

STEEP SLOPE OVERLAY #16-001

27-J-202

City of Pittsburgh



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Date Filed:

3/3/16

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: University of Pittsburgh Phone Number: (412) 624-9500

Address: 3400 Forbes Ave City: Pittsburgh State: PA Zip Code: 15260

2. Applicant/Company Name: Owen Cooks Phone Number: (412) 383-2621

Address: 3400 Forbes Ave. City: Pittsburgh State: PA Zip Code: 15260

Applicant/Contractor ID:(assigned by the City)

3. Development Name: Trees Field Renovation Project

4. Development Location: University of Pittsburgh

5. Development Address: Champions Drive (365 Robinson St.) Pittsburgh, PA 15213

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) N/A

Proposed Zoning District:

Present Use of Site: College or University Campus
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: Date Issued: Existing Use of Property: College or University Campus

8. Estimated Construction: Start Date: 05/01/16 Occupancy Date: 10/31/16 Project Cost: \$ \$11M

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list):

10. Select the Type of Work:

- New Construction, New Renovation, Interior
 New Construction, Renovation, Exterior
 Change in Use Only Renovation, Change in Use

11. Describe the Development:

The University of Pittsburgh desires to increase the dedicated outdoor facilities available for campus recreation, intramural teams and club sports at the Oakland Campus.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 2 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: _____ N/A sq ft
 Existing to be Retained: _____ N/A sq ft
 Retained Area to be Renovated: _____ 925 sq ft
 To be Constructed: _____ 100,074 sq ft
 Building Footprint: _____ 100,999 sq ft
98,399 SF Air Structure
 + 1,675 SF Storage Building
100,074 SF Total

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure Air Structure			1	Approx 80'-0"
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				
Storage Building			1	13'-4"

16. Number of Dwelling Units:
 Existing to Remain: _____ N/A Proposed: _____

17. Lot Area: _____ 323,215 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> </u> Yes	New Water Service Connection(s)	<u> </u> No	Termination of Existing Water Service Tap(s)
<u> </u> Yes	New Sewer Service Connection(s)	<u> </u> No	Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

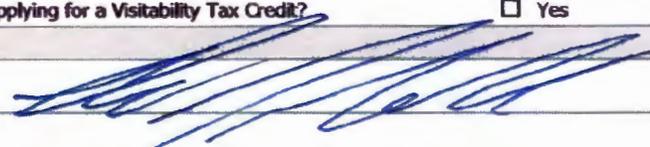
WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work: N/A

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:

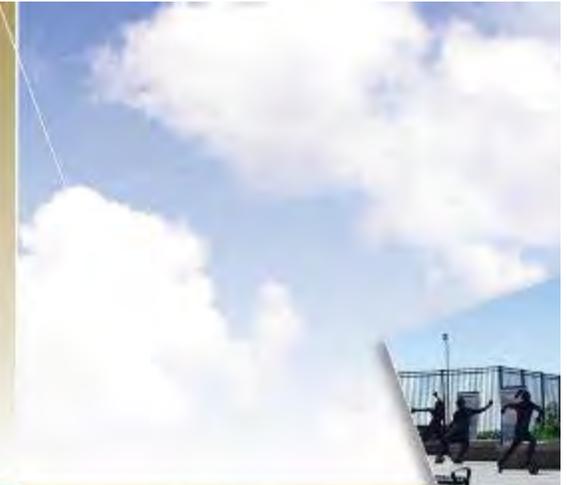
 2/24/2016



University of Pittsburgh

Trees Field Renovation Project

Job. No. X5743



**CDM
Smith**

Presentation Outline

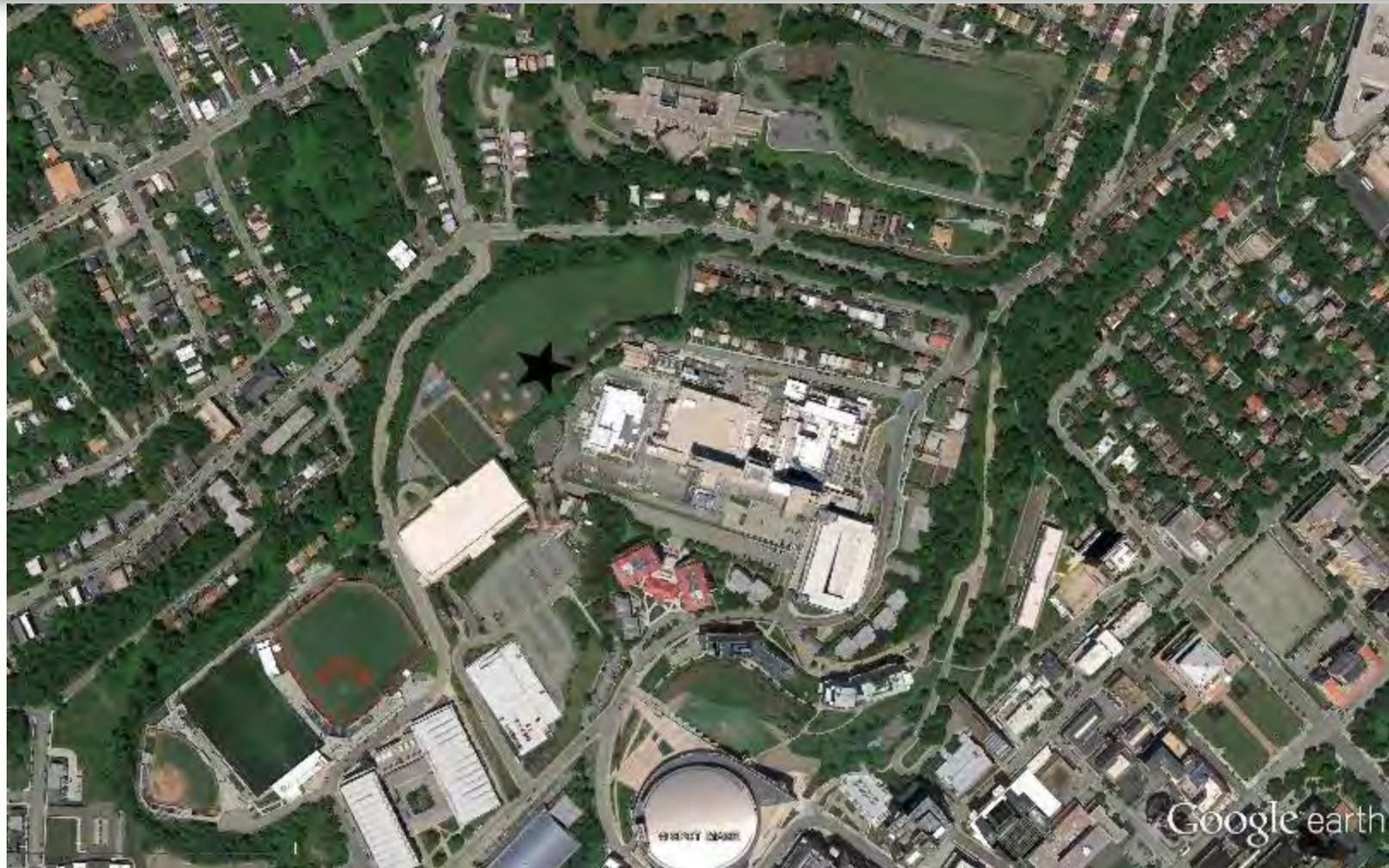
- Introduction
- Location Map
- Site Accessibility Plan
- MSE Wall
- Street views
- Landscaping Plan
- Sustainability and Stormwater Management
- Geotechnical
- Athletic Field Lighting
- Community Outreach
- Summary

Introduction

- **Proposed Development:** Part of the University of Pittsburgh's Institutional Master Plan
- **Address:** Trees Field; 570 Champions Drive; Pittsburgh,PA;15219
- **Zoned:** Educational/Medical Institution (EMI)
- **Description:** The development site that is the focus for this hearing consists of approximately 20 acres of the University's land holdings generally bounded by Center Avenue to the North, Aliquippa Street to the South and East, and Champions Drive to the West. The University of Pittsburgh desires to increase the dedicated outdoor facilities available for campus recreation, intramural teams and club sports at the Oakland Campus



Location Map – University of Pittsburgh



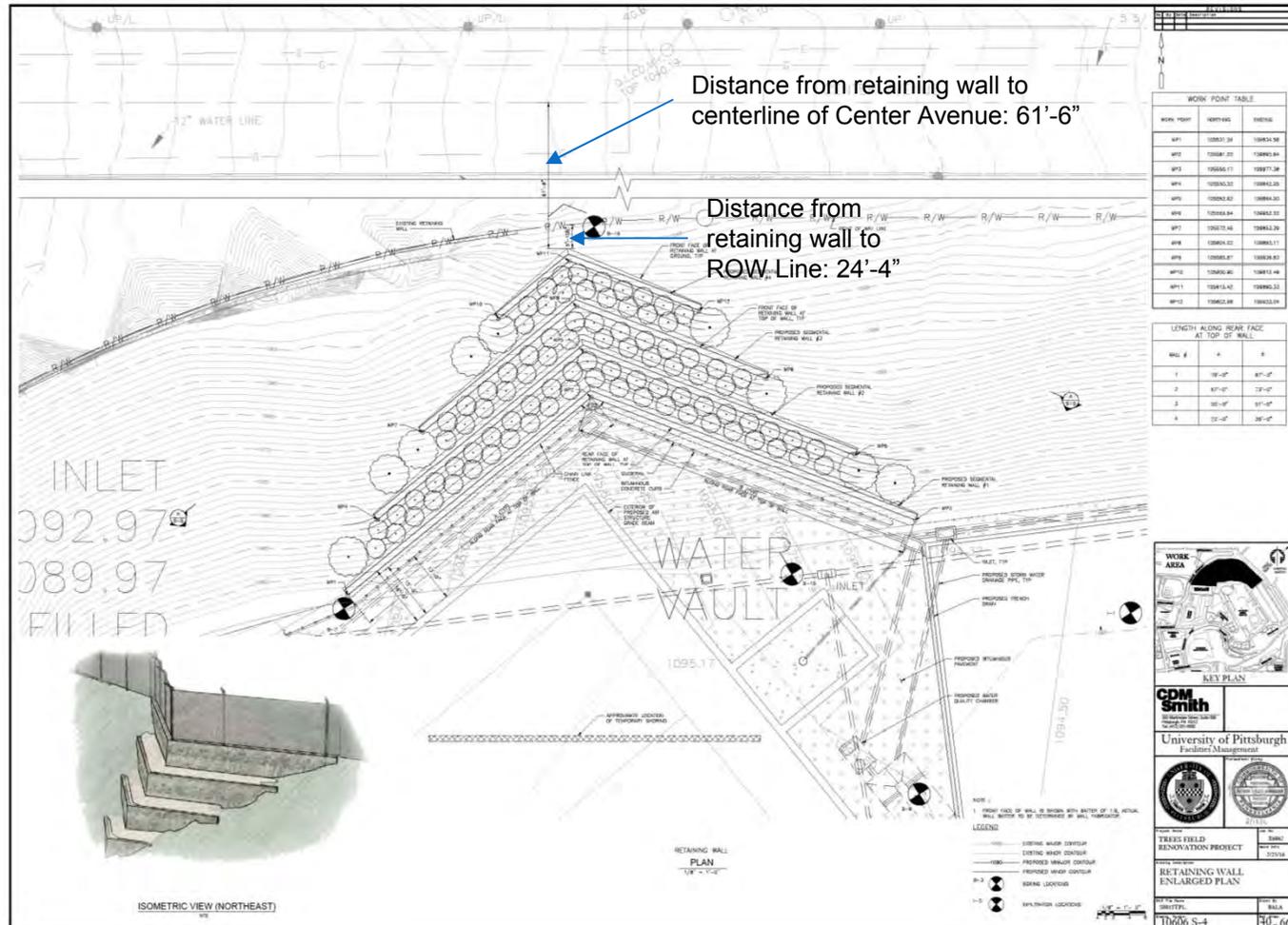
Bird's Eye View-North East to South West



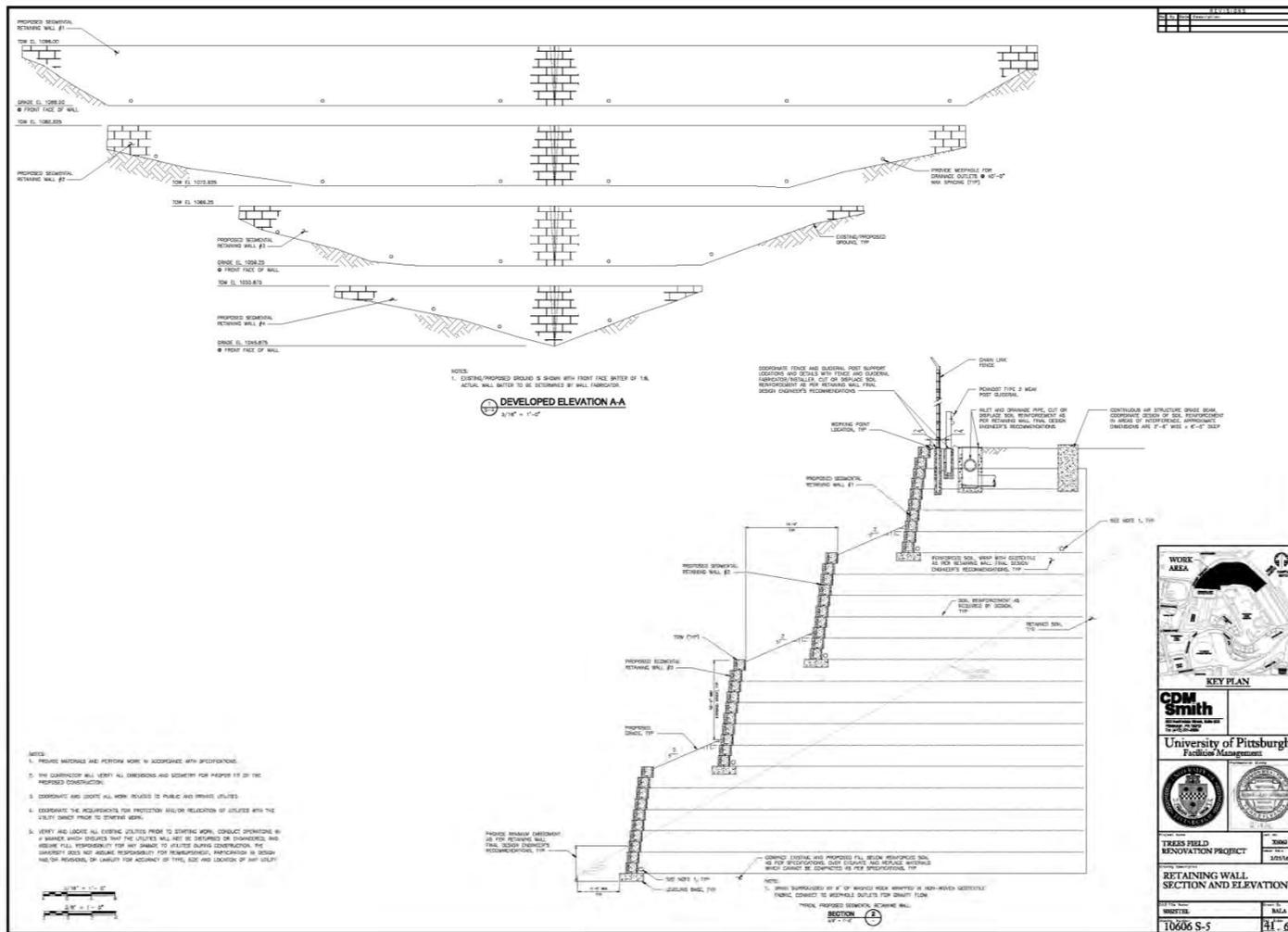
Site Accessibility Plan



Site Plan- Mechanically Stabilized Earth(MSE) Wall



Elevation- Mechanically Stabilized Earth(MSE) Wall



Perspective-MSE Streets View



Perspective- Landscaping Streets View



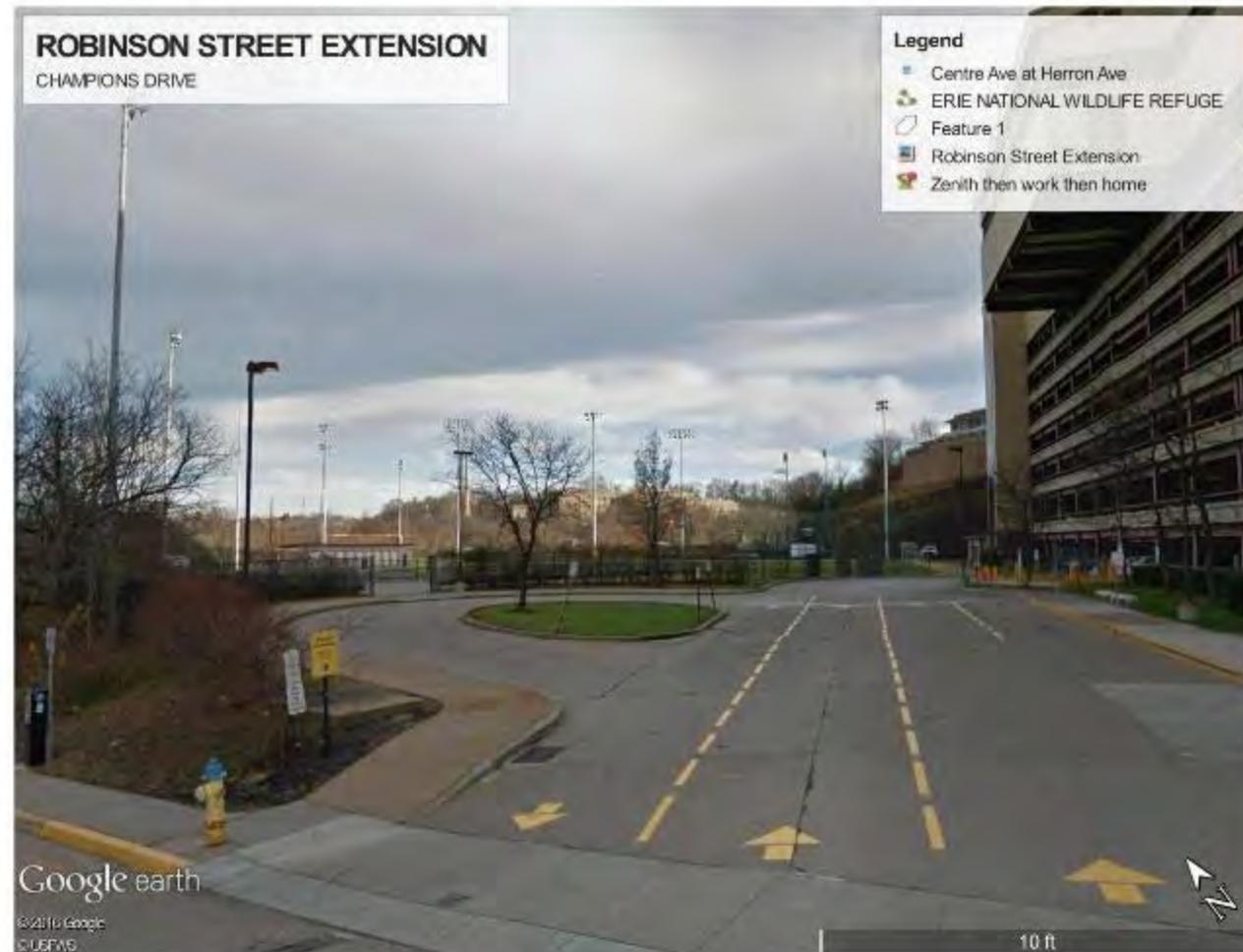
MSE Wall Material Board – Slate Blend Color



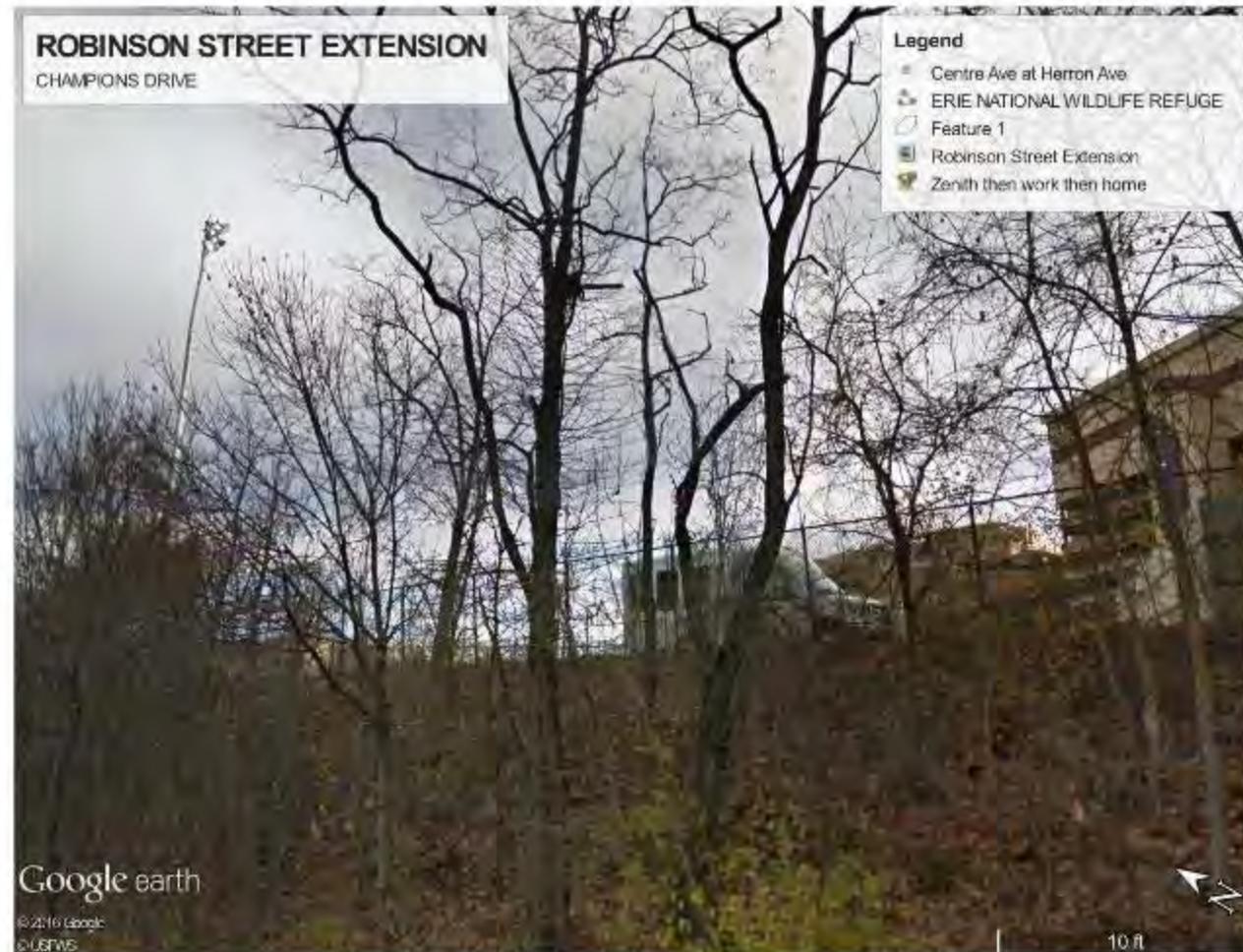
Landscaping – Grading and Cut and Fill Standards

- The grading shall preserve natural landforms and existing drainage patterns.
- Proposed development shall minimize impervious surfaces
- We are proposing MSE terraced walls of not more than 10'-0" of exposed face sufficient to stabilize and ensure the slope shall pose no significant risk or danger while meeting the Steep Slope Overlay Requirements set by the Planning Commission.
- Retaining wall shall follow the existing hillside contours and avoid unnatural slope faces while utilizing natural colored masonry compatible to their surroundings.
- Native species shall be utilized for revegetating the site.

