

DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

## DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: <b>PELE CAPITAL LLC</b>	Phone Number: <b>(412) 773 1672</b>	
Address: <b>P.O. BOX 328</b> City: <b>PRESTO</b>	State: <b>PA</b>	Zip Code: <b>15142</b>
2. Applicant/Company Name: <b>SHANNON ASHMOFF/MOSS ARC</b>	Phone Number: <b>(412) 441-6400</b>	
Address: <b>181 12<sup>th</sup> ST</b> City: <b>PITTSBURGH</b>	State: <b>PA</b>	Zip Code: <b>15201</b>
Applicant/Contractor ID: (assigned by the City)		

3. Development Name: **STANDARD LIFE BUILDING - FACADE RENOVATION**

4. Development Location: **4<sup>th</sup> ST. & SMITHFIELD ST.**

5. Development Address: **345 4<sup>th</sup> ST. PITTSBURGH PA**

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District: \_\_\_\_\_

Present Use of Site:  
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#:	Date Issued:	Existing Use of Property:
8. Estimated Construction: Start Date: <b>1/15/2016</b>	Occupancy Date: <b>2/15/2016</b>	Project Cost: <b>\$60,000</b>

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list):

10. Select the Type of Work:

New Construction, New       Renovation, Interior  
 New Construction,       Renovation, Exterior  
 Change in Use Only       Renovation, Change in Use

11. Describe the Development: **REMOVE EXISTING 1<sup>st</sup> FLR & MEZZANINE WINDOWS AND STUCCO CLADDING REPLACE EXISTING WITH NEW WINDOWS, GRANITE OR CAST STONE CLADDING AND PANELIZED CLADDING.**

12. Is a Land Operations Permit needed?       YES       NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

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**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

13. Proposed Number of New Structures or Building Additions:  N/A  
 Residential     Commercial     Recreational     Industrial     Institutional

14. Gross Floor Area:

Existing to be Razed: 0 sq ft

Existing to be Retained: 100% sq ft

Retained Area to be Renovated: 0 sq ft

To be Constructed: 0 sq ft

Building Footprint: — sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	—	—		
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):


16. Number of Dwelling Units:

Existing to Remain: — Proposed: —

17. Lot Area: — sq ft

18. On Site Parking:  N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A

Actual: \_\_\_\_\_

Required: \_\_\_\_\_

19. Please check any of the following items that will be part of the proposed work:  N/A

Demolition     HVAC (Interior)     HVAC (Exterior)     Electrical     Fire Alarm

Fire Protection/Sprinklers     Deck Construction     Commercial Cooking Hood     Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
(i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing     New Construction of Plumbing     No Plumbing Work is Proposed

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**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- New Water Service Connection(s)
- Termination of Existing Water Service Tap(s)
- New Sewer Service Connection(s)
- Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES
- NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street
- Private Property
- Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?  Yes  No

Applicant Signature:

# Proposed First-Floor Facade Renovation

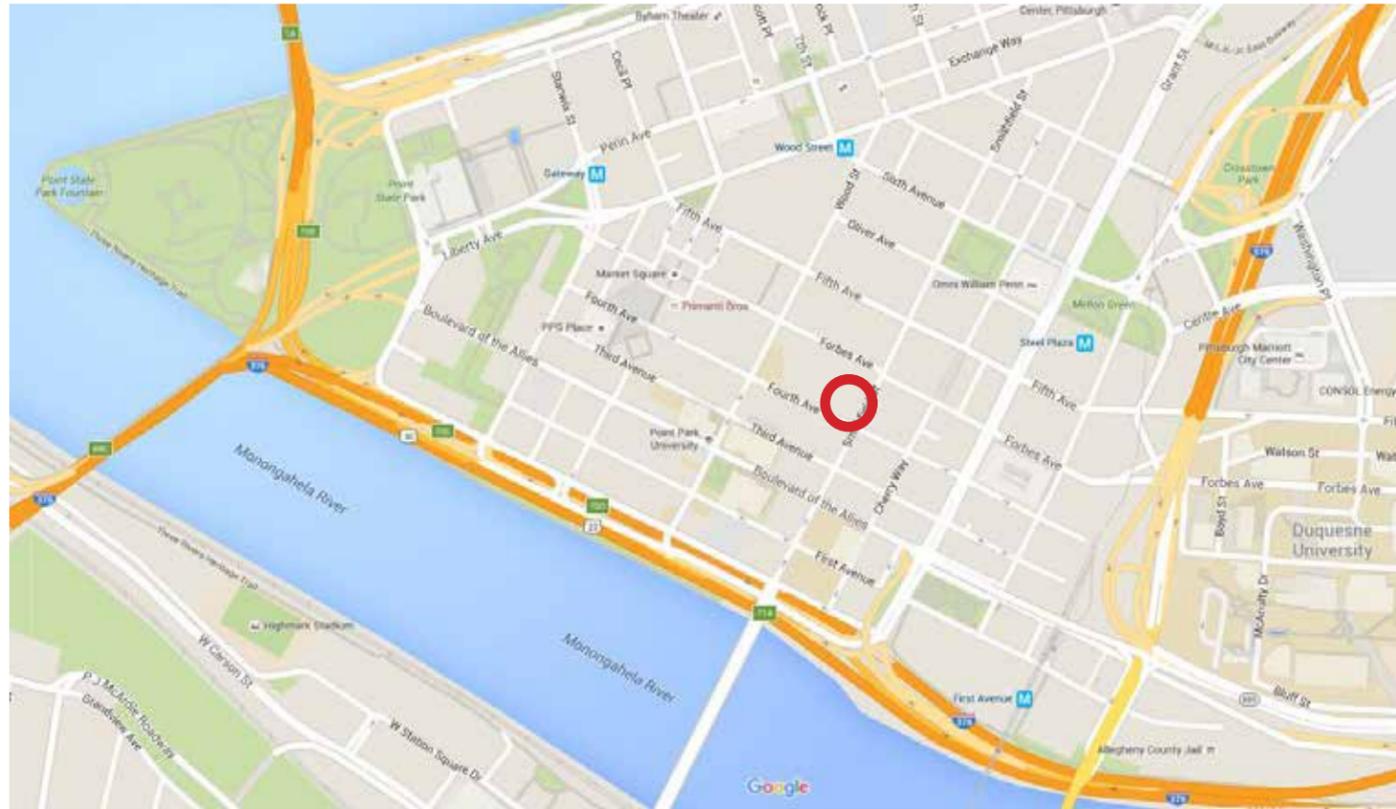
## 345 FOURTH AVENUE DOWNTOWN PITTSBURGH

zoning district: GT-A

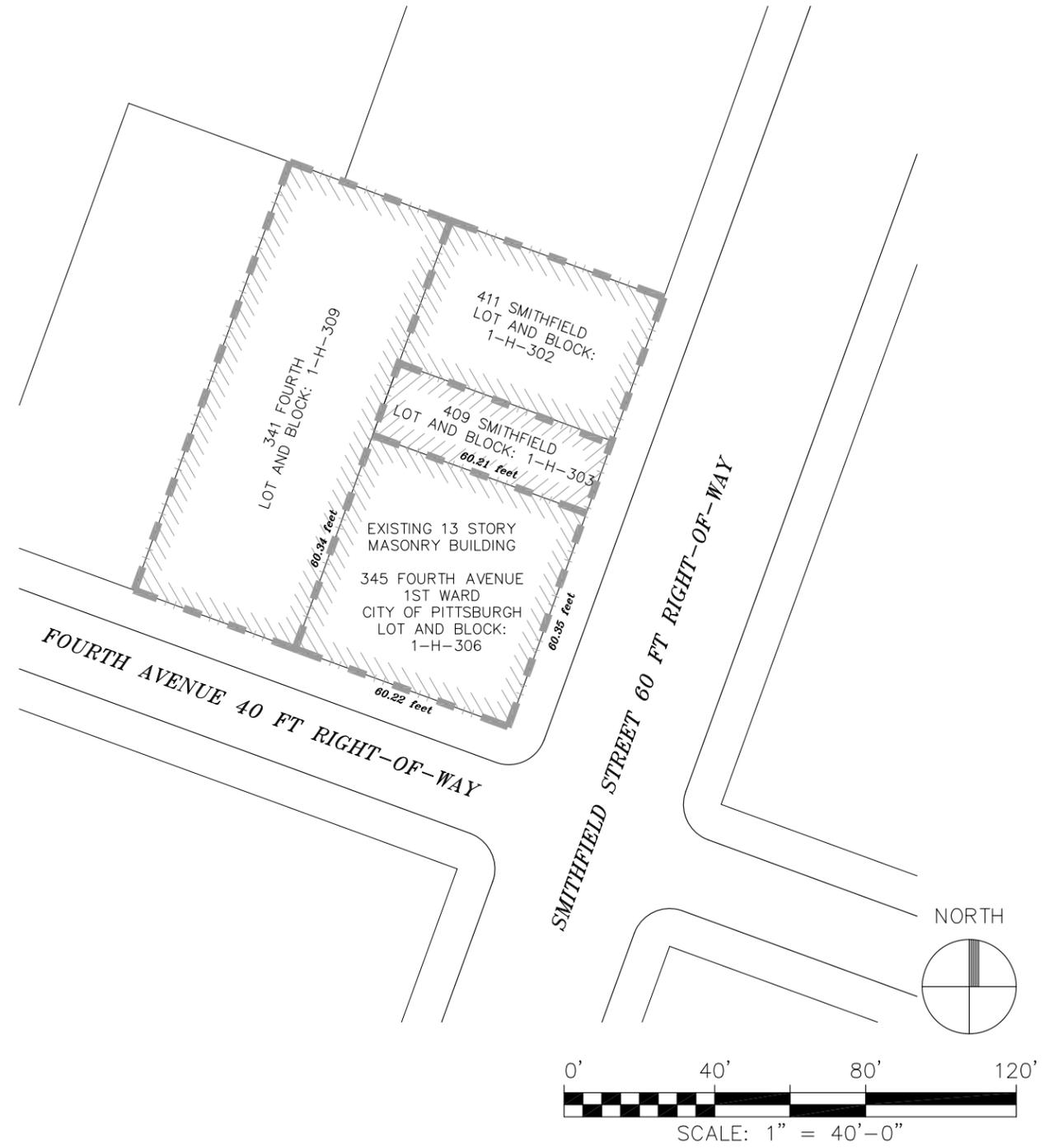
project description: first floor exterior facade renovation  
including new storefront and new exterior cladding

### City of Pittsburgh Planning Commission Presentation 26 JANUARY 2016





location map



site plan



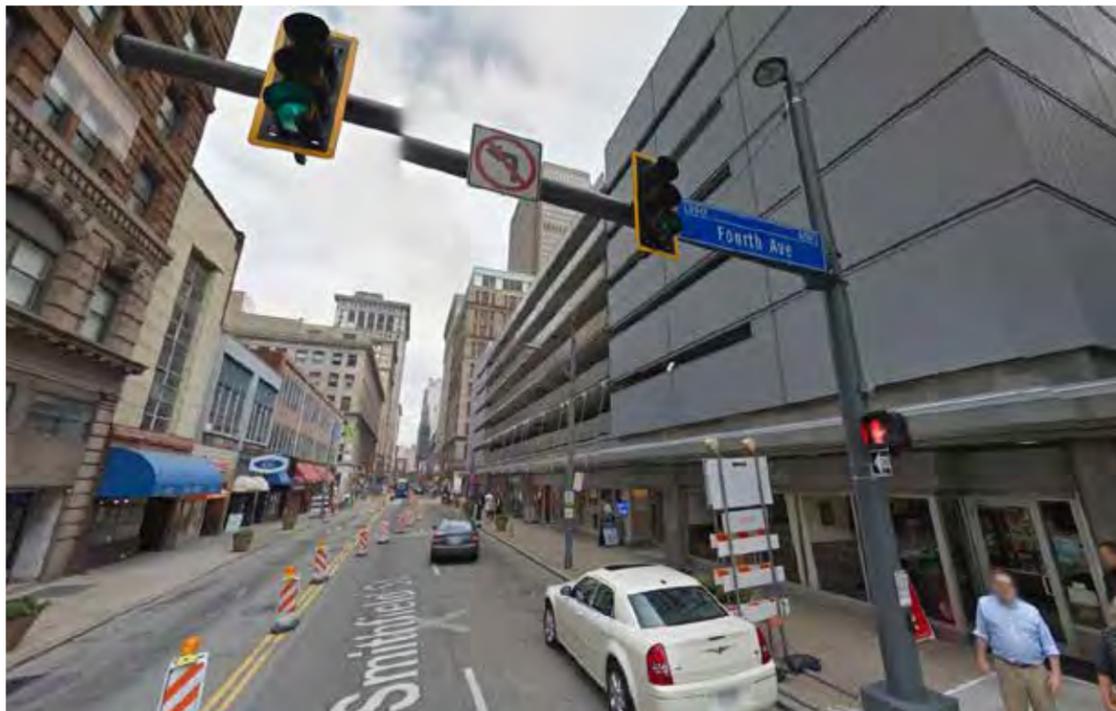
341 fourth avenue



409 & 411 smithfield street



fourth avenue context



smithfield street context



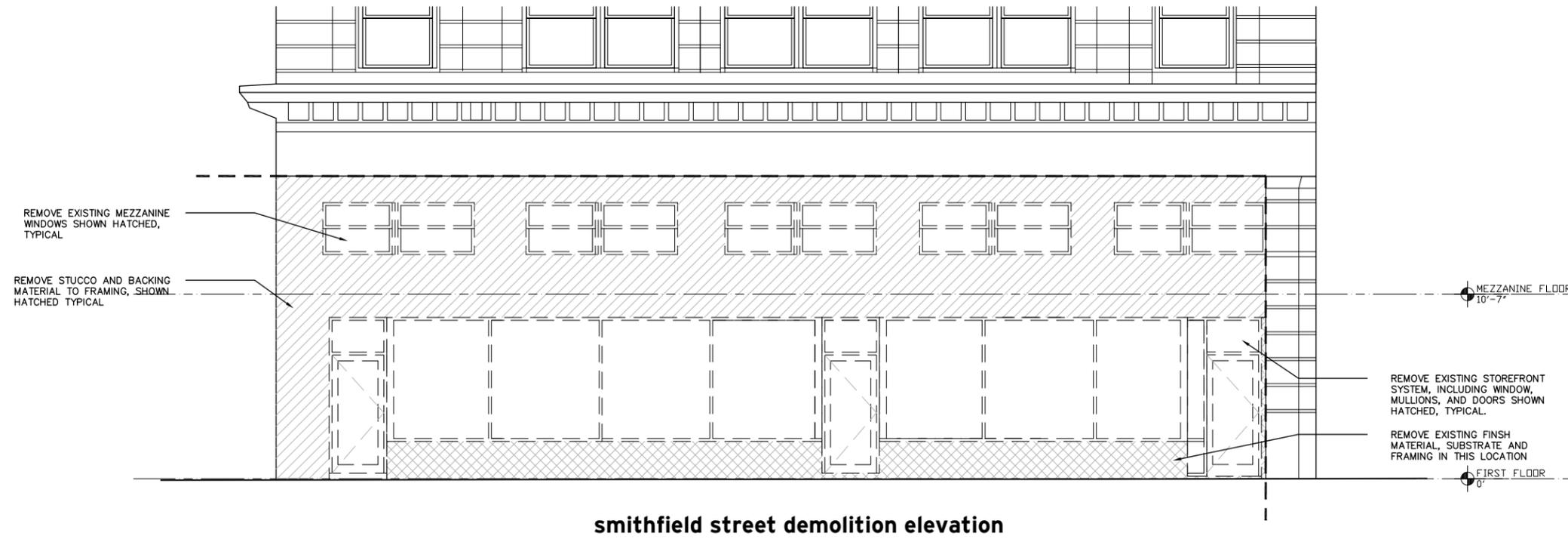
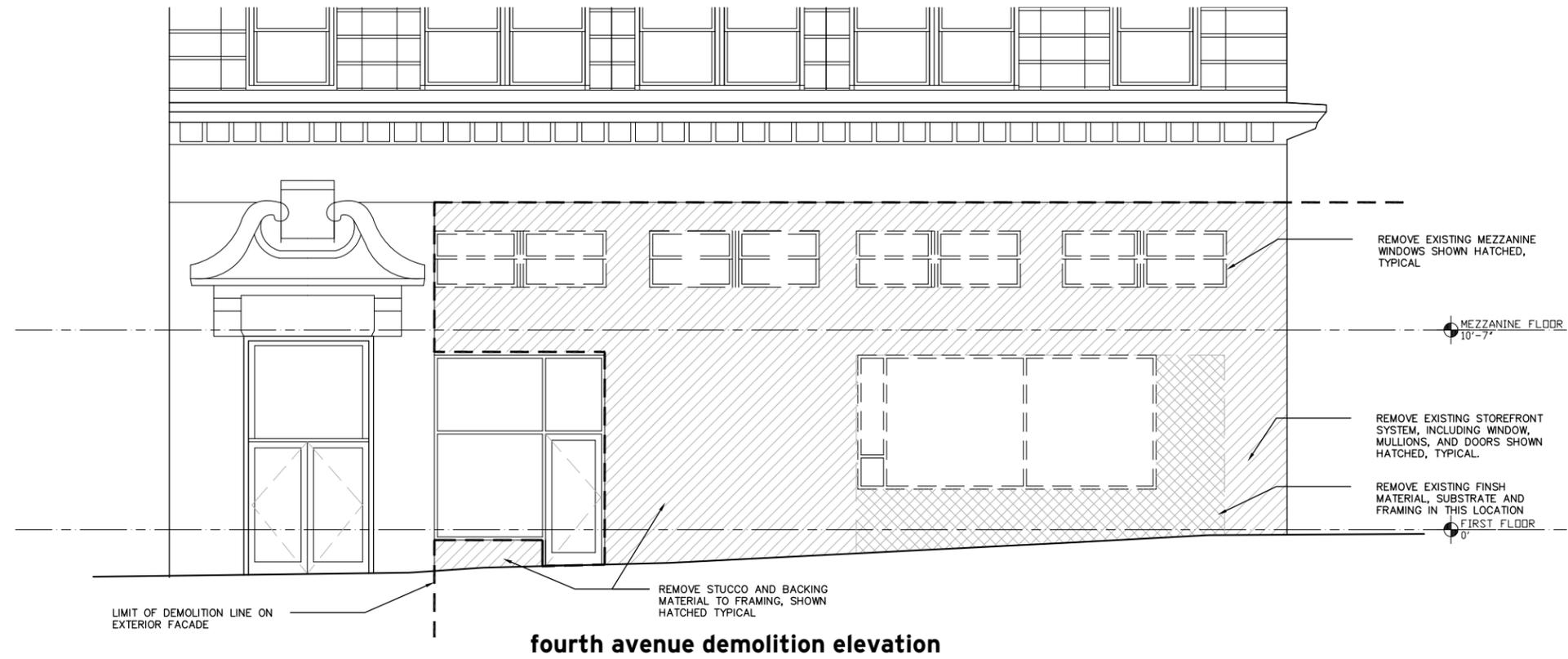
345 fourth avenue - aerial from oxford garage



345 fourth avenue - ground level view



345 fourth avenue - smithfield facade







**proposed rendering of fourth avenue and smithfield street facade elevations**

**1/8" = 1'-0"**



storefront design precedent  
Kawneer or YKK, 1-3/4" profile extruded aluminum  
storefront system with clear glazing



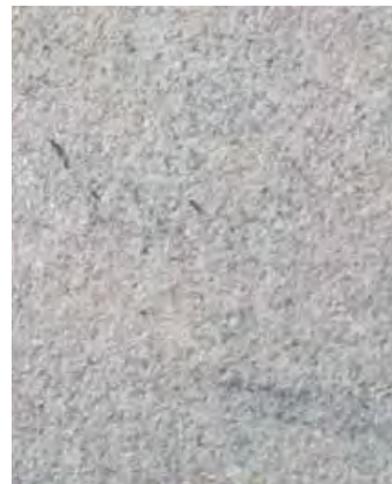
extra dark bronze anodized storefront  
Kawneer or YKK



dark gray phenolic panels  
Fibersin - Stonewood Architectural Panels  
slate grey



Sal's Deli awning design precedent



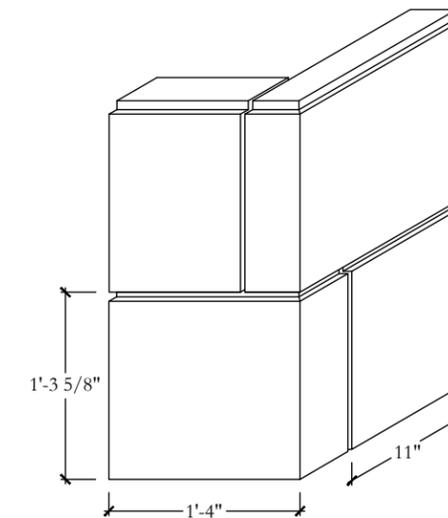
existing granite sample



potential granite match



custom cast stone  
rusticated straight quoin and plain straight  
1'-4" x 1'-4" umber (color)



**material selections**

**Pending Approval on January 4 2016 by Brian Kurtz,  
Pittsburgh Downtown Partnership**

contact: bkurtz@downtownpittsburgh.com  
412-325-0154



**community process summary**

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- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: <b>PRESSLEY RIDGE</b>		Phone Number: <b>(412) 872-9400</b>	
Address: <b>5500 COOP. DR. SUITE 400</b>	City: <b>PITTSBURGH</b>	State: <b>PA</b>	Zip Code: <b>15237</b>
2. Applicant/Company Name: <b>RADELET MCCARTHY POLLETTA</b>		Phone Number: <b>(412) 471-4445</b>	
Address: <b>300 1<sup>ST</sup> AND MARKET 100 FIRST AVE</b>	City: <b>PITTSBURGH</b>	State: <b>PA</b>	Zip Code: <b>15222</b>
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: <b>PRESSLEY RIDGE SCHOOL, MARSHALL AVE CAMPUS</b>			
4. Development Location: <b>530 MARSHALL AVENUE</b>			
5. Development Address: <b>PITTSBURGH, PA 15214</b>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) <b>NO CHANGE</b>			
Proposed Zoning District:	<b>N/A</b>		
Present Use of Site: (Select from attached list)	<b>N/A</b>		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: / /	Occupancy Date: / /	Project Cost: \$

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Munlcode.com website.

**CURRENT USES**

9. Proposed Use of Site (Select from attached list): **1, 2, 9, 82, 87, 89, 111 (NO CHANGE)**

10. Select the Type of Work:

New Construction, New       Renovation, Interior

New Construction,           Renovation, Exterior

Change in Use Only           Renovation, Change in Use

11. Describe the Development: **SEE IMP**

12. Is a Land Operations Permit needed?       YES       NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions:  N/A (SEE IMP)  
 Residential     Commercial     Recreational     Industrial     Institutional

14. Gross Floor Area:  
Existing to be Razed: \_\_\_\_\_ sq ft  
Existing to be Retained: \_\_\_\_\_ sq ft  
Retained Area to be Renovated: \_\_\_\_\_ sq ft  
To be Constructed: \_\_\_\_\_ sq ft  
Building Footprint: \_\_\_\_\_ sq ft

NA FOR IMP

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure				
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				

16. Number of Dwelling Units:  
Existing to Remain: \_\_\_\_\_ Proposed: \_\_\_\_\_

17. Lot Area: \_\_\_\_\_ sq ft EXISTING CAMPOS IS ABOUT 18 ACRES

18. On Site Parking:  N/A SEE TRAFFIC & PARKING STUDY

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A  
Actual: \_\_\_\_\_  
Required: \_\_\_\_\_

19. Please check any of the following items that will be part of the proposed work:  N/A  
 Demolition     HVAC (Interior)     HVAC (Exterior)     Electrical     Fire Alarm  
 Fire Protection/Sprinklers     Deck Construction     Commercial Cooking Hood     Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
(i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing     New Construction of Plumbing     No Plumbing Work is Proposed

NA FOR IMP

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22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES       NO

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- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc ) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs. (US 19, MARSHALL AVE)
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

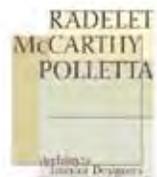
26. Applicant will be applying for a Visitability Tax Credit?       Yes       No

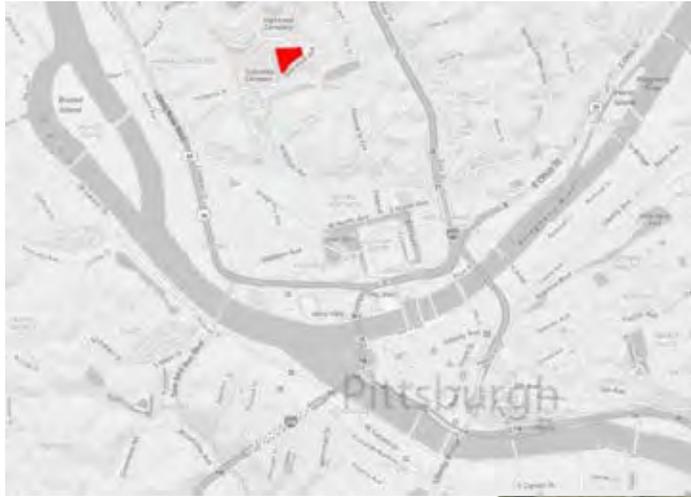
Applicant Signature:

N/A FOR IMP

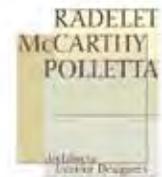


Institutional Master Plan (IMP) – Presentation  
Pressley Ridge – Marshall Avenue Campus





The Marshall Avenue Campus is located in the Perry South neighborhood and occupies approximately 18 acres



Location Map

## Existing Structures

School / Admin  
55,300 sq. ft.

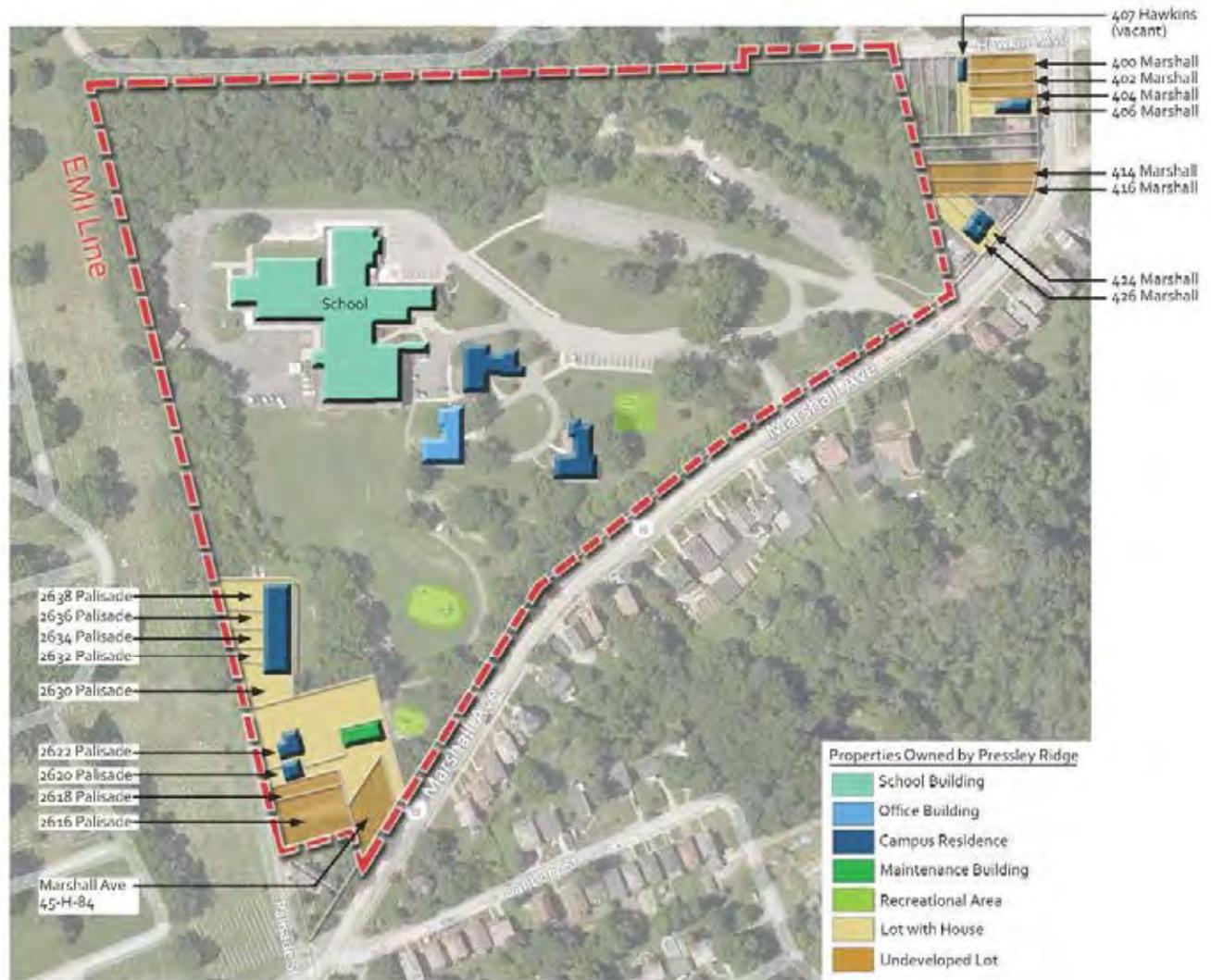
Cottages (2)  
3,600 sq. ft. ea.

Office Building  
3,600 sq. ft.

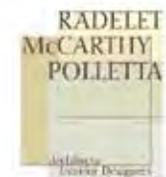
Townhomes (5)  
1,400 sq. ft. ea.

Single Family (2)  
1,270 & 1,480 sq. ft.

Maintenance Bldg.  
800 sq. ft.



In addition to the structures on Campus, Pressley Ridge also owns (9) Properties on Marshall Ave, (4) of which include single family homes.



Existing Properties



## Proposed Structures

New School  
60,000 – 75,000 sq. ft.

Renovate Ex. School  
For new Offices  
Ex. 55,300 sq. ft. ea.

Renovate Ex. Cottage  
3,600 sq. ft.

New Cottage  
3,600 – 4,000 sq. ft.

New Maint. Bldg.  
10,000 sq. ft.

New Parking Deck  
26,000 sq. ft.



In addition to the new structures, the 10-Year development includes:

- Reconfiguration of vehicular and pedestrian circulation
- New surface parking (220 spaces over 10 years)

## Traffic Study Summary

Analyses show acceptable traffic operations at the new access drive (level of service B or better during peak periods).

Queues will not be excessive, nor will they impact adjacent street traffic.

Sight distance at the relocated access drive has been evaluated and exceeds minimum requirements.



RADELET  
McCARTHY  
POLLETTA  
Architecture  
Interior Design

PRESSLEY  
RIDGE  
WASH

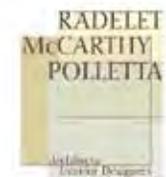
Transportation

## Stormwater Management

Stormwater runoff currently flows into two separate watersheds towards the Ohio River.

Stormwater management facilities are being proposed to account for the increased runoff from proposed development in the 10-Year Plan. These include:

- Permeable Paver Systems
- Rain Gardens, Landscaping, and Trees
- Underground Storage Systems

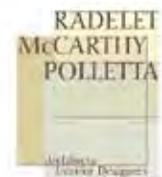


## Accessibility and Universal Design

Pressley Ridge serves children and families with special needs. As a result they have a strong commitment to applying Universal Design principals throughout their campus.

New and existing facilities will be designed and improved to meet the needs of everyone.

The natural terrain of the campus poses challenges as well as opportunities. New structures will be situated to improve accessibility on the campus and improve circulation between new and existing buildings.



Accessibility



PRESSLEY  
RIDGE

## Community Process

Pressley Ridge and specifically the Marshall Avenue Campus have been part of the Perry South neighborhood since 1959.

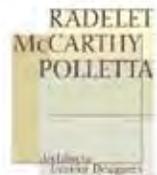
As part of the outreach to the community, Pressley Ridge was invited to present the Master Plan to the Perry Hill Top Citizens Council in November 2015.

The Council provided insight into the history of the Marshall Avenue site.

Campus access, security, and use of the gym was discussed.

Pressley Ridge will continue to involve the community as they improve the campus.

The screenshot shows the 'Community Based Support' page on the Pressley Ridge website. At the top, there is a navigation menu with links for 'WHAT WE DO', 'WHO WE ARE', 'HOW WE EXCEL', 'GET INVOLVED', and 'CONTACT US'. A prominent headline reads 'Grow Stronger, Together' with a sub-headline: 'Our Community-Based Support helps to strengthen and keep families together, to empower youth and to offer coaching and self-discovery - in the home, in the moment, and over time.' Below this, three service areas are highlighted with icons: 'In Home' (house icon), 'In Community' (group of people icon), and 'In School' (school building icon). Each area has a brief description of the services provided. At the bottom, there is a 'Contact' button with a phone icon and the URL <http://www.pressleyridge.org/community-based-support>.





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- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: <b>FIRST NIAGARA BANK</b>		Phone Number: (     )	
Address: <b>PO BOX 428</b>	City: <b>WILLIAMSVILLE</b>	State: <b>NY</b>	Zip Code: <b>14231</b>
2. Applicant/Company Name: <b>DLA + ARCHITECTURE</b>		Phone Number: <b>(412) 921-4300</b>	
Address: <b>750 HOLIDAY</b>	City: <b>PITTSBURGH</b>	State: <b>PA</b>	Zip Code: <b>15220</b>
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: <b>FIRST NIAGARA BANK - EAST LIBERTY BRANCH</b>			
4. Development Location: <b>SW CORNER OF BAUM BLVD &amp; PA-380</b>			
5. Development Address: <b>5830 BAUM BOULEVARD 15206</b>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) <b>N/A</b>			
Proposed Zoning District:	<b>N/A</b>		
Present Use of Site: (Select from attached list)	<b>N/A</b>		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property: <b>DRIVE-UP BANK</b>	
8. Estimated Construction:	Start Date: <b>TBD</b> / /	Occupancy Date: <b>TBD</b> / /	Project Cost: \$ <b>TBD</b>
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to <a href="http://pittsburghpa.gov/dcp/zoning/">pittsburghpa.gov/dcp/zoning/</a> and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): <b>105</b>			
10. Select the Type of Work:			
<input checked="" type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development: <b>FULL SERVICE BRANCH BANK WITH DRIVE-THROUGH TELLER AND ATM LANES</b>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <a href="http://www.city.pittsburgh.pa.us/bbi/">http://www.city.pittsburgh.pa.us/bbi/</a> )			

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**13. Proposed Number of New Structures or Building Additions:** 1  N/A  
 Residential  Commercial  Recreational  Industrial  Institutional

**14. Gross Floor Area:**  
 Existing to be Razed: 541 sq ft  
 Existing to be Retained: 0 sq ft  
 Retained Area to be Renovated: 0 sq ft  
 To be Constructed: 2,770 sq ft  
 Building Footprint: 2,770 sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	1	15'	1	VARIES 12'-24'
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):  

--	--	--	--	--

**16. Number of Dwelling Units:** 0  
 Existing to Remain: \_\_\_\_\_ Proposed: \_\_\_\_\_

**17. Lot Area:** 11,500 sq ft

**18. On Site Parking:**  N/A

	Existing	Proposed
Full (8 1/2' x 19')	6	3
Compact (7 1/4' x 16')	0	0
Handicap (13 1/2' x 19')	0	2

Off-Street Loading Spaces:  N/A  
 Actual: 0  
 Required: 0

**19. Please check any of the following items that will be part of the proposed work:**  N/A  
 Demolition  HVAC (Interior)  HVAC (Exterior)  Electrical  Fire Alarm  
 Fire Protection/Sprinklers  Deck Construction  Commercial Cooking Hood  Sign

**20. Please check the following items that pertain to any work proposed on private plumbing:**  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing  New Construction of Plumbing  No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2a.com](http://www.pgh2a.com)).

