



## Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room

May 1, 2013

### AGENDA

(Vacant), *Chairman*

Ernie Hogan, *Acting Chairman*

Noor Ismail, *Director of Planning*

John Jennings, *Secretary, Acting Chief BBI*

Linda McClellan

Joe Serrao

Vacant

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business

- None

New Business

- Approval of the Minutes from the April 2013 hearing
- Certificates of Appropriateness Report – April
- Applications for a Certificate of Economic Hardship – None
- State Ethics Commission forms

Upcoming Demolitions, no action at this time

- None

➤ **1:00 PM HEARING & ACTION**

**1. Allegheny Commons Park**

City of Pittsburgh, owner

Alida Baker, applicant

**Interpretive tags**

**2. East Carson Street Historic District**

2017 E. Carson Street

Nicholas Kefal, owner and applicant

**Window replacement**

**3. Individual Nomination, Fairhaven Church, Overbrook**

a. Briefing by Staff

b. Public comment

c. Preliminary determination of reasonable cause

**4. Mexican War Streets Historic District**

1226 Buena Vista Street

Jonathan Terry, owner and applicant

**Fencing**

**5. Penn-Liberty Historic District**

821 Liberty Avenue

Catholic Charities of the Diocese of Pittsburgh, Inc, owner

PWC Solutions, LLC, applicant

**HVAC venting, etc.**

**6. Schenley Farms Historic District**

4360 Centre Avenue

Marion Lee Spangler, owner

Jonathan Daniel, applicant

**After the fact landscaping, etc**

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➤ **DEMOLITIONS**

- 1. Mexican War Streets Historic District Expansion**  
1405 Buena Vista Street  
Geraldine Smith, owner  
Bureau of Building Inspection, applicant  
**Demolition to grade**

- 2. Manchester Historic District**  
1440 Hamlin Street  
Amelia Prazer, owner  
Bureau of Building Inspection, applicant  
**Demolition to grade**

➤ **DIRECTOR'S REPORT**

➤ **ADJOURNMENT**

➤ **PUBLIC COMMENT REQUESTED - NATIONAL REGISTER NOMINATION**

**ALLEGHENY COMMONS PARK**  
NORTHSIDE  
PITTSBURGH, PA 15212

THE APPLICATION CAN BE FOUND AT:

[HTTP://APPS.PITTSBURGHPA.GOV/DCP/ALLEGHENY COMMONS COMBINED NRHP.PDF](http://apps.pittsburghpa.gov/dcp/alleggheny_commons_combined_nrhp.pdf)

*The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public.* INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

**Please contact Sarah Quinn with questions and comments: 412-255-2243**  
[sarah.quinn@pittsburghpa.gov](mailto:sarah.quinn@pittsburghpa.gov)



**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: *Treasurer, City of Pittsburgh.*

**ADDRESS OF PROPERTY:**

Allegheny Commons Park  
Pittsburgh, PA 15212

**OWNER:**

NAME: City of Pittsburgh  
 ADDRESS: 414 Grant St.  
Pittsburgh, PA 15219

PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**DISTRICT:**

Allegheny Commons

**APPLICANT:**

NAME: Allegheny Commons Initiative  
 ADDRESS: c/o NSLC 4 Allegheny Ctr  
Pittsburgh, PA 15212

PHONE: 412-330-1569

EMAIL: alida@alleghenycommons.org

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

\_\_\_\_\_  
 \_\_\_\_\_

**SIGNATURES:**

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPLICANT: *Alida Baker* DATE: 4/12/2013

# Allegheny Commons Initiative Commons Knowledge Project

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## Detailed Description of Project:

The Commons Knowledge project was developed to promote the historical importance and natural beauty of Allegheny Commons Park and to raise awareness about the features in this very special place, Pittsburgh's oldest park. The scope of our educational awareness project involves placement of QR codes on significant heritage trees, historic monuments and other interesting features. By scanning the QR code the viewer will be brought to an interactive website, which will offer fun and interesting facts about the features, as well as video, and audio stories about the park for further engagement. Links to materials available at our local library will be available, and opportunities to participate in volunteer events.

## Scope of Work:

While hundreds of people use Allegheny Commons on a daily basis to stroll, walk their dogs and play; seldom do they fully appreciate its history, design or the environmental importance of its collection of over 1,000 trees of 100 different species. Using Quick Response (QR) Code technology, this project will lead to higher awareness of the significance of Allegheny Commons at minimum, and increased stewardship, advocacy and volunteerism at best. The QR code has expanded in popularity over the past few years for the convenience it provides to smart phone and tablet users. Our project aims to take the idea of the QR code to a level beyond advertisements and calendars, and use it as a tool to elicit creative response to the natural environment through an interactive, educational process.

The *Master Plan for Allegheny Commons* observes that signage plays an important role in parks and serves as an identification, regulation, orientation and interpretation tool. The QR codes that we place in the park will put a new spin on traditional park signage and allow us to be flexible in the information that we convey. It is far simpler to edit a website than to fabricate a new sign, and provides many more opportunities to check-in with the user.

We believe that there is a correlation between knowledge, and stewardship, in the form of advocacy, volunteerism and donations. Users will be invited to invest in the park and take ownership by attending a Tree Care Day, becoming a Tree Tender, or by adopting a tree. Users will also be invited to share their observations and concerns, to begin a dialog about the role of the park in our community.

We have been inspired by the use of QR tags in other outdoor spaces such as Central Park, Fort Vancouver National Park, Arnold Arboretum and Vanderbilt Arboretum among many others.

The features we have selected to interpret are:

1. Maine Memorial
2. Iron deer
3. Soldiers' Monument
4. Lake Elizabeth
5. Dawn Redwood
6. Tuliptree
7. Ginkgo
8. London Planetree
9. Katsura
10. The National Aviary outdoor exhibits
11. Pedestrian Bridge
12. West Ohio Street Bridge
13. Stephen Foster Memorial
14. Hampton Battery Memorial

# Allegheny Commons Initiative Commons Knowledge Project

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15. Garden Theater
16. George Washington Monument
17. Underground Railroad (Avery College and Brunot House)
18. Gus and Yai Yai's
19. Thomas Armstrong Monument
20. Off Leash Area
21. Tree of Heaven
22. Cucumber Magnolia
23. Amur Corktree
24. Carolina Poplar
25. Sawtooth Oak
26. Copper Beech
27. American Sycamore
28. Allegheny Chinkapin
29. Cloud Arbor at Buhl Park

## **Final Design of Tags:**

Each tag will be 5.25" x 5.25" and made of Sintra, a lightweight yet rigid board of moderately expanded closed-cell polyvinyl chloride (PVC) extruded in a homogenous sheet with a low gloss matte finish. Two holes will be pre-drilled to allow the tag's attachment. (*See Figures 1 and 2.*) While durable and weather resistant, these tags are intended to be temporary while we evaluate the success of the project and monitor alternative mobile technologies available for park interpretation. Following the pilot project, the Commission may be approached to review designs for more permanent tags.

## **Tag Attachment:**

The tags will be attached to the trees using the current method in place for tree labels in the park (*See Figure 3*), which consists of stainless steel screws and springs that fasten the label to the trunk of the tree. (*See Figure 4*). Former Pittsburgh City Forester Dale Vazzetti developed and implemented the existing tree labeling program, which will remain in the park, after investigating the impact of the spring/screw system on the tree's vitality. Tags will be installed at a readable height, approximately 5' 5" to 6'.

For the features that are not trees, we propose the following tag locations.

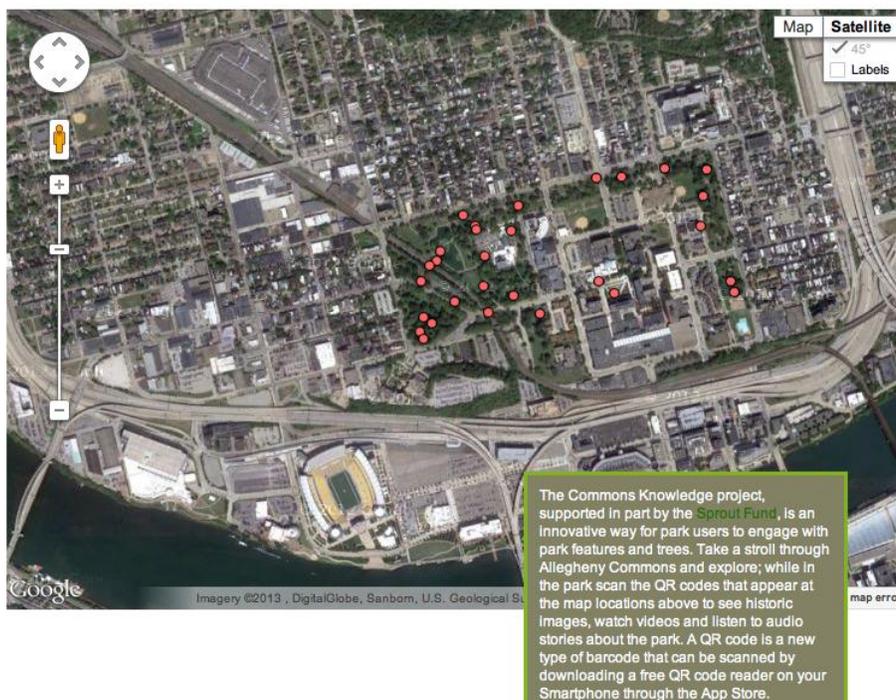
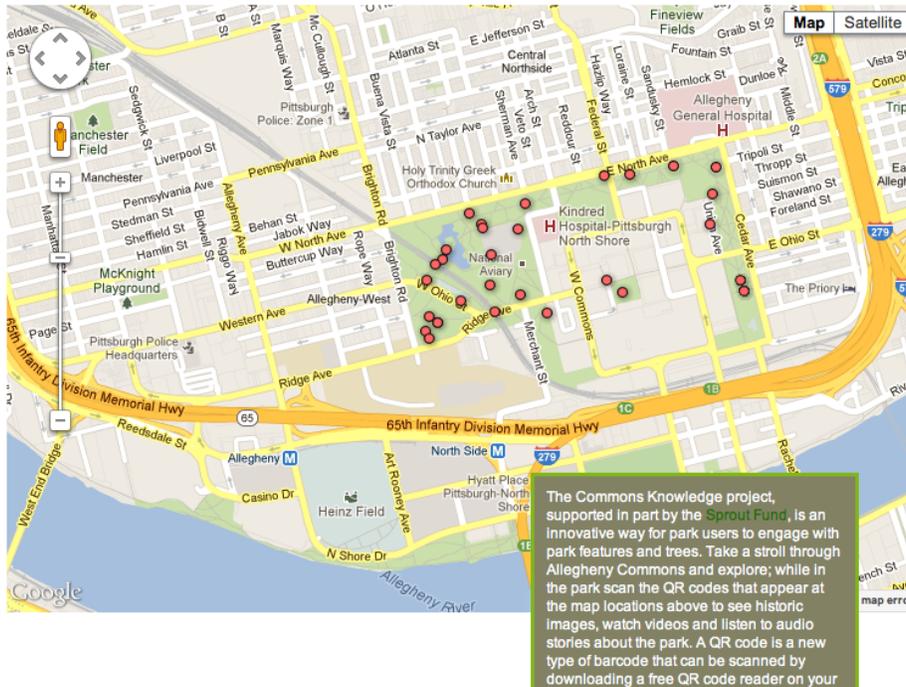
Stephen Foster Memorial	Interpretive sign (Figure 5)
Hampton Battery Memorial	Surrounding fence (Figure 6)
George Washington Memorial	Planting area (Figure 7a and b)
Lake Elizabeth	Foot bridge (Figure 8)
Soldiers Monument	Handrail leading to pedestrian bridge (Figure 9)
Maine Memorial	Nearby tree or flag pole (Figure 10)
Thomas Armstrong	Planting bed (Figure 11)
Iron Deer	Nearby tree (Figure 12)
Off-Leash Area	Nearby tree (Figure 13)
Ridge Avenue Bridge	Bridge (Figure 14)
West Ohio Street Bridge	Bridge (Figure 15)
Pedestrian Bridge	Handrail leading to bridge (Figure 16)

# Allegheny Commons Initiative Commons Knowledge Project

## Map of the Park:

The QR tags will be placed in the following locations: <http://alleghenycommons.org/map2.html>.

Screen shots in map view and satellite view appear below.



# Allegheny Commons Initiative Commons Knowledge Project

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Figure 1: Proposed QR Tree Label

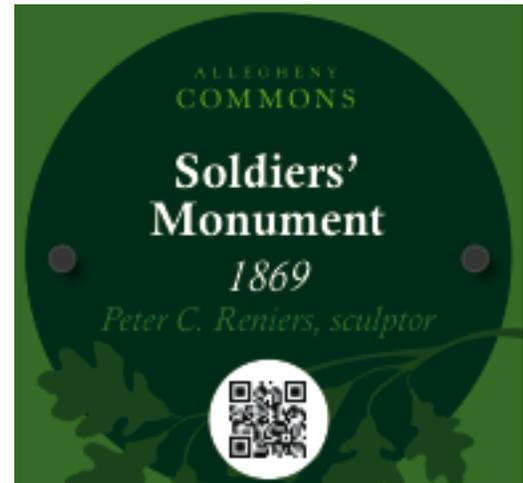


Figure 2: Proposed QR Feature Label



Figure 4: Current Tree Label



Figure 5: Current label attachment system



**Figure 5: Stephen Foster Memorial**



**Figure 6: Hampton Battery**



**Figure 7a: George Washington Memorial**



**Figure 7b: Planting bed surrounding George Washington Monument.**



**Figure 8: Lake Elizabeth Bridge**



**Figure 9: Soldiers' Monument**



**Figure 10: Maine Memorial**



**Figure 11: Thomas Armstrong**



**Figure 12: Iron Deer Sculpture**



**Figure 13: Off Leash Area**



**Figure 14: Ridge Avenue Bridge**



**Figure 15: West Ohio Street Bridge**



**Figure 16: Pedestrian Bridge**



Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

2017 E CARSON ST
PGH 15203

OWNER:

NAME: NICHOLAS KEFAL
ADDRESS: 112 S. 15th ST
PGH 15203
PHONE: 412-481-0819
EMAIL: SEVICKEFAL@COMCAST.NET

REQUIRED ATTACHMENTS:

- Drawings, Photographs, Renderings, Site Plan, Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Replace windows (8) on 2nd + 3rd floor front of bldg.

SIGNATURES:

OWNER: Nicholas Kefal

DATE: 3-21-2013

APPLICANT:

DATE:

STAFF USE ONLY:

DATE RECEIVED: 4/11/13
LOT AND BLOCK NUMBER: 12-F-141
WARD: 17th
FEE PAID: yes

DISTRICT:

APPLICANT:

NAME:
ADDRESS:
PHONE:
EMAIL:





• THE 1889 CAFE •

SEVEN

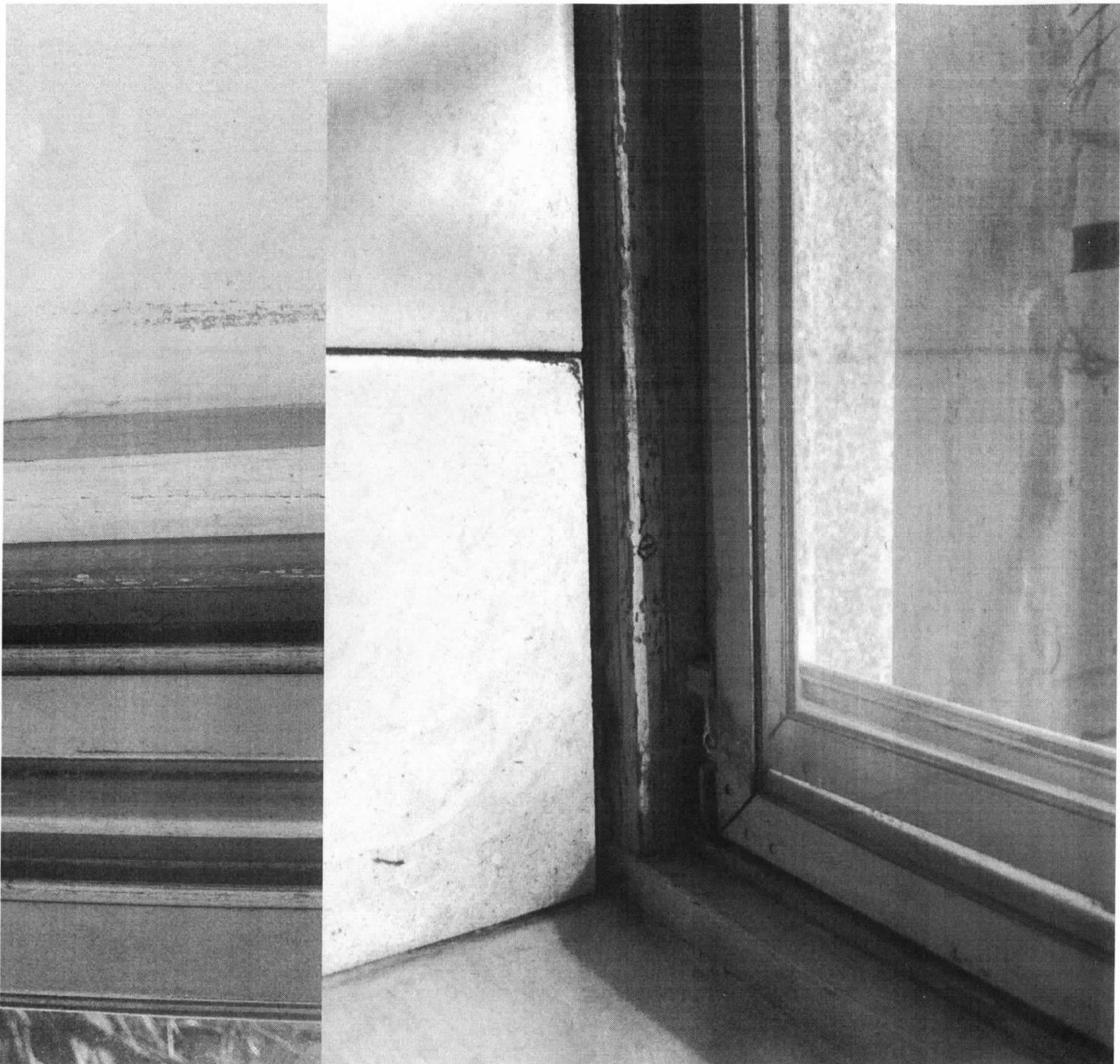
From: Amanda Cressman <acressman@bigburrito.com>  
Subject: **Window pictures**