Google Earth Pro Streets View



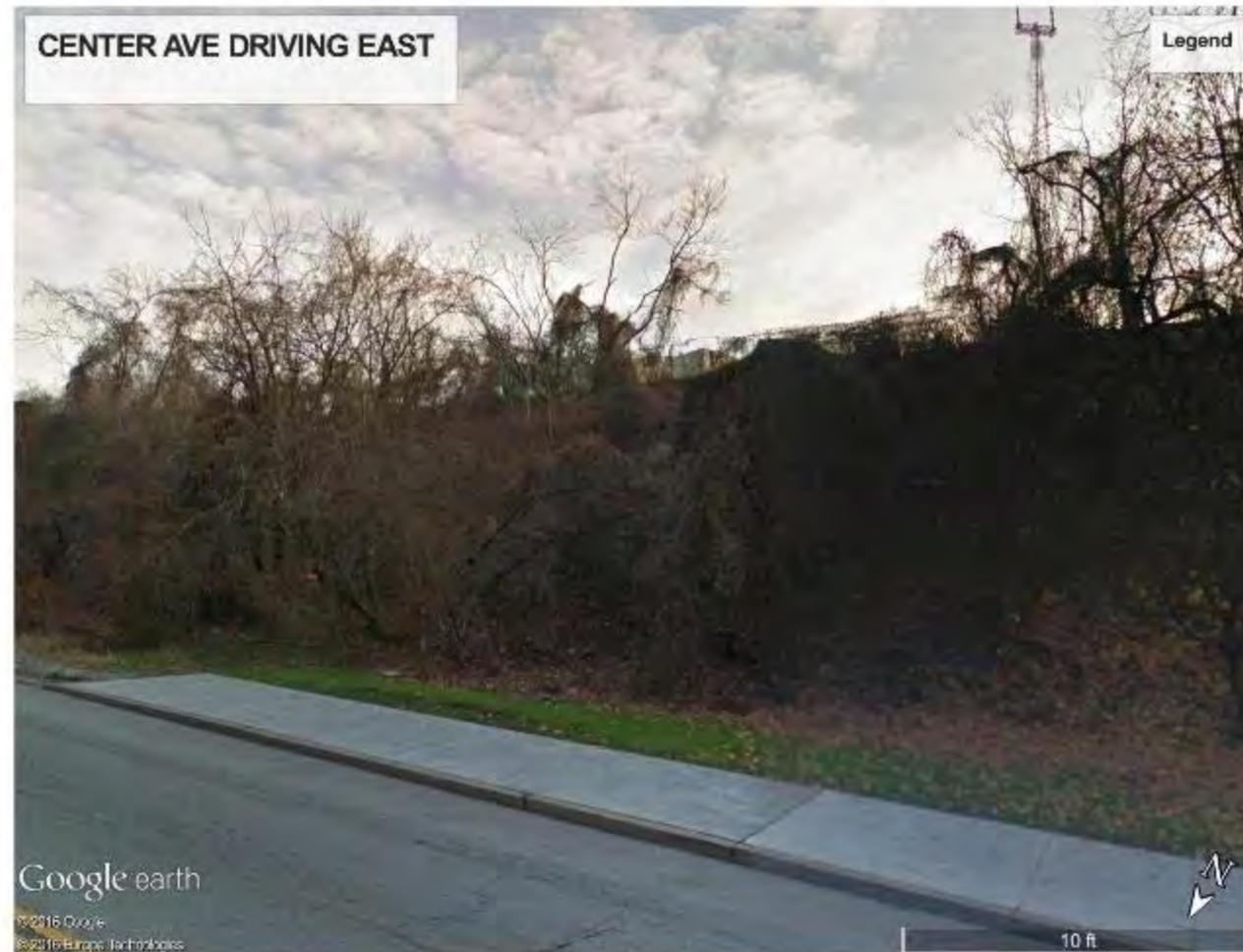
Google Earth Pro Streets View



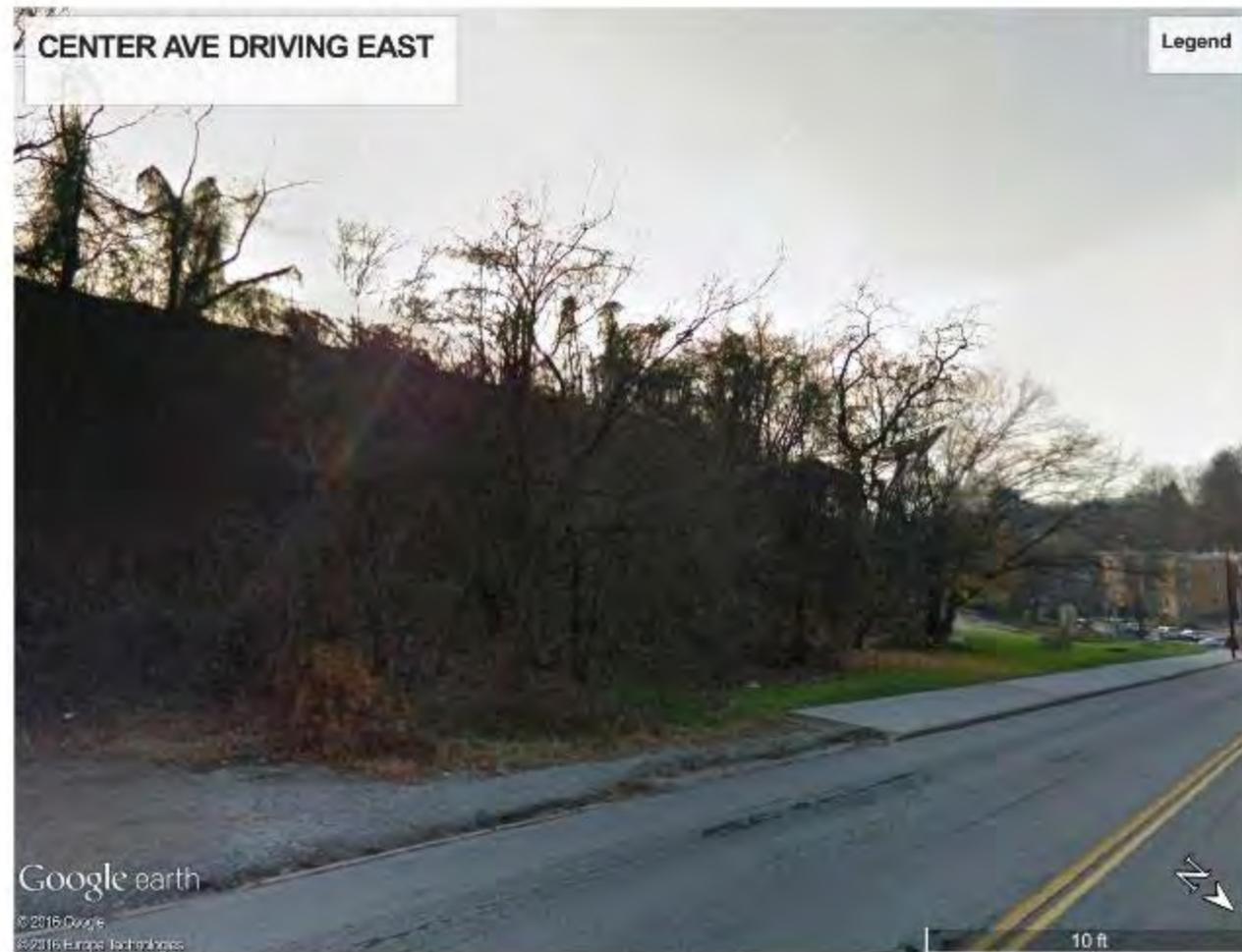
Google Earth Pro Streets View



Google Earth Pro Streets View



Google Earth Pro Streets View



Google Earth Pro Streets View



Google Earth Pro Streets View



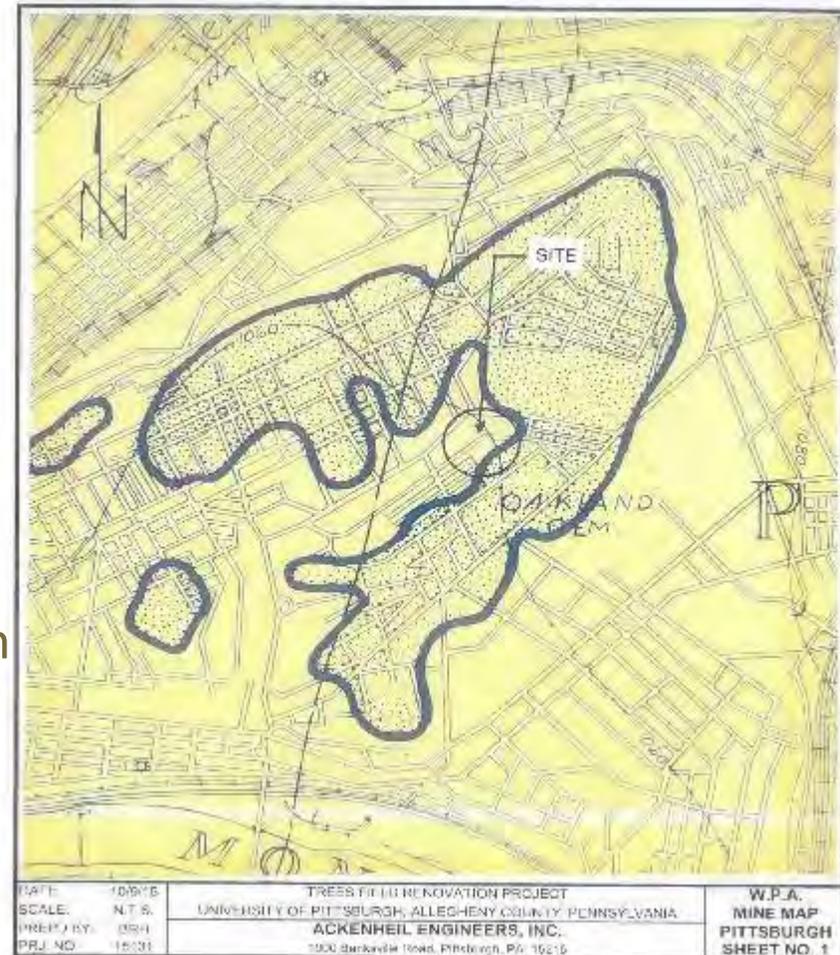
Sustainability and Stormwater Management

Sustainability Definition – Rate of renewable resource harvest, pollution creation, and non-renewable resource depletion.

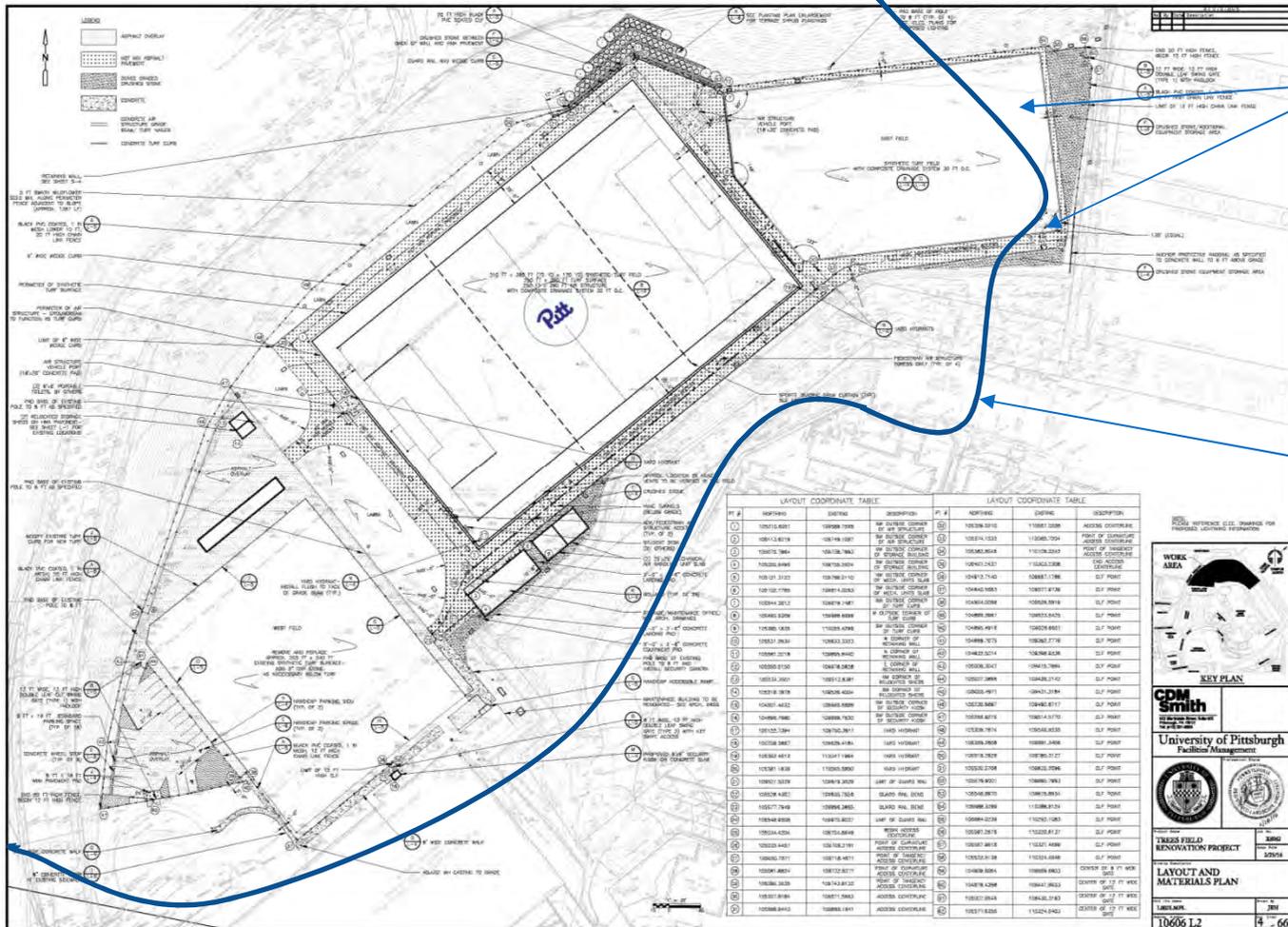
- The proposed Storm Water Management System (SWMS) utilizes infiltration to return water to the underground aquifer.
- Water quality units are utilized to removed pollutants prior to entering the infiltration system to maintain the soils infiltration capacity.
- The Proposed SWMS drains to the Monongahela River.
- Reduces the Post-construction runoff to below Pre-construction runoff rates for the 2, 5, 10, 25, 50, and 100 year storms and retains the first 1.2” of runoff from the site as required by the City of Pittsburgh’s Stormwater Management Ordinance.

Geotechnical-Work Program Administration (WPA) Mining Map

- Southern and eastern portion of the west athletic field (<10%) may be undermined at the Pittsburgh Coal Seam with a coal seam outcrop elevation at 1060 feet.
- Proposed finish elevation of synthetic turf field is at 1095.00 feet.
- Deepest elevation of drainage structure, piping and/or foundation is 1085.92 feet, which is ~25 feet higher than outcropping.
- No known history of subsidence events



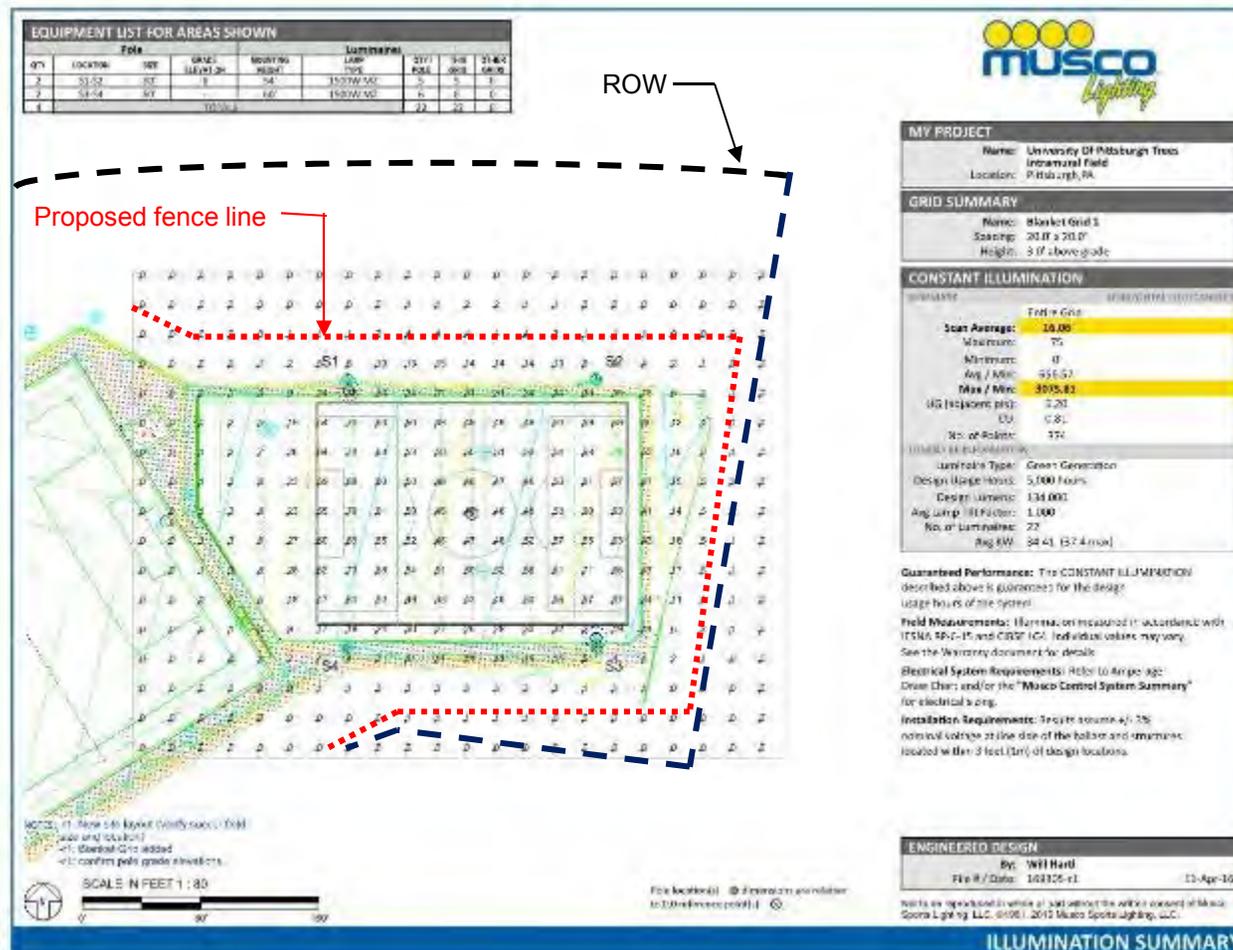
Geotechnical-Work Program Administration (WPA) Mining Map



Areas affected by potential undermining

Boundary of mining map

Athletic Field Lighting-Photometrics



Athletic Field Lighting

- Pole height: 60 feet
- Luminaires: total of 5 or 6 per pole, 1500 watts, will incorporate shielding to prevent light spillover
- Minimal glare
- Light cutoff will be near ROW for adjoining non occupied properties



Community Outreach

The University of Pittsburgh has met with various Community Organizations to review the project:

- Oakland Task Force
- Hill Community Development Corporation
- Hill District Consensus Group
- Hill House Association
- Oak Hill Resident's Council
- Brackenridge/Avalon
- Schenley Heights Community Development
- Veteran's Hospital- Pittsburgh-Oakland
- City Councilman Daniel Lavelle (District No. 6)
- Wesley Center AME Zion Church
- Department of Labor

Summary

- The University of Pittsburgh desires to increase the dedicated outdoor facilities available for campus recreation, intramural teams and club sports at the Oakland Campus.
- The project includes an Air Supported Structure, MSE wall, and Maintenance and Storage buildings.
- The Air Supported Structure dimensions dictate a requirement for the installation of a new terraced mechanically stabilized earth wall along Center Avenue.
- The effort of this presentation is to request Planning Commission understanding and approval of this project.

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DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <u>CARNEGIE MELLON UNIV.</u>	Phone Number: <u>(412) 262-5259</u>	
Address: <u>5000 FORBES</u> City: <u>PITTSBURGH</u>	State: <u>PA</u>	Zip Code: <u>15204-213</u>
2. Applicant/Company Name: <u>BOB KEPPE</u>	Phone Number: ()	
Address: City: State: Zip Code:		

Applicant/Contractor ID:(assigned by the City)

3. Development Name: 412 FIFTH AVE

4. Development Location: FIFTH AVE EAST OF CLYDE ST.

5. Development Address: 412 FIFTH AVE

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:	
Present Use of Site: (Select from attached list)	<u>VACANT BUILDING, PARKING</u>

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#:	Date Issued:	Existing Use of Property:

8. Estimated Construction: Start Date: 1 SEP 2016 Occupancy Date: 1 MAY 2017 Project Cost: \$ 6.5M

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): ADMINISTRATIVE OFFICE + MEETING; SURFACE PARKING

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development:
RENOVATION OF EXISTING 4-STORY BUILDING FOR ADMINISTRATIVE OFFICES AND A NEW 4-STORY ADDITION FOR ELEVATOR/STAIR TOWER AND 85 SURFACE PARKING SPACES

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: _____ sq ft
 Existing to be Retained: 21,450 sq ft
 Retained Area to be Renovated: 21,450 sq ft
 To be Constructed: 2,141 sq ft
 Building Footprint: _____ sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	<u>4</u>	<u>55</u>	<u>4</u>	<u>55</u>
Proposed Addition/Extension			<u>4</u>	<u>55</u>

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 67,202 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	<u>40</u>	<u>56</u>
Compact (7 1/4' x 16')		<u>25</u>
Handicap (13 1/2' x 19')	<u>2</u>	<u>4</u>

Off-Street Loading Spaces: N/A
 Actual: 1
 Required: 1

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

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WATER AND SEWER INFORMATION

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For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

1 New Water Service Connection(s) 1 Termination of Existing Water Service Tap(s) (accessory hdq)
New Sewer Service Connection(s) Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES * NO * lowering consumption & discharge

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: RBR 29 APR 2015





The Pittsburgh Code, Title Nine – Zoning, Article IX – Measurements or Definitions, Chapter 925 - Measurements by adding language to permit to permit building additions and accessory structures within setbacks under certain conditions:

The Council of the City of Pittsburgh hereby enacts as follows:

Section 1. The Pittsburgh Code, Title Nine – Zoning, Article IX – Measurements and Definitions, Chapter 925, Measurements, Section 925.06.A, Features Allowed Within Setbacks is hereby amended as follows:

925.06.A Features Allowed Within Setbacks

The following structures and features may be located within required setbacks:

1. Trees, shrubbery or other features of natural growth provided that they do not obstruct vehicular sight distances;
2. Open ornamental fences, hedges, landscape architectural features or guard railings around depressed ramps, in any required yard or court, if, except when in a closed court, maintained at a height of not more than four (4) feet above the ground level adjacent thereto;
3. Fences or lattice-work screens or walls not more than six and one-half (6½) feet in height, or hedges or thick growth of shrubs, maintained so as not to exceed such height, in any required side or rear yard or court, provided they do not extend closer to a street than the buildable area of the lot. Barbed wire and razor edge are not permitted.
4. Railings not more than three and one-half (3½) feet in height constructed on any balcony, stairway, porch or landing platform;
5. Driveways and sidewalks;
6. Signs, provided that they are specifically permitted by the sign regulations of this Code;
7. Bay windows, architectural design embellishments, and cantilevered floor areas of dwellings that do not project more than two (2) feet into the required setback;
8. Eaves that do not project more than two (2) feet into the required setback;
9. Entrance hoods, terraces, canopies and balconies that do not project more than five (5) feet into a required front or rear setback nor more than two (2) feet into a required side setback;
10. Chimneys, flues and ventilating ducts that do not project more than two (2) feet into a required setback and when placed so as not to obstruct light and ventilation;

11. Utility lines, wires and associated structures, such as power poles; and
12. Retaining walls, provided that they do not obstruct vehicular sight lines.
13. Open outside stairways or fire escapes that do not project more than four (4) feet into a required side or rear yard;
14. Open structures such as porches, decks or landing places which do not extend above the first floor of the building, with railing no more than forty-two (42) inches high, and with no roof construction measuring more than four (4) feet from the under side of the supporting plate to the top of the roof, may be erected:
 1. In required front or rear yards, or side yard abutting a street, provided the structure is not more than nine (9) feet in depth and not nearer an abutting interior lot line than required width of the side yard; or the existing side wall setback whichever is the minimum amount;
 2. The space beneath the projecting porch, decks or landing place may serve as part of an interior minor garage, provided no portion of the garage extends above the adjoining ground level or farther into the yard than the open porch, deck or landing place and no garage doors open outward.
15. Access ramps and lifts for people with disabilities ~~having a ramp that does not project more than forty (40) inches into a required front, side or rear setback, and~~ with review of the design, construction and location by the Zoning Administrator to insure appropriate context with the existing structure and neighborhood.

Section 2. The Pittsburgh Code, Title Nine – Zoning, Article IX – Measurements and Definitions, Chapter 925, Measurements, Section 925.06.G, Features Allowed Within Setbacks by Administrator’s Exception is hereby amended as follows:

925.06.G Features Allowed within Setbacks by Administrator's Exception

The Zoning Administrator shall be authorized, in accordance with the Administrator Exception procedures of Sec. 922.08, to permit features as per Sec. 925.06.G.1 within setbacks, according to the provisions of Sec. 925.06.G.2 below.

925.06.G.1 Permitted Features

The following features shall be permitted within setbacks in accordance with the standards of this section:

- (a) Swimming pool and deck in rear and side yards;
- (b) Garage, carport or parking stalls in rear and side yards;

- (c) Storage shed or gazebo in rear **and side** yards;
- (d) ~~Open deck no higher than first floor~~ **Decks in the** side or rear yard;
- (e) ~~Air conditioner/condenser~~ **HVAC units and solar energy systems** in side or rear yard;
- (f) ~~Air conditioner/condenser~~ **HVAC units** in front yard no closer to street than existing front porch or stoop; **and**
- (g) Dumpsters-;
- (h) Building Additions to primary structures, where the existing primary structure is built within a setback;**
- (j) Enclosures of existing decks and porches in side or rear yards;**
- (j) Rooftop decks on detached garages; and**
- (k) Accessory Structures not listed above, where the primary structure is built within a setback.**

925.06.G.2 Standards

The applicant shall establish, by submittal of a plot plan, photograph(s) and other pertinent data such as written approval by abutting property owners that:

- (a) **For features other than HVAC units**, in respect to the **front and** side yard requirements, the proposed construction or erection will not place the accessory use **or additions** any closer to the neighboring property **line** than the applicant's existing, **legally established**, building line location;
- (b) The establishment, maintenance, location and operation of the proposed use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare;
- (c) Authorization of the proposed exception will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes permitted, nor substantially diminish or impair property values within the neighborhood;
- (d) The establishment of the proposed exception will not impede the normal and orderly development and improvement of surrounding property for uses permitted in that district;
- (e) Any mechanical equipment will be shielded from abutting properties with landscape plantings and/or decorative fencing as determined to be appropriate by the Administrator for visual screening and noise shielding; **and**

(f) Any illumination or drainage shall be contained on site and directed away from abutting properties; **and**

(g) HVAC units shall be screened by parapets or other devices, so as not to be seen from streets or adjacent properties and shall be compliant with relevant noise and operational standards within the Zoning Code.

Section 3. The Pittsburgh Code, Title Nine – Zoning, Article IX – Measurements and Definitions, Chapter 925, Measurements, Section 925.07, Height is hereby amended as follows:

925.07. - Height.

925.07.A Measured in Feet

When measured in feet, building height refers to the vertical distance between the average finished grade along the wall facing the front street yard at the base of the building and: 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof. In the case of fences or walls, other than retaining walls, height shall be measured on the side with the least vertical exposure above finished grade to the top of the fence or wall.

925.07.B Measured in Stories

In measuring the height of a building in stories the following measurement rules shall apply:

1. A basement, half-story, or penthouse, when designed for dwellings or primary occupancy shall be counted as a full story;
2. A basement shall be counted a full story when sixty (60) percent or more of the exterior surface of any street wall thereof, extends above the ground directly abutting such exterior street wall. In determining the percentage of exposed exterior surface of basement street walls, one hundred (100) percent shall be calculated by multiplying the width of such exterior walls by an assumed basement floor elevation of nine (9) feet measured downward from the surface of the first floor above the basement;
3. A balcony or mezzanine shall be counted a full story when its floor area is in excess of one-third (1/3) of the total area of the nearest full floor directly below it.

925.07.C Exemptions from Height Standards

The following structures and features, except when designed as dwellings or primary occupancy, shall be exempt from the height requirements of this Code:

1. Chimneys, smokestacks or flues that cover no more than five (5) percent of the horizontal surface area of the roof;

2. Cooling towers and ventilators that cover no more than five (5) percent of the horizontal surface area of the roof;
3. Elevator bulkheads and stairway enclosures;
4. Fire towers;
5. Utility poles and support structures;
6. Belfries, spires and steeples;
7. Monuments and ornamental towers; and
8. Radio and television antennas, including satellite dishes less than thirty-two (32) inches in diameter.

9. HVAC units, solar energy systems, similar mechanical equipment, and any necessary screening thereof.

(Ord. No. 6-2007, § 1, 4-12-07)

925.07.D Contextual Height

Regardless of the maximum height limit imposed by the zoning district standards of this Code, applicants shall be allowed to use a contextual height limit. The allowed contextual height may fall at any point between the (zoning district) maximum height limit and the average height of the buildings that exist on adjoining lots that are oriented on the same side of the street as the subject lot. If the subject lot is a corner lot, the contextual height may fall at any point between the (zoning district) maximum height limit and the building height that exists on the adjoining lot that is oriented on the same side of the street as the subject lot. If lots on either side of the subject lot are vacant, the height that "exists" on such vacant lots shall be interpreted as the maximum height limit that applies to the vacant lot. Items listed in Section 925.07.C - Exemptions from Height Standards shall not be used to determine Contextual Height. This provision shall not be interpreted as requiring a greater minimum heights or lower maximum heights than imposed by the underlying zoning district, and it shall not be interpreted as allowing buildings heights that would conflict with Residential Compatibility Standard height limits of Chapter 916.

BACKGROUND



"The Greenway Program will make Pittsburgh a more livable city by preserving our hillsides as a major open space amenity for our citizens. In these times of shrinking resources, tight budgets and due to the lack of large vacant land tracts, the development of major new parks is unlikely. However, while the Greenways will not be developed as active parks, they will provide for protection of environmental sensitive areas of our city in their natural state for passive use and the enjoyment of future generations. I am pleased that we are beginning this program as another part of Renaissance II."

