



## Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room

June 6, 2012

### AGENDA

(Vacant), *Chairman*

Ernie Hogan, *Vice Chairman*

Noor Ismail, *Director of Planning*

John Jennings, *Secretary, Acting Chief BBI*

Linda McClellan

Arthur Sheffield

Joe Serrao

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business

- None

New Business

- Approval of the Minutes from the May 2012 hearing
- Certificates of Appropriateness Report – May
- Applications for a Certificate of Economic Hardship - None

Upcoming Demolitions, no action at this time

- None

➤ **1:00 PM HEARING & ACTION**

**1. Deusstown Historic District**

1010 Cedar Avenue

Brent Bissell, owner and applicant

**Rehab of front and side porches and  
soundproofing of windows**

**2. Individual Designation**

279 Fisk Street – Carnegie Library of

Lawrenceville

Carnegie Library, owner

Anne Chen, applicant

**Installation of non-compliant windows,  
chimney modification, installation of  
HVAC**

**3. Oakland Civic Center**

3941 O'Hara Street

University of Pittsburgh, owner

Brian Kaminski, applicant

**Replacement of wooden windows with  
aluminum windows**

**4. Penn-Liberty Historic District**

907-909 Penn Avenue

Penn Avenue Renaissance, owner

Indovina Associates, applicant

**Installation of non-compliant balconies  
and construction of two additional floors**

**5. Manchester Historic District**

1416 N. Franklin Street

Michelle Murphy, owner

Bill Miller, applicant

**Installation of non-compliant windows**

**6. Market Square Historic District**

2 Market Place

Nicholas and Partinos, owner

Michael Kratsas, applicant

**Construction of a large, non-compliant  
metal awning.**

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7. **Market Square Historic District**  
21 Market Square  
Tom Certo, owner  
Sipp and Tepe, applicant  
**Installation of non-compliant signage**

9. **Market Square Historic District**  
Forbes Avenue T.B.D.  
Millcraft Industries, owner  
Arquitectonica, applicant  
**Construction of a mixed use high rise**

8. **Market Square Historic District**  
25 Market Square  
Yves Carreau, owner  
Sipp and Tepe Architects/Fastsigns, applicant  
**Installation of non-compliant awning and signage**

➤ **DEMOLITIONS**

1. **Market Square Historic District**  
218 Forbes Avenue  
Millcraft Industries, owner  
Arquitectonica, applicant  
**Demolition to Grade**

2. **Market Square Historic District**  
228 Forbes Avenue  
Millcraft Industries, owner  
Arquitectonica, applicant  
**Demolition to grade**

➤ **DIRECTOR'S REPORT**

➤ **ADJOURNMENT**

*The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public.* INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

**Please contact Sarah Quinn with questions and comments: 412-255-2243**

[sarah.quinn@city.pittsburgh.pa.us](mailto:sarah.quinn@city.pittsburgh.pa.us)



**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

- Staff Use -

**DEADLINES:**  
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

**FEE SCHEDULE:** See attached  
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid:  \$ 100

Date Received: 4-11-12

Hearing Date: \_\_\_\_\_

Lot and Block #: 23-M-209 word 23

ADDRESS OF PROPERTY: 1010 Cedar Ave  
Pittsburgh, PA 15212

HISTORIC DISTRICT: Deutschtown

**OWNER**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Phone: ( ) - - Fax: ( ) - -

E-MAIL: \_\_\_\_\_

**APPLICANT**

Name: Brent Bisrell

Address: 531 Bigham Rd

City, State, Zip: Pittsburgh, PA 15211

Phone: (7) 875-7168 Fax: ( ) - -

E-MAIL: Bisrell@hotmail.com

REQUIRED ATTACHMENTS:  Drawings  Photographs  Renderings  Site Plan  Other

DETAILED DESCRIPTION OF PROPOSED WORK: see additional pages

\_\_\_\_\_

\_\_\_\_\_

SIGNATURE \_\_\_\_\_, Owner DATE \_\_\_\_\_

Brent Bisrell, Applicant DATE 4-11-12



## Proposed Exterior Changes to 1010 Cedar Avenue

Our main goal with these exterior changes to the house is to restore the house to its original grandeur. This once-beautiful house has been abandoned for over twenty years. We are excited about returning it to its rightful place of splendor on Cedar Ave.

Below is a list of changes to the existing structure we would like to make. Detailed plans explaining the proposed changes, as well as historical photos are in the pages to follow.

### Front Porch

- Remove brick front porch posts. Install new front porch posts consistent with historic photos
- Restore wood façade to front porch gable and paint
- Remove asphalt shingles from front porch roof and replace with painted tin
- Install new front porch wooden railing consistent with historic photos
- Install floor to ceiling windows on first floor front, consistent with original design
- Construct new doors to the front foyer that match doors in neighborhood
- Replace windows below the porch and put decorative security bars in

### Side of the Building

- Plant Landscaping on side and front gardens of the property
- Remove side porch addition to property and restore to original façade
- Restore steps to side entrance
- Repair/replace side entrance doors (specs for the doors)
- Restore doors to basement steps
- Restore the coal chute

### Windows

- Windows need to be restored and updated with double paned glass for sound and insulation

### Colors

- All exterior wood and trim will be painted in a color scheme of these four colors:

Behr Red Brick S-H-170

Behr Cottage White W-F-31

Behr Egyptian Nile 420F-6

Behr Sagey 420F-4

### Front Porch

Here is a photo of the front porch as it exists now.



The brick columns and iron railings are not what were originally on the porch. A historic photo of East Park shows 1010 Cedar Ave in the background with wooden pillars on the porch





### **Replacing Pillars**

We would like to remove these brick pillars and replace them with pillars that we have constructed out of cypress in the same style as those that were originally on the house. Below is a photo of another house in the neighborhood that has pillars of a very similar style at 1130 W North Ave.

(Diagram on next page)



### **Wooden Railings and Posts**

The iron railings on the porch are also not original. Many of the porches that are original or restored to look original have wooden railings and posts. We would like to construct wooden railings and posts for the front porch similar to the style pictured below.



### **Porch Roof**

The roof on the porch when it was redone used asphalt shingles. We would like to replace those shingles with something more historically accurate such as tin.

Below are photos of the current roof, along with a photo of roof from another part of the house that appears original.

### **Façade**

Also in the photo below is the detailed wooden façade of the porch. We would like to paint and restore that to its original beauty.





## **Porch Windows**

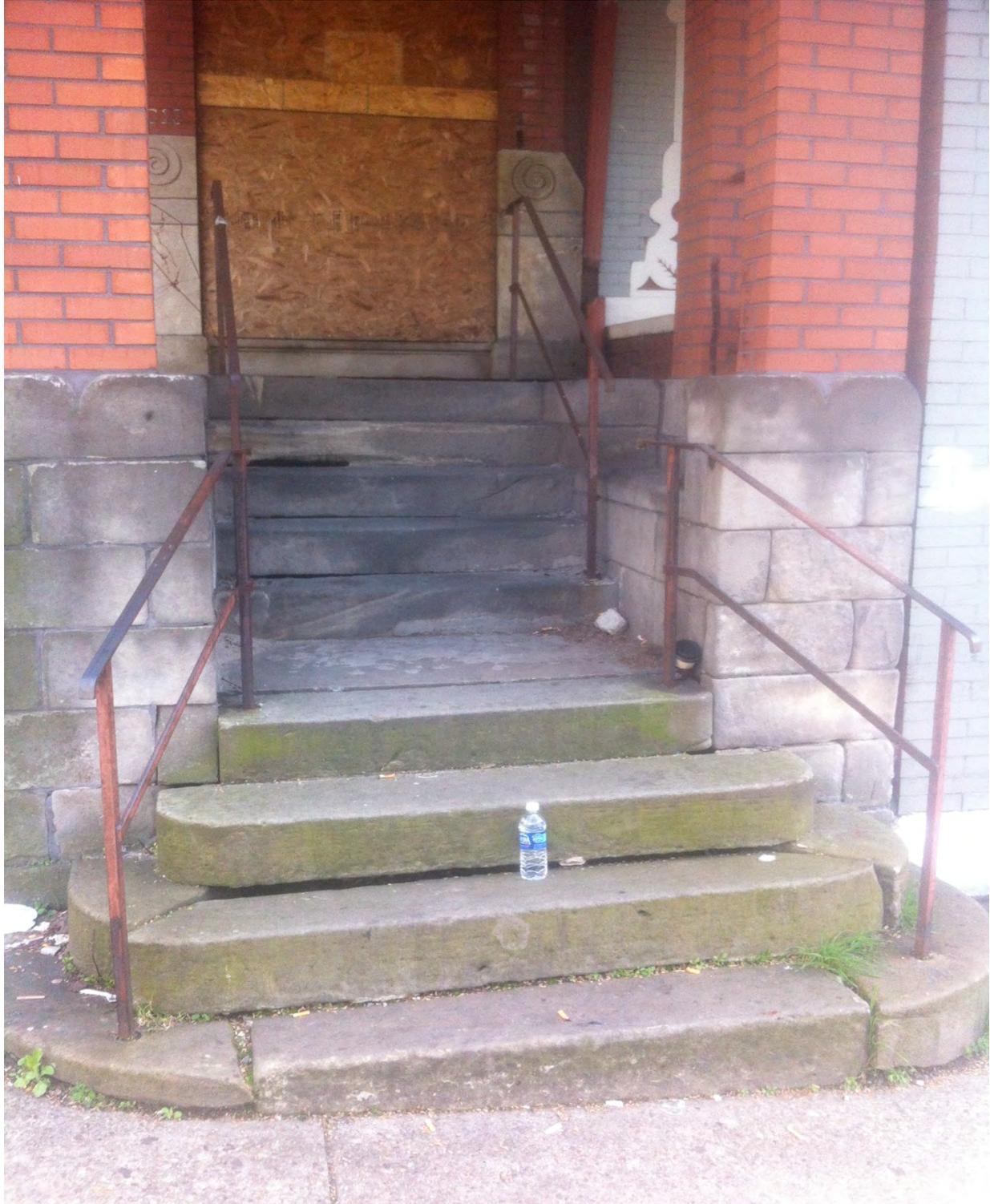
The original windows went the all the way to the floor of the porch. In the photo below you can see the brick directly below the windows does not match the rest of the brick on the porch. On the next page is a photo of houses at 202 W North Ave and 206 W North Ave with windows that extend down to the floor of interior.





## Front Porch Steps

The steps leading up to the front porch are in disrepair and need to be restored. The iron railings are also not original and would be removed.



## Front Doors

The original front doors to the house are missing. We would like to reconstruct doors in the same fashion as a house right down the street at 912 Cedar Ave pictured below.



### **Windows below the Porch**

The original windows below the front porch are missing. We would like to replace those windows and add decorative iron bars that will complement the overall look of the house.



## Side of the Building

### Landscaping

Currently there is concrete along all of the property. We would like to remove the concrete and landscape that area instead.



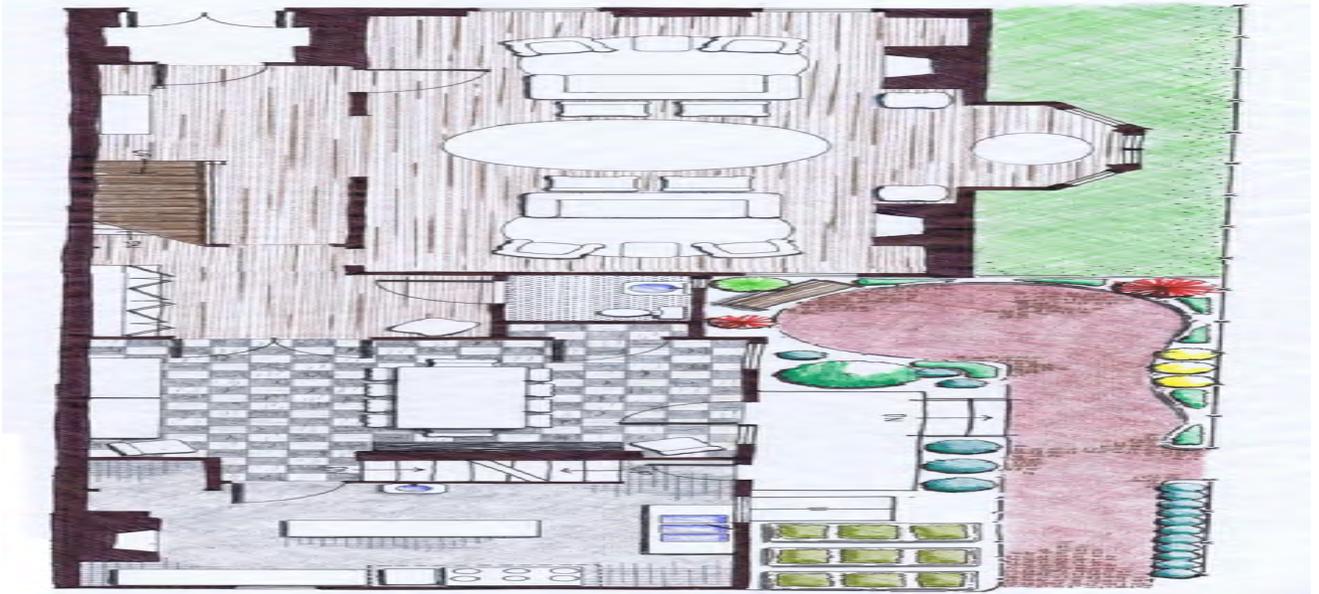
## Side Porch

The side porch is not original to the building. The brick does not match. The pillars were poorly constructed and are leaning. The roof is asphalt shingles with moss growing on them. Also the porch itself is not very wide and serves little functional space. We would like to tear down the porch, remove the concrete and build a brick patio with landscaping around it.

Current porch:



Planned area:



### Side Entrances

The steps going up to the side entrances are in need of restoration we would like to restore them to make them safe



### **Side Entrance Doors**

The side entrance doors as pictured on the previous page are missing. We would like to replace them with appropriate wooden doors.

### **Sidewalks**

The sidewalks around the building have fallen into disrepair. They are cracked and uneven. We would like to remove the concrete of the sidewalks around the house and replace the concrete with brick.

### **Doors Covering Basement Steps**

The doors covering the basement steps are in relatively good condition we would like to clean them up and paint them.



## **Coal Chute**

The old coal chute is still on the house. We would like to clean it up and restore it.



## **Windows**

### **Restoring Windows**

Many of the windows on the building are broken or missing altogether. We would like to update the glass in the window to double paned glass in order to provide an extra degree of sound dampening due to the helicopter that lands nearby at the hospital and the large amount of noise it makes. Also the new windows will provide added insulation making the house more energy efficient.

However, we do plan on using the original frames for the windows and restoring these frames so they look like they did on the house originally. This will keep the historical look of the house but still allow for increased efficiency.

We have restored one of the windows already for the house so you can see first hand how we plan on restoring all of them.



**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

279 Fisk Street  
 Pittsburgh, PA 15201

**OWNER:**

Ron Graziano  
 NAME: Carnegie Library of Pittsburgh

ADDRESS: 4000 Forbes Ave.  
 Pittsburgh, PA 15213

PHONE: 412-622-1016

EMAIL: grazianor@carnegielibrary.org

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**DISTRICT:**

\_\_\_\_\_

**APPLICANT:**

NAME: Anne Chen, AIA, LEED AP

ADDRESS: EDGE studio  
 5411 Penn Ave  
 Pittsburgh, PA 15206

PHONE: 412-345-5005

EMAIL: anne@edge-studio.com

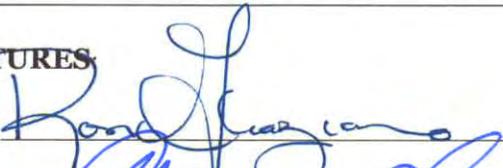
**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Exterior restoration of building including slate roof replacement,  
 refurbishment of existing windows, replacement of windows (at attic)  
 modification of selected chimneys, and HVAC upgrade.

**SIGNATURES**

OWNER:  DATE: 5/14/12

APPLICANT:  DATE: 5/16/2012

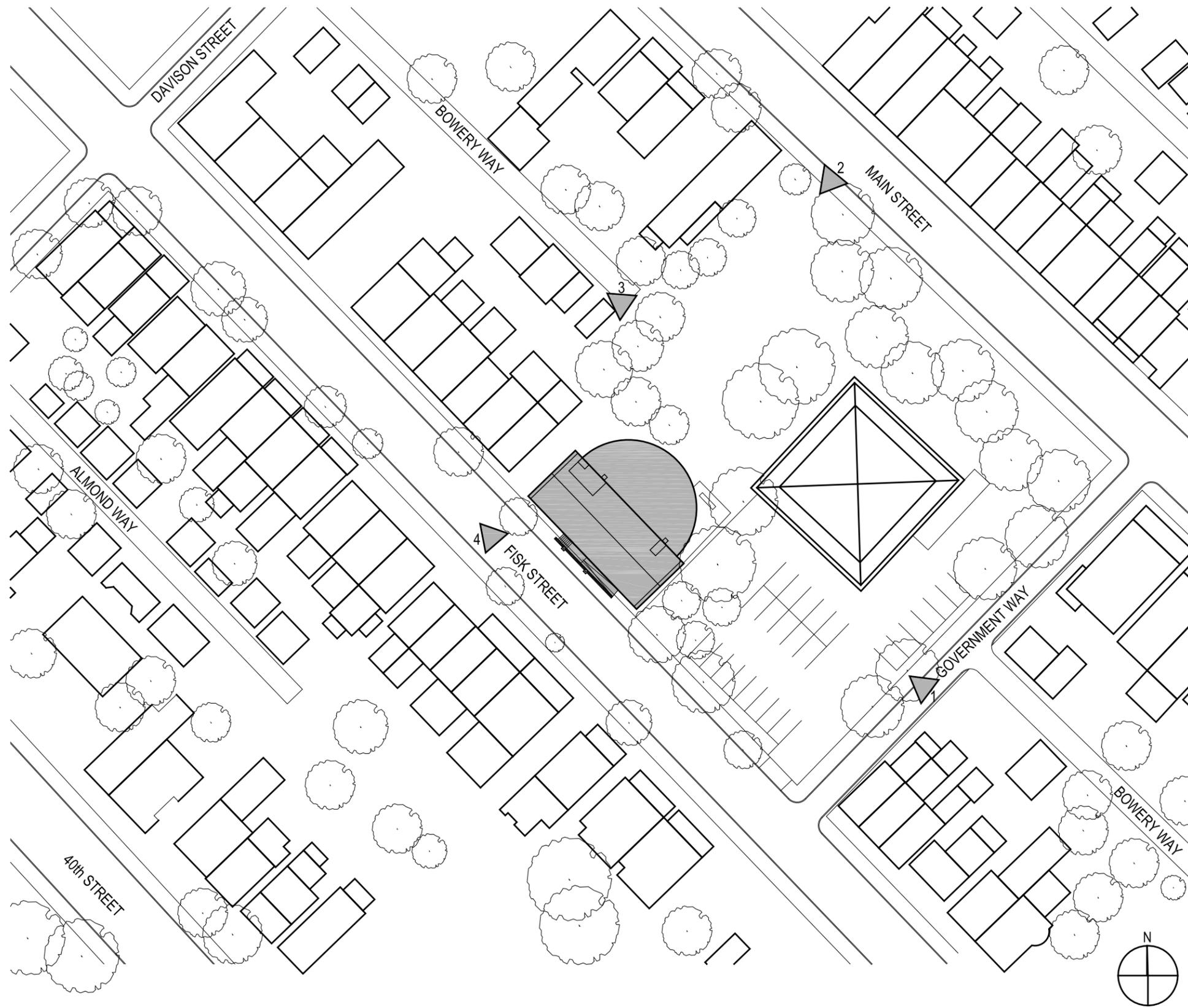
Carnegie Library of Pittsburgh  
Lawrenceville Neighborhood Library  
Scope of Exterior Work  
17 May 2012

1. **Roof:** Replace slate roof with in kind material. Repair metal flashing as needed with in kind material
2. **Windows and doors:**
  - a. First floor:
    - i. Refurbish 21 existing wood double hung and fixed windows. Sash will be removed to off site shop for restoration where it will be stripped and repaired. Existing glazing will be reused. Frames will be stripped on site. Exposed wood will be painted. Window hardware will be restored.
    - ii. Replace 21 wood transom sashes in kind. Frames will be stripped on site and painted
  - b. Basement: Refurbish 16 existing wood double hung and fixed windows. Sash will be removed to off site shop for restoration where it will be stripped and repaired. Existing glazing will be reused. Frames will be stripped on site. Exposed wood will be painted. Window hardware will be restored.
  - c. Attic: Replace 3 existing wood double hung windows with aluminum windows with historic panning (Traco or equal). Replace 1 existing wood door in kind. One existing wood door will be modified or replaced with a wood panel to accommodate a duct shaft which will not be visible (see HVAC below)
3. **Chimneys:** Remove approximately x feet of brick from one chimney to make it equal in height to two existing chimneys
4. **HVAC:** Air conditioning will be added to the space. Two new duct shafts will exit the attic horizontally at the rear of the building and turn directly down to serve the library stack area below. Because of the angle of the views from public ways, they will not be visible. A louver will be installed to replace one existing double hung window at the attic to introduce fresh air into the building. An air handling unit or chiller will be installed at grade behind the building. Because of the topography of the site, it will not be visible from the primary public ways.

REPLACING  
with  
↓ ↓

# Window Comparison Sheet

	Alside 09L1 Centurion Lite	WeatherBeater Max 9900	WeatherBeater Plus 7700	WeatherBeater 5400
		Best 9900	Better 7700	Good 5400
<b>Frame</b>	1/2" spring Mechanical Flat exterior Sloped Sill No accessory groove No balance covers SS constant force coil	3/4" spring Fusion Welded Bevel Exterior Sloped Sill Accessory track in & out Balance Covers SS constant force coil	3/4" spring Fusion Welded Bevel Exterior Sloped Sill Accessory track in & out Balance Covers SS constant force coil	1/2" spring Fusion Welded Contoured Exterior Sloped Sill Accessory Track in & out No Balance Cover SS constant force coil
<b>Sash</b>	Dual Cam Lock (25"+) Mechanical Flat interior Interlock meeting Rail Lift Handles Tilt Latches (uncovered)	Dual Cam Locks-Sears Fusion Welded <b>Foam Filled</b> /Square Sash Interlock Meeting Rail Lift Rails Tilt Latches	Dual Cam Locks-Sears Fusion Welded Square Sash Interlock Meeting Rail Lift Rails Tilt Latches	Dual Cam Locks - Sears Fusion Welded Squared Sash Interlock Meeting Rail Extruded Rail Tilt Latches
<b>Glass</b>	Intercept Spacer Dual Pane Single strength 13/16" Intercept spacer 1/2" Set into sash Clear Air	Intercept Spacer Dual Pane Double Strength 7/8" Intercept spacer 1/2" Set into the Sash Soft Coat - Low E/ <b>SPF</b> Argon Filled	Intercept Spacer Dual Pane Double Strength 7/8" Intercept spacer 1/2" Set into the Sash Soft Coat - Low E Argon Filled	Intercept Spacer Dual Pane Single Strength 3/4" Intercept spacer 1/2" Set into the Sash Soft Coat - Low E Argon Filled
<b>Screens</b>	Aluminum roll formed Half-screen standard	Aluminum Extruded Frame Full Screen standard Fiberglass	Aluminum Extruded Frame Full Screen standard Fiberglass	Aluminum Extruded Frame Full Screen standard Fiberglass
<b>Colors</b>	White	White Tan <b>Clay</b> LWG	White Tan <b>Clay</b> LWG	White Tan <b>Clay</b>
<b>Grids</b>	White colonial flat	Brass <b>Contoured</b> White <b>Contoured</b> Tan <b>Contoured</b> Clay <b>Contoured</b> Woodgrain Contoured	Brass <b>Contoured</b> White <b>Contoured</b> Tan <b>Contoured</b> Clay <b>Contoured</b> Woodgrain Contoured	White <b>Contoured</b> Tan <b>Contoured</b> Clay <b>Contoured</b> Brass <b>Contoured</b>
<b>Options</b>	No brass option	No Brass Lift handles/Locks	No Brass Lift handles/Locks	No Brass Lift handles/Locks
<b>Thermal Performance</b> (Low e- SB60)				
<b>U-Factor</b>	0.33	<b>0.24</b>	<b>0.3</b>	<b>0.3</b>
<b>R-Value</b>	3.03	<b>4.24</b>	<b>3.33</b>	<b>3.33</b>
<b>SHGC</b>	0.29	<b>0.27</b>	<b>0.29</b>	0.3
<b>Visible Transmittance</b>	0.54	0.46	<b>0.52</b>	<b>0.52</b>
<b>UV Block</b>	0.84	<b>0.99</b>	0.8	0.8
<b>Warranty - workmanship - original owner</b>				
<b>Vinyl</b>	Lifetime	Lifetime	Lifetime	Lifetime
<b>Hardware</b>	Lifetime	Lifetime	Lifetime	Lifetime
<b>Screens</b>	Lifetime	Lifetime	Lifetime	Lifetime
<b>Glass - obstruction</b>	Lifetime	0-20yrs 100%	0-10yrs 100%	0-5 yrs 100%
	Lifetime	Lifetime	Lifetime	Lifetime
<b>Glass - breakage</b>	<b>Unavailable</b>	31 plus 50%	20yrs plus 0%	10 Yrs
<b>Labor</b>	1 year	Lifetime	20 Yrs	10 Yrs
<b>Types</b>	Double hung only	3 year	2 year	1 year
	Double hung only	Double Hung Picture Window Casement, Sliders Bays, Bows Patio Door- Std ONLY Garden Windows Geometrics Endvent	Double Hung Picture Window Casement, Sliders Bays, Bows Patio Door- Std ONLY Garden Windows Geometrics Endvent	Double Hung Picture Window Casement, Sliders Bays, Bows Patio Door- Std ONLY Garden Windows Geometrics Endvent



VIEW 1



VIEW 2



VIEW 3



VIEW 4

# CLP-LAWRENCEVILLE

SITE PLAN  
 1/64"=1'-0"  
 12005  
 05/17/2012



**CLP-LAWRENCEVILLE**

PLOT PLAN  
1/16"=1'-0"  
12005  
05/17/2012

REMOVE PORTION  
OF CHIMNEY

NEW WOOD AND GLASS  
PANEL IN EXISTING  
OPENING

NEW APPROXIMATELY  
28" X 28" X 28" SHAFT  
ENCLOSURE

T.O. FLOOR  
T.O. ROOF

NEW AIR INTAKE LOUVER

REPLACE EXISTING WOOD  
WINDOWS WITH ALUMINUM

NEW APPROXIMATELY  
28" X 28" X 28" SHAFT  
ENCLOSURE

NEW TRANSOM SASH,  
TYPICAL.

REFURBISHED WINDOWS,  
TYPICAL.



# CLP-LAWRENCEVILLE

REAR ELEVATION

SCALE: 1/8"=1'-0"

PROJECT No: 12005

DATE: 05/17/2012

REMOVE PORTION  
OF CHIMNEY

NEW WOOD AND GLASS  
PANEL IN EXISTING  
OPENING

NEW APPROXIMATELY  
28" X 28" X 28" SHAFT  
ENCLOSURE

T.O. FLOOR  
T.O. ROOF

NEW AIR INTAKE LOUVER

REPLACE EXISTING WOOD  
WINDOWS WITH ALUMINUM

NEW APPROXIMATELY  
28" X 28" X 28" SHAFT  
ENCLOSURE

NEW TRANSOM SASH,  
TYPICAL.

REFURBISHED WINDOWS,  
TYPICAL.