**21.** Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u>  1  </u> / New Water Service Connection(s)	<u>  1  </u> / Termination of Existing Water Service Tap(s)
<u>  1  </u> / New Sewer Service Connection(s)	<u>  1  </u> / Termination of Existing Sewer Service Tap(s)

**22.** Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES       NO

**23.** If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

**24.** If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

**25.** Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

**26.** Applicant will be applying for a Visitability Tax Credit?       Yes       No

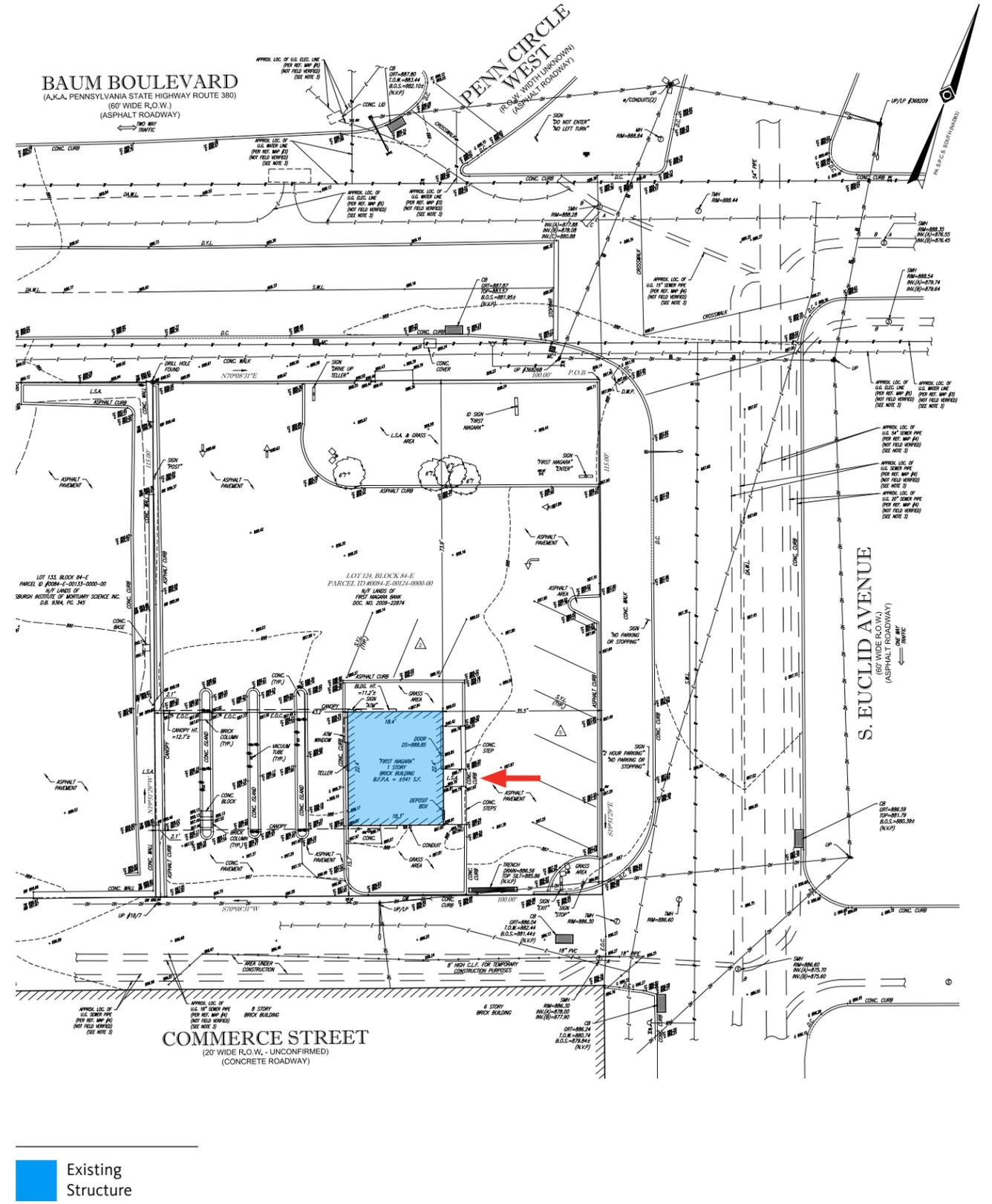
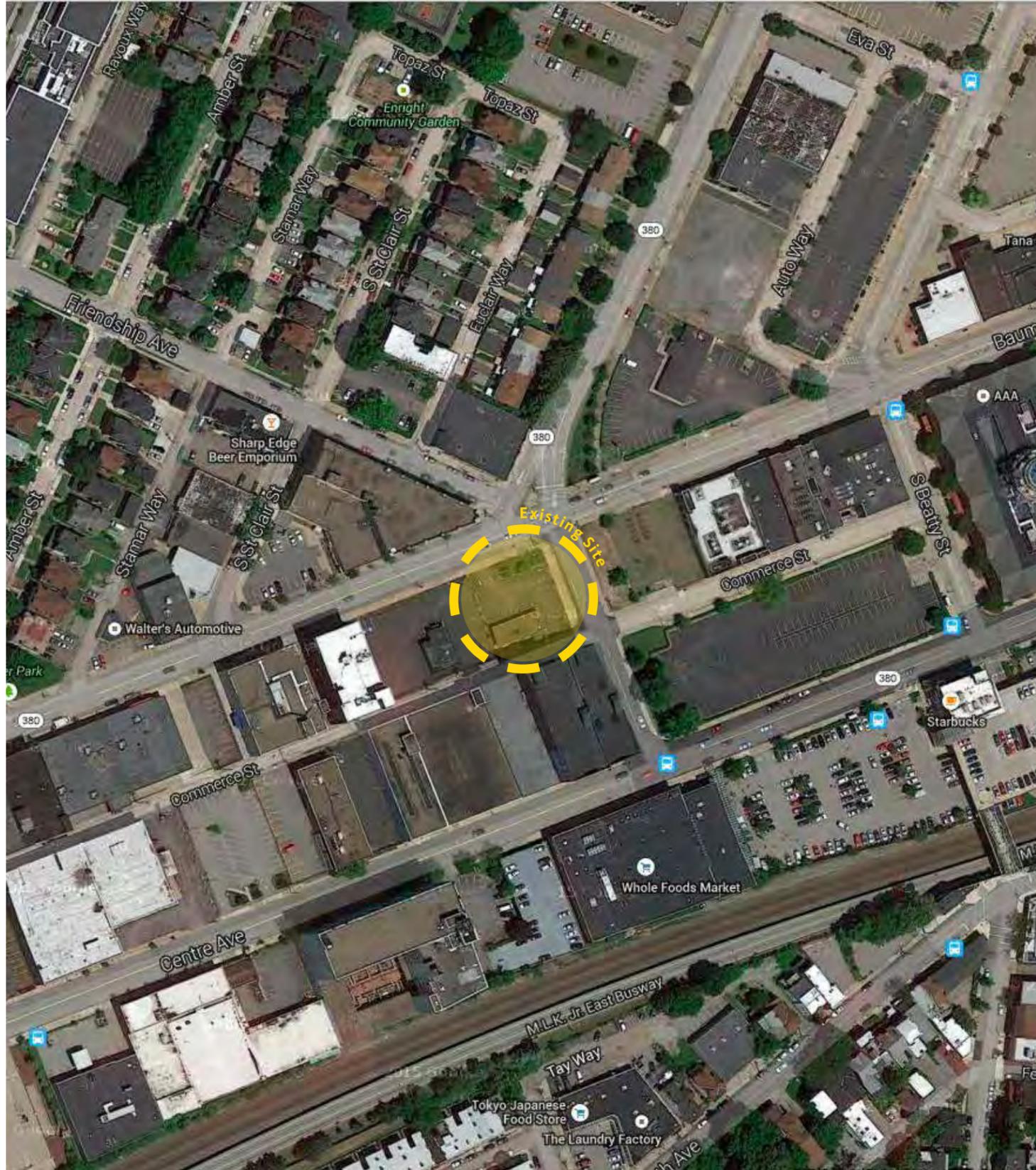
Applicant Signature:

# FIRST NIAGARA BANK

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East Liberty Branch | Zoning Presentation | 11 August 2015

# EXISTING SITE MAP & DIAGRAM

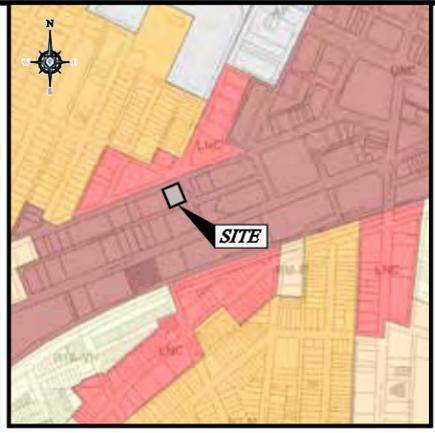


**BAUM BOULEVARD**  
(A.K.A. PENNSYLVANIA STATE HIGHWAY ROUTE 380)  
(60' WIDE R.O.W.)  
(ASPHALT ROADWAY)

**PENN CIRCLE WEST**  
(R.O.W. WIDTH UNKNOWN)  
(ASPHALT ROADWAY)

**Zoning Districts**

- General Industrial
- Neighborhood Industrial
- Urban Industrial
- Highway Commercial
- Local Neighborhood Commercial
- Urban Neighborhood Commercial
- Single-Unit Attached Residential
- Single-Unit Detached Residential
- Two-Unit Residential
- Three-Unit Residential
- Multi-Unit Residential



**GENERAL NOTES**

- THIS PLAN REFERENCE A SURVEY PLAN PREPARED BY: CONTROL POINT ASSOCIATES, INC. TITLED: ALTA/ACSM LAND TITLE SURVEY DATED: 3-31-2015
- THIS ZONING PLAN WAS PREPARED STRICTLY UPON INFORMATION IDENTIFIED ABOVE.
- CONTRACTOR IS RESPONSIBLE TO OBTAIN SPECIFIC RESOURCES, TECHNICAL REPORTS, DESIGN DOCUMENTS, ETAL RELATED TO THIS PROJECT AND FAMILIARIZE HIMSELF WITH SAME FOR APPLICATION BOTH PRIOR TO AND DURING CONSTRUCTION.
- APPLICANT/EQUITABLE OWNER: FIRST NIAGARA BANK 726 EXCHANGE STREET BUFFALO, NY 14210 ATTENTION: JAMES MULKA
- PARCEL DATA: PROPERTY KNOWN AS LOT 124, BLOCK 84-E (PARCEL ID #0084-E-00124-0000-00, CITY OF PITTSBURGH, ALLEGHENY COUNTY, 8TH WARD COMMONWEALTH OF PENNSYLVANIA
- SITE AREA: 11,500 SF, 0.264 AC.
- ALL A.D.A. ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET CURRENT A.D.A. REQUIREMENTS, AS AMENDED.
- ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- ALL EXISTING STRUCTURES, DWELLINGS, PAVEMENT, UTILITIES AND OTHER MISCELLANEOUS FEATURES ASSOCIATED WITH THE EXISTING BUILDING ARE TO BE REMOVED AS PART OF THIS LAND DEVELOPMENT.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)
- ALL BUILDINGS WILL BE SERVED BY PUBLIC WATER AND SEWER SERVICE.
- ELEVATIONS ARE BASED UPON NAVD83 DATUM.
- UNDERGROUND STORM SEWER AND SANITARY SEWER PIPES ARE DRAWN GRAPHICALLY AND ARE APPROXIMATE. UNDERGROUND STORM AND SANITARY PIPES SHOULD BE VERIFIED INDEPENDENTLY AS TO THEIR LOCATION, SIZE AND TYPE AND SHOULD BE CONSIDERED BY THE CONTRACTOR OR DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.

**ZONING REQUIREMENTS**

ZONING DATA: REQUIREMENTS TAKEN FROM THE ZONING CODE OF THE CITY OF PITTSBURGH, PA, TITLE NINE - AMENDED THROUGH FEBRUARY 14, 2011.

ZONING: UNC - URBAN NEIGHBORHOOD COMMERCIAL

EXISTING USE: BANK - FINANCIAL INSTITUTION W/ DRIVE-THRU  
PROPOSED USE: BANK - FINANCIAL INSTITUTION W/ DRIVE-THRU (PERMITTED BY RIGHT)

SITE DEVELOPMENT STANDARD	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE:	0 SF (0.00 AC)	11,500 SF (2.64 AC)	NO CHANGE
MAXIMUM FLOOR AREA RATIO: (NOT LOCATED WITHIN 1500 FT. OF MAJOR TRANSIT FACILITY)	≤1	0.05:1 (641 SF.)	0.24:1 (2,770 SF.)
MAXIMUM LOT COVERAGE:	NONE	80.6% (9,298 SF.)	87.6% (10,077 SF.)
<b>MINIMUM BUILDING SETBACK</b>			
FRONT YARD SETBACK:	NONE	35.5 FT.	0 FT.
REAR YARD SETBACK: (WHEN NOT ADJACENT TO A WAY)	20 FT.	43.2 FT.	50.8 FT.
INTERIOR SIDE YARD SETBACK:	NONE	N/A	N/A
EXTERIOR SIDE YARD SETBACK:	NONE	15.7 FT.	47.5 FT.
MAXIMUM BUILDING HEIGHT: (NOT LOCATED WITHIN 1500 FT. OF MAJOR TRANSIT FACILITY)	48 FT. (8 STORIES)	< 45 FT.	< 45 FT.
PARKING SETBACK FROM R.O.W.:	10 FT.	0.9 FT.	10 FT.

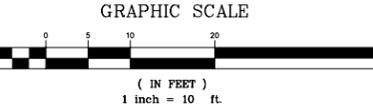
**BIKE RACK SPECIFICATION**

Bohler and Jitner bike racks are made of 100% recycled steel and are available in powder coated blue, grey and black. They are made of heavy duty steel and are built to last. The racks are made of heavy duty steel and are built to last. The racks are made of heavy duty steel and are built to last.



**DRAWING LEGEND**

—	PROPERTY BOUNDARY	▽	EXISTING FIRE HYDRANT
- - -	EXISTING CURB	○	EXISTING WATER VALVE
- - -	EXISTING CURB TO BE REMOVED	●	EXISTING MANHOLE
- - -	PROPOSED SAW CUT LINE	■	EXISTING INLET
- - -	PROPOSED CONCRETE CURB	□	PROPOSED CONCRETE PAD
- - -	PROPOSED FLUSH CURB	+	PROP. TRAFFIC CONTROL SIGN
- - -	PROPOSED UNDERGROUND ELECTRIC SERVICE LINE		



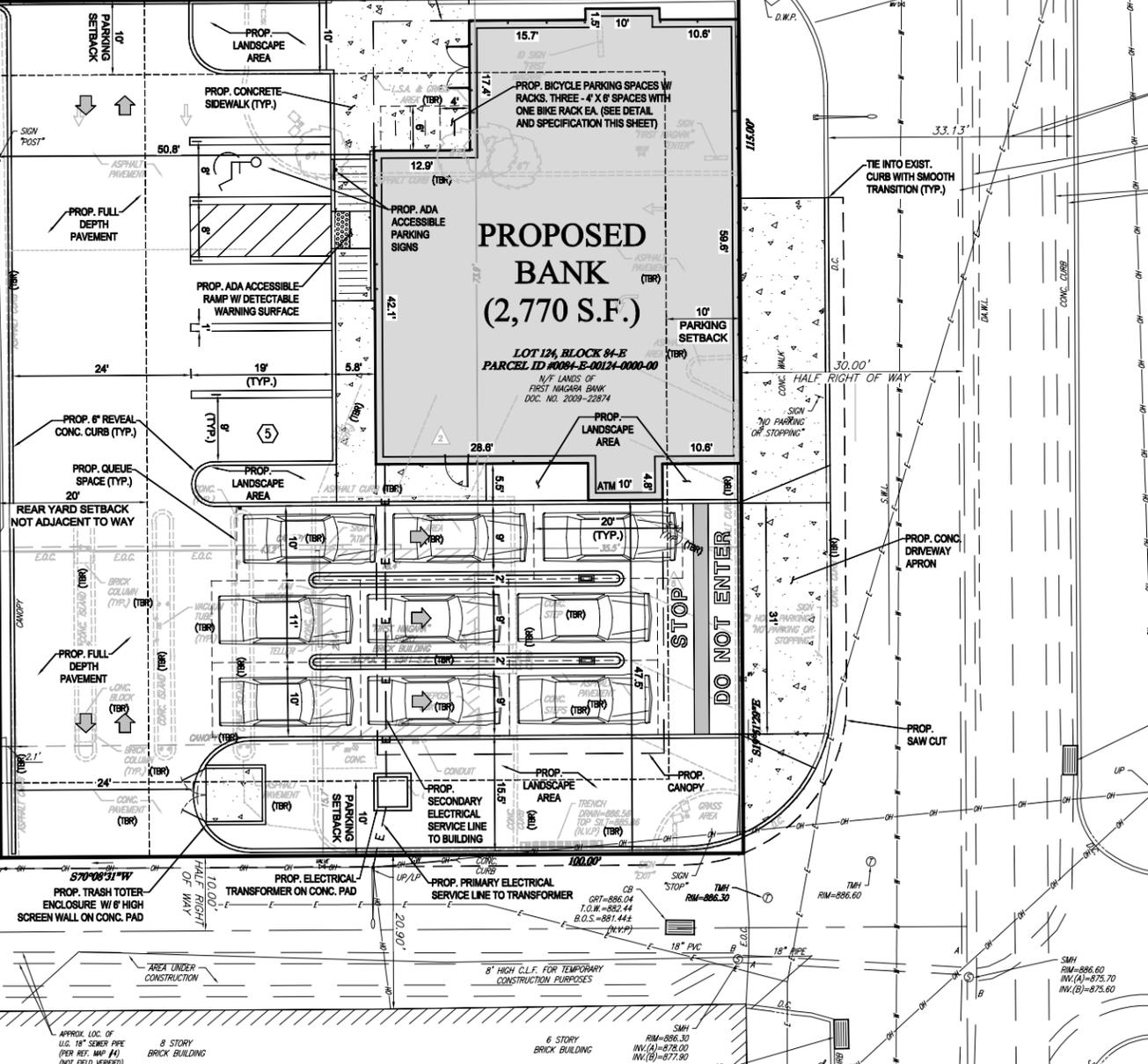
ZONING  
LNC - LOCAL NEIGHBORHOOD COMMERCIAL

ZONING  
UNC - URBAN NEIGHBORHOOD COMMERCIAL

**COMMERCE STREET**  
(20' WIDE R.O.W. - UNCONFIRMED)  
(CONCRETE ROADWAY)

**S. EUCLID AVENUE**  
(A.K.A. PENNSYLVANIA STATE HIGHWAY ROUTE 380)  
(60' WIDE R.O.W.)  
(ASPHALT ROADWAY)

**PROPOSED BANK**  
(2,770 S.F.)



**BOHLER ENGINEERING**

SITE CIVIL AND CONSULTING ENGINEERING  
LANDSCAPE ARCHITECTURE  
PROFESSIONAL ENGINEERING  
PROFESSIONAL ARCHITECTURE  
PROFESSIONAL SURVEYING

PHILADELPHIA, PA  
LEHIGH VALLEY, PA  
CENTRAL VIRGINIA  
CHARLOTTE, NC  
TAMPA, FL  
BALTIMORE, MD  
REHOBOTH BEACH, DE  
NEW YORK, NY  
SOUTH FLORIDA

**REVISIONS**

REV	DATE	COMMENT	BY

**CALL BEFORE YOU DIG!**

PAI  
1-800-242-1776

**NOT APPROVED FOR CONSTRUCTION**

PROJECT No.: PY150763  
DRAWN BY: MSL  
CHECKED BY: MEJ  
DATE: 8/6/2015  
SCALE: AS NOTED  
CAD I.D.: PY150763 ZONING-0

**ZONING PLAN**

FOR  
**FIRST NIAGARA**

FIRST NIAGARA BANK  
5830 BAUM BOULEVARD  
CITY OF PITTSBURGH  
ALLEGHENY COUNTY, PA

**BOHLER ENGINEERING**

3701 CORPORATE PARKWAY, SUITE 200  
CENTER VALLEY, PENNSYLVANIA 18034  
Phone: (810) 709-9971  
Fax: (810) 709-9975  
www.BohlerEngineering.com

**M.E. JEITNER**

PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. PE055733

**ZONING PLAN**

SHEET NUMBER:  
**Z-1**  
1 OF 1  
REVISION 0



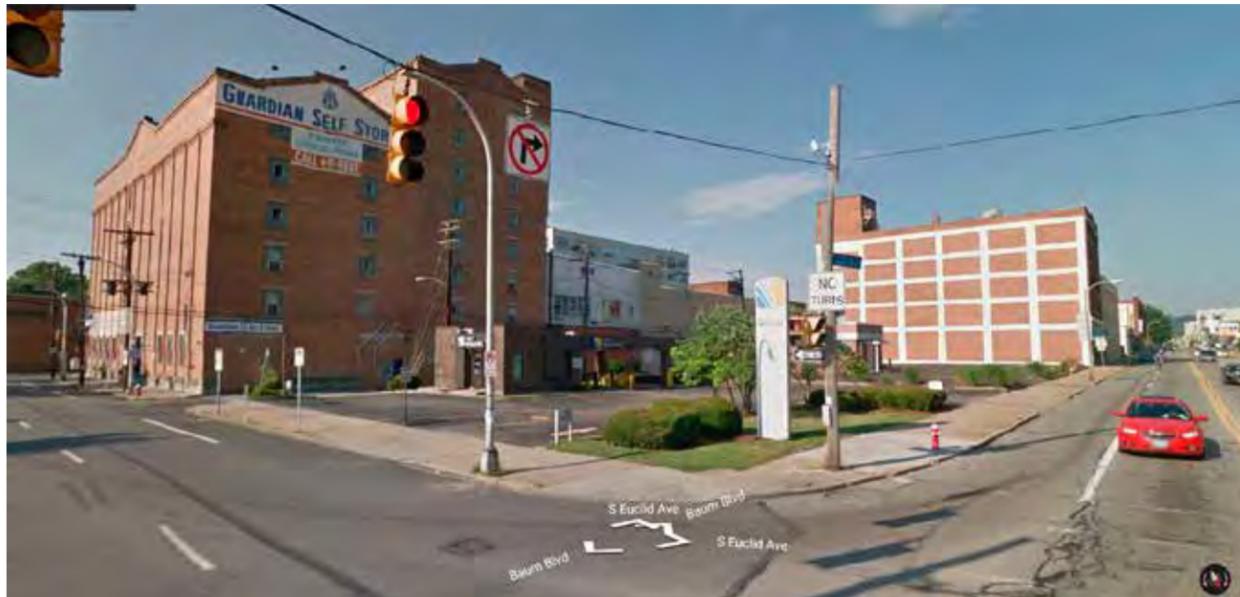
# SITE PHOTOS



East View



South View



South West View



West View

# SITE PHOTOS



North West View



North View

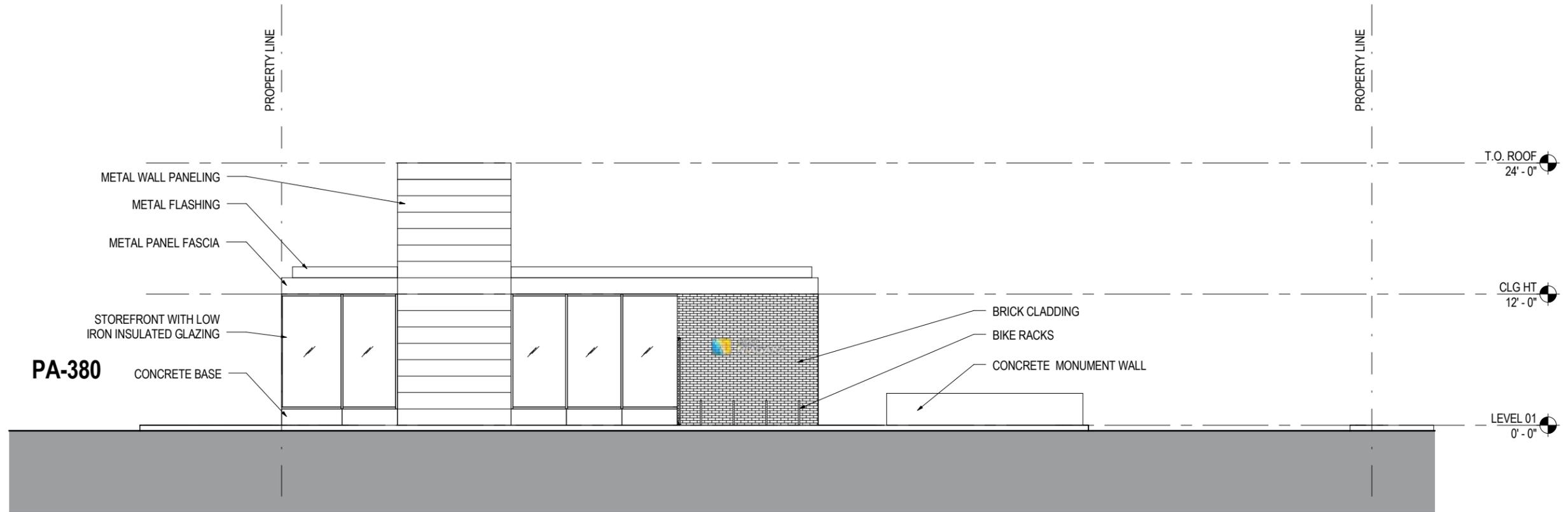


North East View

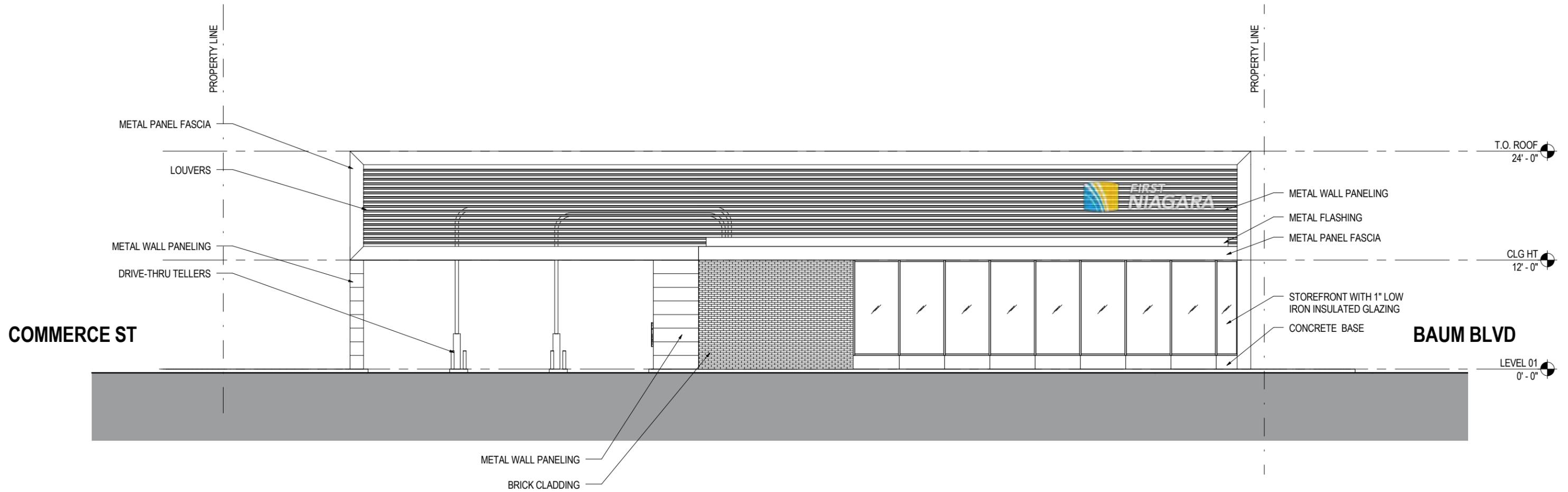


East View

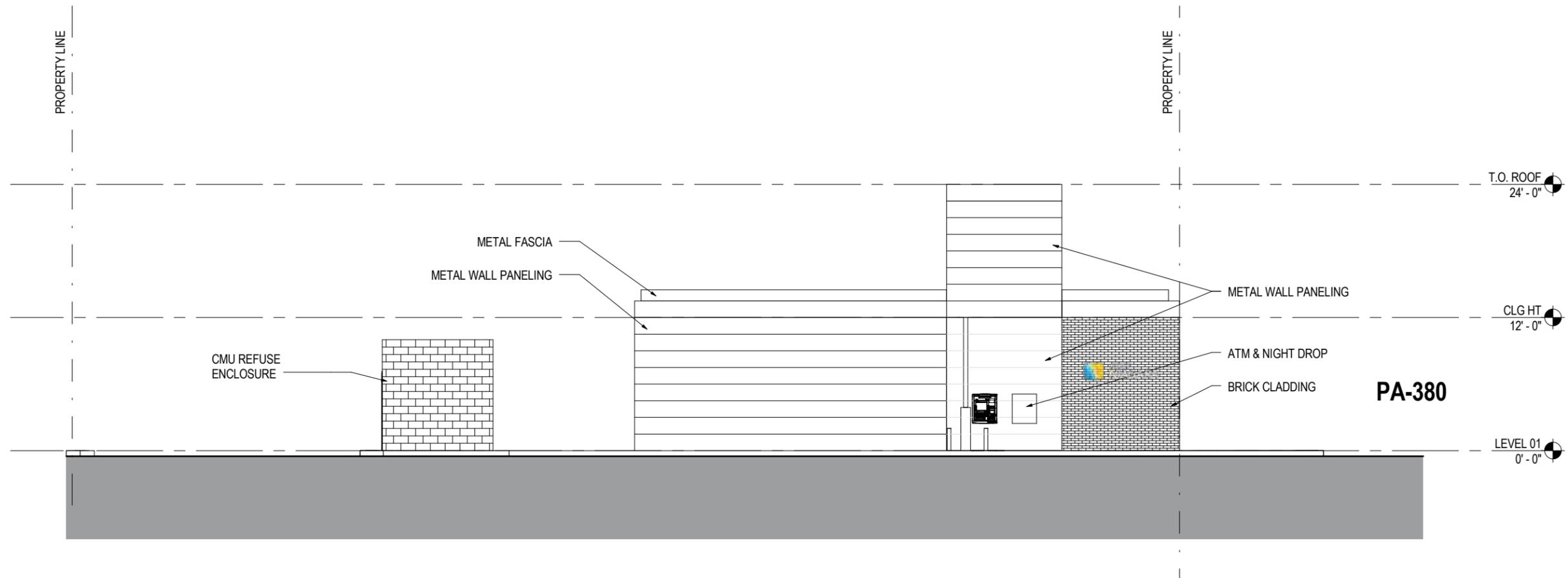
# EXTERIOR ELEVATION - BAUM BLVD (NORTH ELEVATION)



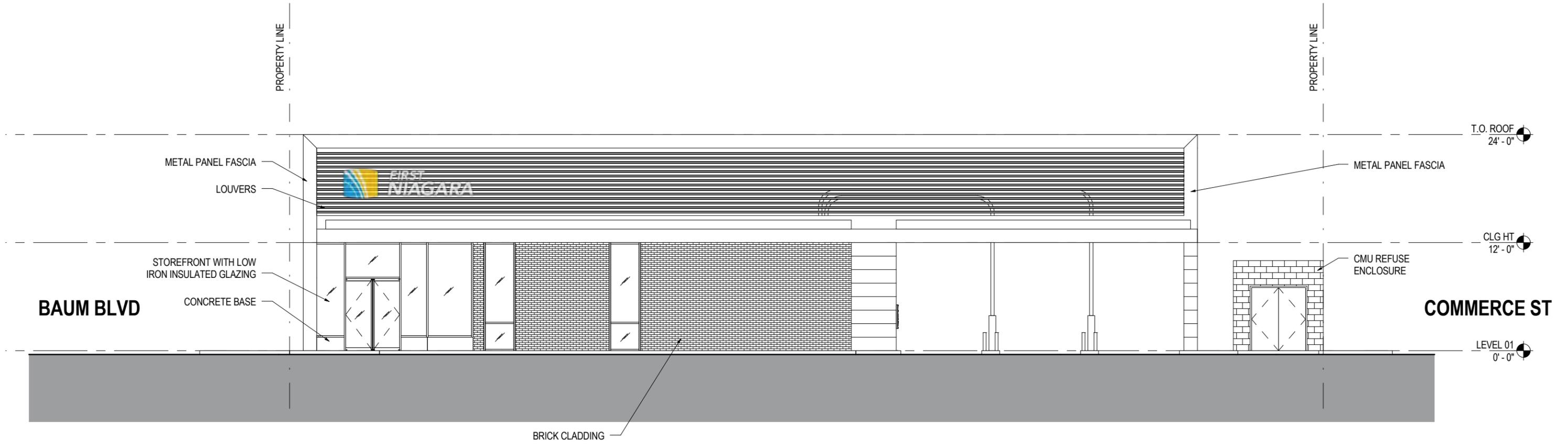
# EXTERIOR ELEVATION - PA-380 (EAST ELEVATION)