- Mayor Caliguri

Greenways for Pittsburgh (1980)

Offered a strategy; consolidation of public land, promotion of private property gifts, initial cleanup and single-agency management of these passive open space resources in cooperation with neighborhoods sensitive to their benefits.

Documents:

- The Greenway Brochure
- The initial program schedule/status report
- Generalized Land Use Map
- The Vacant and Environmentally Sensitive Areas Map

City Code: Article XI - Parks and Playgrounds

§ 471.01 - CONTROL AND SUPERVISION BY DEPARTMENT OF PARKS AND RECREATION.

The Department of Parks and Recreation shall be responsible for the control and supervision of all city recreational facilities including but not limited to parks, playgrounds, ballfields, dedicated greenways, and recreation centers. For purposes of this Title, **a greenway is defined as a permanent, passive open space that serves to benefit adjacent neighborhoods and the general public that is either dedicated or being studied or planned for designation as such (as kept on a list maintained by the Department of Finance and available to the public upon request).**

(Ord. 12-2003, eff. 4-24-03)

PITTSBURGH'S GREENWAYS FOR PITTSBURGH EXISTING PROCESS

GREENWAY STEWARD(S)



MEET W/ CITY PLANNING

Set up a meeting with Neighborhood Planner + Environmental/Open Space Planner.

MAP + PARCEL LIST (CITY PARCELS)

Work with the Environmental/Open Space Planner to determine optimal greenway boundaries.

SUBMIT GREENWAY DESIGNATION APPLICATION

- Resolution
- Petition Letter
- Map
- Parcel List
- Naming Commission Application

NAMING COMMISSION PRESENTATION

Work with Environmental/Open Space Planner to schedule and present to the Naming Commission.

ATTEND PLANNING COMMISSION PRESENTATION

Environmental/Open Space Planner will invite you to attend the Planning Commission meeting.

PLANNING COMMISSION PRESENTATION

Environmental/Open Space Planner will present to the planning commission the proposed greenway. Greenway steward(s) must attend.

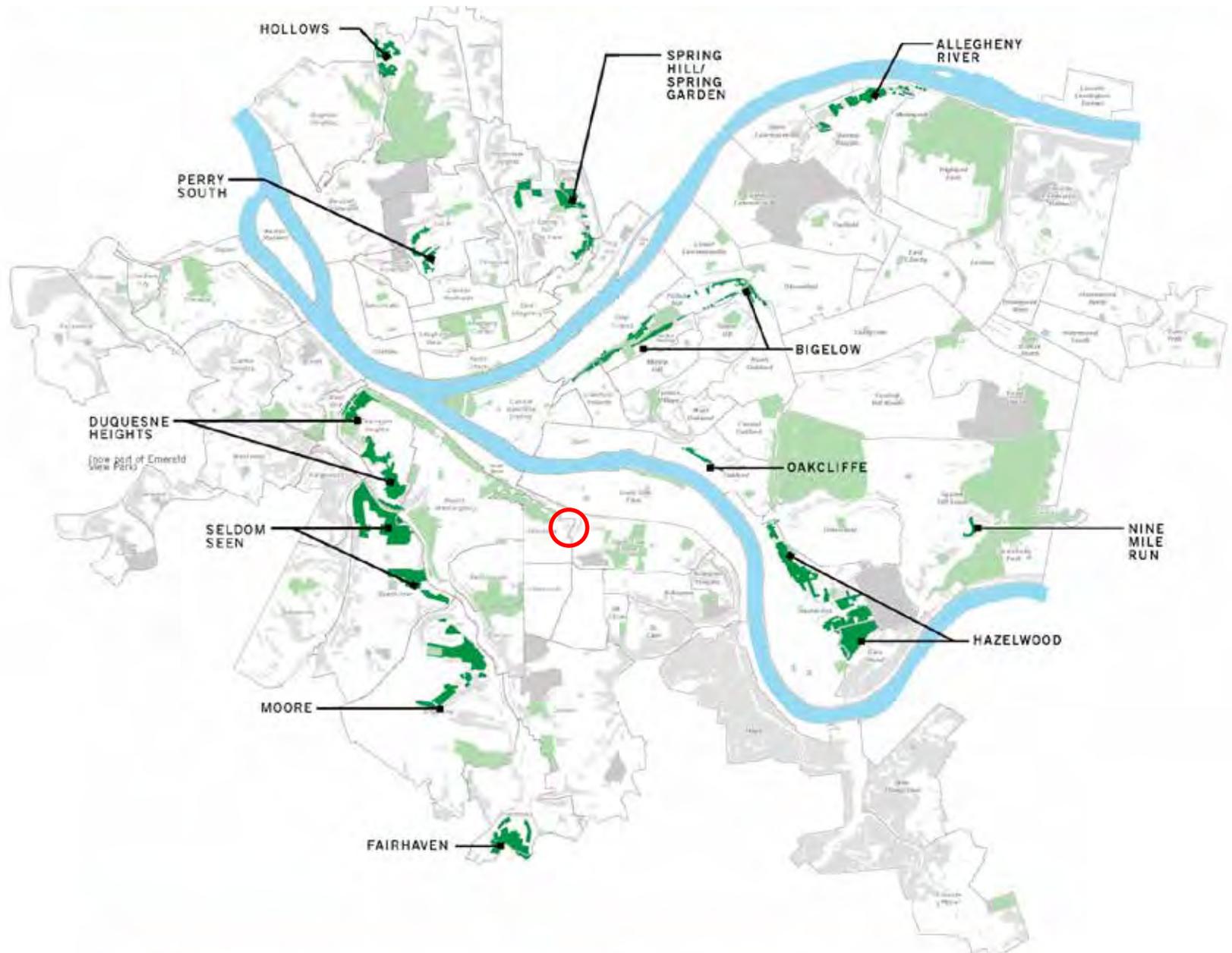
CITY COUNCIL LEGISLATION/ APPROVAL

Environmental/Open Space Planner will submit legislation to City Council to designate the proposed greenway.

GREENWAY DESIGNATION + STEWARDSHIP

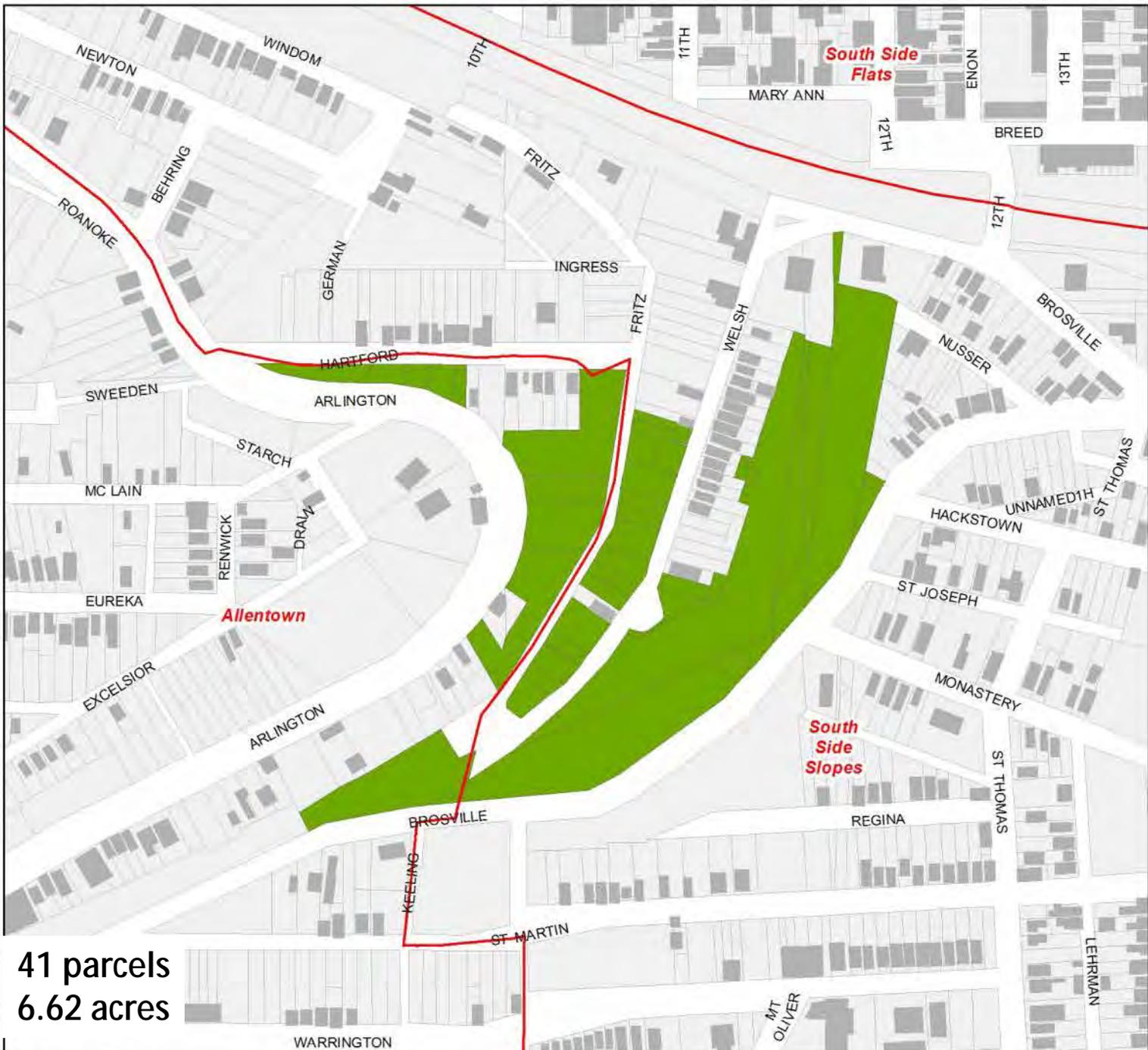
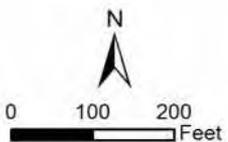
After receiving a greenway designation the designated group(s) can begin stewardship activities and coordinate with City Planning and Public Works.





Proposed Knoxville Incline Greenway

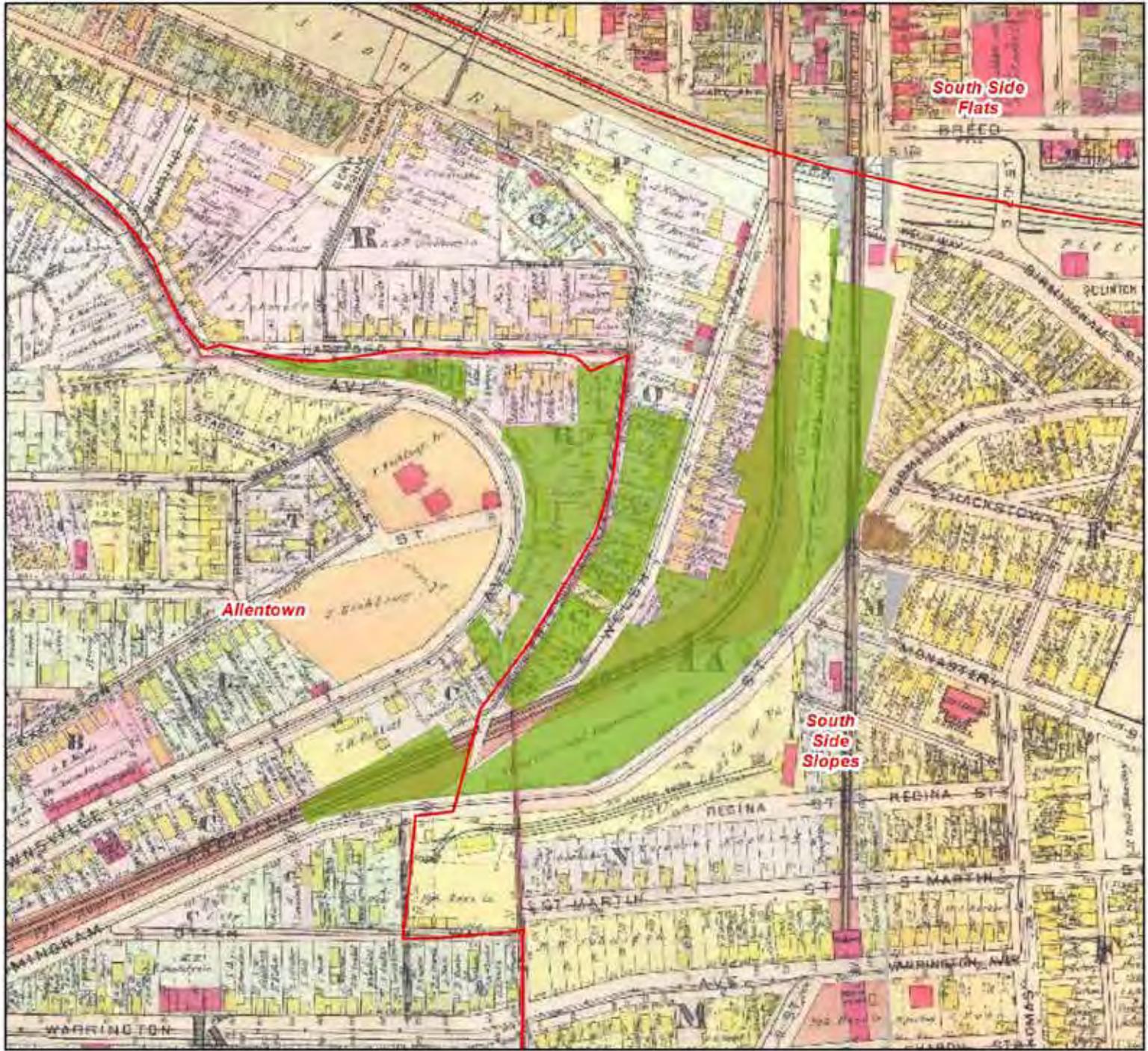
-  Greenway Parcels (41)
-  Parcels
-  Buildings
-  Neighborhood Boundary



41 parcels
6.62 acres

Proposed Knoxville Incline Greenway

May 2016

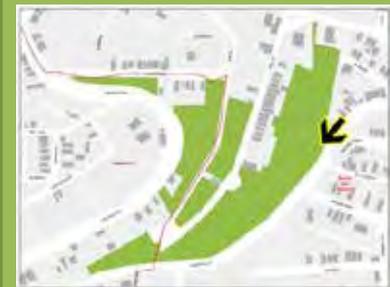


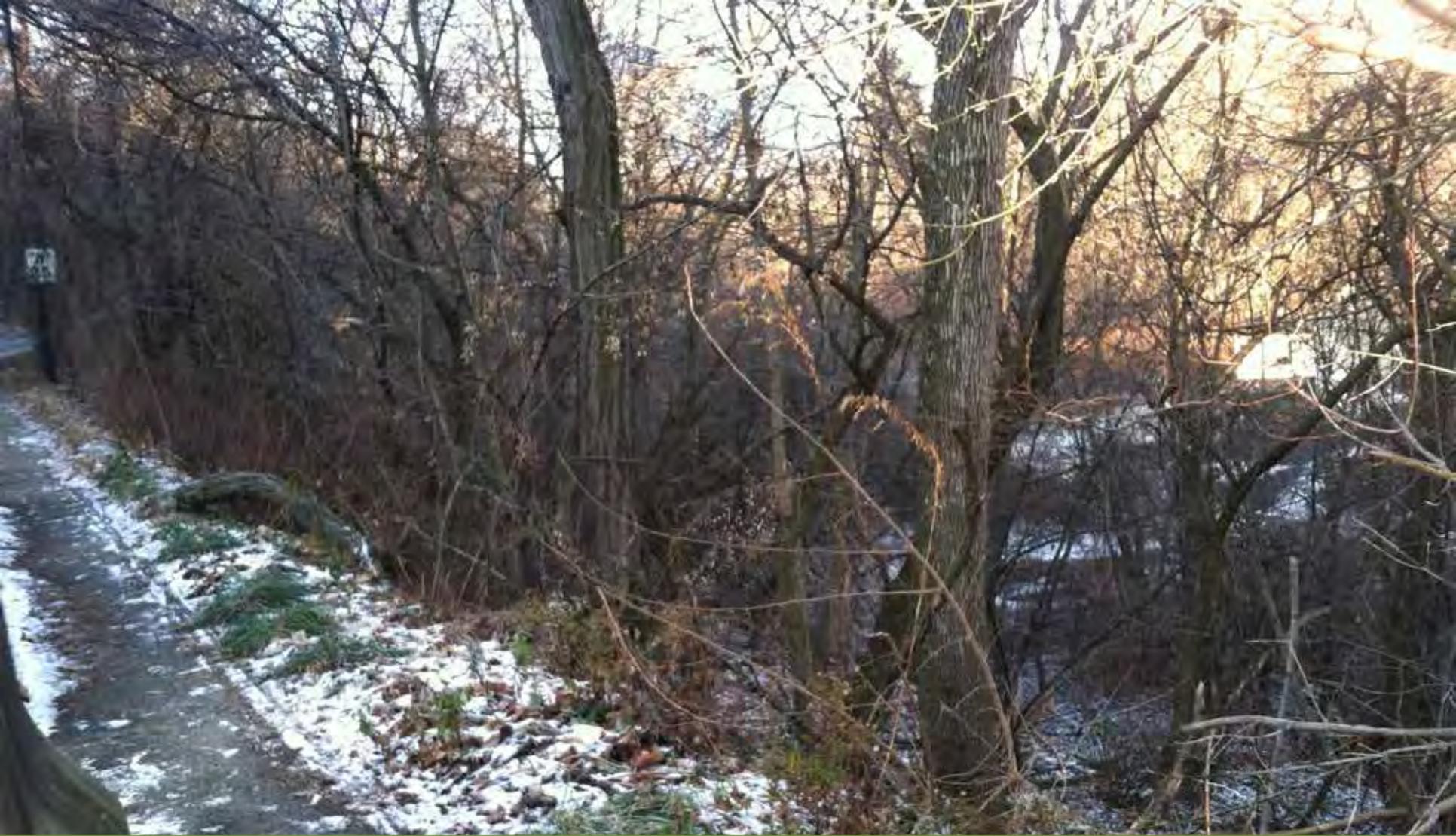


Knoxville Incline Greenway

From Brosville Street at Hackstown Street

January 2016





Knoxville Incline Greenway

From Brosville Street at Monastery Street

January 2016





Knoxville Incline Greenway
From Brosville Street between
Monastery Street
January 2016



Knoxville Incline Greenway

From Brosville Street approaching from
E. Warrington Avenue

January 2016





Knoxville Incline Greenway Entrance from Brosville Street

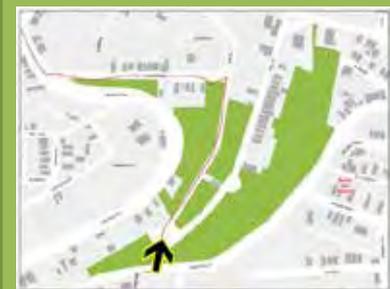
August 2015

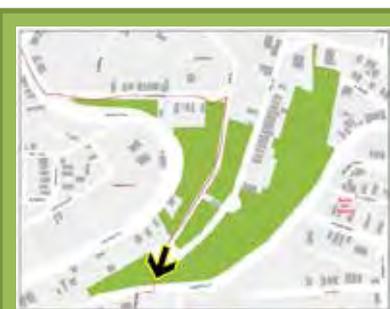


Knoxville Incline Greenway

Bridge from Brosville Street at entrance

August 2015





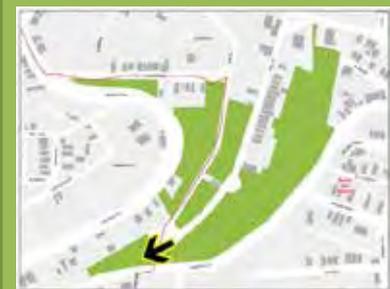
Knoxville Incline Greenway
Entrance at Brosville Street from bridge
August 2015



Knoxville Incline Greenway

Former rail bed toward E. Warrington Avenue
(Allentown) from bridge

January 2016

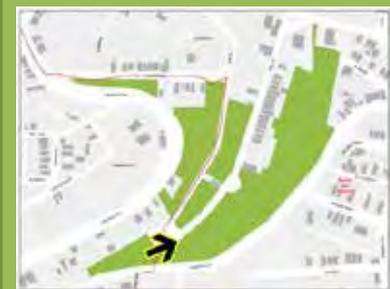




Knoxville Incline Greenway

Former rail bed toward Welsh Way Steps
(South Side Slopes) from bridge

January 2016

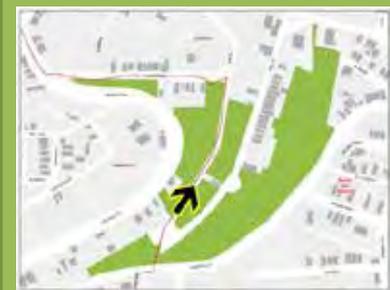




Knoxville Incline Greenway

Knoxville Incline Trail / Fritz Street Extension

January 2016

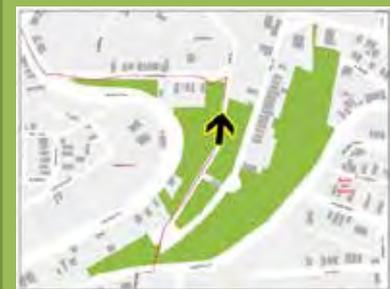


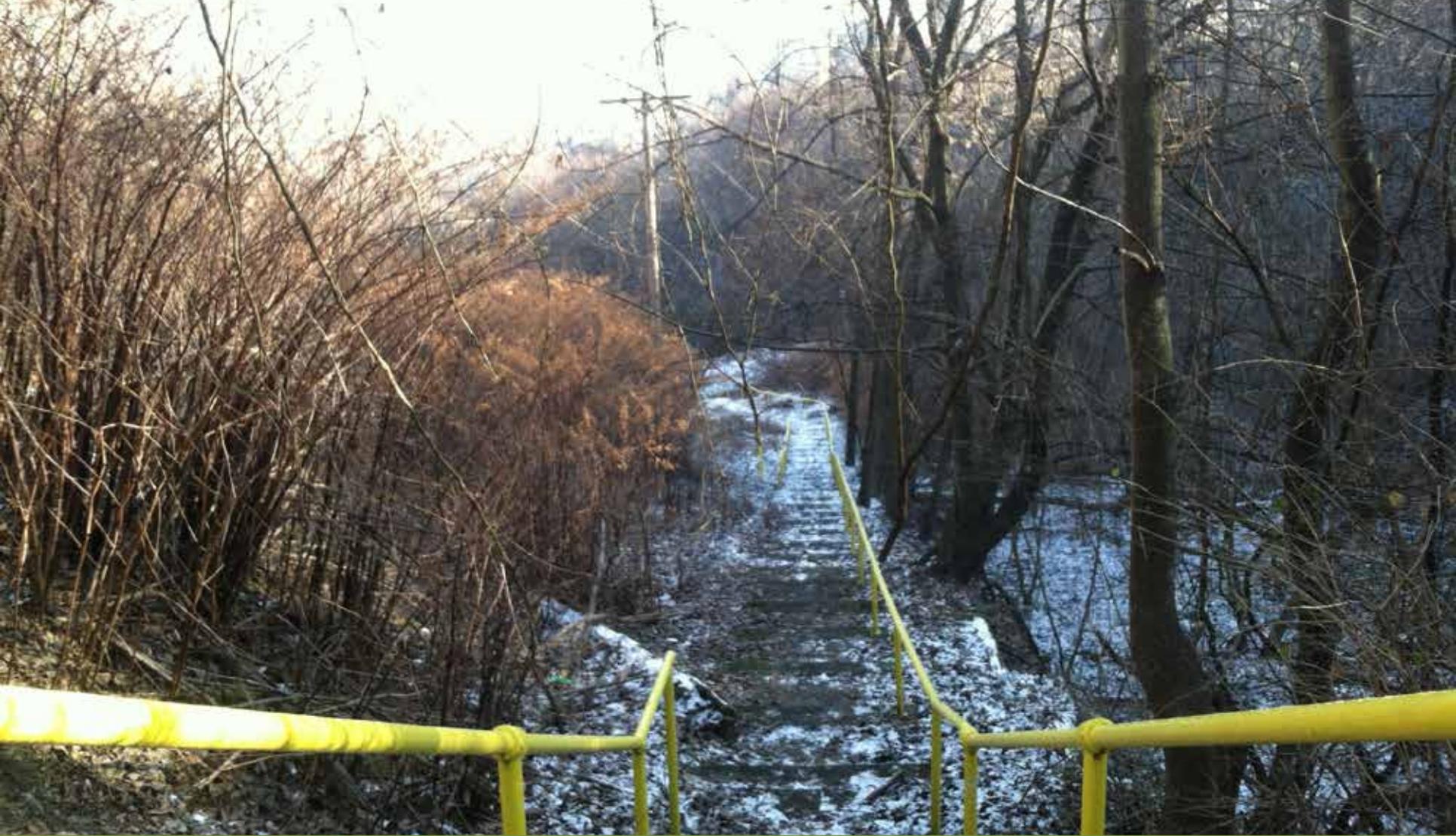


Knoxville Incline Greenway

Knoxville Incline Trail / Fritz Street Extension

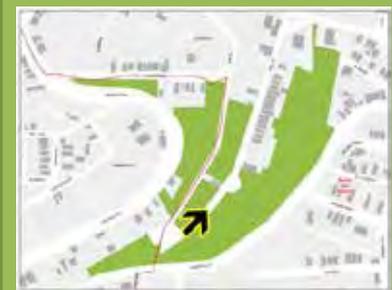
January 2016





Knoxville Incline Greenway
Welsh Way Steps from top

January 2016





Knoxville Incline Greenway
Welsh Way from bottom of steps

January 2016

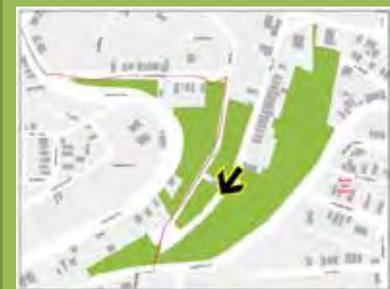




Knoxville Incline Greenway

Welsh Way Steps from bottom

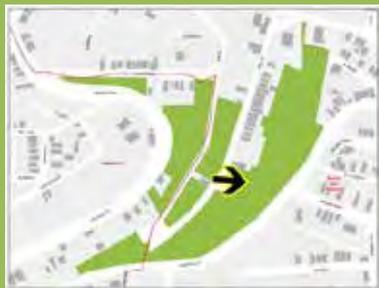
January 2016





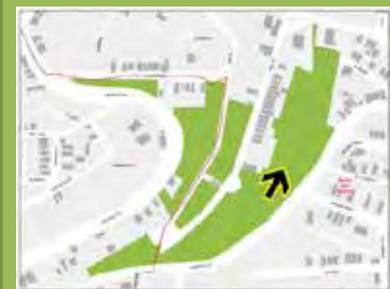
Knoxville Incline Greenway
Brosville Blitz Clean-Up
April 2015





Knoxville Incline Greenway
Former rail bed retaining walls below
Brosville Street at Monastery Street

January 2016



Knoxville Incline Greenway
Former rail bed below Brosville Street
at Monastery Street
January 2016



