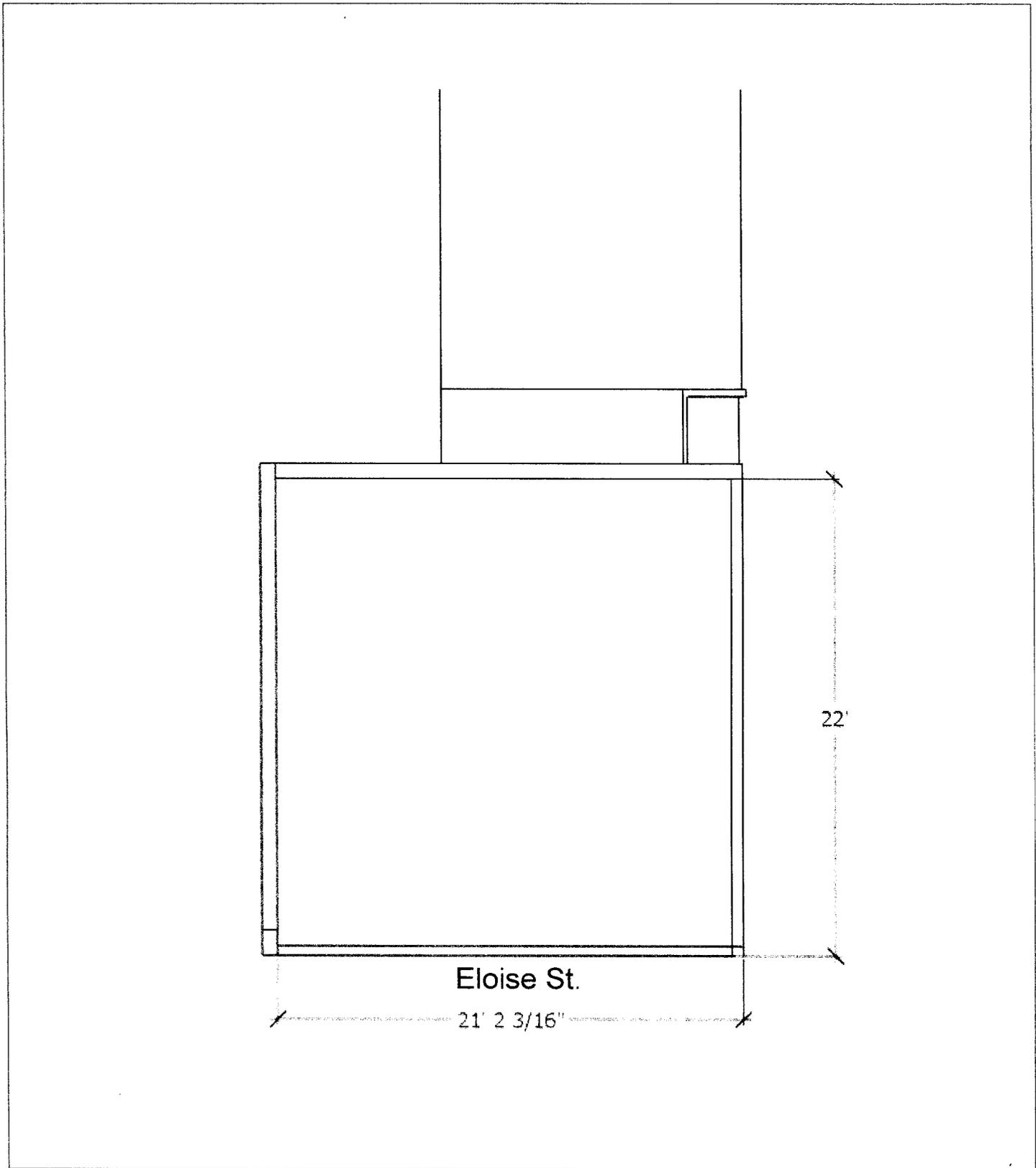
feet
meters





512 W. North Ave Garage
Existing Conditions

McNABB DESIGN BUILD
mcnabbdesignbuild@gmail.com
PA120481 (267) 571-5243



512 W. North Ave Garage
Proposed Footprint

McNABB DESIGN BUILD
mcnabbdesignbuild@gmail.com
PA120481 (267) 571-5243



512 W. North



512 W. NORTH



512 W. North



Day Way



Day way



Day Way



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 4/15/16

LOT AND BLOCK NUMBER: 80-P-68

WARD: 9th

FEE PAID: YED

DISTRICT:

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

4412-4414 4416 Plummer Street

Pittsburgh PA 15201

Central Lawrenceville

OWNER:

NAME: Chan Real Estate LP

ADDRESS: 3340 Smallman Street

Pittsburgh PA 15201

PHONE: 412-687-2308

EMAIL: _____

APPLICANT:

