



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name:		Phone Number: <i>(412) 395-3465</i>	
Address:	City:	State:	Zip Code:
2. Applicant/Company Name: <i>Oxford Development</i>		Phone Number: <i>(412) 395-3465</i>	
Address: <i>301 Grant</i>	City: <i>Pittsburgh</i>	State: <i>PA</i>	Zip Code: <i>15219</i>
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: <i>Craft Place Demolition</i>			
4. Development Location: <i>Craft Place + Blvd. of the Allies</i>			
5. Development Address:			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction:	Start Date: <i>7/11/16</i>	Occupancy Date: <i>10/18/16</i>	Project Cost: \$
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list):			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New		<input type="checkbox"/> Renovation, Interior	
<input type="checkbox"/> New Construction,		<input type="checkbox"/> Renovation, Exterior	
<input type="checkbox"/> Change in Use Only		<input type="checkbox"/> Renovation, Change in Use	
11. Describe the Development: <i>Demolition of 2.5 story, 21,462 SF abandoned warehouse and surface lot.</i>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



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LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: 21,462 sq ft
 Existing to be Retained: NA sq ft
 Retained Area to be Renovated: NA sq ft
 To be Constructed: NA sq ft
 Building Footprint: NA sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	2.5			
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh20.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s)	_____ Termination of Existing Water Service Tap(s)
_____ New Sewer Service Connection(s)	_____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:

Craft Place – Demolition PDP Package

Craft Place Partners, LLC

Oxford Development

5.18.16

Presentation Overview

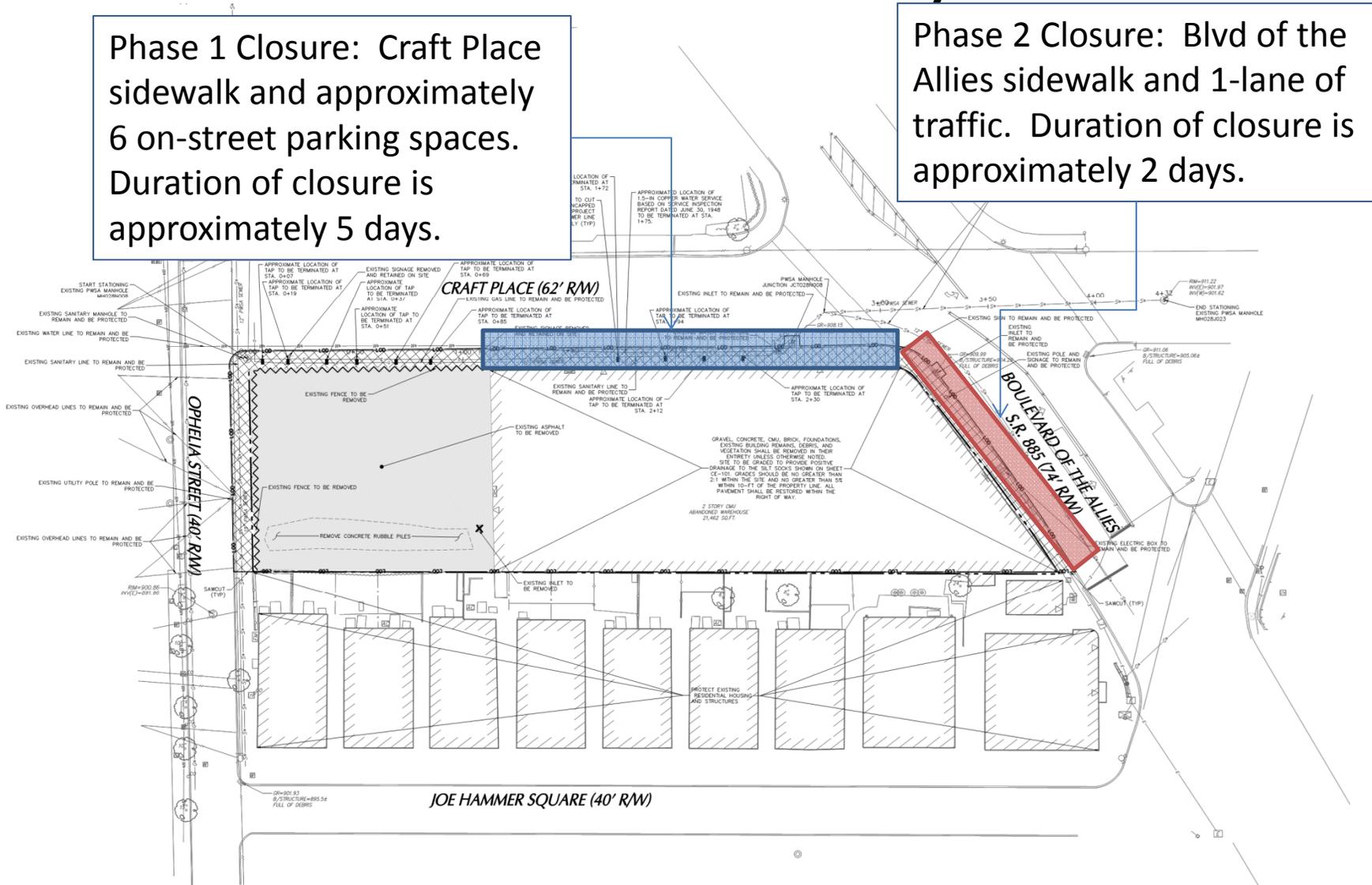
- Street and Sidewalk Closures
 - Safe Pedestrian crossings during closures
- Traffic Impacts and Trucking Routes
- Dust and Noise Mitigation
- Work Hours
- Demolition Plans and Phasing
- Duration of Demolition Activities
- Recycling of Materials and Environmental Impacts
- Post Demolition Conditions
- Exhibit 1: Nova Environmental Service's Demolition and Environmental Remediation Plan

Street and Sidewalk Closures – Phase

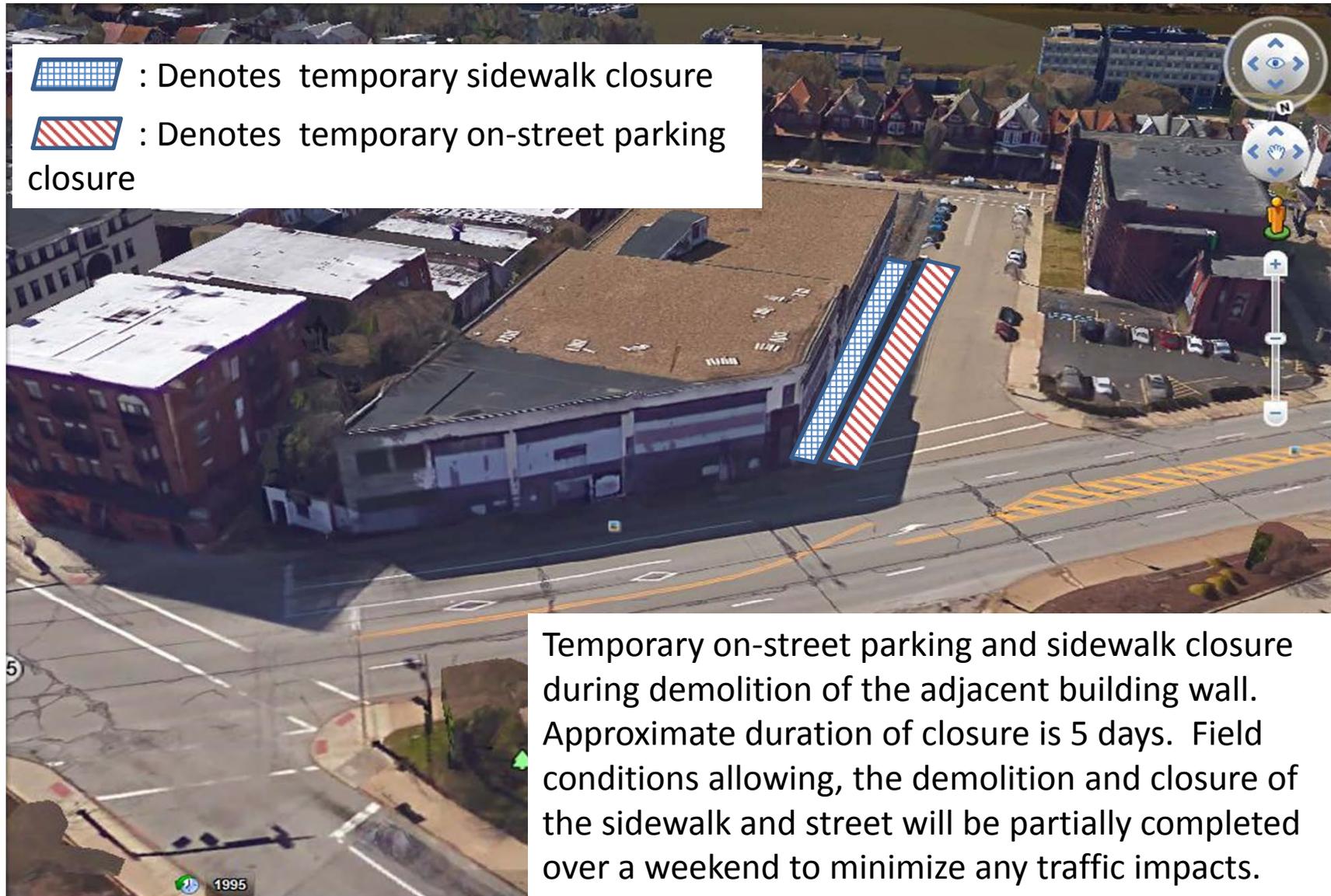
Closure Summary

Phase 1 Closure: Craft Place sidewalk and approximately 6 on-street parking spaces. Duration of closure is approximately 5 days.

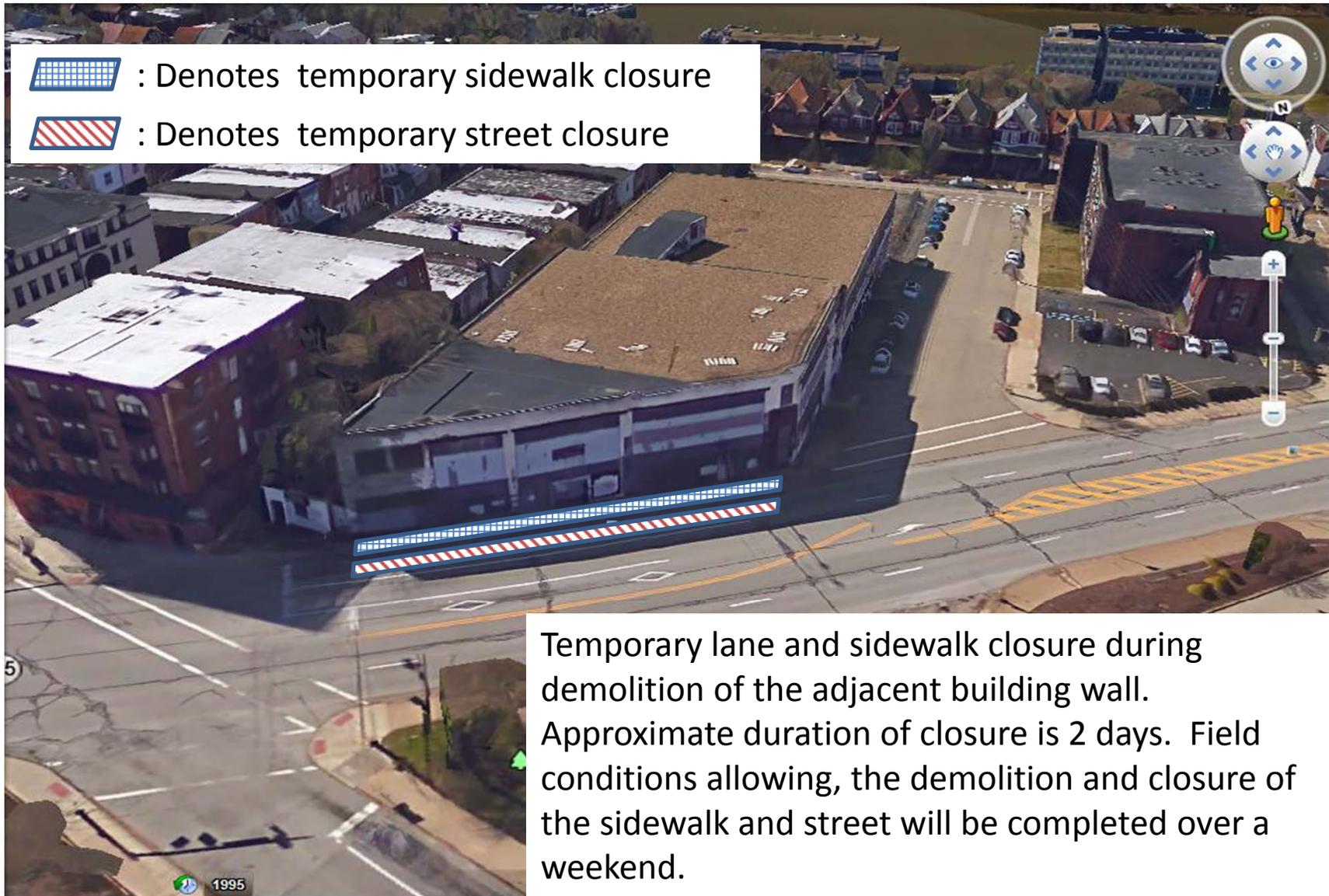
Phase 2 Closure: Blvd of the Allies sidewalk and 1-lane of traffic. Duration of closure is approximately 2 days.