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Butler and 40th, LLC		Phone Number: (412) 576-0042	
Address: 3939 Butler St.	City: Pittsburgh	State: PA	Zip Code: 15201
2. Applicant/Company Name: Butler and 40th, LLC		Phone Number: (412) 576-0042	
Address: 125 39th St.	City: Pittsburgh	State: PA	Zip Code: 15201
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Arsenal Terminal			
4. Development Location: Lawrenceville; Butler St. to AVRR Railroad, 40th St. to 39th St.			
5. Development Address: 3939 Butler Street, Pittsburgh, PA 15201			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	N/A		
Present Use of Site: (Select from attached list)	N/A		
7. If a Certificate of Occupancy exists, the following is required: Unknown			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property: Warehouse	
8. Estimated Construction:	Start Date: 7 / 1 / 2016	Occupancy Date: 7 / 1 / 2017	Project Cost: \$ 54M

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 5, 104, 106	
10. Select the Type of Work:	
<input checked="" type="checkbox"/> New Construction, New	<input type="checkbox"/> Renovation, Interior
<input type="checkbox"/> New Construction,	<input type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use
11. Describe the Development: 243 residential units and 18,656 SF of retail in three separate buildings, with surface parking, internal structured parking, and private garage parking	
12. Is a Land Operations Permit needed? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)	



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: **3** N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	<u>142,250</u>	sq ft
Existing to be Retained:	<u>0</u>	sq ft
Retained Area to be Renovated:	<u>0</u>	sq ft
To be Constructed:	<u>274,826</u>	sq ft
Building Footprint:	<u>67,495</u>	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	1-2	20'-35'	4	52'
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

		3	38'
		5	60'

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 243

17. Lot Area: +/- 180,000 sq ft

18. On Site Parking: **181** N/A

	Existing	Proposed
Full (8 ½' x 19')	+/- 55 (not consistently striped)	150
Compact (7 ¼' x 16')		25
Handicap (13 ½' x 19')		6

Off-Street Loading Spaces: N/A
 Actual: 4
 Required: 4

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- | | |
|---|--|
| <p><u> 1 </u> New Water Service Connection(s)</p> | <p><u> 1 </u> Termination of Existing Water Service Tap(s)</p> |
| <p><u> 2 </u> New Sewer Service Connection(s)</p> | <p><u> 0 </u> Termination of Existing Sewer Service Tap(s)</p> |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
 Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: **Jourdan Woodruff**



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html

ARSENAL TERMINAL REDEVELOPMENT

3939 BUTLER STREET, LAWRENCEVILLE

PITTSBURGH, PA 15201

PHASE 1 PLANS

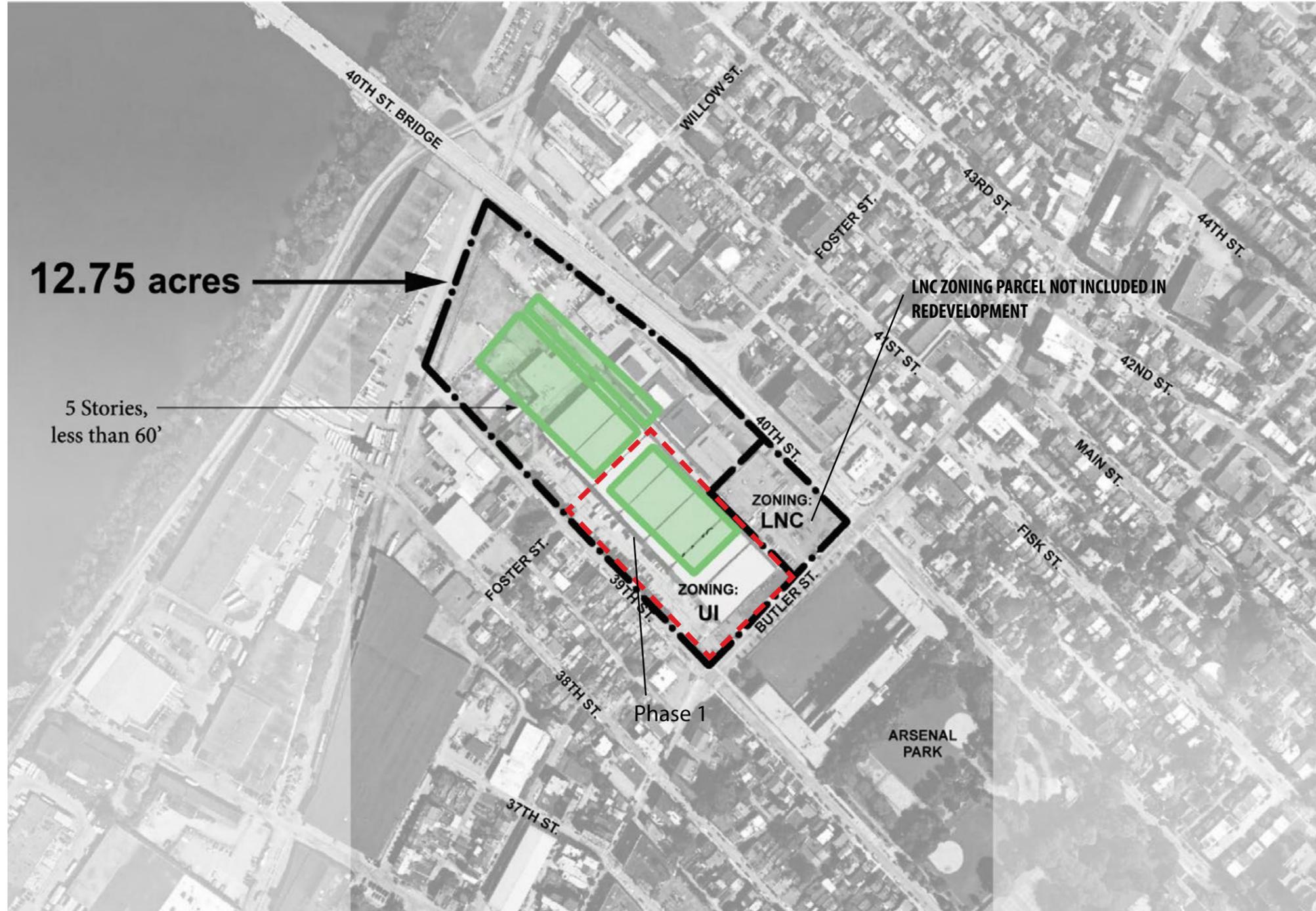
ZONING DISTRICT: URBAN INDUSTRIAL

PROJECT DESCRIPTION: The Arsenal Terminal Redevelopment is located along Butler Street in Lawrenceville between 39th and 40th streets, on the site of the former Allegheny Arsenal. The full redevelopment will include 625 residential apartment units and 18,656 SF of retail. The goal of this project is to bridge the existing gap between Lower and Central Lawrenceville, while integrating into the existing fabric of the neighborhood. The plan introduces two new streets (Willow and Foster) running perpendicular to each other through the site to connect to the surrounding neighborhood. The pedestrian way that starts at Butler Street and extends to the Allegheny Valley Railroad will provide pedestrian access and amenities to the public, while connecting Arsenal Park to a proposed new green space and the river. The project will retain the Arsenal Officer's Quarters along 39th Street as well as the remnants of the original stone wall.

PHASE 1 DESCRIPTION: Phase one includes 243 units and 18,656 SF of retail space in three buildings, which range from 3-5 stories. This includes 3-story townhomes along 39th Street, internal structured parking within the building toward the middle of the site, street retail, and a public pedestrian way.



LOCATION MAP



NEIGHBORHOOD CONTEXT



BUTLER STREET RETAIL



39TH & BUTLER INTERSECTION



39TH STREET EXISTING TOWNHOMES



ARSENAL ELEMENTARY/MIDDLE SCHOOL



BUTLER & 40TH INTERSECTION



BUTLER STREET RETAIL



BUTLER STREET RETAIL



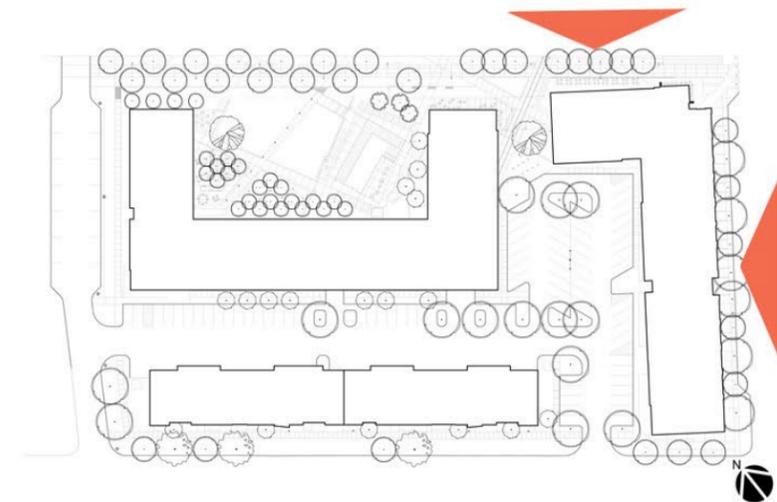
ELEVATIONS



A Building, East Elevation
Butler Street



A Building, North Elevation



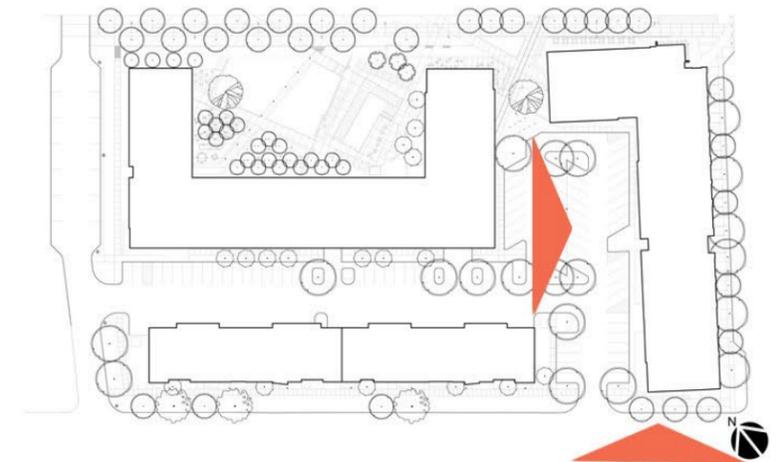
ELEVATIONS



A Building, West Elevation



A Building, South Elevation
39th Street



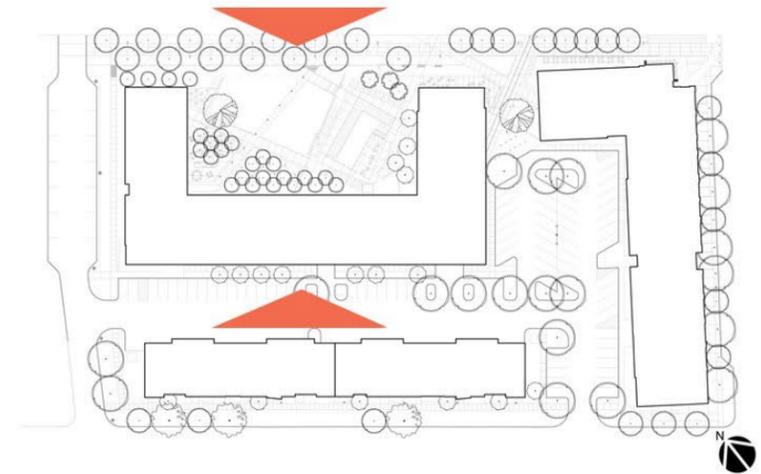
ELEVATIONS



B Building, North Elevation



B Building, South Elevation



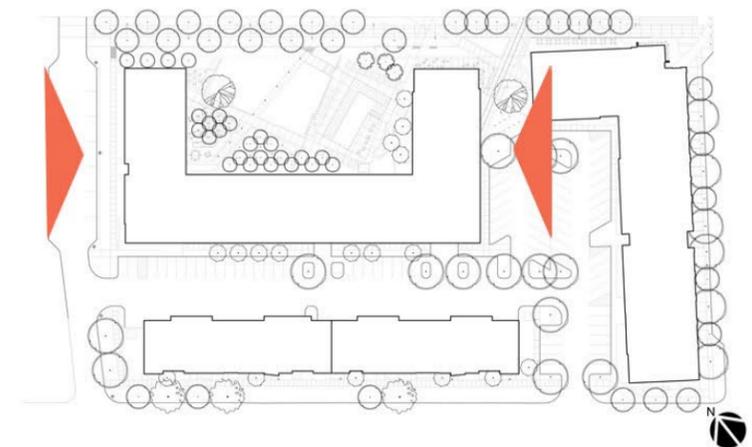
ELEVATIONS



B Building, West Elevation



B Building, East Elevation



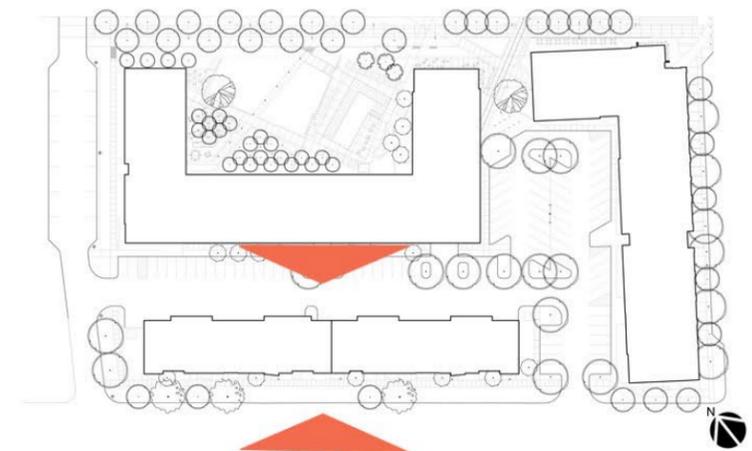
ELEVATIONS



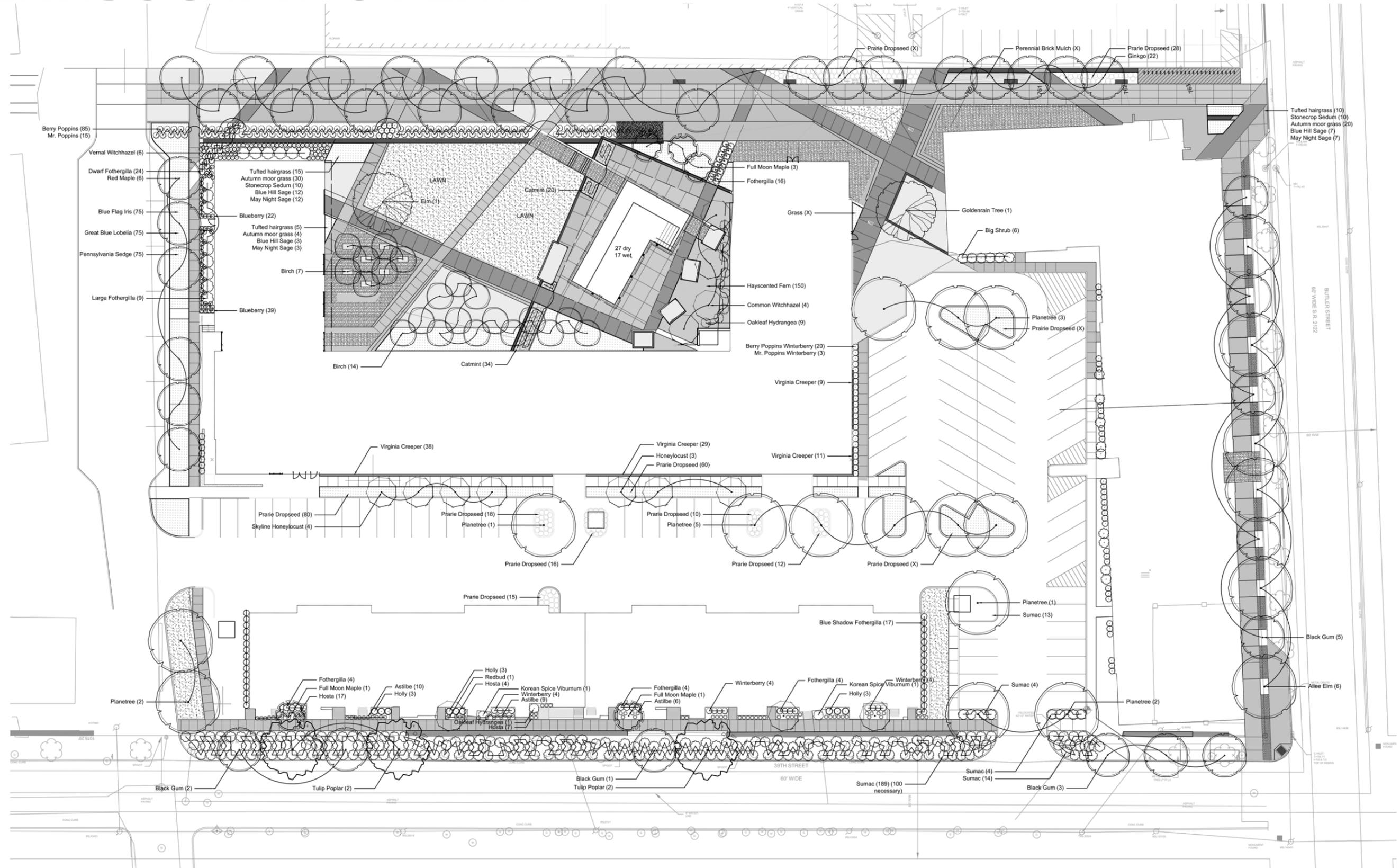
D Building, South Elevation
39th Street



D Building, North Elevation



LANDSCAPING PLAN



PERSPECTIVE DRAWINGS



39th & Butler Corner

PERSPECTIVE DRAWINGS



Ped Way and Butler Street

PERSPECTIVE DRAWINGS



39th Street Townhomes

PERSPECTIVE DRAWINGS

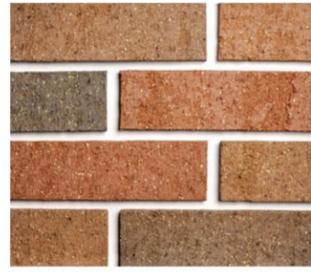


Foster Street

BUILDING MATERIALS



Face Brick: Black



Face Brick: Red Blend



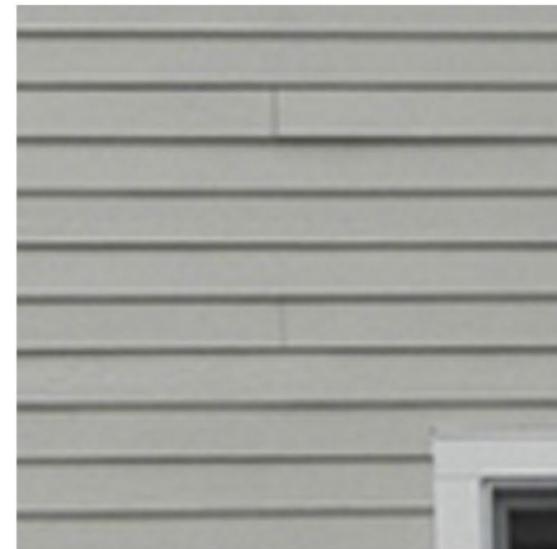
Concrete Masonry Unit: Gray



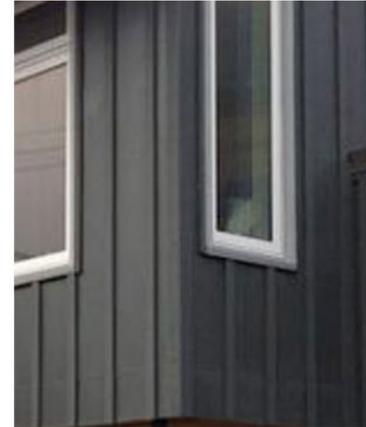
Concrete Masonry Unit: Tan



Fiber Cement Siding



Fiber Cement Siding



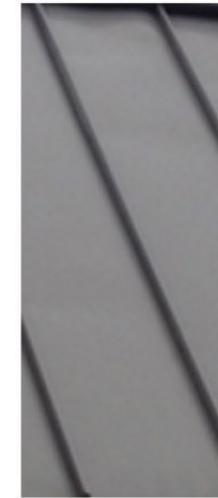
Fiber Cement Batten



Fiber Cement Panel



Ribbed Metal Panel



Flat Seam Metal Panel

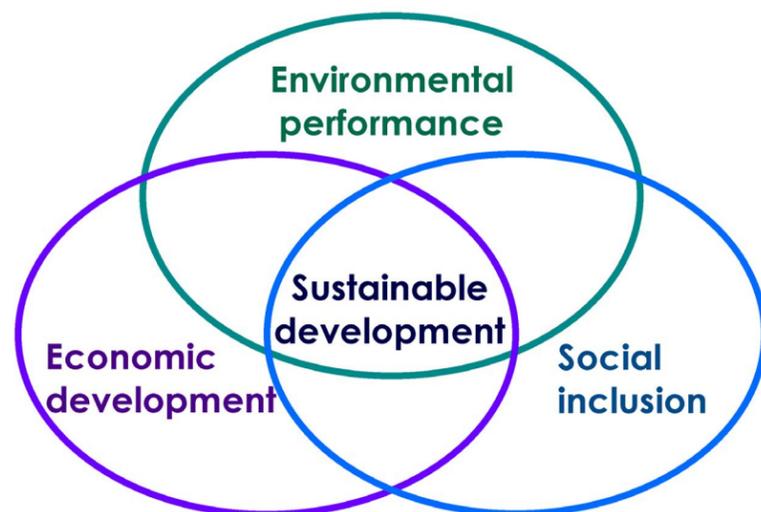
SUSTAINABILITY/STORMWATER

Sustainability

- Development provides storage and parking facilities to promote bicycle use
- Low impact development stormwater management
- Reuse of current site elements, i.e. I-beams, railroad spurs, and other architectural items

Stormwater Management

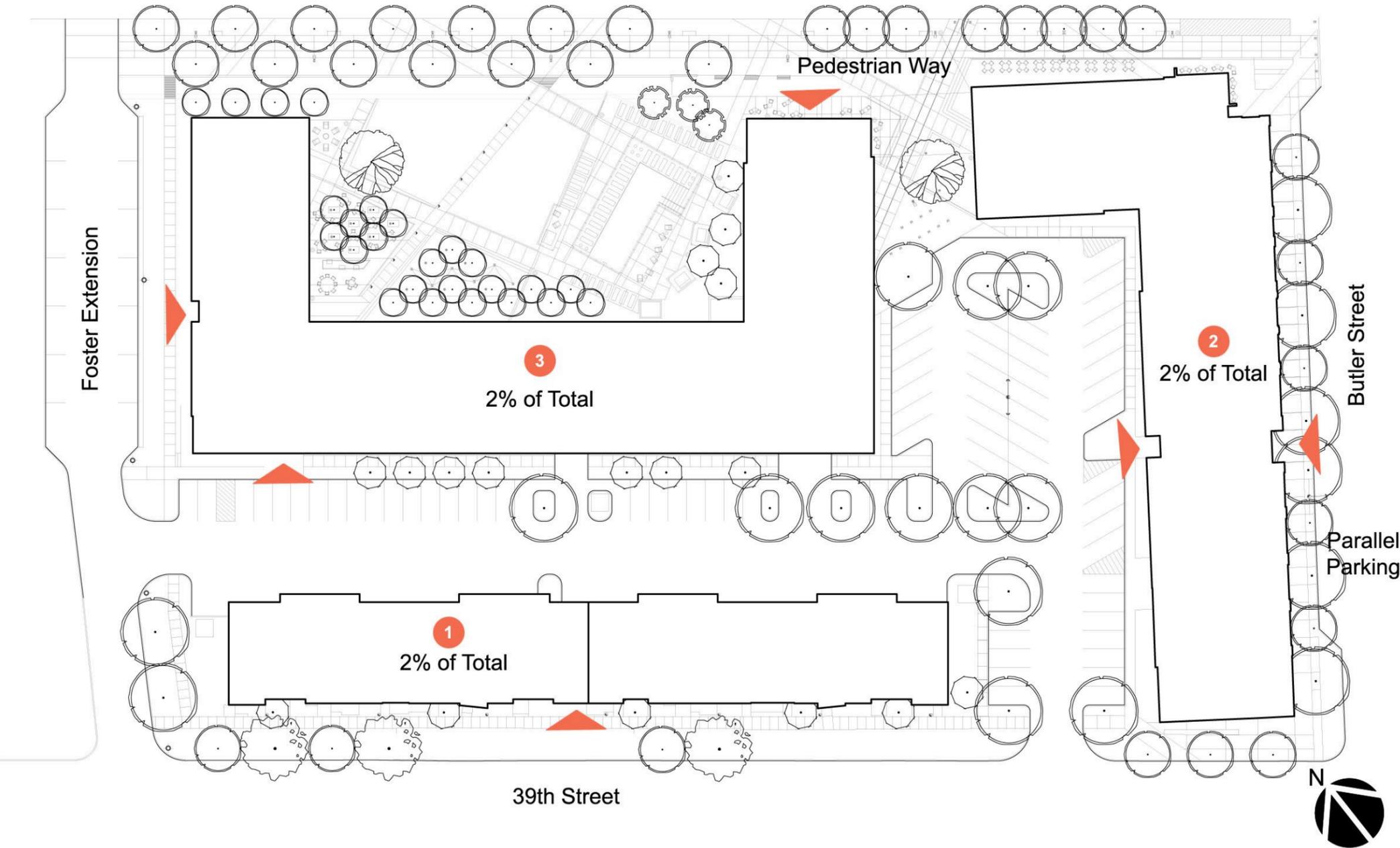
- Existing site is nearly 100% impervious and contains no stormwater detention or water quality features
- Proposed development decreases impervious surface and increases the amount of pervious surface
- Water quality BMPs for the project will consist of bioretention areas, several precast concrete Stormceptors®, and street sweeping.
- A system of catch basins and yard inlets has been designed to collect runoff from the proposed roadways and buildings to convey it to the bioretention areas.
- Stormwater rate control is not required, as there is no increase in impervious cover
- A reduction in impervious and an expansion of landscaping beds shall provide a total reduction of stormwater and reduce volumes of stormwater for this site



Green/Sustainable Project Features

- Bicycle storage to promote alternative transportation that exceeds the required amount
- Consolidated bus shelter to promote public transit
- Salvaged steel beams utilized for light posts, and repurposed for bollards and bike racks
- Salvaged concrete utilized for exterior pavers and landscape walls
- Stormwater bioretention swales at the pedestrian way and at the Foster Extension
- Plant species specified for the local microclimate with minimal irrigation
- LED lighting at building exteriors, interior common areas, and throughout the site
- Auto-dimming occupant sensory lighting controls
- Energy recovery units at common area HVAC systems
- Low V.O.C. interior paints
- EPA "Watersense" rated faucets and tub/shower sets
- "Energy Star" certified appliances at all apartments
- Storage and collection of recyclables
- Natural ventilation in all units

ACCESSIBILITY



Arrows indicate the building entrances for Phase 1. There is a total of six ADA units spread across three buildings, which equals 2% of the total units.



