



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

453 PDP # 16-116
pd 750

Date Filed:

7/28/10

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Hertz Gateway Center LP		Phone Number: (412) 392-6000	
Address: 1522 2nd St	City: Santa Monica	State: California	Zip Code: 90401-2303
2. Applicant/Company Name: Kolano Design		Phone Number: (412) 661-9000	
Address: 6026 Centre Ave	City: Pittsburgh	State: Pennsylvania	Zip Code: 15206
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Four Gateway Center			
4. Development Location: Downtown Pittsburgh, PA			
5. Development Address: 444 Liberty Ave, Pittsburgh, PA 15222			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 10 / 1 / 16	Completion Occupancy Date: 1 / 1 / 17	Project Cost: \$ TBD

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **82. Office (General)**

10. Select the Type of Work:

- New Construction, New Renovation, Interior Highwall Sign
 New Construction, Renovation, Exterior
 Change in Use Only Renovation, Change in Use

11. Describe the Development: **Addition of two (2) high wall signs at Four Gateway Center. Signs to occur at East & West facades.**

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed: _____ sq ft
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: _____ sq ft
 To be Constructed: _____ sq ft
 Building Footprint: _____ sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure				
Proposed Addition/Extension				
Accessory Structure Type(s) and Height(s):	illumination	Sign Face Area	Sign Height	Mounting Height
High Wall Sign, East	LED Face Illuminated	614.166 SF	9'-2"	288'-0"
High Wall Sign, West	LED Face Illuminated	614.166 SF	9'-2"	264'-5"

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: _____

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> 0 </u> New Water Service Connection(s)	<u> 0 </u> Termination of Existing Water Service Tap(s)
<u> 0 </u> New Sewer Service Connection(s)	<u> 0 </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

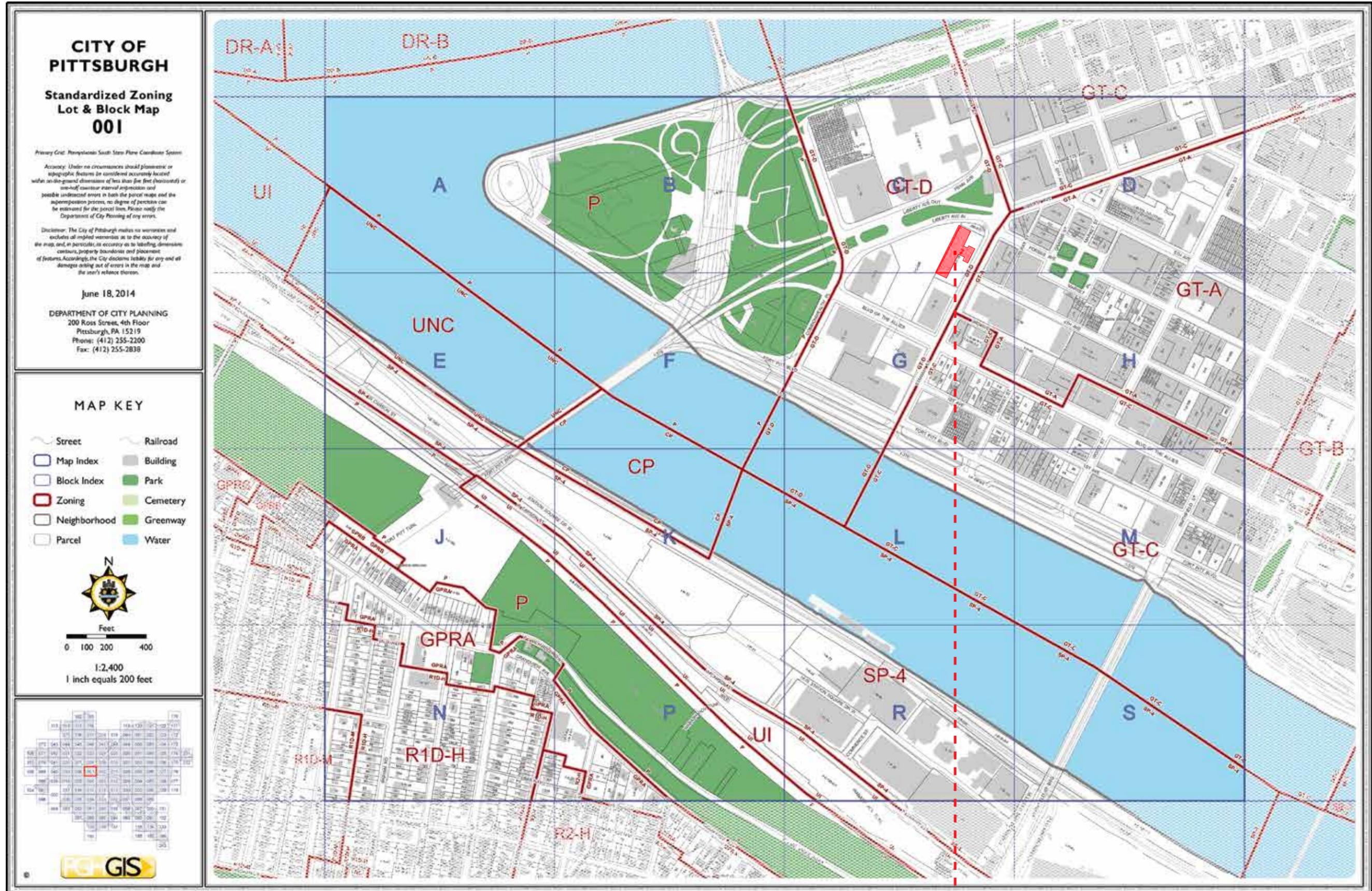
Applicant Signature: _____

Gateway Health - Highwall Signs

City Review Package

August 18, 2016

KOLANO design
6026 Centre Avenue
Pittsburgh, Pennsylvania 15206-3921
412.661.9000
kolano.com



CITY OF PITTSBURGH
Standardized Zoning Lot & Block Map 001

Primary Grid: Pennsylvania State Plane Coordinate System

Accuracy: Under no circumstances should planimetric or topographic features be considered accurately located within an on-the-ground dimension of less than five feet (horizontal) or one-half contour interval (vertical) and possible undetected errors in both the parcel maps and the superimposition process, no degree of precision can be estimated for the parcel lines. Please notify the Department of City Planning of any errors.

Disclaimer: The City of Pittsburgh makes no warranty and excludes all implied warranties as to the accuracy of the map, and, in particular, its accuracy as to labeling dimensions, contours, property boundaries and placement of features. Accordingly, the City disclaims liability for any and all damages arising out of errors in the map and the user's reliance thereon.

June 18, 2014

DEPARTMENT OF CITY PLANNING
 200 Ross Street, 4th Floor
 Pittsburgh, PA 15219
 Phone: (412) 255-2200
 Fax: (412) 255-2838

MAP KEY

- Street
- Railroad
- Map Index
- Block Index
- Zoning
- Neighborhood
- Parcel
- Building
- Park
- Cemetery
- Greenway
- Water

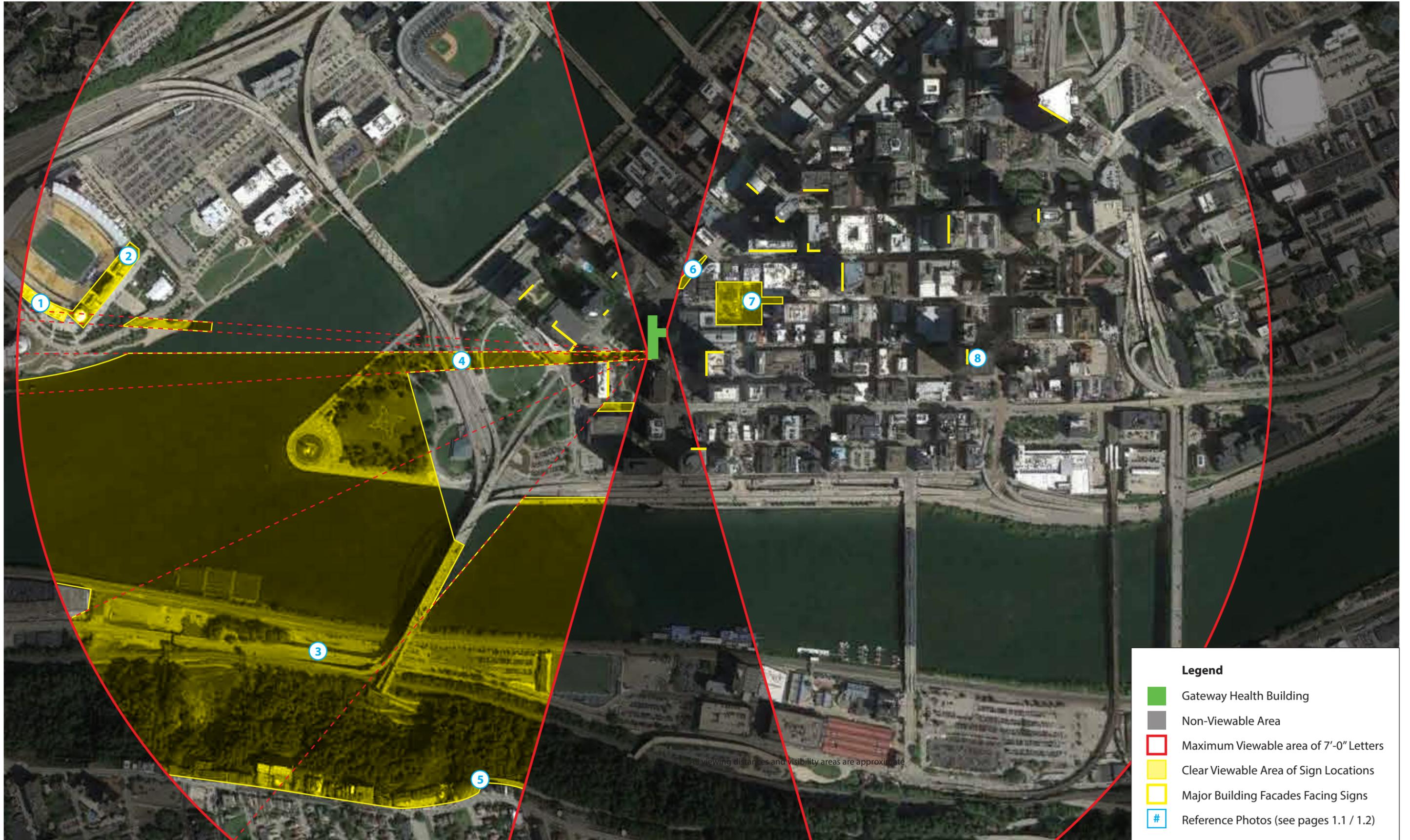


Feet
 0 100 200 400
 1:2,400
 1 inch equals 200 feet



Site Map: Gateway Health

444 Liberty Ave, Pittsburgh, PA: Gateway Health Lot # 1-C-167-0-2



Sign Visibility Study: Gateway Health (visibility shown for 7'-0"H letters)

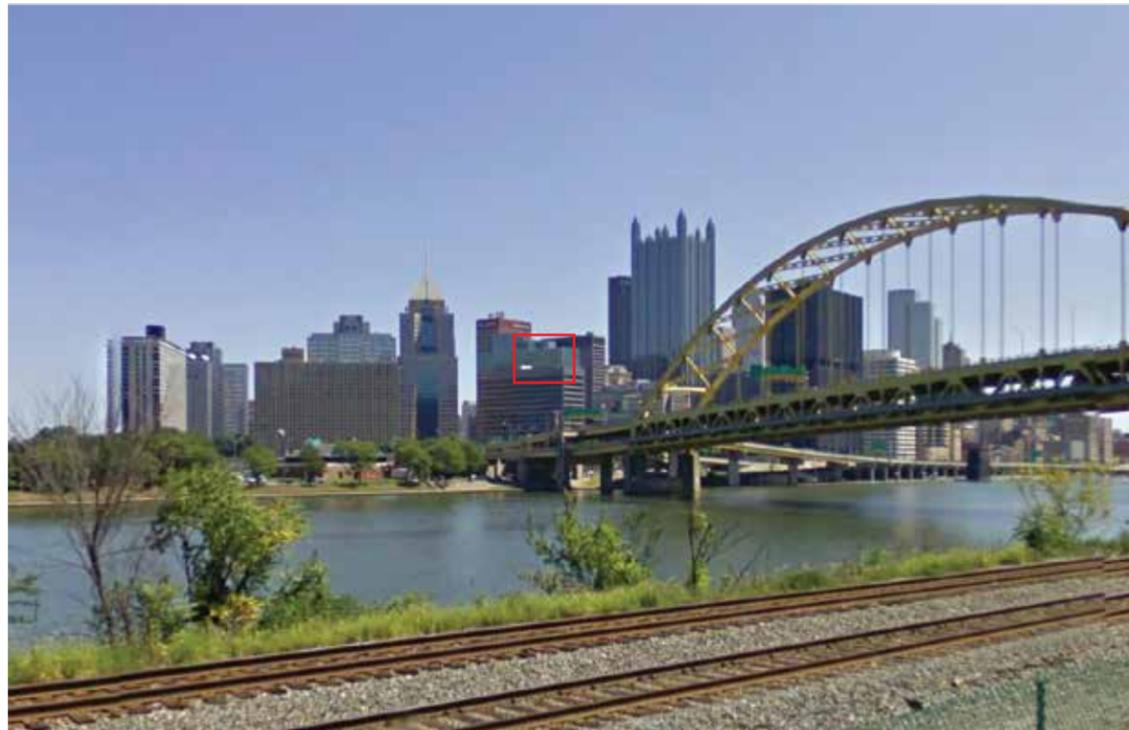
*All viewing distances and visibility areas are approximate



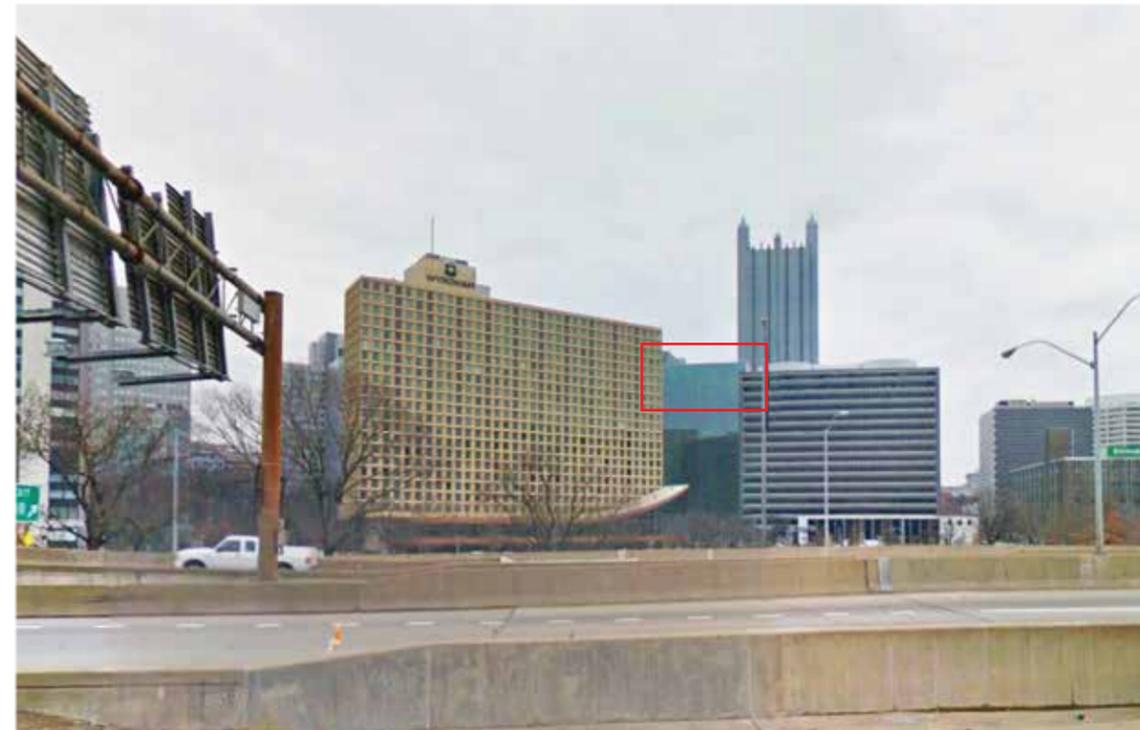
Reference Photo 1: Northwest to Southwest Corners Inside Heinz Field



Reference Photo 2: Heinz Field Southeast Rotunda



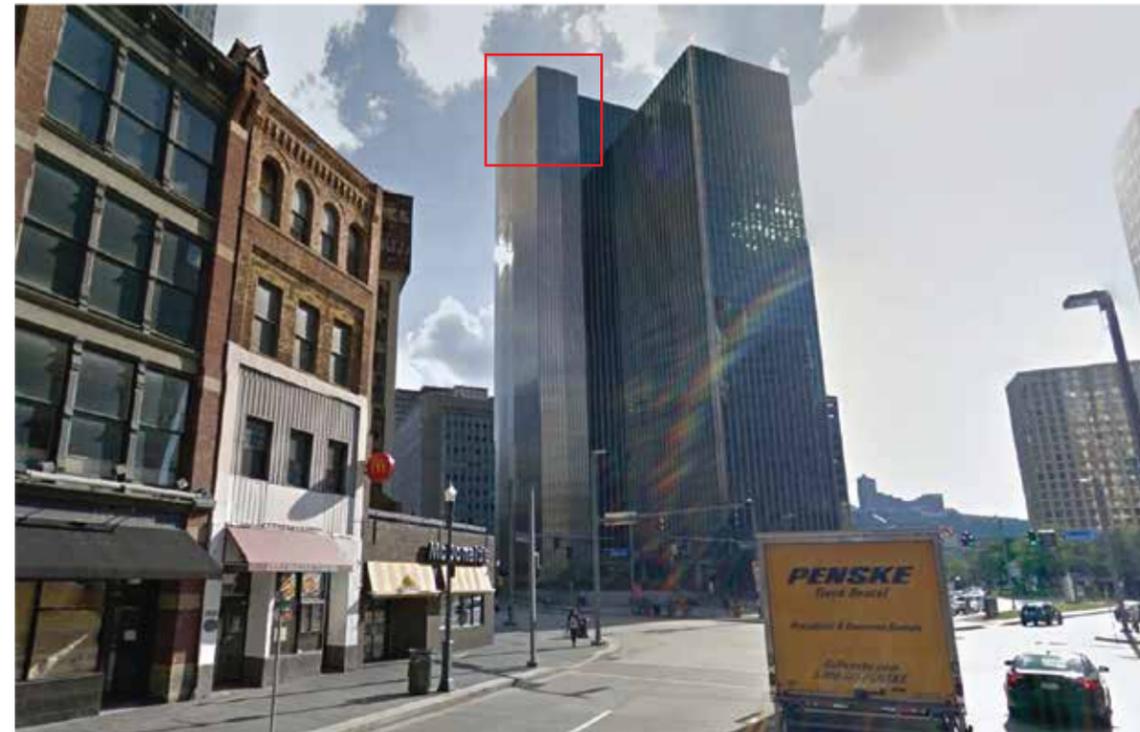
Reference Photo 3: Southside - Carson Street



Reference Photo 4: Ft. Pitt/Duquesne Bridge & 279 North Interchange



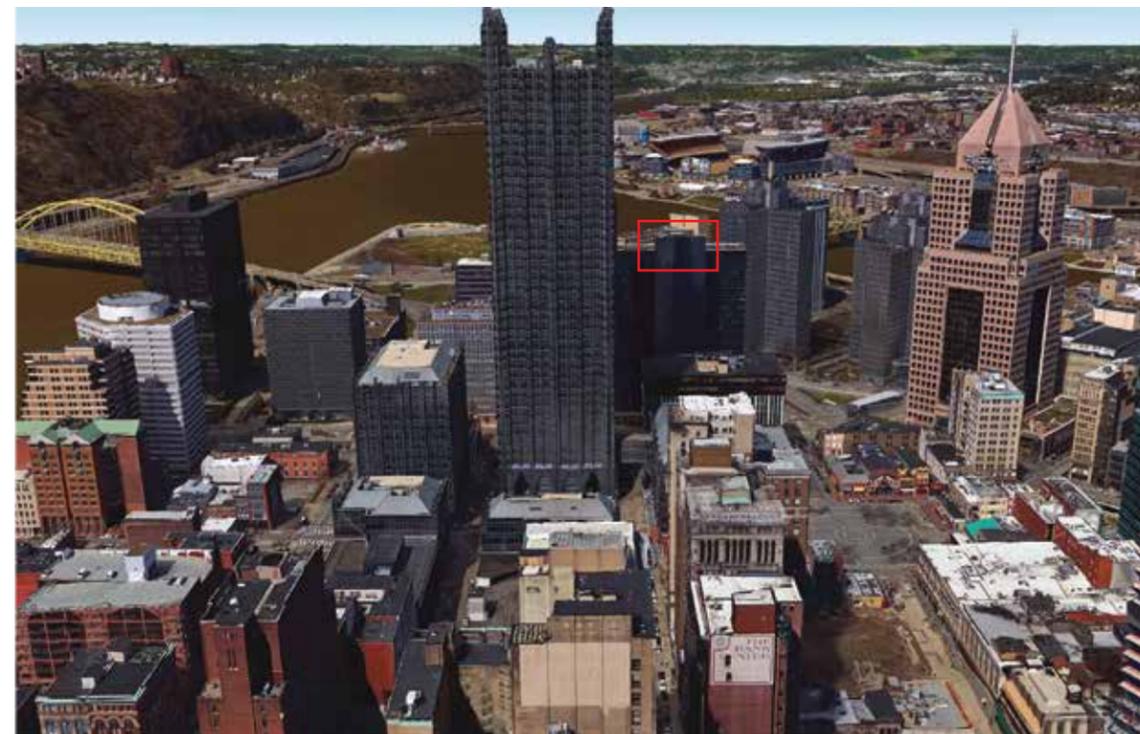
Reference Photo 5: Mount Washington - P.J. McArdle Roadway



Reference Photo 6: Liberty Avenue and Stanwix Street



Reference Photo 7: Street Level at Market Square

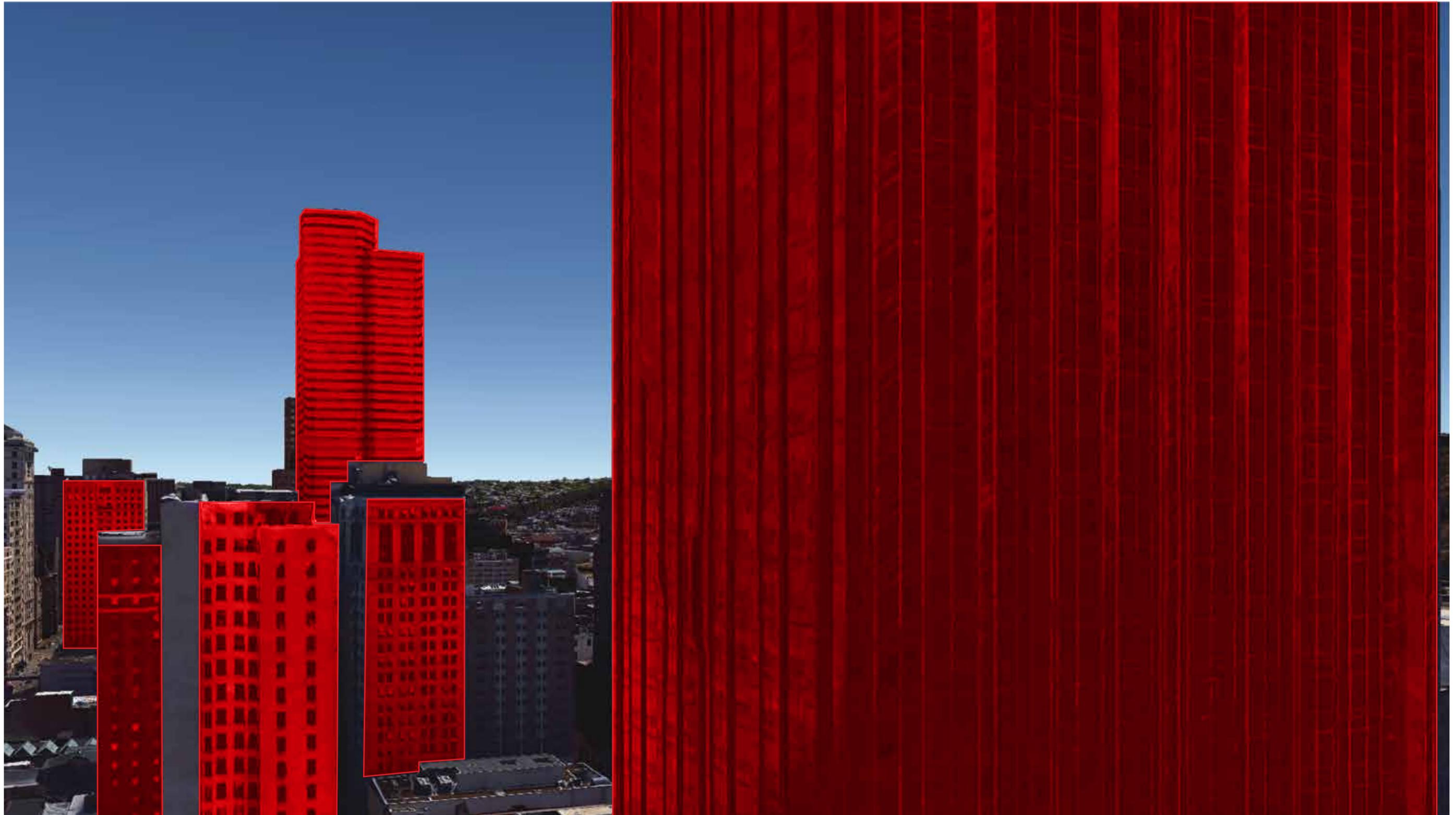


Reference Photo 8 - Highrise Level at the Oxford Building



Highrise Visibility

*Approximate Viewing from Proposed Gateway Health Sign East



Highrise Visibility

*Approximate Viewing from Proposed Gateway Health Sign East



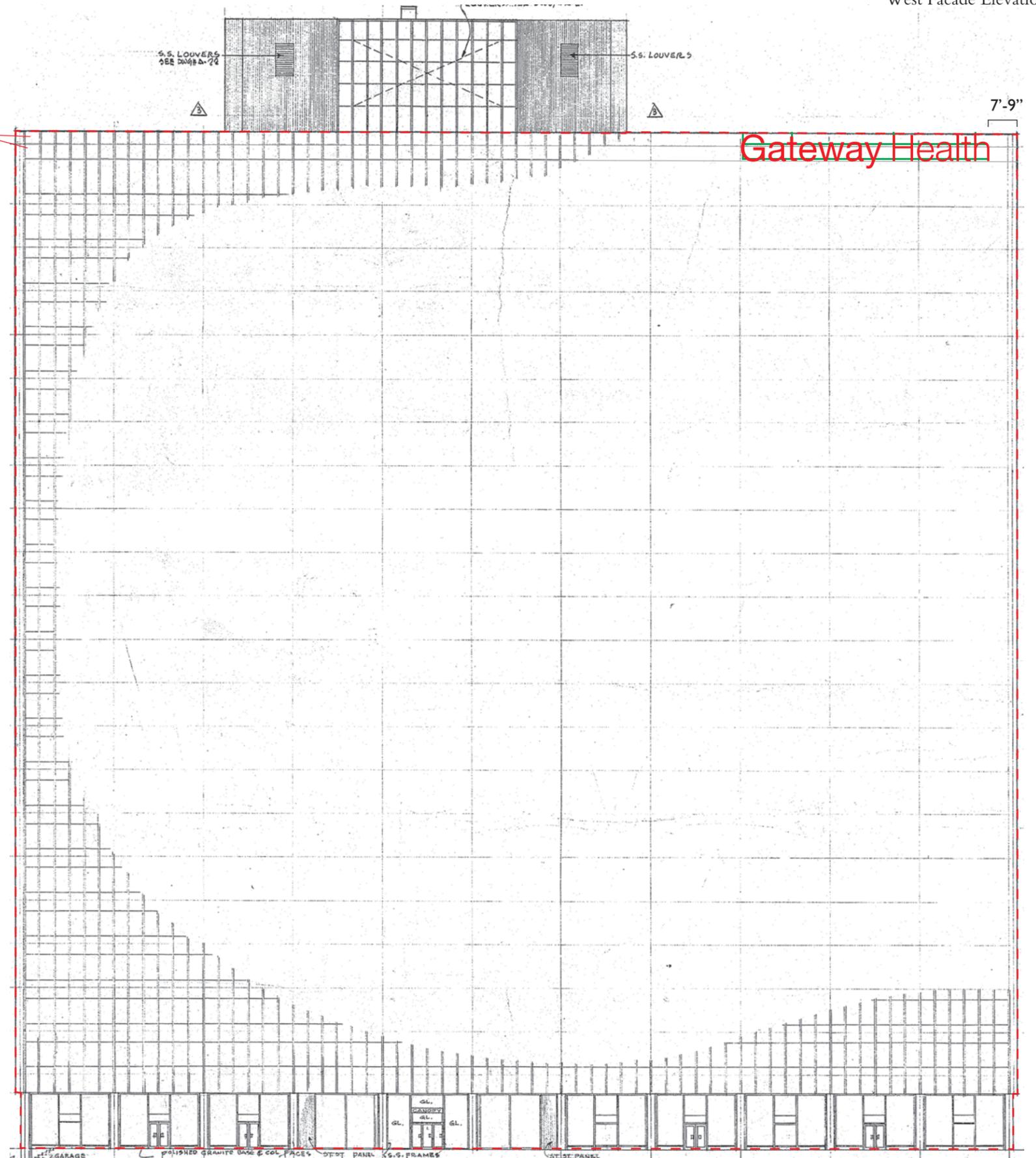
Highrise Visibility

*Approximate Viewing from Proposed Gateway Health Sign West



Highrise Visibility

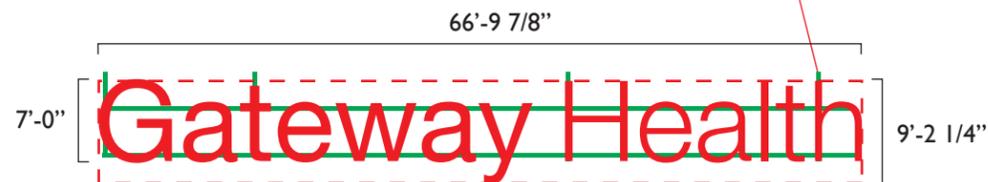
*Approximate Viewing from Proposed Gateway Health Sign West



Sign to hang in front of top 2 rows (opaque spandrel glass)

Signs are shown with red and green coloring for visibility. Actual letter faces will be white. Sign support to match building structure / spandrel glass.

5"x5" Raceways and mounting arms to span entire width of letters as shown on page 2.9. Structure to be mounted to roof of building; letters to hang down in front of spandrel glass facade as shown. Supports to be concealed behind letters if possible (as shown).



Scale: 1"=16'-0"

Square Footage Allowance
 West Facade Total: 273'-0" x 269'-4" = 73,528 SF
 Signage Allowed: 73,528 x .02 = 1,470.5 SF
 Signage Total: 9'-2 1/4" x 66'-9 7/8" = 613.935 SF

919.03.M.7 GT and DR Zoning Districts

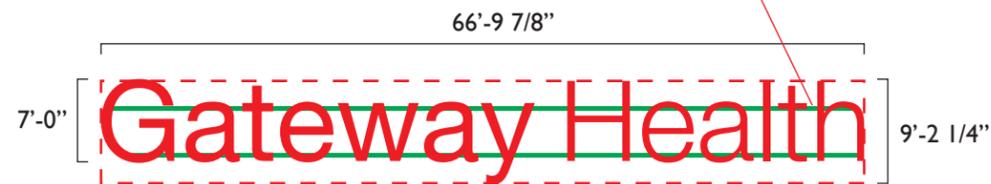
(c) Only the name of the building or business shall be mounted higher than forty (40) feet above grade and may face in all directions but shall not be roof mounted nor project above the roof peak or parapet wall, shall not exceed in face area forty (40) square feet or two (2) percent of exposed façade area whichever is larger, shall be limited to four (4) per building, shall include no motion or animation, shall not exceed a luminance of two thousand five hundred (2,500) nits during daylight hours between sunrise and sunset, shall not exceed a luminance of two hundred fifty (250) nits at all other times, shall permit electronic illumination with no motion or animation, and shall be subject to design review and approval by the City Planning Commission. All applications shall include certification that the sign will comply with luminance level standards at the time of application and must certify again that the sign is operating in compliance with the standards prior to issuance of an occupancy permit.

West Facade Elevation: 7'-0" Approximate Letter Height

Scale: 1"=32'-0"

Signs are shown with red and green coloring for visibility. Actual letter faces will be white. Sign support to match building structure / spandrel glass.

5"x5" Raceways to span entire width of wordmark as shown



Scale: 1"=16'-0"

Square Footage Allowance

East Facade Total: (273'-0" x 269'-4") + (25'-0" x 80'-10") = 75,548.833 SF

Signage Allowed: 75,548.833 x .02 = 1,510.9 SF

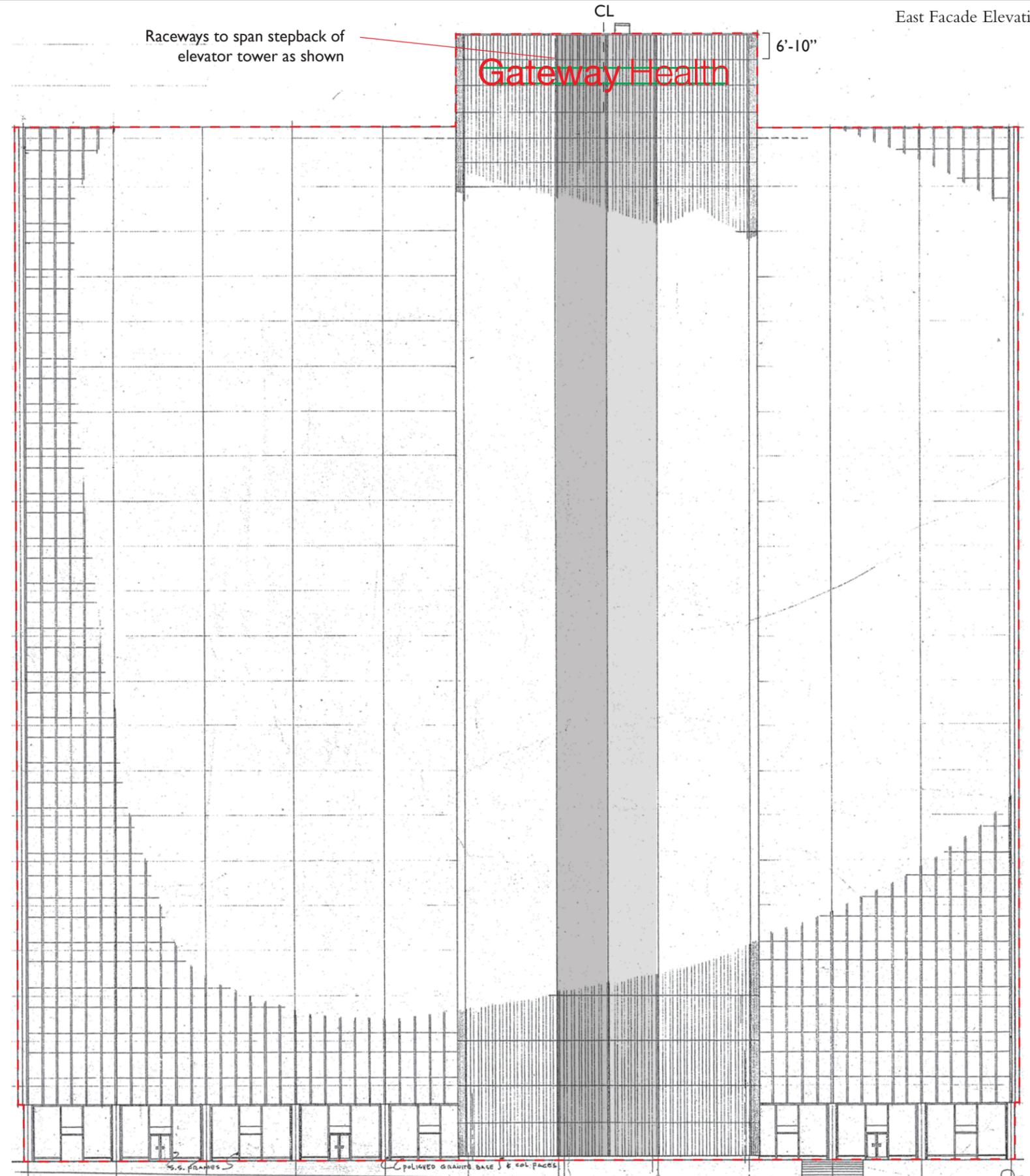
Signage Total: 9'-2 1/4" x 66'-9 7/8" = 613.935 SF

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East Facade Elevation: 7'-0" Approximate Letter Height

Scale: 1"=32'-0"



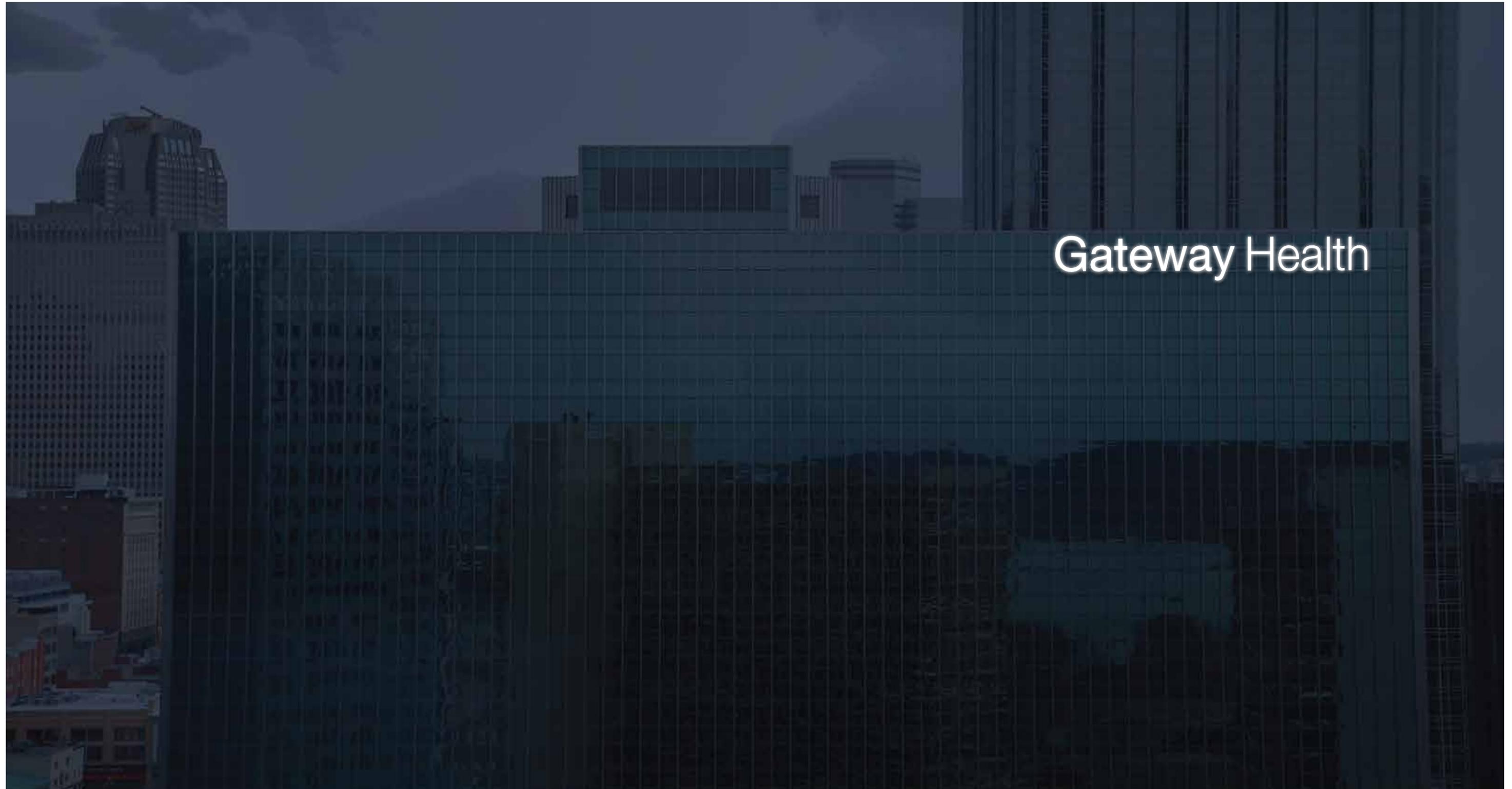


Existing Site Photo



West Facade Day Rendering: 7'-0" Approximate Letter Height

*7'-0"H Letters to span 17 spandrel columns wide and 2 spandrel rows high as shown on elevation



West Facade Night Rendering: 7'-0" Approximate Letter Height

*7'-0"H Letters to span 17 spandrel columns wide and 2 spandrel rows high as shown on elevation

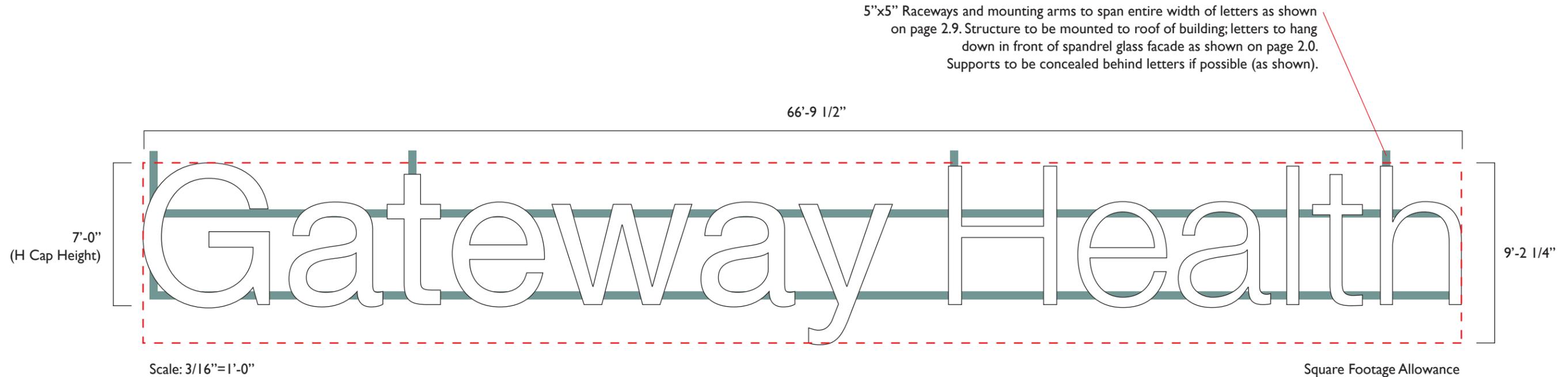


Existing Site Photo

East Facade Day Rendering: 7'-0" Approximate Letter Height



East Facade Night Rendering: 7'-0" Approximate Letter Height



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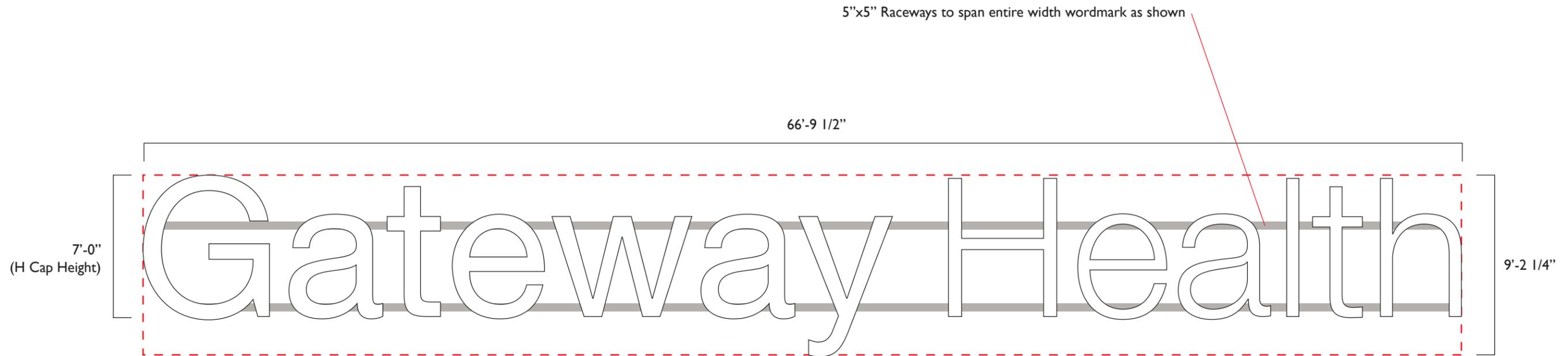
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6"D Face lit aluminum letters with continuous roll white Lexan faces with white translucent vinyl film applied to first surface of Lexan. .080 gauge aluminum welded construction. Letters to have non-illuminated returns painted charcoal gray. Provide weep holes as needed.

Provide aluminum trim cap (F track) to attach sign faces to sign cabinets. Paint trim cap face white. Attach trim cap to letter returns with counter sunk stainless machine screws.

All mounting hardware will be reviewed and approved by the Signage Design Team. All mounting hardware locations and appearance to be painted as specified to coordinate with the existing building finishes.

Final design and engineering of support structure to be completed by Sign Vendor. Support structure to be painted to match spandrel glass.