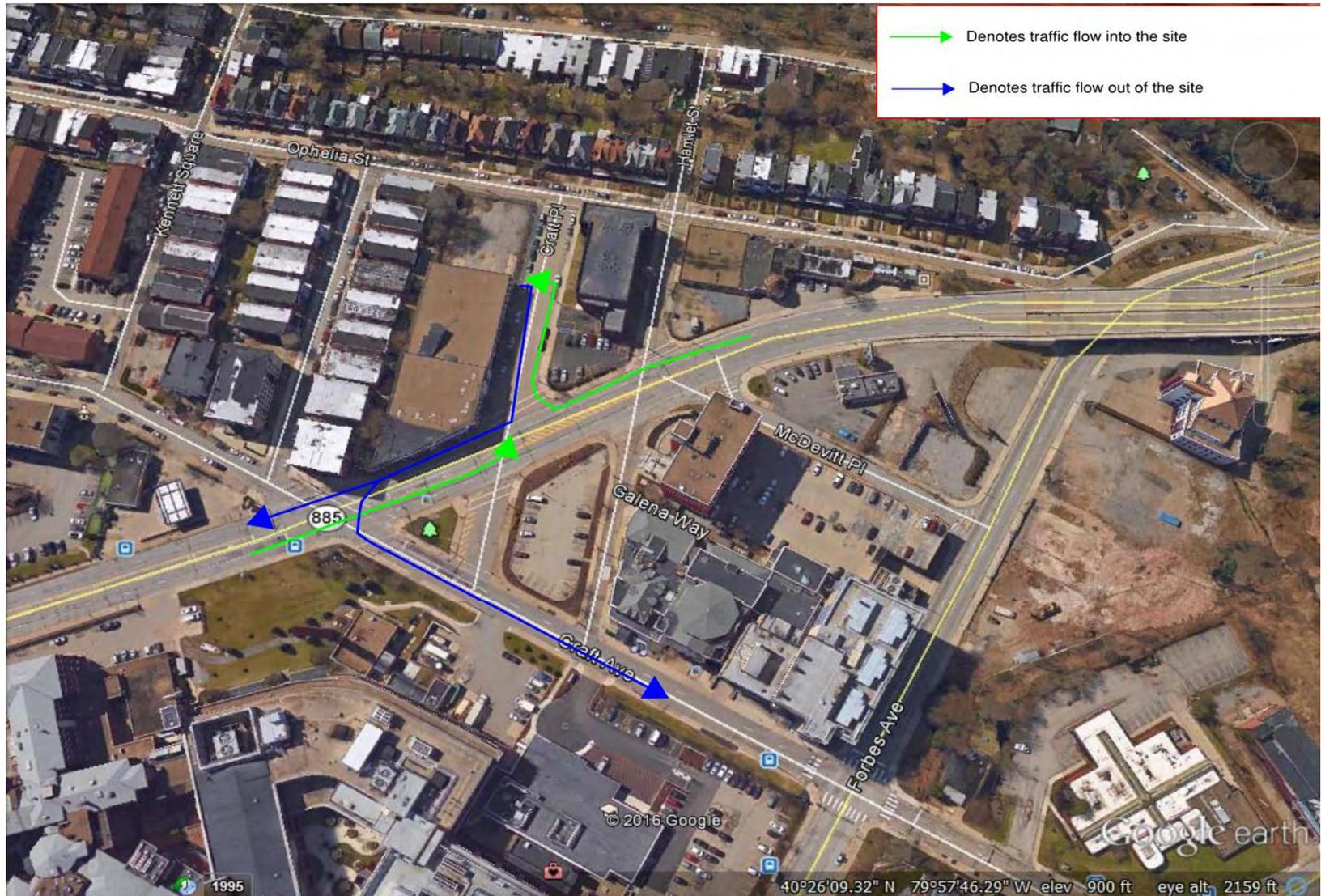
Street and Sidewalk Closures – Phase 1



Street and Sidewalk Closures – Phase 2



Traffic Impacts and Trucking Routes



Dust and Noise Mitigation

- **Dust and Debris Control:**

- Dust and debris will be controlled using standard work practices such as water misting, containerization and/or covering of debris piles, as appropriate to the waste stream and other site conditions that may impact the waste stability (weather, etc.). Oxford and our Demolition Contractor, NOVA are cognizant of the fact the businesses and residence are in proximity of the project site and controls will be implemented throughout the project as not to impact such.



Example of a dust control measure that will likely be used to mitigate dust during this project. Oxford understands that proximity of our site to the surrounding community and will make sure dust is mitigated appropriately.

Dust and Noise Mitigation

- **Noise Attenuation:**

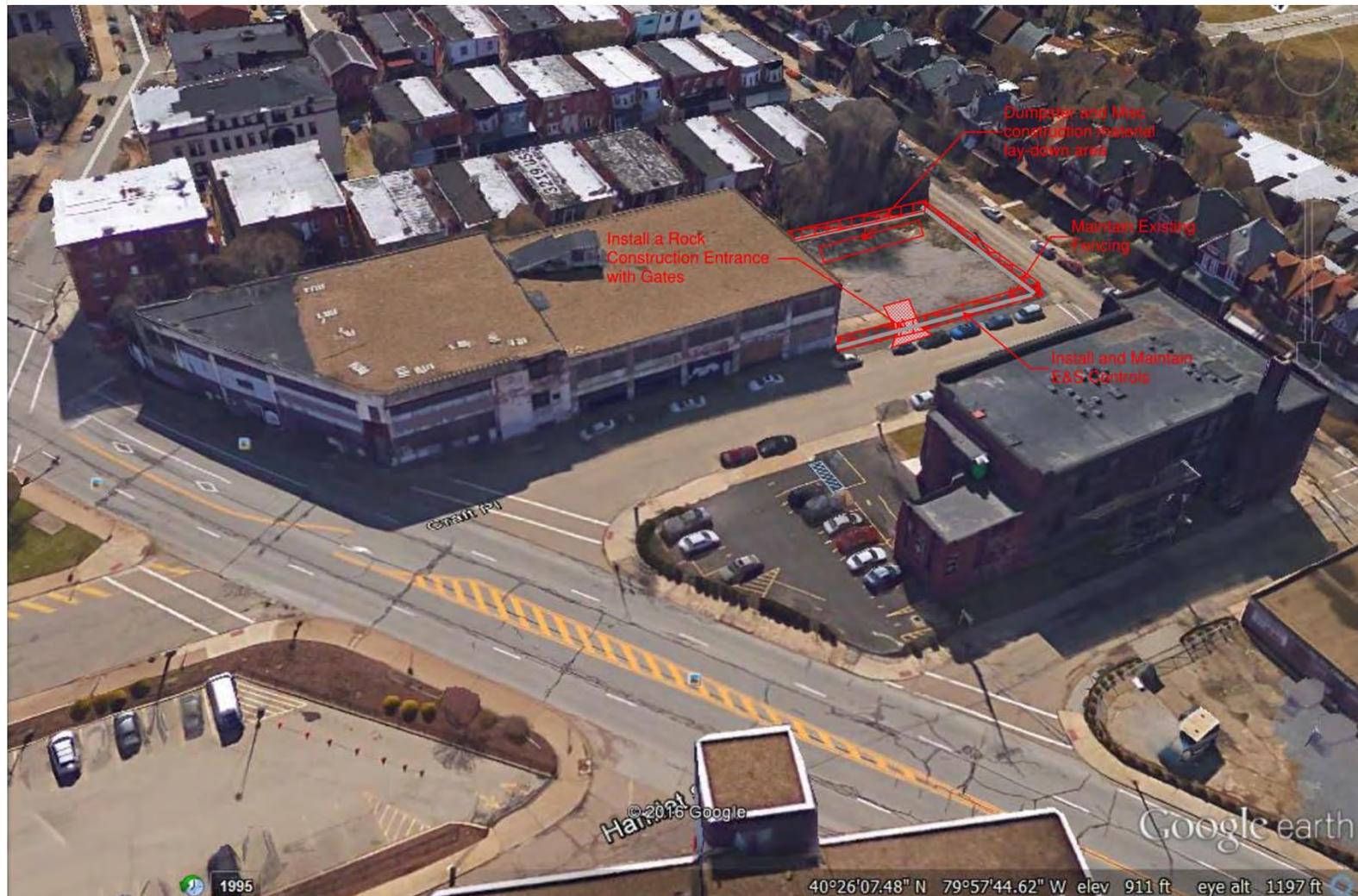
- Noise producing work will be attenuated as feasible by using experienced equipment operators and noise minimization controls, such as:
 - **Controlled Dismantlement** of the building in manageable sections as opposed to conventional wrecking whereby the building is mechanically collapsed and/or imploded with explosives causing undue noise and potential safety hazards;
 - **Shutdown of equipment** when not in operation,
 - **Operating Equipment on Low Throttle;**
 - **Using Mechanical Grapples** instead of Thumbs and Buckets;
 - Use of **Hydraulic Pulverizers** and **Shears** where feasible instead of Hydraulic Hammering,
- the feasibility of each solution will be determined during the work process. NOVA's noise attenuation program meets and may exceed the City of Pittsburgh ordinances (Title VI, Chapter 601.4, Table "C" Exemptions) and OSHA 29 CFR 1910, and USEPA guidelines specific to NOVA demolition activities planned for the site. This is based upon NOVA's professional experience and historical real-time noise measurements conducted over the years on NOVA's projects. The maximum intermittent noise level that may be anticipated from NOVA's operations is between 80-96 decibels; by comparison a standard Street Sweeping Vehicle equipped with a diesel motor, rotary brushes and water jetting device yields approximately 80-85 decibels, dba, during peak operations. The sound measurements are based upon a distance of 50 feet from the source and represent an average of nineteen samples. Source: *"US Department of Transportation, Federal Highway Administration, 11/3015, Noise Reference Levels, Table 9.0 Construction Equipment, 1200 New Jersey Avenue, SE | Washington, DC 20590 | 202-366-4000."*

Work Hours

- Planned demolition work hours will be per the below work hours, which are more stringent than local requirements:
 - Mon-Fri: 7am - 6pm
 - Saturday: 9.30am – 6pm

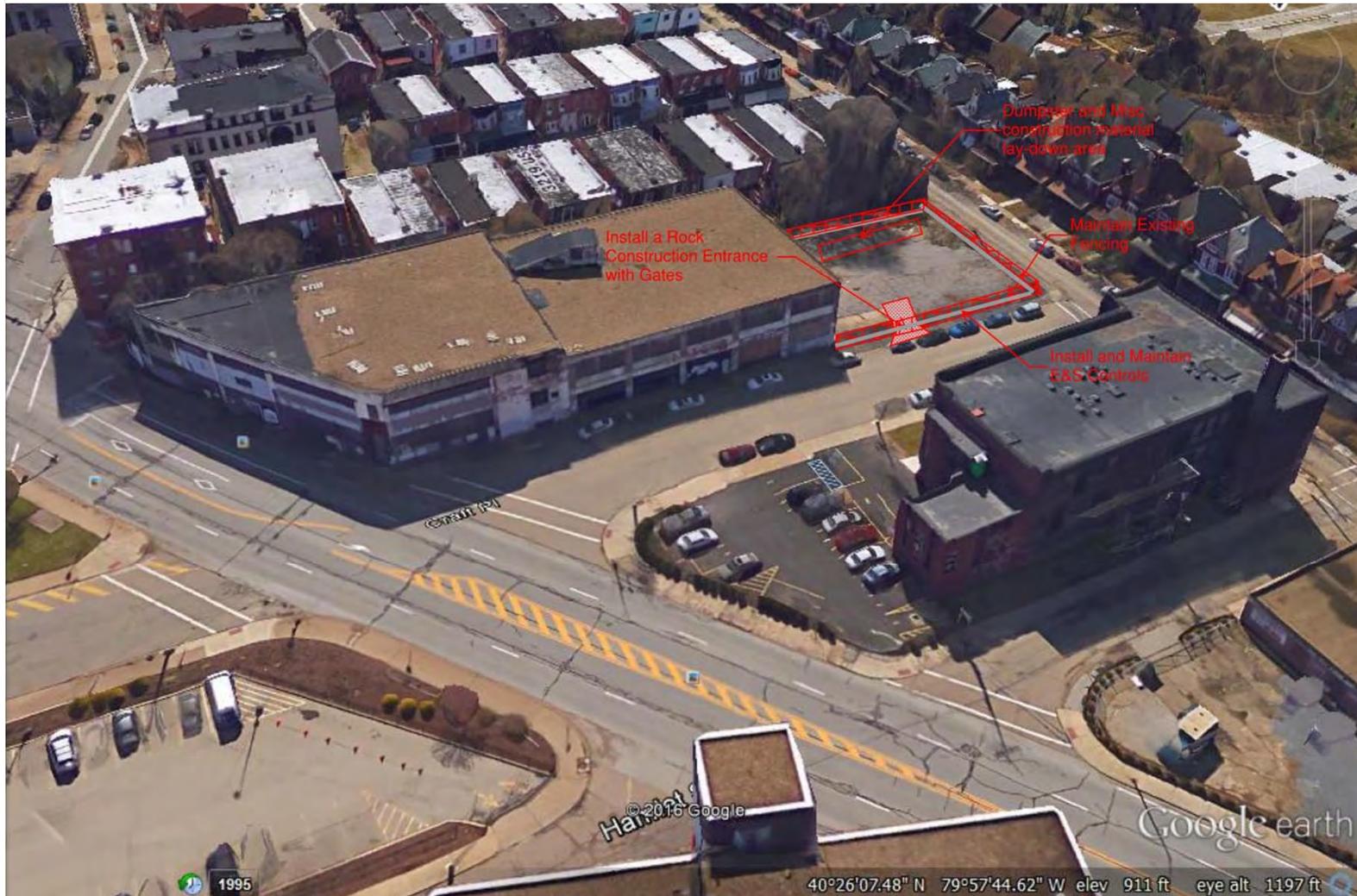
Demolition Planning and Phasing

Phase 1: Mobilization and Abatement



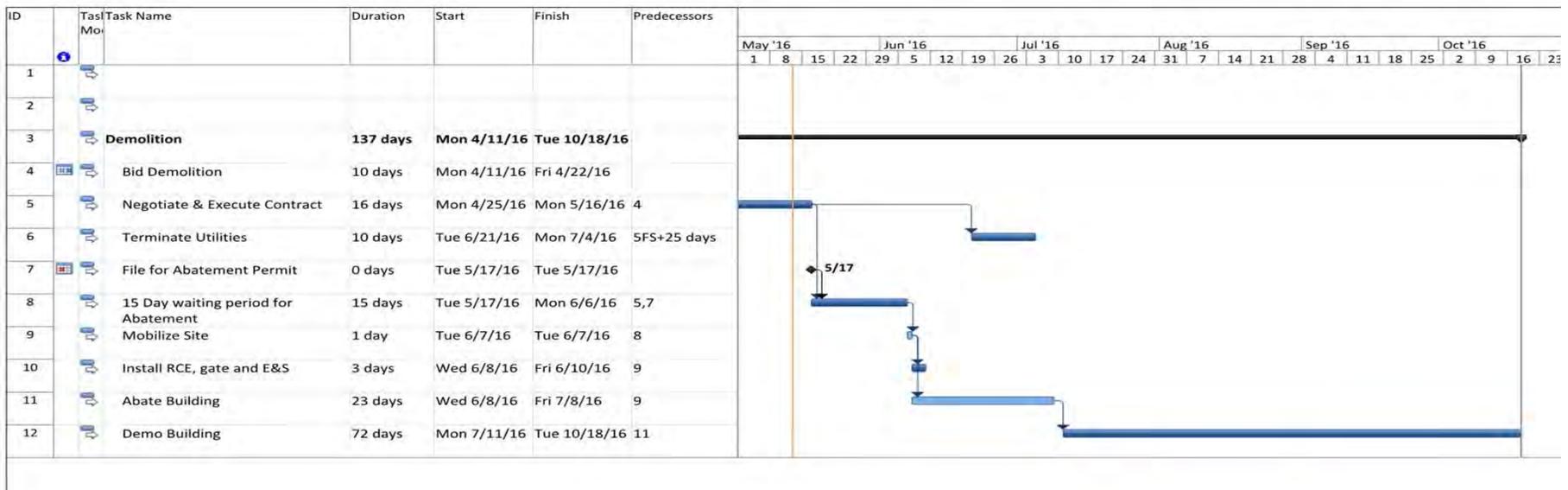
Demolition Planning and Phasing

Phase 2: Demolition



Duration of Demolition Activities

Demolition Schedule



Recycling of Materials and Environmental Impacts

- Recycling Program:
 - Ferrous metals recovered during demolition will be diverted from the waste stream and taken to a recycling facility.
 - Any crushed concrete accumulated during the demolition will be reused on-site or other construction sites when possible
 - Concrete material that doesn't have significant rebar in it will be taken to a concrete recycling facility which crushed the material for re-use
 - The general intent is to divert as much C&D debris and recoverable material from the typical waste stream as possible to maximize our recycling potential

Recycling of Materials and Environmental Impacts

- Environmental Impacts:
 - An abatement program is in place to properly address any hazardous conditions prior to demolition of the building. All hazardous materials that are abated will be properly disposed of by our licensed demolition and abatement contractor, Nova Environmental.
 - During the abatement and demolition Nova will conduct air monitoring.