COMMUNITY PROCESS

Community Efforts

- Lawrenceville Corporation/Lawrenceville Untied
 - o Project Intro- April 23, 2015
 - o On-going discussion (RE Committee, Neighborhood Developers Meetings, etc.) – May 2015-today
 - o Continue to work on feasibility of public-private parking garage, private bike trail (Green Blvd 2.0)
- Bike PGH – July 21, 2015
- Keith Cochran (local historian and tenant) – May 2015 intro and on-going
- Immediate Neighbors (39th St)- January 21, 2016
- Community Meetings – January 25, February 25, 2016
- Lawrenceville Stakeholders Preservation Committee - March 28, 2016

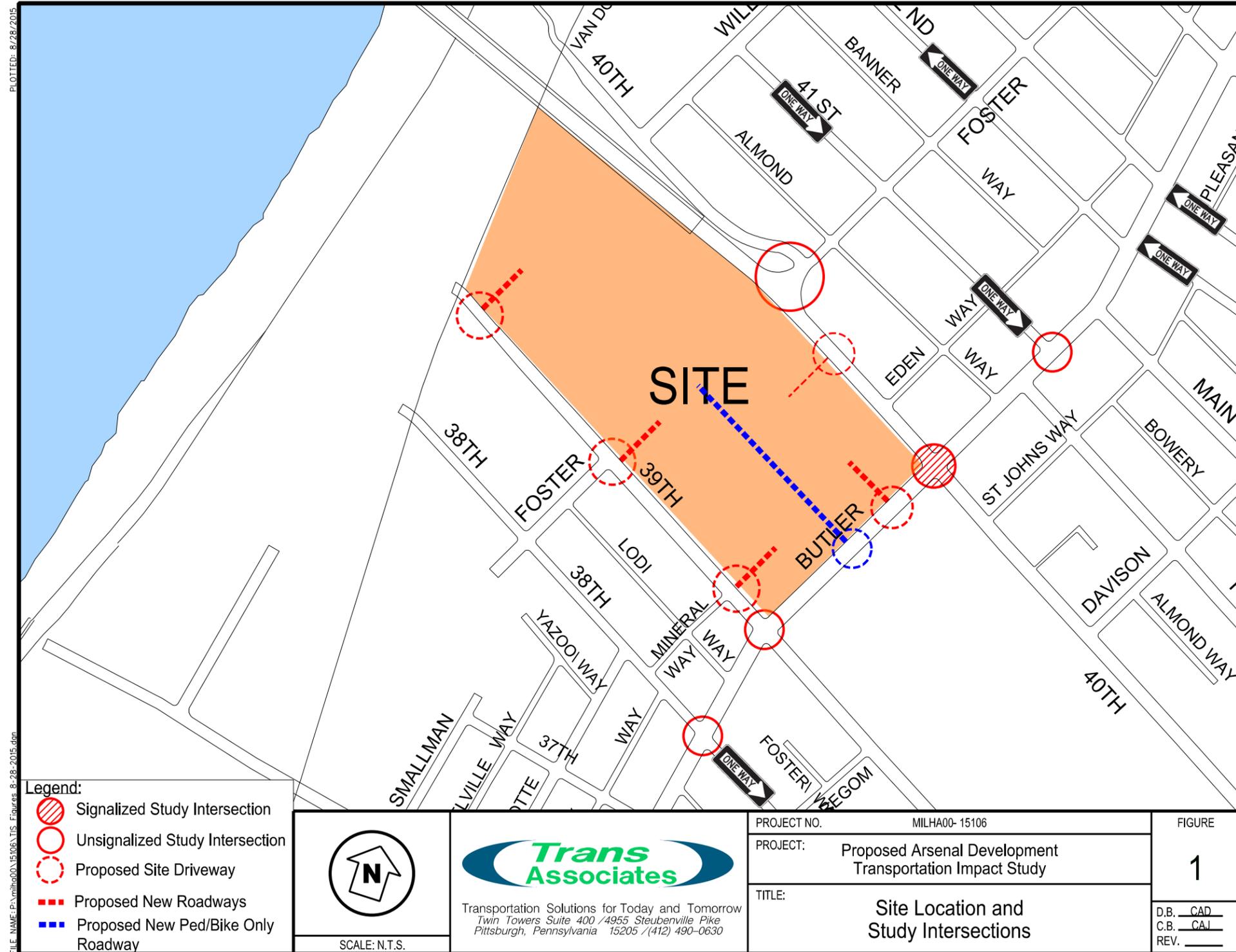
Public Officials/City Agencies Outreach

- City Councilwoman Deb Gross – April 14, 2015
- PHMC Notification – April 30, 2015, February 10, 2016
- Mayor's Office – May 7, 2015, January 25, 2015
- Allegheny County Executive Rich Fitzgerald – July 8, 2015
- URA – July 20, 2015
- PWSA- July 20, 2015 and on-going
- DPW – August 13, 2015
- Major Development Advisory Meeting – October 15, 2015

City Planning

- Pre-Application meeting – May 26, 2015
- Masterplan Update/Review – August 20, 2015
- Draft Traffic Report Submitted – September 9, 2015
- Planning Update – November 6, 2015
- Contextual Design Advisory Panel – November 17, 2015, December 1, 2015
- ZBA Hearing - March 3, 2016

TRANSPORTATION STUDY



Phase 1 Traffic Plans

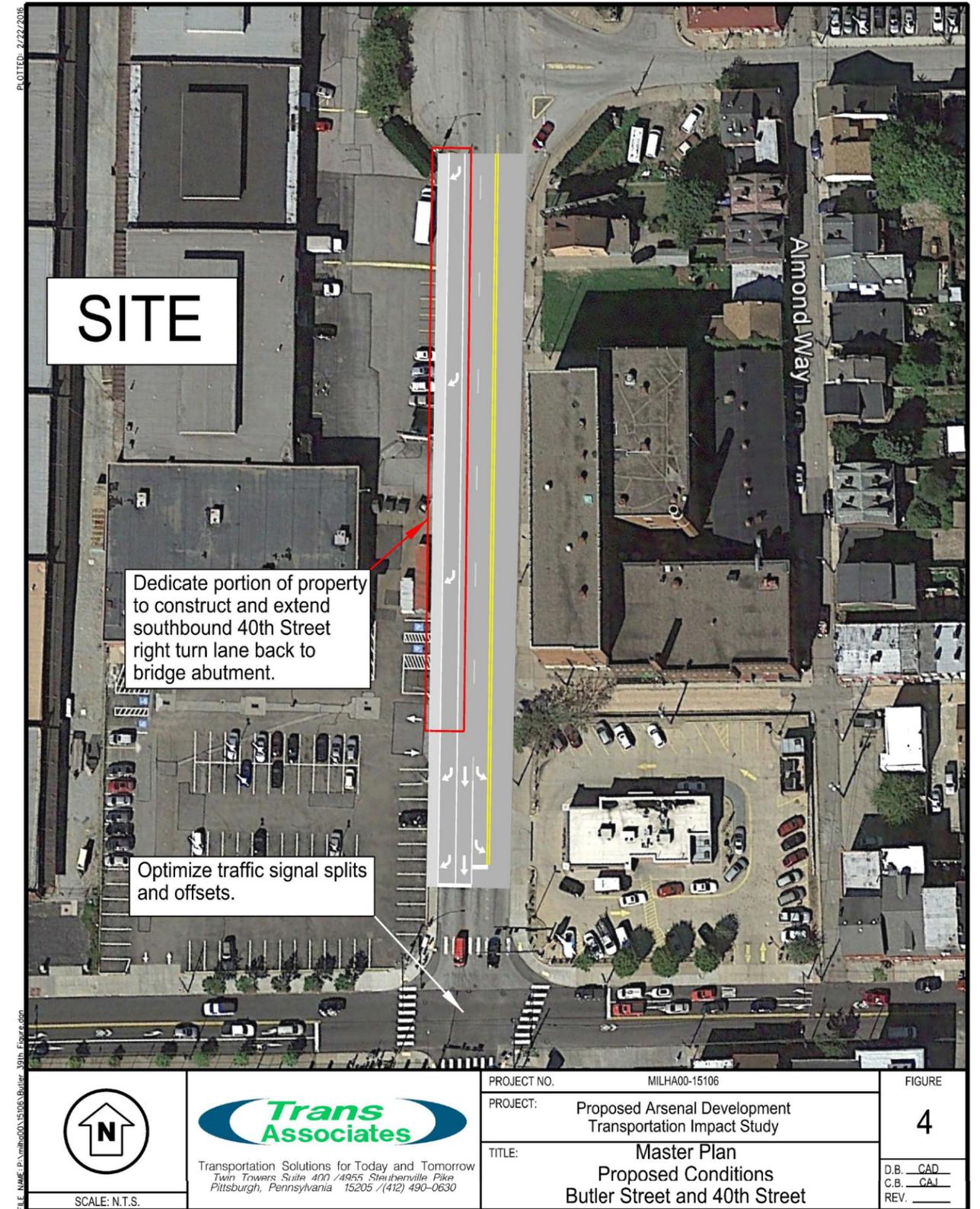
- 10 new on-street parallel parking spaces along Butler
- Interior site stop sign controls
- Addition of Foster extension across the site
- Pedestrian and bike path perpendicular to Butler
- Public and private bike parking

Masterplan Traffic Plans

TRANSPORTATION STUDY



39th & Butler Street Intersection



40th Street Right Turn Lane Extension

MASTER PLAN

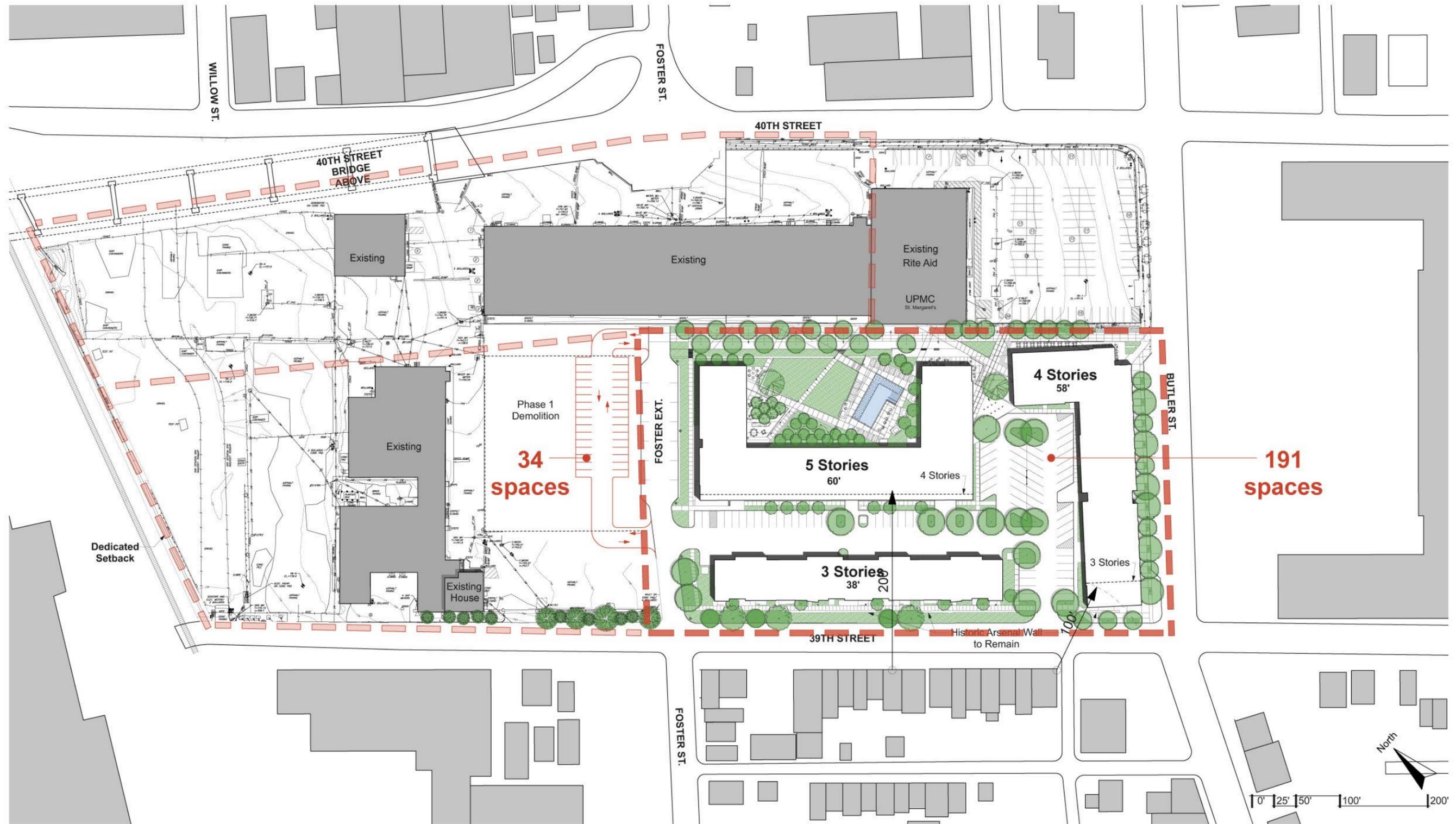


PARKING

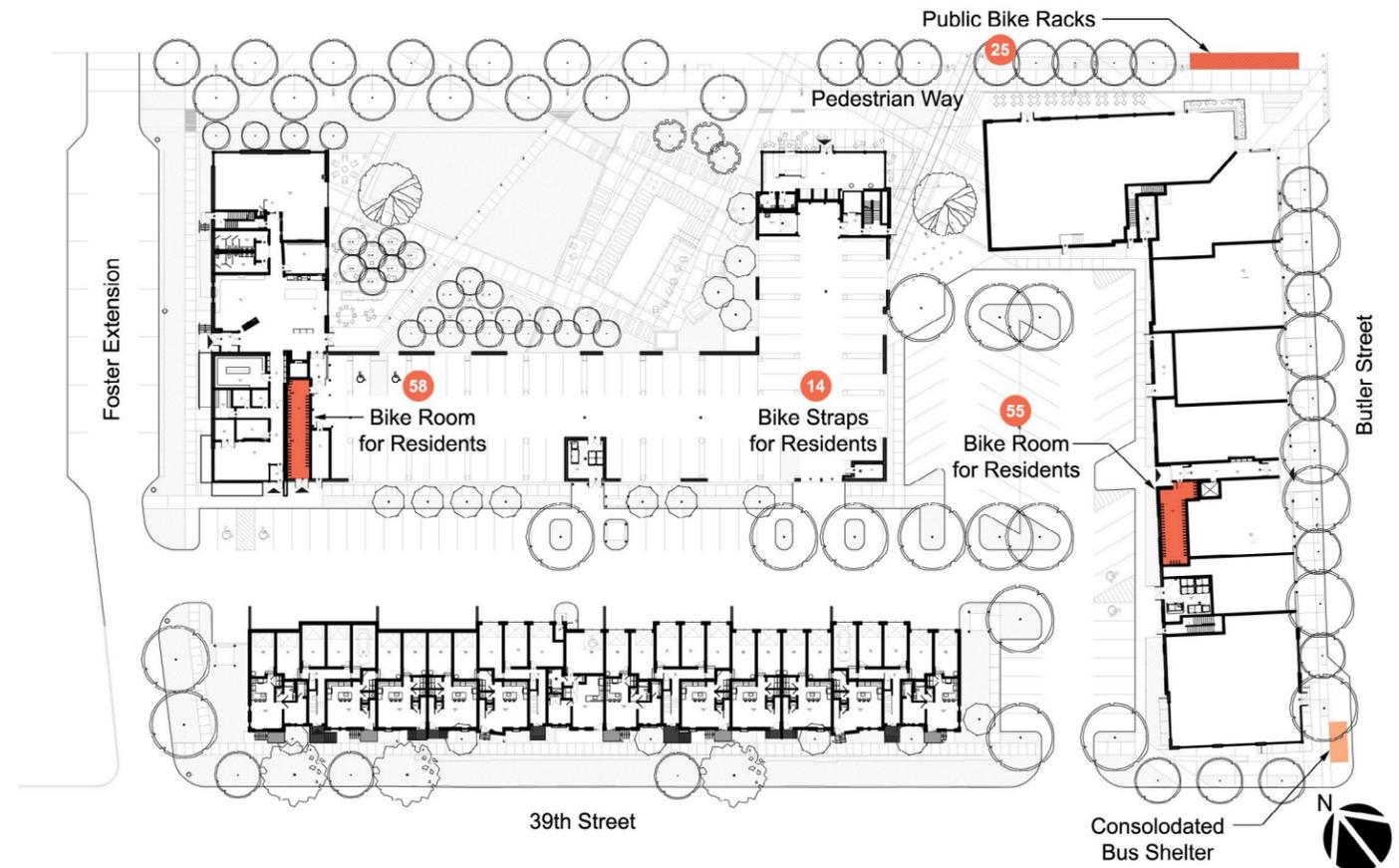
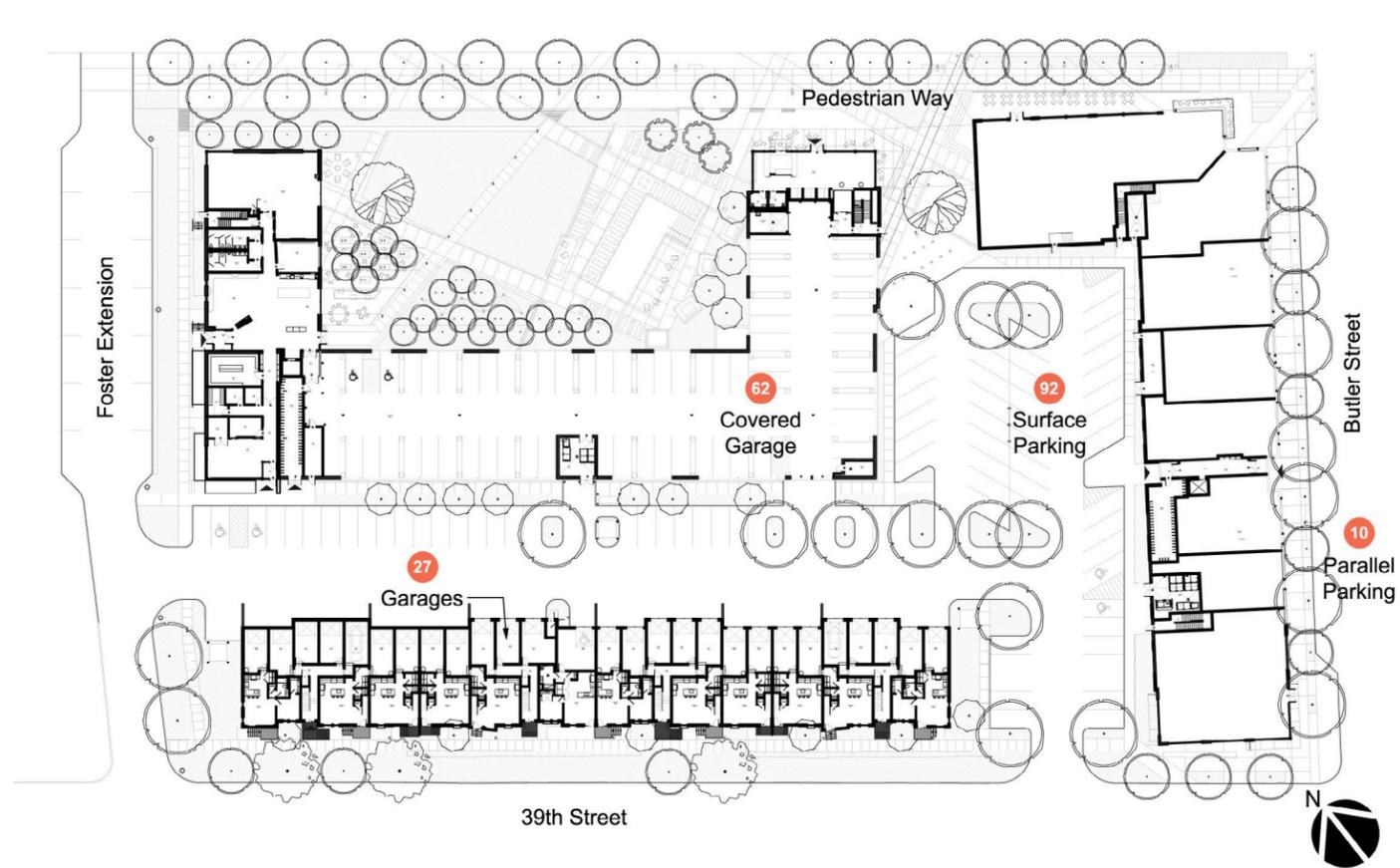
<u>Development Category</u>	<u>Size</u>	<u>Parking Required</u>	<u>Bike Parking Required</u>	<u>Bike Parking Provided</u>	<u>Bike Parking Reduction Rate (max)</u>	<u>Required No. of Spaces w/ Reduction</u>	<u>Off-Street Loading Required</u>	<u>Off-Street Loading Provided</u>
Apartments	243	243 1 space per dwelling unit	81 1 space per 3 dwelling units	127	(71) 30% of non-ADA spaces	172 0.7 ratio	3 Category: Multi-Unit Residential (200,000 - 250,000 sf)	3
Retail	9,328 sf	18.6 1 space per 500 sf	1 1 space per 10,000 sf	25	(5) 30% of non-ADA spaces	13.6	1 Category: Retail Sales & Service (2,401 - 20,000 sf)	1
Retail - Restaurant	9,328 sf	55.4 1 space per 125 above 1st 2,400 sf	1 1 space per 10,000 sf		(16) 30% of non-ADA spaces	39.4		
		317 ADA = 7	83	152		225		4



PARKING



PARKING





**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

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Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Northbank Hotel Group, LP		Phone Number: (412) 657-1229	
Address: 6019 Grafton St	City: Pittsburgh	State: PA	Zip Code: 15206
2. Applicant/Company Name: JMAC Architects		Phone Number: (412) 257-9010	
Address: 1273 Washington Pike, Suite 202	City: Bridgeville	State: PA	Zip Code: 15017
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: Northbank Hotel			
4. Development Location: North Shore, Pittsburgh, PA			
5. Development Address: 1106 Reedsdale Street, Pittsburgh, PA			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)	Warehouse (General)		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 11 /01/ 2016	Occupancy Date: 01 /01/ 2018	Project Cost: \$10,000,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Hotel/Motel (General)			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New	<input checked="" type="checkbox"/> Renovation, Interior		
<input checked="" type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior		
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use		
11. Describe the Development: The development includes the renovation of an existing 5 story concrete warehouse structure into a hotel. Construciton includes an adjacent additon as well as 5 additional floors for a total of 10 stories.			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial one Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	None	sq ft
Existing to be Retained:	49,000	sq ft
Retained Area to be Renovated:	49,000	sq ft
To be Constructed:	65,620	sq ft
Building Footprint:	13,750	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	5	62	10	120
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: _____

17. Lot Area: _____ 15,400 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____ 2
 Required: _____ 2

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> 1 </u> New Water Service Connection(s)	<u> 1 </u> Termination of Existing Water Service Tap(s)
<u> 1 </u> New Sewer Service Connection(s)	<u> 1 </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:

1106 REEDSDALE STREET

Architects:

JMAC Architects

1273 Washington Pike
Bridgeville, PA 15017

Owner:

Northbank Hotel Group, LP

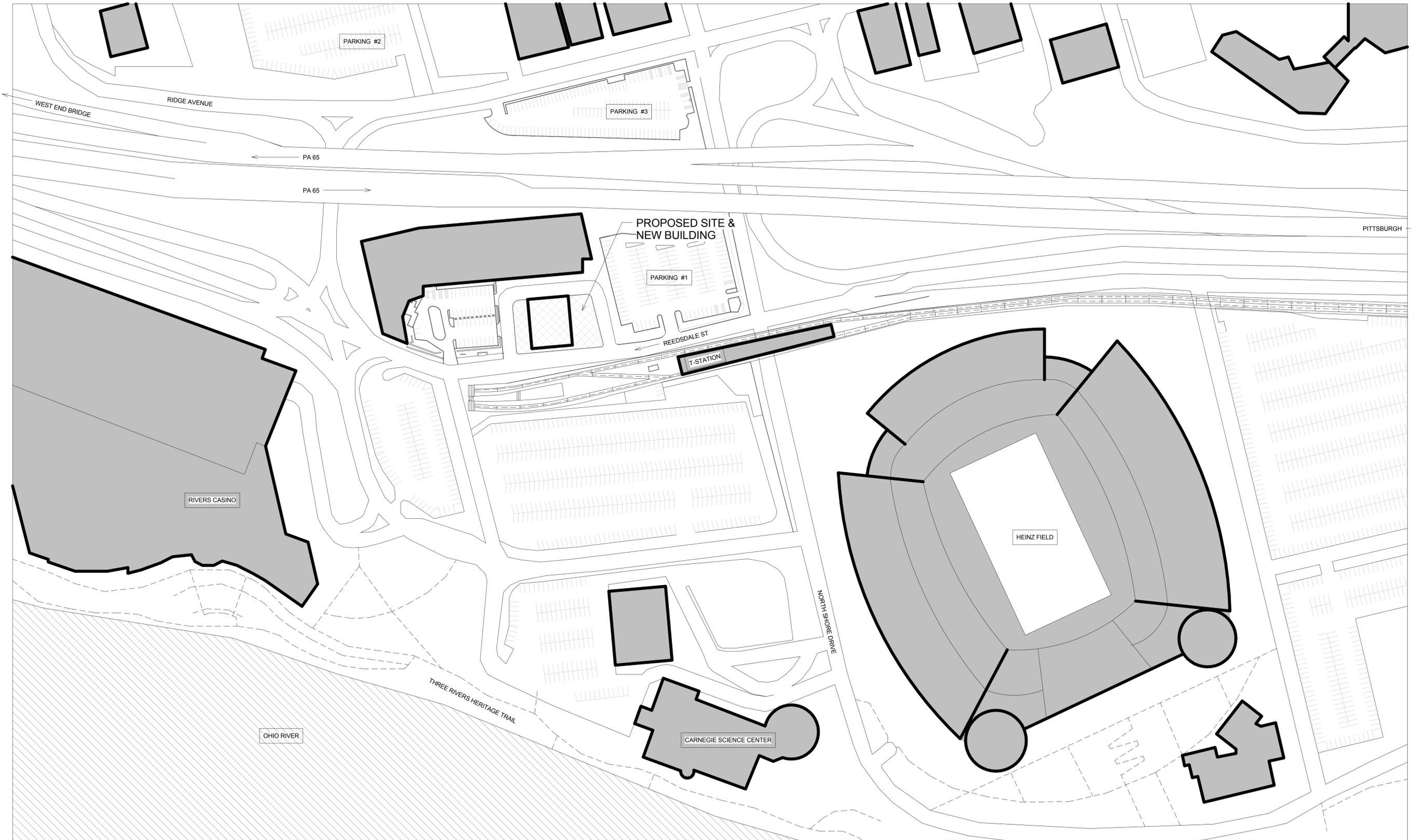
1106 Reedsdale Street
Pittsburgh, PA 15233

ZONING CLASSIFICATION:	DOWNTOWN: DR-A HOTELS (GENERAL) PERMITTED BY RIGHT
SETBACK:	NONE
MAX. HEIGHT: PROVIDED:	120' (MORE THAN 200' FROM OHIO RIVER) 120' MAX.
MAX. F.A.R.: PROVIDED:	7.50:1 (APPROX. 15,400 SF LOT) 7.45:1 (APPROX. 114,835 SF TOTAL)
OPEN SPACE REQUIREMENT: PROVIDED:	10% (LOTS > 20,000 SF) 0% (LOT IS LESS THAN 20,000 SF)

PROJECT SUMMARY:

EXISTING 49,000SF, 5-STORY WAREHOUSE TO BE REPURPOSED AND RENOVATED FOR NEW 65,830SF, 5-STORY ADDITION FOR BOUTIQUE HOTEL BRAND. REEDSDALE STREETS ARCHITECTURAL STYLE TO REMAIN AND BE RESTORED TO ORIGINAL APPEARANCE. RESTAURANT AND BAR ON GROUND FLOOR STOREFRONT, SIDE APPROACH FOR HOTEL ENTRANCE AND VALET PARKING. NEW ADDITION TO WRAP EAST ELEVATION TO PROVIDE 5 NEW FLOORS OVER EXISTING ROOF. RECREATIONAL AREA AND ROOF LEVEL ENTERTAINMENT SPACE LOCATED AT EXISTING ROOF LEVEL.