# CLP-LAWRENCEVILLE

REAR ELEVATION

SCALE: 1/8"=1'-0"

PROJECT No: 12005

DATE: 05/17/2012









CARNEGIE LIBRARY

LAWRENCEVILLE PITTSBURGH

**i**  
Carnegie Library  
Lawrenceville Pittsburgh

PA 82515









## Allen Hall – Exterior Opening Replacement Description and Scope of Work

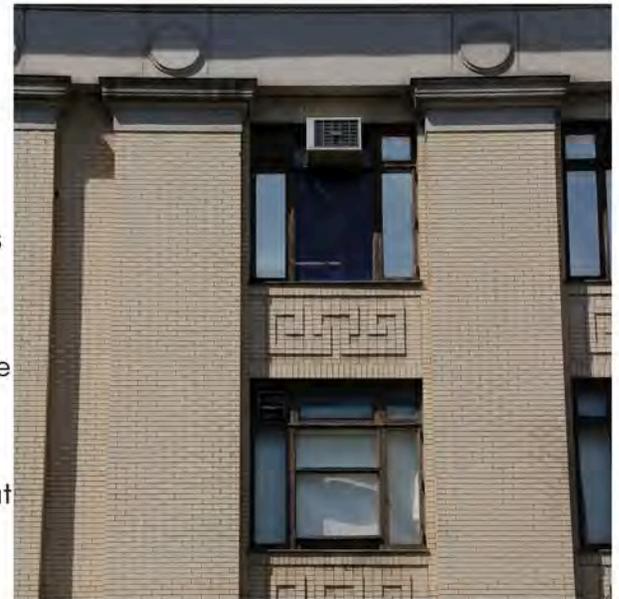
Allen Hall is an existing building built between 1913 and 1915, and was originally home to the Mellon Institute of Industrial Research. Today, it primarily serves the University of Pittsburgh Department of Physics and Astronomy with various administrative and faculty offices, laboratories, classrooms and associated service spaces.

Allen Hall is a six-story building. The exterior walls at the ground and first level are granite. The second, third and fourth levels are clad in buff brick. The uppermost, fifth level, is windowless and concealed by the roof. There exists terra cotta decoration across the building, although the original terra cotta cornice was replaced in the 1980s with a foam-urethane replica with an epoxy coating. Most of the original single-pane, wood windows are still in place. Many windows have been modified to accommodate window mounted air conditioning units. In some areas the middle transom sash has been completely removed while in other areas the center picture frame has been removed and new framing members installed to accommodate the new AC units. Other modifications include removal of upper panels for the installation of exhaust fans. In some locations the frames have been drilled through to accommodate the passage of electrical or refrigerant lines. Many windows are missing hardware and do not fully close. Most sills are so significantly deteriorated that they have been covered over with stainless steel break metal. The most significant deterioration of the windows occurs at the O'Hara Street elevation where the southern exposure has significantly compromised both the finish and the underlying wood.

Allen Hall is slated to be renovated on the interior beginning in 2012. The interior work is being designed by Wilson Architects, and managed by Mascaro Construction Company. The interior renovations will include renovations to spaces, finishes, HVAC, electrical and fire protection systems. The new HVAC system allows for the removal of the window mounted air conditioning units. All previously window mounted exhaust fans will also be removed. The new HVAC system requires windows that allow less air infiltration and better thermal performance. To this extent the University is proposing the removal of the existing windows and replacement with thermally broken aluminum windows with low E insulated glass. The pattern of the new windows will closely resemble the existing windows, with 2 narrow fixed casement sashes to the sides of one large picture window and three transom windows above that match the lower windows in width. Site lines will match existing site lines as closely as possible. The new aluminum frame will be prefinished with a polyvinylidene fluoride resin based coating in a color that matches the original brown frames. The coating will come with a 20 year warranty. Existing security grilles at the first floor will also be refinished. The work is expected to start in September and to be complete by December.



1 - Partial O'Hara St. Elevation



2 - Partial South Elevation



3 - Main Pediment O'Hara St. Elevation with AC Units



4 - O'Hara Elevation from the Southwest with AC Units & Modified Frames



5 - Entry Pediment with AC Units



6 - West Half O'Hara St. Elevation with AC Units & Modified Frames



7 - O'Hara St. Elevation with AC Units



8 - SW Corner w/ Granite Base, Sec. Grilles & Modified Center Frames



9 - Detail SW Corner w/ Modified Frames, Exhaust Louvers and AC Unit



10 - AC Units at Transoms



11 - Detail AC Unit at Transom



12 - Detail AC Unit at Missing Transom Sash



13 - Detail AC Unit at Missing Transom Sash



14 - Detail AC Unit at Missing Transom Sash



15 - Detail AC Unit at Missing Transom Sash, Severely Damaged Wood & Paint



16 - Detail AC Unit at Missing Casement Sash



17 - Detail AC Unit at Missing Transom Sash & Severly Damaged Wood & Paint



18 - Detail AC Unit at Missing Transom Sash & Severly Damage Finish



19 - Detail AC Unit at Missing Transom Sash, Severely Damaged Wood & Paint



20 - Detail AC Unit at Missing Transom Sash



21 - Detail AC Unit at Missing Transom Sash, Missing Glass, Vent at Transom



22 - Detail AC Unit at Missing Transom Sash & Delaminating Wood



23 - Detail AC Unit & Exhaust Louvers at Missing Transom Sashes



24 - Detail Exhaust Louvers at Missing Transom Sash, Modified Picture Frame



25 - Detail Modified Picture Frame, Deteriorating Wood and Paint



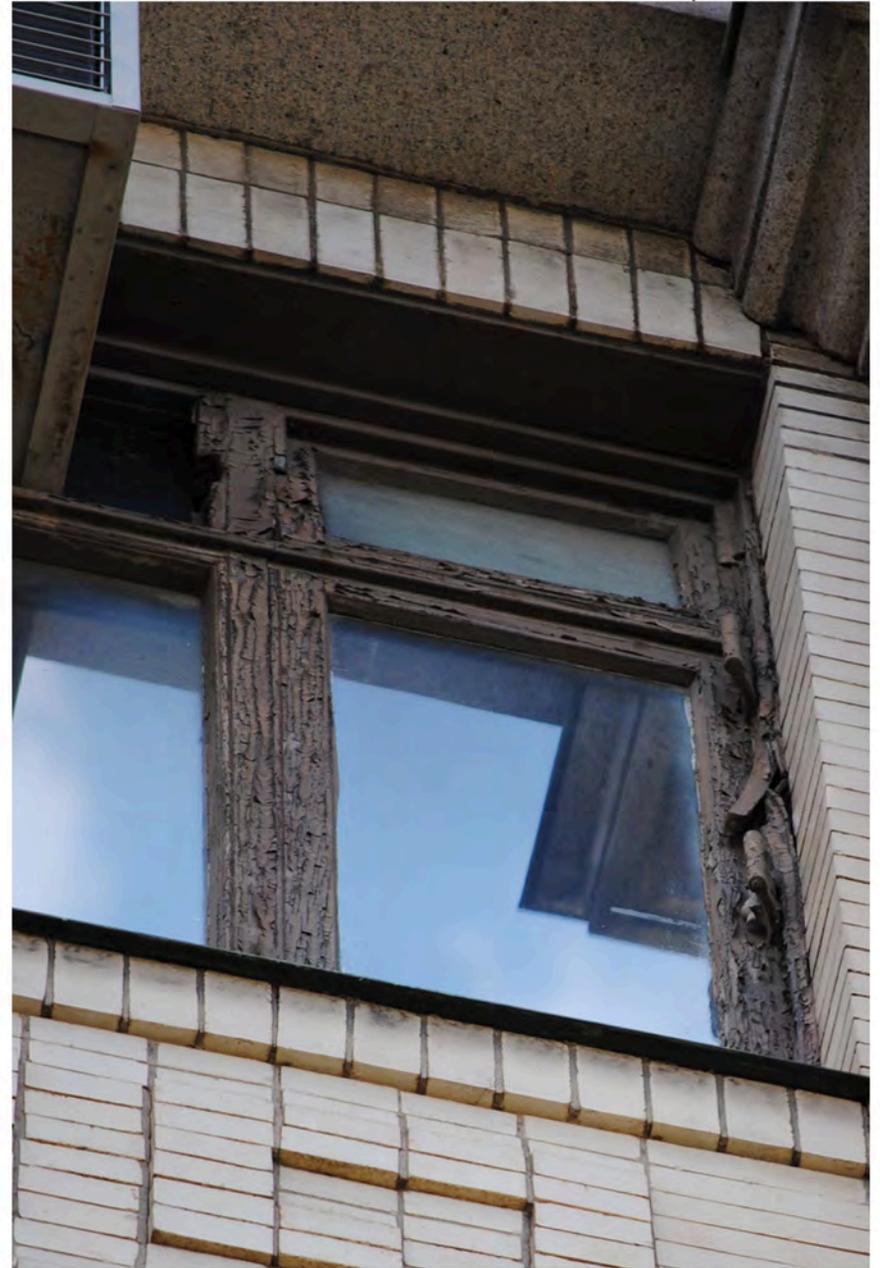
26 - Detail Modified Picture Frame, Deteriorating Wood and Paint



27 - Detail Modified Center Picture Frame



28 - Detail Deteriorating Wood and Paint



29 - Detail Missing Transom Sash, Severly Deteriorate Frame and Finish



30 - Detail Security Grille & Replacement Window Framed with 2x4's



31 - Detail Casement Sash, Vertical Bar, Picture Stop, Ptd Stainless Steel Sill



32 - Detail Deteriorated Sill & Ptd. Stainless Steel Break Metal Cover



33 - Interior Detail Deteriorated Casement Sash



REVISIONS			
No.	By	Date	Description



Existing



Aluminum

**Indovina  
Associates  
Architects**

5880 Ellsworth Ave.  
Pittsburgh, PA 15232  
p 412.363.3900  
f 412.363.0483

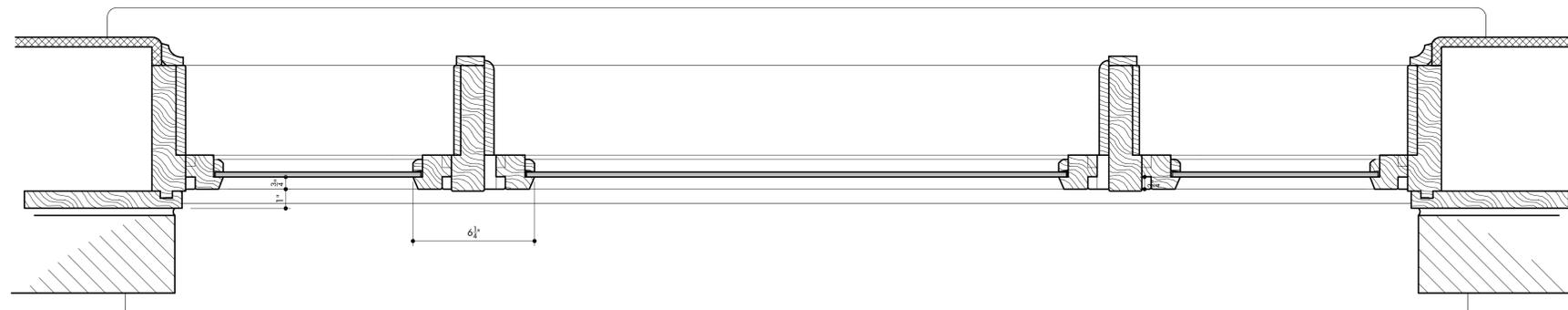
University of Pittsburgh  
Facilities Management



Project Name	Job No.
Allen Hall Exterior Openings Replacements	X5152
Drawing Description	Issue Date
Existing and Aluminum Replacement Window Types	4/12/2012

CAD File Name	Drawn By
10206 - CW-8.2	IAA
Drawing Number	Set Order
10206 - CW-8.2	- of -

REVISIONS			
No.	By	Date	Description



Existing



Aluminum

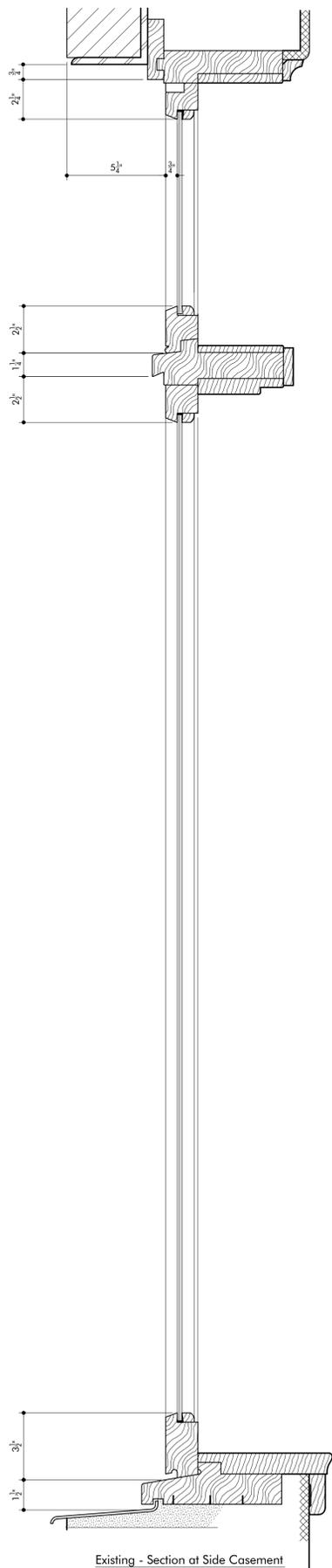
**Indovina Associates Architects**  
 5880 Ellsworth Ave.  
 Pittsburgh, PA 15232  
 p 412.363.3900  
 f 412.363.0483

University of Pittsburgh  
 Facilities Management

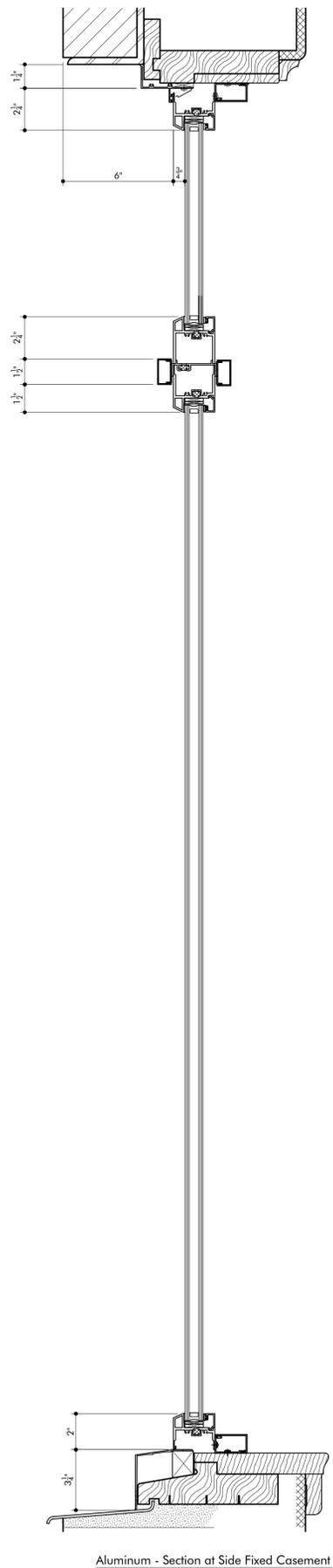


Project Name	Job No.
Allen Hall Exterior Openings Replacements	X5152
Drawing Description	Issue Date
Existing and Aluminum Replacement Window Types	4/12/2012

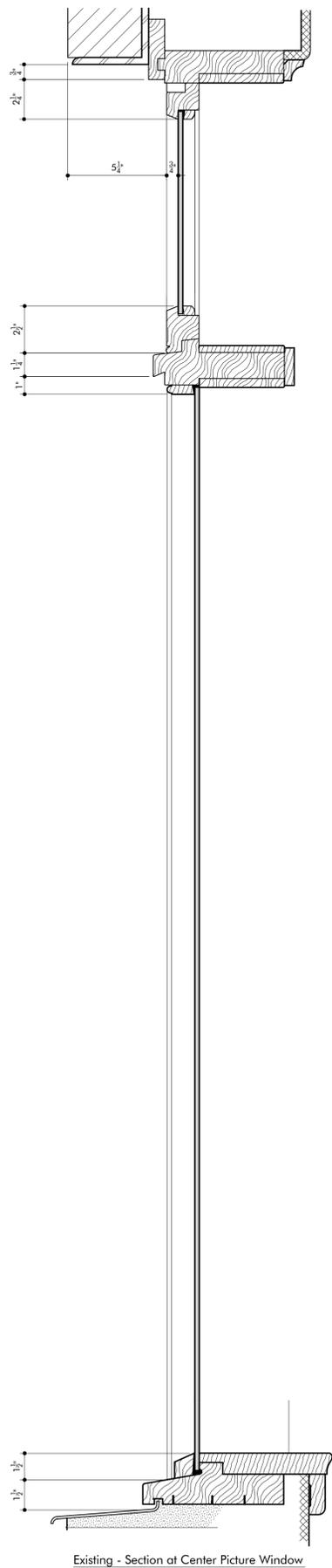
CAD File Name	Drawn By
10206 - CW-8.3	IAA
Drawing Number	Set Order
10206 - CW-8.3	- of -



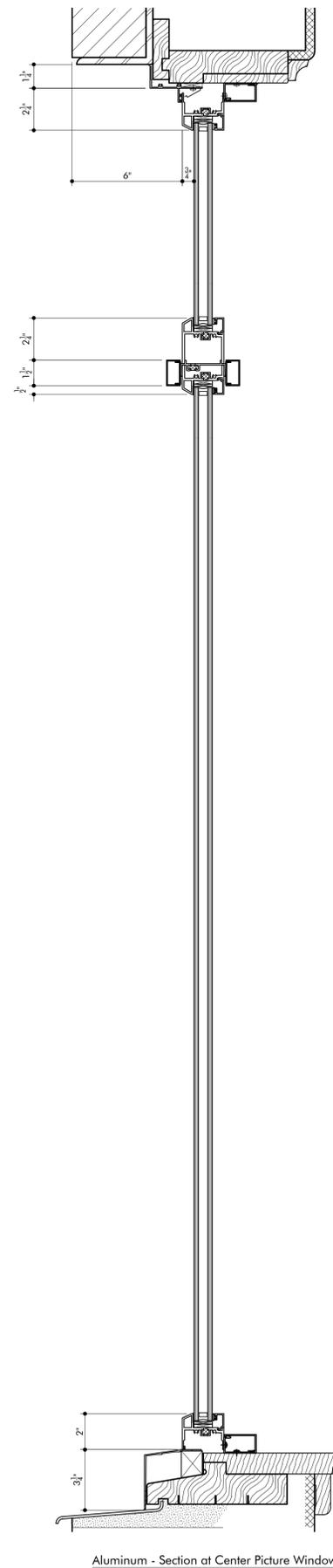
Existing - Section at Side Casement



Aluminum - Section at Side Fixed Casement



Existing - Section at Center Picture Window



Aluminum - Section at Center Picture Window

**1** Section Details Existing and Replacement Aluminum Windows  
3" = 1'-0"

REVISIONS		
No.	By	Date Description

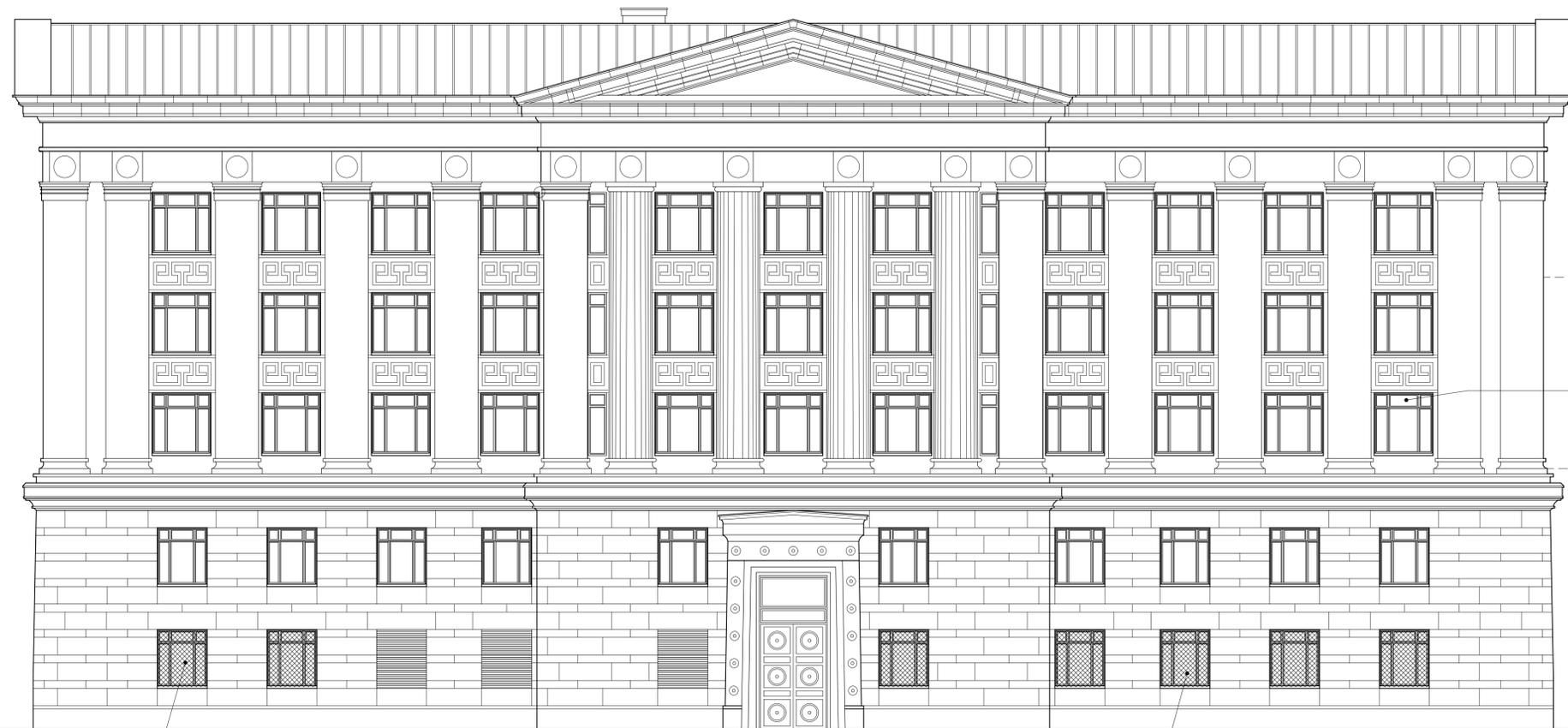


**Indovina  
Associates  
Architects**

5880 Ellsworth Ave.  
Pittsburgh, PA 15232  
p 412.363.3900  
f 412.363.0483

**University of Pittsburgh  
Facilities Management**

	<p>Professional Stamp</p> 
<p><b>Project Name</b> Allen Hall Exterior Openings Replacements</p>	<p><b>Job No.</b> X5152</p> <p><b>Issue Date</b> 4/12/2012</p>
<p><b>Drawing Description</b> Existing and Aluminum Replacement Window Types</p>	
<p><b>CAD File Name</b> 10206 - CW-8.4</p>	<p><b>Drawn By</b> IAA</p> <p><b>Set Order</b> - of -</p>



All window mounted  
AC units removed

New aluminum window to  
match adjacent units

Original  
security grilles  
refinished

REVISIONS

No.	By	Date	Description

**Indovina  
Associates  
Architects**

5880 Ellsworth Ave.  
Pittsburgh, PA 15232  
p 412.363.3900  
f 412.363.0483

**University of Pittsburgh  
Facilities Management**



Professional Stamp



**Project Name**  
Allen Hall Exterior  
Openings Replacements

**Job No.**  
X5152  
**Issue Date**  
4/12/2012

**Drawing Description**  
South  
Elevation w/ Aluminum Windows

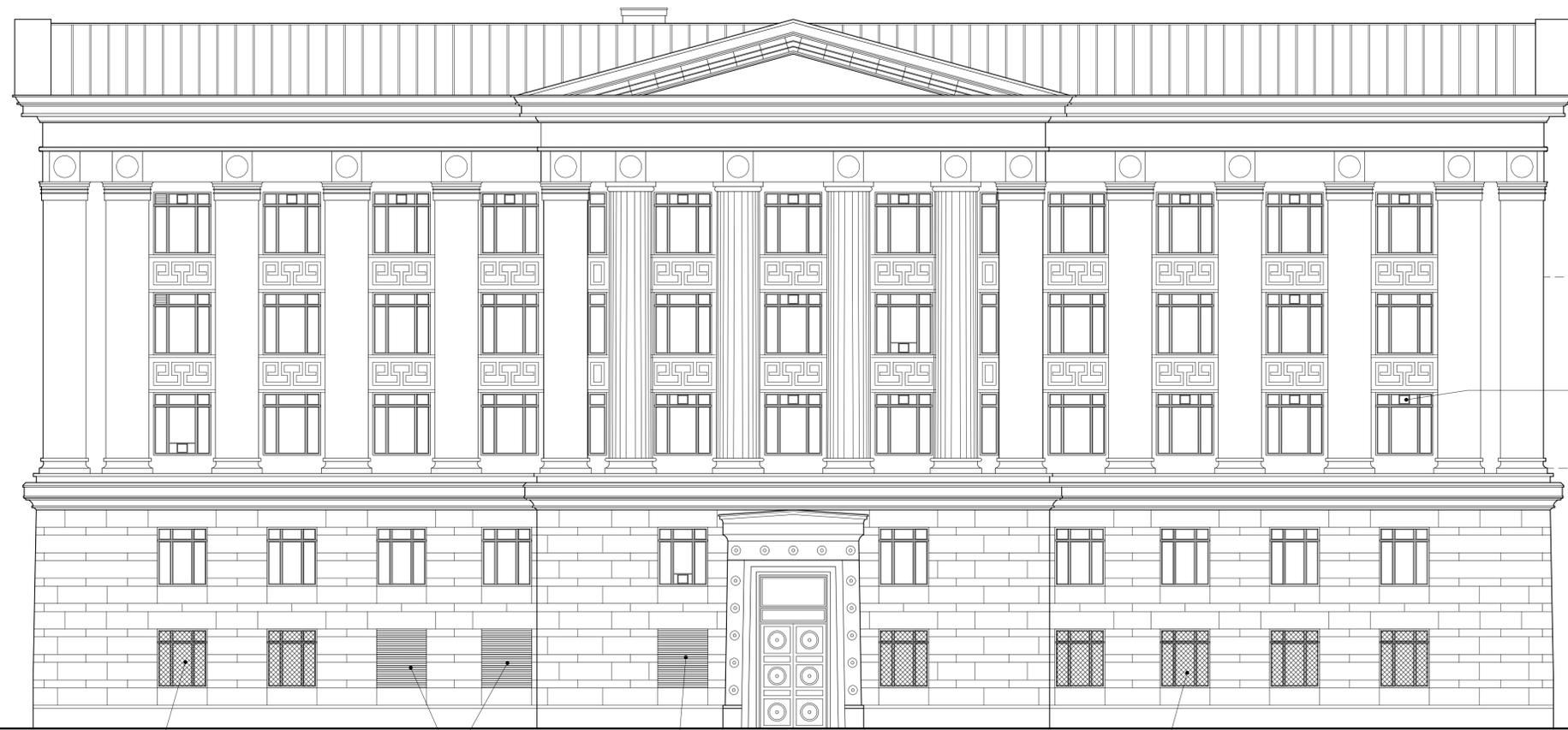
**CAD File Name**  
10206 - HA3.1

**Drawn By**  
IAA

**Drawing Number**  
10206 - HA3.1

**Set Order**  
- of -

1 South Elevation (O'Hara Street) With New Aluminum Windows  
1/8" = 1'-0"



Original window gone - replaced with units made w/ Zn material

Original window removed and opening infilled with brick in previous renovations

Security grille at first floor units

Existing units altered & damaged for installation of window AC units

REVISIONS			
No.	By	Date	Description

**Indovina Associates Architects**  
 5880 Ellsworth Ave.  
 Pittsburgh, PA 15232  
 p 412.363.3900  
 f 412.363.0483

**University of Pittsburgh Facilities Management**



<b>Project Name</b> Allen Hall Exterior Openings Replacements	<b>Job No.</b> X5152
<b>Drawing Description</b> Existing South Elevation	<b>Issue Date</b> 4/12/2012

<b>CAD File Name</b>	<b>Drawn By</b> IAA
<b>Drawing Number</b> 10206 - HW3.1	<b>Set Order</b> - of -

1 Existing South Elevation (O'Hara Street)  
 1/8" = 1'-0"

## SECTION 085113 - ALUMINUM WINDOWS

## PART 1 - GENERAL

## 1.1 SUMMARY

- A. Section includes aluminum windows for exterior locations.