Scale: 3/16"=1'-0"

Square Footage Allowance
 East Facade Total: (273'-0" x 269'-4") + (25'-0" x 80'-10") = 75,548.833 SF
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PDP #16-132

SIGN PERMIT APPLICATION

OWNER/APPLICANT INFORMATION

Applicant/Sign Contractor Name: Atlas Sign & Lighting, LLC		Phone Number: () 239-220-1823	
Address: 168 Saint Ives Way	City: Zelienople	State: PA	Zip Code: 16063
Sign Contractor Registration #: Sn00582			
Sign Owner Name: Key Bank		Phone Number: (800-539-2968	
Address: 127 Public Square	City: Cleveland	State: OH	Zip Code: 44114
Property Owner Name: 11 Stanwix LLC		Phone Number: ()412-471-9500	
Address: 200 S Orange Ave Ste 1920	City: Orlando	State: FL	Zip Code: 32801

Address where the Work will Occur:

PROJECT INFORMATION

Is this application for an existing sign? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO X4		Number of New Signs: 4 High wall signs	
If Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy #:	Date Issued:	Existing Use of Property:	
Estimated Construction: Start Date: 8/15/ 16	Completion Date: 11/ 1 / 16	Project Cost: \$ 150,000	Zoning Board of Adjustment Case Number:
Main Use of Premises (Select from the attached list.) Office Building			
Building Height in Stories: 26			
Description of Work: Sign changerover from first niagara to Key Bank			
Lettering on the sign states:			
Sign 1: Key Bank - High Wall Sign North			
Sign 2: Key Bank - High Wall Sign South			
Sign 3: Key Bank - High Wall Sign East			
Sign 4: Key Bank - High Wall Sign West			
Please check the following item(s) that pertain to the proposed work: <input type="checkbox"/> N/A			
<input type="checkbox"/> Proposed work includes a private structure encroaching on a City dedicated right-of-way		<input type="checkbox"/> Proposed work will create an obstruction of traffic on City right-of-way	



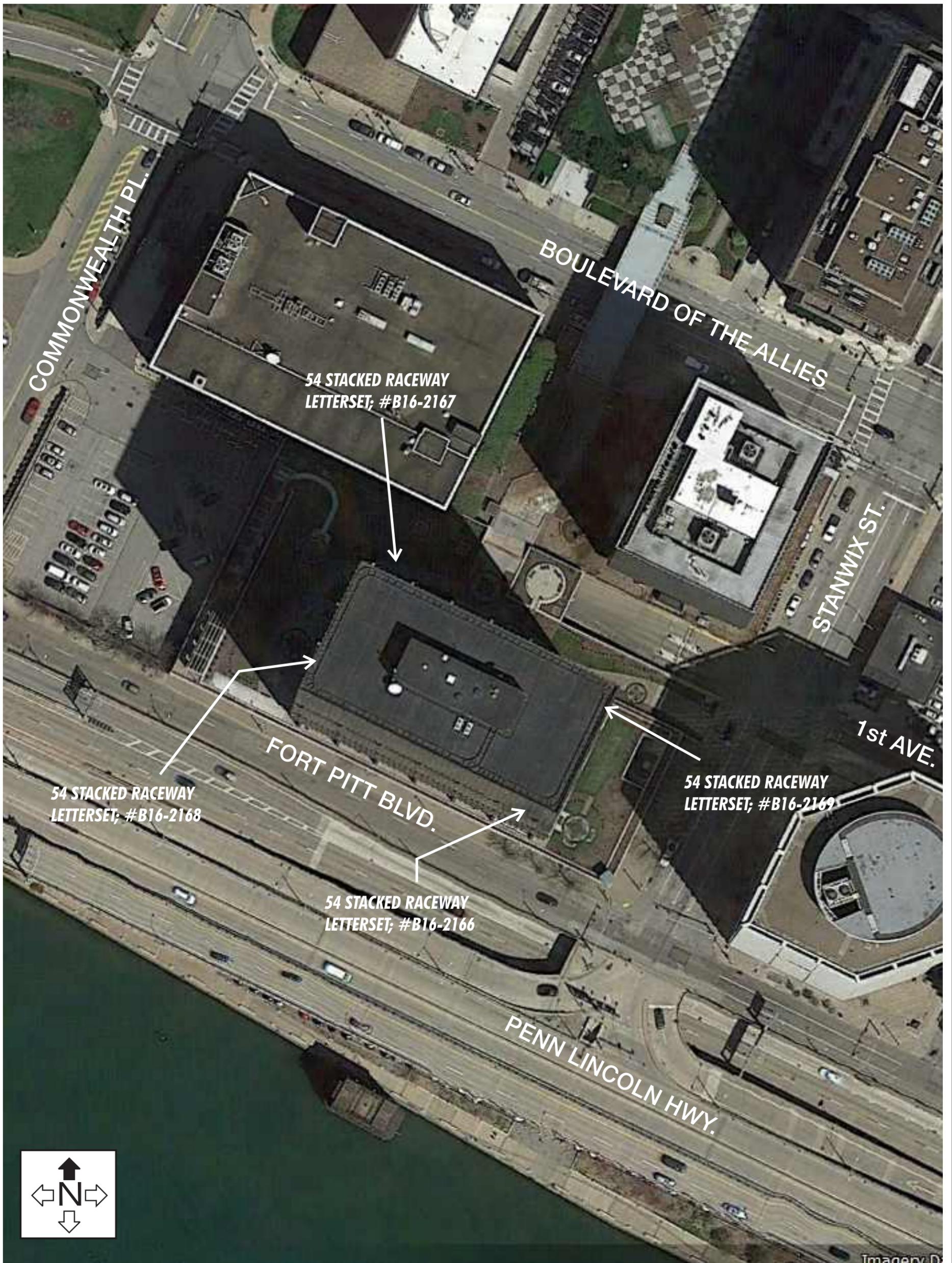
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SIGN PERMIT APPLICATION

SIGN #	SIGN 1	SIGN 2	SIGN 3	SIGN 4
SPECIFY TYPE OF WORK: New Sign, Painted Wall, Sign Alteration, Sign Repair	New Wall Sign	New Wall Sign	New Wall Sign	New Wall Sign
SPECIFY TYPE OF SIGN: Canopy, Decked, Double Face, Pole/Ground, Roof, Side to Side, V-Type, Wall-Flat, LED, Wall-Projection, Other.	Wall Flat	Wall Flat	Wall Flat	Wall Flat
SPECIFY PURPOSE OF SIGN: Advertising, Business I.D., Directional, Mural, Real Estate.	Business ID	Business ID	Business ID	Business ID
SPECIFY TYPE OF ELECTRICAL WORK: Animation/Rotations, Flashing, External Illumination, Internal Illumination	Internal Illumination Existing Electric Secondary only			
HEIGHT (FT):	11.5ft	11.5ft	11.5ft	11.5ft
HEIGHT ABOVE GRADE (FT)				
GRADE TO BOTTOM OF SIGN:	186.5ft	186.5ft	186.5ft	186.5ft
GRADE TO TOP OF SIGN:	198ft	198ft	198ft	198ft
MAXIMUM HEIGHT OF LETTERING (FT):	4.5ft	4.5ft	4.5ft	4.5ft
WIDTH (FT):	26ft	26ft	26ft	26ft
PROJECTION FROM WALL (FT):	n/a	n/a	n/a	n/a
PROJECTION IN RIGHT-OF-WAY (FT):	n/a	n/a	n/a	n/a
PROJECTION ABOVE ROOF LINE (FT)				
ROOF TO BOTTOM OF SIGN:	169ft	169ft	169ft	169ft
ROOF TO TOP OF SIGN:	158ft	158ft	158ft	158ft
LENGTH OF BUILDING FRONT (FT):	214ft north elev.	214ft south elev.	104ft east elev.	104ft west elev.
EXPOSED PORTION OF WALL ON WHICH SIGN WILL BE DISPLAYED: (Square footage of wall)	75,970sqft	75,970sqft	36,920sqft	36,920sqft



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



Brilliant Electric Sign Co., Ltd.

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

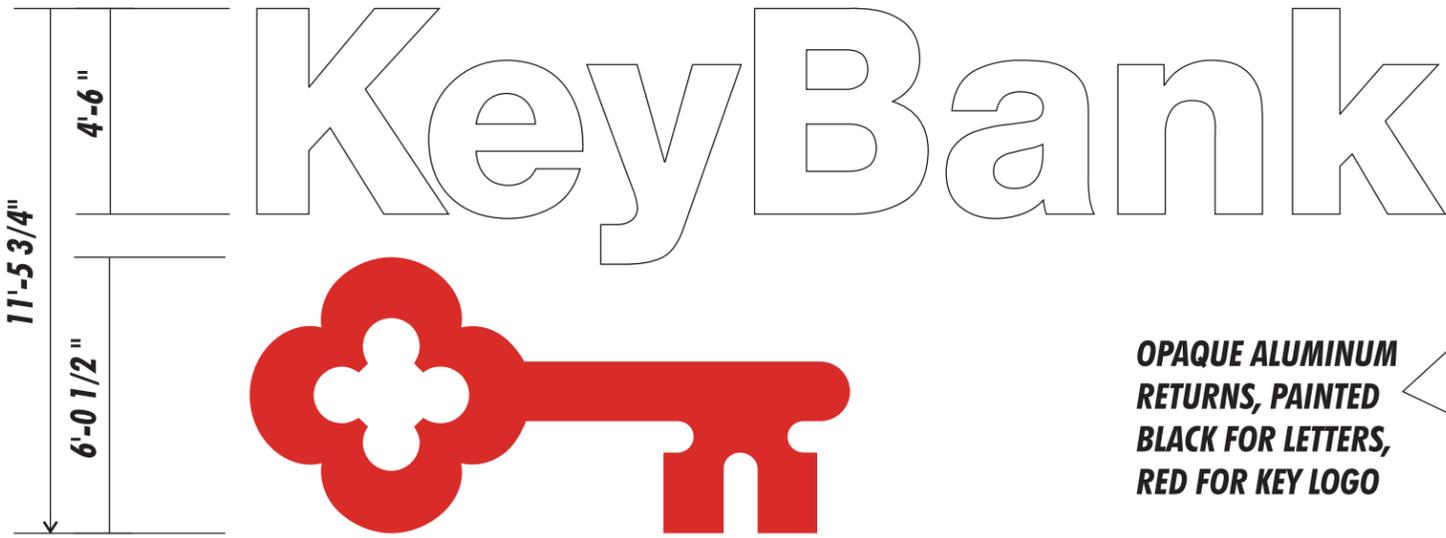
NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	KeyBank	SALESMAN	H	DATE	6-24-16	REVISION		DESIGN NO.	B16-2163
LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	NTS			COPYRIGHT ©	2016

FILE NAME: /key niagara/key PA/11 stanwix st

25'-11 3/8"

4"



OPAQUE ALUMINUM RETURNS, PAINTED BLACK FOR LETTERS, RED FOR KEY LOGO

NIT / CANDELA CALCULATIONS:

WHITE LETTERS - 234.5 NITS, BASED UPON 21 LED MODULES PER METER SQUARED, 52 LUMENS PER MODULE WITH 150-DEGREE VIEWING ANGLE.

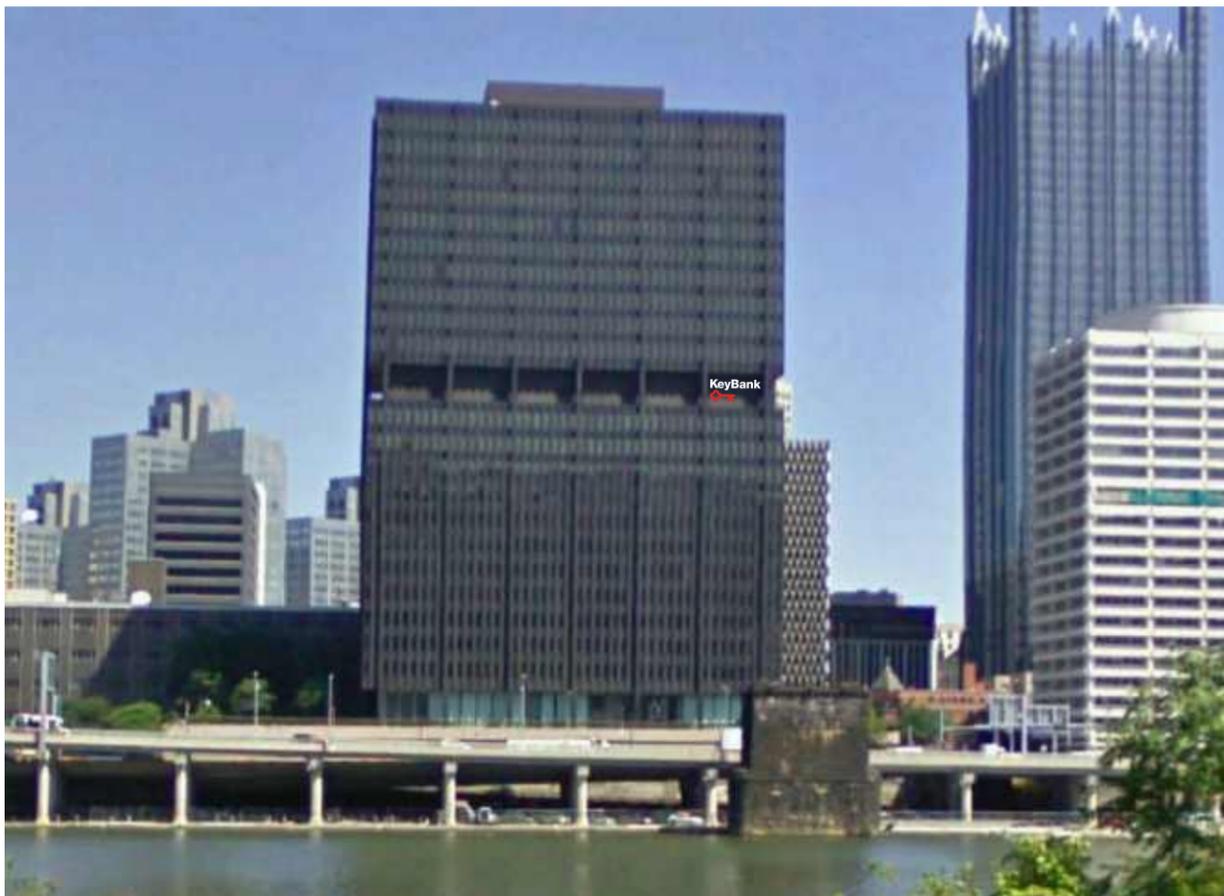
RED KEY LOGO - 192.4 NITS, BASED UPON 32 LED MODULES PER SQUARE METER, 28 LUMENS PER MODULE WITH 150-DEGREE VIEWING ANGLE.

NOTES:

INDIVIDUAL SELF-CONTAINED LED LOGO & LETTERS WITH PLASTIC FACES AND FABRICATED ALUMINUM TRIM, TO MOUNT TO MODIFIED EXISTING STEEL A-FRAME. LOGO FACE TO BE WHITE #2447 PLEXIGLAS WITH FIRST SURFACE APPLIED 3M RED TRANSLUCENT VINYL TO MATCH PMS #1795C. LOGO TRIM AND RETURNS TO BE RED TO MATCH PMS #1795C. LOGO ILLUMINATION BY GE LUMINATION RED LEDs. LETTER FACES TO BE WHITE #7328 PLEXIGLAS. TRIM AND RETURNS TO BE BLACK. LETTER ILLUMINATION BY GE LUMINATION WHITE LEDs.

RATED 120 VOLTS

LETTERS TO BE BUILT TO U.L. SPECS, BE U.L. LISTED, AND CARRY U.L. LABELS.



54 STACKED

RENDERING OF SOUTH ELEVATION - NTS

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Brilliant Electric Sign Co., Ltd.

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

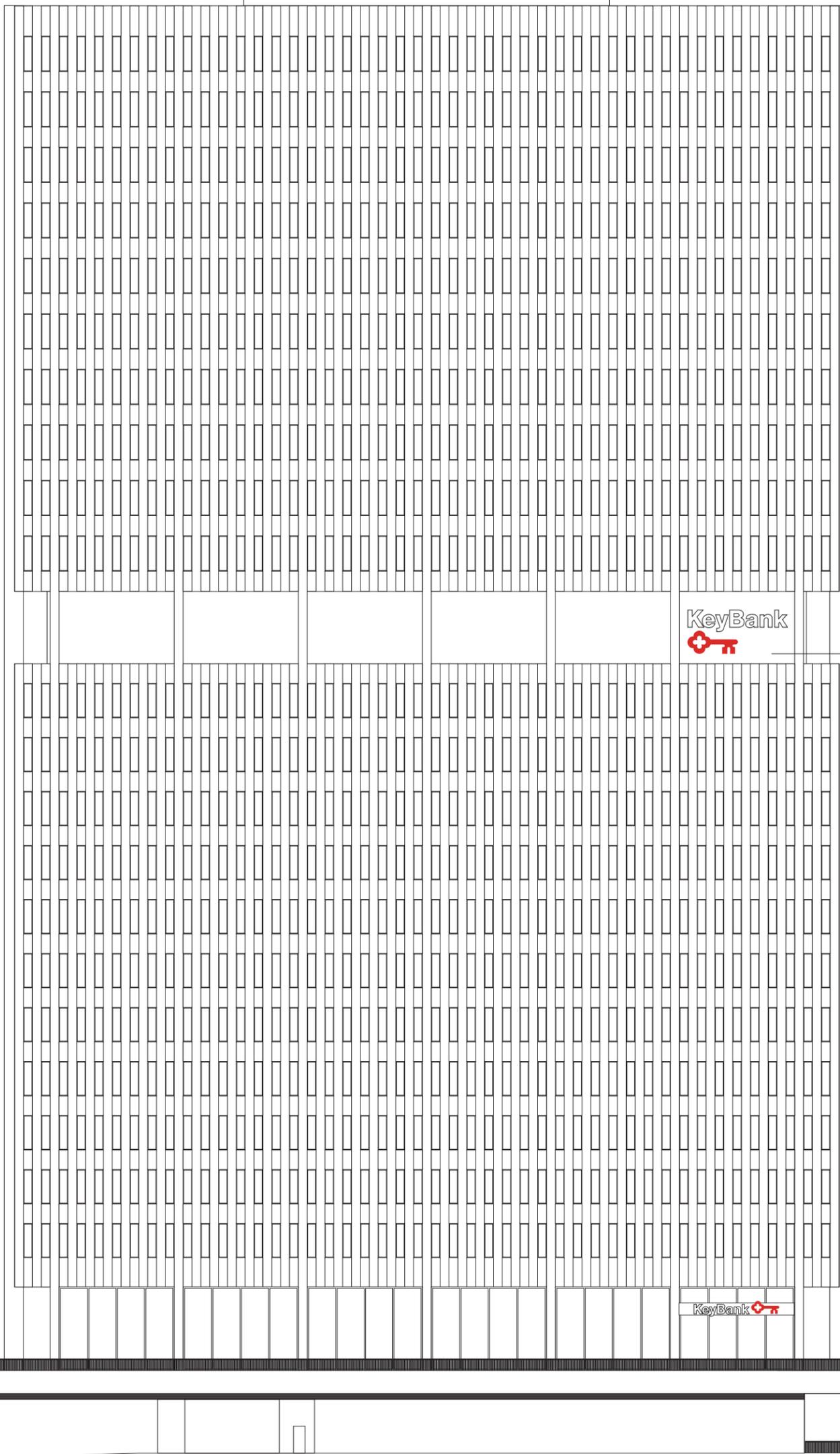
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COMPANY NAME	KeyBank	SALESMAN	H	DATE	6-24-16	REVISION	8-24-16	DESIGN NO.	B16-2166
LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	1/4" = 1'-0"			COPYRIGHT ©	2016

FILE NAME: **:/key niagara/key PA/11 stanwix st**

214'-0"

AREA OF SIGN - 299 SQ FEET.
AREA OF EXPOSED BUILDING
FACADE - 75,970 SQUARE FEET.
PERCENTAGE OF FACADE USED
BY HI-RISE LETTERS - 0.39%



355'-0" plaza and penthouse not included

186'-6"

SOUTH ELEVATION SCALE 1/32" = 1'-0"

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



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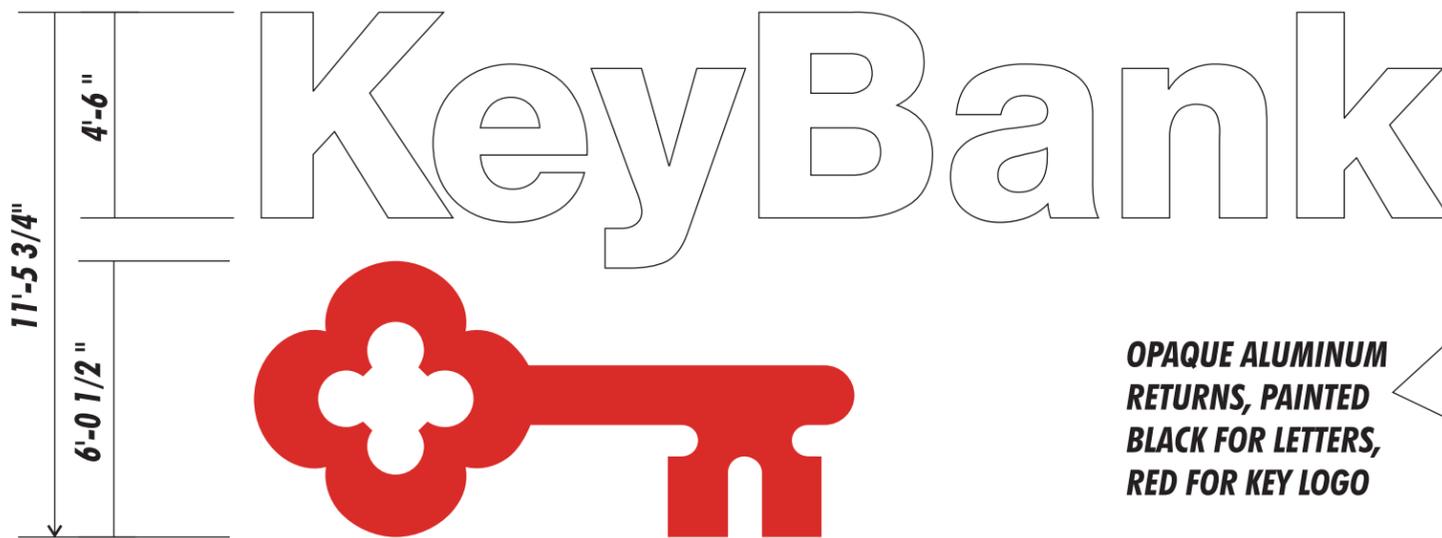
NOTE: THIS IS AN ORIGINAL UNPUBLISHED DRAWING, CREATED BY BRILLIANT SIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE, IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	KeyBank	SALESMAN	H	DATE	8-24-16	REVISION		DESIGN NO.	B16-2510
LOCATION	11 Stanwix St., Pittsburgh, PA	DESIGNER	DM	SCALE	1/32" = 1'-0"			COPYRIGHT ©	2016

FILE NAME
I:/key niagara/key PA/11 stanwix hi rise

25'-11 3/8"

4"



OPAQUE ALUMINUM RETURNS, PAINTED BLACK FOR LETTERS, RED FOR KEY LOGO

NIT / CANDELA CALCULATIONS:

WHITE LETTERS - 234.5 NITS, BASED UPON 21 LED MODULES PER METER SQUARED, 52 LUMENS PER MODULE WITH 150-DEGREE VIEWING ANGLE.

RED KEY LOGO - 192.4 NITS, BASED UPON 32 LED MODULES PER SQUARE METER, 28 LUMENS PER MODULE WITH 150-DEGREE VIEWING ANGLE.

NOTES:
INDIVIDUAL SELF-CONTAINED LED LOGO & LETTERS WITH PLASTIC FACES AND FABRICATED ALUMINUM TRIM, TO MOUNT TO MODIFIED EXISTING STEEL A-FRAME. LOGO FACE TO BE WHITE #2447 PLEXIGLAS WITH FIRST SURFACE APPLIED 3M RED TRANSLUCENT VINYL TO MATCH PMS #1795C. LOGO TRIM AND RETURNS TO BE RED TO MATCH PMS #1795C. LOGO ILLUMINATION BY GE LUMINATION RED LEDs.
LETTER FACES TO BE WHITE #7328 PLEXIGLAS. TRIM AND RETURNS TO BE BLACK.
LETTER ILLUMINATION BY GE LUMINATION WHITE LEDs.

RATED 120 VOLTS

LETTERS TO BE BUILT TO U.L. SPECS, BE U.L. LISTED, AND CARRY U.L. LABELS.

54 STACKED



RENDERING OF NORTH ELEVATION - NTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



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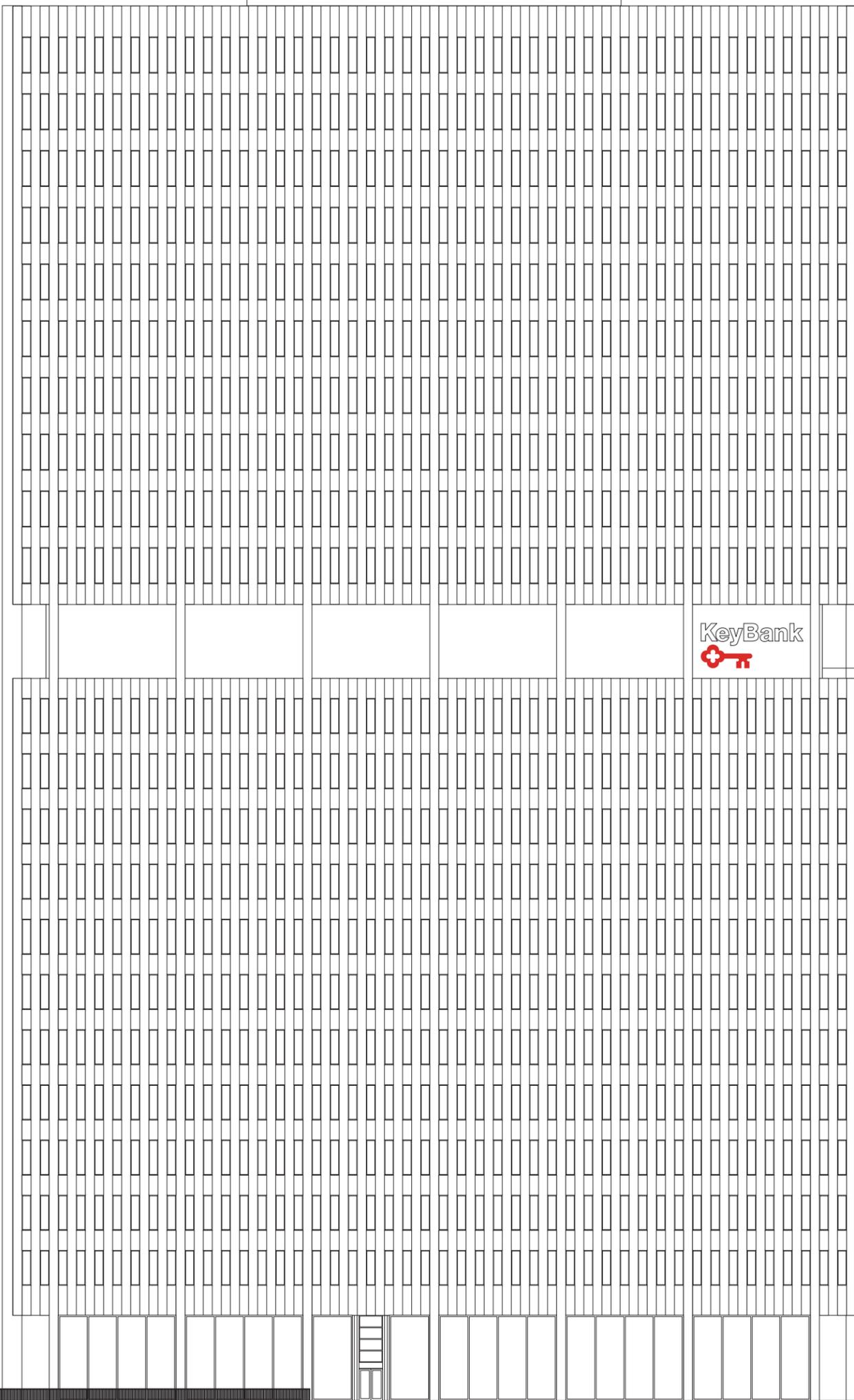
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COMPANY NAME	KeyBank	SALESMAN	H	DATE	6-24-16	REVISION	8-24-16	DESIGN NO.	B16-2167
LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	1/4" = 1'-0"			COPYRIGHT ©	2016

FILE NAME: **q:/key niagara/key PA/11 stanwix st**

AREA OF SIGN - 299 SQ. FEET.
 AREA OF EXPOSED BUILDING
 FACADE - 75,970 SQUARE FEET.
 PERCENTAGE OF FACADE USED
 BY HI-RISE LETTERS - 0.39%

214'-0"



355'-0" plaza and penthouse not included

186'-6"



NORTH ELEVATION SCALE 1/32" = 1'-0"

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



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COMPANY NAME	KeyBank	SALESMAN	H	DATE	8-24-16	REVISION		DESIGN NO.	B16-2512
LOCATION	11 Stanwix St., Pittsburgh, PA	DESIGNER	DM	SCALE	1/32" = 1'-0"			COPYRIGHT ©	2016

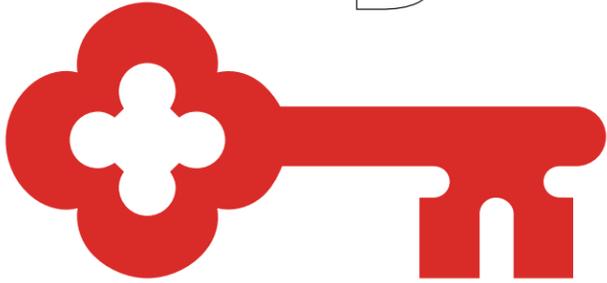
FILE NAME
 I:/key niagara/key PA/11 stanwix hi rise

25'-11 3/8"

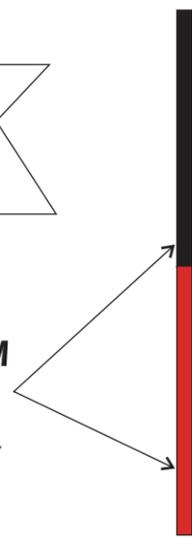
4"

KeyBank

11'-5 3/4"
4'-6"
6'-0 1/2"



OPAQUE ALUMINUM RETURNS, PAINTED BLACK FOR LETTERS, RED FOR KEY LOGO



NIT / CANDELA CALCULATIONS:

WHITE LETTERS - 234.5 NITS, BASED UPON 21 LED MODULES PER METER SQUARED, 52 LUMENS PER MODULE WITH 150-DEGREE VIEWING ANGLE.

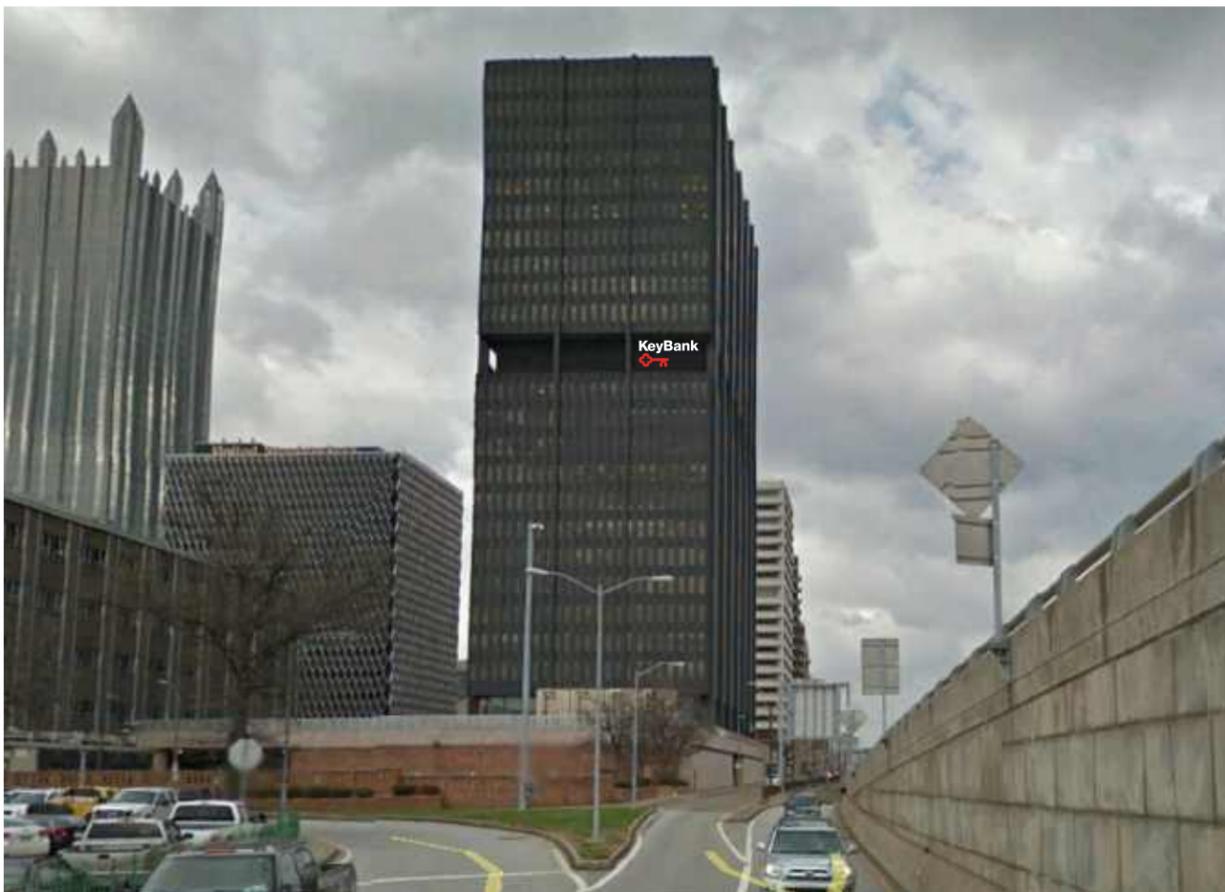
RED KEY LOGO - 192.4 NITS, BASED UPON 32 LED MODULES PER SQUARE METER, 28 LUMENS PER MODULE WITH 150-DEGREE VIEWING ANGLE.

NOTES:
INDIVIDUAL SELF-CONTAINED LED LOGO & LETTERS WITH PLASTIC FACES AND FABRICATED ALUMINUM TRIM, TO MOUNT TO MODIFIED EXISTING STEEL A-FRAME. LOGO FACE TO BE WHITE #2447 PLEXIGLAS WITH FIRST SURFACE APPLIED 3M RED TRANSLUCENT VINYL TO MATCH PMS #1795C. LOGO TRIM AND RETURNS TO BE RED TO MATCH PMS #1795C. LOGO ILLUMINATION BY GE LUMINATION RED LEDs. LETTER FACES TO BE WHITE #7328 PLEXIGLAS. TRIM AND RETURNS TO BE BLACK. LETTER ILLUMINATION BY GE LUMINATION WHITE LEDs.

RATED 120 VOLTS

LETTERS TO BE BUILT TO U.L. SPECS, BE U.L. LISTED, AND CARRY U.L. LABELS.

54 STACKED



RENDERING OF WEST ELEVATION - NTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



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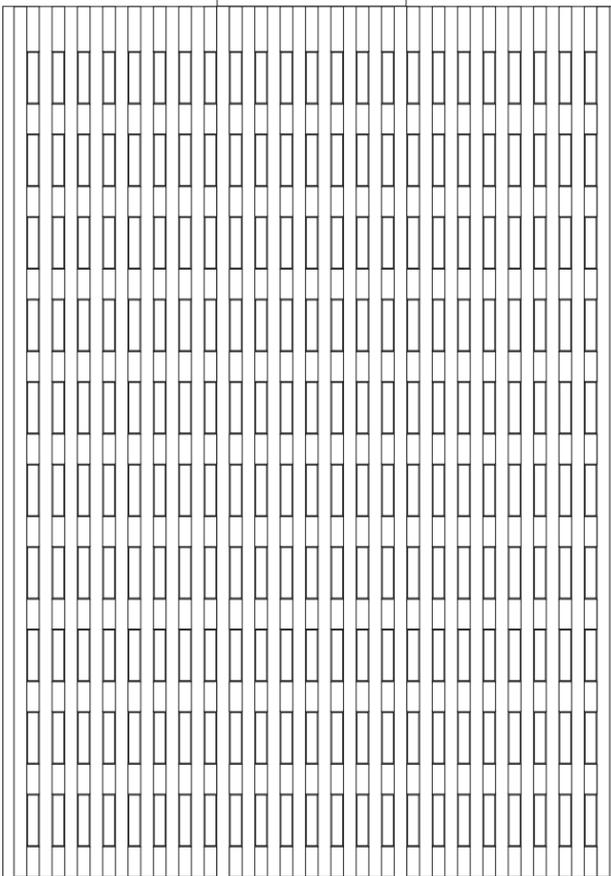
4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

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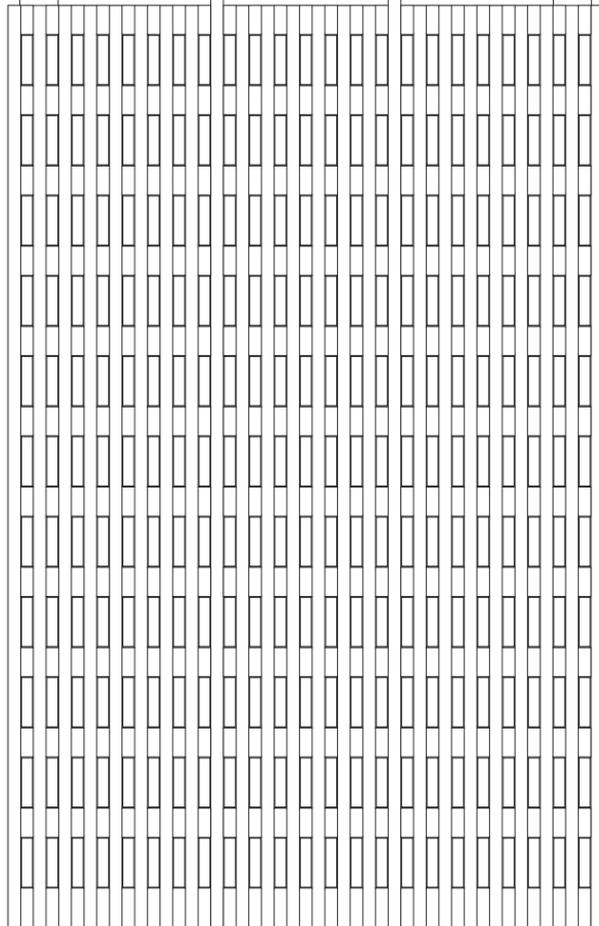
COMPANY NAME	KeyBank	SALESMAN	H	DATE	6-24-16	REVISION	8-24-16	DESIGN NO.	B16-2168
LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	1/4" = 1'-0"			COPYRIGHT ©	2016
						FILE NAME	:/key niagara/key PA/11 stanwix st		

104'-0"

AREA OF SIGN - 299 SQUARE FEET.
AREA OF EXPOSED BUILDING
FACADE - 36,920 SQUARE FEET.
PERCENTAGE OF FACADE USED
BY HI-RISE LETTERS - 0.80%

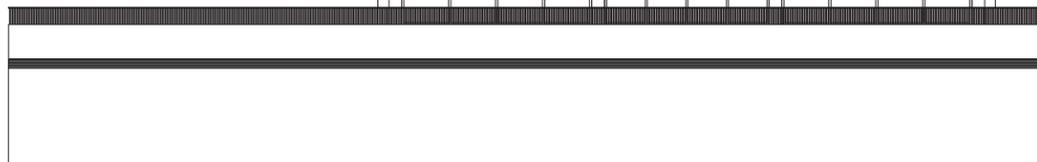


KeyBank



186'-6"

355'-0" plaza and penthouse not included



WEST ELEVATION SCALE 1/32" = 1'-0"

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



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COMPANY NAME	KeyBank	SALESMAN	H	DATE	8-24-16	REVISION		DESIGN NO.	B16-2513
LOCATION	11 Stanwix St., Pittsburgh, PA	DESIGNER	DM	SCALE	1/32" = 1'-0"			COPYRIGHT ©	2016

FILE NAME
I:/key niagara/key PA/11 stanwix hi rise

25'-11 3/8 "



OPAQUE ALUMINUM RETURNS, PAINTED BLACK FOR LETTERS, RED FOR KEY LOGO

NIT / CANDELA CALCULATIONS:

WHITE LETTERS - 234.5 NITS, BASED UPON 21 LED MODULES PER METER SQUARED, 52 LUMENS PER MODULE WITH 150-DEGREE VIEWING ANGLE.

RED KEY LOGO - 192.4 NITS, BASED UPON 32 LED MODULES PER SQUARE METER, 28 LUMENS PER MODULE WITH 150-DEGREE VIEWING ANGLE.

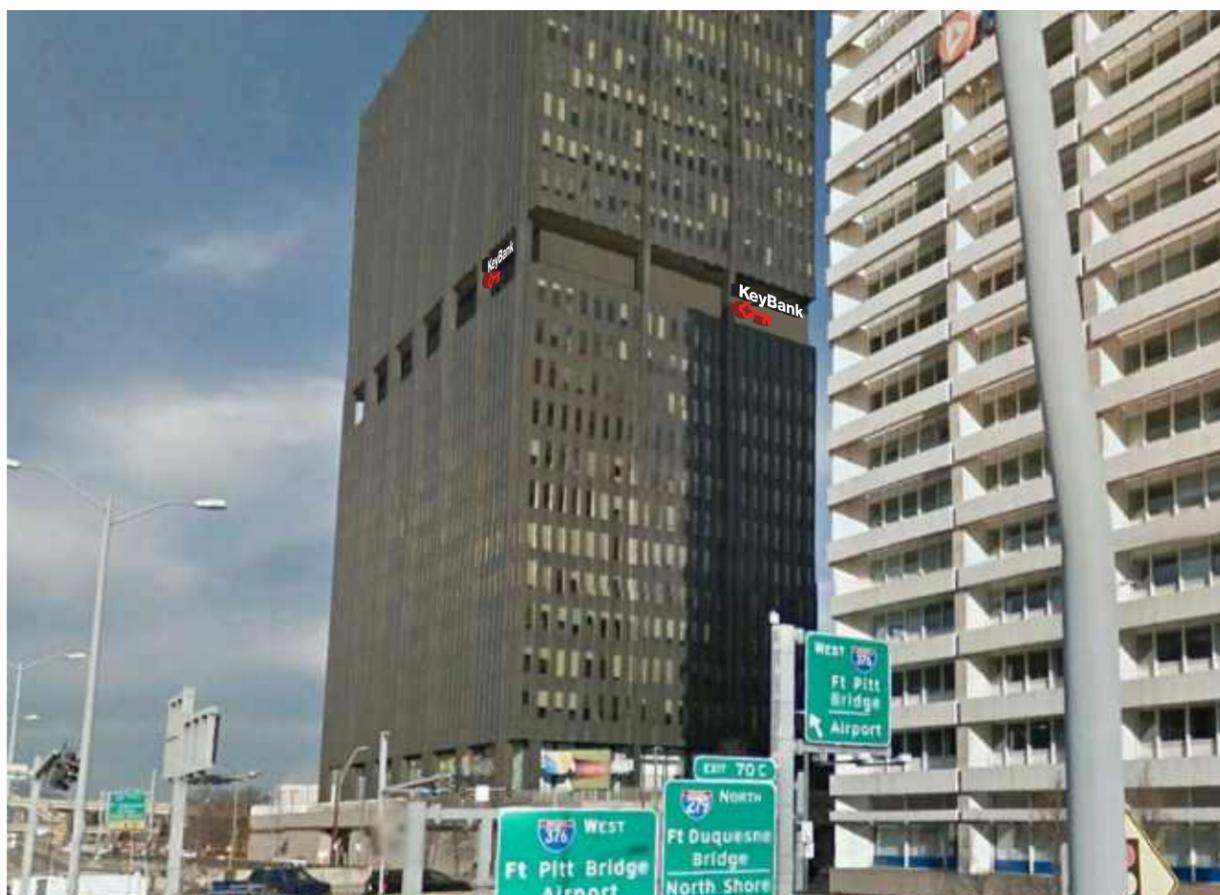
NOTES:

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RATED 120 VOLTS

LETTERS TO BE BUILT TO U.L. SPECS, BE U.L. LISTED, AND CARRY U.L. LABELS.