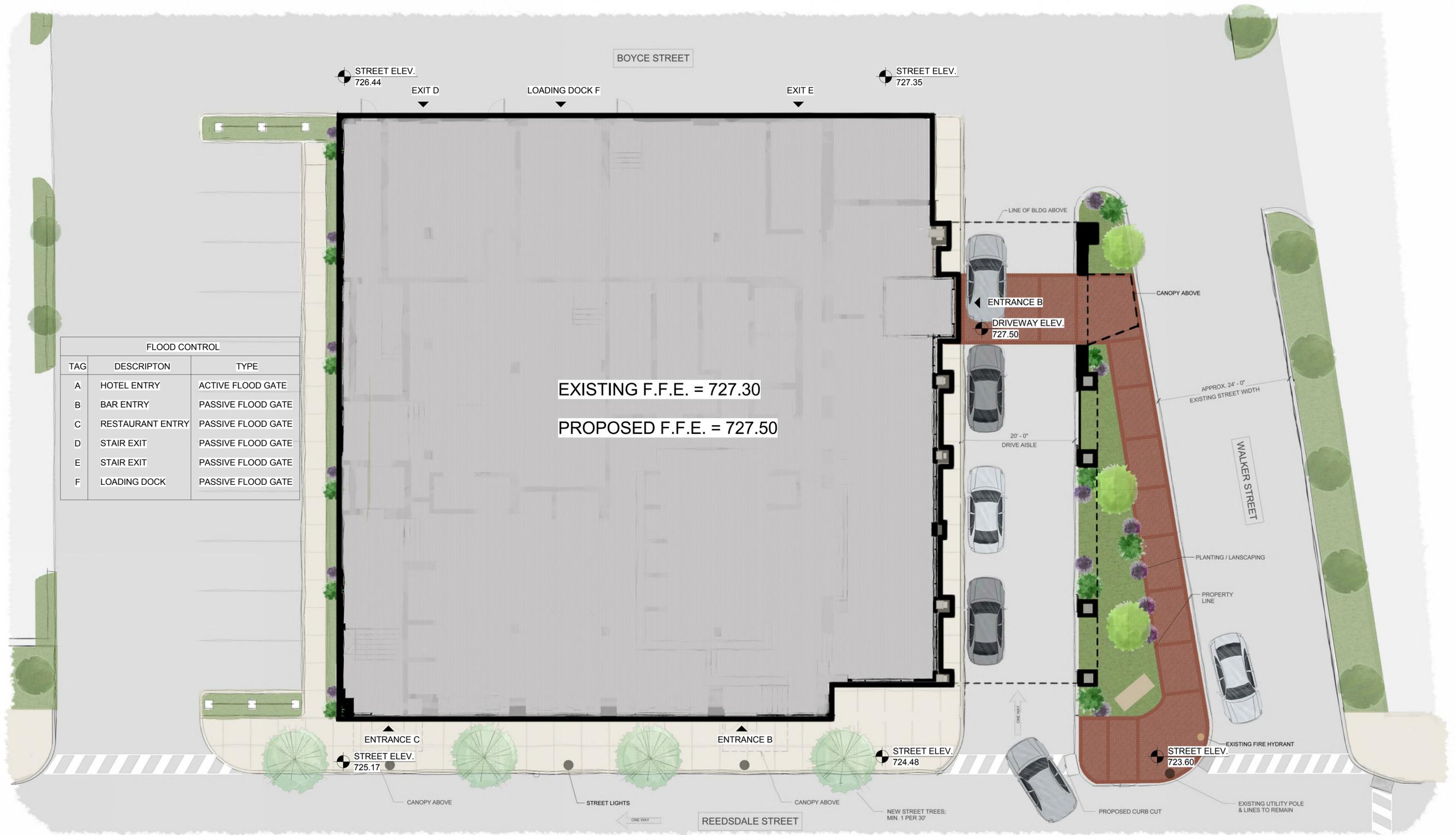




Site Plan

Scale: 1" = 100'-0"
 Date: 04.25.2016

A-0.0

















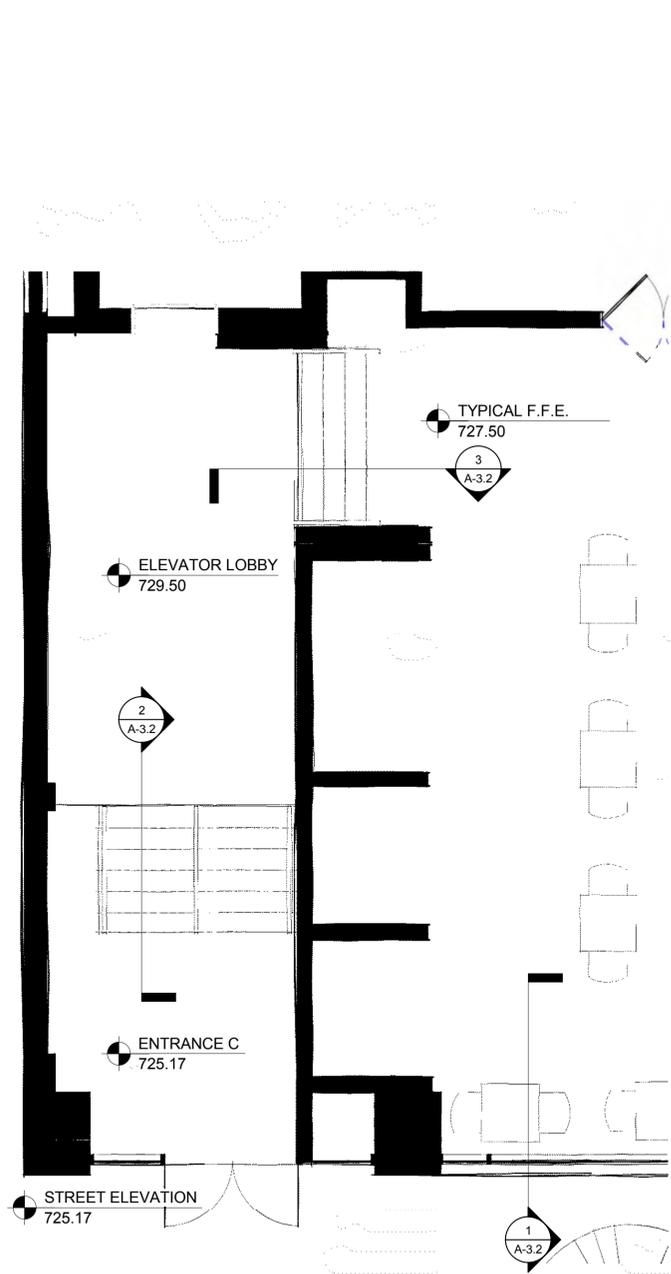




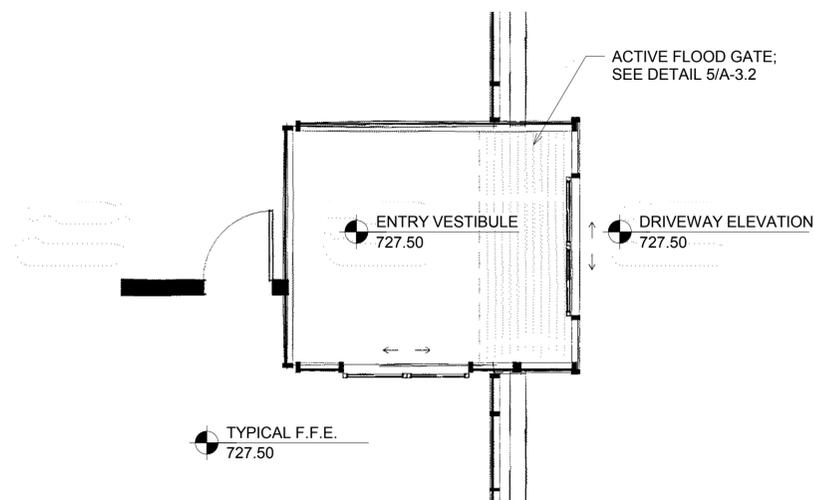




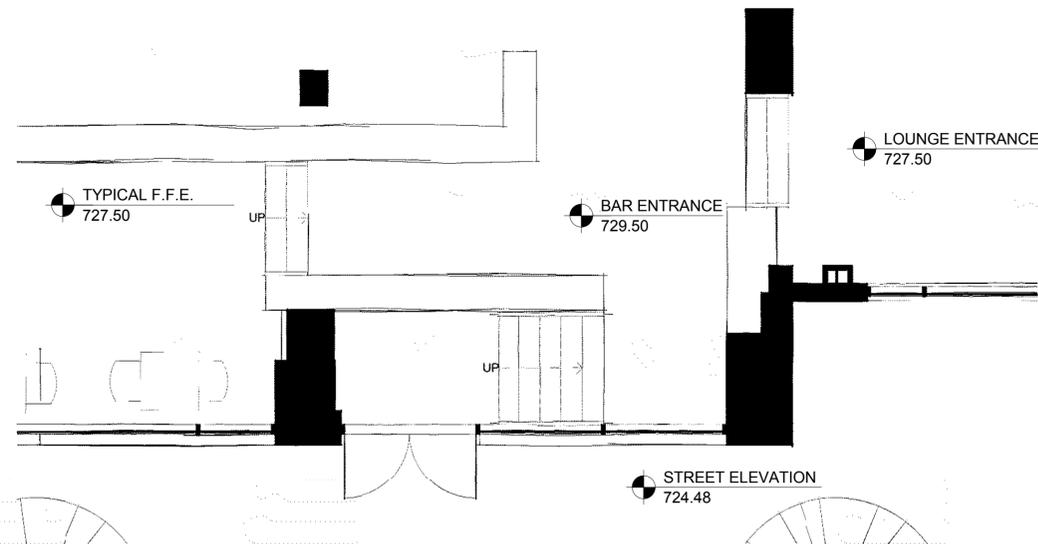




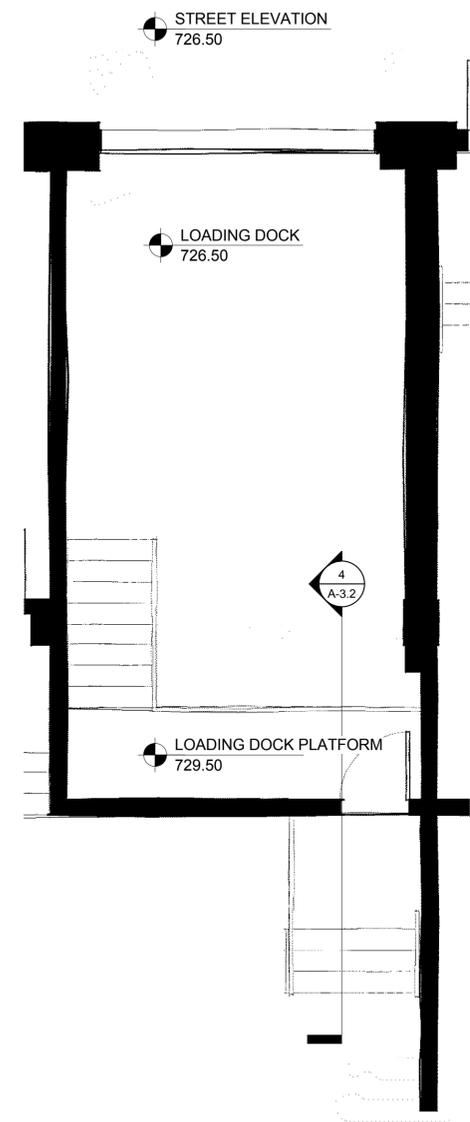
1 FLOODPLAIN ENTRANCE (C)
1/4" = 1'-0"



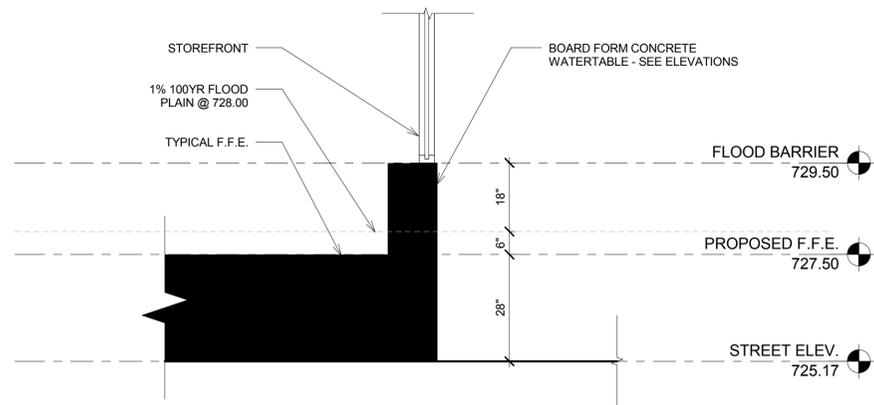
2 FLOODPLAIN ENTRANCE (A)
1/4" = 1'-0"



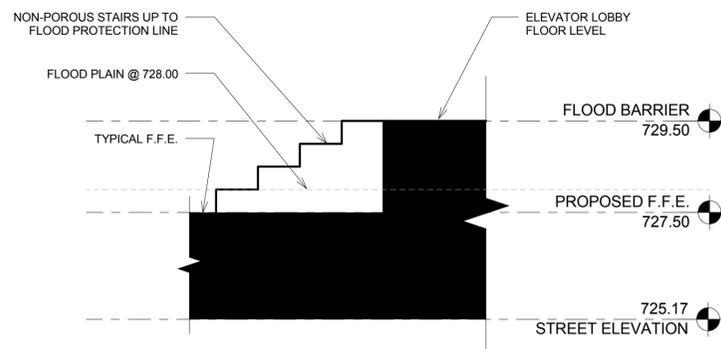
3 FLOODPLAIN ENTRANCE (B)
1/4" = 1'-0"



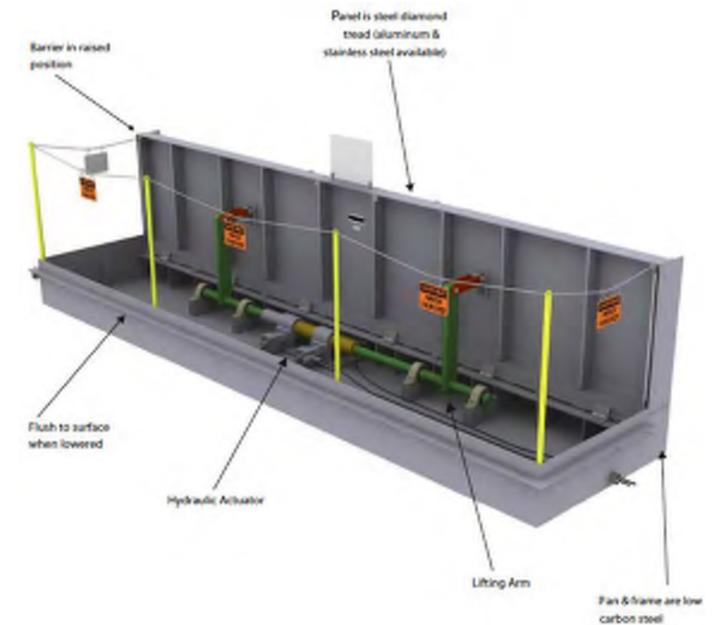
4 FLOODPLAIN LOADING DOCK (F)
1/4" = 1'-0"



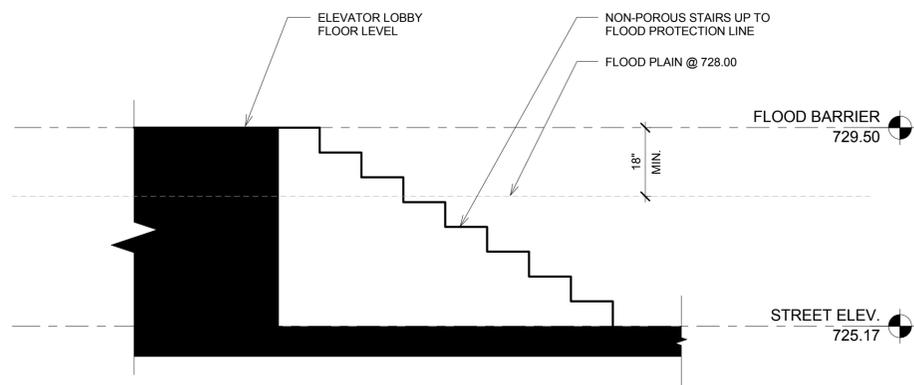
1 Section at Ground Floor Storefront
1/2" = 1'-0"



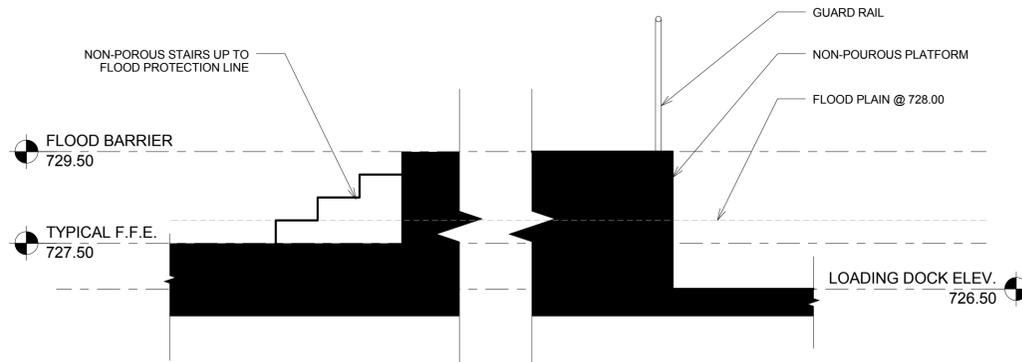
3 Typical Interior Stair to Flood Barrier Level
1/2" = 1'-0"



5 Flood Gate
1/2" = 1'-0"



2 Restaurant Entrance (C)
1/2" = 1'-0"



4 Section at Loading Dock Platform
1/2" = 1'-0"



METAL PANELS



GLASS CANOPY



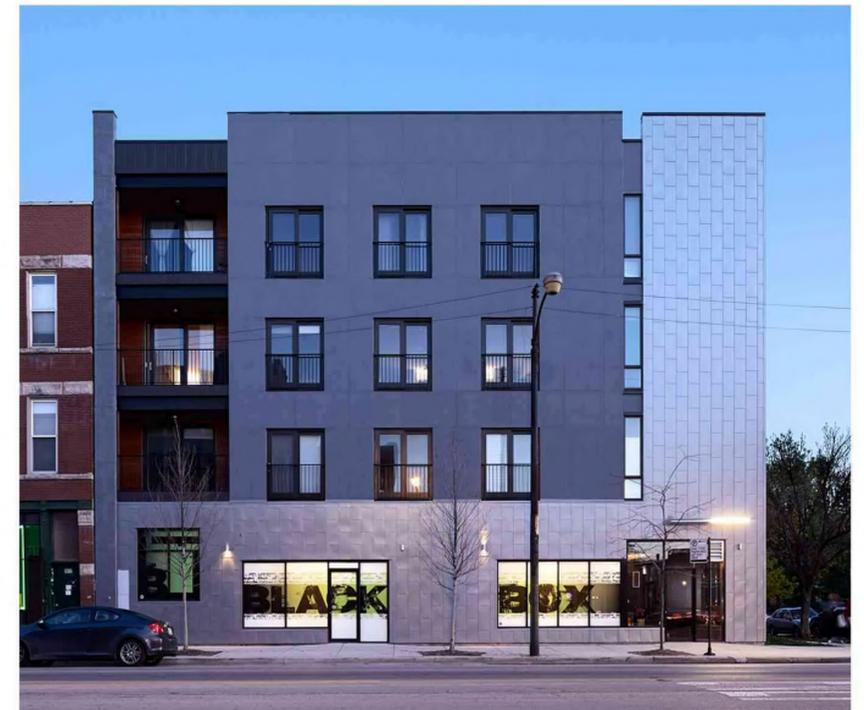
STOREFRONT



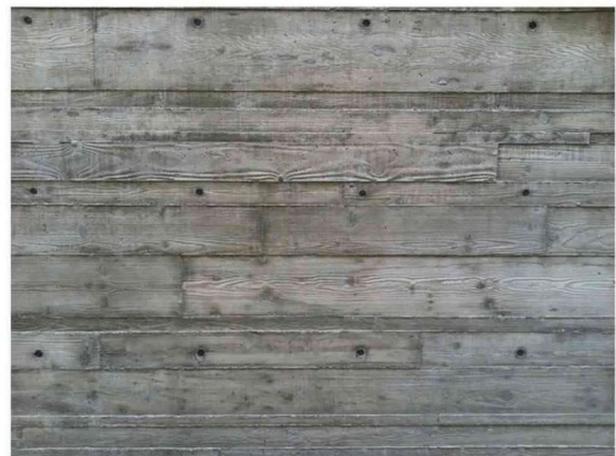
COLOR FILLER PANELS



STEEL CABLE GUARD RAILS



PRECEDENT



BOARD FORM CONCRETE



REFACED PLASTER











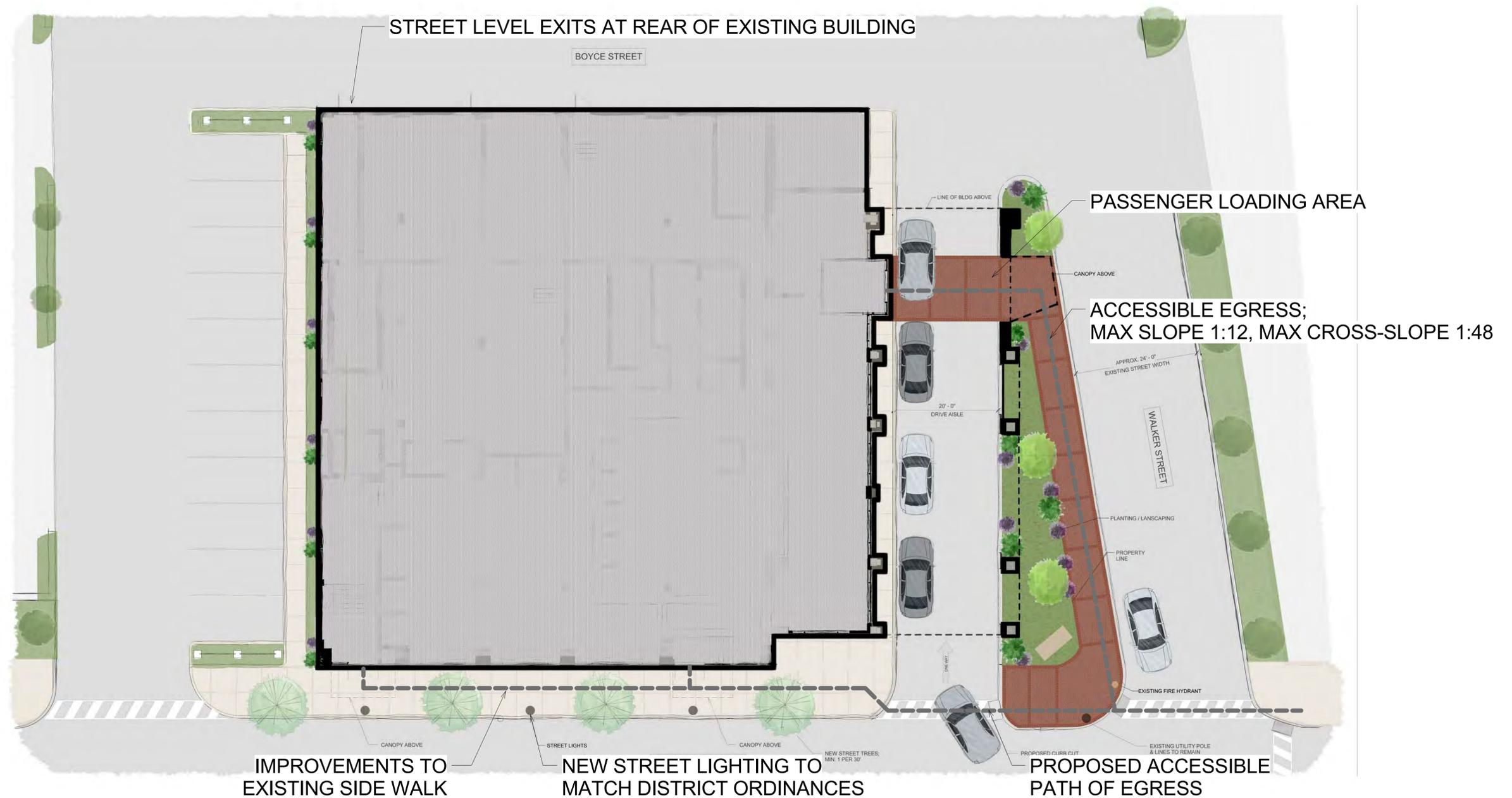












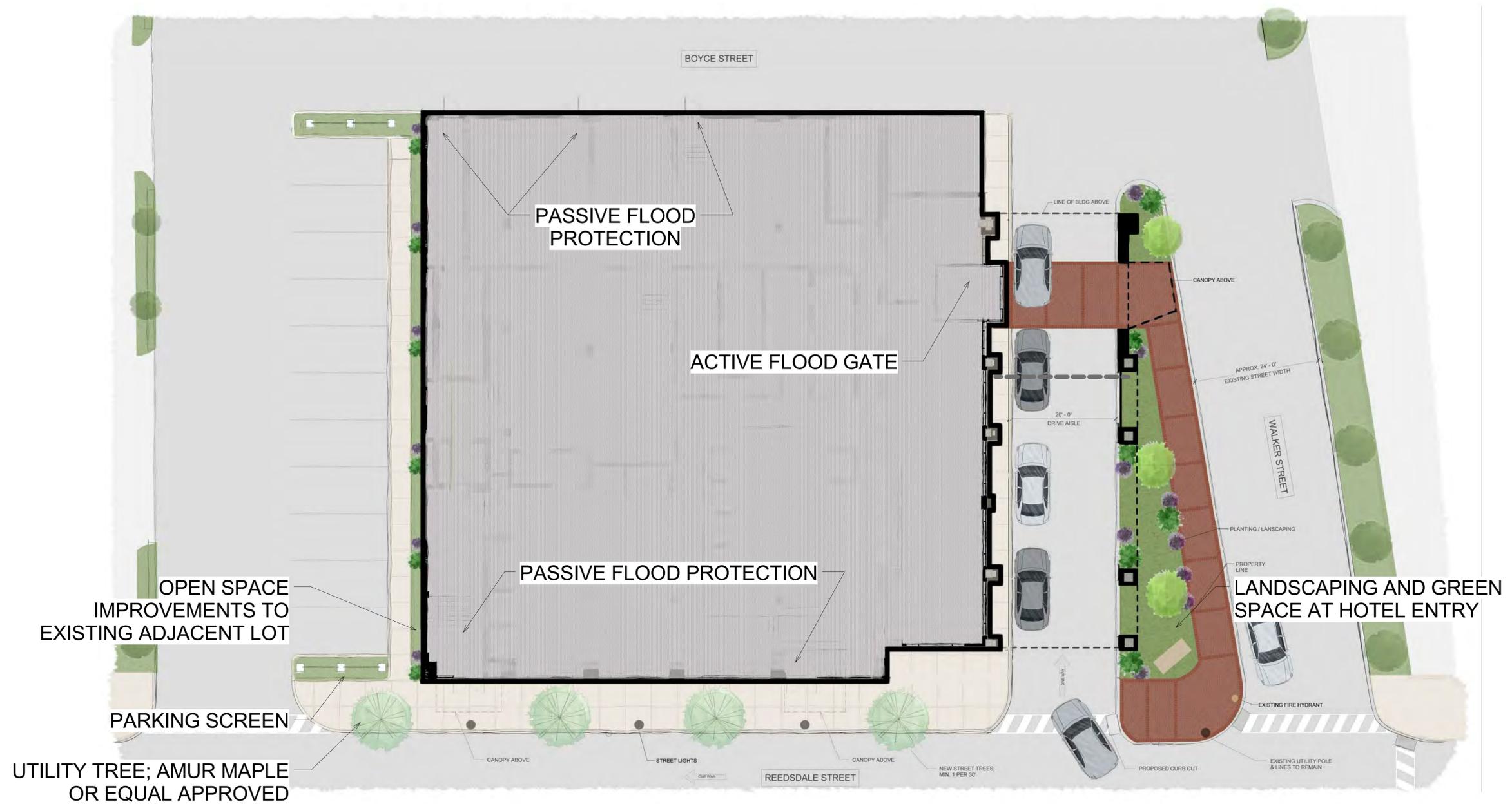
ACCESSIBILITY

PROPOSED DEVELOPMENT TO MEET OR EXCEED ACCESSIBILITY GUIDELINES AND CODES PER CHAPTER 11, IBC 2012 AND THE AMERICAN NATIONAL STANDARDS INSTITUTE ICC A117.1-2009.