## 1.2 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Shop Drawings: Include plans, elevations, sections, hardware, accessories, operational clearances, and details of installation, including anchor, flashing, and sealant installation.
- C. Samples: For each exposed product and for each color specified, 2 by 4 inches (50 by 100 mm) in size.
- D. Product Schedule: For aluminum windows. Use same designations indicated on Drawings.

## 1.3 INFORMATIONAL SUBMITTALS

- A. Product test reports.
- B. Sample warranties.

## 1.4 QUALITY ASSURANCE

- A. Mockups: Build mockups to verify selections made under Sample submittals and to demonstrate aesthetic effects and set quality standards for materials and execution.

## 1.5 WARRANTY

- A. Manufacturer's Warranty: Manufacturer agrees to repair or replace aluminum windows that fail in materials or workmanship within specified warranty period.
  - 1. Warranty Period:
    - a. Window: 10 years from date of Substantial Completion.
    - b. Glazing Units: 20 years from date of Substantial Completion.
    - c. Aluminum Finish: 20 years from date of Substantial Completion.

## PART 2 - PRODUCTS

## 2.1 MANUFACTURERS

- A. Basis of Design Manufacturers: Subject to compliance with requirements, provide **Graham 6700 Aluminum** windows or comparable products by the following:
1. Graham Architectural Products Corp.
  2. Kawneer North America; an Alcoa company.
  3. TRACO.
  4. Wausau Window and Wall Systems.

## 2.2 WINDOW PERFORMANCE REQUIREMENTS

- A. Product Standard: AAMA/WDMA/CSA 101/I.S.2/A440.
1. Minimum Performance Class: CW at .
  2. Minimum Performance Grade: 50.
- B. Thermal Transmittance: NFRC 100 maximum whole-window U-factor of 0.45 Btu/sq. ft. x h x deg F.
- C. Solar Heat-Gain Coefficient (SHGC): NFRC 200 maximum whole-window SHGC of 0.40.
- D. Condensation-Resistance Factor (CRF): Provide aluminum windows tested for thermal performance according to AAMA 1503, showing a CRF of 45.

## 2.3 ALUMINUM WINDOWS

- A. Operable Types: Provide operable windows with code-required egress clearances as indicated on Drawings.
- B. Fixed Windows: New window sight lines, sash profiles, stops and glazing details shall mimic existing, historic operable profiles and details to the greatest extent possible, and as indicated on Drawings.
- C. Frames and Sashes: Thermally broken aluminum extrusions complying with AAMA/WDMA/CSA 101/I.S.2/A440.
- D. Insulating-Glass Units: ASTM E 2190.
1. Glass: ASTM C 1036, Type 1, Class 1, q3.
    - a. Tint: Clear.
  2. Lites: Two.
  3. Filling: Fill space between glass lites with argon.
  4. Low-E Coating: Pyrolytic on third surface.
- E. Glazing System: Manufacturer's standard factory-glazing system that produces weathertight seal.

- F. Hardware, General: As indicated on Drawings, manufacturer's standard corrosion-resistant hardware sized to accommodate sash weight and dimensions.
  - 1. Exposed Hardware Color and Finish: Where indicated or provided, match existing; oil rubbed bronze.
- G. Weather Stripping: Provide full-perimeter weather stripping for each operable sash unless otherwise indicated.
- H. Fasteners: Noncorrosive and compatible with window members, trim, hardware, anchors, and other components.
  - 1. Exposed Fasteners: Do not use exposed fasteners to the greatest extent possible. For application of hardware, use fasteners that match finish hardware being fastened.

## 2.4 ACCESSORIES

- A. Subsills: Thermally broken, extruded-aluminum subsills in configurations indicated on Drawings.
- B. Panning Trim: Extruded-aluminum profiles in sizes and configurations indicated on Drawings.
- C. Receptor System: Two-piece, snap-together, thermally broken, extruded-aluminum receptor system that anchors windows in place.

## 2.5 INSECT SCREENS

- A. Insect Screens are not required.

## 2.6 FABRICATION

- A. Fabricate aluminum windows in sizes indicated. Include a complete system for assembling components and anchoring windows.
- B. Glaze aluminum windows in the factory.
- C. Weather strip each operable sash to provide weathertight installation.
- D. Provide weep holes and internal passages to conduct infiltrating water to exterior.
- E. Provide water-shed members above side-hinged sashes and similar lines of natural water penetration.
- F. Provide mullions and cover plates, matching window units, complete with anchors for support to structure and installation of window units. Allow for erection tolerances and provide for movement of window units due to thermal expansion and building deflections, as indicated. Provide mullions and cover plates capable of withstanding design wind loads of window units.
- G. Complete fabrication, assembly, finishing, hardware application, and other work in the factory to greatest extent possible. Disassemble components only as necessary for shipment and installation.

## 2.7 ALUMINUM FINISHES

- A. High-Performance Organic Finish (Two-Coat Fluoropolymer): Thermocured system consisting of inhibitive primer and fluoropolymer color topcoat containing not less than 70 percent polyvinylidene fluoride resin by weight complying with-AAMA 2605.
  - 1. Color: Dark Brown.

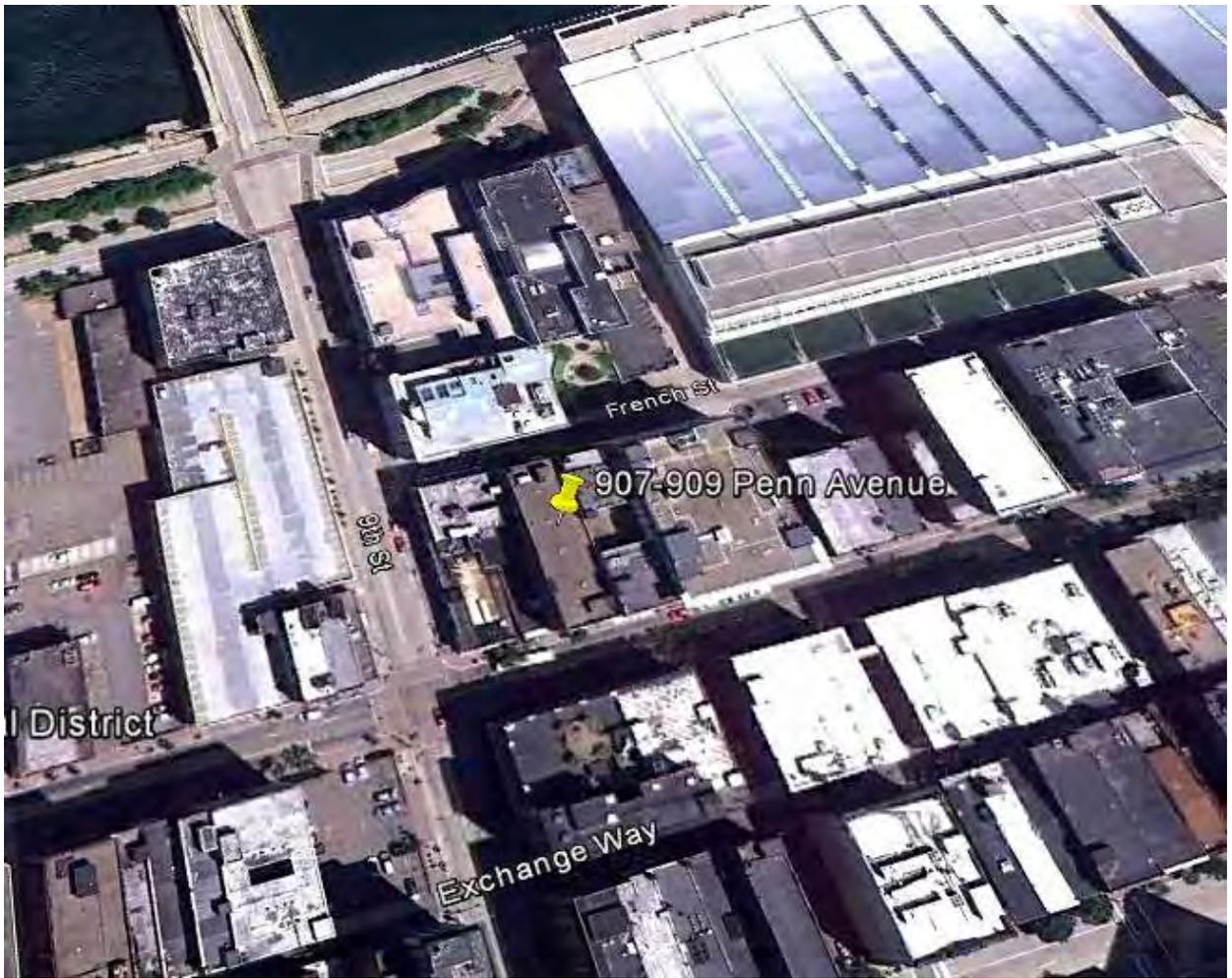
## PART 3 - EXECUTION

## 3.1 INSTALLATION

- A. Comply with manufacturer's written instructions for installing windows, hardware, accessories, and other components. For installation procedures and requirements not addressed in manufacturer's written instructions, comply with installation requirements in ASTM E 2112.
- B. Install windows level, plumb, square, true to line, without distortion or impeding thermal movement, anchored securely in place to structural support, and in proper relation to wall flashing and other adjacent construction to produce a complete, sound and weathertight construction.
- C. Install windows and components to drain condensation, water penetrating joints, and moisture migrating within windows to the exterior.
- D. Separate aluminum and other corrodible surfaces from sources of corrosion or electrolytic action at points of contact with other materials. Caulk per manufacturer's written instructions.
- E. Adjust operating sashes and hardware for a tight fit at contact points and weather stripping for smooth operation and weathertight closure.
- F. Clean exposed surfaces immediately after installing windows. Avoid damaging protective coatings and finishes. Remove excess sealants, glazing materials, dirt, and other substances.
- G. Remove and replace glass that has been broken, chipped, cracked, abraded, or damaged during construction period.

END OF SECTION 085113





907-909 Penn Avenue

French St

Exchange Way

19th St

District

## Landow Building Residential Conversion - Description and Scope of Work

The Landow Building is situated in Pittsburgh's 2nd Ward, on Penn Avenue downtown, between 9th Street and Garrison Place on the north side of the street.

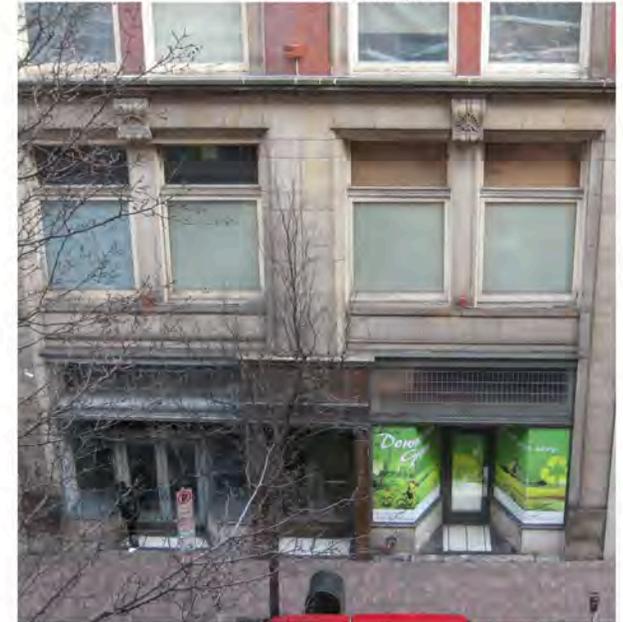
The construction date of the structure is not known. It's main façade to Penn Avenue is faced in sandstone at the first two floors, with a classically inspired bronze entry pediment. The two commercial spaces to the right and left of the main entry have a simple storefront, whose main characteristic is the leaded glass transom above it. The storefront seems to have been modified over the years but the leaded glass transom appears to be original. The upper floors are faced with brick with sandstone decorative moldings, lintels, and sills at the windows.

There is a 2' to 2'-6" wide masonry wall that divides the building in half on the first 5 floors. It is assumed that the half of the building to the east, 909, was built first. The structure on this side of the building consists of steel beams spanning between masonry walls. A one way cast in place concrete slab spans between the steel beams. The structure on the other side of the masonry bearing wall consists of concrete columns and beams, with a speed tile – concrete tee floor system spanning between the beams. At the 6th floor the building becomes one, with the concrete beams and columns forming the structure across 907 and 909. The main stair of the building alternates runs on either side of the center masonry bearing wall. The stair on the 907, or concrete frame side of the building is steel, while the stair runs on 909 side are wood. This all suggests that 909 was built first probably as a 5 story building. When 907 was built a new façade was added at the base to unite the two halves and two additional stories were added.

Presently the building is unoccupied. For the past several years it only had one tenant who occupied the 7th floor. The difficulty of leasing the property has been this division of the internal space by this masonry wall and the presence of a sloping concrete floor at the first floor of 909.

Penn Avenue Renaissance acquired the building in the summer of 2011. Indovina Associates has been working with Penn Avenue Renaissance to develop viable options for the renovation of the structure for residential occupancies at the upper floors and a new home for Mark's Grille at the 907 half of the first floor and the entire second floor.

To this end we propose only modest modification to the Penn Avenue façade. At the 907 side the existing modified storefront will be removed. A new folding door system will be added below the leaded glass transom. In this fashion the new restaurant will



1 - First Two Floor - 907 on Right, 909 on Left



2 - Floors 2, 3 & 4 - Note Shift in Brick Color

## Landow Building Residential Conversion - Description and Scope of Work

be allowed to spill out on to the sidewalk during favorable weather. The leaded glass transom above the storefront will remain.

Window sashes will be removed on the west portion of the 909 façade from floors 3 to 7 to allow for an inset outdoor deck for the units that will be built on the 909 side of the center bearing wall. This is the only window wall these units have. The masonry opening will remain the same and the frame will be kept in place. All other windows in the existing Penn Avenue façade will either be refurbished or replaced in kind.

On the 907 side of the center bearing wall Penn Avenue Renaissance is planning on acquiring the air rights over 905 Penn Avenue. To this extent we are proposing decks that will be hung from main concrete frame of 907 that will hang over 905 and provide tenants with much desired outdoor space and views to the City. The decks will project approximately 5'-0" out from the wall. Inset decks were considered but could not be much more than 3' deep given the 14'-9" +/- between the existing exterior wall and the existing egress stair wall. It was thought that decks and the accoutrements that tenants add to them could help brighten a presently monotonous brick and concrete wall. In addition to the decks glazed doors will be added to access the decks. These doors will be set back 3'-1" as required by building code.

Additionally since a significant portion of the brick infill between the concrete frame will have to be removed to add the decks, and since even if the brick wall were to remain it would have to be furred out at least 3 1/2" at the interior to accommodate insulation, a new infill wall with a metal face will be added between the concrete members. Because the new wall will probably be narrower than the existing brick wall it can be inset slightly from the concrete frame. This will add shadow lines and give the façade greater depth and visual interest.

This sidewall shares a property line with 905 Penn and with a 3'-0" wide easement between 907 and the rear of 135 Ninth Street. From the 4th story on up to the 7th story this sidewall presently has windows centrally located in nearly all bays. Windows in a wall located on a shared property line or so close to an adjacent building are no longer allowed by building code. However since the windows are in they can remain. The existing layout of the windows was considered very static and unappealing. New clear ceramic openings are proposed that would bring the building up to code and provide for a more dynamic and lively façade.

A two story penthouse will be added to the roof that will be set back from the existing



3 - Floors 5, 6, and 7



4- Parapet

## Landow Building Residential Conversion - Description and Scope of Work

parapet to try and lessen its impact. The penthouse will be skinned with terne coated steel or similar metal which will approximate the grays and whites often found in our sky.

All masonry and concrete will be repaired, cleaned and re-pointed on all sides of the building.



5 - Overall Penn Avenue Facade



6 - Storefront at 907 & Bronze Entry



7 - Storefront at 909 & Bronze Entry



8 - Sandstone Base First Two Floors



9 - Detail at Main Entry with Leaded Glass Transoms to Sides



10 - Detail Keystone Above Second Floor Windows 907



11 - Detail Keystone Windows Above Second Floor Windows 909



12 - Detail Start of Molding Surrounding Windows Continuous Flrs 3 to 5



13 - Detail End of Molding Surrounding Windows at Floor 5



14 - West Elevation View From Southwest Corner Ninth and Penn



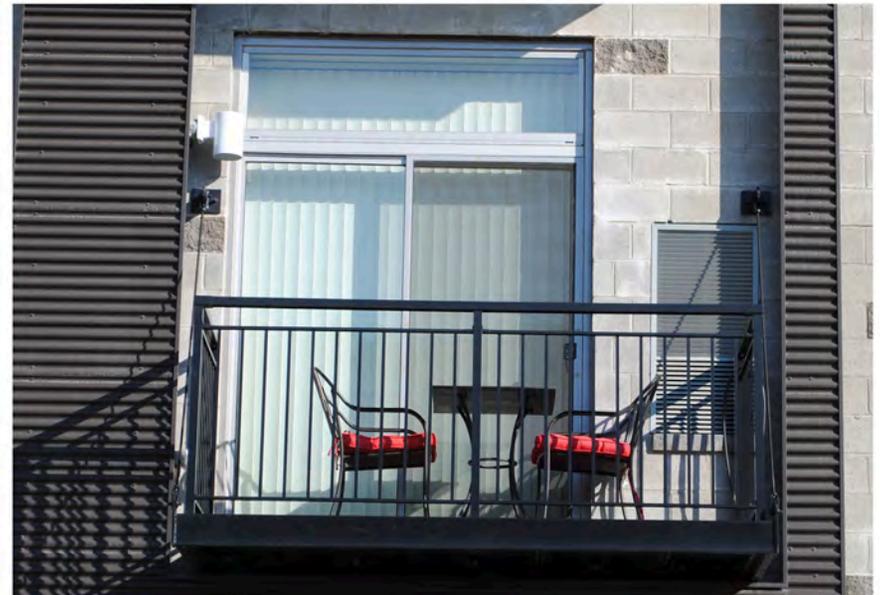
15 - Nanawall - Similar to Proposed for 907 Storefront



16 - Nanawall - Similar to proposed for 907 Storefront



17 - Metal Decks Similar to Proposed for Side Elevation



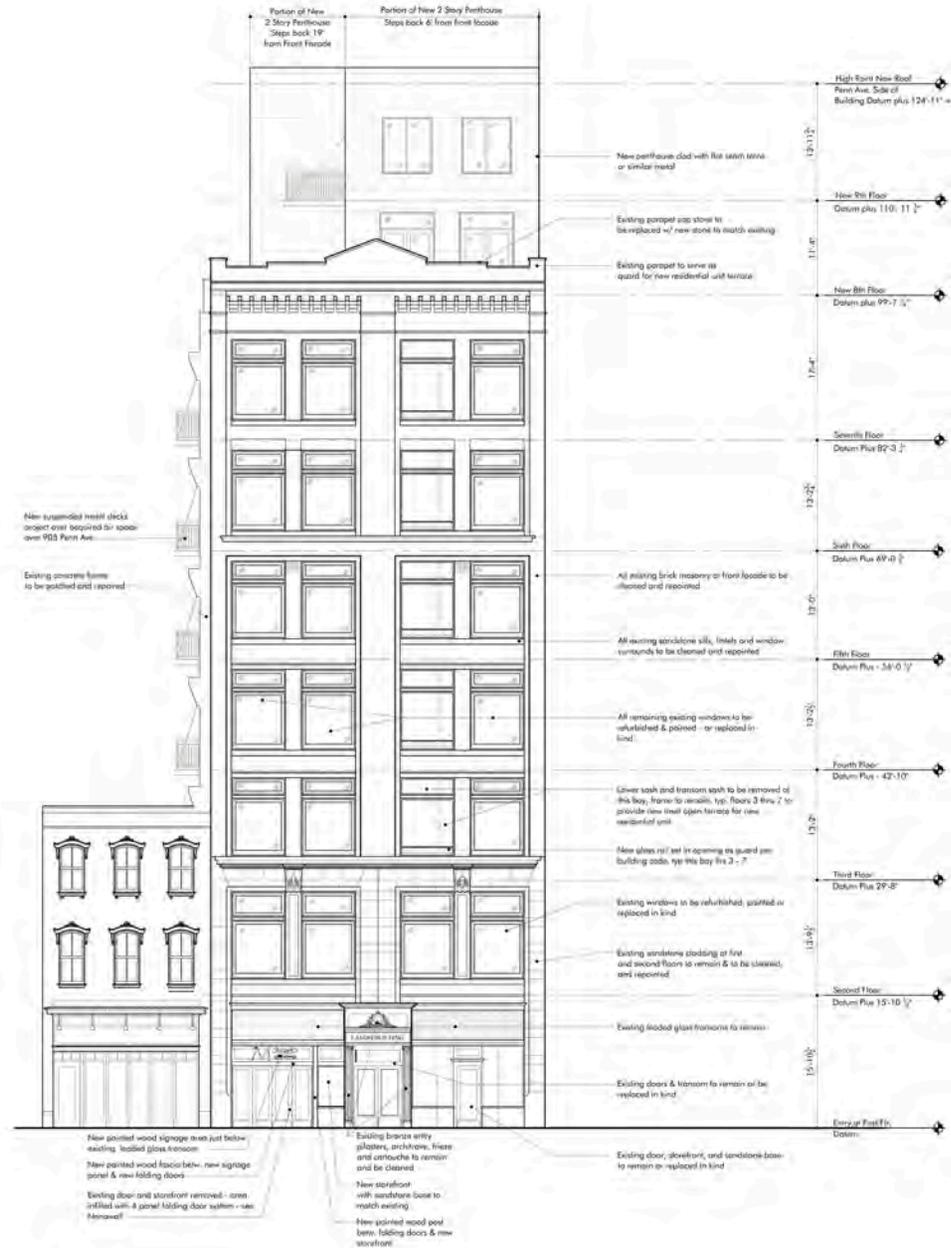
18 - Suspended Metal Deck Similar to Proposed Side Elevation