NAME: King Ng

ADDRESS: 3340 Smallman Street

Pittsburgh PA 15201

PHONE: 412-687-2308

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

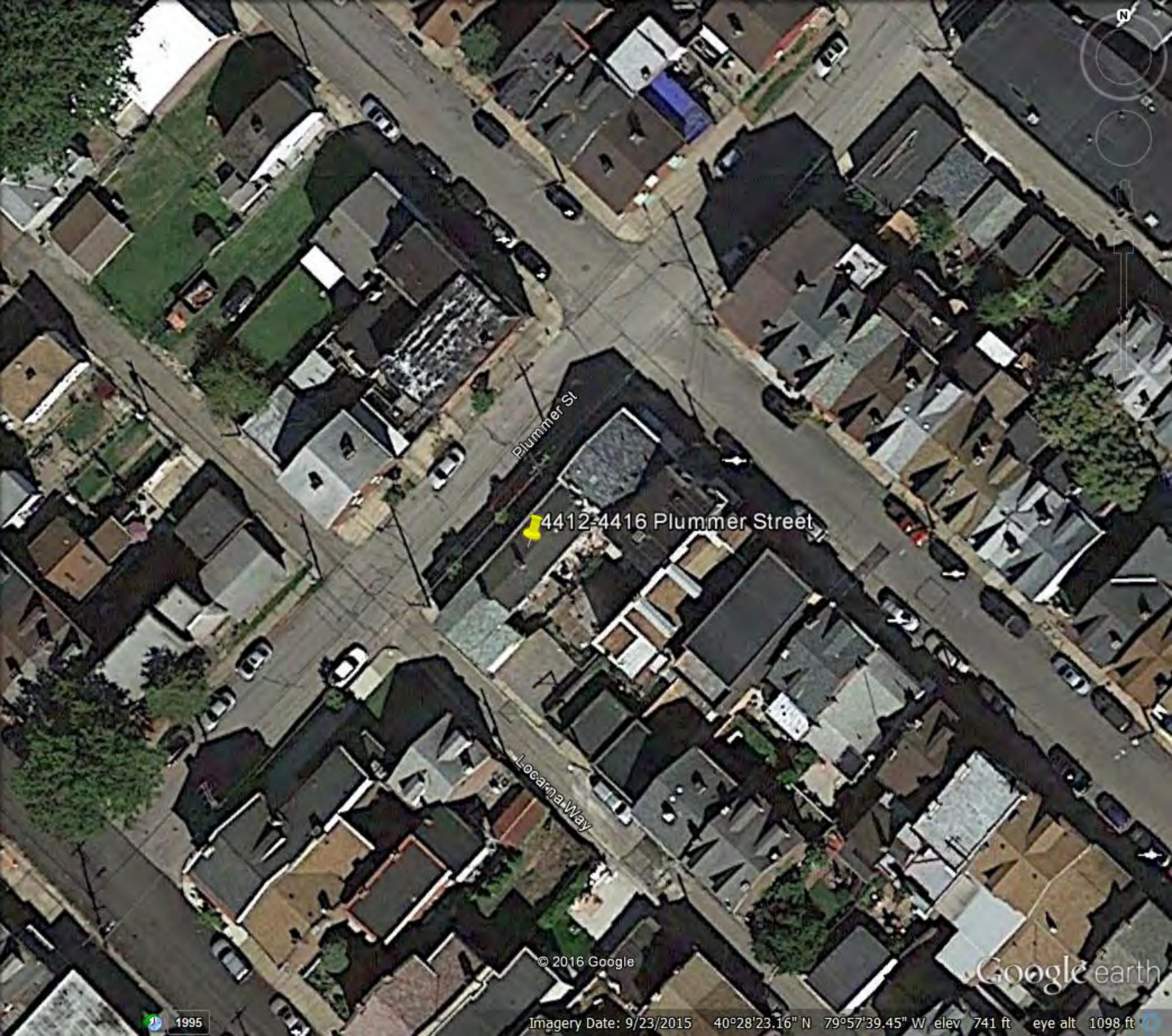
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Remove existing structures to 42 inches below finished grade, infill existing foundation with clean engineered fill. Construct new three story market rate single homes. Homes will be SOG construction with either masonry or cement lap siding which ever is selected by the committee with white asphalt shingles. Homes will be built to energy star standards. Facade will be similar to existing with respect to window and door sizes and number of openings. Overhead doors will have a carriage door appearance to mimic early style doors. Landscaping to be completed as required by City.

SIGNATURES:

OWNER: [Signature] DATE: 4/8/16

APPLICANT: [Signature] DATE: 4/8/16



Plummer St

4412-4416 Plummer Street

Locarna Way

© 2016 Google

Google earth

1995

Imagery Date: 9/23/2015 40°28'23.16" N 79°57'39.45" W elev 741 ft eye alt 1098 ft

PHOTOGRAPHS



PHOTOGRAPH #1

Front walls of 4416 (at left), 4414, & 4412 Plummer Street, Lawrenceville. Note the filled-in wall (white panel) at the right of the entry to 4416. (See Photographs #3, #5 & #6.)



PHOTOGRAPH #2

Rear walls of 4416 & 4414 Plummer Street.

PHOTOGRAPHS



PHOTOGRAPH #3

Looking to the right (right when looking at the units from the street) along the rear walls of 4416 & 4414 Plummer Street. Note the open 1st floor space under the right portion of 4416.



PHOTOGRAPH #4

The left end of the rear wall of 4416 at the adjacent building.

PHOTOGRAPHS



PHOTOGRAPH #5
The open 1st floor space under the right portion of 4416.
Photograph #23 shows the room above this space.



PHOTOGRAPH #6
Exposed stones at the top of the right basement wall of 4416. Note that the stones are severely weathered. There is no basement under the open space.

PHOTOGRAPHS



PHOTOGRAPH #7
The base of the rear wall of 4416.



PHOTOGRAPH #8
The base of the rear wall of 4416.

PHOTOGRAPHS



PHOTOGRAPH #9

Looking to the left along the rear walls of 4412, 4414 & 4416.



PHOTOGRAPH #10

The rear walls of 4412, 4414 & 4416. Note that the brick chimneys on all three (3) row house units are leaning (out-of-plumb). Note that the rear portion of 4412, with the shed roof, is part of the original row house. There is no basement under the rear portion of the unit.

PHOTOGRAPHS



PHOTOGRAPH #11
The right end of 4412 Plummer Street.



PHOTOGRAPH #12
Exposed clapboard siding behind the present asphalt siding.

PHOTOGRAPHS



PHOTOGRAPH #13 (4416)
Looking to the rear from the front entry.
There are only two (2) rooms on the 1st floor.



PHOTOGRAPH #14 (4416)
Looking to the left in the front 1st floor room.

PHOTOGRAPHS



PHOTOGRAPH #15 (4416)
**Water damage and possible local structural damage
along the left wall of the front 1st floor room.**



PHOTOGRAPH #16 (4416)
**Looking at the left wall of the rear 1st floor room.
The walls and ceiling in this area are structurally damaged.**

PHOTOGRAPHS



PHOTOGRAPH #17 (4416)
Looking up at the ceiling of the area shown in Photograph #16.



PHOTOGRAPH #18 (4416)
The left and rear walls of the rear 1st floor room.
The existing wall studs are in poor structural condition.

PHOTOGRAPHS



PHOTOGRAPH #19 (4416)
The stairs to the 2nd floor. The room at the left (in the photograph) is above the open 1st floor space.



PHOTOGRAPH #20 (4416)
Structural damage to the left wall and possibly the roof structure in the 2nd floor front room. See Photograph #15 for 1st floor damage below this area.

PHOTOGRAPHS



PHOTOGRAPH #21 (4416)
Close-up of wall damage shown in Photograph #20.



PHOTOGRAPH #22 (4416)
**Structural damage to the walls and roof above the damaged
1st floor area shown in Photographs #16, #17 & #18.**

PHOTOGRAPHS



PHOTOGRAPH #23 (4416)
Looking to the front in the 2nd floor room above the open 1st floor space.
See Photographs #3, #5 & #6.



PHOTOGRAPH #24 (4416)
Looking at the right front corner of the stone walls of the basement.

PHOTOGRAPHS



PHOTOGRAPH #25 (4416)
The right front corner of the stone walls of the basement.

