



CITY OF
PITTSBURGH
FACILITY ANALYSIS REPORT



Firehouse # 29 (B225)
2100 Noblestown Avenue
Pittsburgh, Pennsylvania 15205

July 2, 2010



Massaro

www.massarocms.com

Firehouse #29 (B225)
2100 Noblestown Ave
Pittsburgh, PA 15205

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Firehouse #29 (B225)
2100 Noblestown Ave
Pittsburgh, PA 15205

Executive Summary

INTRODUCTION

Firehouse # 29 was inspected on July 2, 2010 by Massaro CM Services and our consultants Cosmos Technologies, Atlantic Engineering Services and American Micronics, Inc.

The professionals in attendance conducted specific inspections or provided services:

- Massaro CM Services, LLC - Architectural / Site Inspections
- Cosmos Technologies, Inc - Mechanical, Electrical, Site Utility Systems Inspections & Energy Audit
- Atlantic Engineering Services -Structural System Inspections
- American Micronics, Inc. - Exterior Wall & Roofing Inspections

Massaro CM Services returned to this facility on 6/17/11 to re-inspected the windows.

The detailed findings of these inspections can be found in the individual chapters of this report. Costs associated with any deficiencies that were identified can be found in Section 8 - Asset Protection of this report.

FINDINGS

Asset Protection

In general the building was found to be in good/fair condition with normal wear and maintenance issues. Specifically the major elements of this building that were found to be in need of attention were the mechanical, electrical and plumbing systems. **THERE IS PARTICULAR CONCERN WITH THE CONDITION OF THE GAS METER, IT SHOULD BE REPLACED IMMEDIATELY.**

The costs associated with addressing these deficiencies are broken down into Immediate, One Year, Five Year and 10 Year Asset Protection Plans. The associated value of each of these Asset Plans are as follows:

Immediate	\$115,589
One Year	\$199,724
Five Year	\$189,260
10 Year	\$0

Firehouse #29 (B225)
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Executive Summary

American Disabilities Act

Public entities must meet the requirements set forth under Title II of the ADA. This section pertains to "Program Accessibility". This requires that each service, program or activity conducted by a public entity, when viewed in its entirety, be readily accessible to and usable by individuals with disabilities. This does not mean that every existing facility is required to remove barriers. There are multiple ways of achieving program accessibility such as moving a service to an already accessible building as opposed to modifying the existing building. There are further requirements under Title I that pertain to employment opportunities. Existing buildings do not have to make any modifications unless an applicant or an employee with a disability needs access. These are evaluated on an individual basis when needed although provisions should be made to assure that people with disabilities are able to apply. Massaro CM Services, LLC is unable to determine all of the programs and services offered by the City of Pittsburgh and the locations that they are available, therefore the assessment provided treats each facility as a stand-alone entity and provides information on the requirements to making all public spaces accessible. This does not mean all work noted has to be performed for this facility. Furthermore, if alterations or additions to the existing facility will be performed (this does not mean maintenance issues such as roof replacement) or if an individual with a disability is hired then further ADA requirements, not included in this report, may have to be fulfilled. General categories and the associated estimated cost to achieve compliance is listed below. Please refer to section six for additional details.

Parking

Includes assessment of existing parking areas. This includes van accessible parking areas, accessible parking areas, signage, and access from the parking area to the main route of access to the building / site.

Estimated cost to achieve compliance **\$600**

Access routes to the building / site features and usability of site features

Includes assessment of site features including sidewalks, curb cuts, ramps, pools, and access routes to the building entrances. It does not include an analysis of existing playgrounds or athletic fields, only access to these areas are considered.

Estimated cost to achieve compliance **\$500**

Building entrances, public spaces, and access routes to public spaces

Includes entrances, any spaces available to public use such as cafeteria, common areas, exercise rooms, etc., and all access routes connecting these areas.

Estimated cost to achieve compliance **\$34,344**

Restrooms

This includes all public restrooms and the usability of them.

Estimated cost to achieve compliance **\$0**

Miscellaneous items

This includes miscellaneous items within the building such as water fountains and public phones.

Estimated cost to achieve compliance **\$0**



40°27'34.94" N 79°58'04.26" W

Image © 2010 Sanborn
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Data SIO, NOAA, U.S. Navy, NGA, GEBCO

Jun 2007

Eye alt 18.78 km

Google

INSPECTION REPORT
Firehouse #29 (B225)
2100 Noblestown Ave
Pittsburgh, PA 15205

Interiors

Ground Floor - Mechanical Room / Weight Room - Room 001

Good	Ceiling -Type	2 x 4 Acoustic	Notes:	
Good	Flooring - Type	Mix	Notes:	Concrete & Rubber Mats @ Weights
Good	Base - Type	4" Vinyl	Notes:	
Good	Walls - Type	Painted CMU	Notes:	
Good	Doors & Hardware	HMF / HMD	Notes:	
	General Note:		Notes:	

Ground Floor - Mechanical Room / Boiler - Room 002

Good	Ceiling -Type	2 x 4 Acoustic	Notes:	
Good	Flooring - Type	Concrete	Notes:	
Good	Base - Type	4" Vinyl	Notes:	
Fair	Walls - Type	Painted CMU	Notes:	Re-paint walls
Good	Doors & Hardware	HMF / HMD	Notes:	

1st Floor - Captain's Office - Room 104

Good	Ceiling -Type	2 x 2 Acoustic	Notes:	Replace 5 tiles
Good	Flooring - Type	Rubber	Notes:	
Good	Base - Type	4" vinyl	Notes:	
Good	Walls - Type	Painted CMU	Notes:	
Good	Doors & Hardware	HMF / HMD	Notes:	
	General Note:		Notes:	

1st Floor - Service - Room 106

Good	Ceiling -Type	2 x 2 Acoustic	Notes:	
Good	Flooring - Type	Rubber	Notes:	
Good	Base - Type	4" vinyl	Notes:	
Good	Walls - Type	Painted CMU	Notes:	
Good	Doors & Hardware	HMF / HMD	Notes:	
	General Note:		Notes:	Washer/Dryer/Mop Basin

1st Floor - Rear Hall

Good	Ceiling -Type	GWB	Notes:	
Good	Flooring - Type	Rubber	Notes:	
Good	Base - Type	4" vinyl	Notes:	
Good	Walls - Type	Painted CMU	Notes:	
Good	Doors & Hardware	HMF / HMD	Notes:	
	General Note:		Notes:	Electric water cooler

INSPECTION REPORT

**Firehouse #29 (B225)
 2100 Noblestown Ave
 Pittsburgh, PA 15205**

Interiors

1st Floor - Toilet - Room 107

Good	Ceiling - Type	2 x 2 Acoustic	Notes:	
Good	Flooring - Type	12 x 12 VCT	Notes:	Replace flooring
Good	Base - Type	4" vinyl	Notes:	
Good	Walls - Type	Painted CMU	Notes:	
Good	Doors & Hardware	HMF / HMD	Notes:	
	General Note:		Notes:	

1st Floor - Rear Hall

Good	Ceiling - Type	GWB	Notes:	
Good	Flooring - Type	Rubber	Notes:	
Good	Base - Type	4" vinyl	Notes:	
Good	Walls - Type	Painted CMU	Notes:	
Good	Doors & Hardware	HMF / HMD	Notes:	
	General Note:		Notes:	Electric water cooler

1st Floor - Watch - Room 108

Good	Ceiling - Type	2 x 2 Acoustic	Notes:	
Good	Flooring - Type	Rubber	Notes:	
Good	Base - Type	4" vinyl	Notes:	
Good	Walls - Type	Painted CMU	Notes:	
Good	Doors & Hardware	Mix	Notes:	HMF/HMD & Windows
	General Note:		Notes:	Dispatch station

1st Floor - Kitchen - Room 110

Good	Ceiling - Type	GWB	Notes:	Vaulted
Good	Flooring - Type	Rubber	Notes:	
Good	Base - Type	4" vinyl	Notes:	
Good	Walls - Type	Painted CMU	Notes:	
N/A	Doors & Hardware		Notes:	
	General Note:		Notes:	Replace kitchen cabinets; install hood @ range

1st Floor - Truck Bay - Room 112

Good	Ceiling - Type	Wood	Notes:	
Good	Flooring - Type	Concrete	Notes:	
N/A	Base - Type		Notes:	
Good	Walls - Type	Painted CMU	Notes:	
Good	Doors & Hardware		Notes:	OH Door front & Rear
	General Note:		Notes:	Exposed wood structure (microlams) Skylights

INSPECTION REPORT

**Firehouse #29 (B225)
 2100 Noblestown Ave
 Pittsburgh, PA 15205**

Interiors

1st Floor - Stair tower

Good	Ceiling - Type	GWB	Notes: _____
Good	Flooring - Type	Rubber	Notes: _____
Good	Base - Type	4" vinyl	Notes: _____
Good	Walls - Type	Painted CMU	Notes: _____
Good	Doors & Hardware	HMF / HMD	Notes: _____
	General Note:		Notes: <u>Water problem on walls @ landing to lower level</u>

2nd Floor - Hall - Room 201

Good	Ceiling - Type	GWB	Notes: _____
Good	Flooring - Type	Concrete	Notes: _____
N/A	Base - Type		Notes: _____
Good	Walls - Type	Painted CMU	Notes: _____
Good	Doors & Hardware	HMF / HMD	Notes: _____
	General Note:		Notes: _____

2nd Floor - Locker - Room 202

Good	Ceiling - Type	GWB	Notes: _____
Good	Flooring - Type	12 x 12 VCT	Notes: _____
Good	Base - Type	4" vinyl	Notes: _____
Good	Walls - Type	Painted CMU	Notes: _____
Good	Doors & Hardware	HMF / HMD	Notes: _____
	General Note:		Notes: <u>Lockers & Benches</u>

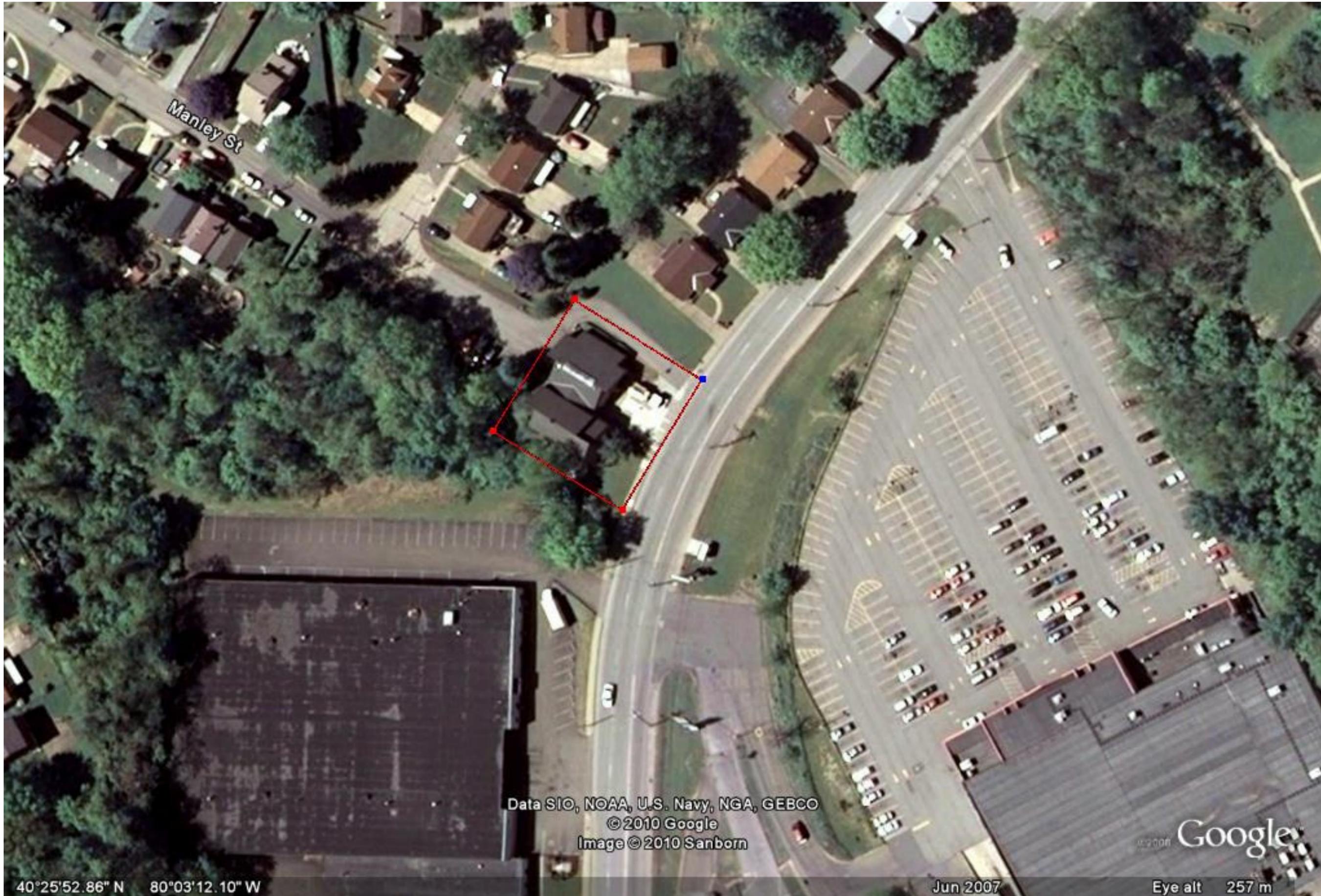
2nd Floor - Shower - Room 203

Good	Ceiling - Type	GWB	Notes: _____
Good	Flooring - Type	12 x 12 VCT	Notes: _____
Good	Base - Type	4" vinyl	Notes: _____
Good	Walls - Type	Painted CMU	Notes: _____
N/A	Doors & Hardware		Notes: _____
	General Note:		Notes: _____

Interiors

2nd Floor - Toilet - Room 204

Good	Ceiling - Type	GWB	Notes: _____
Good	Flooring - Type	12 x 12 VCT	Notes: _____
Good	Base - Type	4" vinyl	Notes: _____
Good	Walls - Type	Painted CMU	Notes: _____
Good	Doors & Hardware	HMF / HMD	Notes: _____



Manley St

Data SIO, NOAA, U.S. Navy, NGA, GEBCO
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Image © 2010 Sanborn

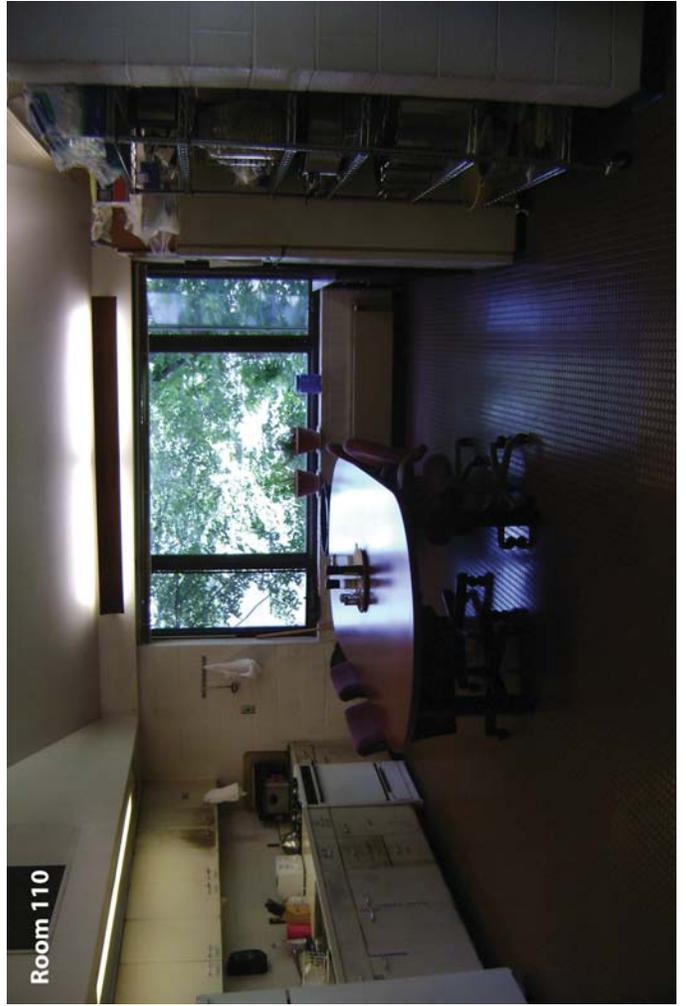
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40°25'52.86" N 80°03'12.10" W