Post Demolition Conditions



OXFORD
 CRAFT PLACE APARTMENTS
 Date: 05.13.16

PERMANENT SEEDING SPECIFICATIONS

MATERIALS

2.1 SEED

- A. GRASS SEED: FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH AOSA'S "RULES FOR TESTING SEEDS" FOR PURITY AND GERMINATION TOLERANCES.
- B. GRASS-SEED MIX: PROPRIETARY SEED MIX AS FOLLOWS:
 - 1. PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE THE FOLLOWING:
 - a. ERNST CONSERVATION SEEDS; "5311 CONSERVATION MIX".

PERMANENT SEED MIXTURE

PROPORTION BY WEIGHT

CREeping RED FESCUE (FESTUCA RUBRA)	30%
KENTUCKY BLUEGRASS, "CORSAIR" (POA PRATENSIS, "CORSAIR")	25%
KENTUCKY BLUEGRASS, "CADET" (POA PRATENSIS, "CADET")	25%
ANNUAL RYEGRASS (LOLIUM MULTIFLORUM (L. PERENNE VAR. ITALICUM))	10%
PERENNIAL RYEGRASS, "CONFETTI III" (TURF TYPE) (LOLIUM PERENNE, "CONFETTI III")	10%

2.2 MULCHES

- A. STRAW MULCH: PROVIDE AIR-DRY, CLEAN, MILDEW- AND SEED-FREE, SALT HAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY.
- B. FIBER MULCH: BIODEGRADABLE, DYED-WOOD, CELLULOSE-FIBER MULCH; NONTOXIC AND FREE OF PLANT-GROWTH OR GERMINATION INHIBITORS; WITH A MAXIMUM MOISTURE CONTENT OF 15 PERCENT AND A PH RANGE OF 4.5 TO 6.5.
- C. NONASPHALTIC TACKIFIER: COLLOIDAL TACKIFIER RECOMMENDED BY FIBER-MULCH MANUFACTURER FOR SLURRY APPLICATION; NONTOXIC AND FREE OF PLANT-GROWTH OR GERMINATION INHIBITORS.
- D. ASPHALT EMULSION: ASTM D 977, GRADE SS-1; NONTOXIC AND FREE OF PLANT-GROWTH OR GERMINATION INHIBITORS.

2.3 PESTICIDES

- A. GENERAL: PESTICIDE, REGISTERED AND APPROVED BY THE EPA, ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION, AND OF TYPE RECOMMENDED BY MANUFACTURER FOR EACH SPECIFIC PROBLEM AND AS REQUIRED FOR PROJECT CONDITIONS AND APPLICATION. DO NOT USE RESTRICTED PESTICIDES UNLESS AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION.
- B. PRE-EMERGENT HERBICIDE (SELECTIVE AND NONSELECTIVE): EFFECTIVE FOR CONTROLLING THE GERMINATION OR GROWTH OF WEEDS WITHIN PLANTED AREAS AT THE SOIL LEVEL DIRECTLY BELOW THE MULCH LAYER.
- C. POST-EMERGENT HERBICIDE (SELECTIVE AND NONSELECTIVE): EFFECTIVE FOR CONTROLLING WEED GROWTH THAT HAS ALREADY GERMINATED.

Exhibit 1– Nova Environmental Service’s Environmental D&D Plan

- See the attached Exhibit 1 for the full plan

STEEP SLOPE OVERLAY #16-001

27-J-202

City of Pittsburgh



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The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: University of Pittsburgh Phone Number: (412) 624-9500

Address: 3400 Forbes Ave City: Pittsburgh State: PA Zip Code: 15260

2. Applicant/Company Name: Owen Cooks Phone Number: (412) 383-2621

Address: 3400 Forbes Ave. City: Pittsburgh State: PA Zip Code: 15260

Applicant/Contractor ID:(assigned by the City)

3. Development Name: Trees Field Renovation Project

4. Development Location: University of Pittsburgh

5. Development Address: Champions Drive (365 Robinson St.) Pittsburgh, PA 15213

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) N/A

Proposed Zoning District:

Present Use of Site: College or University Campus
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: Date Issued: Existing Use of Property: College or University Campus

8. Estimated Construction: Start Date: 05/01/16 Occupancy Date: 10/31/16 Project Cost: \$ \$11M

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list):

10. Select the Type of Work:

- New Construction, New Renovation, Interior
 New Construction, Renovation, Exterior
 Change in Use Only Renovation, Change in Use

11. Describe the Development:

The University of Pittsburgh desires to increase the dedicated outdoor facilities available for campus recreation, intramural teams and club sports at the Oakland Campus.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 2 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	N/A	sq ft	
Existing to be Retained:	N/A	sq ft	
Retained Area to be Renovated:	925	sq ft	
To be Constructed:	100,074	sq ft	98,399 SF Air Structure + 1,675 SF Storage Building
Building Footprint:	100,999	sq ft	100,074 SF Total

15. Height of Structures:

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure Air Structure			1	Approx 80'-0"
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				
Storage Building			1	13'-4"

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: _____

17. Lot Area: 323,215 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

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21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> </u> Yes	New Water Service Connection(s)	<u> </u> No	Termination of Existing Water Service Tap(s)
<u> </u> Yes	New Sewer Service Connection(s)	<u> </u> No	Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
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WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

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- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



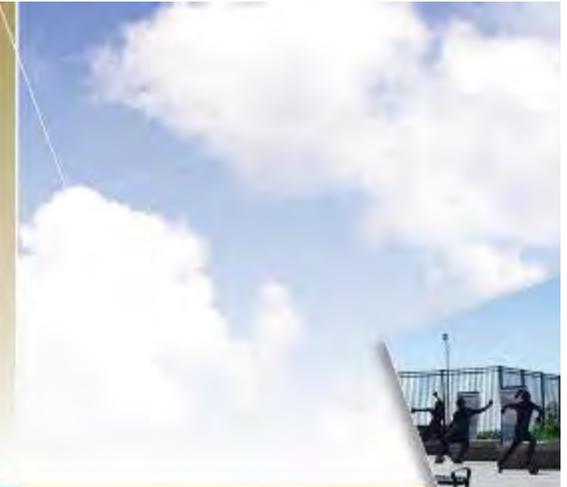
2/24/2016



University of Pittsburgh

Trees Field Renovation Project

Job. No. X5743



**CDM
Smith**

Presentation Outline

- Introduction
- Location Map
- Site Accessibility Plan
- MSE Wall
- Street views
- Landscaping Plan
- Sustainability and Stormwater Management
- Geotechnical
- Athletic Field Lighting
- Community Outreach
- Summary

Introduction

- **Proposed Development:** Part of the University of Pittsburgh's Institutional Master Plan
- **Address:** Trees Field; 570 Champions Drive; Pittsburgh,PA;15219
- **Zoned:** Educational/Medical Institution (EMI)
- **Description:** The development site that is the focus for this hearing consists of approximately 20 acres of the University's land holdings generally bounded by Center Avenue to the North, Aliquippa Street to the South and East, and Champions Drive to the West. The University of Pittsburgh desires to increase the dedicated outdoor facilities available for campus recreation, intramural teams and club sports at the Oakland Campus



Location Map – University of Pittsburgh



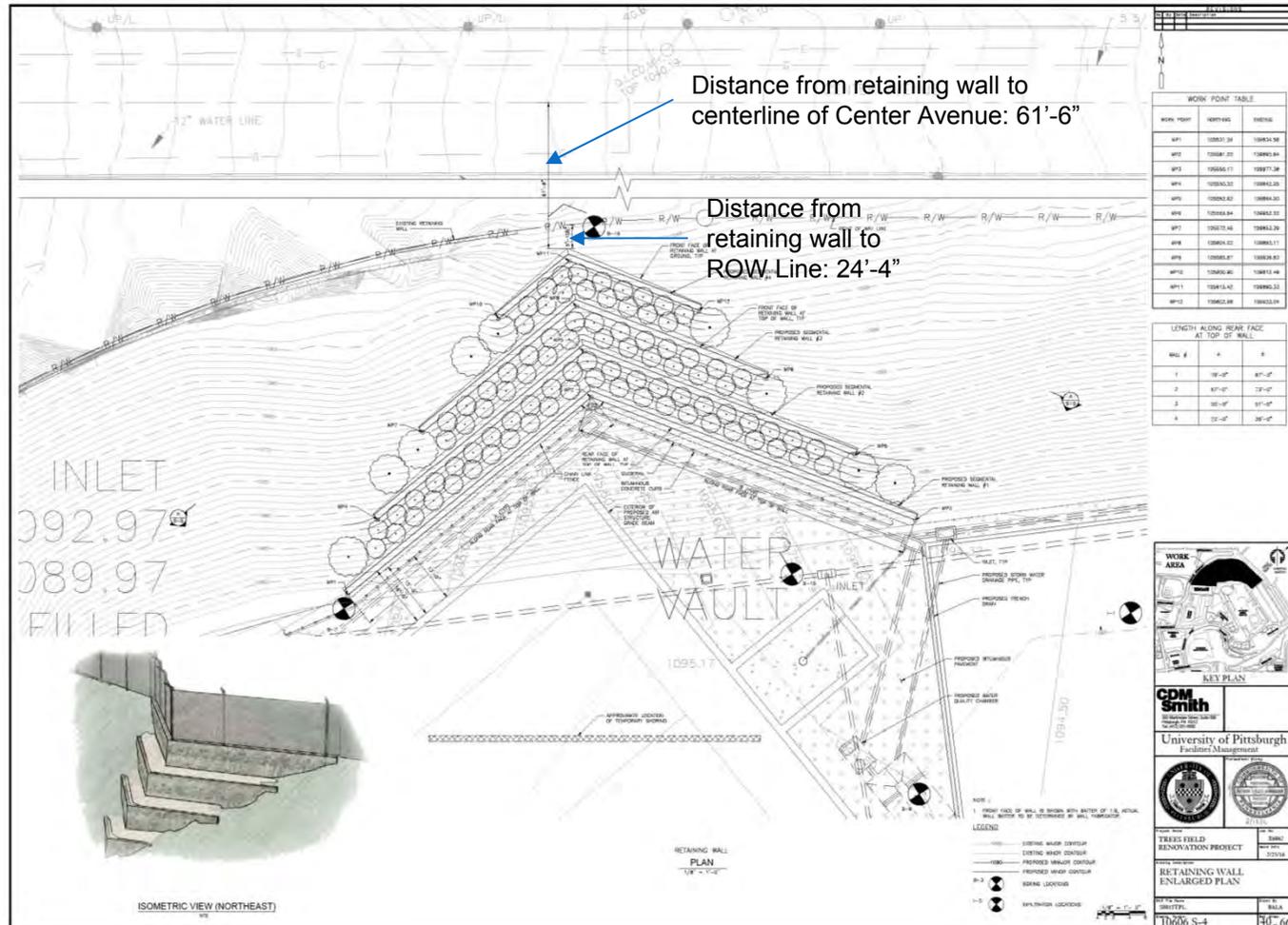
Bird's Eye View-North East to South West