Date: April 10, 2013 11:03:37 PM EDT

To: Mary Ann Sevick <sevicketal@comcast.net>

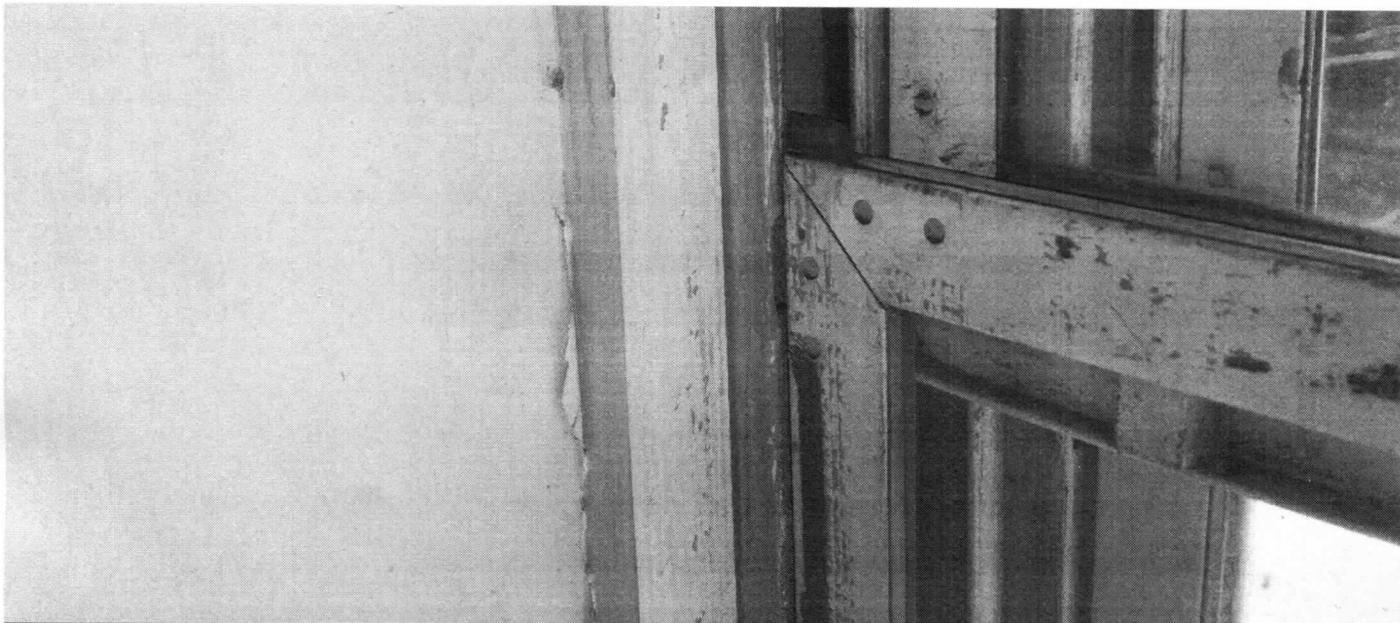
Cc: Gabe Kefal <gabeketal@yahoo.com>

8 Attachments, 12.2 MB



①

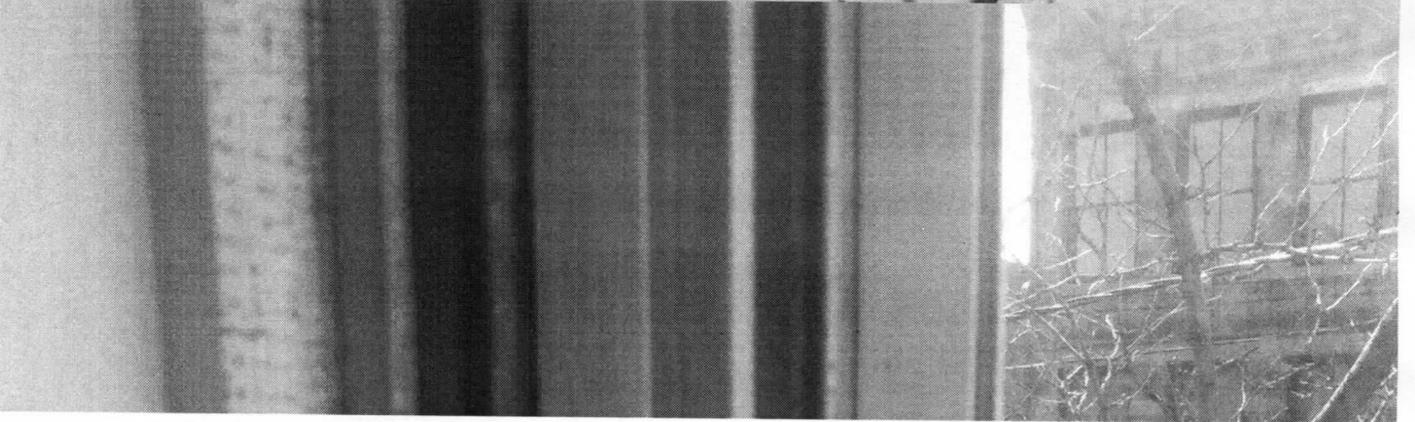
2





3

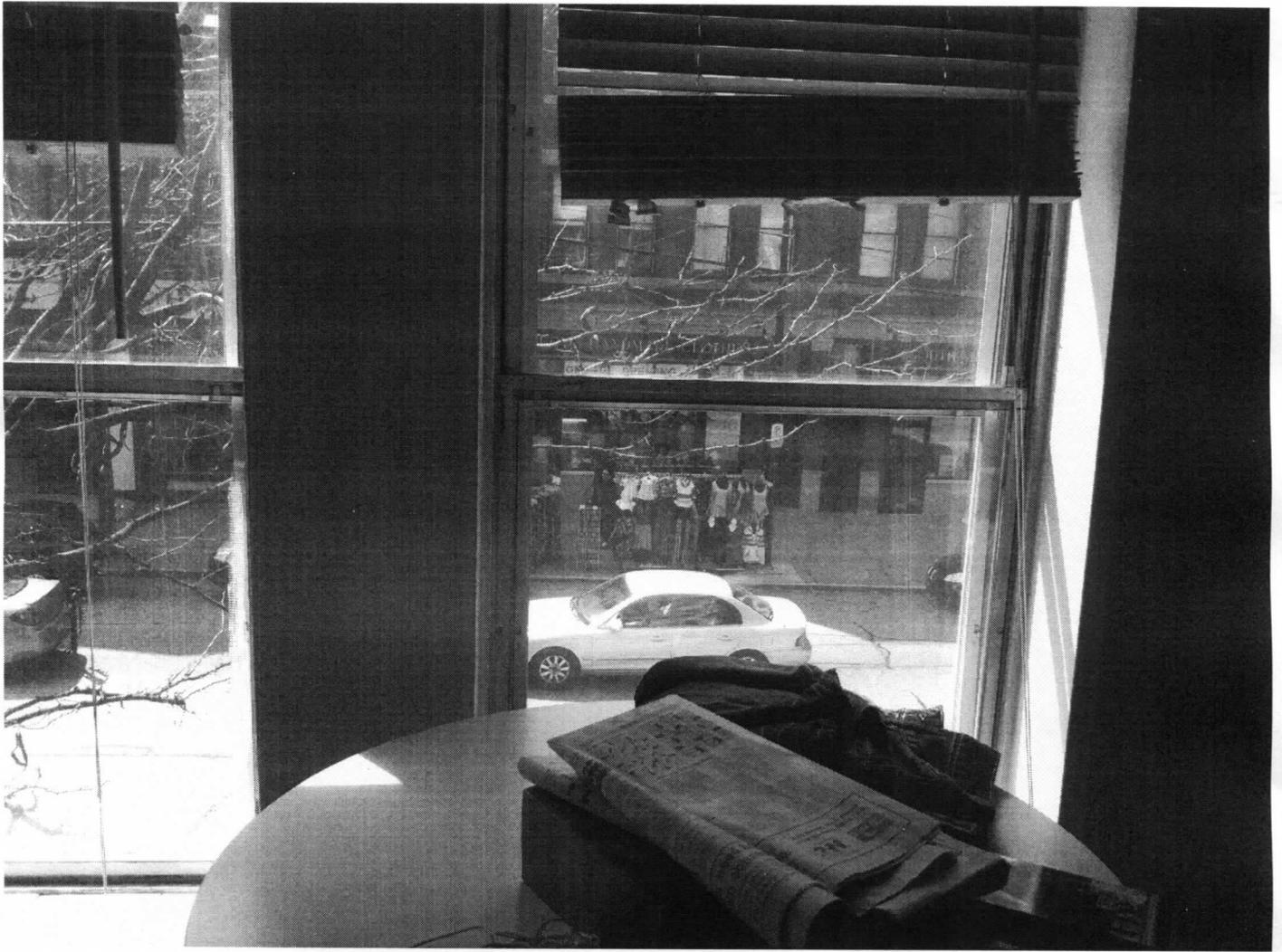
(4)



8



6





# INDIVIDUAL PROPERTY HISTORIC NOMINATION FORM

**HRC Staff Use Only**

Date Received:.....  
 Parcel No.: .....  
 Ward: .....  
 Zoning Classification:.....  
 Bldg. Inspector:.....  
 Council District:.....

**Fee Schedule**

Please make check payable to *Treasurer, City of Pittsburgh*  
 Individual Landmark Nomination: \$100.00  
 District Nomination: \$250.00

Fairhaven Methodist Protestant Church,  
 Fairhaven Methodist Episcopal Church,  
 Saint John's Methodist Protestant Church

**1. HISTORIC NAME OF PROPERTY:**

**2. CURRENT NAME OF PROPERTY:**

Fairhaven United Methodist Church

**3. LOCATION**

a. Street: 2415 Saw Mill Run Boulevard

b. City, State, Zip Code: Pittsburgh, PA 15234

c. Neighborhood: Overbrook

**4. OWNERSHIP**

d. Owner(s): Fairhaven United Methodist Church

e. Street: 2415 Saw Mill Run Boulevard

f. City, State, Zip Code: Pittsburgh, PA 15234

Phone: (412) 882-2544

**5. CLASSIFICATION AND USE – Check all that apply**

<u>Type</u>	<u>Ownership</u>	<u>Current Use:</u>
<input checked="" type="checkbox"/> Structure	<input type="checkbox"/> Private – home	<u>Place of Worship</u>
<input type="checkbox"/> District	<input type="checkbox"/> Private – other	_____
<input type="checkbox"/> Site	<input type="checkbox"/> Public – government	_____
<input type="checkbox"/> Object	<input type="checkbox"/> Public - other	_____
	<input checked="" type="checkbox"/> Place of religious worship	_____

---

6. NOMINATED BY:

a. Name: Board of Trustees, Fairhaven United Methodist Church

b. Street: 2415 Saw Mill Run Boulevard

c. City, State, Zip: Pittsburgh, PA 15234

d. Phone: (412) 882-2544 Email: richcummings1958@gmail.com

7. DESCRIPTION

Provide a narrative description of the structure, district, site, or object. If it has been altered over time, indicate the date(s) and nature of the alteration(s). (Attach additional pages as needed)

*If Known:*

a. Year Built: 1907

b. Architectural Style: Simple Gothic Revival Vernacular

c. Architect/Builder: unknown

Narrative: See Attached

8. HISTORY

Provide a history of the structure, district, site, or object. Include a bibliography of sources consulted. (Attach additional pages as needed.) Include copies of relevant source materials with the nomination form (see Number 11).

Narrative: See Attached

9. SIGNIFICANCE

The *Pittsburgh Code of Ordinances, Title 11, Historic Preservation, Chapter 1: Historic Structures, Districts, Sites and Objects* lists ten criteria, at least one of which must be met for Historic Designation. Describe how the structure, district, site, or object meets one or more of these criteria and complete a narrative discussing in detail each area of significance. (Attach additional pages as needed)

The structure, building, site, district, object is significant because of (check all that apply):

1.  Its location as a site of a significant historic or prehistoric event or activity;
2.  Its identification with a person or persons who significantly contributed to the cultural, historic, architectural, archaeological, or related aspects of the development of the City of Pittsburgh, State of Pennsylvania, Mid-Atlantic region, or the United States;
3.  Its exemplification of an architectural type, style or design distinguished by innovation, rarity, uniqueness, or overall quality of design, detail, materials, or craftsmanship;
4.  Its identification as the work of an architect, designer, engineer, or builder whose individual work is significant in the history or development of the City of Pittsburgh, the State of Pennsylvania, the Mid-Atlantic region, or the United States;

- 
5.  Its exemplification of important planning and urban design techniques distinguished by innovation, rarity, uniqueness, or overall quality of design or detail;
  6.  Its location as a site of an important archaeological resource;
  7.  Its association with important cultural or social aspects or events in the history of the City of Pittsburgh, the State of Pennsylvania, the Mid-Atlantic region, or the United States;
  8.  Its exemplification of a pattern of neighborhood development or settlement significant to the cultural history or traditions of the City, whose components may lack individual distinction;
  9.  Its representation of a cultural, historic, architectural, archaeological, or related theme expressed through distinctive areas, properties, sites, structures, or objects that may or may not be contiguous; or
  10.  Its unique location and distinctive physical appearance or presence representing an established and familiar visual feature of a neighborhood, community, or the City of Pittsburgh.

Narrative: See Attached. For Integrity Narrative-also see attachement

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#### 10. INTEGRITY

In addition, the ordinance specifies that “Any area, property, site, structure or object that meets any one or more of the criteria listed above shall also have sufficient integrity of location, design, materials, and workmanship to make it worthy of preservation or restoration”. (Attach additional pages as needed)

Narrative: \_\_\_\_\_

#### 11. NOTIFICATION/CONSENT OF PROPERTY OWNER(S)

##### *1.3(a)(2) Community information process.*

*Preceding submission of a nomination form for a District, the Historic Review Commission shall conduct at least one (1) public information meeting within or near the boundaries of the proposed district, which shall include at least one (1) member of the Department of City Planning and one (1) Commission member, to discuss the possible effects of designation. Notice shall be given to the owners of property in the proposed district in accordance with Section 1.3(b) below. The final public information meeting shall be held no more than six months before the nomination form is submitted.*

##### *1.3(a)(1)(a) Subsection F.*

*In the case of a nomination as a Historic District, by community-based organizations or by any individual, but in either event the nomination shall be accompanied by a petition signed by the owners of record of twenty-five (25) percent of the properties within the boundaries of the proposed District.*

- Please attach documentation of your efforts to gain property owner’s consent.-

\*\* The nomination of any religious property shall be accompanied by a signed letter of consent from the property’s owner.

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12. PHOTO LOGS: *Please Attach*

13. BIBLIOGRAPHY: *Please Attach*

14. NOMINATION FORM PREPARED BY:

- a. Name: Rich Cummings
- b. Street: 401 Shady Avenue D106b
- c. City, State, Zip: Pittsburgh, PA 15206
- d. Phone: (412) 537-1127 Email: richcummings1958@gmail.com
- e. Signature: \_\_\_\_\_



**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

STAFF USE ONLY:

DATE RECEIVED: 3/20/13  
 LOT AND BLOCK NUMBER: 23-J-308  
 WARD: 22nd  
 FEE PAID: ~~\$400~~ yes

**ADDRESS OF PROPERTY:**

1226 Buena Vista St.  
Pgh., PA 15212

**DISTRICT:**

Mexican War Streets

**OWNER:**

NAME: Jonathan Terry  
 ADDRESS: 1226 Buena Vista St.  
Pgh., PA 15212  
 PHONE: 412-418-0710  
 EMAIL: JFTerryprof@verizon.net

**APPLICANT:**

NAME: Same  
 ADDRESS: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 EMAIL: \_\_\_\_\_

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Installation of wooden fencing + gate

**SIGNATURES:**

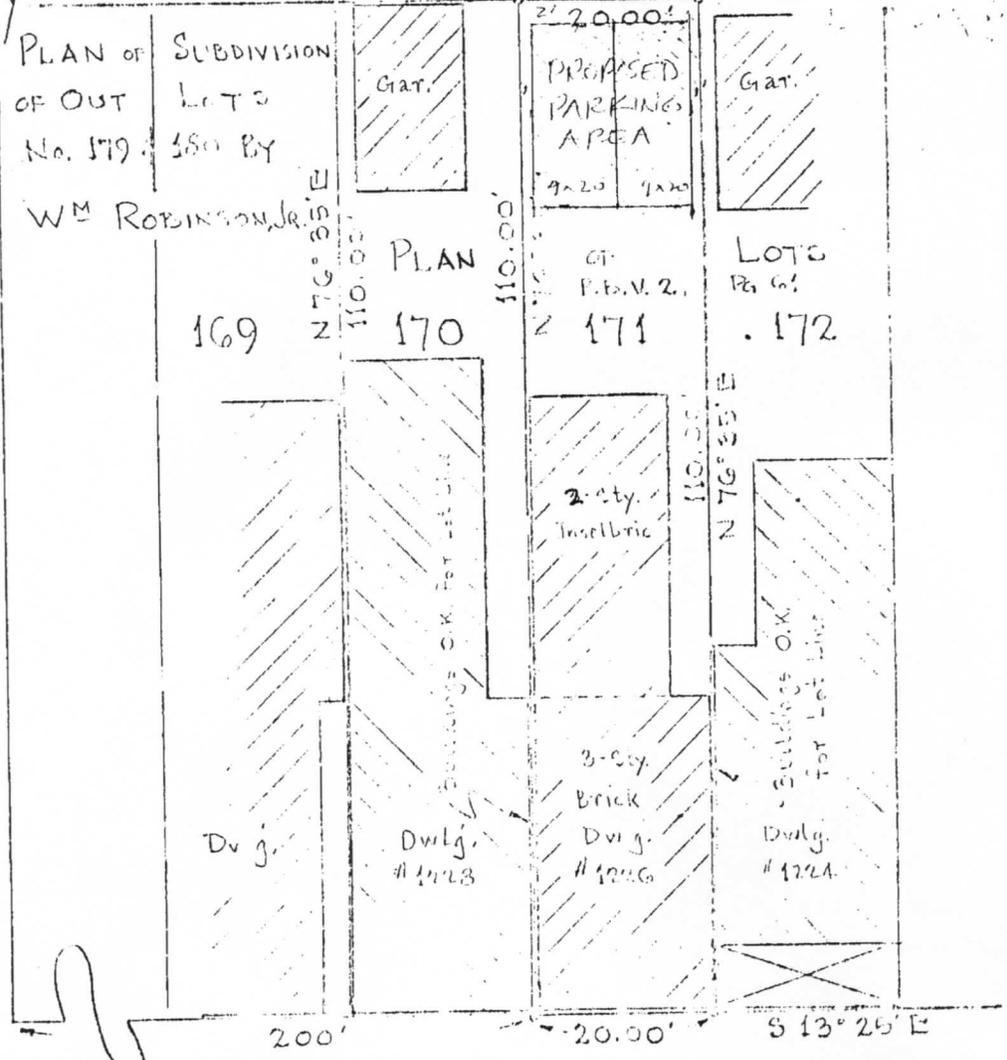
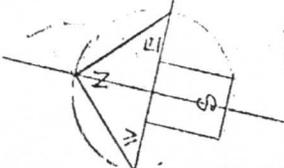
OWNER: Jonathan Terry DATE: 3/20/13  
 APPLICANT: \_\_\_\_\_ DATE: \_\_\_\_\_

*Thursday 1pm able to come in*



TAYLOR AVE. 50.4 FT

MIMOSA WAY 19 FT



BUENA VISTA ST. 50 FT

PLAN OF PROPERTY SITUATE

22ND WARD CITY OF PITTSBURGH, PA

SUBMITTED FOR CITY OF PITTSBURGH

JAN. 1972

SCALE: 1"=16'

BOYD ENGINEERING CO  
Post Office Box 11463  
Pittsburgh, Pa. 15238

Phone 828-5580

CONTRACT  
I hereby certify that I have accepted the plan of subdivision shown hereon as correct and true to a correct plan of a survey made by me or by a duly licensed surveyor or any other person on 10/12/72, and that I have no objection to the same being used for the purposes or purposes apparent from a survey on the ground.