54 STACKED



RENDERING OF EAST ELEVATION - NTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



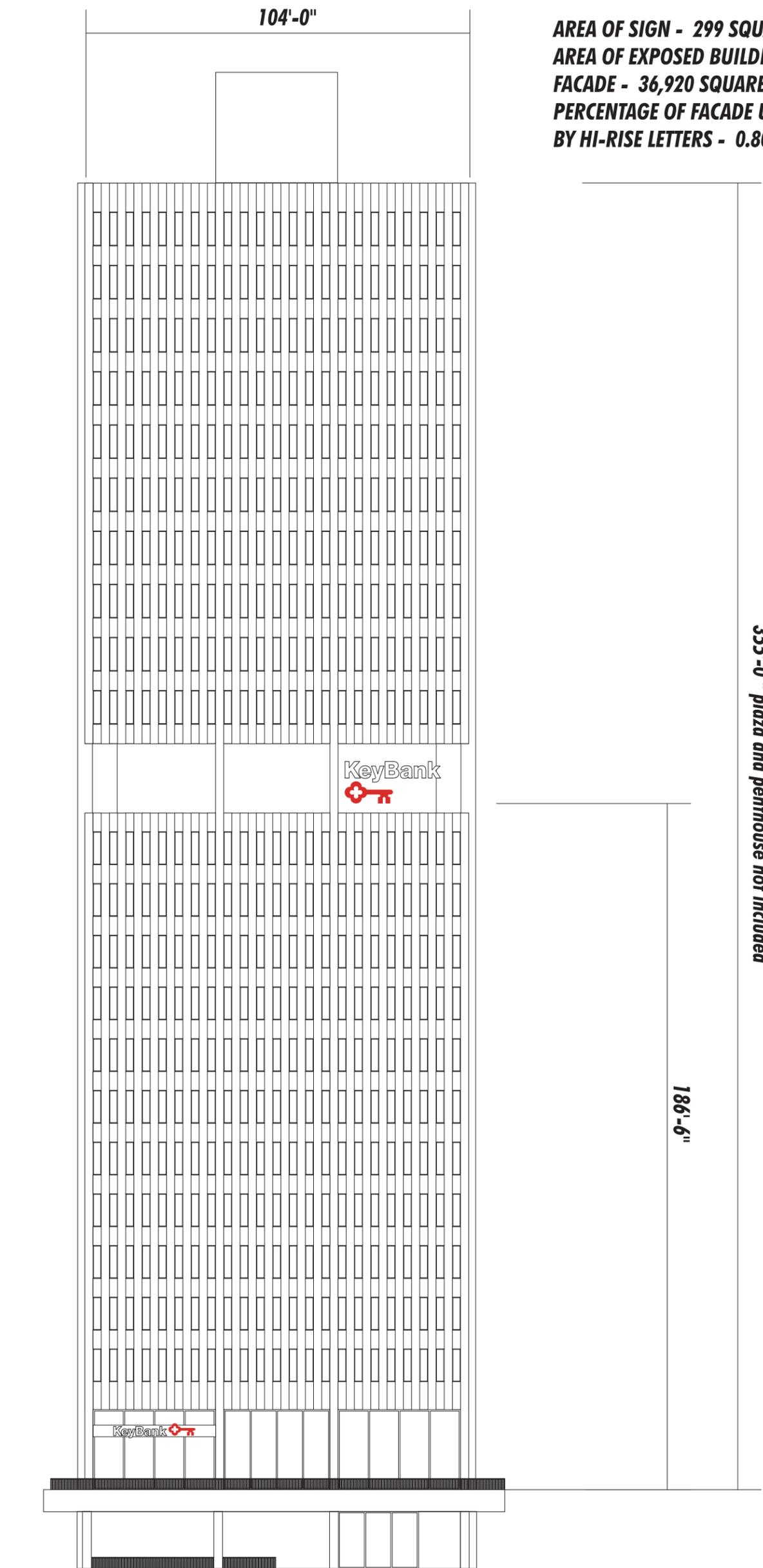
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COMPANY NAME	KeyBank	SALESMAN	H	DATE	6-24-16	REVISION	8-24-16	DESIGN NO.	B16-2169
LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	1/4" = 1'-0"			COPYRIGHT ©	2016

FILE NAME: **q:/key niagara/key PA/11 stanwix st**



**AREA OF SIGN - 299 SQUARE FEET.
 AREA OF EXPOSED BUILDING
 FACADE - 36,920 SQUARE FEET.
 PERCENTAGE OF FACADE USED
 BY HI-RISE LETTERS - 0.80%**

355'-0" plaza and penthouse not included

186'-6"

EAST ELEVATION SCALE 1/32" = 1'-0"

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



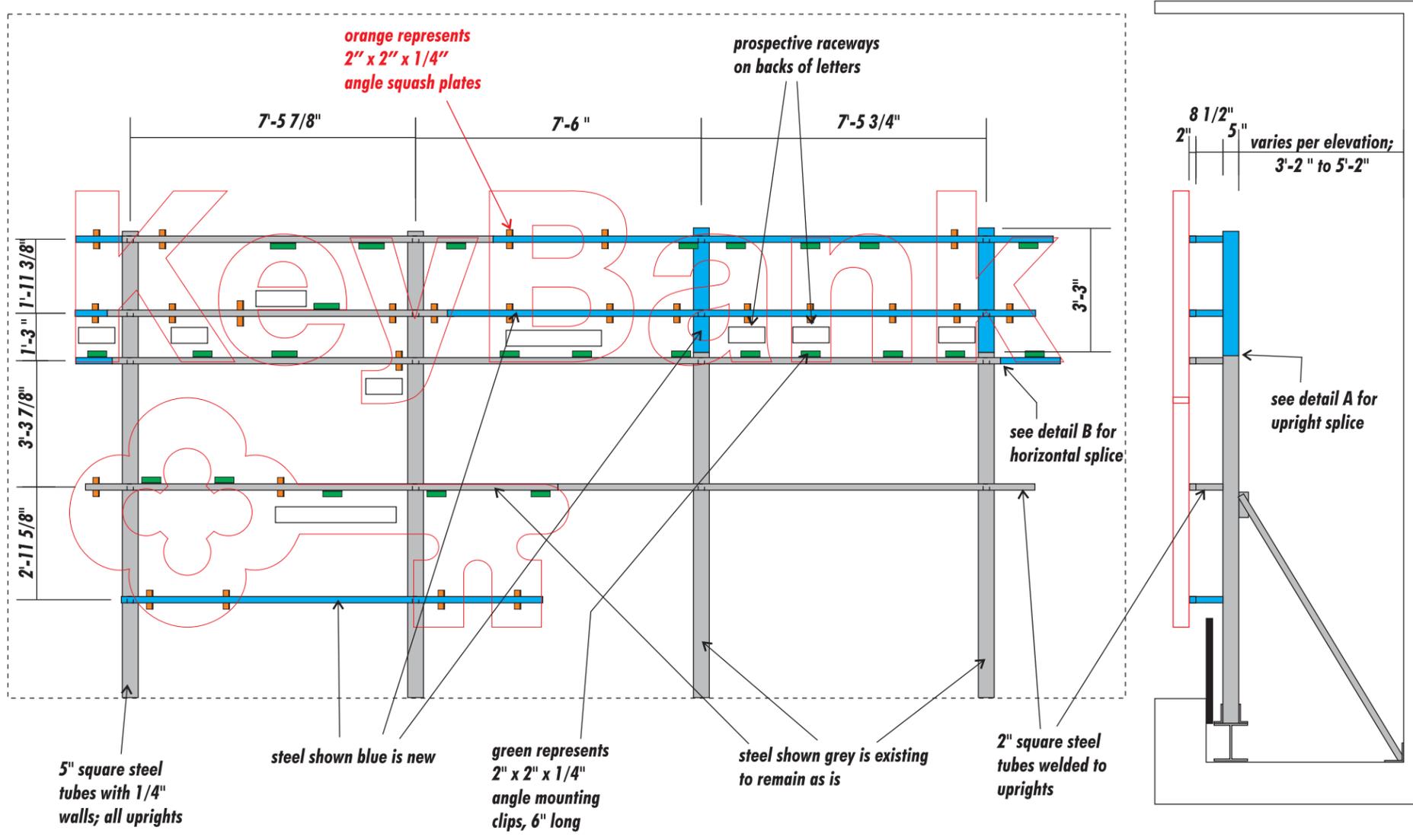
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COMPANY NAME KeyBank	SALESMAN H	DATE 8-24-16	REVISION	DESIGN NO. B16-2511
LOCATION 11 Stanwix St., Pittsburgh, PA	DESIGNER DM	SCALE 1/32" = 1'-0"		COPYRIGHT © 2016

FILE NAME
1:/key niagara/key PA/11 stanwix hi rise



**STEEL A-FRAME STRUCTURE FOR LETTERSETS SHOWN ON
#B16-2166, #B16-2167, #B16-2168 & #B16-2169**

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

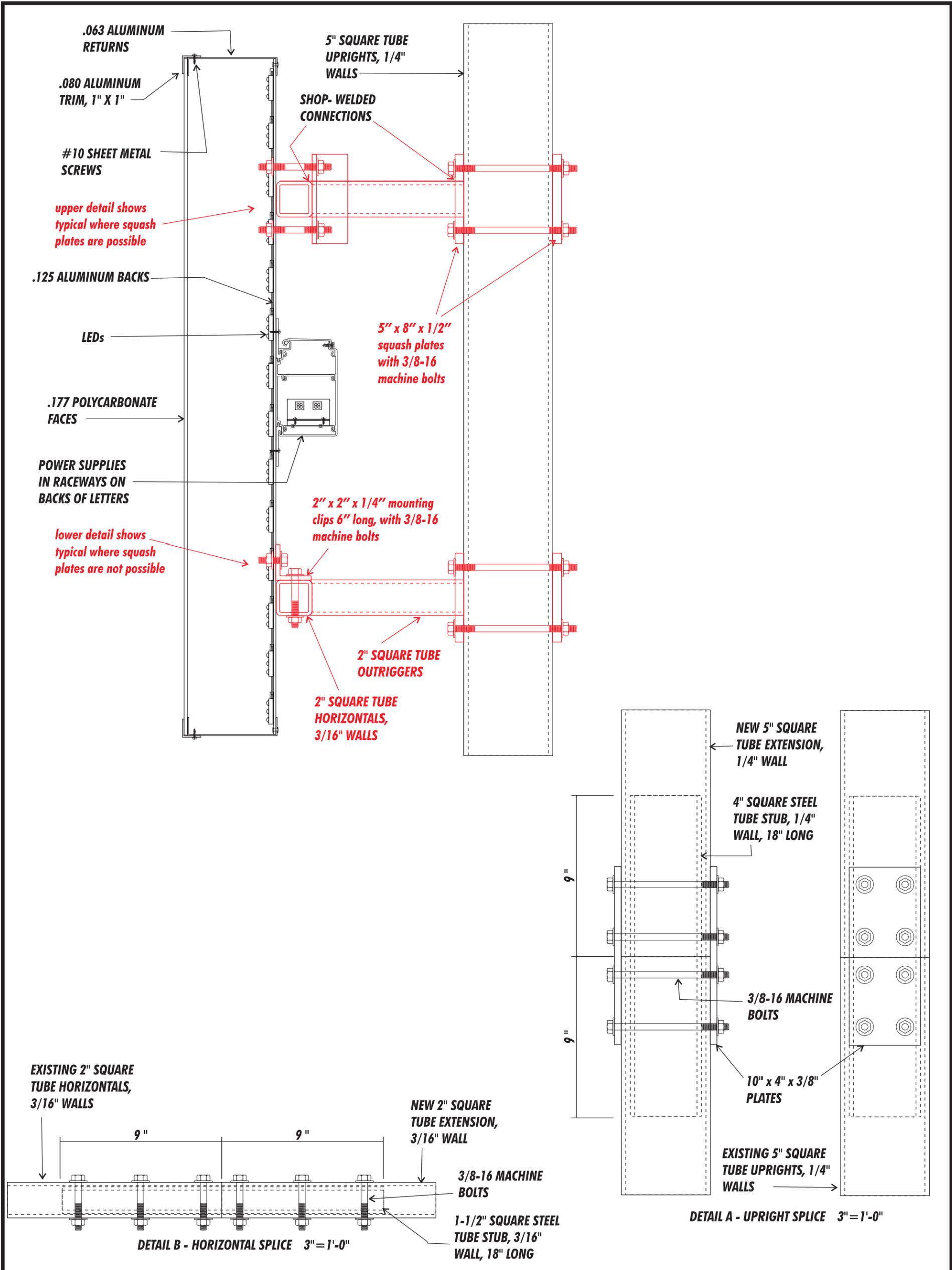


Brilliant Electric Sign Co., Ltd.

4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

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COMPANY NAME	KeyBank	SALESMAN	H	DATE	6-24-16	REVISION	8-16-16	DESIGN NO.	B16-2169 cons
LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	3/8" = 1'-0"		8-25-16	COPYRIGHT ©	2016
FILE NAME: q:/key niagara/key PA/11 stanwix st									



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

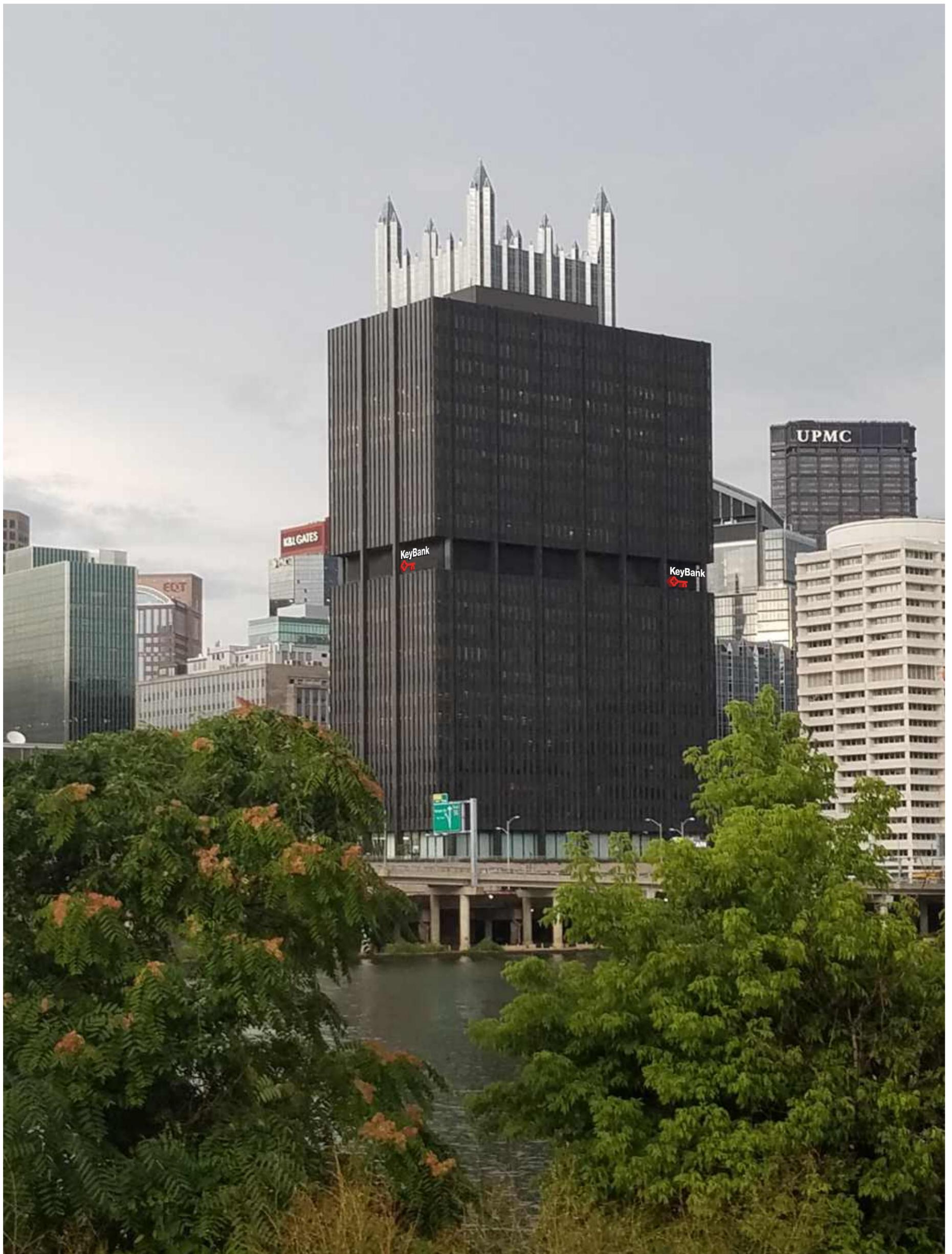


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COMPANY NAME	KeyBank	SALESMAN	H	DATE	6-24-16	REVISION	8-16-16	DESIGN NO.	B16-2166 cons
LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	3" = 1'-0"			COPYRIGHT ©	2016
FILE NAME: q:/key niagara/key PA/11 stanwix st									



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



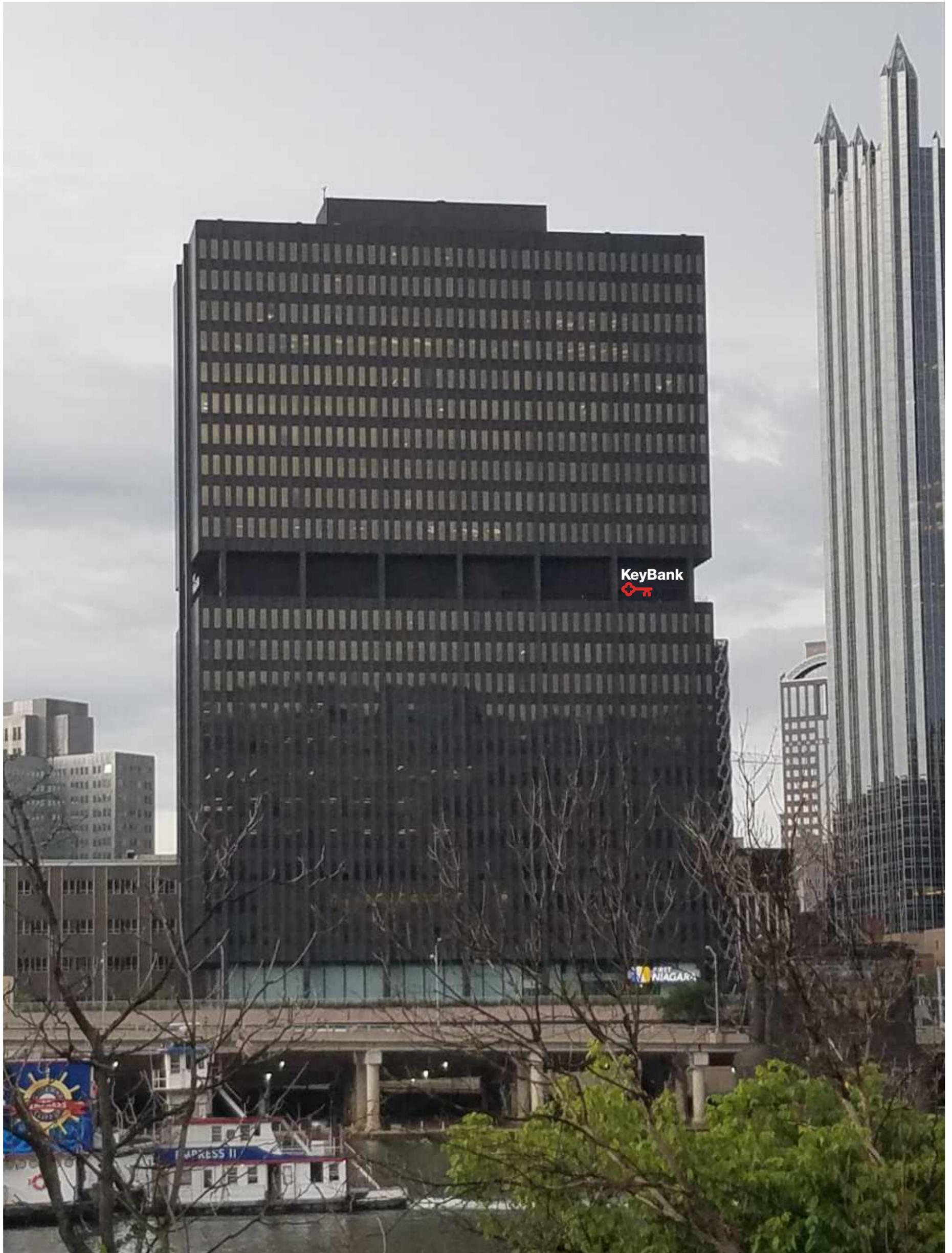
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COMPANY NAME	KeyBank	SALESMAN	H	DATE	8-24-16	REVISION		DESIGN NO.	PHOTO DROP
LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	NTS			COPYRIGHT ©	2016

FILE NAME: **:/key niagara/key PA/11 stanwix st**



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



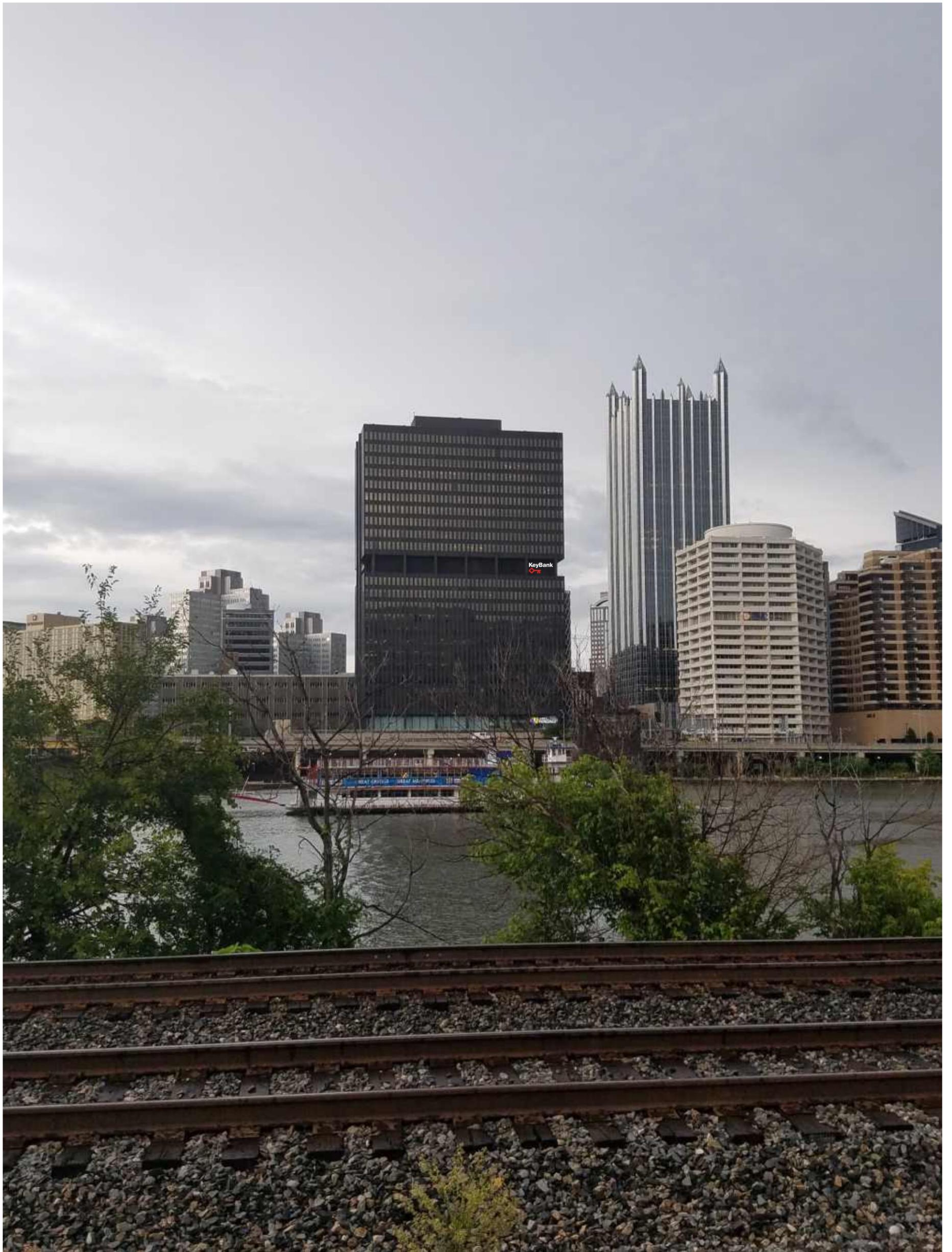
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LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	NTS			COPYRIGHT ©	2016

FILE NAME: **:/key niagara/key PA/11 stanwix st**



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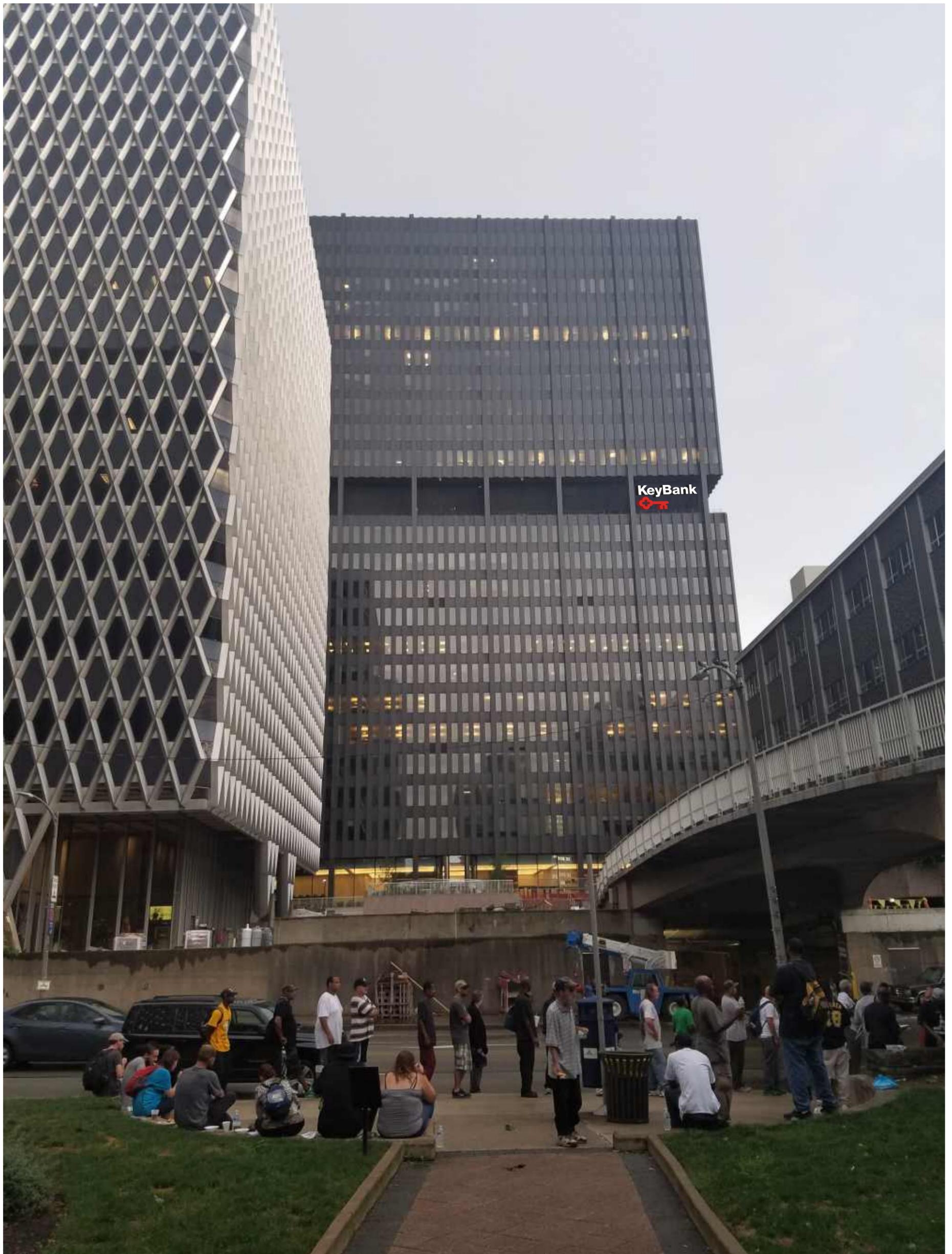
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COMPANY NAME	KeyBank	SALESMAN	H	DATE	8-24-16	REVISION		DESIGN NO.	PHOTO DROP
LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	NTS			COPYRIGHT ©	2016

FILE NAME: **:/key niagara/key PA/11 stanwix st**



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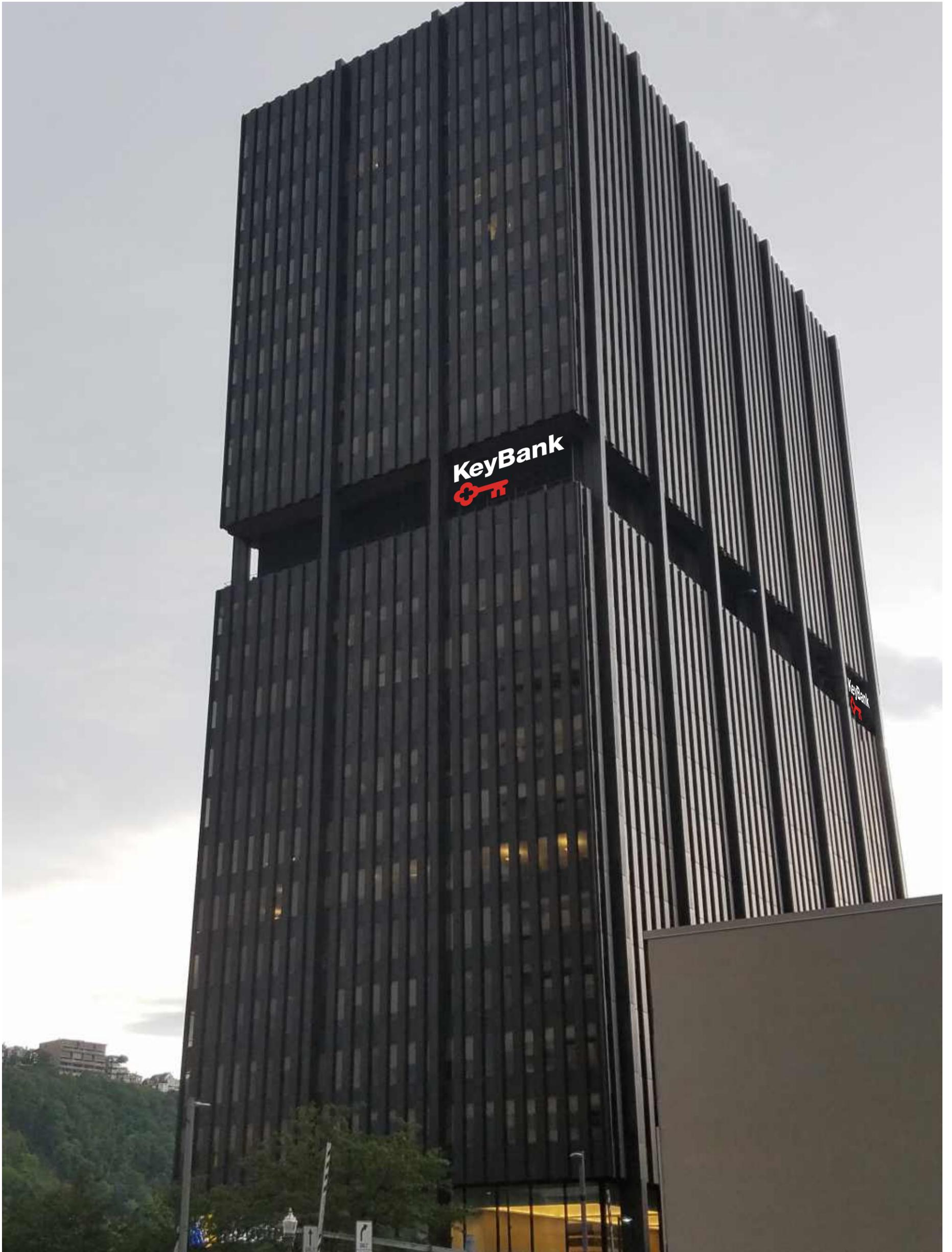
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LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	NTS			COPYRIGHT ©	2016

FILE NAME: **:/key niagara/key PA/11 stanwix st**



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



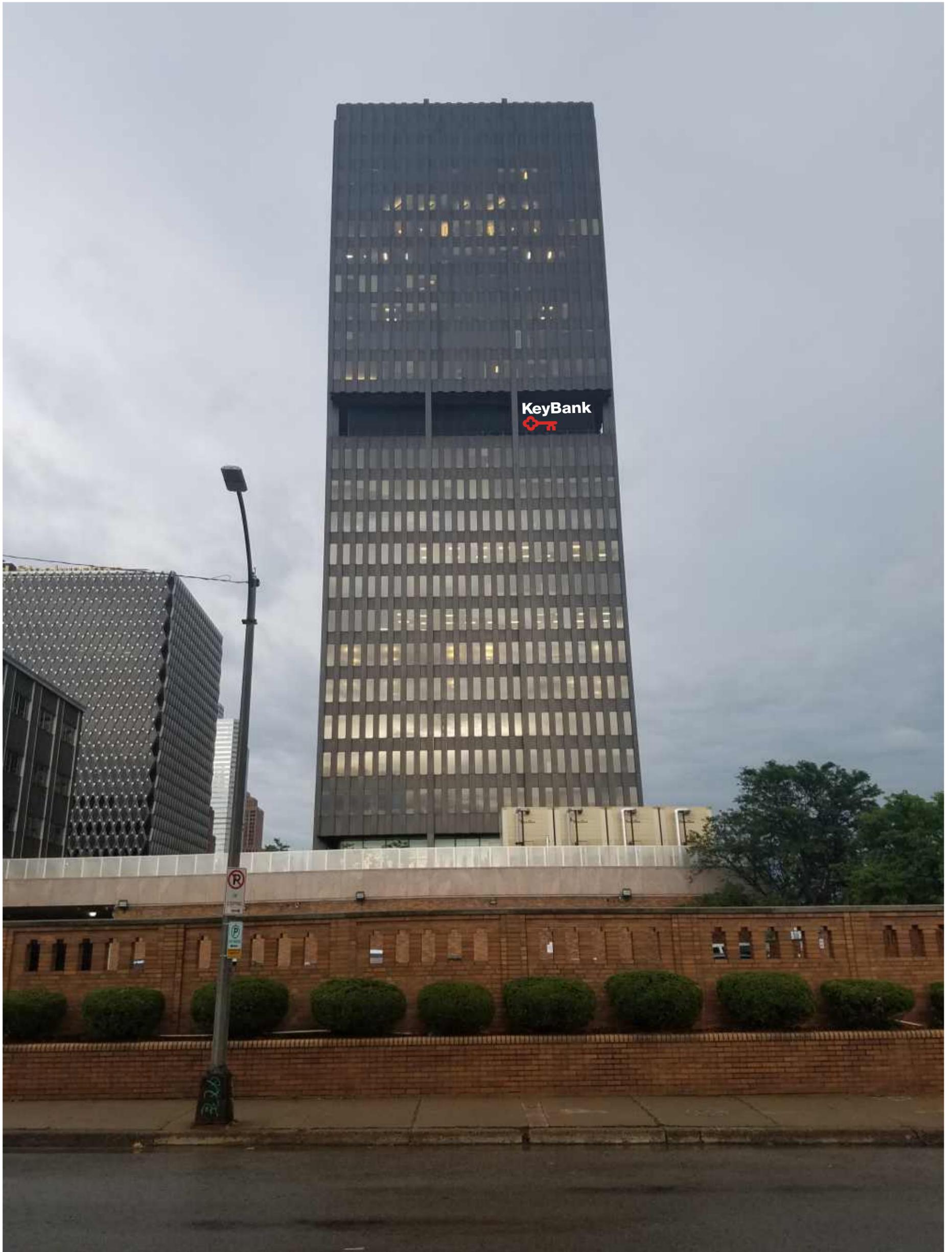
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LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	NTS			COPYRIGHT ©	2016

FILE NAME: **:/key niagara/key PA/11 stanwix st**



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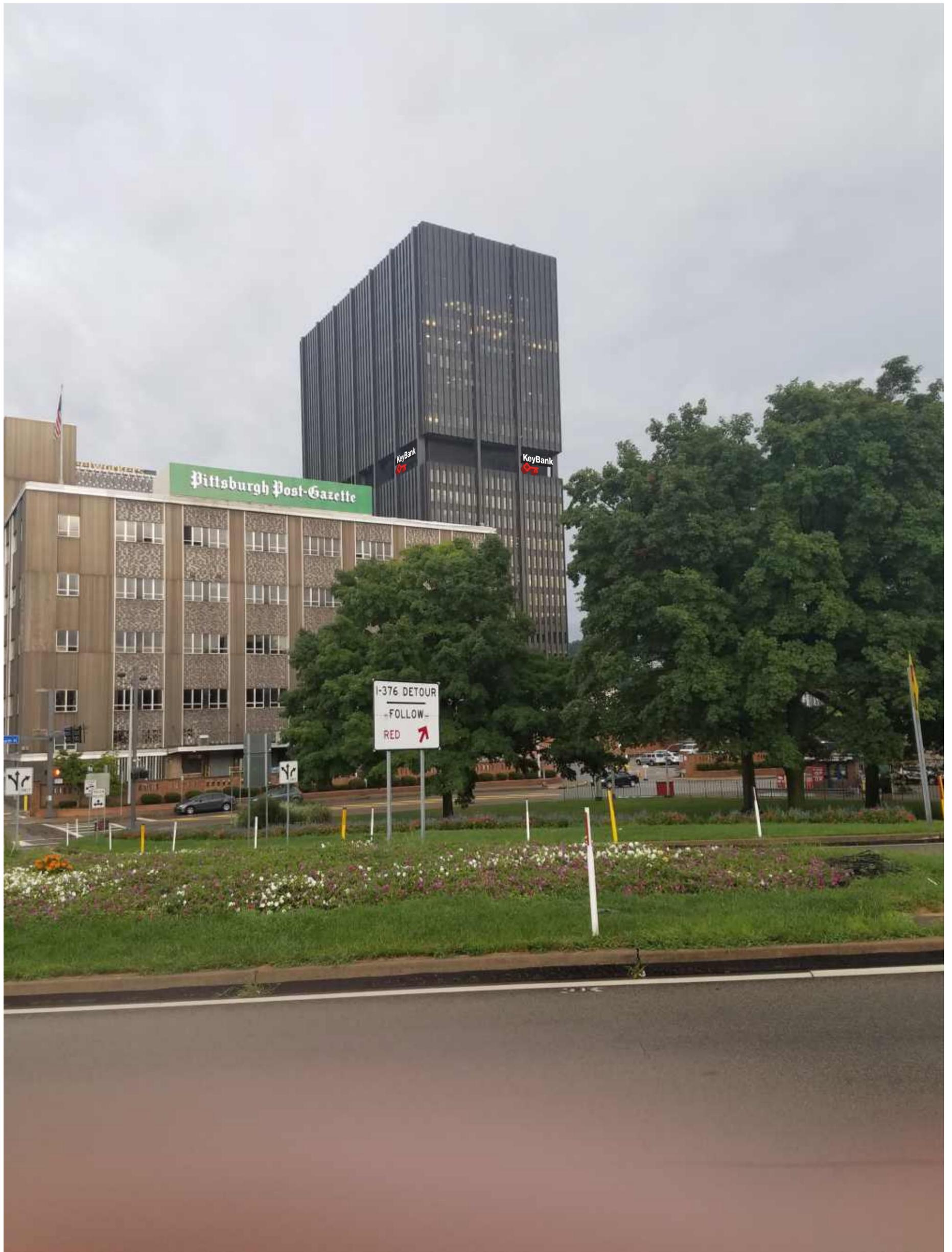
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COMPANY NAME	KeyBank	SALESMAN	H	DATE	8-24-16	REVISION		DESIGN NO.	PHOTO DROP
LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	NTS			COPYRIGHT ©	2016

FILE NAME: **:/key niagara/key PA/11 stanwix st**



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



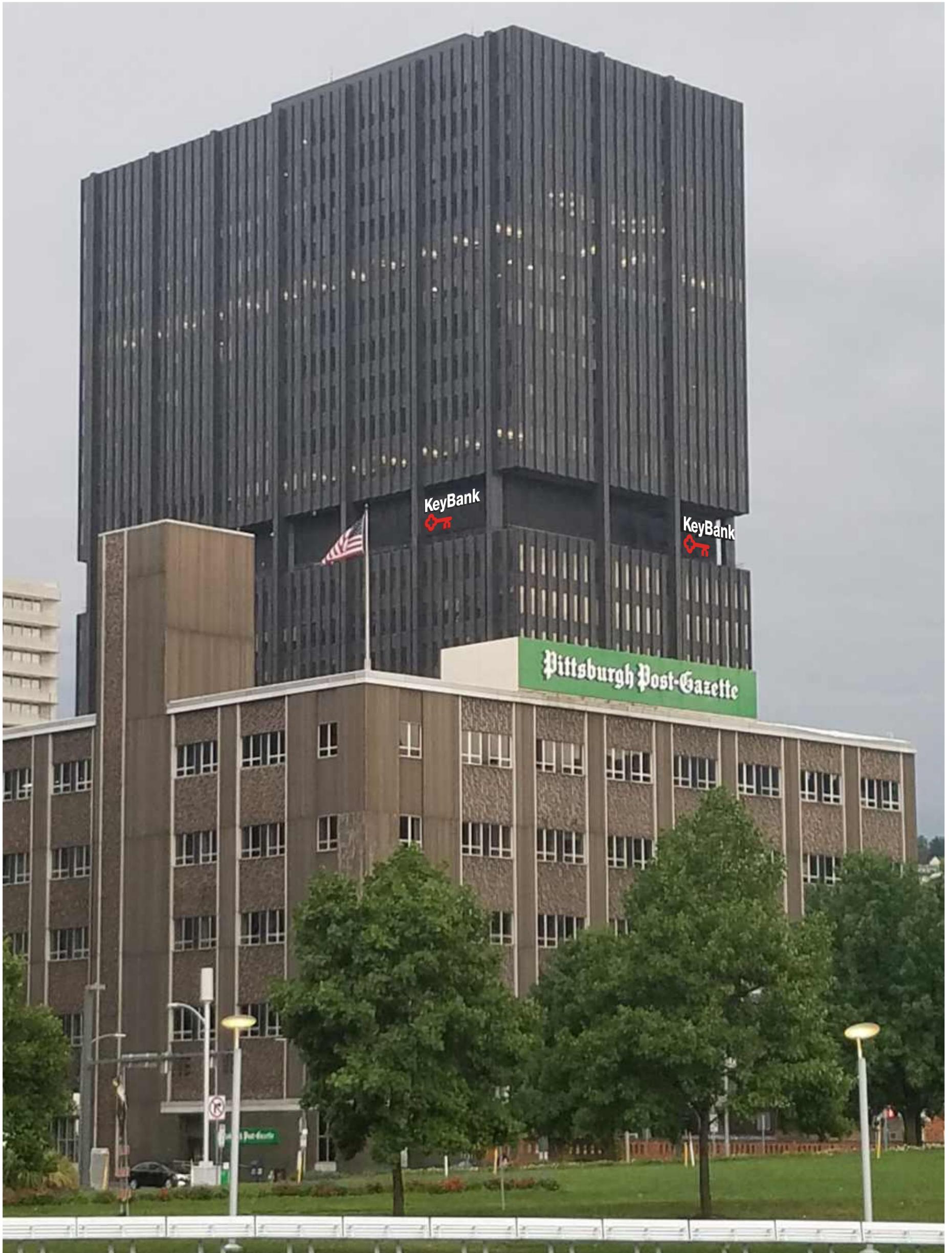
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LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	NTS			COPYRIGHT ©	2016

FILE NAME: **:/key niagara/key PA/11 stanwix st**



NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.



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COMPANY NAME	KeyBank	SALESMAN	H	DATE	8-24-16	REVISION		DESIGN NO.	PHOTO DROP
LOCATION	11 Stanwix Street, Pittsburgh, PA	DESIGNER	DM	SCALE	NTS			COPYRIGHT ©	2016

FILE NAME: **:/key niagara/key PA/11 stanwix st**



Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: UPMC		Phone Number: ()	
Address: 600 Grant St.	City: Pittsburgh	State: PA	Zip Code:
2. Applicant/Company Name: Wm. Brennan; Celli-Flynn Brennan		Phone Number: (412)281-9400	
Address: 606 Liberty	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: UPMC - Center for Innovative Science Phase II Restoration			
4. Development Location: 5000 Baum Blvd. , Pittsburgh			
5. Development Address:			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction: Start Date: 10/01/2016		Occupancy Date: / / NA	Project Cost: \$ 450,000
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list):			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New		<input type="checkbox"/> Renovation, Interior	
<input type="checkbox"/> New Construction,		<input checked="" type="checkbox"/> Renovation, Exterior	
<input type="checkbox"/> Change in Use Only		<input type="checkbox"/> Renovation, Change in Use	
11. Describe the Development: Remove existing temporary window infill material and install new high performance Windows with insulaten glass and applied muttins to match windows install on the Baum and Morewood elevations. Work is proposed on the Center Ave. Elevation and above the crane bay.			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: <input checked="" type="checkbox"/> N/A				
<input type="checkbox"/> Residential	<input type="checkbox"/> Commercial	<input type="checkbox"/> Recreational	<input type="checkbox"/> Industrial	<input type="checkbox"/> Institutional
14. Gross Floor Area:				
Existing to be Razed:	<u>None</u>	sq ft		
Existing to be Retained:	<u>All existing</u>	sq ft		
Retained Area to be Renovated:	_____	sq ft		
To be Constructed:	_____	sq ft		
Building Footprint:	_____	sq ft		
15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure				
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				
16. Number of Dwelling Units:				
Existing to Remain:	_____	Proposed:	_____	
17. Lot Area: _____ sq ft				
18. On Site Parking: <input type="checkbox"/> N/A				
	<u>Existing</u>		<u>Proposed</u>	
Full (8 1/2' x 19')				
Compact (7 1/4' x 16')				
Handicap (13 1/2' x 19')				
Off-Street Loading Spaces: <input type="checkbox"/> N/A				
Actual:	_____			
Required:	_____			
19. Please check any of the following items that will be part of the proposed work: <input type="checkbox"/> N/A				
<input checked="" type="checkbox"/> Demolition	<input type="checkbox"/> HVAC (Interior)	<input type="checkbox"/> HVAC (Exterior)	<input type="checkbox"/> Electrical	<input type="checkbox"/> Fire Alarm
<input type="checkbox"/> Fire Protection/Sprinklers	<input type="checkbox"/> Deck Construction	<input type="checkbox"/> Commercial Cooking Hood	<input type="checkbox"/> Sign	
20. Please check the following items that pertain to any work proposed on private plumbing: (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).				
<input type="checkbox"/> Repair or Replace Existing Plumbing	<input type="checkbox"/> New Construction of Plumbing	<input type="checkbox"/> No Plumbing Work is Proposed		



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pwsa.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s)	_____ Termination of Existing Water Service Tap(s)
_____ New Sewer Service Connection(s)	_____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

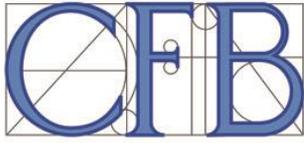
1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



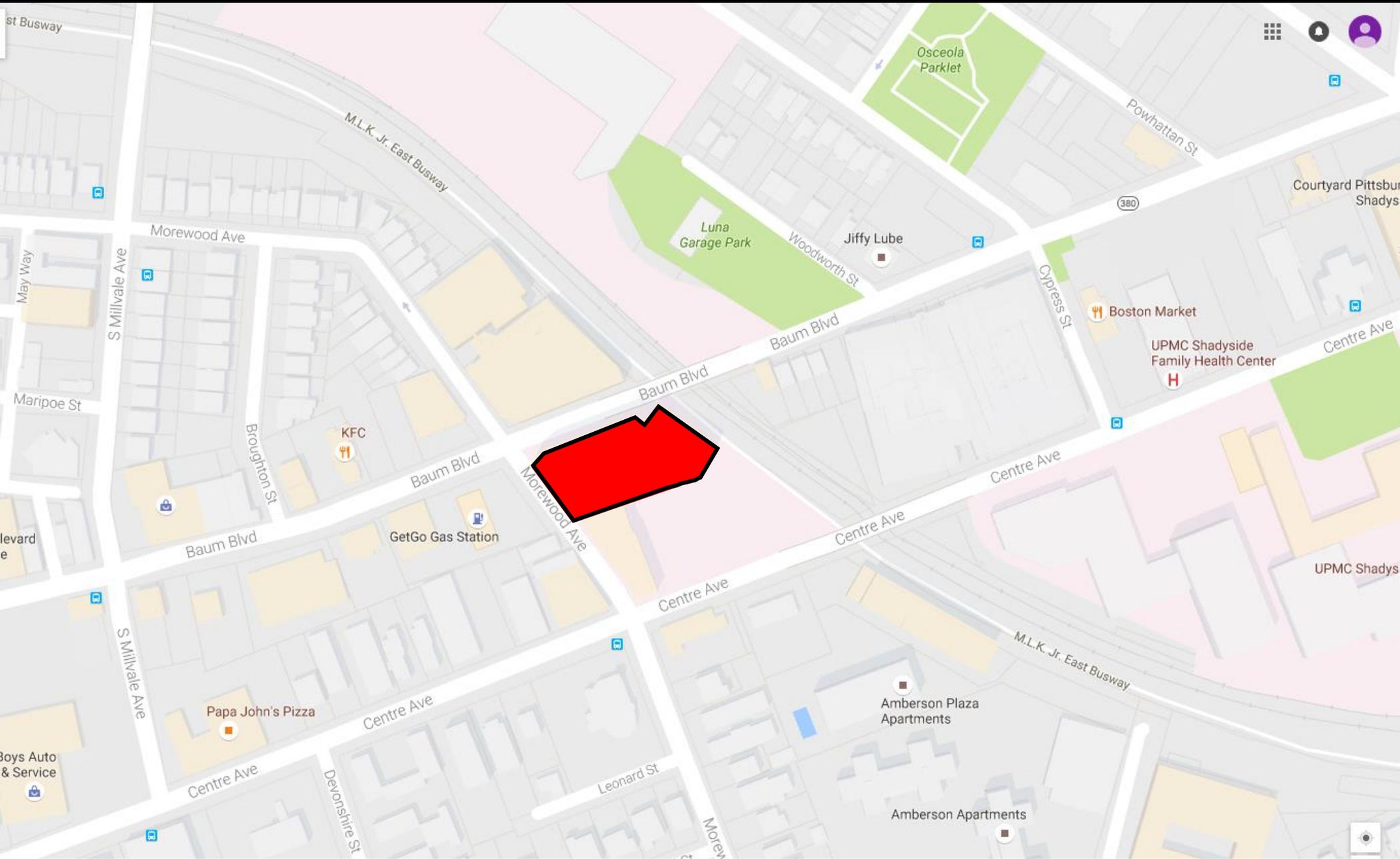
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Ph: 412.281.9400 Fax: 412.281.1395
www.cfbarchitects.com



Ford Motor Company Building
5000 Baum Boulevard

Façade Repair and Rehabilitation – Phase II
IPOD Review - August 30, 2016



Location Map



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



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THE FORD MOTOR COMPANY BUILDING