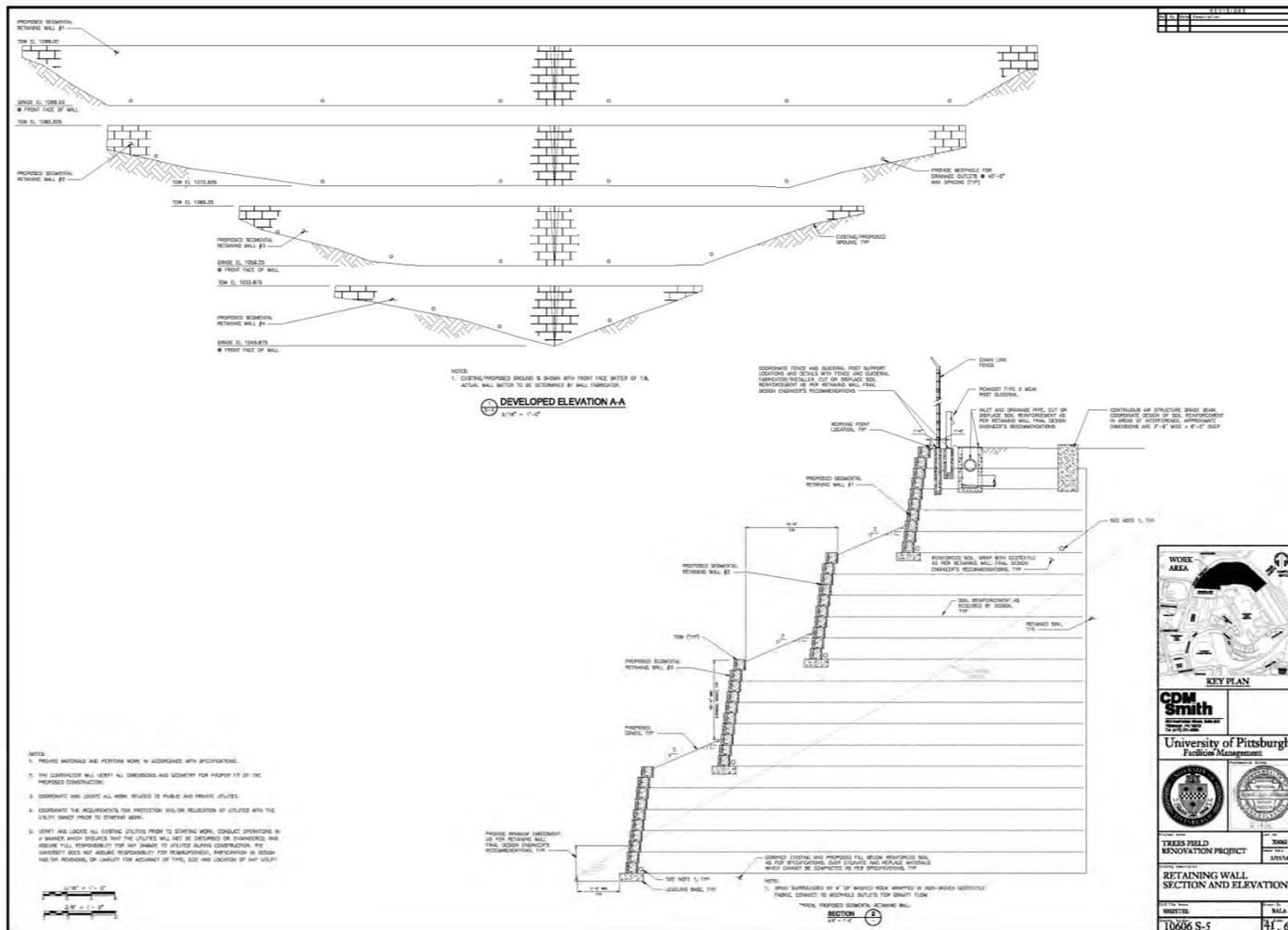
Site Accessibility Plan



Site Plan- Mechanically Stabilized Earth(MSE) Wall



Elevation- Mechanically Stabilized Earth(MSE) Wall



Perspective-MSE Streets View



Perspective- Landscaping Streets View



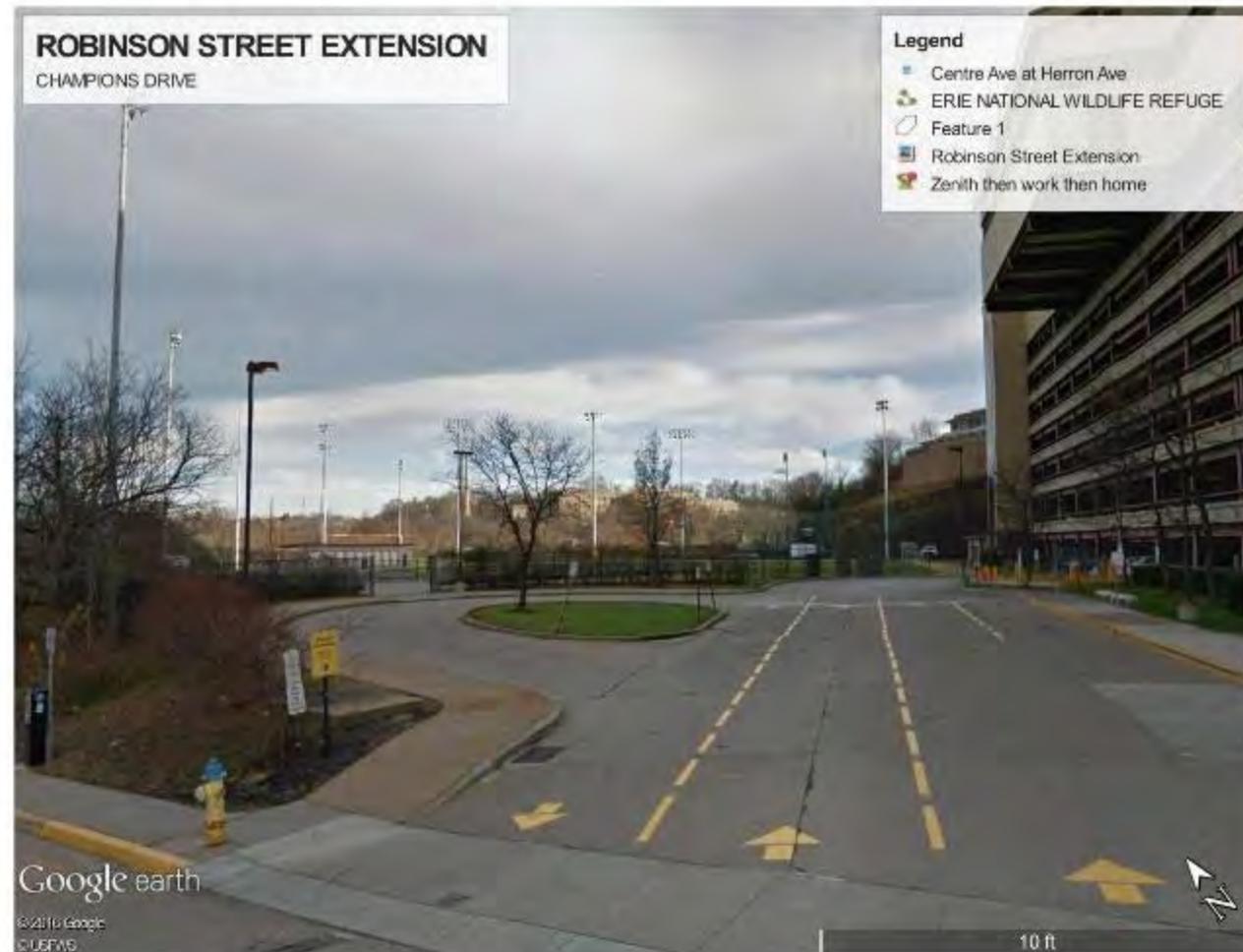
MSE Wall Material Board – Slate Blend Color



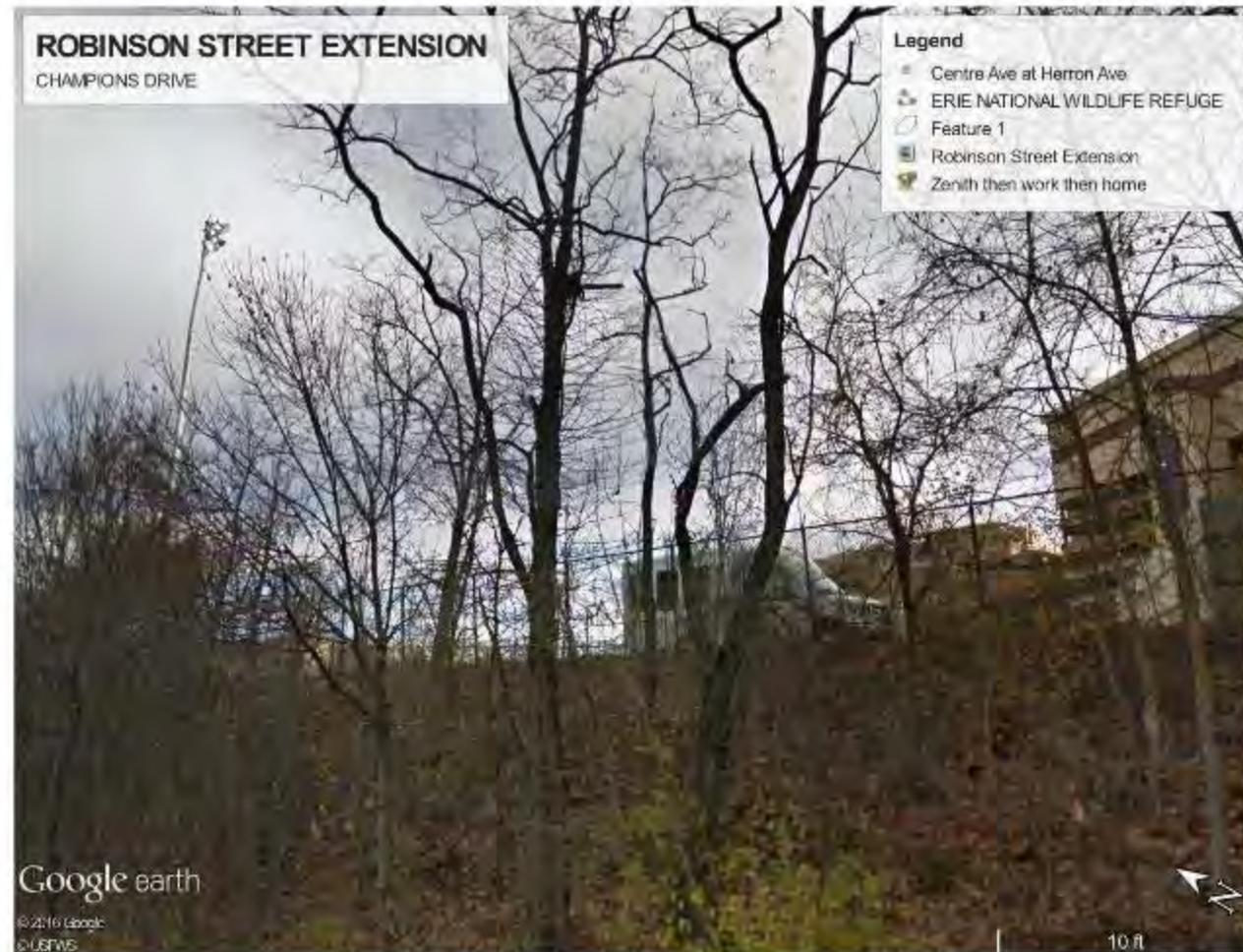
Landscaping – Grading and Cut and Fill Standards

- The grading shall preserve natural landforms and existing drainage patterns.
- Proposed development shall minimize impervious surfaces
- We are proposing MSE terraced walls of not more than 10'-0" of exposed face sufficient to stabilize and ensure the slope shall pose no significant risk or danger while meeting the Steep Slope Overlay Requirements set by the Planning Commission.
- Retaining wall shall follow the existing hillside contours and avoid unnatural slope faces while utilizing natural colored masonry compatible to their surroundings.
- Native species shall be utilized for revegetating the site.