# EXTERIOR ELEVATION - COMMERCE ST (SOUTH ELEVATION)



# EXTERIOR ELEVATION - WEST ELEVATION



# MATERIAL PALETTE



Brick



Anodized Aluminum



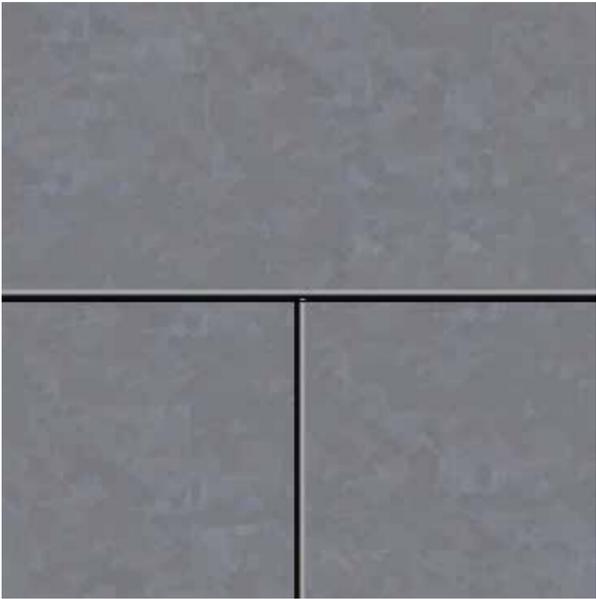
Low-Iron Glass



Spandrel Panel



Concrete



Metal Paneling



Louvers



CMU - Burnished

# BAUM BLVD VIEW



BAUM BLVD VIEW



CORNER OF BAUM BLVD AND PA-380 VIEW



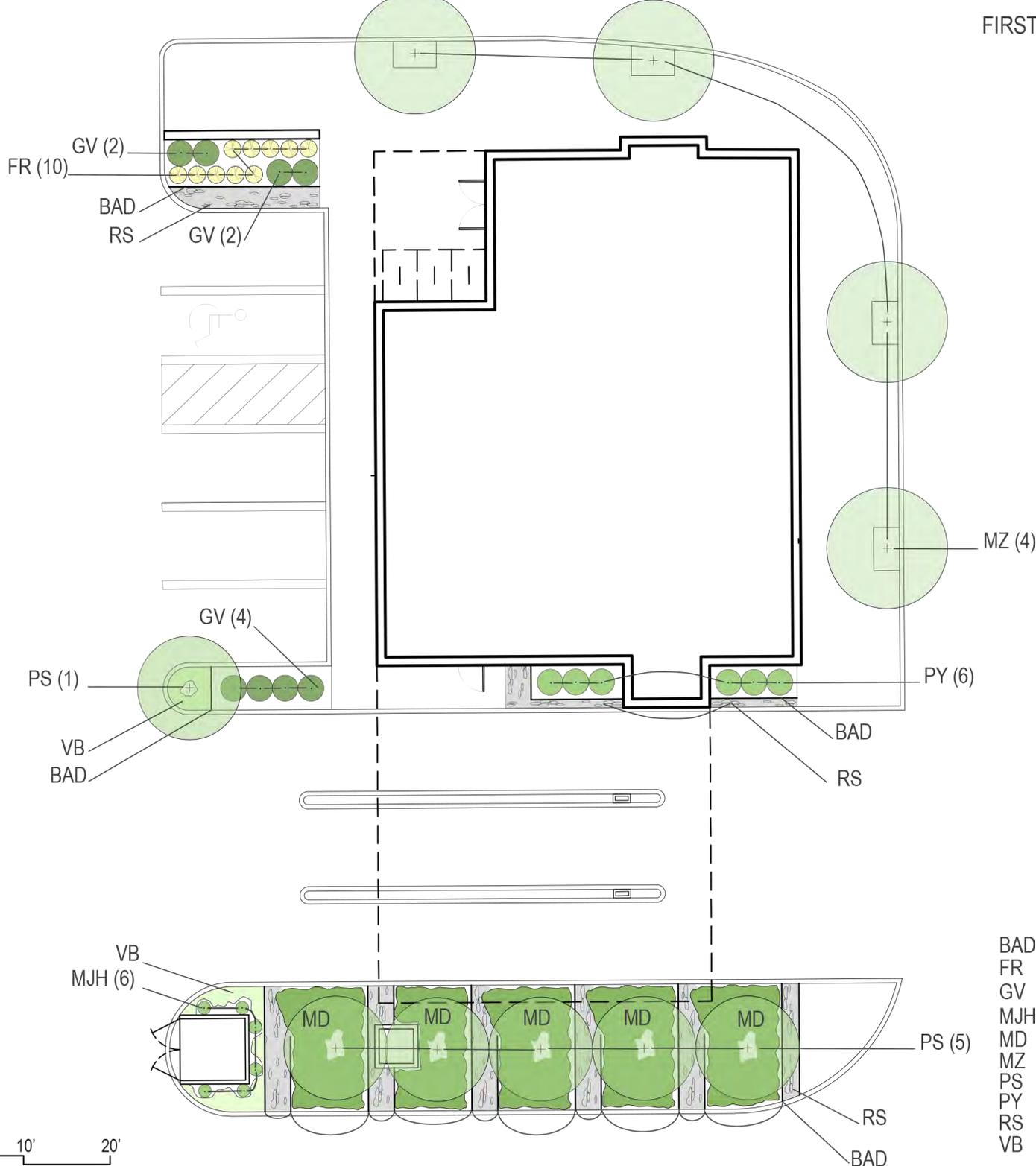
PA-380 VIEW



# COMMERCE STREET VIEW



FIRST NIAGARA BANK - LANDSCAPE PLAN



- BAD | BLACK ANODIZED ALUMINUM EDGING
- FR | FEATHER REED GRASS
- GV | GREEN VELVET BOXWOOD
- MJH | 'MOONLIGHT' JAPANESE CLIMBING HYDRANGEA
- MD | MICROBIOTA DECUSSATA
- MZ | 'MUSASHINO' ZELKOVA
- PS | 'PRINCETON SENTRY' GINKGO
- PY | UPRIGHT JAPANESE PLUM YEW
- RS | RIVER STONE (GREY)
- VB | VINCA 'BOWLES'



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

*(Zoning Use Only)*

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: <b>Healthcare Trust of America</b>		Phone Number: (     )	
Address: <b>201 North Pennsylvania Parkway, Suite 201</b>		City/State: <b>Indianapolis, IN</b> Zip Code: <b>46280</b>	
2. Applicant/Company Name: <b>LGA Partners</b>		Phone Number: (     )	
Address: <b>1425 Forbes Avenue,</b>		State: <b>Pittsburgh, PA</b> Zip Code: <b>15219</b>	
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: <b>Penn Avenue Place (Highmark offices)</b>			
4. Development Location: <b>Golden Triangle District C</b>			
5. Development Address: <b>501 Penn Avenue, Pittsburgh, PA 15222</b>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property: <b>Office (general)</b>
8. Estimated Construction: Start Date: <b>2 / 1 / 16</b>		Completion Occupancy Date: <b>8 / 1 / 17</b>	Project Cost: \$ <b>2.5 million</b>

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **Office (general)**

10. Select the Type of Work:

New Construction, New      Renovation, Interior

New Construction,      Renovation, Exterior

Change in Use Only      Renovation, Change in Use

11. Describe the Development:  
**The project involves the repair and replacement of the monumental decorative cornice at Penn Avenue Place, the former Horne's Department Store Building. The scope of work includes the complete removal and replacement of the existing tin cornice at the facility, replacing it in-kind with a cast glass-fiber reinforced plastic assembly, molded from the original profile.**

12. Is a Land Operations Permit needed?      YES      NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

## DEVELOPMENT REVIEW APPLICATION

### LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions:  N/A  
 Residential       Commercial       Recreational       Industrial       Institutional

14. Gross Floor Area:

Existing to be Razed: +/- 700 linear feet sq ft (existing cornice)

Existing to be Retained: \_\_\_\_\_ sq ft

Retained Area to be Renovated: \_\_\_\_\_ sq ft

To be Constructed: +/- 700 linear feet sq ft (replacement cornice)

Building Footprint: \_\_\_\_\_ sq ft

15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	8	130	n/a	n/a
Proposed Addition/Extension			n/a	n/a

Provide Accessory Structure Type(s) and Height(s):


16. Number of Dwelling Units:  
 Existing to Remain: n/a      Proposed: n/a

17. Lot Area: 76,000 sq ft

18. On Site Parking:  N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 ½' x 19' )		
Compact (7 ¼' x 16' )		
Handicap (13 ½' x 19' )		

Off-Street Loading Spaces:  N/A  
 Actual: \_\_\_\_\_  
 Required: \_\_\_\_\_

19. Please check any of the following items that will be part of the proposed work:  N/A

Demolition       HVAC (Interior)       HVAC (Exterior)       Electrical       Fire Alarm

Fire Protection/Sprinklers       Deck Construction       Commercial Cooking Hood       Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing       New Construction of Plumbing       No Plumbing Work is Proposed



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

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21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

0	New Water Service Connection(s)	0		Termination of Existing Water Service Tap(s)
0	New Sewer Service Connection(s)	0		Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES                       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street                     
  Private Property   
  Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?                       Yes                       No

Applicant Signature: \_\_\_\_\_



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

## Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

## Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219**

**DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION**

**Department of City Planning**

200 Ross Street, Fourth Floor  
Pittsburgh, PA 15219  
(412) 255-2200  
[pittsburghpa.gov/dcp/](http://pittsburghpa.gov/dcp/)

**Department of City Planning  
Zoning Office Counter**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2246  
[pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/)

**City Zoning Code**

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety  
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2175  
[www.city.pittsburgh.pa.us/bbi/](http://www.city.pittsburgh.pa.us/bbi/)

**Department of Public Works (DPW)  
Bureau of Engineering and Construction**

City-County Building, Room 301  
441 Grant Street  
Pittsburgh, PA 15219  
(412) 255-2883  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Department of Public Works (DPW)  
Public Space Management**

**Permit Office**  
611 Second Avenue  
Pittsburgh, PA 15219  
(412) 255-2370  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Pittsburgh Water and Sewer Authority (PWSA)**

Penn-Liberty Plaza I  
1200 Penn Avenue  
Pittsburgh, PA 15222  
Permits (412) 255-2443; Engineering (412) 255-8987  
[www.pgh2o.com](http://www.pgh2o.com)  
*Refer to the PWSA Procedures Manual for Developers.*

**Allegheny County Health Department (ACHD)**

Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224  
(412) 578-8036  
[www.achd.net/plumbing/index.html](http://www.achd.net/plumbing/index.html)

**Allegheny County Health Department (ACHD)**

Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224  
(412) 578-8044  
[www.achd.net/food/foodstart.html](http://www.achd.net/food/foodstart.html)

**Allegheny County Health Department (ACHD)**

Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
[www.achd.net/housing/commenvironstart.html](http://www.achd.net/housing/commenvironstart.html)



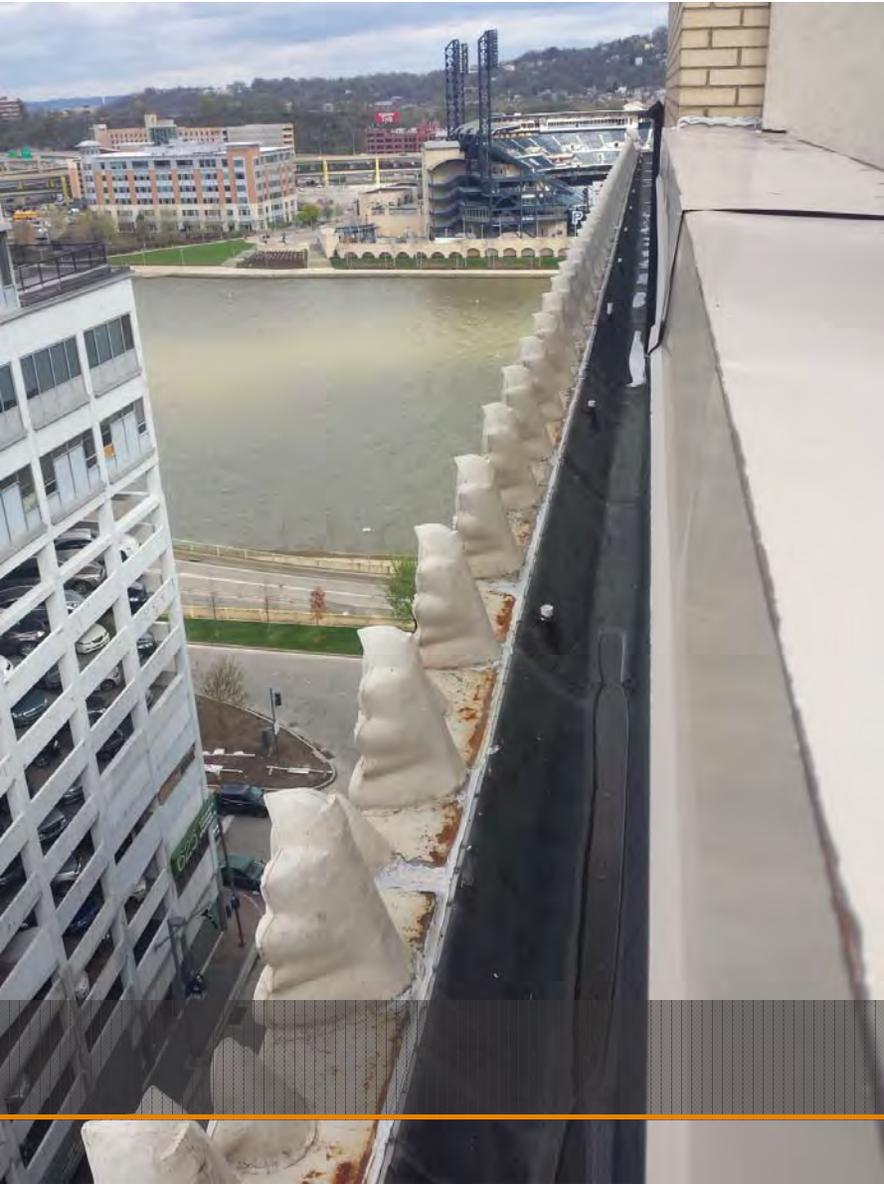
ARCHITECTURE  
INTERIORS  
PLANNING



# 510 Penn Avenue Place Cornice Repair



Existing Conditions



Existing Conditions



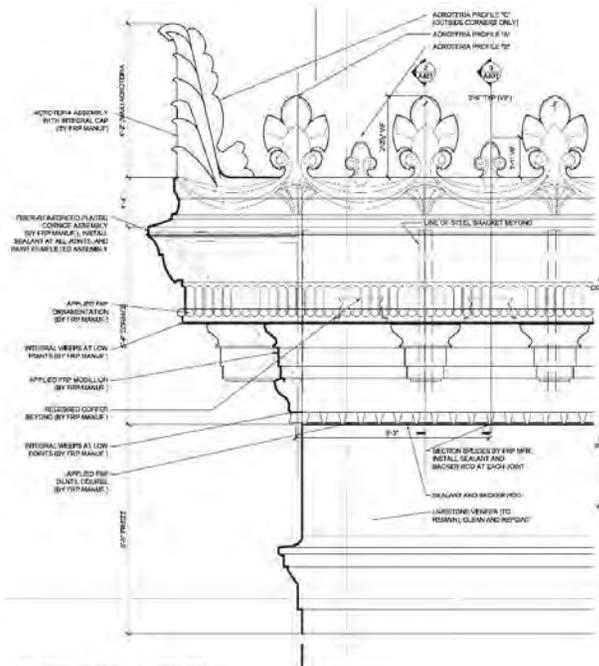
Existing Conditions



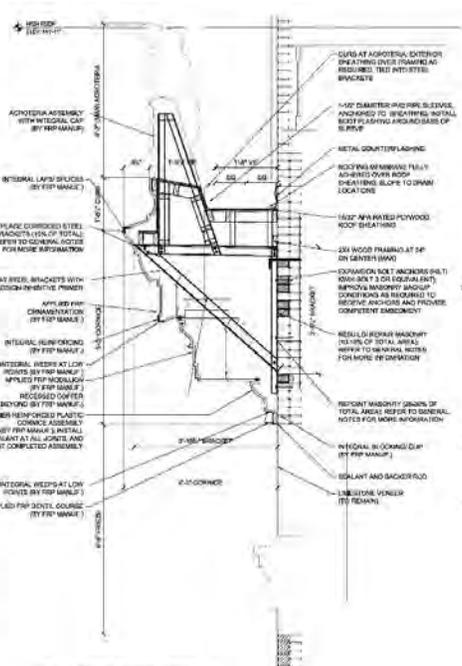
Existing Conditions



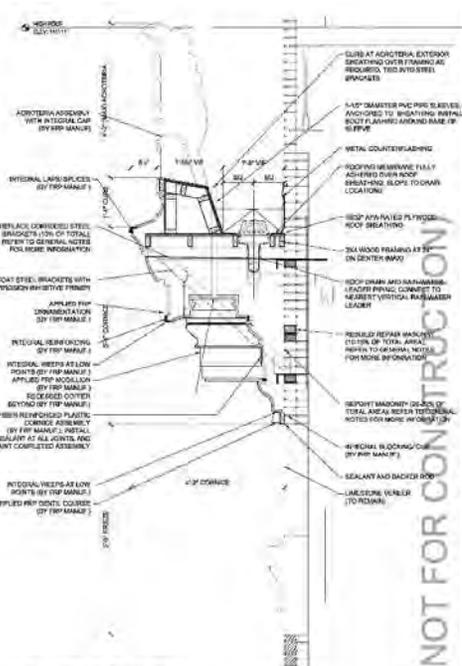




1 CORNICE DETAIL (ELEVATION)  
SCALE: 3/4" = 1'-0"



2 CORNICE DETAIL (HIGH)  
SCALE: 3/4" = 1'-0"



3 CORNICE DETAIL (HIGH)  
SCALE: 3/4" = 1'-0"

**CORNICE RESTORATION**  
**PENN AVENUE PLACE**

HEALTHCARE MANAGEMENT OF AMERICA, INC.  
501 PENN AVENUE  
PITTSBURGH, PA 15213

OWNER  
HEALTHCARE TRUST OF AMERICA  
301 N. PENNSYLVANIA PARKWAY  
SUITE 201  
INDIANAPOLIS, IN 46209

CONSULTANT  
KEYSTONE STRUCTURAL SOLUTIONS  
8150 PLEURY HIGHWAY  
SUITE 322  
PITTSBURGH, PA 15239

CONSULTANT

**lga PARTNERS**  
STRUCTURAL CONSULTANTS  
KANSAS CITY, MO

These drawings are prepared by the members of the firm and are not to be used for any other project without the written consent of the firm.

NO.	DATE	REVISION/NOTATION

DATE:	11-08-15
ISSUED BY:	
PROJECT NO.:	15061
DRAWN BY:	
CHECKED BY:	

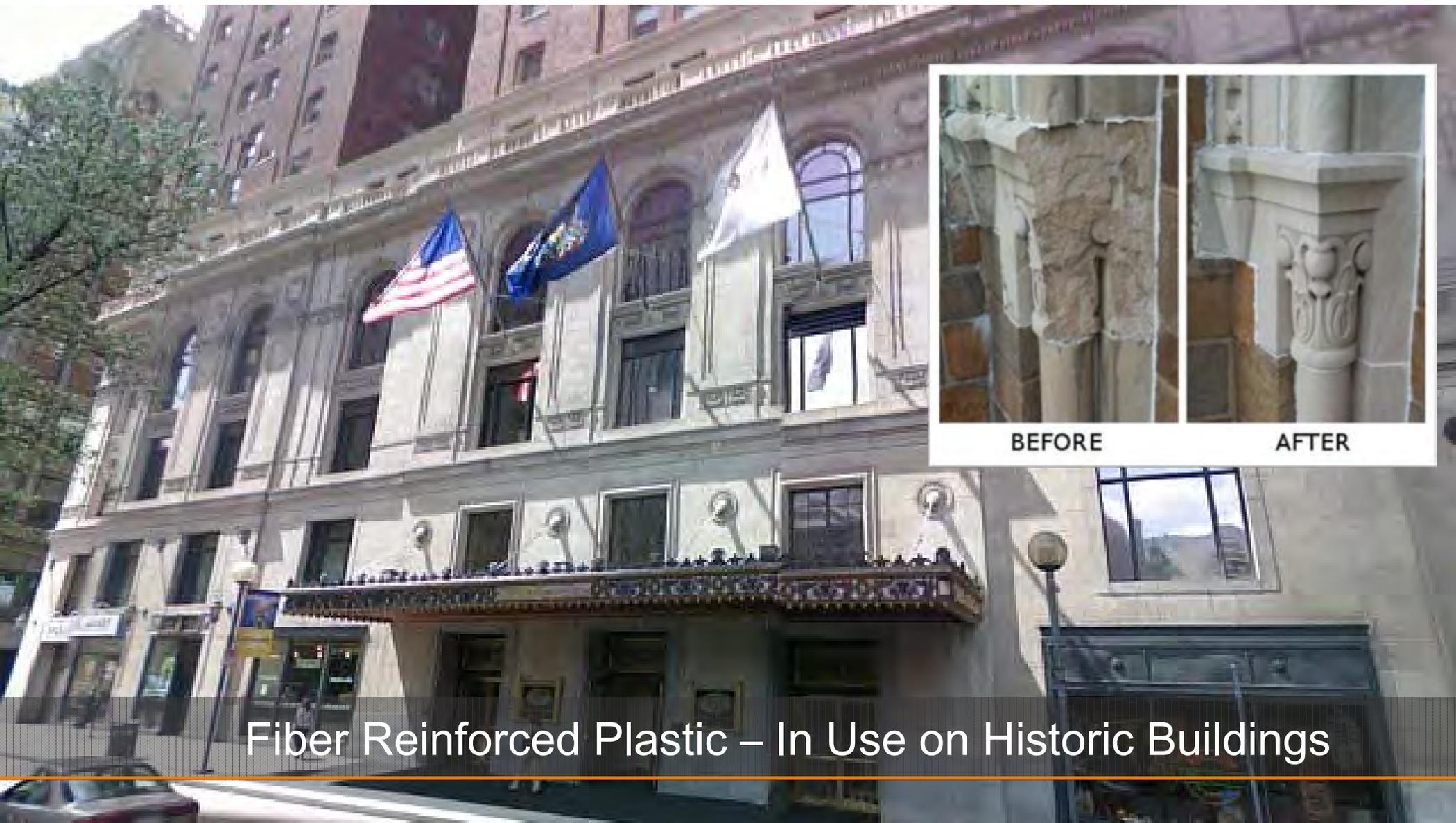
DETAILS  
**A401**



Details

BO SET - OCTOBER 8, 2015 (NOT FOR CONSTRUCTION)





Fiber Reinforced Plastic – In Use on Historic Buildings

SURVEY OF PART OF LOT NO. 30  
IN SCHENLEY HEIGHTS PLAN OF LOTS  
P.B.V. 20 PG. 102

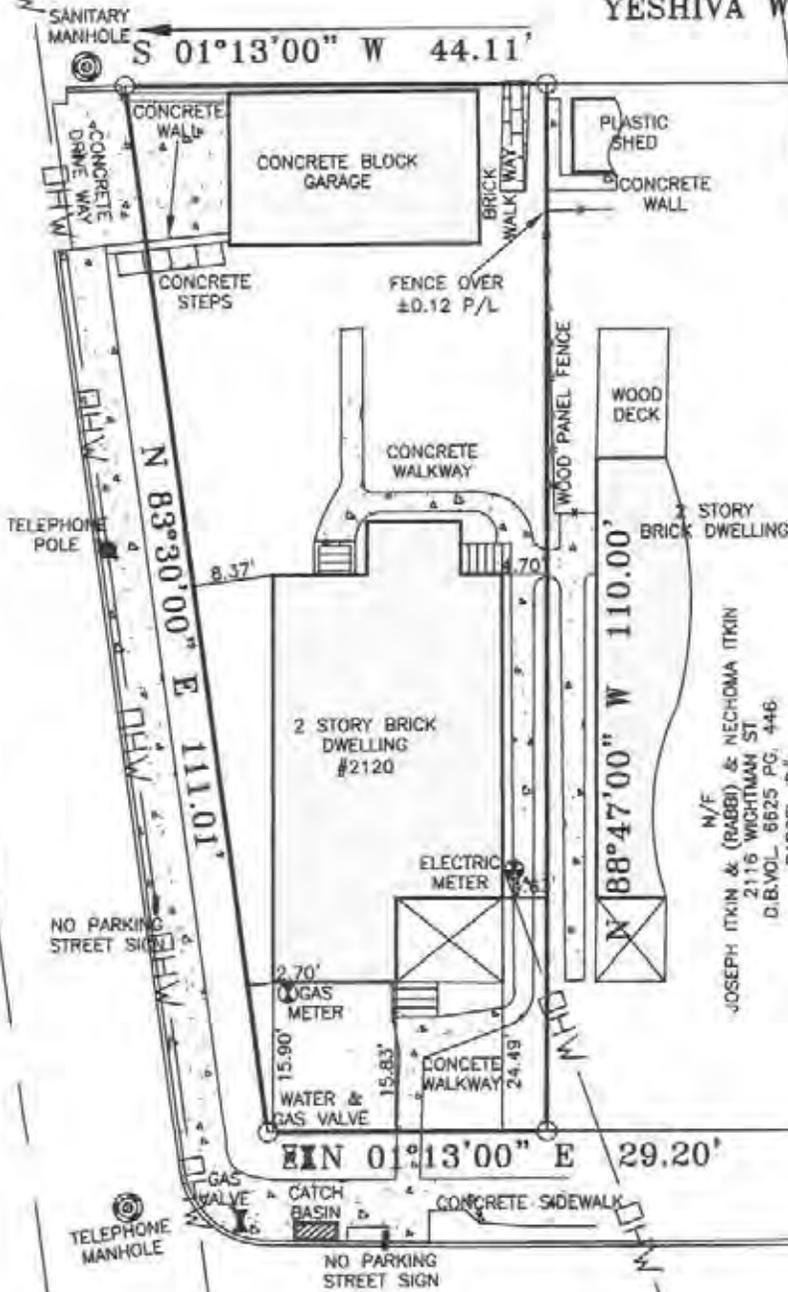


LOT #30

ORIGINAL LOT LINE  
COVODE STREET 50' R/W

YESHIVA WAY 15' R/W

HOBART STREET



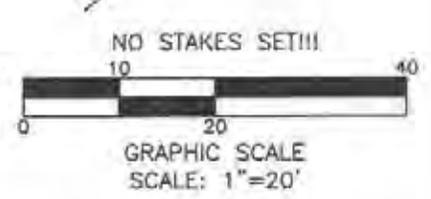
THIS AREA OF LOT #23;  
VACATED FOR COVODE ROAD  
R/W-COURT OF COMMON  
PLEAS OF ALLEGHENY COUNTY  
PROCEEDINGS NO. 1578  
APRIL TERM 1928

N/F  
JOSEPH ITKIN & (RABBI) & NECHOMA ITKIN  
2116 WIGHTMAN ST  
D.B.VOL. 8625 PG. 446  
PARCEL ID#: 0087-B-00036-0000-00

WIGHTMAN STREET 60' R/W

HOBART STREET

IN CONSIDERATION OF THE ACCEPTANCE OF THIS PLAN OF SURVEY, I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS IS A CORRECT PLAN OF SURVEY MADE BY ME UPON THE PREMISES THE 18TH DAY OF NOVEMBER 2015, SHOWING ALL BUILDINGS, FENCES, AND OTHER EASEMENTS OR SERVITUDES APPARENT FROM SAID SURVEY.



\*DECLARATION IS MADE TO ORIGINAL PURCHASER OF THIS SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.



PLAN MADE FOR: <b>YESHIVATH ACHEI TMIMIM OF PGH INC</b>		
SCALE: 1"=20'	PARCEL ID#: 0087-B-00037-0000-00	DRAWN BY: LG/PM
DATE: 11-18-15	2120 WIGHTMAN ST (PIT14) FIELD BOOK #	FIELDWORK BY: JWC/PM
SITUATE IN THE 14TH WARD OF THE CITY OF PITTSBURGH, COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA		
<b>CONVERSE SURVEYING</b> 1901 SLEEPY HOLLOW ROAD, SOUTH PARK, PA 15129-9112		PHONE: 412-831-2114 FAX: 412-831-9817 EMAIL: JAMESWCONVERSE@YAHOO.COM

CONDITIONAL USE # 776 - App # 796

City of Pittsburgh

DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

12/1/15

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: Yeshivath Achei Tsumim of Pittsburgh Phone Number: ( )  
Address: 2100 Wightman City: Pittsburgh State: PA Zip Code: 15217

2. Applicant/Company Name: Daniel Tol, Esq Phone Number: (412) 361-2381  
Address: 1330 N. Shoreline City: Pittsburgh State: PA Zip Code: 15206

Applicant/Contractor ID: (assigned by the City)

3. Development Name:

4. Development Location: 2120 Wightman Street

5. Development Address: 2120 Wightman Street

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:

Present Use of Site: (Select from attached list) 1, 97, & 110

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy #: 60001 Date Issued: 11/24/1995 Existing Use of Property: residential / Church School

8. Estimated Construction: Start Date: 5/1/2016 Occupancy Date: 9/1/2016 Project Cost: \$

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Multi-suite Residential (Limited) with 1 d.o.

10. Select the Type of Work:

New Construction, New  Renovation, Interior  
 New Construction,  Renovation, Exterior  
 Change in Use Only  Renovation, Change in Use

11. Describe the Development: minor rehabilitation of existing building to create one dwelling unit on first floor with four sleeping rooms for multi-suite residential on 2nd and 3rd floors.

12. Is a Land Operations Permit needed?  YES  NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

13. Proposed Number of New Structures or Building Additions:  N/A  
 Residential     Commercial     Recreational     Industrial     Institutional

14. Gross Floor Area:  
 Existing to be Razed: \_\_\_\_\_ sq ft  
 Existing to be Retained: \_\_\_\_\_ sq ft  
 Retained Area to be Renovated: \_\_\_\_\_ sq ft  
 To be Constructed: \_\_\_\_\_ sq ft  
 Building Footprint: \_\_\_\_\_ sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	2 1/2		2 1/2	
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):  
 Concrete Block Garage

16. Number of Dwelling Units:  
 Existing to Remain: 1      Proposed: 1 + 4 sleeping rooms

17. Lot Area: 4031 sq ft

18. On Site Parking:  N/A

	Existing	Proposed
Full (8 1/2' x 19')	1	see attachment
Compact (7 1/4' x 16')		A
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces:  N/A  
 Actual: \_\_\_\_\_  
 Required: \_\_\_\_\_

19. Please check any of the following items that will be part of the proposed work:  N/A  
 Demolition     HVAC (Interior)     HVAC (Exterior)     Electrical     Fire Alarm  
 Fire Protection/Sprinklers     Deck Construction     Commercial Cooking Hood     Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing     New Construction of Plumbing     No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**WATER AND SEWER INFORMATION**

*NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.*

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2, ...) of each of the following sewer and/or water items that will be part of the work:

- |  |   |
|--|---|
| <input type="checkbox"/> New Water Service Connection(s) | <input type="checkbox"/> Termination of Existing Water Service Tap(s) |
| <input type="checkbox"/> New Sewer Service Connection(s) | <input type="checkbox"/> Termination of Existing Sewer Service Tap(s) |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

**WORK IN AND AROUND THE CITY RIGHTS-OF-WAY**

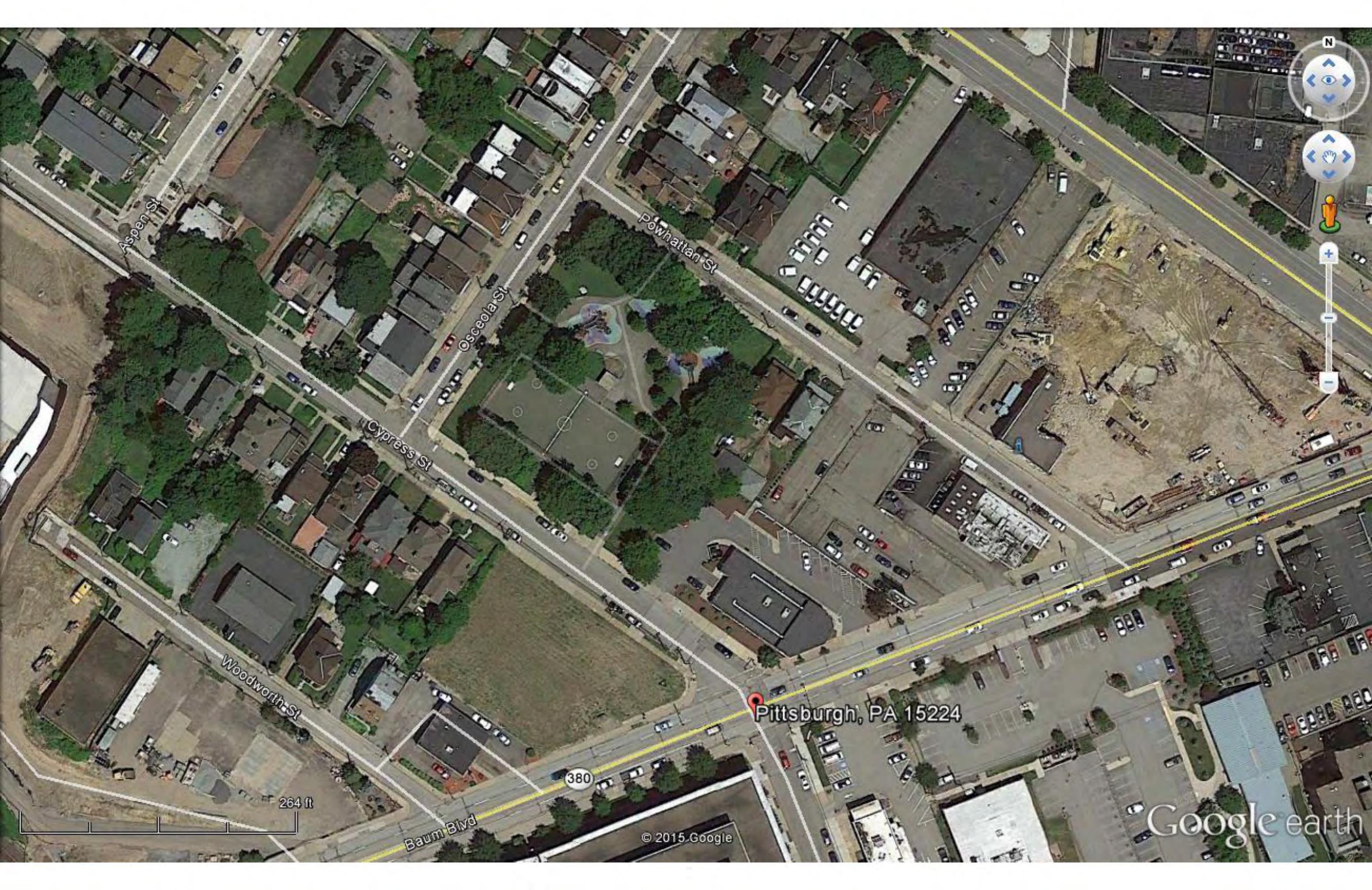
25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visiblity Tax Credit?       Yes       No

Applicant Signature:

*De L. [Signature], Eng.*



Pittsburgh, PA 15224

380

264 ft

Baum Blvd

Woodward St

Cypress St

Osceola St

Powhattan St

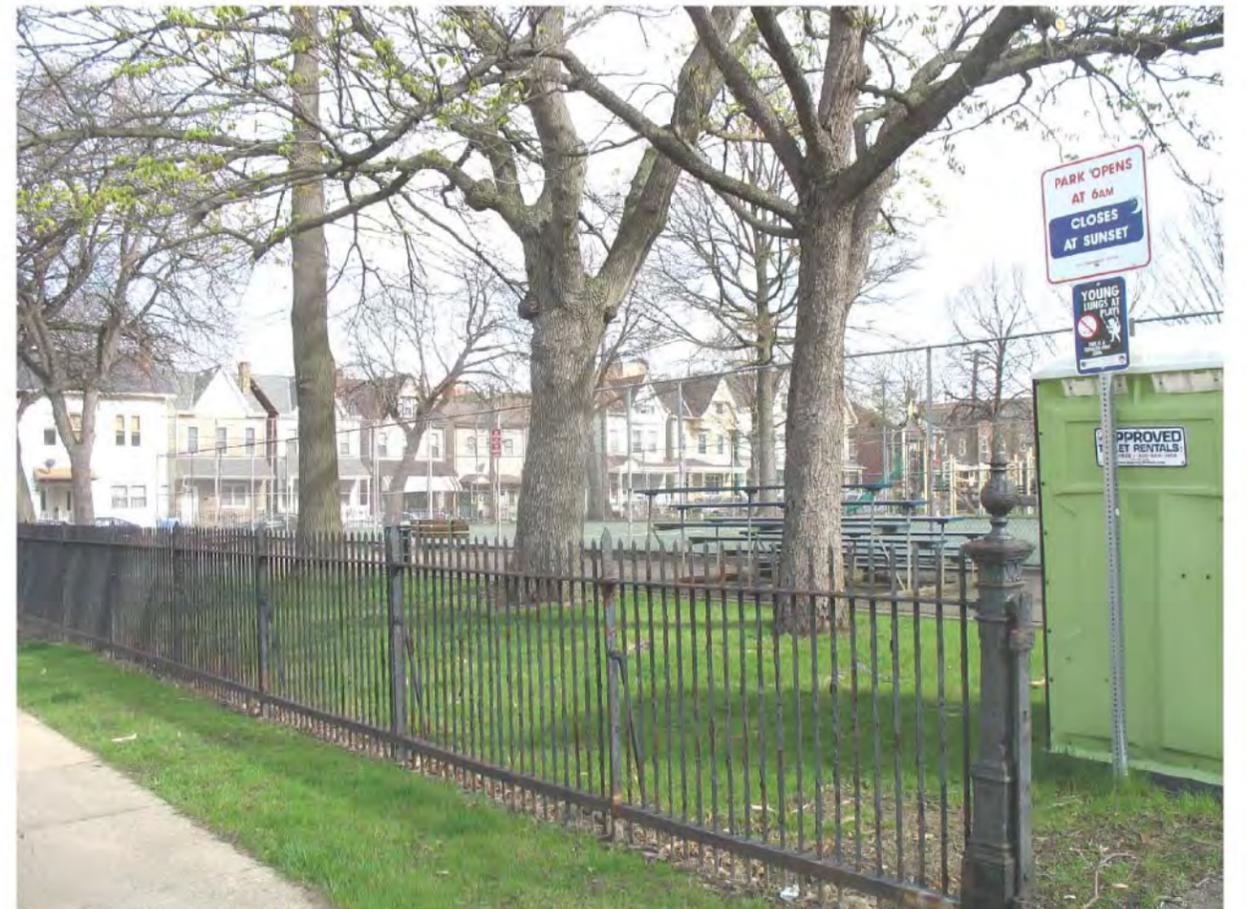
Aspen St

© 2015 Google

Google earth







The Munhall Ventures I, L.P., owner of the land shown on the Arby's Restaurant Plan hereby adopts this plan as its plan of lots and irrevocably dedicates all streets and other property identified for dedication on this plan to The City of Pittsburgh. This adoption and dedication shall be binding upon the partnership and upon its heirs, executors, and assigns.