FACADE REHABILITATION

BAUM BOULEVARD & MOREWOOD AVENUE
PITTSBURGH, PA

FOR
UNIVERSITY OF PITTSBURGH MEDICAL CENTER

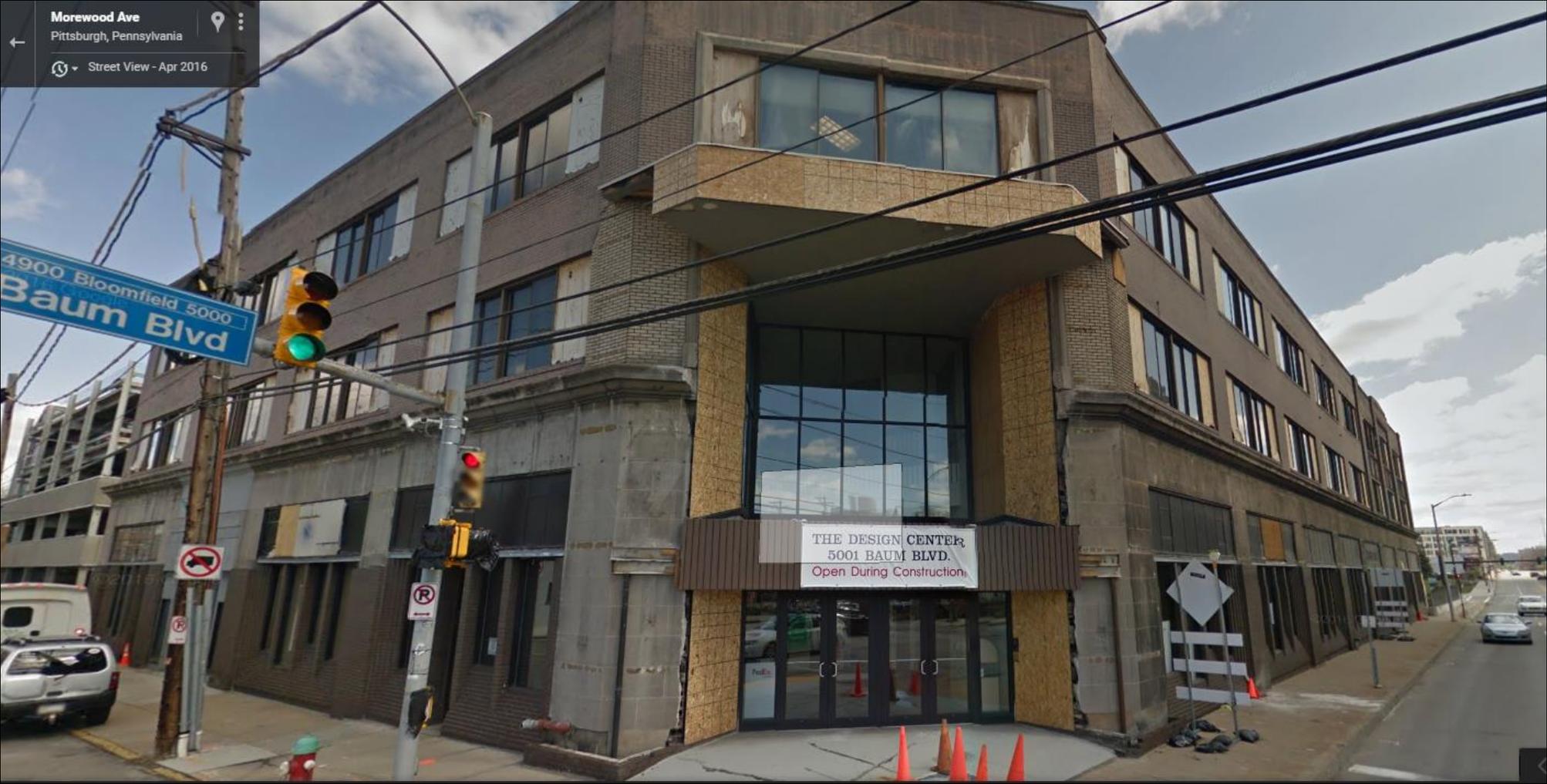
DATE	PROJECT NO.
7/26/2011	06-61-01
SHEET TITLE	
PRESENTATION ELEVATIONS	
P201	



Existing South Facade



Existing South Facade



Morewood Ave
Pittsburgh, Pennsylvania

Street View - Apr 2016

4900 Bloomfield 5000
Baum Blvd

THE DESIGN CENTER
5001 BAUM BLVD.
Open During Construction

The Design Center



Existing South Facade



Existing East Facade

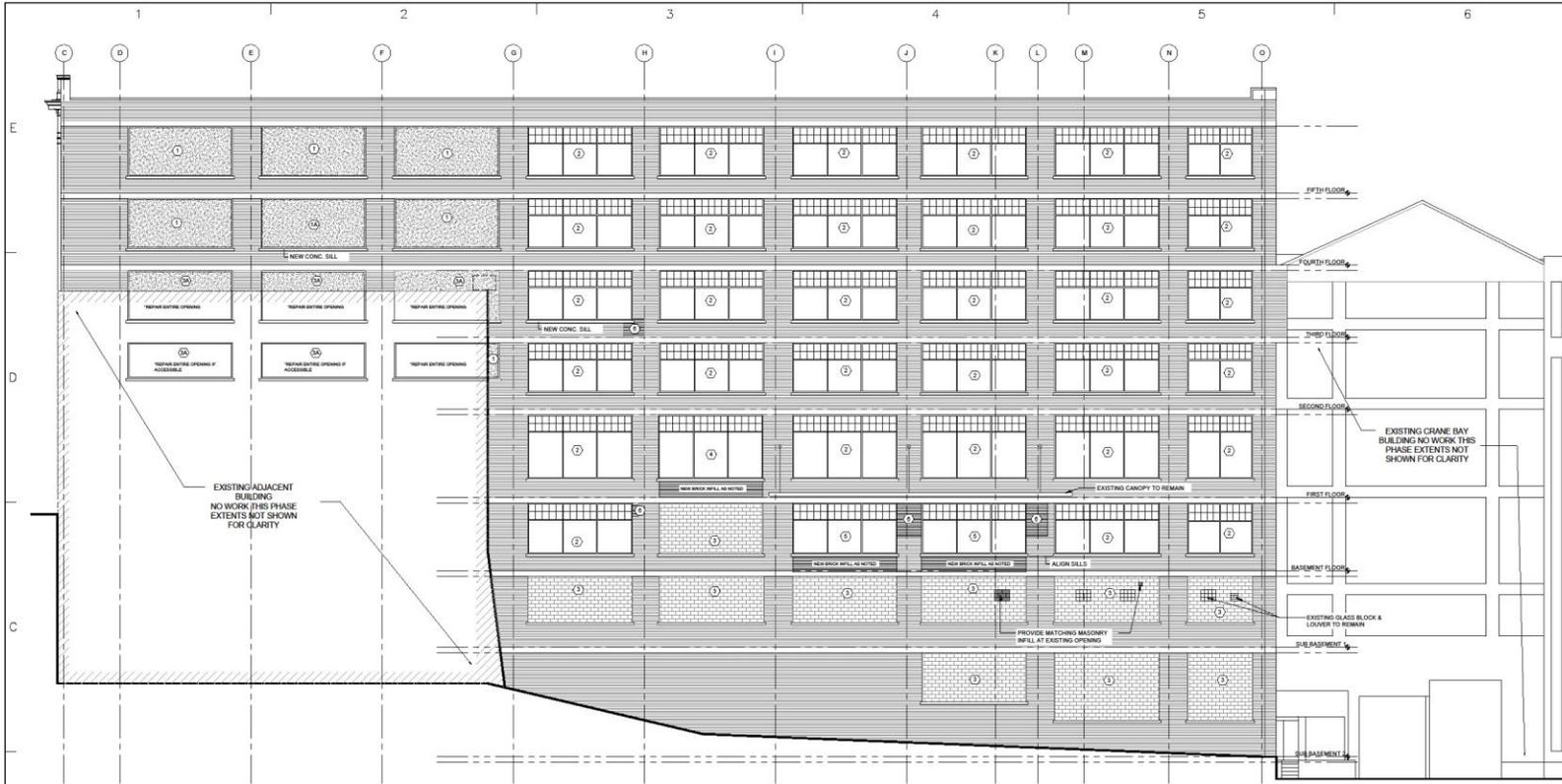
DESIGN REVIEW SUBMISSION
PRELIMINARY DESIGN REVIEW
SCHEME REVIEW FOR SPECIFIC DESIGN
SCHEME REVIEW FOR GRANT
PERMIT APPLICATION

PROJECT NO.	15-17
DATE OF FILE	10/24/15
OWNER	CFB
DATE	CFB

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SHEET TITLE
 SOUTH ELEVATION

A200



1 SOUTH ELEVATION
 1/8" = 1' - 0"

EXTERIOR NOTES

- ① REMOVE EXISTING PAINTED PLYWOOD SHEATHING OVER COLD FORMED METAL FRAMING (CMF) SYSTEM. REMOVE PERIMETER SEALANTS. CMF TO REMAIN. REPAIR AND/OR REPLACE DETERIORATED CMF MEMBERS.
- ② REPAIR EXISTING OPENINGS IF ACCESSIBLE.
- ③ REPAIR EXISTING OPENINGS IF ACCESSIBLE.
- ④ REPAIR EXISTING OPENINGS IF ACCESSIBLE.
- ⑤ REPAIR EXISTING OPENINGS IF ACCESSIBLE.
- ⑥ REPAIR EXISTING OPENINGS IF ACCESSIBLE.
- ⑦ REMOVE EXISTING PAINTED PLYWOOD SHEATHING AND COLD FORMED METAL FRAMING (CMF) IN FILL INCLUDING INSULATION. PROVIDE NEW THERMALLY IMPROVED FIXED ALUMINUM WINDOWS TO MATCH EXISTING REPLACEMENT WINDOWS.
- ⑧ REPAIR CONCRETE HEAD/JAMB EDGE AS REQUIRED TO PERMIT INSTALLATION OF WINDOWS.
- ⑨ REPAIR CONCRETE SILL AS REQUIRED TO PERMIT INSTALLATION OF WINDOWS.
- ⑩ EXISTING CMU TO REMAIN. PROVIDE EPS OVER EXISTING CMU MINIMUM R-12 EXTERIOR APPLIED RIGID INSULATION. SEAL ALL JOINTS AND PERIMETER.

- ⑪ REMOVE SECTIONAL DOOR, SHEATHING, SIDELIGHTS, TRANSOM AND GLAZING. REMOVE PLYWOOD SHEATHING FROM SIDE LITES AND TRANSOM. REMOVE ALL FRAMING TO CREATE CLEAR OPENING FROM TOP OF SLAB TO UNDERSIDE OF EXISTING MASONRY OPENING.
- ⑫ REPAIR CONCRETE HEAD/JAMB EDGES AS REQUIRED TO INSTALL NEW BRICK SPANDREL PANELS TO MATCH EXISTING ADJACENT ORIGINAL BRICK SPANDRELS.
- ⑬ PROVIDE NEW CONCRETE SILL TO MATCH ADJACENT EXISTING SILL AS REQUIRED TO PERMIT INSTALLATION OF NEW THERMALLY IMPROVED FIXED ALUMINUM WINDOWS.
- ⑭ REMOVE SECTIONAL DOOR, SHEATHING, SIDELIGHTS, TRANSOM AND GLAZING. REMOVE PLYWOOD SHEATHING FROM SIDE LITES AND TRANSOM. REMOVE ALL FRAMING TO CREATE CLEAR OPENING FROM TOP OF SLAB TO UNDERSIDE OF EXISTING MASONRY OPENING.
- ⑮ REPAIR CONCRETE HEAD/JAMB EDGES AS REQUIRED TO INSTALL NEW BRICK SPANDREL PANELS TO MATCH EXISTING ADJACENT ORIGINAL BRICK SPANDRELS.
- ⑯ EXISTING SILL AS REQUIRED TO PERMIT INSTALLATION OF NEW THERMALLY IMPROVED FIXED ALUMINUM WINDOWS.
- ⑰ REPAIR CONCRETE SILL AS REQUIRED TO PERMIT INSTALLATION OF WINDOWS.
- ⑱ REMOVE EXISTING IN-FILL MATERIAL. INSTALL NEW BRICK TO MATCH EXISTING ADJACENT ORIGINAL BRICK.

TYPICAL WINDOW INFORMATION

NEW THERMALLY IMPROVED FIXED ALUMINUM WINDOWS TO MATCH EXISTING REPLACEMENT WINDOWS.
 ■ GAUGED 1/8" X 1/8" X 1/8" HERITAGE FIELD WINDOWS.
 ■ 1/2" X 1/2" X 1/2" EXTERIOR MOUNTING. NO INTERIOR MOUNTING.
 EXTERIOR & INTERIOR COLOR TO BE 'FOREST GREEN'.
 1" INSULATED GLASS.

B
A



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CONSULTANT
University of Pittsburgh Medical
Center
Center for Innovative Science

The Ford Motor
Company Building
Facade Renovation
Phase II

15-17

DESIGN REVIEW
SUBMISSION

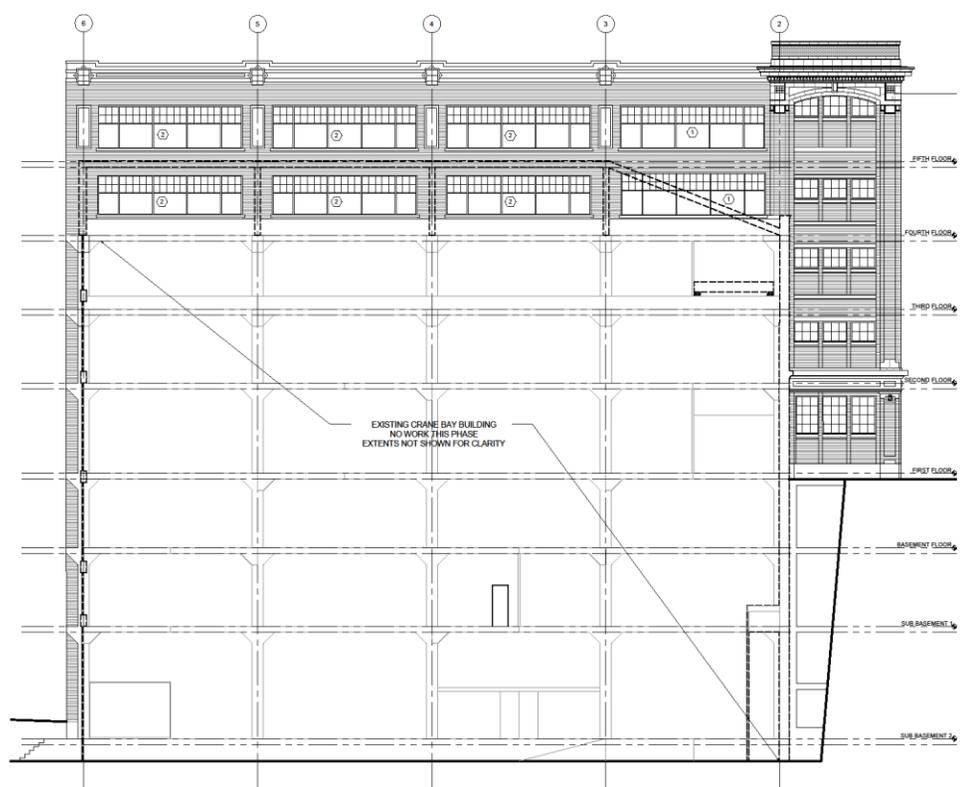
DATE	DESCRIPTION
10/15/15	DESIGN REVIEW SUBMISSION
10/20/15	FINAL DESIGN REVIEW MEETING
11/02/15	SCOPED REVIEW FOR UPAC REVIEW
11/02/15	SCOPED REVIEW FOR UPAC REVIEW

PROJECT NO.	15-17
DATE	10/15/15
DRWN BY	CFB
CHECK BY	CFB

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SHEET TITLE
EAST ELEVATION

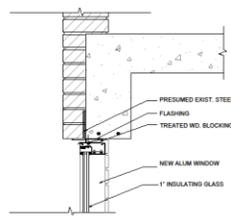
A201



1 EAST ELEVATION
1/8" = 1' - 0"

EXTERIOR NOTES:

- 1 REMOVE EXISTING PAINTED PLYWOOD SHEATHING AND COLD FORMED METAL FRAMING (CFMF) INFILL INCLUDING INSULATION. REMOVE EXISTING CONCRETE SILL. PROVIDE NEW CONCRETE SILL. PROVIDE NEW THERMALLY IMPROVED FIXED ALUMINUM WINDOWS TO MATCH EXISTING REPLACEMENT WINDOWS.
- 2 REMOVE EXISTING CONCRETE MASONRY INFILL TO LINES OF ORIGINAL WINDOW OPENING. PROVIDE NEW CAST-IN-PLACE OR PRECAST CONCRETE WINDOW SILL AND FLASHING. REPAIR MASONRY HEAD AND JAMB AS REQUIRED TO ACCEPT NEW THERMALLY IMPROVED FIXED ALUMINUM WINDOWS TO MATCH EXISTING REPLACEMENT WINDOWS.
- 3 EXISTING CMU TO REMAIN. PROVIDE EPS OVER EXISTING CMU AND AN IN R 7 EXTERIOR APPLIED RIGID INSULATION. SEAL ALL JOINTS AND PERIMETER.



2 TYP. EAST WINDOW HEAD DETAIL
1-1/2" = 1' - 0"

- NOTES:**
- 1 IF EXISTING BRICK LEADGE ANGLE HAS DETERIORATED MORE THAN 50% OF ORIGINAL THICKNESS OR IS LESS THAN 1/4" THICK, REPLACE AS NOTED BELOW.
 - A. 1" EXPOSED G.L.V. GALV. AND PAINTED.
 - B. 1" DIAMETER #13 STEEL REIN. ROSS @ 2'-0"
 - C. MAX. EMBED INTO EXISTING CONC. SPANDREL BEAM @ 2" USING EPOXY.
 - 2 PLACE 1/2" DIAMETER ROSS 1' IN FROM TOP OF ANGLE.
 - 3 LOCATE ALL EXISTING CONCRETE ELEMENTS REINFORCEMENT PRIOR TO INSTALLING ANCHORS.
 - 4 RESTORE EXISTING CONCRETE DAMAGE / DETEIORATION PRIOR TO INSTALLING ANCHORS.



⊙ SOUTH ELEVATION
1/8" = 1' - 0"

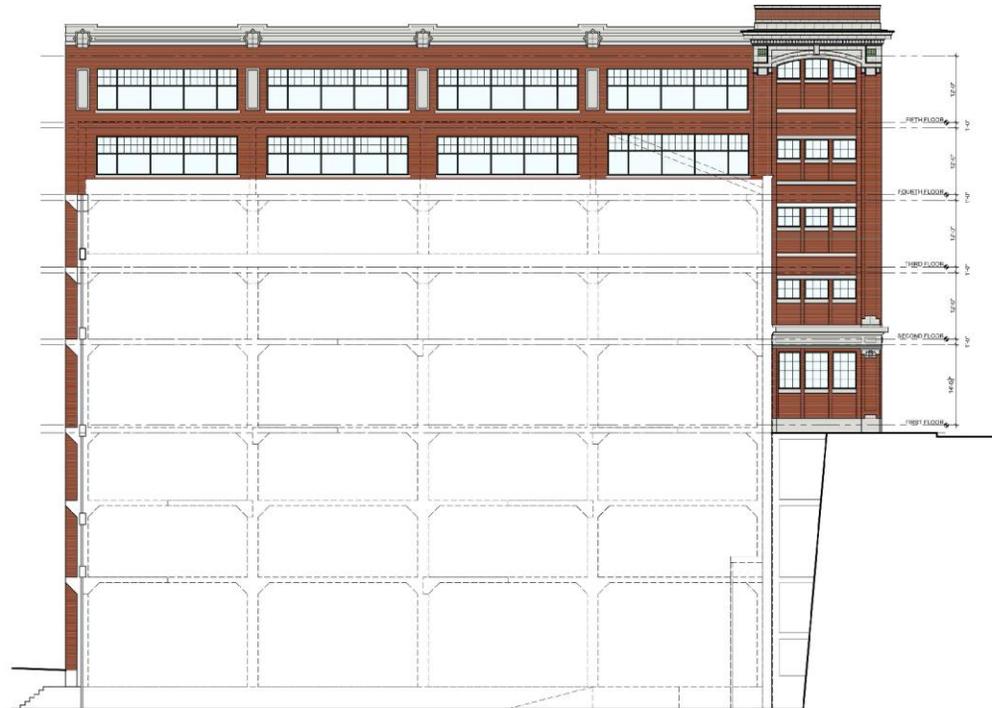


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THE FORD MOTOR COMPANY BUILDING

BAUM BOULEVARD & MOREWOOD AVENUE
PITTSBURGH PA

DATE	ISSUE NO.
06/03/2016	16-07
SHEET NO.	
PRESENTATION SOUTH ELEVATION	
P200	



1 EAST ELEVATION
 1/8" = 1' - 0"



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THE FORD MOTOR COMPANY BUILDING

BAUM BOULEVARD & MOREWOOD AVENUE
 PITTSBURGH, PA

DATE	PROJECT NO.
05/09/2016	15-17
SHEET TITLE	
EAST ELEVATION	
P201	

Architectural Windows

2250i/3250i/4250i INvert™ Series

Elevations Viewed From The Exterior

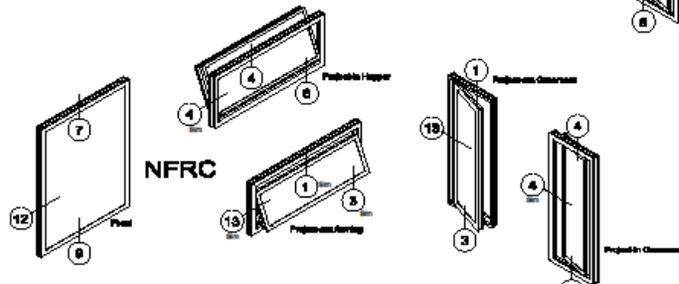
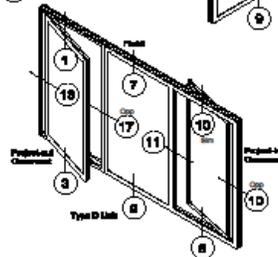
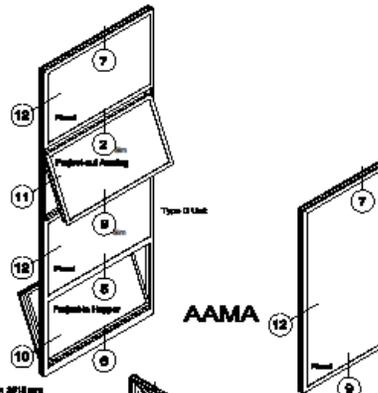
Section Contents	Page(s)
Details	P17-2 thru P17-4
Posts and Stacks	P17-5 thru P17-7
Glazing Options	P17-8 and P17-9
-BHM Blast Mitigation	P17-9
-HP Hurricane Impact	P17-9
Blind Options	P17-10 and P17-11
Simulated Double Hung	P17-12 thru P17-15
Accessories	P17-16 thru P17-18
Isometric Views	P17-20 and P17-21

AAMA Test Configurations (AAMA)
Architectural AW Class
For air, water, cycling and standard

Fixed Frame Size	60" x 96"	Field	964 mm x 2418 mm
Projected Frame Size	60" x 144"	Type D	964 mm x 3658 mm
Casement Frame Size	108" x 60"	Type D	2748 mm x 1524 mm
Gateway Sizes	96" x 36"	Projected	1524 mm x 914 mm
	36" x 60"	Casement	914 mm x 1524 mm

NFRC 100 Thermal Test Configurations (NFRC)
For U-Value, SHGC and CR

Fixed Frame Size	47" x 58"	1202 mm x 1483 mm
Projected Frame Size	59" x 24"	1498 mm x 610 mm
Casement Frame Size	24" x 58"	610 mm x 1483 mm



2250i/3250i/4250i INvert

Contact A Wausau Representative For Other Possible Configurations



Phase 1 – Window Installation



Phase 1 - Windows



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Continental Real Estate Companies		Phone Number: (412) 476-3009	
Address: 395 E. Waterfront Dr	City: Homestead	State: PA	Zip Code: 15120
2. Applicant/Company Name: NEXT architecture / Swatchroom		Phone Number: (412) 681-1145	
Address: 1133 Penn Avenue	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: BURN Pittsburgh - Patio & Storefront			
4. Development Location: Middle tenant of North Shore Place I			
5. Development Address: 342 North Shore Drive Pittsburgh, PA 15212			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 11 / 15 / 16	Occupancy Date: 4 / 1 / 16	Project Cost: \$ TBD

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 102, 104, 106

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: Replacement of the existing building windows. Construction of a new patio covered structure in conjunction with the tenant fit-out of new cigar bar / restaurant space.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 1 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed: _____ sq ft

Existing to be Retained: 100% sq ft

Retained Area to be Renovated: _____ sq ft

To be Constructed: _____ sq ft

Building Footprint: _____ sq ft

15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure				
Proposed Addition/Extension			1	15

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:

Existing to Remain: _____ Proposed: _____

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A

Actual: _____

Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm

Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s)	_____ Termination of Existing Water Service Tap(s)
_____ New Sewer Service Connection(s)	_____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
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- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: **CHRISTOPHER PRESS, NEXT ARCHITECTURE**

SWATCHROOM
DESIGN + FABRICATION

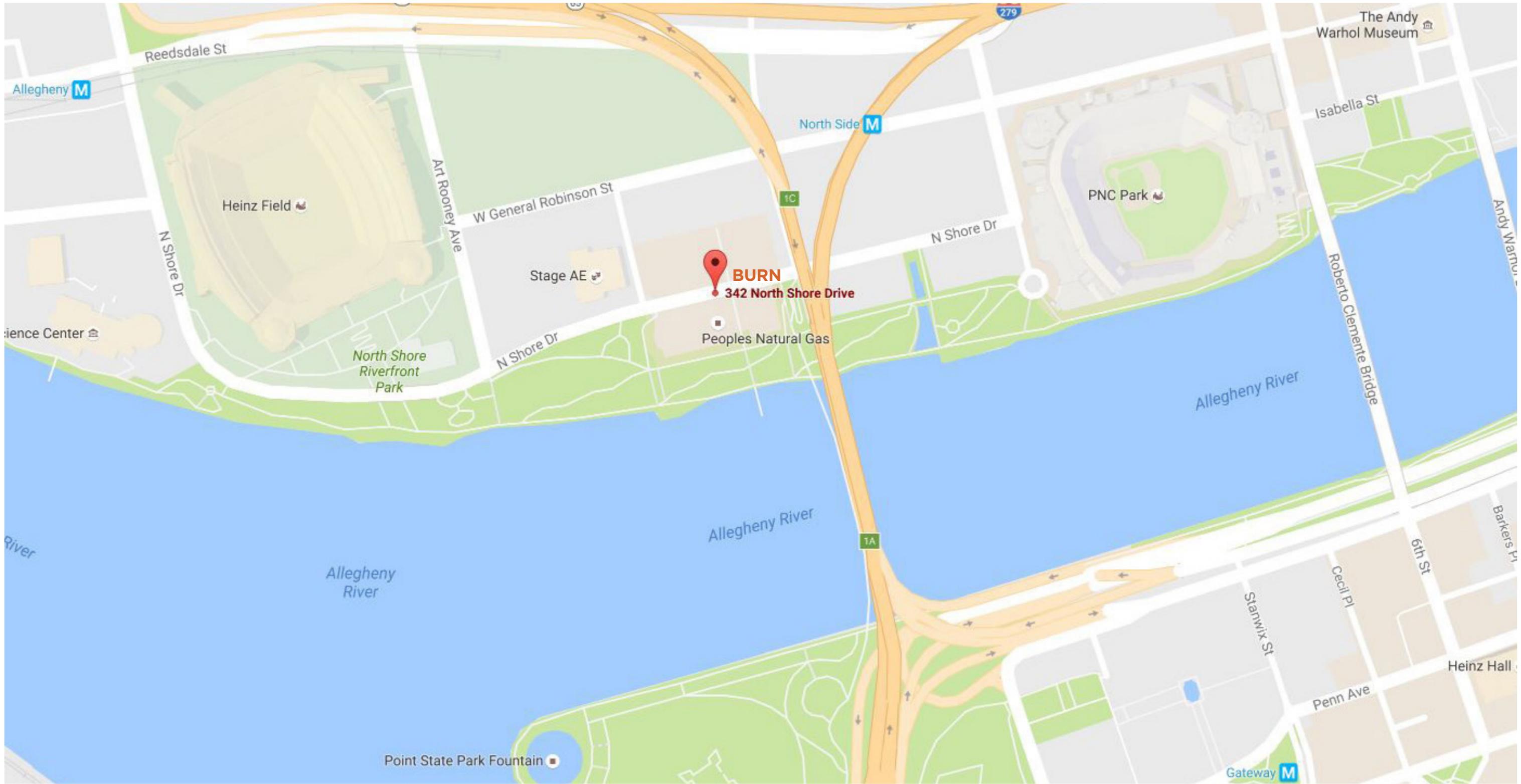


X

BURN - PITTSBURGH

PATIO & STOREFRONT DESIGN REVIEW

6 SEPTEMBER 2016

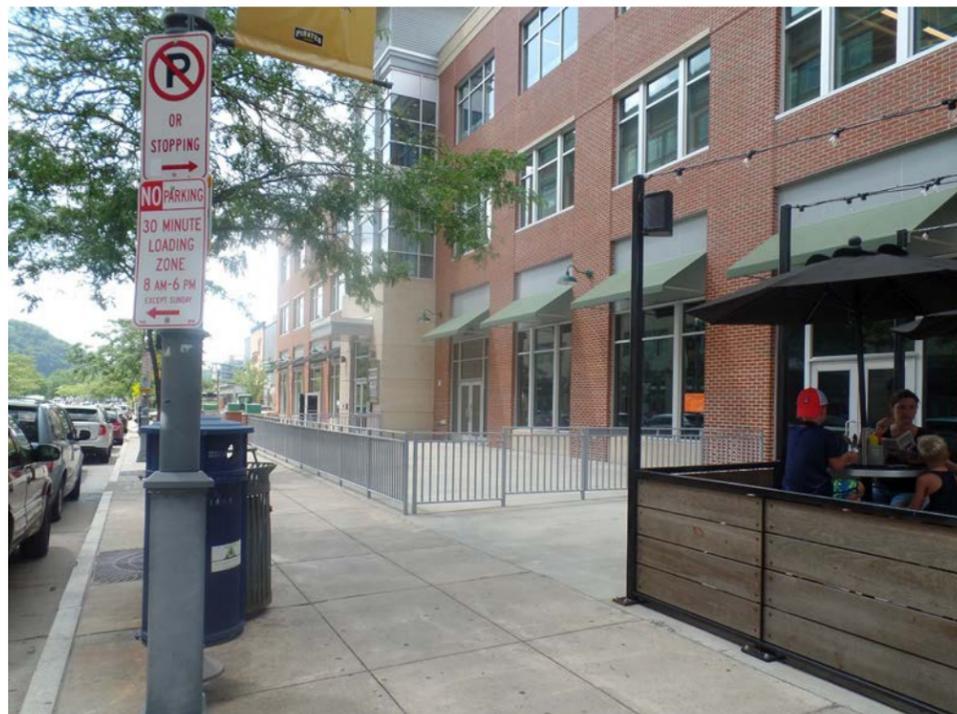


BURN

LOCATION MAP

SWATCHROOM

PG 02



BURN

CONTEXT EXISTING

SWATCHROOM

PG 05



BURN

STOREFRONT OVERVIEW IN CONTEXT

SWATCHROOM

PG 06

PRESENTATION // BURN PA // 16-01

slate (existing)



brick (existing)



steel (new)



transom window (new)
mercury glass film finish (new)



Full Building Storefront Elevation - Facade Adjustments

clear glass to
match existing

sandstone (existing)

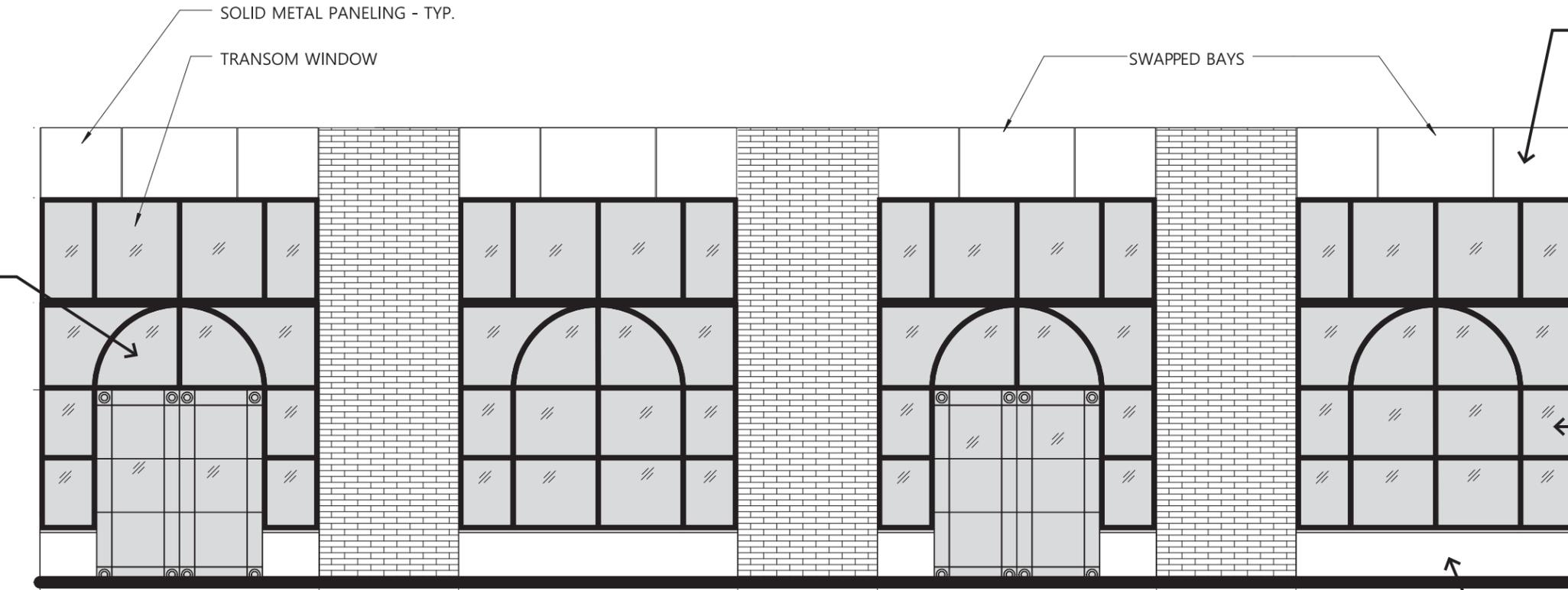
BURN

EXTERIOR FACADE
SWATCHROOM PG 07

PRESENTATION // BURN PA // 16-01



window style reference



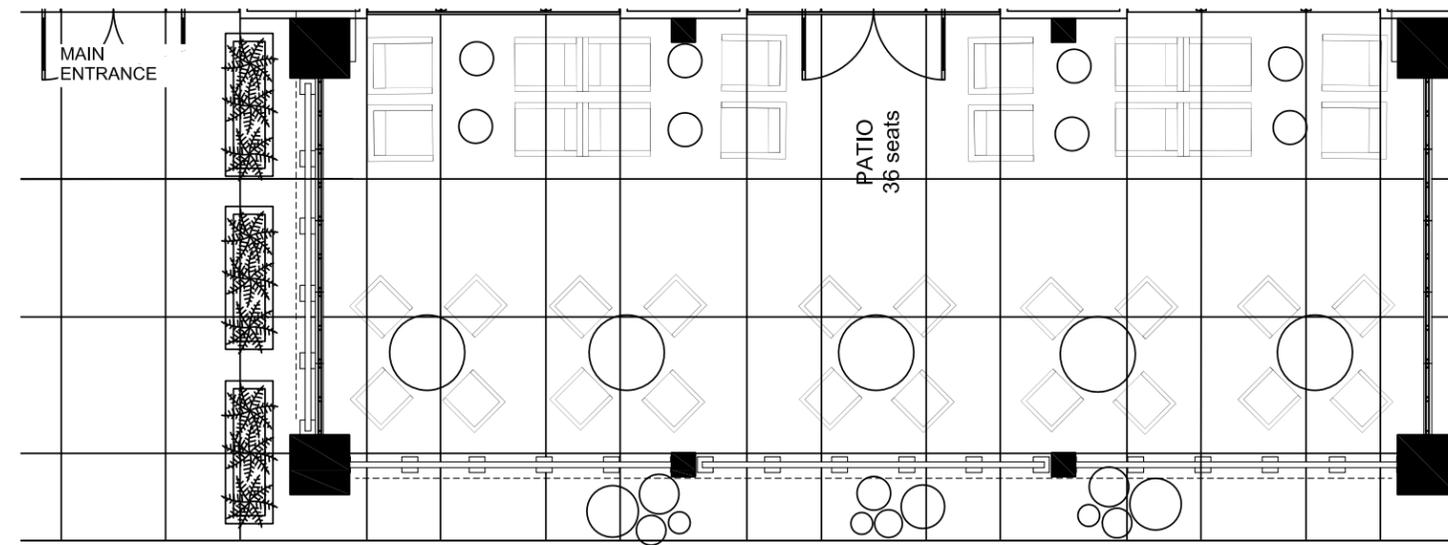
facade



steel



glass



plan



mercury glass - interior option dependant upon bulk-head height



sandstone

BURN

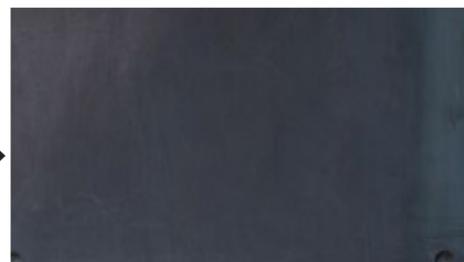
EXTERIOR FACADE

SWATCHROOM

PG 08

existing

proposed change



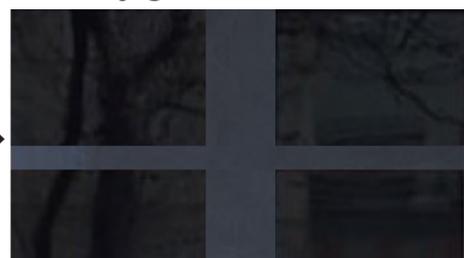
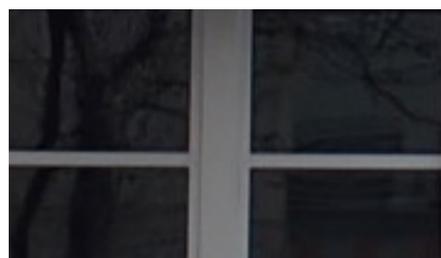
slate existing

steel - new



slate existing

transom window - new
mercury glass film finish - new



clear glass - to remain
aluminum mullions

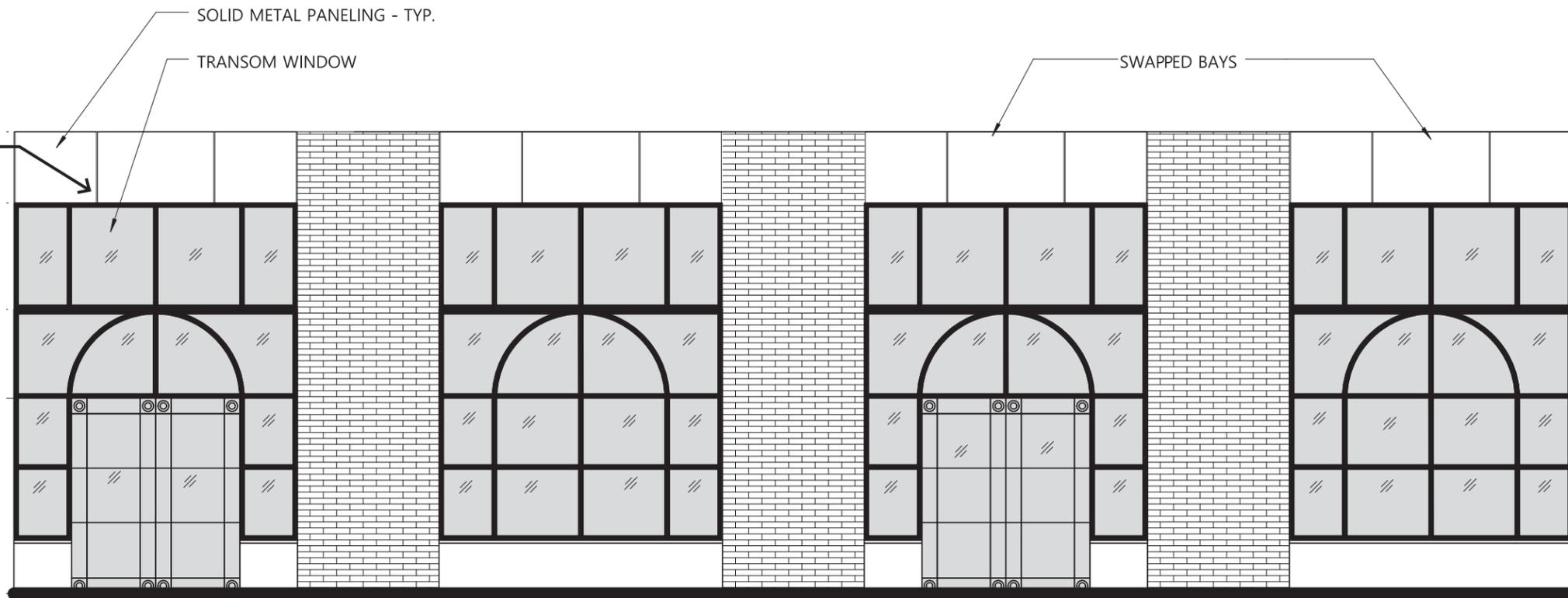
clear glass - to remain
black mullions - new



brick - to remain



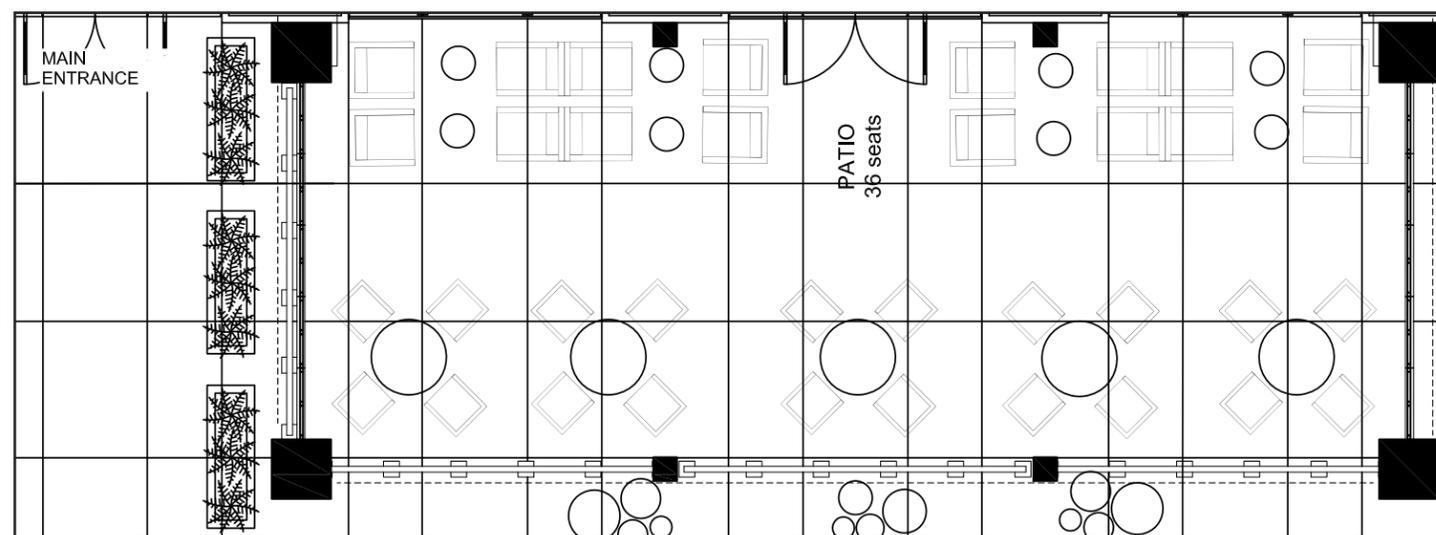
sandstone - to remain



window style reference



window rosette reference



BURN

EXTERIOR FACADE

SWATCHROOM

PG 09



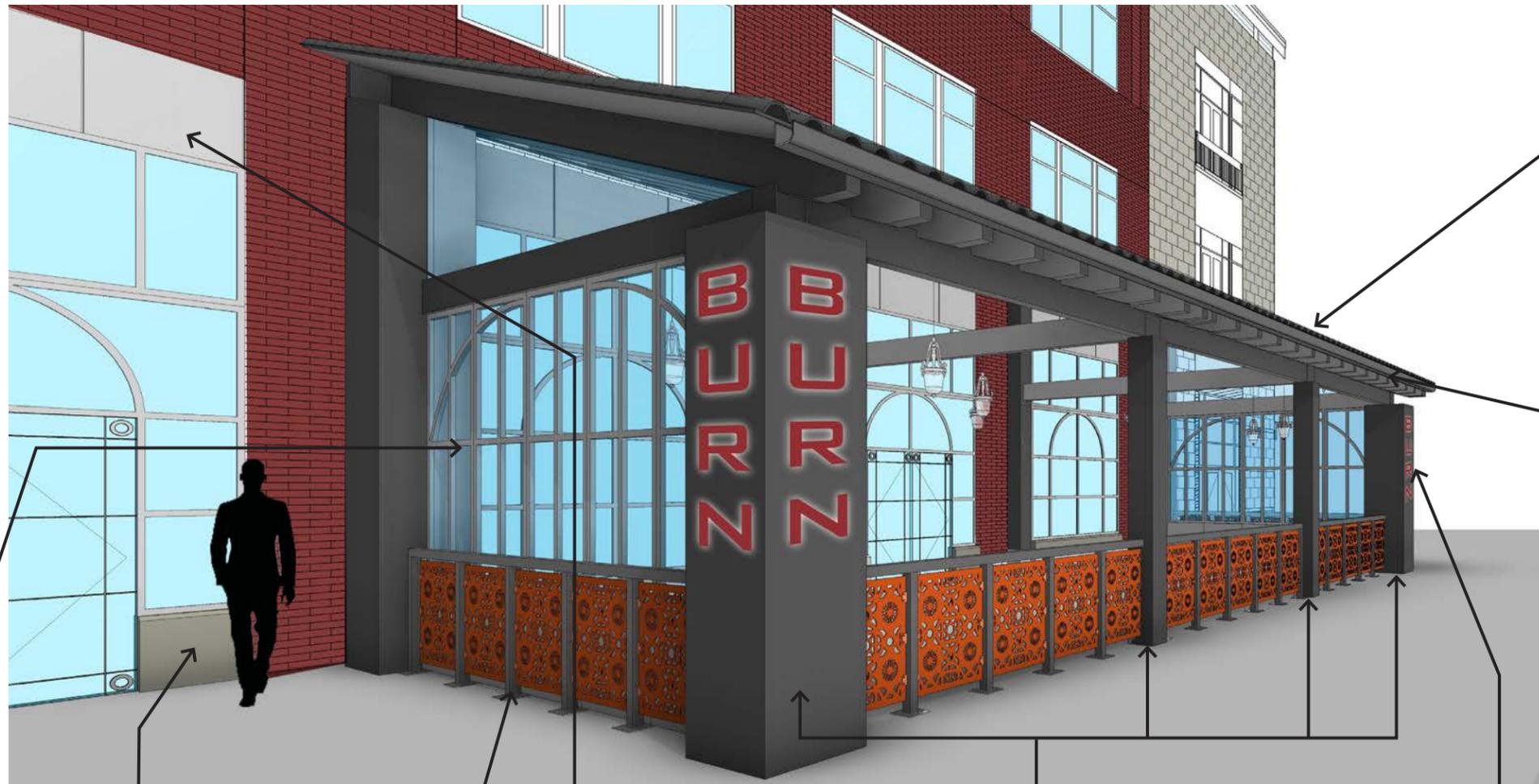
railing reference image
lasercut panels



railing reference color-
patina copper



solid panels example



enclosure



black tile roof



ebony roof gutter
(hide leader in column)