Google Earth Pro Streets View



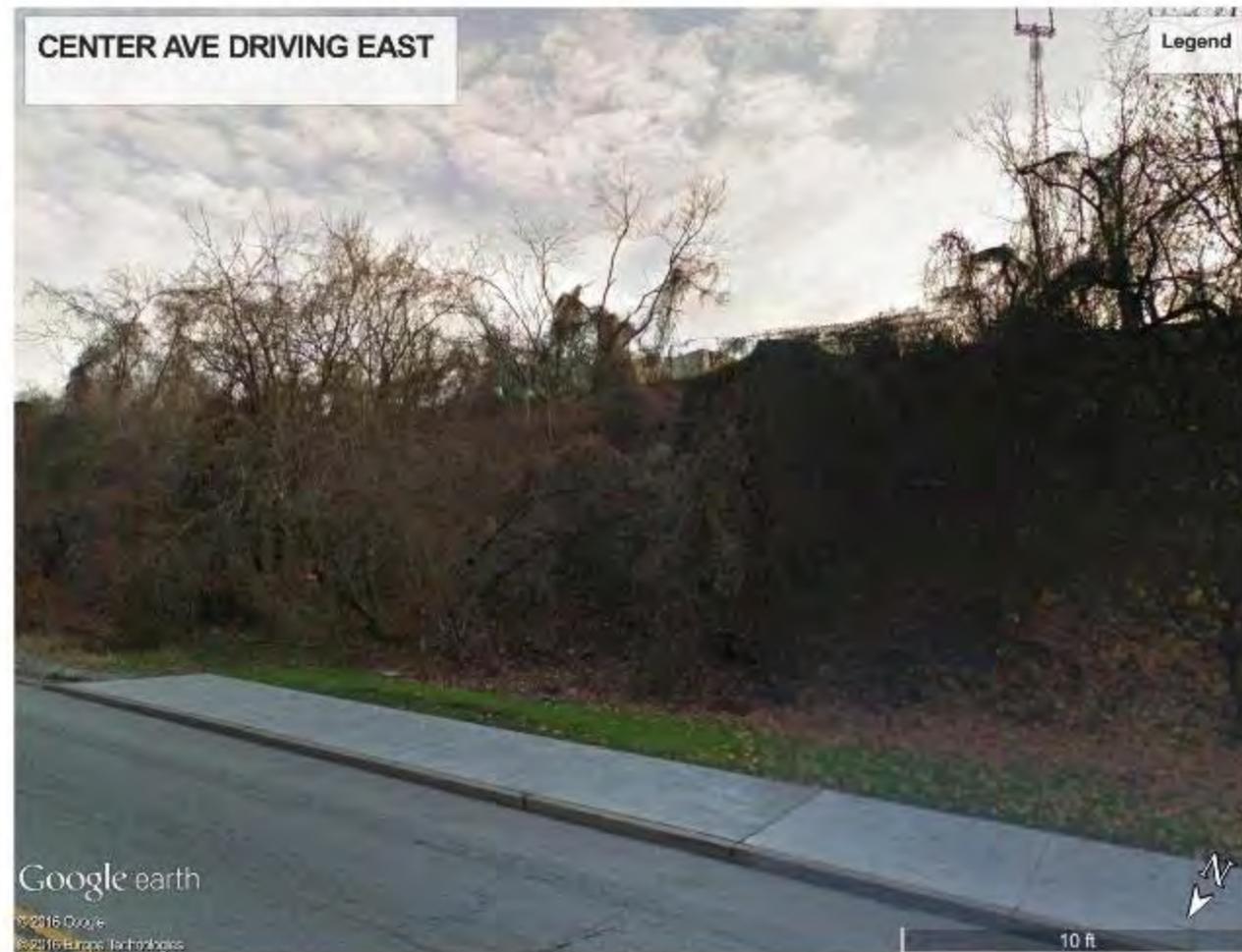
Google Earth Pro Streets View



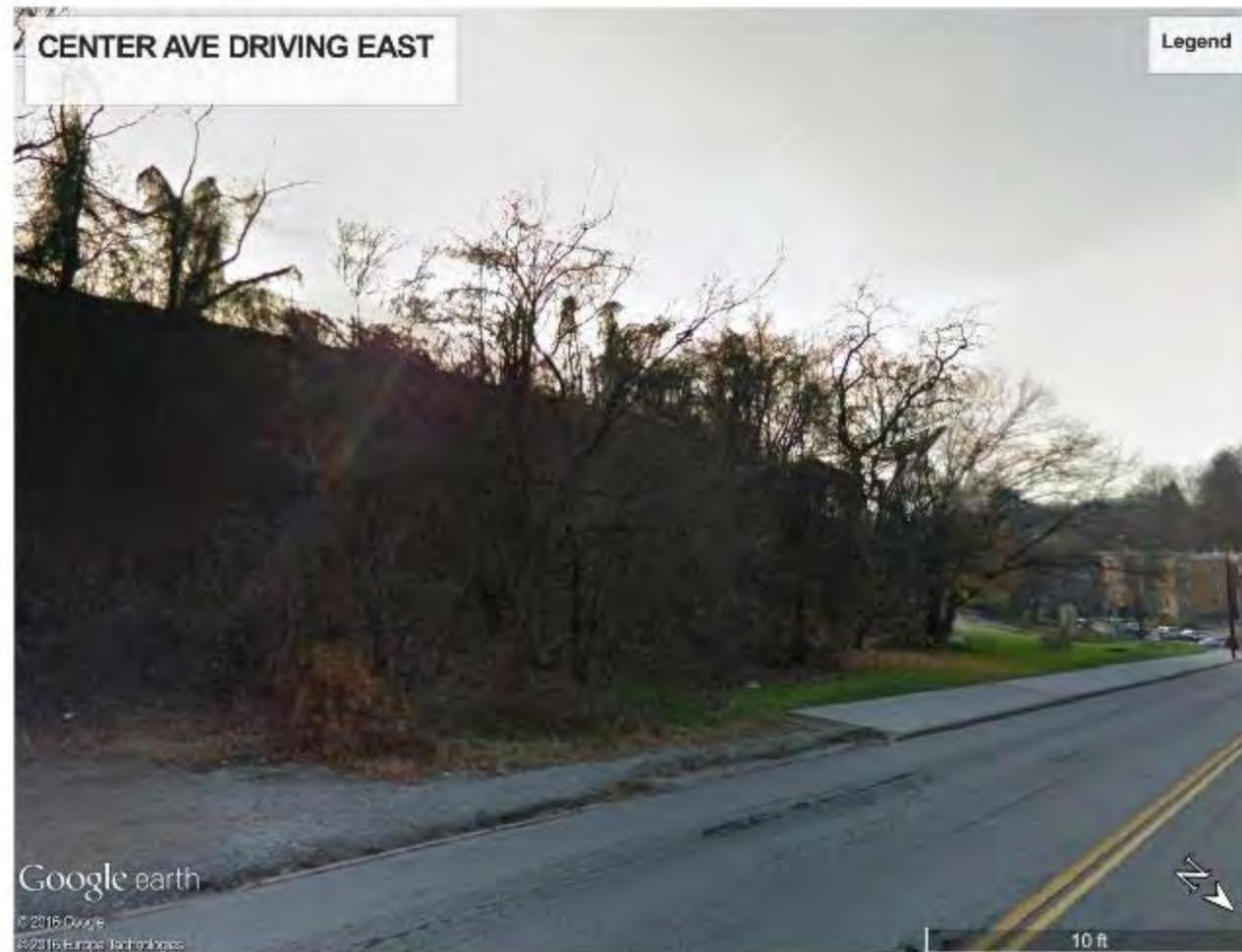
Google Earth Pro Streets View



Google Earth Pro Streets View



Google Earth Pro Streets View



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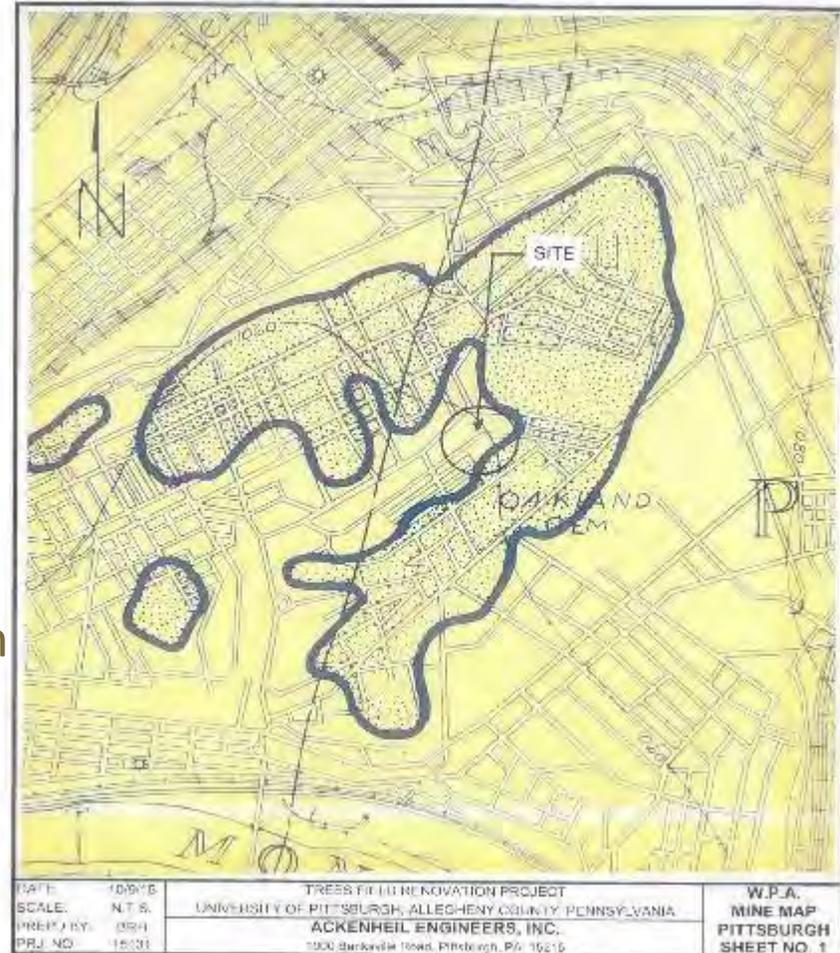
Sustainability and Stormwater Management

Sustainability Definition – Rate of renewable resource harvest, pollution creation, and non-renewable resource depletion.

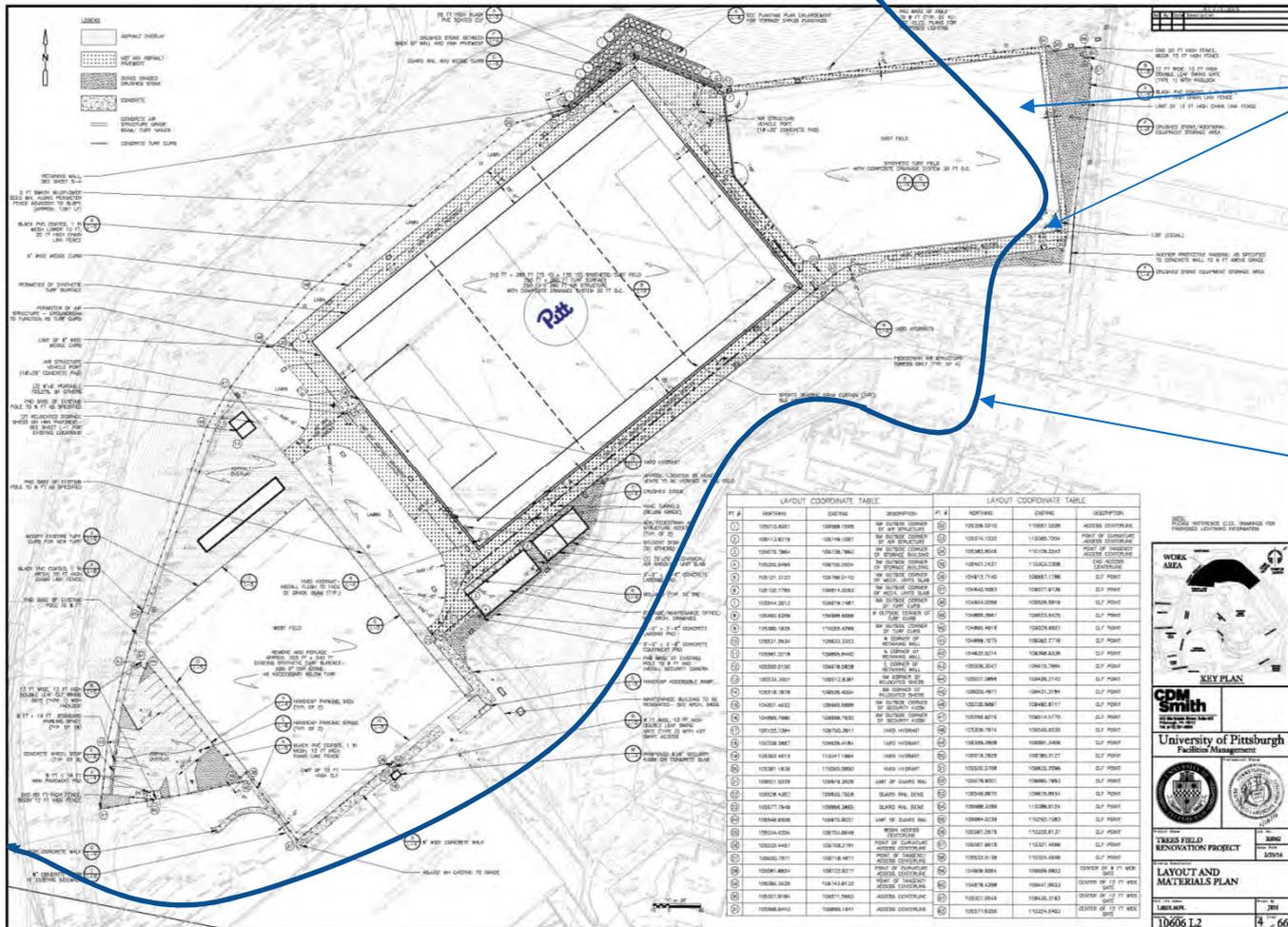
- The proposed Storm Water Management System (SWMS) utilizes infiltration to return water to the underground aquifer.
- Water quality units are utilized to removed pollutants prior to entering the infiltration system to maintain the soils infiltration capacity.
- The Proposed SWMS drains to the Monongahela River.
- Reduces the Post-construction runoff to below Pre-construction runoff rates for the 2, 5, 10, 25, 50, and 100 year storms and retains the first 1.2” of runoff from the site as required by the City of Pittsburgh’s Stormwater Management Ordinance.

Geotechnical-Work Program Administration (WPA) Mining Map

- Southern and eastern portion of the west athletic field (<10%) may be undermined at the Pittsburgh Coal Seam with a coal seam outcrop elevation at 1060 feet.
- Proposed finish elevation of synthetic turf field is at 1095.00 feet.
- Deepest elevation of drainage structure, piping and/or foundation is 1085.92 feet, which is ~25 feet higher than outcropping.
- No known history of subsidence events



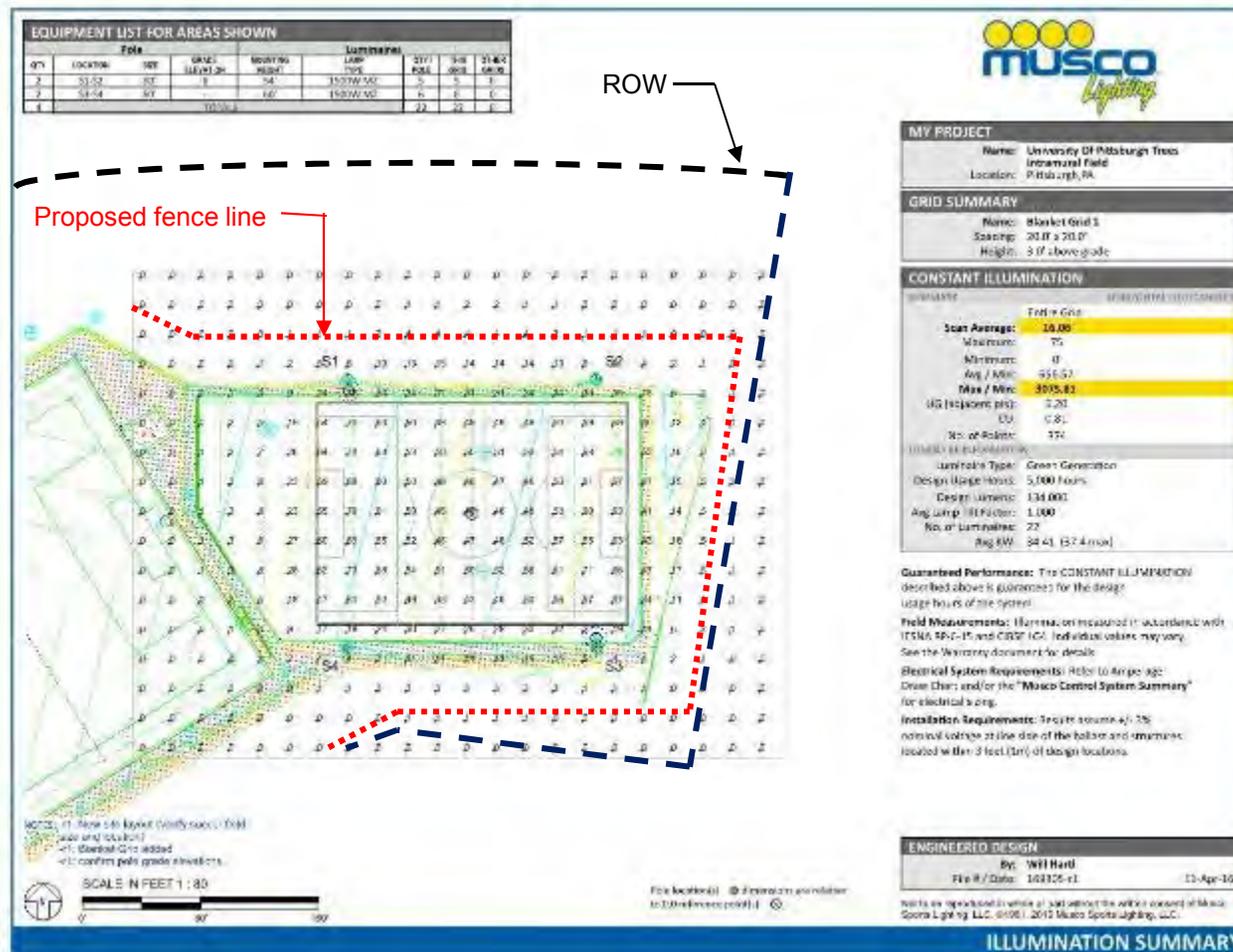
Geotechnical-Work Program Administration (WPA) Mining Map



Areas affected by potential undermining

Boundary of mining map

Athletic Field Lighting-Photometrics



Athletic Field Lighting

- Pole height: 60 feet
- Luminaires: total of 5 or 6 per pole, 1500 watts, will incorporate shielding to prevent light spillover
- Minimal glare
- Light cutoff will be near ROW for adjoining non occupied properties



Community Outreach

The University of Pittsburgh has met with various Community Organizations to review the project:

- Oakland Task Force
- Hill Community Development Corporation
- Hill District Consensus Group
- Hill House Association
- Oak Hill Resident's Council
- Brackenridge/Avalon
- Schenley Heights Community Development
- Veteran's Hospital- Pittsburgh-Oakland
- City Councilman Daniel Lavelle (District No. 6)
- Wesley Center AME Zion Church
- Department of Labor

Summary

- The University of Pittsburgh desires to increase the dedicated outdoor facilities available for campus recreation, intramural teams and club sports at the Oakland Campus.
- The project includes an Air Supported Structure, MSE wall, and Maintenance and Storage buildings.
- The Air Supported Structure dimensions dictate a requirement for the installation of a new terraced mechanically stabilized earth wall along Center Avenue.
- The effort of this presentation is to request Planning Commission understanding and approval of this project.