*Boyd*  
BY



Not William Atty 1-4-72

1230 Mimosa Way



Exit Street View

2



Pittsburgh, PA 15212, USA

© 2013 Google

© 2013 Google

Google earth

[Report a problem](#)

40°27'20.12" N 80°00'49.55" W elev 769 ft

Eye alt 776 ft



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STAFF USE ONLY:

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

821 Liberty Avenue and  
212 Ninth Street  
Pittsburgh, PA 15222

**DISTRICT:**

Originally 2nd Ward, City of Pittsburgh  
Currently, Distric 6, City of Pittsburgh

**OWNER:**

Catholic Charities of the  
 NAME: Diocese of Pittsburgh, Inc.  
Susan Rauscher, Executive Director  
 ADDRESS: 212 Ninth Street  
Pittsburgh, PA 15222

**APPLICANT:**

PWC Property Solutions, LLC (Property Mgmt.)  
 NAME: Charles DiLoreto  
 ADDRESS: 3 Parkway Center, Suite 102  
Pittsburgh, PA 15220  
 PHONE: (412) 937-1925 Office  
(412) 287-1357 Cell

PHONE: (412) 456-6998

EMAIL: srausc@ccpgh.org

EMAIL: cdiloreto@pwcpropertiesolutions.com

**REQUIRED ATTACHMENTS:**

Drawings     Photographs     Renderings     Site Plan     Other

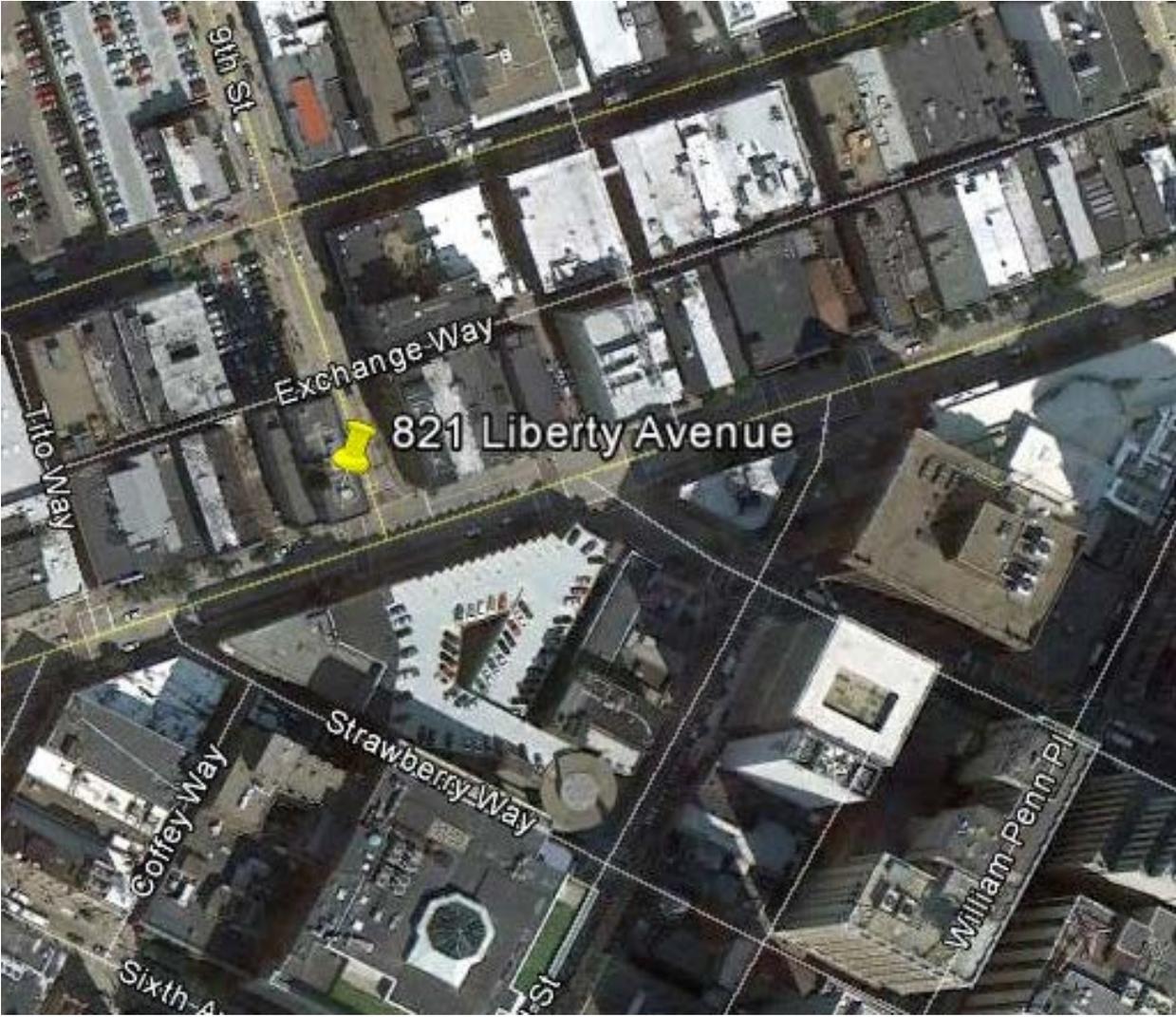
**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

The Pittsburgh Fire Department has mandated the installation of a second standpipe in the emergency stairwell of the Victory Building. The original plans submitted for approval included the use of a transfer switch for backup electric because the Victory Building has two electric lines in the vault, as well as access to the City grid. This plan was denied and now requires the installation of a generator.

**SIGNATURES:** (over)

OWNER: Susan Rauscher DATE: 3-5-13

APPLICANT: Charles A. Couto DATE: 3-5-13





PARTIAL 5<sup>TH</sup> STREET ELEVATION  
1/4" = 1'-0" SCALE.



11<sup>th</sup> Floor Level - Continued

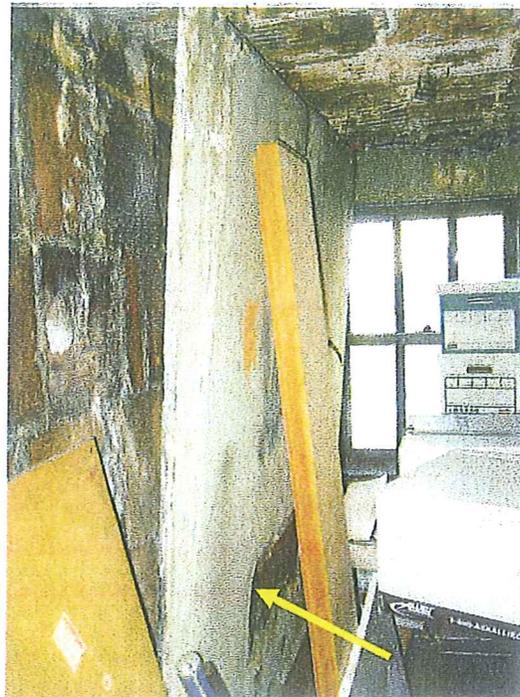
349 S11-8



350 S11-8



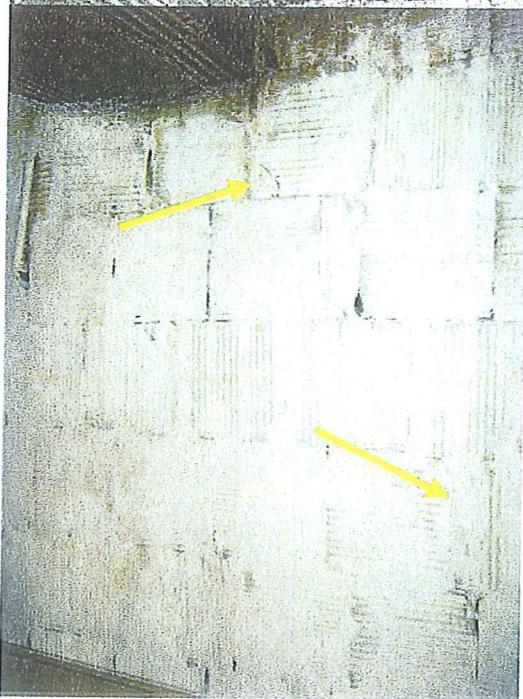
366 S11-11





11<sup>th</sup> Floor Level - Continued

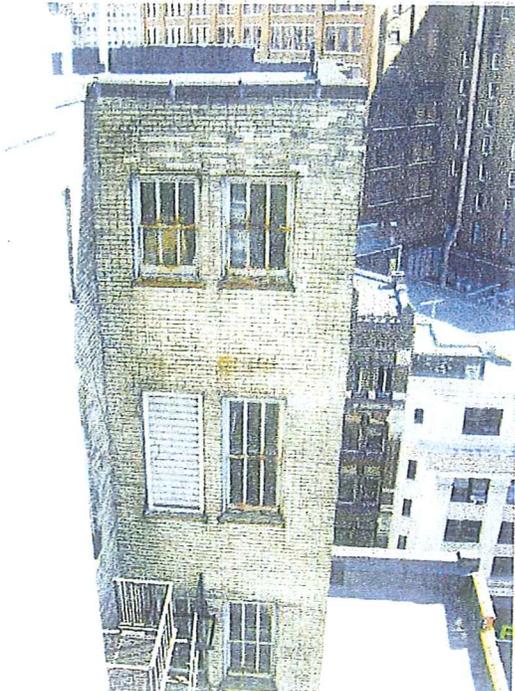
348 S11-3



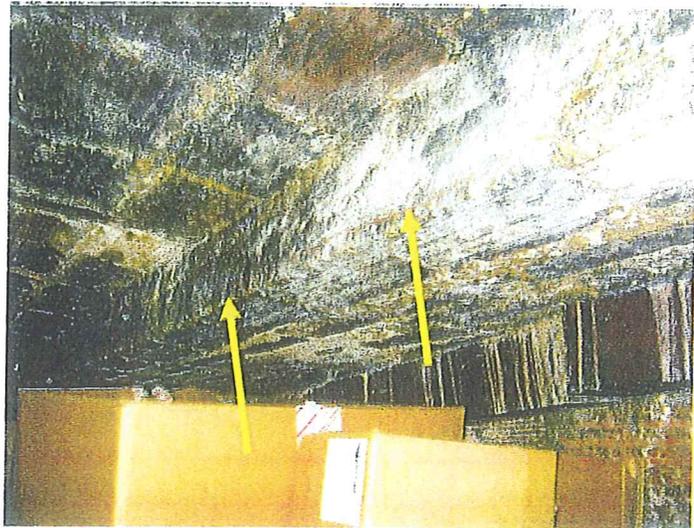
369 S11-4



887 S11-4



355 S11-5







HENRY W. OLIVER BUILDING

au bon pain au bon pain au bon pain au bon pain au bon pain

au bon pain au bon pain au bon pain au bon pain au bon pain



NO PARKING  
EXCEPT FOR  
LOADING  
UNLOADING  
OR  
DELIVERY





LIBERTY CENTER

THE WESTIN

THE WESTIN

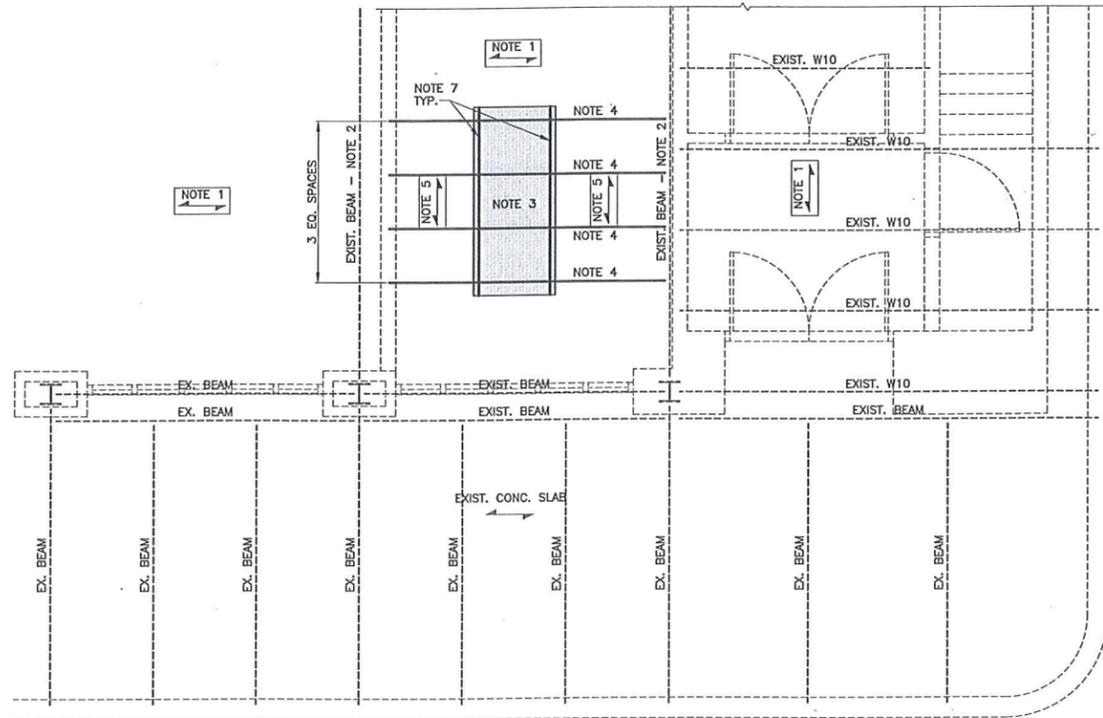
LIBERTY CENTER

NO  
PARKING  
EXCEPT  
AS SHOWN  
ON THIS  
SIGN

STOP  
NO  
PARKING  
EXCEPT  
AS SHOWN  
ON THIS  
SIGN

STOP  
NO  
PARKING  
EXCEPT  
AS SHOWN  
ON THIS  
SIGN

NO  
PARKING  
EXCEPT  
AS SHOWN  
ON THIS  
SIGN

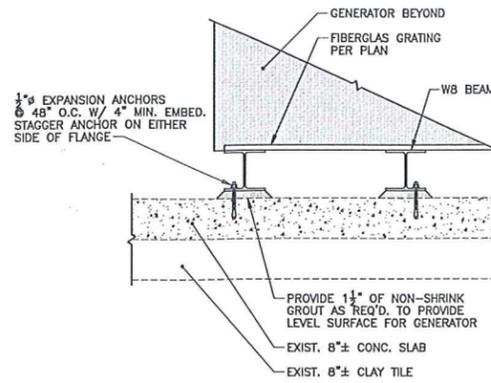


**PARTIAL EXISTING FIRST FLOOR PLAN**

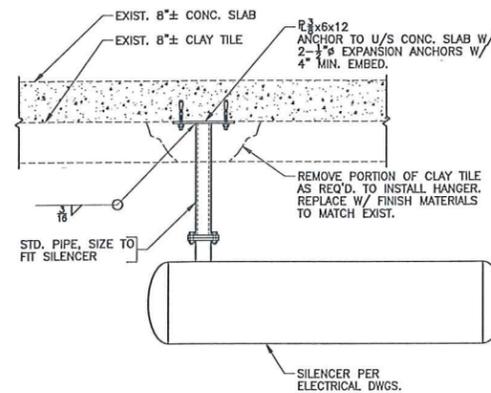
SCALE: 1/4" = 1'-0"

**NOTES:**

- EXIST. FIRST FLOOR SLAB - 8" CONC. SLAB ON 8" CLAY TILE
- EXIST. STEEL BEAM, DURING CONSTRUCTION CONTRACTOR SHALL EXPOSE BEAM FOR FIELD REVIEW OF SIZE & SUBSEQUENT STRUCTURAL REVIEW OF CAPACITY.
- GENERATOR PER ELECTRICAL DWGS. MAXIMUM OPERATING WEIGHT = 8700# (GENERATOR, TANK & FUEL).
- 4-W8x31 BEAM ANCHORED TO T/FLOOR SLAB PER SECTION 100/S100
- 1" MOLDED RECTANGULAR FIBERGLASS GRATING (McNICHOLS MSR-100 OR APPROVED EQUIVALENT) SPANNING BETWEEN BEAMS.
- SILENCER TO BE HUNG FROM FLOOR ABOVE PER SECTION 101/S100
- CONT. L4x4x1/2 SPANNING BETWEEN W8 BEAMS AT EDGE OF GENERATOR.



**SECTION 100**  
SCALE: 3/4" = 1'-0" S100



**SECTION 101**  
SCALE: 3/4" = 1'-0" S100

**GENERAL NOTES**

**100. DESIGN CRITERIA**

- 100.1 DESIGN BUILDING CODE:  
A. INTERNATIONAL BUILDING CODE, 2009 (AS AMENDED BY THE CITY OF PITTSBURGH)
- 100.2 GRAVITY LOADS:  
A. FLOOR LIVE LOADS:  
1. PUBLIC AREAS \_\_\_\_\_ 100 PSF  
2. OFFICES \_\_\_\_\_ 50 PSF  
2000 LB.

**110. GENERAL**

- 110.1 THIS DRAWING HAS BEEN PRODUCED ENTIRELY ON ATLANTIC ENGINEERING SERVICES CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE AUTHORIZATION OF ATLANTIC ENGINEERING SERVICES AND ARE INVALID.
- 110.2 DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. ONLY DIMENSIONS INDICATED ON DRAWINGS MAY BE USED TO ESTABLISH THE LOCATION AND EXTENT OF STRUCTURAL WORK. IF A REQUIRED DIMENSION IS NOT FURNISHED ON DRAWINGS, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR INFORMATION TO OBTAIN THE DIMENSION.
- 110.3 THE METHOD AND FREQUENCY OF ATTACHING MECHANICAL EQUIPMENT UNITS, ETC., TO THE STRUCTURAL ELEMENTS SHALL BE SUBJECT TO THE ENGINEER'S REVIEW AND APPROVAL.
- 110.4 UNLESS OTHERWISE INDICATED, STRUCTURAL COMPONENTS SUPPORTING MECHANICAL EQUIPMENT HAVE NOT BEEN DESIGNED FOR THE VIBRATIONAL EFFECTS OF THE EQUIPMENT. THE CONTRACTOR SHALL PROVIDE VIBRATION ISOLATORS FOR ANY MECHANICAL EQUIPMENT MOUNTED TO THE STRUCTURE IN ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
- 110.5 THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC., AND SHALL NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES, ADDITIONAL INFORMATION, ETC., BEFORE BEGINNING THE WORK.
- 110.6 THE CONTRACTOR SHALL USE EXTREME CAUTION IN THE DEMOLITION OF EXISTING STRUCTURES. SUCH DEMOLITION SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE STRUCTURAL INTEGRITY OF ALL EXISTING STRUCTURES TO REMAIN. PROVIDE SHORING AS REQUIRED.
- 110.7 ALL STRUCTURAL WORK SHALL BE INSPECTED IN ACCORDANCE WITH THE BUILDING CODE AND ALL LOCAL ORDINANCES. THE OWNER SHALL ENGAGE AN EXPERIENCED, QUALIFIED INSPECTION AGENCY, SUBJECT TO THE REVIEW OF THE ENGINEER, TO PERFORM ALL INSPECTION WORK, AS REQUIRED. THRESHOLD BUILDINGS SHALL BE INSPECTED BY A LICENSED THRESHOLD INSPECTOR IN ACCORDANCE WITH THE THRESHOLD INSPECTION PLAN.