sandstone



steel



charred cedar



signage reference



signage lettering reference

BURN

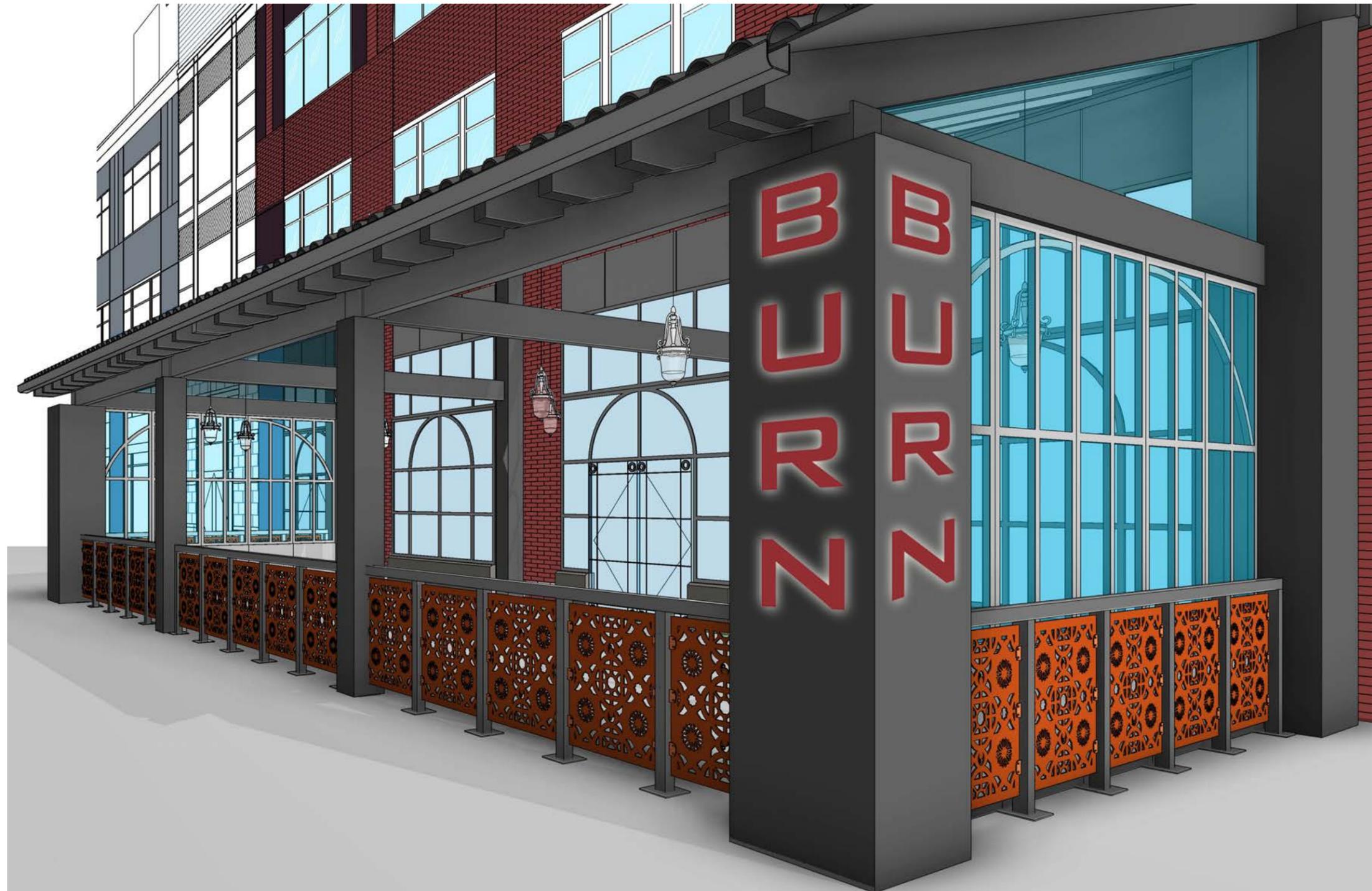
PATIO ENCLOSURE
SWATCHROOM PG 10



EXISTING STREET VIEW



EXISTING STREET VIEW



PERSPECTIVE

BURN

SWATCHROOM

PG 11

PRESENTATION // BURN PA // 16-01



PERSPECTIVE - CORNER APPROACH TO BURN ENTRANCE

BURN

PATIO ENCLOSURE

SWATCHROOM

PG 12

PRESENTATION // BURN PA // 16-01



Full Building Storefront Elevation - with Patio

black awnings (existing)



charred cedar (new)



railing- lasercut panels (new)



steel (new)



signage reference



signage lettering reference

BURN

EXTERIOR FACADE
SWATCHROOM PG 13



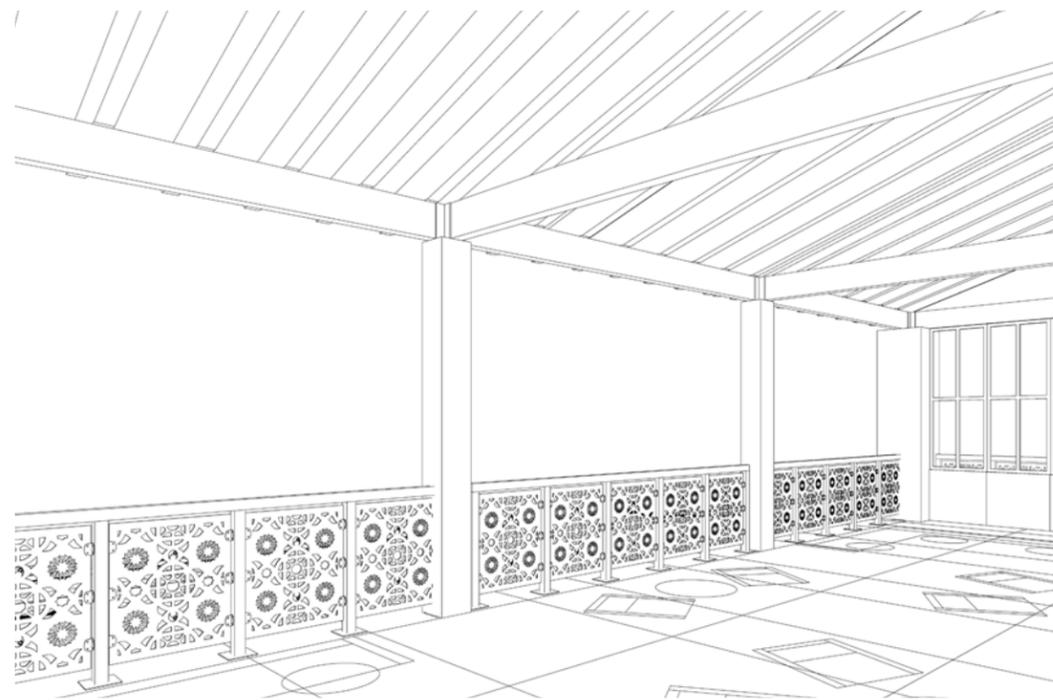
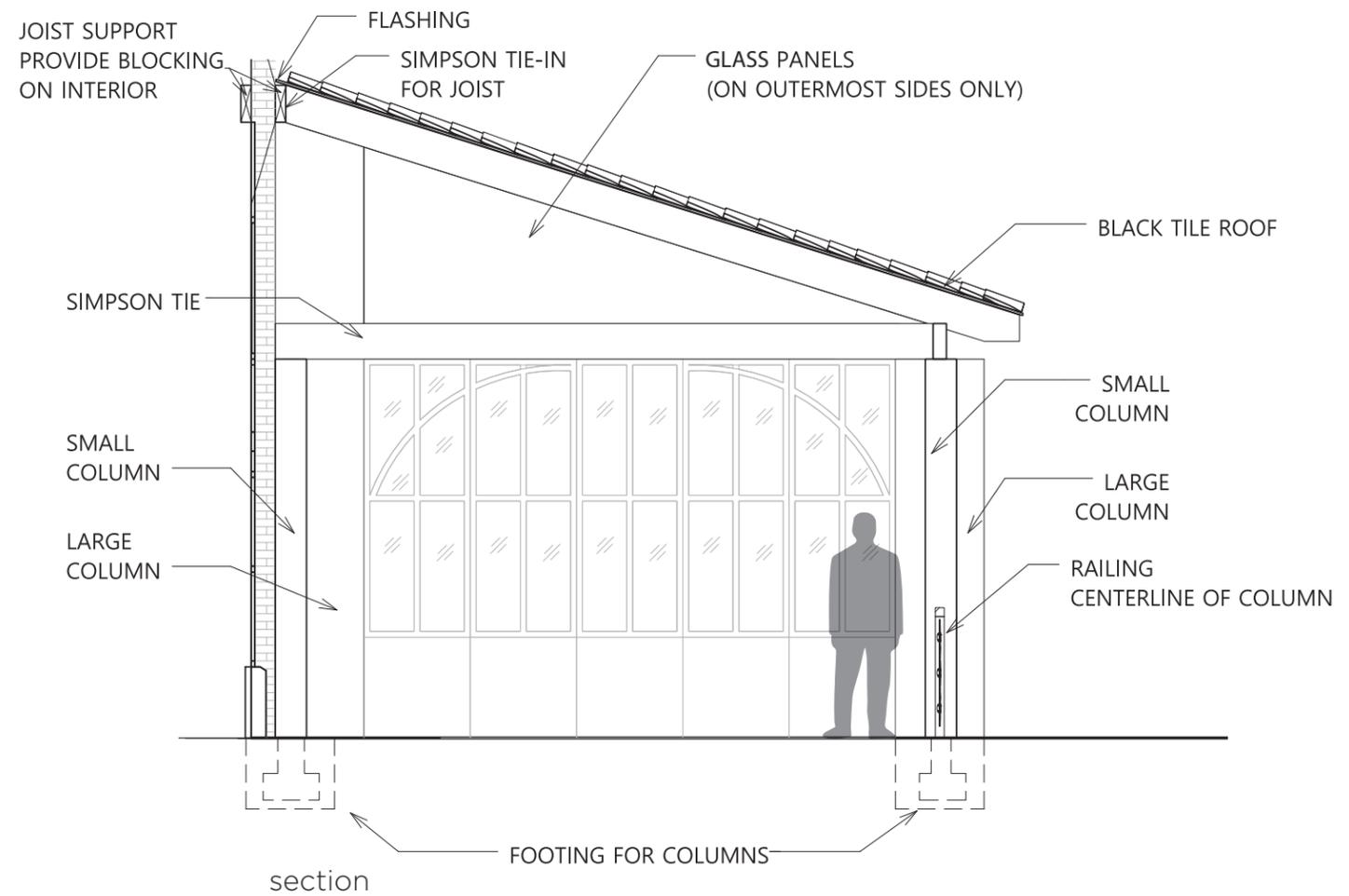
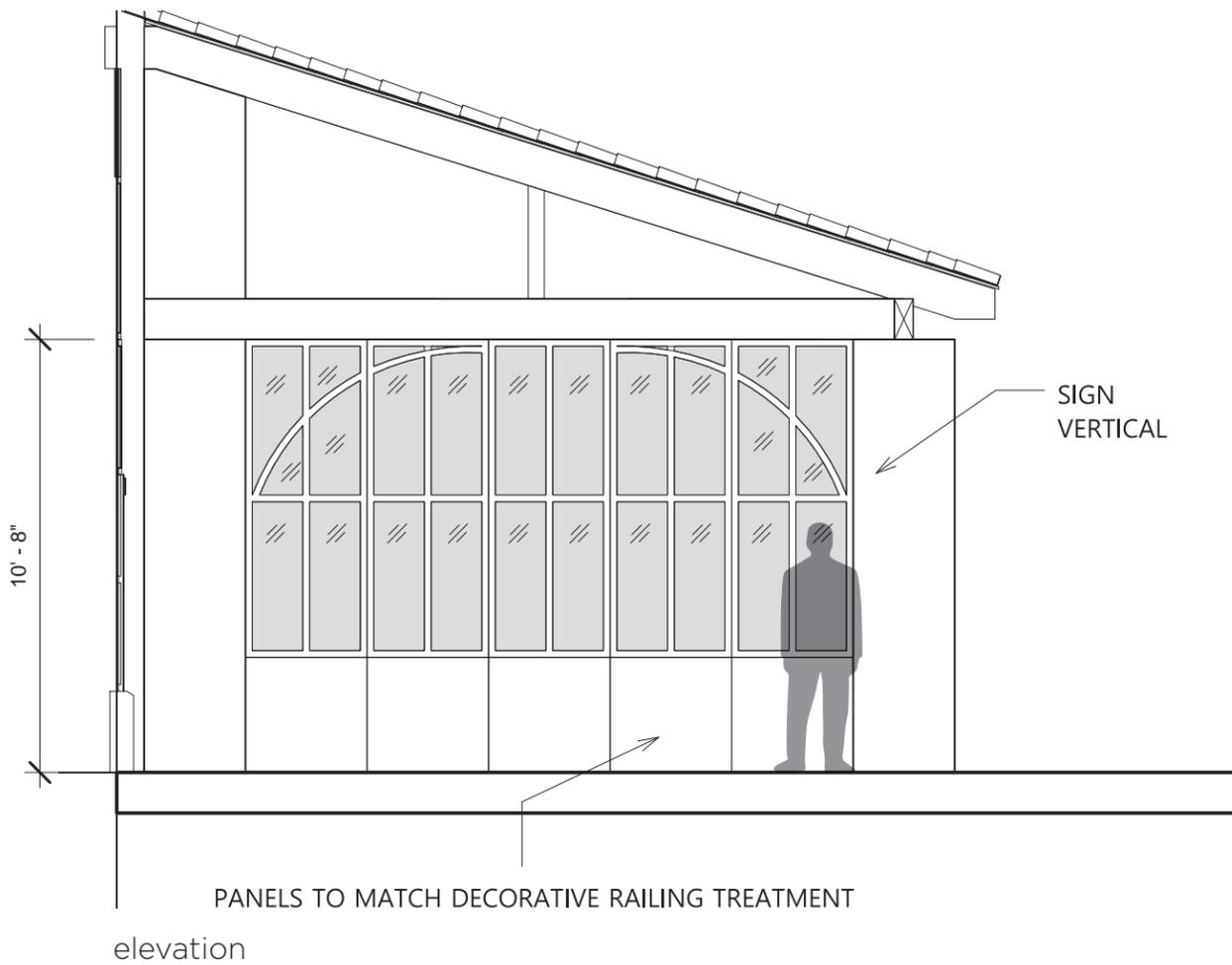
BURN

CONTEXT PERSPECTIVE

SWATCHROOM

PG 14

PRESENTATION // BURN PA // 16-01



interior perspective of patio enclosure



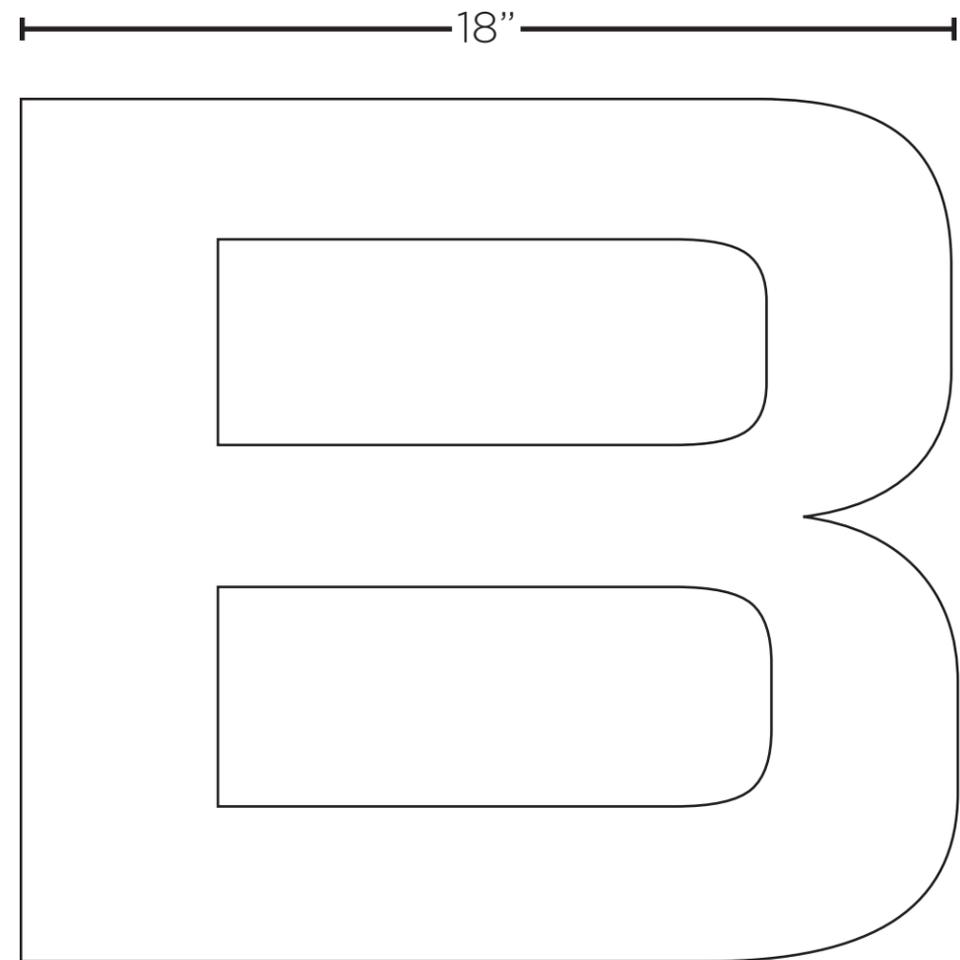
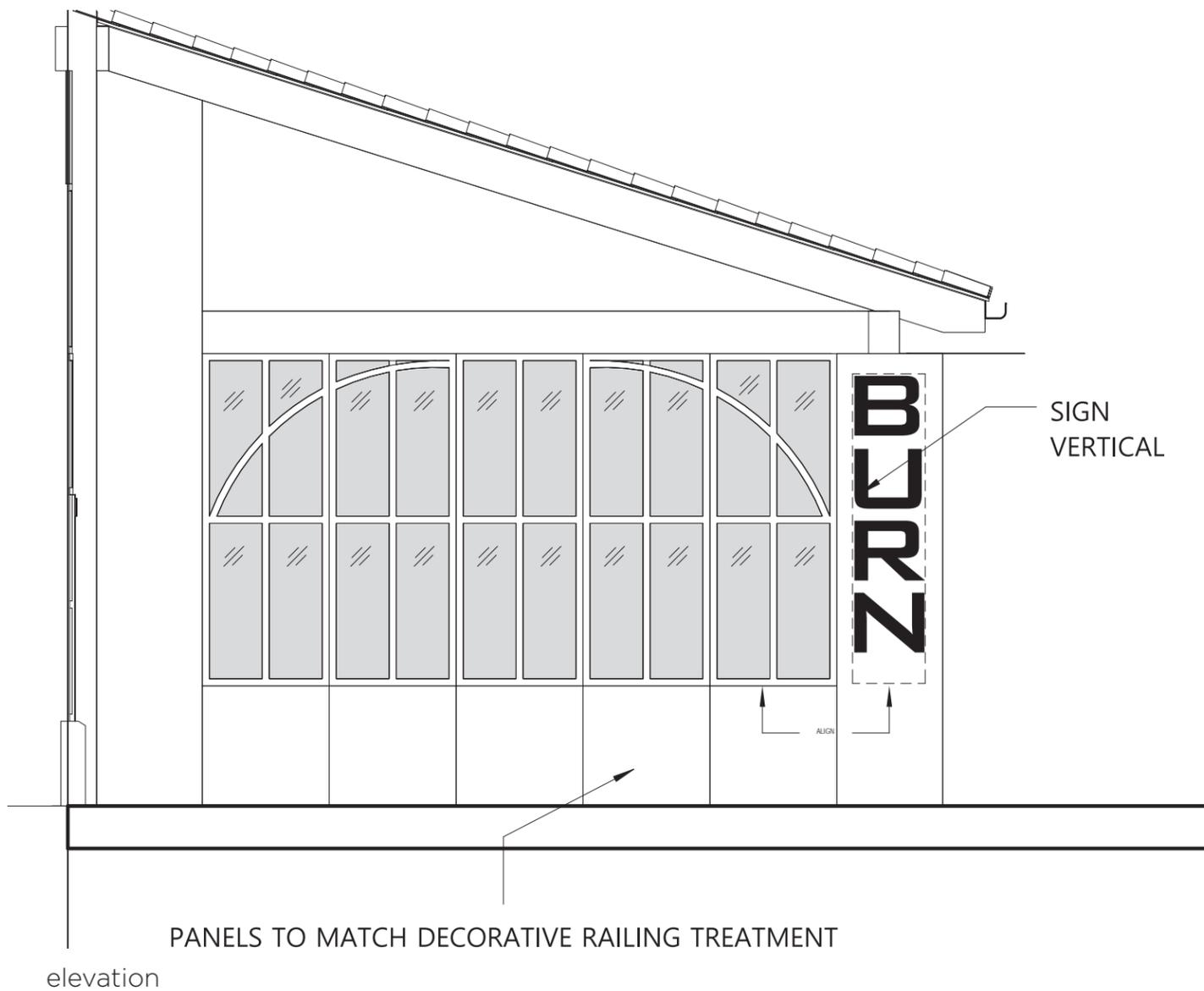
solid roof not shown in image above

BURN

PATIO ENCLOSURE

SWATCHROOM

PG 15



Verify dimensions of signage based on final dimensions of column.

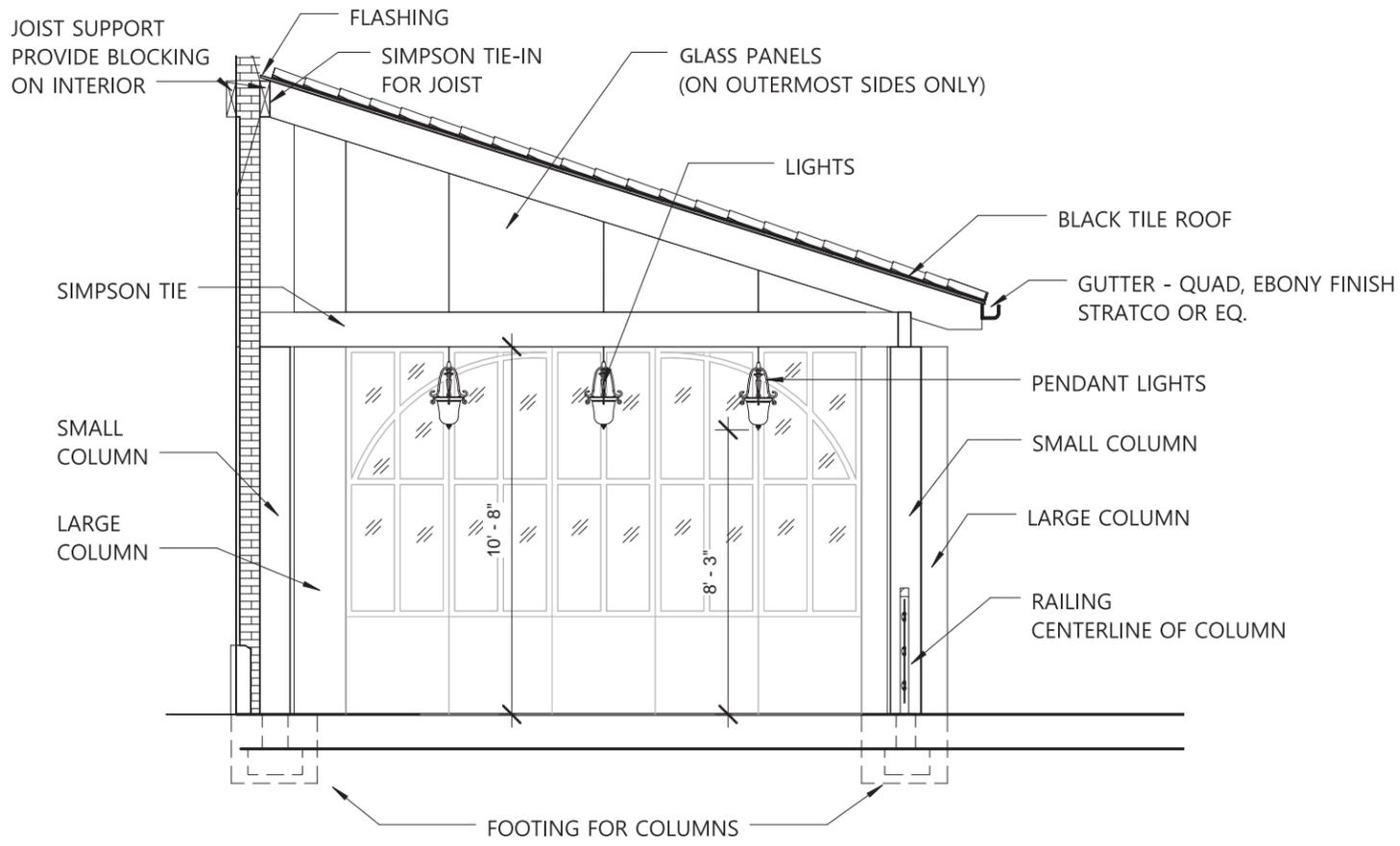
BURN

PATIO ENCLOSURE - SIGNAGE

SWATCHROOM

PG 16

PRESENTATION // BURN PA // 16-01



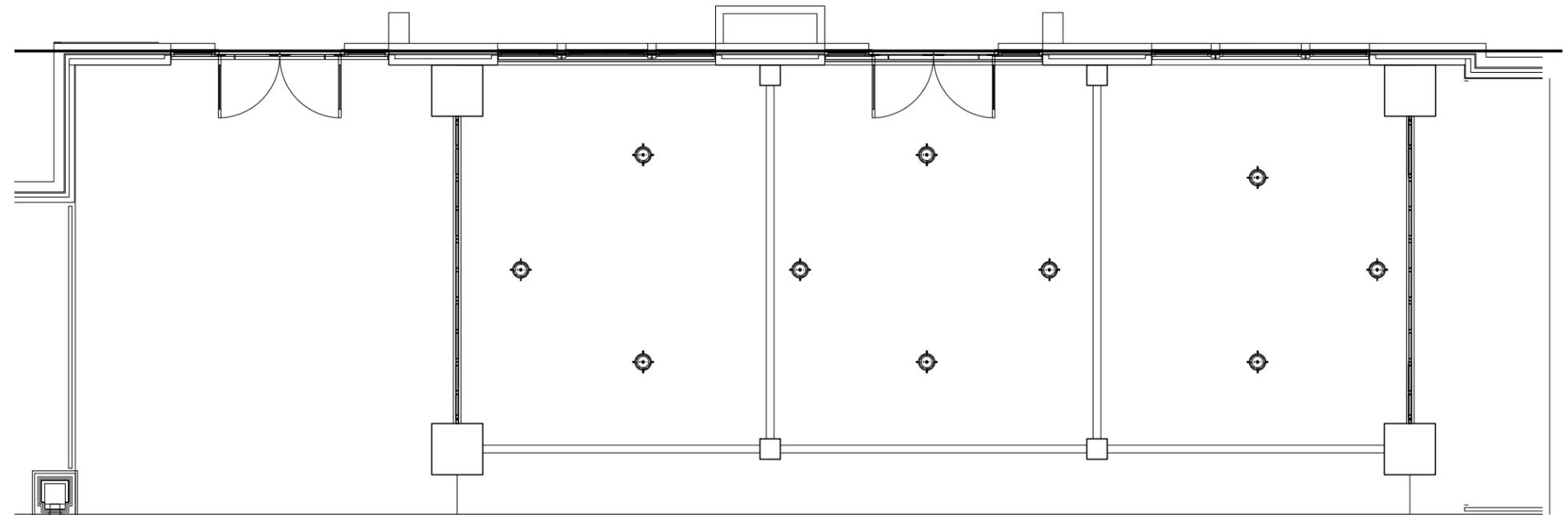
pendant light
27.1"H x 12.25"W



wall sconce
24"H x 6"W x 4"projection



light fixture finish



BURN

PATIO ENCLOSURE - FFE

SWATCHROOM

PG 17



22"W x 23"D x 44"H
weight capacity 250lbs
option 1



26.3"W x 27"D x 45"H
weight capacity 250lbs
option 1



27.25"W x 34.25"D x 36"H



28.5"W x 32.75"D x 36.625"H



20"D x 23"H



17"D x 22"H



planter style 1

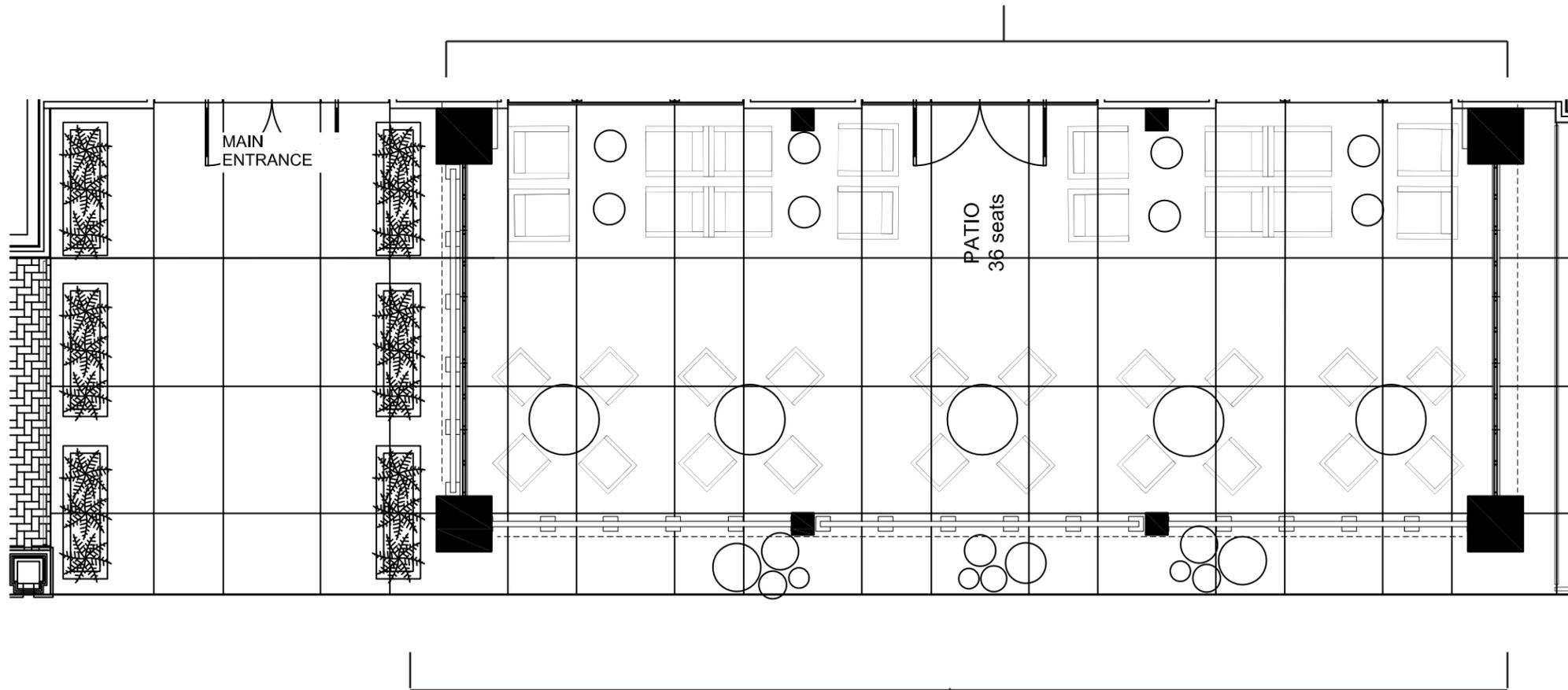


planter style 2



20"W x 20"D x 39"H base
38"Diam x 2"H top

lounge seating



bistro bar height seating



outdoor rug

BURN

PATIO FURNITURE
SWATCHROOM PG 18

PRESENTATION // BURN PA // 16-01



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Carnegie Mellon University		Phone Number: () 412-268-5259	
Address: 5000 Forbes	City: Pittsburgh	State: PA	Zip Code: 15221
2. Applicant/Company Name: Bob Reppe		Phone Number: () 412-266-6905	
Address:	City:	State:	Zip Code:
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: 5170 Margaret Morrison			
4. Development Location: 53-C-96			
5. Development Address: 5170 Margaret Morrison St			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) na			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction: Start Date: Oct/2016		Occupancy Date: / / Jan 2017	Project Cost: \$ 600,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Dormitory (note: use requires Special Exception. ZBA hearing on 14 Jul 2016)

- 10. Select the Type of Work:**
- New Construction, New Renovation, Interior
- New Construction, Renovation, Exterior
- Change in Use Only Renovation, Change in Use

11. Describe the Development: Renovation of existing 3 story building for Student Housing (Dormitory) with 13 beds

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	3,200	sq ft
Existing to be Retained:	3,200	sq ft
Retained Area to be Renovated:	3,200	sq ft
To be Constructed:	_____	sq ft
Building Footprint:	1,200	sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	3	35	3	35
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: na Proposed: 13 beds

17. Lot Area: 2,800 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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 New Sewer Service Connection(s) Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

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26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: **Robert B Reppe**



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



**5170 Margaret Morrison
City Contextual Map
Carnegie Mellon University**

○ ACADEMIC/ADMINISTRATIVE

- 1 Alumni House
- 2A Baker Hall (Dietrich/H&SS)
- 2b Porter Hall
- 3 Bramer House
- 4 College of Fine Arts (CFA)
- 5 Cyert Hall
- 6 Doherty Hall
- 7 Facilities Management Services Building
- 8A Gates Center for Computer Science (SCS)
- 8b Hillman Center for Future-Generation Technologies (SCS)

◆ RESIDENTIAL

- 11 Hunt Library
- 12 Integrated Innovation Institute (III)
- 13 Jared L. Cohon University Center
- 14 Margaret Morrison Carnegie Hall
- 15 Mellon Institute (MCS)
- 16 National Robotics Engineering Center* (NREC)
- 17 Newell-Simon Hall (SCS)
- 18 Pittsburgh Technology Center* (ETC)
- 19 Posner Center
- 20 Posner Hall (Tepper)
- 21 Purnell Center for the Arts
- 22 Rand Building
- 23 Roberts Engineering Hall
- 24 Robert Mehrabian Collaborative Innovation Center
- 25 Scaife Hall (Engineering)
- 26 Future Home of Sherman and Joyce Bowie Scott Hall
- 27 Skibo Gymnasium
- 28 Smith Hall
- 29 Software Engineering Institute (SEI)
- 30 Solar Decathlon House
- 31 Warner Hall (Office of Admission)
- 32 Wean Hall
- 33 Whitfield Hall (HR)
- 34 WQED Building
- 35 300 South Craig (Police)
- 36 311 South Craig
- 37 407 South Craig
- 38 4516 Henry (UTDC)
- 39 4609 Henry (Dietrich/H&SS Grad Labs)
- 40 4615 Forbes (GATF)
- 41 4616 Henry (INI)
- 42 6555 Penn*
- 43 Boss House
- 44 Clyde House
- 45 Doherty Apartments
- 46 Donner House
- 47 Fairfax Apartments
- 48 Fraternity/Sorority Quadrangle
- 49 Hamerschlag House
- 50 Henderson House
- 51 Margaret Morrison Apartments/Plaza
- 52 Margaret Morrison Fraternity/Sorority Houses
- 53 McGill House
- 54 Morewood Gardens (Housing Offices)
- 55 Mudge House
- 56 Neville Apartments
- 57 Resnik House
- 58 Roselawn Houses
- 59 Scobell House
- 60 Shady Oak Apartments
- 61 Shirley Apartments
- 62 Spirit House
- 63 Stever House
- 64 The Residence on Fifth
- 65 Webster Hall
- 66 Welch House
- 67 West Wing
- 68 Woodlawn Apartments
- 69 1094 Devon

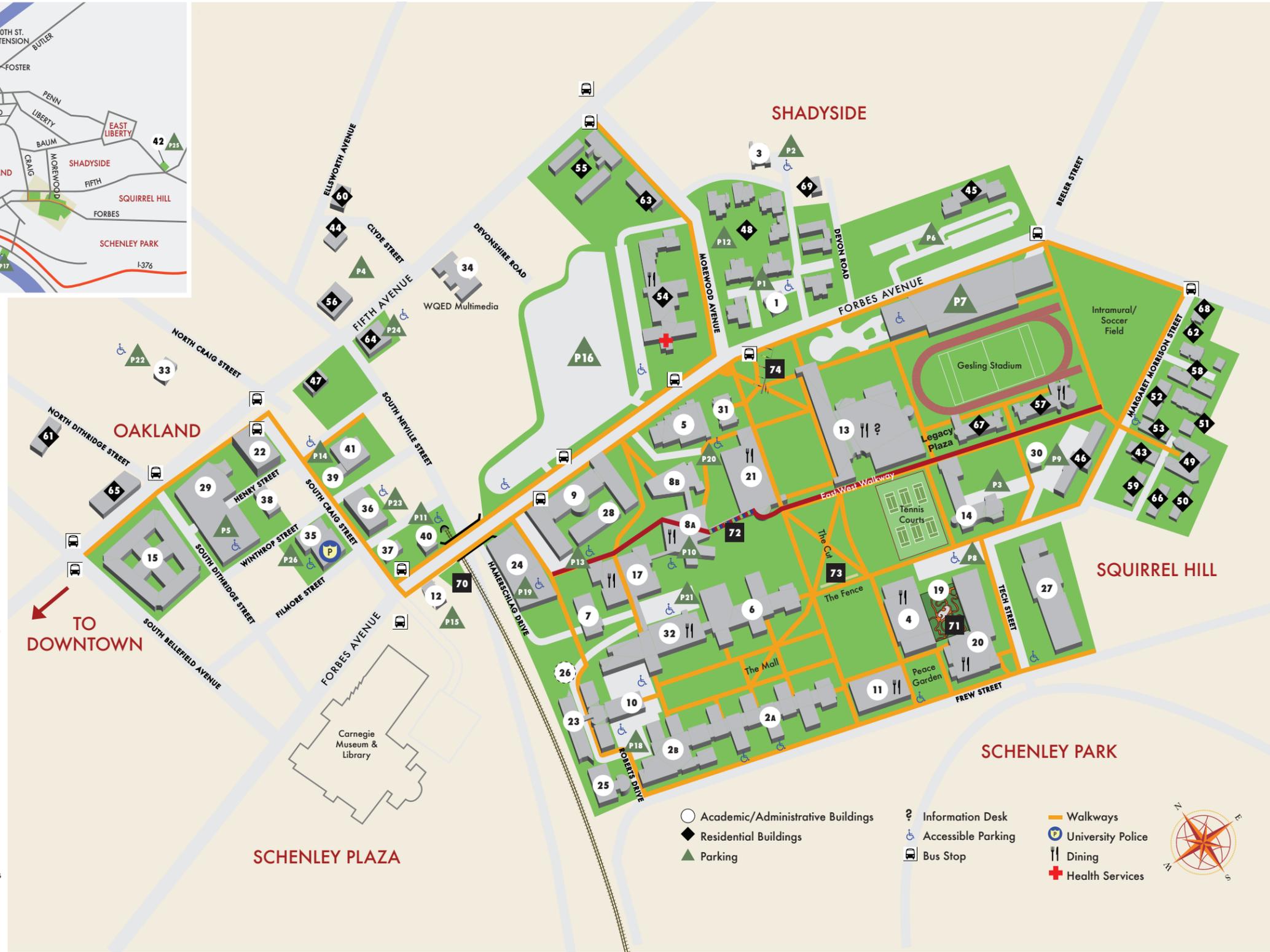
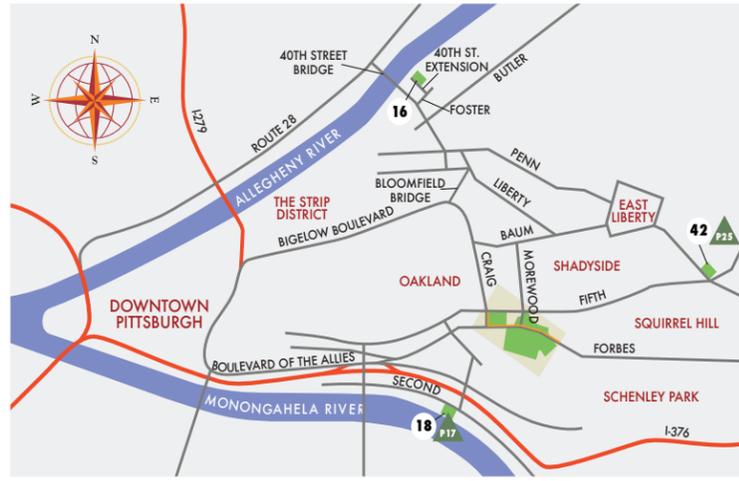
■ POINTS OF INTEREST

- 70 Art Park
- 71 Kraus Campo
- 72 Pausch Bridge
- 73 The Fence
- 74 Walking to the Sky

▲ PARKING

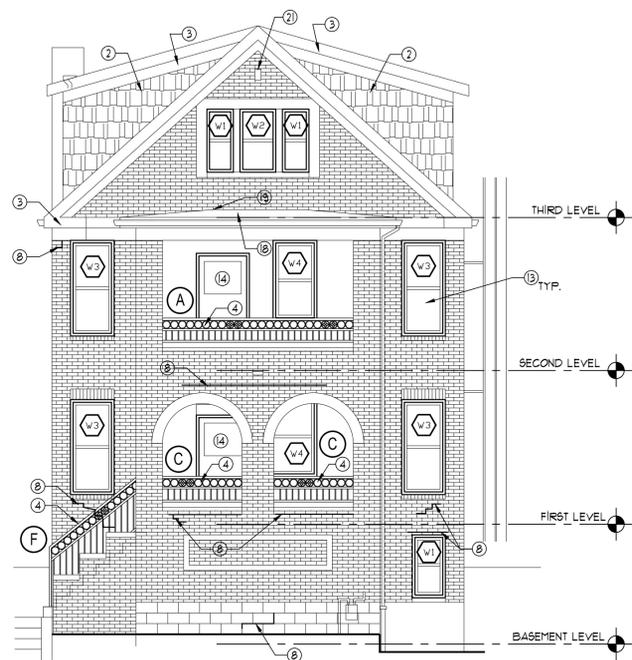
- P1 Alumni House***
- P2 Bramer House***
- P3 Children's School
- P4 Clyde Street Lot
- P5 Dithridge Street Garage**
- P6 Doherty Apartments***
- P7 East Campus Garage**|***
- P8 Fine Arts
- P9 Donner
- P10 Gates Garage**|***
- P11 GATF
- P12 Greek Quad
- P13 Hamburg Hall***
- P14 Henry Street
- P15 Integrated Innovation Institute
- P16 Morewood***|****
- P17 Pittsburgh Technology Center* (ETC)
- P18 Porter-Hamerschlag-Wean
- P19 RMCIC Garage**|***
- P20 Warner
- P21 West Campus
- P22 Whitfield Hall
- P23 Zebina Way**
- P24 4700 Fifth Avenue
- P25 6555 Penn*
- P26 300 South Craig

* Off campus, see inset
 ** Open to visitors 9 a.m.-5 p.m. Monday - Friday
 *** Open to visitors after 5 p.m. and weekends
 **** Parking meters
 Additional on-street parking available on city streets.
 Primary circulation routes and access parking areas are shown.

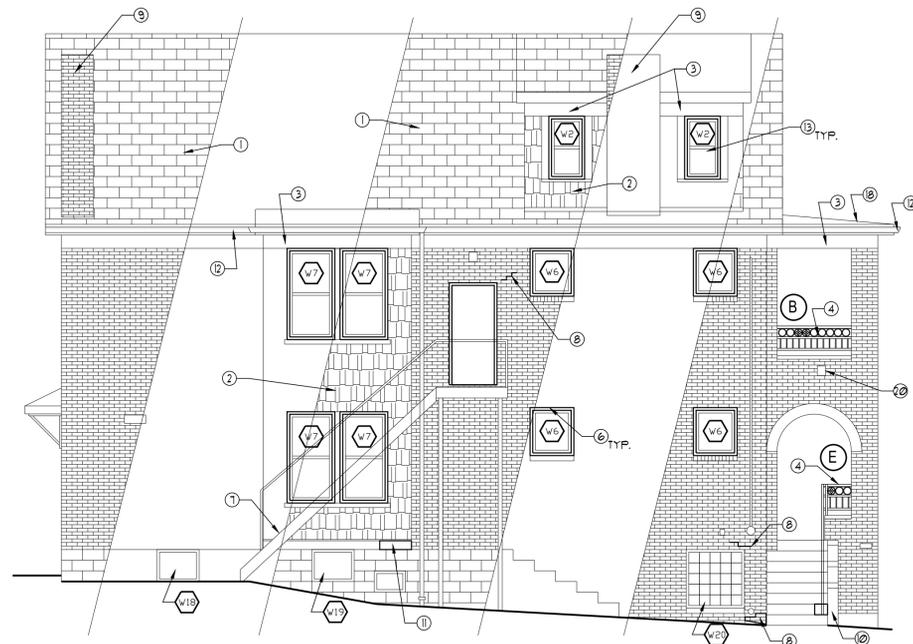


- Academic/Administrative Buildings
- ◆ Residential Buildings
- ▲ Parking
- Ⓜ Information Desk
- ♿ Accessible Parking
- 🚌 Bus Stop
- Walkways
- 👮 University Police
- 🍴 Dining
- 🏥 Health Services

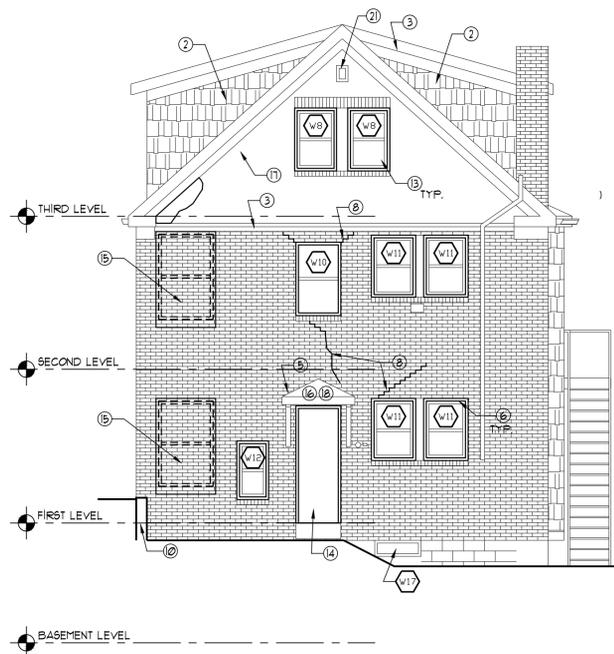
Revised October 2015



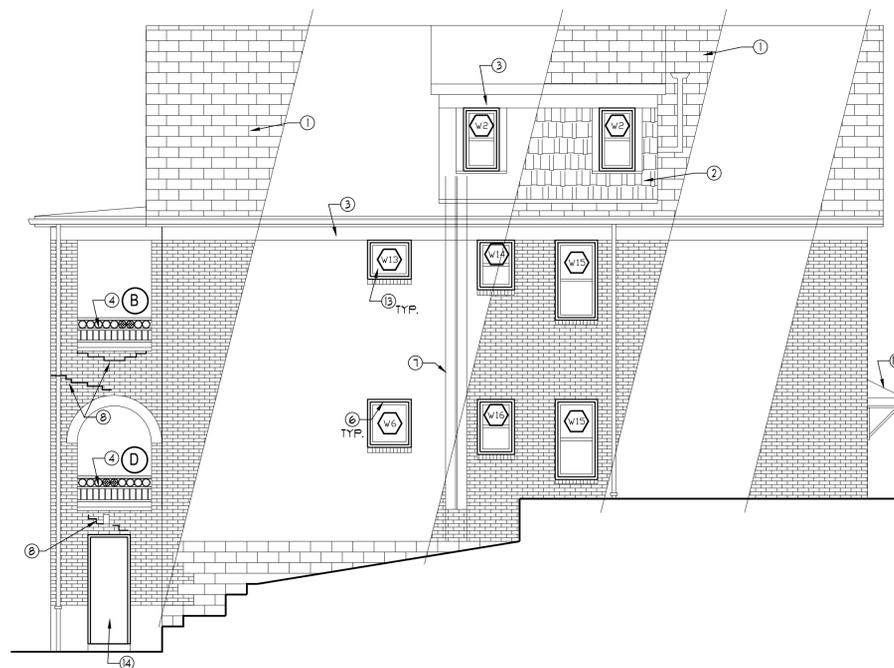
1 FRONT ELEVATION
A3J SCALE: 3/16" = 1'-0"



2 LEFT SIDE ELEVATION
A3J SCALE: 3/16" = 1'-0"



3 REAR ELEVATION
A3J SCALE: 3/16" = 1'-0"



4 RIGHT SIDE ELEVATION
A3J SCALE: 3/16" = 1'-0"

WINDOW SCHEDULE					
NO.	WIDTH	HEIGHT	MAT'L	FINISH	REMARKS
1	1'-8"	3'-11 1/4"			
2	2'-3"	3'-11 1/4"			
3	2'-9"	6'-0"			
4	2'-9"	5'-0 1/4"			
5	2'-1"	4'-0"			
6	2'-9"	3'-0"			
7	3'-0"	5'-8 5/8"			
8	2'-7 3/4"	4'-0"			
9	3'-9"	5'-6"			NOT USED
10	2'-10"	4'-7"			
11	2'-9 1/2"	3'-10 3/4"			
12	2'-0"	3'-8"			
13	2'-9"	2'-5 1/4"			
14	2'-4"	3'-1 1/4"			
15	2'-8"	5'-0 1/4"			
16	2'-4"	3'-5 1/4"			
17					EXISTING TO REMAIN
18					EXISTING TO REMAIN
19					EXISTING TO REMAIN
20					EXISTING TO REMAIN

DIMENSIONS ARE APPROXIMATE. FIELD VERIFY IN FIELD.