IN WITNESS OF WHICH, to this we set our hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

ATTEST: \_\_\_\_\_  
 Munhall Ventures I, L.P.  
 By: David E. Brody, Vice President  
 Munhall Ventures Corporation, General Partner

Notary Public \_\_\_\_\_  
 Munhall Ventures Corporation  
 General Partner

Before me, the undersigned Notary Public in and for said Commonwealth of Pennsylvania and County of Allegheny, personally appeared the above named David E. Brody, Vice-President of Munhall Ventures I, L.P., General Partner of Munhall Ventures Corporation and acknowledged the foregoing adoption and dedication to be the act of the partnership.

WITNESS MY HAND AND NOTARIAL SEAL this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

My Commission Expires the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 Notary Public

We, Munhall Ventures I, L.P., hereby certify that the title to the property contained in the Arby's Restaurant Plan is in the name of Munhall Ventures I, L.P., and is recorded in Deed Book Volume \_\_\_\_\_ Page \_\_\_\_\_ I further certify that there is no mortgage, lien, or other encumbrances against this property.

\_\_\_\_\_  
 Witness  
 Munhall Ventures I, L.P.  
 By: David E. Brody, Vice President  
 Munhall Ventures Corporation, General Partner

We, Munhall Ventures Corporation, General Partner, David E. Brody, Vice-President, hereby agree to indemnify and save harmless the 8th Ward - City of Pittsburgh, its agents, servants, and/or employees, from any and all liability by reason of the City's reliance upon plans, drawings, specifications, and/or other statements submitted by or through the subdivider arising out of or by reason of damage which may be found to exist to the property or property owners or occupiers other than the subdivider, as a result of the implementation of the proposed subdivision.

\_\_\_\_\_  
 Witness  
 Munhall Ventures I, L.P.  
 By: David E. Brody, Vice President  
 Munhall Ventures Corporation, General Partner

I, certify that, to the best of my information, knowledge and belief the survey and plan shown hereon are correct and accurate to the standards required.

\_\_\_\_\_  
 Date  
 John S. Bitting - AGENT  
 Registration No. SU-034631-E  
 Fahringer, McCarty, Grey, Inc.

I, certify that this plan meets all engineering and design requirements of the applicable ordinances of the 2nd Ward - City of Pittsburgh, except as departures have been authorized by the appropriate officials of the City.

\_\_\_\_\_  
 Date  
 City Engineer  
 Registration No. \_\_\_\_\_

Notice to purchasers and present owners:  
 The Planning Commission of the City of Pittsburgh hereby gives public notice that in approving this plan for recording, the City of Pittsburgh assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Reviewed by the Planning Commission of the City of Pittsburgh this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 Secretary  
 Chairperson

Approved by the Council of the City of Pittsburgh by resolution this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

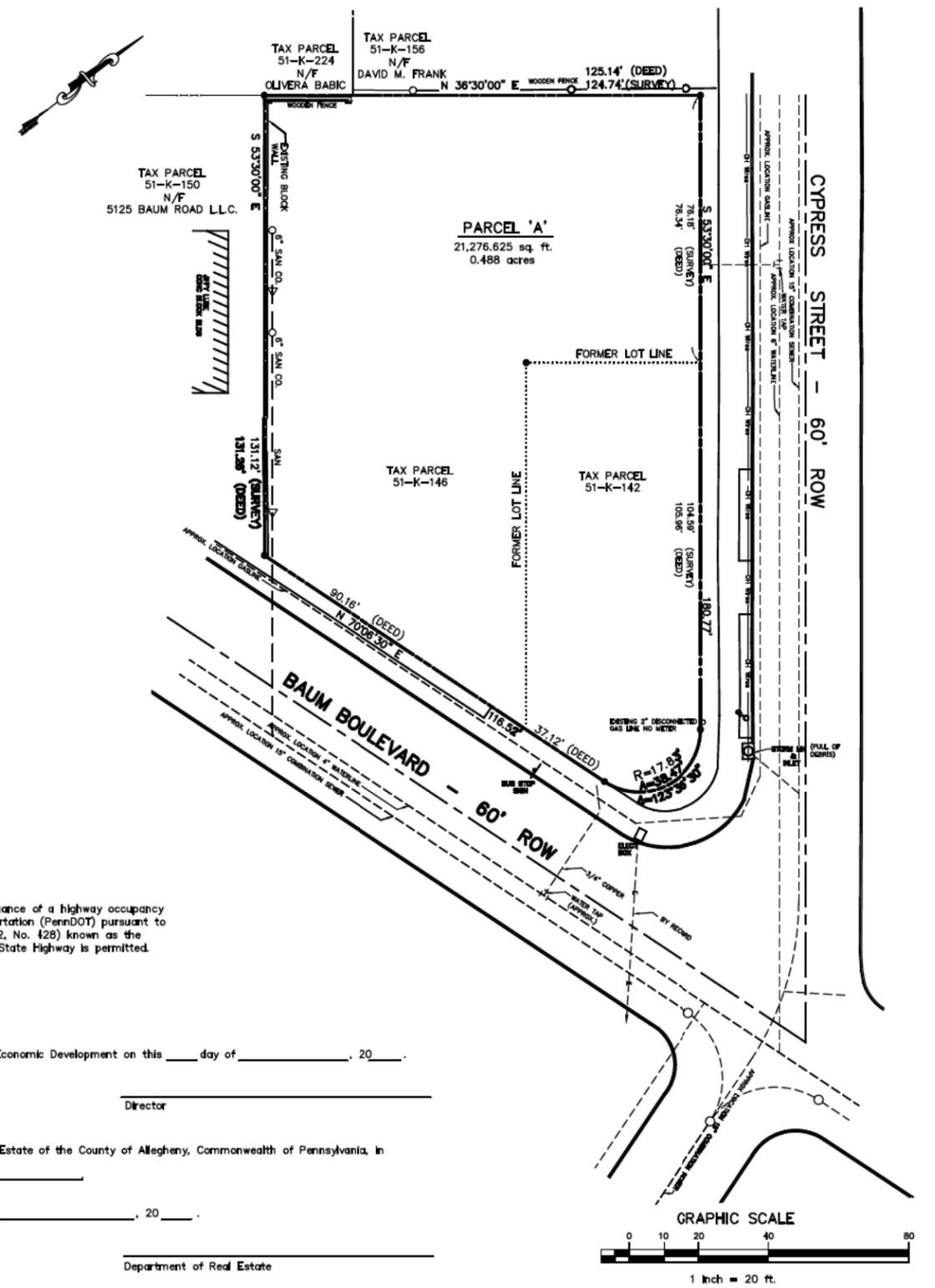
Signed and noted as approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 Secretary  
 President

The City of Pittsburgh agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

\_\_\_\_\_  
 Date  
 Authorized City Official

NOTARY    MUNHALL VENTURES I, L.P.    SURVEYOR    SURVEYOR    CITY OF PITTSBURGH ENGINEER    CITY OF PITTSBURGH COUNCIL    CITY OF PITTSBURGH PLANNING COMMISSION    ALLEGHENY COUNTY DEPARTMENT OF ECONOMIC DEVELOPMENT    ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE



**HIGHWAY OCCUPANCY PERMIT**  
 NOTICE: This Land Development Plan requires issuance of a highway occupancy permit by the Pennsylvania Department of Transportation (PennDOT) pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428) known as the "State Highway Law" before driveway access to a State Highway is permitted.

Reviewed by the Allegheny County Department of Economic Development on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 Director

Recorded in the office of the Department of Real Estate of the County of Allegheny, Commonwealth of Pennsylvania, in Plan Book Volume \_\_\_\_\_ Page(s) \_\_\_\_\_

Given under my hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
 Department of Real Estate

TOTAL AREA IN THIS PLAN FOR RECORDING = 0.488 ACRES

**ARBY'S RESTAURANT GROUP, INC.**  
 22140 COUNTRY WAY    STRONGSVILLE, OH 44149

**CONSOLIDATION PLAN**  
 BEING A CONSOLIDATION OF TAX PARCEL 51-K-146 AND TAX PARCEL 51-K-142

SITUATE  
**8TH WARD - CITY OF PITTSBURGH - ALLEGHENY COUNTY, PA.**

**FAHRINGER, McCARTY, GREY, INC.**  
 1610 GOLDEN MILE HIGHWAY  
 MONROEVILLE, PENNSYLVANIA 15146 (724) 327-0599  
 JOHN S. BITTING-AGENT-PROFESSIONAL LAND SURVEYOR

SCALE: 1" = 40'  
 DRAWN BY: JB-SW-RAM  
 CALC. BY: JB  
 CHK'D. BY: JSB

DATE: JUNE 2015  
 REVISIONS

CITY OF PITTSBURGH  
 DEPARTMENT OF CITY PLANNING

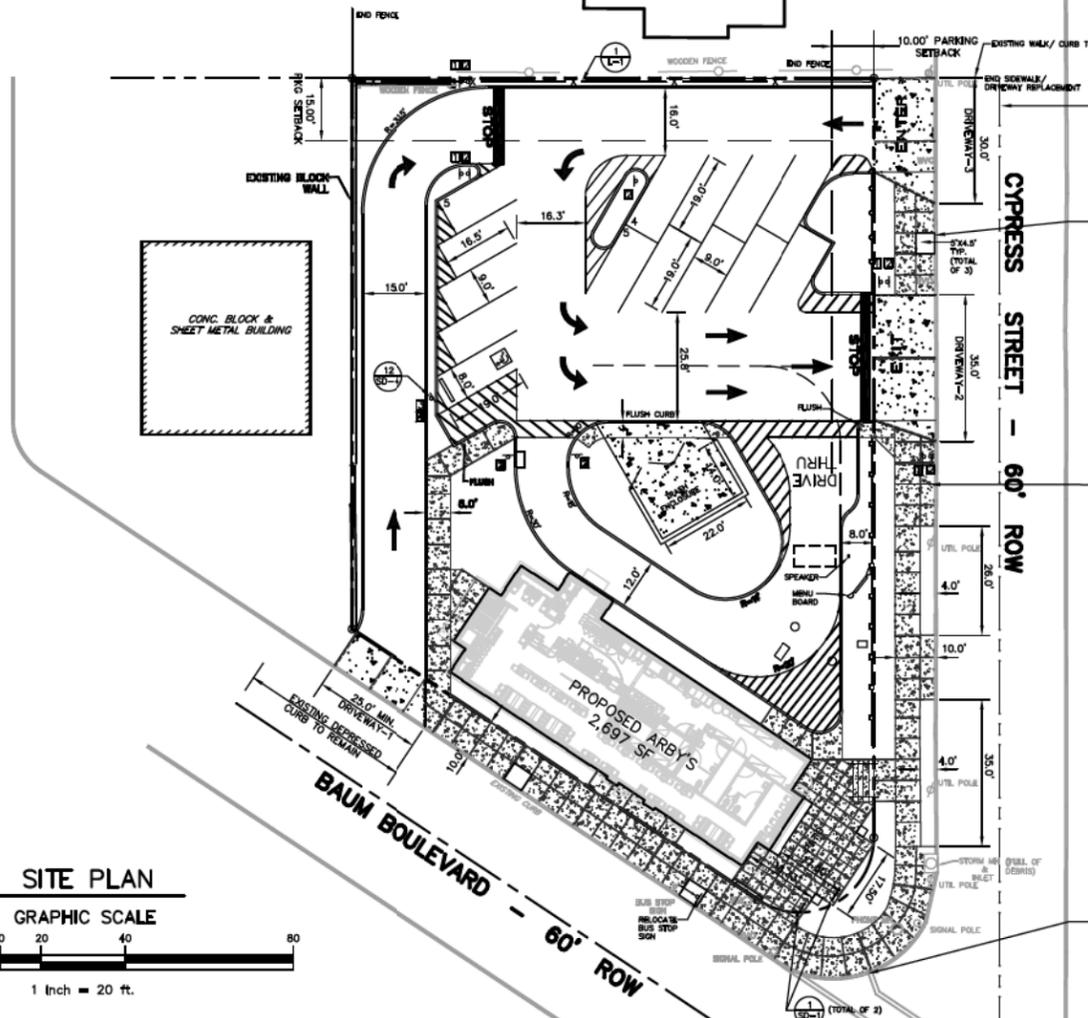
APPROVED \_\_\_\_\_, 20\_\_\_\_.

CITY PLANNING COMMISSION

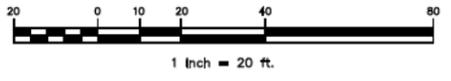
\_\_\_\_\_  
 CHAIRMAN

ATTEST: \_\_\_\_\_  
 SECRETARY

WOODWORTH STREET 30' ROW



SITE PLAN  
GRAPHIC SCALE



- DRIVEWAY CUT WORK:
1. SAW CUT (NEAT) ALONG EXISTING CURB LINE. REMOVE EXISTING PAVEMENT, SIDEWALK AND CURBS.
  2. THE EXISTING CONCRETE CURB SHALL REMAIN EXCEPT WHERE DAMAGED OR LESS THAN FULL REVEAL.
  3. SEE SITE DETAIL SHEET (SHEET SD-6) FOR DRIVEWAY DETAIL AND FINISH GRADES.

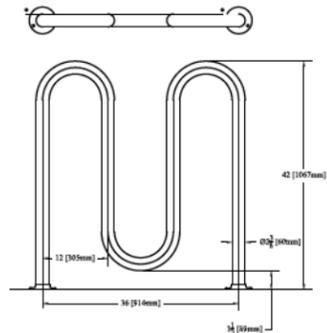
- PROPOSED STREET TREE PLANTING "PIT":
1. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. TREE PLANTING PIT SHALL BE INSTALLED PER CITY OF PITTSBURGH STANDARDS AND SPECIFICATIONS.
  2. SEE LANDSCAPE PLAN FOR SPECIES OF TREE TO BE INSTALLED.
  3. TYPICAL FOR ALL TREE PITS PROPOSED/SHOWN ON THIS PLAN.

- PROPOSED CONCRETE SIDEWALK:
1. INSTALL 8.5" WIDE CONCRETE SIDEWALK. EXISTING FULL REVEAL CURB TO REMAIN. REPLACE ALL DAMAGED CURB AND PREVIOUS DRIVEWAY CUTS.
  2. SLOPE NEW SIDEWALK 2% TOWARD CYPRESS STREET AND BAUM BOULEVARD.
  3. SEE SHEET SD-4 FOR ADDITIONAL INFORMATION.
  4. SIDEWALK SHALL MEET CURRENT CITY STANDARDS AND SPECIFICATIONS.

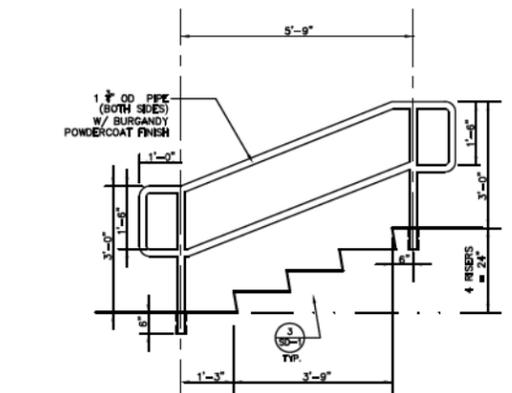
- CURB CUT WORK:
1. SAW CUT (NEAT) ALONG EXISTING CURB LINE. REMOVE EXISTING CURB CUT. PROTECT EXISTING POLE.
  2. MAXIMUM SLOPE OF CURB CUT 1:12 (4" RISE MAX); MAINTAIN 4" WIDE RAMP CENTERED ON A LINE RADIAL TO CENTER OF CURB RADIUS; LENGTH 4'-2" FEET.
  3. SEE SITE DETAIL SHEET (SHEET SD-6) FOR CURB CUT DETAIL. PROPOSED CUT TO MEET CURRENT CITY AND ADA STANDARDS AND SPECIFICATIONS.

CROSSWALK - REPAINT EXISTING CROSSWALK AS PER CURRENT CITY STANDARDS

BIKE RACK BY KEYSTONE RIDGE DESIGNS CONTACT: ADAM BENJAMIN KEYSTONE RIDGE DESIGN, INC. (724) 284-1213 EXT. 240 MODEL: SONANCE BIKE RACK POWDERCOAT FINISH COLOR: "BURGUNDY" QUANTITY: (2) 3 LOOP RACK



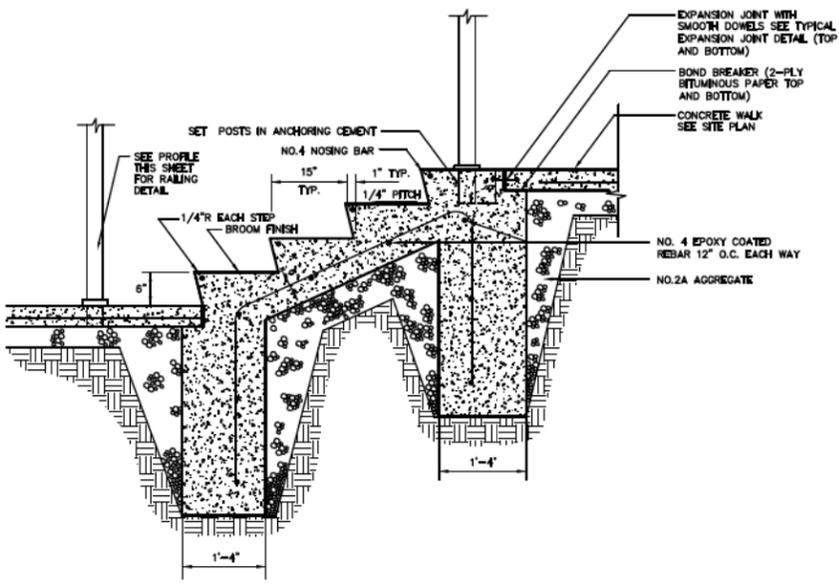
1 BICYCLE RACK "SONANCE"  
SD-1 NO SCALE (TOTAL OF 2) KEYSTONE RIDGE DESIGNS, INC.



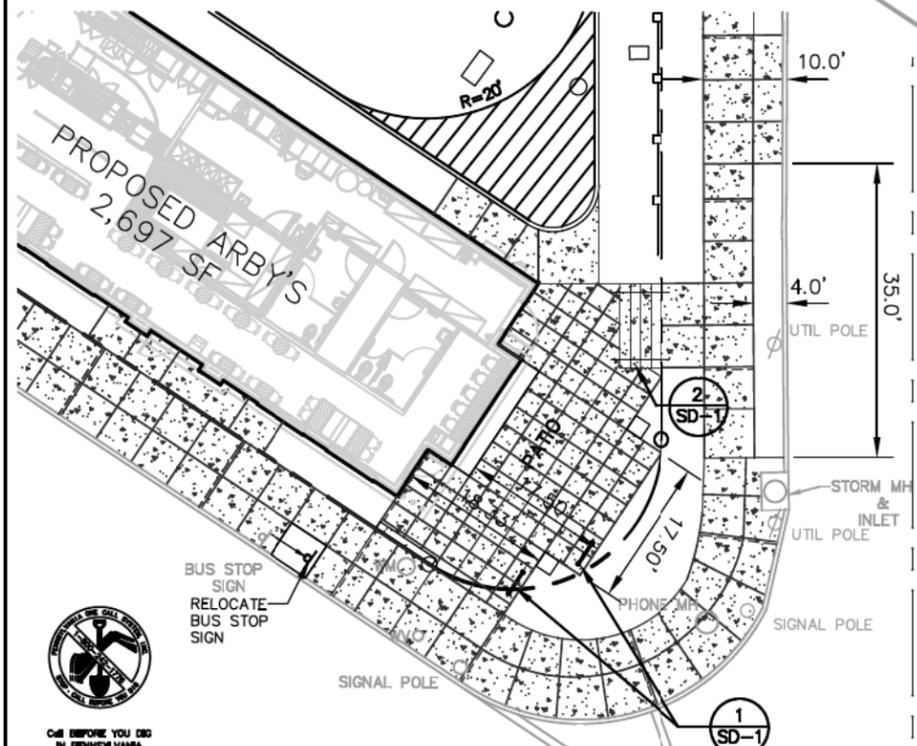
2 STEP PROFILE  
SD-1 NO SCALE

LEGEND

- PROPOSED CURB (6)
- PROPOSED CONCRETE WALK (4, 5)
- PRIVACY FENCE (1)
- ORNAMENTAL FENCE (2)
- PROPOSED TRAFFIC SIGN (SEE SCHEDULE SD-1) (13, 14)
- HEAVY DUTY CONCRETE (3)
- PROPOSED BITUMINOUS PAVING (1, 10)
- TRASH ENCLOSURE ARBY'S STANDARD (SEE ARCHITECTURAL)
- HANDICAP PARKING (8)
- PROPOSED CONCRETE PATIO (WITH 30"x30" SCORING PATTERN) (4)
- SIDEWALK PLANTING AREAS



3 CONCRETE STEP DETAIL  
SD-1 SCALE: 3/4" = 1'-0"



PATIO ENLARGEMENT  
SCALE: 1"=10'

- SITE NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF PITTSBURGH AND ALLEGHENY COUNTY CODES AND STANDARDS. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, FEDERAL, STATE AND LOCAL REGULATIONS.
  2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
  3. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
  4. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER AND THE CITY OF PITTSBURGH.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS IN ACCORDANCE WITH PA DOT PUBLICATION 203-"WORK ZONE TRAFFIC CONTROL" AND/OR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM PA DOT, THE CITY OF PITTSBURGH, ALLEGHENY COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
  6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
  7. REFER TO DETAIL SHEETS FOR EROSION AND SEDIMENT CONTROL, STORM DRAINAGE, UTILITY, PAVING, CURBING, SIGNAGE, AND OTHER SITE IMPROVEMENTS AS APPLICABLE.
  8. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH PA DOT PUBLICATION 408 SECTION 861 AND SECTION 862 AND SHALL BE EITHER COLD LAID THERMOPLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
  9. DIRECTIONAL TRAFFIC ARROWS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
  10. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
  11. ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH PENNDOT PUBLICATION 408 AND PENNDOT STANDARD DETAILS (PLUS 72) AS AMENDED UNLESS OTHERWISE SPECIFIED.
  12. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
  13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR BUILDING WALLS, CONCRETE SLABS, AND UTILITY SERVICE POINT CONNECTIONS AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPERCUSS BUILDING CONSTRUCTION PLANS FOR EXACT LOCATIONS OF ALL UTILITY CONNECTIONS TO BUILDINGS, DOOR STEP LOCATIONS, AND RETAINING WALLS.
  14. THE OWNER AT HIS DISCRETION, RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
  15. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
  16. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
  17. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB.
  18. NO PART OF THE LOT IS LOCATED WITHIN ANY FLOOD PLAN AREAS.
  19. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY CITY OF PITTSBURGH.
  20. BITUMINOUS PAVEMENT MATERIAL AND INSTALLATION SPECIFICATIONS SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408 AND PENNDOT STANDARD DETAILS (PLUS 72) AS AMENDED UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL SUBMIT A 30-MINUTE FORMULA FOR THE BITUMINOUS PAVEMENT TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO THE PLACEMENT OF BITUMINOUS PAVEMENTS.
  21. FINAL MENU BOARD LOCATION TO BE APPROVED BY ARBY'S CONSTRUCTION MANAGER PRIOR TO INSTALLATION.

SITE DATA

TOTAL SITE AREA 21,297.57 SF=0.489 ACRES  
PROPOSED SITE CONSISTS OF PARCEL 1 (51-K-142) AND PARCEL 2 (51-K-146) IN THE WM. MOONY'S SONS PLAN OF LOTS (P.B.V. 5, PAGE 196). (SEE CONSOLIDATION PLAN)

CURRENT ZONING IS LCN - LOCAL NEIGHBORHOOD COMMERCIAL

MAX. FLOOR AREA RATIO 2:1  
MAX. LOT COVERAGE 90%  
MIN. FRONT SETBACK 0'  
MIN. REAR SETBACK 20'  
MIN. SIDEYARD SETBACK 0'  
MAX. HEIGHT 45' (3 STORIES)

PARKING:  
PROPOSED PARKING 14 SPACES  
REQUIRED PARKING 14 SPACES (MIN.)

1. (FAST FOOD) REQUIRES 1 SPACE PER 200 SF PLUS 6 QUEUING SPACES MEASURED FROM THE ORDER BOX: 2697 SF/200 SF = 14 SPACES.
2. TOTAL GREEN SPACE = 0.084 AC = 17.2%
3. PROPOSED LOT COVERAGE = 12.7%
4. PROPOSED BUILDING HEIGHT = 18'-6"

TRAFFIC SIGN SCHEDULE

- 1 "STOP" SIGN-TOTAL OF 4
- 2 "DO NOT ENTER" SIGN-TOTAL OF 6
- 3 HANDICAP PARKING TOTAL OF 1
- 4 VAN ACCESSIBLE - TOTAL OF 1

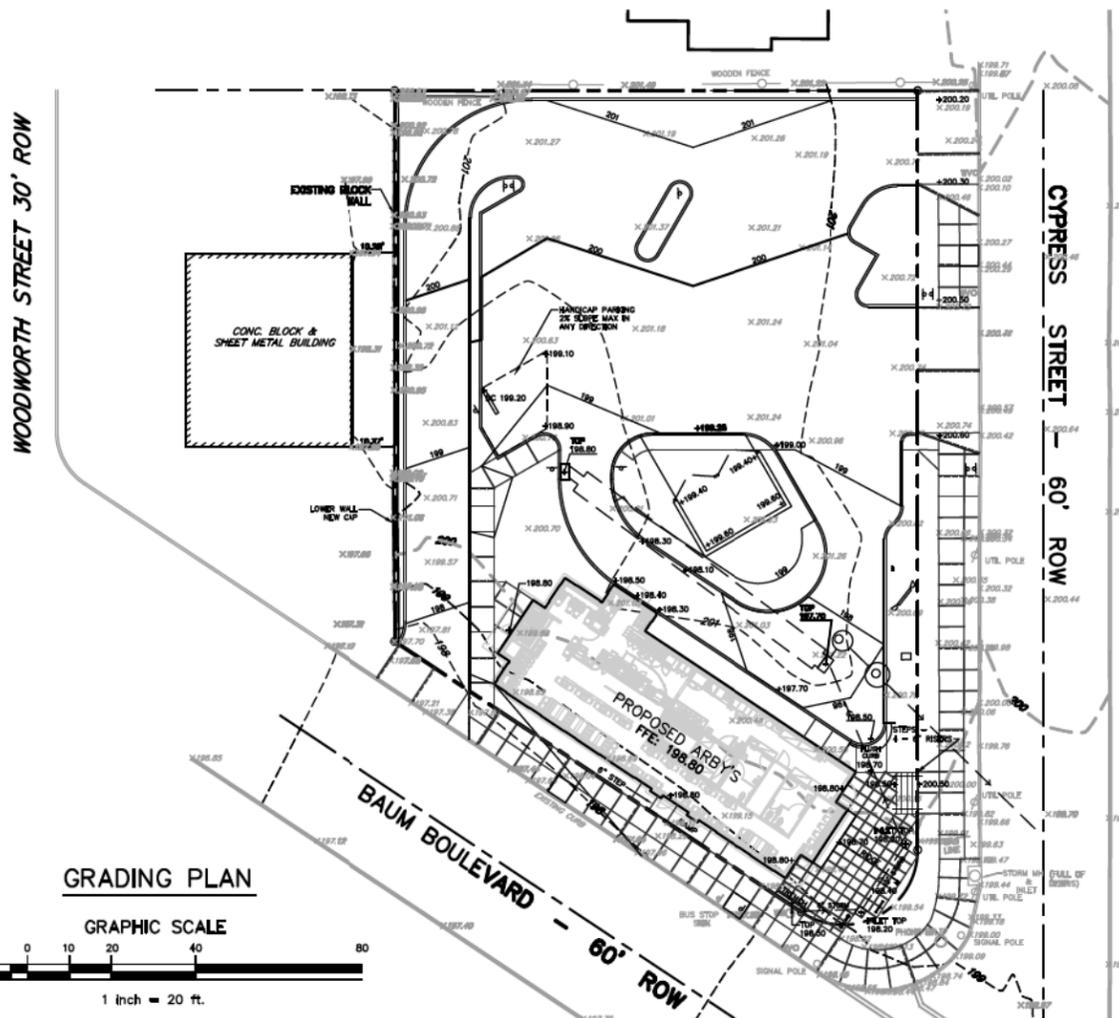
STORE ADDRESS

ARBY'S  
5189 BAUM BOULEVARD  
PITTSBURGH, PA 15224

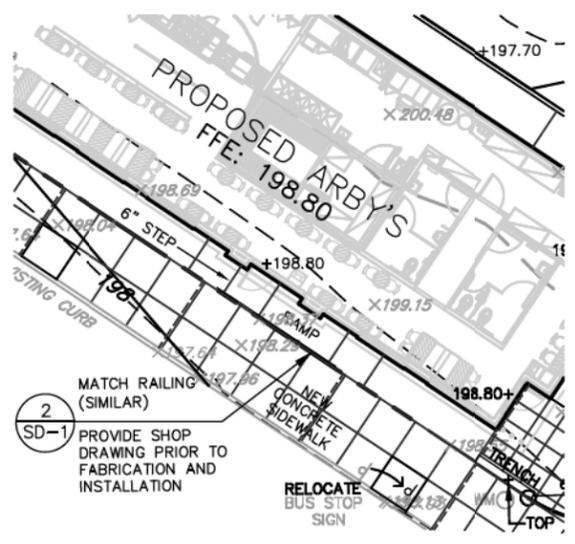
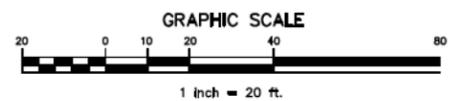


CALL BEFORE YOU DIG IN PENNSYLVANIA 1-800-282-1776 PENNSYLVANIA ONE CALL SYSTEM, INC. PA STATE LAW REQUIRES 3 WORKING DAYS NOTICE

REVISIONS JUN. 3, 2015 JUL. 7, 2015	ARBY'S RESTAURANT GROUP, INC. 22140 COUNTRY WAY STRONGSVILLE, OH 44149		SCALE AS NOTED
	SITE PLAN ARBY'S RESTAURANT 5189 BAUM BOULEVARD		DATE APR. 20, 2015
	CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.		DRAWN BY R/JH / KMZ
	FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.		SHEET NUMBER <b>SD-1</b>