Jun 2007

Eye alt 257 m







Room 110



Room 106



Room 111



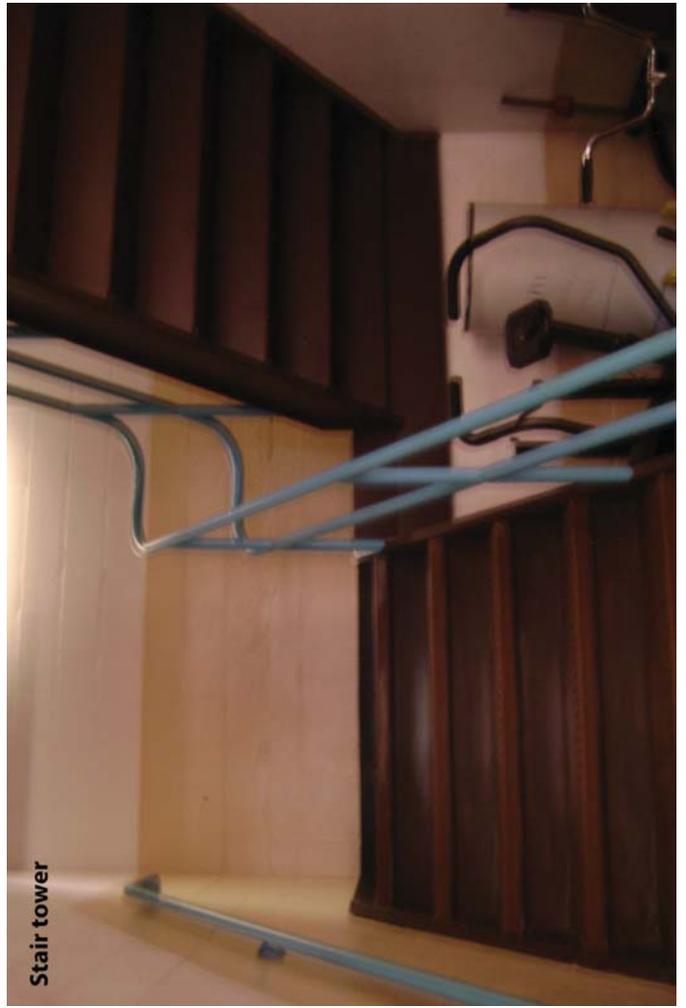
Room 107



Room 107



Room 107



Stair tower



Stair tower



Stair tower



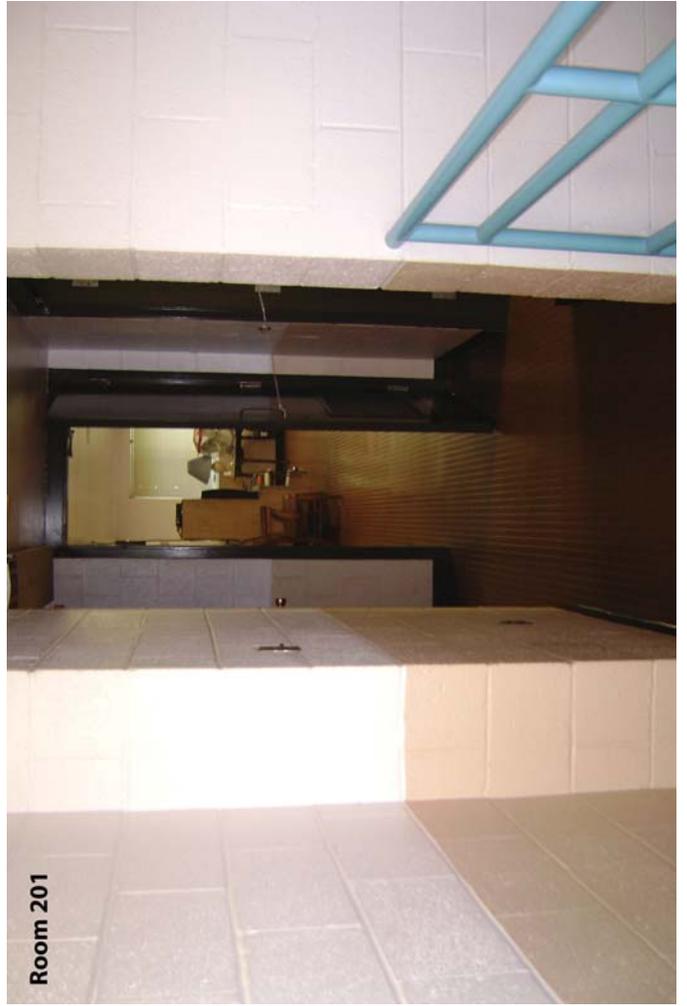
Stair tower



Room 001



Room 001





Room 205



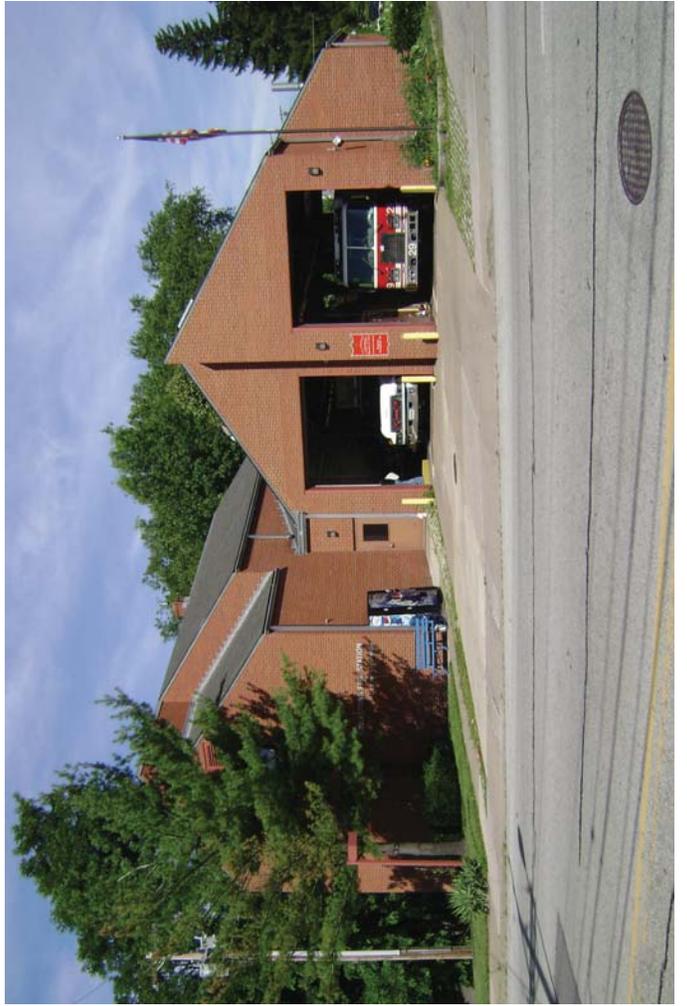
Room 206



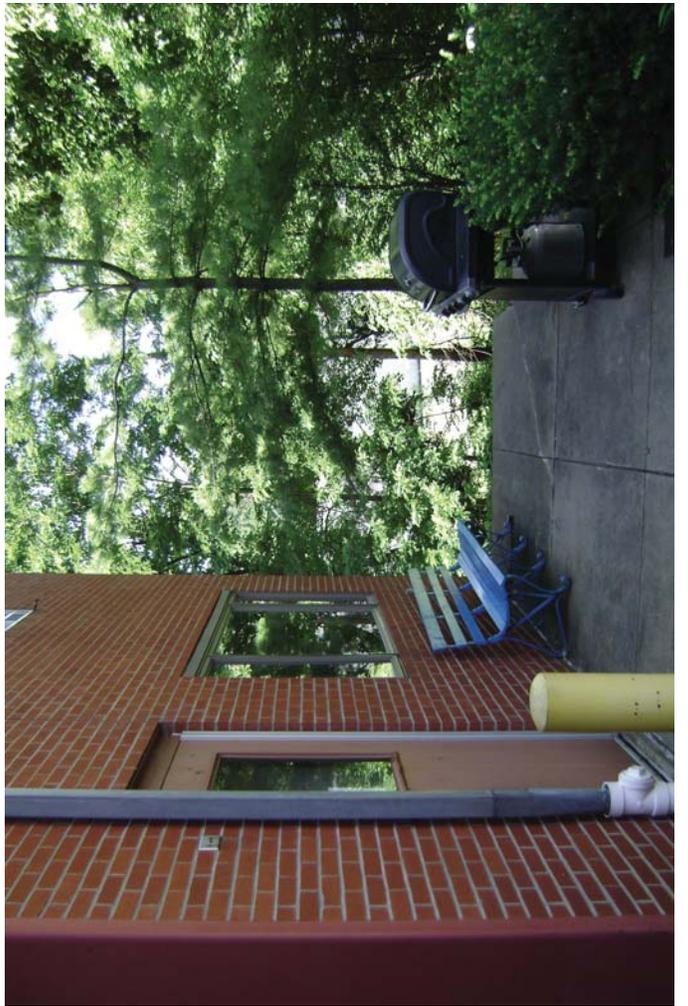
Room 202

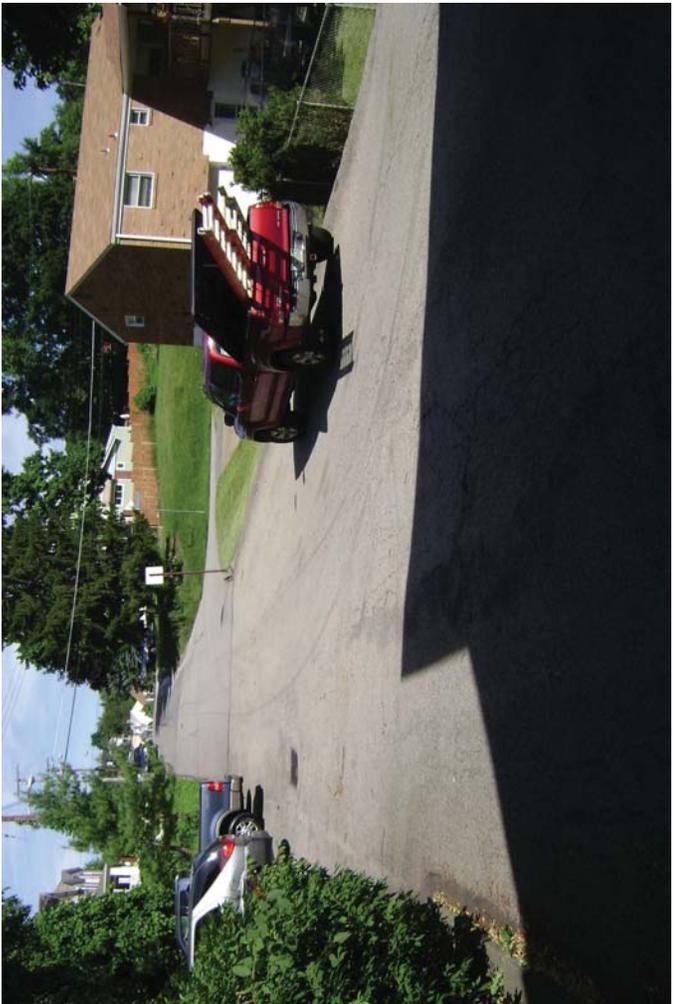


Room 202











ADDENDUM No. 1
June 24, 2011

RE: **City of Pittsburgh Facility Analysis Report**
 Facility Survey and Code Analysis – Sections 2-7
 Section Three: Exterior Wall / Roofing
 Additional information: Window Inspection
 Building Name: **Firehouse #29**
 Building Code: **B225**

FROM: Massaro CM Services, LLC

TO: City of Pittsburgh
 Department of Public Works

This addendum forms a part of the Facility Inspection Reports that were developed by Massaro CM Services, LLC as part of the City of Pittsburgh's Facility Analysis and Management program.

ADDITIONAL INFORMATION TO BE ADDED TO THE CITY OF PITTSBURGH'S FACILITY ANALYSIS REPORT (SECTIONS 2-7); SECTION THREE: EXTERIOR WALL / ROOFING:

On July 17, 2011 a visual inspection of the exterior windows of the **Firehouse #29** was conducted. The windows were inspected from the exterior of the building. The weather that day was clear, bright and sunny. The windows were found to be in Good condition.

Additional finding include:

1. Re-caulking is needed at some locations.

END OF ADDENDUM No. 1



July 2, 2010

Mr. Daniel T. Kiefer
Preconstruction Manager
Massaro CM Services LLC
120 Delta Drive
Pittsburgh, PA 15238

RE: Visual Survey - Firehouse #29

PREFACE

AMI was commissioned by Massaro CM Services to perform a visual survey of the roofing on Firehouse #29, 2100 Noblestown Ave., Pittsburgh, PA 15205. The survey was conducted on July 2, 2010. The weather was sunny with temperatures in the seventies.

The purpose of the survey was to identify current conditions. The survey consisted of a visual inspection of the roofing system, building wall and the associated external building components.

VISUAL INSPECTION

The visual inspection included observing the ceilings and decking, roof surface, flashings, penetrations, terminations and all other related components of the roofing system building walls. The building inspected contains approximately 4,400 square feet of roof area. Building construction drawings are dated June 1986

1. Building walls

1.1 Construction: The building walls are constructed with brick. Atlantic Engineering will comment on the building walls.

1.2 Condition: The building walls appear to be in good condition. Some areas of cracked and open caulking was observed at the windows.

2. Roof Deck

2.1 Construction: The roof decking is wood supported by wood beams and wood trusses.

2.2 Condition: No conditions were observed that would indicate deck problems.

3. Roof Insulation

3.1 Construction: No core cuts were taken.

3.2 Condition: No insulation is indicated on the construction drawings for the roof deck.

4. Roof System

4.1 Construction: The gabled roof system is a three tab strip shingle with gray granuled surface. The shingles appear to be original to building construction (approx. 24 years old).

4.2 Condition: The shingle system is in fair condition. A few shingle tabs are missing and one small repair area was observed.

5. System flashings

5.1 Construction: The rake, drip edge, valley, step and counter flashings are constructed with terne coated stainless steel. The terminations were shop fabricated.

5.2 Condition: The flashing systems are in good condition.

6. Perimeter Terminations

6.1 Construction: The building walls end at the roof line. The roof system ends at the building walls so there are no overhanging eaves or soffit. Terne coated stainless steel metal fascia is installed at the roof perimeters (rakes and eaves).

6.2 Condition: The metal fascia is in good condition.

7. Roof Top Penetrations

7.1 Vent pipes and one heater flue pipe penetrate the roof. A large skylight is installed on the ridge of the truck bay area.

7.2 Condition: The pipe penetrations are in good condition. The skylight is in poor condition - the metal edge trim is loose and the foam seals are falling out.

8. Drainage System

8.1 Construction: The roofs drain to a hanging gutter system. The gutter and downspouts are shop fabricated from terne coated stainless steel.

8.2 Condition: The drainage system appears to be operating properly in most areas. Some gutters contain debris. The gutter on the south west corner (left front) is full of plant growth and is a cause of reported leaks in the windows below.

9. Access

10.1 Providing an extension ladder is the only access to the roof.

10. Weather Tightness - Building

10.1 The caulking and sealants appear to be original construction and are aged, cracked and open. The brick walls are in good condition. The caulking and sealants should be replaced and the skylight should be repaired to maintain water tight integrity.

CONCLUSIONS

There are no current roof leaks reported.

The roof decking appears to be in good condition. We did not observe any signs that would suggest a serious problem with the decking system at this time.

The shingle roof system is in fair condition. Repairs should be limited to leak chasing.

The metal terminations and flashings are in good condition.

The pipe penetrations are in good condition. The skylight is in poor condition and requires repairs.

The drainage system is in good condition. The drains appear to be operating properly. The gutter contains debris limiting flow to the drains and causing water to overflow the sides.

It is our opinion the roofing system is in a maintainable condition.

Estimates:

1 year: Maintain a pro-active maintenance program. Inspect the roof and gutter systems on a regular schedule - minimum twice a year (late spring and late fall). **NOTE: The caulking and sealants on the building walls should be addressed in order to maintain water tight integrity. The skylight should be repaired to prevent leakage.**

5 year: Replace the shingle roof system. Estimated cost: \$25 - 30,000 (4,400 SF x \$6-7/SF)

10 year: Maintain a pro-active maintenance program. Inspect the roof system and walls on a regular schedule - minimum twice a year (late spring and late fall). Estimated cost: none (perform in-house)

Please contact me with questions regarding the above report.

Thank you,

Sincerely,

Ron Paul

Ronald J. Paul
President



R-1 Overview of front and east roof areas



R-4 Gutter and downspout system, caulking at window is open NW corner



R-2 Counter, step, fascia and gutter systems



R-5 East side, shingle corners lifting at the rake



R-3 Plants growing in gutter on SW corner (left front)



R-6 Shingle installation at eave showing starter course with inverted shingle



R-7 East side, gutter and downspouts



R-10 NW corner, elevation changes



R-8 North side (rear), elevation changes



R-11 NW corner, counter and step flashing on lower area



R-9 North side (rear), elevation changes



R-12 Loose metal trim on skylight (west side) over the truck bay



R-13 Loose metal trim on skylight (west side) truck bay with dirt between skylight panels



R-16 Valley flashing



R-14 Dirty and deflected panels in skylight (east side) of truck bay



R-17 Shingle installation at eave showing inverted shingle used as starter



R-15 Small repair to shingles



R-18 Missing shingle tabs to right of vent pipe, west side of roof



R-19 Gutter full of vegetation on SW corner



W-2 Cracked caulking at window



R-20 Wood deck and beams underside of roof in the truck bay



W-3 Paint peeling at louvers on west wall



W-1 SW corner of building



W-4 Damaged louver vanes on west wall

Atlantic Engineering Services

650 Smithfield St
 Suite 1200
 Pittsburgh, PA 15222
 412-338-9000
 AES RPT # 008

Client: **Massaro CM**
 120 Delta Drive
 Pittsburgh, PA 115238-2806
 412/963-2800

Building Observation Report

Facility Firehouse #29
 Street Address 2100 Noblestown Avenue
 City, State Pittsburgh, PA 15205

AES Personnel: GJT Weather Conditions: Mostly Sunny
 Date: 2-Jul-10 Temp: 75 °
 Time: 9:30 AM Wind: Calm
 Facility Main Contact: _____ Building Use: Fire Station
 Facility Phone: _____ Building Code: B225

Structural

Overall	Number of Stories	Notes:	<u>3</u>
	Structure Type	Notes:	<u>Load-bearing CMU with Steel Joist & Concrete Floors</u>
	Basement	Notes:	<u>Partial - (weight room, mechanical, & crawl space)</u>
Foundation	Material	Notes:	<u>Unknown</u>
	Settlement	Notes:	<u>Some cracking in CMU walls</u>
	Moisture	Notes:	<u>Observed in Stairwell to Basement</u>
Floor System	Structure	Notes:	<u>Joist/Concrete Slab Floors & Heavy Timber @ Garage</u>
	Floor Finishes	Notes:	<u>Tile / Vinyl</u>
	Stairs	Notes:	<u>Metal Pan</u>
Walls	Exterior Material	Notes:	<u>Brick</u>
	Interior Material	Notes:	<u>CMU</u>
Columns	Type	Notes:	<u>Heavy Timber in Garage - None elsewhere</u>
Roof	Structure Type	Notes:	<u>Wood Framing</u>
	Slope	Notes:	<u>1:1 +/-</u>
	Roofing Material	Notes:	<u>Shingles with Skylights over Garage</u>

Atlantic Engineering Services
650 Smithfield St
Suite 1200
Pittsburgh, PA 15222
412-338-9000
AES RPT # 008

Client: **Massaro CM**
120 Delta Drive
Pittsburgh, PA 115238-2806
412/963-2800

Building Observation Report

Facility	Firehouse #29
Street Address	2100 Noblestown Avenue
City, State	Pittsburgh, PA 15205

Structural

Notes:

Exterior

- 1) Minor brick cracking at ends of some lintels. Recommend routing and sealing (1-5 years). **Photo S-1**
- 2) Paint peeling at louvers along with caulking deterioration. Minor deterioration of lintels too. Recommend power-tool cleaning and repaint both (1- 5 years). **Photo S-2.**
- 3) Sidewalk caulking deterioration joint between exterior of stairwell wall and first floor sidewalk (north and east faces). This condition is believed to be the cause of water seepage in basement stairwell. Recommend removing and replacing caulking (1 yr). **Photo S-3.**

Interior

- 4) Numerous locations where horizontal, vertical, and diagonal cracking was observed at interior CMU walls. Recommend routing joints and repointing (1-5 years). **Photos S-4 and S-5.**
- 5) Paint bubbling and peeling at stairwell walls due to water infiltration from slab on grade above. See Item #3 above. **Photo S-6.**
- 6) Water damage of ceiling tile on south side of kitchen. Appears to be due to vegetation in gutter. See roofing report for recommendations. **Photo S-7**



Atlantic Engineering Services

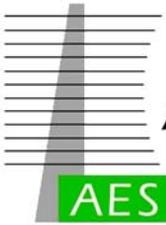
Site Visit Report No.: Site B225 – Firehouse #29
Project No.: 09-260
Date of Site Visit: July 2, 2010
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Photo S1



Photo S2



Atlantic Engineering Services

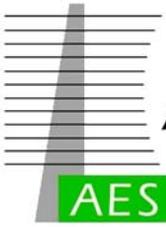
Site Visit Report No.: Site B225 – Firehouse #29
Project No.: 09-260
Date of Site Visit: July 2, 2010
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Photo S3



Photo S4

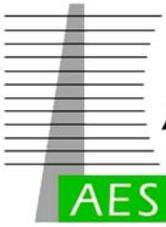


Atlantic Engineering Services

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Photo S5



Atlantic Engineering Services

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Photo S6



Photo S-7

INSPECTION REPORT

**Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938**

Year Constructed: 1981
Neighborhood: Crafton
Block / Lot: 0039-D-00324-0000-00
Square Footage: 11,448
Department Assigned:
Facility Main Contact: Captain on duty
Phone: (412) 937-3069

Weather Conditions Day of Inspection:
Temp: 90
Precipitation: None
Wind: 1-2 MPH
Date of Inspection: July 2, 2010

Fire Protection

<input type="checkbox"/>	Service Entrance	Notes:	_____
<input type="checkbox"/>	Meter location	Notes:	_____
<input type="checkbox"/>	Meter size	Notes:	_____
<input type="checkbox"/>	Meter condition	Notes:	_____
<input type="checkbox"/>	Backflow preventer	Notes:	_____
<input type="checkbox"/>	Fire Pump	Notes:	_____

<input type="checkbox"/>	Standpipe	Notes:	_____
<input type="checkbox"/>	Flow switch	Notes:	_____
<input type="checkbox"/>	Shutoff valve	Notes:	_____

<input type="checkbox"/>	Hose Cabinets	Notes:	_____
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<input type="checkbox"/>	Poor Sprinkler Heads	Notes:	Old sprinkler heads look poor. Maintenance not available to comment if system is abandoned.
--------------------------	----------------------	--------	--

<input type="checkbox"/>	Dry System	Notes:	_____
--------------------------	------------	--------	-------

Notes:

Notes:
Boiler Rm. Fire Extinguisher mounted on wall no Cabinet (Good)
See photos labeled FP for Fire Protection.

INSPECTION REPORT
Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

Plumbing

Year Constructed:	1981	Weather Conditions Day of Inspection:	
Neighborhood:	Crafton	Temp:	90
Block / Lot:	0039-D-00324-0000-00	Precipitation:	None
Square Footage:	11448	Wind:	1-2 MPH
Department Assigned:	0	Date of Inspection:	July 2, 2010
Facility Main Contact:	Captain on duty		
Phone	(412) 937-3069		

Plumbing

	Service Entrance		Notes:
		Meter location	Notes: Apparatus Room
Good		Meter size	Notes: 2 Meters - 1 low flow, 1 high flow meter
			Neptune T/10
Good		Meters condition	Notes:
		Backflow preventer	Notes: Could not access to determine. Desk and tanks blocking way and view.
			Notes: Drawings show Series 900 Watts Regulator Co. or equal.
		Pressure Reducing Valve	Notes:
		Water Filtration	Notes:
		Water Softener	Notes:
		Humidistat	Notes:
Good	Water Heaters		Notes:
		Make RUUD	Notes: Guardian System series, Pacemaker Model
		Model PZ-05F1	50 Gallon, Natural Gas
		Serial RULN0708525623	Input 38,000 BTU/HR
		Age 2 years	Mfg date July 2008, Installed November 10 2008
		Capacity 50 U.S. Gallons	
	Expansion Tank		Notes:
		Natural gas	Notes:
		Electric	Notes:
		Flue vent	Notes:
	Recirculation Pump		Notes:
	Sump Pump		Notes:

	Number of Men's Locker Room Toilet Facilities	1	Notes: See notes at bottom of spreadsheet.
Good	Number of water closets	1	Notes:
Good	Number of urinals	2	Notes:
Fair	Number of lavatories	2	Notes:
Fair	Number of shower heads	2	Notes:
	Number of unisex Rooms	1	Notes: See notes at bottom of spreadsheet.
Good	Number of water closets	1	Notes: ADA approved
Fair	Number of lavatories	1	Notes:
Poor	Number of shower heads	1	Notes:
	Number of Shower Rooms	2	Notes: See notes at bottom of spreadsheet.
Poor	Number of shower heads	3	Notes: 1 poor, 2 fair.

INSPECTION REPORT
Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

Plumbing

<input type="text" value="Fair"/>	Drinking Fountains		1	Notes: <u>Replace in 0-5 years.</u>
<input type="text" value="Fair"/>	Pipe			Notes: _____
		Condition		Notes: _____
<input type="text" value="Poor to Fair"/>		Insulation		Notes: <u>40% poor, 60% fair. Replace poor insulation 0-1 year.</u>
<input type="text"/>	Grease Traps			Notes: _____
<input type="text"/>	Solids Interceptor			Notes: _____
<input type="text"/>	Oil/Water Separator			Notes: _____
<input type="text"/>	Sewage Grinder			Notes: _____
<input type="text"/>	Neutralizer Tank (Acid Waste)			Notes: _____
<input type="text" value="Fair"/>	Sanitary Sewer			Notes: <u>Surface rust. Clean and paint.</u>
<input type="text" value="Fair"/>	Rain Water Sewer			Notes: <u>Surface rust. Clean and paint.</u>
<input type="text"/>	Access Doors			Notes: _____
<input type="text"/>	Kitchenette			Notes: <u>See notes at bottom of spreadsheet.</u>
<input type="text" value="Fair"/>		Number of sinks	1	Notes: _____
<input type="text" value="Fair"/>	Hose Bibs		3	Notes: <u>Replace as necessary in 0-5 years.</u>
<input type="text" value="Fair"/>	Janitor's Service Sink		1	Notes: <u>Replace as necessary in 0-5 years.</u>

Notes:

Notes:

The 25 year old plumbing fixtures look in fair condition. They are outdated and nearing the end of their 20 - 30 year life expectancy. Replace these fixtures in 5 - 10 years. Replace faucets as required.

Consider frequency fixtures and ADA compliant frequency fixture systems for water conservation, when replacing.

Showerheads are in fair to poor condition. Replace fair in 0-5 years. Replace poor in 0-1 year. Use low flow shower heads, when replacing.

The sanitary sewer pipe below grade should be video inspected and its condition assessed within 5 years.

The rain water sewer pipe below grade should be video inspected and its condition assessed within 5 years.

See photos labeled P for Plumbing.

INSPECTION REPORT
Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

HVAC Water Side Systems and Equipment

Year Constructed:	1981	Weather Conditions Day of Inspection:
Neighborhood:	Crafton	Temp: 90
Block / Lot:	0039-D-00324-0000-00	Precipitation: None
Square Footage:	11448	Wind: 1-2 MPH
Department Assigned:	0	Date of Inspection: July 2, 2010
Facility Main Contact:	Captain on duty	
Phone	(412) 937-3069	

HVAC Water Side Systems and Equipment

Fair	Controls:	Notes: <u>White Rodger Thermostats</u>
	Electric	Notes: _____
	Pneumatic	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

Piping	Notes: _____
	Pipe routing Notes: _____
	Pipe supports Notes: _____
	Pipe insulation Notes: _____
	Visible leaks Notes: _____
	Gauges Notes: _____

Chiller	Notes: _____
	Piping Notes: _____
	Insulation Notes: _____
	Vibration isolators Notes: _____
	Relief valve and piping Notes: _____
	Refrigerant detection system Notes: _____
	Gauges Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____
INPUT _____	OUTPUT _____

INSPECTION REPORT
Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

HVAC Water Side Systems and Equipment

<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Cooling Tower	Notes: _____
	Fill condition	Notes: _____
	Make-up water piping	Notes: _____
	Float valve	Notes: _____
	Sump	Notes: _____
	Piping	Notes: _____
	Pipe insulation	Notes: _____
	Vibration isolators	Notes: _____
	Gauges	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____
INPUT _____	OUTPUT _____

<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Hot Water Unit Heater(s)	Notes: _____
	Piping	Notes: _____
	Controls	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	Hot Water Boilers	Notes: Natural Gas fired.
	Flue	Notes: Boiler may have been installed approx. 1985
	Make-up water piping	Notes: graphic representations on mechanical drawings
	Boiler safeties	Notes: provided. No HVAC schedule drawings provided.
		Notes: Tag is worn, faded and not legible.
		Notes: Types of heating spreadsheet does not reveal any
		Notes: data for this boiler.
		Notes: Surface rust.

Notes: Honeywell controls.
Notes: _____

INSPECTION REPORT
Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

HVAC Water Side Systems and Equipment

Fair	Piping	Notes: Surface rust.
	Gauges	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____
INPUT _____	OUTPUT _____

	Boiler Supplement for Insurance	Notes: _____
	Boiler Inspection Reports	Notes: _____

Good	Pumps	Notes: Armstrong pump (Good),
	Piping	Notes: Model# EQD4851701053R P, E6312-LR37479
	Insulation	Notes: 115VAC, RPM 1725-SS
	Valves	Notes: _____
	Vibration isolators	Notes: _____
	Gauges	Notes: _____

Manufacturer: <u>Armstrong</u>	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____
HP _____	Other _____

	Heat Exchangers	Notes: _____
	Piping	Notes: _____
	Insulation	Notes: _____
	Valves	Notes: _____
	Gauges	Notes: _____
	Thermometers	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

INSPECTION REPORT
Fire Engine Company 29 (B225)
2100 Noblestown Road
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HVAC Water Side Systems and Equipment

	Chemical Treatment	Notes: _____
	Chemicals	Notes: _____
	Metering pumps	Notes: _____
	Corrosion coupon rack	Notes: _____
	Shot feeder	Notes: _____

Manufacturer: _____
 Model: _____
 Year Installed: _____

Serial # _____
 Other _____
 Other _____

Fair	Wall Heater/Convactor	Notes: Locker Room 202
	Manufacturer: Unknown	Notes: 6"D, 38"L, 26"H
	Model: Unknown	Notes: 5.5 MBH
	Serial #: Unknown	Notes: _____
	Year Installed: Possibly 1985 from drawings	Notes: _____

Fair	Wall Heater/Convactor	Notes: Shower & Toilet Room 203
	Manufacturer: Unknown	Notes: 4"D, 32"L, 10"H
	Model: Unknown	Notes: 1.9 MBH
	Serial #: Unknown	Notes: HVAC schedule drawing not provided.
	Year Installed: Possibly 1985 from drawings	Notes: _____

Fair	Wall Heater/Convactor	Notes: Shower & Toilet Room 203
	Manufacturer: Unknown	Notes: Service Rm 106, Toilet Rm 107
	Model: Unknown	Notes: 4"D, 26"L, 10"H
	Serial #: Unknown	Notes: 1.5 MBH
	Year Installed: Possibly 1985	Notes: _____

Fair	Radiators & Fin Tube Convectors	Notes:	Replace poor in 0-1 year.
to Poor			Replace fair in 0-5 years.
			1 poor in unisex bathroom
			1 poor in kitchen
			Remaining fair.

INSPECTION REPORT
Fire Engine Company 29 (B225)
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HVAC Water Side Systems and Equipment

Notes:

Notes:

The boiler is reaching the end of life expectancy (5 years remaining) and is in fair to poor condition.

Replace the boiler in 0-5 years with an energy efficient hot water boiler, pumps with variable speed drives, insulate the pipes, provide controls and a Building Automation System with remote control.

See photos labeled M for Mechanical.

INSPECTION REPORT
Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

HVAC Steam Side Systems and Equipment

Year Constructed:	1981	Weather Conditions Day of Inspection:	
Neighborhood:	Crafton	Temp:	90
Block / Lot:	0039-D-00324-0000-00	Precipitation:	None
Square Footage:	11448	Wind:	1-2 MPH
Department Assigned:	0	Date of Inspection:	July 2, 2010
Facility Main Contact:	Captain on duty		
Phone:	(412) 937-3069		

HVAC Steam Side Systems and Equipment

<input type="checkbox"/>	Controls:	Notes:	_____
<input type="checkbox"/>	Electric	Notes:	_____
<input type="checkbox"/>	Pneumatic	Notes:	_____

Manufacturer:	_____	Serial #	_____
Model:	_____	Other	_____
Year Installed:	_____	Other	_____

<input type="checkbox"/>	Steam Unit Heaters	Notes:	_____
<input type="checkbox"/>	Piping	Notes:	_____
<input type="checkbox"/>	Controls	Notes:	_____

Manufacturer:	_____	Serial #	_____
Model:	_____	Other	_____
Year Installed:	_____	Other	_____

<input type="checkbox"/>	Steam Boilers	Notes:	_____
<input type="checkbox"/>	Flue	Notes:	_____
<input type="checkbox"/>	Make-up water piping	Notes:	_____
<input type="checkbox"/>	Boiler safeties	Notes:	_____
<input type="checkbox"/>	Piping	Notes:	_____
<input type="checkbox"/>	Gauges	Notes:	_____

Manufacturer:	_____	Serial #	_____
Model:	_____	Other	_____
Year Installed:	_____	Other	_____
INPUT	_____	OUTPUT	_____

<input type="checkbox"/>	Steam Traps	Notes:	_____
<input type="checkbox"/>	End of main drips	Notes:	_____

INSPECTION REPORT

Fire Engine Company 29 (B225)

2100 Noblestown Road

Pittsburgh, PA 15205-3938

HVAC Steam Side Systems and Equipment

	Piping	Notes:	_____
		Pipe routing	Notes: _____
		Pipe supports	Notes: _____
		Pipe insulation	Notes: _____
		Visible leaks	Notes: _____
		Expansion loops	Notes: _____
		Expansion joints	Notes: _____
		Provisions for expansion	Notes: _____
		Anchor points	Notes: _____

	Condensate Return Unit	Notes:	_____
		Piping	Notes: _____
		Pipe insulation	Notes: _____
		Vent to outside	Notes: _____
		Overflow	Notes: _____
		Drain	Notes: _____
		Gauges	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

	Boiler Feed Water Unit	Notes:	_____
		Water piping	Notes: _____
		Steam piping	Notes: _____
		Boiler make-up piping	Notes: _____
		Return water piping	Notes: _____
		Pipe insulation	Notes: _____
		Vent to outside	Notes: _____
		Overflow	Notes: _____
		Drain	Notes: _____
		Gauges	Notes: _____
	Thermometers	Notes: _____	

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

INSPECTION REPORT
Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

HVAC Steam Side Systems and Equipment

	Boiler Blow down Separator	Notes:	_____
	Make-up water piping	Notes:	_____
	Bottom blow down piping	Notes:	_____
	Surface blow down piping	Notes:	_____
	Pipe insulation	Notes:	_____
	Vent to outside	Notes:	_____
	Overflow	Notes:	_____
	Drain	Notes:	_____
	Gauges	Notes:	_____
	Thermometers	Notes:	_____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

	Heat Exchangers	Notes:	_____
	Piping	Notes:	_____
	Insulation	Notes:	_____
	Valves	Notes:	_____
	Gauges	Notes:	_____
	Thermometers	Notes:	_____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

	Radiators	Notes:	_____
	Fin Tube	Notes:	_____

	Boiler Supplement for Insurance	Notes:	_____
	Boiler Inspection Reports	Notes:	_____

INSPECTION REPORT

Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

HVAC Air Side Systems and Equipment

Year Constructed:	1981	Weather Conditions Day of Inspection:	
Neighborhood:	Crafton	Temp:	90
Block / Lot:	0039-D-00324-0000-00	Precipitation:	None
Square Footage:	11448	Wind:	1-2 MPH
Department Assigned:	0	Date of Inspection:	July 2, 2010
Facility Main Contact:	Captain on duty		
Phone:	(412) 937-3069		

HVAC Air Side Systems and Equipment

<input type="checkbox"/>	Packaged Rooftop Units	Notes:	_____
<input type="checkbox"/>	Gas Heat	Notes:	_____
<input type="checkbox"/>	Electric Heat	Notes:	_____
<input type="checkbox"/>	Steam Heat	Notes:	_____
<input type="checkbox"/>	Hot Water Heat	Notes:	_____
<input type="checkbox"/>	Condensate Drains	Notes:	_____
<input type="checkbox"/>	Utility Connections	Notes:	_____

Manufacturer: _____ Serial # _____
 Model: _____ CFM _____
 Year Installed: _____ Other _____

<input type="checkbox"/>	Fair to Indoor Air Handling Units	Notes:	_____
<input type="checkbox"/>	Poor Gas Heat	Notes:	_____
<input type="checkbox"/>	Electric Heat	Notes:	_____
<input type="checkbox"/>	Steam Heat	Notes:	_____
<input type="checkbox"/>	Hot Water Heat	Notes:	_____

Manufacturer: Carrier Serial # X569047
 Model: 50EC-006-501V CFM _____
 Year Installed: 1985 Other 208/240 VAC 3Ph 60Hz

<input type="checkbox"/>	Remote Condensing Unit	Notes:	_____
<input type="checkbox"/>	Refrigerant Piping	Notes:	_____

Manufacturer: _____ Serial # _____
 Model: _____ CFM _____
 Year Installed: _____ Other _____

INSPECTION REPORT

Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

HVAC Air Side Systems and Equipment

<input type="checkbox"/> Good	Vehicle exhaust extraction system	Notes:	<u>Vehicle exhaust extraction system</u>
			<u>Fan is auto start, 3Hp 3 Ph 208Vac, Nederman Model# 9953300126</u>
<input checked="" type="checkbox"/> X	Exhaust/Ventilation Fans	Notes:	<u>Poor condition aprox. 25 years old.</u>
<input type="checkbox"/>		Notes:	<u>Replace 0-1 yr. See notes below.</u>
<input type="checkbox"/> Fair	Ductwork	Notes:	<u>See notes at bottom of spreadsheet.</u>
<input type="checkbox"/> to Poor	Duct Insulation	Notes:	<u>_____</u>
<input type="checkbox"/> Good	Louvers	Notes:	<u>_____</u>
<input type="checkbox"/>	Roof Hoods	Notes:	<u>_____</u>
<input type="checkbox"/> Poor	Dampers	Notes:	<u>Replace 0-1 year.</u>
<input type="checkbox"/>	Cooling Coils	Notes:	<u>_____</u>
<input type="checkbox"/>	Is coil clean	Notes:	<u>_____</u>
<input type="checkbox"/>	Is drain pan clean	Notes:	<u>_____</u>
<input type="checkbox"/>	Does pan drain	Notes:	<u>_____</u>
<input type="checkbox"/>	Condensate to floor drain	Notes:	<u>_____</u>
<input type="checkbox"/>	Filters	Notes:	<u>_____</u>
<input type="checkbox"/>	Are filters installed	Notes:	<u>_____</u>
<input type="checkbox"/>	Are filters clean	Notes:	<u>_____</u>
<input type="checkbox"/> Fair	Controls:	Notes:	<u>White Rodger Thermostats</u>
<input type="checkbox"/>	Electric	Notes:	<u>Replace controls and provide building</u>
<input type="checkbox"/>	Pneumatic	Notes:	<u>automation system with remote control.</u>
<input type="checkbox"/>	Discharge air thermometer	Notes:	<u>_____</u>
<input type="checkbox"/>	Return air thermometer	Notes:	<u>_____</u>
<input type="checkbox"/>	Outside air thermometer	Notes:	<u>_____</u>

Manufacturer: _____
 Model: _____
 Year Installed: _____

Serial # _____
 Other _____
 Other _____

INSPECTION REPORT

Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

HVAC Air Side Systems and Equipment

<input type="checkbox"/>	Natural Gas Fired Unit Heaters	Notes: _____
<input type="checkbox"/>	Flue Duct	Notes: _____

Manufacturer: _____	Serial # _____
Model: _____	Other _____
Year Installed: _____	Other _____

<input type="checkbox"/>	Electric Heaters	Notes: _____
--------------------------	------------------	--------------

Notes:

Notes: _____

Restrooms exhaust fans and associated grilles poor. Replace in 0-1 year. Clean ductwork.

Lieutenants Office: 1 PTAC Unit 230/280Vac Mfg Train, Model# 654, Motor amps 0.5, 6.5 Watts poor. Replace.

Bunkroom has a through the wall GE Zoneline PTAC Unit in good condition.

Model # AZ25E12D3BM1 Serial# ZA656191 manufacture date of Dec 2001, R22 Refrigerant

Cooling BTU/HR 11700/11500, Electric heat BTU/HR 11700/9600, 230/208V /1 PH/60 Hz

Watts 3620/2960 Heating, 1075/1055 Cooling Watts, Amps 15.9/14.4 Heating, 4.9/5.3 Cooling Amps

The 2nd floor does not conform to current codes and standards for ventilation. See drawing H3 - 8013.

Redesign and provide new 2nd floor ventilation system to current codes and standards.

Ductwork is in fair to poor condition and needs cleaned. Strong odor of mold & mildew on second floor. Mold may have infiltrated HVAC system and components on this and lower floors. Test for mold on all floors and contact a professional contractor for mold remediation and cleaning of the ductwork and HVAC system components.

Replace as necessary.

Damper, diffusers, grilles and registers are at their end of 20-25 year life and are in poor to fair condition.

Replace as necessary.

The indoor (fair to poor) AHU has served its purpose of the years and is at the end of its life expectancy.

Replace in 0-3 years. This is a prime opportunity when replacing it, to replace it with energy savings features such as a split system. Replace the AHU with an AHU with DX coiling coil and hot water heating coil (supplied by boiler) and a Heat Pump placed outside ground level.

See photos labeled M for Mechanical.

INSPECTION REPORT

Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

HVAC Heating

Year Constructed: 1981	Weather Conditions Day of Inspection:
Neighborhood: Crafton	Temp: 90
Block / Lot: 0039-D-00324-0000-00	Precipitation: None
Square Footage: 11448	Wind: 1-2 MPH
Department Assigned: 0	Date of Inspection: July 2, 2010
Facility Main Contact: Captain on duty	
Phone (412) 937-3069	

HVAC Electric Heating

<input type="checkbox"/> Fair Gas Fired Unit Heater Manufacturer: <u>Trane</u> Model: <u>GCNC020ADB1000A</u> Serial #: <u>A85F07255</u> Capacity: <u>Input 200,000 BTU/HR Output</u> Voltage: <u>115V / 1 PHASE / 60Hz</u> Year Installed: _____	Notes: <u>Natural Gas</u> <u>9.8 Amps</u> <u>In Apparatus room</u> <u>Served purpose over the years.</u> <u>Past life expectancy.</u> <u>Replace in 0-5 years.</u>
--	---

<input type="checkbox"/> Fair Gas Fired Unit Heater Manufacturer: <u>Trane</u> Model: <u>GCNC020ADB1000A</u> Serial #: <u>A85F07254</u> Capacity: <u>Input 200,000 BTU/HR Output</u> Voltage: <u>115V / 1 PHASE / 60Hz</u> Year Installed: _____	Notes: <u>Natural Gas</u> <u>9.8 Amps</u> <u>In Apparatus room</u> <u>Served purpose over the years.</u> <u>Past life expectancy.</u> <u>Replace in 0-5 years.</u>
--	---

<input type="checkbox"/> Gas Fired Unit Heater Manufacturer: _____ Model: _____ Serial #: _____ Capacity: _____ Voltage: _____ Year Installed: _____	Notes: _____ _____ _____ _____ _____
--	--

<input type="checkbox"/> Unit Heater Manufacturer: _____ Model: _____ Serial #: _____ Capacity: _____ Voltage: _____ Year Installed: _____	Notes: _____ _____ _____ _____ _____
--	--

INSPECTION REPORT

Fire Engine Company 29 (B225)
2100 Noblestown Road
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HVAC Heating

<input type="checkbox"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="checkbox"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="checkbox"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="checkbox"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="checkbox"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

INSPECTION REPORT

Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

HVAC Heating

<input type="checkbox"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="checkbox"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="checkbox"/> Electric Heaters	Notes:	_____
Manufacturer: <u>Singer</u> _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="checkbox"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

<input type="checkbox"/> Electric Heaters	Notes:	_____
Manufacturer: _____		_____
Model: _____		_____
Serial #: _____		_____
Capacity: _____		_____
Voltage: _____		_____
Year Installed: _____		_____

INSPECTION REPORT

Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

HVAC Heating

Notes:

Notes: Infrared specialty heating system. See drawing H2. Need clarification on details, such as HVAC schedule and equipment product data to assess.

Exhaust fans E10 and E11 in apparatus room fair to poor. They have served their purpose and are past their life expectancy. Replace in 0-1 year.

See photos labeled M for Mechanical.

INSPECTION REPORT
Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

Electrical

Year Constructed:	1981	Weather Conditions Day of Inspection:	
Neighborhood:	Crafton	Temp:	90
Block / Lot:	0039-D-00324-0000-00	Precipitation:	None
Square Footage:	11448	Wind:	1-2 MPH
Department Assigned:	0	Date of Inspection:	July 2, 2010
Facility Main Contact:	Captain on duty		
Phone	(412) 937-3069		

Electrical

<input type="checkbox"/>	Service Entrance		
<input type="checkbox"/>	Voltage	Notes:	120V / 208V 3 Phase 4 Wire
<input type="checkbox"/>	Amperage	Notes:	Small commercial type with weather proof service head
X	Above ground	Notes:	and steel conduit pole connected to wood utility pole.
X	Below ground	Notes:	Service continues underground then into building.
<input type="checkbox"/>	Grounding	Notes:	See dwg. E7 8013.
<input type="checkbox"/>	Lightning Protection	Notes:	Steel conduit in fair condition. Surface rust.

<input type="checkbox"/>	Transformer	Notes:	
<input type="checkbox"/>	Voltage in	Notes:	
<input type="checkbox"/>	Voltage out	Notes:	
<input type="checkbox"/>	kva rating	Notes:	

Good	Meter	Notes:	ABB S#G-02617333, D.L. Co., M-069
			HUG002617333, CLZ0, 240V, 3Ph, 60Hz
			FM 5S (35S) Electronic Meter Kh 1.2
			TV Z40, P/R 24 TA 2.5A

Good	Main Switchgear	Notes:	
<input type="checkbox"/>	Main breaker	Notes:	
<input type="checkbox"/>	Voltage	Notes:	

Power Distribution Panels

Fair BP-A-1 225Amp 120V/208V Y, 3 Ph 4 wire (data obtained from drawing E7-8013, tag worn out)

Fair BP-A-2 GE Type NLAB style 5, 225Amp 120V/208V Y, 3 Ph 4 wire

Good BP-E/M GE Type NLAB style 5, 100Amp 120V/208V Y, 3 Ph 4 wire

Good BT-B is a GE NLAB style 5 225Amp 120V/208V Y, 3 Ph 4 wire

INSPECTION REPORT
Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

Electrical

Notes:

Notes: Provide Emergency Lighting and Exit Signs.

Bedroom/Bunk Room: Bogen Communication system (Good), w/ Archer communicator (Fair)

Lighting 85% Fair, 15% Poor condition, approximately 25 years old, past life expectancy and should be updated. Replace in 0-2 years. Replace fixtures, fixture covers, and lamps as necessary. When replacing T12 lighting, replace it with more energy efficient T8 or T5 lighting. Provide occupancy sensors for energy efficient lighting control.

In the weight Room/Mechanical/Electrical room:

Breaker panel

Safety Switch, Square D, 60A 240V 3Ph, Std HP 7.5, Max Hp 15, in good condition

Generator (Fair) McGraw-Edison Onan 15Kw gen set, Oran transfer switch (Good) Surface rust on exhaust pipes.

Typical life expectancy for this type generator is between 10-20 years, if properly maintained. This generator looks as if it has been properly maintained and served 25 years (five years past life expectancy). Replace within 0-2 years.

The fair electrical panels are at the end of their 25 year life expectancy. Replace within 0-2 year. Inspect associated electrical equipment and wiring and replace as necessary.

The fair outlets/switches and conduit are past their life expectancy. Replace within 0-2 year. Inspect associated electrical equipment and wiring and replace as necessary.

Closet/Bunkroom: Electrical hazard. Outlet above of radiator. Relocate outlet immediately.

See photos labeled E for Electrical.



E001



E003



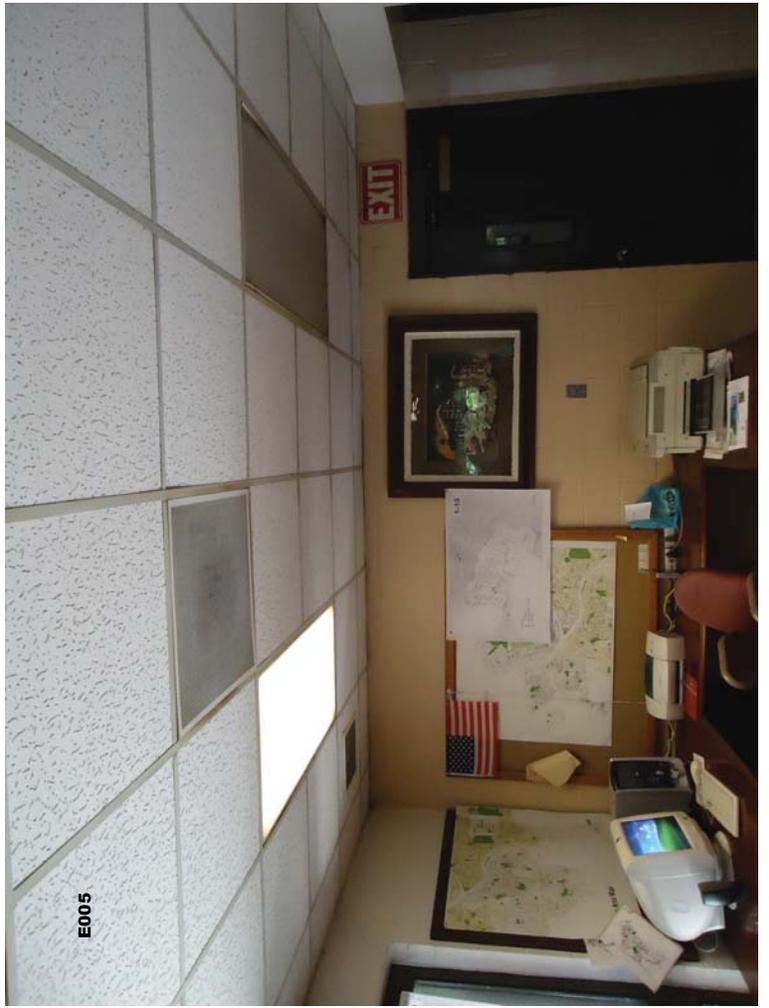
E002



E004













M008



P002



P001

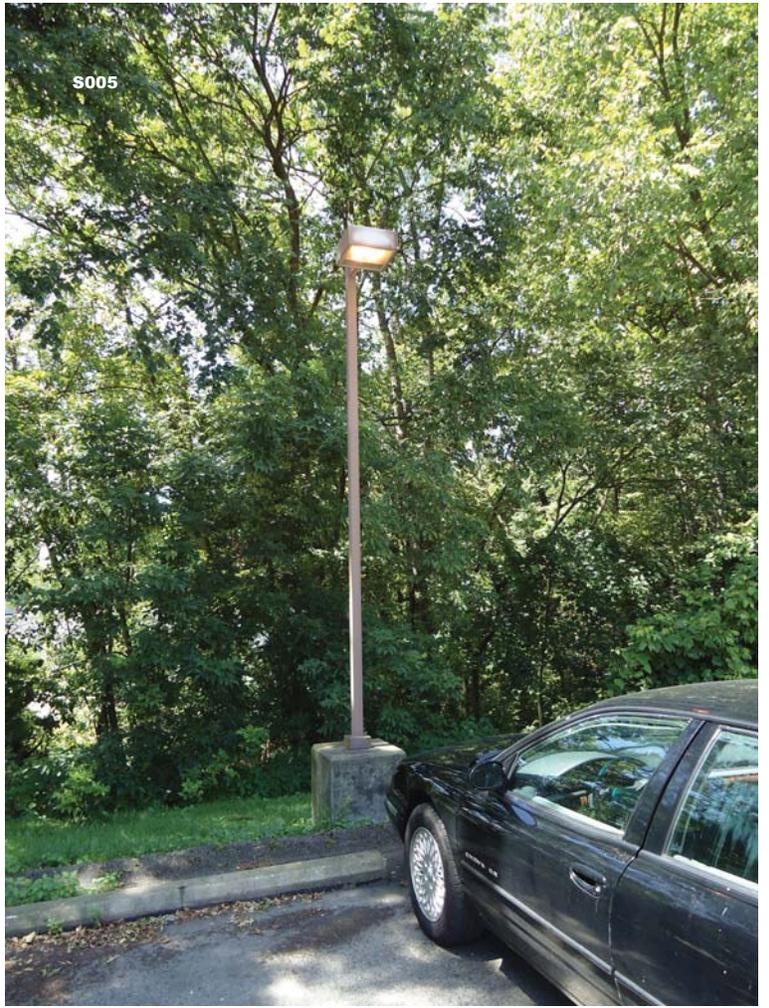


P003





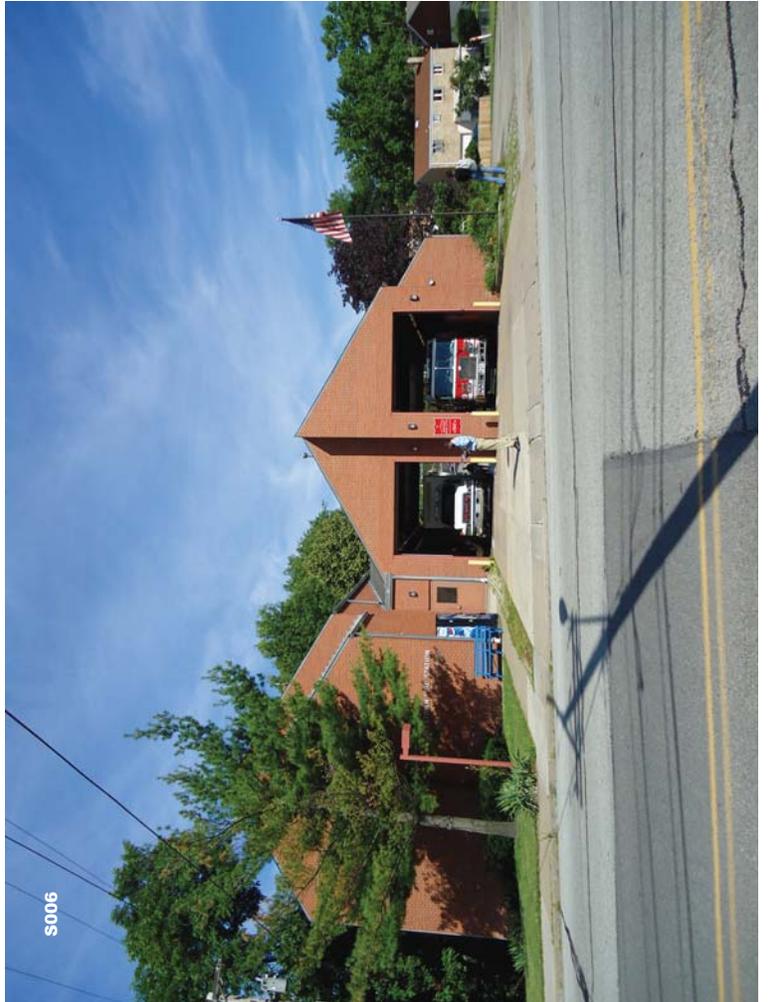
S003



S005



S004



S006



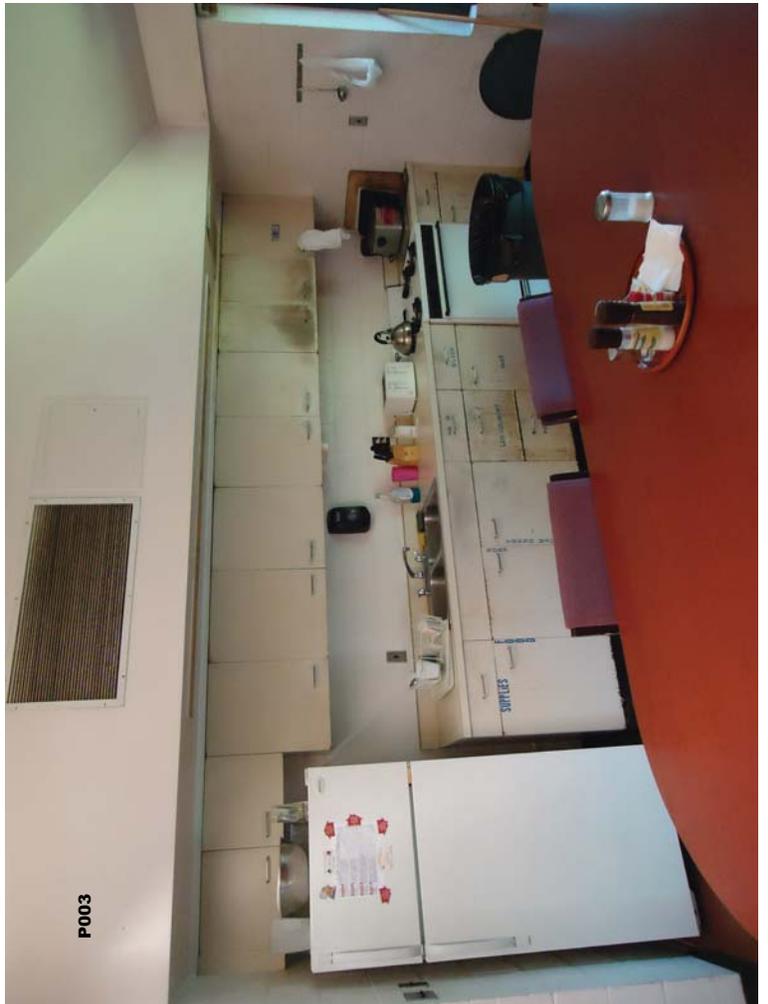


M008



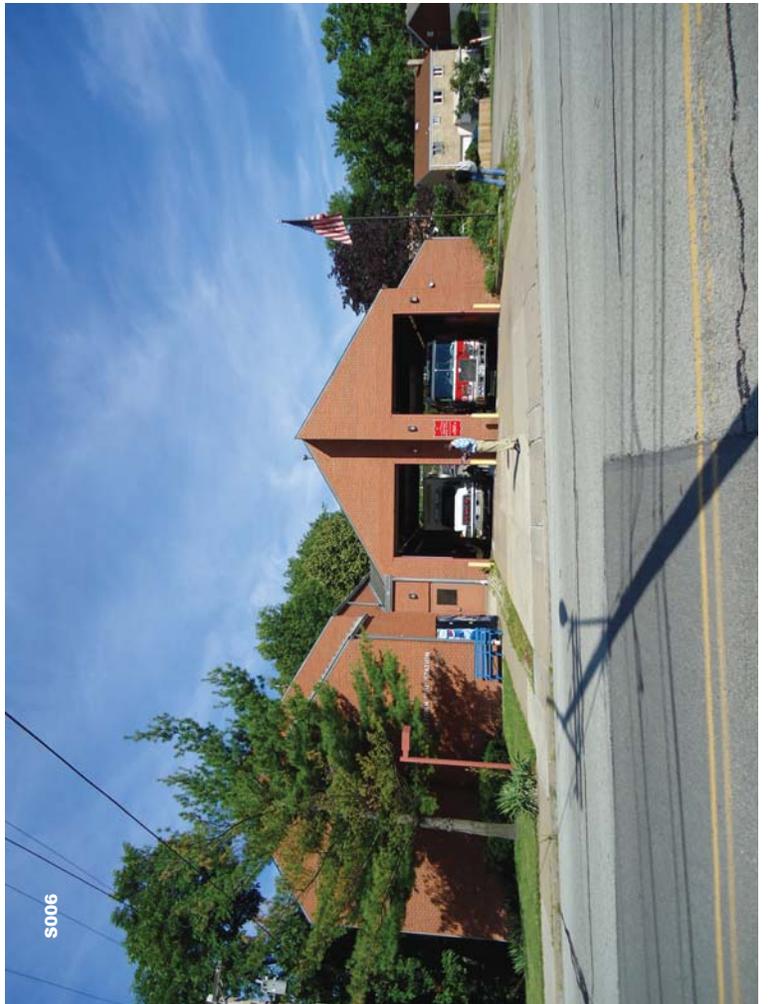
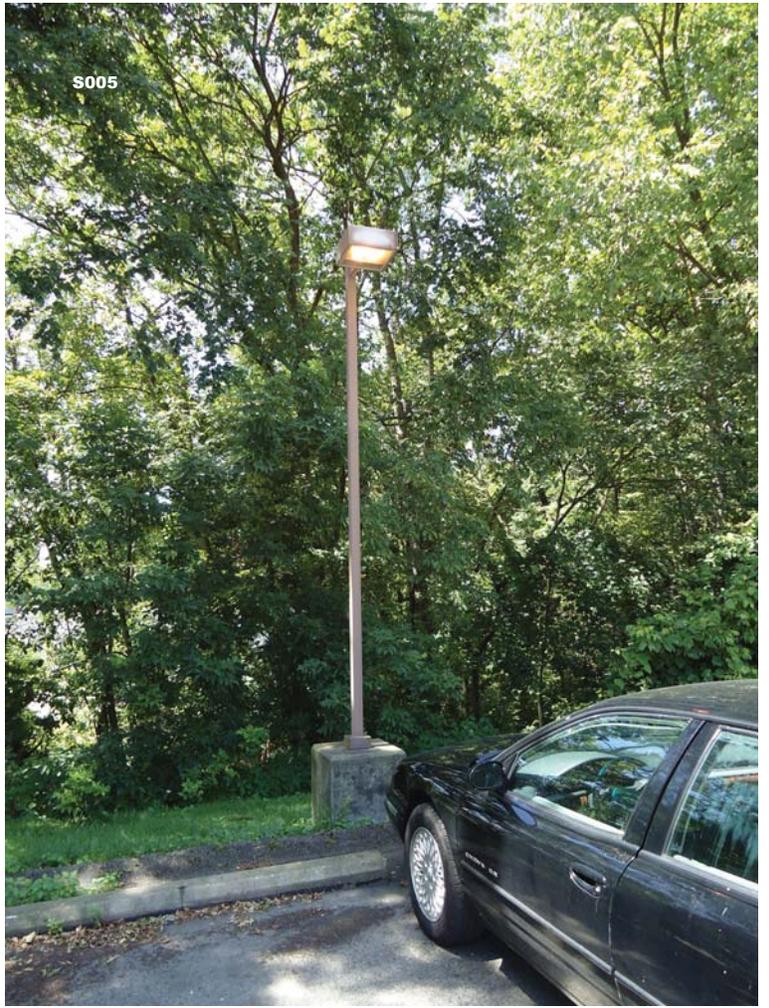
P002

P001



P003





ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Year Constructed: 1985 / 25 y.o.
Neighborhood/Ward: Westwood / ward 28
Block / Lot: P/324
Square Footage: 11,448
Department Assigned: GS
Facility Main Contact: Captain on duty
Phone: 412-937-3069

Weather Conditions Day of Inspection:
Temp: 68
Precipitation: none
Wind: none
Date of Inspection: July 2, 2010
Front of Building Faces: South east

Parking

Yes / No

1) Parking and Drop-off Areas

Are an adequate number of accessible parking spaces available? (1 per 25 up to 100 spaces, varies thereafter)

Notes: No ADA spaces

Are 8 foot wide space with a min. of 8 foot wide access aisles with 98 inches of vertical clearance available for lift-equipped vans? (Minimum of 1)

Notes:

Are the accessible aisles part of the accessible route to the entrance?

Notes:

Are that accessible places closest to the accessible entrance?

Notes:

Are the accessible spaces marked?

Notes:

Are the accessible spaces on level ground? (less than 2% slope)

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Access routes to the building / site features and usability of site features

Yes / No

1) Route of Travel

Is there a route of travel that does not require use of stairs?

Notes: There is one step at the entrance

Is the route of travel stable, firm, and slip-resistant?

Notes:

Is the route at least 36 inches wide?

Notes:

Can all objects protruding into the circulation path be detected by a person with a visual disability using a cane?

Notes:

Do curbs on the route have curb cuts at drives, parking, and drop-offs?

Notes:

If there are stairs at the main entrance, is there a ramp or alternate accessible entrance?

Notes:

Do all inaccessible entrances have signs indicating the location of the closest accessible entrance?

Notes:

Can the alternate accessible entrance be used independently?

Notes:

2) Ramps

Are the slopes of the ramps no greater than 1:12?

Notes:

Do all ramps longer than 6 feet have railings on both sides?

Notes:

Are railings sturdy and between 34 and 38 inches high?

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Is the width between railings or curbs at least 36 inches?

n/a

Notes: _____

Are ramps non-slip?

n/a

Notes: _____

Is there a 5 foot long level landing at every 30 foot horizontal length of ramp, at the top and bottom of ramp and at switchbacks?

n/a

Notes: _____

Does the ramp rise no more than 30 inches between landings?

n/a

Notes: _____

3) Pools

Is there at least one accessible pool lift or slope entry?

n/a

Notes: _____

Can the lift be used without assistance or have a call button?

n/a

Notes: _____

Is there at least 30" by 48" clear space to approach and reach controls?

n/a

Notes: _____

Are the controls between 15" and 48" high for the lift?

n/a

Notes: _____

Is the lift located at a water depth of no more than 48"?

n/a

Notes: _____

Is the ramp located at a water depth between 24" and 30"?

n/a

Notes: _____

4) Miscellaneous site features

If water fountains are provided, is there at least 1 fountain with clear floor space of 30" by 48"?

n/a

Notes: _____

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Is there at least 1 fountain with its spout no higher than 36" AFF and another with a standard height spout?

n/a

Notes:

Are controls mounted on the front or on the side near the front edge, and operable with 1 closed fist?

n/a

Notes:

Is each water fountain cane-detectable?

n/a

Notes:

If pay or public phones are provided, is there 30" by 40" of clear space in front of at least 1?

n/a

Notes:

Is the highest operable part of the phone on higher than 48"?

n/a

Notes:

Does the phone protrude no more than 4" into the circulation space?

n/a

Notes:

Does the phone have push button controls?

n/a

Notes:

Is the phone hearing aid compatible?

n/a

Notes:

Does it have volume control?

n/a

Notes:

Is the phone with volume control identified with appropriate signage?

n/a

Notes:

If there a 4 or more phones, is one equipped with TT or TTD?

n/a

Notes:

Is the location of the text telephone identified by accessible signage bearing the international TTD symbol?

n/a

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Building entrances, public spaces, and access routes to public spaces

Yes / No

1) Building entrances

Does the entrance door have at least 32 inches clear opening?

Notes: _____

Is there at least 18 inches of clear wall space on the pull side of the door?

Notes: _____

Is the threshold edge 1/4 inch high or less, or if beveled edge, no more than 3/4 inch high?

Notes: _____

Are entrance mats/carpeting less than 1/2 inch high?

Notes: _____

Are edges of mat securely installed?

Notes: _____

Is the door handle no higher than 48 inches and operable with a closed fist?

Notes: _____

Can door be opened without too much force? (Less than 5 lbf)

Notes: _____

If the door has a closer, does it take at least 3 seconds to close?

Notes: _____

2) Horizontal Circulation

Does the accessible entrance provide direct access to the main floor, lobby, or elevator?

Notes: _____

Are all public spaces on an accessible route of travel?

Notes: There are no spaces available to the public

Is the route at least 36" wide?

Notes: _____

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Is there a 5 foot circle or T-shaped space for a person using a wheelchair to reverse direction?

Notes: _____

3) Doors

Do doors into public spaces have at least a 32" clear opening?

Notes: _____

On the pull side of the doors, is there at least 18" clear wall space?

Notes: _____

Can doors be opened without too much force? (5 lbf maximum)

Notes: _____

Are door handles 48" high or less and operable with a closed fist?

Notes: _____

Is the threshold edge 1/4 inch high or less, or if beveled edge, no more than 3/4 inch high?

Notes: _____

4) Rooms and Spaces

Are all aisles and pathways to materials and services at least 36" wide?

Notes: _____

Is there a 5 foot circle or T-shaped space for turning a wheelchair completely?

Notes: _____

Is carpeting low-pile, tightly woven, and securely attached along edges?

Notes: _____

In circulation paths through public areas are all obstacles cane-detectable? (located within 27 inches of the floor or higher than 80" or protruding less than 4" from the wall)

Notes: _____

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

5) Emergency Egress

If emergency systems are provided, do they have both flashing lights and audible signals?

Notes: No emergency systems

6) Signage for Goods and Services

Do signs and room numbers designating permanent rooms and spaces where goods and services are provided comply with the appropriate requirements for such signage?

Notes:

Signs mounted with centerline 60" AFF?

Notes:

Mounted on wall adjacent to latch side of door, or as close as possible?

Notes:

Raised characters, sized between 5/8" and 2" high with high contrast?

Notes:

Brailled text of the same information?

Notes:

If pictogram is used, is it accompanied by raised characters and braille?

Notes:

7) Directional and Informational Signage

If mounted above 80", do they have letters at least 3" high with high contrast and non-glare finish?

Notes:

Do directional and informational signs comply with legibility requirements?

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

8) Controls

Are all controls that are available for use by the public located at an accessible height?
(Max side reach 54", forward 48", minimum side reach 9", forward 15")

Notes:

Are they operable with a closed fist?

Notes:

9) Seats, Tables, and Counters

Are the aisles between fixed seating (excluding assembly area seating) at least 36" wide?

Notes:

Are the spaces for wheelchair seating distributed throughout?

Notes:

Are the tops of tables or counters between 28 and 34 inches?

Notes: Countertop in kitchen @ 36"

Are knee spaces at accessible tables at least 27" high, 30" wide, and 19" deep?

Notes:

At each type of cashier counter, is there a portion of the main counter that is no more than 36" high?

Notes:

Is there a portion of food ordering counters that is no more the 36" high?

Notes:

10) Vertical Circulation

Are there ramps, lifts, or elevators to all public levels?

Notes:

On each level, if there are stairs between the entrance and/or elevator and essential public areas, is there an accessible alternate route?

Notes:

ADA - Title II - "Program Accessibility" Review

Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205

11) Stairs

Do treads have a non-slip surface? Notes: _____

Do stairs have continuous rails on both sides with extensions beyond the top and bottom stairs? Notes: _____

12) Elevators

Are there both visible and audible door opening/closing and floor indicators? Notes: _____

Are the call buttons in the hallway no higher than 42"? Notes: _____

Do the controls inside the cab have raised and braille lettering? Notes: _____

Is there a sign on both door jambs at every floor identifying the floor in raised and braille letters? Notes: _____

If an emergency intercom is provided, is it usable without voice communication? Notes: _____

Is the emergency intercom identified by braille and raised letters? Notes: _____

13) Lifts

Can the lift be used without assistance or have a call button? Notes: _____

Is there at least 30" by 48" clear space to approach and reach controls? Notes: _____

Are the controls between 15" and 48" high? Notes: _____

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Restrooms

Yes / No

1) Getting to the Restrooms

If rest rooms are available to the public, is at least one room (either 1 for each sex or unisex) fully accessible?

Notes: No restrooms available to the public.

Are there signs at inaccessible rest rooms that give directions to accessible ones?

Notes: _____

2) Doorways and Passages

Is there tactile signage identifying the rest rooms?

Notes: _____

Are signs mounted on the wall, on the latch side of the door and complying with the requirements for permanent signage?

Notes: _____

Are pictograms and symbols used and if so, are raised characters and braille included below them?

Notes: _____

Is the doorway at least 32" clear?

Notes: _____

Is there 18" clear space at latch side of the door?

Notes: _____

Are doors equipped with accessible handles and 48" high or less?

Notes: _____

Can doors be opened easily? (5 lbf max)

Notes: _____

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Does the entry configuration provide adequate maneuvering space for a person using a wheelchair? (5' Dia. turning radius or T-shape turn min. of 36" by 42")

 yes

Notes: _____

Is there a 36" wide path to all fixtures?

 yes

Notes: _____

3) Stalls

Is the stall door operable with a closed fist inside and out?

 yes

Notes: _____

Is there a wheelchair-accessible stall that has an area at least 5 feet diameter of clear space?

 no

Notes: _____

In the accessible stall, are there grab bars behind (36") and on the side wall nearest to the toilet (42" & vertical 18")? (O.D. of bars should be 1.25" - 1.5" and should be mounted 33" - 36" AFF)

 yes

Notes: _____

Is the toilet seat 17" to 19" high?

 yes

Notes: _____

Is the toilet 18" from the wall or partition to centerline of toilet?

 yes

Notes: _____

4) Lavatories

Does one lavatory have a 30" wide by 48" clear space in front (a max of 19" can be under the lav)

 yes

Notes: _____

Is the lavatory rim no higher than 34"?

 no

Notes: Mounted @ 35"

Is there at least 29" from the floor to the bottom of the lavatory apron?

 yes

Notes: _____

Is there at least 19" deep of clear space under the lavatory?

 yes

Notes: _____

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Can the faucet be operated with 1 closed fist? yes

Notes:

Are soap and other dispensers within reach ranges and operable with 1 closed fist? (between 38" and 48" AFF) no

Notes:

Is the mirror mounted with the bottom edge of the reflecting surface less than 40"? no

Notes: Mounted @ 48"

Miscellaneous items

Yes / No

1) Drinking Fountains

Is there at least 1 fountain with clear floor space of 30" by 48"? Yes

Notes: Old model. Not ADA.

Is there at least 1 fountain with its spout no higher than 36" AFF and another with a standard height spout? no

Notes:

Are controls mounted on the front or on the side near the front edge, and operable with 1 closed fist? no

Notes:

Is each water fountain cane-detectable? yes

Notes:

2) Telephones

If pay or public phones are provided, is there 30" by 40" of clear space in front of at least 1? n/a

Notes:

Is the highest operable part of the phone on higher than 48"? n/a

Notes:

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Does the phone protrude no more than 4" into the circulation space?

n/a

Notes: _____

Does the phone have push button controls?

n/a

Notes: _____

Is the phone hearing aid compatible?

n/a

Notes: _____

Does it have volume control?

n/a

Notes: _____

Is the phone with volume control identified with appropriate signage?

n/a

Notes: _____

If there a 4 or more phones, is one equipped with TT or TTD?

n/a

Notes: _____

Is the location of the text telephone identified by accessible signage bearing the international TTD symbol?

n/a

Notes: _____

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Possible solutions / items needed

Parking

	Quantity	Unit	Unit cost	Total cost
Striping for 1 space	1	EA	100.00	\$100
ADA parking signage	1	EA	500.00	\$500

TOTAL COST - PARKING

\$600

Access routes to the building / site features and usability of site features

	Quantity	Unit	Unit cost	Total cost
Small ramp to entrance door	1	LS	500.00	\$500

TOTAL COST - ACCESS ROUTES / SITE FEATURES

\$500

Building entrances, public spaces, and access routes to public spaces

	Quantity	Unit	Unit cost	Total cost
Fire alarm system	11,448	SF	3.00	\$34,344

TOTAL COST - BUILDING ENTRANCE / PUBLIC SPACE

\$34,344

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

Restrooms

	Quantity	Unit	Unit cost	Total cost
No public spaces - no work required				

TOTAL COST - RESTROOMS				\$0
-------------------------------	--	--	--	------------

Miscellaneous items

	Quantity	Unit	Unit cost	Total cost
No work required				

TOTAL COST - MISCELLANEOUS ITEMS				\$0
---	--	--	--	------------

ADA - Title II - "Program Accessibility" Review

**Firehouse #29
2100 Noblestown Ave
Pittsburgh, PA 15205**

NOTES

Notes: The building is not intended for public access and there are no employees that would be capable of performing the necessary duties of a firefighter if they had a disability. If a job title / position were available to a disabled person, then modifications to the building would have to be made in order to accomodate that individuals needs. The estimated items noted above are not required but would allow a disabled person to gain access up to the building. Typically, existing buildings that do not have public access and are private use only are not required to make ADA upgrades unless an individual with a disability is qualified to meet the requirements of the job. The only item that is required is the fire alarm system.

INSPECTION REPORT
Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

Site Utilities

Year Constructed:	1981	Weather Conditions Day of Inspection:	
Neighborhood:	Crafton	Temp:	90
Block / Lot:	0039-D-00324-0000-00	Precipitation:	None
Square Footage:	11448	Wind:	1-2 MPH
Department Assigned:	0	Date of Inspection:	July 2, 2010
Facility Main Contact:	Captain on duty		
Phone	(412) 937-3069		

Site Utilities

	Site Plumbing		Notes:	
X	Hose Bibs		Notes:	Good to Fair. See notes at bottom of spreadsheet.
	Site Irrigation		Notes:	
	Fire Hydrants		Notes:	
	Water Features		Notes:	
	Storm Water Management		Notes:	
Good	Inlets		Notes:	
	Storage Tanks		Notes:	
	Detention Ponds		Notes:	
	Fencing / Enclosures		Notes:	
	Site Electrical		Notes:	
None	Transformer		Notes:	
Poor	Exterior Receptacles		Notes:	Replace 0-1 year.
			Notes:	
Fair	Site Lighting		Notes:	See notes at bottom of spreadsheet.
to Poor			Notes:	
Fair	Parking lot lighting		Notes:	High pressure sodium lights mounted on metal poles. Replace in 0-5 years with induction lighting.
			Notes:	
Good	PA System		Notes:	Various components of different age Replace in 0-5 years.
to Fair			Notes:	
Poor	Natural Gas Service		Notes:	See notes at bottom of spreadsheet.

INSPECTION REPORT

Fire Engine Company 29 (B225)
2100 Noblestown Road
Pittsburgh, PA 15205-3938

Site Utilities

Notes:

Notes: Downspouts and gutters in good condition, but need cleaned.

Chimney in good condition. Flues and vent pipes in good condition

Gas Meter - Outside right rear of firehouse amongst bushes/trees. Meter/regulator, associated piping, valves, fitting rusted and in very poor condition. Remove bushes, trees, vegetation. Replace meter/regulator, associated piping, valves and fittings immediately. Gas supply line entering firehouse fair to poor. Replace when replacing meter/regulator & associates.