19 - Rendering of proposed building modifications

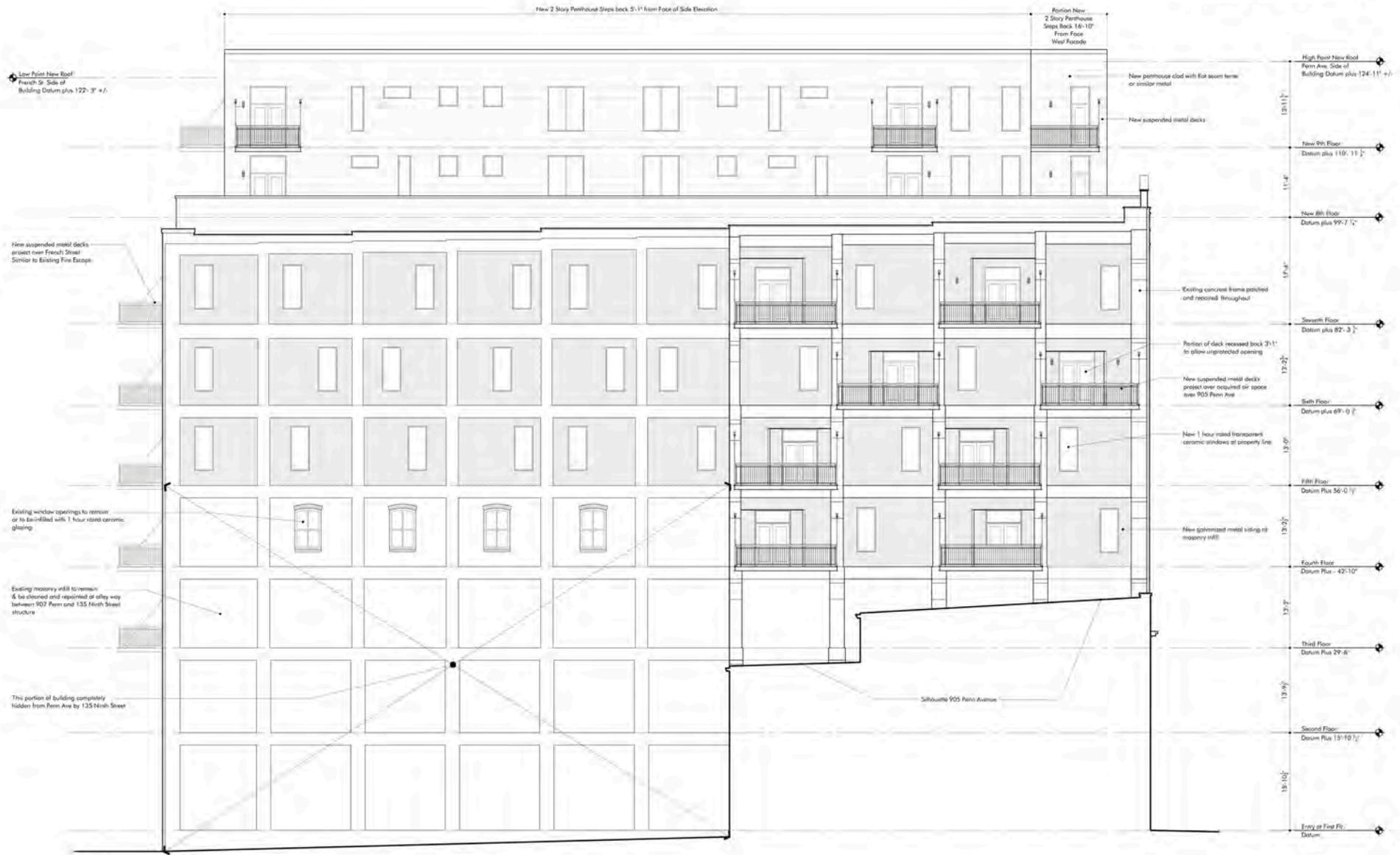


19 - Rendering in context

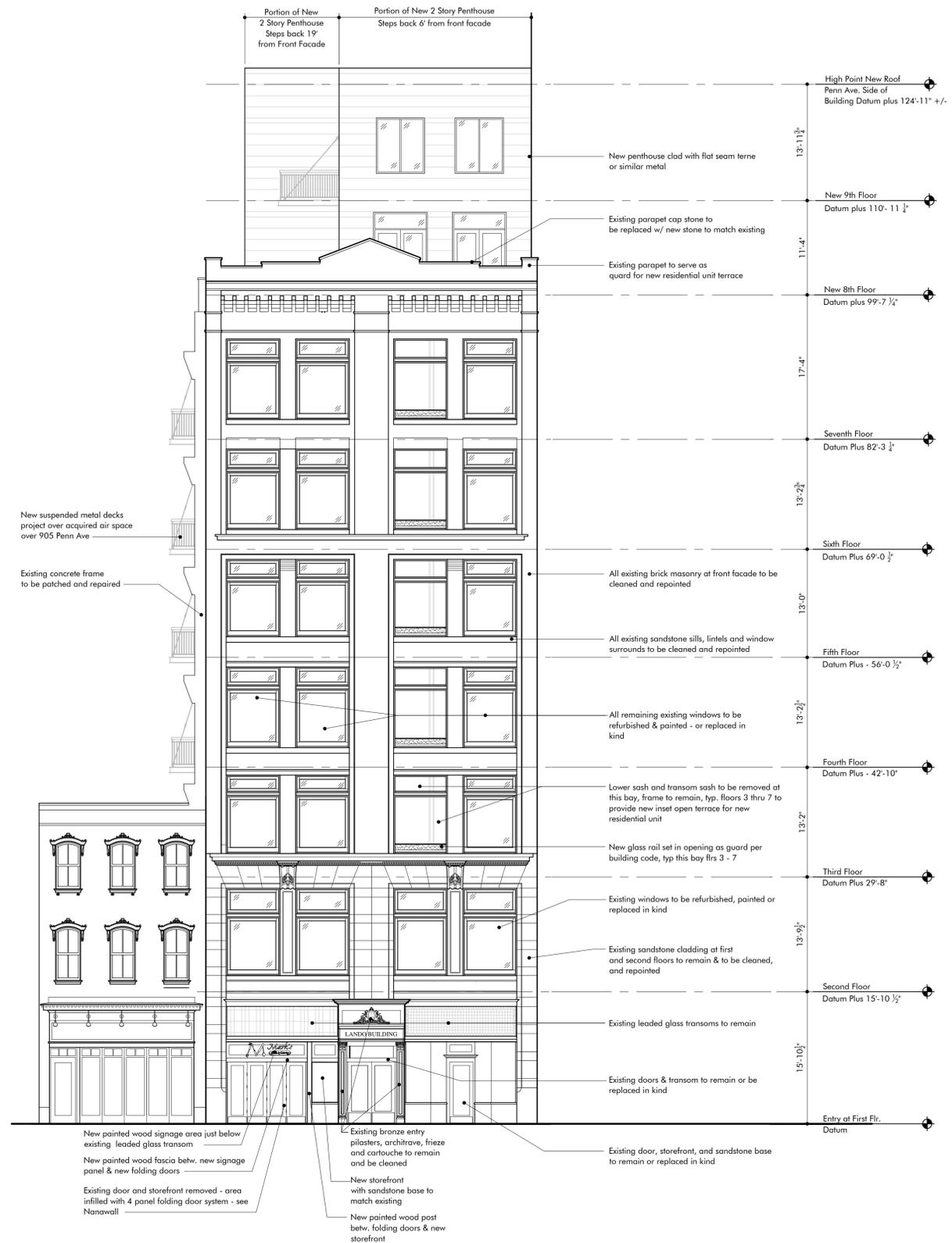


20 - Penn Avenue Elevation

Landow Building  
Residential Conversion - 11



21 - Western Elevation



**1** Penn Avenue Elevation  
1/8" = 1'-0"



**Lando Building**  
Residential Conversion  
Penn Avenue Renaissance, LP  
905 - 907 Penn Avenue  
Pittsburgh, PA

**Indovina Associates Architects**  
5880 Elsworth Ave.  
Pittsburgh, PA 15232  
p 412.363.3900  
f 412.363.0483

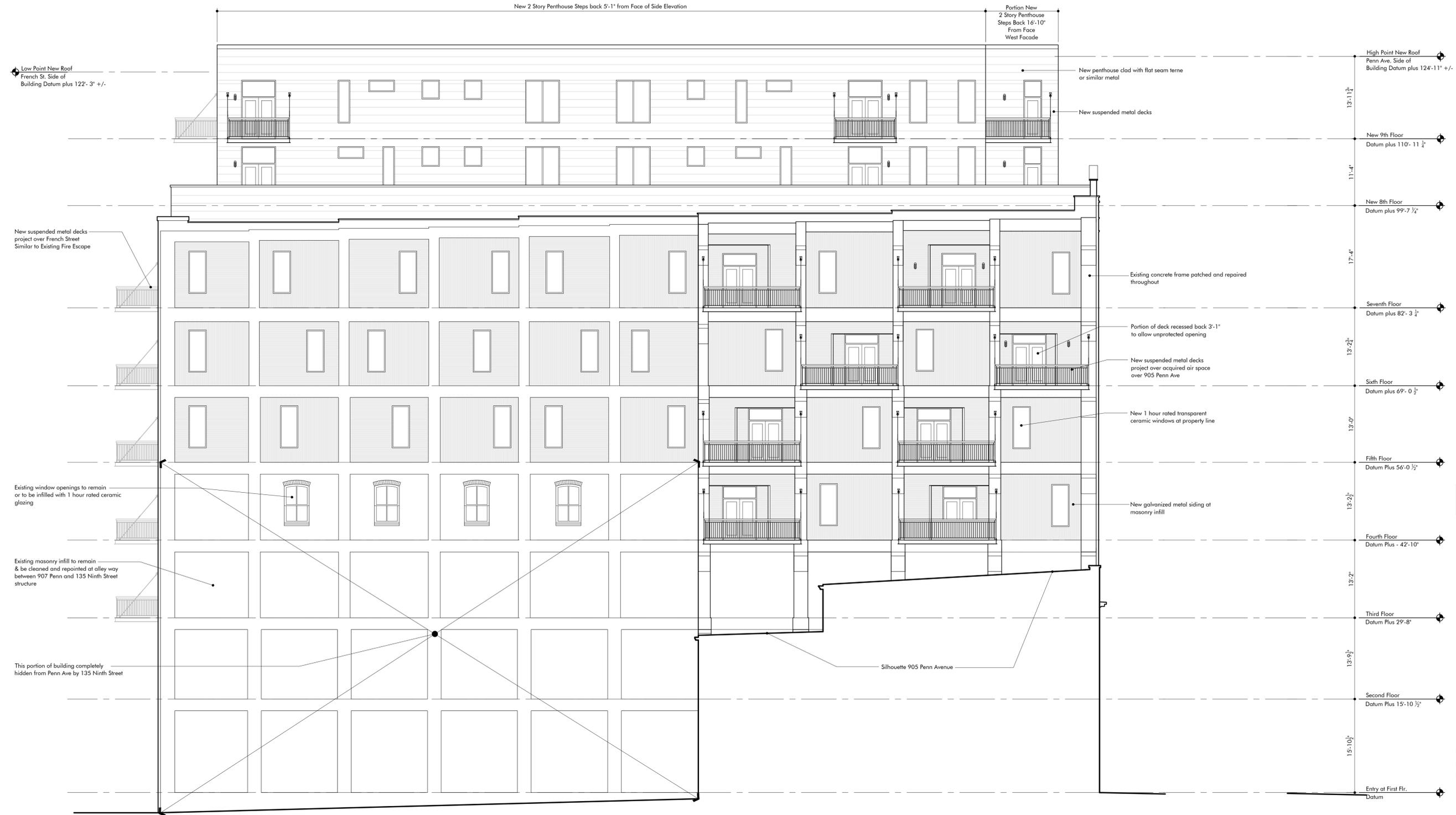
All dimensions and existing conditions shall be checked and verified by Contractor at the site. Any discrepancy shall be reported to the Architect in writing.  
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Project Number 11-37  
Date May 10, 2012  
Revisions

Elevations

Sheet No.

**A-2.1**



1 West (Side) Elevation  
1/8" = 1'-0"



**Lando Building**  
Condominium Conversion  
Penn Avenue Renaissance, LP  
905 - 907 Penn Avenue  
Pittsburgh, PA

**Indovina Associates Architects**

5880 Elsworth Ave.  
Pittsburgh, PA 15232  
p 412.363.3900  
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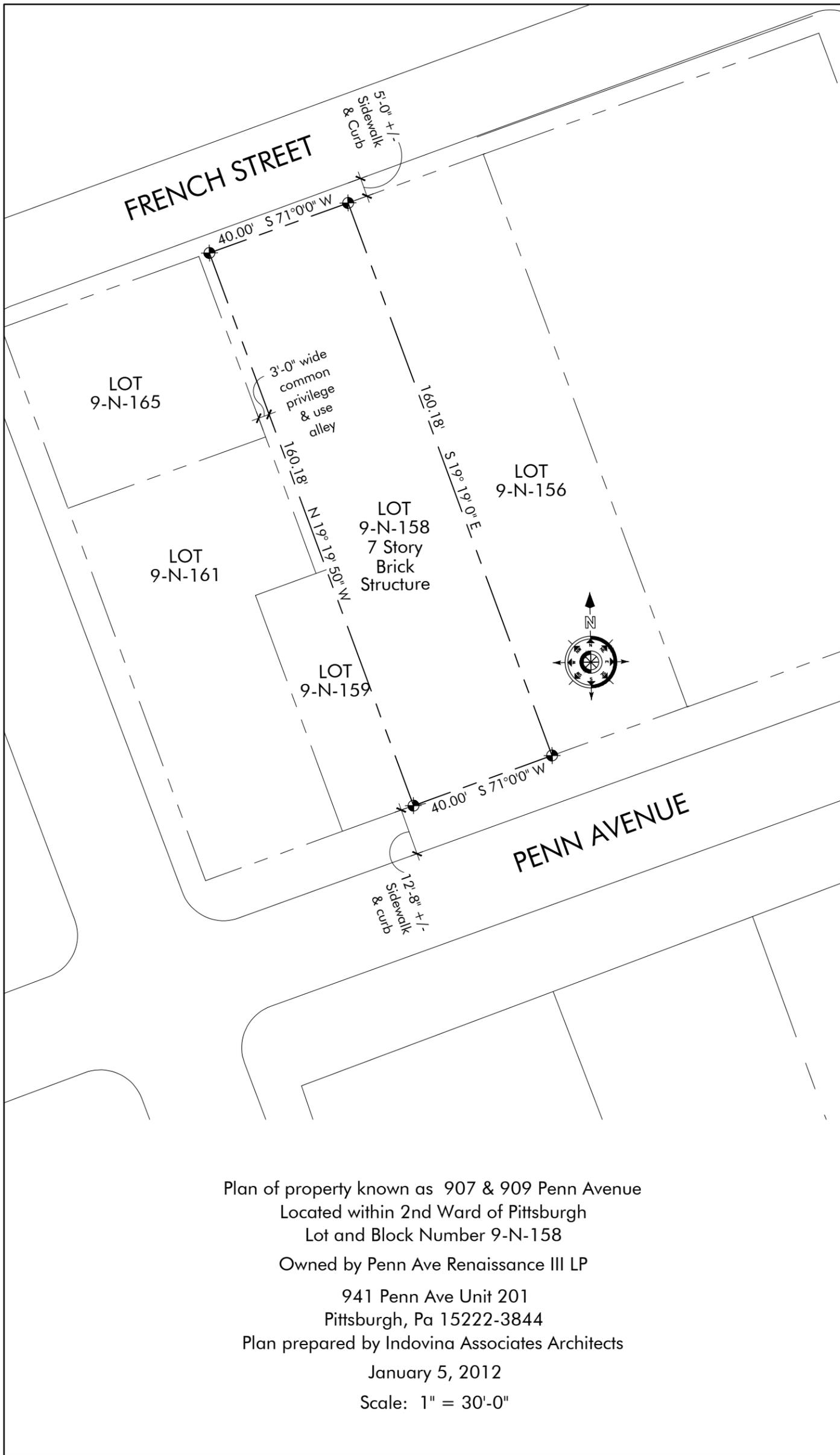
All dimensions and existing conditions shall be checked and verified by Contractor at the site. Any discrepancy shall be reported to the Architect in writing.  
© Indovina Associates Architects, L.L.C. 2010

Project Number 11-37  
Date May 10, 2012  
Revisions

Elevations

Sheet No.

**A-2.2**



Plan of property known as 907 & 909 Penn Avenue  
 Located within 2nd Ward of Pittsburgh  
 Lot and Block Number 9-N-158  
 Owned by Penn Ave Renaissance III LP  
 941 Penn Ave Unit 201  
 Pittsburgh, Pa 15222-3844  
 Plan prepared by Indovina Associates Architects  
 January 5, 2012  
 Scale: 1" = 30'-0"



Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

- Staff Use -

**DEADLINES:**  
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

**FEE SCHEDULE:** See attached  
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid.  \$ 100

Date Received: 5-15-12

Hearing Date: 6-6-12

Lot and Block #: 533-6-258 22-K-277  
21st ward

ADDRESS OF PROPERTY: 1416 N. FRANKLIN ST

HISTORIC DISTRICT: 21ST WARD

**OWNER**

Name: MICHELLE MORPHY  
 Address: 1416 N. FRANKLIN ST  
PEH. PA 15233  
 City, State, Zip: 412 335-5723  
 Phone: ( ) Fax: ( )  
 E-MAIL: \_\_\_\_\_

**APPLICANT**

Name: BILL MILLER  
 Address: 121 FIRESIDE DR  
NEWCASTLE PA 16  
 City, State, Zip: 724 6544561  
 Phone: ( ) Fax: ( )  
 E-MAIL: \_\_\_\_\_

REQUIRED ATTACHMENTS:  Drawings  Photographs  Renderings  Site Plan  Other

DETAILED DESCRIPTION OF PROPOSED WORK: 14 REPLACEMENT WINDOWS

**SIGNATURE**

Michelle Morphy, Owner  
(Bill Miller), Applicant

DATE 5/15/12











REPLACING  
with  
↓ ↓

# Window Comparison Sheet

	Alside 09L1 Centurion Lite	WeatherBeater Max 9900	WeatherBeater Plus 7700	WeatherBeater 5400
		Best 9900	Better 7700	Good 5400
<b>Frame</b>	1/2" spring Mechanical Flat exterior Sloped Sill No accessory groove No balance covers SS constant force coil	3/4" spring Fusion Welded Bevel Exterior Sloped Sill Accessory track in & out Balance Covers SS constant force coil	3/4" spring Fusion Welded Bevel Exterior Sloped Sill Accessory track in & out Balance Covers SS constant force coil	1/2" spring Fusion Welded Contoured Exterior Sloped Sill Accessory Track in & out No Balance Cover SS constant force coil
<b>Sash</b>	Dual Cam Lock (25"+) Mechanical Flat interior Interlock meeting Rail Lift Handles Tilt Latches (uncovered)	Dual Cam Locks-Sears Fusion Welded <b>Foam Filled</b> /Square Sash Interlock Meeting Rail Lift Rails Tilt Latches	Dual Cam Locks-Sears Fusion Welded Square Sash Interlock Meeting Rail Lift Rails Tilt Latches	Dual Cam Locks - Sears Fusion Welded Squared Sash Interlock Meeting Rail Extruded Rail Tilt Latches
<b>Glass</b>	Intercept Spacer Dual Pane Single strength 13/16" Intercept spacer 1/2" Set into sash Clear Air	Intercept Spacer Dual Pane Double Strength 7/8" Intercept spacer 1/2" Set into the Sash Soft Coat - Low E/ <b>SPF</b> Argon Filled	Intercept Spacer Dual Pane Double Strength 7/8" Intercept spacer 1/2" Set into the Sash Soft Coat - Low E Argon Filled	Intercept Spacer Dual Pane Single Strength 3/4" Intercept spacer 1/2" Set into the Sash Soft Coat - Low E Argon Filled
<b>Screens</b>	Aluminum roll formed Half-screen standard	Aluminum Extruded Frame Full Screen standard Fiberglass	Aluminum Extruded Frame Full Screen standard Fiberglass	Aluminum Extruded Frame Full Screen standard Fiberglass
<b>Colors</b>	White	White Tan <b>Clay</b> LWG	White Tan <b>Clay</b> LWG	White Tan <b>Clay</b>
<b>Grids</b>	White colonial flat	Brass <b>Contoured</b> White <b>Contoured</b> Tan <b>Contoured</b> Clay <b>Contoured</b> Woodgrain Contoured	Brass <b>Contoured</b> White <b>Contoured</b> Tan <b>Contoured</b> Clay <b>Contoured</b> Woodgrain Contoured	White <b>Contoured</b> Tan <b>Contoured</b> Clay <b>Contoured</b> Brass <b>Contoured</b>
<b>Options</b>	No brass option	No Brass Lift handles/Locks	No Brass Lift handles/Locks	No Brass Lift handles/Locks
<b>Thermal Performance</b> (Low e- SB60)				
<b>U-Factor</b>	0.33	<b>0.24</b>	<b>0.3</b>	<b>0.3</b>
<b>R-Value</b>	3.03	<b>4.24</b>	<b>3.33</b>	<b>3.33</b>
<b>SHGC</b>	0.29	<b>0.27</b>	<b>0.29</b>	0.3
<b>Visible Transmittance</b>	0.54	0.46	<b>0.52</b>	<b>0.52</b>
<b>UV Block</b>	0.84	<b>0.99</b>	0.8	0.8
<b>Warranty - workmanship - original owner</b>				
<b>Vinyl</b>	Lifetime	Lifetime	Lifetime	Lifetime
<b>Hardware</b>	Lifetime	Lifetime	Lifetime	Lifetime
<b>Screens</b>	Lifetime	Lifetime	Lifetime	Lifetime
<b>Glass - obstruction</b>	Lifetime	0-20yrs 100%	0-10yrs 100%	0-5 yrs 100%
	Lifetime	Lifetime	Lifetime	Lifetime
<b>Glass - breakage</b>	<b>Unavailable</b>	31 plus 50%	20yrs plus 0%	10 Yrs
<b>Labor</b>	1 year	Lifetime	20 Yrs	10 Yrs
<b>Types</b>	Double hung only	3 year	2 year	1 year
	Double hung only	Double Hung Picture Window Casement, Sliders Bays, Bows Patio Door- Std ONLY Garden Windows Geometrics Endvent	Double Hung Picture Window Casement, Sliders Bays, Bows Patio Door- Std ONLY Garden Windows Geometrics Endvent	Double Hung Picture Window Casement, Sliders Bays, Bows Patio Door- Std ONLY Garden Windows Geometrics Endvent



**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

2 SOUTH MARKET PLACE  
PITTSBURGH, PA 15222

**OWNER:**

NAME: NICHOLAS & PATRINOS, LLC  
 ADDRESS: 79 S 23RD ST.  
PITTSBURGH, PA 15203  
 PHONE: 412-325-2455  
 EMAIL: MKBATSAS@PRIMANTI.BROS.COM

**STAFF USE ONLY:**

DATE RECEIVED: 5-17-12  
 LOT AND BLOCK NUMBER: 1-H-223  
 WARD: 1  
 FEE PAID: 670

**DISTRICT:**

02745 Market Square

**APPLICANT:**

NAME: MICHAEL KRATSAS  
 ADDRESS: 79 S 23RD ST.  
PGH, PA 15203  
 PHONE: 412-325-2455  
 EMAIL: MKRATSAS@PRIMANTI.BROS.COM

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

REPLACEMENT OF THE EXISTING CANVAS AWNING WITH A  
SUSPENDED STEEL CANOPY COVERING THE SAME SIDEWALK SEATING AREA.

**SIGNATURES:**

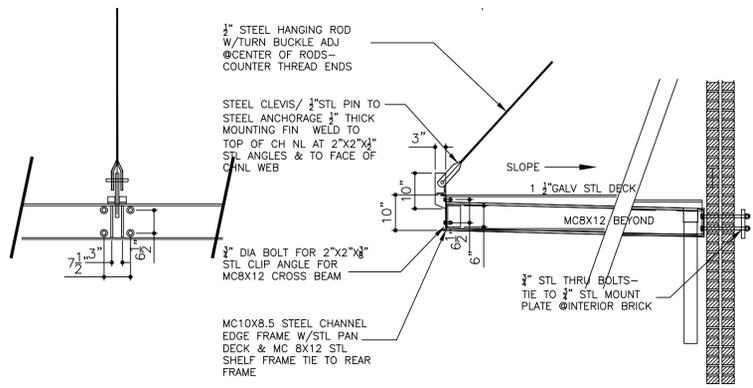
OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPLICANT: [Signature] DATE: MAY 14, 2012

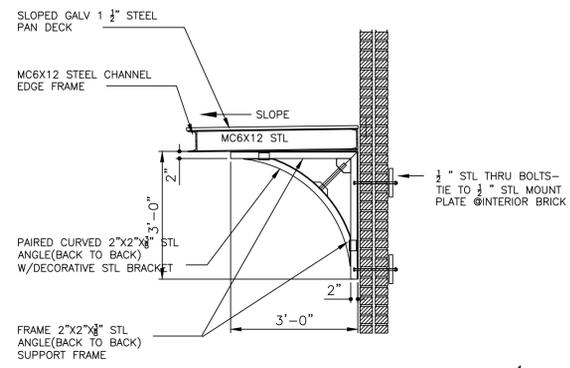




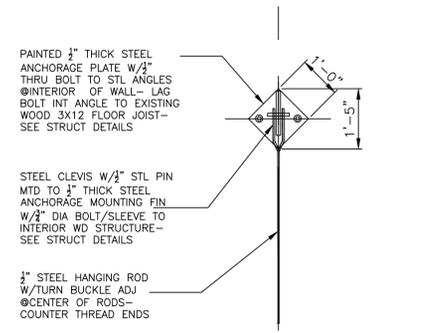
et Square



CANOPY DETAIL

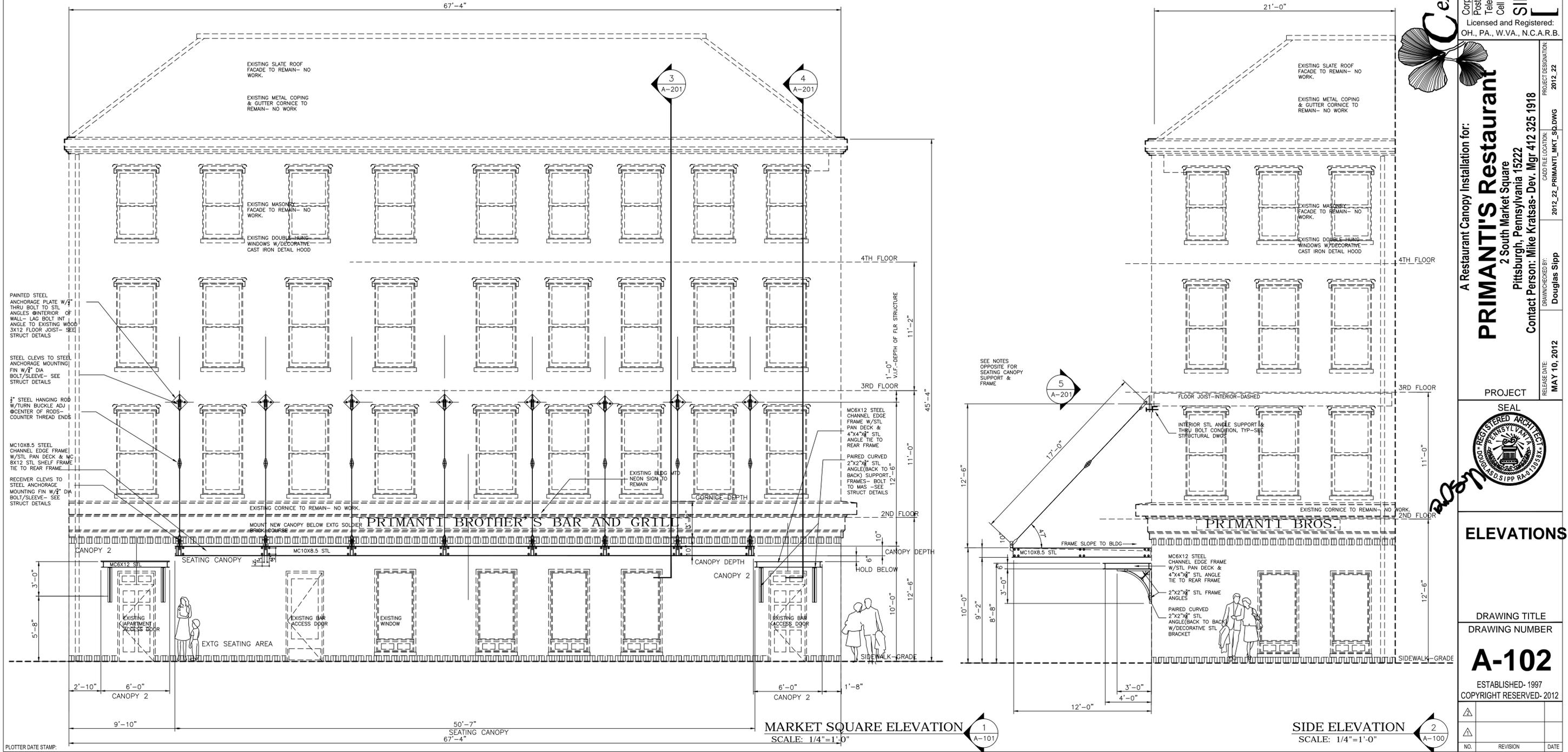


CANOPY 2 SECTION  
SCALE: 1/2" = 1'-0"



BRACKET ELEVATION  
SCALE: 1/2" = 1'-0"

SEATING CANOPY SECTION  
SCALE: 1/2" = 1'-0"

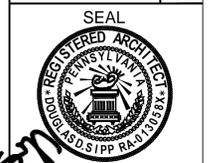


MARKET SQUARE ELEVATION  
SCALE: 1/4" = 1'-0"

SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

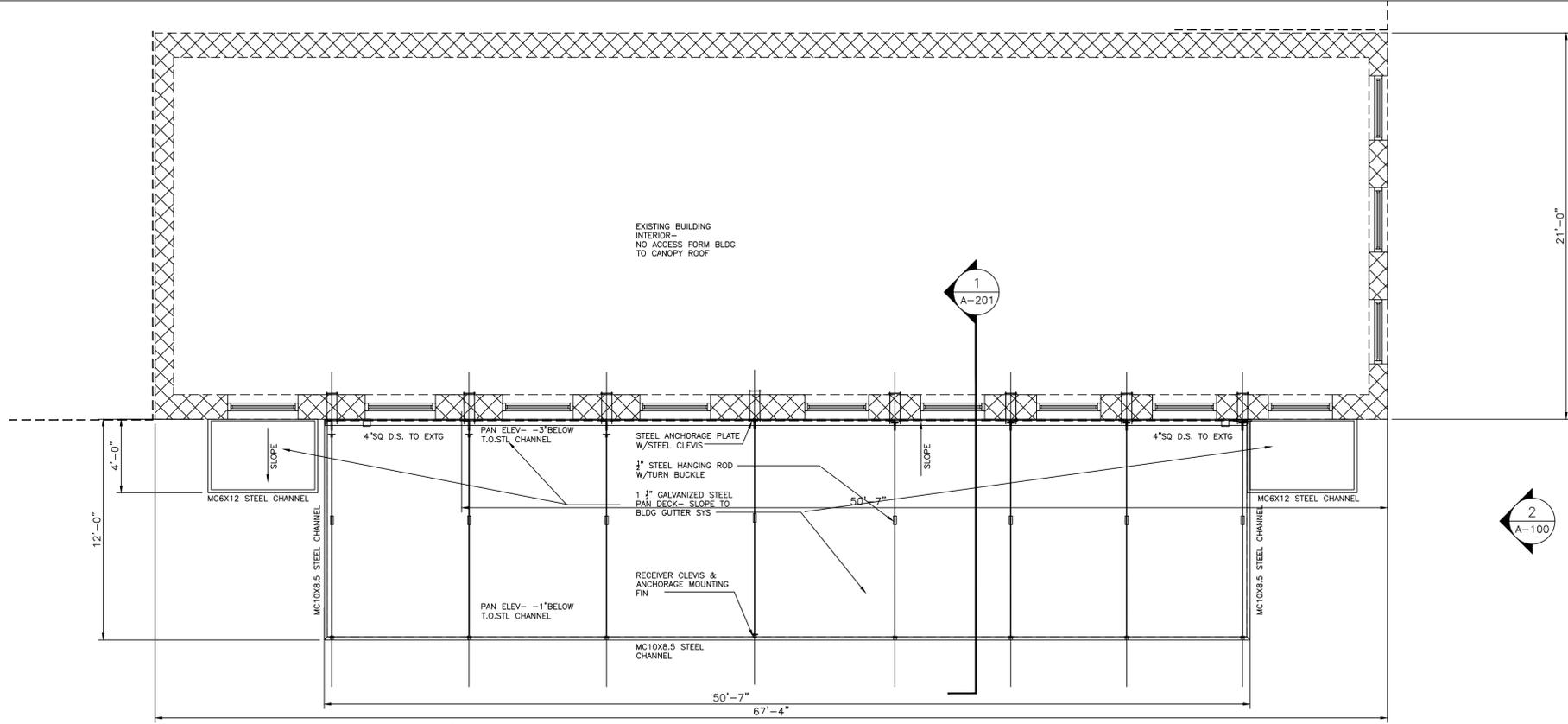
**Celebrating 15 years of Success**  
 1997-2012  
 11524 Market Street  
 North Lima, Ohio 44452-332  
 Tele: 330.549.0011 Fax: 330.549.0012  
 Cell: 330.651.7543  
 Call: 724.544.8160  
**SIPP + TEPE ARCHITECTS, L.L.C.**  
**[S+T] ARCH**

A Restaurant Canopy Installation for:  
**PRIMANTI'S Restaurant**  
 2 South Market Square  
 Pittsburgh, Pennsylvania 15222  
 Contact Person: Mike Kratsas - Dev. Mgr 412 325 1918  
 DRAWN/CHECKED BY: Douglas Sipp  
 PROJECT DESIGNATION: 2012\_22  
 CADD FILE LOCATION: 2012\_22\_PRIMANTI\_MKT\_SQ.DWG  
 RELEASE DATE: MAY 10, 2012



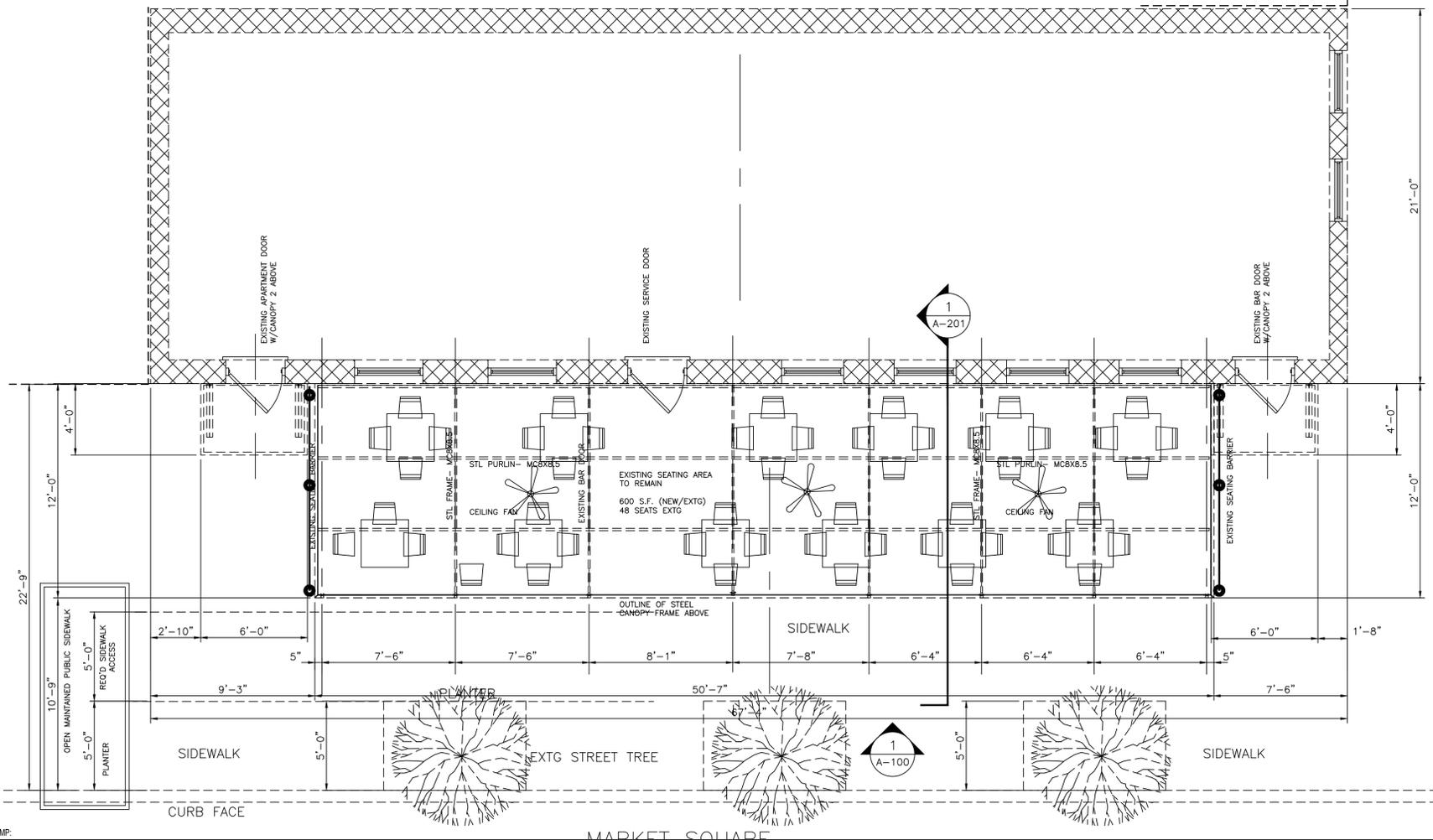
**ELEVATIONS**  
 DRAWING TITLE  
 DRAWING NUMBER  
**A-102**  
 ESTABLISHED- 1997  
 COPYRIGHT RESERVED- 2012

NO.	REVISION	DATE



ROOF PLAN

SCALE: 1/4"=1'-0"



FLOOR PLAN- GROUND

SCALE: 1/4"=1'-0"



PLOTTER DATE STAMP:

**Celebrating 15 years of Success**  
1997-2012

Corporate Center:  
11524 Market Street  
North Lima, Ohio 44452-332  
Post Office Box 332  
Tele. 330.549.0011  
Fax: 330.549.0012  
Cell (Tepel) : 330.651.7643

**SIPP + TEPE ARCHITECTS, L.L.C.**  
**[S + T] ARCH**

Licensed and Registered:  
OH., PA., W.VA., N.C.A.R.B.

A Restaurant Canopy Installation for:

**PRIMANTI'S Restaurant**  
2 South Market Square  
Pittsburgh, Pennsylvania 15222

Contact Person: Mike Kratsas - Dev. Mgr 412 325 1918

RELEASE DATE: MAY 10, 2012  
DRAWN/CHECKED BY: Douglas Sipp  
CADD FILE LOCATION: 2012\_22\_PRIMANTI\_MKT\_SO.DWG  
PROJECT DESIGNATION: 2012\_22

PROJECT

SEAL



**CANOPY PLANS**

DRAWING TITLE  
DRAWING NUMBER

**A-200**

ESTABLISHED- 1997  
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NO.	REVISION	DATE



ginkoaceg

**Celebrating 15 years of Success**  
1997-2012

Corporate Center:  
11524 Market Street  
North Lima, Ohio 44132-332  
Post Office Box 332  
Tele: 330.549.0011  
Cell (Tepel): 330.651.7543  
Fax: 330.549.0012  
Cell (Tepel): 330.651.7543

**SIPP + TEPE ARCHITECTS, L.L.C.**  
**[S + T] ARCH**

Licensed and Registered:  
OH, PA, WVA, N.C.A.R.B.

A Restaurant Canopy Installation for:

**PRIMANT'S Restaurant**  
2 South Market Square  
Pittsburgh, Pennsylvania 15222  
Contact Person: Mike Kratsas-Dev. Mgr 412 325 1918

COO/FILE LOCATION: 2012\_22\_PRIMANT\_MKT\_SQ.DWG  
DRAWING NUMBER: 2012\_22

PROJECT  
SEAL

PERSPECTIVE

DRAWING TITLE  
DRAWING NUMBER  
**A-102**  
ESTABLISHED- 1997  
COPYRIGHT RESERVED- 2012

NO.	REVISION	DATE

**PRESENTATION PERSPECTIVE**  
SCALE: NONE





Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

21 MARKET SQUARE  
 SIENNA RESTAURANT

**STAFF USE ONLY:**

DATE RECEIVED: 5-17-12  
 LOT AND BLOCK NUMBER: 1-D-126  
 WARD: 1  
 FEE PAID: 210  
 DISTRICT: 02745

**OWNER:**

NAME: TOM CERTO GEMINI HOLDINGS  
 ADDRESS: 500 THREE PPA PLACE  
 PEN. PA. 15222  
 PHONE: 412.916.7902  
 EMAIL: tcertoegmhold.com

**APPLICANT:**

NAME: SIPP + TERE ARCHITECTS LLC  
 ADDRESS: P.O. BOX  
 N. LIMA, OH. 44452  
 PHONE: 724.544.8160  
 EMAIL: ddsarchc.yahoo.com

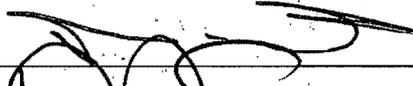
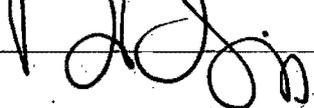
**REQUIRED ATTACHMENTS:**

- Drawings
- Photographs
- Renderings
- Site Plan
- Other

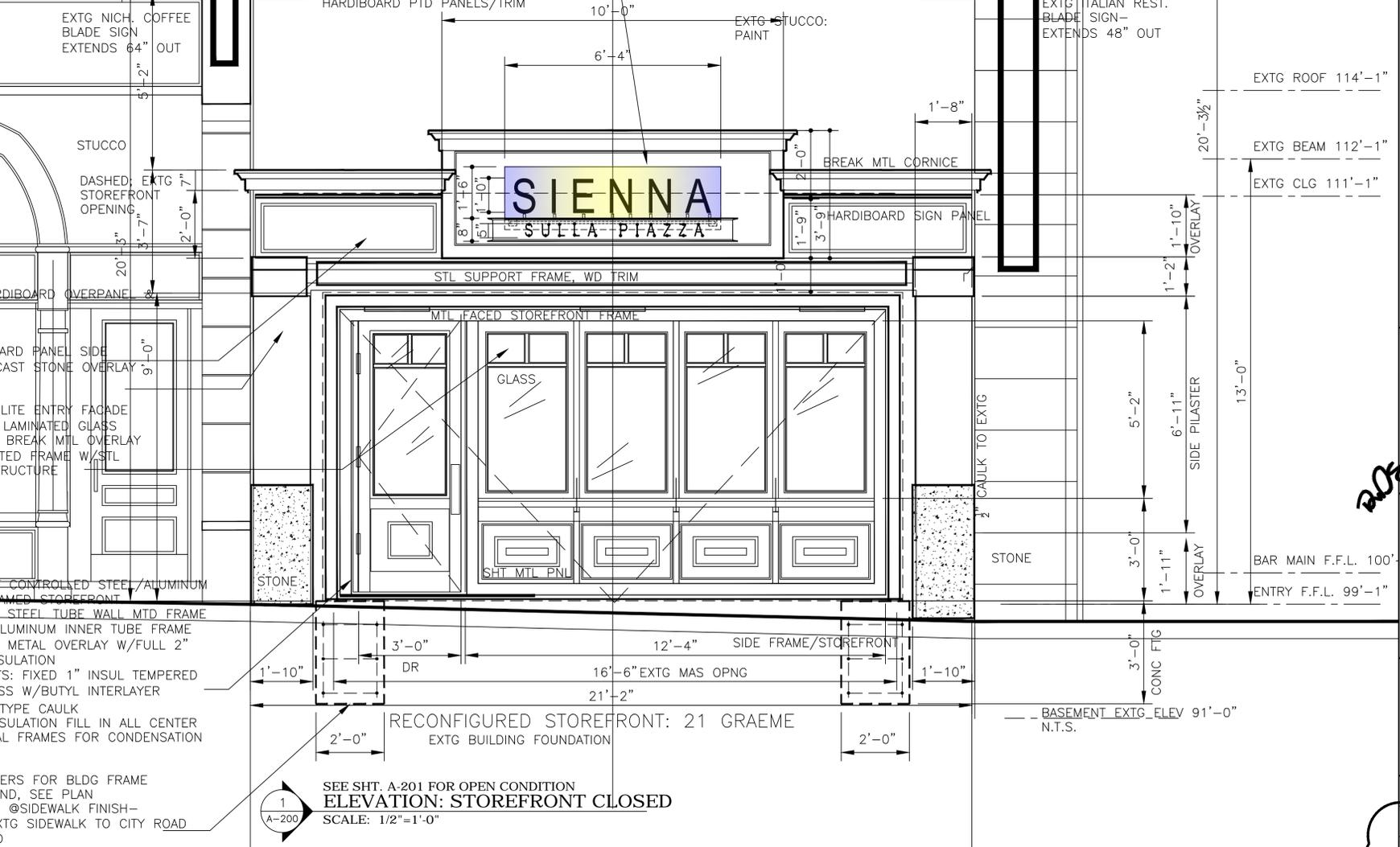
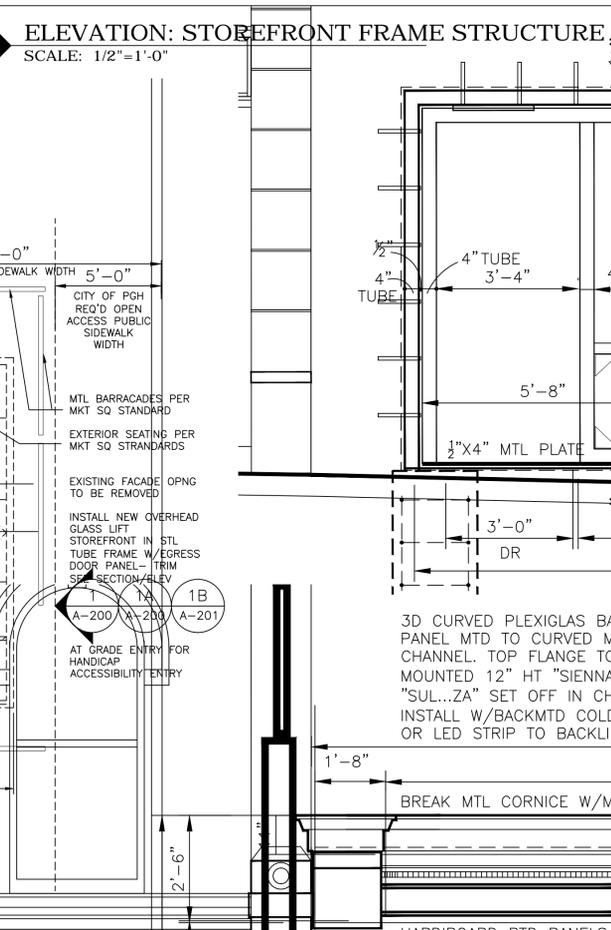
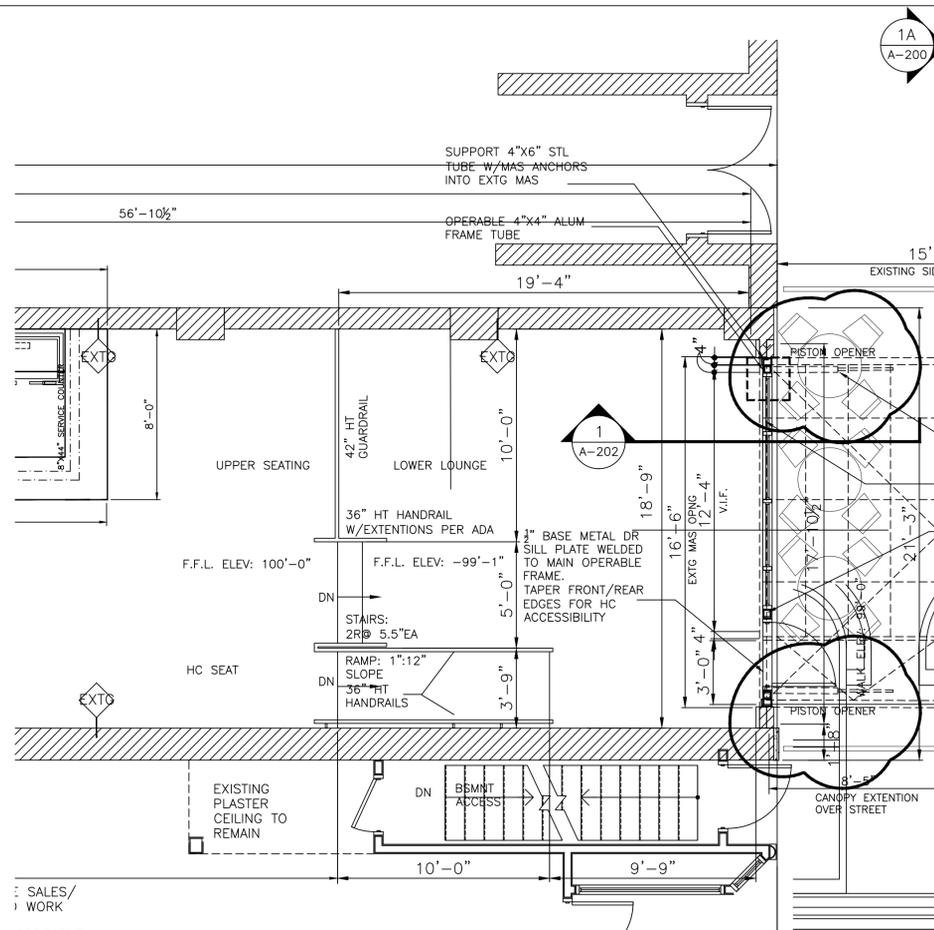
**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

INSTALLATION OF CURVED REAR LIGHTED RESTAURANT SIGNAGE.

**SIGNATURES:**

OWNER:  DATE: 5/16/12  
 APPLICANT:  a.l.b. DATE: May 11, 2012





**PROJECT OPERABLE STOREFRONT FOR:**

**SIENNA**

**SULLA PIAZZA RESTAURANT**

**21 MARKET STREET (FORMERLY GRAEME STREET)**

**CITY OF PITTSBURGH, ALLEGHENY COUNTY, PENNSYLVANIA 15222**

**CONTACT: TOM CERTO: OWNER 412.916.7902 CELL**

**CONTRACTOR: DENNIS HAUS PBI CONSTRUCITON 724.584.8499 CELL**

EXTG NICH. COFFEE BLADE SIGN EXTENDS 64" OUT

STUCCO

DASHED: EXTG STOREFRONT OPENING

NEW PTD HARDIBOARD OVERPANE COPING

NEW HARDIBOARD PANEL SIDE PILASTER W/CAST STONE OVERLAY BASE

NEW DIVIDED LITE ENTRY FACADE W/TEMPERED LAMINATED GLASS INSERTS INTO BREAK MTL OVERLAY INFILL INSULATED FRAME W/STL TUBE SUB STRUCTURE

HYDRAULIC LIFT CONTROLLED STEEL/ALUMINUM WELD TUBE FRAMED STOREFRONT CONSTRUCTION: STEEL TUBE W/MTD FRAME W/OPENABLE ALUMINUM INNER TUBE FRAME W/24GA SHEET METAL OVERLAY W/FULL 2" R-15 RIGID INSULATION WINDOW INSERTS: FIXED 1" INSUL TEMPERED LAMINATED GLASS W/BUTYL INTERLAYER FULL 3/8" ROPE TYPE CAULK NOTE: FOAM INSULATION FILL IN ALL CENTER VOIDS OF METAL FRAMES FOR CONDENSATION CONTROL

CONC REINF PIERS FOR BLDG FRAME SUPPORT BEYOND. SEE PLAN HOLD T.O.CONC @SIDEWALK FINISH-PATCH/SEAL EXTG SIDEWALK TO CITY ROAD DEPT STANDARD

12" HILTI MAS ANCHORS @16" O/C - FLUSH HEADS COUNTERSUNK INTO FRAME

G.C. TO INSTALL FOAM SEAL @ALL EDGES OF OPNG AFTER FRAME CLOSED/LOCKED INTO POSITION TO CONTROL INFILTRATION

**IS + T J ARCH**

**SIPP + TEPE ARCHITECTS, L.L.C.**

11524 Market Street  
North Lima, Ohio 44142-332  
Tel: 330.549.0011  
Fax: 330.549.0012  
Cell (Tep): 330.661.7543

Corporate Center  
Post Office Box 332  
Tel: 330.549.0011  
Cell (Sipp) : 724.544.8160

15 years of Success  
1997-2012

ginkgocega

**SIENNA- SULLA PIAZZA**

**21 Market Square- West**

**City of Pittsburgh, Pennsylvania 15129**

**Contact Person: Tom Certo 412-916-7902**

PROJECT DESIGNATION: 2009-28

2011-41 SIENNA\_OPERABLE FACADE.DWG

DD/SIPP

APRIL 21, 2012

**ELEVATION + PLAN**

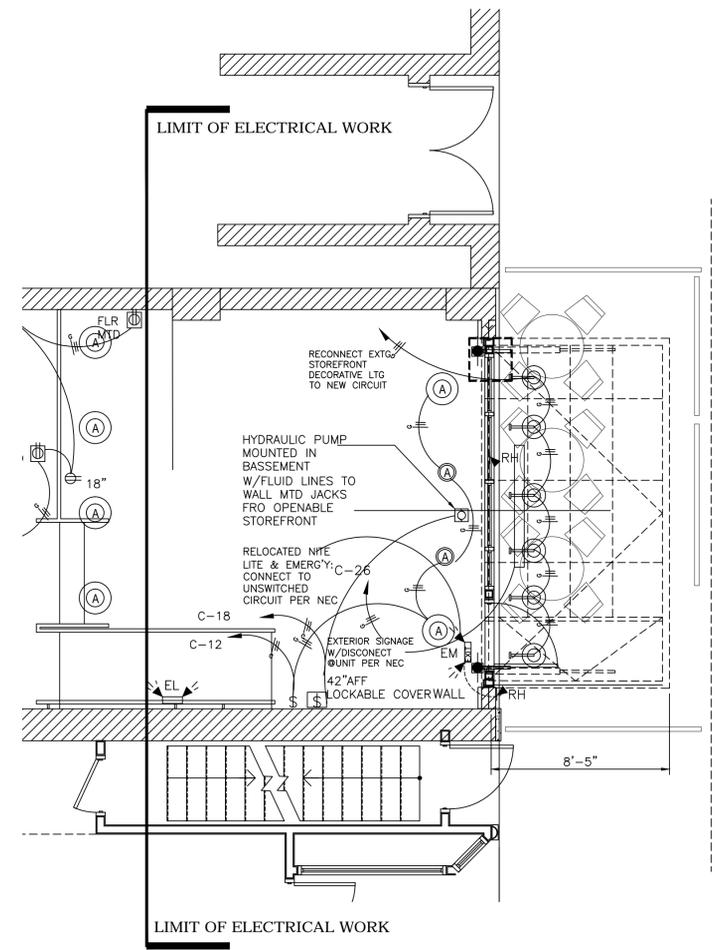
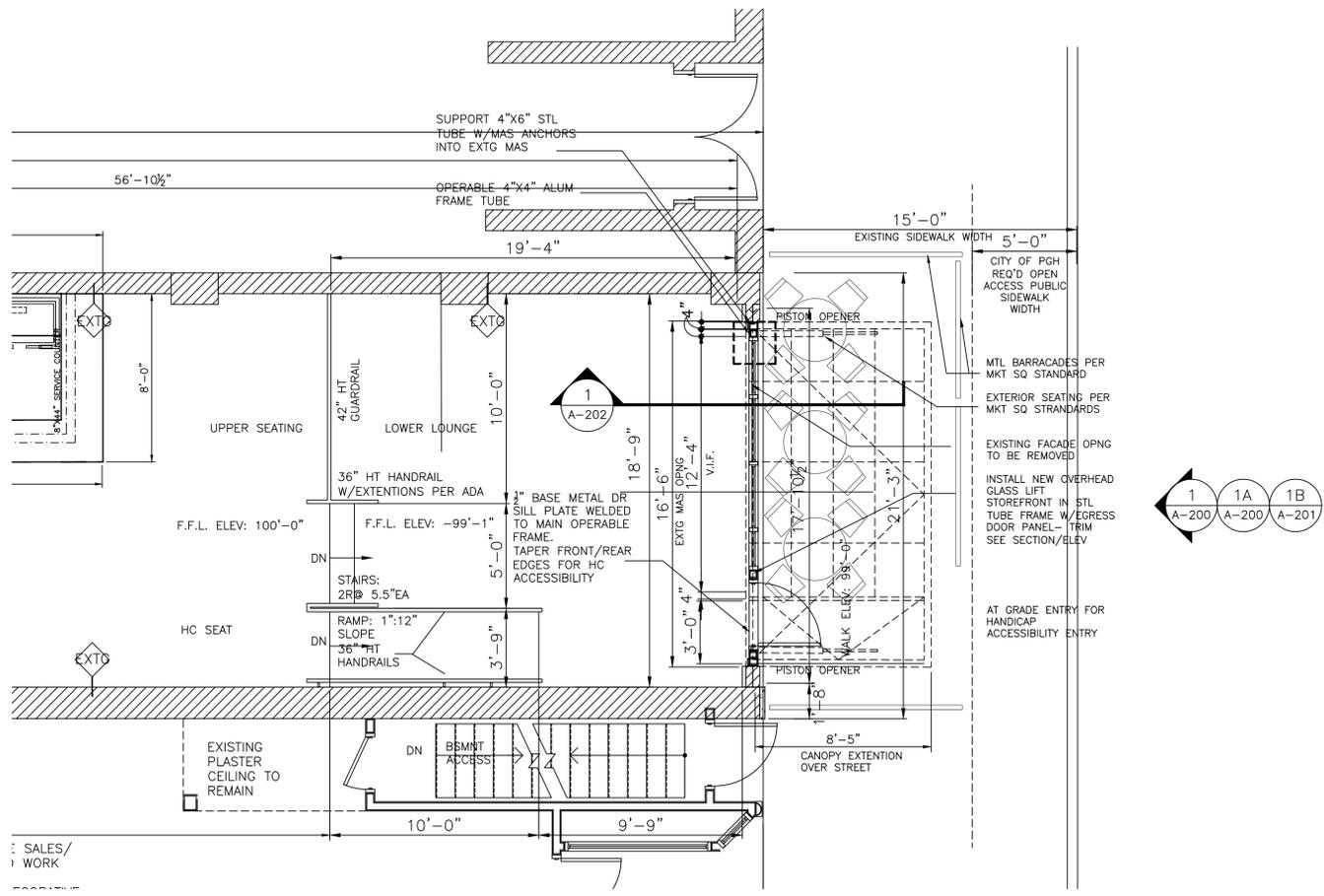
DRAWING TITLE: ELEVATION + PLAN

DRAWING NUMBER: A-200

ESTABLISHED- 1997

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NO. REVISION DATE

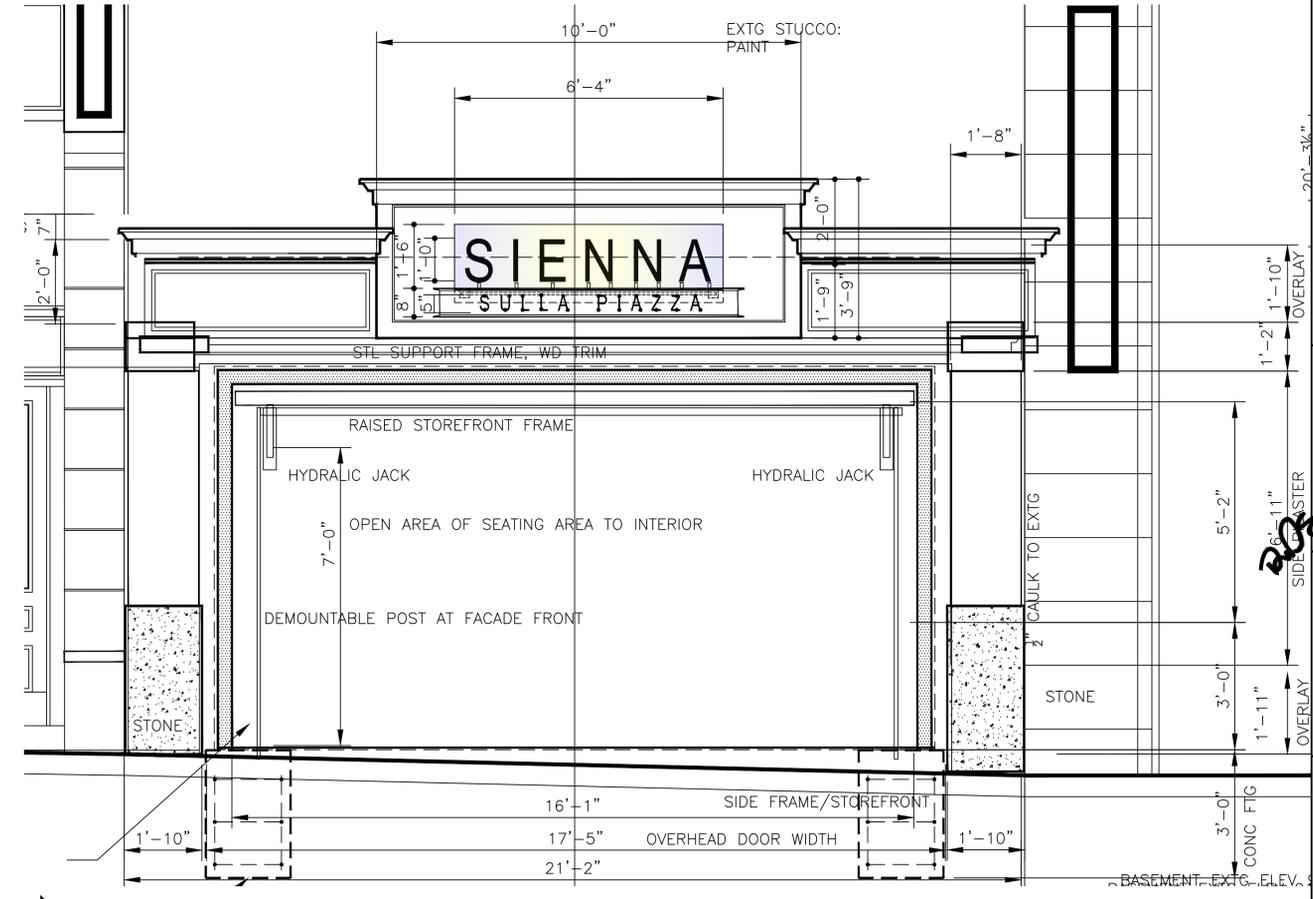


**PARTIAL FLOOR PLAN**  
SCALE: 1/2"=1'-0"

**ELECTRICAL FLOOR PLAN**  
SCALE: 1/2"=1'-0"

MARK	MANUF	DESCRIPTION	LAMPS	REMARKS
	LITHONIA	LITHONIA #2GT8 3 32 A12% ADDE. LINEAR FLOURESCENT LIGHTING LAMP # 4P54A35HO/ECO (OR SIMILAR)	3-F32T8	MIRRORED REFLECTOR
2x4-TYP	LITHONIA	2'X4' LENSED FLOURESCENT TROFFER: 2SPX 2 32 FW A12 GEB 120-1-60HZ W/ELECTRONIC BALLAST	2-F32T8	PATTERN 12 ACRYLIC LENSE SOLID DESIGNATION: NITE ALWAYS ON CIRCUIT
1x4	LITHONIA	12'X4' LENSED FLOURESCENT TROFFER: 2SPX 2 32 FW A12 GEB 120-1-60HZ W/ELECTRONIC BALLAST	2-F32T8	PATTERN 12 ACRYLIC LENSE SOLID DESIGNATION: NITE ALWAYS ON CIRCUIT
2x2	LITHONIA	2'X2' LENSED FLOURESCENT TROFFER: 2SPX 3 CF40 FW A12 GEB 120-1-60HZ W/ELECTRONIC BALLAST	1-CF40 40W TT5	PATTERN 12 ACRYLIC LENSE
	LITHONIA	L-232 120 GEBI05 GENERAL SURFACE MOUNTED LIGHTING	1-F22T8	PATTERN 12 ACRYLIC LENSE
	LITHONIA	6" LENSED FLOURESCENT DOWNLIGHT: LP6F 26DTT 120 GEB10 W/6C3A CLEAR SPECULAR CONE REFLECTOR & WHITE TRIM 120-1-60HZ W/ELECTRONIC BALLAST	1-26W TWIN TUBE 26DTT	
	LITHONIA	HISTORICAL ACCENT HOODED PENDANT LAMP ON CORD: 120-1-60HZ	1-75W A INCAND	INSTALL SHATTERRESISTANT COATED BULBS OVER FOOD PREP AREAS PER HEALTH DEPT HOLD B.O.FIXTURE @108"-0" A.F.F. J BOX ON A.C.T. HOLD CLIP FOR MOUNTING
	BROAN	EXHAUST FAN 3 SONE 120V SEE SPECS ON SHT M-200	NONE	E.C. TO WIRE TO LIGHTS, M.C. TO SUPPLY/SET IN CLG INTERGRAL THERMAL OVERLOAD PROTECTION REQ'D ON UNIT AS PER NEC 430.32 (D)(1)
EM	BEST	EMERGENCY COMBO EXIT LT LED 2HEAD 120-277V BATT B/U	INCL.	CEILING OR WALL MOUNTED: DIRECTIONAL KEYING FOR OCCUPANTS
EL	BEST	EMERGENCY LIGHT ONLY, 2 HEAD W/BATTERY B/U 120-277V	INCL.	CEILING OR WALL MOUNTED: DIRECTIONAL KEYING FOR OCCUPANTS
EP	BEST	EMERGENCY EXIT SIGN LED ONLY120-277V BATT B/U REMOTE CAP	INCL.	CEILING OR WALL MOUNTED: DIRECTIONAL KEYING FOR OCCUPANTS
RH	BEST	REMOTE WEATHERPROOF HEAD & MOUNT 120V, TIE TO EXIT LT PER IBC 1006.1	1-8W INCAND	REPLACE EXISTING EXTERIOR LOCATIONS OR ADD NEW PER FIELD REVIEW

**EMERGENCY/ LTG NOTES:**  
MOUNT ALL EMERGENCY LTG PER MBC @ MIN. 108" A.F.F., 1/2" EMT CONDUIT CONNECTION. ALL EMERGENCY LIGHTING TO BE ON LOCAL CIRCUIT AHEAD OF SWITCH PER NEC. E.C. TO MAINTAIN & VERIFY MIN ONE FOOTCANDLE LIGHTING AT FLOOR ALONG EMERGENCY EXITS PER NEC. LIGHTING THROUGHOUT PLAN IS FOR DIAGRAMMATIC PURPOSES ONLY, E.C. TO BALANCE & CIRCUIT ALL LTG FIXTURES PER PLAN. MAINTAIN MINIMUM WORKING LIGHTING LEVELS PER NEC REQUIREMENTS. FINAL MOUNTING HEIGHTS & LOCATIONS TO



**ELEVATION: STOREFRONT OPEN**  
SCALE: 1/2"=1'-0"

**ginkoaceg**

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1997-2012

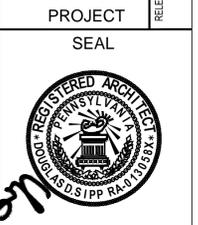
11524 Market Street  
North Lima, Ohio 44462-332  
Fax: 330.549.0012  
Cell (Tepa) : 330.661.7543

Corporate Center  
Post Office Box 332  
Tele: 330.549.0011  
Cell (Slipp) : 724.544.8160

**SIPP + TEPE ARCHITECTS, L.L.C.**  
**[S + T] ARCH**

Licensed and Registered:  
OH., PA., W.VA., N.C.A.R.B.

A Permeable Facade for:  
**SIENNA- SULLA PIAZZA**  
21 Market Square- West  
City of Pittsburgh, Pennsylvania 15129  
Contact Person: Tom Certo 412-916-7902



**ELEVATION + SECTION**

DRAWING TITLE  
DRAWING NUMBER  
**A-201**  
ESTABLISHED- 1997  
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NO.	REVISION	DATE





**PERSPECTIVE- CLOSED STOREFRONT  
WITH SIGNAGE**  
SCALE: NONE

1  
A-202

PLOTTER DATE STAMP:

**Celebrating 15 years of Success**  
1997-2012

ginkgocece

Corporate Center:  
11524 Market Street  
North Lima, Ohio 44452-3332  
Post Office Box 332  
Tele: 330.549.0011  
Fax: 330.549.0012  
Call (Sipp) : 724.544.8160  
Call (Tep) : 330.651.7643

**SIPP + TEPE ARCHITECTS, L.L.C.**  
**[S + T] ARCH**

Licensed and Registered:  
OH., PA., W.VA., N.C.A.R.B.

A Permeable Facade for:  
**SIENNA- SULLA PIAZZA**  
21 Market Square- West  
City of Pittsburgh, Pennsylvania 151219  
Contact Person: Tom Certo 412-916-7902

PROJECT  
SEAL



**PERSPECTIVES**

DRAWING TITLE  
DRAWING NUMBER

**A-203**  
ESTABLISHED-1997  
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NO.	REVISION	DATE

RELEASE DATE: APRIL 21, 2012  
DRAWN/CHECKED BY: JDS/SIPP  
2011 AT LOCATION: 2011 AT SIENNA, OPENABLE FACADES  
PROJECT DESIGNATION: 2009-28



Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

STAFF USE ONLY  
 DATE RECEIVED:  
 DISTRICT BLOCK NUMBER:  
 FILE NUMBER:  
 FILED:

**ADDRESS OF PROPERTY:**

25 Market Square  
 Pittsburgh Pa

**DISTRICT:**

Market Square

**OWNER:**

NAME: Yves Carreau / Perle  
 ADDRESS: 24 Graeme Street  
 Market Square West  
 Pgh Pa 15222  
 PHONE: 412-848-3183

**APPLICANT:**

NAME: Fastsigns  
 ADDRESS: 3021 Banksville Rd  
 Pgh Pa 15216  
 PHONE: 412-344-5700

EMAIL: ycarreau@gmail.com

EMAIL: Debbie.Fossick@fastsigns.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Round Illuminated Cabinet Sign with  
 exposed neon lettering on face

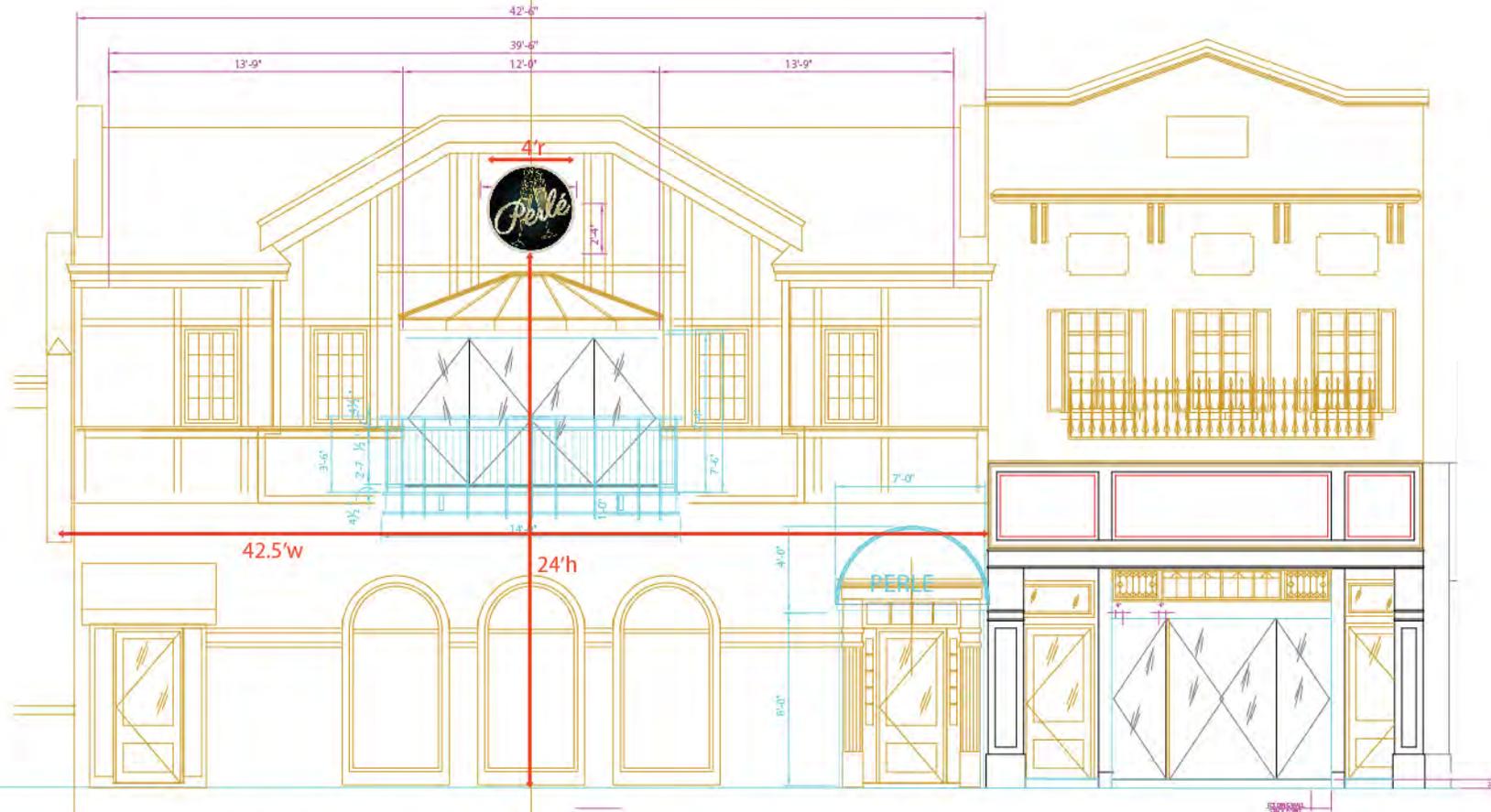
**SIGNATURES:**

OWNER: Yves Carreau    DATE: 4-20-2012

APPLICANT: D Fossick    DATE: 4-20-2012



enlarged view



**FASTSIGNS**  
More than fast. More than signs.™

**412-344-5700**  
Sales Person:  
Debbie Fossick

**SCALE**  
**.125"=1'**



**FASTSIGNS**  
 More than fast. More than signs.™

**412-344-5700**  
 Sales Person:  
**Debbie Fossick**

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 11524 Market Street  
 North Lima, Ohio 44132-332  
 Fax: 330-343-0072  
 Tel: 330-343-0011  
 Call: (516) 724-6461 (616)  
 Cell: (714) 336-9774 (543)  
 SIPP + TEPE ARCHITECTS, L.L.C.  
 ARCHITECTS  
 OH, PA, WV, NC, AR, DC

A Storefront Renovation and Interior Fitout for:  
**PERLE**  
 Second Floor - 25 Greene  
 Pittsburgh, Pennsylvania 15222  
 Contact Person: Yves Carreau-BIG Y Group 412 848 3163  
 PROJECT LOCATION  
 APRIL 14, 2012

PROJECT  
 SEAL



**STOREFRONT  
 PROPOSAL  
 PERSPECTIVE**

DRAWING TITLE  
 DRAWING NUMBER  
**A-102**  
 ESTAB. SHEET-1987  
 COPYRIGHT RESERVED-2012



GIGGLES  
HANDMADE T-SHIRT

SHAPE

BRUEGGER'S BAGEL BAKERY

1902

25



enlarged view

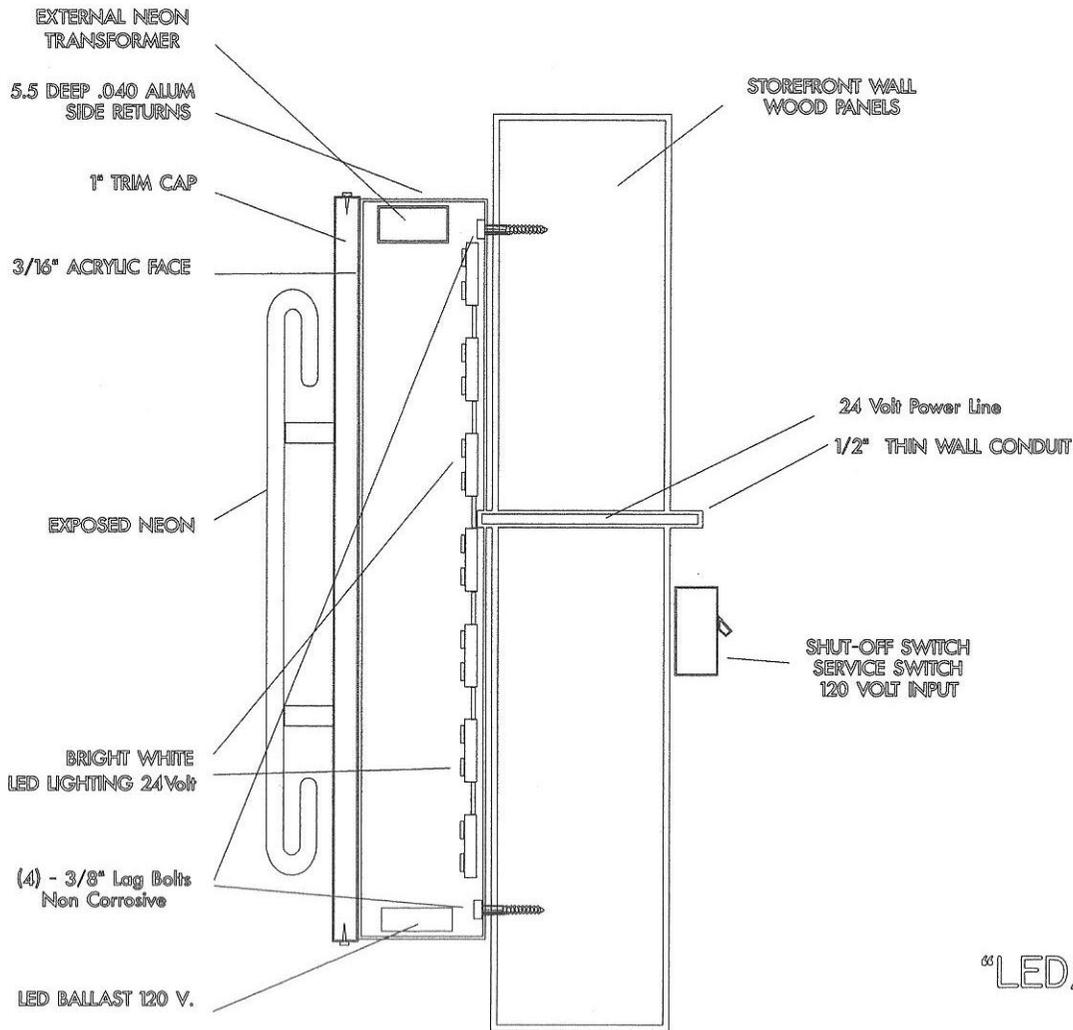


- Cabinet Logo
- Backlit w/Led Lighting
- 8" Deep Circle
- Lexan Full Color Face with Exposed Neon Mounted to Lexan
- 18" P in Perle'

**FASTSIGNS**  
More than fast. More than signs.™

**412-344-5700**  
Sales Person:  
Debbie Fossick

**SCALE**  
**1"=1'**



\* ALL ELECTRICAL CONNECTIONS  
(TO BE GFCI)

"LED/NEON CHANNEL LETTERS"  
(CROSS VIEW)

# SIGN SPECS.

THIS DESIGN IN THE PROPERTY OF FASTSIGNS, AND  
MAY NOT BE REPRODUCED IN ANY MANNER WITHOUT  
WRITTEN PERMISSION.

CUSTOMER: *PERLE'* FAX:

SALESPERSON: *BARB BELLE* DATE: *4/21/12*

SCALE FACTOR: *NO SCALE* DRAWN BY: *PS*

SPECIAL NOTES:

## FASTSIGNS

3021 BANKSVILLE RD.  
PITTSBURGH, PA 15216

(412) 344-5700 FAX-344-5711



Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

- Staff Use -

**DEADLINES:**  
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

**FEE SCHEDULE:** See attached  
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid:  \$ 430-

Date Received: 4-13-12  
 Hearing Date: \_\_\_\_\_  
 Lot and Block #: \_\_\_\_\_

ADDRESS OF PROPERTY: 25<sup>24</sup> Market St (GROEME)

HISTORIC DISTRICT: Market St.

**OWNER**

Name: Was-Buy Group  
 Address: 25 Market St.  
 City, State, Zip: Penn. Pa.  
 Phone: 412 848 3183 Fax: 330 549 0011  
 E-MAIL: \_\_\_\_\_

**APPLICANT**

Name: SIR+TERRA ARCHITECTS LLC  
 Address: P.O. 332  
 City, State, Zip: NORTH LIND. OH. 44452  
 Phone: 330 549 0011 Fax: 330 549 0012  
 E-MAIL: oldsearch@yahoo.com

REQUIRED ATTACHMENTS:  Drawings  Photographs  Renderings  Site Plan  Other

DETAILED DESCRIPTION OF PROPOSED WORK: ADDITION OF 2ND FLOOR STEEL BALCONY & GROUND LEVEL ENTRY GANTRY

SIGNATURE [Signature], Owner DATE 4/16/12  
 SIGNATURE [Signature], Applicant DATE 4/16/12

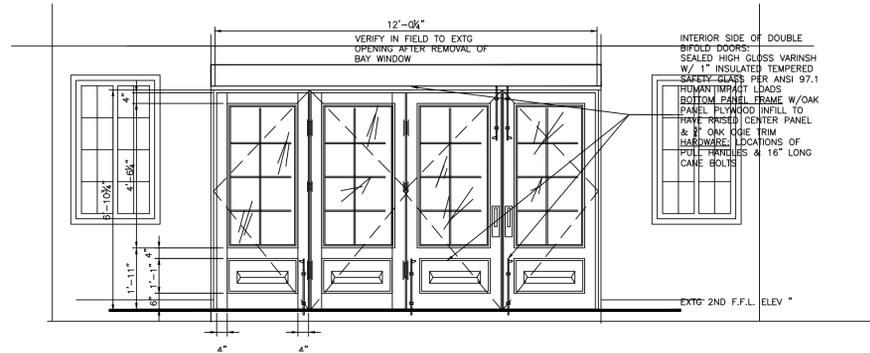




BRUEGGER'S BAGELS  
BAKED FRESH

DUNKIN' DONUTS





INTERIOR ELEVATION  
SCALE: 3/8"=1'-0"



EXTERIOR ELEVATION  
SCALE: 3/8"=1'-0"



**Celebrating 15 years of Success**  
1997-2012

Corporate Center:  
11524 Market Street  
North Lima, Ohio 44452-3332  
Post Office Box 332  
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Cell (Sipp) : 724.544.8160  
Cell (Tepe) : 330.651.7543

**SIPP + TEPE ARCHITECTS, L.L.C.**  
**[S + T] ARCH**

Licensed and Registered:  
OH., PA., W.VA., N.C.A.R.B.

An Storefront Renovation and Interior Fitout for:

**PERLE**  
Second Floor - 25 Graeme  
Pittsburgh, Pennsylvania 15222  
Contact Person: Yves Carreau-BIG Y Group 412 848 3183

PROJECT DESCRIPTION:  
2011\_40

2011\_40\_N01A\_BANQUET.dwg

DESIGNED BY:  
Douglas Sipp

DRAWN BY:  
Carlton Copeland

RELEASE DATE:  
MAY 10, 2012



**FACADE  
PLAN,  
ELEVATION,  
SECTION**

DRAWING TITLE  
DRAWING NUMBER

**A-100**

ESTABLISHED- 1997  
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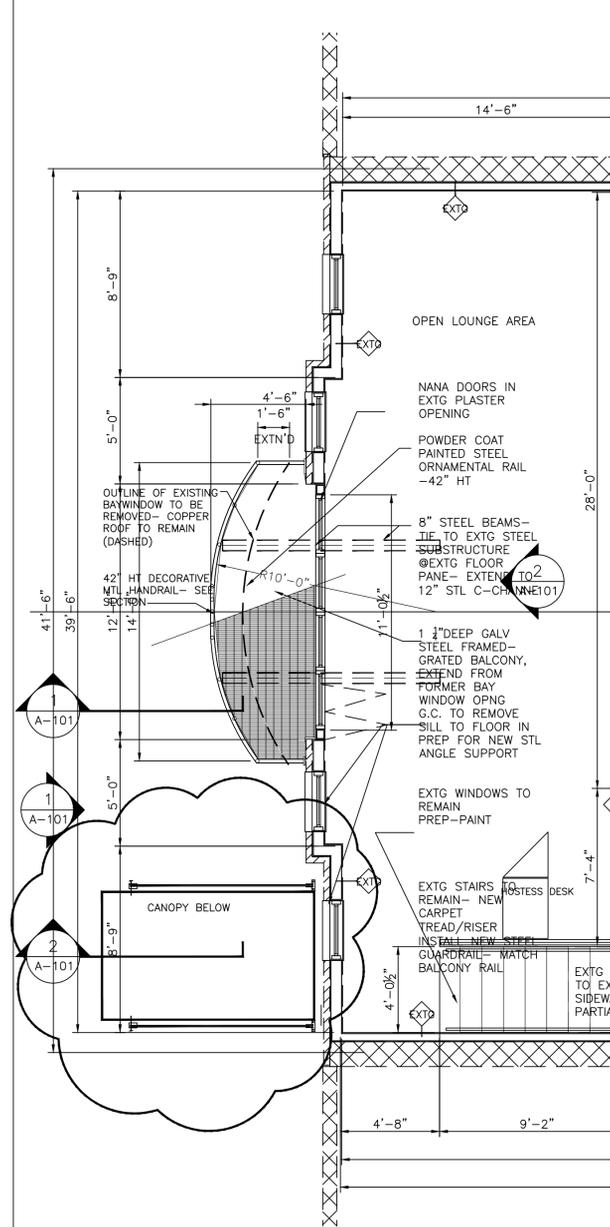
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THE CONTRACTOR SHALL REVIEW ALL CONDITIONS AND SHALL NOT ERECT, ASSEMBLE, OR OTHERWISE COMMENCE CONSTRUCTION WITHOUT MEETING THE MINIMUM REQUIREMENTS FOR SUBMITTALS AS REQUIRED BY THE PROJECT DOCUMENTS. FAILURE TO REVIEW AND APPROVE ALL REQUIRED SHOP DRAWINGS, SAMPLES, OR DATA PRIOR TO SUBMITTAL TO THE ARCHITECT MAY RESULT IN REJECTION OF SUBMITTED MATERIAL WITHOUT REVIEW. MATERIAL AND PRODUCT REVIEWS SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITIES TO VERIFY FIELD OR COORDINATION REQUIREMENTS.

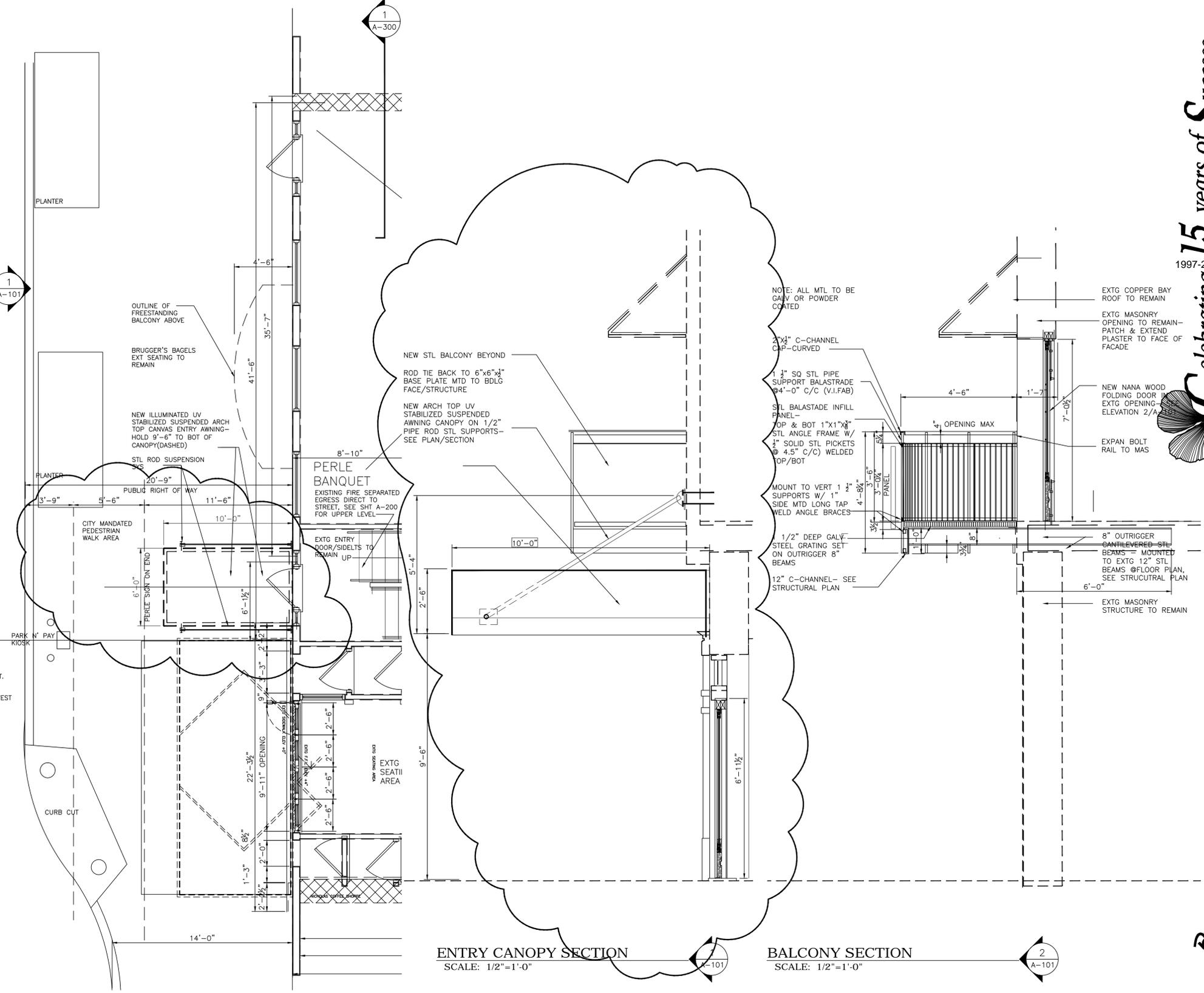
DO NOT SCALE DRAWINGS: CONTRACTOR MUST VERIFY ALL DIMENSIONS, FIELD CONDITIONS, AND CLEARANCES PRIOR TO COMMENCEMENT OF WORK AND/OR ORDERING OF MATERIALS.

WE CERTIFY THAT THESE PLANS HAVE BEEN PREPARED IN OUR OFFICE AND UNDER OUR SUPERVISION AND THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF COMPLY WITH APPLICABLE LAWS, REGULATIONS, AND ORDINANCES OF THE JURISDICTION RELATING TO THIS PROJECT.

NO.	REVISION	DATE



**BALCONY PLAN- 2ND FLOOR**  
SCALE: 1/4"=1'-0" NORTH



**SIDEWALK PLAN- GROUND FLOOR**  
SCALE: 1/4"=1'-0" NORTH

**ENTRY CANOPY SECTION**  
SCALE: 1/2"=1'-0"

**BALCONY SECTION**  
SCALE: 1/2"=1'-0"

NOTE: ALL MTL TO BE GALV OR POWDER COATED

2"x4" C-CHANNEL CURVED

1 1/2" SQ STL PIPE SUPPORT BALASTRADE @ 4'-0" C/C (V.I.FAB)

STL BALASTADE INFILL PANEL - TOP & BOT 1"x1"x8" STL ANGLE FRAME W/ 1/2" SOLID STL PICKETS @ 4.5" C/C WELDED TOP/BOT

MOUNT TO VERT 1 1/2" SUPPORTS W/ 1" SIDE MTD LONG TAP WELD ANGLE BRACES

1/2" DEEP GALV STEEL GRATING SET ON OUTRIGGER 8" BEAMS

12" C-CHANNEL - SEE STRUCTURAL PLAN

EXTG COPPER BAY ROOF TO REMAIN

EXTG MASONRY OPENING TO REMAIN - PATCH & EXTEND PLASTER TO FACE OF FACADE

NEW NANA WOOD FOLDING DOOR IN EXTG OPENING ELEVATION 2/4

EXPAN BOLT RAIL TO MAS

8" OUTRIGGER BEAMS - MOUNTED TO EXTG 12" STL BEAMS @ FLOOR PLAN, SEE STRUCTURAL PLAN

EXTG MASONRY STRUCTURE TO REMAIN

**Celebrating 15 years of Success**  
1997-2012

Corporate Center:  
11524 Market Street  
North Lima, Ohio 44452-3332  
Post Office Box 332  
Tele: 330.549.0011  
Fax: 330.549.0012

Cell (Tepel): 330.651.7543  
Cell (Sipp): 724.548.8160

**SIPP + TEPE ARCHITECTS, L.L.C.**  
**[S + T] ARCH**

Licensed and Registered:  
OH., PA., W.VA., N.C.A.R.B.

A Storefront Renovation and Interior Fitout for:

**PERLE**

Second Floor - 25 Graeme  
Pittsburgh, Pennsylvania 15222

Contact Person: Yves Carreau-BIG Y Group  
Douglas Sipp  
Carlton Coppland

PROJECT

SEAL



**STOREFRONT PROPOSAL PLANS**

DRAWING TITLE  
DRAWING NUMBER

**A-101**

ESTABLISHED- 1997  
COPYRIGHT RESERVED- 2012

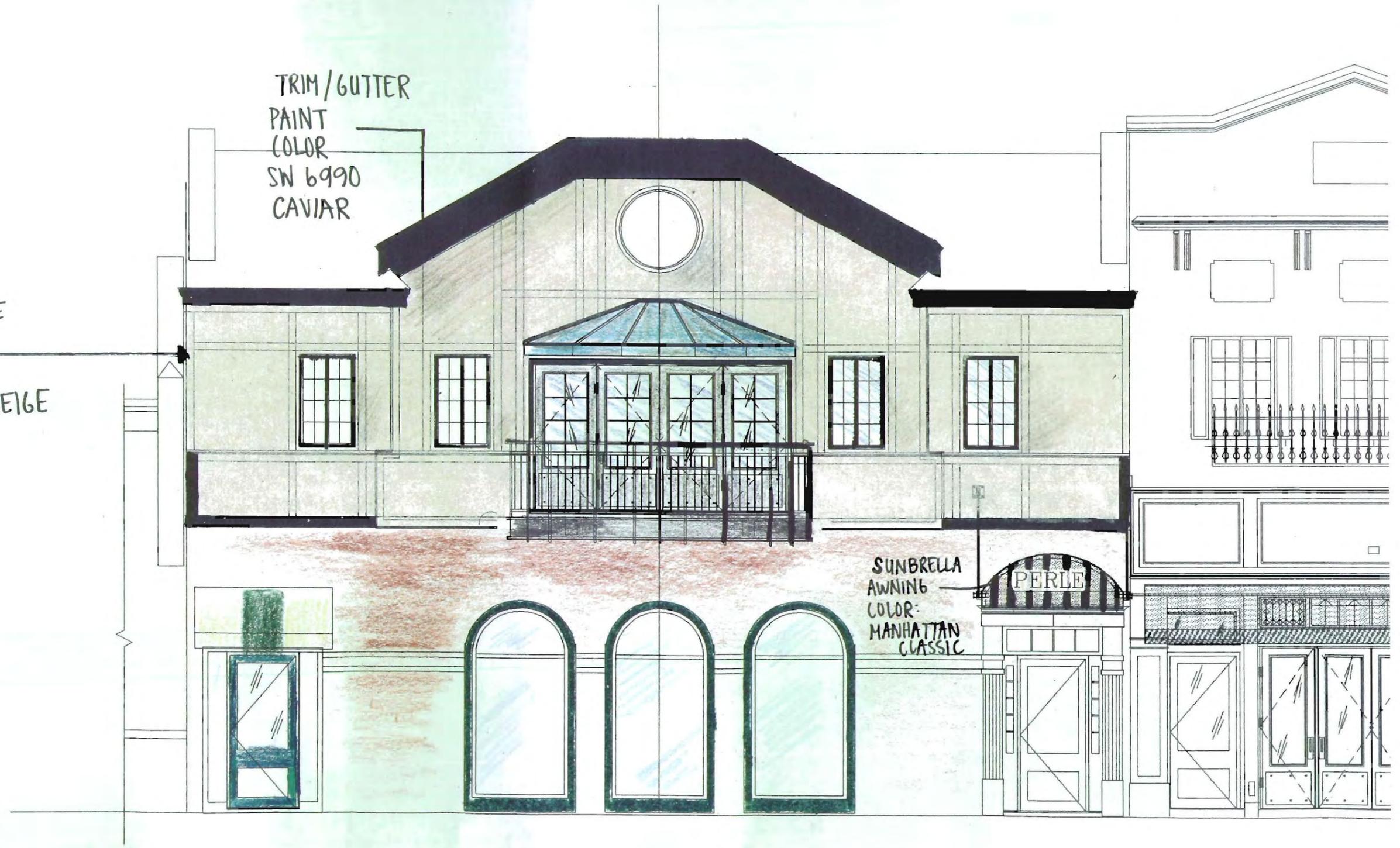
NO.	REVISION	DATE

EXTERIOR FACADE  
PAINT  
COLOR  
ATC-35 BEST BEIGE  
PPG PAINT

TRIM/GUTTER  
PAINT  
COLOR  
SN 6990  
CAVIAR

SUNBRELLA  
AWNING  
COLOR:  
MANHATTAN  
CLASSIC

PERLE





**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

- Staff Use -

**DEADLINES:**  
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

**FEE SCHEDULE:** See attached  
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid:  \$ \_\_\_\_\_

Date Received: \_\_\_\_\_  
 Hearing Date: \_\_\_\_\_  
 Lot and Block #: \_\_\_\_\_

**ADDRESS OF PROPERTY:** FORBES AV. STARTING 60FT. EAST OF MARKET SQUARE ROW (E) NEW ADDRESS TBD.  
**HISTORIC DISTRICT:** MARKET SQUARE

**OWNER**

Name: MILLCRAFT INDUSTRIES  
 Address: 95 W. BEAN STREET, SUITE 600  
 City, State, Zip: WASHINGTON, PA 15301  
 Phone: (724) 229-8800 Fax: 724 880-0474  
 E-MAIL: lwynne@millcraftindustries.com

**APPLICANT**

Name: ARQUITECTONICA  
 Address: 100 FIFTH AVENUE, 10<sup>TH</sup> FLOOR  
 City, State, Zip: NEW YORK, NY 10011  
 Phone: (212) 254-2700 Fax: (212) 533-9203  
 E-MAIL: jchung@arquitectonica.com

**REQUIRED ATTACHMENTS:**  Drawings  Photographs  Renderings  Site Plan  Other

**DETAILED DESCRIPTION OF PROPOSED WORK:** MIXED USE HIGH RISE DEVELOPMENT W/ GROUND FLOOR RETAIL + LOBBIES, 2<sup>ND</sup> FLOOR F&B/BOH, 9 STORIES OF PARKING AND HOTEL WITH 7 STORIES OF CLASS A OFFICE ABOVE.

**SIGNATURE** \_\_\_\_\_, Owner **DATE** \_\_\_\_\_  
 \_\_\_\_\_, Applicant **DATE** 3/16/12

**PROJECT: THE GARDEN – MIXED USE DEVELOPMENT**  
 Pittsburgh, Pennsylvania

**MATERIAL LIST:** Exterior Wall Systems

**PURPOSE:** Historic Review Commission

**PROJECT DESCRIPTION**

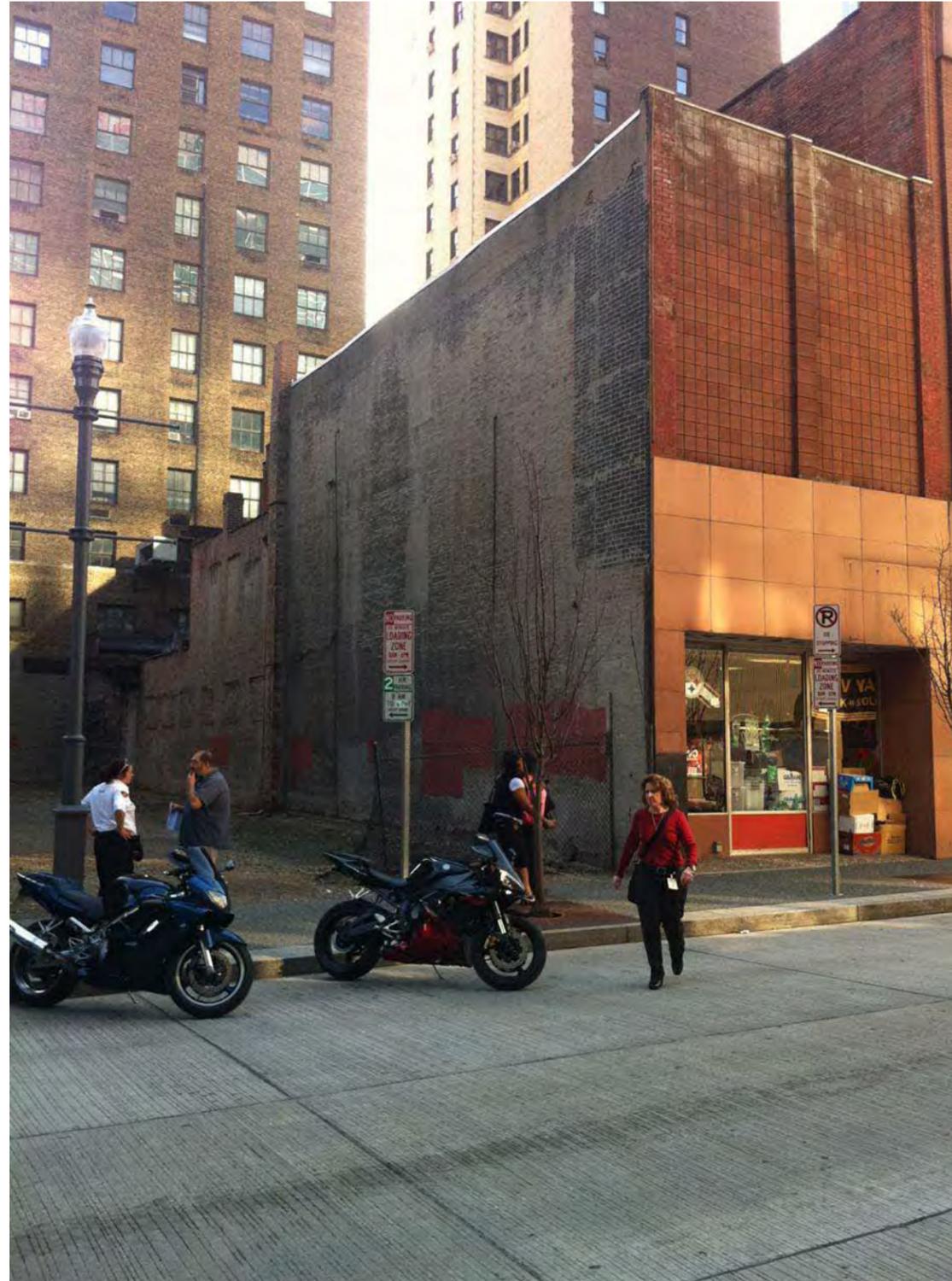
The Gardens Mixed Use is a high-rise project located just east of Market Square in downtown Pittsburgh, PA. The site is a collection of several contiguous mid-block parcels with its major frontage on Forbes Avenue and its secondary access on 4th Avenue with a total site area of approximately 38,000 square feet. Some demolition of existing structures will be required. The program consists of the following:

- Ground floor retail
- Hilton Garden Inn
- 320-space structured parking garage
- 8-level office tower component

Followings are the proposed exterior architectural façade elements by occupancy use.

<b>Architectural Façade Elements</b>				
	<b>RETAIL</b>	<b>HOTEL</b>	<b>OFFICE</b>	<b>PARKING</b>
1.	Glass storefront system	Operable windows	Curtainwall system	Painted metal panels Paint color: TBD
2.	Painted metal panel system Paint colors: TBD	Glass vision panels	Glass shadowbox panels	Painted horizontal architectural extrusion Paint colors: match metal panels
3.	Metal canopy	Glass shadow box panels	Glass vision panels	
4.	Signage	Painted insulated metal panels. Paint colors: TBD	Painted insulated metal panels Paint colors: TBD	
5.		Painted vertical architectural extrusion Paint colors: match metal panels	Painted vertical architectural extrusion Paint colors: match metal panels	
6.		Cable balustrade	Glass revolving doors	
7.		Horizontal PTAC grille /louver system	Signage/raised letters	
8.		Glass storefront system		
9.		Glass revolving doors		
10.		Metal canopy		
11.		Signage/raised latters		