GRADING PLAN



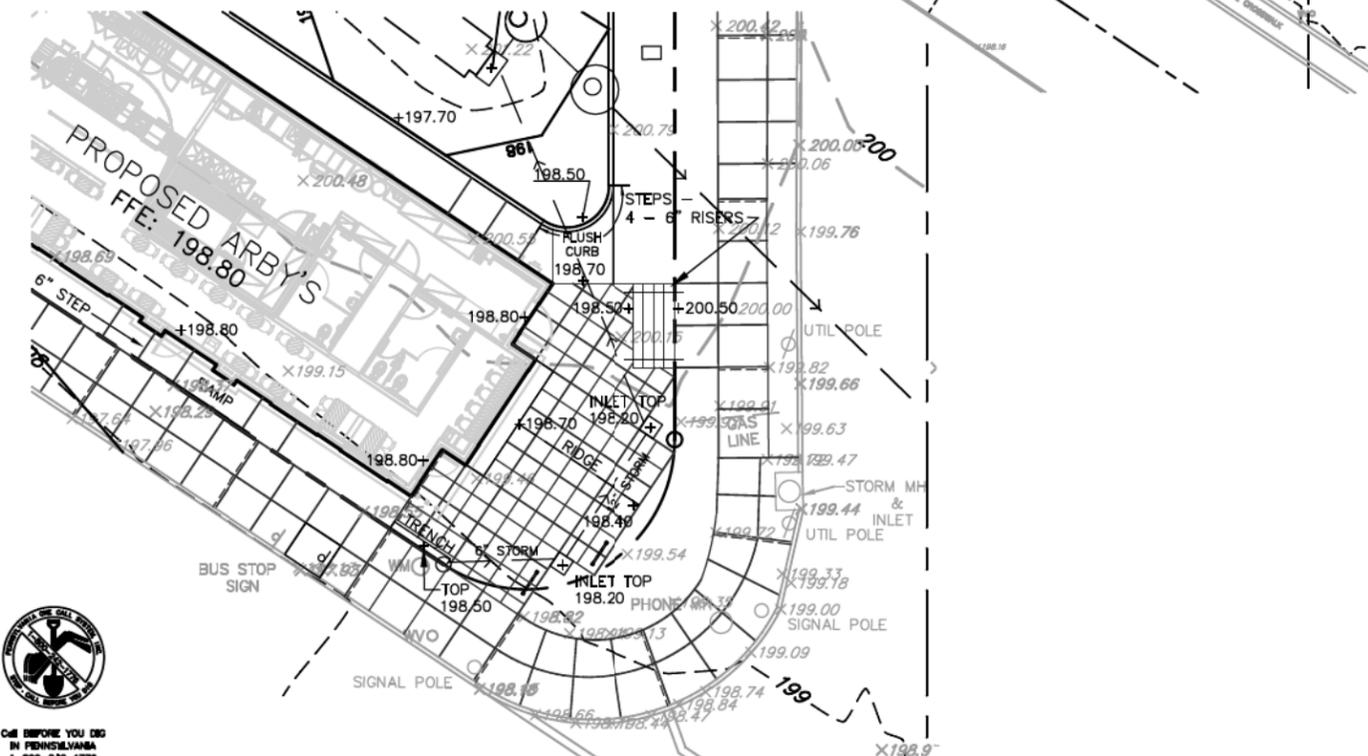
MAIN ENTRANCE  
SCALE: 1"=10'

LEGEND

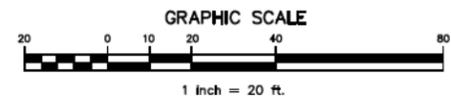
- CONTOUR EXISTING
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING INLET
- EXISTING CURB INLET
- PROPOSED INLETS
- PROPOSED CURB
- PROPOSED CONCRETE WALK
- PRIVACY FENCE
- ORNAMENTAL FENCE
- PROPOSED TRAFFIC SIGN
- PROPOSED CONCRETE PATIO

GRADING/ DRAINAGE NOTES

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY FAHRINGER, McCARTY, GREY, INC., THE CURRENT REQUIREMENTS OF ALLEGHENY COUNTY & THE CITY OF PITTSBURGH, THE APPLICABLE SECTIONS OF THE PENN. D.O.T. STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-594), FEDERAL REGISTER, CHAPTER XVI, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. ALL EXISTING TREES, VEGETATION, FUNDMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
6. ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
7. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
8. ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
9. INSPECT EXISTING OFF-SITE DRAINAGE STRUCTURES. NOTIFY ARBY'S AND THE CONSULTANT IF INLETS ARE FULL OF SILT OR DAMAGED.
10. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
11. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM AVAILABLE RECORDS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR DURING CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITY, NOTIFY THE UTILITY COMPANIES FOR FIELD LOCATIONS OF EXISTING UTILITIES. VERIFY EXISTING CONDITIONS, LOCATE ALL UTILITIES BY DIGGING TEST PITS, AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. NOTIFY THE OWNER IMMEDIATELY OF ANY CONFLICTS WITH EXISTING UTILITIES. IMMEDIATELY AND COMPLETELY REPAIR EXISTING UTILITIES THAT ARE DAMAGED DURING DEMOLITION, EXCAVATION, OR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
12. FURNISH, INSTALL, AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL FACILITIES IN ACCORDANCE WITH THE FEDERAL AND STATE CONSERVATION DISTRICT AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS AND REQUIREMENTS. INSTALL A ROCK CONSTRUCTION ENTRANCE AND KEEP SURFACED STREETS IN A CLEAN CONDITION AT ALL TIMES DURING CONSTRUCTION. ADHERE TO ALL TERMS & CONDITIONS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
13. ALL EXCAVATION IS CONSIDERED UNCLASSIFIED. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE OFFSITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND FOR IMPORTING ANY BORROW MATERIAL NECESSARY TO COMPLETE THE WORK.
14. FURNISH AND INSTALL PENNDOT TYPE "M" FRAMES AND BICYCLE SAFE GRATES ON INLETS WITHIN PAVED AREAS. FURNISH AND INSTALL STANDARD BASE UNITS AS NECESSARY TO ACCOMMODATE PIPE SIZES AND ANGLE OF PIPE ENTRY.
15. INSTALL STORM SEWER MANHOLES IN PAVED AREAS WITH TOP ELEVATIONS FLUSH WITH PAVEMENT. TRAFFIC BEARING RINGS & COVERS ON TO BE PROVIDED ON ALL STORM SEWER MANHOLES. COVERS SHALL BE LABELED "STORM SEWER".
16. ADJUST PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE. ADJUST TOP ELEVATIONS OF EXISTING UTILITY STRUCTURES AND OTHER EXISTING AT-GRADE STRUCTURES TO REMAIN TO PROPOSED FINISHED ELEVATIONS.
17. ADJUST GRADES AS NECESSARY TO ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND TOWARD EXISTING OR PROPOSED STORM SEWER STRUCTURES FOR ALL PAVED AND UNPAVED AREAS. ADJUST GRADES AND INLET TOP ELEVATIONS AS NECESSARY TO PROVIDE POSITIVE DRAINAGE.
18. PLACE 4-INCHES MINIMUM OF TOPSOIL ON ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION UNLESS STONE MULCH IS SPECIFIED.
19. PRIOR TO PAVEMENT CONSTRUCTION VERIFY 2% MAXIMUM SLOPE FOR ALL ADA AREAS. NOTIFY THE OWNER IF SLOPES IN ADA AREAS EXCEED 2%. PROVIDE AN AS-BUILT SURVEY SEALED BY A REGISTERED SURVEYOR OF ALL ADA SPACES AND ROUTES.
20. TRANSITION ALL TEMPORARY PAVING OR GRADE CHANGES IN VEHICULAR OR PEDESTRIAN TRAVEL WAYS TO PROVIDE A SMOOTH TRAVEL WAY AND AVOID TRIP HAZARDS.
21. COLLECT GROUNDWATER SEEPAGE, IF ENCOUNTERED DURING EXCAVATION, VIA UNDERDRAINS AND DISCHARGE TO THE STORM SEWER SYSTEM.
22. OVEREXCAVATE EXISTING FILL MATERIAL CONTAINING ORGANIC MATERIAL AS DIRECTED BY THE GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED SUITABLE FILL.
23. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
24. UNLESS OTHERWISE NOTED ON THE DRAWINGS, STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) SMOOTH INTERIOR PIPE, CLASS "S" WITH TYPE 3 JOINTS.
25. UNLESS OTHERWISE NOTED ON THE DRAWINGS, STORM INLETS SHALL BE PENN. D.O.T. PRECAST CONC. INLET BOXES WITH TYPE "M" FRAMES AND GRATES AND ALL GRATES SHALL BE BICYCLE SAFE. INLETS OVER FIVE FEET (5') SHALL HAVE STEPS TWELVE INCHES (12") O.C.
26. TRENCH DRAIN SHALL BE ZURN FLO-THRU "PERMA-TRENCH", 6" WIDE HDPE TRENCH DRAIN SYSTEM, MODEL NUMBER Z-86-50-64 AND UTILIZE TRENCH SECTIONS 8614 AND 8615 AS MANUFACTURED BY ZURN INDUSTRIES, 1801 PITTSBURGH AVE., ERIE, PA 16502, 1-877-ZURN-NOW (PHONE), 814-434-7929 (FAX) HTTP://WWW.ZURN.COM/PAGES/PRODUCTDETAILS.ASP?XNOOBEY=376078



PATIO ENLARGEMENT  
SCALE: 1"=10'



Call BEFORE YOU DIG  
IN PENNSYLVANIA  
1-800-242-1776  
PENNSYLVANIA  
ONE CALL SYSTEM, INC.  
PA STATE LAW REQUIRES 3  
WORKING DAYS NOTICE

REVISIONS JUN. 3, 2015 JUL. 7, 2015	<b>ARBY'S RESTAURANT GROUP INC.</b> 22140 COUNTRY WAY STRONGSVILLE, OH 44149		SCALE 1"=20'
	<b>GRADING PLAN</b> <b>ARBY'S RESTAURANT</b> 5189 BAUM BOULEVARD		DATE APR. 20, 2015
	CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.		DRAWN BY R/JH / KMZ
	<b>FAHRINGER, McCARTY, GREY, INC.</b> LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.		SHEET NUMBER <b>SD-2</b>



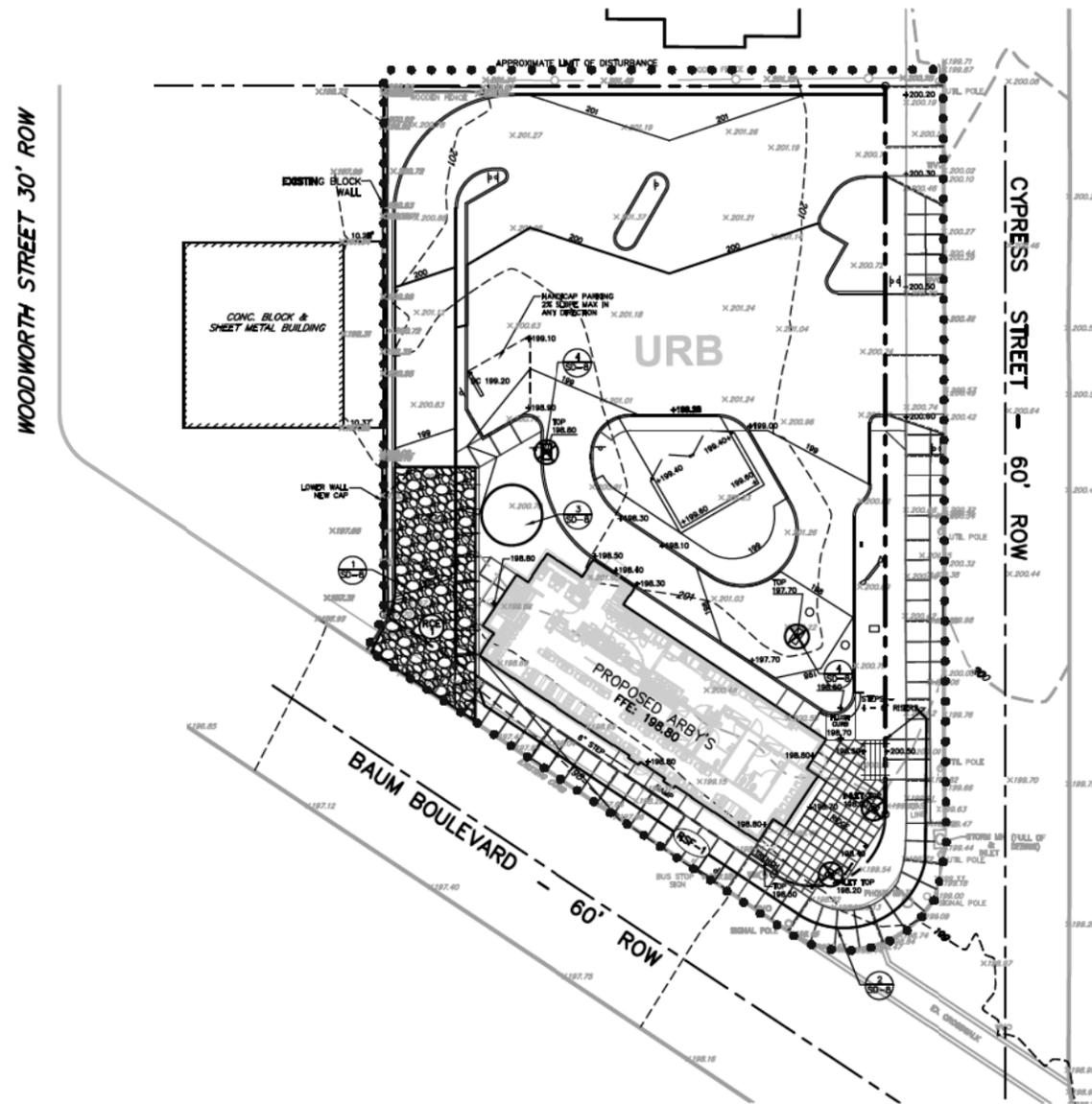
**SOIL EROSION SEDIMENT CONTROL NOTES**

**GENERAL**

1. AN NPDES PERMIT IS NOT REQUIRED FOR THIS PROJECT WHICH DISTURBS LESS THAN 1 ACRE.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS BY ARBY'S FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
3. CONTRACTOR SHALL REFER TO THE EROSION AND SEDIMENTATION DETAILS (SD-9), AS PREPARED BY FAHRINGER, MCCARTY, GREY, INC. FOR ADDITIONAL CONTROL MEASURES AND SPECIFICATIONS.
4. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH FAHRINGER, MCCARTY, GREY, INC. PRIOR TO MOBILIZATION ONTO THE SITE.
5. ESTIMATED PROJECT START AND FINISH DATES ARE SPRING OF 2016 AND SUMMER OF 2016 FOR THE COMPLETION OF THE EROSION & SEDIMENTATION CONTROLS, GRADING, EAS AND POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S, UTILITY INSTALLATION, PAVING, LANDSCAPING AND THE CONSTRUCTION OF THE NEW ARBY'S BUILDING.
6. IF FOR ANY REASON THE PROJECT IS TEMPORARILY SUSPENDED, THE CONTRACTOR SHALL INSURE THAT ALL EROSION AND SEDIMENTATION CONTROL MEASURES ARE FUNCTIONING AND PROPERLY MAINTAINED DURING THIS PERIOD.
7. IF AT ANY TIME DURING THE PROJECT, THE JOB IS SUSPENDED OR SHUT DOWN, ALL DISTURBED AREAS ARE TO BE SEEDDED IMMEDIATELY WITH THE TEMPORARY SEEDING MIXTURE.
8. PRIOR TO COMMENCING EARTHWORK IN ANY GIVEN AREA, THAT AREA MUST BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL CONSTRUCTION DEBRIS, AND ASPHALT UNLESS OTHERWISE NOTED.
9. IF DISTURBED AREAS REMAIN IDLE, UNWORKED OR ARE AT FINAL GRADE, THEY MUST BE SEEDDED WITH THE TEMPORARY SEEDING MIXTURE IMMEDIATELY.
10. THE FALL CUTOFF DATE FOR SEEDING IS OCTOBER 15TH. AFTER OCTOBER 15TH ALL AREAS REQUIRING SEEDING ARE TO BE MULCHED. SEEDING MAY COMMENCE AGAIN ON MARCH 15TH.
11. A SEEDING CONTRACTOR SHALL BE DESIGNATED TO HYDROSEED OR MULCH ALL AREAS AT FINAL GRADE WITH THE REQUIRED SEEDING OR MULCHING MIXTURES. ALL AREAS BROUGHT TO FINAL GRADE MUST BE SEEDDED WITH PERMANENT SEED MIXTURE WITHIN 7 DAYS. THE SEEDING CONTRACTOR SHALL BE SCHEDULED THROUGHOUT THE DURATION OF THE PROJECT.
12. IN ORDER TO PROMOTE EARLY STABILIZATION OF THE LAWN AREAS WITHIN THE PROJECT AREA, THE SITE CONTRACTOR SHALL ALLOW FOR THE SEEDING CONTRACTOR TO INSTALL SEEDING MIXTURES, EROSION CONTROL BLANKET AND/OR MULCH AS INDICATED ON THE PLAN, THROUGHOUT THE DURATION OF THE PROJECT OR WHAT CAN BE ACCOMPLISHED BY THE
13. ALL AREAS THAT ARE ROUGH GRADED IN THE LOCATION OF LAWN AREAS ARE TO BE SEEDDED WITH THE TEMPORARY SEEDING MIXTURE WITHIN 7 DAYS UNLESS OTHERWISE NOTED.
14. ALL DISTURBED AREAS, SLOPES AND CHANNELS ARE TO BE STABILIZED UPON REACHING FINAL GRADE.
15. ALL AREAS INCLUDING 3:1 SLOPES OR STEEPER BROUGHT TO FINAL GRADE SHALL BE SEEDDED WITH THE PERMANENT SEEDING MIXTURE WITHIN SEVEN (7) DAYS UNLESS OTHERWISE NOTED ON THE PLAN.
16. INLET PROTECTION IS REQUIRED ON INLETS AT LOW POINTS AND ON INLETS THAT DO NOT HAVE THE TOP OF THE INLET LOCATED AT LEAST SIX (6) INCHES ABOVE THE GROUND SURFACE. SEE E & S PLAN.
17. ALL STORM PIPES, SANITARY LINES AND WATERLINES ARE TO BE INSTALLED AS PER THE UTILITY LINE TRENCHING SPECIFICATIONS LOCATED ON THE PLAN DETAILS.
18. THE CONTRACTOR IS TO DETERMINE THE LOCATIONS OF THE FILTER BAGS FOR PUMPED WATER IN THE FIELD WHEN THEY ARE UTILIZED. THEY MUST BE DESIGNED AND CONSTRUCTED AS PER THE FILTER BAG DETAIL LOCATED ON THE DETAIL SHEET OF THE PLANS.
19. EQUIPMENT SHALL NOT LEAVE THE SITE UNTIL THOROUGHLY CLEANED OF MUD AND DEBRIS.
20. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED OR OTHERWISE NOTED IN THIS SCHEDULE.
21. IF AN OFF-SITE SPOIL OR BORROW AREA IS REQUIRED TO COMPLETE THE PROJECT, THE CONTRACTOR SHALL LOCATE AND UTILIZE A SITE THAT IS ALREADY PERMITTED FOR EARTHWORK ACTIVITIES. THE CONTRACTOR SHALL NOT COMMENCE ANY EARTHWORK THAT IS NOT SHOWN ON THE PLANS WITHOUT THE WRITTEN APPROVAL OF THE SITE ENGINEER AND THE ALLEGHENY COUNTY CONSERVATION DISTRICT.
22. ANY CHANGES TO EROSION AND SEDIMENTATION CONTROL MEASURES AND/OR THEIR POINTS OF DISCHARGE MUST BE APPROVED BY THE ALLEGHENY COUNTY CONSERVATION DISTRICT.
23. ALL EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE INSTALLED IN THE LOCATIONS NOTED ON THE PLANS AND INSTALLED AS PER THE SPECIFICATIONS LOCATED ON THE E & S DETAIL SHEETS AND IN THE PLAN NARRATIVE.
24. ALL QUESTIONS REGARDING EROSION CONTROL ARE TO BE DIRECTED TO EITHER FAHRINGER, MCCARTY, GREY, INC. OR THE ALLEGHENY COUNTY CONSERVATION DISTRICT.
25. ALL AREAS OF VEGETATION SURFACE STABILIZATION, WHETHER TEMPORARY OR PERMANENT, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM 70% PERENNIAL VEGETATIVE COVER IS OBTAINED.
26. FILTER FABRIC FENCING TO BE REMOVED AFTER BUILDING CONSTRUCTION HAS STARTED AND IMMEDIATELY PRIOR TO NEW SIDEWALK CONSTRUCTION.

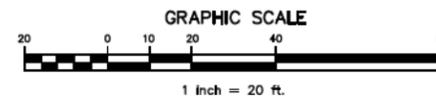
**1 CONSTRUCTION SEQUENCE-GENERAL**

SD-9



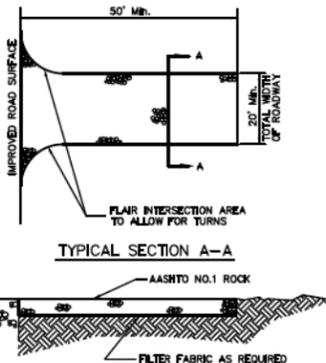
**E&S LEGEND**

- URB SOIL SYMBOL
- LIMIT OF DISTURBANCE
- ⊗ INLET PROTECTION
- RSF-1 REINFORCED FILTER FENCE
- ROCK CONSTRUCTION ENTRANCE
- URB URBAN LAND-RAINSBORO COMPLEX, GENTLY SLOPING



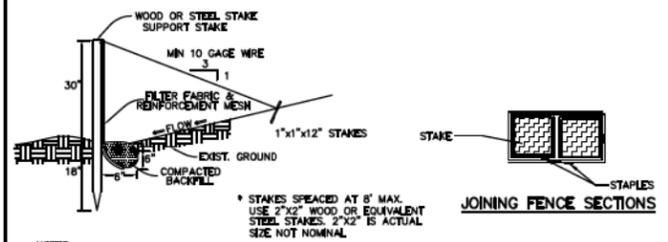
CALL BEFORE YOU DIG  
IN PENNSYLVANIA  
1-800-282-1778  
PENNSYLVANIA  
ONE CALL SYSTEM, INC.  
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WORKING DAYS NOTICE

REVISIONS JUN. 3, 2015 JUL. 7, 2015	ARBY'S RESTAURANT GROUP, INC. 22140 COUNTRY WAY STRONGSVILLE, OH 44149	SCALE 1"=20'
	SOIL EROSION AND SEDIMENT CONTROL PLAN ARBY'S RESTAURANT 5189 BAUM BOULEVARD CITY OF PITTSBURGH 6TH WARD ALLEGHENY COUNTY, PA.	DATE APR. 20, 2015
FAHRINGER, MCCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.	DRAWN BY R/JH / KMZ	SHEET NUMBER SD-9



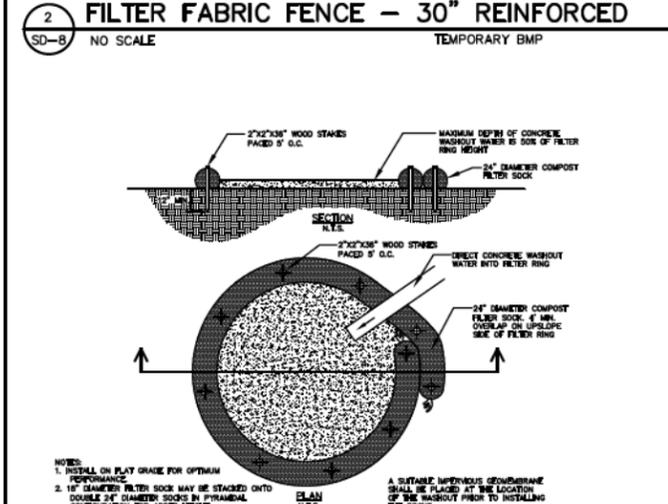
**1 ROCK CONSTRUCTION ENTRANCE**  
SD-8 NO SCALE TEMPORARY BMP

NOTE:  
1. ROCK CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED TO THE MINIMUM WIDTH, LENGTH AND THICKNESS, DIMENSIONS AS SHOWN ABOVE.  
2. ROCK SHALL BE AASHTO NO.1 AS SPECIFIED IN SECTION 703.2 OF THE PENN D.O.T. PUBLICATION 408.  
3. THE CONSTRUCTION ENTRANCE SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.



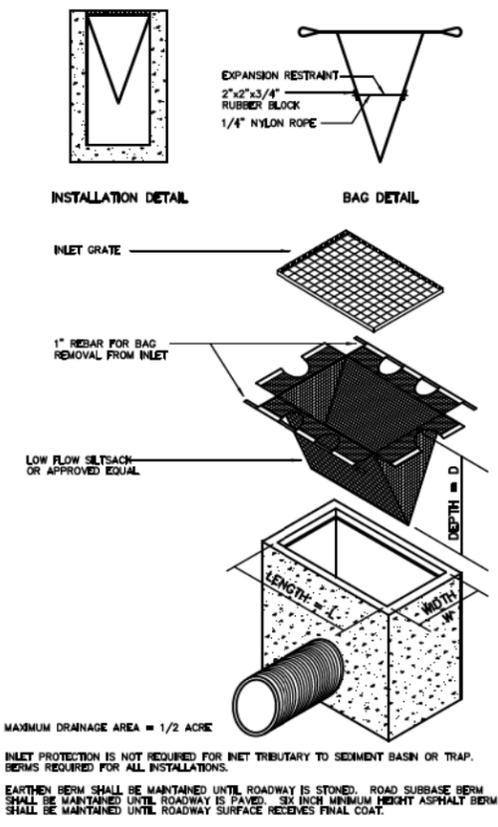
**2 FILTER FABRIC FENCE - 30" REINFORCED**  
SD-8 NO SCALE TEMPORARY BMP

NOTES:  
1. FILTER FABRIC FENCE MUST BE INSTALLED AT EXISTING LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION MUST BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO ALLOW FOR POOLING OF WATER.  
2. A 6" DEEP TRENCH SHOULD BE EXCAVATED, MINIMIZING THE DISTURBANCE ON THE DOWNSLOPE SIDE. THE BOTTOM OF THE TRENCH SHOULD BE AT LEVEL GRADE. MAXIMUM DEVIATION FROM LEVEL GRADE SHOULD BE 1% AND NOT EXTEND FOR MORE THAN 25 FEET.  
3. SUPPORT STAKES SHOULD BE DRIVEN 18" BELOW THE EXISTING GROUND SURFACE AT 8 FOOT (MAX.) INTERVALS.  
4. FILTER FABRIC SHOULD BE STRETCHED AND FASTENED TO THE UPSLOPE SIDE OF THE SUPPORT STAKES. WHEREVER REINFORCED FABRIC FENCE IS INSTALLED, THE REINFORCEMENT MESH SHOULD BE FASTENED TO THE STAKES PRIOR TO THE FABRIC.  
5. AT FABRIC ENDS, BOTH ENDS SHOULD BE WRAPPED AROUND THE SUPPORT STAKE AND STAPLED. IF THE FABRIC COMES ALREADY ATTACHED TO THE STAKES, THE END STAKES SHOULD BE HELD TOGETHER WHILE THE FABRIC IS WRAPPED AROUND THE STAKES AT LEAST ONE REVOLUTION PRIOR TO DRIVING THE STAKES.  
6. THE BOTTOM OF THE FENCE SHOULD BE ANCHORED BY PLACING THE FABRIC IN THE BOTTOM OF THE TRENCH, AND BACKFILLING AND COMPACTING THE FILL MATERIAL IN THE TRENCH.  
7. FILTER FABRIC FENCE SHOULD BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION.  
8. FILTER FABRIC FENCE ALIGNMENT SHOULD BE AT LEAST 8' FROM THE TOE OF FILL SLOPES.



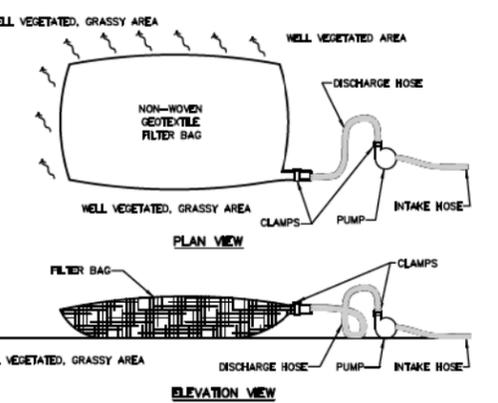
**3 CONCRETE WASHOUT AREA**  
SD-8 NO SCALE TEMPORARY BMP

NOTES:  
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.  
2. 1/2" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 2" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.  
3. A SUITABLE IMPERVIOUS GEOTEXTILE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.



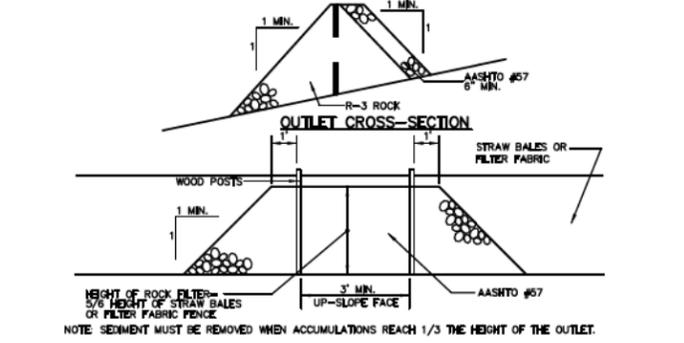
**4 INLET PROTECTION**  
SD-8 NO SCALE TEMPORARY BMP

MAXIMUM DRAINAGE AREA = 1/2 ACR  
INLET PROTECTION IS NOT REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS REQUIRED FOR ALL INSTALLATIONS.  
EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.



**5 PUMPED WATER FILTER BAG (IF NEEDED)**  
SD-8 NO SCALE TEMPORARY BMP

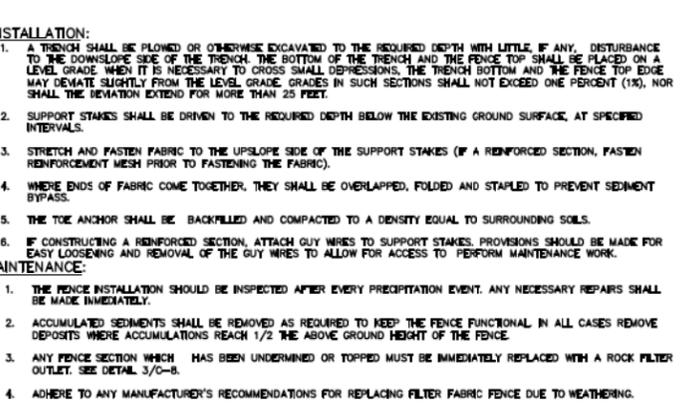
1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.  
2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.  
3. BAGS SHALL BE LOCATED IN A WELL VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.  
4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.  
5. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.  
6. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.  
7. SILT AND SEDIMENT COLLECTED IN THE FILTER BAGS SHALL BE SPREAD ON A FLAT AREA ABOVE A WORKING BMP TO DRY OUT AND BE MIXED WITH SOIL DURING EARTHWORK OPERATIONS.



**6 ROCK FILTER OUTLETS (IF NEEDED)**  
SD-8 NO SCALE

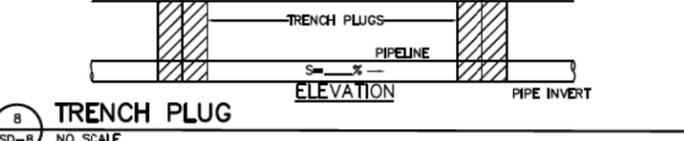
INSTALLATION:  
1. A TRENCH SHALL BE PLOWED OR OTHERWISE EXCAVATED TO THE REQUIRED DEPTH WITH LITTLE IF ANY, DISTURBANCE TO THE DOWNSLOPE SIDE OF THE TRENCH. THE BOTTOM OF THE TRENCH AND THE FENCE TOP SHALL BE PLACED ON A LEVEL GRADE. WHEN IT IS NECESSARY TO CROSS SMALL DEPRESSIONS, THE TRENCH BOTTOM AND THE FENCE TOP EDGE MAY DEVIATE SLIGHTLY FROM THE LEVEL GRADE. GRADES IN SUCH SECTIONS SHALL NOT EXCEED ONE PERCENT (1%), NOR SHALL THE DEVIATION EXCEED FOR MORE THAN 25 FEET.  
2. SUPPORT STAKES SHALL BE DRIVEN TO THE REQUIRED DEPTH BELOW THE EXISTING GROUND SURFACE, AT SPECIFIED INTERVALS.  
3. STRETCH AND FASTEN FABRIC TO THE UPSLOPE SIDE OF THE SUPPORT STAKES (IF A REINFORCED SECTION, FASTEN REINFORCEMENT MESH PRIOR TO FASTENING THE FABRIC).  
4. WHERE ENDS OF FABRIC COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.  
5. THE TIE ANCHOR SHALL BE BACKFILLED AND COMPACTED TO A DENSITY EQUAL TO SURROUNDING SOILS.  
6. IF CONSTRUCTING A REINFORCED SECTION, ATTACH GUY WIRES TO SUPPORT STAKES. PROVISIONS SHOULD BE MADE FOR EASY LOOSENING AND REMOVAL OF THE GUY WIRES TO ALLOW FOR ACCESS TO PERFORM MAINTENANCE WORK.

MAINTENANCE:  
1. THE FENCE INSTALLATION SHOULD BE INSPECTED AFTER EVERY PRECIPITATION EVENT. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY.  
2. ACCUMULATED SEDIMENTS SHALL BE REMOVED AS REQUIRED TO KEEP THE FENCE FUNCTIONAL. IN ALL CASES REMOVE DEPOSITS WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.  
3. ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEE DETAIL 3/C-8.  
4. ADHERE TO ANY MANUFACTURER'S RECOMMENDATIONS FOR REPLACING FILTER FABRIC FENCE DUE TO WEATHERING.



**7 FILTER FABRIC INSTALLATION**  
SD-8 NO SCALE

SLOPE %	L FEET	PLUG MATERIAL
0 - 5	---	NONE
5 - 15	500	EARTH FILLED SACKS
15 - 25	300	EARTH FILLED SACKS
25 - 35	200	EARTH FILLED SACKS
35 - 100	100	EARTH FILLED SACKS
OVER 100	50	CEMENT FILLED BAGS (WETTED)



**8 TRENCH PLUG**  
SD-8 NO SCALE

**MAINTENANCE PROGRAM:**  
**MAINTENANCE OF TEMPORARY CONTROLS:**  
TEMPORARY MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD AS OUTLINED IN THE "MAINTENANCE SCHEDULE" SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND NARRATIVE.  
IT SHALL BE THE RESPONSIBILITY OF THE PROJECT MANAGER (OR SOMEONE DESIGNATED BY HIM/HER) TO PERFORM A WEEKLY CHECK (AND A CHECK AFTER EVERY RUNOFF EVENT) OF ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES TO ENSURE THAT THEY ARE WORKING PROPERLY. THIS CHECK SHALL INCLUDE, BUT NOT BE LIMITED TO:  
1) INSPECTION OF FILTER FABRIC FENCE. REPAIR AS NEEDED.  
NOTE: ANY SECTION THAT HAS BEEN UNDERCUT OR OVERTOPPED MUST BE REPLACED WITH A ROCK FILTER OUTLET AS DETAILED.  
2) INSPECTION OF ALL INLET PROTECTION.  
3) INSPECTION OF ALL SLOPES FOR SIGNS OF EROSION AND/OR SEDIMENTATION.  
4) INSPECTION OF ROCK CONSTRUCTION ENTRANCE. THICKNESS SHALL BE CONSTANTLY MAINTAINED BY ADDING NECESSARY ROCK. SEDIMENT DEPOSITED ON ROADWAYS SHALL BE SWEEPED AND NOT WASHED AT THE END OF EACH DAY'S CONSTRUCTION.  
ALL MAINTENANCE CHECKS SHALL OCCUR WEEKLY AND DURING OR IMMEDIATELY AFTER ANY RUNOFF EVENT. A COMPLETE MAINTENANCE CHECKLIST IS INCLUDED ON THE DRAWING TO BE USED WHERE APPLICABLE.  
AN ADEQUATE SUPPLY OF ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS (INCLUDING FILTER FABRIC FENCE, EROSION NETTING, PLASTIC COVERING, WIRE MESH, SAND AND BURLAP, SAND BAGS, GRAVEL) SHALL BE STOCKPILED ON-SITE TO BE USED IN EVENT OF EMERGENCY REPAIRS OF EXISTING SOIL EROSION AND SEDIMENTATION CONTROLS.  
IF A PROBLEM WITH A CONTROL MEASURE IS ENCOUNTERED, IT IS TO BE CORRECTED IMMEDIATELY. SHOULD ANY MAJOR PROBLEMS ARISE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR/PROJECT OWNER TO REPORT THESE IMMEDIATELY TO THE LANDSCAPE ARCHITECT AND ALLEGHENY CONSERVATION DISTRICT.