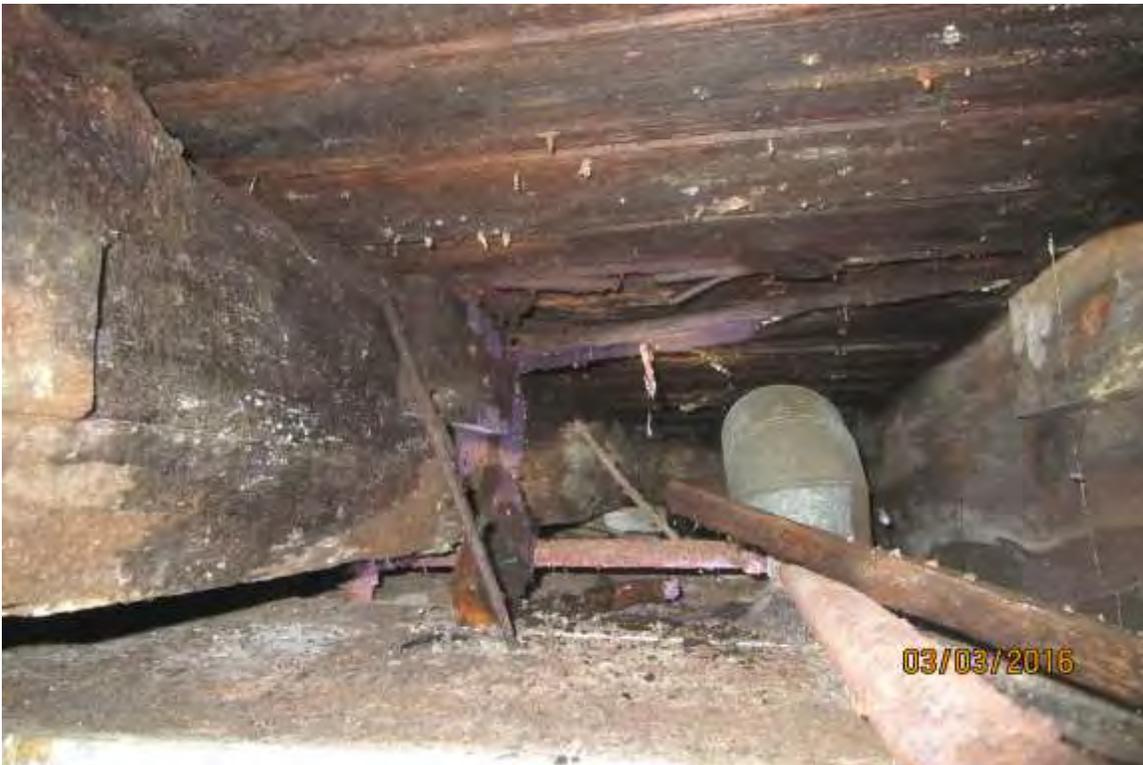


PHOTOGRAPH #26 (4416)
A toilet located at the left end of the front stone basement wall.

PHOTOGRAPHS



PHOTOGRAPH #27 (4416)
Looking at floor joists under the 1st floor spanning to the front stone basement wall.



PHOTOGRAPH #28 (4416)
Looking to the rear between wood floor joists under the 1st floor.

PHOTOGRAPHS



PHOTOGRAPH #29 (4414)
The access stairs to the 2nd floor of 4414.



PHOTOGRAPH #30 (4414)
Diagonal cracking in the wall plaster at the top of the access stairs.

PHOTOGRAPHS



PHOTOGRAPH #31 (4414)
A front 2nd floor room.



PHOTOGRAPH #32 (4414)
A front 2nd floor room.

PHOTOGRAPHS



PHOTOGRAPH #33 (4414)
The stone basement walls at the right front corner of the basement.



PHOTOGRAPH #34 (4414)
A toilet at the left end of the front basement wall.

PHOTOGRAPHS



PHOTOGRAPH #35 (4414)
The rear stone basement wall.



PHOTOGRAPH #36 (4414)
Looking at the left rear corner of the basement.

PHOTOGRAPHS



PHOTOGRAPH #37 (4414)
The left rear corner of the basement.



PHOTOGRAPH #38 (4414)
Looking to the rear between floor joists under the 1st floor.

PHOTOGRAPHS



PHOTOGRAPH #39 (4412)
Looking to the left on the 1st floor of 4412.



PHOTOGRAPH #40 (4412)
Looking at the rear wall in the kitchen.

PHOTOGRAPHS



PHOTOGRAPH #41 (4412)
Access stairs to the 2nd floor.



PHOTOGRAPH #42 (4412)
Looking down into the partially renovated 2nd floor room along
the rear wall of 4412. See Photographs #9, #10 & #11.

PHOTOGRAPHS



PHOTOGRAPH #43 (4412)
**Looking down into the partially renovated 2nd floor room
along the rear wall of 4412.**



PHOTOGRAPH #44 (4412)
**Looking to the left in the partially renovated 2nd floor room
along the rear wall.**

PHOTOGRAPHS



PHOTOGRAPH #45 (4412)
Looking to the left on the 2nd floor.



PHOTOGRAPH #46 (4412)
The ceiling of the 2nd floor room shown in Photograph #45.

PHOTOGRAPHS



PHOTOGRAPH #47 (4412)
Looking at the right stone basement wall.



PHOTOGRAPH #48 (4412)
Looking to the right along the rear wall of the basement.

PHOTOGRAPHS



PHOTOGRAPH #49 (4412)
The left rear corner of the basement.