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <u>CARNEGIE MELLON UNIV.</u>	Phone Number: <u>(412) 262-5259</u>		
Address: <u>5000 FORBES</u> City: <u>PITTSBURGH</u>	State: <u>PA</u>	Zip Code: <u>15204-213</u>	
2. Applicant/Company Name: <u>BOB KETTE</u>	Phone Number: ()		
Address: City: State: Zip Code:			

Applicant/Contractor ID:(assigned by the City)

3. Development Name: 412 FIFTH AVE

4. Development Location: FIFTH AVE EAST OF CLYDE ST.

5. Development Address: 412 FIFTH AVE

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:	
Present Use of Site: (Select from attached list)	<u>VACANT BUILDING, PARKING</u>

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#:	Date Issued:	Existing Use of Property:
----------------------------	--------------	---------------------------

8. Estimated Construction: Start Date: 1 SEP 2016 Occupancy Date: 1 MAY 2017 Project Cost: \$ 6.5M

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): ADMINISTRATIVE OFFICE + MEETING; SURFACE PARKING

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development:

RENOVATION OF EXISTING 4-STORY BUILDING FOR ADMINISTRATIVE OFFICES AND A NEW 4-STORY ADDITION FOR ELEVATOR/STAIR TOWER AND 85 SURFACE PARKING SPACES

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: _____ sq ft
 Existing to be Retained: 21,450 sq ft
 Retained Area to be Renovated: 21,450 sq ft
 To be Constructed: 2,141 sq ft
 Building Footprint: _____ sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	<u>4</u>	<u>55</u>	<u>4</u>	<u>55</u>
Proposed Addition/Extension			<u>4</u>	<u>55</u>

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 67,202 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	<u>40</u>	<u>56</u>
Compact (7 1/4' x 16')		<u>25</u>
Handicap (13 1/2' x 19')	<u>2</u>	<u>4</u>

Off-Street Loading Spaces: N/A
 Actual: 1
 Required: 1

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

1 New Water Service Connection(s) 1 Termination of Existing Water Service Tap(s) (accessory hdq)
New Sewer Service Connection(s) Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES * NO * lowering consumption & discharge

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: RBR 29 APR 2015

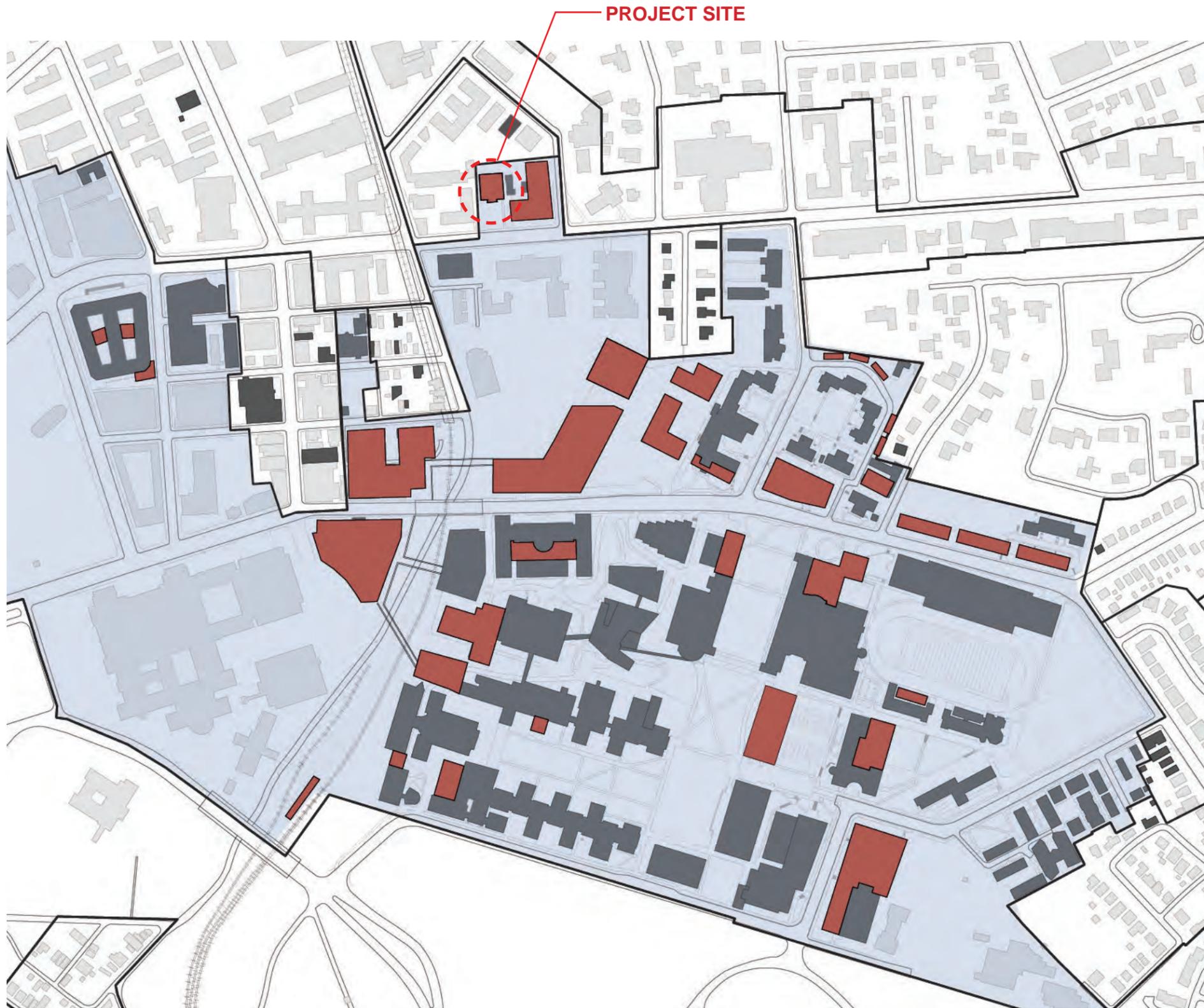
Carnegie Mellon University

4721 Fifth Avenue Addition and Renovation



GBBN
architects

Carnegie Mellon University



4721 Fifth Avenue Addition and Renovation

Project Overview

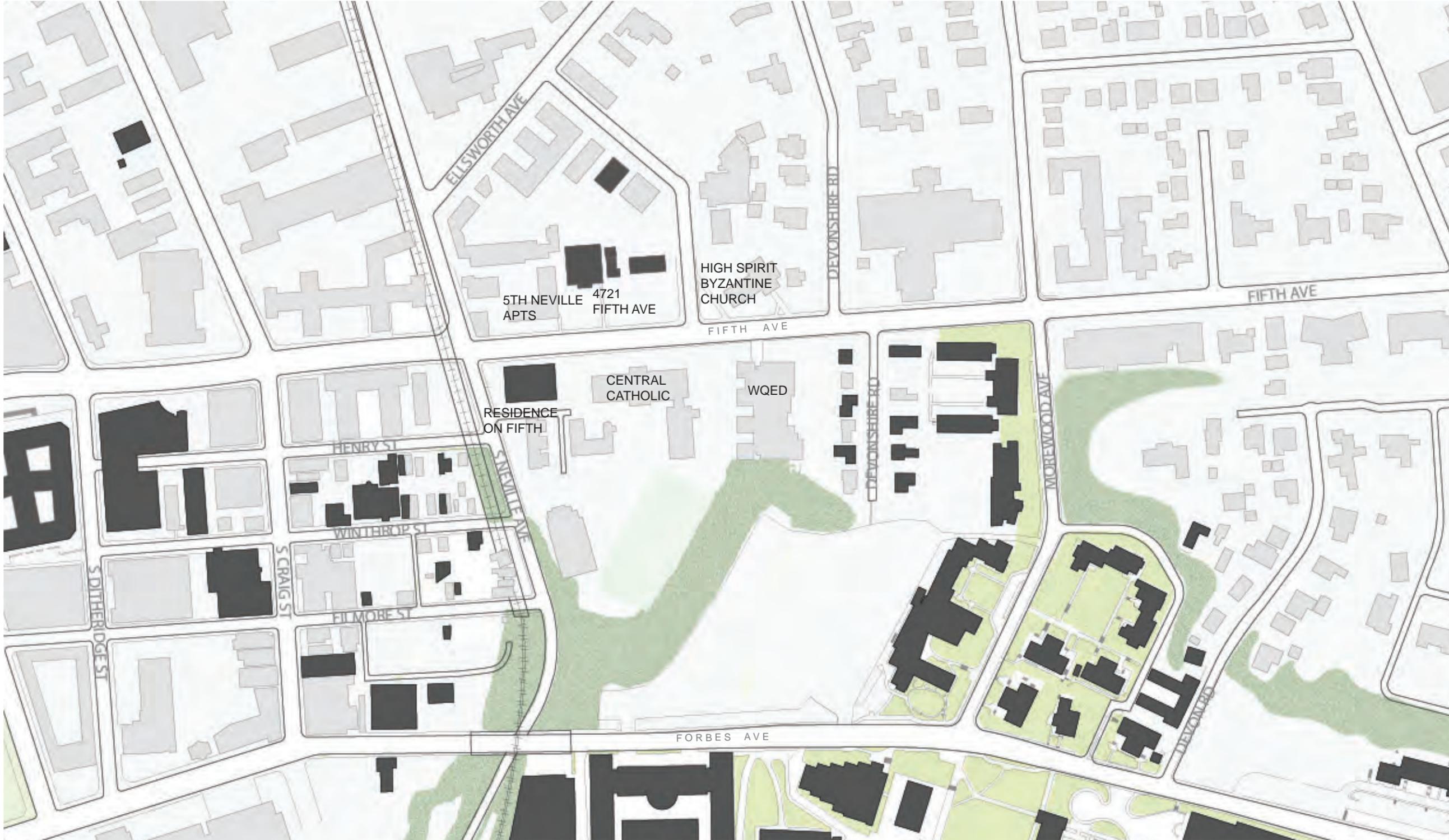
Renovation of the 20,000 square foot building and Addition to focus on making the facility code compliant and transforming the interior spaces to an office function for the Marketing and Communication group of Carnegie Mellon University.

Addition: Four story addition totaling roughly 2000 square feet including restrooms, an elevator, and fire stair.

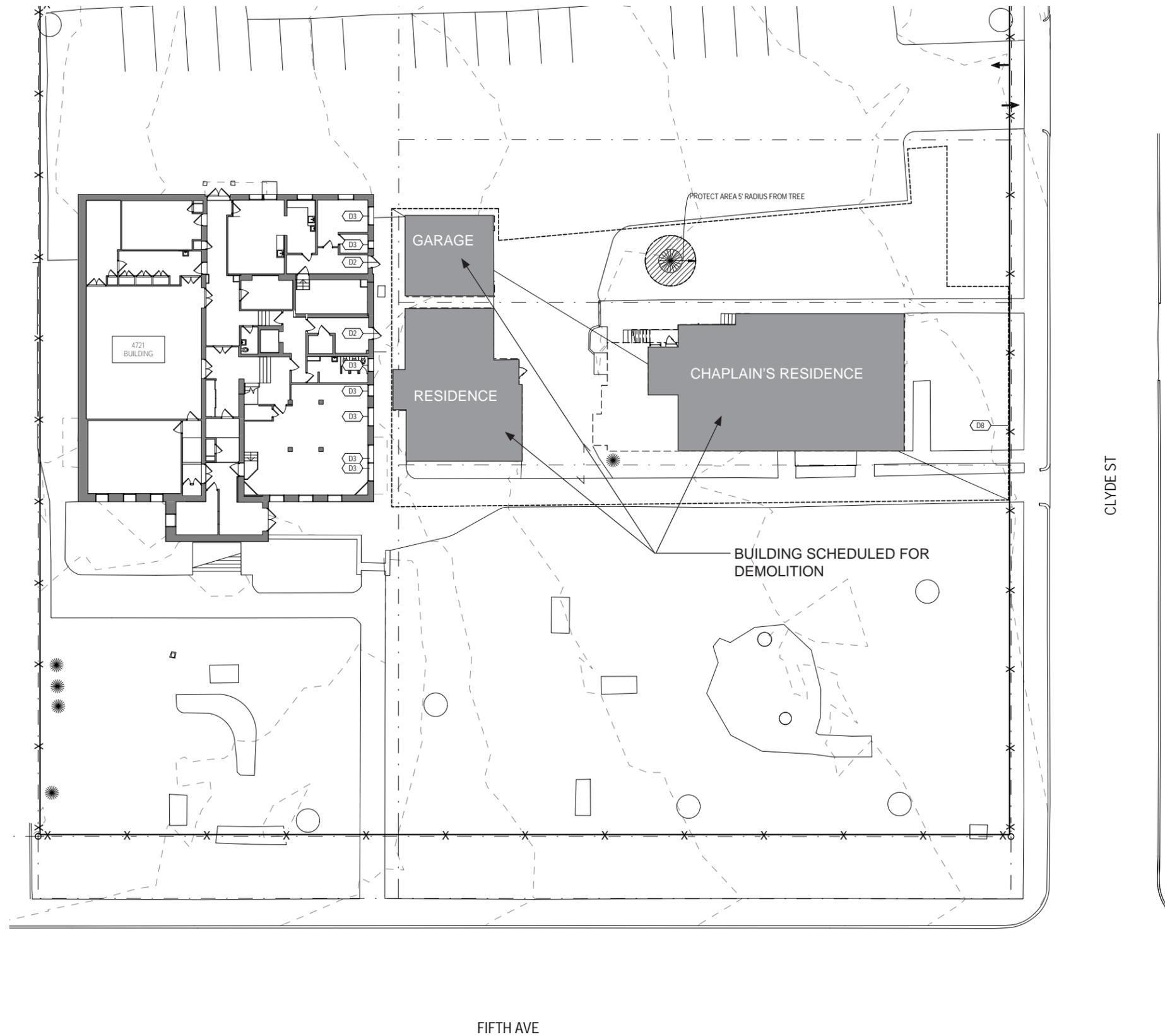
Renovation: Marketing and Communications group will inhabit Levels 1 through 3 with offices, and conference spaces. The ground level will be occupied by another university tenant.