**MAINTENANCE OF PERMANENT CONTROLS:**  
PERMANENT CONTROL FACILITIES WILL BE MAINTAINED BY THE OWNER.  
AN INSPECTION OF ALL STORMWATER FACILITIES AND ALL BMP'S SHALL BE CONDUCTED ON AN ANNUAL BASIS AND AFTER EACH MAJOR STORM EVENT (>1 INCH RAINFALL DEPTH). THIS CHECK IS TO INCLUDE, BUT NOT BE LIMITED TO:  
1) INSPECTION OF ALL STORM INLETS/SUMPS, MANHOLES AND STORM SEWER PIPES: VIEW ALL INLET BOXES AND MANHOLES FOR DEBRIS.  
**CLEANING FREQUENCY AND ULTIMATE DISPOSAL OF WASTE:**  
**EROSION CONTROL CLEANING SCHEDULE:**  
FILTER FABRIC FENCE \_\_\_\_\_ 9" OR DEEPER (SEE INSTALLATION STANDARDS)  
INLET PROTECTION \_\_\_\_\_ 3" DEPTH AROUND FILTER FABRIC OR SILT SACK IS HALF FULL  
ROCK FILTER OUTLETS \_\_\_\_\_ 1/3 HEIGHT OF THE OUTLET  
**EROSION CONTROL TIME SCHEDULE:**  
MAINTENANCE OF TEMPORARY AND PERMANENT CONTROLS SHALL BE ACCOMPLISHED WITHIN THE FOLLOWING TIME FRAME (WEATHER PERMITTING). ALL CONTROLS ARE TO BE INSPECTED AFTER EVERY RUNOFF EVENT.  
FILTER FABRIC FENCE \_\_\_\_\_ 1 DAY  
INLET PROTECTION \_\_\_\_\_ 1 DAY  
ROCK FILTER OUTLETS \_\_\_\_\_ 2 DAY  
INLETS/SUMPS \_\_\_\_\_ 2 TIMES A YEAR  
MANHOLES \_\_\_\_\_ 2 TIMES A YEAR  
STORM SEWER PIPES \_\_\_\_\_ 2 TIMES A YEAR  
SILT AND SEDIMENT REMOVED FROM ALL CONTROL MEASURES INCLUDING FILTER BAGS SHALL BE MIXED WITH SOIL DURING THE EARTHWORK PROCESS AND PROPERLY DISPOSED OF ON THE SITE.  
MAINTENANCE OF ALL TEMPORARY EROSION CONTROL FACILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR THE DURATION OF ALL SITE CONSTRUCTION. MAINTENANCE OF ALL PERMANENT CONTROLS WILL BE THE RESPONSIBILITY OF THE OWNER. A DATED WRITTEN RECORD/REPORT OF ALL INSPECTIONS MUST BE KEPT ON-SITE.

**MAINTENANCE CHECKLIST:**

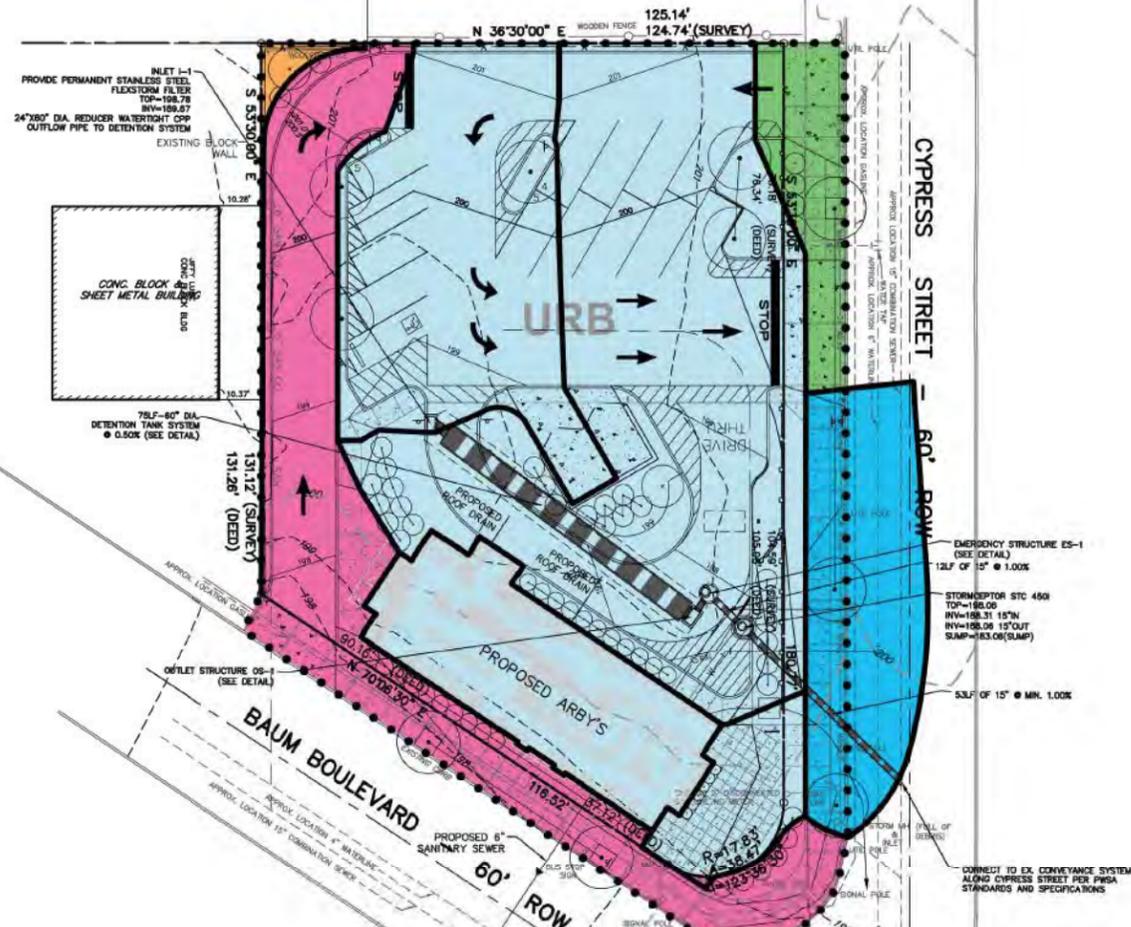
CONTROL MEASURES	PROBLEMS TO LOOK FOR	POSSIBLE REMEDIES
ROCK CONSTRUCTION ENTRANCE	LOSS OF STONE; EXCESS MUD	ADD STONE; REMOVE MUD
VEGETATION	RILLS OR GULLIES FORMING BARE SOIL PATCHES	FILL RILLS AND REGRADE GULLED SLOPES RESEED, FERTILIZE, AND MULCH BARE AREAS
ROCK FILTER OUTLETS	SEDIMENT AT TOE-OF-SLOPE UNDERCUTTING OF FENCE	CHECK FOR TOE-OF-SLOPE DIVERSION AND INSTALL IF NEEDED REPLACE FENCE SECTION, REPAIR UNDERCUT
INLET PROTECTION	FLOODING AROUND OR BELOW INLET	REMOVE ACCUMULATED SEDIMENT; OR CONVERT SEDIMENT BARRIER TO AN EXCAVATED SEDIMENT TRAP; OR RELOCATE RUNOFF TO A MORE SUITABLE BMP.

**NOTE:**  
THE SITE SHALL BE KEPT CLEAN OF ANY CONSTRUCTION DEBRIS ON A DAILY BASIS. ALL FOREIGN DEBRIS SHALL BE REMOVED AND DISPOSED OF PROPERLY IN ACCORDANCE WITH MUNICIPAL AND COUNTY REGULATIONS.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR WEEKLY INSPECTIONS OF ALL SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER THE WORK IS CONSIDERED COMPLETED, BUT NOT YET STABILIZED. INSPECTIONS SHALL ALSO BE MADE IMMEDIATELY AFTER EACH RUNOFF EVENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ALL NECESSARY REPAIRS TO EROSION FACILITIES AND TO CLEAN THEM AS SPECIFIED ON THE CONTROL DOCUMENTS. THIS RESPONSIBILITY SHALL CONTINUE UNTIL THE SITE IS REEMED STABLE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LAIRBORNE CONSERVATION DISTRICT.  
ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED. ALL AREAS OF VEGETATIVE SURFACE STABILIZATION IS TO BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF 70% PERENNIAL VEGETATIVE COVER IS OBTAINED.  
SEDIMENT REMOVED FROM EROSION CONTROL FACILITIES SHALL BE INCORPORATED INTO SITE GRADING MATERIALS DURING CONSTRUCTION, OR SPREAD OVER ALREADY DISTURBED PORTIONS OF THE SITE AFTER CONSTRUCTION IS COMPLETED, BUT THE UNIFORM RATE OF PERENNIAL VEGETATIVE COVER HAS NOT YET REACHED (70%). SILT FENCE SHALL BE INSTALLED ON THE DOWNHILL PERIMETER OF THE SPREAD AREA WHICH SHALL BE IMMEDIATELY SEEDED WITH TEMPORARY SEEDING.

**9 MAINTENANCE PROGRAM**  
SD-8

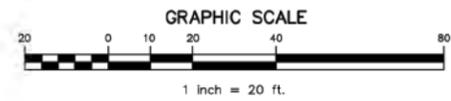
JOB NO. ARBY-2018-001	ARBY'S RESTAURANT GROUP INC.		SCALE
	22140 COUNTRY WAY STRONGSVILLE, OH 44149		1"=20'
REVISIONS	EROSION AND SEDIMENTATION CONTROL DETAILS		DATE
	ARBY'S RESTAURANT		APR. 20, 2015
5151 BAUM BOULEVARD		DRAWN BY	SD-8
CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.		KMZ	
FAHRINGER, McCARTY, GREY, INC.		SHEET NUMBER	
LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.			

WOODWORTH STREET 30' ROW

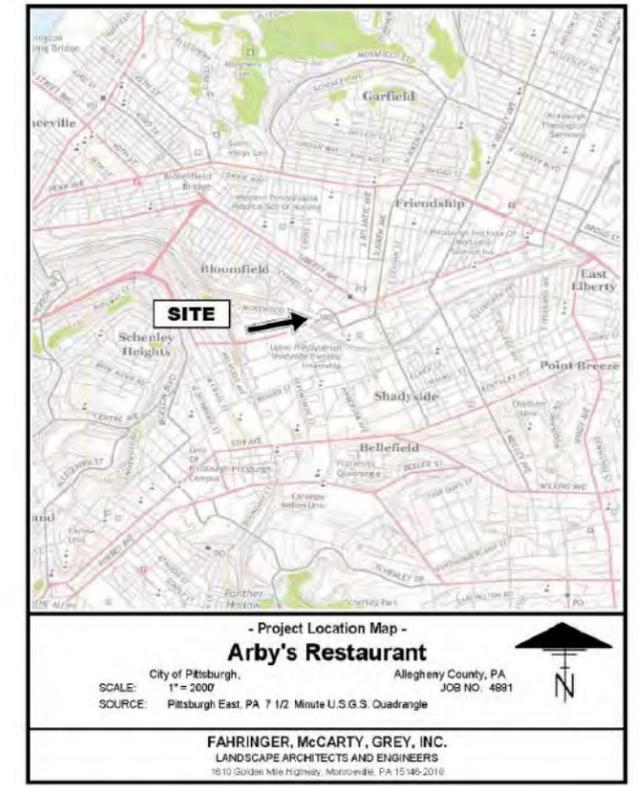


**STORMWATER LEGEND:**

- LIMIT OF WATERSHED AREA
- URB** SOIL TYPE
- TIME OF CONCENTRATION FLOW PATH
- LIMIT OF DISTURBANCE
- WATERSHED AREA TO BAUM BOULEVARD = 0.12 AC.
- WATERSHED AREA TO SOUTHWEST PROPERTY EDGE = 0.00 AC.
- WATERSHED AREA TO CYPRESS STREET NORTH = 0.03 AC.
- WATERSHED AREA TO CYPRESS STREET EAST = 0.48 AC.
- WATERSHED AREA TO DETENTION TANK = 0.42 AC.
- WATERSHED AREA UNCONTROLLED BY DETENTION TANK = 0.06 AC.



Call BEFORE YOU DIG  
IN PENNSYLVANIA  
1-800-242-1776  
PENNSYLVANIA  
ONE CALL SYSTEM, INC.  
PA STATE LAW REQUIRES 3  
WORKING DAYS NOTICE  
SERIAL NUMBER  
20141570761



**NOTES:**

- THIS SITE IS LOCATED IN THE ALLEGHENY RIVER WATERSHED. THERE IS NO ACT 167 PLAN FOR THIS WATERSHED.
- RUNOFF FROM THE SITE FLOWS TO AN EXISTING CONVEYANCE SYSTEM ALONG CYPRESS STREET AND ULTIMATELY TO THE ALLEGHENY RIVER. PER MAPPA, THE ALLEGHENY RIVER IS CONSIDERED CWF (COLD WATER FISHES).
- THERE ARE NO WETLANDS LOCATED WITHIN THE PROJECT BOUNDARY.
- CONTOURS SHOWN WERE OBTAINED BY SURVEY.
- SOIL TYPES SHOWN WERE OBTAINED FROM THE WEB SOIL SURVEY PRODUCED BY THE NATIONAL COOPERATIVE SOIL SURVEY, WHICH IS OPERATED BY THE NATIONAL RESOURCES CONSERVATION SERVICE (NCRS).
- WITH DEVELOPMENT, 0.49 ACRES (82%) OF THE 0.60 ACRE LIMIT OF DISTURBANCE WILL BE IMPERVIOUS.
- MINIMUM TIME OF CONCENTRATION ASSUMED FOR EACH WATERSHED AREA.
- PER FEMA MAP NUMBER 4200300354H, REVISED DATE: SEPTEMBER 26, 2014, THE SITE IS NOT LOCATED WITHIN A FLOODPLAIN.
- UNLESS OTHERWISE NOTED, CONVEYANCE SYSTEM IS TO BE SLOPP, HOPE.

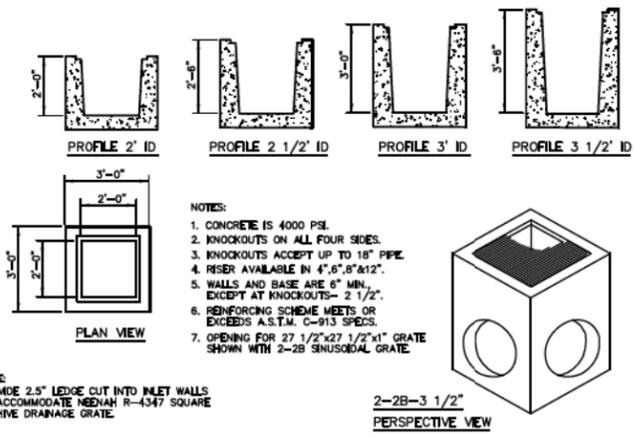
**SOILS LEGEND:**

SYMBOL	SOIL NAME	SLOPE %	HYDROLOGIC GROUP	LIMITATIONS
URB	URBAN LAND-RAINBORO COMPLEX, GENTLY SLOPING	0-8%	C	BECAUSE OF THE VARIABILITY OF THIS SOIL TYPE, ONSITE INVESTIGATION IS NECESSARY TO DETERMINE LIMITATIONS FOR LAND USE. SEASONAL WETNESS IS A LIMITATION

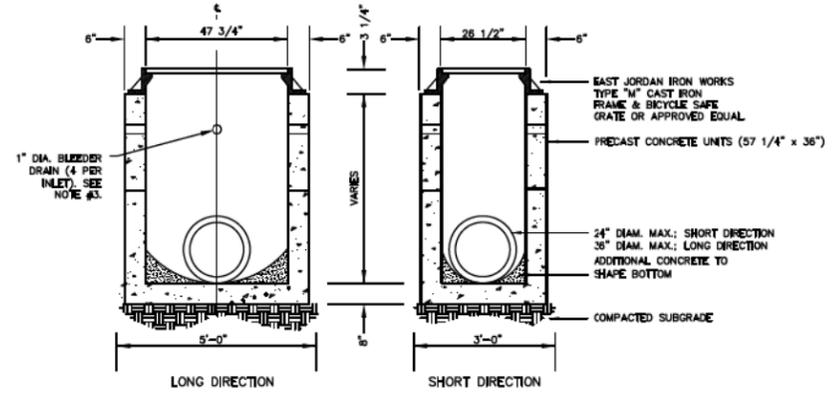
**CAUTION -- NOTICE TO THE CONTRACTOR:**

- 1) THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 3 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 2) PER THE PA DEPARTMENT OF ENVIRONMENTAL PROTECTION, A LICENSED PROFESSIONAL DESIGNATED BY THE OWNER SHALL BE PRESENT ON SITE TO INSPECT THE CONSTRUCTION OF ALL PROPOSED BMP'S. THIS INCLUDES, BUT IS NOT LIMITED TO, PERMANENT VEGETATED SWALES, SNOUTS, STORMCEPTORS, BIO-RETENTION PONDS, INFILTRATION TRENCHES, ETC. THE CONTRACTOR IS TO CONTACT THE OWNER'S REPRESENTATIVE A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO COMMENCEMENT OF BMP CONSTRUCTION. FAILURE TO ALLOW FOR INSPECTION MAY RESULT IN THE CONTRACTOR HAVING TO REMOVE AND RECONSTRUCT THE BMP'S AT THEIR EXPENSE.

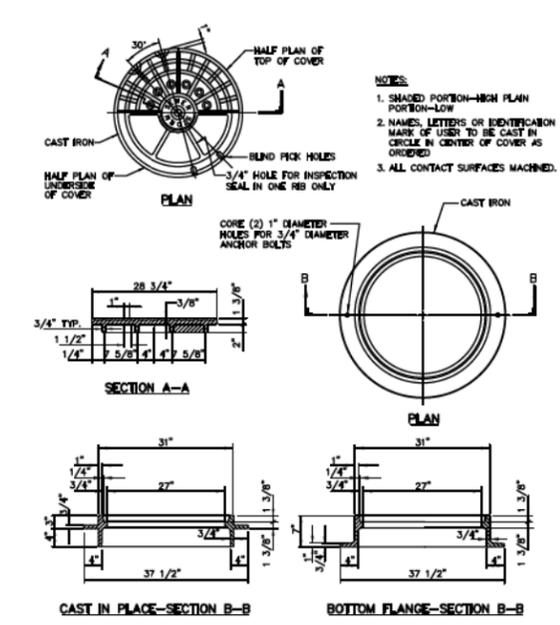
 REVISIONS _____ _____ _____ _____	<b>ARBY'S RESTAURANT GROUP INC.</b> 22140 COUNTRY WAY STRONGSVILLE, OH 44149	SCALE 1" = 20' DATE MAY 20, 2015 DRAWN BY MHS/KMZ SHEET NUMBER <b>ST-2</b>
	<b>PCSM PROPOSED DEVELOPMENT PLAN</b> <b>ARBY'S RESTAURANT</b> 5151 BAUM BOULEVARD	
	CITY OF PITTSBURGH    8TH WARD    ALLEGHENY COUNTY, PA.	
	<b>FAHRINGER, McCARTY, GREY, INC.</b> LANDSCAPE ARCHITECTS AND ENGINEERS    MONROEVILLE, PA.	



**1 2'x2' BOX INLET WITH GRATE DETAIL**  
SD-7a NO SCALE



**2 TYPE 'M' INLET**  
SD-7a NO SCALE



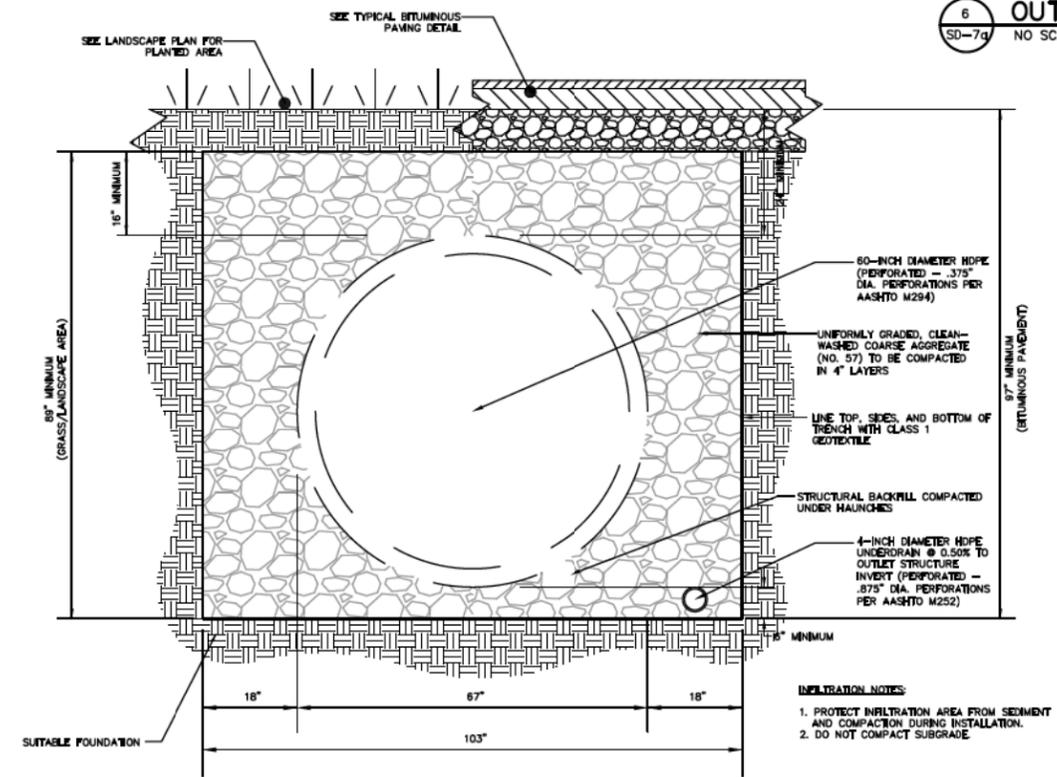
**3 CIRCULAR MANHOLE FRAME & COVER**  
SD-7a NO SCALE

MANHOLE FRAME NUMBERS		
LOCATION	DEPTH	PATTERN #
SIDWALKS & GRASS	6"	65
CONCRETE & BITUMINOUS STREETS	9"	26
BRICK & BLOCK STREETS	13"	23

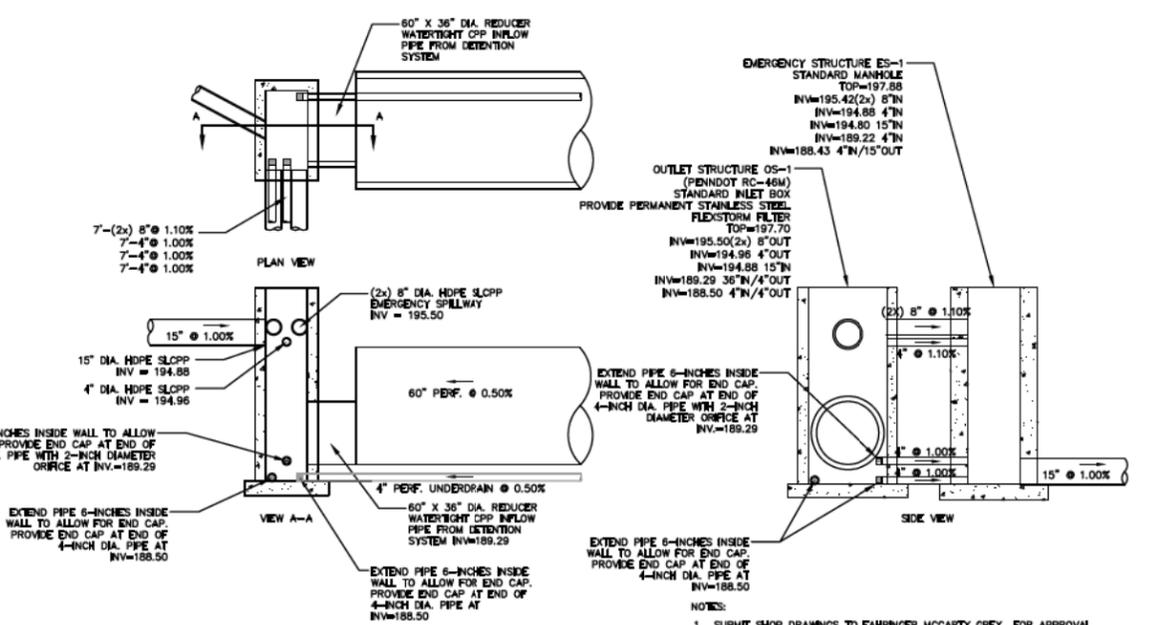


- NOTES:**
1. PRECAST MANHOLE SECTIONS SHALL COMPLY WITH ASTM DESIGNATION C-478. LENGTHS MAY BE VARIED TO OBTAIN DESIRED DEPTH.
  2. MANHOLE STEPS: 1/2" (13mm) DIA., GRADE 60, DEFORMED STEEL BAR (ASTM DESIGNATION A-615); COATED WITH POLYPROPYLENE PLASTIC (ASTM DESIGNATION D-2146, TYPE II OR 49108). SEE STANDARD PWSA DETAIL SA-28 FOR ADDITIONAL INFORMATION.
  3. PRIVATE MANHOLES LOCATED WITHIN THE PROPERTY LIMITS, MANHOLE FRAMES AND COVERS SHALL NOT HAVE PWSA MARKINGS AS THEY WILL NOT BE OWNED BY THE PWSA. MANHOLE FRAME SHALL BE ANCHORED IN PLACE AT THE TOP OF THE PRECAST MANHOLE WITH TWO (2) 3/4" SS ANCHOR BOLTS. LEVELING OF CASTING SHALL BE SET TO FINISHED GRADE; MAX. 1/8" TOLERANCE PERMITTED FROM FINISHED SURFACE.
  4. PRIVATE SANITARY SEWER MANHOLES SHALL BE WATERPROOFED ON THE EXTERIOR WITH AN APPROVED ASPHALT EMULSION FOUNDATION COATING. MATERIALS AND APPLICATION SHALL BE IN ACCORDANCE WITH ASTM DESIGNATION D-1227.

**4 PRECAST STORM MANHOLE**  
SD-7a NO SCALE (PWSA STANDARD)



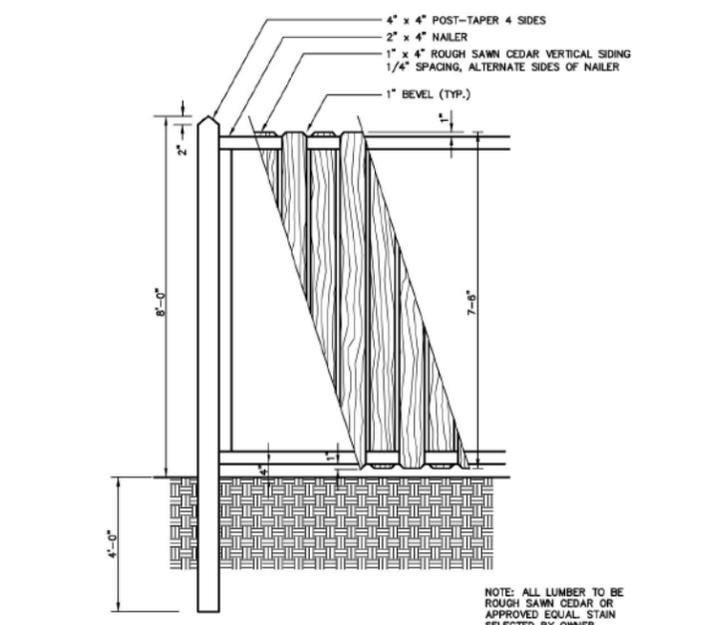
**5 GRAVEL FILLED INFILTRATION TRENCH/TYPICAL 60-INCH DETENTION TANK PIPE BEDDING DETAIL**  
SD-7a NO SCALE



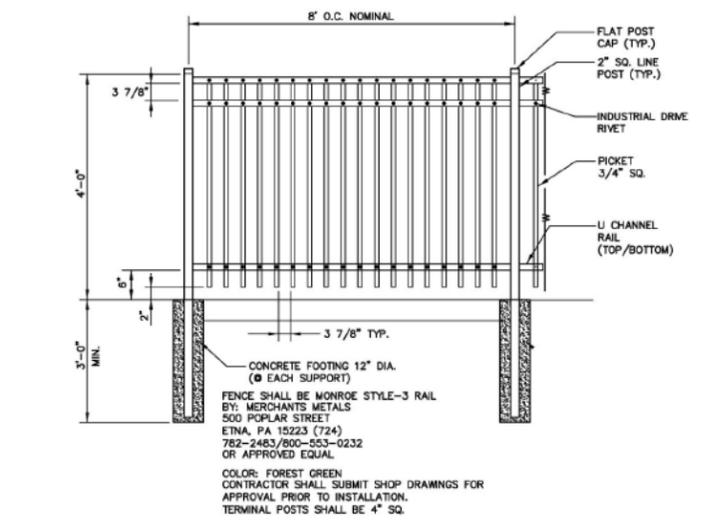
**6 OUTLET CONTROL STRUCTURE OS-1 DETAIL**  
SD-7a NO SCALE

ARBY'S RESTAURANT GROUP INC. 22140 COUNTRY WAY STRONGSVILLE, OH 44149		SCALE 1"=20'
SITE DETAILS ARBY'S RESTAURANT 5151 BAUM BOULEVARD		DATE MAY 20, 2015
CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.		DRAWN BY KMZ
FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.		SHEET NUMBER SD-7a

WOODWORTH STREET 30' ROW



1 8' PRIVACY FENCE DETAIL (VARIANCE GRANTED)  
NO SCALE



2 DECORATIVE FENCE DETAIL (CYPRESS STREET)  
NO SCALE

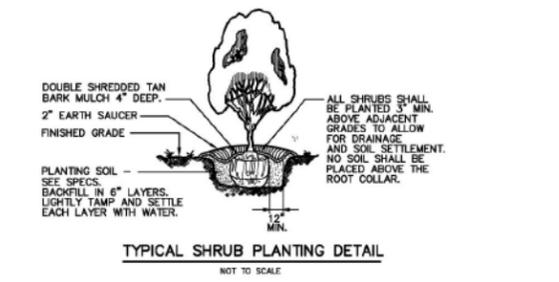
- LANDSCAPING NOTES:**
- PLANTS:**  
PLANTS SHALL CONFORM TO VARIETIES SPECIFIED IN THE PLANT LIST. PLANTS SHALL BE TRUE TO BOTANICAL NAMES, STANDARDS OF SIZE, CULTURE, QUALITY FOR HIGHEST GRADES AND STANDARDS AS ADOPTED IN AMERICAN STANDARDS FOR NURSERY STOCK. PLANTS SHALL HAVE NORMAL GROWTH, BE FRESHLY DUG, NURSERY-GROWN, SOUND, HEALTHY AND FREE OF DISEASE, INSECTS AND LARVAE. DELIVER WITH FEDERAL AND STATE CERTIFICATES OF INSPECTION ATTACHED. SHRUBS SHALL MEET REQUIREMENTS FOR SPREAD OR HEIGHT AS STATED IN THE PLANT LIST. MEASUREMENT FOR HEIGHT SHALL BE TAKEN FROM GROUND LEVEL TO AVERAGE HEIGHT OF TOP OF SHRUB, NOT LONGEST BRANCH. SIDE BRANCHES SHALL BE GENEROUS AND WELL-TWIGGED. THE PLANT AS A WHOLE SHALL BE WELL-BUSHED TO THE GROUND.
- TOPSOIL MIX:**  
FOR BACKFILLING DECIDUOUS PLANT PITS, MIX 4 PARTS BY VOLUME OF TOPSOIL AND 1 PART OF DECOMPOSED MUSHROOM, CATTLE OR STABLE MANURE. FOR BACKFILLING EVERGREEN PLANTS PITS, MIX 4 PARTS BY VOLUME OF TOPSOIL AND 1 PART PEAT HUMUS. TOPSOIL SHALL NOT CONTAIN ADMIXTURES OF SUBSOIL AND SHALL BE CLEAN AND REASONABLY FREE FROM CLAY LUMPS WHICH MIGHT BE HINDRANCES TO PLANTING OPERATION.
- FERTILIZERS:**  
FOR TREES AND SHRUBS, INCORPORATE FIVE (5) LBS. OF 8-10-4 FOR EACH CUBIC YARD OF BACKFILL. COMMERCIAL FERTILIZER SHALL BE STANDARD PRODUCTS COMPLYING WITH APPLICABLE LAWS.
- GUARANTEE:**  
THE LIFE AND SATISFACTORY CONDITION OF ALL TREES AND SHRUBS, EXCEPT THOSE AFFECTED BY WINDGULL, DESTRUCTION BY MILIPELE ELEMENTS, SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OR SUBSTANTIAL COMPLETION.
- PLANTED AREAS:**  
ALL PLANTED AREAS SHALL RECEIVE A 3\"/>

**SEEDED AREAS:**  
ALL DISTURBED AREAS NOT RECEIVING PLANTINGS SHALL BE SEED WITH SPECIFIED SEED MIX. SEE EROSION CONTROL DRAWINGS FOR SPECIFICATIONS.