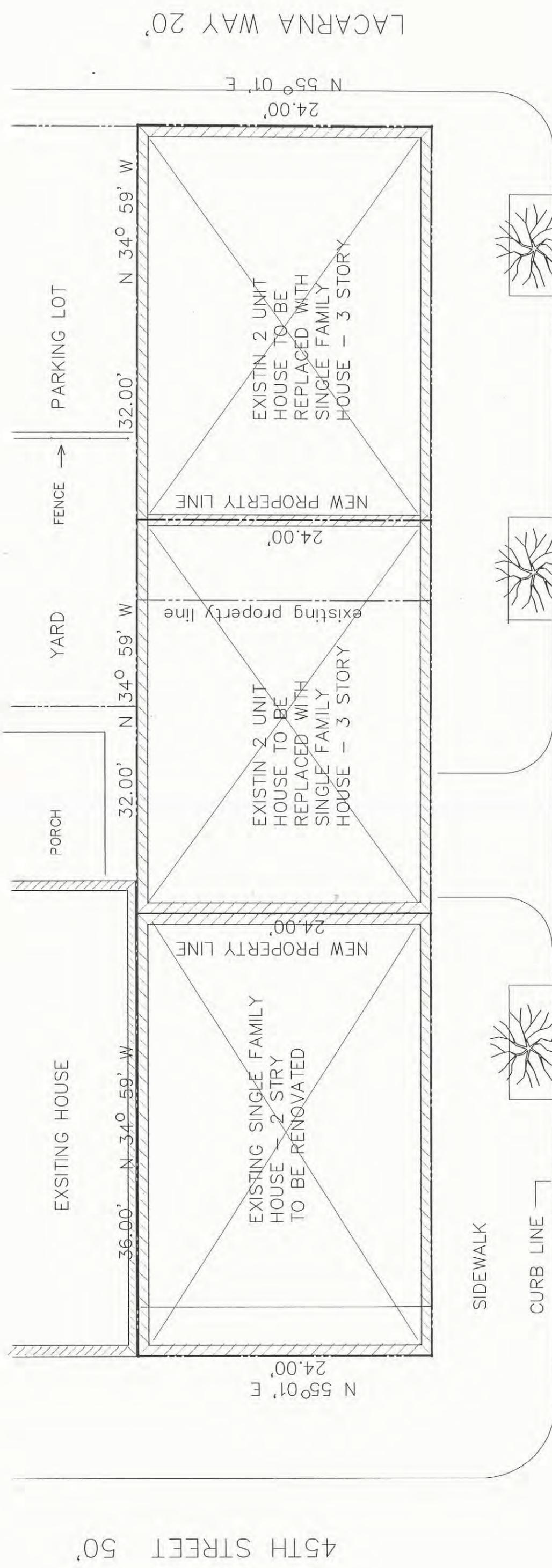


PHOTOGRAPH #50 (4412)
The left rear corner of the basement. Note the local failure of the stone wall.

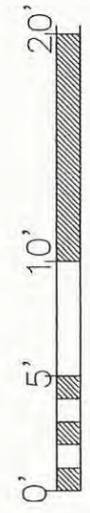
PHOTOGRAPHS



PHOTOGRAPH #51 (4412)
A toilet at the left end of the front wall of the basement.



PLUMMER STREET 50'



PLUMMER STREET
SITE / PLOT PLAN



**Brenenborg
Brown
Group**

Architects • Planners
Interior Designers

4018 Penn Avenue
Pittsburgh, PA. 15224
412/683-0202
(fax) 412/683-9441



ELEV. LOCARNA WAY

SIDING EXTERIOR

SCALE 1/8" = 1'-0"



Charles A. Brown

4412 PLUMMER STREET
LAWRENCEVILLE PA

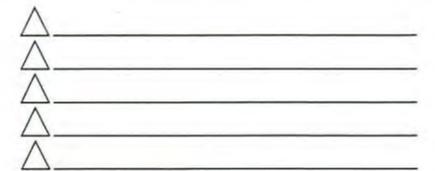
EXTERIOR
SIDING FACADE



ELEVATION PLUMMER STREET

SIDING EXTERIOR

SCALE 1/8" = 1'-0"



Drawing I.D. NO.

Date:

04-14-2016

Sheet Title & Number:

ELEVATIONS

A1.1



**Brenenborg
Brown
Group**

Architects • Planners
Interior Designers

4018 Penn Avenue
Pittsburgh, PA. 15224
412/683-0202
(fax) 412/683-9441



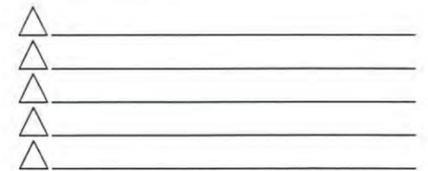
ELEV. LOCARNA WAY
BRICK EXTERIOR SCALE 1/8" = 1'-0"



Charles A. Brown

4412 PLUMMER STREET
LAWRENCEVILLE PA

EXTERIOR
BRICK FACADE



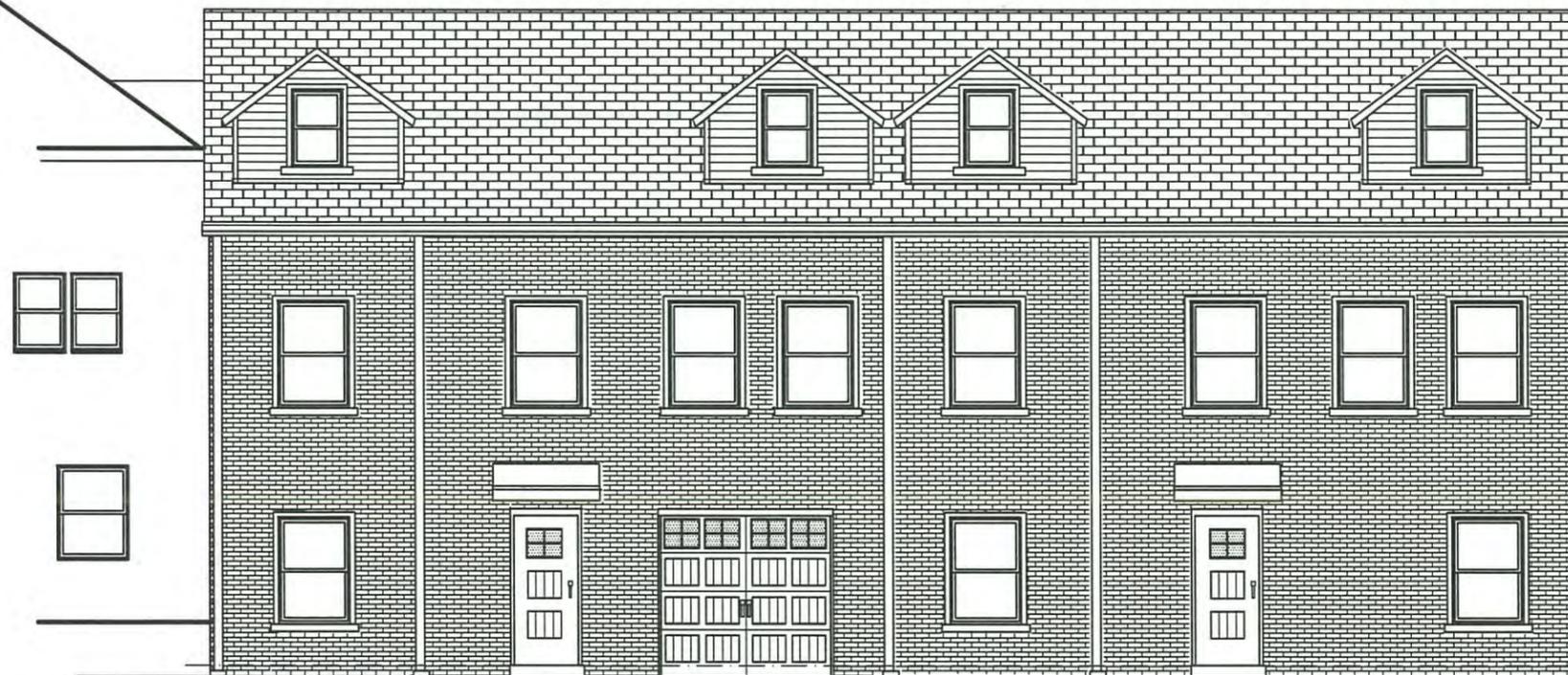
Drawing I.D. NO. _____ Date: _____

04-14-2016

Sheet Title & Number:

ELEVATIONS

A1.1



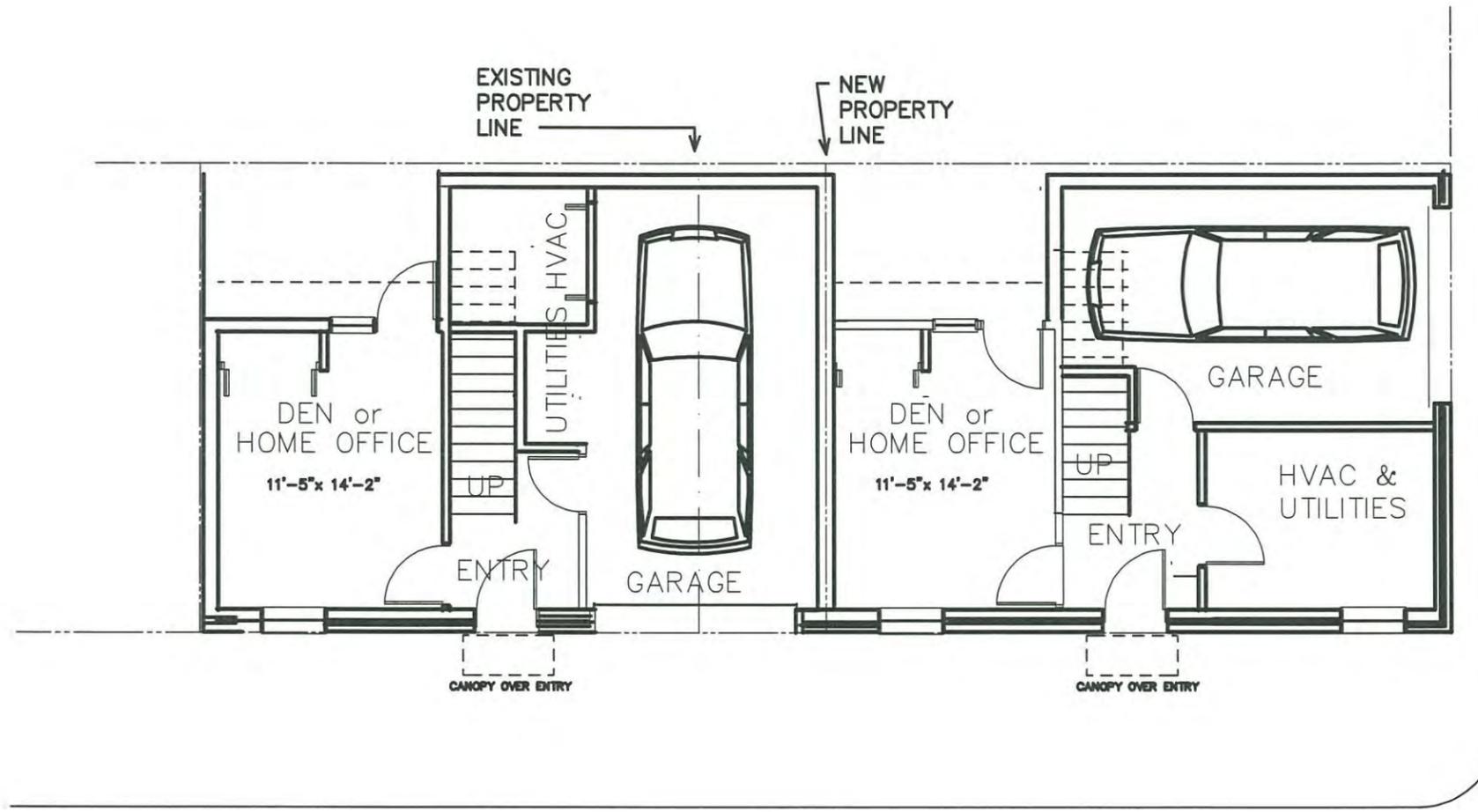
ELEVATION PLUMMER STREET
BRICK EXTERIOR SCALE 1/8" = 1'-0"



**Brenenborg
Brown
Group**

Architects • Planners
Interior Designers

4018 Penn Avenue
Pittsburgh, PA. 15224
412/683-0202
(fax) 412/683-9441



LOCARNA STREET

PLUMMER STREET

SITE — FIRST FLOOR PLAN

SCALE 1/8" = 1'-0"



4412 PLUMMER STREET
LAWRENCEVILLE PA

FLOOR PLANS

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____

Drawing I.D. NO. _____ Date: _____

04-14-2016

Sheet Title & Number:

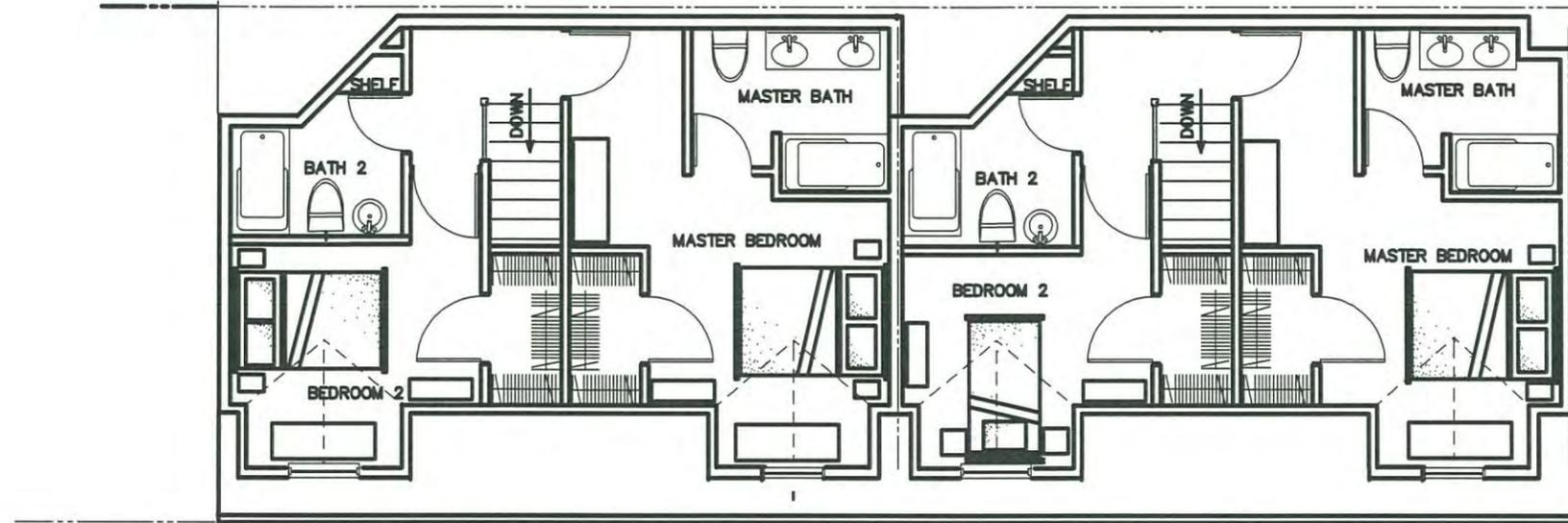
SITE/FIRST A1.2



**Brenenberg
Brown
Group**

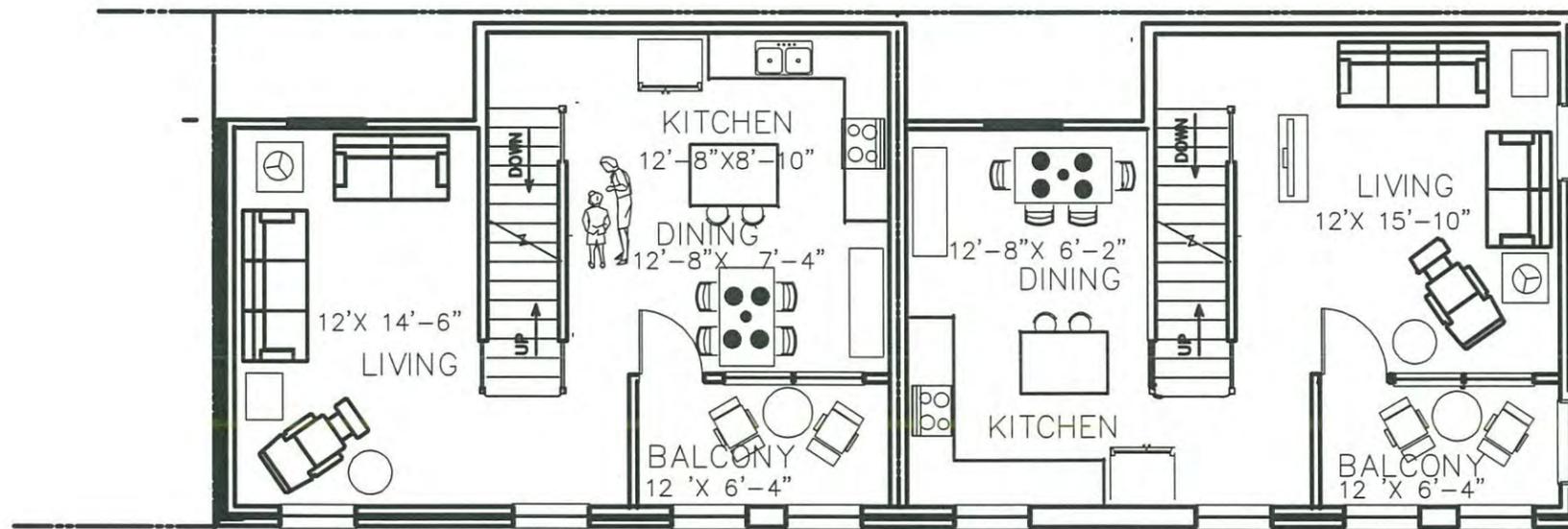
Architects • Planners
Interior Designers

4018 Penn Avenue
Pittsburgh, PA. 15224
412/683-0202
(fax) 412/683-9441



THIRD FLOOR PLAN

SCALE 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"

4412 PLUMMER STREET
LAWRENCEVILLE PA

FLOOR PLANS

- △ _____
- △ _____
- △ _____
- △ _____
- △ _____

Drawing I.D. NO.

Date:

04-14-2016

Sheet Title & Number:

PLAN VIEW

A1.3



Providing Structural Engineering Designs for:
• Architects • Engineers • Contractors

March 26, 2016

King NG
Chan Realty L.P.
3340 Smallman Street
Pittsburgh, PA 15201

RE: Row houses @
4412, 4414 & 4416 Plummer Street
Lawrenceville, PA

- Structural Inspection

Dear Sir:

As requested, I performed a visual structural inspection of the row houses located at 4412, 4414 & 4416 Plummer Street, Lawrenceville (Pittsburgh), PA, on Thursday, March 3, 2016. The purpose of this inspection was to evaluate the structural condition of the three (3) row house units and identify any areas of structural distress or structural damage. Photographs taken during this inspection are attached to this report.

1.0 INSPECTION

The three (3) row house units were built using wood-frame construction with plaster finish on the interior walls and ceilings. The original exterior finish appears to have been wood clapboard. The roof levels of the units vary slightly and each unit has a brick chimney which served a fireplace. The basements of the units all have stone walls with severely deteriorated mortar, or no mortar, between the individual stones. Some areas of the basement walls have had the faces of the stones parged with non-structural mortar. (Photographs #1, #2, #3, #9, #10, #24 & #26)

1.1 Exterior Walls & Roofs – 4412, 4414 & 4416 Plummer Street

No areas of structural distress or structural damage were observed on the exterior walls or roofs of the row house units. There is no access to see the actual roof framing in any of the units. However, there are no areas of significant sagging of the roof rafters that would indicate broken roof rafters. The roofing on the roof of 4412 is newer and in good condition, while the roofing on 4414 & 4416 is in need of replacement. The brick chimneys on all three (3) units have been pointed, but they are all leaning significantly. (Photographs #1 through #12)

A portion of the 1st floor at the right end of unit 4416 was not built-the 2nd floor of the unit spans over the open space. It appears that the open space was left to allow access to the rear of the units; before other adjacent buildings were constructed.

Photograph #6 shows exposed and severely weathered exterior faces of the stones at the top of the right basement wall of 4416. The original mortar between the stones lost its strength and the sand of the mortar mix has weathered away.

