



CITY OF
PITTSBURGH
FACILITY ANALYSIS REPORT



Firehouse #27 (B136)
90 Virginia Avenue
Pittsburgh, Pennsylvania 15205

July 7, 2010



Firehouse # 27 (B136)

96 Virginia Avenue
Pittsburgh, PA 15211

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Firehouse # 27 (B136)
96 Virginia Avenue
Pittsburgh, PA 15211

Executive Summary

INTRODUCTION

Firehouse #17 was inspected on July 7, 2010 by Massaro CM Services and our consultants Cosmos Technologies, Atlantic Engineering Services and American Micronics, Inc. Also attending, from the City of Pittsburgh's Department of City Planning were Justin Lamorella and Lennika Farrish.

The professionals in attendance who conducted specific inspections or provided services were:

- Massaro CM Services, LLC - Architectural / Site Inspections
- Cosmos Technologies, Inc - Mechanical, Electrical, Site Utility Systems Inspections & Energy Audit
- Atlantic Engineering Services -Structural System Inspections
- American Micronics, Inc. - Exterior Wall & Roofing Inspections

The detailed findings of these inspections can be found in the individual chapters of this report. Costs associated with any deficiencies that were identified can be found in Section 8 - Asset Protection of this report.

Massaro CM Services returned to this facility on 6/17/11 to re-inspected the windows.

FINDINGS

Asset Protection

In general this building was found to be in fair/poor condition . Specifically all major mechanical systems including the heating / ventilation, electrical and plumbing systems will require significant work or partial replacement. The roof will also need to be removed and replaced within the next five years

Immediate	\$11,336
One Year	\$237,156
Five Year	\$300,449
10 Year	\$0

Firehouse # 27 (B136)
96 Virginia Avenue
Pittsburgh, PA 15211

Executive Summary

American Disabilities Act

Public entities must meet the requirements set forth under Title II of the ADA. This section pertains to "Program Accessibility". This requires that each service, program or activity conducted by a public entity, when viewed in its entirety, be readily accessible to and usable by individuals with disabilities. This does not mean that every existing facility is required to remove barriers. There are multiple ways of achieving program accessibility such as moving a service to an already accessible building as opposed to modifying the existing building. There are further requirements under Title I that pertain to employment opportunities. Existing buildings do not have to make any modifications unless an applicant or an employee with a disability needs access. These are evaluated on an individual basis when needed although provisions should be made to assure that people with disabilities are able to apply. Massaro CM Services, LLC is unable to determine all of the programs and services offered by the City of Pittsburgh and the locations that they are available, therefore the assessment provided treats each facility as a stand-alone entity and provides information on the requirements to making all public spaces accessible. This does not mean all work noted has to be performed for this facility. Furthermore, if alterations or additions to the existing facility will be performed (this does not mean maintenance issues such as roof replacement) or if an individual with a disability is hired then further ADA requirements, not included in this report, may have to be fulfilled. General categories and the associated estimated cost to achieve compliance is listed below. Please refer to section six for additional details.

Parking

Includes assessment of existing parking areas. This includes van accessible parking areas, accessible parking areas, signage, and access from the parking area to the main route of access to the building / site.

Estimated cost to achieve compliance **\$500**

Access routes to the building / site features and usability of site features

Includes assessment of site features including sidewalks, curb cuts, ramps, pools, and access routes to the building entrances. It does not include an analysis of existing playgrounds or athletic fields, only access to these areas are considered.

Estimated cost to achieve compliance **\$0**

Building entrances, public spaces, and access routes to public spaces

Includes entrances, any spaces available to public use such as cafeteria, common areas, exercise rooms, etc., and all access routes connecting these areas.

Estimated cost to achieve compliance **\$2,500**

Restrooms

This includes all public restrooms and the usability of them.

Estimated cost to achieve compliance **\$0**

Miscellaneous items

This includes miscellaneous items within the building such as water fountains and public phones.

Estimated cost to achieve compliance **\$0**

NOTE: THE ABOVE MENTIONED WORK IS NOT NECESSARILY REQUIRED. SEE NOTE IN SECTION 6 FOR A MORE DETAILED EXPLANATION. STROBES MUST BE ADDED TO FIRE ALARM.



51

279

8

28

579

60

19

837

885

40°27'08.65" N 79°57'20.83" W

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Jun 2007

Google

Eye alt 19.26 km

INSPECTION REPORT

Firehouse # 27 (B136)
96 Virginia Avenue
Pittsburgh, PA 15211

Interiors

2nd Floor - Stair to Roof - Stair 3

Fair	Ceiling - Type	Open to Structure	Notes:	
Fair	Flooring - Type	Wood	Notes:	
N/A	Base - Type		Notes:	
N/A	Walls - Type		Notes:	
N/A	Doors & Hardware		Notes:	
	General Note:		Notes:	

2nd Floor - Corridor to Stair 3 - Room 017

Fair	Ceiling - Type	Plaster	Notes:	
Fair	Flooring - Type	12" VCT	Notes:	
Fair	Base - Type	4" vinyl	Notes:	
Fair	Walls - Type	Plaster	Notes:	
Fair	Doors & Hardware	HMF/HMD	Notes:	
	General Note:		Notes:	Corridor is used as storage - very cluttered

2nd Floor - Corridor - Room 018

Fair	Ceiling - Type	Plaster	Notes:	
Fair	Flooring - Type	12" VCT	Notes:	
Fair	Base - Type	4" vinyl	Notes:	
Fair	Walls - Type	Plaster	Notes:	
N/A	Doors & Hardware		Notes:	listed w/ individual rooms
	General Note:		Notes:	

2nd Floor - Captain's Room - Room 021

Fair	Ceiling - Type	2 x 4 Acoustic	Notes:	
Fair	Flooring - Type	Carpet	Notes:	
Fair	Base - Type	4" vinyl	Notes:	
Fair	Walls - Type	Plaster	Notes:	
Fair	Doors & Hardware	HMF/HMD	Notes:	
	General Note:		Notes:	Lockers in wardroom

2nd Floor - Bunk Room - Room 022

Fair	Ceiling - Type	2 x 4 Acoustic	Notes:	
Fair	Flooring - Type	12" VCT	Notes:	
Fair	Base - Type	4" vinyl	Notes:	
Fair	Walls - Type	Plaster	Notes:	
Fair	Doors & Hardware	HMF/HMD	Notes:	
	General Note:		Notes:	

INSPECTION REPORT

**Firehouse # 27 (B136)
 96 Virginia Avenue
 Pittsburgh, PA 15211**

Interiors

2nd Floor - Toilet Room - Room 024

Fair	Ceiling -Type	Plaster	Notes: _____
Fair	Flooring - Type	Painted Concrete	Notes: _____
N/A	Base - Type		Notes: _____
Fair	Walls - Type	Plaster	Notes: _____
N/A	Doors & Hardware	HMF/HMD	Notes: _____
	General Note:		Notes: _____

2nd Floor - Locker Room - Room 027

Fair	Ceiling -Type	2 x 4 Acoustic	Notes: _____
Fair	Flooring - Type	12" VCT	Notes: _____
Fair	Base - Type	4" vinyl	Notes: _____
Fair	Walls - Type	Plaster	Notes: _____
Fair	Doors & Hardware	HMF/HMD	Notes: _____
	General Note:		Notes: _____

2nd Floor - Weight Room - Room 026

Fair	Ceiling -Type	2 x 4 Acoustic	Notes: _____
Fair	Flooring - Type	Carpet	Notes: _____
N/A	Base - Type		Notes: _____
Fair	Walls - Type	Masonry	Notes: _____
Fair	Doors & Hardware	HMF/HMD	Notes: _____
	General Note:		Notes: _____

2nd Floor - Lieutenant's Office - Room 019

Fair	Ceiling -Type	2 x 4 Acoustic	Notes: _____
Fair	Flooring - Type	Carpet	Notes: _____
Fair	Base - Type	4" vinyl	Notes: _____
Fair	Walls - Type	Plaster	Notes: _____
Fair	Doors & Hardware	HMF/HMD	Notes: _____
	General Note:		Notes: Includes small locker area

2nd Floor - Lieutenant's Toilet - Room 020

Fair	Ceiling -Type	Plaster	Notes: _____
Fair	Flooring - Type	Painted Concrete	Notes: _____
N/A	Base - Type		Notes: _____
Fair	Walls - Type	Plaster	Notes: _____
Fair	Doors & Hardware	HMF/HMD	Notes: _____
	General Note:		Notes: _____

INSPECTION REPORT

Firehouse # 27 (B136)
96 Virginia Avenue
Pittsburgh, PA 15211

Interiors

2nd Floor - Stair to 1st Floor- Stair 2

Fair	Ceiling -Type	Plaster	Notes: _____
Fair	Flooring - Type	VCT / Rubber Treads	Notes: _____
Fair	Base - Type	Wood	Notes: _____
Fair	Walls - Type	Plaster	Notes: Plaster spalling at first landing - address water issue & re-paint
N/A	Doors & Hardware		Notes: _____
	General Note:		Notes: _____

1st Floor - Truck Bay - Room 010

Fair	Ceiling -Type	Wood	Notes: _____
Fair	Flooring - Type	Concrete	Notes: Replaced in 1988 / 1989
N/A	Base - Type		Notes: _____
Fair	Walls - Type	Brick	Notes: _____
Poor	Doors & Hardware	OH doors X 3	Notes: Repair / replace
	General Note:		Notes: _____

1st Floor - Kitchen - Room 013

Fair	Ceiling -Type	2 x 4 Acoustic	Notes: _____
Fair	Flooring - Type	12" VCT	Notes: _____
Fair	Base - Type	4" Vinyl	Notes: _____
Fair	Walls - Type	Plaster	Notes: Paint
Fair	Doors & Hardware	HMF/HMD	Notes: _____
	General Note:		Notes: 12'-0" Base, Counter Top & Wall cabinets - Replace Oven leaks Gas

1st Floor - Lounge / Roll Call - Room 014

Fair	Ceiling -Type	2 x 4 Acoustic	Notes: _____
Fair	Flooring - Type	12" VCT	Notes: _____
Fair	Base - Type	4" Vinyl	Notes: _____
Fair	Walls - Type	Plaster	Notes: Paint
Fair	Doors & Hardware	HMF/HMD	Notes: _____
	General Note:		Notes: Radio Dispatch / control center

1st Floor - TV Room - Room 015

Fair	Ceiling -Type	2 x 4 Acoustic	Notes: _____
Fair	Flooring - Type	12" VCT	Notes: _____
Fair	Base - Type	4" Vinyl	Notes: _____
Fair	Walls - Type	Plaster	Notes: Paint
Fair	Doors & Hardware	HMF/HMD	Notes: _____
	General Note:		Notes: _____

INSPECTION REPORT
Firehouse # 27 (B136)
96 Virginia Avenue
Pittsburgh, PA 15211

Interiors

1st Floor - Toilet - Room 012

Fair	Ceiling - Type	Plaster	Notes:	_____
Fair	Flooring - Type	Concrete	Notes:	_____
Fair	Base - Type	6" vinyl	Notes:	_____
Fair	Walls - Type	FRP	Notes:	Paint
Fair	Doors & Hardware	HMF/HMD	Notes:	_____
	General Note:		Notes:	_____

Basement - Stair to Basement - Stair 1

Poor	Ceiling - Type	Plaster	Notes:	_____
Poor	Flooring - Type	Rubber Treads	Notes:	_____
N/A	Base - Type		Notes:	_____
Poor	Walls - Type	Plaster / Sand Stone	Notes:	_____
	Doors & Hardware		Notes:	_____
	General Note:		Notes:	_____

Basement - Hose Wash - Room 002

Fair	Ceiling - Type	Structure above	Notes:	Metal Deck
Fair	Flooring - Type	Concrete	Notes:	_____
N/A	Base - Type		Notes:	_____
Fair	Walls - Type	Sand Stone	Notes:	_____
N/A	Doors & Hardware		Notes:	_____
	General Note:		Notes:	Repair leak & replace rusted metal deck

Basement - Boiler - Room 005

Fair	Ceiling - Type	Structure above	Notes:	_____
Fair	Flooring - Type	Concrete	Notes:	_____
N/A	Base - Type		Notes:	_____
Fair	Walls - Type	Sand Stone	Notes:	_____
N/A	Doors & Hardware		Notes:	_____
	General Note:		Notes:	_____

Basement - Shop - Room 008

Fair	Ceiling - Type	Structure above	Notes:	_____
Fair	Flooring - Type	Concrete	Notes:	_____
N/A	Base - Type		Notes:	_____
Fair	Walls - Type	Sand Stone	Notes:	_____
N/A	Doors & Hardware		Notes:	_____
	General Note:		Notes:	_____



Data SIO, NOAA, U.S. Navy, NGA, GEBCO
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Image © 2010 Sanborn