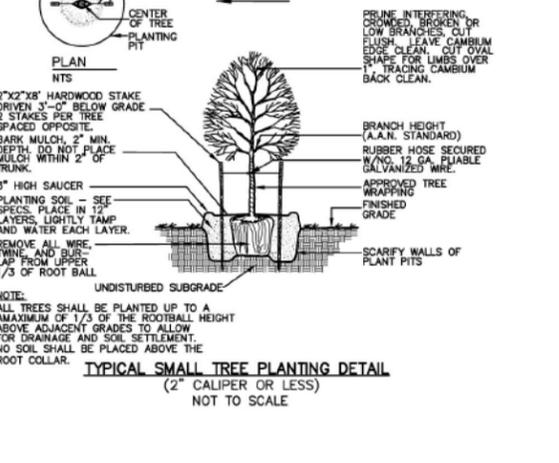
**MISC:**

  - PRIOR TO PLANTING, IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO DETERMINE THE LOCATIONS OF ALL UTILITIES.
  - PRIOR TO SPREADING TOPSOIL, THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL BUILDING DEBRIS, ROCK, MORTAR, ETC. FROM PLANTING BEDS, ISLANDS AND LAWN AREAS.
  - ALL PLANTING ISLANDS TO RECEIVE A MINIMUM OF 6\"/>
  - REMOVE ALL ASPHALT PAVING WITHIN PLANTING ISLANDS TO WITHIN 6\"/>
  - ALL PLANT BEDS TO RECEIVE 5\"/>
  - TOPSOIL SHALL BE PLACED AT A MINIMUM DEPTH OF 6\"/>
  - A 6\"/>

**IRRIGATION:**  
ALL LAWN AND PLANTING AREAS ON-SITE SHALL BE IRRIGATED. CONTRACTOR SHALL PROVIDE AN IRRIGATION PLAN FOR APPROVAL BY THE OWNER PRIOR TO INSTALLATION.



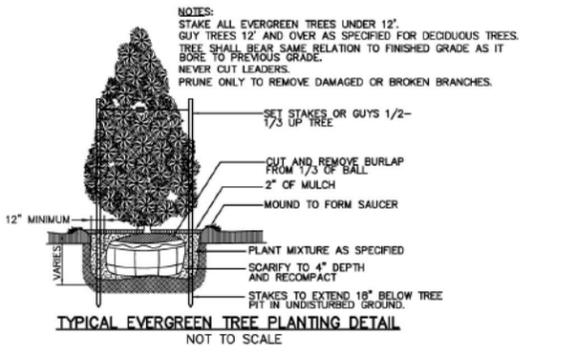
TYPICAL SHRUB PLANTING DETAIL  
NOT TO SCALE



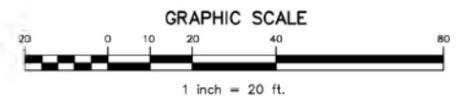
TYPICAL SMALL TREE PLANTING DETAIL  
(2\"/>

**PLANT LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	REMARKS
<b>TREES:</b>					
AG	Acer Ginnala	Hedge Maple	2\"/>		



TYPICAL EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE

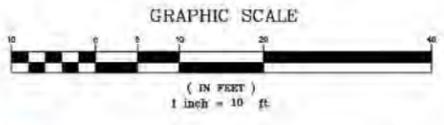


Call BEFORE YOU DIG IN PENNSYLVANIA 1-800-242-1778 PENNSYLVANIA ONE CALL SYSTEM, INC. PA STATE LAW REQUIRES 3 WORKING DAYS NOTICE

**THIS PLAN FOR LANDSCAPE PURPOSES ONLY**

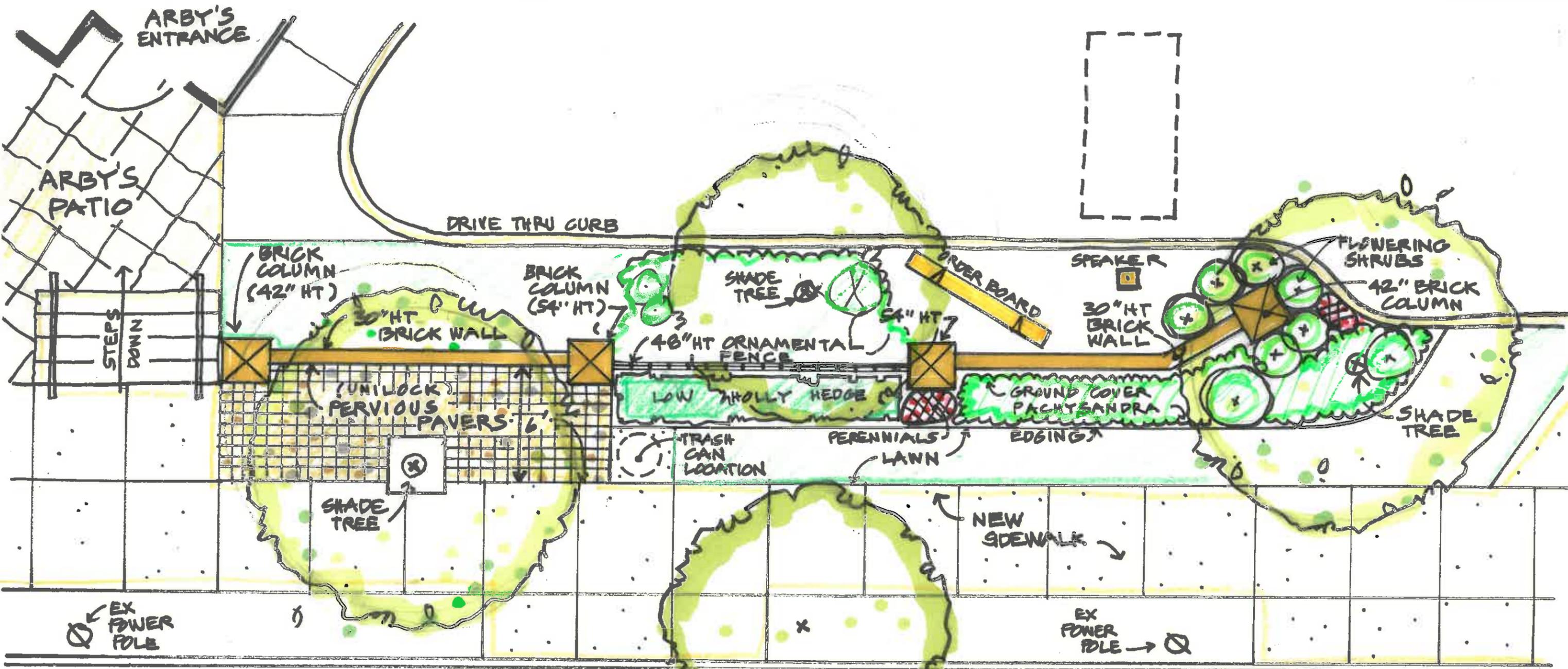
NOTE: PLANT COUNTS GIVEN ON THE LANDSCAPE DRAWINGS AND SUMMARIZED ON THE PLANT SCHEDULE ARE FOR THE CONVENIENCE OF APPROPRIATE REVIEW AGENCIES AND CONTRACTOR/SUBCONTRACTOR ONLY. ALL PLANTING INDICATED ON EITHER THE PLANT SCHEDULE OR LANDSCAPE PLAN SHALL BE REQUIRED. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE APPROPRIATE PARTY FOR CLARIFICATION.

JOB NO. 4881 FILE NO. 4881 SITE PLAN	ARBY'S RESTAURANT GROUP INC. 22140 COUNTRY WAY STRONGSVILLE, OH 44149	SCALE 1"=20'
	LANDSCAPE PLAN ARBY'S RESTAURANT 5189 BAUM BOULEVARD	DATE APR. 20, 2015
	CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.	DRAWN BY R.JH / KMZ
	FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.	SHEET NUMBER L-1

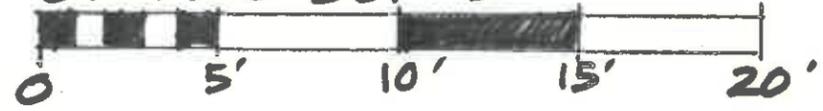


Fahringier, McCarty, Grey, Inc.

**Arby's Restaurant**  
 5189 Baum Boulevard  
 August 2015



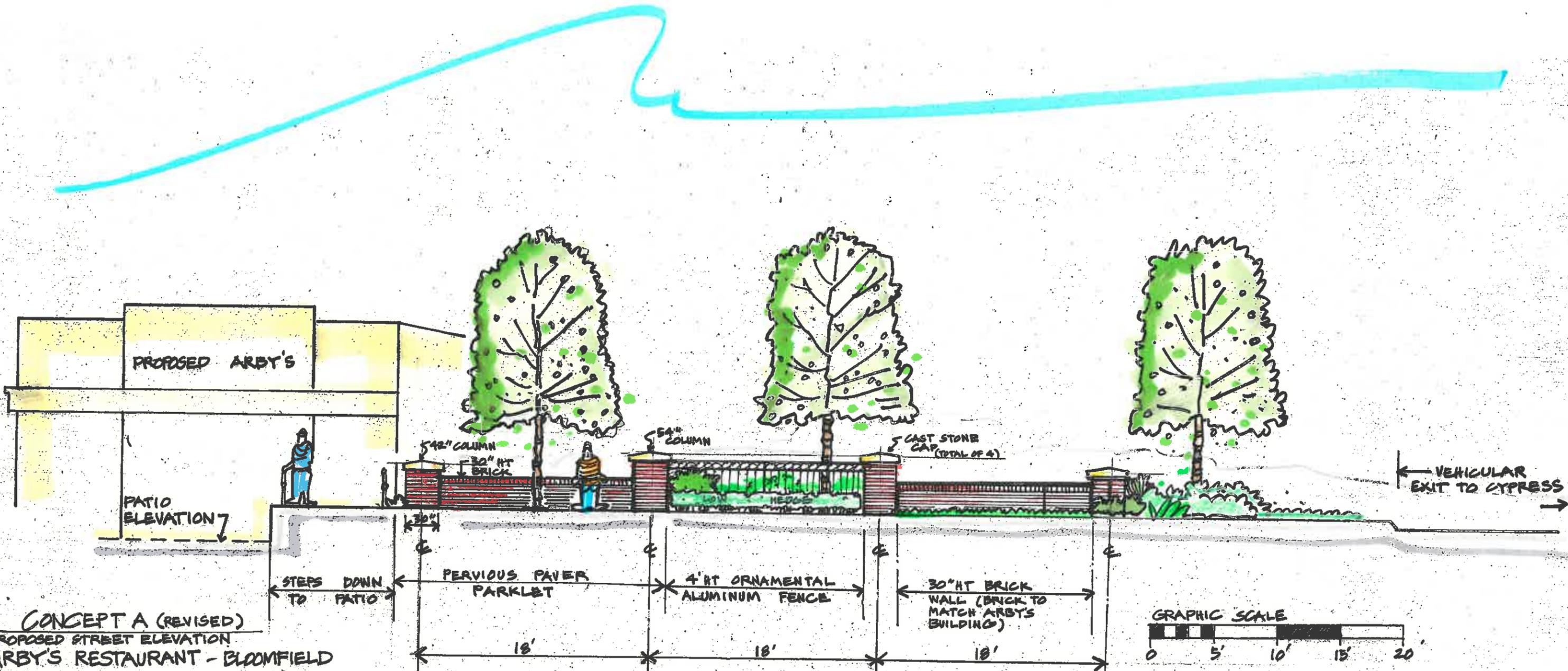
GRAPHIC SCALE



FAHRINGER, McCARTY, GREY INC  
LANDSCAPE ARCHITECTS/ENGINEERS

CONCEPT A (REVISED)

PROPOSED PLAN  
ARBY'S RESTAURANT-BLOOMFIELD  
CYPRESS ST DESIGN ELEMENT  
ARBY'S RESTAURANT GROUP



**CONCEPT A (REVISED)**  
 PROPOSED STREET ELEVATION  
 ARBY'S RESTAURANT - BLOOMFIELD  
 CYPRESS ST. DESIGN ELEMENT  
 ARBY'S RESTAURANT GROUP

FAHRINGER, McCARTY, GREY, INC  
 LANDSCAPE ARCHITECTS/ENGINEERS



Conceptual Rendering

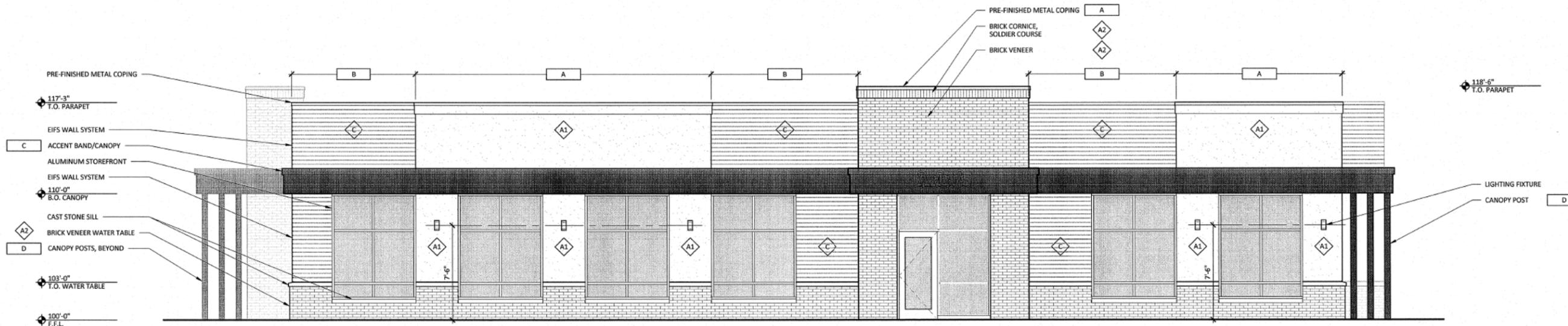
- Inspire 2000 / 3000
- Baum Blvd. & Cypress Street (East bound view)
- 2015 prototype modified to lay parallel to Baum Blvd.





1 FRONT ELEVATION  
A2.1 1/4" = 1'-0"

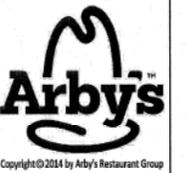
FINISH SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	DRYVIT	#310 CHINA WHITE SANDBLAST TEXTURE	EIFS WALL SYSTEM
A2	COUNTY MATERIALS	HERITAGE COLLECTION WHITE NF	SMOOTH
B	COUNTY MATERIALS	HERITAGE COLLECTION SABLE NF	SMOOTH
C	DRYVIT	PAINT "G"	V-GROOVE EIFS REVEAL, 4" O.C. REFER TO DETAIL
D	SHERWIN WILLIAMS	PRIMER: LOXON ACRYLIC MASONRY PRIMER, A-24-300 FINISH: DTM ACRYLIC GLOSS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
E	NOT USED	---	---
F	SHERWIN WILLIAMS	#SW 7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	#SW 2808 ROCKWOOD DARK BROWN	SATIN FINISH
H	JAMES HARDIE	ARTISAN LAP SIDING - SMOOTH	5/8" THICK 7 1/4" WIDTH (6" EXPOSURE)
I	IPE WOOD RAINSCREEN	---	PROVIDE UV SEALER
K	SHERWIN WILLIAMS	#SW 2:23 WHITE	SATIN FINISH
METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICTED CANOPY/BAND	PRODLCT CODE: 9940-30198R PRODLCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRICTED POST	PRODLCT CODE: 9840-80957RPRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---
<ol style="list-style-type: none"> <li>PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE.</li> <li>PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.</li> <li>PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.</li> <li>TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.</li> <li>MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS. REFER TO SPECIFICATIONS ON SHEET SP-2.</li> <li>REFER TO SHEET AB.2 FOR TEMPERED GLASS LOCATIONS.</li> <li>ALUMINUM STOREFRONT TO BE DARK BRONZE.</li> <li>ALL GLAZING TO BE 1" INSULATED GLAZING.</li> <li>BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.</li> <li>SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.</li> </ol>			



2 SIDE ELEVATION  
A2.1 1/4" = 1'-0"

r e d  
 architecture + planning  
 855 grandview ave.  
 columbus, ohio 43215  
 tel: 614.487.8770  
 fax: 614.487.8777

PROPRIETARY INFORMATION NOTICE:  
 THESE PROTOTYPICAL DOCUMENTS MAY  
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 STATE AND FEDERAL CODES, ORDINANCES  
 OR OTHER CONDITIONS. THE DESIGN  
 CONCEPTS EMBODIED IN THESE DOCUMENTS  
 ARE SPECIFICALLY FOR THIS PROJECT.  
 INFORMATION CONTAINED HEREIN REMAINS  
 THE SOLE PROPERTY OF ARBY'S RESTAURANT  
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 AND IS NOT TO BE COPIED, REPRODUCED,  
 DISCLOSED OR OTHERWISE TRANSMITTED TO  
 OTHER PARTIES IN ANY FORM WHATSOEVER  
 WITHOUT THE EXPRESS WRITTEN CONSENT OF  
 ARBY'S RESTAURANT GROUP.



ARBY'S RESTAURANT GROUP  
 INSPIRE FRONT-LINE 2700  
 1234 MAIN STREET  
 CITY, STATE ZIP

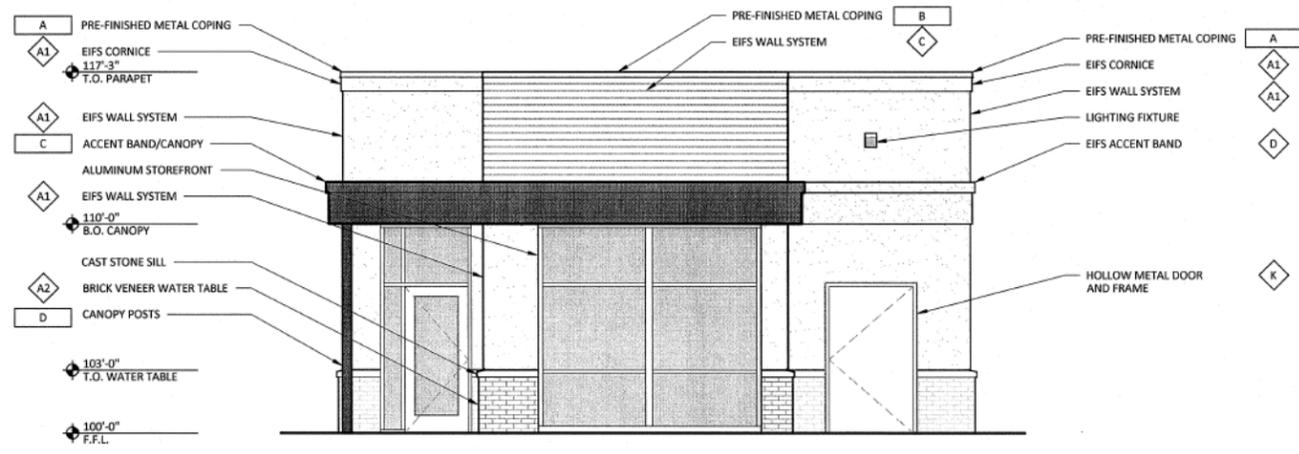
PROJECT NUMBER:	ARG098
ISSUE	DATE
PROTOTYPE SET	DEC 15, 2014

EXTERIOR ELEVATIONS

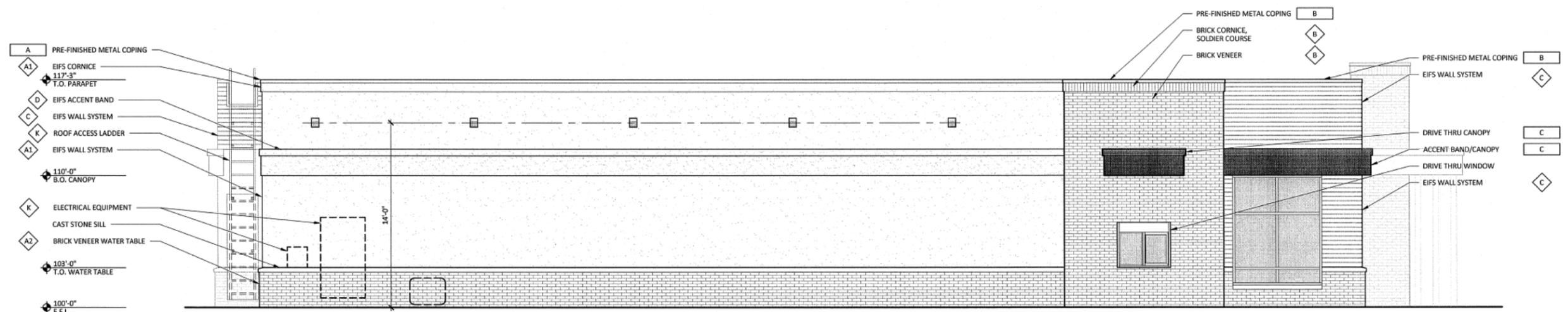
SHEET:

A2.1

NOT FOR CONSTRUCTION, FOR REFERENCE ONLY



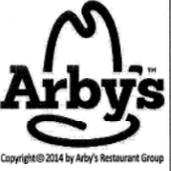
**1**  
**A2.2**  
 REAR ELEVATION  
 1/4" = 1'-0"



**2**  
**A2.2**  
 SIDE ELEVATION  
 1/4" = 1'-0"

NOT FOR CONSTRUCTION, FOR REFERENCE ONLY

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**ARBY'S RESTAURANT GROUP**  
 INSPIRE FRONT-LINE 2700  
 1234 MAIN STREET  
 CITY, STATE ZIP

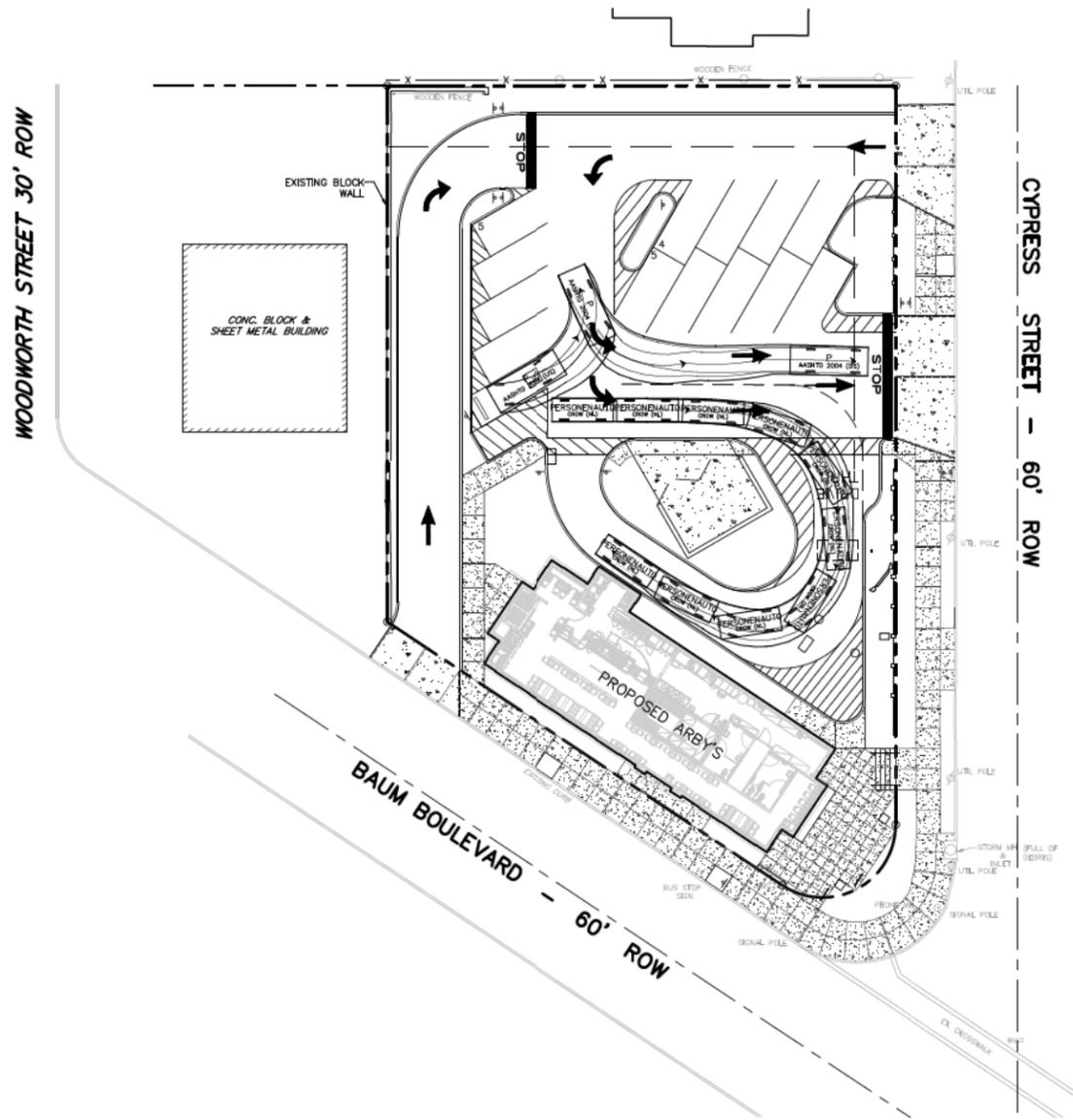
PROJECT NUMBER:  
 ARG098

ISSUE	DATE
PROTOTYPE SET	DEC 15, 2014

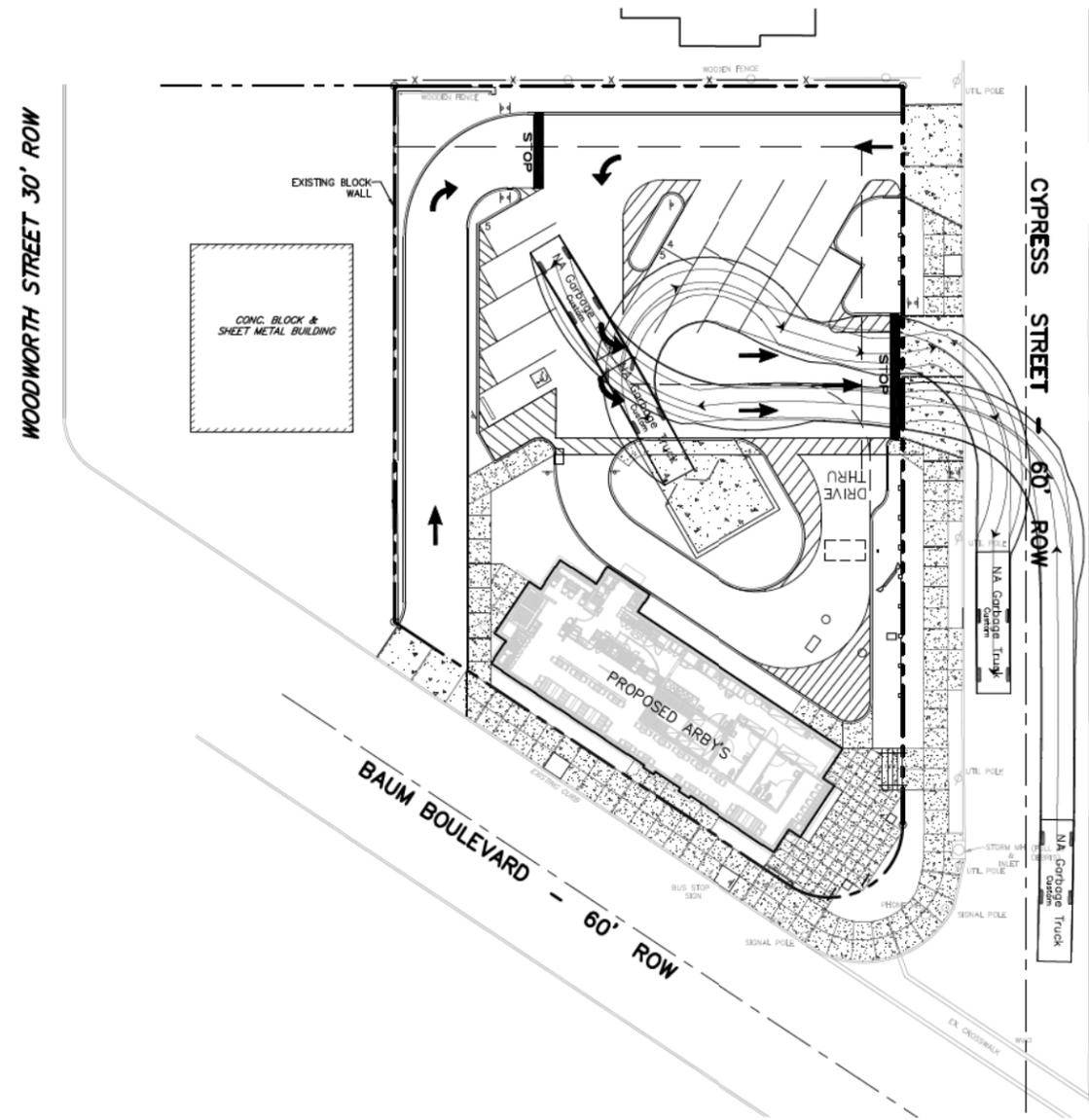
EXTERIOR  
 ELEVATIONS

SHEET:

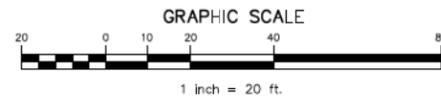
**A2.2**



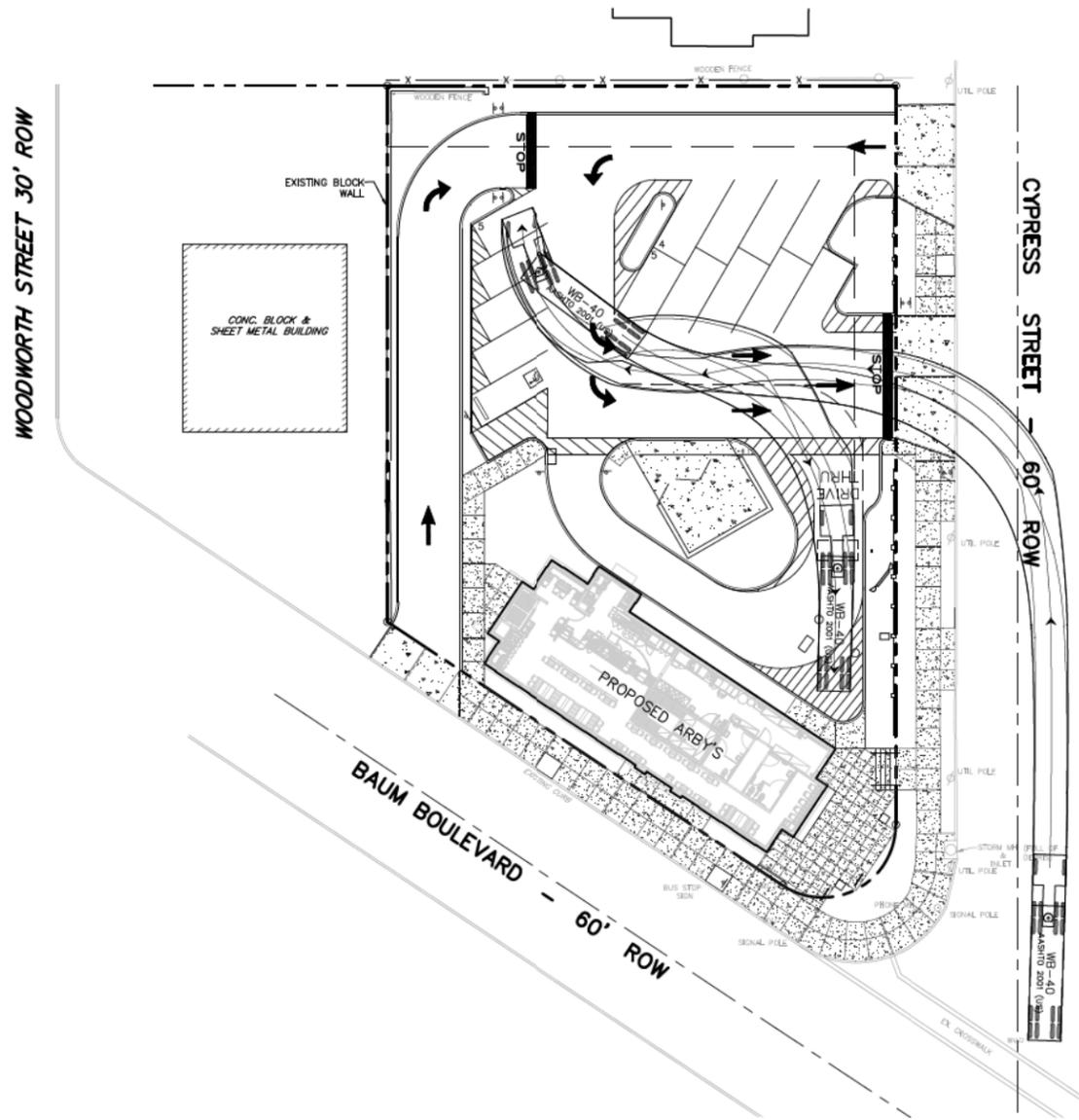
DRIVE THRU  
STACKING



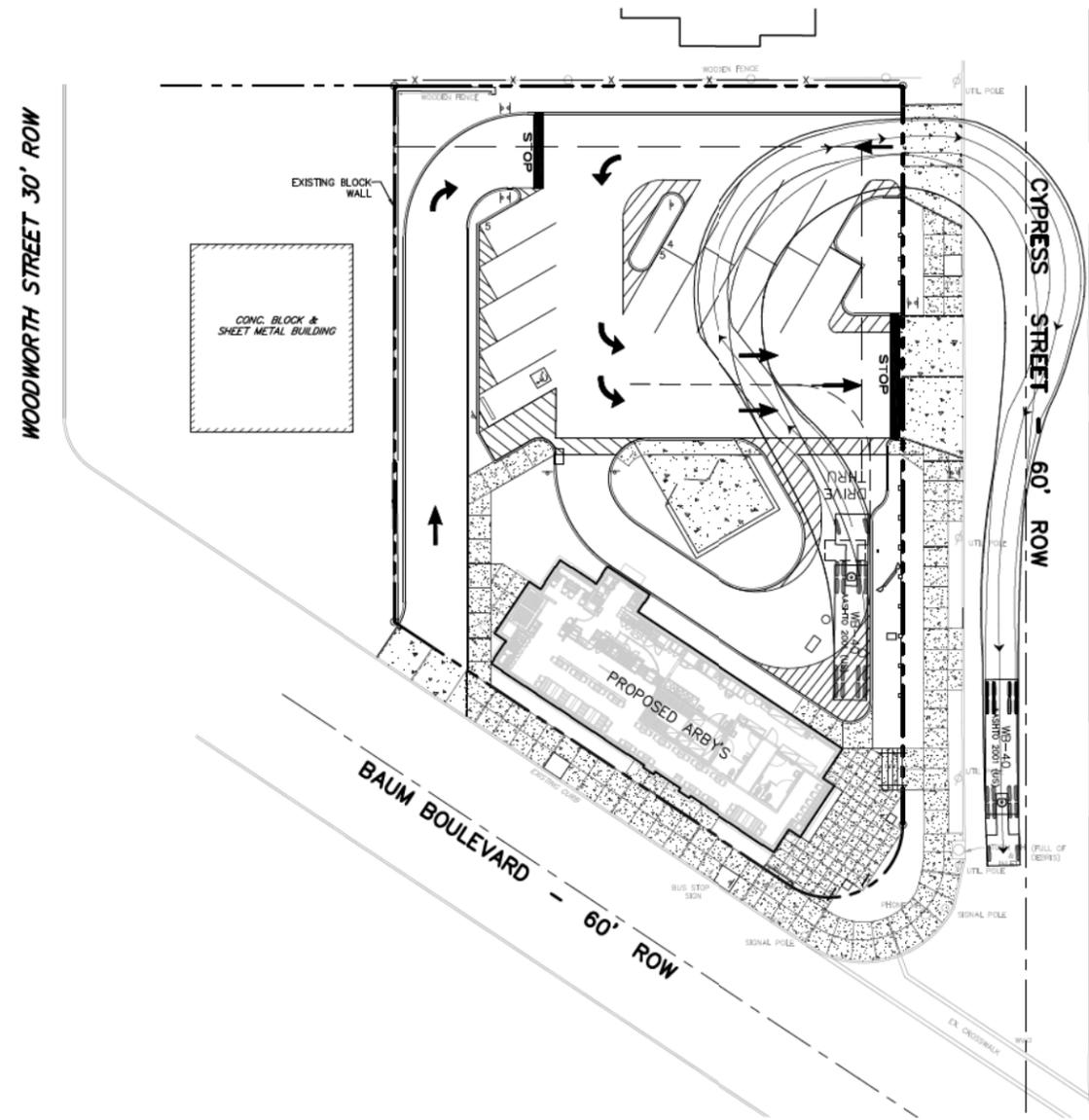
GARBAGE TRUCK



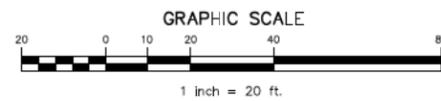
JOB NO. 4881		<b>ARBY'S RESTAURANT GROUP INC.</b> 22140 COUNTRY WAY STRONGSVILLE, OH 44149	SCALE 1"=20' DATE APR. 9, 2015 DRAWN BY RJH / KMZ SHEET NUMBER <b>AT-1</b>
	<b>AUTOTURN - DRIVE THRU STACKING</b> <b>AUTOTURN - GARBAGE TRUCK</b> <b>ARBY'S RESTAURANT</b> 5189 BAUM BOULEVARD		
	REVISIONS JUN. 3, 2015 JAN. 4, 2016	CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.	
	FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.		