March 26, 2016

1.2 4416 Plummer Street

- 1st & 2nd Floors

The 1st floor of unit 4416 has only two (2) rooms as shown in Photograph #13- due to the open space between 4416 & 4414. There is localized water damage along the left wall of the front room on the 1st floor-shown in Photographs #14 & #15. Photographs #20 & #21 show structural damage to the left wall and possibly the roof structure in the 2nd floor front room above the 1st floor front room.

There is no lath and plaster on the walls and ceiling of the left portion of the rear 1st floor room. The exposed wood studs are wet and badly deteriorated, and the board sheathing on the walls is wet due to the hole in the roof above this area. It appears that there may have been a small localized, confined fire at this location. (See Photographs #16, #17 & #18) Photograph #22 shows structural damage to the walls and roof above this damaged 1st floor area.

Photograph #23 was taken looking to the front in the 2nd floor room above the open 1st floor space shown in Photographs #3, #5 & #6.

- Basement

Photographs #24, #25 & #26 show the condition of the stone walls and the floor of the basement in unit 4416. The original mortar (brown) used between the stones in the walls is damp and has virtually no strength. Parging (mortar), which is flaking off the faces of the walls, was applied at some time in the past. There were no locations where the stone basement walls are bowed inward or have indications of structural distress. There are damp areas on the faces of the walls.

The wood floor joists under the 1st floor are shown in Photographs #27 & #28. The floor joists are in fair to good condition.

1.3 4414 Plummer Street

- 1st & 2nd Floors

There was no structural damage observed in the walls, floors or ceilings of the rooms on the 1st floor of 4414. Photographs #29 & #30 show cracking in the wall plaster at the head of the access stairs to the 2nd floor of 4414. The condition of the walls and ceilings of 2nd floor rooms are shown in Photographs #31 & #32

- Basement

Photographs #33 through #37 show the condition of the stone basement walls and the basement floor of the unit. The floor joists under the 1st floor, shown in Photograph #38, are in poor to fair condition.

March 26, 2016

1.4 4412 Plummer Street

-1st & 2nd Floors

Photographs #39 & #40 were taken of rooms on the 1st floor of 4412. No structural distress or structural damage was observed in the 1st floor rooms.

Photographs #41, #42, #43 & #44 show the unfinished interior renovation of the rear 2nd floor room in 4412. The walls and ceiling of the large room on the 2nd floor of 4412 are shown in Photographs #45 & #46.

-Basement

Photographs #47, #48, #49, #50 & #51 show the condition of the stone basement walls of the unit. There is a small local area of stone moved out of the wall at the left rear corner of the basement. The visible floor joists under the 1st floor are in fair to good condition.

2.0 CONCLUSIONS

2.1 Structural condition of the exteriors and interiors of the row houses – 4412, 4414 & 4416

Except as cited below, there were no areas of structural damage or structural distress observed on the exterior walls or on the interior walls/floors/ceilings of the row house units.

4416 Plummer Street - Left wall

[The existing structural damage to the walls, floors and roof adjacent to the left wall of 4416 will require replacement.]

2.2 Stone Basement Walls/Basement Floors

Although lime mortar was used through the 1930's, portland cement, lime, and sand mortars were being used at the turn of the century (circa 1890). The mortar used in the construction of the stone basement walls of all three (3) row house units appears to have been an over-sanded mortar mix. Such a mix is susceptible to deterioration by water and degradation of the strength of the mortar, over time. The brown color of the mortar is the remaining sand in the original mortar mix, which has been severely weakened over the life of the row house units by exposure to water/moisture.

The exposed faces of the stones at the top of the right basement wall of unit 4416 shown in Photograph #6 are extremely weathered and show that many of the stones are rather soft and weakened by the exposure to water.

There are small areas in the basement walls where the stones have shifted or have been shifted out of the walls. There are no significant areas of inward bowing or bulging of the stone walls that would make the walls structurally unsound or unstable at this time.

March 26, 2016

[However, if the units are to be renovated, a detailed evaluation of the feasibility of the reuse/reconstruction of the stone basement walls should include; the remaining life of the stones in the present wet/damp environment, the need for waterproofing the walls, the practicality of replacement of the existing mortar in the walls and the intended use(s) of the basements. It is doubtful that the renovated stone basement walls could meet the structural requirements of the UCC/2009 International Residential Code.]

[The basement floors of all three (3) units are uneven and in need of replacement, if the basements are to be renovated.]

2.3 Joists under the 1st floors

The photographs show that the floor joists under the 1st floors of the row house units are in fair to good condition.

[If the units are to be renovated, the structural condition of each floor joist under the 1st floors of the three (3) row houses will have to be individually evaluated.]

2.4 Roof Structures

[While the roofing on the roofs of the units is not a structural component, it is clear that the roofing on 4414 & 4416 should be replaced.]

[There are no obvious signs of structural damage or distress in the roof structures of any of the three (3) units-from observations of the ceilings and the exteriors of the units. For a complete structural condition assessment to be performed; access to the attic spaces should be made available in order to inspect the roof rafters and the ceiling joists over the 2nd floor rooms of all of the units.]

2.5 Chimneys

The brick chimneys on all three (3) units have been pointed, but they are all leaning significantly. If the row house units are to be renovated, the three (3) chimneys above the roofs (as a minimum height) should be rebuilt to a plumb condition.

3.0 FINDINGS

Within a reasonable degree of engineering certainty, and subject to change if further information becomes available, it is my opinion that:

1. The existing stone basement walls of all three (3) units will have to be replaced or supplemental new reinforced concrete retaining walls constructed adjacent to all walls retaining soil on the exterior of the walls. If the costs of either one of these required remedial actions is added to the other renovation costs of the units; the renovation of the units becomes economically unfeasible-when compared to the costs of demolishing the units plus the costs of building new units. Therefore, it is concluded that the existing row house units should be demolished and the site used for new construction.

King NG
Chan Realty L.P.

March 26, 2016

Please contact me if you have questions regarding the observations of this report or the conclusions.

Sincerely,

A handwritten signature in black ink that reads "Charles L. Cornely". The signature is written in a cursive style with a large, looping "y" at the end.

Charles L. Cornely, P.E.
Structural/Foundation Engineer

CLC:HPC



Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

January 23, 2015

275 of 2014

David Brenenberg
4018 Penn Ave
Pittsburgh, PA 15224

Dear Appellant and/or Hearing Participant:

Enclosed is your copy of the decision by the Zoning Board of Adjustment. This is not a permit. If your decision has been approved, you must return to the Zoning office and pick up your paper work so that your permit may be processed. Please note: if your decision has been approved **with conditions which require an amendment to your site plan**, you must also provide us with a new and updated site plan or survey with those conditions notated on the plan. Please contact Svetlana Ipatova, Zoning Case Review Specialist, at (412) 255-2214 if you have any questions regarding your Zoning Board decision and to schedule an appointment for the final staff review process.

This decision expires one year after the decision date as shown on the enclosed copy. A permit should be obtained forthwith, and substantial construction or occupancy should begin within one year of approval. If additional time is needed, you may request a one-year extension by writing the Board within the one-year time period. Include the zone case number and the address of the subject property with a brief explanation, and send it to: Zoning Board of Adjustment, Department of City Planning, 200 Ross Street 3rd Floor, Pittsburgh, PA 15219.

If you or any affected person are dissatisfied with the Board's decision, an appeal may be made to the Court of Common Pleas of Allegheny County within thirty (30) calendar days of the above mailing date. The appeal process is conducted at the Prothonotary's Office located on the main floor of the City County Building.

A transcript of your hearing will be required and can be obtained by calling our reporting agency, Network Deposition Services, at (412) 281-7908. Please have your zone case number and the date of your hearing available. We encourage you to consult an attorney if you choose to appeal.



Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

ZONING BOARD OF ADJUSTMENT

Date of Hearing: November 20, 2014
Date of Decision: January 22, 2014

Zone Case: 275 of 2014
Address: 4412 Plummer St & 152 45th St
Zoning District: R1A-VH
Ward: 9
Neighborhood: Central Lawrenceville

Owner/Applicant: Chan Real Estate LP

Request: Lot reconfiguration; two new three-story single family attached dwellings with integral garages & continued use of existing single family attached dwelling located at 152 45th St.

Variance	903.03.E.2	<p>Minimum lot size 1,200 sq. ft. permitted and 864 sq. ft. (unit 1) and 768 sq. ft. (units 2,3) requested.</p> <p>Minimum 5ft front setback required and 0ft (unit 3) requested)</p> <p>Minimum 15ft rear setback required and 0ft (unit 3) requested</p> <p>Minimum 5ft interior side setback required and 0ft (units 1, 2, 3) requested).</p>
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Appearances:

Applicant: David Brenenberg (architect), Max Ng

Opposed: Jill Joyce, Mary Coleman, Carol Peterson

Findings of Fact:

1. The Subject Property is located at 4412 Plummer St and 152 45th St in an R1A-VH (Single-Unit Attached Residential, Very-High Density) zoning district in the Central Lawrenceville neighborhood.

2. The Subject Property is comprised of two adjacent parcels along Plummer Street and between 45th Street and Locarna Way.

The Zoning Board of Adjustment reserves the right to supplement the decision with Findings of Fact and Conclusions of Law.

3. Located on Parcel 80-P-69, the northeasterly parcel at the corner of Plummer Street and 45th Street, are a two-story, single-family brick structure fronting on 45th Street and the majority of a two-story, single-family frame structure fronting on Plummer Street.

4. Located on Parcel 80-P-68, the southwesterly parcel at the corner of Plummer Street and Locarna Way, are the remaining portion of the two-story, single-family frame structure fronting on Plummer Street and a two-story, two-family frame structure at the corner of Plummer Street and Locarna Way which fronts on Locarna Way.

5. The current structure extends to the lot lines and entirely covers both parcels. No parking is currently provided on the Subject Property.

6. The Applicant proposes to renovate the existing two-story brick single family dwelling located on the corner of 45th Street and Plummer Street.

7. The Applicant proposes to demolish the two frame structures and construct two new three-story, single-family dwellings with integral garages.

8. Subsequent to the proposed renovation and construction, the Applicant proposes to resubdivide the parcels to create three new, separate parcels, one for each proposed structure.

9. The Applicant testified that the framed dwellings being proposed for demolition are in disrepair, and they cannot be salvaged.

10. The proposed new construction would extend to the same lot lines as the existing structures, and would cover the entire lot.

11. The Applicant testified that the proposed structures would be approximately 30 feet tall, similar to the height of the existing structures and within the height limitations of the Code.

12. Carol Peterson, from Lawrenceville Stakeholders, objected to the proposed plan and testified Lawrenceville Stakeholders did not meet with the Applicant to discuss the proposed project.

13. Ms. Peterson testified the structures currently located on the Subject Property are small two-story single family dwellings, and the proposed dwellings would be substantially taller.

14. The hearing was held open for two weeks for the members of the community group to meet with the Applicant to discuss the proposed project.

15. The parties communicated regarding the application, but were not able to come to an agreement.

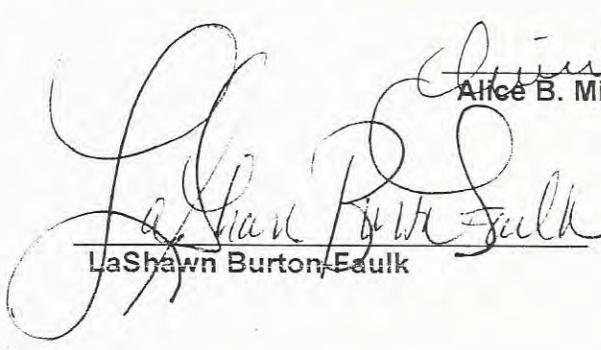
Conclusions of Law:

1. The Applicant seeks dimensional variances pursuant to Code Section 903.03.E.2, the Code's requirement for setbacks and required lot size.

2. Because the proposed construction results in a net reduction of units resulting in a decreased nonconformity, the footprint of the proposed structures would be substantially similar to the current footprint, and the and the proposed increase in stories and height allows for increased off-street parking spaces, allowing the Applicant to construct the proposed dwellings is a reasonable use of the Subject Property with minimal deviation from the Code Standards.

3. Consistent with the evidence and testimony presented and the applicable legal standards governing dimensional variances, the Board concludes that approval of the requested variances is appropriate.

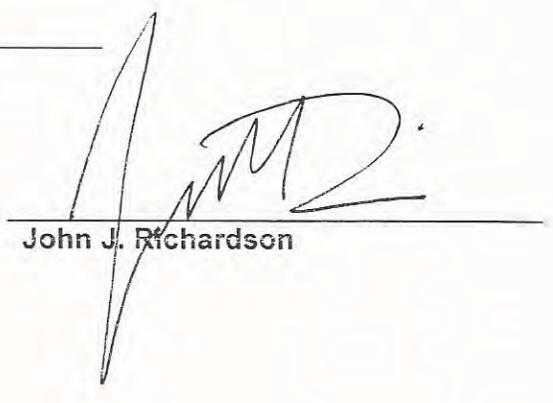
Decision: The Applicant's request for dimensional variances pursuant to Code Section 903.03.E.2 is hereby APPROVED.



LaShawn Burton-Faulk



Alice B. Mitinger, Chair



John J. Richardson