NEW CONSTRUCTION NOTES:

- ① PROVIDE NEW 25 YR. ASPHALT SHINGLES, FELT, AND REPLACE ANY DETERIORATED WOOD DECKING.
- ② REMOVE WALL FINISH AND PROVIDE NEW VINYL SIDING AS SPECIFIED.
- ③ SCRAPE, PRIME & PAINT EXISTING WOOD TRIM (2) COATS PER SPECIFICATIONS.
- ④ NEW EXTERIOR METAL RAILINGS & BALUSTRADES. SEE DET. 5/A4J
- ⑤ PROVIDE AND INSTALL REGLET AND COUNTERFLASHING
- ⑥ EXTERIOR STEEL LINTELS TO BE SCRAPED AND PAINTED.
- ⑦ REPAIR STAIR TREAD, SAND & PAINT EXISTING ENTIRE FIRE ESCAPE
- ⑧ EXTERIOR MASONRY REPOINTING
- ⑨ CHIMNEY REPAIRS (REPOINTING)
- ⑩ EXTERIOR CONCRETE STAIR, PAVEMENT & RETAINING WALL REPAIRS/REPLACEMENT
- ⑪ SELECTIVE DEMOLITION & SHORING - REPLACE SKIRT BOARD.
- ⑫ NEW ALUM. GUTTERS & CONDUCTORS (LIMITED)
- ⑬ REPLACE EXISTING WINDOWS WITH NEW. FIELD VERIFY SIZES.
- ⑭ REPLACE EXISTING DOORS & HARDWARE
- ⑮ REMOVE EXISTING WINDOW. INFILL (TOOTH-IN) WITH BRICK TO MATCH.
- ⑯ SECURE SAFELY AND CAULK CANOPY. PAINT EXPOSED WOOD (2) COATS PER SPECIFICATIONS. APPLY (2) COATS OF RUST-OLEUM STOP RUST CLEAN METAL PRIMER OVER CANOPY ROOF.
- ⑰ PATCH EXTERIOR PLASTER, PRIME AND FINISH PAINT.
- ⑱ SCRAPE LOOSE PAINT AND WIRE BRUSH SURFACE PRIOR TO APPLYING (2) COATS OF REDOXIDE PAINT.
- ⑲ PERIMETER METAL FLASHING SECURE, SCRAPE AND FINISH PAINT (2) COATS REDOXIDE.
- ⑳ DISCONNECT WIRING TO LIGHT FIXTURE, REROUTE PER ELECTRICAL DRAWINGS IN CONCEALED LOCATION.
- ㉑ PROVIDE AND INSTALL NEW METAL AIR VENT.

LEGEND

- (A) = RAILING TYPES (SEE DETAILS AT 5/A4J)
- (W) = WINDOW TYPES (SEE SCHEDULE)

ARCHITECT

GRAVES DESIGN GROUP, LLC.
Architectural Interior Design/Build Graphics
Benedum-Trees Building
221-223 4th Avenue, Suite 600
Pittsburgh, Pennsylvania 15222
Phone: (412) 338-1976 Fax: (412) 338-1982
visit our website at
www.gravesdesigngroup.com

Design Consultants

CLATMAN ENGINEERING ASSOCIATES INC.
1340 OLD FREDERICK ROAD
PITTSBURGH, PENNSYLVANIA 15206
PHONE: (412) 963-6700
FAX: (412) 963-7077

JOHN M. SCHNEIDER, P.E.
SCHNEIDER ENGINEERING, LLC
1178 BELMONT DRIVE
PITTSBURGH, PENNSYLVANIA 15241
PHONE: (412) 738-1298
schneiderj@verizon.net

DINA COLE KLAVON, RLA, ASLA
KLAVON DESIGN ASSOCIATES, INC.
46 S 15th Street
Pittsburgh, PA 15203
412-394-1181 Ext. 25
412-394-1182 Fax

PROJECT NAME

5170 MARGARET MORRISON RENOVATIONS
CARNEGIE MELLON UNIVERSITY
5170 Margaret Morrison, Pittsburgh PA 15213

OWNER

Carnegie Mellon
Facilities Management Services
Carnegie Mellon University
417 South Craig Street, 3rd Floor
Pittsburgh, PA 15213

PROFESSIONAL SEAL

DRAWING STATUS

<input type="radio"/>	SCHEMATIC DESIGN
<input type="radio"/>	DESIGN DEVELOPMENT SET
<input type="radio"/>	90% REVIEW SET
<input type="radio"/>	BID SET
<input type="radio"/>	CONSTRUCTION DOCUMENT SET
<input type="radio"/>	RECORD AS-BUILT SET

PROGRESS NOTES

REV.	DATE	DESCRIPTION
	12/24/15	CONSTRUCTION DOC SET

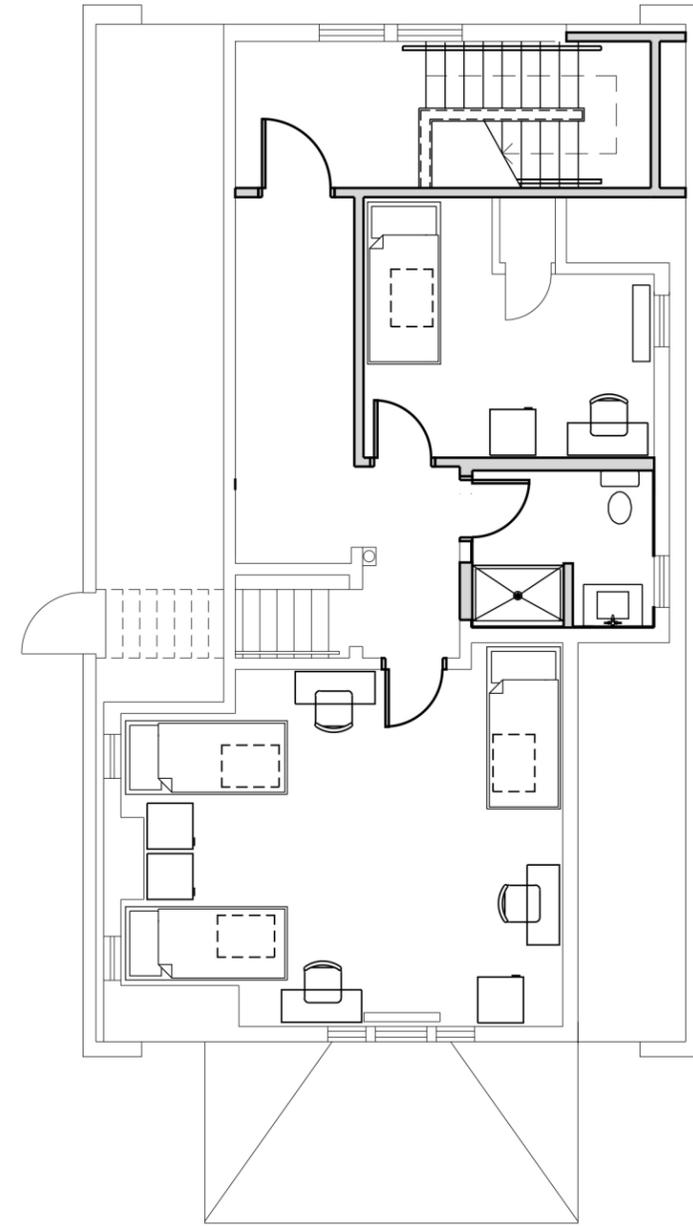
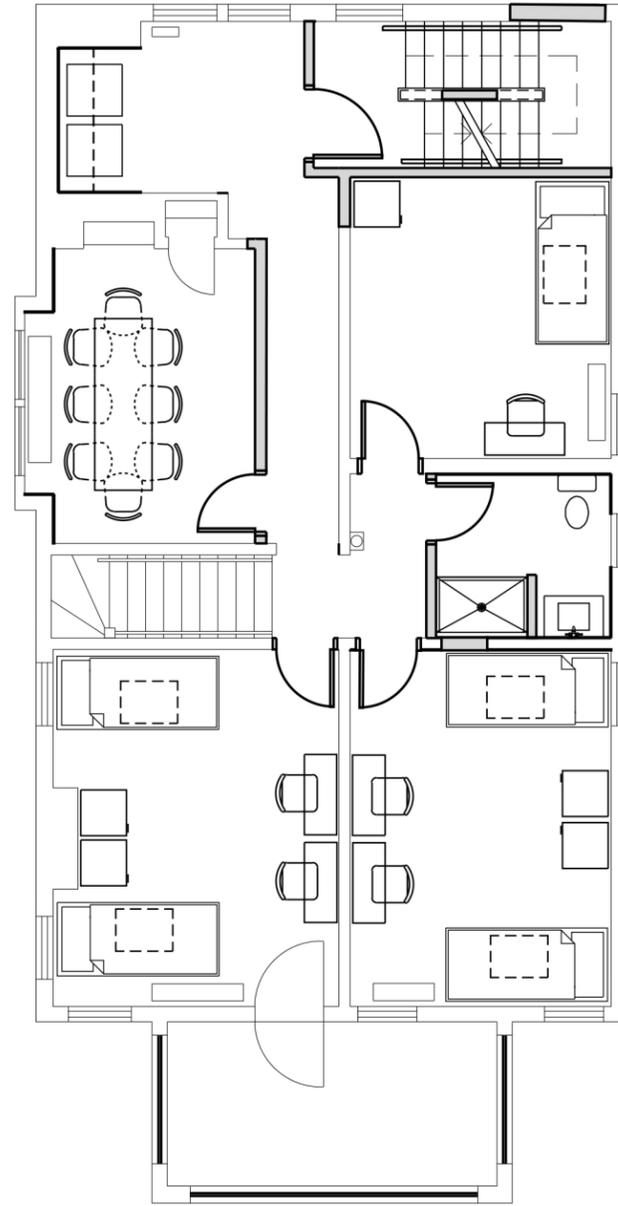
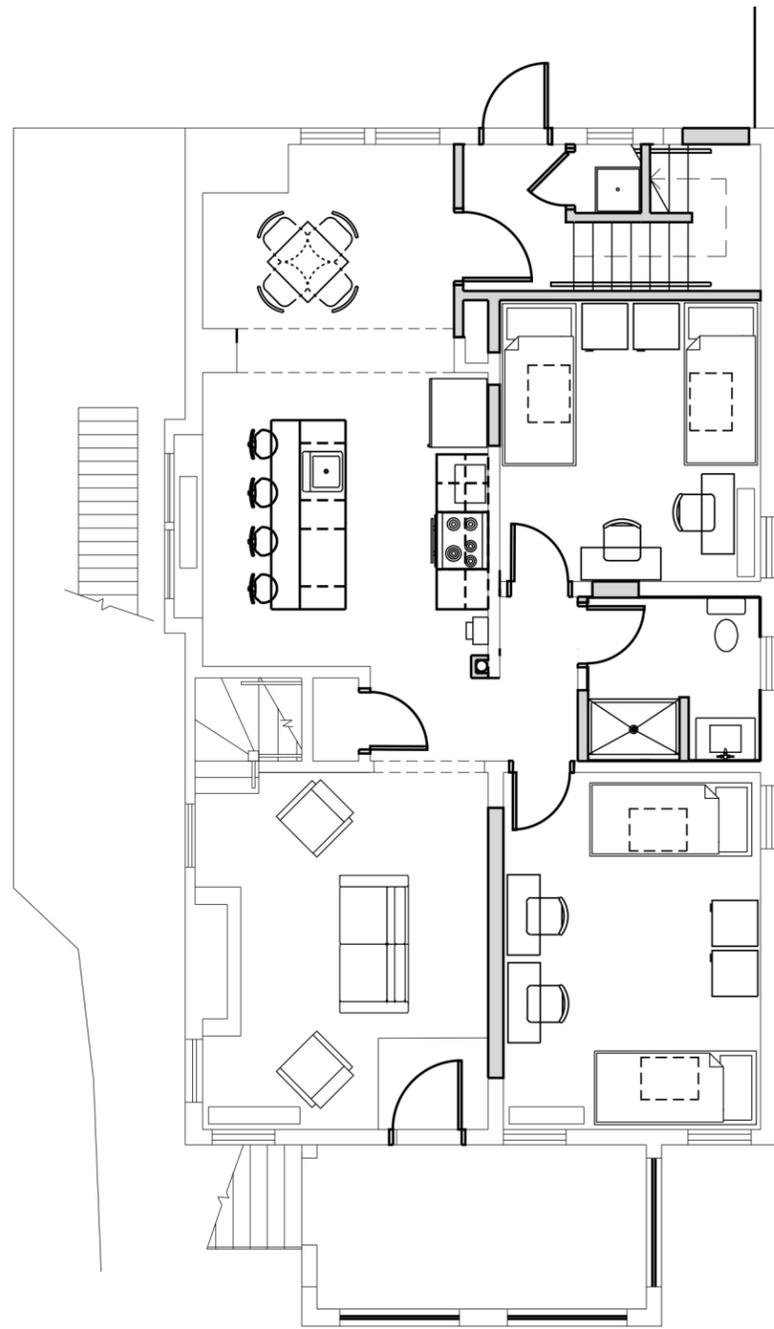
ISSUE:	12/24/15
PROJECT NO:	----
CAD DWG FILE:	----
DRAWN BY:	---
CHECKED BY:	---
© Graves Design Group, LLC, 2015	

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A3.1



1/8" = 1'-0"

5170 MARGARET MORRISON

Carnegie Mellon University
Pittsburgh, Pennsylvania



5170 MARGARET MORRISON

Carnegie Mellon University
Pittsburgh, Pennsylvania



Graves Design Group LLC

Benedum-Trees Building
223 4th Avenue, Suite 600
Pittsburgh, Pennsylvania 15222
Tel: 412.338.1976

5170 Margaret Morrison LEED/Sustainability Features

Location and Transportation:

Surrounding Density and Diverse Uses
Access to Quality Transit – Bus stop location at Forbes and Margaret Morrison

Sustainable Sites:

Site Development – Restore Habitat: Adapted Native Vegetation

Water Efficiency:

Indoor Water Reduction : High Efficiency 1.28 Gallon Flush Toilets
Building Level Water Metering
Outdoor Water Use Reduction- Efficient landscaping, no plant watering is necessary

Energy and Atmosphere:

Building Level Energy Metering – Public availability of electric, gas, and water usage
Energy Efficient Modes on Appliances:
GE Café Series French Door Refrigerator
GE Front Load Stackable Washer
GE Front Load Stackable Dryer

Materials and Resources:

Building Life Cycle Impact Reductions – Reuse of existing building structure and elements
Building Product Disclosure and Optimization- Environmental Product Declarations
Bentley Terrene LVT is 25% post-consumer and 20% pre-consumer Recycled Material
Pionite Plastic Laminate is 16-21% post-industrial Recycled Material
American Olean Porcelain Tile is made with post-consumer Recycled Material
Building Product Disclosure and Optimization- Material Ingredients:
Wood Doors/Frames from locally sourced wood by manufacturer
Bentley Terrene LVT has no added urea-Formaldehyde Resins
Pionite Plastic Laminate is locally sourced wood fiber and no urea-Formaldehyde Resin

Indoor Environmental Quality:

Low-Emitting Materials : PPG Paints
Interior Adhesives
Composite Wood
Bentley Terrene LVT
Pionite Plastic Laminate Greenguard Air Certified
Bentley Carpet CRI Green Label Plus
Interior Lighting: LED Lighting throughout Interior and Exterior

Innovation:

LEED Accredited Professional



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Amono LP		Phone Number: (412) 471-3939	
Address: 210 Sixth Avenue, Suite 3620	City: Pittsburgh	State: PA	Zip Code: 15222
2. Applicant/Company Name: Donald Johnson, RIDC		Phone Number: (412) 471-3939	
Address: 210 Sixth Avenue, Suite 3620	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Mill 19			
4. Development Location: District: SP-10 Almono; Lot Block: 55-J-114			
5. Development Address: 4620 Second Ave, Pittsburgh, PA 15207			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 02 / 01 / 2017	Occupancy Date: 01/ 01/ 2018	Project Cost: \$ 20,000,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **Manufacturing and Assembly (Limited), Office (Limited), Office (General)**

10. Select the Type of Work:

<input type="checkbox"/> New Construction, New	<input type="checkbox"/> Renovation, Interior
<input type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use

11. Describe the Development: **Renovation and Reconstruction of Mill 19 in the Almono SP District.**

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 1 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	<u>0</u>	sq ft	
Existing to be Retained:	<u>180,000</u>	sq ft	
Retained Area to be Renovated:	<u>180,000</u>	sq ft	
To be Constructed:	<u>65,000</u>	sq ft	Note: New square footage is being added as a new 3 story building within the existing 180,000sf building shell
Building Footprint:	<u>180,000</u>	sq ft	

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	1	65ft.	3	65ft.
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

	<u>Existing</u>	<u>Proposed</u>
Central Plant Building		1 15ft.

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 320,038 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')	0	145 spaces
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		5 spaces

Off-Street Loading Spaces: N/A
 Actual: 2
 Required: 2 Max. (1 for Manufacturing tenant <20,000sf + 1 for Office Tenants <80,000 sf)

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

1	New Water Service Connection(s)	_____	Termination of Existing Water Service Tap(s)
1	New Sewer Service Connection(s)	_____	Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

Note: There are sewer and water planning modules already in place for phase 1 of the site's development

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



ADAPTIVE RE-USE OF MILL 19 (PHASE 1)



RIDC

Regional Industrial Development Corporation

4620 Second Avenue
Pittsburgh, PA 15207

Lot Block: 55-J-114
District SP-10 Almono

July 26, 2016

MSR



Renaissance 3 Architects

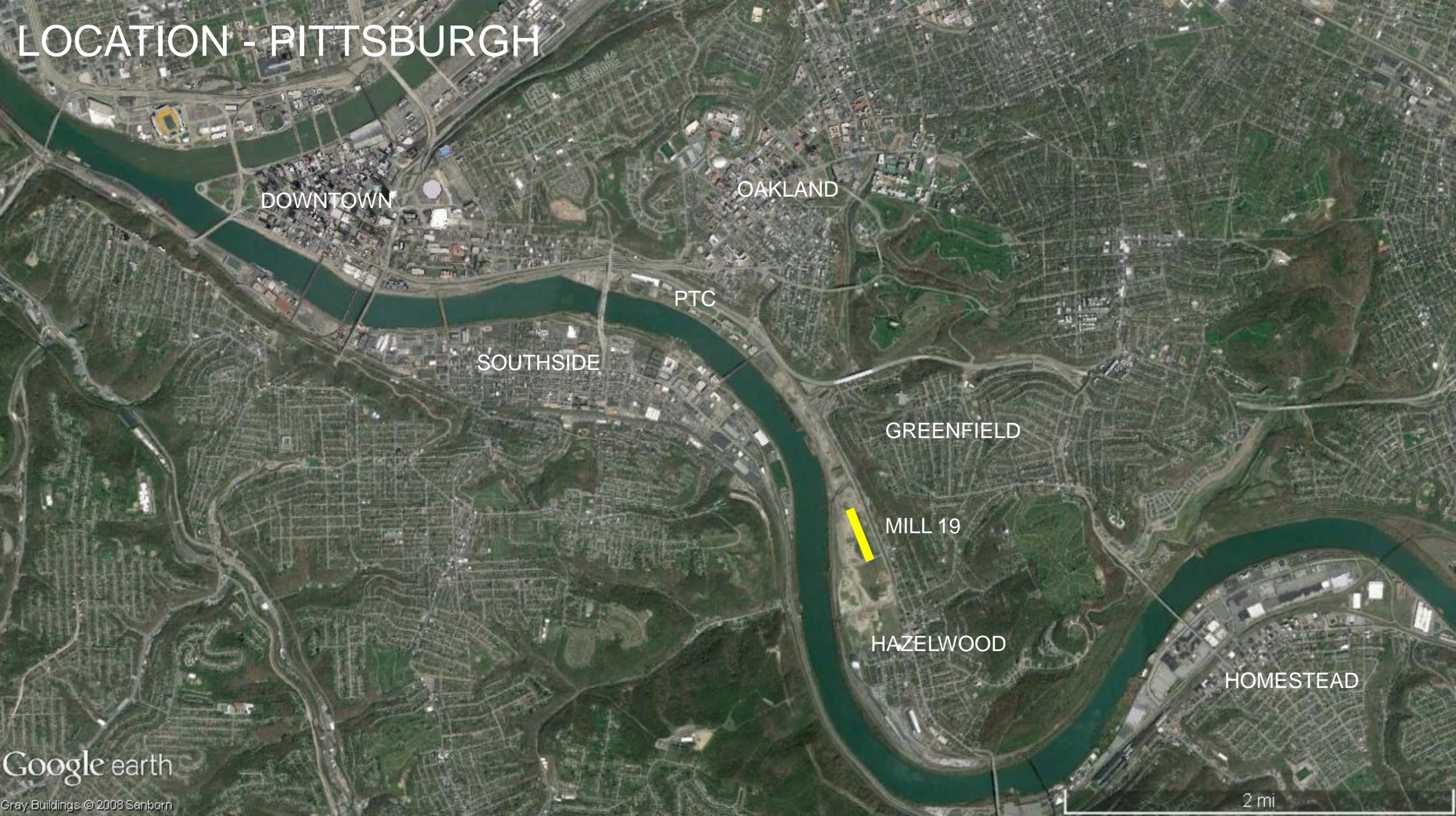
design
technology
sustainability

TEN X TEN
LANDSCAPE ARCHITECTURE AND URBANISM

D.I.R.T.

atelier ten

LOCATION - PITTSBURGH



DOWNTOWN

OAKLAND

PTC

SOUTHSIDE

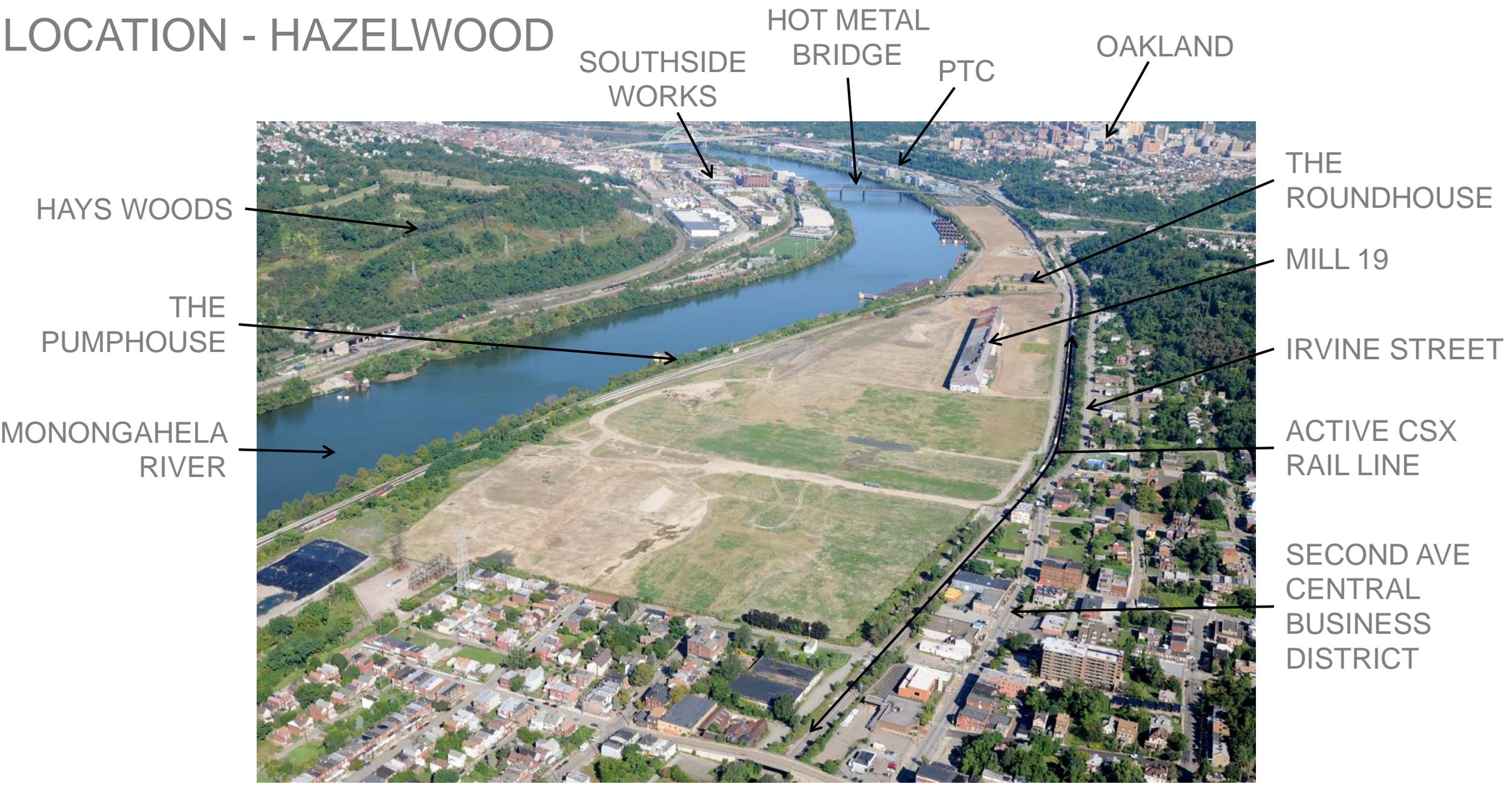
GREENFIELD

MILL 19

HAZELWOOD

HOMESTEAD

LOCATION - HAZELWOOD

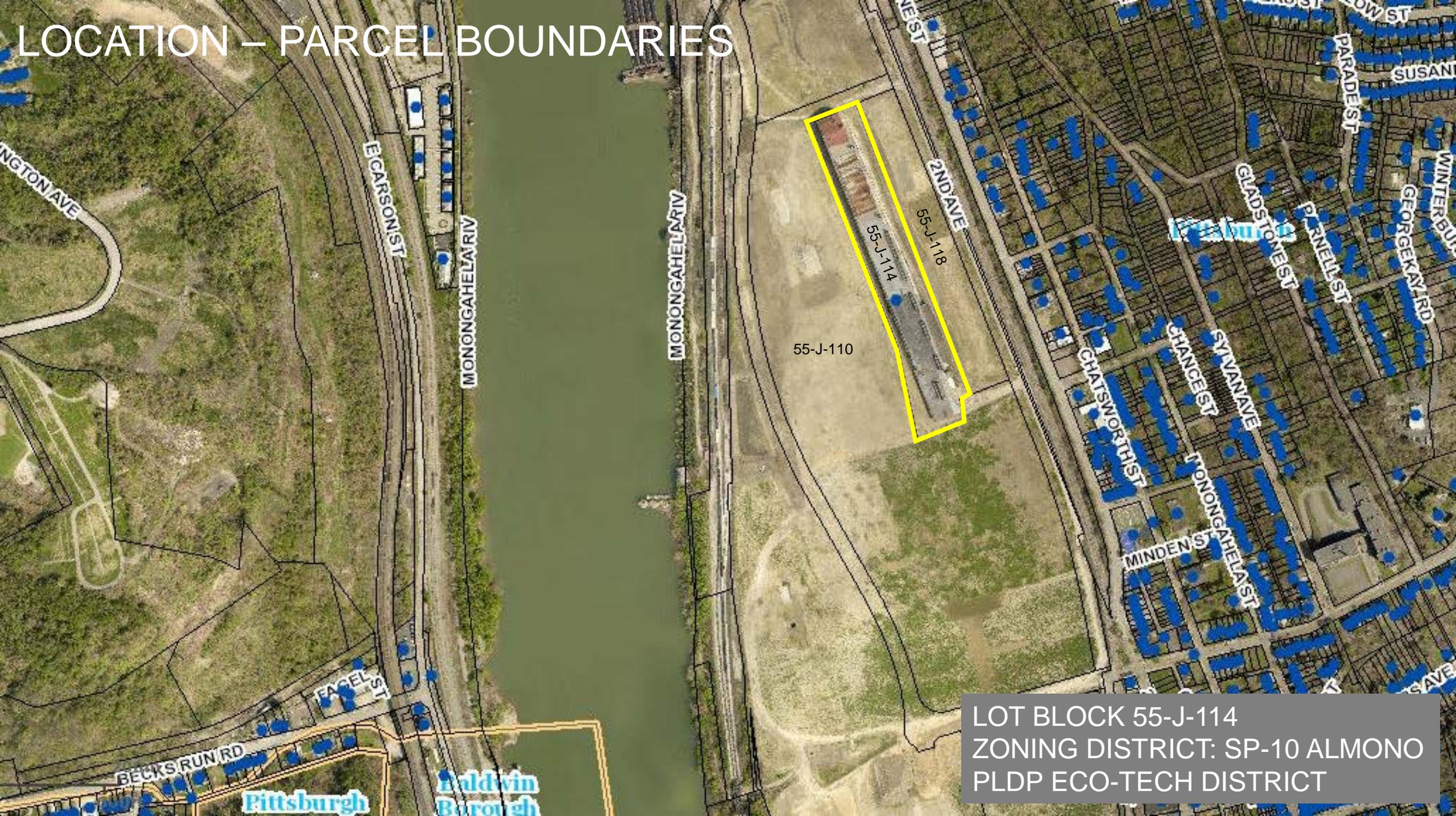


SOUTHSIDE WORKS
HOT METAL BRIDGE
PTC
OAKLAND

HAYS WOODS
THE PUMPHOUSE
MONONGAHELA RIVER

THE ROUNDHOUSE
MILL 19
IRVINE STREET
ACTIVE CSX RAIL LINE
SECOND AVE CENTRAL BUSINESS DISTRICT

LOCATION – PARCEL BOUNDARIES



LOT BLOCK 55-J-114
ZONING DISTRICT: SP-10 ALMONO
PLDP ECO-TECH DISTRICT

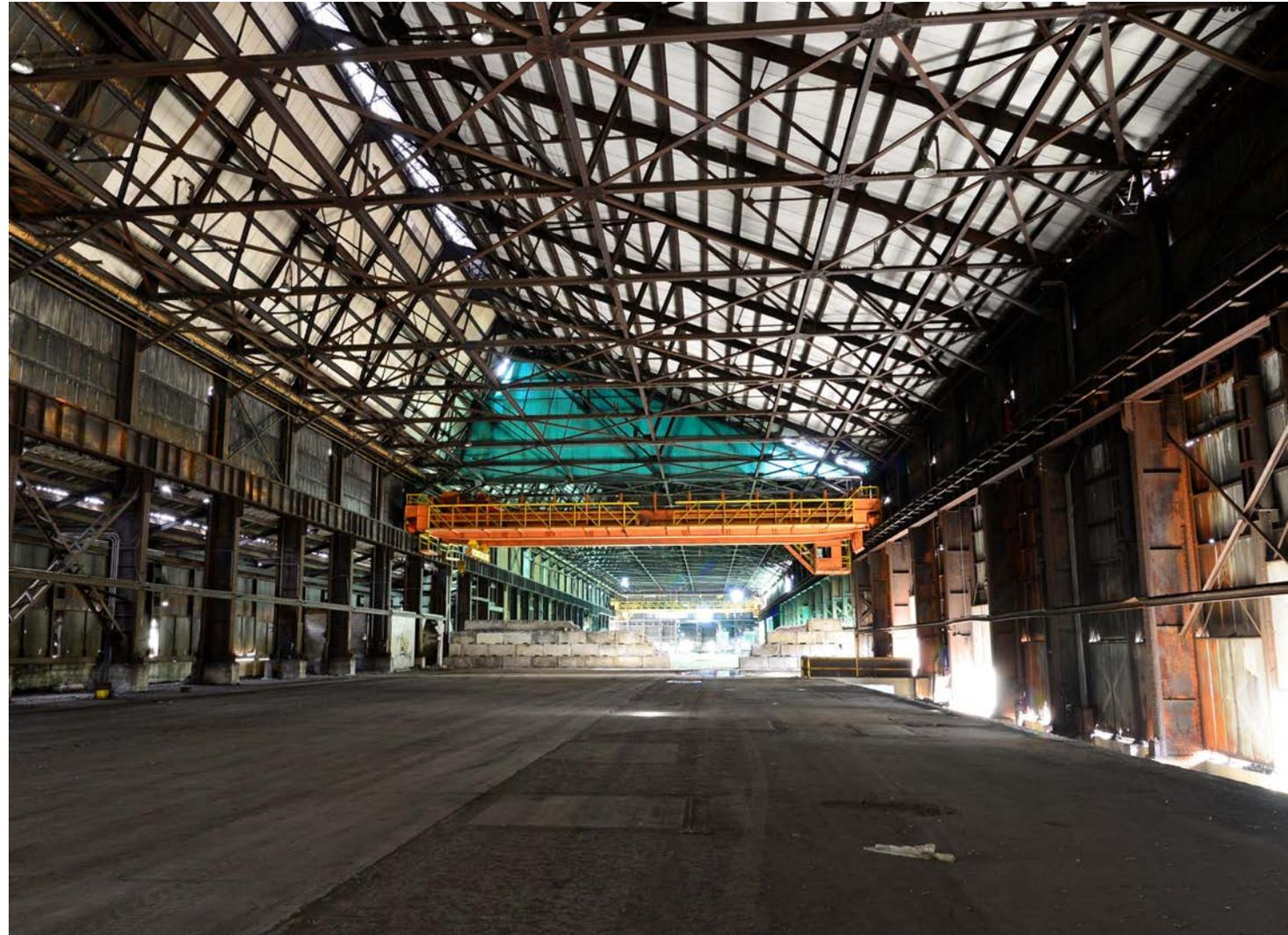
EXISTING CONDITIONS



VIEW OF THE SOUTH AND EAST ELEVATION



VIEW OF THE NORTH AND WEST ELEVATION



INTERIOR

HISTORICAL CONTEXT



MILL 19

HISTORICAL PHOTO OF JONES & LAUGHLIN STEEL MILL, HAZELWOOD

CURRENT CONTEXT

THERE ARE TWO OTHER REMAINING STRUCTURES AT ALMONO:



THE ROUNDHOUSE



THE PUMP HOUSE

CURRENT CONTEXT

THE RIVER'S EDGE



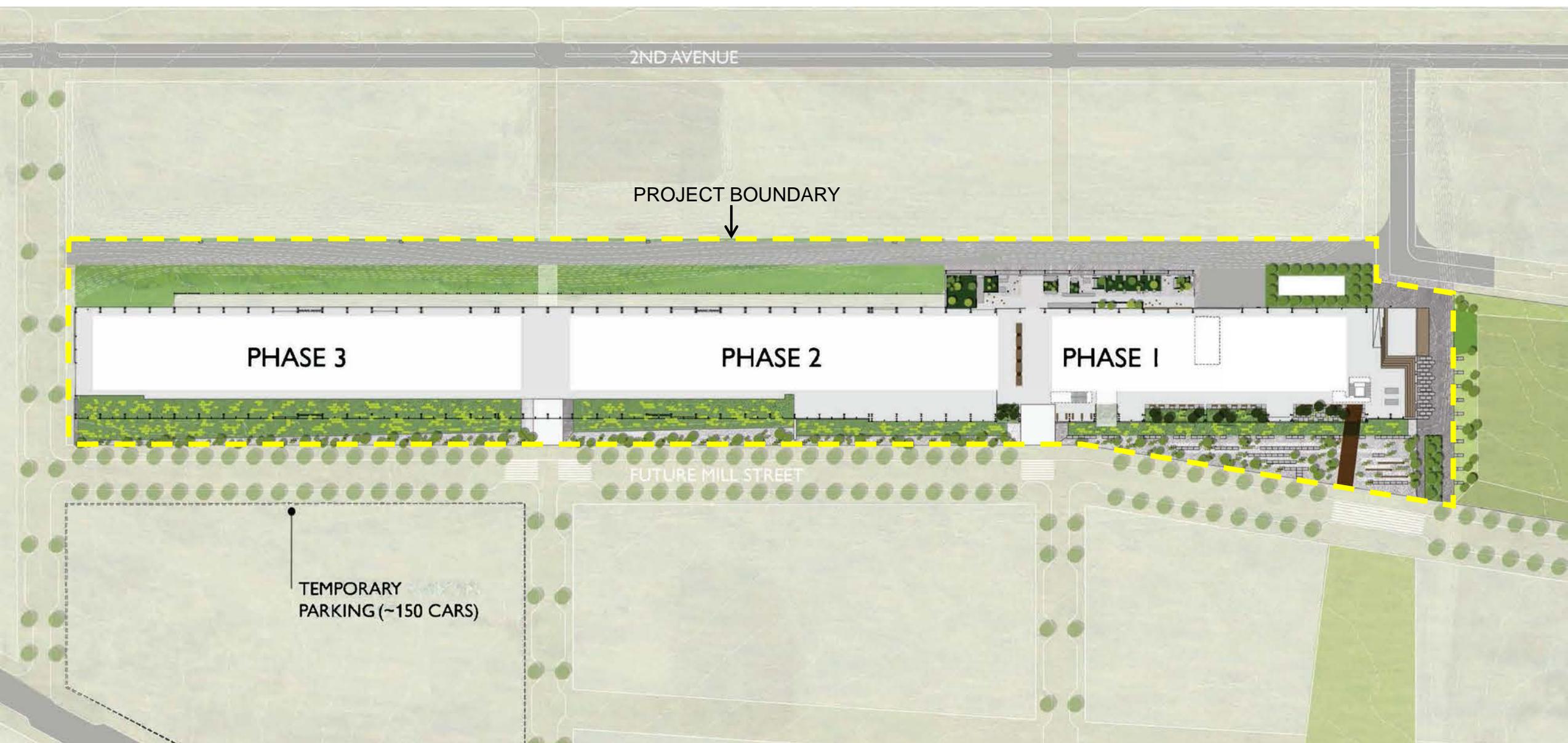
VIEW LOOKING NORTH TOWARD HOT METAL BRIDGE

IRVINE STREET, PA-885



VIEW LOOKING NORTH, MILL 19 ON THE LEFT

SITE PLAN – ALL PHASES (LSSE PLAN)



2ND AVENUE

PROJECT BOUNDARY

PHASE 3

PHASE 2

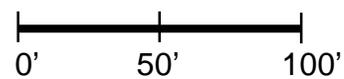
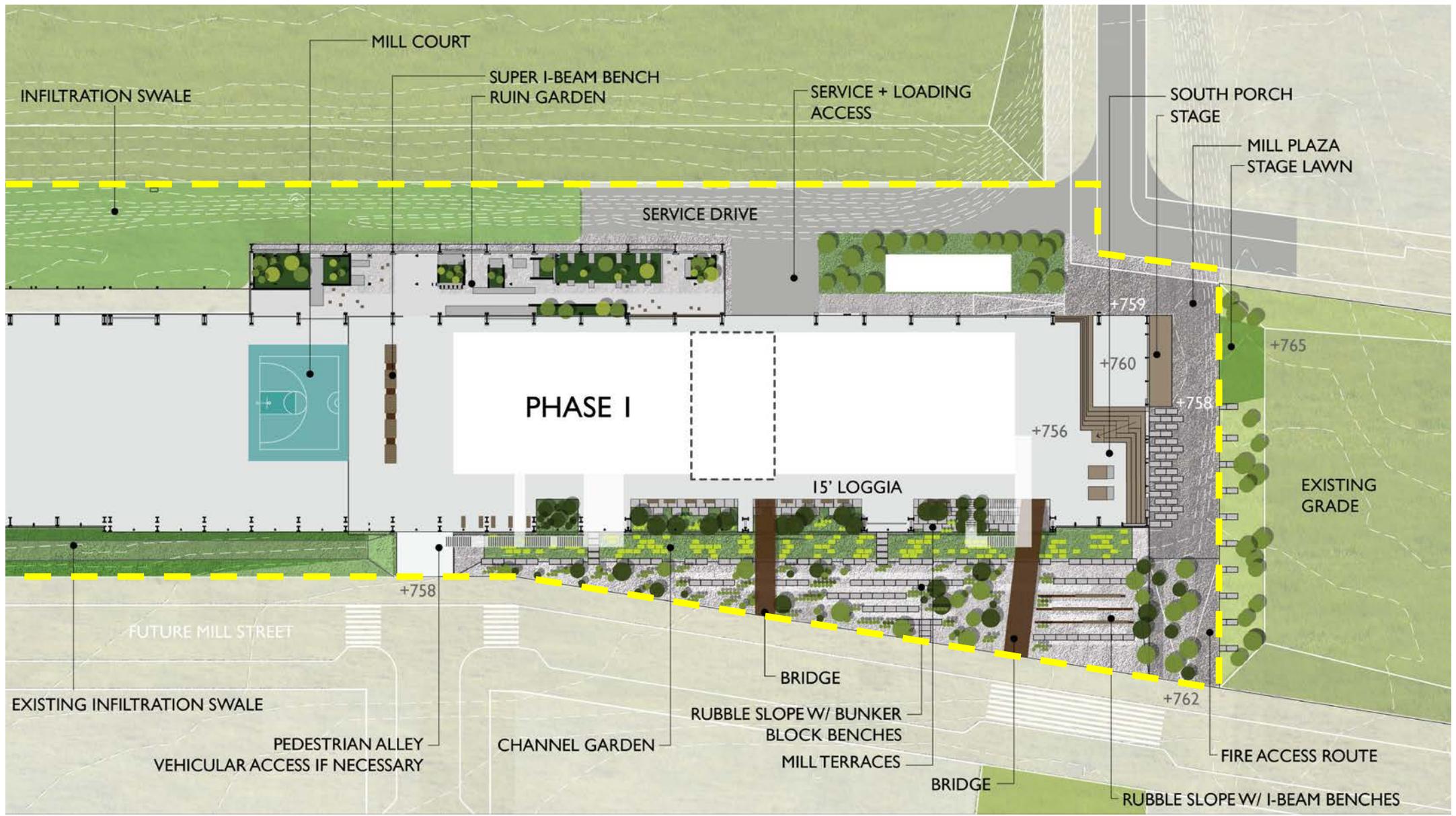
PHASE 1

FUTURE MILL STREET

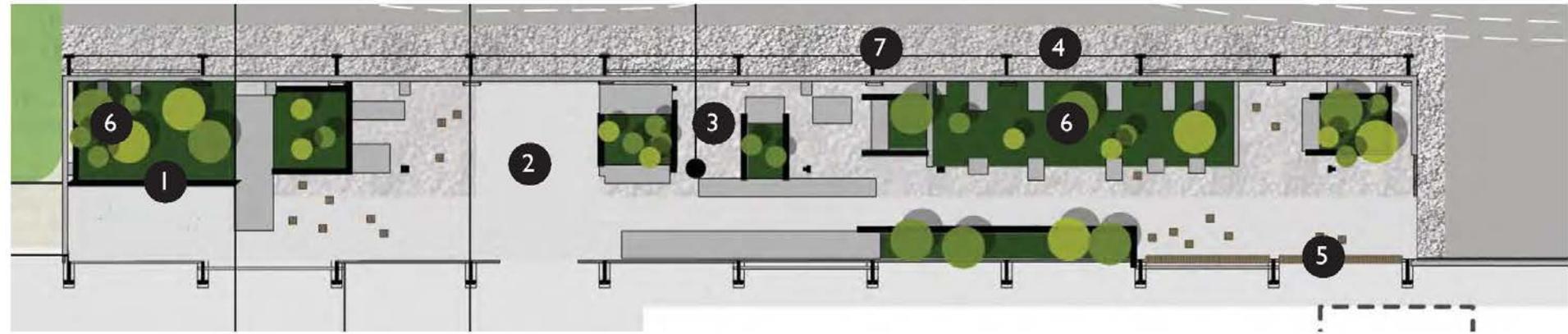
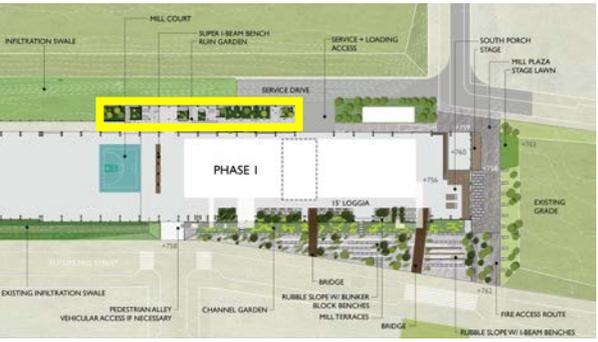
TEMPORARY
PARKING (~150 CARS)

0' 100' 200'

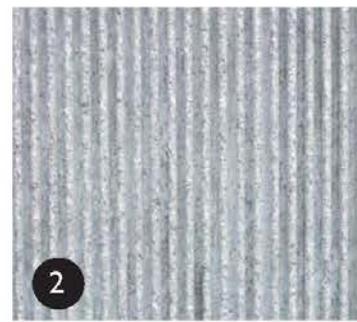
LANDSCAPE PLAN – PHASE 1



LANDSCAPE PLAN – RUIN GARDEN



1 STEEL I BEAM PLANTER



2 GROOVED CONCRETE



3 EXISTING CONCRETE



4 CRUSHED CONCRETE



5 RECLAIMED WOOD BENCH



6 SITE TRANSPLANTS



7 SUMAC



FERNS

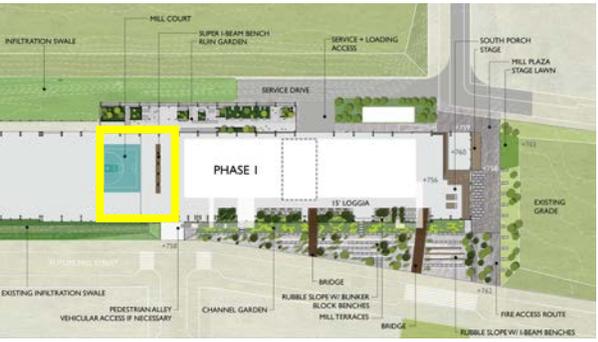


CAREX

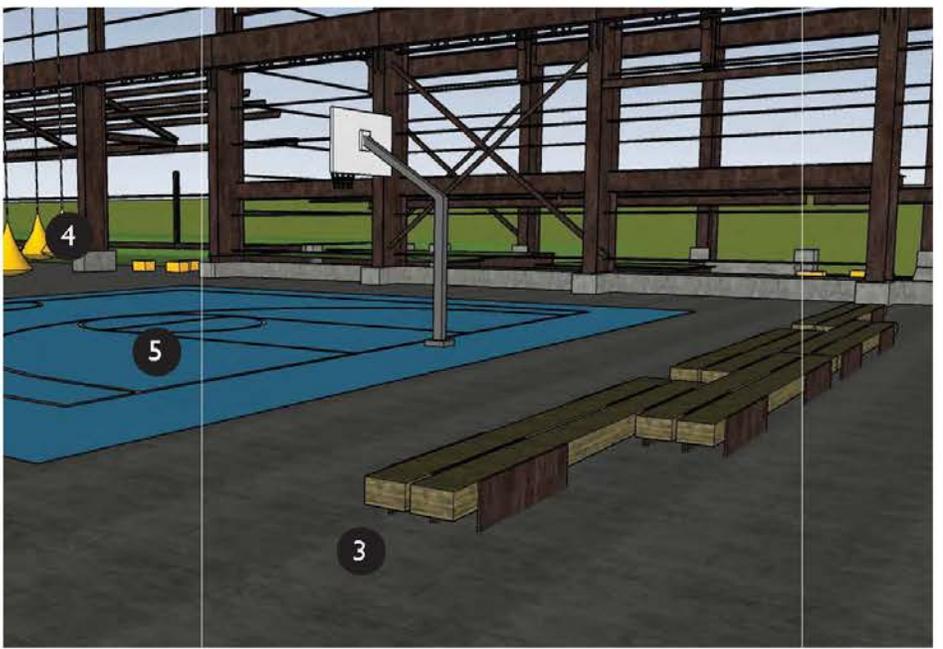


WILD GRAPE VINES

LANDSCAPE PLAN – SUPER ALLEY BENCH + TEMP. ACTIVATORS



OPTION 1



OPTION 2



STEEL I BEAM



RECLAIMED WOOD



RECLAIMED WOOD BEAM

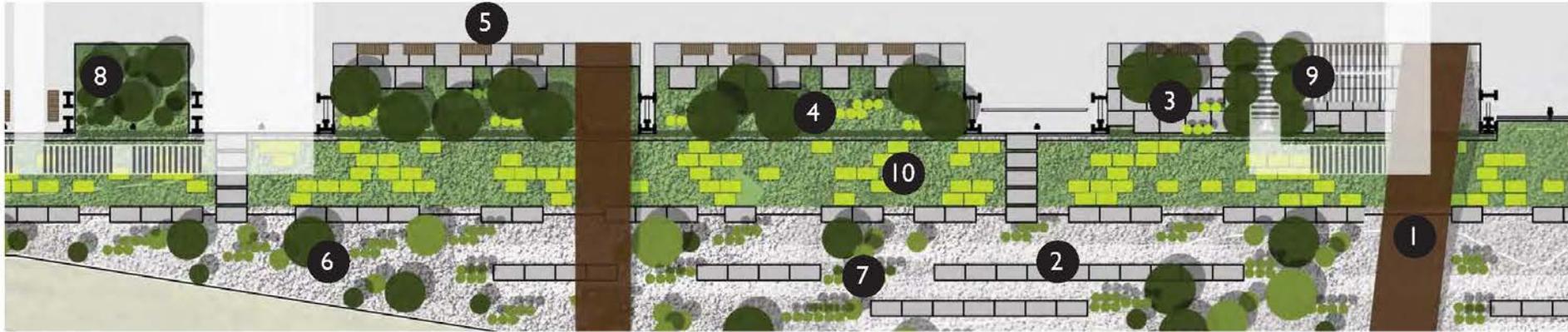
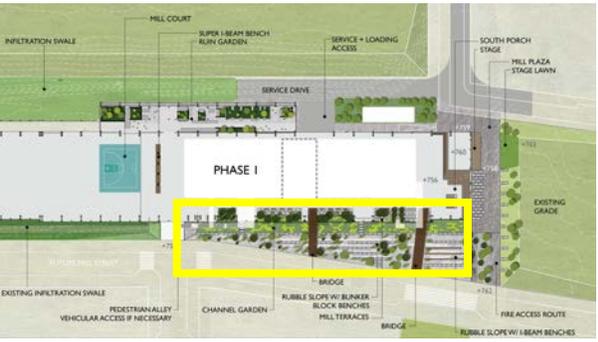