**350. CONCRETE/MASONRY ANCHORS**

- 350.1 ALL ADHESIVE STUD ANCHORS SHALL BE "HILTI HIT-HY 150 ADHESIVE CONCRETE ANCHORS" AS MANUFACTURED BY HILTI FASTENING SYSTEMS, INC. (OR APPROVED EQUIVALENT).
- 350.2 ALL EXPANSION STUD ANCHORS SHALL BE "HILTI KWIK-BOLT III EXPANSION CONCRETE ANCHORS" AS MANUFACTURED BY HILTI FASTENING SYSTEMS, INC. (OR APPROVED EQUIVALENT).
- 350.3 THE "HAS ANCHOR ROD" SHALL CONFORM TO ASTM A36 STEEL, THE "HAS SUPER ANCHOR ROD" SHALL CONFORM TO ASTM A193 STEEL, AND THE NUT SHALL CONFORM TO ASTM A563, GRADE A.
- 350.4 THE "KWIK-BOLT III EXPANSION ANCHORS" STUD SHALL CONFORM TO ASTM A510 OR ASTM A108 STEEL AND THE NUT SHALL CONFORM TO ASTM A563, GRADE A.
- 350.5 ALL EXPANSION ANCHORS FOR ANCHORING TO MASONRY BE "HILTI HLC SLEEVE ANCHORS" AS MANUFACTURED BY HILTI FASTENING SYSTEMS, INC. (OR EQUAL).
- 350.6 THE SPACING, MINIMUM EMBEDMENT, AND INSTALLATION OF THE ANCHORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PROCEDURES.

**510. STRUCTURAL STEEL**

- 510.1 ALL STRUCTURAL STEEL WORK SHALL BE IN ACCORDANCE WITH ANSI/AISC 360-05 - "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS." LOADS, FORCES AND MOMENTS INDICATED ARE SERVICE LEVEL AND ARE INTENDED FOR USE WITH THE ALLOWABLE STRENGTH DESIGN PROVISIONS OF THE CODE.
- 510.2 GRADE OF STEEL  
A. STRUCTURAL W SHAPES \_\_\_\_\_ ASTM A992  
A. STEEL PIPE \_\_\_\_\_ ASTM A53, GRADE E OR S  
B. ANGLES AND PLATES \_\_\_\_\_ ASTM A36
- 510.3 ALL WELDING SHALL BE IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE, AWS D1.1, LATEST EDITION, OF THE AMERICAN WELDING SOCIETY. ELECTRODES SHALL BE E70XX FOR MANUAL ARC WELDING AND F7X-EXXX FOR SUBMERGED ARC WELDING.
- 510.4 ALL STRUCTURAL STEEL WORK, EXCEPT PORTIONS OF MEMBERS TO BE WELDED, FIELD BOLTED OR FIREPROOFED, SHALL BE SHOP PAINTED WITH PAINT CONFORMING TO STEEL STRUCTURES PAINTING COUNCIL (SSPC) PAINT 25. APPLY PRIME PAINT ACCORDING TO SSPC PAINT SYSTEM GUIDE NO. 700 CLEAN STEEL FREE OF LOOSE SCALE, RUST, OIL AND GREASE. ADDITIONAL AREAS SHALL BE FIELD PAINTED AFTER WELDING.
- 510.5 FOR STEEL BEAMS WHERE NO INDUCED CAMBER IS INDICATED, FABRICATE BEAMS SO THAT ANY NATURAL CAMBER IS ORIENTED UPWARD AFTER ERECTION.
- 510.6 LEVELING GROUT SHALL BE NON-SHRINK, NON-METALLIC TYPE, FACTORY PRE-MIXED GROUT TESTED IN ACCORDANCE WITH CE-CRD-C821 OR ASTM C109, WITH  $f_{c'} \geq$  OF NOT LESS THAN 5000 PSI.

NO.	DATE	REVISIONS

650 Smithfield Street  
Suite 1200  
Pittsburgh, PA 15222  
PH: 412.338.9000  
FX: 412.338.0051  
AES Project #11-204.01  
Plot Date: 04/27/12

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**Allen & Shariff**  
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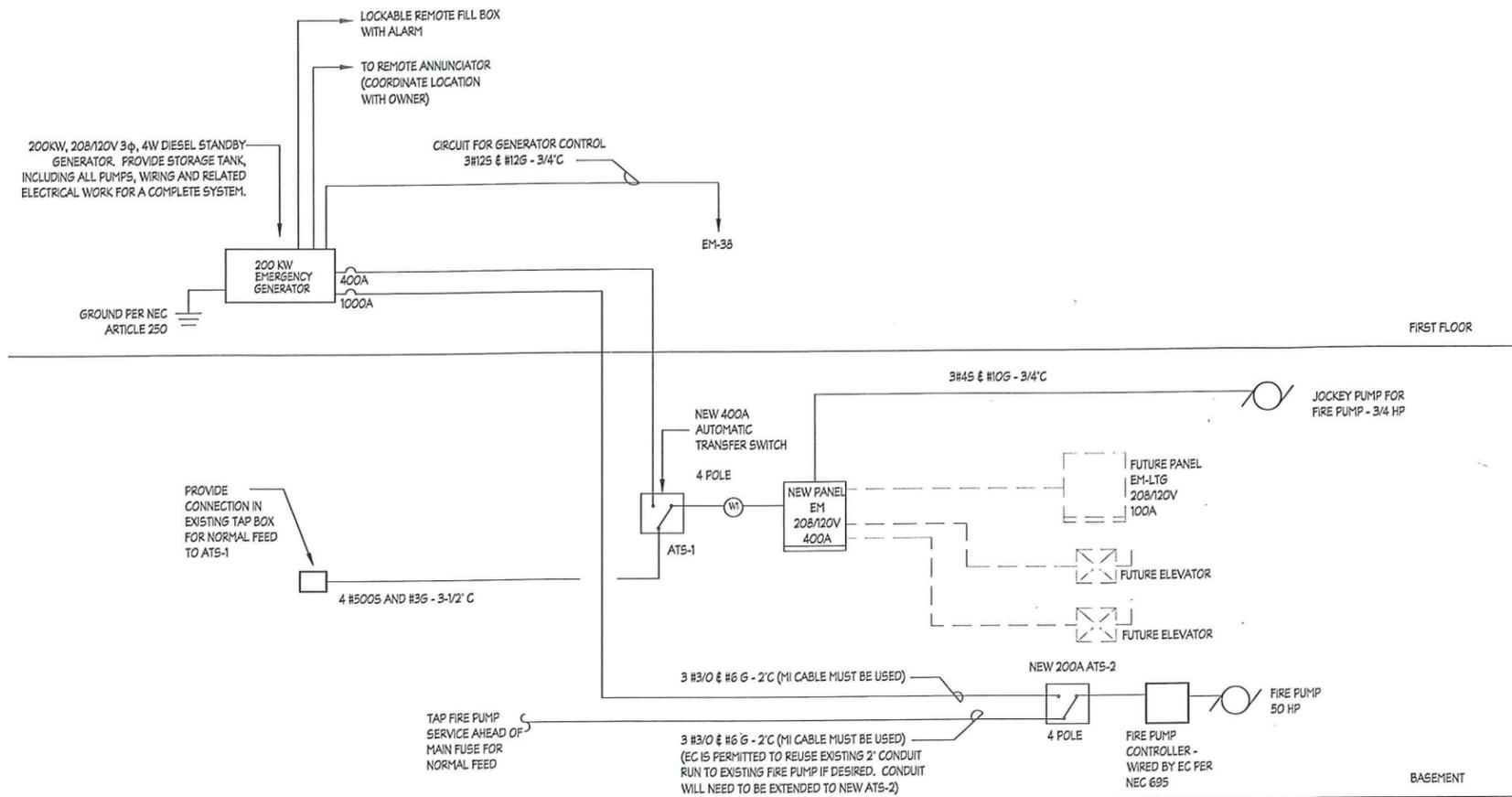
DESIGNED:	AMV
DRAWN:	PAW
CHECKED:	AMV
DATE:	04-27-12
SCALE:	AS SHOWN

**NEW GENERATOR - CATHOLIC CHARITIES OF THE DIOCESE OF PITTSBURGH**  
212 NINTH STREET  
PITTSBURGH, PENNSYLVANIA 15222

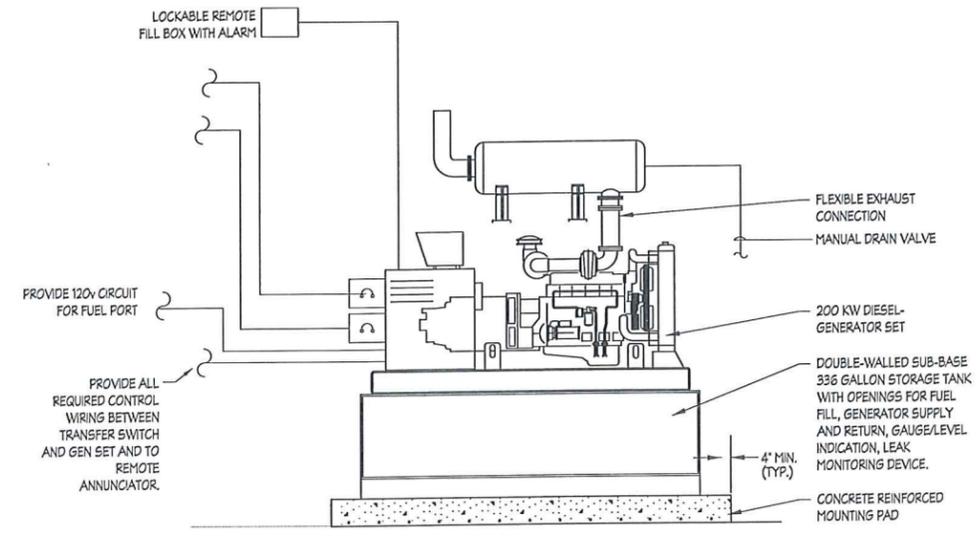
**PARTIAL EXISTING FIRST FLOOR  
PLAN AND SECTIONS**

DRAWING NUMBER:  
**S100**

JOB NUMBER: 1141058



1 PARTIAL RISER DIAGRAM  
NO SCALE



2 STANDBY GENERATOR DETAIL  
NO SCALE

**GENERAL NOTE TO CONTRACTORS:**

**APPLICABLE WORK ON CLAITMAN'S DRAWINGS:**

- DEMOLITION
- FIRE ALARM

**APPLICABLE WORK ON ALLEN & SHARIFF'S DRAWINGS:**

- GENERATOR
- POWER/SINGLE LINE

**APPLICABLE WORK ON BOTH SETS:**

- ALL WORK REQUIRED FOR A COMPLETE AND OPERABLE ELECTRICAL SYSTEM.
- ALL WORK REQUIRED FOR CODE COMPLIANCE

PANEL SCHEDULE PANEL EM												
LOCATION: PANEL VOLTAGE 208/120V PANEL RATINGS 400A 3Ø, 4W												
CK T	EQUIPMENT	CKT BKR			LOAD			CKT	EQUIPMENT	MOUNTING SURFACE VERIFY		
		POLE	AMP	VOLT	KVA	PH	KVA			POLE	AMP	VOLT
1	JOCKEY PUMP	3	20	208		A	2	3 POLE PROVISION				
3						B	4					
5						C	6					
7	FUEL PORT	1	20	120		A	8					
9						B	10	3 POLE PROVISION				
11						C	12					
13						A	14					
15	3 POLE PROVISION					B	16	3 POLE PROVISION				
17						C	18					
19						A	20					
21	3 POLE PROVISION					B	22	3 POLE PROVISION				
23						C	24					
25						A	26					
27	3 POLE PROVISION					B	28	3 POLE PROVISION				
29						C	30					
31						A	32					
33	3 POLE PROVISION					B	34	3 POLE PROVISION				
35						C	36					
37						A	38	GENERATOR CONTROLS	1	20	120	
39	3 POLE PROVISION					B	40	GENERATOR CONTROLS	1	20	120	
41						C	42	GENERATOR CONTROLS	1	20	120	

REMARKS:  
 PHASE A LOAD \*\*\*\*\* KVA  
 PHASE B LOAD \*\*\*\*\* KVA  
 PHASE C LOAD \*\*\*\*\* KVA  
 TOTAL LOAD \*\*\*\*\* KVA

**Diesel Emergency Generator System**

- Generator Shall Be Cummins Power Generation Model D5HAC or approved equal.
- Rating shall be 200 Kw Continuous Rated
- Voltage 208/120 3 Phase 4 Wire System
- Engine Horse Power shall be a minimum of 364.
- Alternator to provide 920 motor starting KVA. Temperature Rise shall not exceed 105 Degree C at 175 kw. Temperature rise based on 40 degree C ambient condition.
- Sub transient Reactance shall not exceed .10
- Fuel Tank shall provide 336 gallons.
- Unit supplied with (2) Mainline Circuit Breakers.
- Accessories shall include: Digital Control Panel with Meters, Batteries and Remote Annunciator, Data Type.
- 5 year Comprehensive Warranty
- Must meet current EPA requirements for emissions
- 1 Day Start Up, 2 Hour Load Test and owner training.
- Critical Side Inlet muffler, 6' Maxim model M52
- Stainless steel exhaust flex
- Sismic vibration spring isolators
- Remote Annunciator

**Automatic Transfer Switch for Fire Pump**

- Transfer Switch Shall be Cummins Model or approved equal.
- Rating shall be 200 Amps
- Voltage shall be 208/120 3 phase 4 wire 3 pole
- Delayed or program transition
- Exerciser clock 7 day
- Battery Charger 10 amp
- Enclosure Type NEMA 1
- 5 year Comprehensive Warranty
- 1 Day Start up and owner training (Breaker style ATS not permitted)

NO.	DATE	REVISIONS

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DESIGNED: MTY  
 DRAWN: MTY  
 CHECKED: AEM  
 DATE: 05-11-12  
 SCALE: AS SHOWN

**NEW GENERATOR - CATHOLIC CHARITIES OF THE DIOCESE OF PITTSBURGH**  
 212 NINTH STREET  
 PITTSBURGH, PENNSYLVANIA 15222

**ELECTRICAL DATA SHEET**

DRAWING NUMBER:  
**E001**

JOB NUMBER: 1141058





MECHANICAL LEGEND		
SYMBOL	ABRV.	DESCRIPTION
		EXISTING EQUIPMENT OR DUCTWORK TO REMAIN
		EXISTING EQUIPMENT OR DUCTWORK TO BE REMOVED
		NEW EQUIPMENT OR DUCTWORK
		LINED DUCTWORK
		SUPPLY DUCT UP
		SUPPLY DUCT DOWN
		RETURN / EXHAUST DUCT UP
		RETURN / EXHAUST DUCT DOWN
		ROUND DUCT ELBOW UP
		ROUND DUCT ELBOW DOWN
		ELBOW WITH TURNING VANES
		DUCT OFFSET UP
		DUCT OFFSET DOWN
		SQUARE / RECTANGULAR DUCT TRANSITION
		SQUARE/RECTANGULAR TO ROUND DUCT TRANSITION
		SQUARE DIFFUSER. SEE SCHEDULE FOR INFORMATION.
		SQUARE/RECTANGULAR SUPPLY REGISTER/GRILLE
		SIDEWALL SUPPLY / RETURN GRILLE
		LINEAR DIFFUSER. SEE SCHEDULE FOR INFORMATION.
		RETURN / EXHAUST REGISTER OR GRILLE
		FLEXIBLE DUCT
		FLEXIBLE DUCT CONNECTION (TO EQUIPMENT)
		SPIN TAP WITH VOLUME CONTROL DAMPER
		DUCT ACCESS DOOR
		VOLUME CONTROL DAMPER
		BACKDRAFT DAMPER
		MOTORIZED DAMPER
		VERTICAL FIRE DAMPER (WALL)
		HORIZONTAL FIRE DAMPER (FLOOR)
		VERTICAL SMOKE DAMPER (WALL)
		HORIZONTAL SMOKE DAMPER (FLOOR)
		COMBINATION VERTICAL FIRE & SMOKE DAMPER
		COMBINATION HORIZONTAL FIRE & SMOKE DAMPER
		DUCT SMOKE DETECTOR
		THERMOSTAT
		HUMIDISTAT
		STATIC PRESSURE SENSOR
		EQUIPMENT UNIT DESIGNATION
		DIFFUSER, REGISTER & GRILLE UNIT DESIGNATION W/ CFM
		UNDER CUT DOOR
		LOUVERED DOOR
		CONNECTION POINT, NEW TO EXISTING
		DISCONNECTION POINT FROM EXISTING
		DRAWING KEYNOTE
		REVISION TAG

MECHANICAL PIPING LEGEND		
SYMBOL	ABRV.	DESCRIPTION
	HWS	HEATING WATER SUPPLY PIPING
	HWR	HEATING WATER RETURN PIPING
	CWS	CONDENSER WATER SUPPLY PIPING
	CWR	CONDENSER WATER RETURN PIPING
	CHWS	CHILLED WATER SUPPLY PIPING
	CHWR	CHILLED WATER RETURN PIPING
	G	NATURAL GAS PIPING
	D	CONDENSATE DRAIN PIPING
	R	REFRIGERANT PIPING
	LPS	LOW PRESSURE STEAM SUPPLY PIPING
	MPS	MEDIUM PRESSURE STEAM SUPPLY PIPING
	HPS	HIGH PRESSURE STEAM SUPPLY PIPING
	LPR	STEAM CONDENSATE RETURN
	FOS	FUEL OIL SUPPLY PIPING
	FOR	FUEL OIL RETURN PIPING
	O	ELBOW TURNED UP
	D	ELBOW TURNED DOWN
		BOTTOM PIPE CONNECTION
		TOP PIPE CONNECTION
		PIPING CAP
		UNION
		BALL VALVE
		GATE VALVE
		GLOBE VALVE
		CHECK VALVE
		2-WAY CONTROL VALVE
		3-WAY CONTROL VALVE
		STRAINER (W/ BALL VALVE AND CAP)
		BACKFLOW PREVENTER
		CIRCUIT SETTER (BALANCING VALVE)
		BUTTERFLY VALVE
		PLUG VALVE
		PRESSURE REGULATING VALVE
		PRESSURE RELIEF VALVE
		TRIPLE DUTY VALVE WITH MEASURING CONNECTIONS
		PRESSURE GAGE W/ SHUT-OFF
		FLEXIBLE CONNECTOR
		AUTOMATIC AIR VENT
		HOSE BIB
		PIPE ANCHOR
		PIPE GUIDE
		PIPE REDUCER
		FLOW ARROW

HVAC		HEATING, VENTILATION AND AIR CONDITIONING
MBH		1000 - BRITISH THERMAL UNITS
S/A		SUPPLY AIR
E/A		EXHAUST AIR
R/A		RETURN AIR
R & R		REMOVE EXISTING ITEM & RELOCATE TO NEW LOCATION
DB/WB		DRY BULB / WET BULB
E.S.P.		EXTERNAL STATIC PRESSURE
IN. W.G.		INCHES WATER GAUGE
KW		1000-WATT
UNO		UNLESS NOTED OTHERWISE
CU-1		CONDENSING UNIT DESIGNATION
E.A.T.		ENTERING AIR TEMPERATURE
T.S.P.		TOTAL STATIC PRESSURE
E.W.T.		ENTERING WATER TEMPERATURE
L.W.T.		LEAVING WATER TEMPERATURE
FT. W.G.		FEET WATER GAUGE
GR		GRILLE
REG		REGISTER
TR. GR.		TRANSFER GRILLE
TR		TOP REGISTER
CR		CEILING REGISTER
(E)		EXISTING
XTR		EXISTING TO REMAIN
Ø		DIAMETER
Ø OR PH		PHASE
SENS.		SENSIBLE
O/A		OUTSIDE AIR
OED		OPEN-END DUCT W/ 1/2" SQUARE WIRE MESH SCREEN & FRAME.

NOTES:  
1. NOT ALL SYMBOLS AND ABBREVIATIONS ARE IN USE FOR THIS PROJECT.

ELECTRIC HEATER SCHEDULE						
TAG	TYPE	CFM	ELEC. VOLT/PH	MCA	KW	BASIS OF DESIGN Q/MARK MODEL
EH-1	WALL	100	208/1	23.1	4.8	AWH450B
EH-2	WALL	100	208/1	23.1	4.8	AWH450B

REMARKS:  
1. PROVIDE DISCONNECT SWITCH.  
2. ALL HEATERS SHALL HAVE INTEGRAL THERMOSTAT.  
3. PROVIDE SURFACE MOUNTING KIT AND ACCESSORIES.

**GENERAL NOTES (ALL DRAWINGS):**

- MECHANICAL CONTRACTOR SHALL PROVIDE ALL MATERIALS AND EQUIPMENT AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE MECHANICAL SYSTEMS AS INDICATED ON THE DRAWINGS, AS SPECIFIED AND REQUIRED BY CODE.
- ALL WORK SHALL BE COORDINATED WITH ALL TRADES INVOLVED. ALL OFFSETS, RISERS, AND DROPS IN DUCTS (INCLUDING DIVIDED DUCTS) AND TRANSITIONS AROUND OBSTRUCTIONS SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY ALL EQUIPMENT CONNECTIONS WITH MANUFACTURERS' CERTIFIED DRAWINGS. VERIFY AND PROVIDE DUCT TRANSITIONS TO FURNISHED EQUIPMENT. FIELD VERIFY AND COORDINATE ALL DIMENSIONS BEFORE FABRICATION.
- PROVIDE ACCESS FOR SMOKE DETECTORS, VOLUME DAMPERS, AND FIRE DAMPERS LOCATED IN DUCTWORK.
- PROVIDE ACCESS DOORS IN DUCTWORK FOR OPERATION, ADJUSTMENT, AND MAINTENANCE OF ALL FANS, DAMPERS, VALVES, AND MECHANICAL EQUIPMENT.
- CEILING ACCESS PANELS SHALL BE PROVIDED BY MECHANICAL CONTRACTOR AND INSTALLED BY GENERAL CONTRACTOR, WHERE REQUIRED, TO SERVICE DAMPERS, VALVES, AND MECHANICAL EQUIPMENT.
- ALL DUCTWORK DIMENSIONS ARE CLEAR DIMENSIONS.
- SEE SPECIFICATIONS FOR GAUGES, BRACING, REQUIREMENTS, ETC. OF DUCTWORK.
- REFER TO TYPICAL DETAILS FOR INSTALLATION OF EQUIPMENT.
- ALL EQUIPMENT, DUCTWORK, ETC., SHALL BE SUPPORTED AS DETAILED AND SPECIFIED, ADDITIONAL SUPPORT SHALL BE PROVIDED AS REQUIRED TO PROVIDE VIBRATION FREE INSTALLATION.
- ALL CONTROL WIRE AND CONDUIT SHALL COMPLY WITH NEC AND DIVISION 16 OF SPECIFICATIONS.
- CONTRACT DOCUMENT DRAWINGS ARE DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE AND GENERAL ARRANGEMENT ONLY.
- ALL MISCELLANEOUS STEEL REQUIRED AND/OR AS SHOWN IN DETAILS FOR DUCTWORK, AND EQUIPMENT (UNLESS OTHERWISE NOTED) SHALL BE FURNISHED AND INSTALLED BY THE MECHANICAL CONTRACTOR.
- ALL DUCTWORK AND EQUIPMENT SUSPENDED FROM STRUCTURE SHALL BE COORDINATED WITH GENERAL CONTRACTOR. ALL ATTACHMENTS TO JOISTS, TRUSSES, OR BEAMS SHALL BE AT PANEL POINTS. PROVIDE BEAM CLAMPS MEETING MSS STANDARDS. USE OF C-CLAMPS SHALL NOT BE PERMITTED.
- THE MECHANICAL CONTRACTOR SHALL COORDINATE THE LOCATIONS AND SIZES OF ALL FLOORS, WALL, AND ROOF OPENINGS WITH THE GENERAL CONTRACTOR. SEE STRUCTURAL FRAMING PLANS.
- ALL HVAC MOTORS INSTALLED FOR THIS PROJECT SHALL BE OF THE "PREMIUM EFFICIENCY" TYPE.

NO.	DATE	REVISIONS


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DESIGNED: TJT	NEW GENERATOR - CATHOLIC CHARITIES OF THE DIOCESE OF PITTSBURGH 212 NINTH STREET PITTSBURGH, PENNSYLVANIA 15222
DRAWN: TJT	
CHECKED: AEM	DRAWING NUMBER: <b>M001</b>
DATE: 05-11-12	
SCALE: AS SHOWN	JOB NUMBER: 1141058

**HVAC SPECIFICATIONS**

**GENERAL INFORMATION**

**A. GENERAL**

- CONFORM TO ALL GENERAL AND SPECIAL CONDITIONS OF CONTRACT AS SPECIFIED BY ARCHITECT AND/OR OWNER.
- SPECIFICATIONS ARE APPLICABLE TO ALL CONTRACTORS AND/OR SUBCONTRACTORS FOR MECHANICAL AND ELECTRICAL SYSTEMS.
- CHECK OTHER PLANS AND SPECIFICATIONS AND FULLY COORDINATE WITH OTHER TRADES, OWNER AND ARCHITECT REQUIREMENTS.
- VISIT SITE, CHECK FACILITIES AND CONDITIONS MAKE ALL NECESSARY OBSERVATIONS, MEASUREMENTS, NOTE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED, AND TAKE ALL ITEMS INTO CONSIDERATION IN BID.
- SYSTEMS ARE TO BE COMPLETE AND WORKABLE IN ALL RESPECTS, PLACED IN OPERATION AND PROPERLY ADJUSTED.
- EACH CONTRACTOR SHALL PROVIDE FOR HIS OWN CLEAN-UP, REMOVAL AND LEGAL DISPOSAL OF ALL RUBBISH DAILY. CONTRACTOR SHALL PROTECT THEIR WORK AND EXISTING OR ADJACENT PROPERTY AGAINST WEATHER, TO MAINTAIN THEIR WORK, MATERIALS, APPARATUS AND FIXTURES FREE FROM INJURY OR DAMAGE. ANY WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION REQUIRED, SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTORS EXPENSE.
- CONTRACTORS MUST CONFIRM ALL UTILITY COMPANY REQUIREMENTS AND CONNECTION POINTS IN FIELD, PRIOR TO STARTING WORK.
- ARRANGE FOR AND OBTAIN OWNERS AND INSURANCE REPRESENTATIVES PERMISSION FOR ANY SERVICE SHUTDOWNS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES OF CONSTRUCTION AND THE SAFETY OF WORKMEN.
- NO PIPING, DUCTWORK, CONTROLS, ETC., SHALL BE INSTALLED OR ROUTED ABOVE ELECTRICAL PANELS AND EQUIPMENT OR THROUGH ELEVATOR ROOMS.
- THE CONTRACTOR SHALL COORDINATE AND OBTAIN A WRITTEN LISTING OF ELECTRICAL CHARACTERISTICS OF ALL MECHANICAL EQUIPMENT FROM ELECTRICAL CONTRACTOR PRIOR TO ORDERING OF EQUIPMENT. NO ADDITIONAL PAYMENT WILL BE MADE FOR LACK OF CONTRACTOR COORDINATION OF ELECTRICAL CHARACTERISTICS.
- DURING THE BUILDING CONSTRUCTION SOME EXISTING INSTALLATION MAY BE EXPOSED THAT WILL HAVE TO BE CHANGED, ALTERED, REROUTED AND/OR ABANDONED. ANY SUCH WORK WHICH COMES UNDER THE JURISDICTION OF THIS CONTRACTOR SHALL BE DONE BY THIS CONTRACTOR WITHOUT EXTRA COST TO THE OWNER, AS THOUGH FULLY DETAILED ON PLANS AND/OR DESCRIBED IN THE SPECIFICATIONS.
- WORK RELATED TO THE EXISTING BUILDING SHALL BE COORDINATED TO MINIMIZE INTERFERENCE OR INTERRUPTION OF NORMAL BUILDING USE BY OWNER. REFER TO ARCHITECTURAL PLANS FOR PHASING REQUIREMENTS.

**B. CODES, PERMITS, STANDARDS AND REGULATIONS**

- CONFORM TO ALL APPLICABLE CODES (LOCAL, STATE, NATIONAL CODES, NFPA, OSHA, ETC.), GOVERNMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND APPLICABLE STANDARDS.
- OBTAIN PERMITS AND PAY ALL FEES. ARRANGE FOR ALL REQUIRED INSPECTIONS AND APPROVALS.

**C. RELATED WORK SPECIFIED ELSEWHERE**

- OPENINGS AND CHASES, WHEN SHOWN ON ARCHITECTURAL DRAWINGS.
- TEMPORARY WATER SERVICE, SANITARY FACILITIES, FIRE PROTECTION AND HEATING DURING CONSTRUCTION.
- POURED-IN-PLACE CONCRETE.
- FINISHED PAINTING.
- ELECTRIC POWER WIRING.
- FIRESTOPPING

**D. DRAWINGS**

- THE SYSTEMS AS SHOWN ON THE DRAWINGS ARE DIAGRAMMATIC. CONFIRM ALL DIMENSIONS BY FIELD MEASUREMENT.
- THE EXACT LOCATIONS FOR APPARATUS, FIXTURES, EQUIPMENT AND PIPING WHICH IS NOT COVERED BY DRAWINGS, SHALL BE OBTAINED FROM THE ARCHITECT OR HIS REPRESENTATIVE IN THE FIELD, AND THE WORK SHALL BE LAID OUT ACCORDINGLY.
- DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SUPPLEMENT ONE ANOTHER. ANY MATERIALS OR LABOR CALLED FOR IN ONE BUT NOT THE OTHER SHALL BE FURNISHED AS IF BOTH WERE MENTIONED IN THE SPECIFICATIONS AND SHOWN ON THE DRAWINGS.

**E. DEMOLITION AND REMOVAL**

- REFER TO ARCHITECTURAL DEMOLITION DRAWINGS FOR DETAILED MECHANICAL DEMOLITION INFORMATION.
- DISCONNECT, DISASSEMBLE, CAP, PLUG AND REMOVE ALL PIPING, DUCTS AND EQUIPMENT INDICATED ON THE DRAWINGS OR REQUIRED FOR THE PROJECT UNLESS OTHERWISE NOTED.
- ANY EQUIPMENT DESIGNATED BY OWNER TO BE SALVAGED SHALL BE PROTECTED AND DELIVERED TO THE OWNER ON SITE.
- DEMOLITION TO BE DONE IN A MANNER SO AS NOT TO DAMAGE ADJACENT WORK AND NOT AFFECT THE OPERATION OF SYSTEMS TO REMAIN IN USE. ANY ITEM TO REMAIN THAT IS DAMAGED BY THE CONTRACTOR OR THAT REQUIRES DAMAGE DUE TO THE ABSOLUTE NECESSITY FOR DEMOLITION REQUIREMENTS SHALL BE REPLACED AND/OR REPAIRED AT HIS EXPENSE.

- ALL OPENINGS ON PIPING AND DUCTS THAT REMAIN SHALL BE CAPPED AND PROPERLY SECURED.
- ALL ABANDONED ELECTRICAL DEVICES, WIRING, CONDUIT, ETC., SHALL BE REMOVED. WIRING SHALL BE DISCONNECTED AT CIRCUIT BREAKERS AND REMOVED AND BREAKERS MARKED "SPARE."
- MECHANICAL CONTRACTOR SHALL REMOVE AND RECLAIM ANY REFRIGERANT IN EXISTING SYSTEMS PRIOR TO DEMOLITION OF ANY EQUIPMENT ACCORDING TO FEDERAL REQUIREMENTS.
- ALL ASBESTOS REMOVAL WILL BE HANDLED BY THE OWNER AND IS NOT A PART OF THIS WORK.
- EXAMINE AREAS AND CONDITIONS UNDER WHICH DEMOLITION WORK MUST BE PERFORMED. THIS CONTRACTOR WILL NEED TO COORDINATE HIS WORK WITH OTHER TRADES PERFORMING DEMOLITION WORK AND/OR DEMOLITION WORK PERFORMED BY THE OWNER.
- REMOVE ALL SUPPORTS AND HANGERS FROM EQUIPMENT AND MATERIAL INDICATED TO BE REMOVED.

**F. BASE EQUIPMENT, MATERIALS AND SUBSTITUTIONS**

- ALL EQUIPMENT AND MATERIALS SHALL BE NEW, FREE OF DEFECTS AND U.L. LABELED.
- BASE BID MANUFACTURERS ARE LISTED IN SCHEDULE ON DRAWING. ANY OTHER MANUFACTURER IS CONSIDERED A SUBSTITUTION.
- THE NAME OR MAKE OF ANY ARTICLE, DEVICE, MATERIAL, FORM OF CONSTRUCTION, FIXTURE, ETC., STATED IN THIS SPECIFICATION, WHETHER OR NOT THE WORDS "OR APPROVED EQUAL" ARE USED, SHALL BE KNOWN AS A "STANDARD".
- ALL PROPOSALS SHALL BE BASED ON "STANDARDS" SPECIFIED.
- THE EQUIPMENT SCHEDULES ON DRAWINGS INDICATE MANUFACTURERS EQUIPMENT MODEL NUMBERS THAT DESIGN HAS BEEN BASED ON. THE USE OF OTHER MANUFACTURERS EQUIPMENT THAT IS LISTED AS ACCEPTABLE ALTERNATES THAT ENTAILS STRUCTURAL CHANGES, CHANGES IN ROOF OPENINGS, CHANGE OF PIPE SIZES & BUILDING CONFIGURATION, ARCHITECT CHANGES, ETC., IS THIS CONTRACTORS RESPONSIBILITY. ANY ADDITIONAL COST OF SUCH CHANGES SHALL BE PAID BY THE CONTRACTOR SUBMITTING THE ACCEPTABLE ALTERNATES WHICH NECESSITATES CHANGES IN INSTALLING SUCH SUBMITTED ALTERNATE EQUIPMENT, EVEN THOUGH SUCH COSTS MAY BE PART OF ANOTHER DIVISION OF WORK.
- SUBSTITUTIONS ARE SUBJECT TO THE APPROVAL OF THE OWNER. IF SUBSTITUTION IS SUBMITTED, IT IS THE CONTRACTORS RESPONSIBILITY TO EVALUATE IT AND CERTIFY THAT THE SUBSTITUTION IS EQUIVALENT IN ALL RESPECTS TO THE BASE SPECIFICATIONS.
- IF SUBSTITUTIONS ARE APPROVED, NOTIFY ALL OTHER CONTRACTORS, SUBCONTRACTORS OR TRADES AFFECTED BY SUBSTITUTION AND FULLY COORDINATE. ANY COSTS RESULTING FROM SUBSTITUTION, WHETHER BY CONTRACTOR OR OTHERS, SHALL BE RESPONSIBILITY OF AND PAID FOR BY SUBSTITUTING CONTRACTOR. APPROVED SHOP DRAWINGS DOES NOT ABSOLVE THIS CONTRACTOR FROM THIS RESPONSIBILITY.
- ALL EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE MANUFACTURERS DATA AND INSTALLATION INSTRUCTIONS. IT IS THIS CONTRACTORS RESPONSIBILITY TO CHECK AND CONFORM TO THESE REQUIREMENTS PRIOR TO STARTING WORK.

**G. CHECK, TEST, START, ADJUST, BALANCE AND INSTRUCTIONS**

- AFTER INSTALLATION, CHECK ALL EQUIPMENT, AND PERFORM START UP IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS.
- ALL PIPING SHALL BE TESTED AND FREE OF LEAKS.
- CONCEALED OR INSULATED WORK SHALL REMAIN UNCOVERED UNTIL REQUIRED TESTS HAVE BEEN COMPLETED, BUT IF CONSTRUCTION SCHEDULE REQUIRES IT, ARRANGE FOR PRIOR TESTS ON PARTS OF SYSTEM AS APPROVED BY THE TENANT.
- BALANCE ALL SYSTEMS, CALIBRATE CONTROLS, CHECK FOR PROPER OPERATION AND SEQUENCE UNDER ALL CONDITIONS AND MAKE ALL NECESSARY ADJUSTMENTS.
- INSTRUCT OWNER IN OPERATION OF SYSTEMS AND SUBMIT OPERATING AND MAINTENANCE MANUAL ON ALL EQUIPMENT AND SYSTEMS.
- SUBMIT AIR AND WATER BALANCE REPORT FROM INDEPENDENT AABC OR NEBB CERTIFIED SUBCONTRACTOR FOR ALL AIR SYSTEMS AND EQUIPMENT PER AABC OR NEBB STANDARDS.

**H. CUTTING, PATCHING AND DRILLING**

- ALL CUTTING AND PATCHING OF THE BUILDING CONSTRUCTION REQUIRED FOR THIS WORK SHALL BE BY THIS CONTRACTOR UNLESS SHOWN ON ARCHITECTURAL DRAWINGS AND CONFIRMED AS TO SIZE AND LOCATION PRIOR TO NEW CONSTRUCTION. CUTTING SHALL BE IN A NEAT AND WORKMANLIKE MANNER.
- NEATLY SAW CUT ALL RECTANGULAR OPENINGS, SET SLEEVE THROUGH OPENING, AND FINISH PATCH OR PROVIDE TRIM FLANGE AROUND OPENING.
- NEATLY SAW CUT FLOORS FOR SEWER INSTALLATION AND PATCH FLOOR TO MATCH EXISTING, INCLUDING FLOOR COVERING.
- CORE DRILL AND SLEEVE ALL ROUND OPENINGS.
- DO NOT CUT ANY STRUCTURAL COMPONENTS WITHOUT ARCHITECTS APPROVAL.
- PATCH AND FINISH TO MATCH ADJACENT AREAS THAT HAVE BEEN CUT, DAMAGED OR MODIFIED AS A RESULT OF THE INSTALLATION OF THE MECHANICAL OR ELECTRICAL EQUIPMENT. FIRE STOP ALL PENETRATIONS OF FIRE RATED CONSTRUCTION IN A CODE APPROVED MANNER.
- ALL CONTRACTORS SHALL CONFIRM WITH OWNER, PRIOR TO BID, TIMES AVAILABLE FOR NOISE PRODUCING WORK SUCH AS CUTTING AND CORE DRILLING OF FLOORS, WALLS, ETC., AS WELL AS TIMES FOR WORK WHICH REQUIRE ACCESS INTO ADJOINING TENANT SPACES. INCLUDE ANY PREMIUM TIME IN BID.

- EXACT LOCATION OF ROOF TOP AIR CONDITIONING UNITS SHALL BE APPROVED BY OWNER'S STRUCTURAL ENGINEER.
- INFORMATION REGARDING REQUIRED PIPE OPENINGS IN WALLS, FLOORS, CHASES, ETC., AND CONCRETE EQUIPMENT PADS OR FOUNDATIONS SHALL BE GIVEN TO THE GENERAL CONTRACTOR BY THIS CONTRACTOR PRIOR TO THE CONSTRUCTION PERIOD. IF THIS CONTRACTOR FAILS TO COMPLY WITH THIS REQUEST, OR IF INCORRECT INFORMATION IS GIVEN, THE NECESSARY CUTTING AND PATCHING WILL BE PERFORMED BY THE GENERAL CONTRACTOR, AT THIS CONTRACTORS EXPENSE.

**I. WARRANTY**

- FULLY WARRANT ALL MATERIALS, EQUIPMENT AND WORKMANSHIP FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- EXTEND ALL MANUFACTURERS WARRANTIES TO OWNER, INCLUDING ALL EXTENDED WARRANTIES ON HVAC EQUIPMENT.
- REPAIR OR REPLACE WITHOUT CHARGE TO THE OWNER ALL ITEMS FOUND DEFECTIVE DURING THE WARRANTY PERIOD. IN THE CASE OF REPLACEMENT OR REPAIR DUE TO FAILURE WITHIN THE WARRANTY PERIOD, THE WARRANTY ON THAT PORTION OF THE WORK SHALL BE EXTENDED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF SUCH REPLACEMENT OR REPAIR.

**J. SHOP DRAWING SUBMITTALS**

- SUBMIT SHOP DRAWINGS FOR MECHANICAL EQUIPMENT, FIRE PROTECTION SYSTEMS, DUCTWORK, AND PLUMBING FIXTURES AND EQUIPMENT WITH ADEQUATE DETAILS AND SCALES TO CLEARLY SHOW CONSTRUCTION. INDICATE THE OPERATING CHARACTERISTICS FOR EACH REQUIRED ITEM. CLEARLY IDENTIFY EACH ITEM ON THE SUBMITTAL AS TO MARK, LOCATION AND USE, USING SAME IDENTIFICATION AS PROVIDED ON DESIGN DRAWINGS.
- DUCTWORK AND FIRE PROTECTION DRAWINGS SHALL BE FULLY DIMENSIONED BASED ON FIELD VERIFIED BUILDING CLEARANCES AND ARCHITECTURAL CEILING LAYOUTS, AND INDICATE STRUCTURAL, LIGHTING, DUCTWORK AND PIPING AT ALL CRITICAL LOCATIONS.
- CONTRACTOR SHALL REVIEW AND INDICATE HIS APPROVAL OF EACH SHOP DRAWING PRIOR TO SUBMITTAL FOR REVIEW. DO NOT START WORK OR FABRICATION UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED BY THE ENGINEER AND RETURNED TO THE CONTRACTOR.
- SUBMITTALS WILL BE REVIEWED ONLY FOR GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS AND NOT FOR DIMENSIONS OR QUANTITIES. THE SUBMITTAL REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PURCHASE OF ANY ITEM IN FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS OR ITS COMPLETE AND PROPER INSTALLATION.
- WHERE SUBMITTALS VARY FROM THE CONTRACT REQUIREMENTS, THE CONTRACTOR SHALL CLEARLY INDICATE ON SUBMITTAL OR ACCOMPANYING DOCUMENTS THE NATURE AND REASON FOR VARIATIONS.
- REFER TO VARIOUS SECTIONS FOR LISTING OF SHOP DRAWINGS REQUIRED ON THIS PROJECT.
- EACH MANUFACTURER OR HIS REPRESENTATIVE MUST CHECK THE APPLICATION OF HIS EQUIPMENT AND CERTIFY AT TIME OF SHOP DRAWING SUBMITTAL THAT EQUIPMENT HAS BEEN PROPERLY APPLIED AND CAN BE INSTALLED, SERVICED AND MAINTAINED WHERE INDICATED ON DRAWINGS. ADVISE ENGINEER IN WRITING WITH SUBMITTAL DRAWINGS OF ANY POTENTIAL PROBLEMS. THE MANUFACTURER SHALL BE RESPONSIBLE FOR ANY CHANGES THAT MIGHT BE NECESSARY BECAUSE OF PHYSICAL CHARACTERISTICS OF EQUIPMENT THAT HAVE NOT BEEN CALLED TO THE ENGINEER'S ATTENTION AT THE TIME OF SUBMITTAL.

**K. RECORD DRAWINGS**

- EACH CONTRACTOR OR SUBCONTRACTOR SHALL KEEP ONE (1) COMPLETE SET OF THE CONTRACT WORKING DRAWINGS ON THE JOB SITE ON WHICH HE SHALL REGULARLY RECORD ANY DEVIATIONS OR CHANGES FROM SUCH CONTRACT DRAWINGS MADE DURING CONSTRUCTION.
- THESE DRAWINGS SHALL RECORD THE LOCATION OF ALL CONCEALED EQUIPMENT, PIPING, ELECTRIC SERVICE, SEWERS, WASTES, VENTS, DUCTS, CONDUIT AND OTHER PIPING, BY MEASURED DIMENSIONS TO EACH SUCH ITEM FROM READILY IDENTIFIABLE AND ACCESSIBLE WALLS OR CORNERS OF THE BUILDING. PLANS ALSO SHALL SHOW INVERT ELEVATION OF SEWERS AND TOP ELEVATION OF ALL OTHER BELOW-GRADE LINES.
- RECORD DRAWINGS SHALL BE KEPT CLEAN AND UNDAMAGED AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN RECORDING DEVIATIONS FROM WORKING DRAWINGS AND EXACT LOCATIONS OF CONCEALED WORK.
- AFTER THE PROJECT IS COMPLETED, THESE SETS OF DRAWINGS SHALL BE DELIVERED TO THE ARCHITECT IN GOOD CONDITION, AS A PERMANENT RECORD OF THE INSTALLATION AS ACTUALLY CONSTRUCTED.

**HEATING, VENTILATING AND AIR CONDITIONING**

**A. SCOPE**

- FURNISH ALL EQUIPMENT, MATERIALS, LABOR, TOOLS, ETC., FOR THE COMPLETE HVAC SYSTEM. INSTALL COMPLETE AND PLACE IN OPERATION.
- HVAC SYSTEM ESSENTIALLY CONSISTS OF BUT NOT LIMITED TO THE FOLLOWING:
  - VENTILATION SUPPLY SYSTEM.
  - EXHAUST SYSTEM.
  - GENERATOR ENGINE EXHAUST SYSTEM.
  - ELECTRIC WALL HEATERS.
  - OTHER ITEMS INDICATED ON DRAWINGS OR REQUIRED FOR COMPLETE INSTALLATION.
- VERIFY EXACT CONDITIONS IN FIELD AND COORDINATE WITH THESE DRAWINGS AND OTHER TRADES BEFORE BEGINNING NEW WORK.
- DETERMINE EXACT LOCATIONS FOR ALL NEW AND RELOCATED EQUIPMENT, PIPING, CONDUITS AND DUCTWORK IN FIELD.
- COORDINATE WORK OF THIS CONTRACT WITH OTHER TRADES. CONFLICTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. ARCHITECTS RESOLUTION TO CONFLICTS SHALL BE FINAL.
- ANY DISCREPANCIES BETWEEN WHAT IS SHOWN ON DRAWINGS OR SPECIFIED AND THE ACTUAL CONDITIONS IN THE

FIELD SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.

BUILDING AND SURFACES DAMAGED DURING INSTALLATION SHALL BE REPAIRED, REPLACED, AND/OR RESTORED TO ORIGINAL CONDITION AFTER COMPLETION OF WORK AND BEFORE ACCEPTANCE BY OWNER.

CONTRACTORS BIDDING THIS PROJECT SHALL VISIT THIS SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THEIR WORK. SUBMISSION OF A BID ON THIS PROJECT SHALL BE CONSTRUED AS HAVING SUCH KNOWLEDGE.

**B. DUCTWORK**

- FABRICATE AND ERECT ALL DUCTWORK TO ASHRAE AND SMACNA STANDARDS FROM NO. 1 GALVANIZED STEEL. COMPLY WITH NFPA BULLETIN 90A REQUIREMENTS.
- DUCTWORK SHALL BE SMACNA LOW PRESSURE CONSTRUCTION 2' STATIC PRESSURE RATING WITH SEAL CLASS B SEAMS AND JOINTS.
- FLEXIBLE DUCTS SHALL BE INDEPENDENTLY SUPPORTED FROM THE STRUCTURE AND CONNECTED WITH PLASTIC DRAW BANDS TIGHTENED WITH MANUFACTURERS TOOL. FLEXIBLE DUCTS SHALL BE LIMITED TO 48" STRAIGHT LENGTHS. FLEXIBLE DUCTS SHALL BE ATCO RUBBER TYPE 070, 1 1/2" INSULATION WITH VINYL VAPOR BARRIER JACKET AND RATED AT 10" W.C. FOR SIZES THROUGH 12". U.L. LISTED, AND MEET 25/50 FLAME AND SMOKE TEST. FLEXIBLE DUCTS ARE NOT PERMITTED IN ROOMS WITHOUT CEILING. EQUIVALENT BY VALUFLEX, FLEX-ARE, FLEXIBLE TECHNOLOGIES, THERMAFLEX OR GENFLEX INCLUDE ALL ACOUSTIC, DOUBLE RADIUS AIRFOIL SHAPED PERFORATED ALUMINUM TURNING VANES, MANUAL DAMPERS, FLEXIBLE CONNECTORS, GRILLES AND DIFFUSERS, ACOUSTIC LINING, AND OTHER SHEET METAL ACCESSORIES FOR THE PROJECT. VOLUME DAMPERS TO BE OF OPPOSED BLADE TYPE CONSTRUCTED IN ACCORDANCE WITH "SMACNA" STANDARDS.

**C. EQUIPMENT**

- HVAC CONTRACTOR TO FURNISH ALL HVAC EQUIPMENT INDICATED AND/OR SCHEDULED ON THE DRAWINGS COMPLETE WITH BASES, ISOLATORS, SUPPORTS AND OTHER REQUIRED ACCESSORIES.
- INSTALL COMPLETE AND PLACE IN PROPER OPERATION PER MANUFACTURERS RECOMMENDATIONS, LUBRICATE AND ADJUST AS REQUIRED. FURNISH AND INSTALL CLEAN SET OF FILTERS PRIOR TO BALANCING.
- EQUIPMENT TO BE MAKE AND MODEL AS SCHEDULED UNLESS OWNER APPROVED, EQUIVALENT QUALITY AND PERFORMANCE EQUIPMENT IS SUBMITTED AS SUBSTITUTION. ALL SUBSTITUTIONS SUBJECT TO ACCEPTANCE WITHOUT QUALIFICATION BY OWNER, LANDLORD AND ARCHITECT.

**G. BALANCING, START UP AND INSTRUCTIONS**

- AFTER INSTALLATION AND EQUIPMENT IS PLACED IN OPERATION, HVAC CONTRACTOR IS RESPONSIBLE FOR BALANCING SYSTEMS TO DESIGN FLOW WITH REPORT SUBMITTED TO OWNER. BALANCING SHALL BE PERFORMED BY AN INDEPENDENT CERTIFIED SUBCONTRACTOR.
- START UP AND PLACE ALL SYSTEMS IN OPERATION AND TAG ALL SWITCHES AND CONTROLS WITH PERMANENT LABELS.
- INSTRUCT OWNER ON PROPER OPERATION AND PREVENTATIVE MAINTENANCE OF SYSTEM.

**H. HANGERS AND SUPPORTS**

- HANGERS FOR BLACK OR GALVANIZED STEEL PIPE SHALL BE MANUFACTURED BY MICHIGAN HANGER CO., MODEL NO. 100, OR APPROVED EQUAL.
- HANGERS FOR CAST IRON PIPE SHALL BE MANUFACTURED BY MICHIGAN HANGER CO., MODEL NO. 400, OR APPROVED EQUAL.
- HANGERS FOR COPPER TUBING SHALL BE MANUFACTURED BY MICHIGAN HANGER CO., MODEL NO. 102-A, OR APPROVED EQUAL.
- TRAPEZE HANGERS OF A TYPE APPROVED BY THE ENGINEER MAY BE USED WHERE PIPES ARE DESIGNED TO RUN PARALLEL AND AT THE SAME ELEVATION.
- CONTRACTOR SHALL PROVIDE INSULATION HANGER WITH PROTECTIVE SHIELDS, SUCH AS MICHIGAN HANGER CO., MODEL NO. 103, OR APPROVED EQUAL FOR ALL INSULATED PIPING. 5 INCH LONG SERCAL CONNECTION OF 1/2 INCH THICK CALCIUM SILICATE SECTIONAL PIPE INSULATION WITH FACTORY LONGITUDINAL LAP SHALL BE PROVIDED AT ALL HANGER POINTS. BUTT JOINTS SHALL BE SEALED WITH INSULATING CEMENT.
- STRAP HANGERS SHALL NOT BE PERMITTED.
- CONTRACTOR SHALL PROVIDE RISER CLAMPS FOR VERTICAL PIPING AT EACH LEVEL. RISER CLAPS SHALL BE MICHIGAN HANGER CO., MODEL NO. 510 FOR STEEL PIPING AND MODEL NO. 511 FOR COPPER TUBING OR APPROVED EQUAL USE "SHORT-END" RISER CLAMPS WHERE SPACE IS LIMITED.
- IN CONCRETE, MICHIGAN HANGER CO., MODEL NO. 355 INSERTS, OR APPROVED EQUAL. INSERTS SHALL PERMIT ADJUSTMENT FROM 3/4 INCH THROUGH 1-1/4 INCH. IN METAL DECKS, CONTRACTOR SHALL PROVIDE REDHEAD SDI INSERTS, OR APPROVED EQUAL. POWDER PROPELLED INSERTS WILL BE PERMITTED IN NEW CONSTRUCTION WHERE TYPE AND LOCATION ARE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE SIDE BEAM CLAMPS FOR SUPPORTING PIPING FROM STRUCTURAL STEEL MEMBERS. BEAM CLAMPS SHALL BE MANUFACTURED BY MICHIGAN HANGER CO., MODEL 300 OR APPROVED EQUAL.
- WHERE OTHER MEANS OF SUPPORT PIPING ARE REQUIRED OR DESIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE ENGINEERS APPROVAL PRIOR TO INSTALLING THOSE SUPPORTS.
- HANGER SHALL BE PROVIDED AT EACH CHANGE OF DIRECTION.
- HANGERS AND SUPPORTS SHALL BE SPACED AT INTERVALS WHICH WILL PREVENT SAGGING AND REDUCE STRAIN ON VALVES AND SPECIALTIES. HANGER SPACING SHALL BE NO GREATER AND ROD SIZE SHALL BE NO SMALLER THAN THAT SHOWN IN THE FOLLOWING TABLE. HANGERS SHALL ALLOW FOR EXPANSION AND CONTRACTION.

		<b>Allen &amp; Shariff</b> ENGINEERING 700 River Avenue, Suite 333 Pittsburgh, PA 15212 Tel: 412.322.9280 Fax: 412.322.9281 www.AllenShariff.com		DESIGNED: TJT DRAWN: TJT CHECKED: AEM DATE: 05-11-12 SCALE: AS SHOWN	<b>NEW GENERATOR - CATHOLIC CHARITIES OF THE DIOCESE OF PITTSBURGH</b> PITTSBURGH, PENNSYLVANIA 15222	DRAWING NUMBER: <b>M002</b>
NO.	DATE	REVISIONS				

FERROUS PIPING AND COPPER TUBING:

DIAMETER OF PIPE	MAXIMUM SPACING	ROD SIZE
1/2" THRU 1-1/2"	6 FT	3/8"
2" THRU 3"	10 FT	1/2"
4" THRU 5"	12 FT	5/8"
6" AND LARGER	16 FT	3/4"

CAST IRON PIPING:

DIAMETER OF PIPE	MAXIMUM SPACING	ROD SIZE
1 1/2" THRU 3"	EACH JOINT	3/8"
4" AND 5"	EACH JOINT	1/2"
6" AND 8"	EACH JOINT	3/4"
10" THRU 15"	EACH JOINT (TWO HANGERS)	3/4"

- RISER CLAMPS SHALL BE INSTALLED ABOVE THE FLOOR AT EACH LEVEL. RISER CLAMPS MAY BE SUSPENDED BELOW FLOOR LEVEL, WITH HANGER RODS AND INSERTS, WHERE THE INSTALLATION OF ESCUTCHEON PLATES IS REQUIRED.

J. PIPE WALL SEALS

- WALL PIPE SEALS WITH RUBBER LINKS SHALL BE THUNDERLINE LINK SEAL, OR APPROVED EQUAL. WALL PIPE SEALS WITH INORGANIC MATERIAL LINKS THE PENETRATIONS OF FIRE RATED WALLS SHALL BE THUNDERLINE PYRO-PAC, OR APPROVED EQUAL.
- SEALS SHALL BE MODULAR MECHANICAL TYPE CONSISTING OF INTERLOCKING SYNTHETIC RUBBER OR INORGANIC MATERIAL LINKS SHAPED TO CONTINUOUSLY FILL THE ANNULAR SPACE BETWEEN THE PIPE AND WALL OPENING.
- LINKS SHALL BE LOOSELY ASSEMBLED WITH BOLTS TO FORM A CONTINUOUS BELT AROUND THE PIPE. A PRESSURE PLATE SHALL BE PROVIDED UNDER THE BOLT HEAD AND NUT OF EACH LINK.
- AFTER THE SEAL ASSEMBLY IS POSITIONED IN THE SLEEVE, THE TIGHTENING OF THE BOLTS SHALL CAUSE THE SEALING ELEMENTS TO EXPAND AND PROVIDE AN ABSOLUTELY WATER-TIGHT SEAL BETWEEN THE PIPE AND SLEEVE.
- SEALS SHALL BE CONSTRUCTED TO PROVIDE ELECTRICAL INSULATION BETWEEN THE PIPE AND SLEEVE, THUS REDUCING CHANCES OF CATHODIC REACTION BETWEEN THESE TWO MEMBERS.
- SLEEVES SHALL BE MANUFACTURED FROM HEAVY-WALL, WELDED OR SEAMLESS STEEL PIPE. A FULL CIRCLE CONTINUOUSLY WELDED WATER STOP PLATE SHALL BE PROVIDED TO ASSURE POSITIVE WATER SEALING OF THE SLEEVE. SLEEVE SHALL BE PROTECTED BY A COATING OF ENRICHED RED PRIMER.

K. VALVES

- ALL PLUMBING VALVES SHALL BE APOLLO MODEL 70-240 FULL PORT, STAINLESS STEEL BALL AND STEM, BRASS BODY AND PACKING NUT.
- PROVIDE 2 INCH EXTENSION NECKS ON ALL VALVES INSTALLED IN INSULATED LINES.
- LEVER TYPE HANDLE OPERATORS SHALL BE PROVIDED ON VALVES UP TO 4 INCHES IN SIZE. GEAR OPERATORS SHALL BE PROVIDED ON VALVES OVER 4 INCHES IN SIZE, AND ON VALVES REQUIRING CHAIN OPERATION. VALVES USED FOR BALANCING SHALL HAVE INFINITE POSITION LEVER OR GEAR OPERATORS WITH ADJUSTABLE, OPEN POSITION "MEMORY" STOP.
- CHECK VALVES (3 INCH AND SMALLER) SHALL BE 125# WITH REMOVABLE, REGRINDABLE DISCS AND THREADED OR SOLDER JOINT ENDS. CHECK VALVES TO BEGS.
- INSTALLED IN HORIZONTAL LINES SHALL BE HAMMOND, MODEL IB940, OR APPROVED EQUAL, (SCREWED JOINTS) OR HAMMOND, MODEL IB941, OR APPROVED EQUAL (SOLDER JOINTS). CHECK VALVES TO BE INSTALLED IN VERTICAL PIPING SHALL BE HAMMOND, MODEL, IB939, OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE SWEAT-TO-THREAD ADAPTERS FOR SOLDER JOINT CONNECTIONS.