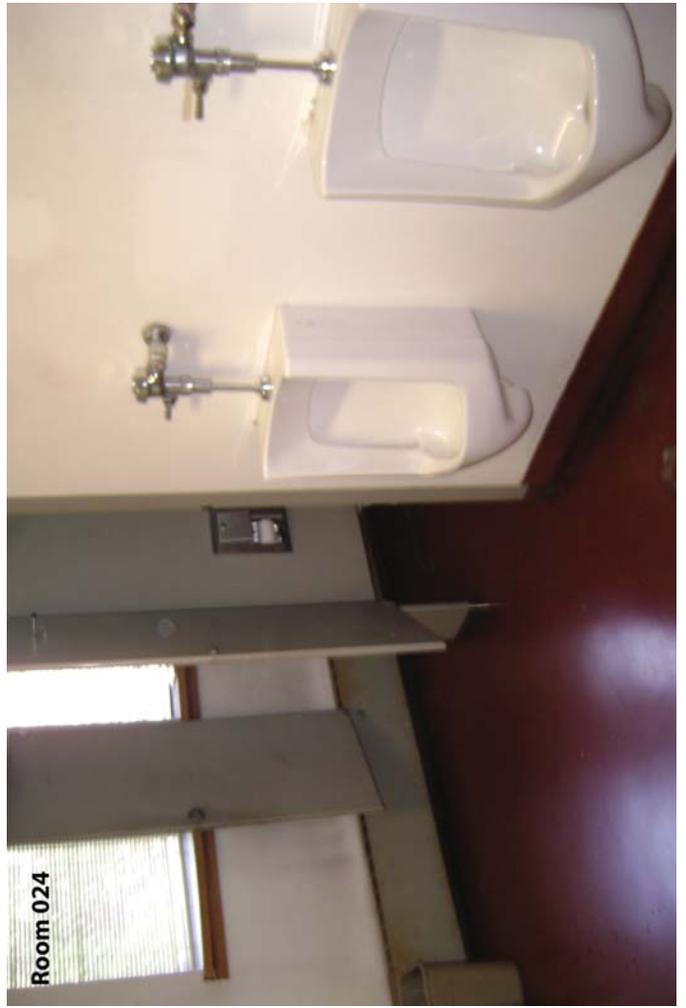
Google

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Jun 2007

Eye alt 314 m



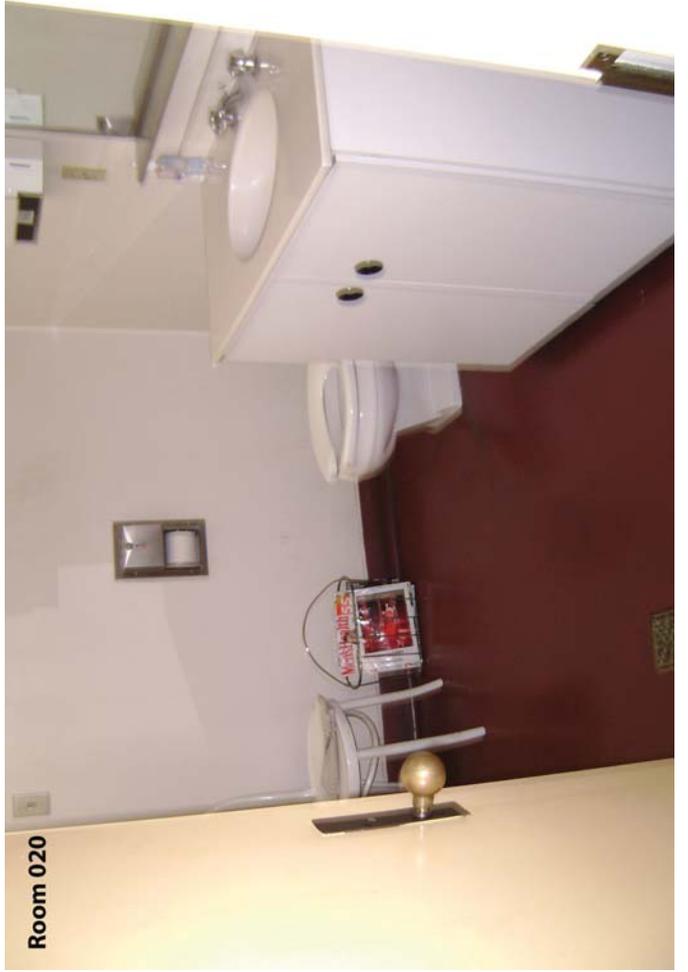




Room 026



Room 019



Room 020



Room 027



Stair 2



Room 010





Stair 1



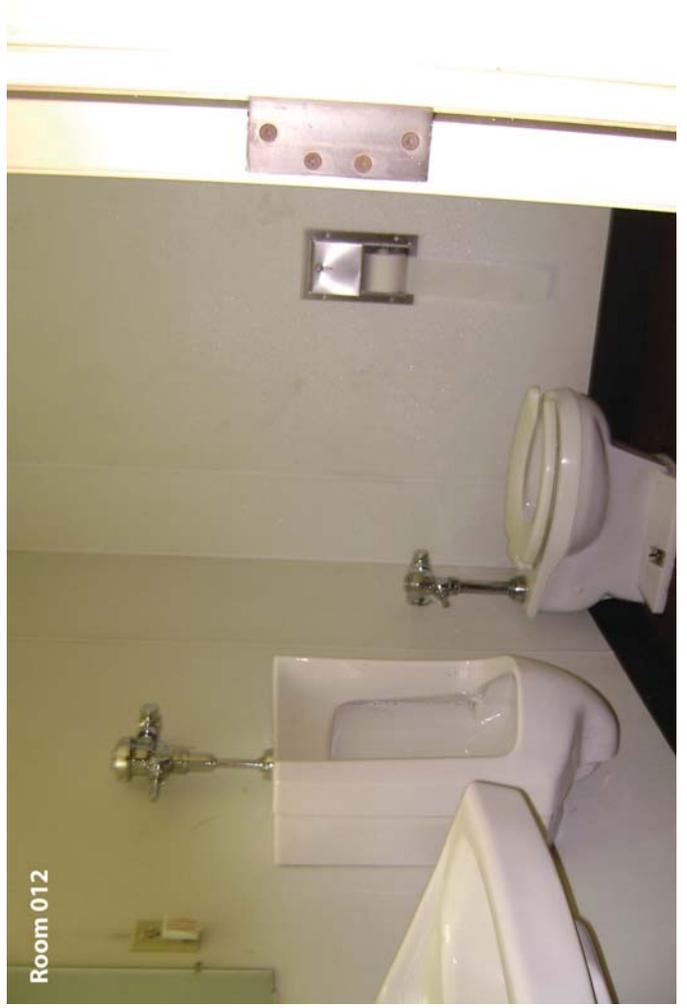
Room 002



Room.002

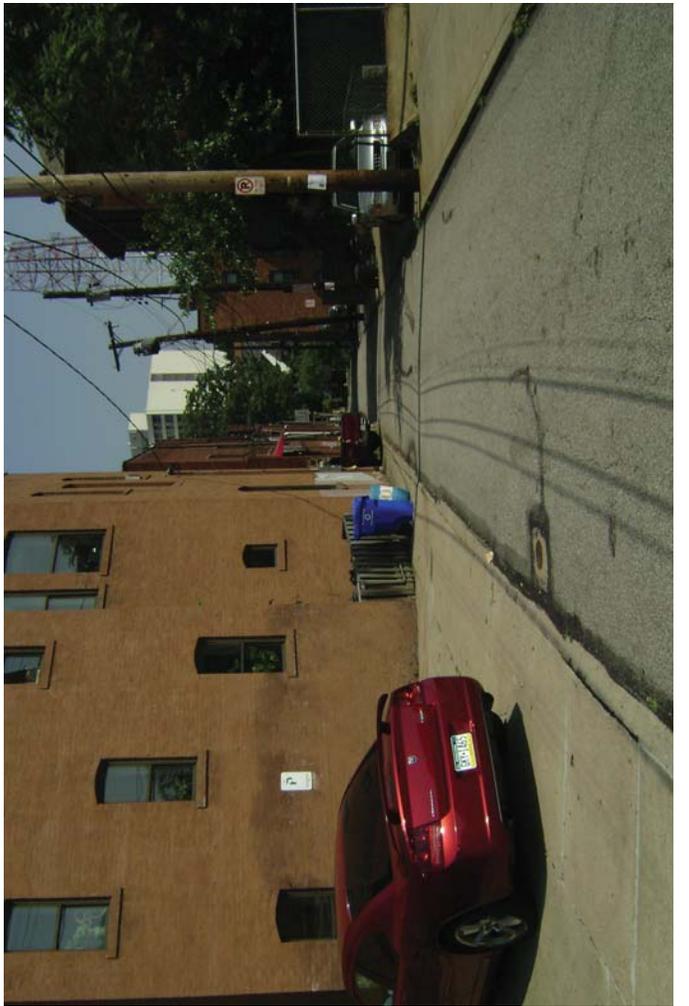


Room 005













ADDENDUM No. 1
June 24, 2011

RE: **City of Pittsburgh Facility Analysis Report**
 Facility Survey and Code Analysis – Sections 2-7
 Section Three: Exterior Wall / Roofing
 Additional information: Window Inspection
 Building Name: **Firehouse #27**
 Building Code: **B136**

FROM: Massaro CM Services, LLC

TO: City of Pittsburgh
 Department of Public Works

This addendum forms a part of the Facility Inspection Reports that were developed by Massaro CM Services, LLC as part of the City of Pittsburgh's Facility Analysis and Management program.

ADDITIONAL INFORMATION TO BE ADDED TO THE CITY OF PITTSBURGH'S FACILITY ANALYSIS REPORT (SECTIONS 2-7); SECTION THREE: EXTERIOR WALL / ROOFING:

On July 17, 2011 a visual inspection of the exterior windows of the **Firehouse #27** was conducted. The windows were inspected from the exterior of the building. The weather that day was clear, bright and sunny. The windows were found to be in Fair/Good condition.

Additional finding include:

1. Re-caulking is needed at some locations.

END OF ADDENDUM No. 1



July 7, 2010

Mr. Daniel T. Kiefer
Preconstruction Manager
Massaro CM Services LLC
120 Delta Drive
Pittsburgh, PA 15238

RE: Visual Survey - Firehouse #27

PREFACE

AMI was commissioned by Massaro CM Services to perform a visual survey of the roofing on Firehouse #27, 96 Virginia Ave., Pittsburgh, PA 15211. The survey was conducted on July 7, 2010. The weather was sunny with temperatures in the eighties.

The purpose of the survey was to identify current conditions. The survey consisted of a visual inspection of the roofing system, building wall and the associated external building components.

VISUAL INSPECTION

The visual inspection included observing the ceilings and decking, roof surface, flashings, penetrations, terminations and all other related components of the roofing system building walls. The two story building inspected contains the main flat roof area (approximately 3,244 square feet) and a sloped roof on the hose tower (approximately 610 SF). Building construction plaque is dated 1908. Construction drawing are dated 1983 for building and roofing work.

1. Building walls

1.1 Construction: The building walls are constructed with brick. The brick are painted on the north and east sides. A cement stucco with a painted finish is installed on the west side - a large mural is painted on the west wall. The walls of the Hose Tower extending above the second floor are covered with pre-finished metal panels. Atlantic Engineering will comment on the building walls.

1.2 Condition: The building walls appear to be in fair condition. Some areas of cracked brick, deteriorated mortar and open/cracked masonry joints were observed. The painted surface is aging. Moss is growing on the north walls. The paint is peeling on the wood soffit under the metal roof on the hose tower (bare wood exposed). The paint is faded and peeling is a few areas on the metal panels installed on the Hose Tower.

2. Roof Deck

2.1 Construction: The roof decking is wood plank supported by wood rafters and load bearing walls.

2.2 Condition: No conditions were observed that would indicate deck problems.

3. Roof Insulation

3.1 Construction: No core cuts were taken.

3.2 Condition: The insulation, if any, is assumed to be in fair condition.

4. Roof System

4.1 Construction: The roof system is constructed of a brown granule surfaced modified bitumen roofing system assumed to be installed in 1983. A pre-finished, corrugated metal panel roof system is installed on the Hose Tower.

4.2 Condition: The modified roof system is in fair condition. No repairs were observed (no leaks reported). The membrane surface is crazed throughout. A few soft spots were felt on the roof surface. Debris was observed at the roof drains. The metal roof system is in fair condition. The painted finish is faded and rusted in some areas.

5. Membrane flashings

5.1 Construction: The perimeter flashings are constructed with aluminum clad modified bitumen membrane (appears to be manufactured by Siplast).

5.2 Condition: The flashing systems are in fair condition. A few repairs were observed. The flashing is loose from the wall, SW side and open at the top (metal term bar is loose).

6. Perimeter Terminations

6.1 Construction: The building walls extend above the roof line creating parapet walls (approx. 2-1/2' high). The parapet walls are capped with stone coping along the south (front) and approx. 18" back both sides, the east and south walls are capped with terra cotta coping and the balance of the west wall is capped with painted metal coping. Metal counter flashing is installed at the base of the Hose Tower panels. The membrane wall flashings end below the copings and counter flashings and are terminated with metal bar.

6.2 Condition: The stone coping is in fair condition. The caulking at the butt joints is aged. The cement in the coping bed joint is aged, deteriorated and falling out. The terra cotta tile coping is in fair condition. A few mortar joints are cracked and open. The metal coping is in good condition.

7. Roof Top Penetrations

7.1 One vent pipe, one exhaust fan, one gravity vent, one pipe portal, and one HVAC unit penetrate the roof area. A brick chimney penetrates the west wall (extends above the wall approx. 1-1/2').

7.2 Condition: The penetrations are in fair condition. The chimney is in poor condition - some brick joints are cracked, the cement capping is cracked and loose, and plants are growing out of the chimney.

8. Drainage System

8.1 Construction: The flat roof area drains to two interior roof drains. There is apparent slope to the drains created by the wood deck.

8.2 Condition: The drainage system appears to be operating properly.

9. Walkway

10.1 Ground rubber walkway pads extend from the hose tower access door to and around the HVAC unit.

10.2 The walkway is in poor condition. Some pads are missing and others are loose.

10. Access

10.1 A stairway in the Hose Tower provides access to a door leading onto the roof.

11. Weather Tightness - Building

11.1 There are cracked brick, cracked mortar joints, missing mortar and deteriorated mortar in some areas of the building walls. The painted surface is faded, peeling and missing in some areas. Moss was observed on the north wall. The potential for damage to the structural integrity is likely and efflorescence was observed on the Hose Tower.

CONCLUSIONS

There are no current roof leaks reported.

The roof decking appears to be in good condition. We did not observe any signs that would suggest a serious problem with the decking system at this time.

The roof membrane and flashing systems are in fair condition. Repairs to the flat roof should be limited to leak chasing. Repairs to the wall flashings should be done as soon as possible.

The metal roof system on the Hose Tower is in fair condition but rusting and should be painted.

The existing walkway system is in poor condition and should be replaced.

The stone and tile coping systems are in fair condition. The mortar joints should be repaired. The roof top penetrations are in fair condition.

The drainage system is in fair condition. The drains appear to be operating properly.

It is our opinion the roofing systems are in a maintainable condition.

Estimates:

1 year: Repair wall flashings - Estimated Cost: \$800.00. Replace the walkway system - Estimated cost: \$800.00. Paint Metal roof panels - Estimated cost: \$12,000 (610 SF x \$20/SF). Maintain a pro-active maintenance program. Inspect the roof systems and walls on a regular schedule - minimum twice a year (late spring and late fall). Estimated cost: none (perform in-house).

NOTE: The building walls should be addressed in order to maintain the structural integrity.

5 year: Replace roofing and flashing systems - estimated cost: \$48,700 (3,244 SF x \$15/SF). Maintain a pro-active maintenance program. Inspect the roof systems and walls on a regular schedule - minimum twice a year (late spring and late fall). Estimated cost: none (perform in-house)

10 year: Maintain a pro-active maintenance program. Inspect the roof system and walls on a regular schedule - minimum twice a year (late spring and late fall). Estimated cost: none (perform in-house)

Please contact me with questions regarding the above report.

Thank you,

Sincerely,

Ron Paul

Ronald J. Paul
President



R-1 east wall looking north



R-4 west wall looking south



R-2 east wall looking south



R-5 east wall, and hose tower



R-3 HVAC unit



R-6 loose and missing walk pads, crazed surface of membrane



R-7 East roof drain, debris



R-10 Open and loose flashing, SW wall area



R-8 West wall with metal coping



R-11 Open flashing at SW corner



R-9 SW wall, repairs at top of flashing



R-12 Open mortar joint on stone coping, south (front) wall



R-13 Open mortar joint on stone coping



R-16 Rust on HVAC unit



R-14 South (front) wall looking west



R-17 Rusted metal panels on Hose Tower Roof



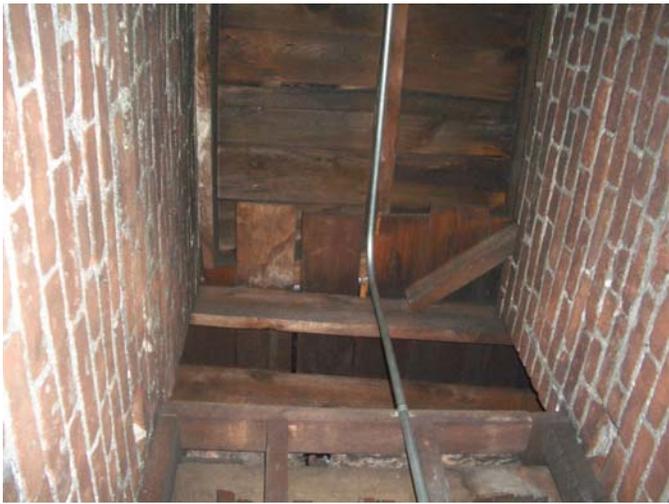
R-15 SE corner looking north



R-18 Missing walk pads



R-19 Cracked joints in Brick on chimney



R-22 Wood deck in Hose Tower



R-20 Plants growing in chimney



W-1 East wall



R-21 Wood deck and rafters



W-2 East side of Hose Tower



W-3 NE corner from east



W-6 NW corner from north



W-4 NE corner from north



W-7 Front of building



W-5 North wall with moss growing



W-8 crack in brick joint above truck door



W-9 crack in brick joint below sign



W-12 Peeling paint on eaves of Hose Tower roof



W-10 West wall



W-13 Peeling paint on eaves of Hose Tower roof



W-11 Crack in brick joint on Hose Tower with efflorescence



W-14 South side of Hose Tower



W-15 Mural on West wall in park



W-16 Bronze construction plaque

Atlantic Engineering Services

650 Smithfield St
 Suite 1200
 Pittsburgh, PA 15222
 412-338-9000
 AES RPT # 009

Client: **Massaro CM**
 120 Delta Drive
 Pittsburgh, PA 115238-2806
 412/963-2800

Building Observation Report

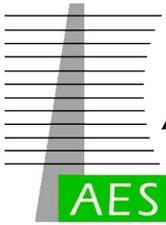
Facility: **Firehouse #27**
 Street Address: **96 Virginia Avenue**
 City, State: **Pittsburgh, PA 15211**

AES Personnel: **TRJ**
 Date: **7-Jul-10**
 Time: **9:30 AM**
 Facility Main Contact: **Captian on Duty**
 Facility Phone: _____

Weather Conditions: **Hot, Sunny**
 Temp: **85**
 Wind: **5 mph**
 Building Use: **Firehouse**
 Building Code: **B136**

Structural

Overall	Number of Stories	Notes:	<u>2</u>
	Structure Type	Notes:	<u>Brick bearing walls w/ steel and wood framing</u>
	Basement	Notes:	<u>Yes - Full</u>
Foundation	Material	Notes:	<u>Stone</u>
	Settlement	Notes:	<u>None observed</u>
	Moisture	Notes:	<u>Yes</u>
Floor System	Structure	Notes:	<u>Concrete on deck w/ steel girders</u>
	Floor Finishes	Notes:	<u>exposed concrete, VCT</u>
	Stairs	Notes:	<u>Wood</u>
Walls	Exterior Material	Notes:	<u>Brick</u>
	Interior Material	Notes:	<u>Brick</u>
Columns	Type	Notes:	<u>Concrete encased steel</u>
Roof	Structure Type	Notes:	<u>Wood joists w/ stl girders</u>
	Slope	Notes:	<u>Flat</u>
	Roofing Material	Notes:	<u>Rolled asphalt</u>



Atlantic Engineering Services

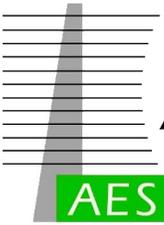
Site Visit Report No.: Site B136 – Firehouse # 27
Project No.: 09-260
Date of Site Visit: July 7, 2010
Page: 1 of 2



Photo S1



Photo S2



Atlantic Engineering Services

Site Visit Report No.: Site B136 – Firehouse # 27
Project No.: 09-260
Date of Site Visit: July 7, 2010
Page: 2 of 2



Photo S3



Photo S4

INSPECTION REPORT

Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

Year Constructed: 1908
Neighborhood: Mt Washington
Block / Lot: 0004-G-000074-0000-00
Square Footage: 11,833
Department Assigned:
Facility Main Contact: Captain on duty
Phone: 412-488-8354

Weather Conditions Day of Inspection:
Temp: 81
Precipitation: None
Wind: SW 3 MPH
Date of Inspection: July 7, 2010

Fire Protection

<input type="checkbox"/>	Service Entrance	Notes:	_____
<input type="checkbox"/>	Meter location	Notes:	_____
<input type="checkbox"/>	Meter size	Notes:	_____
<input type="checkbox"/>	Meter condition	Notes:	_____
<input type="checkbox"/>	Backflow preventer	Notes:	_____
<input type="checkbox"/>	Fire Pump	Notes:	_____

<input type="checkbox"/>	Standpipe	Notes:	_____
<input type="checkbox"/>	Flow switch	Notes:	_____
<input type="checkbox"/>	Shutoff valve	Notes:	_____

<input type="checkbox"/>	Hose Cabinets	Notes:	_____
--------------------------	---------------	--------	-------

<input type="checkbox"/>	Sprinkler Heads	Notes:	_____
--------------------------	-----------------	--------	-------

<input type="checkbox"/>	Dry System	Notes:	_____
--------------------------	------------	--------	-------

Notes: _____

INSPECTION REPORT

Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

Plumbing

Year Constructed:	1908	Weather Conditions	Day of Inspection:
Neighborhood:	Mt Washington	Temp:	81
Block / Lot:	0004-G-000074-0000-00	Precipitation:	None
Square Footage:	11833	Wind:	SW 3 MPH
Department Assigned:	0	Date of Inspection:	July 7, 2010
Facility Main Contact:	Captain on duty		
Phone:	412-488-8354		

Plumbing

<input checked="" type="checkbox"/>	Service Entrance	Notes: Neptune 1.5" Trident
<input type="checkbox"/>	Meter location	Notes: Basement Boiler room
<input type="checkbox"/>	Meter size	Notes: 1.5"
<input type="checkbox"/>	Meter condition	Notes: Good to Fair
<input type="checkbox"/>	Backflow preventer	Notes:
<input type="checkbox"/>	Pressure Reducing Valve	Notes:
<input type="checkbox"/>	Water Filtration	Notes:
<input type="checkbox"/>	Water Softener	Notes:
<input type="checkbox"/>	Humidistat	Notes:

<input type="checkbox"/>	Water Heaters	Notes:
	Make <u>A.O. Smith</u>	Notes:
	Model <u>FSG</u>	
	Serial <u>ME02-1670678-248</u>	
	Age <u>8 years old - 2002</u>	
	Capacity <u>40 gal</u>	

<input type="checkbox"/>	Expansion Tank	Notes:
<input checked="" type="checkbox"/>	Natural gas	Notes: Input 40,000 BTU/Hr
<input type="checkbox"/>	Electric	Notes:
<input type="checkbox"/>	Flue vent	Notes:

<input type="checkbox"/>	Recirculation Pump	Notes:
<input checked="" type="checkbox"/>	Sump Pump	Notes: Armstrong Model# 5200 S/N 11-9007, size 1.5 8

<input type="checkbox"/>	1	Number of Men's Rooms	Notes:
<input type="checkbox"/>	Fair	Number of water closets 1	Notes:
<input type="checkbox"/>	Fair	Number of urinals 1	Notes:
<input type="checkbox"/>	Fair	Number of lavatories 1	Notes:
<input type="checkbox"/>	Fair	Number of shower heads 1	Notes:

INSPECTION REPORT

Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

Plumbing

<input type="checkbox"/>	1	2nd floor Bath Rooms		Notes: _____
<input type="checkbox"/>	Fair	Number of water closets	2	Notes: _____
<input type="checkbox"/>	Fair	Number of urinals	2	Notes: _____
<input type="checkbox"/>	Fair	Number of lavatories	2	Notes: _____
<input type="checkbox"/>	Fair	Number of shower heads	2	Notes: _____
<input type="checkbox"/>	1	Lt Office Bath Room		Notes: _____
<input type="checkbox"/>	Fair	Number of water closets	1	Notes: _____
<input type="checkbox"/>		Number of urinals	0	Notes: _____
<input type="checkbox"/>	Fair	Number of lavatories	1	Notes: _____
<input type="checkbox"/>	Fair	Number of shower heads	1	Notes: _____
<input type="checkbox"/>		Drinking Fountains		Notes: _____
<input type="checkbox"/>		Pipe		Notes: _____
<input type="checkbox"/>	Fair	Condition		Notes: _____
<input type="checkbox"/>	Fair-Poor	Insulation		Notes: _____
<input type="checkbox"/>		Grease Traps		Notes: _____
<input type="checkbox"/>		Solids Interceptor		Notes: _____
<input type="checkbox"/>		Oil/Water Separator		Notes: _____
<input type="checkbox"/>		Sewage Grinder		Notes: _____
<input type="checkbox"/>		Neutralizer Tank (Acid Waste)		Notes: _____
<input type="checkbox"/>		Access Doors		Notes: _____
<input type="checkbox"/>		Kitchenette		Notes: _____
<input type="checkbox"/>	Poor	Number of sinks	1	Notes: <u>Replace in 0-1 year.</u>
<input type="checkbox"/>	X	Hose Bibs	4	Notes: <u>Fair to poor. Most poor. Replace in 0-1 year.</u>
<input type="checkbox"/>	X	Janitor's Service Sink	2	Notes: <u>1 Fair, 1 Poor. Replace Poor in 0-1 year. Replace Fair in 0-5 years.</u>

INSPECTION REPORT

Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

Plumbing

Notes:

Notes: No As-Builts

Storm drain pipe: (Fair-Poor)

Sanitary Sewer piping (Fair to Poor), Main Basement (Poor), Rooftop: 2 rooftop drain covers fair condition.

The sanitary and storm drain piping, valves and fittings are a mix of fair - poor condition.

Perform detailed inspection - Inspect/check for leaks. Make repairs, replace as required.

The sanitary sewer pipe below grade should be video inspected and its condition assessed within 5 years.

The rain water sewer pipe below grade should be video inspected and its condition assessed within 5 years.

Domestic water piping: Main Basement (Poor)

The domestic water piping, valves and fittings are a mix of fair - poor (near water heater good).

Old piping nearing and past life expectancy. Perform detailed inspection - Inspect/check for leaks. Repair/replace as required.

The plumbing fixtures look in fair condition. They look outdated.

Replace poor in 0-1 year. Replace fair in 5 - 10 years.

Consider frequency fixtures and ADA compliant frequency fixture systems for water conservation, when replacing.

Showerheads are an equal mix of fair-poor condition. Replace in 0-1 years. Use low flow shower heads, when replacing.

See photos labeled P for Plumbing.

INSPECTION REPORT

**Firehouse #27 (B136)
 96 Virginia Ave
 Pittsburgh, PA 15211**

HVAC Water Side Systems and Equipment

Year Constructed:	1908	Weather Conditions Day of Inspection:	
Neighborhood:	Mt Washington	Temp:	81
Block / Lot:	0004-G-000074-0000-00	Precipitation:	None
Square Footage:	11833	Wind:	SW 3 MPH
Department Assigned:	0	Date of Inspection:	July 7, 2010
Facility Main Contact:	Captain on duty		
Phone	412-488-8354		

HVAC Water Side Systems and Equipment

<input checked="" type="checkbox"/>	Controls:	Notes:	See notes below
<input type="checkbox"/>	Electric	Notes:	
<input type="checkbox"/>	Pneumatic	Notes:	

Manufacturer:	_____	Serial #	_____
Model:	_____	Other	_____
Year Installed:	_____	Other	_____

<input checked="" type="checkbox"/>	Piping	Notes:	_____
<input type="checkbox"/>	Pipe routing	Notes:	_____
<input type="checkbox"/>	Pipe supports	Notes:	_____
<input checked="" type="checkbox"/>	Pipe insulation	Notes:	See notes below
<input type="checkbox"/>	Visible leaks	Notes:	_____
<input type="checkbox"/>	Gauges	Notes:	_____

<input type="checkbox"/>	Chiller	Notes:	_____
<input type="checkbox"/>	Piping	Notes:	_____
<input type="checkbox"/>	Insulation	Notes:	_____
<input type="checkbox"/>	Vibration isolators	Notes:	_____
<input type="checkbox"/>	Relief valve and piping	Notes:	_____
<input type="checkbox"/>	Refrigerant detection system	Notes:	_____
<input type="checkbox"/>	Gauges	Notes:	_____

Manufacturer:	_____	Serial #	_____
Model:	_____	Other	_____
Year Installed:	_____	Other	_____
INPUT	_____	OUTPUT	_____

INSPECTION REPORT

**Firehouse #27 (B136)
 96 Virginia Ave
 Pittsburgh, PA 15211**

HVAC Water Side Systems and Equipment

	Cooling Tower	Notes: _____
	Fill condition	Notes: _____
	Make-up water piping	Notes: _____
	Float valve	Notes: _____
	Sump	Notes: _____
	Piping	Notes: _____
	Pipe insulation	Notes: _____
	Vibration isolators	Notes: _____
	Gauges	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____
INPUT _____	OUTPUT _____

x	Hot Water Unit Heater's	Notes: (Fair-Poor) See Notes below
	Piping	Notes: _____
	Controls	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

Poor-Fair	Hot Water Boilers	Notes: (no tag, gas fired)
	Flue	Notes: _____
	Make-up water piping	Notes: _____
	Boiler safeties	Notes: _____
	Piping	Notes: Insulation Fair
	Gauges	Notes: _____

Manufacturer: <u>Weil-McLain</u>	Serial # _____
Model: _____	Other _____
Year Installed: <u>Unknown</u>	Other _____
INPUT _____	OUTPUT _____

INSPECTION REPORT

**Firehouse #27 (B136)
 96 Virginia Ave
 Pittsburgh, PA 15211**

HVAC Water Side Systems and Equipment

Poor	Pumps		Notes: _____
		Piping	Notes: _____
		Insulation	Notes: Fair to poor
		Valves	Notes: _____
		Vibration isolators	Notes: _____
		Gauges	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____
HP _____	Other _____

	Heat Exchangers		Notes: _____
		Piping	Notes: _____
		Insulation	Notes: _____
		Valves	Notes: _____
		Gauges	Notes: _____
		Thermometers	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

	Chemical Treatment		Notes: _____
		Chemicals	Notes: _____
		Metering pumps	Notes: _____
		Corrosion coupon rack	Notes: _____
		Shot feeder	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

Poor	Radiators/Convectors	Notes: Replace in 0-1 year.	
	Fin Tube	Notes: _____	

	Boiler Supplement for Insurance	Notes: _____	
	Boiler Inspection Reports	Notes: _____	

INSPECTION REPORT

Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

HVAC Water Side Systems and Equipment

Notes:

Notes: The boiler looks like it is at or past life expectancy and is in fair to poor condition.
Replace the boiler in 0-5 years with an energy efficient hot water boiler, pumps with variable speed drives,
insulate the pipes, provide controls and a Building Automation System with remote control.

Pipe Insulation for Hot Water Heating: Electrical room (Good),
Apparatus room (Fair-Poor),
Main Basement (Poor),
Remove the insulation to assess/inspect/check for leaks of piping and fittings.
Repair/replace as necessary. Replace insulation.

Hot Water Unit Heater's:
Apparatus room (Fair-Poor) thermostat controlled (poor condition). Replace in 0-3 years.
Basement Electrical Room (Fair) thermostat controlled Coleman thermostat (Fair to poor condition)
Main Basement (3 Poor). Replace poor in 0-1 year. Replace fair in 0-5 years.

See photos labeled M for Mechanical.

INSPECTION REPORT
Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

Year Constructed:	1908	Weather Conditions Day of Inspection:	
Neighborhood:	Mt Washington	Temp:	81
Block / Lot:	0004-G-000074-0000-00	Precipitation:	None
Square Footage:	11833	Wind:	SW 3 MPH
Department Assigned:	0	Date of Inspection:	July 7, 2010
Facility Main Contact:	Captain on duty		
Phone:	412-488-8354		

HVAC Steam Side Systems and Equipment

<input type="checkbox"/>	Controls:	Notes:	_____
<input type="checkbox"/>	Electric	Notes:	_____
<input type="checkbox"/>	Pneumatic	Notes:	_____

Manufacturer:	_____	Serial #	_____
Model:	_____	Other	_____
Year Installed:	_____	Other	_____

<input type="checkbox"/>	Steam Unit Heaters	Notes:	_____
<input type="checkbox"/>	Piping	Notes:	_____
<input type="checkbox"/>	Controls	Notes:	_____

Manufacturer:	_____	Serial #	_____
Model:	_____	Other	_____
Year Installed:	_____	Other	_____

<input type="checkbox"/>	Steam Boilers	Notes:	_____
<input type="checkbox"/>	Flue	Notes:	_____
<input type="checkbox"/>	Make-up water piping	Notes:	_____
<input type="checkbox"/>	Boiler safeties	Notes:	_____
<input type="checkbox"/>	Piping	Notes:	_____
<input type="checkbox"/>	Gauges	Notes:	_____

Manufacturer:	_____	Serial #	_____
Model:	_____	Other	_____
Year Installed:	_____	Other	_____
INPUT	_____	OUTPUT	_____

<input type="checkbox"/>	Steam Traps	Notes:	_____
<input type="checkbox"/>	End of main drips	Notes:	_____

INSPECTION REPORT
Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

HVAC Steam Side Systems and Equipment

	Piping	Notes:	
	Pipe routing	Notes:	
	Pipe supports	Notes:	
	Pipe insulation	Notes:	
	Visible leaks	Notes:	
	Expansion loops	Notes:	
	Expansion joints	Notes:	
	Provisions for expansion	Notes:	
	Anchor points	Notes:	

	Condensate Return Unit	Notes:	
	Piping	Notes:	
	Pipe insulation	Notes:	
	Vent to outside	Notes:	
	Overflow	Notes:	
	Drain	Notes:	
	Gauges	Notes:	

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

	Boiler Feed Water Unit	Notes:	
	Water piping	Notes:	
	Steam piping	Notes:	
	Boiler make-up piping	Notes:	
	Return water piping	Notes:	
	Pipe insulation	Notes:	
	Vent to outside	Notes:	
	Overflow	Notes:	
	Drain	Notes:	
	Gauges	Notes:	
	Thermometers	Notes:	

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

INSPECTION REPORT
Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

HVAC Steam Side Systems and Equipment

	Boiler Blow down Separator	Notes:	_____
	Make-up water piping	Notes:	_____
	Bottom blow down piping	Notes:	_____
	Surface blow down piping	Notes:	_____
	Pipe insulation	Notes:	_____
	Vent to outside	Notes:	_____
	Overflow	Notes:	_____
	Drain	Notes:	_____
	Gauges	Notes:	_____
	Thermometers	Notes:	_____

Manufacturer: _____ Serial # _____
Model: _____ Other _____
Year Installed: _____ Other _____

	Heat Exchangers	Notes:	_____
	Piping	Notes:	_____
	Insulation	Notes:	_____
	Valves	Notes:	_____
	Gauges	Notes:	_____
	Thermometers	Notes:	_____

Manufacturer: _____ Serial # _____
Model: _____ Other _____
Year Installed: _____ Other _____

INSPECTION REPORT

**Firehouse #27 (B136)
 96 Virginia Ave
 Pittsburgh, PA 15211**

HVAC Air Side Systems and Equipment

Year Constructed:	1908	Weather Conditions Day of Inspection:	
Neighborhood:	Mt Washington	Temp:	81
Block / Lot:	0004-G-000074-0000-00	Precipitation:	None
Square Footage:	11833	Wind:	SW 3 MPH
Department Assigned:	0	Date of Inspection:	July 7, 2010
Facility Main Contact:	Captain on duty		
Phone:	412-488-8354		

HVAC Air Side Systems and Equipment

Fair	Packaged Rooftop Units	Notes:	See notes at bottom of spreadsheet.
	Gas Heat	Notes:	208/230Vac 3 ph 60Hz,
	Electric Heat	Notes:	Natural Gas Heating & R22 Cooling
	Steam Heat	Notes:	Heating input 205,000 BTU/Hr
	Hot Water Heat	Notes:	output 166,000 BTU/Hr (~81%)
	Condensate Drains	Notes:	
	Utility Connections	Notes:	

Manufacturer: Trane
 Model: YCD102C3HAAC
 Year Installed: Mfg. date April 2000

Serial # Unknown
 CFM
 Other

	Indoor Air Handling Units	Notes:	
	Gas Heat	Notes:	
	Electric Heat	Notes:	
	Steam Heat	Notes:	
	Hot Water Heat	Notes:	

Manufacturer:
 Model:
 Year Installed:

Serial #
 CFM
 Other

	Remote Condensing Unit	Notes:	
	Refrigerant Piping	Notes:	

Manufacturer:
 Model:
 Year Installed:

Serial #
 CFM
 Other

X	Vehicle exhaust extraction system	Notes:	See notes at bottom of spreadsheet.
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INSPECTION REPORT

Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

HVAC Air Side Systems and Equipment

Poor	Exhaust/Ventilation Fans	Notes:	Rooftop
	Manufacturer: <u>Loren Cook Company</u>		<u>Fan Motor 1/4HP 910 rpm 120V/1 Ph/60Hz</u>
	Model: <u>135-ACB-B</u>		<u>Replace in 0-1 year.</u>
	Serial # _____		_____
	Year Installed: _____		_____
	Capacity (CFM): _____		_____
	Static Pressure _____		_____
	Watts _____		_____

Fair	Rooftop Ventilator	Notes:	<u>Tag worn Model # 7Q 605</u>
-------------	--------------------	--------	--------------------------------

Poor	Ductwork	Notes:	<u>See notes at bottom of spreadsheet.</u>
	Duct Insulation	Notes:	_____
Fair	Louvers	Notes:	_____
	Roof Hoods	Notes:	_____
Poor	Dampers	Notes:	<u>Replace in 0-1 year.</u>

	Cooling Coils	Notes:	_____
	Is coil clean	Notes:	_____
	Is drain pan clean	Notes:	_____
	Does pan drain	Notes:	_____
	Condensate to floor drain	Notes:	_____

	Filters	Notes:	_____
	Are filters installed	Notes:	_____
	Are filters clean	Notes:	_____

	Controls:	Notes:	_____
	Electric	Notes:	_____
	Pneumatic	Notes:	_____
	Discharge air thermometer	Notes:	_____
	Return air thermometer	Notes:	_____
	Outside air thermometer	Notes:	_____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

INSPECTION REPORT

Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

HVAC Air Side Systems and Equipment

<input type="checkbox"/>	Natural Gas Fired Unit Heaters	Notes:	_____
<input type="checkbox"/>	Flue Duct	Notes:	_____

Manufacturer:	_____	Serial #	_____
Model:	_____	Other	_____
Year Installed:	_____	Other	_____

<input type="checkbox"/>	Electric Heaters	Notes:	_____
--------------------------	------------------	--------	-------

Notes:

Notes: No As-Builds

Ductwork is in fair to poor condition and needs cleaned. Repair/replace as necessary.

Damper, diffusers, grilles and registers are possibly 10 years old (20-25 year life) and are in fair condition.

Clean repair/replace as necessary.

Vehicle exhaust extraction system:

Ventilation Fan: American Fan Co. (good-Fair) on right side of building, Model # BLS-135, Code# 087323-01,
Tagging# NIF 401-J 3Hp 4678 Max RPM, No Electrical information listed

Apparatus room has a abandoned Exhaust system (Poor)

Restroom Exhaust Poor. Replace in 0-1 year.

Chimney Poor. Hazard. Repair immediately. 2 vents fair.

Bunk Room: 1 window AC unit (Poor). Replace in 0-1 year.

See photos labeled M for Mechanical.

Massaro CM Services, LLC
120 Delta Drive
Pittsburgh, PA 115238-2806
412/963-2800

July 7, 2010

INSPECTION REPORT

Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

Year Constructed: 1908
Neighborhood: Mt Washington
Block / Lot: 0004-G-000074-0000-00
Square Footage: 11833
Department Assigned: 0
Facility Main Contact: Captain on duty
Phone 412-488-8354

Weather Conditions Day of Inspection:
Temp: 81
Precipitation: None
Wind: SW 3 MPH
Date of Inspection: July 7, 2010

HVAC Electric Heating

<input type="checkbox"/> Gas Fired Unit Heater	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="checkbox"/> Gas Fired Unit Heater	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="checkbox"/> Gas Fired Unit Heater	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="checkbox"/> Unit Heater	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____

Year Installed: _____

HVAC Electric Heating

<input type="text"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="text"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="text"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="text"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="text"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

HVAC Electric Heating

<input type="text"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

INSPECTION REPORT

**Firehouse #27 (B136)
 96 Virginia Ave
 Pittsburgh, PA 15211**

Electrical

Year Constructed:	1908	Weather Conditions	Day of Inspection:
Neighborhood:	Mt Washington	Temp:	81
Block / Lot:	0004-G-000074-0000-00	Precipitation:	None
Square Footage:	11833	Wind:	SW 3 MPH
Department Assigned:	0	Date of Inspection:	July 7, 2010
Facility Main Contact:	Captain on duty		
Phone	412-488-8354		

Electrical

	Service Entrance			
	Voltage	240	Notes:	No As-Builts. See Main Panels below.
	Amperage		Notes:	Steel conduit pole at meter poor rusted at base. Pole clamps
X	Above ground		Notes:	poor rusted. Replace pole clamps immediately.
	Below ground		Notes:	Pole painted. Hard to assess. Exposed areas surface rust.
	Grounding		Notes:	Contact electric company to obtain age of pole.
	Lightning Protection		Notes:	Replace as necessary.

	Transformer		Notes:	
	Voltage in		Notes:	
	Voltage out		Notes:	
	kva rating		Notes:	

Fair-Poor	Meter		Notes:	ABB, S# 6-02615942, D.L. Co X-069
				HUG002615942, CL20, 240V 3ph, 3 wire, 60 Hz
				Type FM FS (35S) KH 1.2 240 TV 25Amp Total
				Meter Fair. Panel Poor. Replace Panel 0-1 year.

Good	Main Switchgear		Notes:	
	Main breaker		Notes:	
	Voltage		Notes:	

Fair	Main Panel A: (Fair) 240Vac 3 Ph, 3 wire, 60 Hz			
Good	Panel B , 100Amp 120/208V 3 Ph, 4 wire, Cat#(DS-10127439) Type BL0B24CKT			
Good	Panel C , 100Amp 120/208V 3 Ph, 4 wire, Cat#(QS-310127439) Type BL0B36CKT			

X	Power Distribution Panels		Notes:	See Notes below
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Good	HVAC: 240ACV, std HP 15-3 ph, Max HP 30-3 ph, Cat# HF423N, 100Amp			
Good	A: 240ACV, std HP 15-3 ph, Max HP 30-3 ph, Cat# HF423N, 100Amp			
Good	B: 240ACV, std HP 15-3 ph, Max HP 30-3 ph, Cat# HF423N, 100Amp			
Good	C: 240ACV, std HP 15-3 ph, Max HP 30-3 ph, Cat# HF423N, 100Amp			

INSPECTION REPORT

**Firehouse #27 (B136)
 96 Virginia Ave
 Pittsburgh, PA 15211**

Electrical

<input type="checkbox"/>	Stand-by Generator	Notes:	_____
<input type="checkbox"/>	Transfer switch	Notes:	_____
<input type="checkbox"/>	Day Tank	Notes:	_____

Manufacturer:	_____	Serial #	_____
Model:	_____	Other	_____
Year Installed:	_____	Other	_____

<input type="checkbox"/>	Motor Control Center	Notes:	_____
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<input checked="" type="checkbox"/>	Lighting	Notes:	See notes at bottom of spreadsheet.
<input type="checkbox"/>	Interior	Notes:	_____

<input checked="" type="checkbox"/>	Receptacles	Notes:	See notes at bottom of spreadsheet.
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<input type="checkbox"/>	Fire Alarm	Notes:	See notes at bottom of spreadsheet.
Fair	Control Panel	Notes:	Simplex Grinnell
<input type="checkbox"/>	Enunciator Panel	Notes:	Some Annunciators hanging from wall dangling from wires.
Poor	Devices - Strobes	Notes:	Electrical Hazard. Repair/replace immediately.
Poor	Devices - Horns	Notes:	Replace in 0-1 year.
Poor	Devices - Pull Stations	Notes:	Replace in 0-1 year.
Poor	Devices - Bells	Notes:	Replace in 0-1 year.

<input type="checkbox"/>	PA System	Notes:	_____
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<input type="checkbox"/>	Clock System	Notes:	_____
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<input type="checkbox"/>	Security System	Notes:	_____
<input type="checkbox"/>	Main Panel Board	Notes:	_____
<input type="checkbox"/>	Devices - Cameras	Notes:	_____
<input type="checkbox"/>	Devices - Door Contacts	Notes:	_____
<input type="checkbox"/>	Devices - Window Contacts	Notes:	_____
<input type="checkbox"/>	Metal Detectors	Notes:	_____

<input type="checkbox"/>	Tele / Com System	Notes:	See notes at bottom of spreadsheet.
<input type="checkbox"/>	Head End Equipment	Notes:	_____
<input type="checkbox"/>	Patch Panels	Notes:	_____
<input type="checkbox"/>	Devices	Notes:	_____

INSPECTION REPORT

Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

Electrical

Notes:

Notes:

Closet light and basement light: Base w/ bulb/outlet exposed (Electrical Hazard)(Poor). Replace immediately.

Outside lighting primarily High pressure sodium (Poor) with other types (Fair-Poor)

Emergency Lighting Poor. Replace in 0-1 year.

Lighting is a mix of fluorescent and incandescent.

Lighting 70% Poor 30% Fair condition. Age unknown. Replace poor in 0-1 year. Replace fair in 0-1 years.

When replacing T12 lighting, replace it with more energy efficient T8 or T5 lighting. Provide occupancy sensors for energy efficient lighting control.

The 70% Poor 30% Fair outlets/switches and conduit, with little newer. Replace within 0-1 year. Inspect associated electrical equipment and wiring replace as necessary. Outlets, conduit, wiring at work bench in apparatus room very poor. Outlet near wall heaters. Relocate immediately.

Barber Coleman Panel with Allen Bradley Switch Fair.

Battery Charging System: LaMarche Model# BB 2-2, S/N E-1473-3 (poor condition). Replace 0-1 year.

DC Amps 8, 1 Phase 50/60 Hz, DC volts 12 Type cell L

Battery Tester: LaMarche Model# A11-30-12V-A1 S/N E-987-3 (poor condition). Replace 0-1 year.

Input volts 120

Notes:

Telephone patch panel (Poor) Bell Atlantic cover in poor condition. Replace in 0-1 year.

Smoke detectors:

At top of Steeple (Fair), Bunk Room (Fair),

Electrical room (Poor), on access to rooftop (Poor), Boiler room (Poor), Basement Hallway (Poor),

Office 2nd fl (Poor). Replace poor smoke detectors immediately. Place new batteries in fair smoke detectors.

See photos labeled E for Electrical.