ENTERING



LEAVING



JOB NO. 4881		<b>ARBY'S RESTAURANT GROUP INC.</b> <small>22140 COUNTRY WAY STRONGSVILLE, OH 44149</small>		SCALE 1"=20'
	REVISIONS JUN. 3, 2015 JAN. 4, 2016	<b>AUTOTURN - WB-40</b> <b>ARBY'S RESTAURANT</b> 5189 BAUM BOULEVARD		DATE APR. 9, 2015
		CITY OF PITTSBURGH    8TH WARD    ALLEGHENY COUNTY, PA.		DRAWN BY RJH / KMZ
		FAHRINGER, McCARTY, GREY, INC. <small>LANDSCAPE ARCHITECTS AND ENGINEERS    MONROEVILLE, PA.</small>		SHEET NUMBER <b>AT-2</b>

DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

**DEVELOPMENT REVIEW APPLICATION**

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

**GENERAL INFORMATION**

1. Property Owner Name: **MUNKHALL VENTURES II** Phone Number: **(412) 731-0891**

Address: **PO BOX 111325** City: **PITTSBURGH** State: **PA** Zip Code: **15238**

2. Applicant/Company Name: **ARBY'S RESTAURANT GRP.** Phone Number: **(440) 552-2856**

Address: **22140 COUNTRY WAY** City: **STRONGVILLE** State: **OH.** Zip Code: **44149**

Applicant/Contractor ID: (assigned by the City)

3. Development Name: **ARBY'S RESTAURANT**

4. Development Location: **CORNER - BAUM BOULEVARD AND CYPRESS ST**

5. Development Address: **5151 BAUM BOULEVARD**

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) **N/A**

Proposed Zoning District:

Present Use of Site:  
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required: **N/A**

Certificate of Occupancy#: Date Issued: Existing Use of Property:

8. Estimated Construction: Start Date: **8/15/2015**; Occupancy Date: **11/15/2015** Project Cost: **\$500,000**

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to [pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/) and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **RESTAURANT, FAST FOOD (GENERAL)**

10. Select the Type of Work:
- New Construction, New
  - Renovation, Interior
  - New Construction, Exterior
  - Renovation, Exterior
  - Change in Use Only
  - Renovation, Change in Use

11. Describe the Development: **CONSTRUCTION OF A 65 SEAT, 2697 SF ARBY'S RESTAURANT WITH 14 ON-SITE PARKING SPACES, DRIVE THRU WINDOW, 3 ONE WAY CURB CUTS, LANDSCAPING, EXTERIOR PATIO**

12. Is a Land Operations Permit needed?  YES  NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**DEVELOPMENT REVIEW APPLICATION**

**LAND AND BUILDING INFORMATION**

13. Proposed Number of New Structures or Building Additions:  N/A  
 Residential  Commercial  Recreational  Industrial  Institutional

14. Gross Floor Area:  
 Existing to be Razed: 0 sq ft  
 Existing to be Retained: 0 sq ft  
 Retained Area to be Renovated: 0 sq ft  
 To be Constructed: 2697 sq ft  
 Building Footprint: 2697 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	<u>0</u>	<u>0</u>	<u>1</u>	<u>18'-6"</u>
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units: N/A  
 Existing to Remain: \_\_\_\_\_ Proposed: \_\_\_\_\_

17. Lot Area: 0.4884 AC sq-ft  
21,276 SQ FT

18. On Site Parking:  N/A

	Existing	Proposed
Full (8 1/2' x 19')	<u>0</u>	<u>1</u>
Compact (7 1/4' x 16')	<u>0</u>	<u>4</u>
Handicap (13 1/2' x 19')	<u>0</u>	<u>9</u>

Off-Street Loading Spaces:  N/A  
 Actual: 1  
 Required: 1

19. Please check any of the following items that will be part of the proposed work:  N/A  
 Demolition  HVAC (Interior)  HVAC (Exterior)  Electrical  Fire Alarm  
 Fire Protection/Sprinklers  Deck Construction  Commercial Cooking Hood  Sign

20. Please check the following items that pertain to any work proposed on private plumbing:  
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).  
 Repair or Replace Existing Plumbing  New Construction of Plumbing  No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at [www.pgh2o.com](http://www.pgh2o.com)).

21. Please indicate the number (e.g. 0, 1, 2, . . .) of each of the following sewer and/or water items that will be part of the work:

- |  |   |
|--|---|
| <u>  1  </u> New Water Service Connection(s) | <u>  1  </u> Termination of Existing Water Service Tap(s) |
| <u>  1  </u> New Sewer Service Connection(s) | <u>  1  </u> Termination of Existing Sewer Service Tap(s) |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES       NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street       Private Property       Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?       Yes       No

Applicant Signature: C. Boyd Emmer, agent

**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

**Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9**

**Residential Uses**

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

**Non-Residential Uses**

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)
52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Hellstop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)
100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING  
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

**Office of the Zoning Administrator**

**200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219**

**DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION**

**Department of City Planning**

200 Ross Street, Fourth Floor  
Pittsburgh, PA 15219  
(412) 255-2200  
[pittsburghpa.gov/dcp/](http://pittsburghpa.gov/dcp/)

**Department of City Planning  
Zoning Office Counter**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2246  
[pittsburghpa.gov/dcp/zoning/](http://pittsburghpa.gov/dcp/zoning/)

**City Zoning Code**

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety  
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor  
Pittsburgh, PA 15219  
(412) 255-2175  
[www.city.pittsburgh.pa.us/bbi/](http://www.city.pittsburgh.pa.us/bbi/)

**Department of Public Works (DPW)  
Bureau of Engineering and Construction**

City-County Building, Room 301  
441 Grant Street  
Pittsburgh, PA 15219  
(412) 255-2883  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Department of Public Works (DPW)  
Public Space Management**

**Permit Office**  
611 Second Avenue  
Pittsburgh, PA 15219  
(412) 255-2370  
[www.city.pittsburgh.pa.us/pw/html/permits\\_info.html](http://www.city.pittsburgh.pa.us/pw/html/permits_info.html)

**Pittsburgh Water and Sewer Authority (PWSA)**

Penn-Liberty Plaza I  
1200 Penn Avenue  
Pittsburgh, PA 15222  
Permits (412) 255-2443; Engineering (412) 255-8987  
[www.pgh2o.com](http://www.pgh2o.com)

*Refer to the PWSA Procedures Manual for Developers.*

**Allegheny County Health Department (ACHD)**

Plumbing Division  
3901 Penn Avenue, Building #5  
Pittsburgh, PA 15224  
(412) 578-8036  
[www.achd.net/plumbing/index.html](http://www.achd.net/plumbing/index.html)

**Allegheny County Health Department (ACHD)**

Food Safety Program  
3901 Penn Avenue, Building #1  
Pittsburgh, PA 15224  
(412) 578-8044  
[www.achd.net/food/foodstart.html](http://www.achd.net/food/foodstart.html)

**Allegheny County Health Department (ACHD)**

Housing and Community Environment  
3190 Sassafras Way  
Pittsburgh, PA 15201  
(412) 350-4046  
[www.achd.net/housing/commenvironstart.html](http://www.achd.net/housing/commenvironstart.html)



Legislation Details (With Text)

**File #:** 2015-2063      **Version:** 1

**Type:** Ordinance      **Status:** In Standing Committee

**File created:** 9/28/2015      **In control:** Commission - Planning Commission

**On agenda:** 9/29/2015      **Final action:**

**Enactment date:**      **Enactment #:**

**Effective date:**

**Title:** Ordinance supplementing the Pittsburgh Code of Ordinances, Title Nine - Zoning, Chapter 922 Development Review Procedures, Sections 922.10.E.2, 922.11.B.3 and 922.11.C.2 with a new subsection, "Affordable Housing Impact Statements."

**Sponsors:** Reverend Ricky V. Burgess, R. Daniel Lavelle

**Indexes:**

**Code sections:**

**Attachments:**

Date	Ver.	Action By	Action	Result
10/7/2015	1	Standing Committee	Referred for Report and Recommendation	
10/7/2015	1	Standing Committee	Referred for Report and Recommendation	Pass
9/29/2015	1	City Council	Read and referred	

Ordinance supplementing the Pittsburgh Code of Ordinances, Title Nine - Zoning, Chapter 922 Development Review Procedures, Sections 922.10.E.2, 922.11.B.3 and 922.11.C.2 with a new subsection, "Affordable Housing Impact Statements."

**WHEREAS,** A City For All Agenda strives to make Pittsburgh a livable and affordable city for all residents; and

**WHEREAS,** A City For All Agenda includes affordable housing for all Pittsburgh families; and

**WHEREAS,** the cost of housing is out of reach for tens of thousands of Pittsburgh families; and

**WHEREAS,** an estimated 8,000-12,000 new housing units are proposed to be built in the City of Pittsburgh, none of which will be affordable for low income families; and

**WHEREAS,** according to the Housing Alliance of Pennsylvania, Pittsburgh needs 21,580 housing units that are both affordable and available for households living on extremely low incomes; and

**WHEREAS,** the failure of the local housing market to meet this demand makes housing in this City increasingly unaffordable for low income families; and

**WHEREAS,** Council desires a mechanism to track the impacts of development upon the creation of or preservation of affordable housing; and

**WHEREAS**, one tool used in other cities is an Affordable Housing Impact Statement; and

**WHEREAS**, cities such as Austin, Texas and San Diego, California have had an Affordable Housing Impact Statement (AHIS) policy for several years; and

**WHEREAS**, those cities have found the policy to be helpful in empowering policymakers with meaningful information, and sometimes incentivizing developers and stakeholders to alter their plans to include more affordable housing; and

**WHEREAS**, Council desires, on a consistent, ongoing basis, to track the impacts of development on the affordable housing stock of the City of Pittsburgh.

**Be it resolved that the Council of the City of Pittsburgh hereby enacts as follows:**

**Section 1.** - The Pittsburgh Code of Ordinances, Title Nine - Zoning, Chapter 922 Development Review Procedures, Sections 922.10.E.2, 922.11.B.3 and 922.11.C.2 are hereby supplemented as follows:

**922.10. - Project Development Plans.**

This section sets out the required review and approval procedures for Project Development Plans, which are required for development in the Golden Triangle (GT), Downtown Riverfront (DR), and Public Realm (PR) zoning districts.

922.10.A Purpose

The Project Development Plan review procedures of this section are intended to provide a vehicle for evaluating individual development proposals within the broader context of development and plans for areas of regional significance, including the Golden Triangle and Downtown Riverfront areas. It is further the intent of these review and approval procedures to afford maximum design flexibility for individual development projects, consistent with planning objectives for the Golden Triangle, Downtown Riverfront, and Public Realm areas.

922.10.B Applicability

In each GT, DR and Public Realm district, every new or changed use of land, and every structure hereafter erected, enlarged demolished or externally altered, except structures involving external alterations not in excess of fifty thousand dollars (\$50,000.00), shall, in addition to conforming to any and all regulations pertaining thereto that are specifically set forth in this Zoning Code, be in accord with a Project Development Plan approved by the Commission.

922.10.C Application

All applicants for Project Development Plan approval shall first file an application with the Zoning Administrator, along with a nonrefundable fee that has been established to defray the cost of processing development applications. No application shall be processed until the Zoning Administrator determines that the application is complete and the required fee has been paid.

## 922.10.D Preliminary Review

### 922.10.D.1 Procedure

As a part of the preliminary review, the Zoning Administrator shall prescribe the required form and content of the final Project Development Plan application, which may be submitted in schematic or preliminary form and which may include a site plan; building elevations; building and site perspective drawings; information on building size, height, proposed uses, traffic generation characteristics and other plans and information sufficient to illustrate the proposed development and its relation to adjacent buildings, streets and open spaces.

### 922.10.D.2 Development on sites of three (3) or more acres

Any development of a building or buildings that require Project Development Plan review on a site of three (3) or more acres is required to submit a Master Development Plan prior to the application for individual building or buildings review.

A complete application for a Master Development Plan shall be submitted to the Zoning Administrator in a form established by the Zoning Administrator. Upon determining that the Master Development Plan application is complete, the Zoning Administrator shall schedule a review by the Planning Commission.

The Planning Commission shall approve a Master Development Plan application only if it finds that the proposal meets all of the following criteria:

- (a) That the proposed development shall create an efficient, functional and attractive urban area which incorporates a high level of amenities;
- (b) That the proposed development shall create a favorable environmental, social and economic impact on the City;
- (c) That the proposed development shall not be injurious to other property in the immediate vicinity, nor substantially diminish or impair property values within adjacent zoning districts;
- (d) That adequate utilities, road, drainage and other necessary facilities have been or shall be provided;
- (e) That adequate measures have been or shall be taken to provide ingress and egress designated so as to minimize traffic congestion in the public streets; and
- (f) That the proposed development complies with plans and policy documents adopted from time to time by the City.

## 922.10.E Final Review

### 922.10.E.1 Action by the Planning Commission

The Zoning Administrator shall schedule a review by the Planning Commission when all the requirements established during the preliminary review have been fulfilled. The Planning Commission shall review the Project Development Plan application and act to approve, approve with conditions, or deny the application. The Planning Commission shall approve a Project Development Plan if it finds that the plan complies with the review criteria of [Sec. 922.10.E.2](#) [<https://www.municode.com/library/>](https://www.municode.com/library/) and if the proposal complies with all applicable Zoning Code

requirements and adopted plans and policy documents, including all applicable standards of the GT, DR and Public Realm zoning districts. The Planning Commission shall deny approval of a Project Development Plan if it finds that the plan is not in conformance with this Zoning Code or with adopted plans and policy documents. In acting upon a Project Development Plan, the Planning Commission shall include a description of specific site improvements and development characteristics upon which its approval is conditioned. Such conditions shall be binding upon the applicant.

(a) Notice Requirement for Gaming Enterprise Developments

(1) Notice, Hearing and Action

Upon determining that a Project Development Plan that is specific to a gaming Enterprise is complete, the Zoning Administrator shall schedule a public hearing before the Planning Commission, notify the applicant of the hearing date and give at least twenty-one (21) days notice of the hearing by posting in accordance with the notice requirements of [Section 922.01.C.2 <https://www.municode.com/library/>](#) and by mail in accordance with the notice requirements of [Section 922.01.C.1 <https://www.municode.com/library/>](#) to all property owners within a one hundred fifty-foot radius of the subject property. The Planning Commission shall hold a public hearing on the Project Development Plan application specific for Gaming Enterprises. After the public hearing, the Commission shall act to approve, approve with conditions or deny the application within forty-five (45) days of the public hearing.

922.10.E.2 Review Criteria

In reviewing applications for Project Development Plan approval, the Planning Commission shall consider the extent to which the Project Development Plan addresses the following criteria. The Planning Commission shall not approve any Project Development Plan that, in the determination of the Planning Commission, does not adequately address one (1) or more of these criteria in accordance with objectives contained in general or site specific policy documents adopted by the Planning Commission.

- (a) The proposed development must include retail facilities, where such facilities would maintain and continue the existing retail patterns;
- (b) The proposed development must address compatibility with any existing residential area, including provision for maintenance of residential uses in existing residential areas;
- (c) The proposed development must make provision for adequate parking, considering available transit alternatives and support services, and make provision for adequate vehicle access and loading areas in relation to street capacity, functional classification, and land use patterns, such that any vehicular access points do not create congestion on public streets or create hazardous conditions for pedestrians;
- (d) The proposed development must adequately address traffic generation characteristics in relation to street capacity, intersection classification, and existing and projected traffic volumes and address reasonable alternatives that would enable increased traffic to be directed away from congested areas;
- (e) The proposed development must adequately address pedestrian traffic generation, proposed pedestrian circulation facilities and patterns, including, but not limited to, provision for adequate

sidewalk capacity on and off site, provision for appropriate pedestrian safety on and off site, and provision for pedestrian circulation patterns which do not substantially alter existing patterns and which enhance desired patterns where possible;

(f) The proposed development must adequately address access to public transportation facilities, including, but not limited to, provision for safe pedestrian access to and from transit stops, and pedestrian circulation patterns which encourage the use of public transit, and the provision of on site facilities for alternative means of transportation such as bicycles or van pools;

(g) The proposed development must adequately address the preservation of historic structures and significant features of existing buildings, including, if applicable, the retention and reuse of structures which are locally or federally designated historic structures; retention and reuse of significant structures, provided that such preservation requirements may be waived if the applicant shows that use of such structure is no longer economically or physically viable; and retention and reuse of structures which contribute to the character of an historically significant area;

(h) The proposed development must adequately address architectural relationships with surrounding buildings, including, but not limited to, provision for appropriate building siting, massing, facade treatment, materials, proportion, and scale;

(i) The proposed development must adequately address microclimate effects of proposed development, including, but not limited to, wind velocities, sun reflectance and sun access to streets, existing buildings, and public and private open space;

(j) The proposed development must adequately address protection of views and view corridors, including, if applicable, important views along major public streets, views from surrounding private properties, and views to and from significant public places, such as parks, open spaces, or riverfronts;

(k) The proposed development must adequately address the location, development and functions of open space, including, but not limited to, provision for additional open space where necessary for light and air to adjacent properties, provision for additional open space where desirable to lessen pedestrian impacts and increase safety, or maintenance of existing open spaces which serve these same purposes;

(l) The proposed development must address the project's compatibility and conformance with any overall master plans or comprehensive plans approved by the City Planning Commission and designated by the Department of City Planning, which address Downtown area development;

(m) If the proposed application includes a building(s) that exceeds fifty thousand (50,000) square feet of building footprint, the proposed development must adequately address large footprint building criteria of Section 922.04.E.6.

**(n) The proposed development must adequately address housing impact of the development on the surrounding community by providing an impact statement or analysis which shall include, but is not limited to, information regarding the types of housing proposed, the targeted market demographics, affordable dwelling units within the development and within the market, and number of dwelling units proposed to be**

**demolished. For proposed developments without a housing component, the applicant shall provide a statement or analysis which shall include, but is not limited to, anticipated housing demand and affordability level of housing needed to serve new demand**

#### 922.10.F Amendments

The procedure for amending an approved Project Development Plan shall be the same as required for a new plan under this section, provided that the Zoning Administrator may approve minor amendments to approved Project Development Plans without the refile of a new application. Nothing shall preclude the Zoning Administrator from approving minor amendments.

#### 922.10.G Occupancy Permits

The Zoning Administrator shall not authorize zoning approval of an application for a Certificate of Occupancy for a development subject to Project Development Plan requirements until the Planning Commission has approved the Project Development Plan.

(Ord. 19-2004, § 1L, eff. 11-8-04; Ord. 42-2005, §§ 32-34, eff. 12-30-05)

- **922.11. - Planned Developments.**

This section sets out the required review and approval procedures for Specially Planned (SP) Developments and Planned Unit Developments (PUDs).

#### 922.11.A Method of Adoption

SP or PUD zoning districts may be established only in accordance with the Zoning Map Amendment procedures of [Sec. 922.05 <https://www.municode.com/library/pa/pittsburgh/codes/code\\_of\\_ordinances?nodeId=PIZO CO TITNINEZOCO ARTVIIREEN CH922DEREPR 922.05ZOMATEAM>](https://www.municode.com/library/pa/pittsburgh/codes/code_of_ordinances?nodeId=PIZO CO TITNINEZOCO ARTVIIREEN CH922DEREPR 922.05ZOMATEAM) and the review and approval procedures of this section, which shall be carried out concurrently with the Zoning Map Amendment process.

#### 922.11.B Preliminary Development Plan

##### 922.11.B.1 Application

A complete application for Preliminary Land Development Plan approval shall be submitted to the Zoning Administrator in a form established by the Zoning Administrator, along with a nonrefundable fee that has been established to defray the cost of processing development applications. No application shall be processed until the Zoning Administrator determines that the application is complete and the required fee has been paid. Application for SP or PUD rezoning shall be submitted at the time of application for a certificate of occupancy.

##### 922.11.B.2 Hearing and Action by the Planning Commission

The Planning Commission shall hold a public hearing on the application for Preliminary Development Plan Approval concurrently with the public hearing on the rezoning application. After the public hearing, the Planning Commission shall recommend approval, approval with conditions, or denial of the application and transmit an accurate written summary of the proceedings to the City Council.

##### 922.11.B.3 Review Criteria

The Planning Commission shall recommend approval of the Preliminary Land Development Plan application only if it finds that the proposal meets all of the following criteria:

- (a) That the proposed district shall create an efficient, functional and attractive urban area which incorporates a high level of amenities;
- (b) That the proposed district shall protect and preserve the natural environment;
- (c) That the proposed district shall create a favorable environmental, social and economic impact on the City;
- (d) That the establishment, maintenance, location and operation of the proposed district shall not be detrimental to or endanger the public health, safety, morals, comfort or general welfare;
- (e) That the proposed district shall not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes permitted, nor substantially diminish or impair property values within adjacent zoning districts;
- (f) That the establishment of the proposed district shall not impede the normal and orderly development and improvement of property for uses permitted in the adjacent districts;
- (g) That adequate utilities, access road, drainage and other necessary facilities have been or shall be provided;
- (h) That adequate measures have been or shall be taken to provide ingress and egress designated so as to minimize traffic congestion in the public streets; and
- (i) That the proposed development complies with plans and policy documents adopted from time to time by the City.

**(j) The proposed development must adequately address housing impact of the development on the surrounding community by providing an impact statement or analysis which shall include, but is not limited to, information regarding the types of housing proposed, the targeted market demographics, affordable dwelling units within the development and within the market, and number of dwelling units proposed to be demolished. For proposed developments without a housing component, the applicant shall provide a statement or analysis which shall include, but is not limited to, anticipated housing demand and affordability level of housing needed to serve new demand**

#### 922.11.B.4 Conditions of Approval

The Planning Commission may recommend approval with conditions if such conditions, when met, would have the effect of bringing the proposal into full compliance with the review criteria of [Sec. 922.11.B.3 <https://www.municode.com/library/>](https://www.municode.com/library/).

#### 922.11.B.5 Hearing and Action by City Council

The City Council shall hold a public hearing on the Zoning Map Amendment application. After the public hearing, the City Council shall act to approve, approve with conditions, approve in part, deny, or deny in part the application. The Zoning Map Amendment shall not become effective nor shall it be entered upon the Zoning District Map until the Planning Commission has approved a Final Land

Development Plan and an Improvement subdivision site plan has been duly recorded.

#### 922.11.B.6 Amendments

The procedure for amending an approved Preliminary Land Development Plan shall be the same as required for a new Preliminary Land Development Plan under [Section 922.11.B.2](#) [<https://www.municode.com/library/>](https://www.municode.com/library/).

#### 922.11.B.7 Notice

A public hearing shall be scheduled, and notice shall be required when ten (10) years or more have elapsed from the approval date of the most recently amended Preliminary Land Development Plan for an existing SP or PUD district. The Zoning Administrator shall give at least twenty-one (21) days public notice of the Planning Commission hearing by posting in accordance with the notice requirements of [Chapter 922.01.C.2](#) [<https://www.municode.com/library/>](https://www.municode.com/library/) and by mail in accordance with the notice requirements of [Chapter 922.01.C.1](#) [<https://www.municode.com/library/>](https://www.municode.com/library/) to all property owners within a one hundred fifty (150) foot radius of the subject property.

#### 922.11.C Final Land Development Plans

##### 922.11.C.1 Application

After City Council approval of the Zoning Map Amendment, the applicant shall submit a Final Land Development Plan to the Zoning Administrator who shall forward the application to the Planning Commission for review. At the time of Final Land Development submittal, the applicant shall also submit the Improvement Subdivision Site Plan for the Planning Commission's review. For an SP District, there shall be no minimum acreage required for a Final Land Development Plan application.

##### 922.11.C.2 Review and Action by the Planning Commission

The Planning Commission shall review the Final Land Development Plan and Improvement subdivision site plan and evaluate whether the plans comply with the approved Preliminary Land Development Plan. The Planning Commission shall review the Final Land Development Plan and Improvement subdivision site plan to determine if the application addresses the following criteria. The Planning Commission shall deny approval of a Final Land Development Plan application if it finds that the plan does not comply with the following criteria.

- (a) The proposed development must comply with an approved Preliminary Land Development Plan for the Planned Development;
- (b) The proposed development must include retail facilities, where such facilities would maintain and continue the existing retail patterns;
- (c) The proposed development must address compatibility with any existing residential area, including provision for maintenance of residential uses;
- (d) The proposed development must adequately address parking, considering the demand analysis required in the Preliminary Plan Development Plan, and must make provisions for adequate vehicle access and loading facilities;
- (e) The proposed development must adequately address traffic generation characteristics and address reasonable alternatives that would mitigate increased traffic congestion;

- (f) The proposed development must adequately address pedestrian traffic and patterns, including, but not limited to, sidewalk capacity, pedestrian safety and access to transit;
- (g) The proposed development must adequately address access to public transportation facilities, including, but not limited to access to transit stops, encouragement of transit use and provisions for alternate forms of transportation;
- (h) The proposed development must adequately address architectural relationships with surrounding buildings, including, but not limited to, building siting, massing, facade treatment, materials, proportions and scale;
- (i) The proposed development must adequately address microclimate effects, including, but not limited to, wind velocities, sun reflectance and sun access to existing buildings and streets;
- (j) The proposed development must address the project's compatibility and conformance with the Zoning Code and any plans and policies approved by the Planning Commission;
- (k) If the proposed application includes a building(s) that exceeds 50,000 square feet of building footprint, the proposed development must adequately address large footprint building criteria of Section 922.04.E.6.

**(l) The proposed development must adequately address housing impact of the development on the surrounding community by providing an impact statement or analysis which shall include, but is not limited to, information regarding the types of housing proposed, the targeted market demographics, affordable dwelling units within the development and within the market, and number of dwelling units proposed to be demolished. For proposed developments without a housing component, the applicant shall provide a statement or analysis which shall include, but is not limited to, anticipated housing demand and affordability level of housing needed to serve new demand**

#### 922.11.C.3 Effect of Final Land Development Approval

After a Final Land Development Plan has been approved by the Planning Commission and the Improvement subdivision site plan has been recorded, the applicant may submit a Certificate of Occupancy application and construction drawings for a project development to the Zoning Administrator. If the development is determined by the Zoning Administrator to be in substantial compliance with the Final Land Development Plan, the Zoning Administrator shall approve the Certificate of Occupancy application and building permit application. No Certificate of Occupancy application or building permit application shall be approved if the project is determined not to be in substantial compliance with the approved Final Land Development Plan. If the project development is determined not to be in substantial compliance with the Final Land Development Plan, the applicant may request approval of Land Development Plan amendment, in accordance with [Sec. 922.11.C.4 <<https://www.municode.com/library/>>](#).

#### 922.11.C.4 Amendments

The procedure for amending an approved Final Land Development Plan shall be the same as required for approval of the original Final Land Development Plan, except that the Zoning Administrator may approve an occupancy permit application for a project in an SP or PUD District if the Planning Director determines that the proposed project represents only a minor amendment to an approved

Final Land Development Plan. A minor amendment, for the purpose of this provision, shall be one (1) that meets all of the following conditions:

- (a) Involves no change in use;
- (b) Increases development intensity or residential density by no more than ten (10) percent;
- (c) Increases the height of any structure by no more than ten (10) percent; and
- (d) Places no structure closer to the perimeter of the planned development site than shown on the approved Final Land Development Plan.

#### 922.11.C.5 Lapse of Approval

If an applicant submits an application to the Zoning Administrator for approval of a Certificate of Occupancy application more than seven (7) years after the date of approval of the Final Land Development Plan, the Planning Commission may require that the planning studies conducted for the land development plan be updated, and that additional planning studies be conducted to determine the current impact of the proposed development on the remainder of the planned development and on the City. The Planning Commission shall evaluate the development's impacts in terms of the review criteria of [Sec. 922.11.B.3](#)

[https://www.municode.com/library/pa/pittsburgh/codes/code\\_of\\_ordinances?](https://www.municode.com/library/pa/pittsburgh/codes/code_of_ordinances?)

and may require the applicant to submit a Land Development Plan amendment, in accordance with [Sec. 922.11.C.4](#) [https://www.municode.com/library/pa/pittsburgh/codes/code\\_of\\_ordinances?nodeId=PIZOCO\\_TITNINEZOCO\\_ARTVIIREEN\\_CH922DEREPR\\_922.11PLDE\\_922.11](https://www.municode.com/library/pa/pittsburgh/codes/code_of_ordinances?nodeId=PIZOCO_TITNINEZOCO_ARTVIIREEN_CH922DEREPR_922.11PLDE_922.11).

#### 922.11.C.6 Notice Requirement for Gaming Enterprise Developments

- (a) Notice, Hearing and Action

Upon determining that a Final Land Development Plan that is specific to a gaming Enterprise is complete, the Zoning Administrator shall schedule a public hearing before the Planning Commission, notify the applicant of the hearing date and give at least twenty-one (21) days notice of the hearing by posting in accordance with the notice requirements of [Section 922.01.C.2](#)

<https://www.municode.com/library/> and by mail in accordance with the notice requirements of [Section 922.01.C.1](#) [https://www.municode.com/library/pa/pittsburgh/codes/code\\_of\\_ordinances?nodeId=PIZOCO\\_TITNINEZOCO\\_ARTVIIREEN\\_CH922DEREPR\\_922.01GEREALPR\\_922.01](https://www.municode.com/library/pa/pittsburgh/codes/code_of_ordinances?nodeId=PIZOCO_TITNINEZOCO_ARTVIIREEN_CH922DEREPR_922.01GEREALPR_922.01).

to all property owners within a one hundred fifty-foot radius of the subject property. The Planning Commission shall hold a public hearing on the Final Land Development Plan application specific for Gaming Enterprises. After the public hearing, the Commission shall act to approve, approve with conditions or deny the application within forty-five (45) days of the public hearing.

#### 922.11.D Land Development Reports for SP Districts

For SP Districts, every two (2) years, beginning from the date of approval of the first Final Land Development Plan, the applicant shall submit to the Planning Commission a Land Development Report. The Planning Commission may approve the Land Development Report, approve the report with amendments, or, in the event that a Land Development Report is not submitted, the Planning Commission may approve a report prepared by the Zoning Administrator. The approval of a land development report shall amend the land development plan to the extent specified in the land development report.

(Ord. 42-2005, §§ 35-38, eff. 12-30-05; Ord. No. 33-2009, § 1, eff. 12-11-09; Ord. No. 1-2015, § 1.G., eff. 2-10

-15)



Legislation Details (With Text)

**File #:** 2015-2186      **Version:** 2

**Type:** Ordinance      **Status:** Held In Council

**File created:** 11/2/2015      **In control:** Committee on Hearings

**On agenda:** 11/2/2015      **Final action:**

**Enactment date:**      **Enactment #:**

**Effective date:**

**Title:**

**Sponsors:** Deborah L. Gross

**Indexes:**

**Code sections:**

**Attachments:**

Date	Ver.	Action By	Action	Result
11/10/2015	2	Standing Committee	Held for Public Hearing	Pass
11/10/2015	2	Standing Committee	Read and referred	Pass
11/10/2015	2	Standing Committee	AMENDED	Pass
11/2/2015	1	City Council	Read and referred	

Ordinance amending and supplementing the Pittsburgh Code, Title Nine, Zoning Code, Article V, Use Table, Section 911.02 to update the definition of Bed and Breakfast and Hotel/Motel uses, and to allow for Bed and Breakfast (Limited) and (General) uses in **GI**, **PO**, and **H** zoning districts.

**Be it resolved that the Council of the City of Pittsburgh hereby enacts as follows:**

**Section 1.** The Pittsburgh Code, Title Nine, Zoning Code, Article V, Use Regulations, is hereby amended at Chapter 911, Section 911.02, Use Table, as follows:

	R1	R1	R2	R3	RM	ND	LN	ND	UN	HC	<b>GI</b>	UI	PO	<b>H</b>	EM	GT	DR	
	D	A			O	C	I	C						I				

<p><b>Bed and Breakfast</b> means an occupied dwelling unit in which rooms are let on an overnight basis as the temporary abiding place of persons who have residences elsewhere.</p>																		
<p><b>Bed and Breakfast (Limited)</b> means a Bed and Breakfast use containing one to three guest rooms.</p>	S	S	S	S	S	P	P	P	P	P		P	<u>A</u>		A	P	P	A.7 ; A.8

**Section 2.** The Pittsburgh Code, Title Nine, Zoning Code, Article V, Use Regulations, is hereby amended at Chapter 911, Section 911.04.A.8, Use Table, as follows:

(a) In Residential and Grandview Public Realm, **Park** and EMI Districts

Bed and Breakfast (Limited) uses shall be subject to the following standards in all residential, **Park** and Grandview Public Realm zoning districts:

**Section 3.** The Pittsburgh Code, Title Nine, Zoning Code, Article V, Use Regulations, is hereby amended at Chapter 911, Section 911.04.A.9, Use Table, as follows:

(a) In R2, RM, Grandview Public Realm, **Park** and EMI Zoning Districts.

Bed and Breakfast (General) uses shall be subject to the following standards in the RT, RM, **Park** and Grandview Public Realm Subdistricts: