



CITY OF
PITTSBURGH
FACILITY ANALYSIS REPORT



Morningside Senior Center (B094)
644 President Way
Pittsburgh, Pennsylvania 15206

May 5, 2010



Massaro

www.massarocms.com

Morningside Senior Center (B094)

6944 President Way
Pittsburgh, PA 15206

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Morningside Senior Center (B094)
6944 President Way
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Executive Summary

INTRODUCTION

The Morningside Senior Center was inspected on May 5, 2010 by Massaro CM Services and our consultants Cosmos Technologies, Atlantic Engineering Services and American Micronics, Inc. Also attending from The City of Pittsburgh was Justin Lamorella from the Department of City Planning, Project Architect Federico Siegert from the Department of Public Works and locksmith John Suhr from the Department of General Services.

The professionals in attendance conducted specific inspections or provided services:

- Massaro CM Services, LLC - Architectural / Site Inspections
- Cosmos Technologies, Inc - Mechanical, Electrical, Site Utility Systems Inspections & Energy Audit
- Atlantic Engineering Services -Structural System Inspections
- American Micronics, Inc. - Exterior Wall & Roofing Inspections
- The City of Pittsburgh
 - Justin Lamorella - ADA Compliance Inspection
 - Federico Siegert - Building Information
 - John Suhr - Building Access

The detailed findings of these inspections can be found in the individual chapters of this report. Costs associated with any deficiencies that were identified can be found in Section 8 - Asset Protection of this report.

Massaro CM Services returned to this facility on 6/17/11 to re-inspected the windows.

FINDINGS

Asset Protection

In general the building was found to be in good condition with normal wear and maintenance issues. Specifically The exterior wall, roof, plumbing, and HVAC systems were found to have the most deficiencies; only a few of which require immediate attention.

The costs associated with addressing these deficiencies are broken down into Immediate, One Year, Five Year and 10 Year Asset Protection Plans. The associated value of each of these Asset Plans are as follows:

Immediate	\$4,999
One Year	\$48,709
Five Year	\$236,364
10 Year	\$63,498

The issues outlined in the Asset Protection Plans should be addressed in the timeframe designated in order to maintain or improve the condition of this facility.

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American Disabilities Act

Public entities must meet the requirements set forth under Title II of the ADA. This section pertains to "Program Accessibility". This requires that each service, program or activity conducted by a public entity, when viewed in its entirety, be readily accessible to and usable by individuals with disabilities. This does not mean that every existing facility is required to remove barriers. There are multiple ways of achieving program accessibility such as moving a service to an already accessible building as opposed to modifying the existing building. There are further requirements under Title I that pertain to employment opportunities. Existing buildings do not have to make any modifications unless an applicant or an employee with a disability needs access. These are evaluated on an individual basis when needed although provisions should be made to assure that people with disabilities are able to apply. Massaro CM Services, LLC is unable to determine all of the programs and services offered by the City of Pittsburgh and the locations that they are available, therefore the assessment provided treats each facility as a stand-alone entity and provides information on the requirements to making all public spaces accessible. This does not mean all work noted has to be performed for this facility. Furthermore, if alterations or additions to the existing facility will be performed (this does not mean maintenance issues such as roof replacement) or if an individual with a disability is hired then further ADA requirements, not included in this report, may have to be fulfilled. General categories and the associated estimated cost to achieve compliance is listed below. Please refer to section six for additional details.

Parking

Includes assessment of existing parking areas. This includes van accessible parking areas, accessible parking areas, signage, and access from the parking area to the main route of access to the building / site.

Estimated cost to achieve compliance **\$0**

Access routes to the building / site features and usability of site features

Includes assessment of site features including sidewalks, curb cuts, ramps, pools, and access routes to the building entrances. It does not include an analysis of existing playgrounds or athletic fields, only access to these areas are considered.

Estimated cost to achieve compliance **\$0**

Building entrances, public spaces, and access routes to public spaces

Includes entrances, any spaces available to public use such as cafeteria, common areas, exercise rooms, etc., and all access routes connecting these areas.

Estimated cost to achieve compliance **\$5,600**

Restrooms

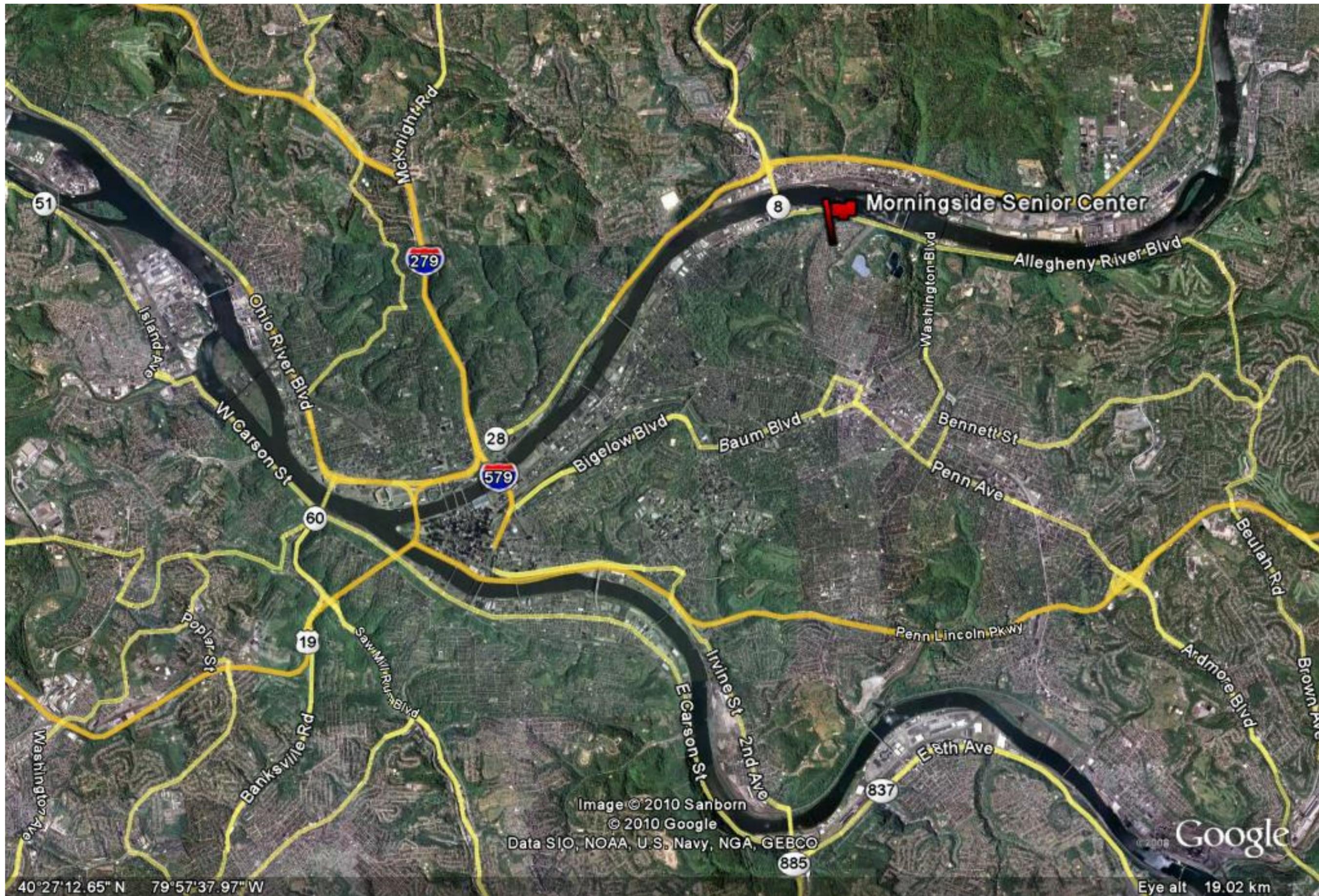
This includes all public restrooms and the usability of them.

Estimated cost to achieve compliance **\$4,210**

Miscellaneous items

This includes miscellaneous items within the building such as water fountains and public phones.

Estimated cost to achieve compliance **\$0**



Morningside Senior Center

Allegheny River Blvd

279

28

579

60

19

8

837

885

40°27'12.65" N 79°57'37.97" W

Eye alt 19.02 km

Image © 2010 Sanborn
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Data SIO, NOAA, U.S. Navy, NGA, GEBCO

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INSPECTION REPORT
Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Year Constructed:	1968	Weather Conditions Day of Inspection:	
Neighborhood/Ward:	Morningside / Ward 10	Temp:	82
Block / Lot:	121- / 128	Precipitation:	None
Square Footage:	10,016	Wind:	None
Department Assigned:	PE	Date of Inspection:	May 5, 2010
Facility Main Contact:	Ron Duetsch	Front of Building Faces:	NW
Phone:	<u>412-979-3456 (Cell)</u>		

Site

FAIR	Paving	Notes:	<u>Severely cracked / miscellaneous patches</u>
N/A	Line Striping <u>N/A</u> # of Spaces	Notes:	<u>No parking on site</u>
Fair	Site Signage	Notes:	<u>On Building Only (Traffic control / parking on premises)</u>
Fair	Landscaping	Notes:	<u>Minimal-limited to a few planting beds, ornamental bushes & trees</u>
N/A	Compactor / Dumpster & Enclosure	Notes:	
Poor	Bollards	Notes:	<u>One @ Building & three along President Way - all need to be painted</u>
N/A	Curbs	Notes:	
Fair	Sidewalks	Notes:	<u>Entrance walks only</u>
Good	Fencing / Enclosures	Notes:	<u>Athletic applications - see notes below</u>
Good	Storm Water Inlets	Notes:	<u>Trench drain at building's main entrance - should be cleaned out</u>
N/A	Storm Water Detention	Notes:	
Good	Site Furnishings	Notes:	<u>Athletic applications - see notes below</u>
	Athletic Fields	Notes:	<u>Three Baseball/Softball, One Football & One Basketball Court</u>
Good	Basketball	Notes:	<u>Goals, playing surface & court markings in good condition</u>
Good	Baseball/Softball - North	Notes:	<u>Newer fencing, press box (CMU) behind home plate & stands. Scoreboard in left field. Fields extremely well groomed (infield & outfield). Portable outfield fencing in place.</u>
Fair	Baseball/Softball - South	Notes:	<u>Older fencing & bleachers. Field in fair condition</u>
Poor	Baseball/Softball - West	Notes:	<u>Fencing in very poor condition, infield being overtaken by weeds</u>
Fair	Football/Soccer/Lacrosse	Notes:	<u>Football field & goal posts in fair condition. Two story press box (CMU / wood frame) in fair/poor condition. Has power (lights & receptacles)</u>
Good	Athletic Lighting	Notes:	<u>Extensive lighting for fields - see electrical report</u>

Notes: Playground equipment / soft surface @ northern end of property is in excellent condition. Paving @ playground area is in good condition. There are two out buildings on the property - a masonry concession stand / public rest room located adjacent to the playground and a CMU storage shed located at the southern end of the property. We did not have access to either structure. From the outside the concession stand seems to be in good/fair condition and the shed, which was recently constructed seems to be in good condition. There is a batting cage located to the west of the shed.
There are low Belgian block site walls at the entrance to the facility that are in disrepair and many blocks need to be re set.

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Interiors

Interior Spaces

	Ceiling	Notes:	Painted CMU through out
Good	Flooring - Type 1 VCT	Notes:	Rooms 117, 102, 101 (partial), 201, 202 (partial) & 205
Good	Flooring - Type 2 Mosaic Ceramic Tile	Notes:	Rooms 100, 107, 109, & 111
Fair	Flooring - Type 3 Carpet	Notes:	101 & 117 (partial), 118, 202, 204, 206
	Flooring - Type 4 Sheet Goods	Notes:	Room 202 (partial)
Good	Base	Notes:	Rubber Base
Good	Walls	Notes:	Painted CMU through out w/ some ceramic tile
Good	Ceramic Tile Walls @ Shower Rooms	Notes:	Rooms 109, & 111
Good	Doors	Notes:	1st floor Stained wood w/ metal frame
Fair	Doors (apartment)	Notes:	2nd floor Stained louan / HC Bi-fold @ Closets
N/A	Operable Partitions	Notes:	
	Other:	Notes:	

Bathrooms

Women's Room (Rm 103)

Good	Ceiling	Notes:	Painted CMU through out
Good	Flooring - Type 1 Mosaic Ceramic Tile	Notes:	
Good	Walls	Notes:	Painted CMU through out

Men's Rooms (Rms 108 & 110)

Good	Ceiling	Notes:	Painted CMU through out
Good	Flooring - Type 1 Mosaic Ceramic Tile	Notes:	
Good	Walls	Notes:	Painted CMU through out

Back of House - Locker Rooms (106, 109, 111, 113, 114)

Good	Ceiling	Notes:	Painted CMU through out
Good	Flooring - Type 1 Concrete	Notes:	106, 113 & 114
Good	Flooring - Type 2 Mosaic Ceramic Tile	Notes:	109 & 111
Good	Walls	Notes:	Painted CMU through out

Notes: Locker Rooms / Coaches' office (RM 104) could use a good cleaning

POSSIBLE ENVIRONMENTAL ISSUES

INSPECTION REPORT
Morningside Senior Center (B094)
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Notes: Room 104 has 9" x 9" tile flooring which may be vinyl asbestos tile.

NOTES

Notes:

Additional information on apartment (RMs 201, 201, 204, 205 & 206) and Laundry Room (RM 203)

Apartment

Walls are GWB painted w/ 3" rubber cove base

Ceilings are painted CMU

Carpet needs to be cleaned or replaced

Windows have cultured marble sills

Sliding glass door @ Living Room is in OK condition

Kitchen Cabinets are well past useful life and should be replaced

Counter top is plastic laminate and is in fair condition

Double Bowl Stainless Steel Kitchen Sink

Electric Oven - should be cleaned

Stained clamshell casing at doors (not at Bi-Fold's)

Apartment Windows are sliding type and appear to be in fair condition

Laundry Room

Has hook ups for electric dryer & washing machine

Has Laundry tub



40°29'03.15" N 79°55'32.61" W

Jun 2007

Eye alt 644 m

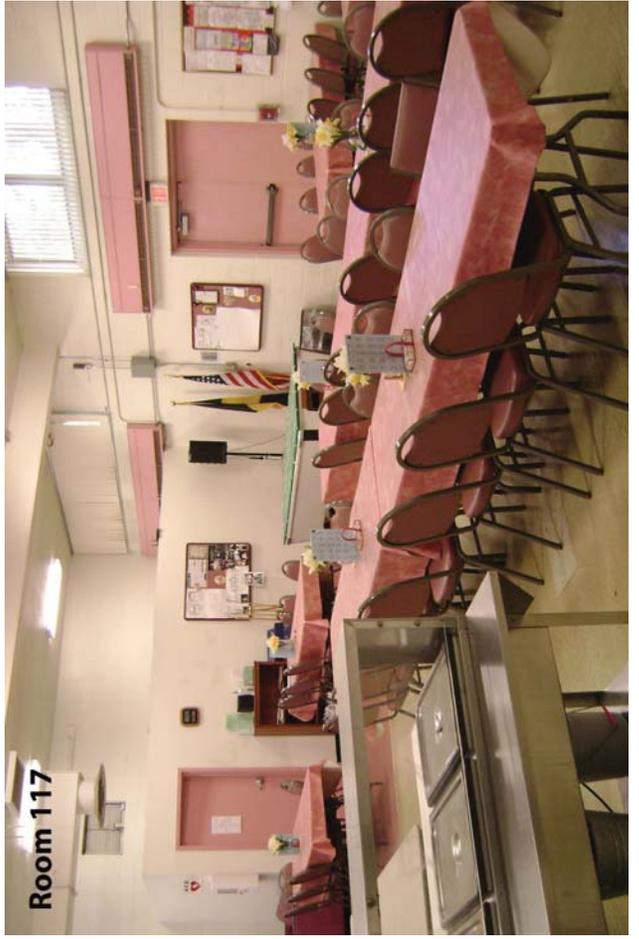
Data SIO, NOAA, U.S. Navy, NGA, GEBCO
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Google





Room 100



Room 117



Room 100



Room 117



Room 117



Room 118



Room 118



Room 107





Room 110



Room 112



Room 110



Room 112



Room 104



Room 113



Room 111



Room 113



Room 113



Room 106



Room 106

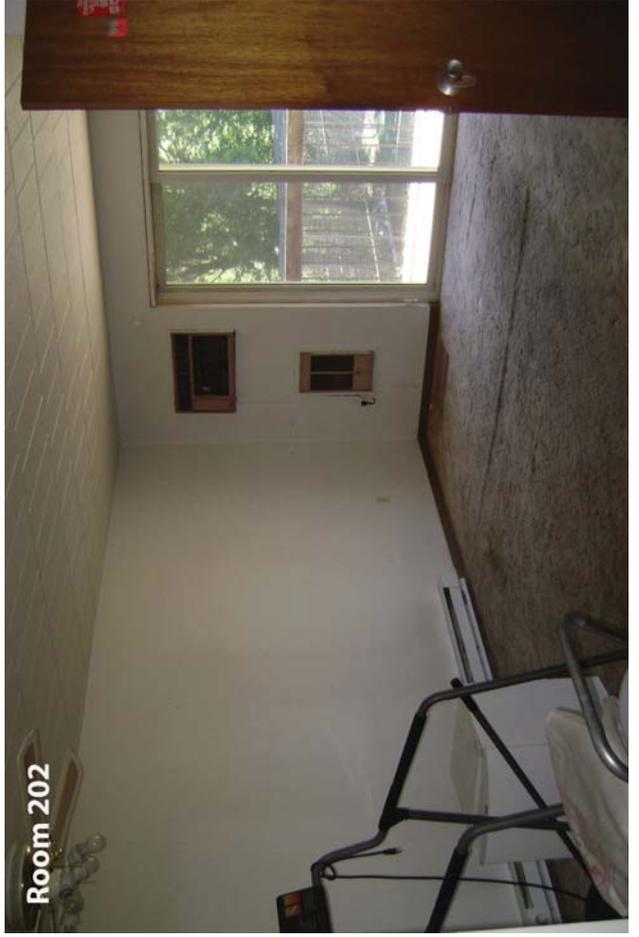


Room 106





Room 115



Room 202



Room 203



Room 201



Room 206



Room 205



Room 204



Room 202 (Entry)



Entry



N. Baseball



Basketball



S. End Zone

Pressbox



Batting Cage



SW Corner



Apt. Balcony



S. Baseball



Shed



SE Corner



Rear of Building



E. Corner



Concession



Concession



N. Baseball



N. Baseball



Roof Detail





ADDENDUM No. 1
June 24, 2011

RE: City of Pittsburgh Facility Analysis Report
Facility Survey and Code Analysis – Sections 2-7
Section Three: Exterior Wall / Roofing
Additional information: Window Inspection
Building Name: Morningside Senior Center
Building Code: B094

FROM: Massaro CM Services, LLC

TO: City of Pittsburgh
 Department of Public Works

This addendum forms a part of the Facility Inspection Reports that were developed by Massaro CM Services, LLC as part of the City of Pittsburgh's Facility Analysis and Management program.

ADDITIONAL INFORMATION TO BE ADDED TO THE CITY OF PITTSBURGH'S FACILITY ANALYSIS REPORT (SECTIONS 2-7); SECTION THREE: EXTERIOR WALL / ROOFING:

On July 17, 2011 a visual inspection of the exterior windows of the **Morningside Senior Center** was conducted. The windows were inspected from the exterior of the building. The weather that day was clear, bright and sunny. The windows were found to be in POOR condition. The glass block infill was found to be in fair condition

Additional finding include:

1. Re-caulking is needed at nearly all locations.
2. Some screens are missing

END OF ADDENDUM No. 1



May 6, 2010

Mr. Daniel T. Kiefer
Preconstruction Manager
Massaro CM Services LLC
120 Delta Drive
Pittsburgh, PA 15238

RE: Visual Survey - Morningside Senior Center

PREFACE

AMI was commissioned by Massaro CM Services to perform a visual survey on the building enclosure of the Morningside Senior Center, 100 Antietam Ave, Pittsburgh, PA 15206. The survey was conducted on May 5, 2010. The weather was sunny with temperatures in the sixties.

The purpose of the survey was to identify current conditions. The survey consisted of a visual inspection of the roofing system, building wall and the associated external building components.

VISUAL INSPECTION

The visual inspection included observing the ceilings and decking, roof surface, flashings, penetrations, terminations and all other related components of the roofing system building walls. The building inspected contains approximately 5,930 square feet of roof area on three levels (2 story apartment on SE corner 1,070 SF, 1-1/2 story community room on NE corner 1,950 SF, 1 story office/entry on west side 2,910 SF).

1. Building walls

1.1 Construction: The building walls are constructed with concrete block with a brick veneer. A few small areas of ceramic inlays are installed on the west and south walls.

Two sets of metal doors are installed at the entry with metal frames. Two metal doors (south side) and one metal door (east side) are installed with metal frames.

Two glass block windows are installed on the west side. One window was abandoned on the north side and closed in with unfinished cement blocks. Four sliding windows and one glass sliding door unit is installed on the second floor apartment area. Stationary windows are installed at the top of the walls in the Community room area. The windows on the west side and the first floor of the south side are protected with metal screens.

Two exhaust fans penetrate the first floor of the south wall. One exhaust fan penetrates first floor of the east wall. One louver penetrates the south end of the east wall and one louver penetrates the north wall.

A concrete porch is constructed on the SE corner of the second floor for the apartment.

1.2 Condition: The building walls appear to be in good condition. Some areas of cracked, broken and missing ceramic tiles were observed at the inlays. Vines are growing on the walls in the NE corner.

The caulking around the doors is aged, cracked and missing in some areas. The bottom of the metal frame is rusted on the east side door.

One glass block is broken at the window on the left side of the main entry. The caulking around the windows is aged and cracked. The concrete block is not sealed and the wood header is not painted at the abandoned window on the north side.

The caulking around the louver on the east wall is aged and cracked.

The wall is open (not sealed) under the second floor porch at the south side.

2. Roof Deck

2.1 Construction: The roof decking is constructed of industry standard, concrete DoxPlank members.

2.2 Condition: No conditions were observed that would indicate deck problems.

3. Roof Insulation

3.1 Construction: No core cuts were taken.

3.2 Condition: The insulation is assumed to be in fair condition. A few soft areas were felt underfoot during the inspection.

4. Roof Membrane

4.1 Construction: The roof system is constructed of white granule surfaced modified bitumen roofing system reportedly installed in 1993 with a 12 year warranty. It appears the roof system was installed over a previous roof system.

4.2 Condition: The roof membrane appeared in poor to fair condition. Blisters were observed throughout all three roof levels. Patches and repair were observed in some areas. Debris was observed on the roof (leaves and pine needles) in a few areas. Ponding water was observed on the south end of the first level.

5. Membrane flashings

5.1 Construction: The perimeter and curb flashings are constructed with the same modified bitumen membrane as used on the roof.

5.2 Condition: The membrane flashing system is in poor condition. The flashing is loose from the wall and buckled (wrinkles).

6. Perimeter Terminations

6.1 Construction: The building walls extend above the roof line creating a parapet wall at the roof perimeters. Some areas of the parapet walls are open, the walls end at the roof line and are terminated with copper gravel stop. The parapet walls are capped with precast concrete coping. The membrane wall flashings are terminated with metal bar.

6.2 Condition: The concrete coping is in fair condition. The mortar joints have been coated with asphalt cement in some areas. Most mortar joints are cracked and open with mortar missing in some joints. The copper gravel stop is in fair condition, appears to be original and reused with the existing roof installation. The gravel stop is bent in some areas. The metal bar termination has been coated with asphalt roof cement which is cracked and open in some areas.

7. Roof Top Penetrations

7.1 One HVAC curb, pipes and exhaust fan curbs penetrate the roof.

7.2 Condition: The penetrations are in good condition.

8. Drainage System

8.1 Construction: All three roof areas drain to interior

roof drains. There is no apparent slope to the drains.

8.2 Condition: The drainage system appears to be in good condition and operating properly.

9. Access

10.1 Providing an extension ladder is the only access to the roofs.

CONCLUSIONS

The brick walls are in good condition. The ceramic tile inlay areas are in fair condition.

The caulking around the doors, windows and wall penetrations is cracked, aged and missing in some areas. One glass block is broken. The filled-in opening at the abandoned window on the north wall is not weather sealed.

The wall is open and not weather tight directly under the apartment porch deck.

No leaks are reported in the building.

The roof decking appears to be in good condition. We did not observe any signs that would suggest a serious problem with the decking system at this time.

The roof membrane is in poor to fair condition and the flashing system is in poor condition. The loose and buckled flashing should be monitored and repaired if it becomes worse the roof is replaced.

The coping is in fair condition. The roof top units and penetrations are in good condition.

The drainage system is in good condition. The drains appear to be operating properly.

With proper Maintenance and corrective repairs, it is our opinion that the roofing system is in a maintainable condition for the next five years.

Estimates:

1 year: Repair existing roof defects - Estimated cost: \$1,000. Caulk and seal all doors, windows and wall penetrations - Estimated cost: \$2,500. Caulk and seal butt joint in the concrete coping - Estimated cost: \$1,000. Repair ceramic tile inlay areas - Estimated cost: \$3,000. Paint concrete block and wood at the abandoned window area - Estimated cost: \$500. Close in opening under the porch deck and make weatherproof - Estimated cost: \$1,000. Inspect roofs and walls yearly and remove vines from NE corner walls - Estimated cost: None (perform with in-house personnel)

5 year: Replace roofing and flashing system - Estimated cost: \$72,000 (5,930 SF x \$12/SF)

10 year: Maintain a pro-active maintenance program. Inspect the roof system and walls on a regular schedule - minimum twice a

year (late spring and late fall). Estimated cost: none (perform in-house)

Please contact me with questions regarding the above report.

Thank you,

Sincerely,

Ron Paul

Ronald J. Paul
President



EW-1 Front entry, west elevation



EW-4 Rear, east elevation



EW-2 Front entry, west elevation



EW-5 Ceramic tile inlay at entry, missing and broken tile



EW-3 Right side, south elevation



EW-6 Ceramic tile inlay at south wall, missing and broken tile, missing concrete sill plate



EW-7 Vines growing on NE corner



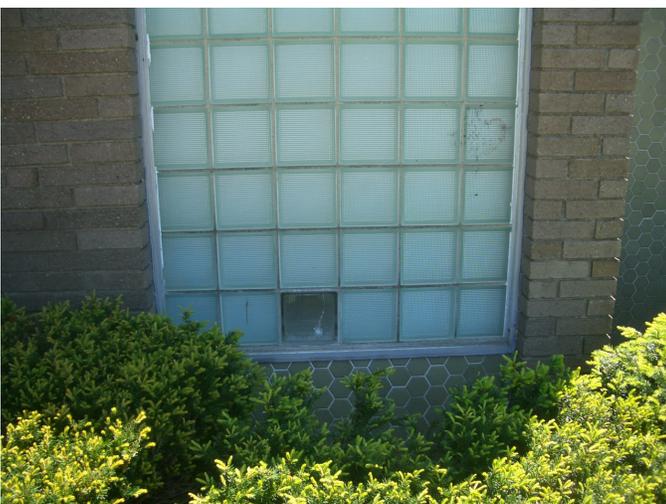
EW-10 Cracked and open caulking at apartment window, typical



EW-8 Caulking missing at door jamb typical



EW-11 Abandoned window infill at north wall, unfinished concrete block and wood



EW-9 Broken glass block at left side of main entry



EW-12 Cracked and open caulking at louver, typical



EW-13 Porch on 2nd floor, opening under the concrete slab



May 6, 2010

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Two glass block windows are installed on the west side. One window was abandoned on the north side and closed in with unfinished cement blocks. Four sliding windows and one glass sliding door unit is installed on the second floor apartment area. Stationary windows are installed at the top of the walls in the Community room area. The windows on the west side and the first floor of the south side are protected with metal screens.

Two exhaust fans penetrate the first floor of the south wall. One exhaust fan penetrates first floor of the east wall. One louver penetrates the south end of the east wall and one louver penetrates the north wall.

A concrete porch is constructed on the SE corner of the second floor for the apartment.

1.2 Condition: The building walls appear to be in good condition. Some areas of cracked, broken and missing ceramic tiles were observed at the inlays. Vines are growing on the walls in the NE corner.

The caulking around the doors is aged, cracked and missing in some areas. The bottom of the metal frame is rusted on the east side door.

One glass block is broken at the window on the left side of the main entry. The caulking around the windows is aged and cracked. The concrete block is not sealed and the wood header is not painted at the abandoned window on the north side.

The caulking around the louver on the east wall is aged and cracked.

The wall is open (not sealed) under the second floor porch at the south side.

2. Roof Deck

2.1 Construction: The roof decking is constructed of industry standard, concrete DoxPlank members.

2.2 Condition: No conditions were observed that would indicate deck problems.

3. Roof Insulation

3.1 Construction: No core cuts were taken.

3.2 Condition: The insulation is assumed to be in fair condition. A few soft areas were felt underfoot during the inspection.

4. Roof Membrane

4.1 Construction: The roof system is constructed of white granule surfaced modified bitumen roofing system reportedly installed in 1993 with a 12 year warranty. It appears the roof system was installed over a previous roof system.

4.2 Condition: The roof membrane appeared in poor to fair condition. Blisters were observed throughout all three roof levels. Patches and repair were observed in some areas. Debris was observed on the roof (leaves and pine needles) in a few areas. Ponding water was observed on the south end of the first level.

5. Membrane flashings

5.1 Construction: The perimeter and curb flashings are constructed with the same modified bitumen membrane as used on the roof.

5.2 Condition: The membrane flashing system is in poor condition. The flashing is loose from the wall and buckled (wrinkles).

6. Perimeter Terminations

6.1 Construction: The building walls extend above the roof line creating a parapet wall at the roof perimeters. Some areas of the parapet walls are open, the walls end at the roof line and are terminated with copper gravel stop. The parapet walls are capped with precast concrete coping. The membrane wall flashings are terminated with metal bar.

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8. Drainage System

8.1 Construction: All three roof areas drain to interior

roof drains. There is no apparent slope to the drains.

8.2 Condition: The drainage system appears to be in good condition and operating properly.

9. Access

10.1 Providing an extension ladder is the only access to the roofs.

CONCLUSIONS

The brick walls are in good condition. The ceramic tile inlay areas are in fair condition.

The caulking around the doors, windows and wall penetrations is cracked, aged and missing in some areas. One glass block is broken. The filled-in opening at the abandoned window on the north wall is not weather sealed.

The wall is open and not weather tight directly under the apartment porch deck.

No leaks are reported in the building.

The roof decking appears to be in good condition. We did not observe any signs that would suggest a serious problem with the decking system at this time.

The roof membrane is in poor to fair condition and the flashing system is in poor condition. The loose and buckled flashing should be monitored and repaired if it becomes worse the roof is replaced.

The coping is in fair condition. The roof top units and penetrations are in good condition.

The drainage system is in good condition. The drains appear to be operating properly.

With proper Maintenance and corrective repairs, it is our opinion that the roofing system is in a maintainable condition for the next five years.

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5 year: Replace roofing and flashing system - Estimated cost: \$72,000 (5,930 SF x \$12/SF)

10 year: Maintain a pro-active maintenance program. Inspect the roof system and walls on a regular schedule - minimum twice a

year (late spring and late fall). Estimated cost: none (perform in-house)

Please contact me with questions regarding the above report.

Thank you,

Sincerely,

Ron Paul

Ronald J. Paul
President



R-1 Underside of roof typical, Doxplank concrete deck



R-4 Typical repairs and patches



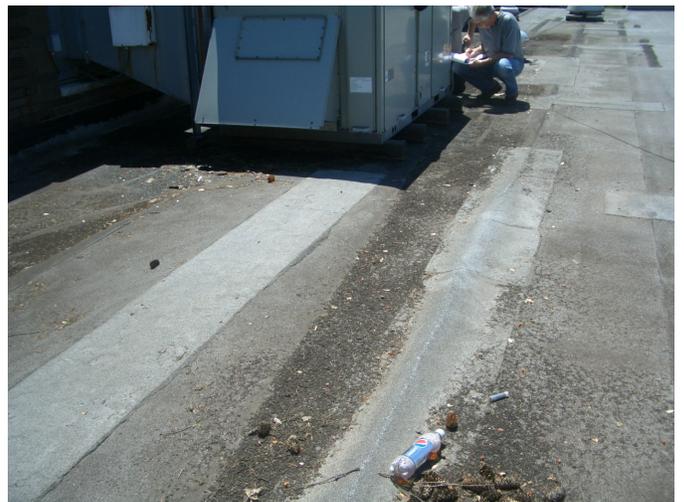
R-2 Office/Entry roof looking north



R-5 Ponding water on Office/Entry roof area



R-3 Office/Entry roof looking south



R-6 Office/Entry roof, debris, repairs, HVAC unit



R-7 Coping, wall flashing, typical



R-10 Community room, roof repairs



R-8 Coping, buckled wall flashing, Typical



R-11 Community room roof area looking north



R-9 Wall at community room-apartment, buckled flashing and gravel stop repair



R-12 Community room and apartment wall, coping, gravel stop and drain



R-13 Apartment roof looking north



R-16 Missing mortar at coping butt joint, typical



R-14 Apartment roof, blister and repairs



R-17 Copper gravel stop and extender, typical



R-15 Asphalt cement repair to coping butt joint, cracked and open, typical

Atlantic Engineering Services

650 Smithfield St
 Suite 1200
 Pittsburgh, PA 15222
 412-338-9000

Client: **Massaro CM**
 120 Delta Drive
 Pittsburgh, PA 115238-2806
 412/963-2800

Building Observation Report

Facility Morningside Senior Center
 Street Address 6944 President Way
 City, State PGH 15206

AES Personnel: TRJ / GJT Weather Conditions: Sunny
 Date: 5-May-10 Temp: 80
 Time: 1:30 PM Wind: Calm
 Facility Main Contact: Ron Duetsch Building Use: Community Center
 Facility Phone: 412-979-3456 Building Code: B094

Structural

Overall	Number of Stories	Notes:	<u>1 to 2 stories</u>
	Structure Type	Notes:	<u>CMU Block bearing walls with CMU dox plank roof</u>
	Basement	Notes:	<u>none</u>
Foundation	Material	Notes:	<u>Not Visible</u>
	Settlement	Notes:	<u>Some minor differential settlement @ one location</u>
	Moisture	Notes:	<u>None Observed</u>
Floor System	Structure	Notes:	<u>Slab on Grade / CMU dox plank</u>
	Floor Finishes	Notes:	<u>Tile, Carpet, Vinyl</u>
	Stairs	Notes:	<u>Concrete filled metal pan</u>
Walls	Exterior Material	Notes:	<u>Brick with CMU backup</u>
	Interior Material	Notes:	<u>Exposed CMU bearing and non-load bearing</u>
Columns	Type	Notes:	<u>None</u>
Roof	Structure Type	Notes:	<u>CMU dox plank (17 to 22ft span approx)</u>
	Slope	Notes:	<u>Flat</u>
	Roofing Material	Notes:	<u>Rolled asphalt</u>

Atlantic Engineering Services
650 Smithfield St
Suite 1200
Pittsburgh, PA 15222
412-338-9000

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120 Delta Drive
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Building Observation Report

Facility Morningside Senior Center
Street Address 6944 President Way
City, State PGH 15206

Structural

Notes: _____

Exterior -

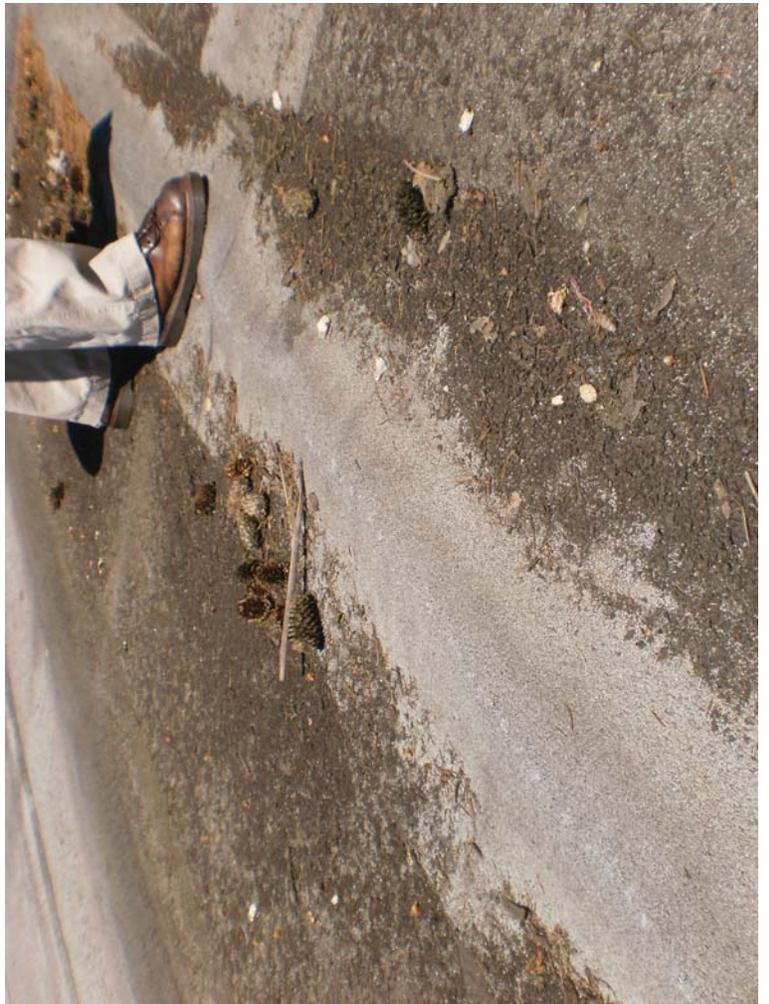
- 1) Brick repointing recommended (10 years)
- 2) Ivy on north and east faces of building should be removed to avoid deterioration of façade mortar by roots (1yr)
- 3) Flashing at the north face window infill missing - (about 4 lineal feet at window head) (1yr) **(photo S1)**
- 4) Settlement of exterior infill wall beneath balcony of room 202 observed. Recommend to epoxy rebar dowels through wing walls and into end of CMU infill. Anchor with #5 rebar at 24 inches vertically. (1yr) **(photo S2)**

Roof -

- 5) Caulking at scuppers / gravel stop missing in places - full replacement recommended (1 - 5 yrs)
- 6) Mortar between parapet cap stones missing - full replacement (1 yr) **(photo S3)**
- 7) Roofing expanding and curling - Full replacement with rubber membrane roof recommended (5 yrs) **(photo S4)**
- 8) Water infiltration observed @ bulkhead in room 100 & 106. Standing water on roof above also observed - recommend flashing and patching of MEP penetrations (1yr) **(photo S5)**

Interior -

- 9) Minor water infiltration @ SW 2nd floor bedroom wall near ceiling (address flashing at parapet, patch - paint) (1yr)
- 10) Minor differential settlement @ 2 story load bearing / non-load bearing wall interface (caulk and monitor crack) (1yr)





INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Year Constructed: 1969
 Neighborhood: Morningside
 Block / Lot: 0
 Square Footage: 10,016
 Department Assigned: 0
 Facility Main Contact: Ron Duetsch
 Phone: 412-979-3456 (Cell)

Weather Conditions Day of Inspection:
 Temp: 80
 Precipitation: None
 Wind: 0 MPH
 Date of Inspection: May 5, 2010

Plumbing

X	Service Entrance	Notes: 2-inch line through floor of Room 114
	Meter location	Notes: No meter (photo M-001)
	Meter size	Notes:
	Meter condition	Notes:
	Backflow preventer	Notes: No backflow preventer (photo M-001)
	Pressure Reducing Valve	Notes: No pressure reducing valve
	Water Filtration	Notes:
	Water Softener	Notes:
2	Water Heaters	Notes: There are two identical water heaters in Room 114.
	Make AO Smith	Notes:
	Model PVE-120	Notes: These heaters are currently out of service and the
	Serial 69 682 7800011	Notes: disconnect switch os in the off position.
	Age 41 years	Notes:
	Elements 2 @ 13.5 Kw each	Notes:
	Total Capacity 27.0 Kw	Notes:
	Storage Capacity 120 gallons	Notes:
	Expansion Tank	Notes:
	Natural gas	Notes:
X	Electric	Notes: 208V/60Hz/3Ph
	Flue vent	Notes:
	Recirculation Pump	Notes:
	Sump Pump	Notes:

INSPECTION REPORT

**Morningside Senior Center (B094)
 6944 President Way
 Pittsburgh, PA 15206**

Plumbing

1	Water Heaters	Notes: This heater is located in Room 112, the Electric Room
	Make <u>RUUD</u>	Notes: (photo M-002)
	Model _____	Notes: This heater is supplying the entire building with
	Serial _____	Notes: domestic hot water.
	Age <u>6 years</u>	Notes: _____
	Elements _____	Notes: _____
	Total Capacity <u>4500 W</u>	Notes: _____
	Storage Capacity <u>50 gallons</u>	Notes: _____
	Expansion Tank _____	Notes: _____
	Natural gas	Notes: _____
X	Electric	Notes: <u>208V/60Hz/3Ph</u>
	Flue vent	Notes: _____
	Recirculation Pump	Notes: _____
	Sump Pump	Notes: _____

Notes: The service entrance is not protected by a backflow preventer, a pressure reducing valve and there is no meter.
 A backflow preventer should be installed within 1 year.
 A pressure reducing valve should be installed if necessary within 1 year.
 Verify the requirement for a water meter on the building and install if required within 1 year.

The water heater and its associated piping located in the Electrical Room 112 is not in compliance with current codes and should be relocated out of the electric room within 1 year. **(photo M-002)** This water heater is 6 years old and is approximately half way through its normal anticipated life of 13 years.
 This heater should be replaced in 5-7 years.

If the large water heater in Room 114 is not going to be used in the future for the shower rooms it should be removed within 1 year. This would provide a location for the relocated heater from Room 112.

INSPECTION REPORT

**Morningside Senior Center (B094)
 6944 President Way
 Pittsburgh, PA 15206**

Plumbing

1	Number of Men's Rooms	Notes: Room 108 - No ADA fixtures in this room
1	Number of water closets	Notes: These fixtures are in good condition.
2	Number of urinals	Notes: _____
1	Number of lavatories	Notes: _____
	Number of shower heads	Notes: _____

1	Number of Women's Rooms	Notes: Room 103 - No ADA fixtures in this room
2	Number of water closets	Notes: These fixtures are in good condition.
2	Number of lavatories	Notes: _____
	Number of shower heads	Notes: _____

1	Number of Unisex Rooms	Notes: Room 110 - This room has ADA compliant fixtures
1	Number of water closets	Notes: These fixtures are in good condition.
1	Number of lavatories	Notes: _____

1	Number of Men's Locker Room Toilet Facilities	Notes: Part of Room 106 Locker Room.
2	Number of water closets	Notes: No ADA fixtures in this room.
0	Number of urinals	Notes: These fixtures not ADA compliant are in fair condition.
2	Number of lavatories	Notes: _____

2	Number of Shower Rooms	Notes: Rooms 109 and 111 - No ADA fixtures in this room
6	Number of shower heads	Notes: There are two shower rooms, one for each locker room. Each shower room has 8 shower heads. These showers appear to have been abandoned and are currently used for storage.

1	Drinking Fountains	Notes: Located in the main Hall Room 100 between the restrooms Room 103 and 108. This fountain is not ADA accessible.
---	--------------------	--

X	Pipe	Notes: The domestic hot and cold water piping appears to be
X	Condition	Notes: original to the building. It is in good condition.
X	Insulation	Notes: All visible domestic water piping insulated.

INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Plumbing

- Grease Traps
- Solids Interceptor
- Oil/Water Separator
- Sewage Grinder
- Neutralizer Tank (Acid Waste)

Notes: _____
Notes: _____
Notes: _____
Notes: _____
Notes: _____

Sanitary Sewer

Notes: Two 4-inch cast iron pipes exit the front (north side) of the building and change to 6-inch vitreous tile pipe.
The pipe changes back to cast iron below pavement.
The pipe joins the rain water pipe from the back of the building and is routed to a combined sewer manhole.
This piping was installed in 1969 when the building was built and has no reported problems.

Rain Water Sewer

Notes: Three roof drains go to a 3-inch cast iron pipe that exits the back (south side) of the building.
At the house trap the pipe changes to 6-inch vitreous tile.
The pipe then connects into the sanitary sewer on the front (north side) of the building.
This piping was installed in 1969 when the building was built and has no reported problems.

Access Doors

Notes: _____

Kitchenette

Notes: Room 117

2 Number of sinks

Notes: There is one restaurant hand sink and one two compartment restaurant sink which are both in good condition.

INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Plumbing

<input checked="" type="checkbox"/>	Apartment Systems	Notes: The apartment is currently unoccupied.
<input type="checkbox"/>	1 Kitchen sink	Notes: Fair condition
<input type="checkbox"/>	Dishwasher	Notes:
<input type="checkbox"/>	1 Tub/shower	Notes: Fair condition
<input type="checkbox"/>	1 Toilet	Notes: Fair condition
<input type="checkbox"/>	1 Sink	Notes: Fair condition
<input type="checkbox"/>	1 Laundry tub	Notes: Fair condition
<input checked="" type="checkbox"/>	Hose Bibs	Notes: There are three tamper proof hose bibs on the exterior of the building that are in fair condition. One is located directly above the electrical service pull box on the exterior of the building.
<input type="checkbox"/>	1 Janitor's Service Sink	Notes: There is one service sink in Electrical Room 112. (photo M-003) This sink is in bad condition

INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Plumbing

Notes: Restrooms 103, 108 and 110 are in good condition. No replacement is recommended.

Toilet facilities in Room 106 are not ADA compliant and should be replaced if the locker room is used on a regular basis.

Shower Rooms 109 and 111 are currently abandoned. If they will continue to not be used the piping should be isolated from the remainder of the domestic water system within 1 year. If they are to be reused they should be checked and verified for proper operation and repaired or replaced as necessary.

The drinking fountain in the Main Hall Room 100 should be replaced with an ADA accessible Fountain.

Kitchenette Room 117 sinks are in good condition. No replacement is recommended.

The apartment plumbing is in fair condition and should be updated if the apartment is to be rented.

The exterior hose bibs should be replaced with non freeze wall hydrants with integral backflow prevention.

The janitors service sink in Electrical Room 112 is in bad condition and is a safety hazard. **(photo M-003)**
This sink should be relocated out of this space within 1 year.

There is no natural gas service to the building.

The sanitary sewer pipe below grade should be video inspected and its condition assessed within 5 years.

The rain water sewer pipe below grade should be video inspected and its condition assessed within 5 years.

INSPECTION REPORT

**Morningside Senior Center (B094)
 6944 President Way
 Pittsburgh, PA 15206**

Year Constructed: 1969
 Neighborhood: Morningside
 Block / Lot: 0
 Square Footage: 10,016
 Department Assigned: 0
 Facility Main Contact: Ron Duetsch
 Phone: 412-979-3456 (Cell)

Weather Conditions Day of Inspection:
 Temp: 80
 Precipitation: None
 Wind: 0 MPH
 Date of Inspection: May 5, 2010

HVAC Air Side Systems and Equipment

1	Packaged Rooftop Units	Notes:	<u>Disconnect switch off on the day of the</u>
	Gas Heat	Notes:	<u>site visit.</u>
X	Electric Heat	Notes:	_____
	Steam Heat	Notes:	_____
	Hot Water Heat	Notes:	_____
X	Condensate Drains	Notes:	<u>To roof</u>
	Utility Connections	Notes:	_____
	Duct Smoke Detector	Notes:	<u>No duct detector observed</u>

Manufacturer: Trane Serial # P031006330
 Model: TCH120C300AB Voltage: 208V/60Hz/3Ph
 Date of Mfr: 2/1999 Refrigerant: R-22
 Heater Model: AYHHTRJ318A Heater Cap: 13.5 Kw

	Indoor Air Handling Units	Notes:	_____
	Gas Heat	Notes:	_____
	Electric Heat	Notes:	_____
	Steam Heat	Notes:	_____
	Hot Water Heat	Notes:	_____

Manufacturer: _____ Serial # _____
 Model: _____ CFM _____
 Year Installed: _____ Other _____

	Remote Condensing Unit	Notes:	_____
	Refrigerant Piping	Notes:	_____

Manufacturer: _____ Serial # _____
 Model: _____ CFM _____
 Year Installed: _____ Other _____

INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Year Constructed:	1969	Weather Conditions Day of Inspection:	
Neighborhood:	Morningside	Temp:	80
Block / Lot:	0	Precipitation:	None
Square Footage:	10,016	Wind:	0 MPH
Department Assigned:	0	Date of Inspection:	May 5, 2010
Facility Main Contact:	Ron Duetsch		

HVAC Air Side Systems and Equipment

<input type="checkbox"/> 1	Exhaust/Ventilation Fans Exhaust Fan #1 Serves Locker Room 106	Notes:	<u>A roof mounted fan interlocked with a roof mounted intake hood with a motorized damper. The fan is in poor condition and its reliability are questionable. The intake damper is buzzing and does not appear to be operational. The installation date of the fan is unknown but appears to be at or near the end of its normal anticipated life of 20 years.</u>
<input type="checkbox"/> 1	Exhaust/Ventilation Fans Exhaust Fan #2 Shower room within Room 106	Notes:	<u>A sidewall mounted fan. This fan is in poor condition and its reliability are questionable. The installation date of the fan is unknown but appears to be at or near the end of its normal anticipated life of 20 years.</u>
<input type="checkbox"/> 1	Exhaust/Ventilation Fans Exhaust Fan #3 Shower room within Room 113	Notes:	<u>A sidewall mounted fan. This fan is in poor condition and its reliability are questionable. The installation date of the fan is unknown but appears to be at or near the end of its normal anticipated life of 20 years.</u>

INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Year Constructed: 1969
Neighborhood: Morningside
Block / Lot: 0
Square Footage: 10,016
Department Assigned: 0
Facility Main Contact: Ron Duetsch

Weather Conditions Day of Inspection:
Temp: 80
Precipitation: None
Wind: 0 MPH
Date of Inspection: May 5, 2010

HVAC Air Side Systems and Equipment

1	Exhaust/Ventilation Fans Exhaust Fan #4 Serves Locker Room 113	Notes:	<u>A sidewall mounted fan interlocked with a wall mounted intake louver with a motorized damper. The fan is in poor condition and its reliability are questionable.</u> <u>The installation date of the fan is unknown but appears to be at or near the end of its normal anticipated life of 20 years.</u>
1	Exhaust/Ventilation Fans Exhaust Fan #5 Serves Restroom 110 and Toilets in Locker Room 106	Notes:	<u>A roof mounted fan.</u> <u>This fan is in poor condition and its condition and reliability are questionable.</u> <u>The installation date of the fan is unknown but appears to be at or near the end of its normal anticipated life of 20 years.</u>
1	Exhaust/Ventilation Fans Exhaust Fan #6 Serves Women's Restroom 103 and Men's Restroom #108	Notes:	<u>A roof mounted fan.</u> <u>This fan is in fair condition.</u> <u>The installation date of the fan is unknown but appears to be at or near the end of its normal anticipated life of 20 years.</u>

INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Year Constructed: 1969	Weather Conditions Day of Inspection:
Neighborhood: Morningside	Temp: 80
Block / Lot: 0	Precipitation: None
Square Footage: 10,016	Wind: 0 MPH
Department Assigned: 0	Date of Inspection: May 5, 2010
Facility Main Contact: Ron Duetsch	

HVAC Air Side Systems and Equipment

1	Exhaust/Ventilation Fans Exhaust Fan #7 and Fan #8 Serves Multi-Purpose Room 117	Notes: <u>Two roof mounted fans interlocked with a 32x24 wall louver with motorized damper</u> <u>The fans are in fair condition.</u> <u>The fans are interlocked with the wall damper.</u> <u>The installation date of the fans is unknown but appears to be at or near the end of their normal anticipated life of 20 years.</u>
----------	--	--

1	Exhaust/Ventilation Fans This fan does not have an identification tag Serves Kitchenette #117	Notes: <u>A roof mounted fan.</u> <u>This fan is in fair condition and its condition and reliability are questionable.</u> <u>The installation date of the fan is unknown but appears to be at or near the end of its normal anticipated life of 20 years.</u>
----------	---	---

	Ductwork		Notes:
X		Duct Insulation	Notes: <u>Supply and return ductwork from the rooftop unit is internally lined.</u>
		Louvers	Notes: _____
		Roof Hoods	Notes: _____
		Dampers	Notes: _____

	Cooling Coils		Notes: <u>Did not open unit</u>
		Is coil clean	Notes: _____
		Is drain pan clean	Notes: _____
		Does pan drain	Notes: _____
		Condensate to floor drain	Notes: _____

	Filters		Notes: <u>Did not open unit</u>
		Are filters installed	Notes: _____
		Are filters clean	Notes: _____

INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Year Constructed:	1969	Weather Conditions Day of Inspection:	
Neighborhood:	Morningside	Temp:	80
Block / Lot:	0	Precipitation:	None
Square Footage:	10,016	Wind:	0 MPH
Department Assigned:	0	Date of Inspection:	May 5, 2010
Facility Main Contact:	Ron Duetsch		

HVAC Air Side Systems and Equipment

<input type="checkbox"/>	Controls:	Notes:	
<input checked="" type="checkbox"/>	Electric	Notes:	All controls are stand alone systems
<input type="checkbox"/>	Pneumatic	Notes:	
<input type="checkbox"/>	Discharge air thermometer	Notes:	
<input type="checkbox"/>	Return air thermometer	Notes:	
<input type="checkbox"/>	Outside air thermometer	Notes:	

Manufacturer: _____
 Model: _____
 Year Installed: _____

Serial # _____
 Other _____
 Other _____

<input type="checkbox"/>	Natural Gas Fired Unit Heaters	Notes:	
<input type="checkbox"/>	Flue Duct	Notes:	

Manufacturer: _____
 Model: _____
 Year Installed: _____

Serial # _____
 Other _____
 Other _____

INSPECTION REPORT

**Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206**

Year Constructed:	1969	Weather Conditions Day of Inspection:	
Neighborhood:	Morningside	Temp:	80
Block / Lot:	0	Precipitation:	None
Square Footage:	10,016	Wind:	0 MPH
Department Assigned:	0	Date of Inspection:	May 5, 2010
Facility Main Contact:	Ron Duetsch		

HVAC Air Side Systems and Equipment

Notes: The roof top unit is 11 years old and is approximately 3/4 through its normal anticipated life of 15 years.

The unit is currently operating reliably. The unit used refrigerant R-22 which the production is being severely restricted because of its detrimental greenhouse gas properties. This will cause the cost of the refrigerant to rise rapidly from an already elevated price which will cause any repairs to become cost prohibitive.

This unit is still operable but replacement plans should be made to replace the unit within 5 years, sooner the event of a refrigerant leak.

If a duct mounted or unit mounted smoke detector is not present a detector should be installed in the supply and return ducts and connected to the fire alarm system within 1 year.

Exhaust Fan #1 - This fan and dampers should checked and verified for proper operation and repaired or replaced necessary within 1 year. The buzzing damper motor on the intake damper should be checked immediately.

Exhaust Fan #2 - If the shower is to be abandoned no work is recommended.
If the shower is to be reused the fan should be checked and verified for proper operation and repaired or replaced as necessary.

Exhaust Fan #3 - If the shower is to be abandoned no work is recommended.
If the shower is to be reused the fan should be checked and verified for proper operation and repaired or replaced as necessary.

Exhaust Fan #4 - This fan and dampers should checked and verified for proper operation and repaired or replaced as necessary within 1 year.

Exhaust Fan #5 - This fan and dampers should checked and verified for proper operation and repaired or replaced as necessary within 1 year.

Exhaust Fan #6 - This fan is operating and should be replaced within 5 years.

Exhaust Fan #7 and Fan #8 - These fans and intake damper should be checked and verified for proper operation and repaired or replaced as necessary within 1 year.

Exhaust Fan #9 - This fan should be checked and verified for proper operation and repaired or replaced within 5 years.

INSPECTION REPORT

**Morningside Senior Center (B094)
 6944 President Way
 Pittsburgh, PA 15206**

Year Constructed:	1969	Weather Conditions Day of Inspection:	
Neighborhood:	Morningside	Temp:	80
Block / Lot:	0	Precipitation:	None
Square Footage:	10,016	Wind:	0 MPH
Department Assigned:	0	Date of Inspection:	May 5, 2010
Facility Main Contact:	Ron Duetsch		
Phone	412-979-3456 (Cell)		

HVAC Electric Heating

1	Electric Heaters	Notes:	Main Entry #100 east side
	Manufacturer: <u>Electromode</u>		Heater is in good condition.
	Model: _____		This heater is well beyond its normal
	Serial #: _____		anticipated life of 13 years.
	Capacity: <u>8.0 Kw</u>		
	Voltage: <u>208V/60Hz/3Ph</u>		
	Year Installed: <u>1969</u>		

1	Electric Heaters	Notes:	Main Entry #100 west side
	Manufacturer: <u>Marley</u>		This heater is approximately 1 year old.
	Model: <u>S94510203FFB</u>		the power wiring to this heater does not
	Serial #: _____		comply with codes. The wiring does not
	Capacity: <u>10.0 Kw</u>		have a conduit or bushing as it enters
	Voltage: <u>208V/60Hz/3Ph</u>		the cabinet.
	Year Installed: <u>2009</u>		

10	Electric Heaters	Notes:	Multi-Purpose Room #117
	Manufacturer: <u>Electromode</u>		Heaters are in good condition.
	Model: <u>AST-7</u>		These heaters are well beyond their
	Serial #: _____		normal anticipated life of 13 years.
	Capacity: <u>4.5 Kw</u>		
	Voltage: <u>208V/60Hz/3Ph</u>		
	Year Installed: <u>1969</u>		

2	Electric Heaters	Notes:	Room #101
	Manufacturer: <u>Electromode</u>		Both heaters are well beyond their
	Model: _____		normal anticipated life of 13 years.
	Serial #: _____		The heater on the east wall appears to
	Capacity: <u>6.0 Kw</u>		be out of service and a newer heater is
	Voltage: <u>208V/60Hz/3Ph</u>		installed directly beside it.
	Year Installed: <u>1969</u>		

HVAC Electric Heating

1	Electric Heaters Manufacturer: <u>Singer</u> Model: _____ Serial #: _____ Capacity: <u>2.0 Kw</u> Voltage: <u>208V/60Hz/3Ph</u> Year Installed: <u>Unknown</u>	Notes: <u>Room #101</u> <u>Heater is in good condition.</u> <u>This heater is installed directly beside</u> <u>an older heater on the east wall.</u> <u>This heater is powered from the older</u> <u>heater located directly beside it.</u> <u>This heater appears to be at or beyond</u> <u>its normal anticipated life of 13 years.</u>
1	Electric Heaters Manufacturer: <u>Singer</u> Model: _____ Serial #: _____ Capacity: <u>2.0 Kw</u> Voltage: <u>208V/60Hz/3Ph</u> Year Installed: <u>1969</u>	Notes: <u>Office Room #102</u> <u>Heater is in good condition.</u> <u>This heater is well beyond</u> <u>its normal anticipated life of 13 years.</u>
2	Electric Heaters Manufacturer: <u>Singer</u> Model: _____ Serial #: _____ Capacity: <u>4.0 Kw</u> Voltage: <u>208V/60Hz/3Ph</u> Year Installed: <u>1969</u>	Notes: <u>Women's Restroom #103 and</u> <u>Men's Restroom #108</u> <u>Heaters are in good condition.</u> <u>These heaters are well beyond</u> <u>their normal anticipated life of 13 years.</u>
1	Electric Heaters Manufacturer: <u>Singer</u> Model: _____ Serial #: _____ Capacity: <u>4.0 Kw</u> Voltage: <u>208V/60Hz/3Ph</u> Year Installed: <u>1969</u>	Notes: <u>Unisex Restroom #110</u> <u>Heater is in good condition.</u> <u>This heater is well beyond</u> <u>its normal anticipated life of 13 years.</u>
1	Electric Heaters Manufacturer: <u>Dayton</u> Model: <u>2YU72</u> Serial #: _____ Capacity: <u>11.2 Kw</u> Voltage: <u>208V/60Hz/3Ph</u> Year Installed: <u>2009</u>	Notes: <u>Locker Room #106</u> <u>Heater is in excellent condition.</u> <u>This heater is only 1 year into</u> <u>its normal anticipated life of 13 years.</u>

HVAC Electric Heating

2	Electric Heaters Manufacturer: <u>Singer</u> Model: _____ Serial #: _____ Capacity: <u>4.0 Kw</u> Voltage: <u>208V/60Hz/3Ph</u> Year Installed: <u>1969</u>	Notes: <u>Locker Room #106</u> <u>Two identical heaters in this space.</u> <u>Heaters are in good condition.</u> <u>These heaters are well beyond</u> <u>their normal anticipated life of 13 years.</u> <u>These heaters appear to be interlocked</u> <u>with the heaters in rooms #113 and #114</u> <u>and were operating when it was</u> <u>80 degrees outside.</u>
1	Electric Heaters Manufacturer: <u>Dayton</u> Model: <u>2YU72</u> Serial #: _____ Capacity: <u>11.2 Kw</u> Voltage: <u>208V/60Hz/3Ph</u> Year Installed: <u>2009</u>	Notes: <u>Locker Room #113</u> <u>Heater is in excellent condition.</u> <u>This heater is only 1 year into</u> <u>its normal anticipated life of 13 years.</u> _____ _____
1	Electric Heaters Manufacturer: <u>Singer</u> Model: _____ Serial #: _____ Capacity: <u>4.0 Kw</u> Voltage: <u>208V/60Hz/3Ph</u> Year Installed: <u>1969</u>	Notes: <u>Locker Room #113</u> <u>Heater is in good condition.</u> <u>This heater is well beyond</u> <u>their normal anticipated life of 13 years.</u> <u>This heater appears to be interlocked</u> <u>with the heaters in rooms #106 and #114</u> <u>and was operating when it was</u> <u>80 degrees outside.</u>
1	Electric Heaters Manufacturer: <u>Singer</u> Model: _____ Serial #: _____ Capacity: <u>2.0 Kw</u> Voltage: <u>208V/60Hz/3Ph</u> Year Installed: <u>1969</u>	Notes: <u>Water Heater Room #114</u> <u>Heater is in good condition.</u> <u>This heater is well beyond</u> <u>its normal anticipated life of 13 years.</u> _____ _____
X	Electric Heaters Manufacturer: _____ Model: _____ Serial #: _____ Capacity: _____ Voltage: <u>208V/60Hz/3Ph</u> Year Installed: <u>Unknown</u>	Notes: <u>Apartment electric heaters</u> <u>Heaters are in fair condition.</u> <u>These heaters appear to be at or beyond</u> <u>their normal anticipated life of 13 years.</u> _____ _____

HVAC Electric Heating

Notes: The roof top unit is 11 years old and is approximately 3/4 through its normal anticipated life of 15 years.

Electric Heater Main Entry #100 east side - Heater should be replaced within 5 years.

Electric Heater Main Entry west side - The power wiring should be reworked to conform to code within 1 year.

Electric Heaters Room #101 - All heaters should be checked and verified for proper operation and repaired or replaced as necessary within 1 year.

Electric Heater Room #102 - Heater should be checked and verified for proper operation and repaired or replaced as necessary within 1 year.

Electric Heater Rooms #103 and #108 - Heaters should be checked and verified for proper operation and repaired or replaced as necessary within 1 year.

Electric Heater Room #110 - Heater should be checked and verified for proper operation and repaired or replaced as necessary within 1 year.

Electric Heater Room #104 - This heater was replaced within the past year. No repairs are necessary at this time.

Electric Heaters Room #106 - The ceiling heater is new and no repairs are required at this time.
The two wall heaters should be checked and verified for proper operation and repaired or replaced as necessary within 1 year. The controls should be separated from the other heaters and made to operate independently within 1 year.

Electric Heaters Room #113 - The ceiling heater is new and no repairs are required at this time.
The wall heater should be checked and verified for proper operation and repaired or replaced as necessary within 1 year. The controls should be separated from the other heaters and made to operate independently within 1 year.

Electric Heater Room #114 - Heater should be checked and verified for proper operation and repaired or replaced as necessary within 1 year.

Electric Heaters Apartment - All heaters in the apartment should be checked and verified for proper operation and repaired or replaced as necessary if the apartment is to be reused.

INSPECTION REPORT
Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Year Constructed: 1969
 Neighborhood: Morningside
 Block / Lot: 0
 Square Footage: 10,016
 Department Assigned: 0
 Facility Main Contact: Ron Duetsch
 Phone: 412-979-3456 (Cell)

Weather Conditions Day of Inspection:
 Temp: 80
 Precipitation: None
 Wind: 0 MPH
 Date of Inspection: May 5, 2010

Electrical

<input checked="" type="checkbox"/>	Service Entrance	Notes:	The service entrance into the building has been replaced since the building has been built, possibly in 1999 when the roof top air conditioning unit was installed. The conduit penetrations into the electrical room and are not fire proofed. (photo E-001)
<input type="checkbox"/>			
<input type="checkbox"/>	Voltage	Notes:	208V, 3Ph, 4 wire
<input type="checkbox"/>	Amperage	Notes:	
<input type="checkbox"/>	Above ground	Notes:	
<input checked="" type="checkbox"/>	Below ground	Notes:	
<input type="checkbox"/>	Grounding	Notes:	
<input type="checkbox"/>	Lightning Protection	Notes:	
<input checked="" type="checkbox"/>	Transformer	Notes:	Duquesne Light transformer ID number 41122
<input type="checkbox"/>	Voltage in	Notes:	No tag on transformer
<input type="checkbox"/>	Voltage out	Notes:	208V, 3Ph, 4 wire
<input type="checkbox"/>	kva rating	Notes:	No tag on transformer
<input checked="" type="checkbox"/>	Meter	Notes:	Located in Room #112
<input type="checkbox"/>	Main Switchgear	Notes:	
<input type="checkbox"/>	Main breaker	Notes:	
<input type="checkbox"/>	Voltage	Notes:	
<input checked="" type="checkbox"/>	Main Power Distribution Panels	Notes:	One 800A panel located in Room #112 with 8 breakers feeding sub-panels. (photo E-002) This panel is in good condition but appears to have been installed when the building was built in 1969.

INSPECTION REPORT

**Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206**

Electrical

Power Distribution Panels

Notes:

There are 6 distribution panels serving the building which appear to be original to the building in 1969. These panels are in fair condition but appear to be well past their normal anticipated life. **(photo E-003)**

Notes: All breakers are old and should be checked and verified for proper operation and replaced as necessary. **(photos E-002 and E-003)**

A electric water heater and its associated piping and a utility sink are located in the Electrical Room #112. This water equipment located in an electric room violates current codes and is a potential safety hazard. This water equipment should be relocated out of the electrical room within 1 year. **(photos M-002 and M-003)**

All conduit and pipe penetrations through the electrical room walls should be fire sealed within 1 year. **(photo E-001)**

INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Electrical

<input type="checkbox"/>	Stand-by Generator	Notes:	_____
<input type="checkbox"/>	Transfer switch	Notes:	_____
<input type="checkbox"/>	Day Tank	Notes:	_____

Manufacturer:	_____	Serial #	_____
Model:	_____	Other	_____
Year Installed:	_____	Other	_____

<input type="checkbox"/>	Motor Control Center	Notes:	_____
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<input checked="" type="checkbox"/>	Lighting	Notes:	_____
<input type="checkbox"/>	Multi-Purpose Room #117	Notes:	16 four bulb fluorescent fixtures. The age is unknown. The lights appear to be in good condition.

	Room #101	Notes:	14 two bulb fluorescent fixtures The age is unknown. The lights appear to be in good condition.
--	-----------	--------	---

	Remainder of Senior Center	Notes:	Combination of two and four bulb fluorescent fixtures The age is unknown. The lights appear to be in good condition.
--	----------------------------	--------	--

	Locker Areas	Notes:	Combination of CFL and incandescent fixtures. The age is unknown. The lights are in bad condition.
--	--------------	--------	--

	Apartment	Notes:	Combination of CFL and incandescent fixtures. The age is unknown. The lights appear to be in fair condition.
--	-----------	--------	--

<input checked="" type="checkbox"/>	Receptacles	Notes:	Receptacles are generally in good condition.
-------------------------------------	-------------	--------	--

INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Electrical

<input checked="" type="checkbox"/>	Fire Alarm	Notes:	<u>The building has a Fireshield FS 1004 fire alarm system with Sonitrol monitoring.</u>
			<u>Area smoke detectors are located in the building.</u>
			<u>This system appears to be less than two years old and is in good operating</u>
			<u>Per the inspection dated 7/21/2009, a deficiency is listed indicating that an additional phone line is needed for this system.</u>
<input checked="" type="checkbox"/>	Control Panel	Notes:	<u>Located in Unisex Restroom #110</u>
	Annunciator Panel	Notes:	
	Devices - Strobes	Notes:	
	Devices - Horns	Notes:	
	Devices - Pull Stations	Notes:	
<input type="checkbox"/>	PA System	Notes:	
<input type="checkbox"/>	Clock System	Notes:	
<input type="checkbox"/>	Security System	Notes:	
	Main Panel Board	Notes:	
	Divices - Cameras	Notes:	
	Divices - Door Contacts	Notes:	
	Divices - Window Contacts	Notes:	
	Metal Detectors	Notes:	
<input checked="" type="checkbox"/>	Tele / Com System	Notes:	
	Head End Equipment	Notes:	<u>Small telephone panel in Electrical Room #112</u>
	Patch Panels	Notes:	
	Devices	Notes:	

INSPECTION REPORT

**Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206**

Electrical

Notes: All lights in the Senior Center portion of the building should be cleaned and relamped if necessary within 1 year.

All lights in the Locker Area should be replaced if the lockers will be used on a regular basis.

All lights in the apartment should be cleaned if the apartment is to be used.

One receptacle in a closet in the apartment has a black burn mark on the cover and surrounding wall.

This receptacle should be checked and repaired or replaced as necessary immediately.

INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Year Constructed: 1969
 Neighborhood: Morningside
 Block / Lot: 0
 Square Footage: 10,016
 Department Assigned: 0
 Facility Main Contact: Ron Duetsch
 Phone: 412-979-3456 (Cell)

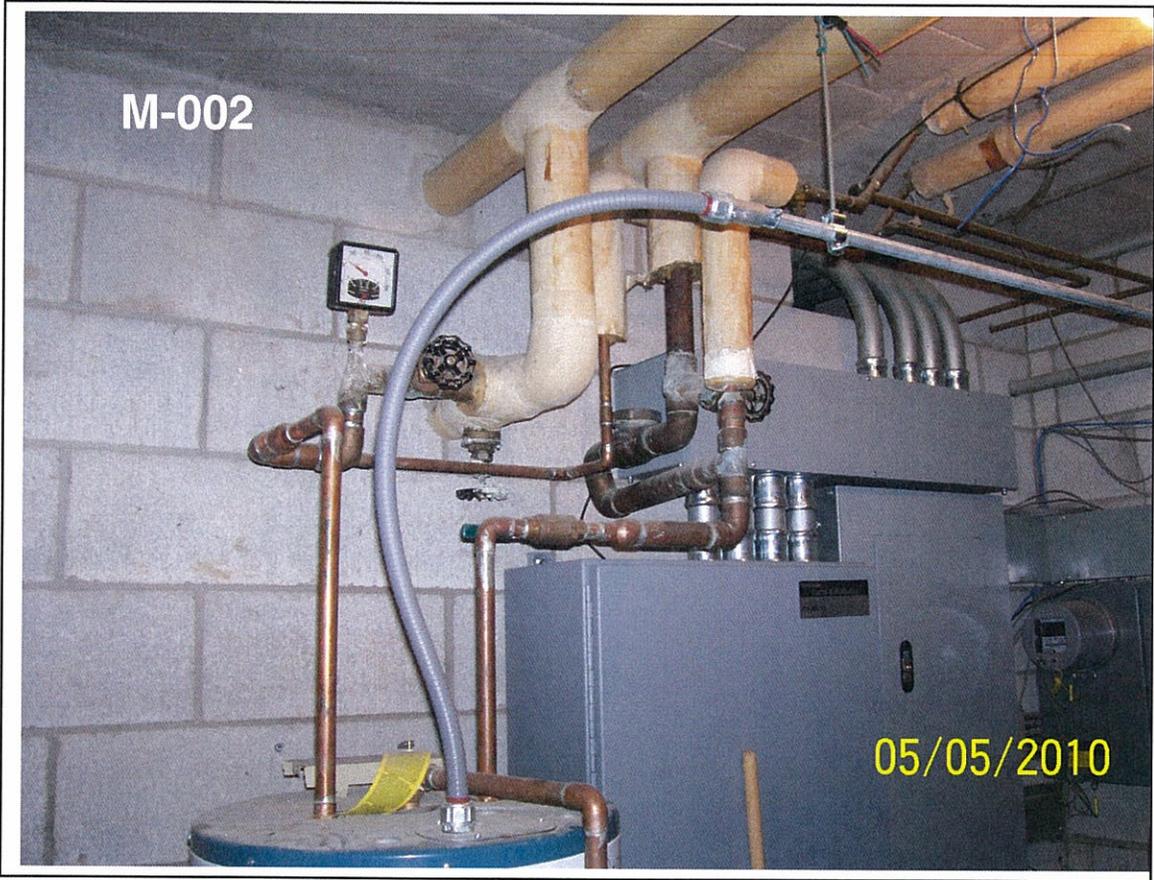
Weather Conditions Day of Inspection:
 Temp: 80
 Precipitation: None
 Wind: 0 MPH
 Date of Inspection: May 5, 2010

Site Utilities

<input type="checkbox"/>	Site Plumbing	Notes:	
<input checked="" type="checkbox"/>	Hose Bibs	Notes:	The only exterior hose bibs are on the building and described on the plumbing sheets.
<input type="checkbox"/>	Site Irrigation	Notes:	
<input type="checkbox"/>	Drinking Fountains	Notes:	
<input checked="" type="checkbox"/>	Fire Hydrants	Notes:	At the corner of Antietam St and President Way.
<input type="checkbox"/>	Water Features	Notes:	
<input type="checkbox"/>	Storm Water Management	Notes:	None
<input type="checkbox"/>	Inlets	Notes:	
<input type="checkbox"/>	Storage Tanks	Notes:	
<input type="checkbox"/>	Detention Ponds	Notes:	
<input type="checkbox"/>	Fencing / Enclosures	Notes:	
<input checked="" type="checkbox"/>	Site Electrical	Notes:	
<input checked="" type="checkbox"/>	Transformer	Notes:	The transformer is described on the electrical sheets.
<input type="checkbox"/>	Exterior Receptacles	Notes:	
<input checked="" type="checkbox"/>	Field Lighting	Notes:	Power for the field lighting is supplied from the Electrical Room #112 in the building. Control of the lights is from a remote location via wireless and telephone signals. The field lighting is less than 5 years old. No repairs or modifications are required at this time.
<input checked="" type="checkbox"/>	Site Lighting	Notes:	Power for the field lighting is supplied from the Electrical Room #112 in the building. Control of the lights is from a remote location via wireless and telephone signals. The field lighting is less than 5 years old. No repairs or modifications are required at this time.

M-001

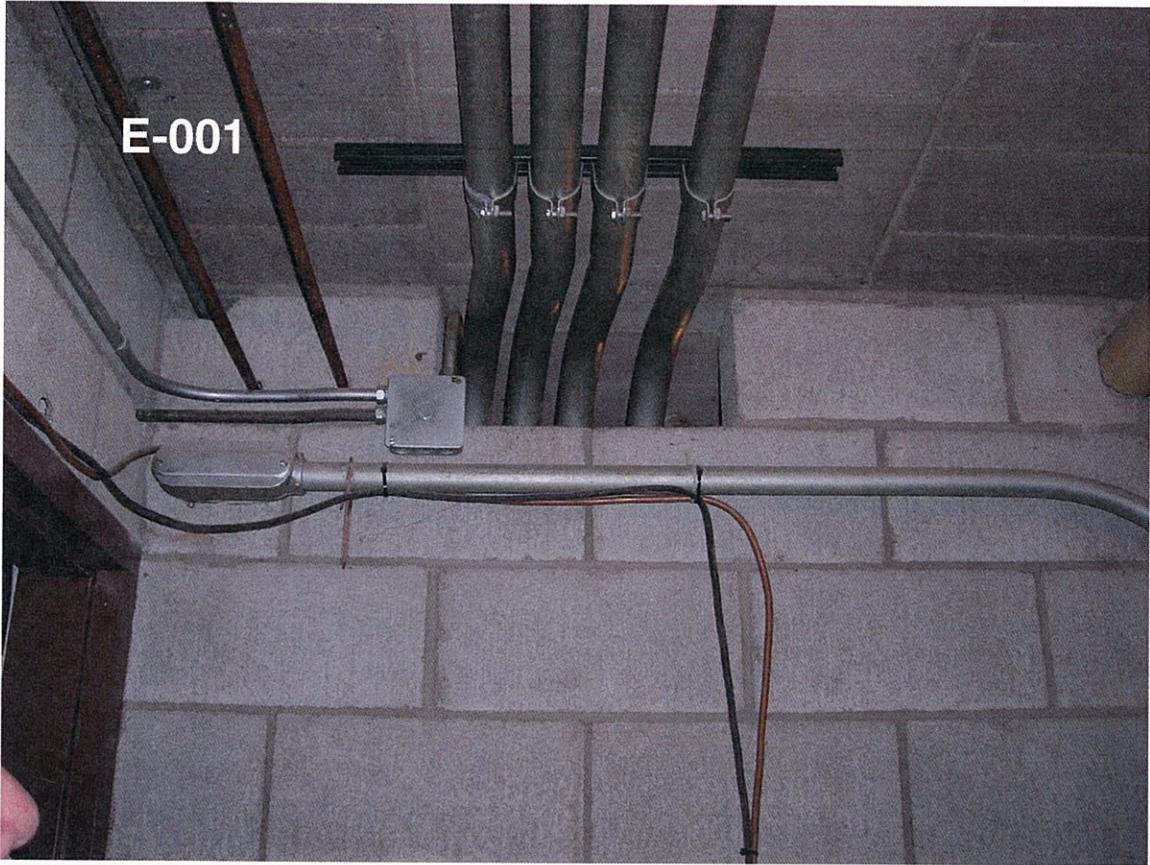






M-003

05/05/2010



E-002

PANEL IN
SMALL
OFFICE

MEETING
ROOM
PANEL 100A
"A"

MEETING
ROOM
225A
HEATING
PANEL
"B"

→
FIELD
LIGHTING
PANEL
400A
→

WARNING
DANGER
ELECTRIC SHOCK
DEATH

E-003



05/05/2010

ADA - Title II - "Program Accessibility" Review

**Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206**

Year Constructed:	1968	Weather Conditions Day of Inspection:	
Neighborhood/Ward:	Morningside / Ward 10	Temp:	82
Block / Lot:	121- / 128	Precipitation:	None
Square Footage:	10,016	Wind:	None
Department Assigned:	PE	Date of Inspection:	June 16, 2010
Facility Main Contact:	Ron Duetsch	Front of Building Faces:	NW
Phone	412-979-3456 (Cell)		

Parking

Yes / No

1) Parking and Drop-off Areas

Are an adequate number of accessible parking spaces available? (1 per 25 up to 100 spaces, varies thereafter)

n/a

Notes: No on-site parking available

Are 8 foot wide space with a min. of 8 foot wide access aisles with 98 inches of vertical clearance available for lift-equipped vans? (Minimum of 1)

n/a

Notes:

Are the accessible aisles part of the accessible route to the entrance?

n/a

Notes:

Are that accessible places closest to the accessible entrance?

n/a

Notes:

Are the accessible spaces marked?

n/a

Notes:

Are the accessible spaces on level ground? (less than 2% slope)

n/a

Notes:

ADA - Title II - "Program Accessibility" Review

Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206

Access routes to the building / site features and usability of site features

Yes / No

1) Route of Travel

Is there a route of travel that does not require use of stairs?

yes

Notes:

Is the route of travel stable, firm, and slip-resistant?

yes

Notes:

Is the route at least 36 inches wide?

yes

Notes:

Can all objects protruding into the circulation path be detected by a person with a visual disability using a cane?

yes

Notes:

Do curbs on the route have curb cuts at drives, parking, and drop-offs?

n/a

Notes: no curbs

If there are stairs at the main entrance, is there a ramp or alternate accessible entrance?

n/a

Notes:

Do all inaccessible entrances have signs indicating the location of the closest accessible entrance?

n/a

Notes: Entrances @ the side of the building are not for public use.

Can the alternate accessible entrance be used independently?

n/a

Notes:

2) Ramps

Are the slopes of the ramps no greater than 1:12?

n/a

Notes:

Do all ramps longer than 6 feet have railings on both sides?

n/a

Notes:

Are railings sturdy and between 34 and 38 inches high?

n/a

Notes:

ADA - Title II - "Program Accessibility" Review

**Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206**

Is the width between railings or curbs at least 36 inches?

n/a

Notes:

Are ramps non-slip?

n/a

Notes:

Is there a 5 foot long level landing at every 30 foot horizontal length of ramp, at the top and bottom of ramp and at switchbacks?

n/a

Notes:

Does the ramp rise no more than 30 inches between landings?

n/a

Notes:

3) Pools

Is there at least one accessible pool lift or slope entry?

n/a

Notes:

Can the lift be used without assistance or have a call button?

n/a

Notes:

Is there at least 30" by 48" clear space to approach and reach controls?

n/a

Notes:

Are the controls between 15" and 48" high for the lift?

n/a

Notes:

Is the lift located at a water depth of no more than 48"?

n/a

Notes:

Is the ramp located at a water depth between 24" and 30"?

n/a

Notes:

4) Miscellaneous site features

If water fountains are provided, is there at least 1 fountain with clear floor space of 30" by 48"?

n/a

Notes:

ADA - Title II - "Program Accessibility" Review

**Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206**

Is there at least 1 fountain with its spout no higher than 36" AFF and another with a standard height spout?

n/a

Notes:

Are controls mounted on the front or on the side near the front edge, and operable with 1 closed fist?

n/a

Notes:

Is each water fountain cane-detectable?

n/a

Notes:

If pay or public phones are provided, is there 30" by 40" of clear space in front of at least 1?

n/a

Notes:

Is the highest operable part of the phone on higher than 48"?

n/a

Notes:

Does the phone protrude no more than 4" into the circulation space?

n/a

Notes:

Does the phone have push button controls?

n/a

Notes:

Is the phone hearing aid compatible?

n/a

Notes:

Does it have volume control?

n/a

Notes:

Is the phone with volume control identified with appropriate signage?

n/a

Notes:

If there a 4 or more phones, is one equipped with TT or TTD?

n/a

Notes:

Is the location of the text telephone identified by accessible signage bearing the international TTD symbol?

n/a

Notes:

ADA - Title II - "Program Accessibility" Review

**Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206**

Building entrances, public spaces, and access routes to public spaces

Yes / No

1) Building entrances

Does the entrance door have at least 32 inches clear opening? yes Notes: _____

Is there at least 18 inches of clear wall space on the pull side of the door? yes Notes: _____

Is the threshold edge 1/4 inch high or less, or if beveled edge, no more than 3/4 inch high? yes Notes: _____

Are entrance mats/carpeting less than 1/2 inch high? yes Notes: _____

Are edges of mat securely installed? no Notes: All mats are loose-lay movable mats.

Is the door handle no higher than 48 inches and operable with a closed fist? yes Notes: _____

Can door be opened without too much force? (Less than 5 lbf) yes Notes: Push button automatic opener

If the door has a closer, does it take at least 3 seconds to close? yes Notes: _____

2) Horizontal Circulation

Does the accessible entrance provide direct access to the main floor, lobby, or elevator? yes Notes: _____

Are all public spaces on an accessible route of travel? yes Notes: _____

Is the route at least 36" wide? yes Notes: _____

ADA - Title II - "Program Accessibility" Review

Morningside Senior Center 6944 President Way Pittsburgh, PA 15206

Is there a 5 foot circle or T-shaped space for a person using a wheelchair to reverse direction?

yes

Notes: _____

3) Doors

Do doors into public spaces have at least a 32" clear opening?

no

Notes: There are 2 doors @ the exercise room that have 28" clear opening

On the pull side of the doors, is there at least 18" clear wall space?

yes

Notes: _____

Can doors be opened without too much force? (5 lbf maximum)

yes

Notes: _____

Are door handles 48" high or less and operable with a closed fist?

yes

Notes: _____

Is the threshold edge 1/4 inch high or less, or if beveled edge, no more than 3/4 inch high?

yes

Notes: _____

4) Rooms and Spaces

Are all aisles and pathways to materials and services at least 36" wide?

yes

Notes: _____

Is there a 5 foot circle or T-shaped space for turning a wheelchair completely?

yes

Notes: _____

Is carpeting low-pile, tightly woven, and securely attached along edges?

yes

Notes: _____

In circulation paths through public areas are all obstacles cane-detectable? (located within 27 inches of the floor or higher than 80" or protruding less than 4" from the wall)

no

Notes: Display case at lobby is 28" AFF.

ADA - Title II - "Program Accessibility" Review

Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206

5) Emergency Egress

If emergency systems are provided, do they have both flashing lights and audible signals?

Notes: Audible signals only, no strobes.

6) Signage for Goods and Services

Do signs and room numbers designating permanent rooms and spaces where goods and services are provided comply with the appropriate requirements for such signage?

Notes: No room signage provided.

Signs mounted with centerline 60" AFF?

Notes:

Mounted on wall adjacent to latch side of door, or as close as possible?

Notes:

Raised characters, sized between 5/8" and 2" high with high contrast?

Notes:

Brailled text of the same information?

Notes:

If pictogram is used, is it accompanied by raised characters and braille?

Notes:

7) Directional and Informational Signage

If mounted above 80", do they have letters at least 3" high with high contrast and non-glare finish?

Notes: No directional signage provided.

Do directional and informational signs comply with legibility requirements?

Notes:

ADA - Title II - "Program Accessibility" Review

Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206

8) Controls

Are all controls that are available for use by the public located at an accessible height?
(Max side reach 54", forward 48", minimum side reach 9", forward 15")

No

Notes: Light switch at exercise room is 52 inches AFF.

Are they operable with a closed fist?

yes

Notes:

9) Seats, Tables, and Counters

Are the aisles between fixed seating (excluding assembly area seating) at least 36" wide?

n/a

Notes: No fixed seating

Are the spaces for wheelchair seating distributed throughout?

n/a

Notes:

Are the tops of tables or counters between 28 and 34 inches?

no

Notes: Countertop @ exercise room @ 36".

Are knee spaces at accessible tables at least 27" high, 30" wide, and 19" deep?

no

Notes: Cafeteria tables only have 26" below for knee space.

At each type of cashier counter, is there a portion of the main counter that is no more than 36" high?

n/a

Notes:

Is there a portion of food ordering counters that is no more the 36" high?

n/a

Notes: No ordering counter (buffet style only).

10) Vertical Circulation

Are there ramps, lifts, or elevators to all public levels?

n/a

Notes: All public spaces at ground floor.

On each level, if there are stairs between the entrance and/or elevator and essential public areas, is there an accessible alternate route?

n/a

Notes:

ADA - Title II - "Program Accessibility" Review

Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206

11) Stairs

Do treads have a non-slip surface? Notes: _____

Do stairs have continuous rails on both sides with extensions beyond the top and bottom stairs? Notes: _____

12) Elevators

Are there both visible and audible door opening/closing and floor indicators? Notes: _____

Are the call buttons in the hallway no higher than 42"? Notes: _____

Do the controls inside the cab have raised and braille lettering? Notes: _____

Is there a sign on both door jambs at every floor identifying the floor in raised and braille letters? Notes: _____

If an emergency intercom is provided, is it usable without voice communication? Notes: _____

Is the emergency intercom identified by braille and raised letters? Notes: _____

13) Lifts

Can the lift be used without assistance or have a call button? Notes: _____

Is there at least 30" by 48" clear space to approach and reach controls? Notes: _____

Are the controls between 15" and 48" high? Notes: _____

ADA - Title II - "Program Accessibility" Review

**Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206**

Restrooms

Yes / No

1) Getting to the Restrooms

If rest rooms are available to the public, is at least one room (either 1 for each sex or unisex) fully accessible?

Notes: The ADA unisex restroom is not fully accessible.

Are there signs at inaccessible rest rooms that give directions to accessible ones?

Notes: _____

2) Doorways and Passages

Is there tactile signage identifying the rest rooms?

Notes: Unisex has signage but not at proper location.

Are signs mounted on the wall, on the latch side of the door and complying with the requirements for permanent signage?

Notes: Mounted to the door. Wall space beside unisex restroom is covered with pictures.

Are pictograms and symbols used and if so, are raised characters and braille included below them?

Notes: _____

Is the doorway at least 32" clear?

Notes: _____

Is there 18" clear space at latch side of the door?

Notes: Interior side has no clear space.

Are doors equipped with accessible handles and 48" high or less?

Notes: _____

Can doors be opened easily? (5 lbf max)

Notes: _____

ADA - Title II - "Program Accessibility" Review

Morningside Senior Center 6944 President Way Pittsburgh, PA 15206

Does the entry configuration provide adequate maneuvering space for a person using a wheelchair? (5' Dia. turning radius or T-shape turn min. of 36" by 42")

no

Notes: Pathway is 37" wide but there is a 90 degree turn which should have a minimum of 42".

Is there a 36" wide path to all fixtures?

yes

Notes:

3) Stalls

Is the stall door operable with a closed fist inside and out?

n/a

Notes: No door.

Is there a wheelchair-accessible stall that has an area at least 5 feet diameter of clear space?

yes

Notes:

In the accessible stall, are there grab bars behind (36") and on the side wall nearest to the toilet (42" & vertical 18")? (O.D. of bars should be 1.25" - 1.5" and should be mounted 33" - 36" AFF)

no

Notes: Side bars are there but no 18" vertical bar.

Is the toilet seat 17" to 19" high?

yes

Notes:

Is the toilet 18" from the wall or partition to centerline of toilet?

no

Notes:

4) Lavatories

Does one lavatory have a 30" wide by 48" clear space in front (a max of 19" can be under the lav)

yes

Notes:

Is the lavatory rim no higher than 34"?

yes

Notes:

Is there at least 29" from the floor to the bottom of the lavatory apron?

no

Notes: The lavs are mounted too low.

Is there at least 19" deep of clear space under the lavatory?

yes

Notes:

ADA - Title II - "Program Accessibility" Review

**Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206**

Can the faucet be operated with 1 closed fist? yes

Notes: _____

Are soap and other dispensers within reach ranges and operable with 1 closed fist? (between 38" and 48" AFF) yes

Notes: _____

Is the mirror mounted with the bottom edge of the reflecting surface less than 40"? no

Notes: Mirror is too high. Could be lowered and use 2 mirrors instead of 1 (1 @ each lav).

Miscellaneous items

Yes / No

1) Drinking Fountains

Is there at least 1 fountain with clear floor space of 30" by 48"? yes

Notes: _____

Is there at least 1 fountain with its spout no higher than 36" AFF and another with a standard height spout? yes

Notes: Not an accessible model but mounted at proper height.

Are controls mounted on the front or on the side near the front edge, and operable with 1 closed fist? yes

Notes: _____

Is each water fountain cane-detectable? yes

Notes: _____

2) Telephones

If pay or public phones are provided, is there 30" by 40" of clear space in front of at least 1? n/a

Notes: _____

Is the highest operable part of the phone on higher than 48"? n/a

Notes: _____

ADA - Title II - "Program Accessibility" Review

**Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206**

Does the phone protrude no more than 4" into the circulation space?

n/a

Notes: _____

Does the phone have push button controls?

n/a

Notes: _____

Is the phone hearing aid compatible?

n/a

Notes: _____

Does it have volume control?

n/a

Notes: _____

Is the phone with volume control identified with appropriate signage?

n/a

Notes: _____

If there a 4 or more phones, is one equipped with TT or TTD?

n/a

Notes: _____

Is the location of the text telephone identified by accessible signage bearing the international TTD symbol?

n/a

Notes: _____

ADA - Title II - "Program Accessibility" Review

**Morningside Senior Center
 6944 President Way
 Pittsburgh, PA 15206**

Possible solutions / items needed

Parking

	Quantity	Unit	Unit cost	Total cost
No on-site parking available. No work needed.				

TOTAL COST - PARKING	\$0
-----------------------------	------------

Access routes to the building / site features and usability of site features

	Quantity	Unit	Unit cost	Total cost
No items needed				

TOTAL COST - ACCESS ROUTES / SITE FEATURES	\$0
---	------------

Building entrances, public spaces, and access routes to public spaces

	Quantity	Unit	Unit cost	Total cost
New door complete (frame & hardware)	2	EA	1,200.00	\$2,400
Widen door / entrance opening	2	EA	250.00	\$500
Cane-detectable barriers -add apron to front and sides of display case @ the main entrance / lobby	1	EA	200.00	\$200
Strobe - fire alarm	10	EA	125.00	\$1,250
Signage (with braille / ADA)	8	EA	85.00	\$680
Relocate controls - light switch @ exercise room	1	EA	100.00	\$100
New countertop @ exercise room	6	LF	65.00	\$390
New ADA table @ cafeteria - folding	1	EA	80.00	\$80

TOTAL COST - BUILDING ENTRANCE / PUBLIC SPACE	\$5,600
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ADA - Title II - "Program Accessibility" Review

**Morningside Senior Center
6944 President Way
Pittsburgh, PA 15206**

Restrooms

	Quantity	Unit	Unit cost	Total cost
Automatic door openers @ unisex restroom	1	EA	2,500.00	\$2,500
Grab bars - 18" verticle	1	EA	65.00	\$65
Relocate water closet	1	EA	500.00	\$500
Relocate lavatory	1	EA	500.00	\$500
Relocate existing mirror	1	EA	25.00	\$25
ADA Mirror	1	EA	125.00	\$125
Signage (with braille / ADA) @ main restrooms	2	EA	85.00	\$170
Relocate signage @ unisex restroom to wall on latch side of door	1	EA	25.00	\$25
Demo CMU partition @ entry to unisex restroom - shorten to allow 42" space	1	LF	300.00	\$300

TOTAL COST - RESTROOMS				\$4,210
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Miscellaneous items

	Quantity	Unit	Unit cost	Total cost
No items needed				

TOTAL COST - MISCELLANEOUS ITEMS				\$0
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Parking: No parking, No accessible parking

Front Entrance Door: 33 inch clearance, electronic button to open door

Main Room:

- Counter height: 33.5 inches
- Table height: 30 inches
- Hand sanitizer dispenser: 48 inches

Smaller Room (Exercise room?)

Entrances width: 29 inches

Table height: 30 inches

Counter height: 36 inches = no higher than 34 inches

Light switch height: 52 inches

Water fountain: not accessible model

Water cooler present – ok

Emergency exit(s) – step down, hard to open door = not accessible

Kitchen – sinks are not accessible, entrance door is 31 inches

Men's Restroom (Women's is similar):

- **Not large enough for a turning space (should have a 60 inch diameter)**
- **Doors open into maneuverable space**
- **The center line for the room identification is 67 inches (should be 60 inches) and did not include Braille or raised lettering**
- **The stall(s) were not accessible in width, depth, or door clearance, nor were there any grab bars.**
- **The urinals were not accessible.**
- **The sinks were not high enough at 31.5 inches when they should be 34 inches. The knee space clearance should be 29 inches when it was only 28.**
- **The mirrors were too high, 47 inches instead of 40.**
- **The soap dispenser was 50 inches instead of 48 inches.**
- **The paper towel dispenser was 49 inches instead of 48 inches.**
- **All exposed pipes need to be covered.**

Family Restroom

- **The hallway is not wide enough for a turn (hallway must be 42 inches minimum)**
- There is a maneuverable space with a 60 inch diameter.
- There is accessible room identification.
- The stall is compliant with width and depth and the entrance is wide enough.
- **The toilet is not 18 inches from a wall or a partition.**

- **The grab bars are not accessible: the outside diameter of the grab bar is .5 inches when it should be 1.25 – 1.5 inches.**
- **The clearance under the sink should be 29 inches when it is only 26 inches.**
- **The mirror's bottom edge should be no more than 40 inches from the floor when it is 49 inches here.**

Upstairs apartment:

- **No elevator or lift to access apartment.**
- **The entrance door is heavy with a turn handle.**
- **The flooring is uneven.**
- **The Kitchen counter is 36 inches with no knee space provided = inaccessible.**
- **The inside doors are not wide enough.**
- **The bathroom does not have a maneuverable space and all the fixtures are out of compliance.**

INSPECTION REPORT

Morningside Senior Center (B094)
6944 President Way
Pittsburgh, PA 15206

Year Constructed: 1969
 Neighborhood: Morningside
 Block / Lot: 0
 Square Footage: 10,016
 Department Assigned: 0
 Facility Main Contact: Ron Duetsch
 Phone: 412-979-3456 (Cell)

Weather Conditions Day of Inspection:
 Temp: 80
 Precipitation: None
 Wind: 0 MPH
 Date of Inspection: May 5, 2010

Site Utilities

<input type="checkbox"/>	Site Plumbing	Notes:	
<input checked="" type="checkbox"/>	Hose Bibs	Notes:	The only exterior hose bibs are on the building and described on the plumbing sheets.
<input type="checkbox"/>	Site Irrigation	Notes:	
<input type="checkbox"/>	Drinking Fountains	Notes:	
<input checked="" type="checkbox"/>	Fire Hydrants	Notes:	At the corner of Antietam St and President Way.
<input type="checkbox"/>	Water Features	Notes:	
<input type="checkbox"/>	Storm Water Management	Notes:	None
<input type="checkbox"/>	Inlets	Notes:	
<input type="checkbox"/>	Storage Tanks	Notes:	
<input type="checkbox"/>	Detention Ponds	Notes:	
<input type="checkbox"/>	Fencing / Enclosures	Notes:	
<input checked="" type="checkbox"/>	Site Electrical	Notes:	
<input checked="" type="checkbox"/>	Transformer	Notes:	The transformer is described on the electrical sheets.
<input type="checkbox"/>	Exterior Receptacles	Notes:	
<input checked="" type="checkbox"/>	Field Lighting	Notes:	Power for the field lighting is supplied from the Electrical Room #112 in the building. Control of the lights is from a remote location via wireless and telephone signals. The field lighting is less than 5 years old. No repairs or modifications are required at this time.
<input checked="" type="checkbox"/>	Site Lighting	Notes:	Power for the field lighting is supplied from the Electrical Room #112 in the building. Control of the lights is from a remote location via wireless and telephone signals. The field lighting is less than 5 years old. No repairs or modifications are required at this time.

Morningside Senior Center (B094)6944 President Way
Pittsburgh, PA 15206**Asset Protection Summary**

Immediate	\$3,862
One Year	\$36,847
Five Year	\$184,490
10 Year	\$47,056

Notes:

1. All cost estimates to replace equipment, systems, finishes, etc. are based on the assumption that all material being replaced is the same or an accepted equal to the existing material.
2. All pricing for the Asset Protection Plans was based on the assumption that a General Contractor would be hired by the City of Pittsburgh to address all deficiencies through the use of their own workforce and specialty subcontractors.
3. All estimates assume an average escalation rate of 4% per year.
- 4 All estimates are for construction costs and exclude other project "soft" costs including but not limited to:
 - Architectural / engineering fees
 - Utility fees
 - Land aquisition

Morningside Senior Center (B094)
 6944 President Way
 Pittsburgh, PA 15206

Immediate Asset Protection Estimate

Report	Description	Quantity	Unit	Unit Price	Total Cost
PLUMB	Re-locate Water Heater out of RM 112	1	EA	\$1,250	\$1,250
PLUMB	Re-locate Utility Sink	1	EA	\$1,000	\$1,000
ELECT	Add additional phone line for fire alarm	1	EA	\$500	\$500
ELECT	Receptacle in Apt Closet Should be Checked & Repaired	1	LS	\$150	\$150
ELECT	Fire-proof conduit penetrations @ CMU in Elect Rm	1	LS	\$250	\$250

SUBTOTAL					\$3,150
GENERAL REQUIREMENTS			6%		\$189
BOND			1%		\$33
PERMIT			Calc.		\$115
OVERHEAD & PROFIT			7%		\$217
CONTINGENCY			5%		\$158
ESCALATION			0%		\$0
TOTAL					\$3,862

Morningside Senior Center (B094)6944 President Way
Pittsburgh, PA 15206**One Year Asset Protection Estimate**

Report	Description	Quantity	Unit	Unit Price	Total Cost
ROOF	Repair existing roof defects	1	LS	\$1,000	\$1,000
EXT WALL	Replace Broken Glass Block Window	1	EA	\$500	\$500
EXT WALL	Caulk and Seal all doors, windows and wall penetrations	1	LS	\$2,500	\$2,500
EXT WALL	Re-mortar but joints at masonry coping	1	LS	\$1,000	\$1,000
EXT WALL	Repair ceramic in-lay @ exterior wall	1	LS	\$3,000	\$3,000
EXT WALL	Paint CMU/wood @ Window in-fill	1	LS	\$500	\$500
EXT WALL	Close in opening @ Porch Deck	1	LS	\$1,000	\$1,000
EXT WALL	Remove vines from NE Corner	1	LS	\$300	\$300
ARCH	Clean Carpet in Apartment	1	LS	\$250	\$250
ARCH	Remove / Replace flooring in room 104	200	SF	\$7.00	\$1,400
ARCH	Remove / Replace base in room 104	60	LF	\$3.00	\$180
STRUCT	Install epoxy rebar @ infill wall under balcony	1	LS	\$1,500	\$1,500
PLUMB/ADA	Replace water fountain - RM 100	1	EA	\$2,500	\$2,500
					\$0
PLUMB	Install Backflow Preventer	1	EA	\$2,000	\$2,000
PLUMB	Install Pressure Reducing Valve	1	EA	\$750	\$750
PLUMB	Replace hose bibs w/ non freeze & backflow	3	EA	\$350	\$1,050
PLUMB	Replace Janitor's sink in room 112	1	EA	\$500	\$500
PLUMB	If Shower RMs (111 & 109) are not going to be utilized:				
	Remove large water heater from RM 114	1	LS	\$500	\$500
	Isolate shower piping from balance of system	1	LS	\$500	\$500
HVAC	Install duct/unit mounted smoke detector	1	EA	\$750	\$750
HVAC	Replace Exhaust Fans #1,5,7 & 8	4	EA	\$750	\$3,000
HVAC	Re-Wire Electric Heater RM 100 (West Side)	1	EA	\$225	\$225
HVAC	Inspect & Re-Wire as needed Elect Heaters In RMs 101,102,103,106,108,110,113,114 & Apt	12	EA	\$150	\$1,800
ELECT	Inspect and replace all breakers as needed	1	LS	\$1,200	\$1,200
ELECT	Clean and re-lamp lighting @ Senior Center as needed	1	LS	\$1,500	\$1,500

Morningside Senior Center (B094)

6944 President Way
Pittsburgh, PA 15206

SUBTOTAL		\$29,405
GENERAL REQUIREMENTS	6%	\$1,764
BOND	1%	\$312
PERMIT	Calc.	\$453
OVERHEAD & PROFIT	7%	\$2,026
CONTINGENCY	5%	\$1,470
ESCALATION	4%	\$1,417
TOTAL		\$36,847

Morningside Senior Center (B094)

6944 President Way
Pittsburgh, PA 15206

Five Year Asset Protection Estimate

Report	Description	Quantity	Unit	Unit Price	Total Cost
ROOF	Replace Roof & Flashing				
	Remove Existing Roof & Flashing System	5,930	SF	\$2.00	\$11,860
	Replace Roof SBS Modified Bitumen	5,930	SF	\$16.00	\$94,880
	Remove & Replace Flashing System				In Above
PLUMB	Replace RUUD Water Heater	1	EA	\$1,500.00	\$1,500
PLUMB	Video inspect sewer/rainwater lines	1	EA	\$1,000.00	\$1,000
HVAC	Replace roof top unit	1	EA	\$15,000.00	\$15,000
HVAC	Replace Electric Heater RM 100	1	EA	\$2,500.00	\$2,500

SUBTOTAL					\$126,740
GENERAL REQUIREMENTS			6%		\$7,604
BOND			1%		\$1,343
PERMIT			Calc.		\$1,714
OVERHEAD & PROFIT			7%		\$8,732
CONTINGENCY			5%		\$6,337
ESCALATION to Year 2015			21%		\$32,019
TOTAL					\$184,490

Morningside Senior Center (B094)

6944 President Way
Pittsburgh, PA 15206

10 Year Asset Protection Estimate

Report	Description	Quantity	Unit	Unit Price	Total Cost
STRUCT	Re-point & Clean Building	5,500	SF	\$5.00	\$27,500

SUBTOTAL					\$27,500
GENERAL REQUIREMENTS			6%		\$1,650
BOND			1%		\$292
PERMIT			Calc.		\$427
OVERHEAD & PROFIT			7%		\$1,895
CONTINGENCY			5%		\$1,375
ESCALATION to Year 2020			42%		\$13,918
TOTAL					\$47,056

NATURAL GAS

DATA UNAVAILABLE

ELECTRIC

3000-004-156-001

City of Pittsburgh	Square Foot 10,016
LOCATION : City of Pgh Park and Rec President Way, Pittsburgh, PA 15206	
ELECTRIC CO : Duquesne Light	
ACCOUNT # : 0000-001-834-001	
SUPPLIER CO :	
ACCOUNT # :	
CUST CHARGE : \$ 30.00	
RATE : GM - Medium Commercial Fixed	
METER # : G047171372	

2008				ELECTRIC COMPANY								SUPPLIER					TOTAL	
PREVIOUS	PRESENT	DAYS	READ	KWH	KW	ADJ. KW	PF	COST	COST/kWh	CUST CHG	BILL TOTAL	kWh	COST	COST/kWh	MISC	BILL TOTAL	COST	COST/kWh
1/7/2008	2/5/2008	29	a	460	1.0	1.0	1.00	\$ 41.73	\$ 0.091	\$ 30.00	\$ 71.73			#DIV/0!		\$ -	\$ 71.73	\$ 0.156
2/5/2008	3/5/2008	29	a	420	1.0	1.0	1.00	\$ 38.19	\$ 0.091	\$ 30.00	\$ 68.19			#DIV/0!		\$ -	\$ 68.19	\$ 0.162
3/5/2008	4/4/2008	30	a	480	1.8	1.8	1.00	\$ 44.34	\$ 0.092	\$ 30.00	\$ 74.34			#DIV/0!		\$ -	\$ 74.34	\$ 0.155
4/4/2008	5/6/2008	32	a	1,000	7.4	7.4	1.00	\$ 122.72	\$ 0.123	\$ 30.00	\$ 152.72			#DIV/0!		\$ -	\$ 152.72	\$ 0.153
5/6/2008	6/5/2008	30	a	1,170	8.3	8.3	1.00	\$ 149.19	\$ 0.128	\$ 30.00	\$ 179.19			#DIV/0!		\$ -	\$ 179.19	\$ 0.153
6/5/2008	7/7/2008	32	a	1,560	7.8	7.8	1.00	\$ 172.65	\$ 0.111	\$ 30.00	\$ 202.65			#DIV/0!		\$ -	\$ 202.65	\$ 0.130
7/7/2008	8/5/2008	29	a	1,330	7.3	7.3	1.00	\$ 152.93	\$ 0.115	\$ 30.00	\$ 182.93			#DIV/0!		\$ -	\$ 182.93	\$ 0.138
8/5/2008	9/4/2008	30	a	1,370	12.3	12.3	1.00	\$ 217.30	\$ 0.159	\$ 30.00	\$ 247.30			#DIV/0!		\$ -	\$ 247.30	\$ 0.181
9/4/2008	10/6/2008	32	a	1,870	15.6	15.6	1.00	\$ 287.62	\$ 0.154	\$ 30.00	\$ 317.62			#DIV/0!		\$ -	\$ 317.62	\$ 0.170
10/6/2008	11/4/2008	29	a	1,140	15.4	15.4	1.00	\$ 250.70	\$ 0.220		\$ 250.70			#DIV/0!		\$ -	\$ 250.70	\$ 0.220
11/4/2008	12/5/2008	31	a	540	2.8	2.8	1.00	\$ 51.92	\$ 0.096	\$ 30.01	\$ 81.93			#DIV/0!		\$ -	\$ 81.93	\$ 0.152
12/5/2008	1/7/2009	33	a	370	0.7	0.7	1.00	\$ 33.89	\$ 0.092	\$ 30.01	\$ 63.90			#DIV/0!		\$ -	\$ 63.90	\$ 0.173
TOTALS :				11,710	81.4	81.4	1.00	\$1,563.18	\$ 0.133	\$ 330.02	\$1,893.20	0	\$ -	#DIV/0!	\$ -	\$ -	\$ 1,893.20	\$ 0.162

Information taken from the most recent Commercial Buildings Energy Information Survey conducted by the Energy Information Administration Table C23 A from this survey was used to calculate average natural gas consumption for commercial buildings from census tract - "East North Central in which Pittsburgh is located.

Table C13 A was used to calculate average electricity consumption from the same census tract

Energy Usage in BTU/ Square Foot natural gas = 54,751

Energy Usage in BTU/ Square Foot electricity = 47,041

(From 2008 data)

Energy Usage in BTU/ Square Foot natural gas = N/A (No Data Available)

Energy Usage in BTU/ Square Foot electricity = 3,989

Conclusion: No gas usage data was available for this location. Though there is a lower usage of electricity per square foot of 3,989 compared to 47,041 Btu/Square Foot in the Pittsburgh census tract. Reason for this low usage is not known at this time.



1 Site Plan
1/32" = 1'-0"

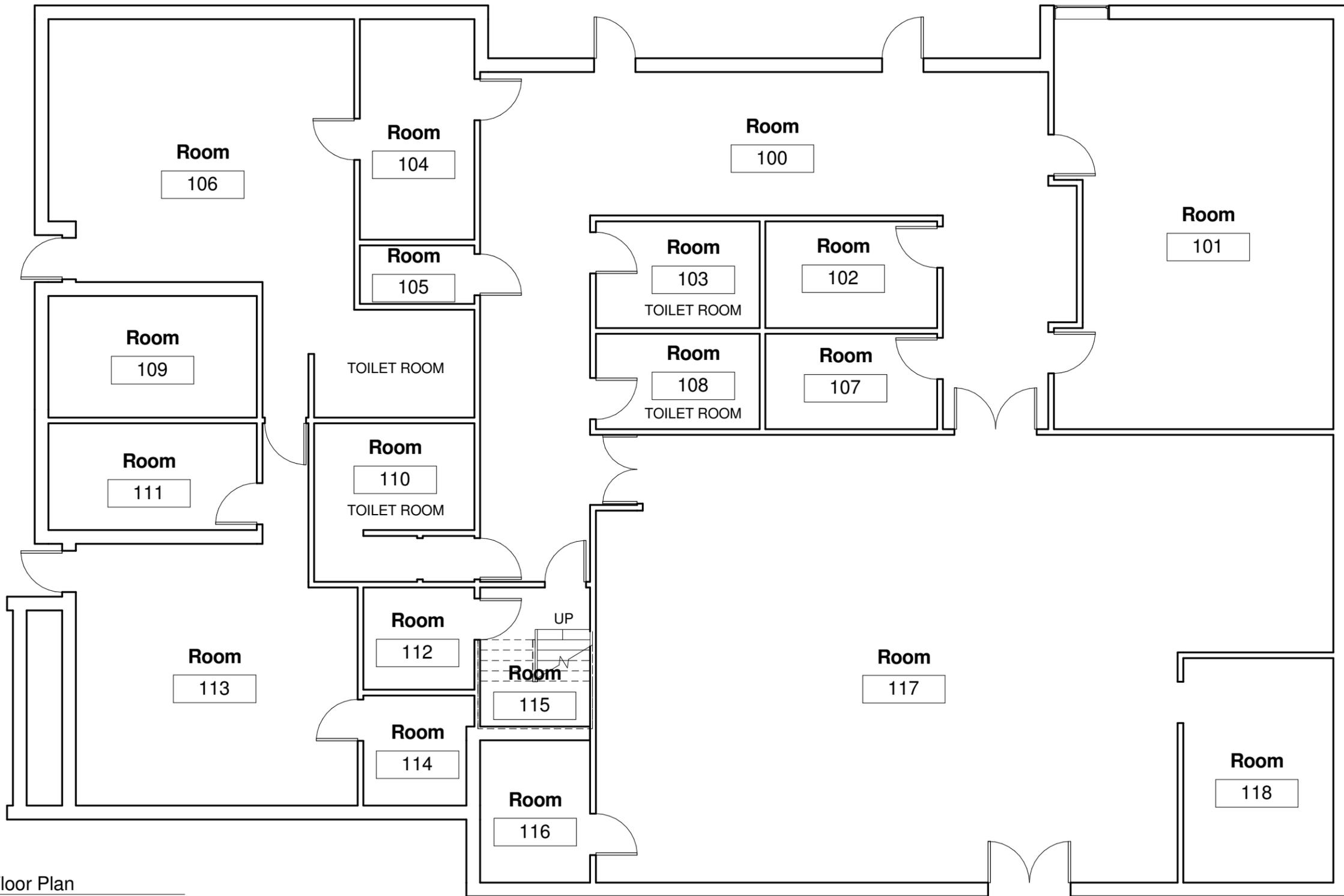
The drawings and related digital files are a schematic rendition of the existing conditions of the facility only. Please verify exact field conditions before using these for further construction and renovation work.



Morningside Senior Center

City of Pittsburgh

Site Plan		C1.01
Date	8/13/10	
Drawn by	AK	Scale 1/32" = 1'-0"



① L1 Floor Plan
1/8" = 1'-0"

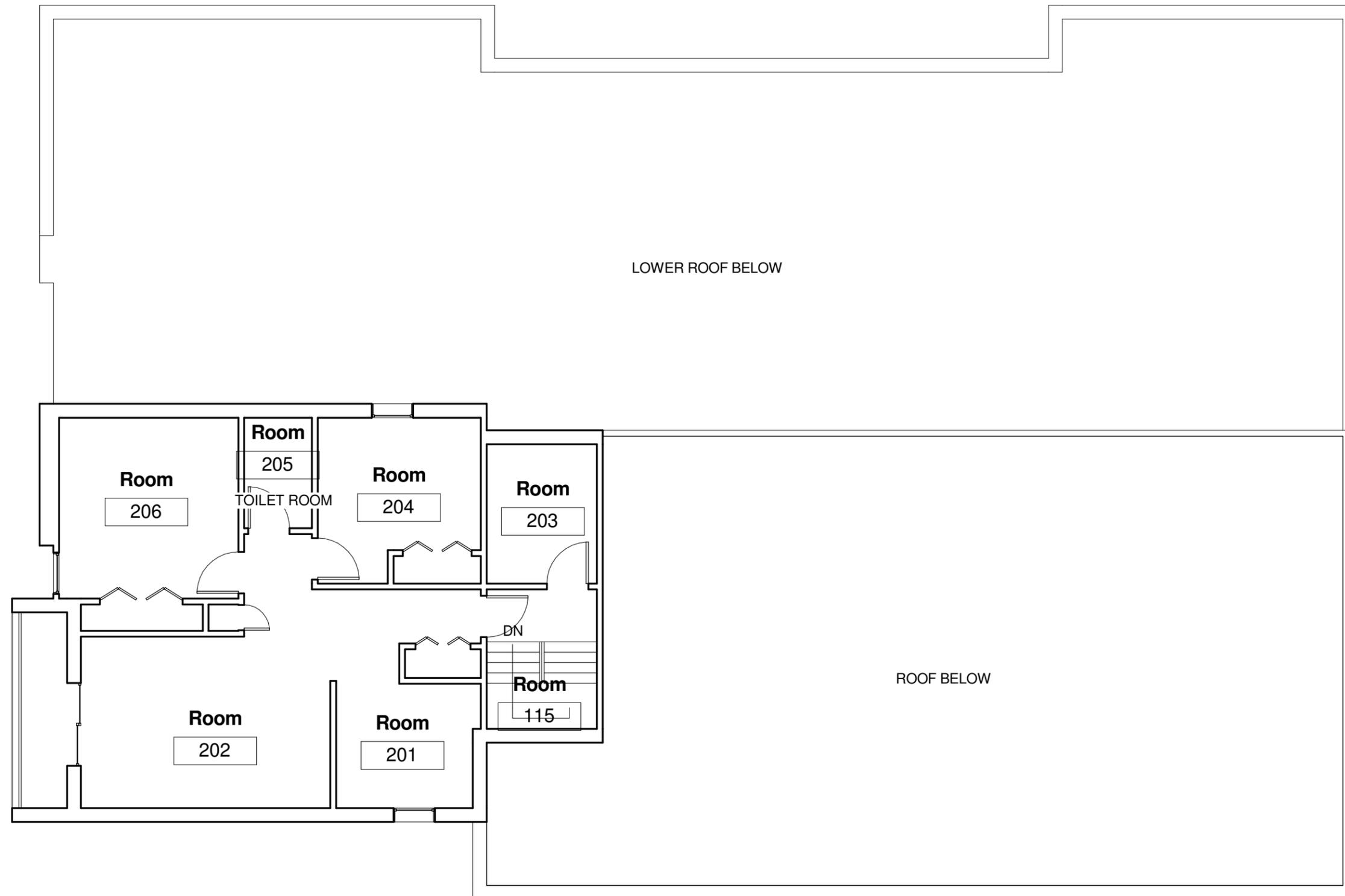


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Morningside Senior Center
City of Pittsburgh

L1 Floor Plan		A1.10
Date	8/13/10	
Drawn by	AK	Scale 1/8" = 1'-0"



1 L2 Floor Plan
1/8" = 1'-0"



The drawings and related digital files are a schematic rendition of the existing conditions of the facility only. Please verify exact field conditions before using these for further construction and renovation work.



Morningside Senior Center
City of Pittsburgh

L2 Floor Plan		A1.20
Date	8/13/10	
Drawn by	AK	Scale 1/8" = 1'-0"