E001



E003



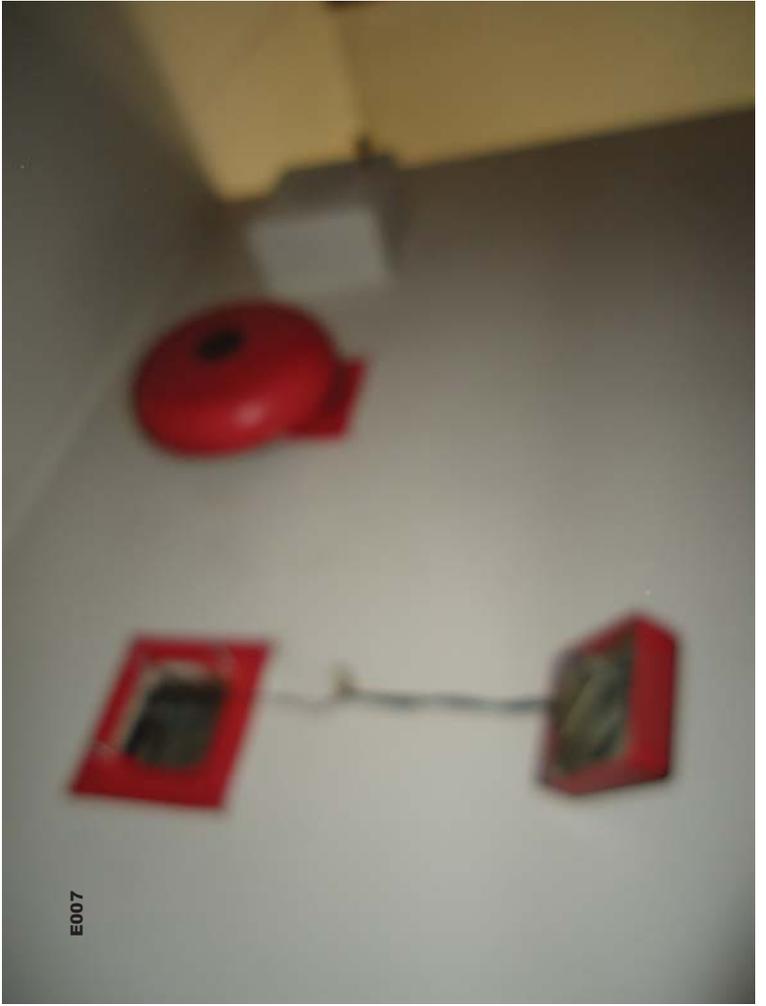
E002



E004



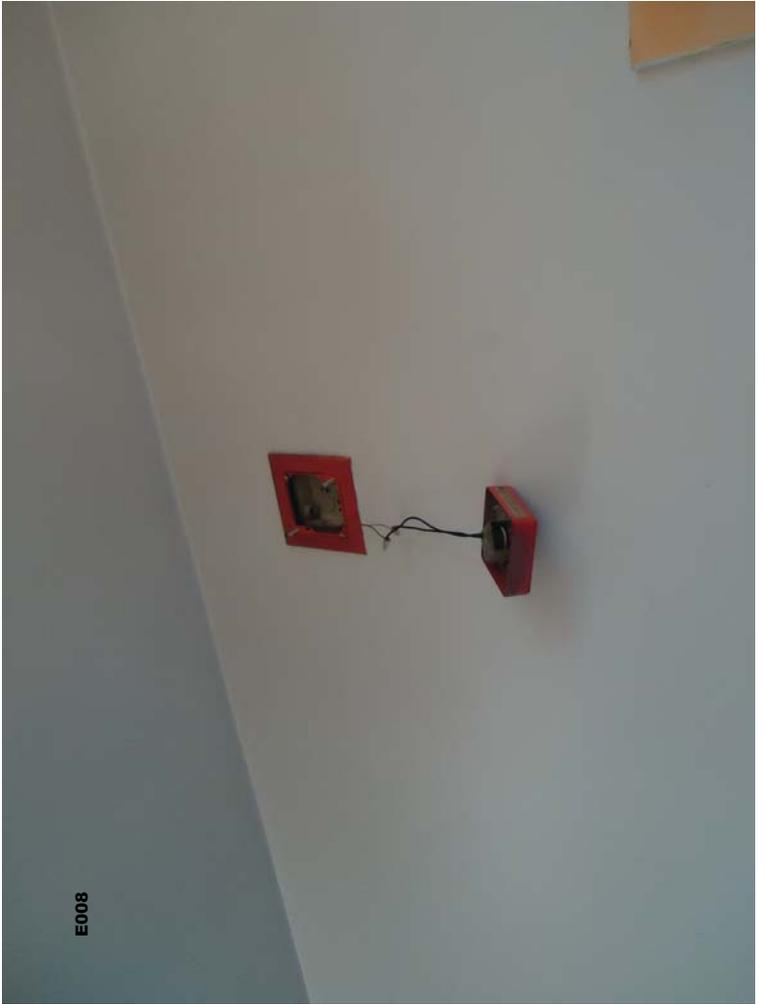
E005



E007



E006



E008



E009



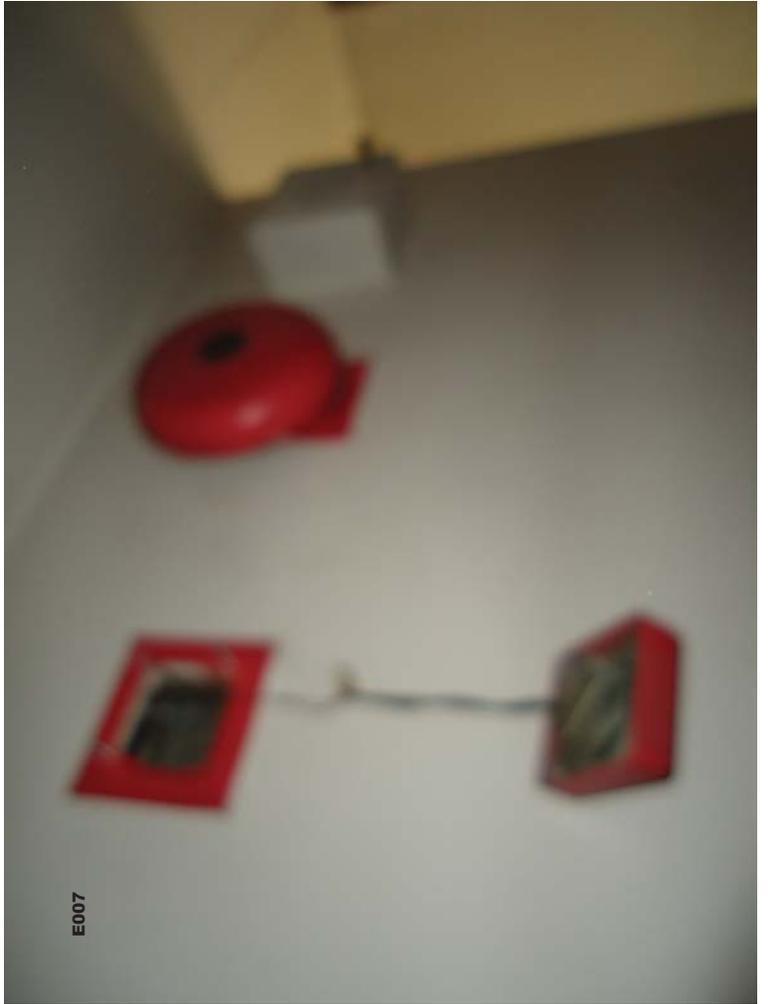
E002



E001



E003





E008



M001



E009



M002





M007



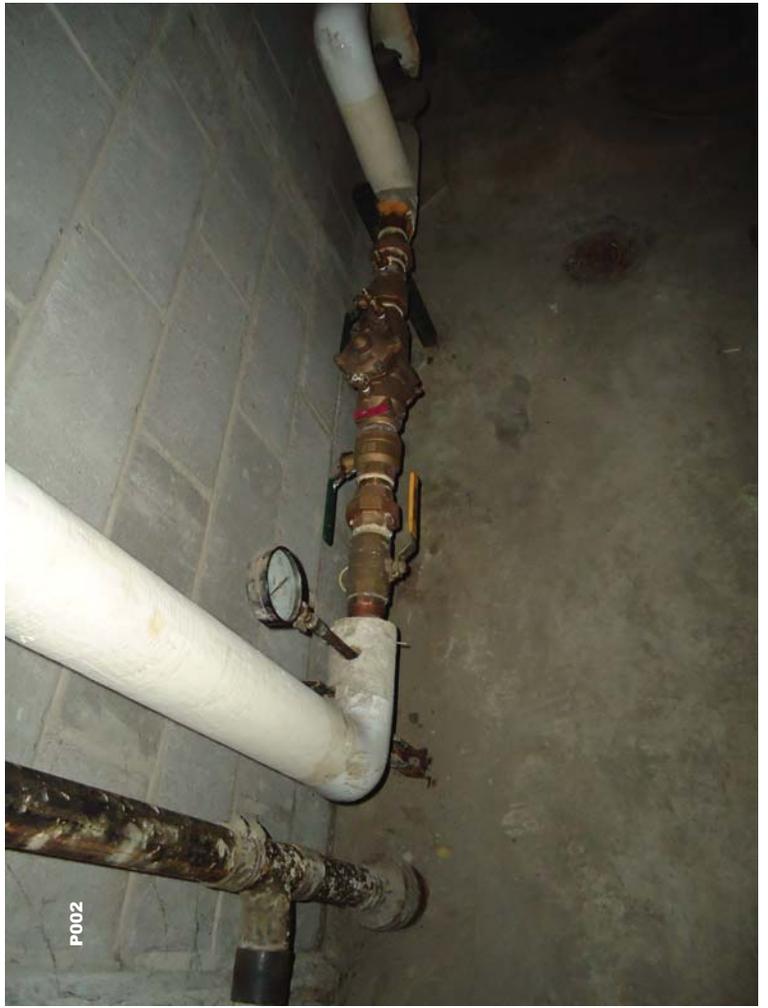
M009

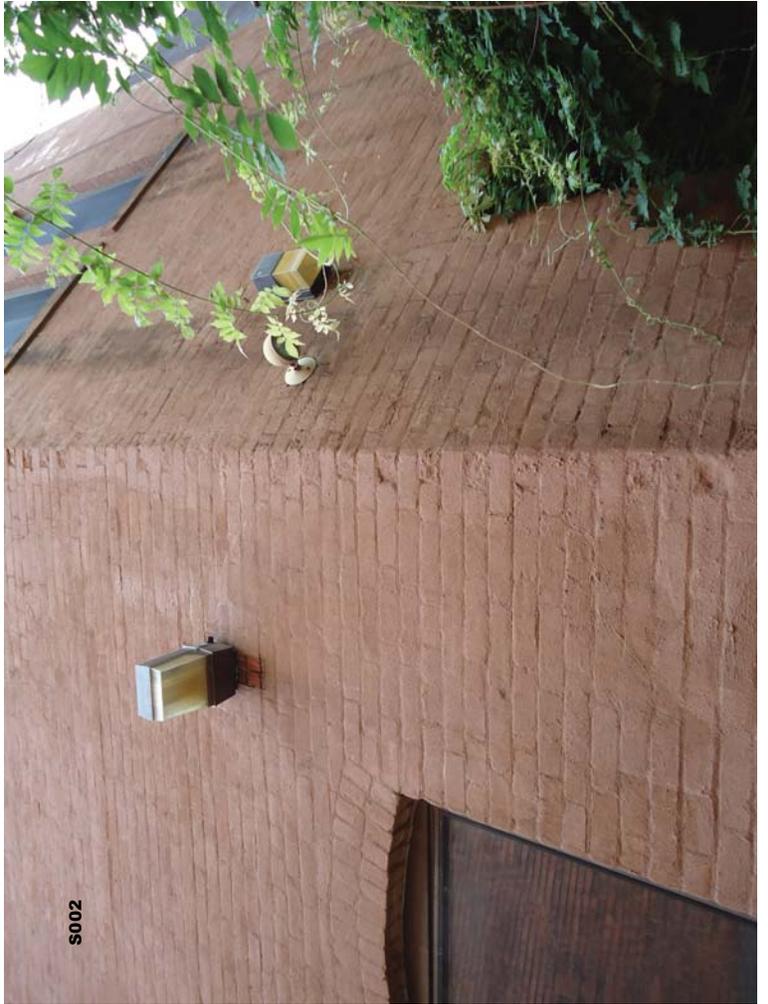


M008



M010

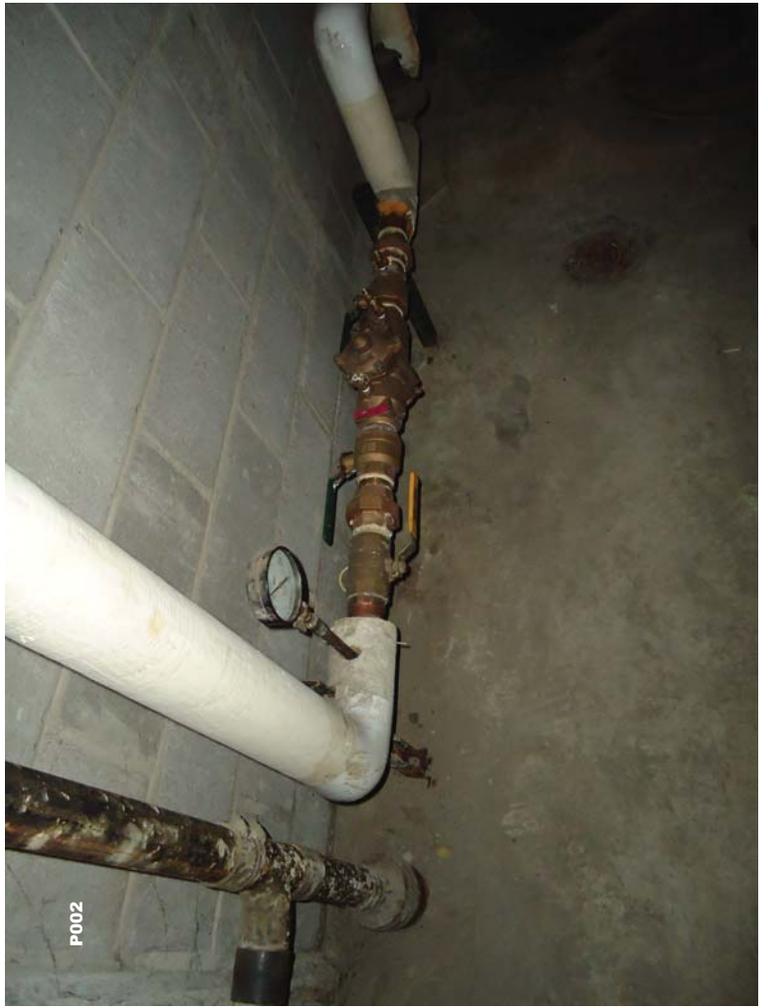


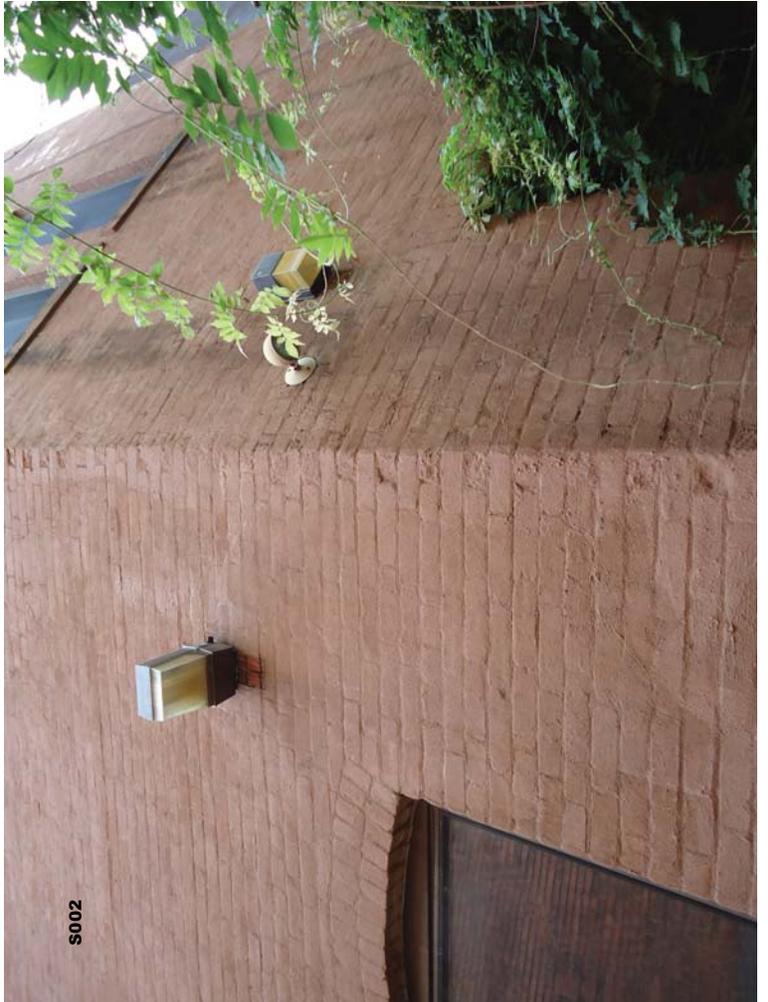












S003



S004



ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Year Constructed:	1908 / 102 y.o.	Weather Conditions Day of Inspection:	
Neighborhood/Ward:	Mt. Washington / Ward 19	Temp:	90
Block / Lot:	P/14	Precipitation:	none
Square Footage:	11,833	Wind:	none
Department Assigned:	GS	Date of Inspection:	July 7, 2010
Facility Main Contact:	Captain on Duty	Front of Building Faces:	Southwest
Phone:	412-488-8354		

Parking

Yes / No

1) Parking and Drop-off Areas

Are an adequate number of accessible parking spaces available? (1 per 25 up to 100 spaces, varies thereafter)

Notes: no spaces

Are 8 foot wide space with a min. of 8 foot wide access aisles with 98 inches of vertical clearance available for lift-equipped vans? (Minimum of 1)

Notes:

Are the accessible aisles part of the accessible route to the entrance?

Notes:

Are that accessible places closest to the accessible entrance?

Notes:

Are the accessible spaces marked?

Notes:

Are the accessible spaces on level ground? (less than 2% slope)

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Access routes to the building / site features and usability of site features

Yes / No

1) Route of Travel

Is there a route of travel that does not require use of stairs?

Notes: Through garage only

Is the route of travel stable, firm, and slip-resistant?

Notes:

Is the route at least 36 inches wide?

Notes:

Can all objects protruding into the circulation path be detected by a person with a visual disability using a cane?

Notes:

Do curbs on the route have curb cuts at drives, parking, and drop-offs?

Notes:

If there are stairs at the main entrance, is there a ramp or alternate accessible entrance?

Notes:

Do all inaccessible entrances have signs indicating the location of the closest accessible entrance?

Notes:

Can the alternate accessible entrance be used independently?

Notes:

2) Ramps

Are the slopes of the ramps no greater than 1:12?

Notes:

Do all ramps longer than 6 feet have railings on both sides?

Notes:

Are railings sturdy and between 34 and 38 inches high?

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Is the width between railings or curbs at least 36 inches?

n/a

Notes:

Are ramps non-slip?

n/a

Notes:

Is there a 5 foot long level landing at every 30 foot horizontal length of ramp, at the top and bottom of ramp and at switchbacks?

n/a

Notes:

Does the ramp rise no more than 30 inches between landings?

n/a

Notes:

3) Pools

Is there at least one accessible pool lift or slope entry?

n/a

Notes:

Can the lift be used without assistance or have a call button?

n/a

Notes:

Is there at least 30" by 48" clear space to approach and reach controls?

n/a

Notes:

Are the controls between 15" and 48" high for the lift?

n/a

Notes:

Is the lift located at a water depth of no more than 48"?

n/a

Notes:

Is the ramp located at a water depth between 24" and 30"?

n/a

Notes:

4) Miscellaneous site features

If water fountains are provided, is there at least 1 fountain with clear floor space of 30" by 48"?

n/a

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Is there at least 1 fountain with its spout no higher than 36" AFF and another with a standard height spout?

n/a

Notes:

Are controls mounted on the front or on the side near the front edge, and operable with 1 closed fist?

n/a

Notes:

Is each water fountain cane-detectable?

n/a

Notes:

If pay or public phones are provided, is there 30" by 40" of clear space in front of at least 1?

n/a

Notes:

Is the highest operable part of the phone on higher than 48"?

n/a

Notes:

Does the phone protrude no more than 4" into the circulation space?

n/a

Notes:

Does the phone have push button controls?

n/a

Notes:

Is the phone hearing aid compatible?

n/a

Notes:

Does it have volume control?

n/a

Notes:

Is the phone with volume control identified with appropriate signage?

n/a

Notes:

If there a 4 or more phones, is one equipped with TT or TTD?

n/a

Notes:

Is the location of the text telephone identified by accessible signage bearing the international TTD symbol?

n/a

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Building entrances, public spaces, and access routes to public spaces

Yes / No

1) Building entrances

Does the entrance door have at least 32 inches clear opening?

Notes: In through garage. Main entrance is direct into garage as well

Is there at least 18 inches of clear wall space on the pull side of the door?

Notes:

Is the threshold edge 1/4 inch high or less, or if beveled edge, no more than 3/4 inch high?

Notes:

Are entrance mats/carpeting less than 1/2 inch high?

Notes:

Are edges of mat securely installed?

Notes:

Is the door handle no higher than 48 inches and operable with a closed fist?

Notes:

Can door be opened without too much force? (Less than 5 lbf)

Notes:

If the door has a closer, does it take at least 3 seconds to close?

Notes:

2) Horizontal Circulation

Does the accessible entrance provide direct access to the main floor, lobby, or elevator?

Notes:

Are all public spaces on an accessible route of travel?

Notes: No spaces available to the public

Is the route at least 36" wide?

Notes: Most are not.

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Is there a 5 foot circle or T-shaped space for a person using a wheelchair to reverse direction?

Notes: Most do not.

3) Doors

Do doors into public spaces have at least a 32" clear opening?

Notes: A lot of the doors are wide enough but have obstructions preventing full opening.

On the pull side of the doors, is there at least 18" clear wall space?

Notes:

Can doors be opened without too much force? (5 lbf maximum)

Notes:

Are door handles 48" high or less and operable with a closed fist?

Notes:

Is the threshold edge 1/4 inch high or less, or if beveled edge, no more than 3/4 inch high?

Notes:

4) Rooms and Spaces

Are all aisles and pathways to materials and services at least 36" wide?

Notes:

Is there a 5 foot circle or T-shaped space for turning a wheelchair completely?

Notes:

Is carpeting low-pile, tightly woven, and securely attached along edges?

Notes:

In circulation paths through public areas are all obstacles cane-detectable? (located within 27 inches of the floor or higher than 80" or protruding less than 4" from the wall)

Notes:

ADA - Title II - "Program Accessibility" Review

Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211

5) Emergency Egress

If emergency systems are provided, do they have both flashing lights and audible signals?

no

Notes: No strobes.

6) Signage for Goods and Services

Do signs and room numbers designating permanent rooms and spaces where goods and services are provided comply with the appropriate requirements for such signage?

n/a

Notes: No signage.

Signs mounted with centerline 60" AFF?

n/a

Notes:

Mounted on wall adjacent to latch side of door, or as close as possible?

n/a

Notes:

Raised characters, sized between 5/8" and 2" high with high contrast?

n/a

Notes:

Brailled text of the same information?

n/a

Notes:

If pictogram is used, is it accompanied by raised characters and braille?

n/a

Notes:

7) Directional and Informational Signage

If mounted above 80", do they have letters at least 3" high with high contrast and non-glare finish?

n/a

Notes:

Do directional and informational signs comply with legibility requirements?

n/a

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

8) Controls

Are all controls that are available for use by the public located at an accessible height?
(Max side reach 54", forward 48", minimum side reach 9", forward 15")

Notes: Most controls are located to high.

Are they operable with a closed fist?

Notes: Most are.

9) Seats, Tables, and Counters

Are the aisles between fixed seating (excluding assembly area seating) at least 36" wide?

Notes:

Are the spaces for wheelchair seating distributed throughout?

Notes:

Are the tops of tables or counters between 28 and 34 inches?

Notes: Kitchen countertop @ 36"
Table at kitchen is o.k.

Are knee spaces at accessible tables at least 27" high, 30" wide, and 19" deep?

Notes:

At each type of cashier counter, is there a portion of the main counter that is no more than 36" high?

Notes:

Is there a portion of food ordering counters that is no more the 36" high?

Notes:

10) Vertical Circulation

Are there ramps, lifts, or elevators to all public levels?

Notes:

On each level, if there are stairs between the entrance and/or elevator and essential public areas, is there an accessible alternate route?

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

11) Stairs

- Do treads have a non-slip surface? Notes: _____
- Do stairs have continuous rails on both sides with extensions beyond the top and bottom stairs? Notes: Railings on 1 side only. No extensions.
The stairs are not wide enough to accommodate railings on both sides.

12) Elevators

- Are there both visible and audible door opening/closing and floor indicators? Notes: _____
- Are the call buttons in the hallway no higher than 42"? Notes: _____
- Do the controls inside the cab have raised and braille lettering? Notes: _____
- Is there a sign on both door jambs at every floor identifying the floor in raised and braille letters? Notes: _____
- If an emergency intercom is provided, is it usable without voice communication? Notes: _____
- Is the emergency intercom identified by braille and raised letters? Notes: _____

13) Lifts

- Can the lift be used without assistance or have a call button? Notes: _____
- Is there at least 30" by 48" clear space to approach and reach controls? Notes: _____
- Are the controls between 15" and 48" high? Notes: _____

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Restrooms

Yes / No

1) Getting to the Restrooms

If rest rooms are available to the public, is at least one room (either 1 for each sex or unisex) fully accessible?

no

Notes:

Are there signs at inaccessible rest rooms that give directions to accessible ones?

n/a

Notes:

2) Doorways and Passages

Is there tactile signage identifying the rest rooms?

no

Notes:

Are signs mounted on the wall, on the latch side of the door and complying with the requirements for permanent signage?

no

Notes:

Are pictograms and symbols used and if so, are raised characters and braille included below them?

no

Notes:

Is the doorway at least 32" clear?

yes

Notes:

Is there 18" clear space at latch side of the door?

no

Notes: Sink is in the way

Are doors equipped with accessible handles and 48" high or less?

yes

Notes:

Can doors be opened easily? (5 lbf max)

yes

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Does the entry configuration provide adequate maneuvering space for a person using a wheelchair? (5' Dia. turning radius or T-shape turn min. of 36" by 42")

Notes: _____

Is there a 36" wide path to all fixtures?

Notes: _____

3) Stalls

Is the stall door operable with a closed fist inside and out?

Notes: _____

Is there a wheelchair-accessible stall that has an area at least 5 feet diameter of clear space?

Notes: Bathroom is not even 5'-0" wide. There is no practical way to make it ADA compliant.

In the accessible stall, are there grab bars behind (36") and on the side wall nearest to the toilet (42" & vertical 18")? (O.D. of bars should be 1.25" - 1.5" and should be mounted 33" - 36" AFF)

Notes: _____

Is the toilet seat 17" to 19" high?

Notes: _____

Is the toilet 18" from the wall or partition to centerline of toilet?

Notes: _____

4) Lavatories

Does one lavatory have a 30" wide by 48" clear space in front (a max of 19" can be under the lav)

Notes: Not possible

Is the lavatory rim no higher than 34"?

Notes: _____

Is there at least 29" from the floor to the bottom of the lavatory apron?

Notes: _____

Is there at least 19" deep of clear space under the lavatory?

Notes: _____

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Can the faucet be operated with 1 closed fist?

Notes: _____

Are soap and other dispensers within reach ranges and operable with 1 closed fist? (between 38" and 48" AFF)

Notes: _____

Is the mirror mounted with the bottom edge of the reflecting surface less than 40"?

Notes: _____

Miscellaneous items

Yes / No

1) Drinking Fountains

Is there at least 1 fountain with clear floor space of 30" by 48"?

Notes: _____

Is there at least 1 fountain with its spout no higher than 36" AFF and another with a standard height spout?

Notes: _____

Are controls mounted on the front or on the side near the front edge, and operable with 1 closed fist?

Notes: _____

Is each water fountain cane-detectable?

Notes: _____

2) Telephones

If pay or public phones are provided, is there 30" by 40" of clear space in front of at least 1?

Notes: _____

Is the highest operable part of the phone on higher than 48"?

Notes: _____

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Does the phone protrude no more than 4" into the circulation space?

n/a

Notes:

Does the phone have push button controls?

n/a

Notes:

Is the phone hearing aid compatible?

n/a

Notes:

Does it have volume control?

n/a

Notes:

Is the phone with volume control identified with appropriate signage?

n/a

Notes:

If there a 4 or more phones, is one equipped with TT or TTD?

n/a

Notes:

Is the location of the text telephone identified by accessible signage bearing the international TTD symbol?

n/a

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Possible solutions / items needed

Parking

	Quantity	Unit	Unit cost	Total cost
ADA parking signage	1	EA	500.00	\$500

TOTAL COST - PARKING

\$500

Access routes to the building / site features and usability of site features

	Quantity	Unit	Unit cost	Total cost
No work required				

TOTAL COST - ACCESS ROUTES / SITE FEATURES

\$0

Building entrances, public spaces, and access routes to public spaces

	Quantity	Unit	Unit cost	Total cost
Add strobes to fire alarm system	20	EA	125.00	\$2,500

TOTAL COST - BUILDING ENTRANCE / PUBLIC SPACE

\$2,500

ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

Restrooms

	Quantity	Unit	Unit cost	Total cost
No work required				

TOTAL COST - RESTROOMS				\$0
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Miscellaneous items

	Quantity	Unit	Unit cost	Total cost
No work required				

TOTAL COST - MISCELLANEOUS ITEMS				\$0
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ADA - Title II - "Program Accessibility" Review

**Firehouse #27
96 Virginia Ave
Pittsburgh, PA 15211**

NOTES

Notes: The building is not intended for public access and there are no employees that would be capable of performing the necessary duties of a firefighter if they had a disability. If a job title / position were available to a disabled person, then modifications to the building would have to be made in order to accomodate that individuals needs. The estimated items noted above are not required but would allow a disabled person to gain access through the main vestibule and into the common area of the building. Typically, existing buildings that do not have public access and are private use only are not required to make ADA upgrades unless and individual with a disability is qualified to meet the requirements of the job. The only item that is required is the addition of strobes to the fire alarm system.

Firehouse #27

96 Virginia Ave

07/07/10

Parking

- 3 parking spaces are provided but none are accessible. An access aisle would need to be created and appropriate signage placed.

Passenger Loading

- There is a yellow-painted curb in front of the Firehouse that could be a passenger loading zone, but an access aisle and appropriate signage would need to be placed, as well as curb ramps.

Exterior Accessibility

- The back entrance is not accessible because of a one-step onto the deck. Also stairs lead from the ground to the deck.
- A railing should be placed on the other side of the stairs leading to the deck.
- The vending machine area is not accessible because of two steps leading to them.

Accessible Routes

- The distance between the fire engine and the lockers at its narrowest point was 29 inches instead of 32 inches. This route leads to the restrooms.
- Signage should be placed to indicate accessible routes through the building. To exits and restrooms.

Kitchen

- The built-in counter measures 36 inches tall by 24 inches deep and should be between 28 and 34 inches high.
- The toaster counter measures 48 inches instead of between 28 and 34 inches
- The pots and pans counter measures 35 inches instead of between 28 and 34 inches.

Bathroom

- Sink
 - The faucets require too much pressure to turn on.
 - The hot water pipes should be covered
- The light switch is 56 inches from the floor instead of the maximum of 54 inches.
- The mirror is 41 inches from the floor instead of 40 inches
- The urinal is 24 inches from the floor instead of 17 inches.
- The urinal controls are 52 inches from the floor instead of 44 inches.

- Toilet
 - No grab bars exist. They must be installed.
 - 16 inches from the floor instead of 17 to 19 inches.
 - The side approach measures 15 by 26 inches instead of 48 X 56 inches.
 - The front approach measures 36 X 30 inches instead of 48 X 66 inches.
- The door requires turning of the wrist.
- The door is only 29 inches wide instead of the minimum of 32 inches.
- The signage is inaccessible
- The light switch outside of the restroom measures 57 inches instead of the maximum of 54 inches.

Second floor

- Staircase needs a continuous railing on the other side.
- Staircase railing should be continuous.
- Consider chair lift or elevator to provide access to second floor.

Locker Room

- No bench is secured to a wall.
- Locker handle is hard to open.

Shower

- There is a step into the shower which can easily be eliminated.
- The opening is only 24 inches instead of the minimum of 32 inches.
- The controls are 51 inches from the ground and require turning of the wrist.
- The nozzle is 72 inches from the ground and is fixed to the wall.
- There is no bench.
- The towel hook outside is 67 inches from the floor but should be lower than 54 inches.

Alarms

- Emergency alarms did not have a visual component.

INSPECTION REPORT

**Firehouse #27 (B136)
 96 Virginia Ave
 Pittsburgh, PA 15211**

Site Utilities

Year Constructed:	1908	Weather Conditions Day of Inspection:	
Neighborhood:	Mt Washington	Temp:	81
Block / Lot:	0004-G-000074-0000-00	Precipitation:	None
Square Footage:	11833	Wind:	SW 3 MPH
Department Assigned:	0	Date of Inspection:	July 7, 2010
Facility Main Contact:	Captain on duty		
Phone	412-488-8354		

Site Utilities

Site Plumbing			
Poor	Hose Bibs	Notes:	Rear of Firehouse. Replace in 0-1 year.
	Site Irrigation	Notes:	
	Drinking Fountain	Notes:	
Fair-Poor	Fire Hydrants	Notes:	Across Shiloh St. at bank. Flange rusting.
	Water Features	Notes:	
Storm Water Management			
	Inlets	Notes:	
	Storage Tanks	Notes:	
	Detention Ponds	Notes:	
	Fencing / Enclosures	Notes:	
Site Electrical			
	Transformer	Notes:	
X	Exterior Receptacles	Notes:	Fair -Poor. Replace poor in 0-1 year.
	Site Lighting	Notes:	See notes at bottom of spreadsheet.
	PA System	Notes:	
X	Natural Gas Service	Notes:	Type# AL-1000, American Meter Co (Manu Co) 1000 cubic ft per hr at 1/2" diff, 2200 CFH @ 2" diff Temperature compensated meter at 60 ft Equitable Gas Co Meter fair but old. Piping painted - Hard to assess. Contact gas company to obtain age.

INSPECTION REPORT

Firehouse #27 (B136)
96 Virginia Ave
Pittsburgh, PA 15211

Site Utilities

Notes:

Notes: No As-Builts.

Rooftop: 2 Roof Drains (1 Cover Fair, 1 Cover Poor). Replace Poor Cover.

Roof seams need sealed.

Poor site lighting (very little newer) looks like various types of merc. wall mounted units and high pressure sodium.

Replace with induction lighting in 0-1 year.

See photos labeled S for Site.

Firehouse # 27 (B136)
96 Virginia Avenue
Pittsburgh, PA 15211

Asset Protection Summary

Immediate	\$7,578
One Year	\$152,795
Five Year	\$209,188
10 Year	\$0

Notes:

1. All cost estimates to replace equipment, systems, finishes, etc. are based on the assumption that all material being replaced is the same or an accepted equal to the existing material.
2. All pricing for the Asset Protection Plans was based on the assumption that a General Contractor would be hired by the City of Pittsburgh to address all deficiencies through the use of their own workforce and specialty subcontractors.
3. All estimates assume an average escalation rate of 4% per year.
- 4 All estimates are for construction costs and exclude other project "soft" costs including but not limited to:
 - Architectural / engineering fees
 - Utility fees
 - Land aquisition

Firehouse # 27 (B136)

96 Virginia Avenue
Pittsburgh, PA 15211

Immediate Asset Protection Estimate

Report	Description	Quantity	Unit	Unit Price	Total Cost
Plumbing	Remove & Replace Kitchen gas line & fittings	1	LS	\$1,000	\$1,000
HVAC	Fix Chimney / Flue	1	LS	\$5,000	\$5,000

SUBTOTAL

\$6,000

GENERAL REQUIREMENTS

6%

\$360

BOND

1%

\$64

PERMIT

Calc.

\$141

OVERHEAD & PROFIT

7%

\$413

CONTINGENCY

10%

\$600

ESCALATION

0%

\$0

TOTAL

\$7,578

Firehouse # 27 (B136)
 96 Virginia Avenue
 Pittsburgh, PA 15211

One Year Asset Protection Estimate

Report	Description	Quantity	Unit	Unit Price	Total Cost
Architectural	Plaster spauling at first landing				\$0
	Address Water Issue	1	LS	\$1,200	\$1,200
	Re-paint	1	LS	\$500	\$500
Architectural	Repair O.H. Doors @ Truck Bay	3	EA	\$1,000	\$3,000
Architectural	Paint Walls in Kitchen / Lounge / TV Room	3500	SF	\$0.75	\$2,625
Architectural	Remove & Replace Kitchen Cabinetry	12	LF	\$200	\$2,400
Architectural	Paint 1st Floor Toilet Room	300	SF	\$0.75	\$225
Architectural	Clean out Corridor 017	1	LS	\$250	\$250
Roof	Repair wall Flashings	1	EA	\$800	\$800
Roof	Replace Roof Walkway System	1	EA	\$800.00	\$800
Roof	Paint Metal Roof	1	EA	\$12,000	\$12,000
Structural	Repoint Exterior as Needed (20% of Fascade)	3,000	SF	\$3.50	\$10,500
Structural	Repoint basement walls	1,800	SF	\$2.00	\$3,600
Structural	Caulk slab joints @ Truck Bay	1	LS	\$2,500	\$2,500
Structural	Remove & Replace Rusted Metal Deck @ Basement	1	LS	\$2,000	\$2,000
Structural	Clean & Paint steel beams in basement	1	LS	\$1,000	\$1,000
Plumbing	Video Inspection of Sewer & Storm	1	LS	\$5,000	\$5,000
Plumbing	Remove & Replace Water Closets	4	EA	\$500	\$2,000
Plumbing	Remove & Replace Lavatories	3	EA	\$425	\$1,275
Plumbing	Remove & Replace Shower Heads	4	EA	\$100	\$400
Plumbing	Remove & Replace Urinals	3	EA	\$450	\$1,350
Plumbing	Remove & Replace Hose Bibs	4	EA	\$100	\$400
Plumbing	Comprehensive inspection of Water Distribution sys.	1	LS	\$5,000	\$5,000
Plumbing	Remove & Replace Water Distribution portions (25%)	2,958	SF	\$3.00	\$8,875
Plumbing	Remove & Replace Kitchen Sink & Faucetry	1	LS	\$500	\$500
Plumbing	Replace Janitor's Sinks	1	EA	\$500.00	\$500
HVAC	Remove & Replace AC unit @ Bunk Room	1	EA	\$1,000	\$1,000
Electrical	Remove & Replace Receptacles/Switches (80%)	9,466	SF	\$0.75	\$7,100
Electrical	Remove & Replace Lighting	11,833	SF	\$3.50	\$41,416
Electrical	Remove & Replace smoke detectors	7	EA	\$200.00	\$1,400
Electrical	Remove & Replace Telephone Panel	1	LS	\$2,500.00	\$2,500

SUBTOTAL

\$122,115

GENERAL REQUIREMENTS	6%	\$7,327
BOND	1%	\$1,294
PERMIT	Calc.	\$1,662
OVERHEAD & PROFIT	7%	\$8,414
CONTINGENCY	5%	\$6,106
ESCALATION	4%	\$5,877

TOTAL

\$152,795

Firehouse # 27 (B136)

96 Virginia Avenue
Pittsburgh, PA 15211

Five Year Asset Protection Estimate

Report	Description	Quantity	Unit	Unit Price	Total Cost
Roof	Replace Roofing and Flashing systems	3,244	SF	\$18.00	\$58,392
Structural	Repoint stone & tarracotta wall copings	1	LS	\$2,500.00	\$2,500
HVAC	Remove & Replace Boiler & Pumps	1	LS	\$35,000	\$35,000
HVAC	Inspect & flush out boiler piping	1	LS	\$2,000.00	\$2,000
HVAC	Remove & Replace insulation	11,833	SF	\$0.75	\$8,875
HVAC	Remove & Replace Unit Heaters	6	EA	\$2,500.00	\$15,000
HVAC	Remove & Replace Ductwork / Grilles (25%)	2,958	SF	\$7.25	\$21,447
HVAC	Remove & Replace restroom exhaust	1	LS	\$500.00	\$500

SUBTOTAL			\$143,714
GENERAL REQUIREMENTS	6%		\$8,623
BOND	1%		\$1,523
PERMIT	Calc.		\$1,935
OVERHEAD & PROFIT	7%		\$9,902
CONTINGENCY	5%		\$7,186
ESCALATION to Year 2015	21%		\$36,305
TOTAL			\$209,188

Firehouse # 27 (B136)

96 Virginia Avenue
Pittsburgh, PA 15211

10 Year Asset Protection Estimate

Report	Description	Quantity	Unit	Unit Price	Total Cost
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\$0

SUBTOTAL					\$0
	GENERAL REQUIREMENTS		6%		\$0
	BOND		1%		\$0
	PERMIT		Calc.		\$0
	OVERHEAD & PROFIT		7%		\$0
	CONTINGENCY		5%		\$0
	ESCALATION to Year 2020		42%		\$0
TOTAL					\$0

CITY OF PITTSBURGH		Square Foot
LOCATION : Shiloh & Virginia Pittsburgh, PA	Firehouse 27	11,833
GAS CO : Equitable		
ACCOUNT # : 00090021600-1108		
CUSTOMER # : 0900216		
LOCATION # : 412128		
MARKETER :		
ACCOUNT # :		
RATE : GSS		
METER # : 1783024		
CUST. CHARGE: 500-1,000 mcf	\$28.00	same 2009 as 2008

2008				GAS COMPANY						MARKETER					TOTALS	
PREVIOUS	PRESENT	DAYS	READ	MCF	COST	COST/MCF	MISC	BILL TOTAL	MCF	COST	COST/MCF	MISC	BILL TOTAL	COST	COST/MCF	
12/20/2007	1/23/2008	34	a	126.70	\$ 1,864.65	\$ 14.717	\$ 26.86	\$ 26.02	\$ 1,917.53			#DIV/0!	\$ -	\$ 1,917.53	\$ 15.134	
1/23/2008	2/25/2008	33	a	139.10	\$ 2,047.14	\$ 14.717	\$ 26.75	\$ 28.37	\$ 2,102.26			#DIV/0!	\$ -	\$ 2,102.26	\$ 15.113	
2/25/2008	3/25/2008	29	a	98.00	\$ 1,442.27	\$ 14.717	\$ 27.12	\$ 31.11	\$ 1,500.50			#DIV/0!	\$ -	\$ 1,500.50	\$ 15.311	
3/25/2008	4/23/2008	29	a	58.30	\$ 957.79	\$ 16.429	\$ 27.26	\$ (85.50)	\$ 985.05			#DIV/0!	\$ -	\$ 985.05	\$ 16.896	
4/23/2008	5/22/2008	29	a	29.20	\$ 465.81	\$ 15.952	\$ 27.53		\$ 493.34			#DIV/0!	\$ -	\$ 493.34	\$ 16.895	
5/22/2008	6/23/2008	32	a	11.60	\$ 195.77	\$ 16.877	\$ 27.80		\$ 223.57			#DIV/0!	\$ -	\$ 223.57	\$ 19.273	
6/23/2008	7/22/2008	29	a	6.00	\$ 112.71	\$ 18.785	\$ 27.87	\$ 3.35	\$ 143.93			#DIV/0!	\$ -	\$ 143.93	\$ 23.988	
7/22/2008	8/20/2008	29	a	6.20	\$ 120.07	\$ 19.366	\$ 27.87		\$ 147.94			#DIV/0!	\$ -	\$ 147.94	\$ 23.861	
8/20/2008	9/19/2008	30	a	6.90	\$ 133.62	\$ 19.365	\$ 27.85		\$ 161.47			#DIV/0!	\$ -	\$ 161.47	\$ 23.401	
9/19/2008	10/21/2008	32	a	18.90	\$ 341.12	\$ 18.049	\$ 27.67	\$ 2.43	\$ 371.22			#DIV/0!	\$ -	\$ 371.22	\$ 19.641	
10/21/2008	11/20/2008	30	a	54.30	\$ 942.49	\$ 17.357	\$ 27.13		\$ 969.62			#DIV/0!	\$ -	\$ 969.62	\$ 17.857	
11/20/2008	12/22/2008	32	a	122.50	\$ 697.89	\$ 5.697	\$ 41.99	\$ 14.54	\$ 754.42			#DIV/0!	\$ -	\$ 754.42	\$ 6.159	
TOTALS:				677.70	\$ 9,321.33	\$ 13.754	\$ 343.70	\$ 20.32	\$ 9,665.03	0.00	\$ -	#DIV/0!	\$ -	\$ 9,665.03	\$ 14.262	

City of Pittsburgh LOCATION : Info Systems, 96 Virginia Ave Pittsburgh, PA ELECTRIC CO : Duquesne Light ACCOUNT # : 1000-004-743-001 SUPPLIER CO : ACCOUNT # : CUST CHARGE: \$ 30.00 RATE : GM Medium Fixed METER # :	ENGINE CO. # 27
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2008				ELECTRIC COMPANY								SUPPLIER					TOTAL	
PREVIOUS	PRESENT	DAYS	READ	KWH	KW	ADJ. KW	PF	COST	COST/kWh	CUST CHG.	BILL TOTAL	kWh	COST	COST/kWh	MISC	BILL TOTAL	COST	COST/kWh
		0	a				#DIV/0!		#DIV/0!		\$ -			#DIV/0!		\$ -	\$ -	#DIV/0!
1/14/2008	2/12/2008	29	a	5,920	13.6	13.6	1.00	\$ 492.55	\$ 0.083	\$ 30.00	\$ 522.55			#DIV/0!		\$ -	\$ 522.55	\$ 0.088
2/12/2008	3/12/2008	29	a	6,800	15.2	15.2	1.00	\$ 563.03	\$ 0.083	\$ 30.00	\$ 593.03			#DIV/0!		\$ -	\$ 593.03	\$ 0.087
3/13/2008	4/11/2008	29	a	4,760	14.8	14.8	1.00	\$ 439.73	\$ 0.092	\$ 30.00	\$ 469.73			#DIV/0!		\$ -	\$ 469.73	\$ 0.099
4/11/2008	5/13/2008	32	a	5,840	16.4	16.4	1.00	\$ 521.82	\$ 0.089	\$ 30.00	\$ 551.82			#DIV/0!		\$ -	\$ 551.82	\$ 0.094
5/13/2008	6/12/2008	30	a	6,720	16.8	16.8	1.00	\$ 581.72	\$ 0.087	\$ 30.00	\$ 611.72			#DIV/0!		\$ -	\$ 611.72	\$ 0.091
6/12/2008	7/14/2008	32	a	8,360	19.6	19.6	1.00	\$ 718.86	\$ 0.086	\$ 30.00	\$ 748.86			#DIV/0!		\$ -	\$ 748.86	\$ 0.090
7/14/2008	8/12/2008	29	a	8,800	19.2	19.2	1.00	\$ 739.78	\$ 0.084	\$ 30.00	\$ 769.78			#DIV/0!		\$ -	\$ 769.78	\$ 0.087
8/12/2008	9/11/2008	30	a	8,440	20.4	20.4	1.00	\$ 733.50	\$ 0.087	\$ 30.00	\$ 763.50			#DIV/0!		\$ -	\$ 763.50	\$ 0.090
9/11/2008	10/13/2008	32	a	7,240	20.0	20.0	1.00	\$ 657.97	\$ 0.091	\$ 30.00	\$ 687.97			#DIV/0!		\$ -	\$ 687.97	\$ 0.095
10/13/2008	11/11/2008	29	a	4,920	19.2	19.2	1.00	\$ 511.63	\$ 0.104	\$ 30.00	\$ 541.63			#DIV/0!		\$ -	\$ 541.63	\$ 0.110
11/11/2008	12/12/2008	31	a	6,480	14.0	14.0	1.00	\$ 538.84	\$ 0.083	\$ 30.00	\$ 568.84			#DIV/0!		\$ -	\$ 568.84	\$ 0.088
TOTALS :				74,280	189.2	189.2	1.00	\$ 6,499.43	\$ 0.087	\$ 330.00	\$ 6,829.43	0	\$ -	#DIV/0!	\$ -	\$ -	\$ 6,829.43	\$ 0.092

Information taken from the most recent Commercial Buildings Energy Information Survey conducted by the Energy Information Administration
 Table C23 A from this survey was used to calculate average natural gas consumption for commercial buildings from census tract - "East North Central
 in which Pittsburgh is located

Table C13 A was used to calculate average electricity consumption from the same census tract

Energy Usage in BTU/ Square Foot natural gas = 54,751

Energy Usage in BTU/ Square Foot electricity = 47,041

(From 2008 data)

Energy Usage in BTU/ Square Foot natural gas = 57,272

Energy Usage in BTU/ Square Foot electricity = 21,418

Conclusion: The higher usage of natural gas per square foot of 57,272 Btu/ Square Foot compared to 54,751 Btu/ Square Foot in the Pittsburgh census tract could indicate the need for boiler replacement and other energy efficiency upgrades. Though there is a lower usage of electricity per square foot of 21,418 compared to 47,041 Btu/Square Foot in the Pittsburgh census tract. Reason for this low electricity usage is not known at this time.