EXISTING SITE TO BE UPGRADED FOR PASSENGER LOADING AREAS AT HOTEL ENTRANCE AND BAR / RESTAURANT ENTRANCES. ALL RAMPS ON EXTERIOR OF THE BUILDING SHALL HAVE MAXIMUM SLOPE OF 1:12 AND ALL ACCESSIBLE SITE EGRESS PATHS TO MAINTAIN A MAXIMUM CROSS-SLOPE OF 1:48.

SITE LIGHTING AND HANDRAILS TO BE INSTALLED WHERE NECESSARY.

STAIR TREADS AND LANDINGS TO BE DESIGNED TO PREVENT ACCUMULATION OF WATER.

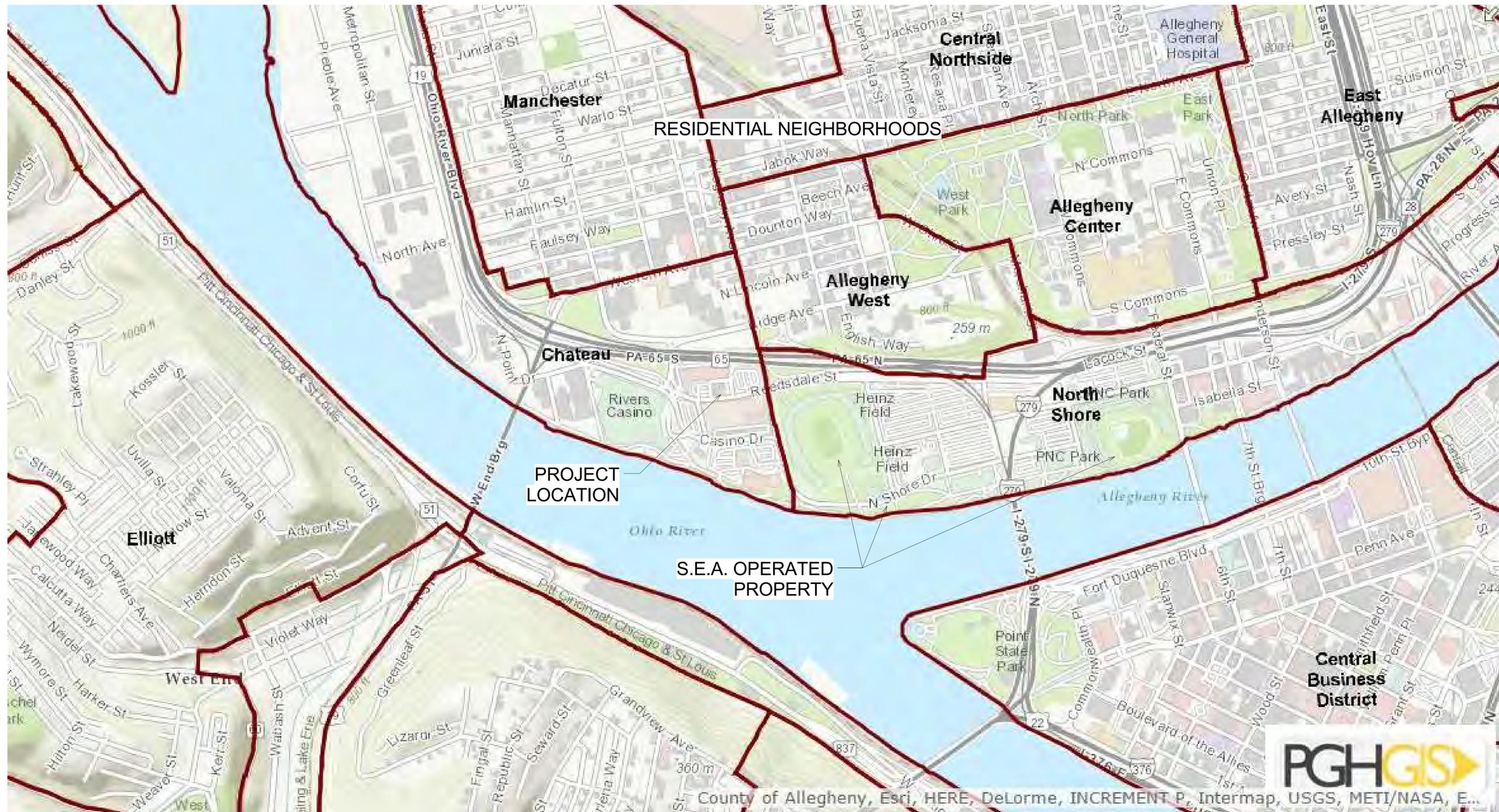


SUSTAINABILITY

EXISTING FACADE TO BE REPAIRED TO PRESERVE HISTORIC NORTH SHORE PRESENCE AS DISCUSSED WITH CDAP.

NEW STREET TREES SHALL BE SELECTED FROM PITTSBURGH DEPARTMENT OF CITY PLANNING RECOMMENDED STREET TREE SPECIES LIST, UTILITY COMPATIBLE TREE SECTION DUE TO OVERHEAD POWER AND TELEPHONE WIRES SUPPLYING ADJACENT BUILDINGS.

SITE IS SITUATED IN A 1%, 100 YEAR FLOOD PLAIN AND DESIGNED TO REDUCE THE IMPACT OF HIGH WATER INTRUSION INTO THE BUILDING BY MEANS OF PASSIVE AND ACTIVE FLOOD BARRIER SOLUTIONS.



COMMUNITY PROCESS

WORKING IN UNISON WITH THE SPORTS AND EXHIBITION AUTHORITY TO PROVIDE PARKING AND COORDINATION DURING NORTH SHORE EVENTS.

VOLUNTARILY WORKING WITH MANCHESTER CITIZEN CORPORATION TO DRIVE SUPPORT AND JOB CREATION FOR RESIDENTIAL AREAS ON THE NORTH SIDE.



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: PBM Partners		Phone Number: (202) 361-1005	
Address: 46 SW First St.	City: Miami	State: FL	Zip Code: 33130
2. Applicant/Company Name: Jeffrey King/ The Design Alliance		Phone Number: (412) 261-0660	
Address: 535 Smithfield St. Suite 915	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: The Pitt Building			
4. Development Location: Zoning District GT-C, Parcel 1-M-176			
5. Development Address: 211 Smithfield St., Pittsburgh, PA 15222			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	N/A		
Present Use of Site: (Select from attached list)	81, 82, 101, 102		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: 80319	Date Issued: 11-17-2000	Existing Use of Property: Business	
8. Estimated Construction:	Start Date: 07/01/2016	Occupancy Date: 10/01/2016	Project Cost: \$ 500,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **81, 82, 101, 102, 103, 104**

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: **Exterior: Addition of 4 new windows on the south facade ground level. Continuation of existing cornice on south facade. Paint upper brick cornice on south facade. Replace window sashes on 2nd and 3rd levels of Pitt Building, repair / repaint historic wood exterior trim, paint all exterior wood and stucco surfaces. New rooftop HVAC units in existing locations, not visible from street. Interior: 'Warm dark shell' renovation of 2nd and 3rd floor including new code compliant bathrooms and stair railings. Any interior historic detail that remains will be retained.**

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A

Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area: 48,436 sq ft

Existing to be Razed: 0 sq ft

Existing to be Retained: 48,436 sq ft

Retained Area to be Renovated: 28,615 sq ft

To be Constructed: 0 sq ft

Building Footprint: 13,165 sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	4 w/ 1 below	+/- 45'-0"	N/A	N/A
Proposed Addition/Extension			N/A	N/A

Provide Accessory Structure Type(s) and Height(s):

N/A	N/A	N/A	N/A	N/A

16. Number of Dwelling Units:

Existing to Remain: N/A Proposed: N/A

17. Lot Area: 135.61' x 120.15' = 16,294 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')	N/A	N/A
Compact (7 1/4' x 16')	N/A	N/A
Handicap (13 1/2' x 19')	N/A	N/A

Off-Street Loading Spaces: N/A

Actual: _____

Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm

Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
(i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u>0</u> New Water Service Connection(s)	<u>0</u> Termination of Existing Water Service Tap(s)
<u>0</u> New Sewer Service Connection(s)	<u>0</u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street
- Private Property
- Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-w: _____
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



The Pitt Building: East façade on Smithfield Street.

The Pitt Building

Address:

- 211 Smithfield Street, Pittsburgh, PA 15222

Zoning District:

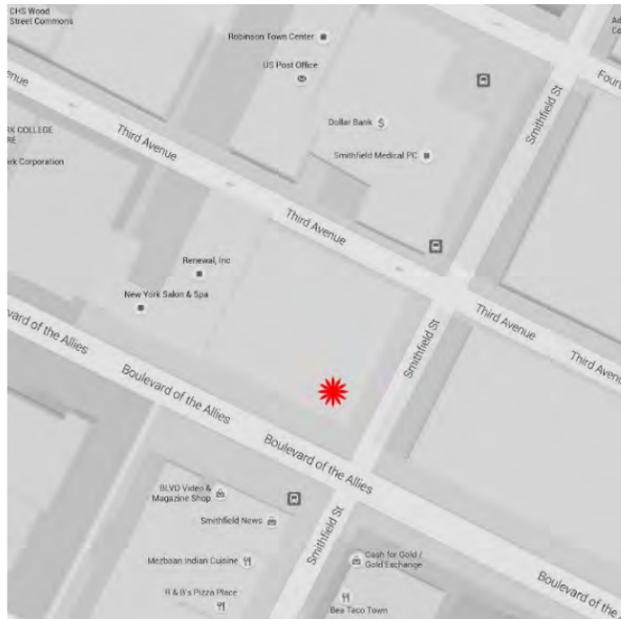
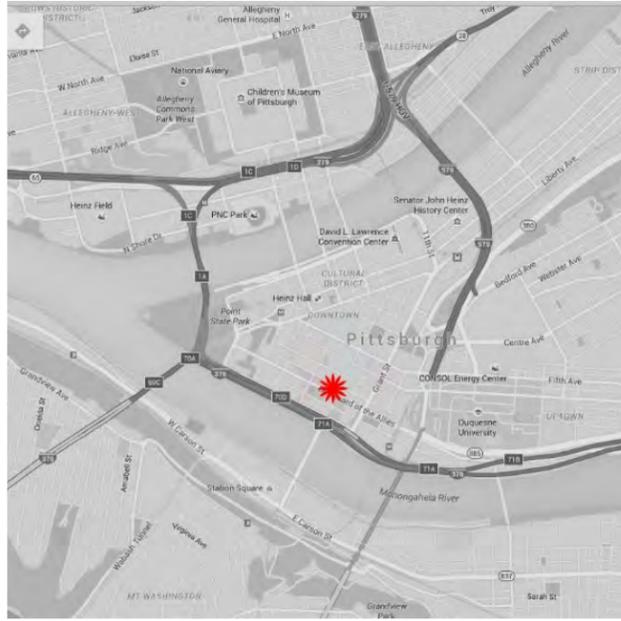
- GT-C
- 1-M-176

Description:

- The Pitt Building, formerly the Americus Club Building.
- Located at the intersections of Smithfield Street/ Boulevard of the Allies and Third Avenue/Smithfield Street.
- Built in 1918.
- 4 levels above grade with 1 basement level.
- Architect: Edward B. Lee.
- Southern portion of building cut off in 1921 due to widening of the Boulevard of the Allies.
- Current tenants include Cricket Wireless, Bob's Sub and Pizza Fiesta.

Description of work:

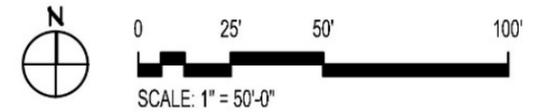
- The addition of 4 new storefront windows on the south façade ground level.
- Continuation of existing cornice on south façade.
- Paint upper brick cornice on south façade.
- Replace window sashes on the 2nd and 3rd levels, repair/repaint historic wood exterior trim, paint all exterior wood and stucco surfaces.
- Partial interior demolition of the 1st level and basement.
- Interior demolition of the 2nd, 3rd and 4th levels.
- Renovation of stair towers and toilet cores for code compliance.



Location maps.



Site plan.





The Pitt Building and Warehouse from Third Avenue.



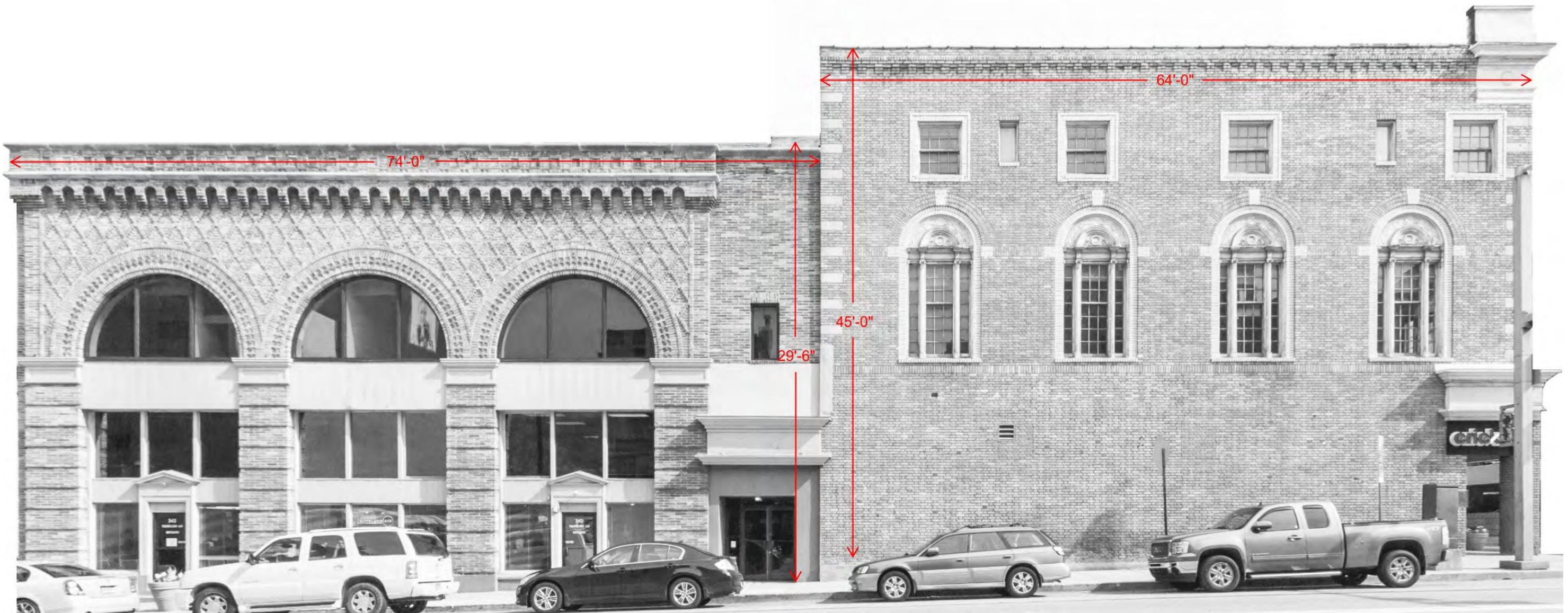
The Pitt Building from Third Avenue and Smithfield Street.



The Pitt Building from Boulevard of the Allies and Smithfield Street.



The Pitt Building and Traveler's Aid from Boulevard of the Allies.



The Pitt Building and Travelers Aid from Boulevard of the Allies.



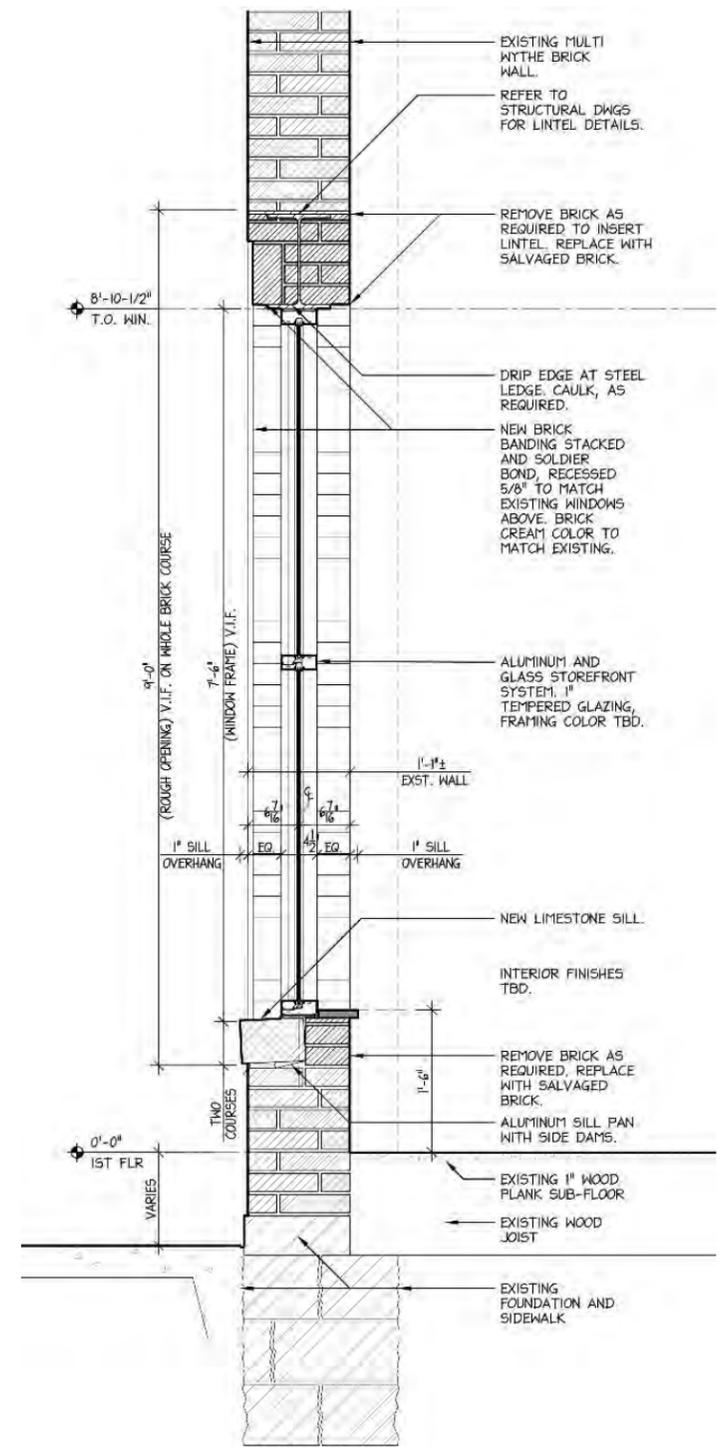
The Pitt Building from Smithfield Street.



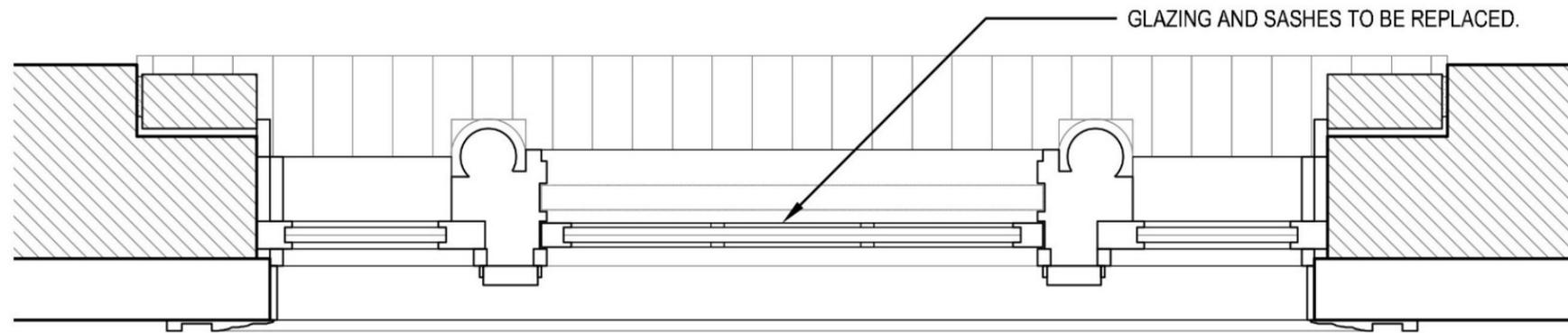
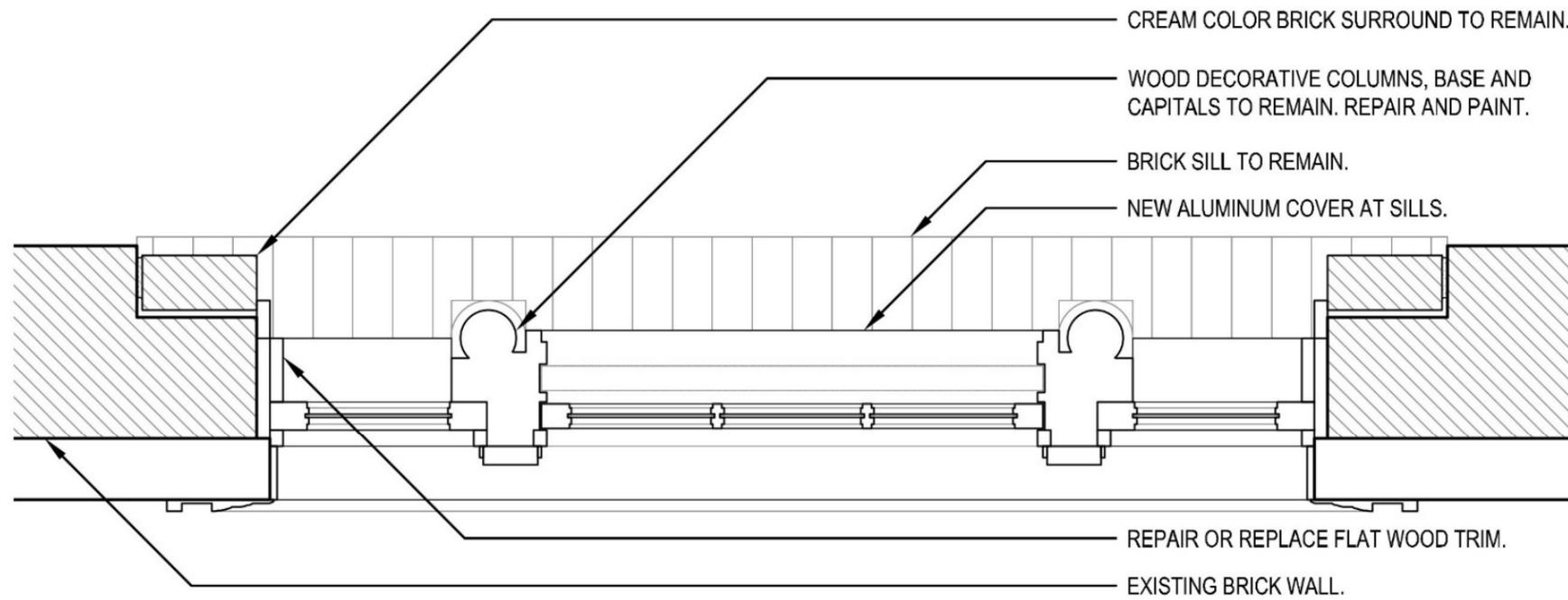
The Pitt Building and Warehouse from Third Avenue.



The Pitt Building: Proposed elevation from Boulevard of the Allies.



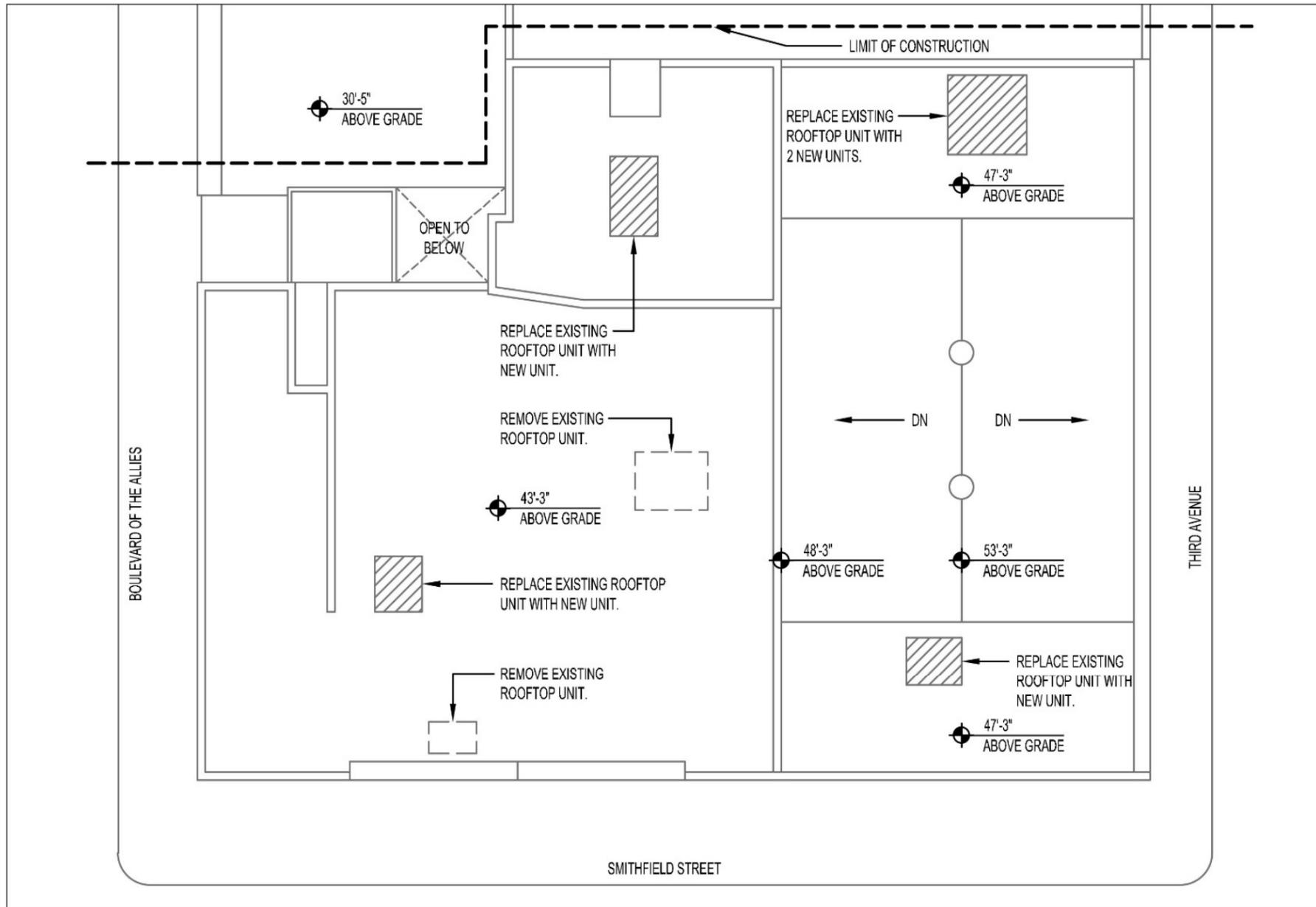
1st level window section.



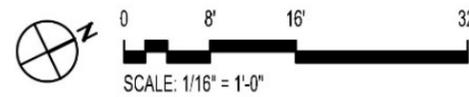
2nd level window detail.



Existing window detail.



The Pitt Building: Roof plan.





DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

STEEP SLOPE DEVELOPMENT

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <u>Winter Park Development, LLC</u>		Phone Number: <u>(412) 537-8604</u>	
Address: <u>PO Box 245</u>	City: <u>Inverness</u>	State: <u>PA</u>	Zip Code: <u>15127</u>
2. Applicant/Company Name: <u>Synergy Capital, Inc.</u>		Phone Number: <u>(412) 537-8604</u>	
Address: <u>PO Box 245</u>	City: <u>Inverness</u>	State: <u>PA</u>	Zip Code: <u>15127</u>
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: <u>Villas at Winter Park</u>			
4. Development Location: <u>Pine & Gregory Street Pittsburgh PA 15203</u>			
5. Development Address: <u>Parcel ID # 3-3-166 & 12-N-182</u>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy #:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: <u>4/1/2017</u>	Occupancy Date: <u>1/1/2018</u>	Project Cost: \$ <u>5,000,000</u>

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list):

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: The Villas at Winter Park consist of a small extension of three existing streets, Heckstown, Magdalena and Gregory. On these street extensions we plan to build fourteen new homes in ~~three~~ four phases.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 14 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed: _____ sq ft
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: _____ sq ft
 To be Constructed: 45,570 sq ft
 Building Footprint: _____ sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure			3	30
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:

Existing to Remain: _____ Proposed: 14

17. Lot Area: 3,200 min sq ft total development site 3+ acres

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		Min. 2 per unit
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A

Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

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21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u>14</u>	New Water Service Connection(s)	_____	Termination of Existing Water Service Tap(s)
<u>14</u>	New Sewer Service Connection(s)	_____	Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____

Babst | Calland

Attorneys at Law

Where Trust and Value Meet™

Two Gateway Center | Pittsburgh, PA 15222 | TEL 412.394.5400 | babstcalland.com

Villas at Winter Park

Southside Slopes

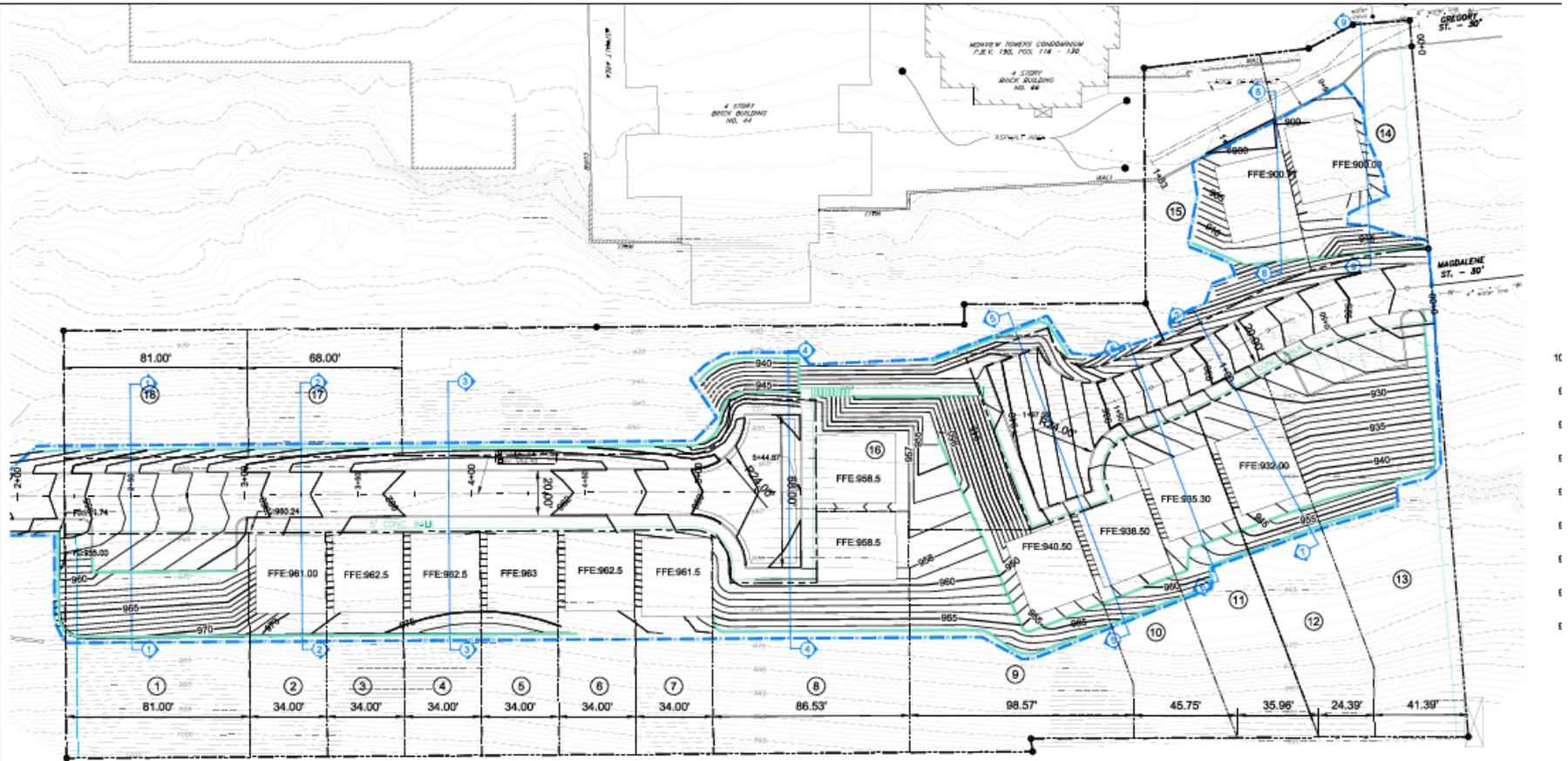
Magdalena, Gregory, and Hackstown Streets

Natural Landforms

1. Natural landforms shall be maintained to the maximum extent possible.

Three existing streets (Hackstown St., Magdalena St., and Gregory St.) are being extended along the hillsides' natural benches in the proposed Winter Park master plan. These street extensions are single loaded with buildable parcels preserving 50% of the natural formations of the hillsides and tree canopies as undisturbed.





PLAN VIEW - 1:30

Scale and Context

2. The scale of the structure shall be contextual with proximate structures of the same use.

The proposed structures are detached single-family homes with three levels, which are consistent with use and scale of structures on the streets where development will occur.

3. Attached single family residential units shall employ architectural, materials, or color variations to allow the units to read as individual units.

Not applicable as the proposed development is detached single-family homes. However, the homes will still employ variations on architecture, materials, and color to distinguish the units (see renderings).



Babst | Calland
Attorneys at Law

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Impervious Surface and Vegetation

4. The proposed development shall minimize impervious surfaces.

Home footprints are minimal (31' x 35') and allow for 3' in between homes to allow for downhill flow. Road paving area is the minimum required at a 20' width, and guest parking and rear patios are to be pervious surfaces.

5. The proposed development shall employ foundations that include ground contours, embankments, vegetation or other such measures.

Contours and vegetation will be employed. See master landscaping plan and geotech report.

6. Development shall be set back fifty (50) feet in both directions from the edge of the SS-O boundary when it occurs at either the Ridgeline or Base.

Not applicable as the site is significantly more than 50' from the Ridgeline and Base.

Parking, Screening, and Lighting

7. Parking areas shall be internal to the primary structure or screened from view through vegetation or architectural features.

On-site parking is integral to proposed home design. Accessory parking area to be tastefully screened with vegetation and/or architectural features.

8. Utilities and mechanical equipment (including but not limited to HVAC equipment) and storage areas (refuse or otherwise) shall be screened from view.

HVAC equipment is located in the rear of proposed home design, and refuse will be screened if located in view.

9. All on-site lighting shall be shielded to prevent light spillover onto adjacent properties.

Standard exterior lights are recessed cans or cylinder (shielded) down lights (see cut sheet).



18" Exterior sconces
Progress Lighting
Coated Metal finishes
Dual bulb

Vegetation

10. Vegetation removal solely to create views is prohibited; views to the site shall be considered to be as important as views from the site.

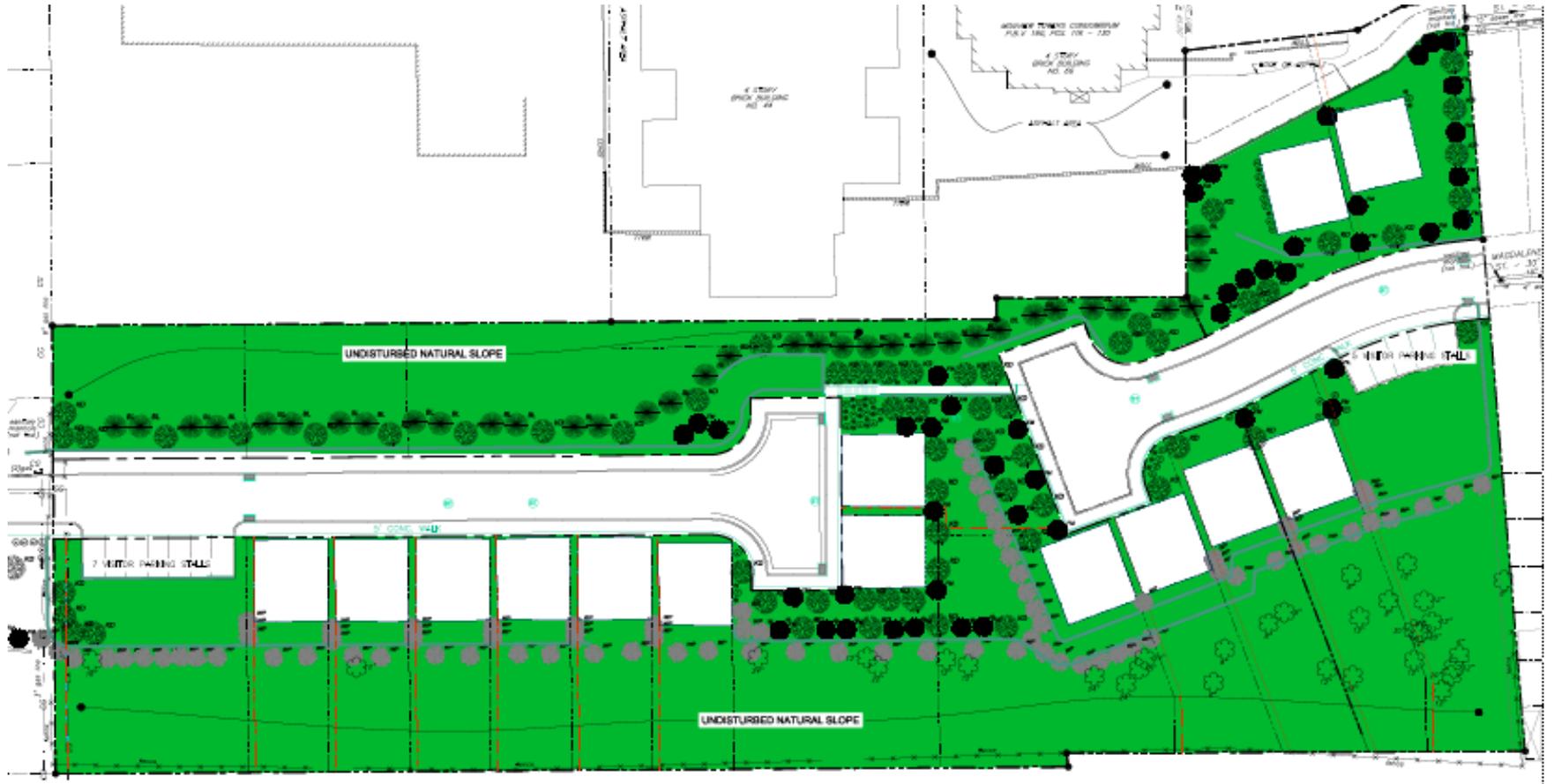
Natural vegetation not to be disturbed outside of designated 50% max disturbance area. Non-invasive tree canopies to be preserved to the extent possible.

11. The proposed structure shall minimize the need for vegetation removal with the exception of invasive species.

Natural vegetation not to be disturbed outside of designated 50% max disturbance area, see also #1 and #10.

12. Vegetation with similar appearance and growing requirements as existing proximate vegetation (excepting invasive species) or native species shall be employed in revegetating the site.

The development will comply with this requirement (see master landscaping plan).



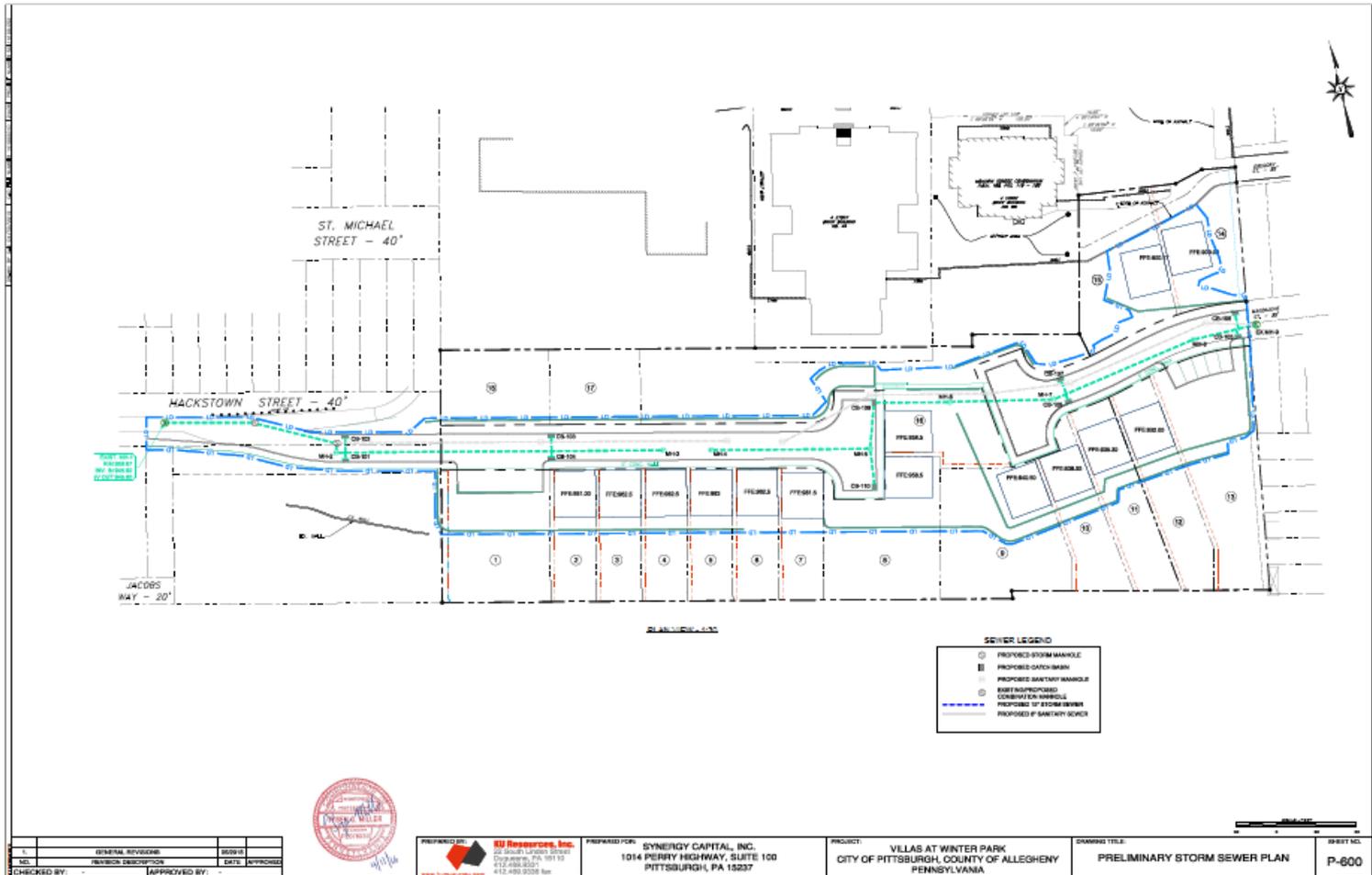
Stormwater Management

13. Natural drainage patterns shall be maintained to the extent physically possible.

Street extensions to be built along the hillside's natural benches while preserving 50% of the site's natural formations. Homes to be spaced 3' apart as to allow downhill flow.

14. Stormwater runoff from impervious surfaces shall be collected and transported from the site rather than directed or allowed to flow onto adjacent properties or rights-of-way.

Stormwater runoff resulting from the additional roadways and single-family dwellings shall be collected and conveyed to the existing storm water sewer systems located on Hackstown Street, Magdalene Street & Gregory Street.



NO.	REVISION	DATE
1	GENERAL REVISION	05/01/16
2	REVISION DESCRIPTION	DATE APPROVED
CHECKED BY:	APPROVED BY:	



PREPARED BY: **RD Resources, Inc.**
 200 South Liberty Street
 15th Floor, Suite 100
 Pittsburgh, PA 15222
 412-489-9238 fax

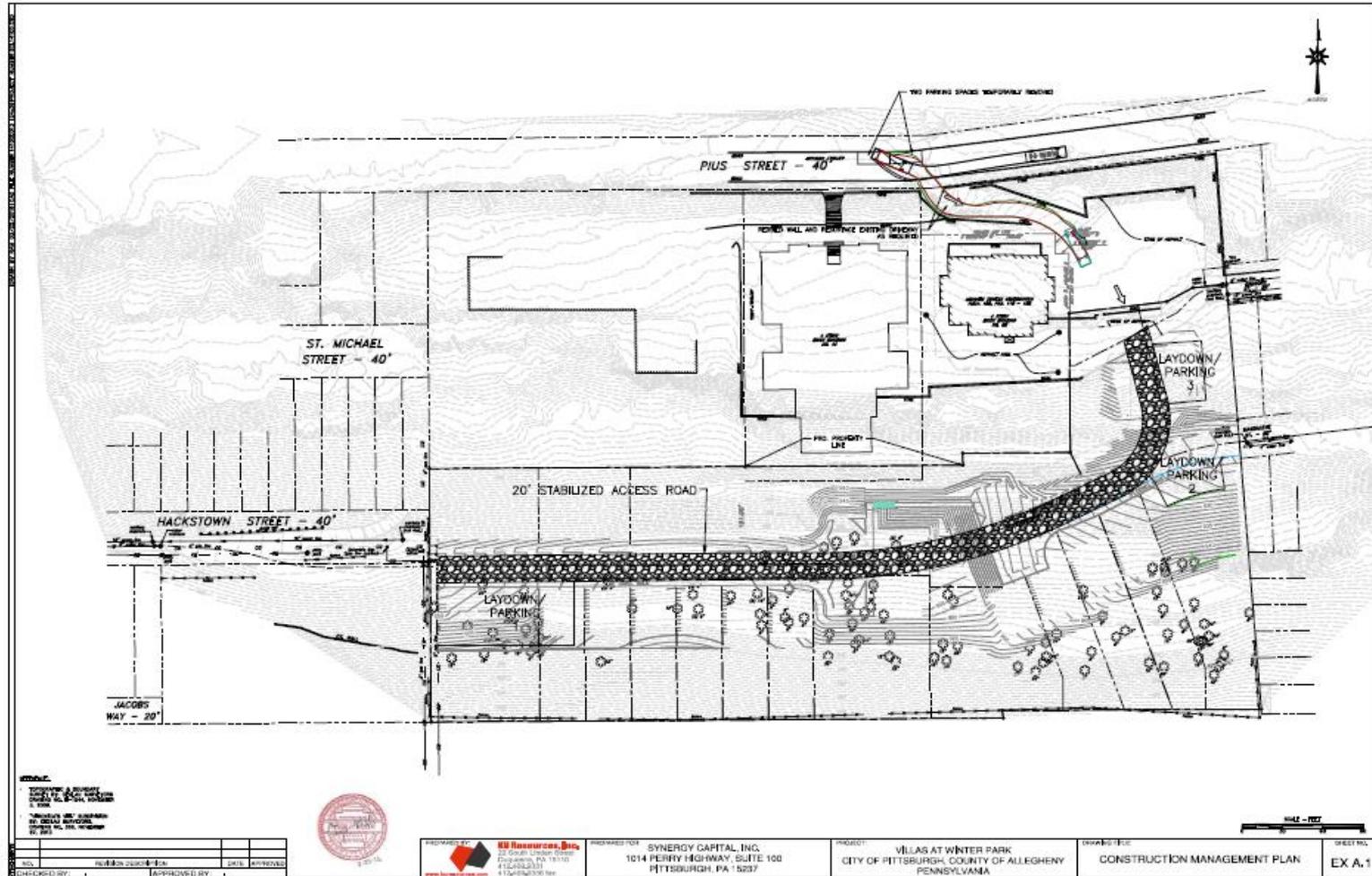
PREPARED FOR: **SYNERGY CAPITAL, INC.**
 1014 PERRY HIGHWAY, SUITE 100
 PITTSBURGH, PA 15237

PROJECT: **VILLAS AT WINTER PARK**
 CITY OF PITTSBURGH, COUNTY OF ALLEGHENY
 PENNSYLVANIA

DRAWING TITLE: **PRELIMINARY STORM SEWER PLAN**

PROJECT NO.: **P-600**

Construction Management



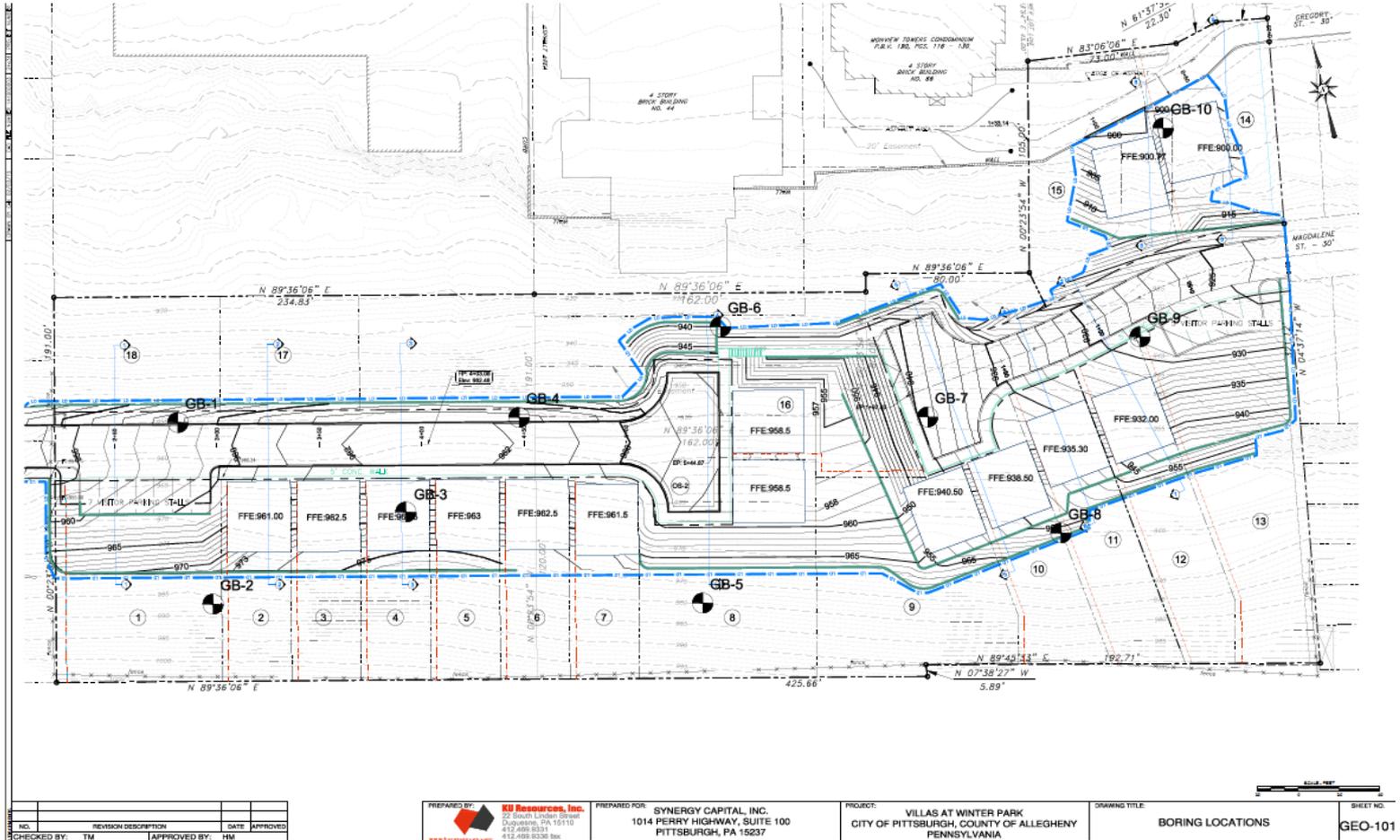
Community Process

- July 9, 2015 meeting with Councilman Kraus
- September 23, 2015 meeting with neighbors, their attorney, and Councilman Kraus
- January 26, 2016 meeting with neighbors, their attorney, and Councilman Kraus
- March 8, 2016 meeting with Southside Slopes Neighborhood Association
- Numerous emails and phone calls with interested parties

Community Process

- Many property owners in support of project (see letters of support)
 - J.Francis Restoration owns more than a dozen properties on Magdalena and Gregory Streets
 - Nicki Zevola Benvenuti
 - PPM Realty
 - Coozak General Contractors
 - M&M RE Holdings, LLC
 - Riva Ridge Real Estate Services
 - Eyeflow Internet Marketing
 - Southside Rental Properties
 - Holzer Kalakos & Yates
 - South Side Investors Group

Boring Locations





Thank You

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