HANGING FURNITURE



PAINTED CONCRETE

LANDSCAPE PLAN – PLANTED LOGGIA



1 STEEL BRIDGE



2 BUNKER BLOCKS



3 RE-USED CONCRETE SLAB



4 CONCRETE RUBBLE



5 RECLAIMED WOOD



6 SITE TRANSPLANTS



7 RUBBLE PLANTING



8 BLACK LOCUST

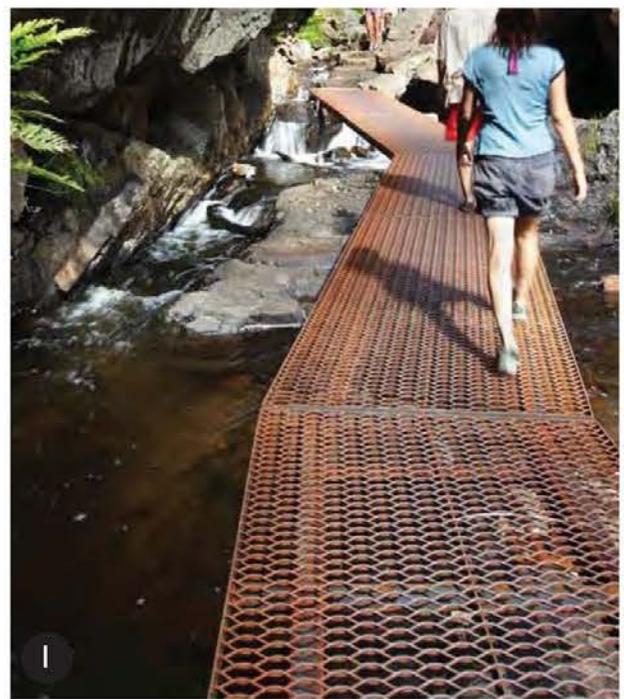
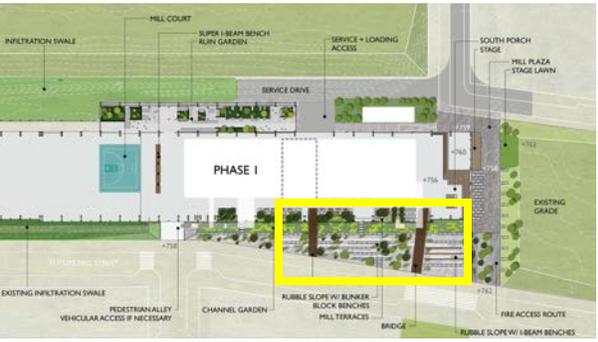


9 SERVICEBERRY

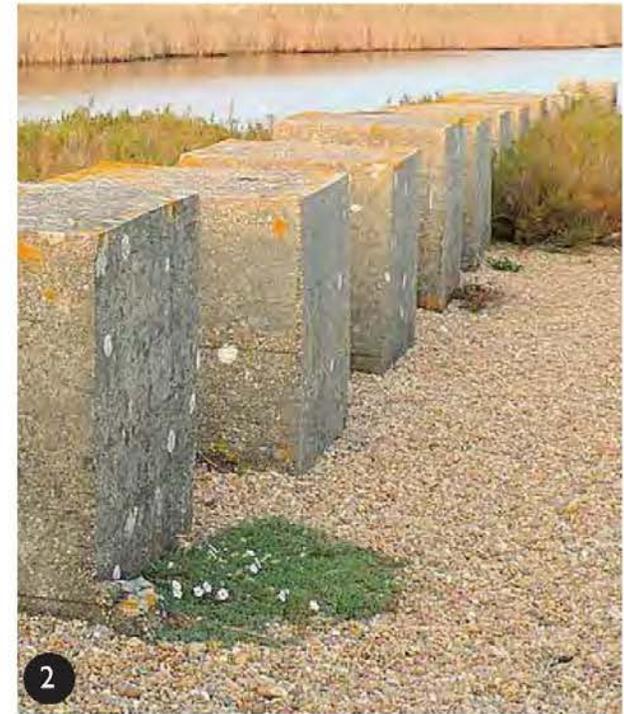


10 WETLAND PLANTINGS

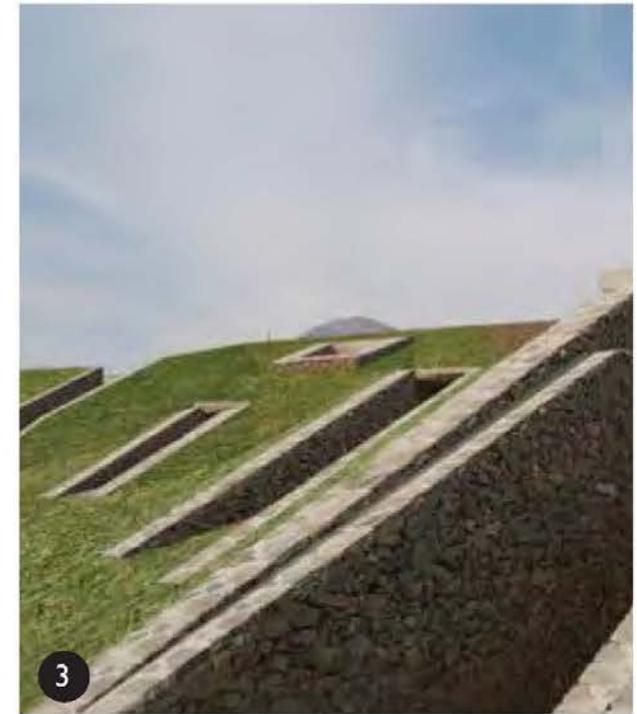
LANDSCAPE PLAN – BRIDGES



1 STEEL BEAM + EXPANDED METAL BRIDGE

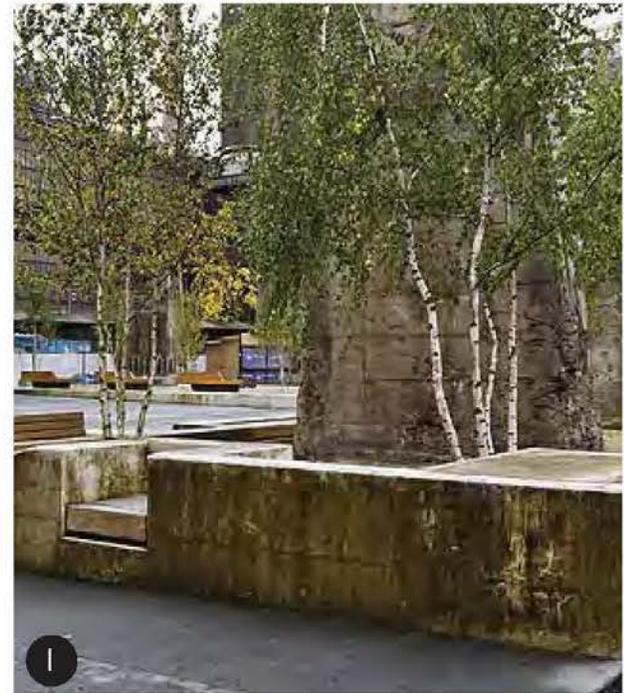
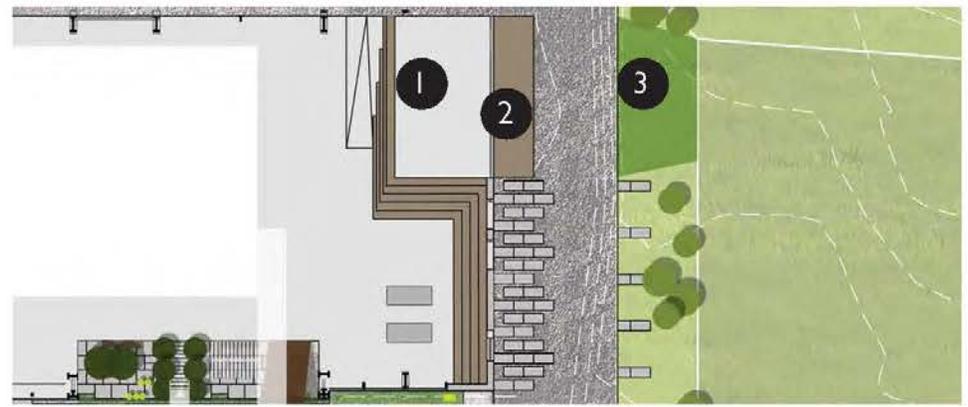
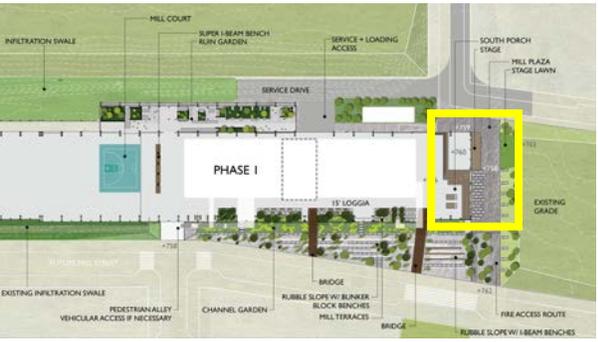


2 BUNKER BLOCK CROSSING

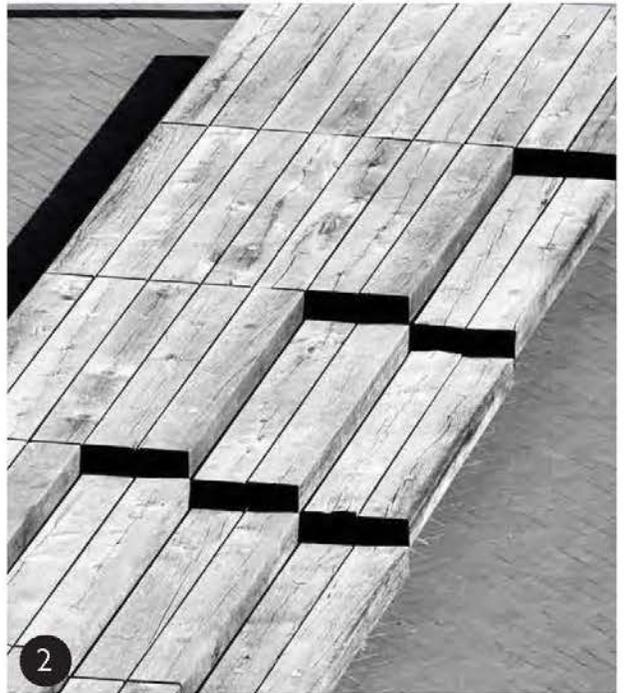


3 CULVERT + LAND BRIDGE

LANDSCAPE PLAN – STAGE + SEATING



EXISTING CONCRETE LOADING DOCK

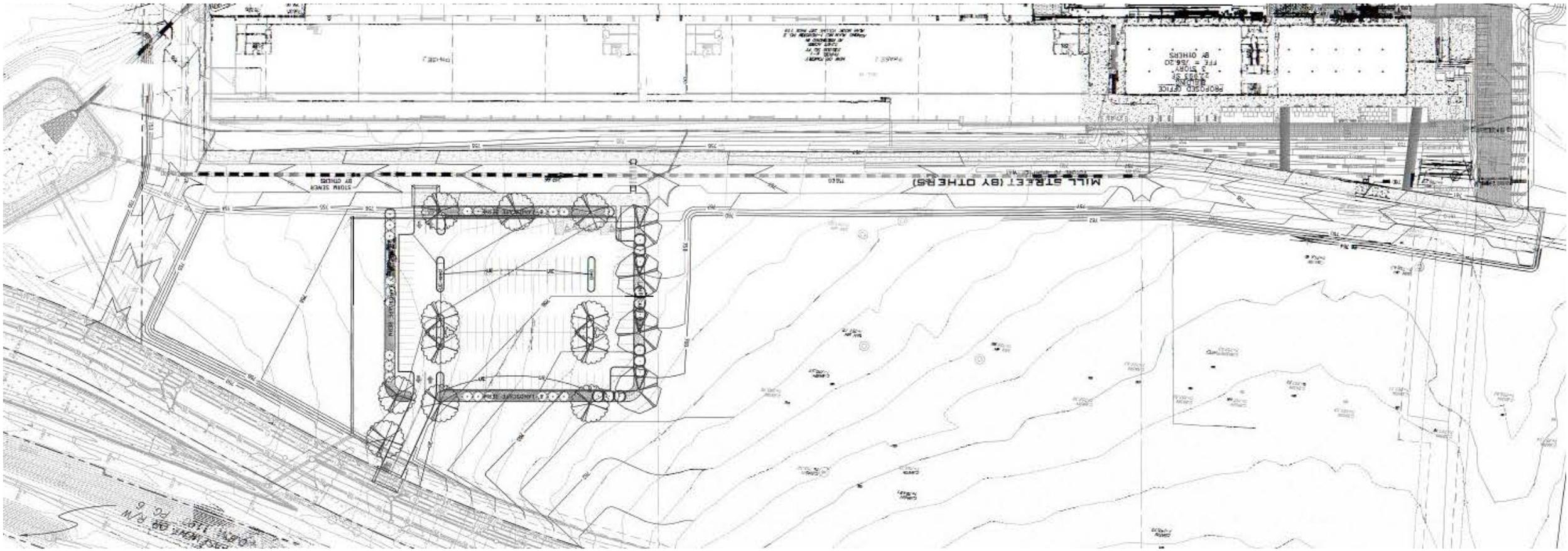


WOOD STAGE

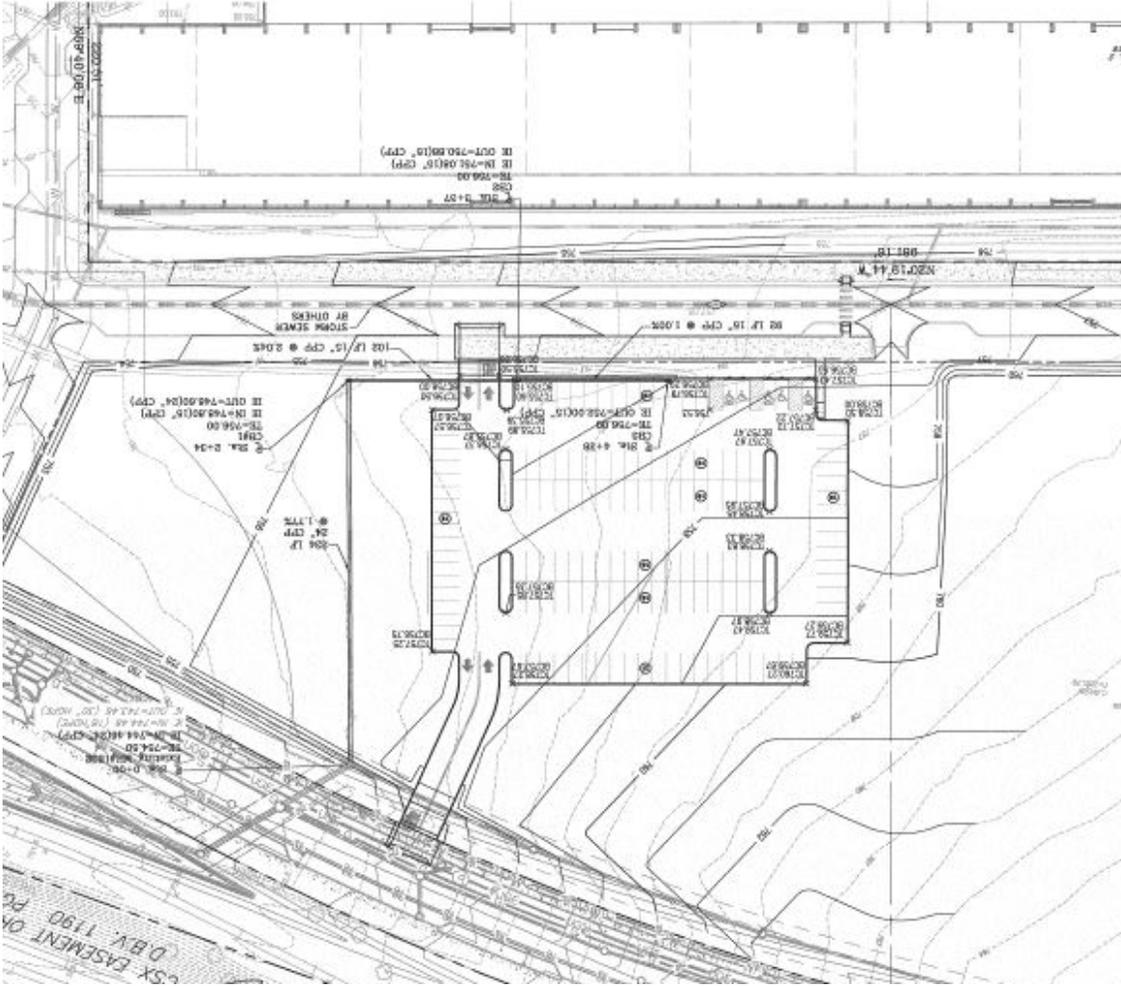


SLOPED LAWN SEATING

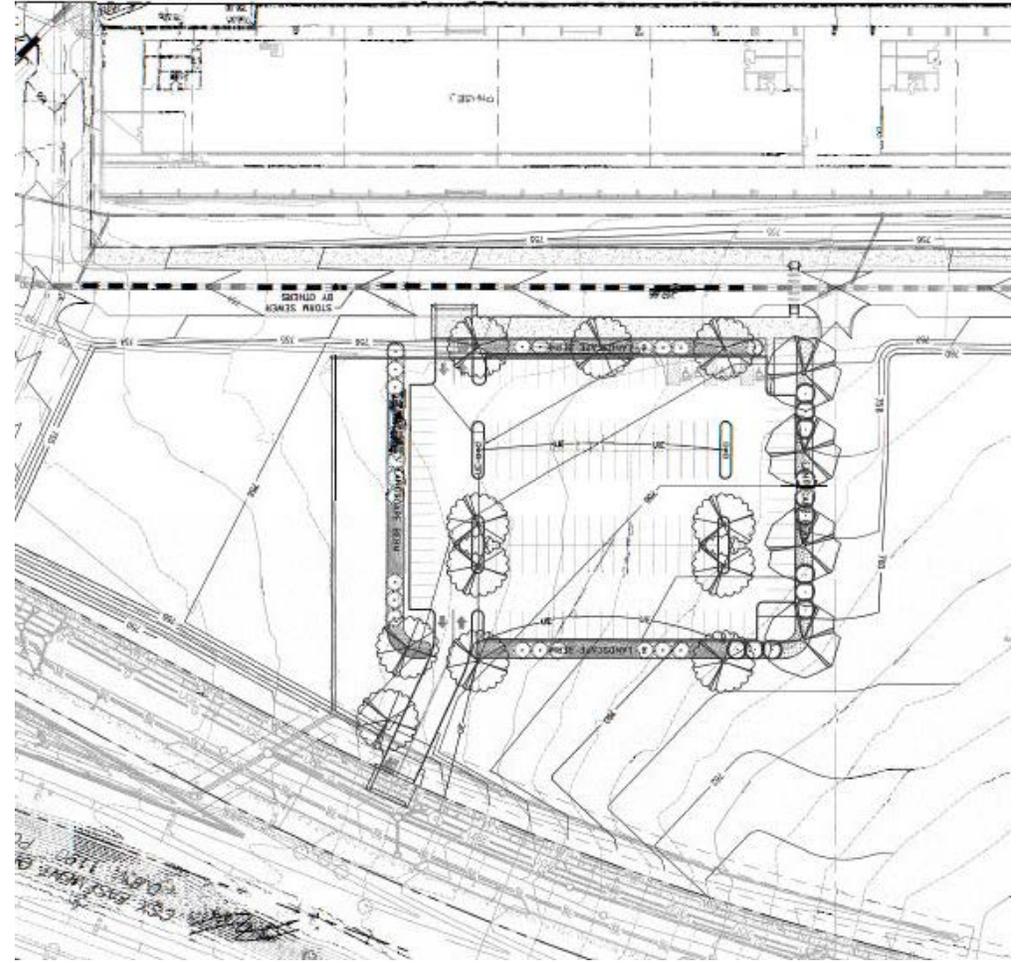
PARKING – SITE PLAN



PARKING – DETAIL PLANS



GRADING AND DRAINAGE PLAN - WORKS WITHIN THE REQUIREMENTS OF THE FULLY ENTITLED ALMONO STORM WATER MANAGEMENT PLAN



LANDSCAPE PLAN

PERSPECTIVES



OVERALL VIEW TOWARD DOWNTOWN

PERSPECTIVES



VIEW FROM THE SOUTHWEST, LOOKING NORTH

PERSPECTIVES



VIEW OF BRIDGE ACROSS RAIN GARDEN TO SOUTH PORCH

PERSPECTIVES



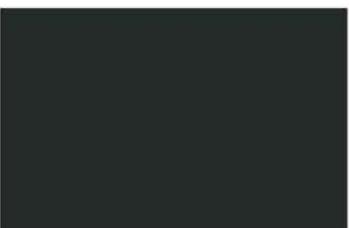
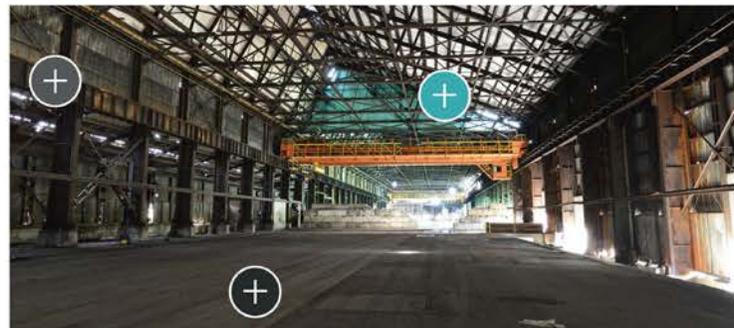
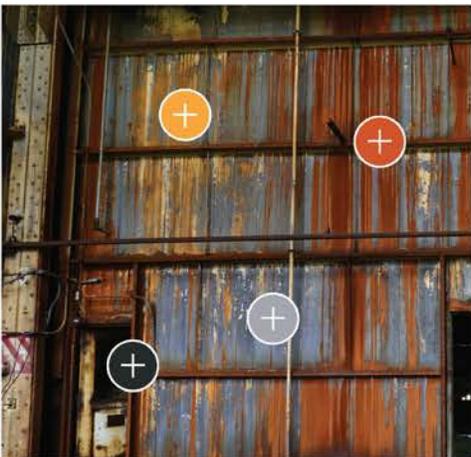
VIEW INSIDE SOUTH PORCH

PERSPECTIVES

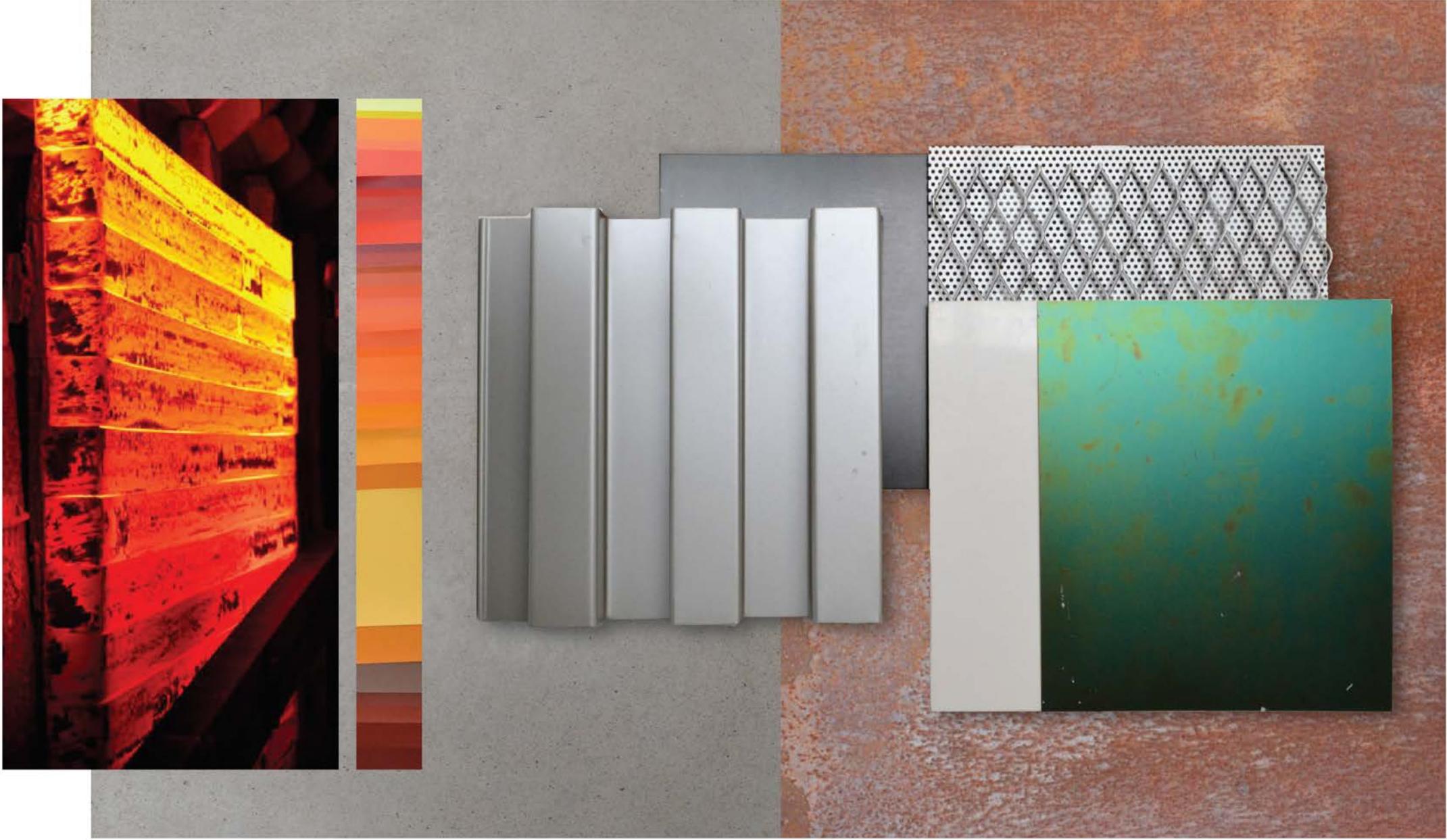


WEST ELEVATION AT PEDESTRIAN PASS-THROUGH BETWEEN PHASE 1 AND FUTURE PHASE 2

BUILDING MATERIALS – COLOR STRATEGY

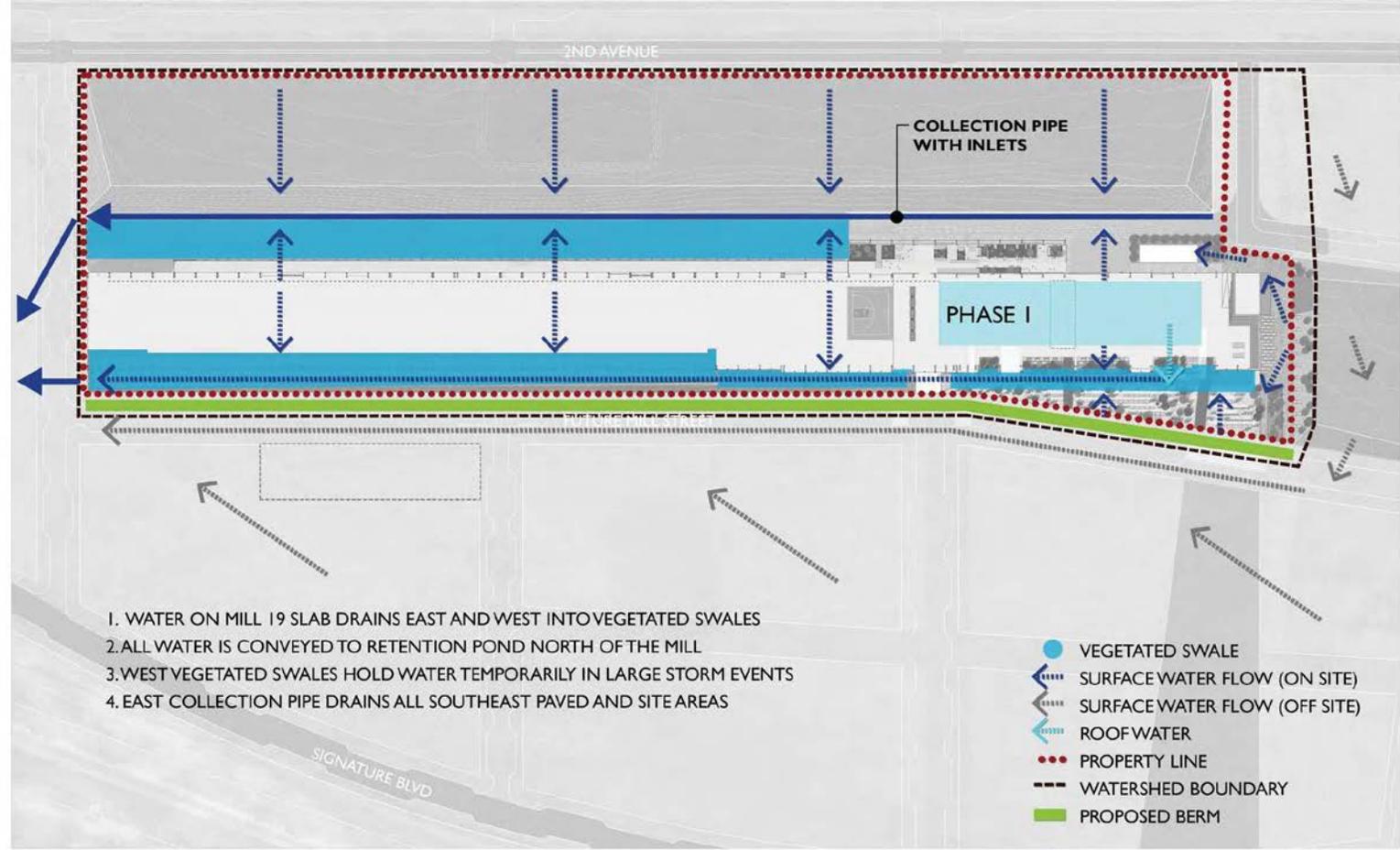


BUILDING MATERIALS – EXTERIOR MATERIAL PALETTE



SUSTAINABILITY + STORM WATER

- HIGH PERFORMANCE ENVELOPE AND LIGHTING
- 2 MWH/YR SOLAR PV INSTALLATION ON ROOF PROVIDES FOR PHASE 1 NET ZERO AND CARBON NEUTRAL OPERATION
- PURPLE PIPE ENABLED FOR FUTURE RAIN WATER HARVESTING (FILTERING INSTALLED IN PHASES 2 & 3)
- 45% DAYLIGHT AUTONOMY FOR TENANT SPACES
- GROUND SOURCE GEO-THERMAL HVAC
- 50% BETTER ENERGY EFFICIENCY THAN ASHRAE 90.1 2007
- BUILDING WILL BE TAKEN THROUGH LEED V4 ENHANCED COMMISSIONING PROCESS



PHASE 1 STORM WATER STRATEGY – WORKS WITHIN THE REQUIREMENTS OF THE FULLY ENTITLED ALMONO STORM WATER MANAGEMENT PLAN

COMMUNITY

A PUBLIC COMMUNITY MEETING WAS HELD FOR THE PROJECT ON JUNE 28, 2016 IN HAZELWOOD



ACCESSIBILITY AND UNIVERSAL DESIGN SUMMARY

GROUND LEVEL

- ALL PUBLIC CIRCULATION ON THE SITE IS ACCESSIBLE
- ALL PUBLIC ENTRANCES TO THE LOBBY ARE ACCESSIBLE
- ALL GROUND LEVEL PUBLIC SPACE IS ACCESSIBLE

UPPER FLOORS

- ALL NEW CONSTRUCTION IS DESIGNED WITH UNIVERSAL DESIGN STANDARDS
- ALL COMMON AMENITY SPACES WILL BE ACCESSIBLE AND DESIGNED WITH UNIVERSAL DESIGN STANDARDS



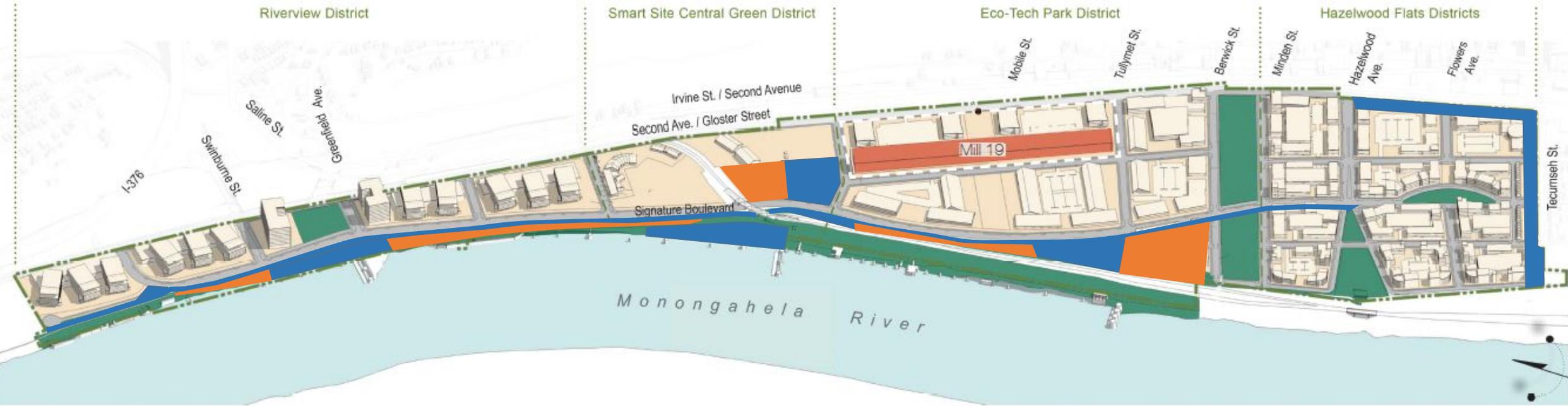
RELATIONSHIP TO PLDP



SPECIALY PLANNED DISTRICT 10 – ALMONO: MILL 19 IS FULLY COMPLIANT WITH THE ALMONO PLDP

INTERIM OPEN SPACE

AN INTERIM OPEN SPACE PLAN FOR 10% OF THE SITE'S TOTAL 178 ACRES.



- 11.1 ACRES OF ENTITLED OPEN SPACE, BIOSWALES, AND TRAILS CURRENTLY UNDER CONSTRUCTION AS PART OF THE SIGNATURE BOULEVARD AND UBER UATC PROJECTS
- 7 ACRES OF OPEN SPACE, BIOSWALES, AND TRAILS THAT WILL BE UNDER CONSTRUCTION WITHIN 6 MONTHS OF THE FIRST FLDP



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <u>EAST SIDE ASSOC.</u>		Phone Number: ()	
Address: <u>600 GRANT</u>	City: <u>PITTSBURGH</u>	State: <u>PA</u>	Zip Code: <u>15219</u>
2. Applicant/Company Name: <u>INTEGRITY DESIGN</u>		Phone Number: <u>(412) 220.7822</u>	
Address: <u>456 WASHINGTON</u>	City: <u>BRIDGEVILLE</u>	State: <u>PA</u>	Zip Code: <u>15017</u>
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: <u>DOLLAR BANK</u>			
4. Development Location: <u>6107 PENN AVENUE</u>			
5. Development Address:			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	<u>UNC - URBAN NEIGHBORHOOD COMMERCIAL BAUM - CENTRE CORRIDOR OVERLAY</u>		
Present Use of Site: (Select from attached list)	<u>VACANT - FORMER DANCE STUDIO - RECREATION + ENTERTAINMENT - INDOOR</u> 91		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: <u>#200703886</u>	Date Issued: <u>2010</u>	Existing Use of Property: <u>DANCE STUDIO - RECREATION + ENTERTAINMENT - INDOOR</u>	
8. Estimated Construction:	Start Date: <u>8/01/2016</u>	Occupancy Date: <u>11/01/2016</u>	Project Cost: <u>\$325,000</u>
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): <u>BANK OR FINANCIAL INSTITUTION</u> 27			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New	<input checked="" type="checkbox"/> Renovation, Interior		
<input type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior		
<input type="checkbox"/> Change in Use Only	<input checked="" type="checkbox"/> Renovation, Change in Use		
11. Describe the Development: <u>EXTERIOR WORK SHALL INCLUDE REMOVAL OF EXISTING SECURITY GATE/GRAIL AND EXISTING STOREFRONT GLAZING SYSTEM. A NEW ALUM. STOREFRONT SYSTEM WILL BE INSTALLED AT THE PENN AVENUE ENTRANCE. NEW PARTITIONS AND A COMPLETELY RENOVATION OF THE BUILDING'S GROUND FLOOR WILL BE PART OF THE PROPOSED WORK.</u>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: _____ sq ft
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: 3475 sq ft
 To be Constructed: _____ sq ft
 Building Footprint: _____ sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	1 STORY ABOVE GRADE	30'-6" ±		
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 3500 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

New Water Service Connection(s) Termination of Existing Water Service Tap(s)
 New Sewer Service Connection(s) Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

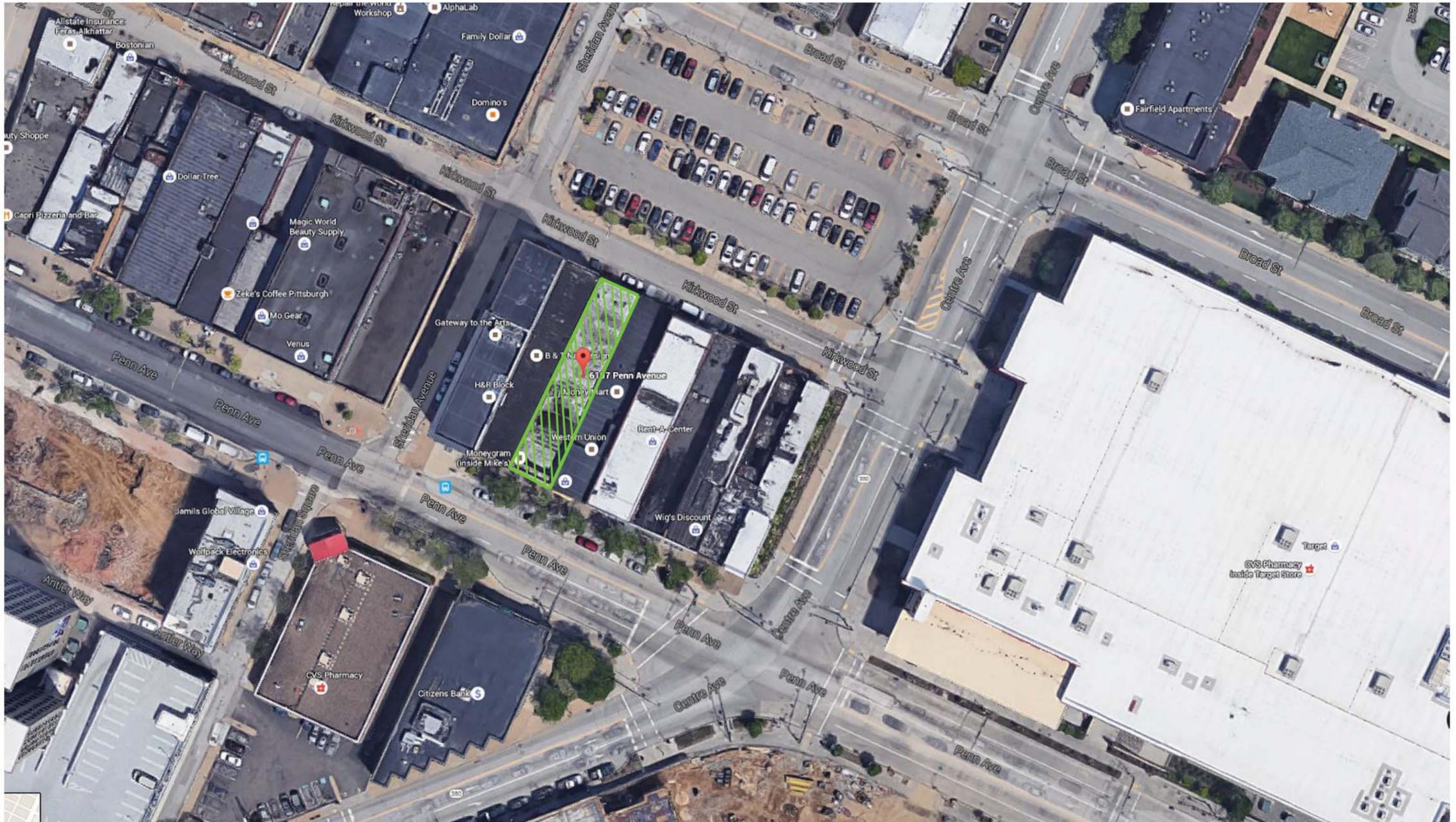
WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: Kent A. [Signature] - INTEGRITY DESIGN (OWNER AGENT)



LOCATION MAP - 6107 PENN AVENUE



East Liberty Branch
Exterior Improvements
6107 Penn Avenue



6107 Penn Avenue



EXISTING STREET VIEW - 6107 PENN AVENUE & ADJACENT STOREFRONTS



East Liberty Branch
Exterior Improvements
6107 Penn Avenue





EXISTING STOREFRONT



SIGNAGE COLOR
(to match) PPG Gulf Grandeur



GENERAL PAINT
Sherwin Williams Zircon



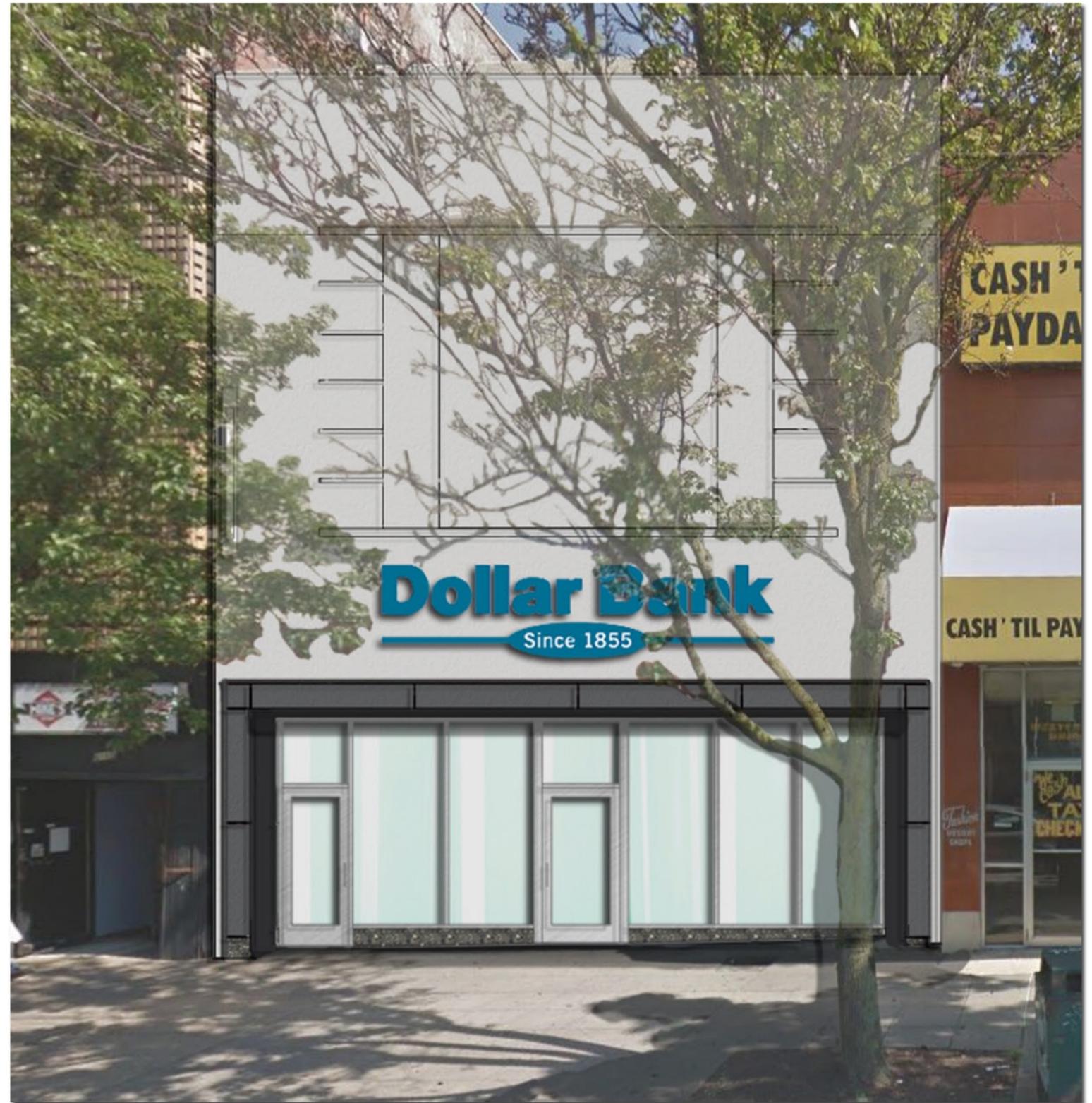
ACCENT TRIM PAINT
Sherwin Williams Web Grey



MASONRY BASE
New Holland Ground Face Charcoal G1063



ANODIZED ALUMINUM STOREFRONT



PROPOSED IMPROVEMENT



East Liberty Branch
Exterior Improvements
6107 Penn Avenue



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REVISIONS:
 1 7-11-16

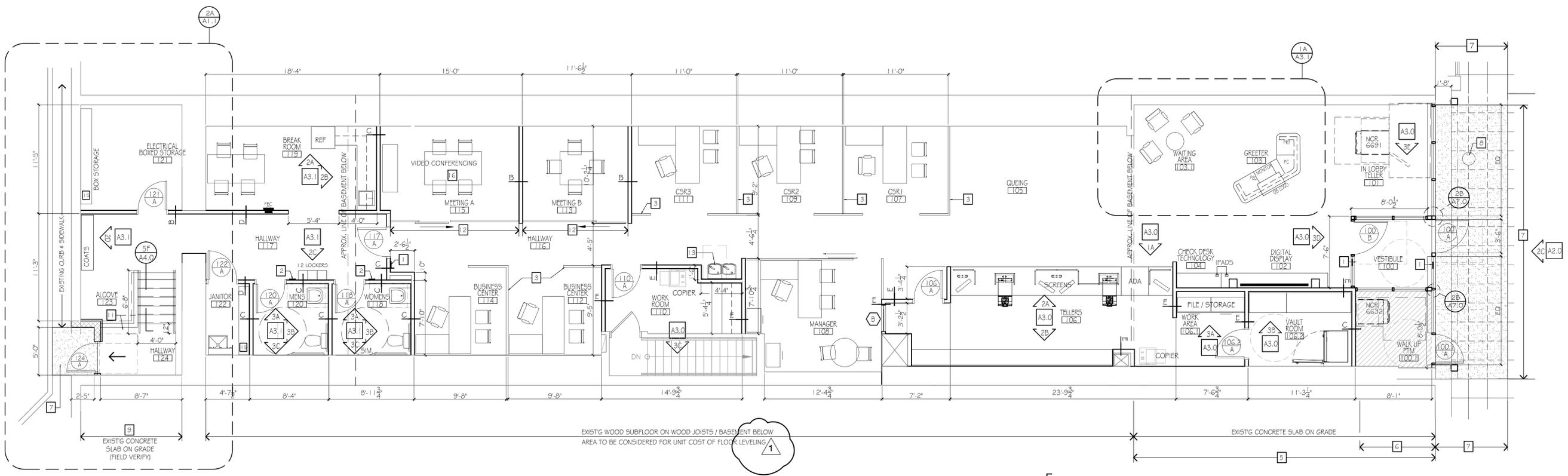
INTERIOR RENOVATIONS
DOLLAR BANK- EAST LIBERTY BRANCH
 6107 PENN AVE
 PITTSBURGH, PA 15206

INTEGRITY DESIGN
 ARCHITECTURE & INTERIORS
 456 Washington Avenue, Suite 100
 Pittsburgh, PA 15207
 412-220-7822 P 412-220-7821 F



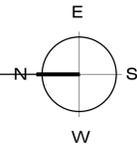
DATE:
JUNE 17, 2016
 PROJECT NO.
2016-011
 FLOOR PLAN
 SHEET NO.
A1.0

FOR CONSTRUCTION



GROUND LEVEL NEW WORK PLAN

SCALE: 3/16" = 1'-0"



GENERAL NOTES

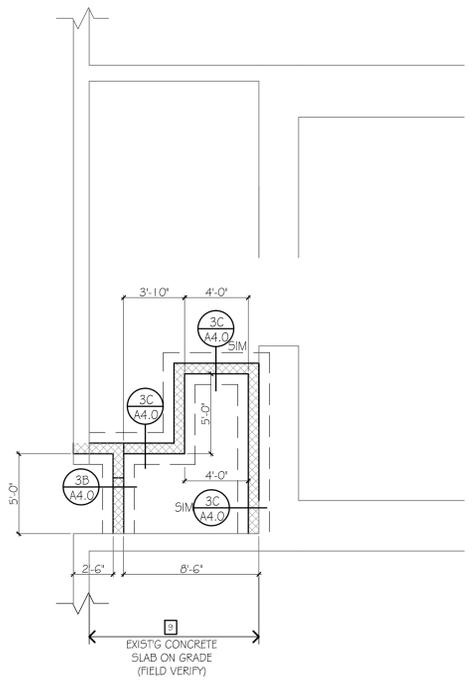
- DIMENSIONS INDICATED ARE TO FACE OF STUD.
- ALL DOORS TO HAVE LEVER STYLE HARDWARE UNLESS OTHERWISE NOTED.
- FIRE EXTINGUISHERS MUST NOT PROJECT MORE THAN 4" FROM WALL. GC TO VERIFY.
- SEE SHEET AO.1 FOR PARTITION TYPES.
- SEE AO.0 FOR FINISH PLAN, LEGEND 4 SCHEDULES
- FURNITURE SHOWN ON PLAN FOR LOCATION ONLY. TO BE PROVIDED BY OWNER.