Demolition: In order to allow for the addition to be implemented, the demolition of the garage, a small residence and the Chaplain's residence must be performed.

LOCATION PLAN



Demolition Plan



4721 Fifth Avenue Addition and Renovation

Existing Fifth Avenue Facade





4721 Fifth Avenue Addition and Renovation

Existing Rear of Building





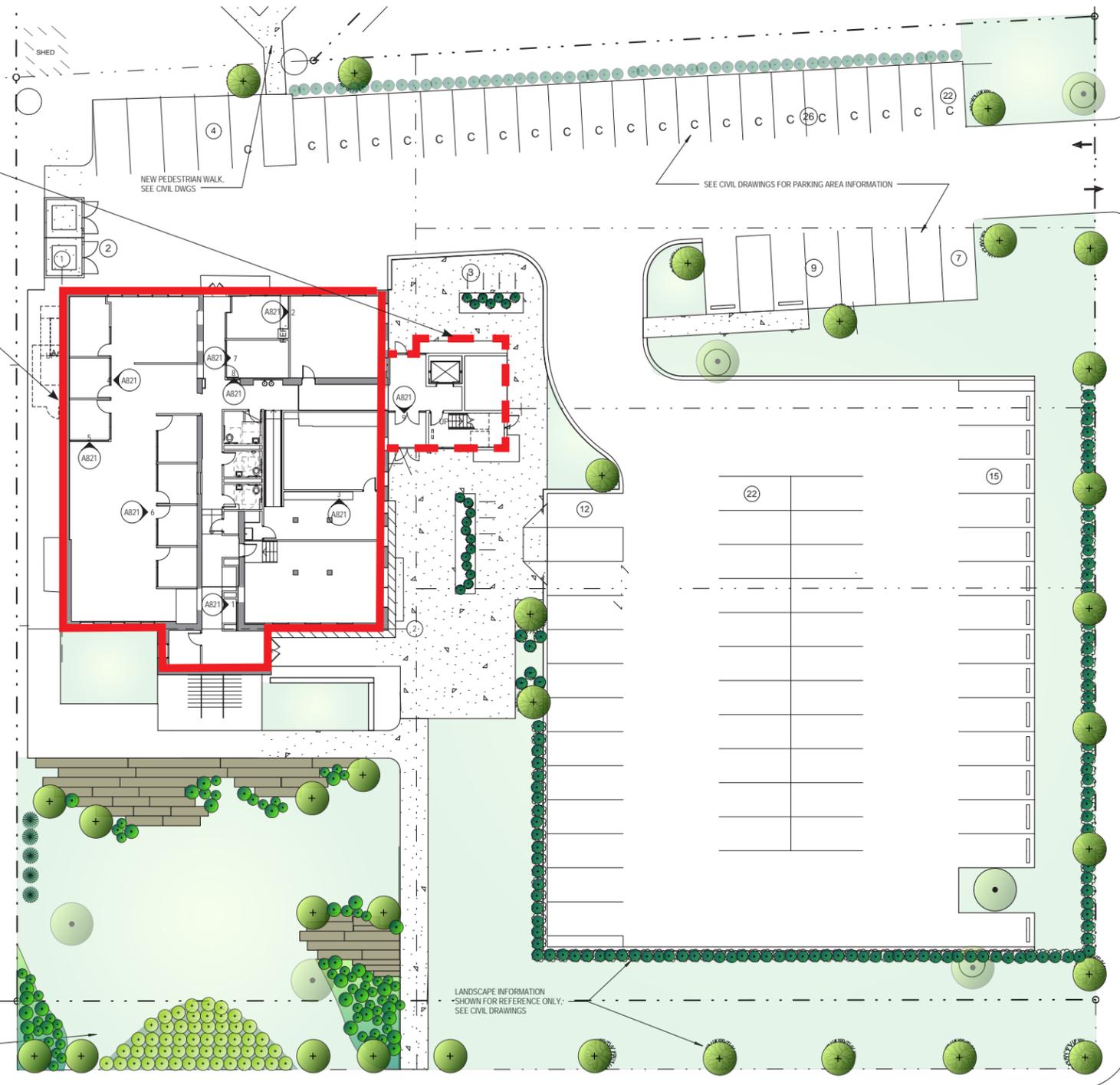
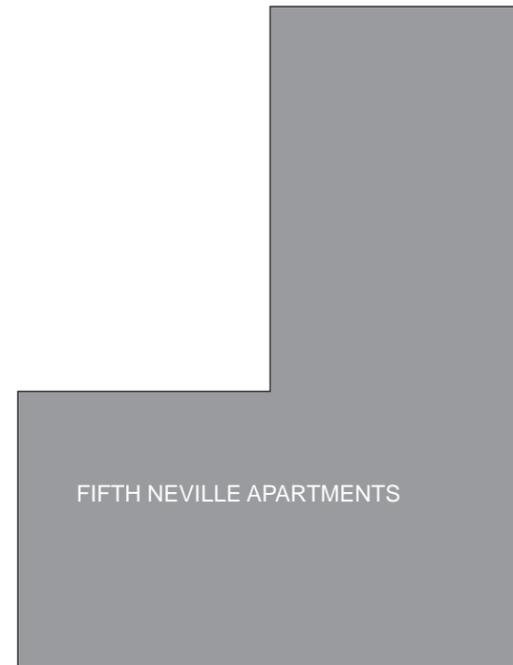
4721 Fifth Avenue Addition and Renovation

Existing East Facade

Site Plan

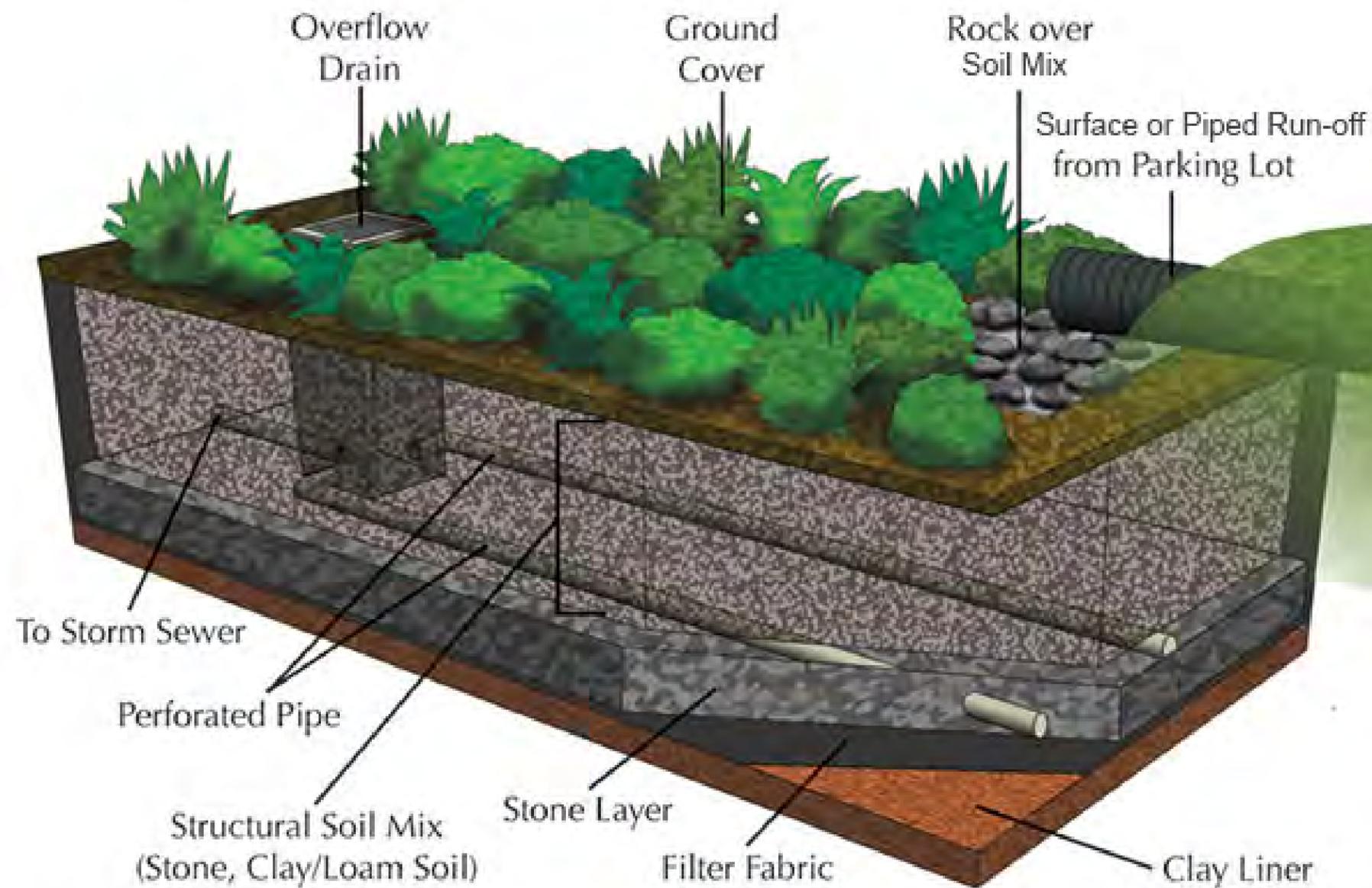
PROPOSED
ADDITION

EXISTING 4721
BUILDING



CLYDE STREET 50.06'

5TH AVENUE 78'



Infiltration Trench

The project embodies fundamental principles of sustainable design.

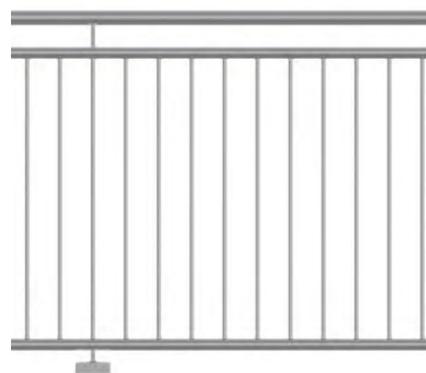
- Stormwater management via an infiltration trench capturing the stormwater runoff from the paved zone.
- Native plantings to limit the need for permanent irrigation.
- High performance rainscreen facade system
- Low-emitting construction materials
- Enhanced commissioning of project.
- Construction waste diverted from landfill at 75% rate.
- All LED lighting to be installed for existing building and addition.
- The project will achieve LEED Silver Certification at a minimum though currently tracking LEED Gold.



South Facade
EXISTING BUILDING



EXISTING BRICK



PAINTED STEEL - RAILINGS



FLOAT / STANDARD CLEAR GLASS

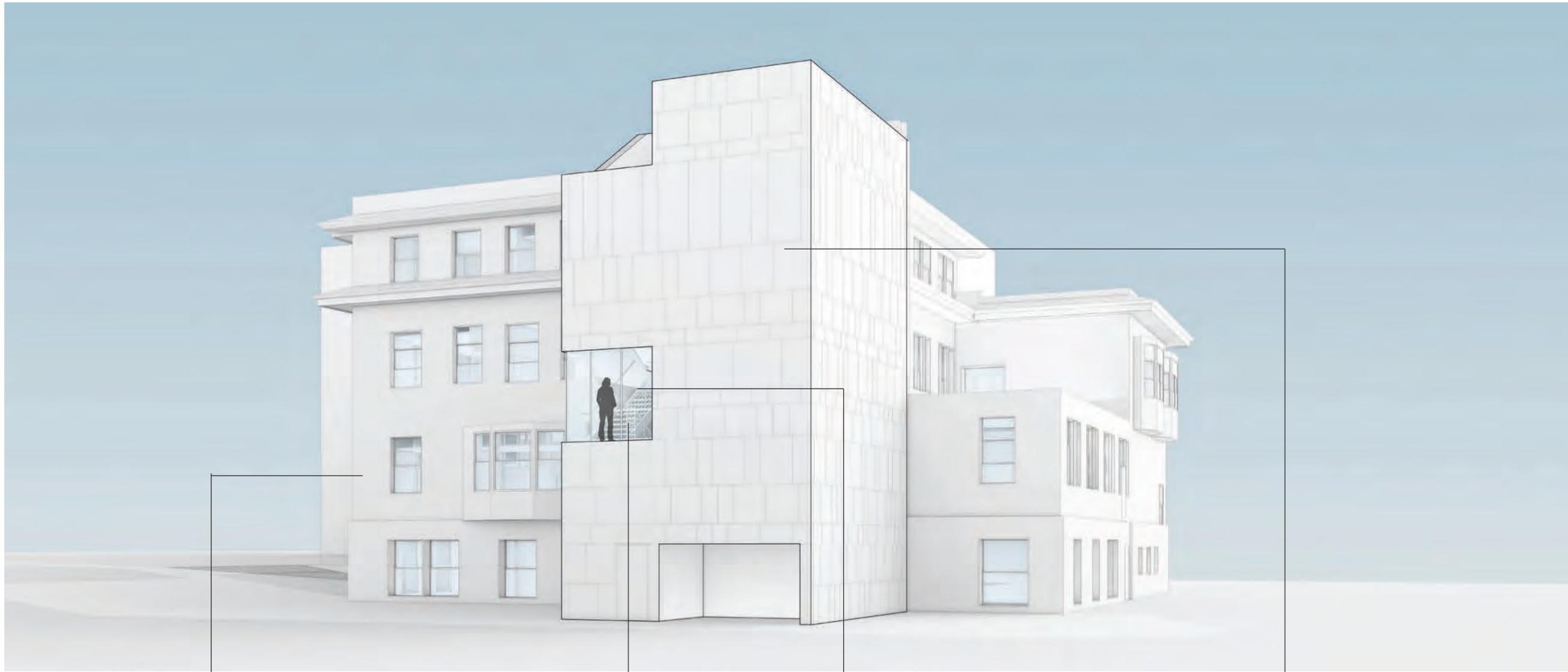
CLEAR GLASS



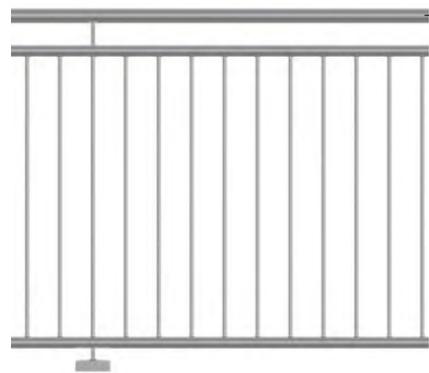
MIXED GRAY TONES: GFRC - CLADDING

South Facade PROPOSED ADDITION





EXISTING BRICK



PAINTED STEEL - RAILINGS



FLOAT / STANDARD CLEAR GLASS

CLEAR GLASS



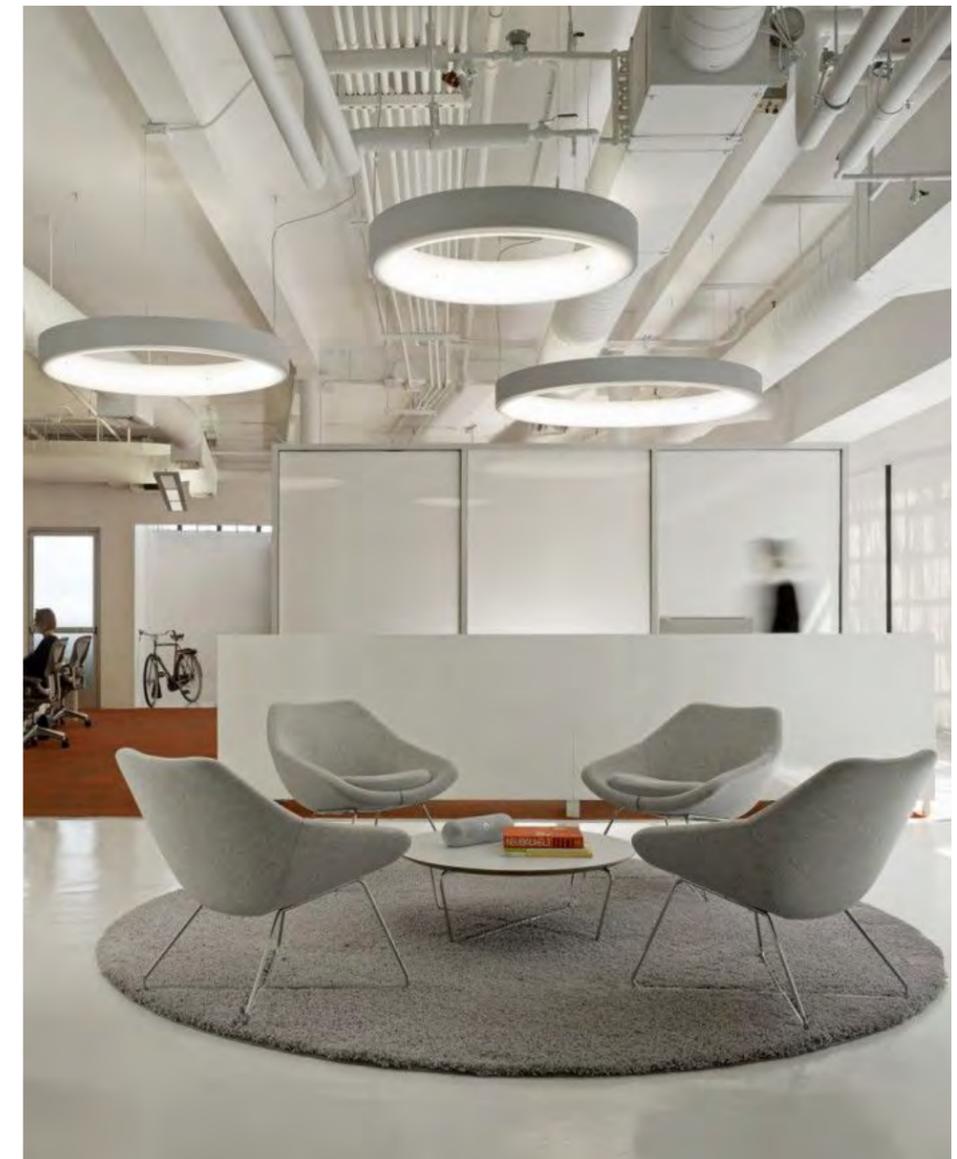
MIXED GRAY TONES: GFRG - CLADDING

East Facade PROPOSED ADDITION



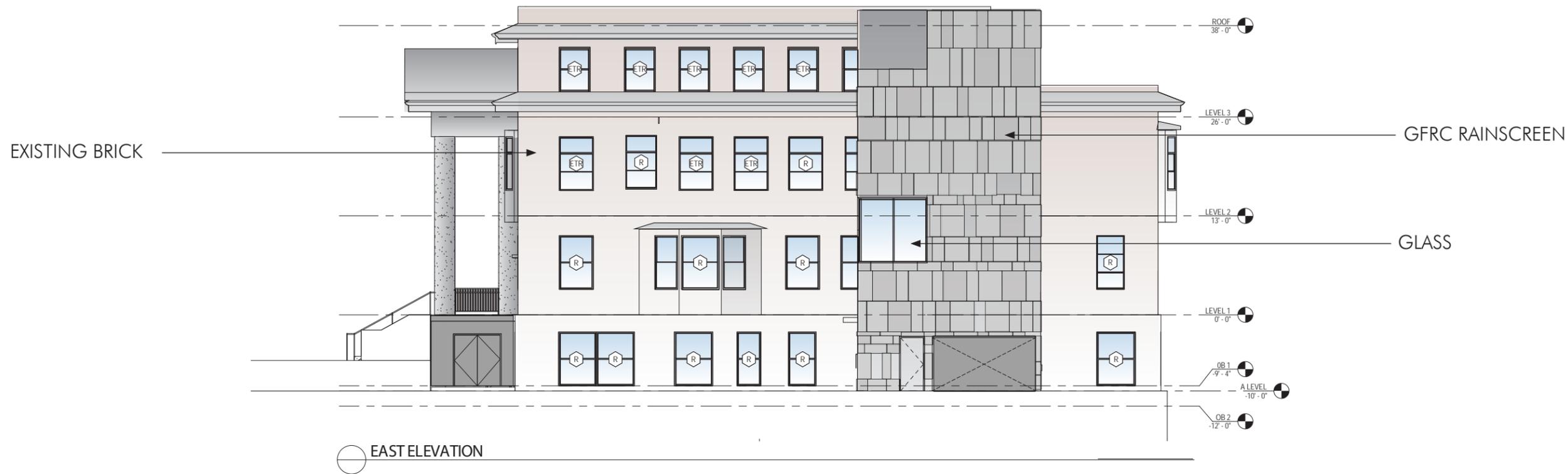


Communal Area



Reception Area





The Pittsburgh Code, Title Nine – Zoning, Article IX – Measurements or Definitions, Chapter 925 - Measurements by adding language to permit to permit building additions and accessory structures within setbacks under certain conditions:

The Council of the City of Pittsburgh hereby enacts as follows:

Section 1. The Pittsburgh Code, Title Nine – Zoning, Article IX – Measurements and Definitions, Chapter 925, Measurements, Section 925.06.A, Features Allowed Within Setbacks is hereby amended as follows:

925.06.A Features Allowed Within Setbacks

The following structures and features may be located within required setbacks:

1. Trees, shrubbery or other features of natural growth provided that they do not obstruct vehicular sight distances;
2. Open ornamental fences, hedges, landscape architectural features or guard railings around depressed ramps, in any required yard or court, if, except when in a closed court, maintained at a height of not more than four (4) feet above the ground level adjacent thereto;
3. Fences or lattice-work screens or walls not more than six and one-half (6½) feet in height, or hedges or thick growth of shrubs, maintained so as not to exceed such height, in any required side or rear yard or court, provided they do not extend closer to a street than the buildable area of the lot. Barbed wire and razor edge are not permitted.
4. Railings not more than three and one-half (3½) feet in height constructed on any balcony, stairway, porch or landing platform;
5. Driveways and sidewalks;
6. Signs, provided that they are specifically permitted by the sign regulations of this Code;
7. Bay windows, architectural design embellishments, and cantilevered floor areas of dwellings that do not project more than two (2) feet into the required setback;
8. Eaves that do not project more than two (2) feet into the required setback;
9. Entrance hoods, terraces, canopies and balconies that do not project more than five (5) feet into a required front or rear setback nor more than two (2) feet into a required side setback;
10. Chimneys, flues and ventilating ducts that do not project more than two (2) feet into a required setback and when placed so as not to obstruct light and ventilation;

11. Utility lines, wires and associated structures, such as power poles; and
12. Retaining walls, provided that they do not obstruct vehicular sight lines.
13. Open outside stairways or fire escapes that do not project more than four (4) feet into a required side or rear yard;
14. Open structures such as porches, decks or landing places which do not extend above the first floor of the building, with railing no more than forty-two (42) inches high, and with no roof construction measuring more than four (4) feet from the under side of the supporting plate to the top of the roof, may be erected:
 1. In required front or rear yards, or side yard abutting a street, provided the structure is not more than nine (9) feet in depth and not nearer an abutting interior lot line than required width of the side yard; or the existing side wall setback whichever is the minimum amount;
 2. The space beneath the projecting porch, decks or landing place may serve as part of an interior minor garage, provided no portion of the garage extends above the adjoining ground level or farther into the yard than the open porch, deck or landing place and no garage doors open outward.
15. Access ramps and lifts for people with disabilities ~~having a ramp that does not project more than forty (40) inches into a required front, side or rear setback, and~~ with review of the design, construction and location by the Zoning Administrator to insure appropriate context with the existing structure and neighborhood.

Section 2. The Pittsburgh Code, Title Nine – Zoning, Article IX – Measurements and Definitions, Chapter 925, Measurements, Section 925.06.G, Features Allowed Within Setbacks by Administrator’s Exception is hereby amended as follows:

925.06.G Features Allowed within Setbacks by Administrator's Exception

The Zoning Administrator shall be authorized, in accordance with the Administrator Exception procedures of Sec. 922.08, to permit features as per Sec. 925.06.G.1 within setbacks, according to the provisions of Sec. 925.06.G.2 below.

925.06.G.1 Permitted Features

The following features shall be permitted within setbacks in accordance with the standards of this section:

- (a) Swimming pool and deck in rear and side yards;
- (b) Garage, carport or parking stalls in rear and side yards;

- (c) Storage shed or gazebo in rear **and side** yards;
- (d) ~~Open deck no higher than first floor~~ **Decks in the** side or rear yard;
- (e) ~~Air conditioner/condenser~~ **HVAC units and solar energy systems** in side or rear yard;
- (f) ~~Air conditioner/condenser~~ **HVAC units** in front yard no closer to street than existing front porch or stoop; **and**
- (g) Dumpsters-;
- (h) Building Additions to primary structures, where the existing primary structure is built within a setback;**
- (j) Enclosures of existing decks and porches in side or rear yards;**
- (j) Rooftop decks on detached garages; and**
- (k) Accessory Structures not listed above, where the primary structure is built within a setback.**

925.06.G.2 Standards

The applicant shall establish, by submittal of a plot plan, photograph(s) and other pertinent data such as written approval by abutting property owners that:

- (a) **For features other than HVAC units**, in respect to the **front and** side yard requirements, the proposed construction or erection will not place the accessory use **or additions** any closer to the neighboring property **line** than the applicant's existing, **legally established**, building line location;
- (b) The establishment, maintenance, location and operation of the proposed use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare;
- (c) Authorization of the proposed exception will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes permitted, nor substantially diminish or impair property values within the neighborhood;
- (d) The establishment of the proposed exception will not impede the normal and orderly development and improvement of surrounding property for uses permitted in that district;
- (e) Any mechanical equipment will be shielded from abutting properties with landscape plantings and/or decorative fencing as determined to be appropriate by the Administrator for visual screening and noise shielding; **and**

(f) Any illumination or drainage shall be contained on site and directed away from abutting properties; **and**

(g) HVAC units shall be screened by parapets or other devices, so as not to be seen from streets or adjacent properties and shall be compliant with relevant noise and operational standards within the Zoning Code.

Section 3. The Pittsburgh Code, Title Nine – Zoning, Article IX – Measurements and Definitions, Chapter 925, Measurements, Section 925.07, Height is hereby amended as follows:

925.07. - Height.

925.07.A Measured in Feet

When measured in feet, building height refers to the vertical distance between the average finished grade along the wall facing the front street yard at the base of the building and: 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof. In the case of fences or walls, other than retaining walls, height shall be measured on the side with the least vertical exposure above finished grade to the top of the fence or wall.

925.07.B Measured in Stories

In measuring the height of a building in stories the following measurement rules shall apply:

1. A basement, half-story, or penthouse, when designed for dwellings or primary occupancy shall be counted as a full story;
2. A basement shall be counted a full story when sixty (60) percent or more of the exterior surface of any street wall thereof, extends above the ground directly abutting such exterior street wall. In determining the percentage of exposed exterior surface of basement street walls, one hundred (100) percent shall be calculated by multiplying the width of such exterior walls by an assumed basement floor elevation of nine (9) feet measured downward from the surface of the first floor above the basement;
3. A balcony or mezzanine shall be counted a full story when its floor area is in excess of one-third (1/3) of the total area of the nearest full floor directly below it.

925.07.C Exemptions from Height Standards

The following structures and features, except when designed as dwellings or primary occupancy, shall be exempt from the height requirements of this Code:

1. Chimneys, smokestacks or flues that cover no more than five (5) percent of the horizontal surface area of the roof;

2. Cooling towers and ventilators that cover no more than five (5) percent of the horizontal surface area of the roof;
3. Elevator bulkheads and stairway enclosures;
4. Fire towers;
5. Utility poles and support structures;
6. Belfries, spires and steeples;
7. Monuments and ornamental towers; and
8. Radio and television antennas, including satellite dishes less than thirty-two (32) inches in diameter.

9. HVAC units, solar energy systems, similar mechanical equipment, and any necessary screening thereof.

(Ord. No. 6-2007, § 1, 4-12-07)

925.07.D Contextual Height

Regardless of the maximum height limit imposed by the zoning district standards of this Code, applicants shall be allowed to use a contextual height limit. The allowed contextual height may fall at any point between the (zoning district) maximum height limit and the average height of the buildings that exist on adjoining lots that are oriented on the same side of the street as the subject lot. If the subject lot is a corner lot, the contextual height may fall at any point between the (zoning district) maximum height limit and the building height that exists on the adjoining lot that is oriented on the same side of the street as the subject lot. If lots on either side of the subject lot are vacant, the height that "exists" on such vacant lots shall be interpreted as the maximum height limit that applies to the vacant lot. Items listed in Section 925.07.C - Exemptions from Height Standards shall not be used to determine Contextual Height. This provision shall not be interpreted as requiring a greater minimum heights or lower maximum heights than imposed by the underlying zoning district, and it shall not be interpreted as allowing buildings heights that would conflict with Residential Compatibility Standard height limits of Chapter 916.