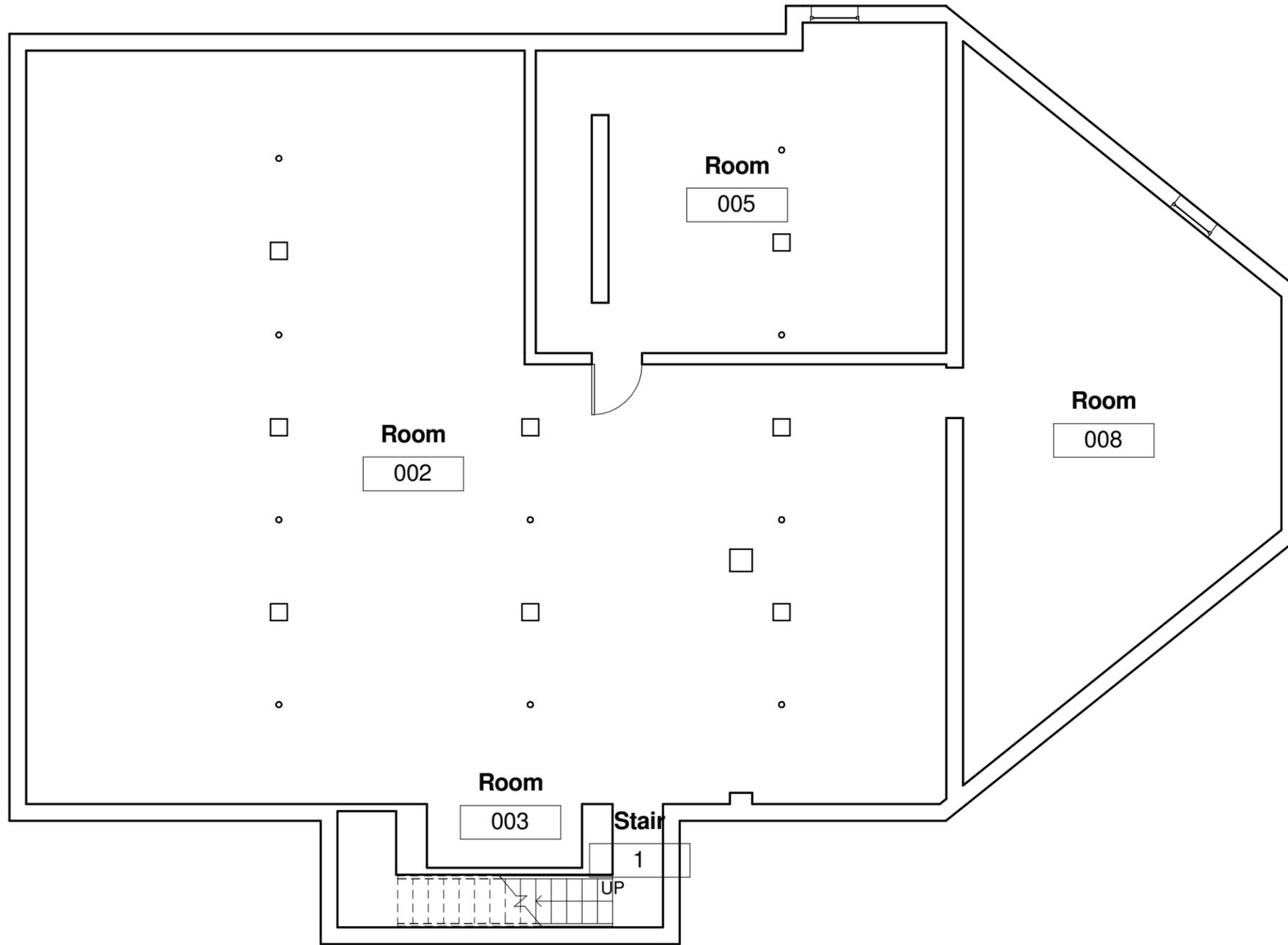
① Site Plan
1/32" = 1'-0"

The drawings and related digital files are a schematic rendition of the existing conditions of the facility only. Please verify exact field conditions before using these for further construction and renovation work.



Firehouse #27
City of Pittsburgh

Site Plan		C1.01
Date	08/13/10	
Drawn by	AK	Scale 1/32" = 1'-0"



1 Ground Floor Plan
1/8" = 1'-0"

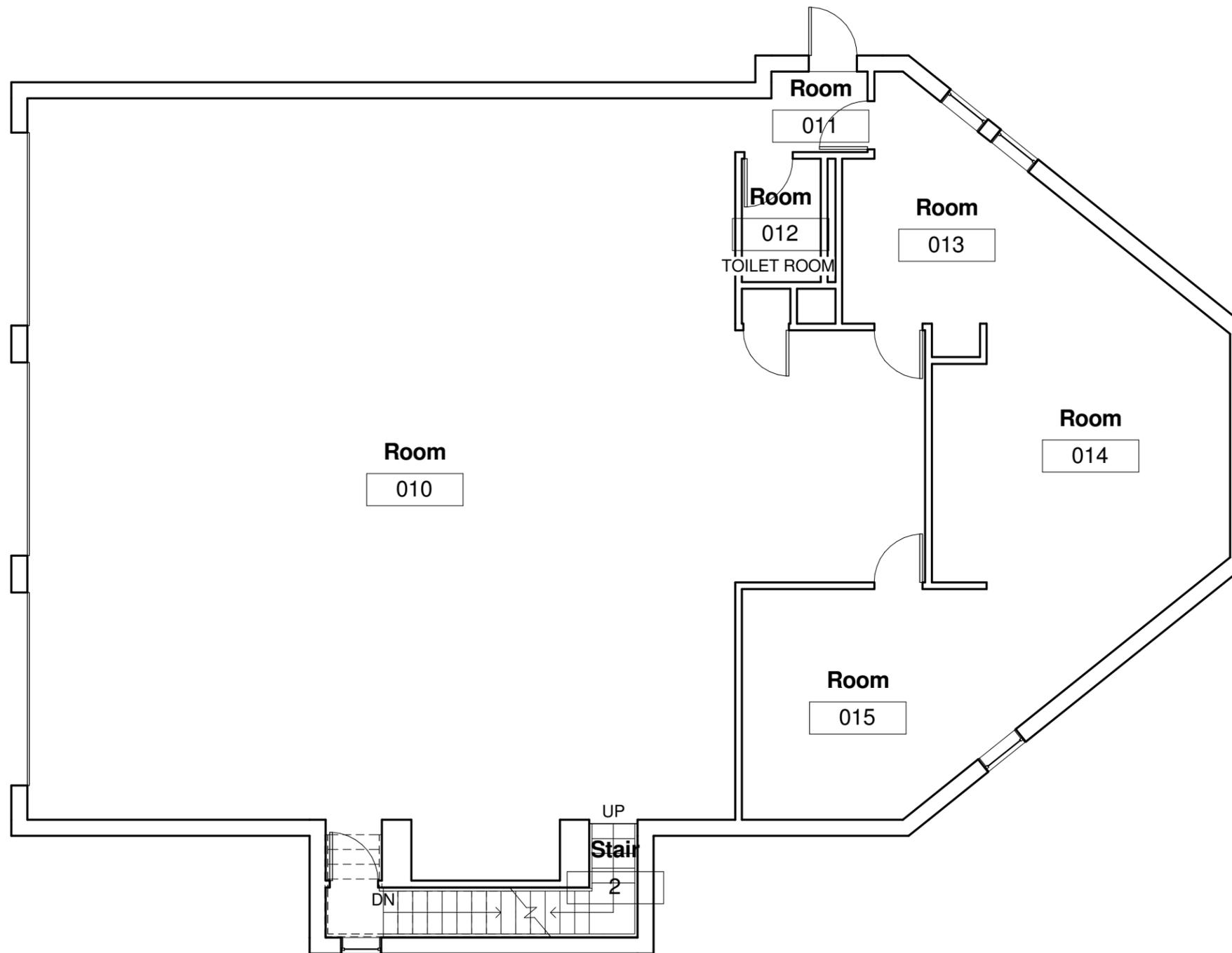


The drawings and related digital files are a schematic rendition of the existing conditions of the facility only. Please verify exact field conditions before using these for further construction and renovation work.

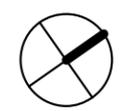


Firehouse #27
City of Pittsburgh

Ground Floor Plan		A1.00
Date	08/13/10	
Drawn by	AK	Scale 1/8" = 1'-0"



① L1 Floor Plan
1/8" = 1'-0"



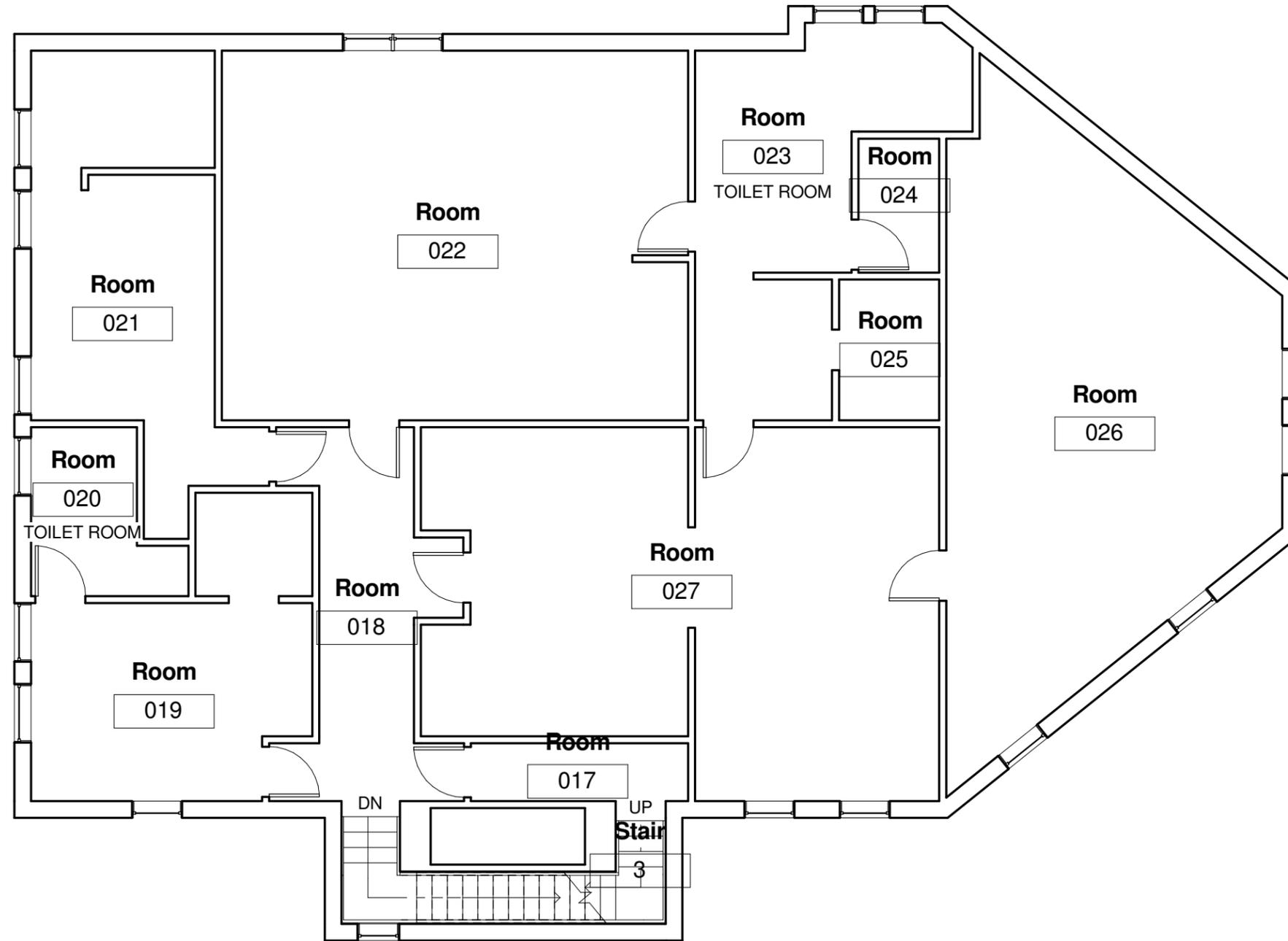
The drawings and related digital files are a schematic rendition of the existing conditions of the facility only. Please verify exact field conditions before using these for further construction and renovation work.



Firehouse #27
City of Pittsburgh

L1 Floor Plan	
Date	08/13/10
Drawn by	AK

A1.10
Scale 1/8" = 1'-0"



1 L2 Floor Plan
1/8" = 1'-0"



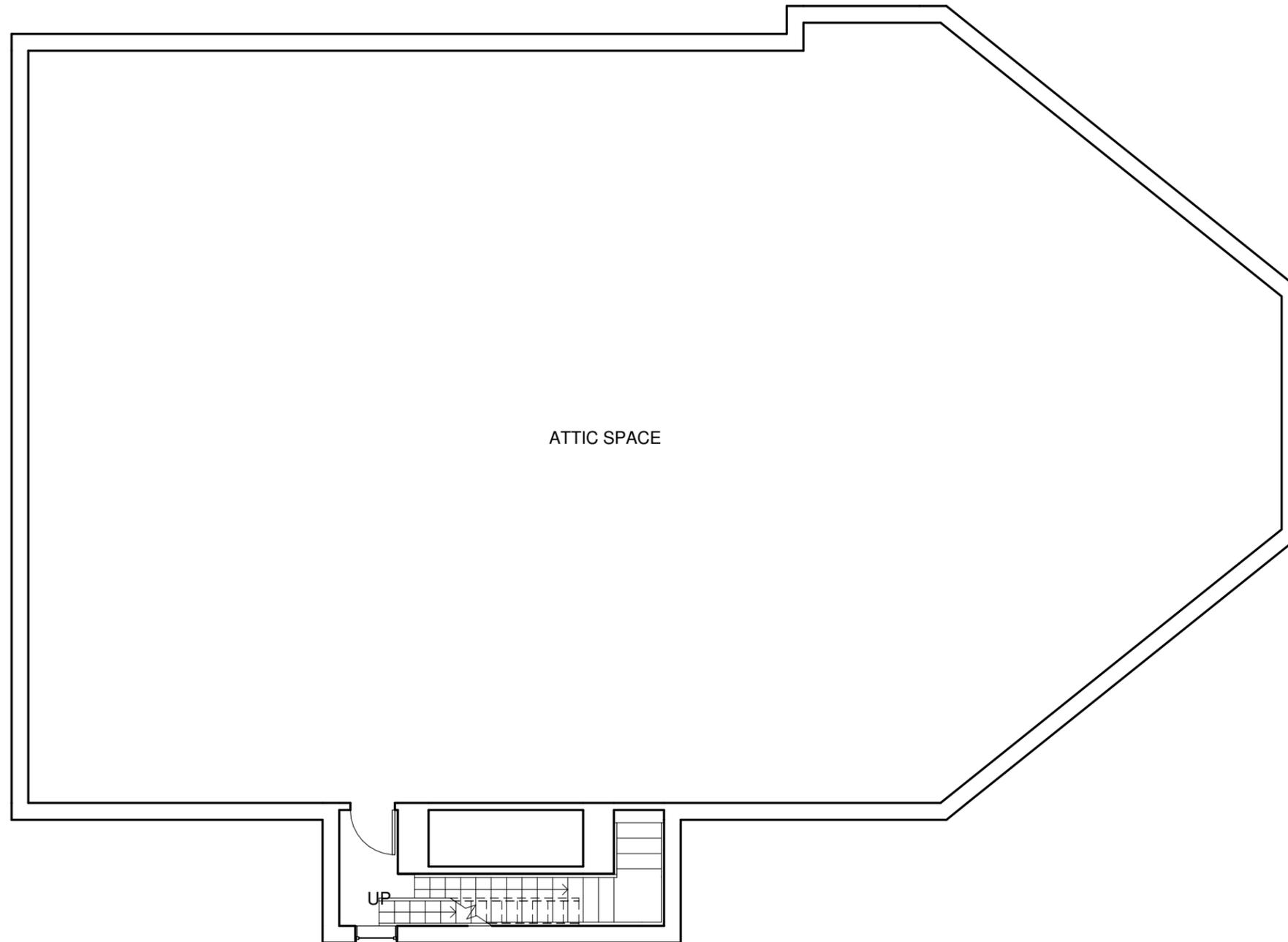
The drawings and related digital files are a schematic rendition of the existing conditions of the facility only. Please verify exact field conditions before using these for further construction and renovation work.



Firehouse #27
City of Pittsburgh

L2 Floor Plan	
Date	08/13/10
Drawn by	AK

A1.20
Scale 1/8" = 1'-0"



1 L3 Floor Plan
1/8" = 1'-0"



The drawings and related digital files are a schematic rendition of the existing conditions of the facility only. Please verify exact field conditions before using these for further construction and renovation work.



Firehouse #27
City of Pittsburgh

L3 Floor Plan		A1.30
Date	08/13/10	
Drawn by	AK	Scale 1/8" = 1'-0"