L. PIPE IDENTIFICATION

- CONTRACTOR SHALL PROVIDE IDENTIFICATION LABELS, TAGS, ETC., FOR PLUMBING AND FIRE PROTECTION PIPING AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- THE IDENTIFICATION OF PLUMBING PIPING SHALL BE IN ACCORDANCE WITH ANSI STANDARD A13.1, EXCEPT AS HEREINAFTER SPECIFIED.
- PRESSURE SENSITIVE PIPE MARKERS SHALL BE MANUFACTURED BY THE BRADY CO., OR APPROVED EQUAL. PIPE MARKERS SHALL BE MANUFACTURER'S STANDARD PRODUCT.

M. ACCESS DOORS

- ACCESS DOORS SHALL BE PROVIDED IN WALLS AND CEILINGS WHERE REQUIRED TO PERMIT PROPER ACCESS TO VALVES AND ANY OTHER SUCH DEVICES WHICH REQUIRE MAINTENANCE OR SERVICE. DOORS PLACED IN WALLS, PARTITIONS OR OTHER FIRE-RATED CONSTRUCTION SHALL HAVE A LABEL SIGNIFYING THAT THE DOOR HAS THE SAME FIRE RATING AS THE FIRE-RATED CONSTRUCTION.
- THIS CONTRACTOR SHALL FURNISH ACCESS PANELS TO THE GENERAL CONTRACTOR FOR INSTALLATION.
- ACCESS PANELS SHALL BE CONSTRUCTED OF 14 GAUGE STEEL, WITH 16 GAUGE STEEL FRAMES. DOORS SHALL FINISH FLUSH WITH THE SURROUNDING SURFACE. FRAMES SHALL HAVE 3 INCH WIDE EXPANDED METAL FOR PLASTERED SURFACES AND PLAIN FLANGED TYPE FRAME FOR TILE, MASONRY OR GYPSUM BOARD SURFACES. DOORS AND FRAMES SHALL BE FURNISHED PRIME COATED. DOORS INSTALLED IN CERAMIC TILE OR OTHER

NON-PAINTED SURFACES SHALL BE STAINLESS STEEL.

- HINGES SHALL BE CONCEALED SPRING TYPE, TO ALLOW DOORS TO BE OPENED 175 DEGREES. LOCKS SHALL BE FLUSH SCREWDRIVER TYPE WITH STEEL CAMS.
- ACCESS PANELS SHALL BE 16 INCHES BY 16 INCHES OR LARGER AS MAY BE REQUIRED FOR PROPER ACCESS TO THE DEVICE BEING SERVED.
- ACCESS PANELS ARE NOT REQUIRED IN COMPLETELY ACCESSIBLE LIFT OUT TILE CEILINGS. CONTRACTOR SHALL REVIEW THE ROOM FINISH SCHEDULE ON THE ARCHITECTURAL DRAWINGS IN ORDER TO VERIFY THE NEED FOR ACCESS PANELS.

N. MOTOR STARTERS

- UNLESS OTHERWISE INDICATED, EVERY MOTOR NOT SPECIFIED TO BE PROVIDED WITH A CONTROLLER AT THE FACTORY SHALL BE PROVIDED WITH A CONTROLLER AS SPECIFIED HEREIN. CONTROLLERS SHALL BE FURNISHED BY THIS CONTRACTOR. INSTALLATION OF ALL CONTROLLERS SHALL BE BY THE ELECTRICAL CONTRACTOR.
- MOTOR CONTROLLERS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF NEMA STANDARD IC-1, INDUSTRIAL CONTROL AND BE HEAVY DUTY CONSTRUCTION. CONTROLLER SIZES SHALL BE VERIFIED TO BE COMPATIBLE WITH HORSEPOWER OF THE MOTOR. CONTROLLERS SHALL BE MANUFACTURED BY ALLEN-BRADLEY CO., GENERAL ELECTRIC, CUTLER-HAMMER OR APPROVED EQUAL.
- MANUAL MOTOR STARTERS

- SWITCHES SHALL BE TUMBLER-SWITCH STYLE. THE MANUAL MOTOR STARTERS SHALL PROVIDE OVERLOAD PROTECTION WHICH CLOSELY FOLLOWS THE MOTOR LOAD. MANUAL MOTOR STARTERS FOR OUTDOOR USE SHALL BE NEMA TYPE 4X, INDOOR USE SHALL BE NEMA TYPE 1, EXPLOSION PROOF USE SHALL BE NEMA TYPE 7.

4. MAGNETIC MOTOR CONTROLLERS

- MAGNETIC MOTOR CONTROLLERS SHALL BE PROVIDED AS INDICATED. THEY SHALL NOT BE SMALLER THAN NEMA SIZE 1.
- NON-REVERSING MAGNETIC CONTROLLER SHALL BE UTILIZED TO START FULL VOLTAGE, NON-REVERSING, AC SINGLE SPEED MOTORS. THE CONTROLLERS SHALL BE SIZED FOR THE LOAD UNLESS OTHERWISE INDICATED.
- REVERSING MAGNETIC CONTROLLER SHALL BE UTILIZED TO START FULL VOLTAGE REVERSING, AC SINGLE SPEED MOTORS. THE CONTROLLER SHALL BE SIZED FOR THE LOAD UNLESS OTHERWISE INDICATED. LOCATION OF REVERSING MAGNETIC CONTROLLERS IS INDICATED ON THE DRAWINGS.
- WHERE MULTI-SPEED MOTORS ARE SCHEDULED ON THE DRAWINGS, THE MOTOR CONTROLS SHALL BE COMPATIBLE WITH THE TYPE MOTOR SHOWN.
- BI-METALLIC OVERLOAD RELAYS ARE PREFERRED. OVERLOAD RELAYS SHALL BE SUPPLIED IN EACH LEG. OVERLOAD RELAYS SHALL BE MATCHED TO LOAD AND SHALL BE ADJUSTABLE FROM 90% TO 110%. A SINGLE RESET BUTTON SHALL BE MOUNTED ON THE STARTER DOOR TO PERMIT EXTERNAL RESET. RELAYS SHALL BE CONVERTIBLE FROM MANUAL TO AUTOMATIC RESET BY A SIMPLE ADJUSTMENT.
- CONTROL TRANSFORMERS SHALL BE PROVIDED, WHERE REQUIRED. BOTH LEGS OF THE PRIMARY AND ONE LEG OF THE SECONDARY OF THE CONTROL TRANSFORMER SHALL BE PROTECTED BY NEMA CLASS J FUSES. THE OTHER LEG OF THE SECONDARY SHALL BE GROUNDED. CONTROL TRANSFORMER CAPACITY SHALL BE ADEQUATE TO OPERATE ALL CONTROL DEVICES IN THE CIRCUIT. CONTROL VOLTAGE SHALL BE 120V AC UNLESS OTHERWISE SPECIFIED.

- UNLESS OTHERWISE INDICATED, ALL MOTOR STARTERS SHALL BE PROVIDED WITH HAND-OFF-AUTOMATIC (H.O.A.) SWITCH IN THE DOOR. ENCLOSURES FOR MAGNETIC STARTERS SHALL BE NEMA TYPE 1 FOR INDOOR USE NEMA TYPE 4X FOR OUTDOOR USE AND NEMA TYPE 7 FOR EXPLOSION PROOF USE.

- MOTOR CONTROLLERS SHALL BE PROVIDED WITH ALL CONTROL DEVICES, INCLUDING AUXILIARY CONTACTS, REQUIRED FOR EQUIPMENT TO OPERATE AS SPECIFIED.

5. COMBINATION MOTOR CONTROLLERS

- COMBINATION MOTOR CONTROLLERS SHALL BE PROVIDED WITH MOLDED CASE MOTOR CIRCUIT PROTECTORS OR MOLDED CASE CIRCUIT BREAKERS AS INDICATED. MOTOR CIRCUIT PROTECTIVE DEVICES SHALL HAVE SHORT CIRCUIT CAPACITY AS REQUIRED. UNIT CONTROL CIRCUIT FUSING SHALL BE PROVIDED. THE MOTOR CIRCUIT PROTECTIVE DEVICE SHALL BE MOUNTED IN THE SAME ENCLOSURE AS THE MAGNETIC CONTROLLER AND SHALL BE OPERABLE BY HAND FROM OUTSIDE THE ENCLOSURE. THE HANDLE SHALL BE SO INTERLOCKED WITH THE DOOR THAT IT MUST BE RETURNED TO THE "OFF" POSITION BEFORE THE DOOR CAN BE OPENED, BUT A COIN-PROOF DEFEAT MECHANISM SHALL BE PROVIDED TO ALLOW AUTHORIZED PERSONNEL TO OPEN THE ENCLOSURE DOOR WITHOUT OPENING THE DISCONNECTING DEVICE. PROVISIONS FOR PADLOCKING THE DISCONNECT HANDLE IN THE "OFF" POSITION SHALL BE MADE. THE ENCLOSURE FOR COMBINATION STARTERS SHALL BE NEMA TYPE 1 FOR INDOOR USE AND NEMA TYPE 4X FOR OUTDOOR USE, AND NEMA TYPE 7 FOR EXPLOSION PROOF USE.

- MOTOR CIRCUIT PROTECTORS SHALL BE THE CONTINUOUSLY ADJUSTABLE, INSTANTANEOUS MAGNETIC TRIP TYPE CIRCUIT BREAKER AND SHALL BE SO CONSTRUCTED THAT ALL POLES OPEN, CLOSE AND TRIP SIMULTANEOUSLY.

6. OVERLOAD AND SHORT CIRCUIT PROTECTION

- HEATER ELEMENTS SHALL BE PROVIDED FOR OVERLOAD PROTECTION. MOTOR CIRCUIT PROTECTOR SHALL BE PROVIDED FOR MOTOR SHORT CIRCUIT PROTECTION.

P. DISCONNECT SWITCHES

- THIS CONTRACTOR SHALL FURNISH ALL SAFETY DISCONNECT SWITCHES (FUSED AND NON-FUSED) REQUIRED FOR EQUIPMENT FURNISHED UNDER THIS CONTRACT. IN ADDITION, THIS CONTRACTOR SHALL FURNISH A SAFETY DISCONNECT SWITCH FOR ALL MOTORS AND EQUIPMENT WHICH DO NOT HAVE COMBINATION STARTERS OR INTEGRAL DISCONNECTING MEANS. FUSIBLE DISCONNECT SWITCHES SHALL BE PROVIDED FOR ALL EQUIPMENT RATED FOR USE ONLY WITH FUSES (SUCH AS CONDENSING UNITS, COMPRESSORS, ETC.). SUCH SWITCHES SHALL BE ONE, TWO OR THREE POLE TYPE, WITH SOLID NEUTRAL FOR 4 WIRE SERVICE, AND SHALL HAVE THE

PROPER CURRENT AND VOLTAGE RATING AS REQUIRED. INSTALLATION OF ALL DISCONNECT SWITCHES SHALL BE BY THE ELECTRICAL CONTRACTOR.

- ALL SAFETY SWITCHES SHALL BE NEMA HEAVY DUTY TYPE AND SHALL CARRY THE UNDERWRITERS' LABORATORIES LABEL. FUSIBLE SWITCHES SHALL INCORPORATE CLASS "R" FUSE REJECTION FEATURE AND SHALL BE BRACED TO WITHSTAND 200,000 AMPERE RMS SYMMETRICAL FAULT CURRENT. SAFETY SWITCHES SHALL CONFORM TO FEDERAL SPECIFICATION W-5-865.

- PROVIDE HEAVY-DUTY TYPE, SHEET ENCLOSED, SAFETY SWITCHES. THE TYPE, SIZE, AND RATING SHALL BE AS INDICATED ON THE DRAWINGS OR AS REQUIRED BY THE MOTOR OR EQUIPMENT SERVED. THE ENCLOSURE FOR DISCONNECT SWITCHES SHALL BE NEMA TYPE 1 FOR INDOOR USE, NEMA TYPE 4X FOR OUTDOOR USE AND NEMA TYPE 7 FOR EXPLOSION PROOF USE. DISCONNECTS SHALL BE MANUFACTURED BY ALLEN-BRADLEY, GENERAL ELECTRIC, CUTLER-HAMMER APPROVED EQUAL.

- SWITCHES SHALL INCORPORATE QUICK-MAKE, QUICK-BREAK OPERATING HANDLES. THE MECHANISM SHALL BE AN INTEGRAL PART OF THE BOX, NOT THE COVER, AND SWITCHES SHALL HAVE A COVER INTERLOCK TO PREVENT UNAUTHORIZED OPENING OF THE SWITCH DOOR IN THE ON POSITION OR CLOSING OF THE SWITCH MECHANISM WITH THE DOOR OPEN. CURRENT CARRYING PARTS SHALL BE CONSTRUCTED OF HIGH-CONDUCTIVITY COPPER WITH SILVER-TUNGSTEN TYPE SWITCH CONTACT.

- FUSE CLIPS SHALL BE POSITIVE PRESSURE TYPE REINFORCED FUSE CLIPS.

- THE ELECTRICAL CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL POWER WIRING TO ALL MECHANICAL CONTRACTOR FURNISHED EQUIPMENT. THE MECHANICAL CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL CONTROL WIRING TO ALL FURNISHED EQUIPMENT, INCLUDING CONTROL DEVICES, STARTERS AND INTEGRAL DISCONNECT SWITCHES OF CONTRACTOR FURNISHED EQUIPMENT.

Q. VIBRATION ISOLATION

- ALL EQUIPMENT SHALL BE MOUNTED ON VIBRATION ISOLATORS TO PREVENT THE TRANSMISSION OF VIBRATION AND MECHANICALLY TRANSMITTED SOUND TO THE BUILDING STRUCTURE.
- ISOLATION EQUIPMENT SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER, AND SHALL BE DESIGNED SPECIFICALLY FOR THE APPLICATION REQUIRED. THIS INCLUDES, BUT IS NOT LIMITED TO, PIPING DUCTWORK, PUMPS, COMPRESSORS. VIBRATION ISOLATORS SHALL BE RATED FOR THE WEIGHT AND SPACING REQUIRED FOR THE EQUIPMENT REQUIRING ISOLATION.

R. FIRESTOPPING

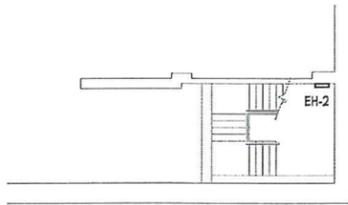
- ALL SERVICES THAT PASS THRU FIRE OR SMOKE RATED PARTITIONS, WALLS, FLOORS, SHALL BE FIRESTOPPED. FIRE STOPPING RATING SHALL MATCH PARTITION RATING. ALL FIRE STOPPING SYSTEM SHALL MEET THE REQUIREMENTS OF ASTM E 814, UL 1479, AND BE FACTORY MUTUAL APPROVED.
- ALL FIRESTOPPING AND/OR SMOKE STOPPING MATERIAL AND INSTALLATION SHALL BE AS MANUFACTURED BY HILTI OR APPROVED EQUAL.

NO.	DATE	REVISIONS

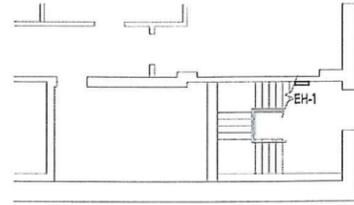

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Tel: 412.322.9280  
Fax: 412.322.9281  
www.AllenShariff.com

DESIGNED:	TJT
DRAWN:	TJT
CHECKED:	AEM
DATE:	05-11-12
SCALE:	AS SHOWN

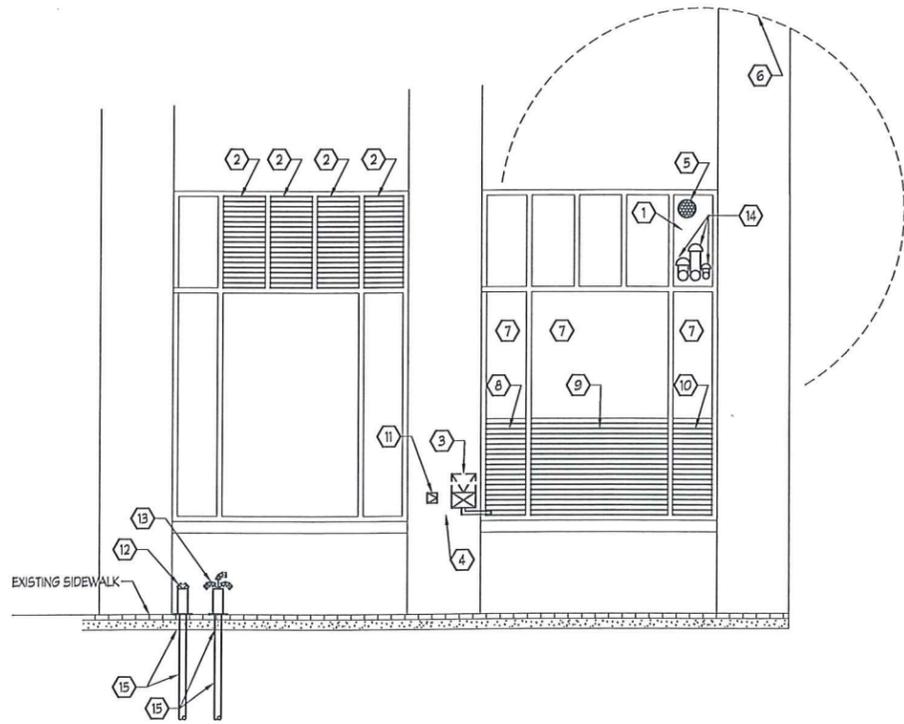
<b>NEW GENERATOR - CATHOLIC CHARITIES OF THE DIOCESE OF PITTSBURGH</b>	
212 NINTH STREET PITTSBURGH, PENNSYLVANIA 15222	
<b>MECHANICAL SPECIFICATIONS</b>	DRAWING NUMBER: <b>M003</b>
JOB NUMBER: 1141058	



3 PARTIAL SEVENTH FLOOR STAIR MECHANICAL PLAN  
M101 1/8" = 1'-0"



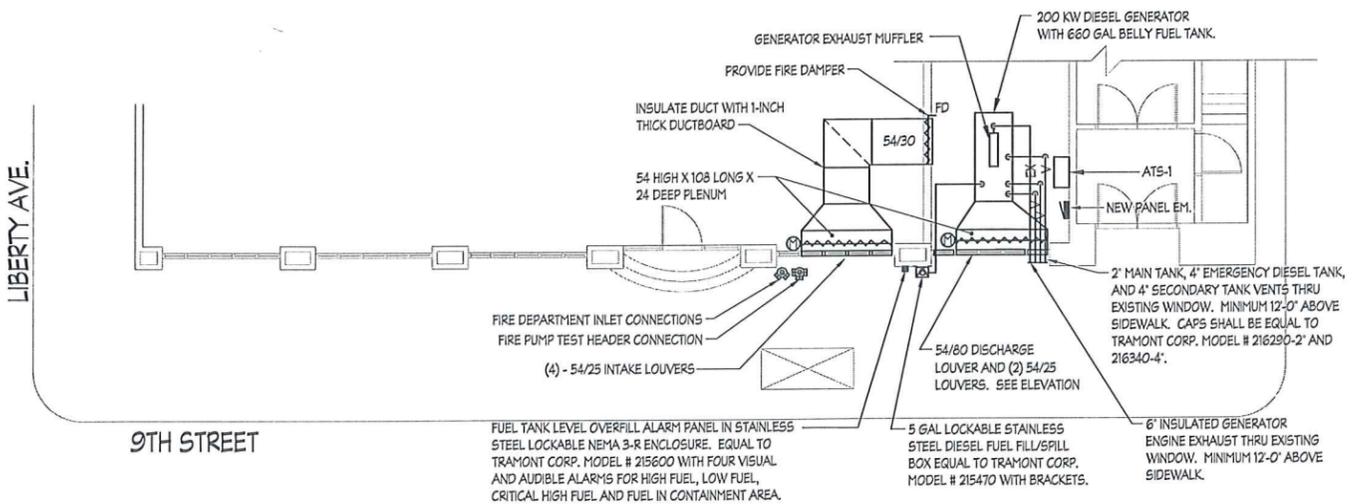
4 PARTIAL FIRST FLOOR STAIR MECHANICAL PLAN  
M101 1/8" = 1'-0"