Storm Sewage in parking lot and at entrance (Good)

Hose Bibs: on beam in apparatus room good condition, in boiler room fair condition. Replace fair in 0-3 years.

Faucet with hose in apparatus room fair. Insulation on piping very poor/wet pipes rusting. Repair pipe, replace insulation and faucet, provide plastic cover over insulation for water proofing in this area.

Site lighting (25 years old): Various types of merc. wall mounted units & high pressure sodium, 70% fair, 30% poor. Replace poor in 0-1 year. Fair in 0-5 years.

See photos labeled S for Site.

Firehouse #29 (B225)
2100 Noblestown Ave
Pittsburgh, PA 15205

Asset Protection Summary

Immediate	\$89,327
One Year	\$149,609
Five Year	\$140,596
10 Year	\$0

Notes:

1. All cost estimates to replace equipment, systems, finishes, etc. are based on the assumption that all material being replaced is the same or an accepted equal to the existing material.
2. All pricing for the Asset Protection Plans was based on the assumption that a General Contractor would be hired by the City of Pittsburgh to address all deficiencies through the use of their own workforce and specialty subcontractors.
3. All estimates assume an average escalation rate of 4% per year.
- 4 All estimates are for construction costs and exclude other project "soft" costs including but not limited to:
 - Architectural / engineering fees
 - Utility fees
 - Land aquisition

Firehouse #29 (B225)
 2100 Noblestown Ave
 Pittsburgh, PA 15205

Immediate Asset Protection Estimate

Report	Description	Quantity	Unit	Unit Price	Total Cost
Roofing	Clean gutters	1	LS	\$500	\$500
Roofing	Inspect & replace building caulking / sealants	1	LS	\$2,000	\$2,000
Roofing	Repair Skylight	1	EA	\$1,000	\$1,000
Fire Protection	Remove & Replace Sprinkler Heads	120	EA	\$200	\$24,000
Fire Protection	Remove & Replace Fire Extinguisher	1	EA	\$100	\$100
HVAC	Redesign & Install new Ventilation System @ 2nd Fl	1	LS	\$25,000.00	\$25,000
HVAC	Clean & Inspect Ductwork	1	LS	\$5,000.00	\$5,000
Electrical	Install Emergency Lighting & Signage	11448	SF	\$0.75	\$8,586
Electrical	Plate off Receptacle above radiator	1	EA	\$75.00	\$75
Site Utilities	Remove & Replace Gas Meter, Regulator & Associated Piping.	1	LS	\$5,000.00	\$5,000

SUBTOTAL				\$71,261
GENERAL REQUIREMENTS		6%		\$4,276
BOND		1%		\$755
PERMIT		Calc.		\$999
OVERHEAD & PROFIT		7%		\$4,910
CONTINGENCY		10%		\$7,126
ESCALATION		0%		\$0
TOTAL				\$89,327

Firehouse #29 (B225)
 2100 Noblestown Ave
 Pittsburgh, PA 15205

One Year Asset Protection Estimate

Report	Description	Quantity	Unit	Unit Price	Total Cost
Architectural	Prep & Re-Paint Boiler Room (two colors)	525	SF	\$3.00	\$1,575
Architectural	Fix water problem @ CMU in Stair tower	1	LS	\$2,500	\$2,500
Architectural	Install new Kitchen				
Architectural	Remove Existing Kitchen Cabinets	20	LF	\$25.00	\$500
Architectural	Base Cabinetry	18	LF	\$200	\$3,600
Architectural	Counter Top	18	LF	\$150	\$2,700
Architectural	Wall Cabinetry	20	LF	\$150	\$3,000
Architectural	Install Range Hood @ Oven in Kitchen	1	EA	\$750	\$750
Architectural	Remove & Replace 12 x 12 VCT flooring in Room 107	150	SF	\$4.00	\$600
Architectural	Remove & Replace Ceiling Tiles in Room 104	5	EA	\$25	\$125
Plumbing	Video Inspection of Sewer & Storm	1	LS	\$5,000	\$5,000
HVAC	Remove & Replace restroom exhaust (X2)	1	LS	\$500.00	\$500
HVAC	Remove & Replace PTAC Unit	1	EA	\$2,000.00	\$2,000
HVAC	Remove & Replace Ductwork - 50%	5,724	SF	\$7.25	\$41,499
Electrical	Remove & Replace Emergency Generator	1	EA	\$40,000.00	\$40,000
Electrical	Remove & Replace Electrical Panels	2	EA	\$2,500.00	\$5,000
Electrical	Remove & Replace Receptacles & Switches	11,448	SF	\$0.50	\$5,724
Site Utilities	Remove & Replace Site Lighting	1	LS	\$7,500.00	\$7,500

SUBTOTAL			\$119,573
GENERAL REQUIREMENTS	6%	\$7,174	
BOND	1%	\$1,267	
PERMIT	Calc.	\$1,623	
OVERHEAD & PROFIT	7%	\$8,239	
CONTINGENCY	5%	\$5,979	
ESCALATION	4%	\$5,754	
TOTAL			\$149,609

Firehouse #29 (B225)
 2100 Noblestown Ave
 Pittsburgh, PA 15205

Five Year Asset Protection Estimate

Report	Description	Quantity	Unit	Unit Price	Total Cost
Roofing	Remove & Replace asphalt shingle roof	4,400	SF	\$7.00	\$30,800
					\$0
Plumbing	Remove & Replace Water Closets	2	EA	\$500	\$1,000
Plumbing	Remove & Replace Lavatories	3	EA	\$425	\$1,275
Plumbing	Remove & Replace Shower Heads	4	EA	\$100	\$400
Plumbing	Remove & Replace Urinals	6	EA	\$450	\$2,700
Plumbing	Remove & Replace Hose Bibs	3	EA	\$100	\$300
Plumbing	Remove & Replace Kitchen Sink & Faucetry	1	LS	\$500	\$500
HVAC	Remove & Replace Boiler & Pumps	1	LS	\$25,000	\$25,000
HVAC	Inspect & flush out boiler piping	1	LS	\$1,200.00	\$1,200
HVAC	Replace Air Handling Unit	1	EA	\$10,000	\$10,000
HVAC	Remove & Replace truck bay exhaust	1	LS	\$500.00	\$500
Electrical	Remove & Replace Lighting	11,448	SF	\$2.00	\$22,896

SUBTOTAL					\$96,571
GENERAL REQUIREMENTS		6%			\$5,794
BOND		1%			\$1,024
PERMIT		Calc.			\$1,324
OVERHEAD & PROFIT		7%			\$6,654
CONTINGENCY		5%			\$4,829
ESCALATION to Year 2015		21%			\$24,401
TOTAL					\$140,596

Firehouse #29 (B225)

2100 Noblestown Ave
Pittsburgh, PA 15205

10 Year Asset Protection Estimate

Report	Description	Quantity	Unit	Unit Price	Total Cost
--------	-------------	----------	------	------------	------------

\$0

SUBTOTAL					\$0
	GENERAL REQUIREMENTS		6%		\$0
	BOND		1%		\$0
	PERMIT		Calc.		\$0
	OVERHEAD & PROFIT		7%		\$0
	CONTINGENCY		5%		\$0
	ESCALATION to Year 2020		42%		\$0
TOTAL					\$0

NATURAL GAS

CITY OF PITTSBURGH	Firehouse #29	Square Foot
LOCATION : 2150 Noblestown Rd Pittsburgh, PA		11,448
GAS CO : Columbia Gas		
ACCOUNT # : 10091550-003		
MARKETER :		
ACCOUNT # :		
RATE :		
METER # : 8591987		
CUST. CHARGE:		

2008				GAS COMPANY					MARKETER				TOTALS		
PREVIOUS	PRESENT	DAYS	READ	MCF	COST	COST/MCF	LATE FEES	BILL TOTAL	MCF	COST	COST/MCF	MISC	BILL TOTAL	COST	COST/MCF
12/3/2007	1/4/2008	32	e	119.60	\$ 1,450.11	\$ 12.125		\$ 1,450.11			#DIV/0!		\$ -	\$ 1,450.11	\$ 12.125
1/4/2008	2/4/2008	31	a	112.90	\$ 1,369.93	\$ 12.134		\$ 1,369.93			#DIV/0!		\$ -	\$ 1,369.93	\$ 12.134
2/4/2008	3/4/2008	29	e	117.30	\$ 1,422.36	\$ 12.126	\$ 17.13	\$ 1,422.36			#DIV/0!		\$ -	\$ 1,422.36	\$ 12.126
3/4/2008	4/3/2008	30	a	82.00	\$ 1,008.52	\$ 12.299	\$ 0.22	\$ 1,008.52			#DIV/0!		\$ -	\$ 1,008.52	\$ 12.299
4/3/2008	5/2/2008	29	e	29.20	\$ 413.92	\$ 14.175	\$ 12.83	\$ 413.92			#DIV/0!		\$ -	\$ 413.92	\$ 14.175
5/2/2008	6/3/2008	32	a	17.70	\$ 259.74	\$ 14.675	\$ 0.38	\$ 259.74			#DIV/0!		\$ -	\$ 259.74	\$ 14.675
6/3/2008	7/2/2008	29	e	3.80	\$ 74.67	\$ 19.650	\$ 0.39	\$ 74.67			#DIV/0!		\$ -	\$ 74.67	\$ 19.650
7/2/2008	8/1/2008	30	a	1.60	\$ 50.70	\$ 31.688	\$ 0.39	\$ 50.70			#DIV/0!		\$ -	\$ 50.70	\$ 31.688
8/1/2008	9/2/2008	32	e	2.90	\$ 73.64	\$ 25.393	\$ 0.40	\$ 73.64			#DIV/0!		\$ -	\$ 73.64	\$ 25.393
9/2/2008	10/1/2008	29	a	3.50	\$ 83.95	\$ 23.986	\$ 1.32	\$ 83.95			#DIV/0!		\$ -	\$ 83.95	\$ 23.986
10/1/2008	10/30/2008	29	e	46.60	\$ 718.52	\$ 15.419	\$ 1.47	\$ 718.52			#DIV/0!		\$ -	\$ 718.52	\$ 15.419
10/30/2008	12/19/2008	50	e	197.10	\$ 3,031.04	\$ 15.378		\$ 3,031.04			#DIV/0!		\$ -	\$ 3,031.04	\$ 15.378
TOTALS:				734.20	\$ 9,957.10	\$ 13.562	\$ 34.53	\$ 9,957.10	0.00	\$ -	#DIV/0!	\$ -	\$ -	\$ 9,957.10	\$ 13.562

City of Pittsburgh
LOCATION : Info Systems, 2150 Noblestown Rd
 Pittsburgh, PA
ENGINE CO. # 29
ELECTRIC CO : Duquesne Light
ACCOUNT # : 6000-003-532-001
SUPPLIER CO :
ACCOUNT # :
CUST CHARGE: \$ 30.00
RATE : GM Medium Fixed
METER # : G02617333

2008				ELECTRIC COMPANY								SUPPLIER					TOTAL	
PREVIOUS	PRESENT	DAYS	READ	KWH	KW	ADJ. KW	PF	COST	COST/kWh	CUST CHG.	BILL TOTAL	kWh	COST	COST/kWh	MISC	BILL TOTAL	COST	COST/kWh
12/17/2007	1/18/2008	32	a	4,000	11.2	11.2	1.00	\$ 348.48	\$ 0.087	\$ 30.00	\$ 378.48			#DIV/0!		\$ -	\$ 378.48	\$ 0.095
12/17/2007	1/18/2008	32	adj	-4,000	-11.2	-11.2	1.00	\$ (348.48)	\$ 0.087	\$ (30.00)	\$ (378.48)			#DIV/0!		\$ -	\$ (378.48)	\$ 0.095
12/17/2007	1/18/2008	32	a	4,240	8.8	8.8	1.00	\$ 329.27	\$ 0.078	\$ 30.00	\$ 359.27			#DIV/0!		\$ -	\$ 359.27	\$ 0.085
1/18/2008	2/15/2008	28	a	3,920	9.6	9.6	1.00	\$ 328.00	\$ 0.084	\$ 30.00	\$ 358.00			#DIV/0!		\$ -	\$ 358.00	\$ 0.091
2/15/2008	3/17/2008	31	a	3,920	9.6	9.6	1.00	\$ 328.00	\$ 0.084	\$ 30.00	\$ 358.00			#DIV/0!		\$ -	\$ 358.00	\$ 0.091
3/17/2008	4/16/2008	30	a	3,760	8.8	8.8	1.00	\$ 309.02	\$ 0.082	\$ 30.00	\$ 339.02			#DIV/0!		\$ -	\$ 339.02	\$ 0.090
4/16/2008	5/16/2008	30	a	3,440	8.0	8.0	1.00	\$ 280.76	\$ 0.082	\$ 30.00	\$ 310.76			#DIV/0!		\$ -	\$ 310.76	\$ 0.090
5/16/2008	6/17/2008	32	a	5,520	13.6	13.6	1.00	\$ 473.64	\$ 0.086	\$ 30.00	\$ 503.64			#DIV/0!		\$ -	\$ 503.64	\$ 0.091
6/17/2008	7/17/2008	30	a	5,200	13.6	13.6	1.00	\$ 458.63	\$ 0.088	\$ 30.00	\$ 488.63			#DIV/0!		\$ -	\$ 488.63	\$ 0.094
7/17/2008	8/15/2008	29	a	5,840	14.4	14.4	1.00	\$ 506.20	\$ 0.087	\$ 30.00	\$ 536.20			#DIV/0!		\$ -	\$ 536.20	\$ 0.092
8/15/2008	9/16/2008	32	a	5,280	16.8	16.8	1.00	\$ 503.03	\$ 0.095	\$ 30.00	\$ 533.03			#DIV/0!		\$ -	\$ 533.03	\$ 0.101
9/16/2008	10/16/2008	30	a	3,440	10.4	10.4	1.00	\$ 315.45	\$ 0.092	\$ 30.00	\$ 345.45			#DIV/0!		\$ -	\$ 345.45	\$ 0.100
10/16/2008	11/14/2008	29	a	3,520	8.8	8.8	1.00	\$ 300.30	\$ 0.085	\$ 30.00	\$ 330.30			#DIV/0!		\$ -	\$ 330.30	\$ 0.094
11/14/2008	12/17/2008	33	a	4,240	9.6	9.6	1.00	\$ 352.56	\$ 0.083	\$ 30.00	\$ 382.56			#DIV/0!		\$ -	\$ 382.56	\$ 0.090
TOTALS :				52,320	132.0	132.0	1.00	\$ 4,484.86	\$ 0.086	\$ 360.00	\$ 4,844.86	0	\$ -	#DIV/0!	\$ -	\$ -	\$ 4,844.86	\$ 0.093

Information taken from the most recent Commercial Buildings Energy Information Survey conducted by the Energy Information Administration
 Table C23 A from this survey was used to calculate average natural gas consumption for commercial buildings from census tract - "East North Central
 in which Pittsburgh is located

Table C13 A was used to calculate average electricity consumption from the same census tract

Energy Usage in BTU/ Square Foot natural gas = 54,751

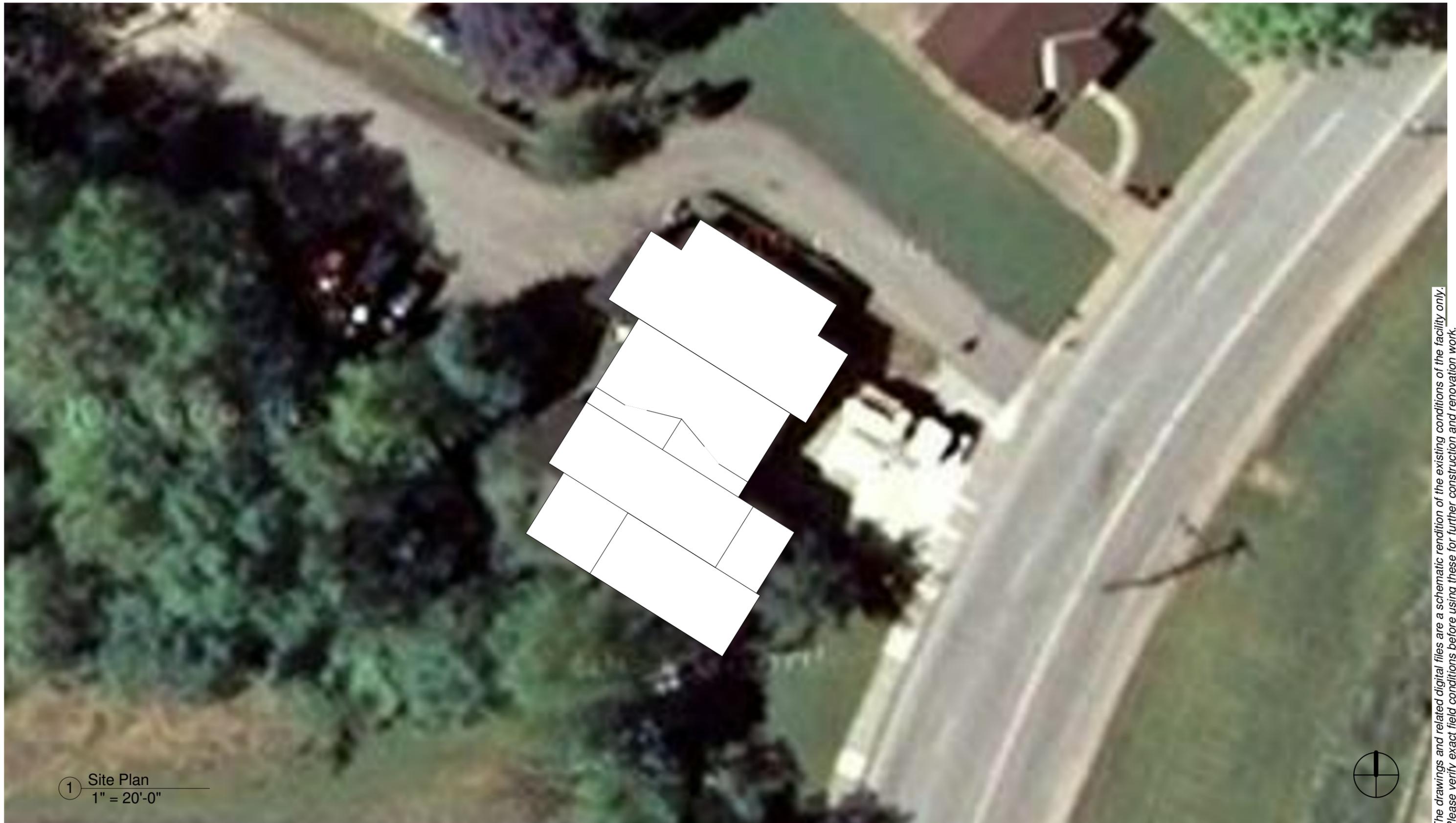
Energy Usage in BTU/ Square Foot electricity = 47,041

(From 2008 data)

Energy Usage in BTU/ Square Foot natural gas = 64,116

Energy Usage in BTU/ Square Foot electricity = 15,086

Conclusion: The higher usage of natural gas per square foot of 64,116 Btu/ Square Foot compared to 54,751 Btu/ Square Foot in the Pittsburgh census tract could indicate the need for boiler replacement and other energy efficiency upgrades. There is a lower usage of electricity per square foot of 15,086 compared to 47,041 Btu/Square Foot in the Pittsburgh census tract. Reason for this low electricity usage is not known at this time.



1 Site Plan
1" = 20'-0"

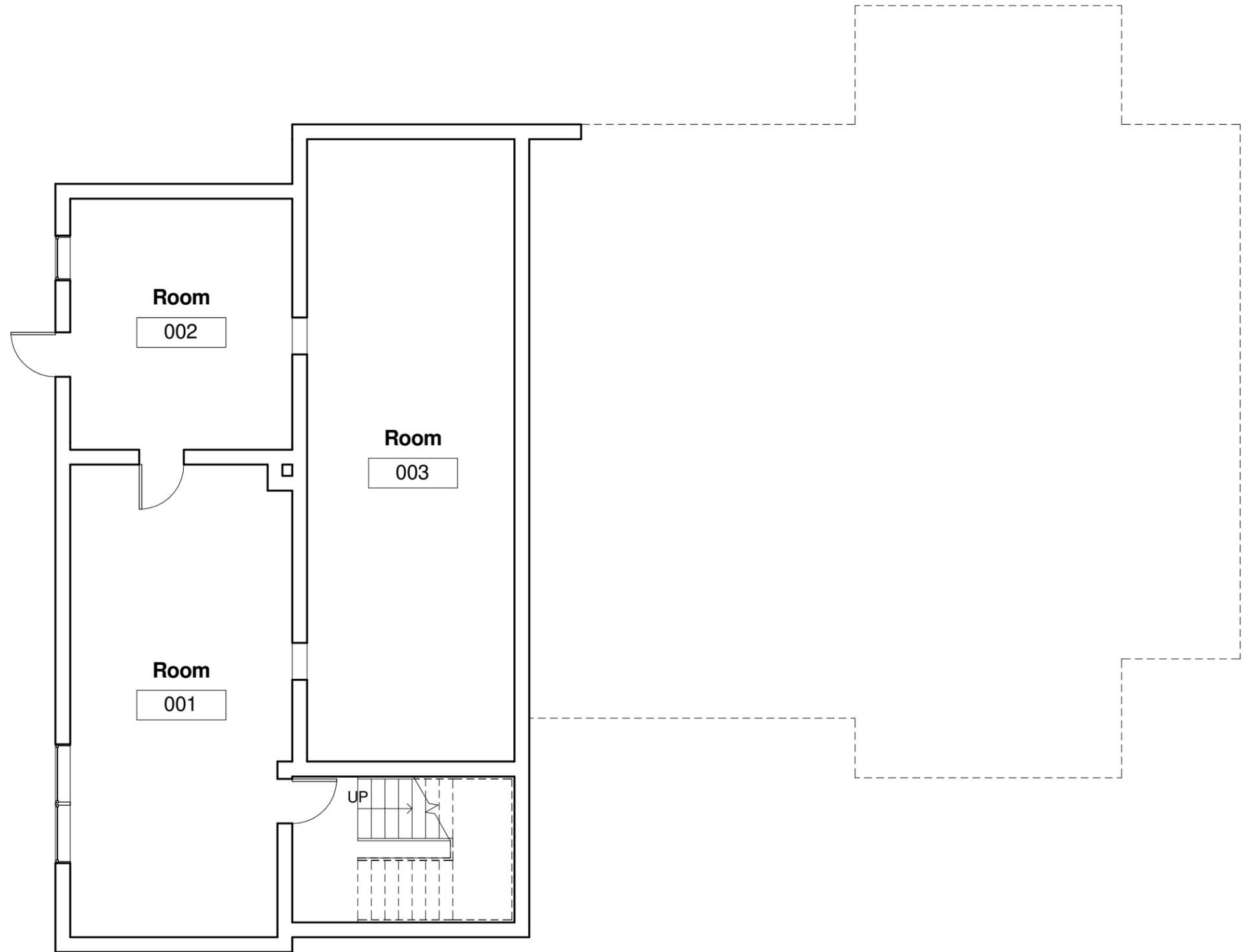


The drawings and related digital files are a schematic rendition of the existing conditions of the facility only. Please verify exact field conditions before using these for further construction and renovation work.



Firehouse #29
City of Pittsburgh

Site Plan		C1.01
Date	08/13/10	
Drawn by	AK	Scale 1" = 20'-0"



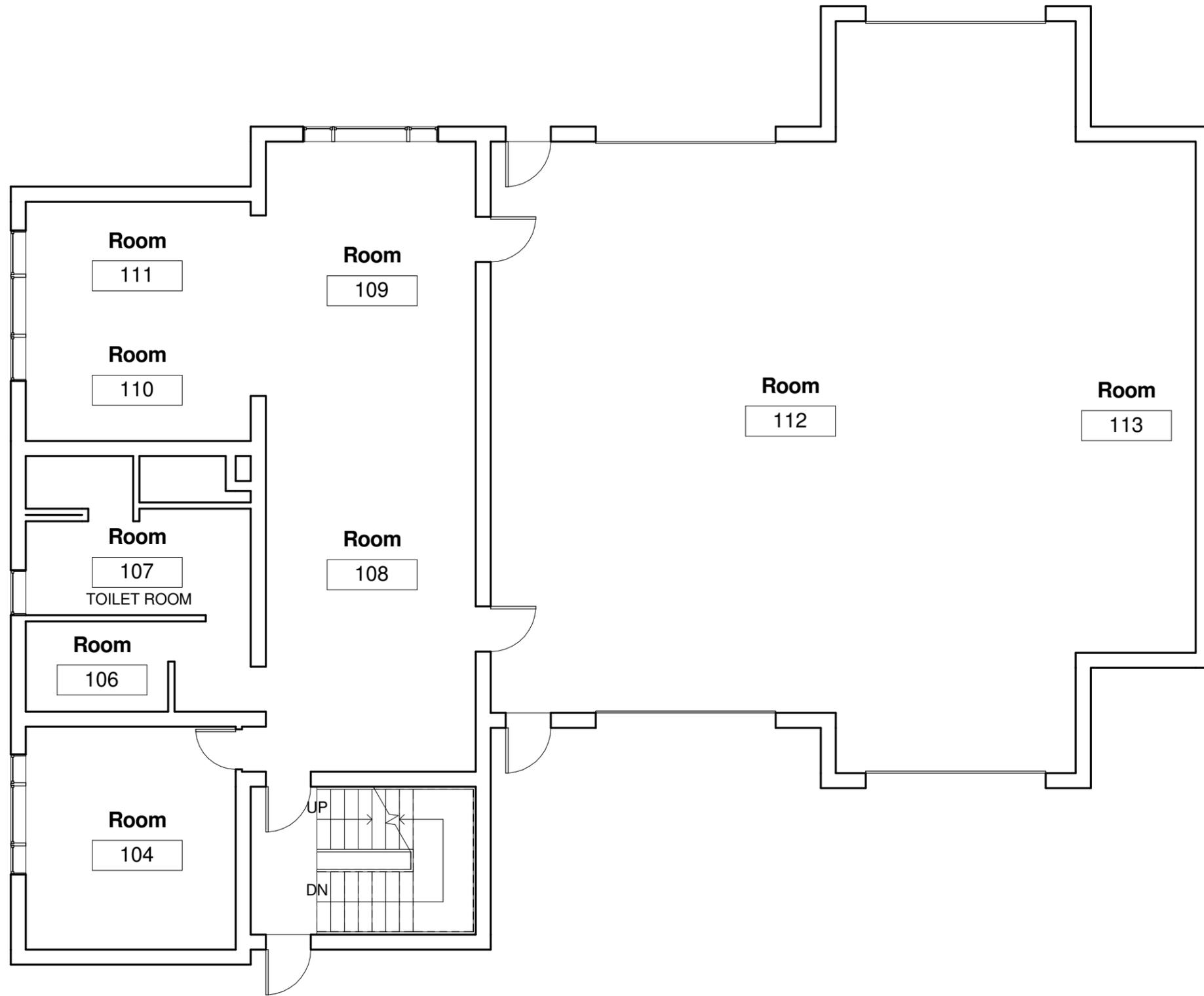
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1 Ground Floor Plan
1/8" = 1'-0"



Firehouse #29
City of Pittsburgh

Ground Floor Plan		A1.00
Date	08/13/10	
Drawn by	AK	Scale 1/8" = 1'-0"



1 L1 Floor Plan
1/8" = 1'-0"

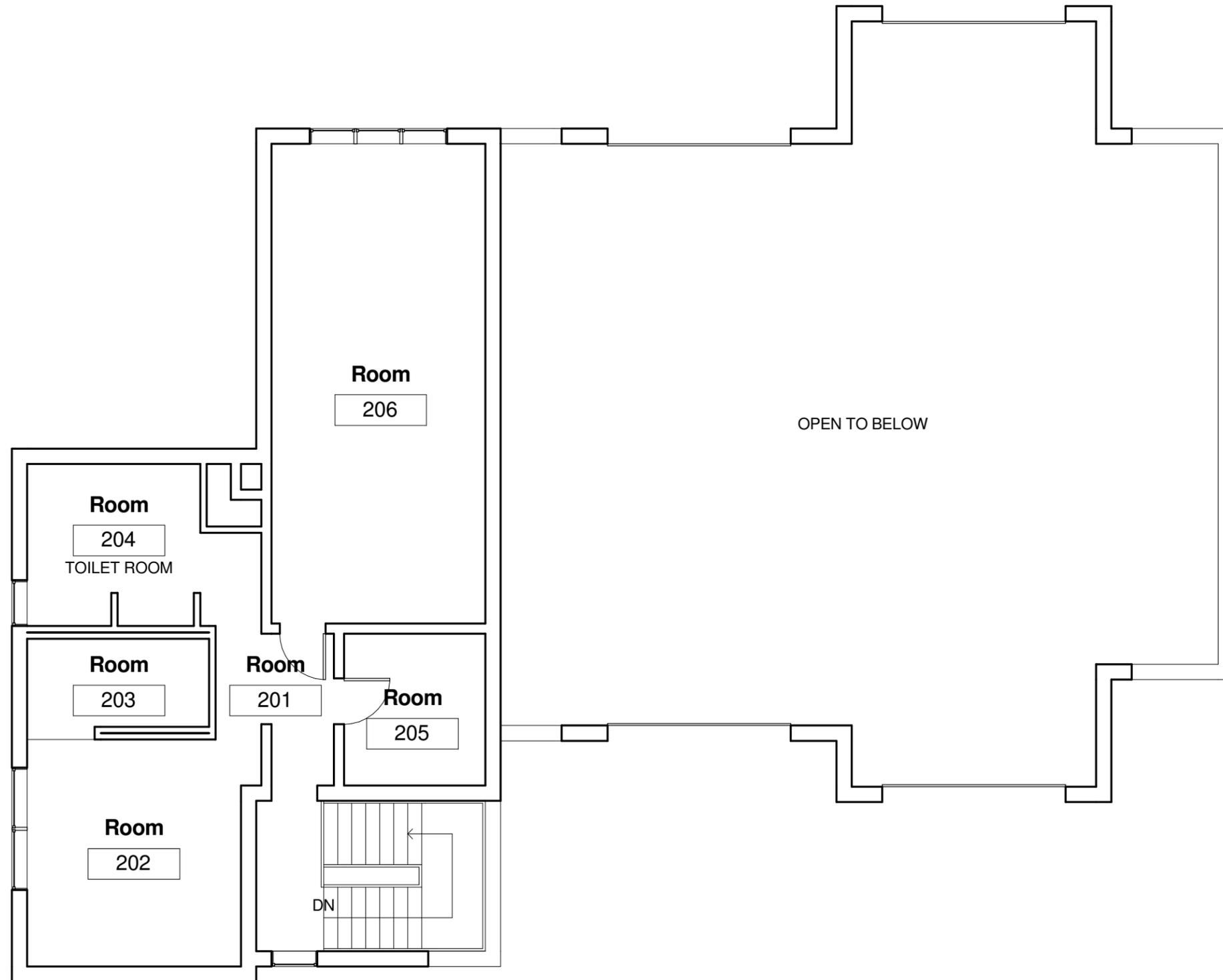


The drawings and related digital files are a schematic rendition of the existing conditions of the facility only. Please verify exact field conditions before using these for further construction and renovation work.

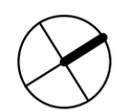


Firehouse #29
City of Pittsburgh

L1 Floor Plan		A1.10
Date	08/13/10	
Drawn by	AK	Scale 1/8" = 1'-0"



The drawings and related digital files are a schematic rendition of the existing conditions of the facility only. Please verify exact field conditions before using these for further construction and renovation work.



1 L2 Floor Plan
1/8" = 1'-0"



Firehouse #29
City of Pittsburgh

L2 Floor Plan	
Date	08/13/10
Drawn by	AK

A1.20
Scale 1/8" = 1'-0"