LEGEND

- FIRE EXTINGUISHER CABINET-STAINLESS STEEL MOUNT TOP OF EXTINGUISHER @ 48" AFF
- NEW WALL - SEE PARTITION TYPES ON SHEET AO.1
- NEW DOOR AND FRAME DOOR SIZE 3'-0" x 6'-8" MIN. ALL NEW DOORS SHALL BE EQUIPPED WITH LEVER TYPE HARDWARE TO ACCOMMODATE BEST LOCK CORES
- EXISTING DOOR TO REMAIN

FLOOR PLAN KEY NOTES

- 1 TACTILE 'EXIT' SIGNAGE BY OWNER
- 2 TACTILE 'TOILET ROOM' SIGNAGE BY OWNER
- 3 NEW FURNITURE SYSTEM - SEE SHEET A9.0
- 4 COAT ROD AND SHELF - SEE DETAILS ON 3C/A3.0
- 5 INSTALL FLOOR LEVELER AS REQUIRED TO LEVEL EXISTING CONCRETE FLOOR SLAB TO EXISTING WOOD SUBFLOOR.
- 6 INSTALL FLOOR LEVELER AS REQUIRED TO ELEVATION REQUIRED TO MATCH NEW DOOR OPENING AT SIDEWALK.
- 7 NEW 'BROOM-FINISH' CONCRETE SIDEWALK SLAB. ALIGN CONTROL JOINTS TO MATCH EXISTING. SLOPE NEW SLAB AS REQUIRED TO NEW DOOR OPENING THRESHOLD. (MAX SLOPE 2 PERCENT)
- 8 EXISTING WATER METER VAULT. FEATHER CONCRETE TO EXISTING VAULT RIM.
- 9 EXISTING CONCRETE FLOOR - SAW CUT AND EXCAVATE AS REQUIRED FOR NEW STAIR INSTALLATION.
- 10 PERSONAL TELLER MACHINE (PTM). COORDINATE ELECTRICAL DRAWINGS TO COMPLY WITH PTM REQUIREMENTS
- 11 42 INCH HEIGHT WALL WITH PLASTIC LAM. CAP
- 12 GLASS PARTITION WITH 36" X 84" SLIDING DOOR - PART OF FURNITURE SYSTEM.
- 13 WALL MOUNTED DRINKING FOUNTAIN
- 14 LO JANITOR SINK WITH MOP HANGER
- 15 METAL SHELVING BY OWNER
- 16 FLOOR BOX FOR POWER/DATA/MDMI



PARTIAL FOUNDATION PLAN

SCALE: 3/16" = 1'-0"



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REVISIONS:

**INTERIOR RENOVATIONS
DOLLAR BANK- EAST LIBERTY BRANCH**

**6107 PENN AVE
PITTSBURGH, PA 15206**

**INTEGRITY DESIGN
ARCHITECTURE & INTERIORS**
456 Washington Avenue, Suite 100
Pittsburgh, PA 15207
412-220-7822 P 412-220-7821 F

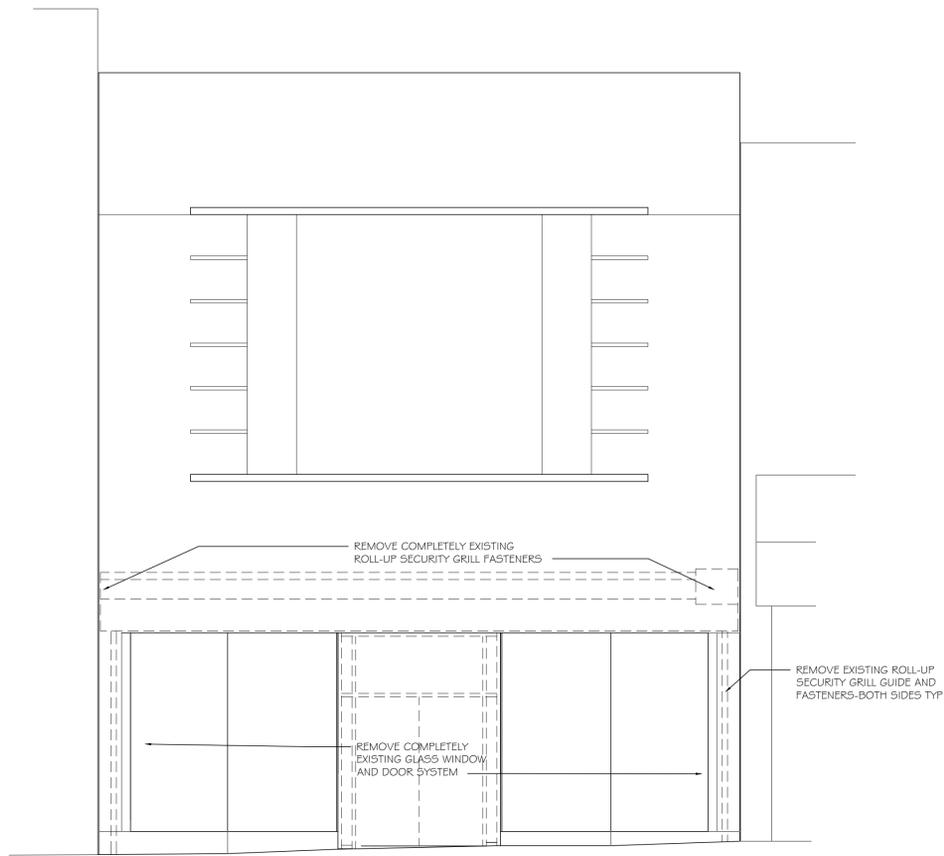


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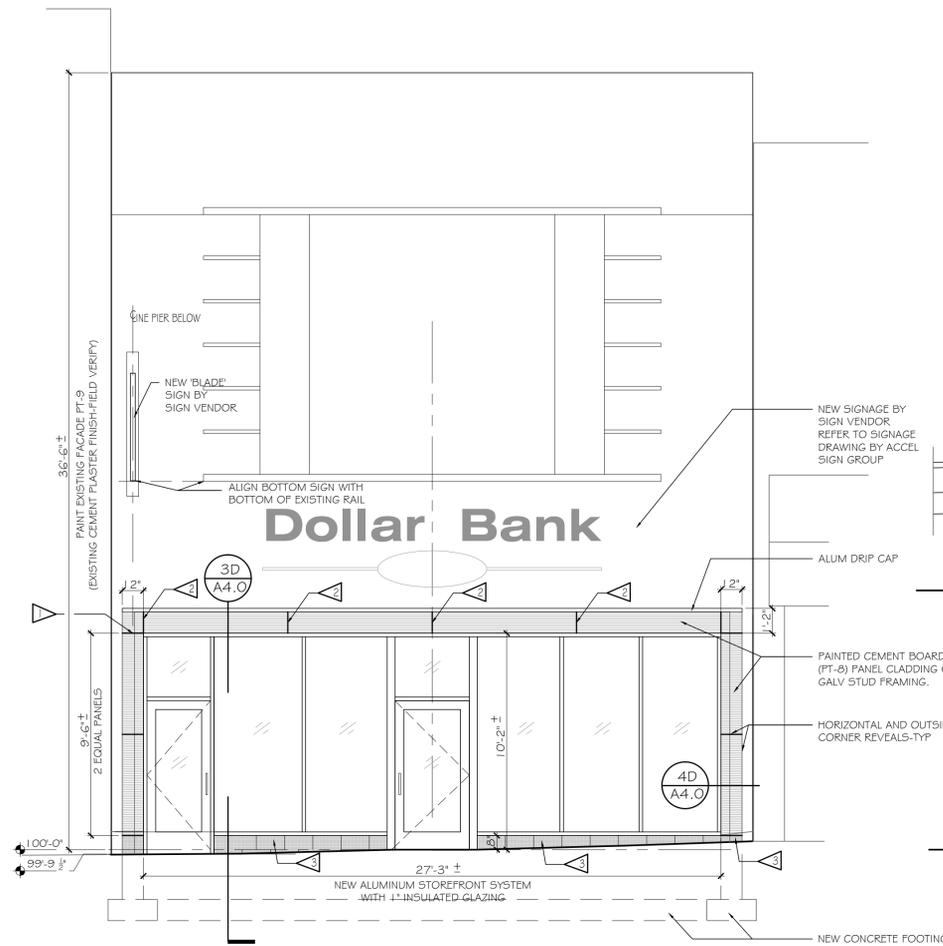
**EXTERIOR ELEVATIONS /
BUILDING SECTIONS**

SHEET NO.
A2.0

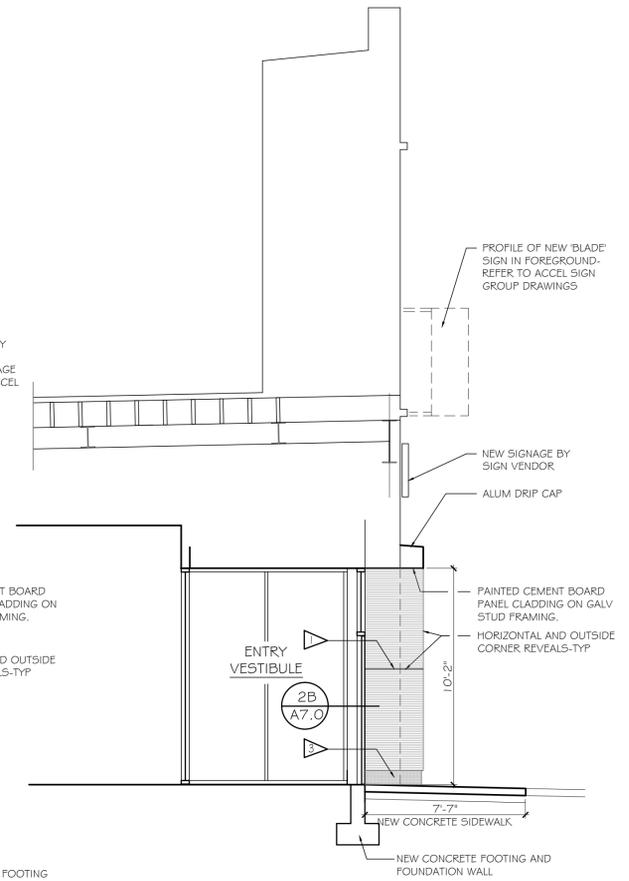
FOR CONSTRUCTION



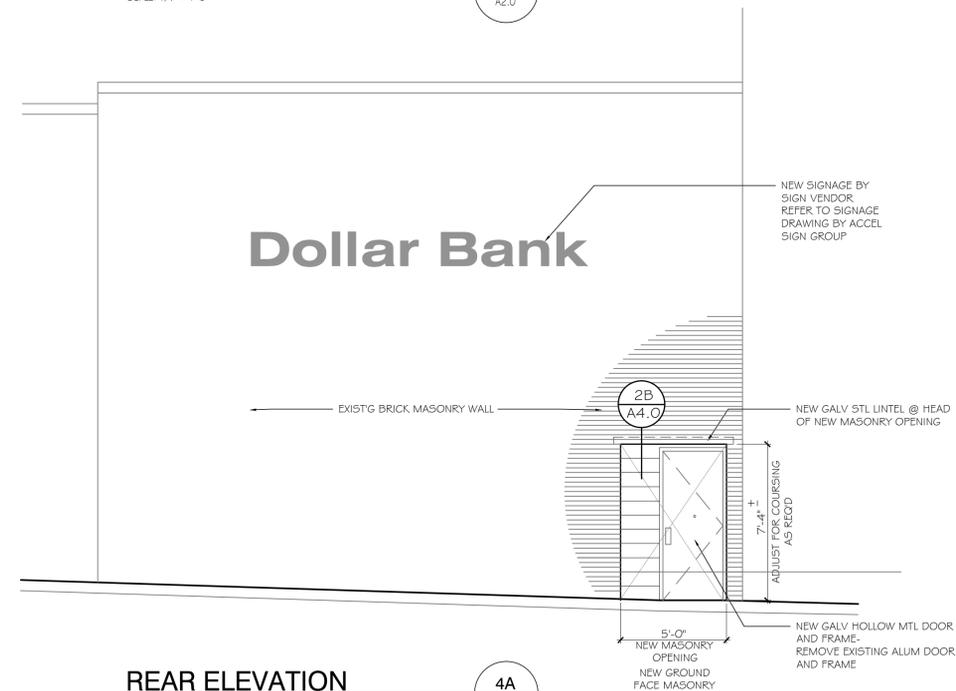
DEMOLITION ELEVATION (2A) A2.0
SCALE: 1/4" = 1'-0"



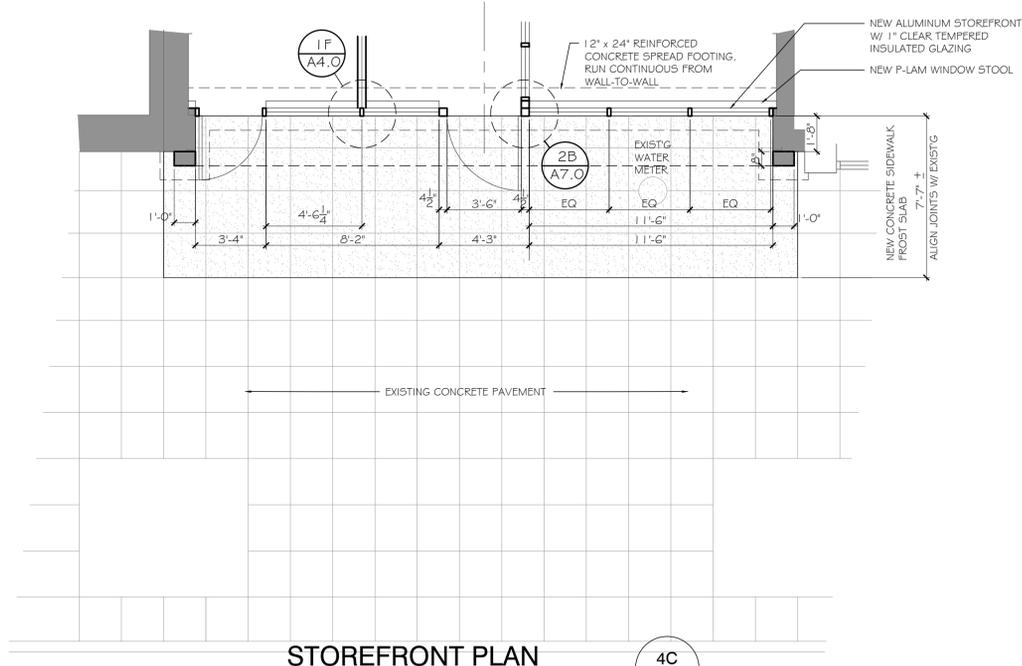
FRONT ELEVATION (2C) A2.0
SCALE: 1/4" = 1'-0"



BUILDING SECTION (2D) A2.0
SCALE: 1/4" = 1'-0"



REAR ELEVATION (4A) A2.0
SCALE: 1/4" = 1'-0"



STOREFRONT PLAN (4C) A2.0
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

1. EXPOSED FASTENERS FOR THE CONVENT BOARD SIDING PANELS SHALL BE ALIGNED BOTH HORIZONTALLY AND VERTICALLY.
2. EXTERIOR ALUMINUM STOREFRONT SYSTEM COLOR SHALL BE CLEAR ANODIZED.
3. TAPER SLOPE OF NEW SIDEWALK FROM EXISTING CONCRETE SIDEWALK TO NEW DOOR THRESHOLDS. THE MAIN ENTRANCE DOOR AND THE ATM DOOR THRESHOLDS WILL VARY. FIELD VERIFY AD SCOPE OUT SLAB TRANSITIONS BEFORE INSTALLATION.

EXTERIOR ELEVATION KEY NOTES

- ▲ HORIZONTAL TRIM REVEAL. REFER TO DETAIL 5C / A4.0
- ▲ VERTICAL TRIM REVEAL. REFER TO DETAIL 5C / A4.0
- ▲ NEW GROUND FACE MASONRY CURB. REFER TO SHEET A4.0 FOR DETAILS AND MASONRY TYPE.



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: EDWARD LESOON		Phone Number: (412) 441-1160	
Address: 6025 BROAD ST.	City: PITTSBURGH	State: PA	Zip Code: 15206
2. Applicant/Company Name: WEDGWOOD GROUP		Phone Number: (412) 441-1160	
Address: 6025 BROAD ST.	City: PITTSBURGH	State: PA	Zip Code: 15206
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: 765 BROUGHTON STREET			
4. Development Location: 765 BROUGHTON ST., PITTSBURGH PA.			
5. Development Address: 765 BROUGHTON ST., PITTSBURGH, PA 15213			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)	MULTI-UNIT RESIDENTIAL		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 9/1/16	Occupancy Date: 12/1/16	Project Cost: \$ 80,000
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): TWO-UNIT RESIDENTIAL			
10. Select the Type of Work:			
<input checked="" type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development:			
ADDING NEW GARAGE WITH (2) RESIDENTIAL UNITS ABOVE TO REPLACE EXISTING GARAGE ON SITE.			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

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200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 1 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: 400 sq ft
 Existing to be Retained: 1669 sq ft
 Retained Area to be Renovated: 0 sq ft
 To be Constructed: 1441 sq ft
 Building Footprint: 3110 sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	<u>3</u>	<u>38</u>		
Proposed Addition/Extension			<u>2</u>	<u>26'-8"</u>

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 5 Proposed: 2

17. Lot Area: 6,990 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		<u>4</u>
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- 0 New Water Service Connection(s) 0 Termination of Existing Water Service Tap(s)
- 0 New Sewer Service Connection(s) 0 Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES NO

(2) ADDITIONAL DWELLING UNITS

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

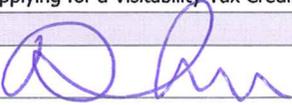
- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:  FOR EDWARD LESOON



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

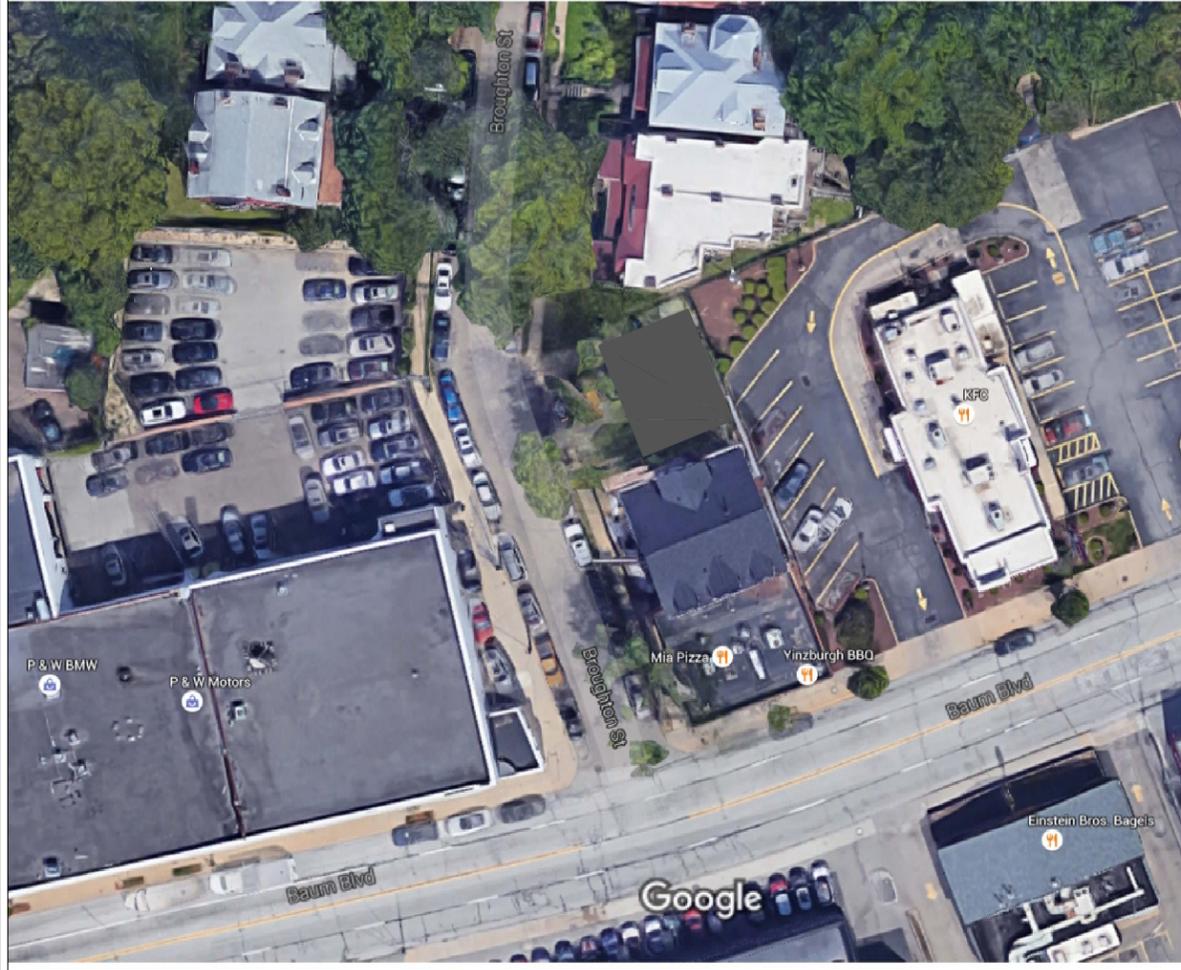
Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html

INTRODUCTORY INFORMATION

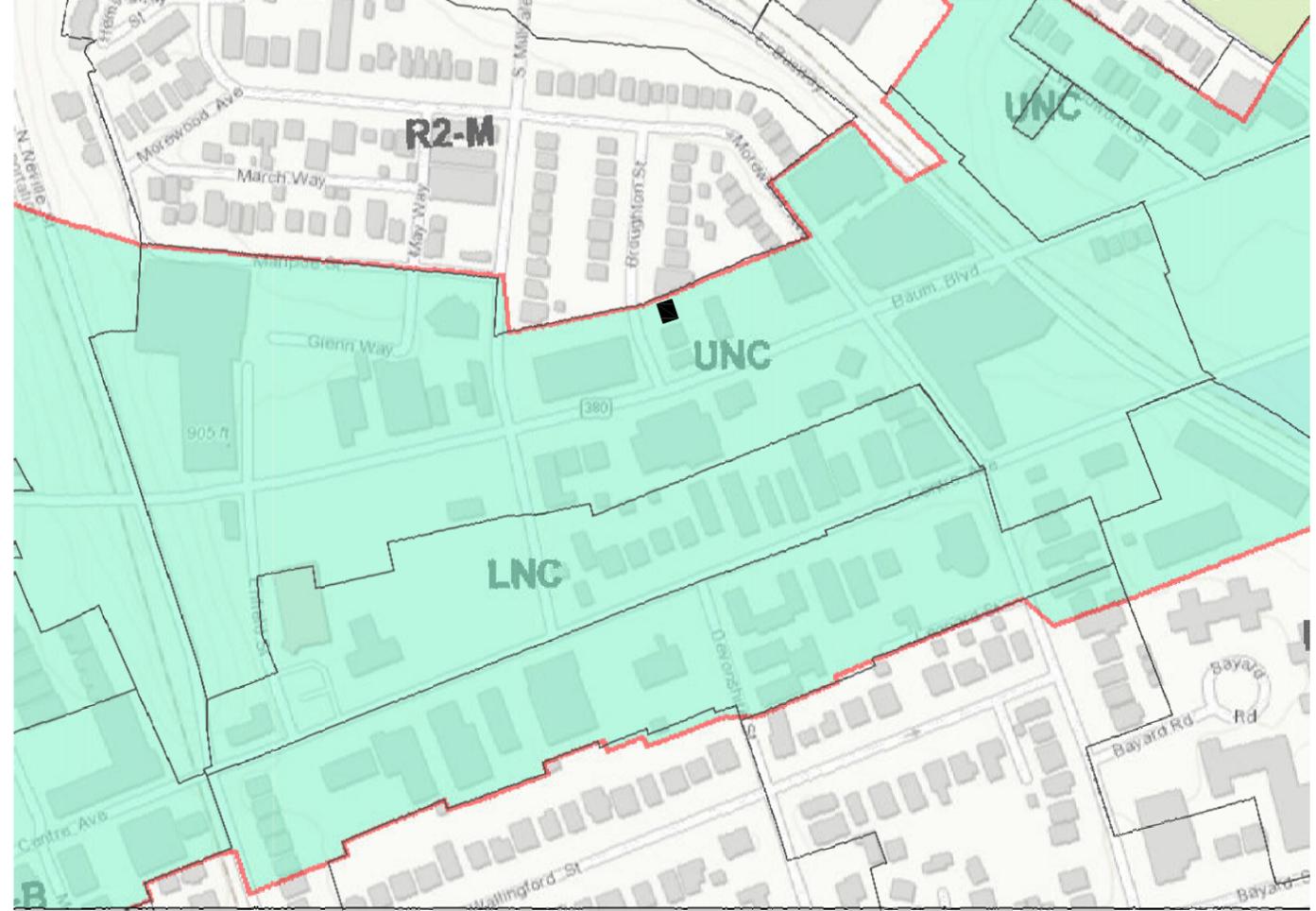
Location: 765 Broughton Street, Pittsburgh, PA

Zoning District: **UNC** – Urban Neighborhood Commercial
(Baum/Centre Overlay District)

Description: Property is an existing mixed use site with commercial occupancies facing Baum Boulevard and an existing 5 unit 2-1/2 story residential building facing Broughton Street. The proposed improvements are to replace an existing detached garage facing Broughton Street with a carriage house type duplex with 2 dwelling units above a four-car garage. As approved by Zoning Board of Adjustment (*ZBA Cases 125 & 264 of 2014*) 6 parking spaces are required with 4 on-site spaces provided in the new garage, and 2 additional spaces off-site. The proposed new structure is traditional in design, respectful to historical proportions and context, and will utilize brick to match the color of the existing (circa 1910) original residential building.

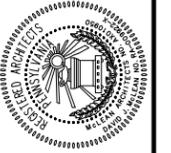


ARIAL VIEW
SCALE: NTS



ZONING MAP
SCALE: NTS

Broughton Street Carriage House
for the
Wedgwood Group



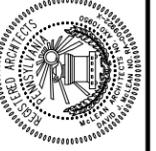
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DATE:	July 26, 2016	REVISED:	
APPROVED BY:			

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3200 Fax: 412-381-2530
E-mail: mclean@mcleanarchitects.net

LOCATION MAP

DRAWING NO.
1

Broughton Street Carriage House
for the
Wedgwood Group



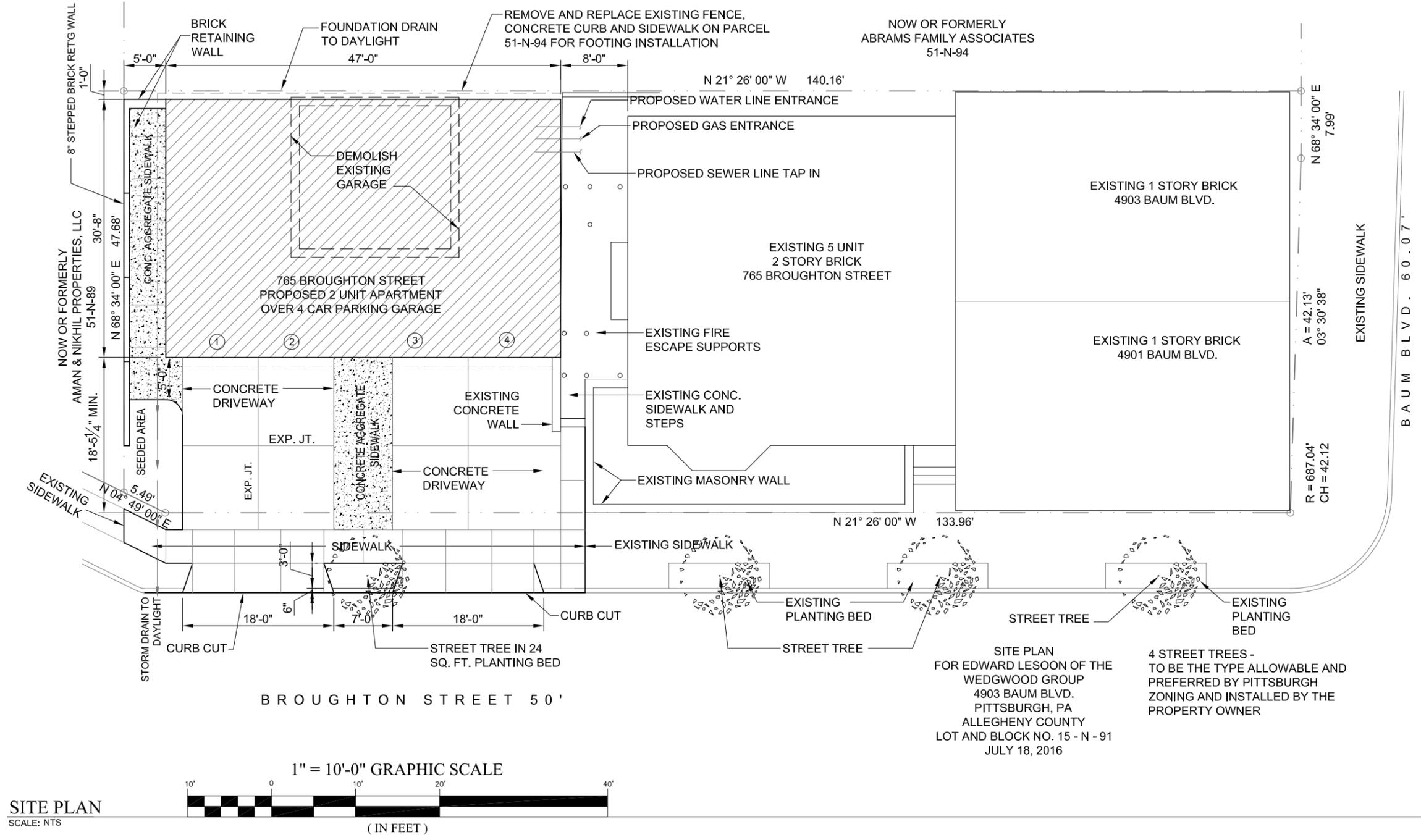
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DATE:	July 26, 2016	REVISED:	
PROJECT NO.:	MAL066		
APPROVED BY:			

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mclean@mcleanarchitects.net

SITE PLAN

DRAWING NO.

2



SITE PLAN
SCALE: NTS

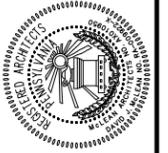


LOOKING NORTH ON BROUGHTON



LOOKING AT CORNER OF BAUM AND BROUGHTON

Broughton Street Carriage House
for the
Wedgwood Group



SURROUNDING PHOTOS

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3200 Fax: 412-381-2530
E-mail: mclean@mcleanarchitects.net

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DATE:	July 26, 2016	REVISED:	
APPROVED BY:		PROJECT NO. MA1606	

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3

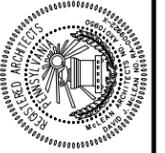


LOOKING AT REAR OF PROPERTY FROM NEIGHBORS LOT



LOOKING AT BAUM SIDE OF PROPERTY

Broughton Street Carriage House
for the
Wedgwood Group



SURROUNDING PHOTOS

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3200 Fax: 412-381-2530
E-mail: mclean@mcleanarchitects.net

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DATE:	July 26, 2016	REVISED:	
APPROVED BY:		PROJECT NO.:	MA1606

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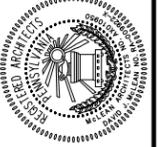


LOOKING SOUTHEAST ON BROUGHTON



LOOKING AT 765 BROUGHTON LOT AS IS

Broughton Street Carriage House
for the
Wedgwood Group

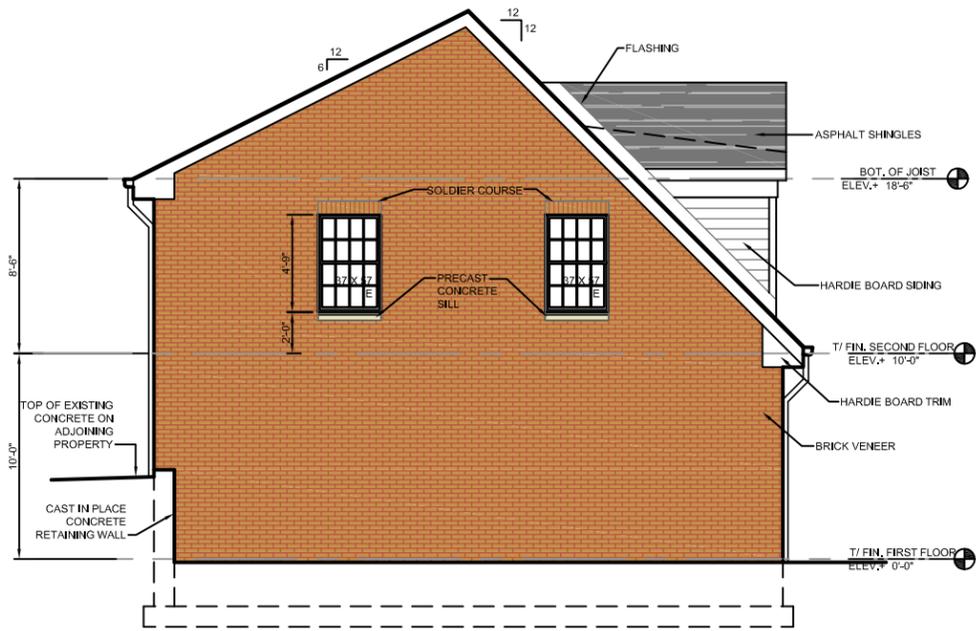


SURROUNDING PHOTOS

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3200 Fax: 412-381-2530
E-mail: mclean@mcleanarchitects.net

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DATE: July 26, 2016	REVISIONS:	APPROVED BY:

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5



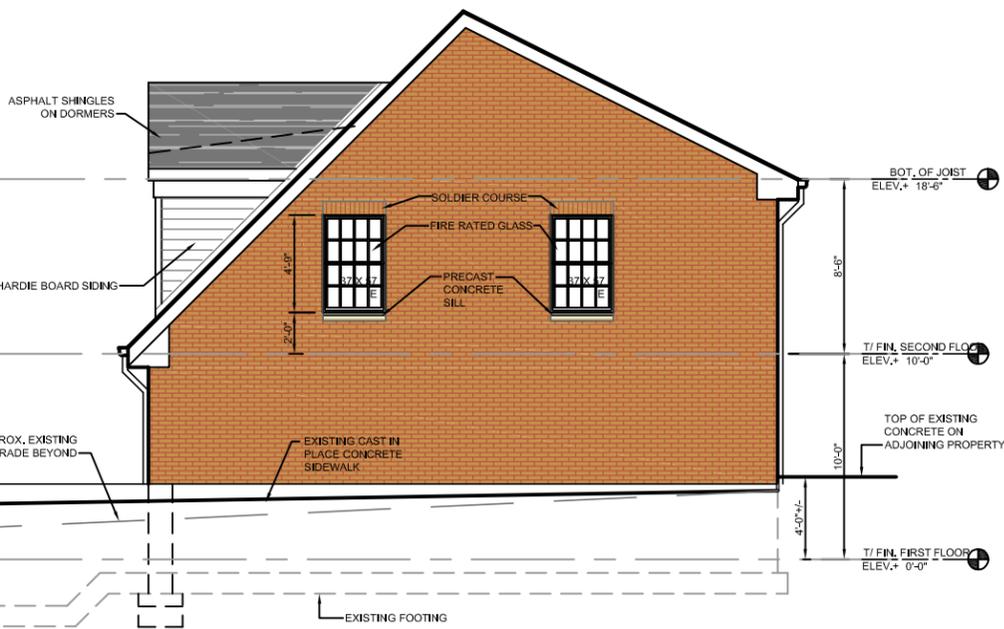
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

2
6



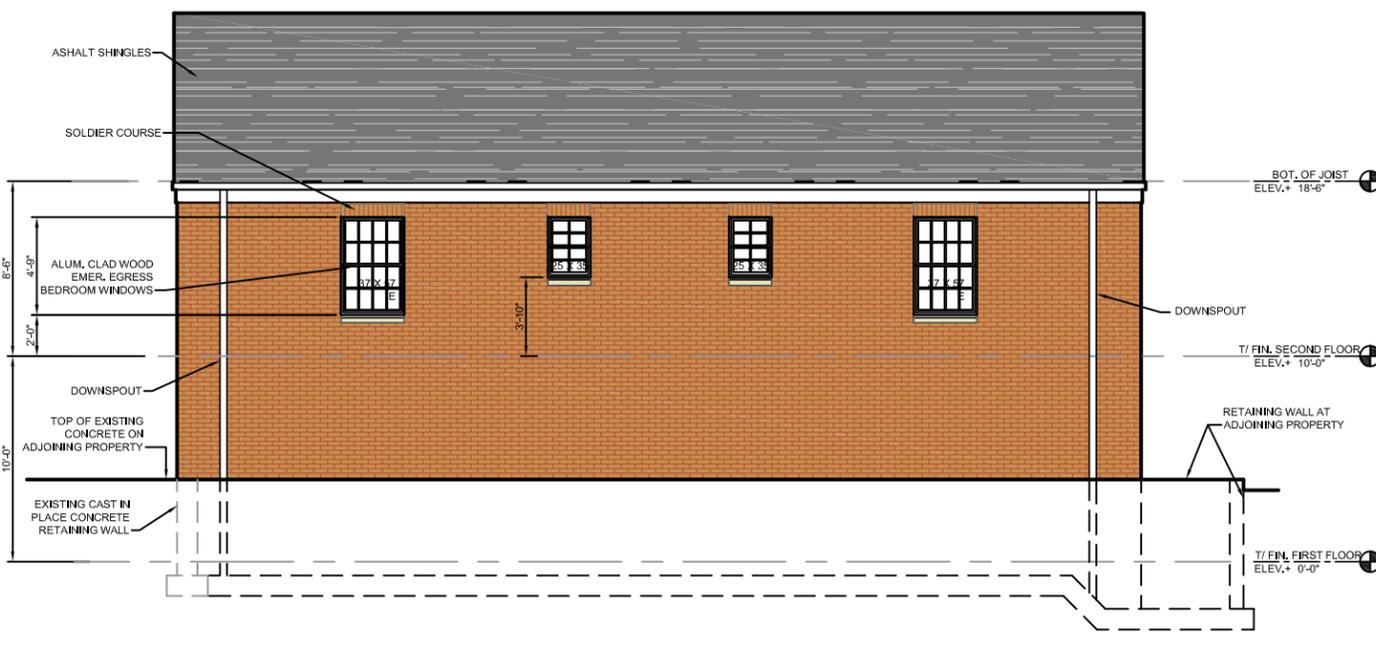
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

1
6



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

4
6



REAR ELEVATION
SCALE: 1/4" = 1'-0"

3
6

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE



Broughton Street Carriage House
for the
Wedgwood Group

EXTERIOR ELEVATIONS

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DATE: July 26, 2016	REVISED:	
APPROVED BY:		

McLean Architects, LLC
809 Highbeam St., Philadelphia, PA 19106
412-381-5300 Fax: 412-381-2530
Email: mcleanarchitects.net

DRAWING NO.

6



FRONT ELEVATION
SCALE: 1/2" = 1'-0"

1
7

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE



Broughton Street Carriage House
for the
Wedgwood Group

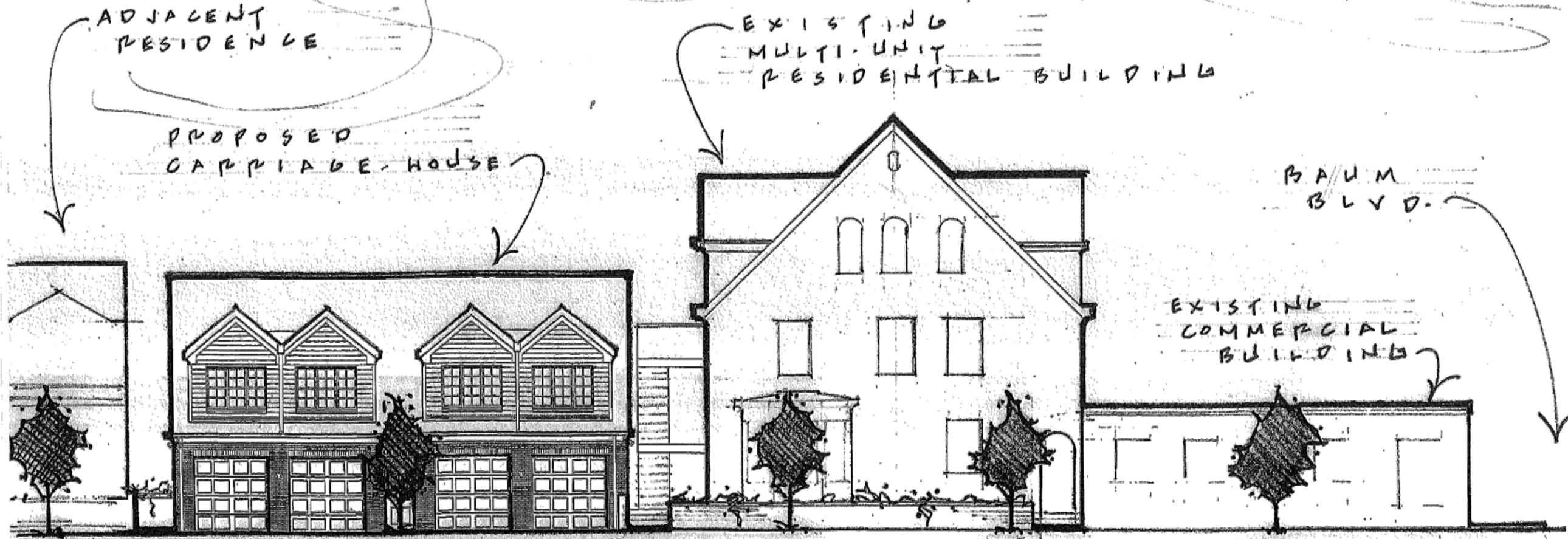
EXTERIOR ELEVATIONS

McLean Architects, LLC
809 Highways St., Pottsville, PA 17870
412-381-3300 Fax: 412-381-7530
E-mail: mclean@mcleanarchitects.net

DRAWN BY: CAD	SCALE: AS NOTED	PROJECT NO. MAT 006
DATE: July 26, 2016	REVISED:	
APPROVED BY:		

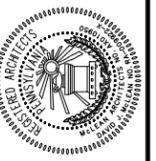
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7



B R O U G H T O N S T R E E T S C A P E

Broughton Street Carriage House
for the
Wedgwood Group



EYE LEVEL PERSPECTIVE SKETCH

DRAWN BY: CAD	SCALE: As Noted
DATE: July 26, 2016	REVISED:
APPROVED BY:	

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mclean@mcleanarchitects.net

McLean Architects

DRAWING NO.

8

SUSTAINABILITY & STORMWATER MANAGEMENT SUMMARY

- BUILDING / PAVING AREAS PROPOSED REPLACE EXISTING GARAGE AND DRIVEWAY, WITH LIMITED INCREASE OF HARD SURFACE OVER EXISTING CONDITIONS.
- NEW STREET TREES ARE INCLUDED IN THE IMPROVEMENTS.
- NEW BUILDING MATERIALS ARE SELECTED AND DESIGNED FOR SUSTAINABILITY AND PERMANANCE.