KEY NOTES: (#)

1. REMOVE EXISTING 25' x 54' WINDOW GLAZING. REPLACE WITH INSULATED ALUMINUM BLANK PANEL IN COLOR TO WINDOW MULLIONS. COORDINATE EXACT SPECIFICATIONS AND COLOR WITH BUILDING OWNER. FIELD VERIFY EXACT SIZES REQUIRED.
2. REMOVE EXISTING 25' x 54' APPROXIMATE SIZE WINDOW AND REPLACE WITH LOUVER OF SAME SIZE. PROVIDE IN COLOR TO MATCH WINDOW MULLIONS.
3. STAINLESS STEEL DIESEL FUEL FILL/SPILL BOX WITH LOCKING COVER - SEE ELECTRICAL SPECIFICATIONS.
4. PROVIDE SCHEDULE 40 BLACK STEEL PIPING FROM FUEL FILL BOX ON 1/4" PER FOOT SLOPE. EXTEND AND CONNECT TO GENERATOR BELLY TANK. PAINT EXTERIOR PIPING TO MATCH BUILDING STONE COLOR.
5. GENERATOR EXHAUST OUTLET - TERMINATE WITH 45 DEGREE UNDERCUT AND BIRD SCREEN. PAINT TO MATCH WINDOW MULLIONS WITH HEAT RESISTANT PAINT. PROVIDE INSULATING SLEEVE BETWEEN GENERATOR EXHAUST AND BLANKING PANEL. INCLUDE ESCUTCHEON RING AROUND EXHAUST PIPE.
6. FASTEN AND SEAL ALL OPERABLE WINDOWS CLOSED THAT ARE WITHIN 10'-0" OF GENERATOR EXHAUST OUTLET AND DIESEL VENTS - ALLOW FOR SEALANT OF 6 WINDOWS IN BID. PROVIDE PERMANENT LABEL ON INSIDE OF EACH SEALED WINDOW STATING THE FOLLOWING: "WINDOW SHALL REMAIN CLOSED DUE TO PROXIMITY OF EMERGENCY GENERATOR EXHAUST."
7. REMOVE EXISTING WINDOW GLAZING. INSTALL NEW INTERMEDIATE WINDOW MULLION TO MATCH EXISTING. CUT EXISTING GLAZING TO FIT NEW OPENING AND INSTALL BLACKOUT WINDOW FILM TO PREVENT VIEW OF EQUIPMENT IN ROOM.
8. PROVIDE NEW 54' x 25' BLANK LOUVER IN COLOR TO MATCH EXISTING WINDOW MULLIONS.
9. PROVIDE NEW 54' x 80' LOUVER IN COLOR TO MATCH EXISTING WINDOW MULLIONS.
10. PROVIDE NEW 54' x 25' LOUVER IN COLOR TO MATCH EXISTING WINDOW MULLIONS.
11. STAINLESS STEEL FUEL TANK LEVEL AND OVERFILL ANNUNCIATOR PANEL WITH LOCKING COVER.
12. SIAMHESE FIRE DEPARTMENT CONNECTION - SEE FIRE PROTECTION DRAWINGS.
13. FIRE PUMP TEST HEADER - SEE FIRE PROTECTION DRAWINGS.
14. EXTEND FUEL OIL TANK VENT AND EMERGENCY VENTS TO 12 FEET ABOVE GRADE MIN. AND TERMINATE WITH VENT CAP - SEE GENERATOR DRAWINGS.
15. PROVIDE PIPE ANCHORS TO UNDERSIDE OF EXISTING SLAB AND PROVIDE RISER CLAMPS ON PIPE.

2 PARTIAL ELEVATION  
M101 1/4" = 1'-0"



1 FIRST FLOOR MECHANICAL PLAN  
M101 1/8" = 1'-0"

NO.	DATE	REVISIONS

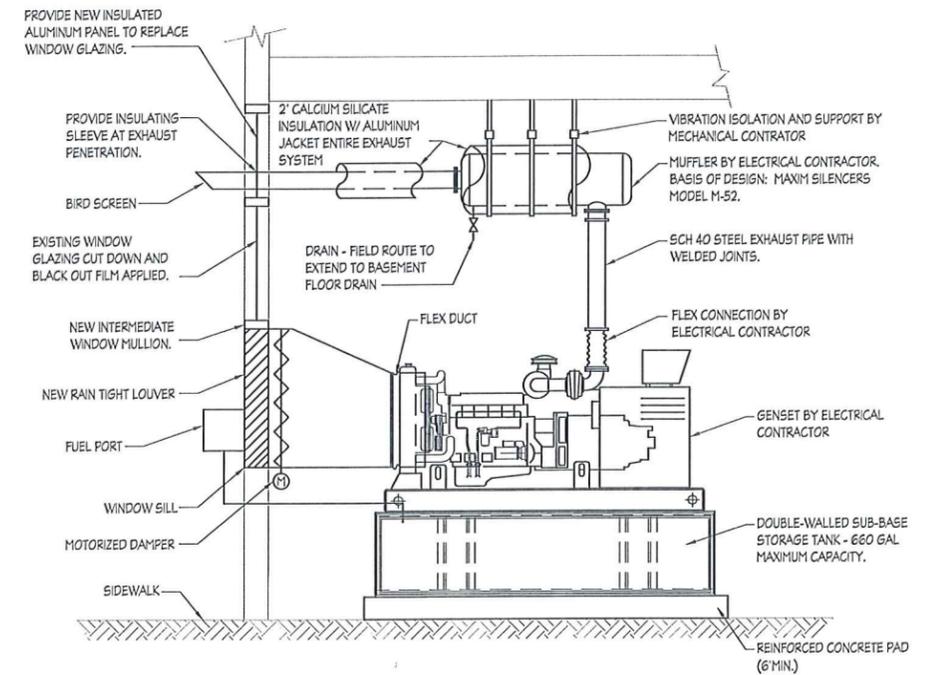
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<b>NEW GENERATOR - CATHOLIC CHARITIES OF THE DIOCESE OF PITTSBURGH</b>	
212 NINTH STREET	PITTSBURGH, PENNSYLVANIA 15222
DRAWING NUMBER: <b>M101</b>	
JOB NUMBER: 1141058	



2 GRAPHIC BUILDING ELEVATION  
M201 NO SCALE



1 EMERGENCY GENERATOR DETAIL  
M201 NO SCALE

NO.	DATE	REVISIONS

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**Division of Development Administration and Review**

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
*Treasurer, City of Pittsburgh.*

**ADDRESS OF PROPERTY:**

4360 Centre Avenue

Pittsburgh, PA 15213

**OWNER:**

NAME: Marion Lee Spangler

ADDRESS: 4360 Centre Avenue

Pittsburgh, PA 15213

PHONE: 412-354-9075

EMAIL: leespangler@gmail.com

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**DISTRICT:**

Schenley Farms

**APPLICANT:**

NAME: Jonathan Daniel

ADDRESS: 4360 Centre Avenue

Pittsburgh, PA 15213

PHONE: 412-354-8856

EMAIL: jonathan.p.daniel@gmail.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

1) Pre-installed garage door & chimney caps; 2) Service door replacement; 3) Six replacement windows; 4) Pre-installed house number plaque & left driveway wall; 5) Driveway pillar height

**SIGNATURES:**

OWNER: \_\_\_\_\_ DATE: April 11, 2013

APPLICANT: \_\_\_\_\_ DATE: April 11, 2013

1) After-the-fact Garage Door & Chimney Caps



Garage Before



Chimney Caps Before

Garage Door After



New Garage Door Detail



Chimney Caps After



## 2) Service Door Replacement

Door to 1<sup>st</sup> Floor Den



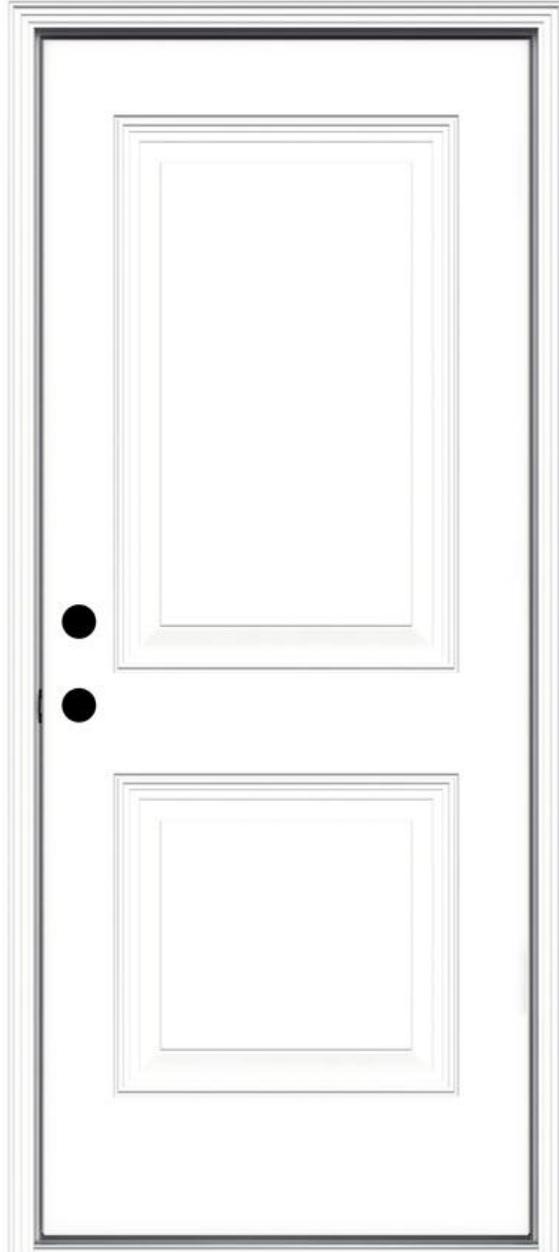
Front Door



Service Door to be Replaced



Proposed Service Door Replacement



**ReliaBilt 33-1/2-in x 81-3/4-in  
2-Panel Inswing Steel Entry Door**

### 3) Six Replacement Windows (2<sup>nd</sup> Story)

New windows will be wood clad in white with simulated-divided lites, matching the product used on other recent replacement windows.

One double-hung (3x2 lites over 1) and 2 casements (2x3 lites)



Three double-hung (3x2 lites over 1)



4a) After-the-fact House Number Plaque (ours at 4360 and others on the street)

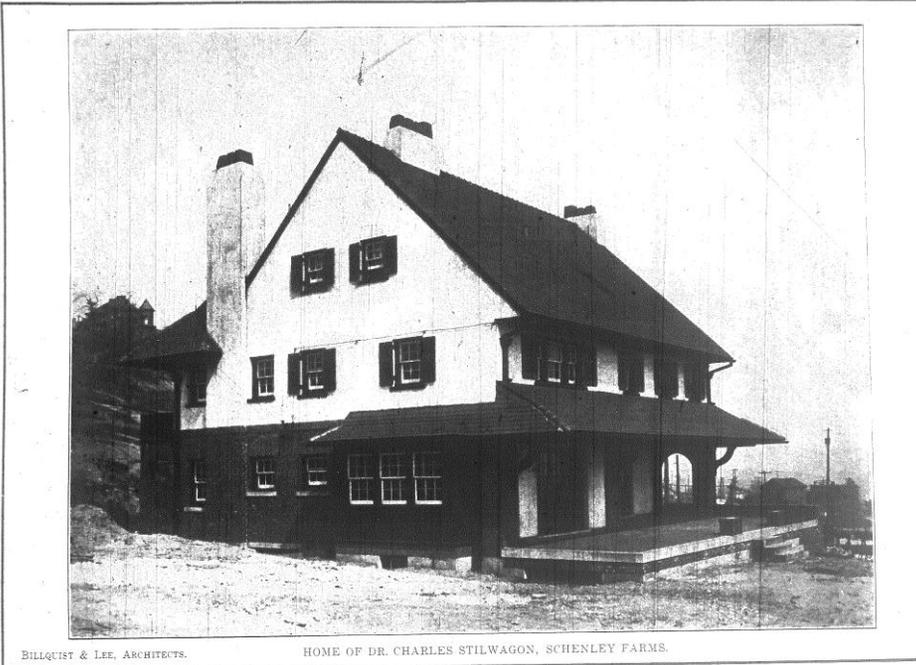




# 4b) After-the-fact Left Driveway Wall

Earlier built and uphill to 4360 is 4352 Centre Avenue, which shows precedence for a low driveway wall and exposed basement service doors/windows. 4360 is also adjacent to a separate tax lot downhill, and the architecture of 4360's sides comprise of small windows that are appropriate for neighboring another house. Though a house has never been built downhill, our driveway wall is currently in keeping with other homes on the block.

4352 Centre in "The Builder", June 1910 (4360 is unbuilt)



4352 today with 4360 just visible to the right



Left Driveway Wall at 4352 Centre Avenue



Left Driveway Wall at 4360 Centre Avenue



Height of 4352's Left Driveway Wall from 4360



Height of 4360's Left Driveway Wall from Neighboring Lot



4352 Centre Avenue's Exposed Basement



4360 Centre Avenue's Exposed Basement



### 5) Driveway Pillar Height

We are willing to change the driveway pillar to a height that is in harmony with the rest of the Centre Avenue wall. The pillar would be 6' 7" to be in line with the step-down.







Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

- Staff Use -

**DEADLINES:**  
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

**FEE SCHEDULE:** See attached  
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid:  \$ \_\_\_\_\_

Date Received: 10/18/12  
 Hearing Date: —  
 Lot and Block #: 23-J-140

25th Ward  
 ADDRESS OF PROPERTY: 1405 BUENA VISTA ST  
Pgh PA 15212  
 HISTORIC DISTRICT: ~~Manchester~~ ALEX. WAR.

**OWNER**

Name: GERALDINE SMITH  
1405 BUENA VISTA PSH PA 15212  
 Address: P.O. BOX 6429  
 City, State, Zip: \_\_\_\_\_  
 Phone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_  
 E-MAIL: \_\_\_\_\_

**APPLICANT**

Name: Bureau of Building Inspection - City of Pgh.  
 Address: 200 Ross Street  
 City, State, Zip: Pittsburgh, PA  
 Phone: ( ) \_\_\_\_\_ Fax: ( ) \_\_\_\_\_  
 E-MAIL: \_\_\_\_\_

REQUIRED ATTACHMENTS:  Drawings  Photographs  Renderings  Site Plan  Other

DETAILED DESCRIPTION OF PROPOSED WORK: TO RAZE

SIGNATURE \_\_\_\_\_, Owner DATE \_\_\_\_\_  
R. Blain, Applicant DATE 10-18-12



Jacksonia St

1405 Buena Vista Street

Sampsonia Way

N Taylor Ave

Way

Drove





1405



1405

1407





















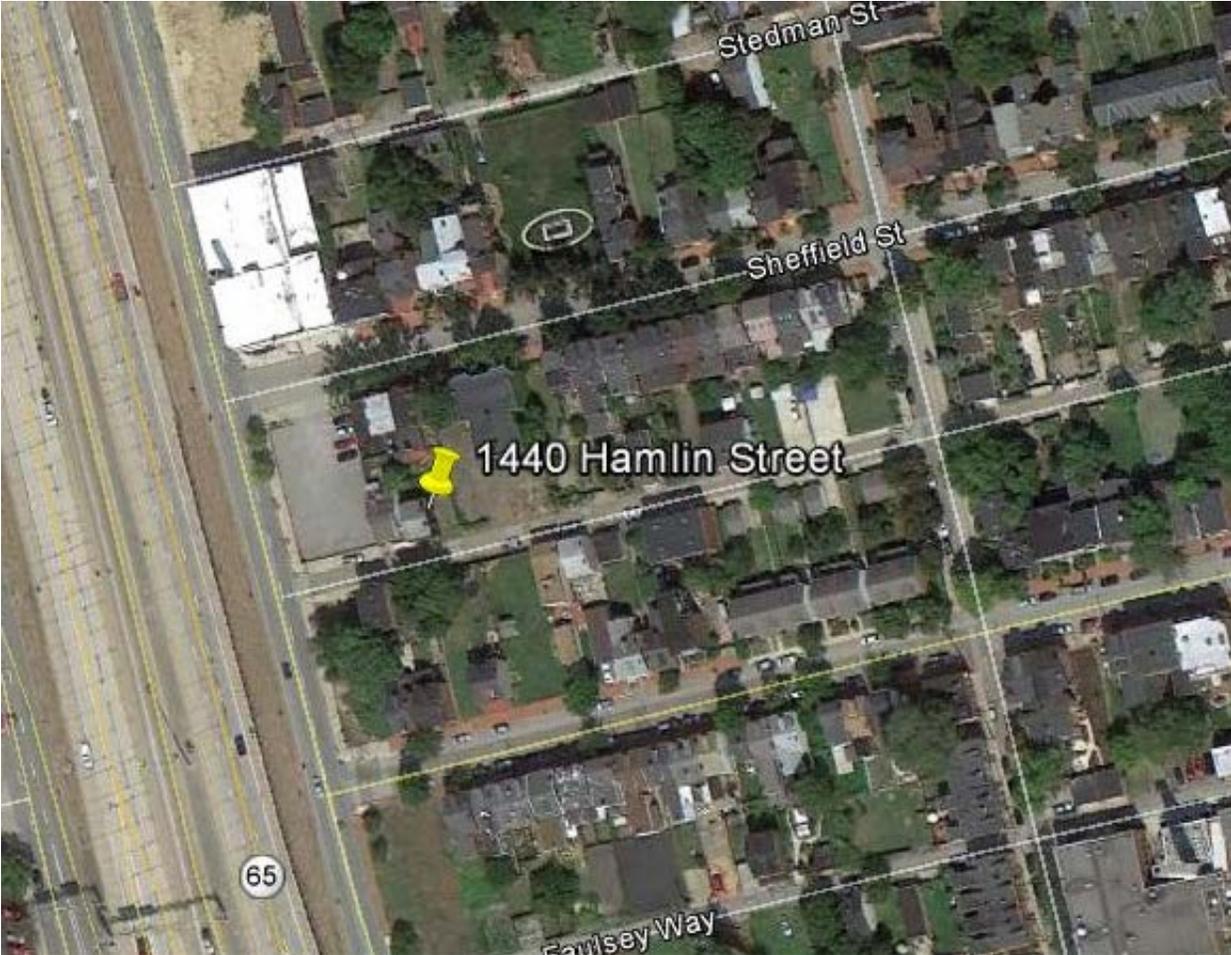














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NO STOPPING  
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OR  
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