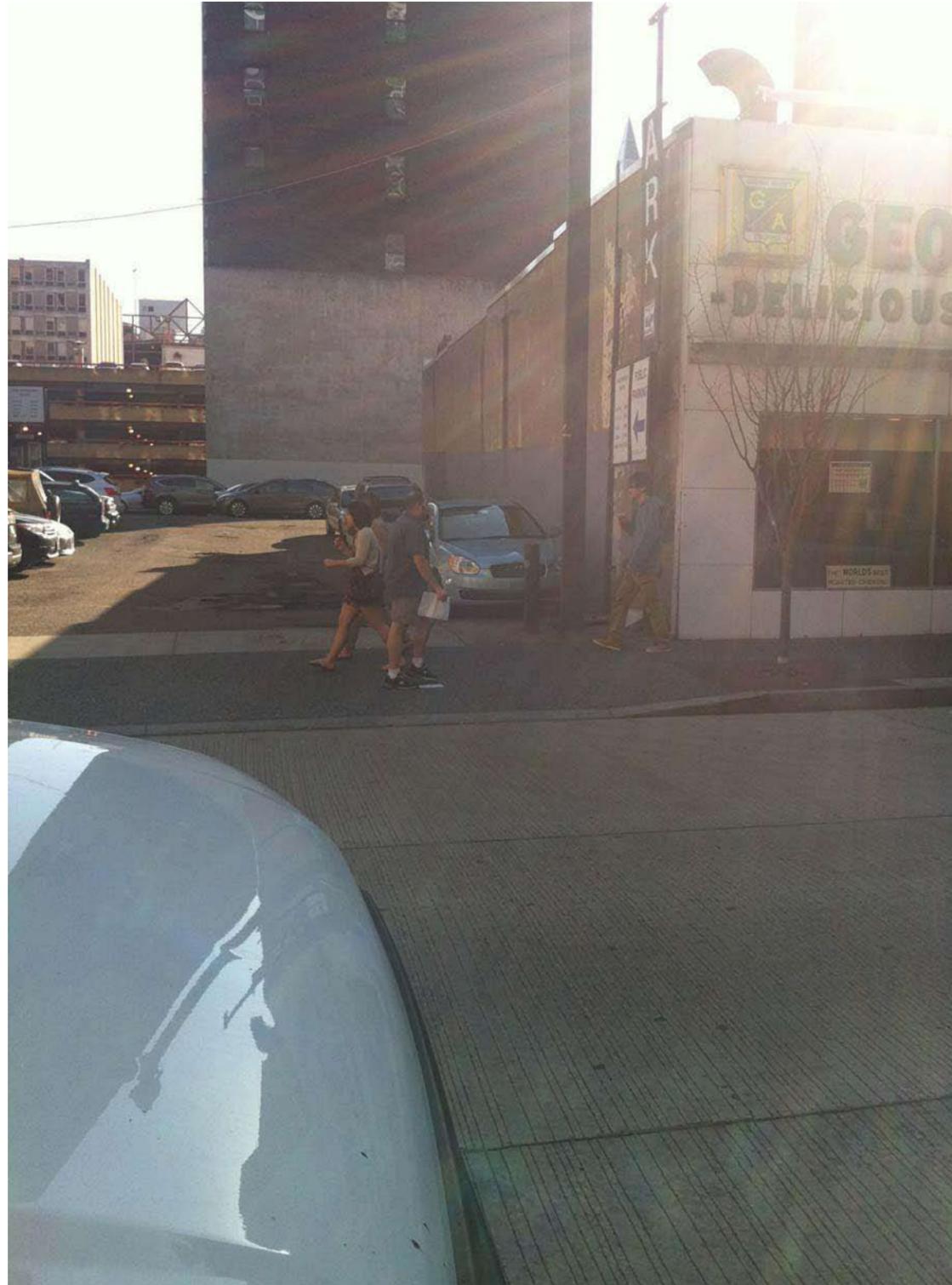




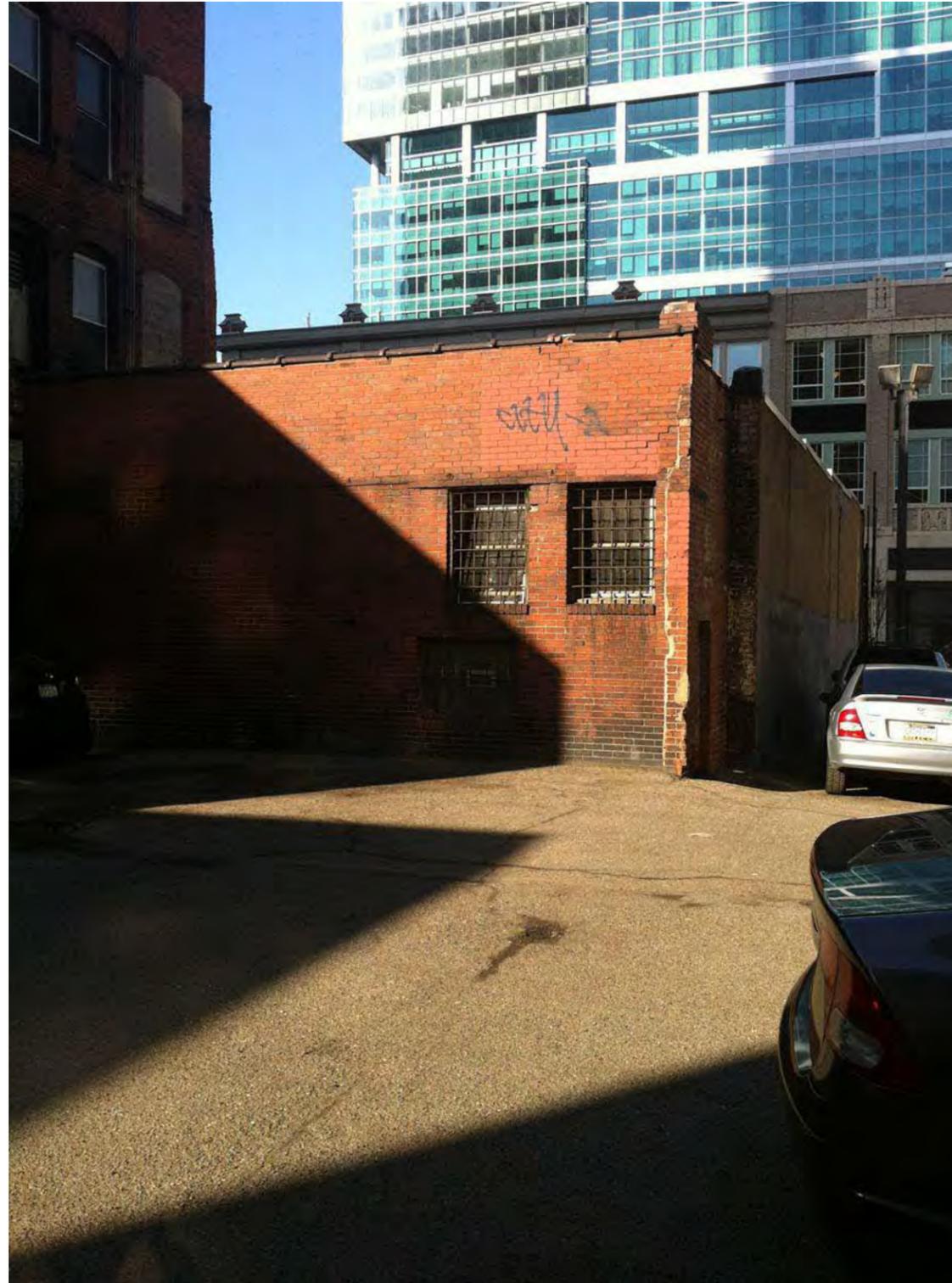




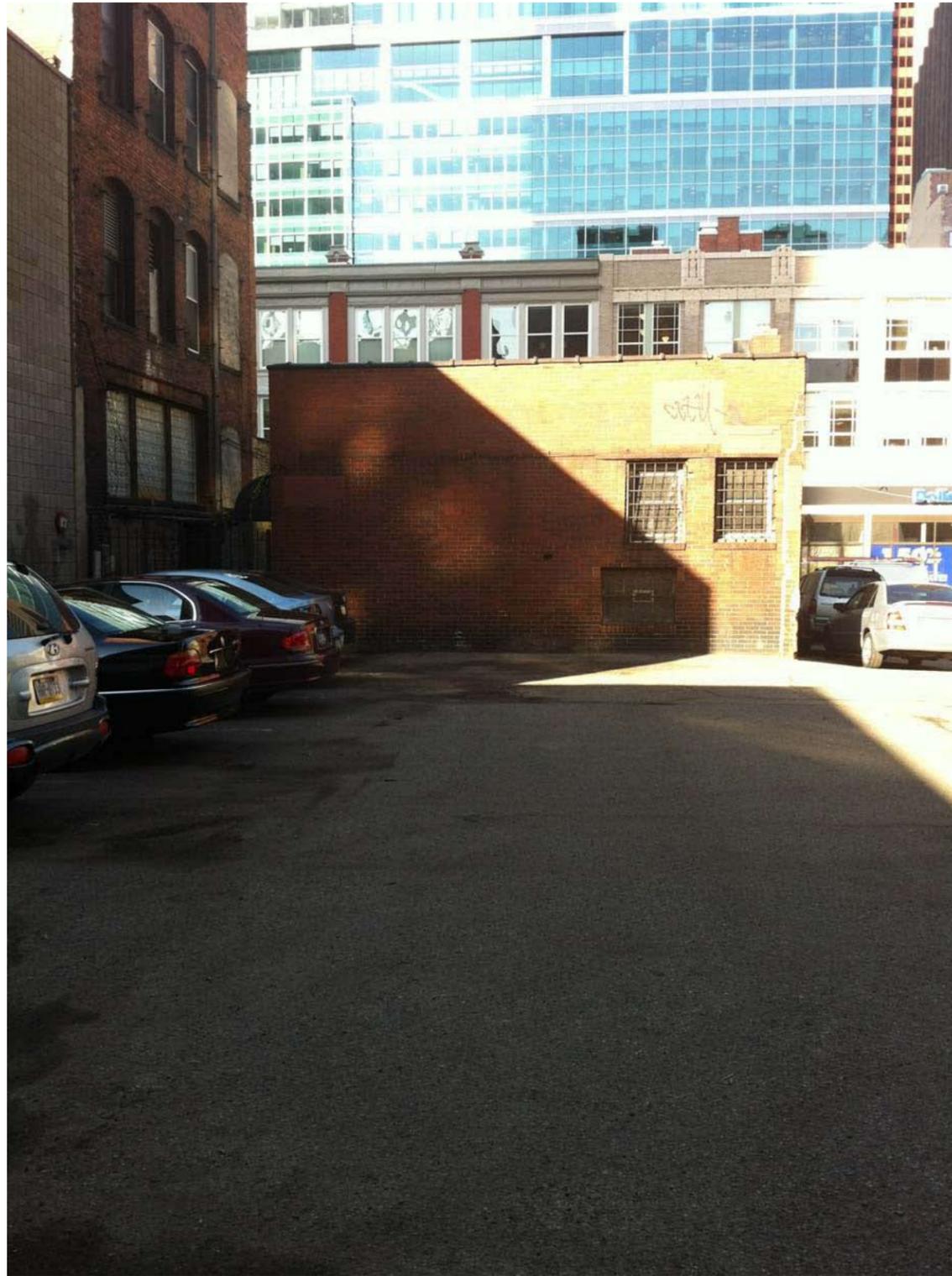












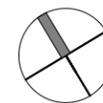
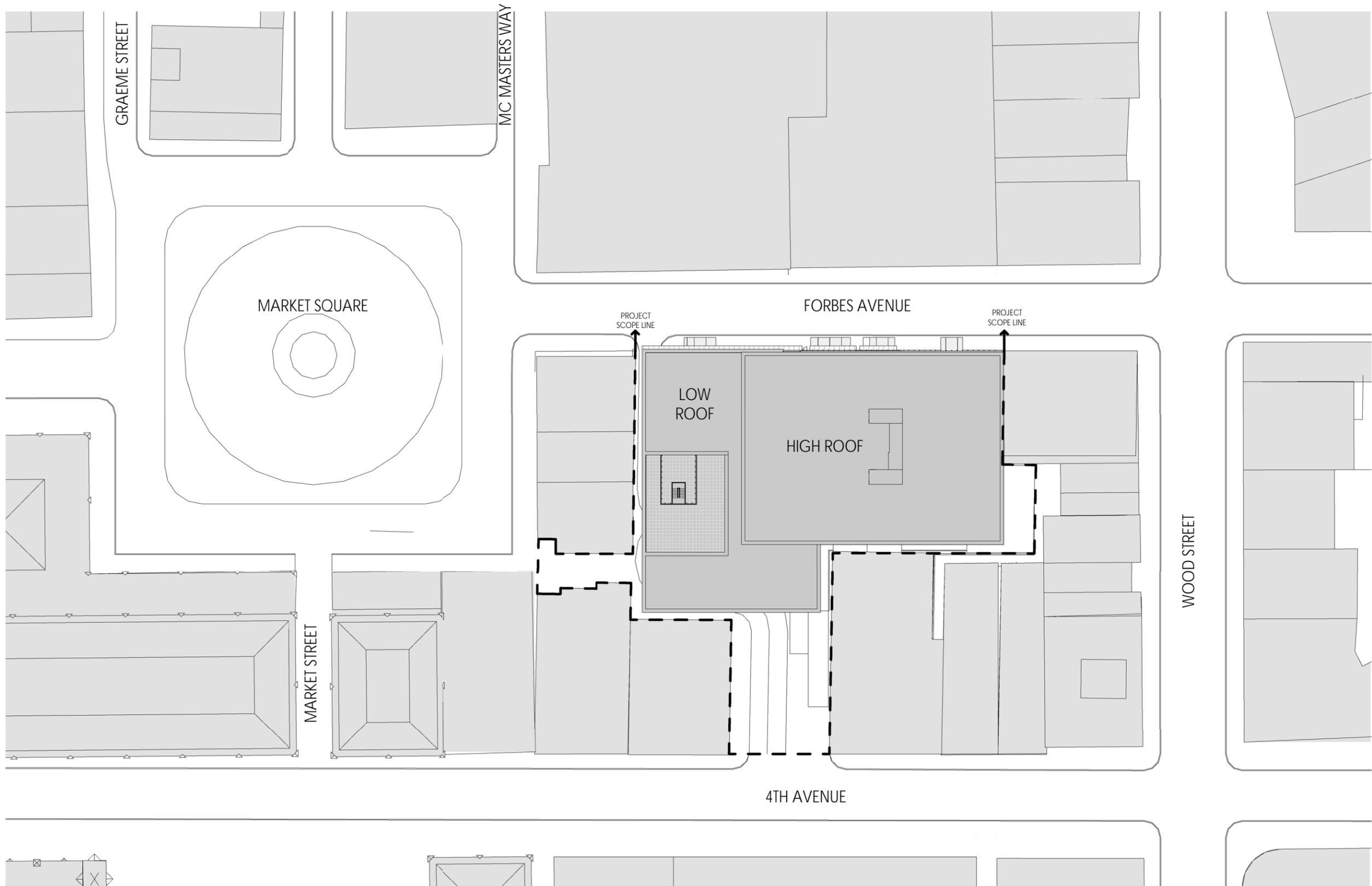


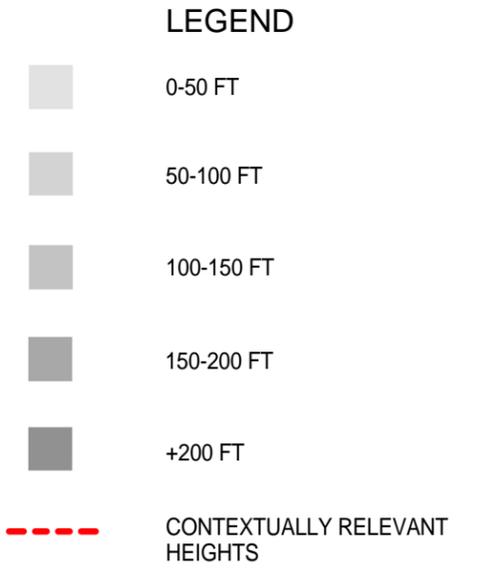
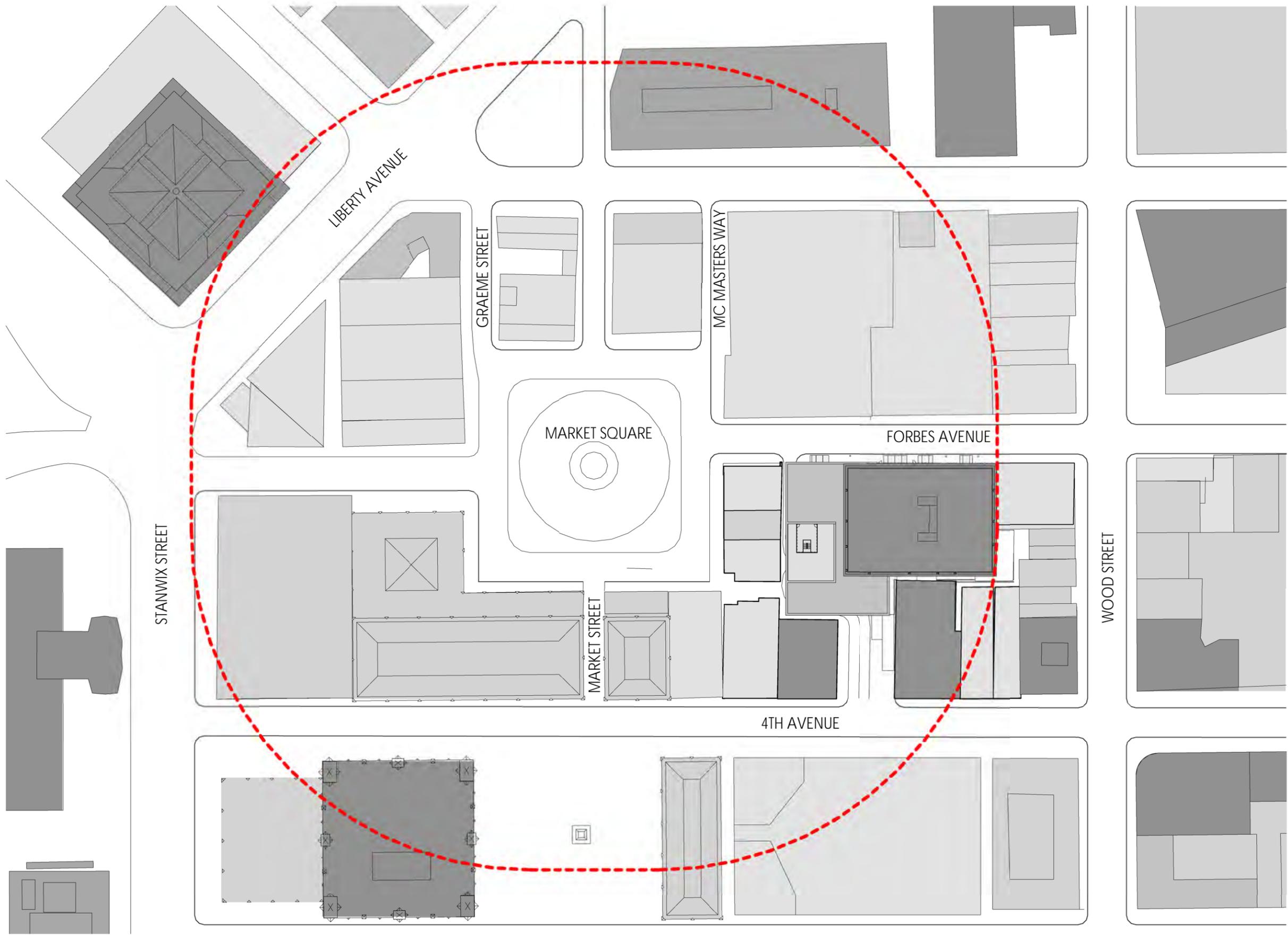




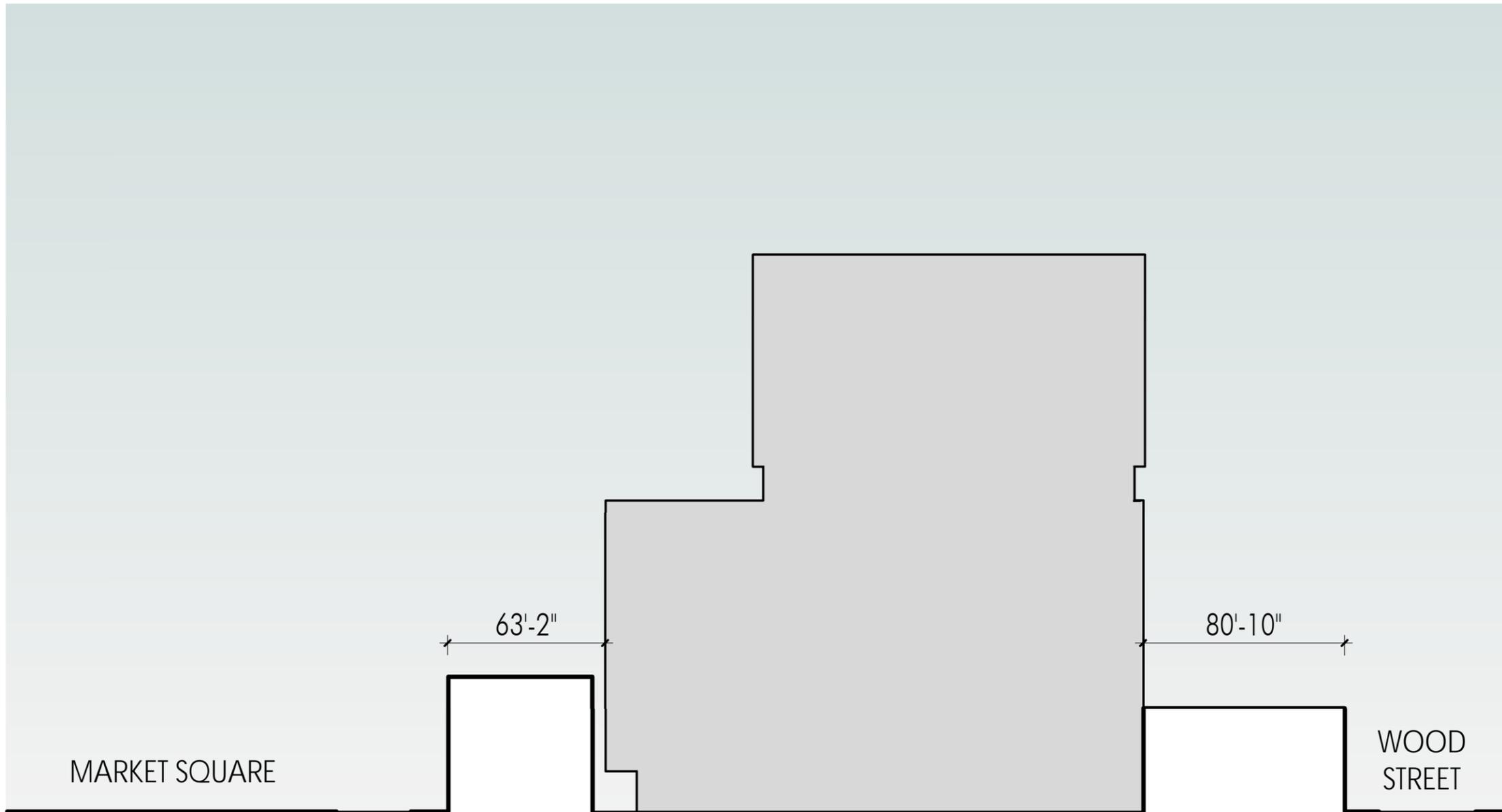
# THE GARDENS AT MARKET SQUARE

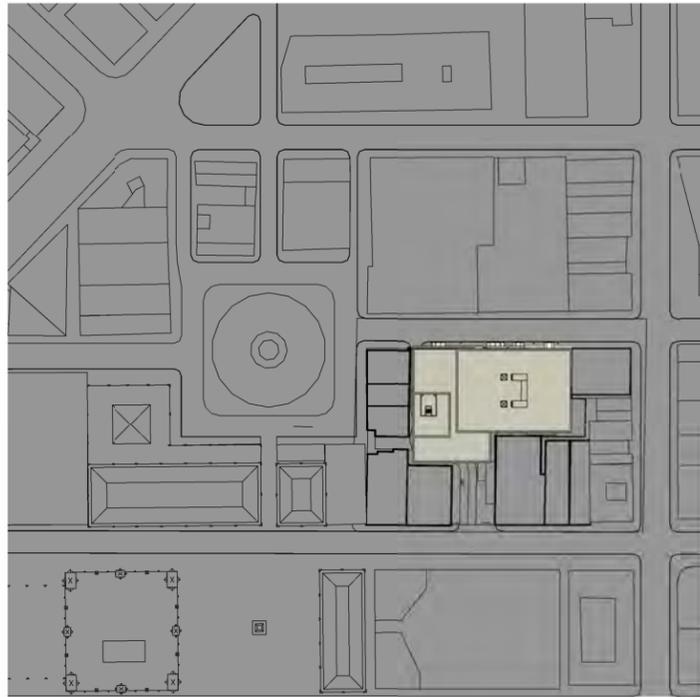
HISTORICAL REVIEW COMMISSION OF PITTSBURGH  
PREPARED BY **ARQUITECTONICA** JUNE 06, 2012







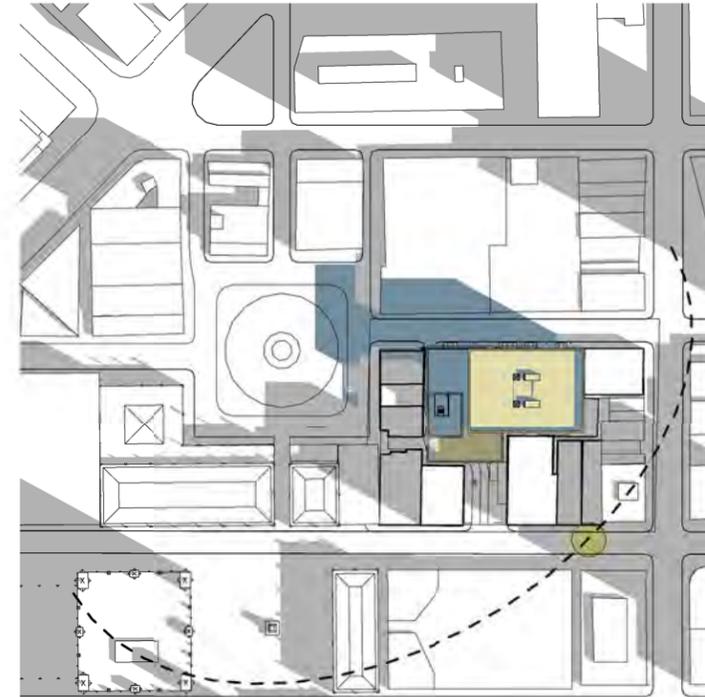




1 | 6 AM  
SCALE: 1" = 250'-0"



2 | 9 AM  
SCALE: 1" = 250'-0"



3 | 12 PM  
SCALE: 1" = 250'-0"

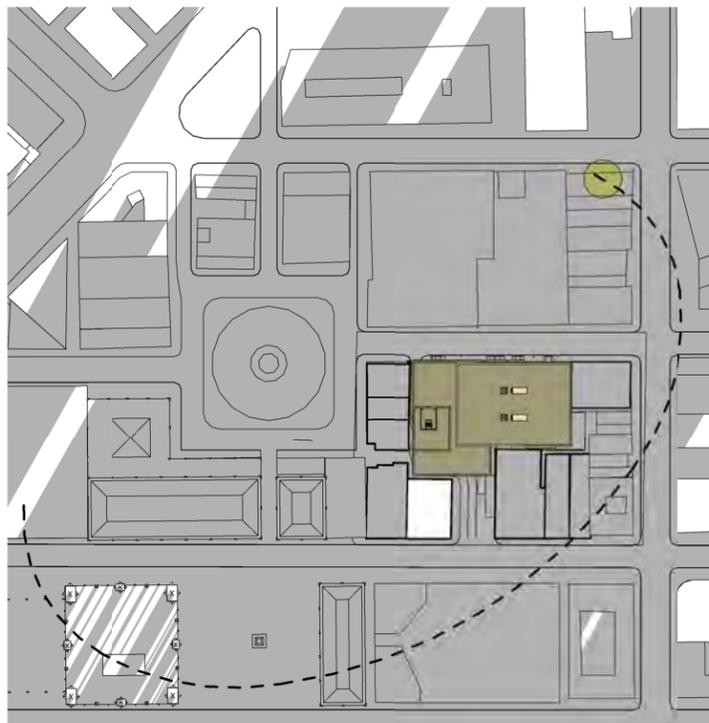
- LEGEND**
- EXISTING SHADOWS
  - PROPOSED BUILDING
  - PROPOSED SHADOWS
  - SUN LOCATION



4 | 3 PM  
SCALE: 1" = 250'-0"



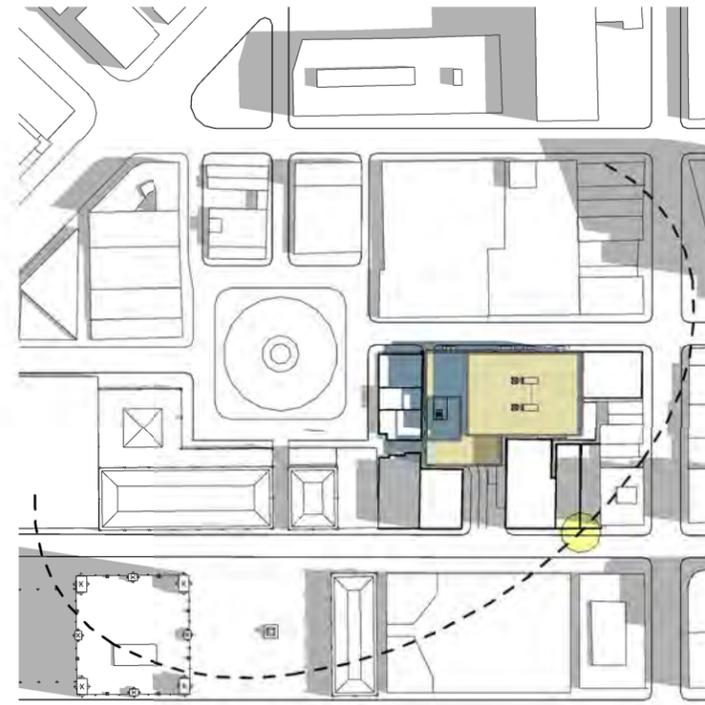
5 | 6 PM  
SCALE: 1" = 250'-0"



1 | 6 AM  
SCALE: 1" = 250'-0"



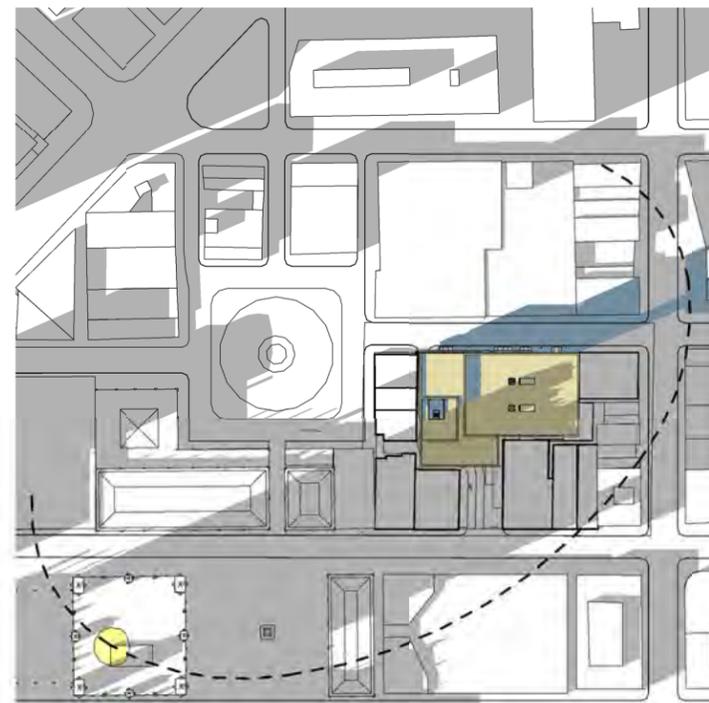
2 | 9 AM  
SCALE: 1" = 250'-0"



3 | 12 PM  
SCALE: 1" = 250'-0"



4 | 3 PM  
SCALE: 1" = 250'-0"



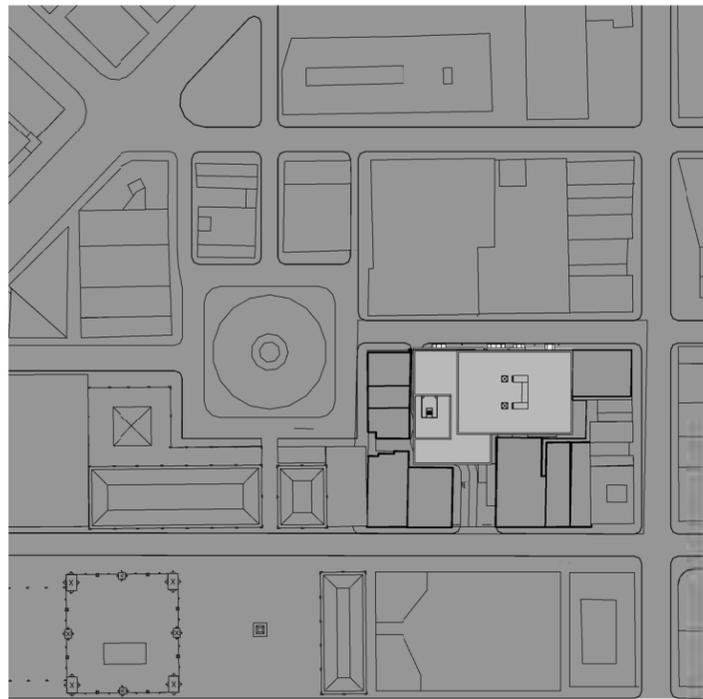
5 | 6 PM  
SCALE: 1" = 250'-0"



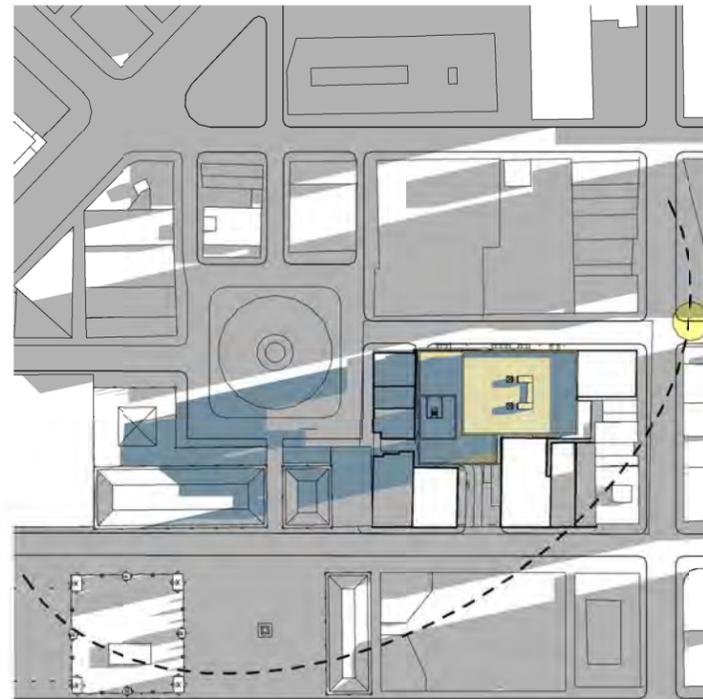
6 | 8 PM  
SCALE: 1" = 250'-0"

LEGEND

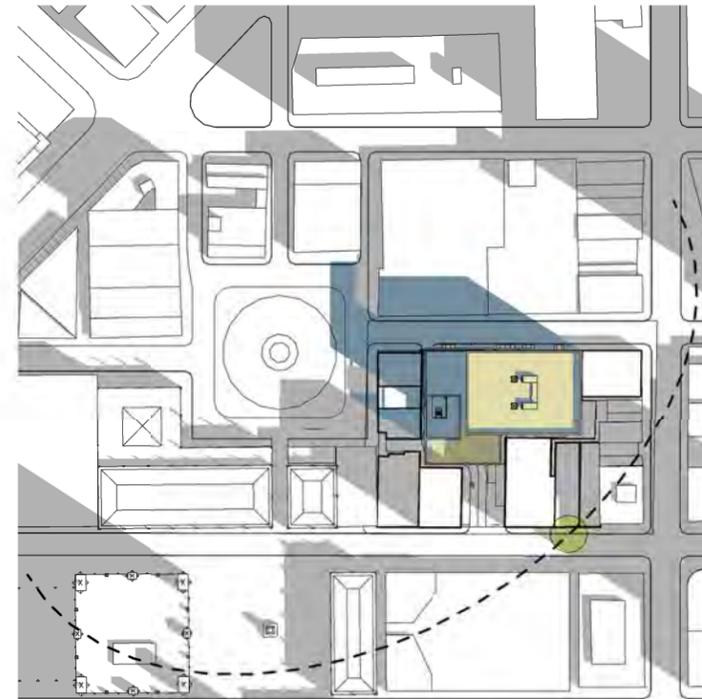
- EXISTING SHADOWS
- PROPOSED BUILDING
- PROPOSED SHADOWS
- SUN LOCATION



1 | 6 AM  
SCALE: 1" = 250'-0"



2 | 9 AM  
SCALE: 1" = 250'-0"



3 | 12 PM  
SCALE: 1" = 250'-0"

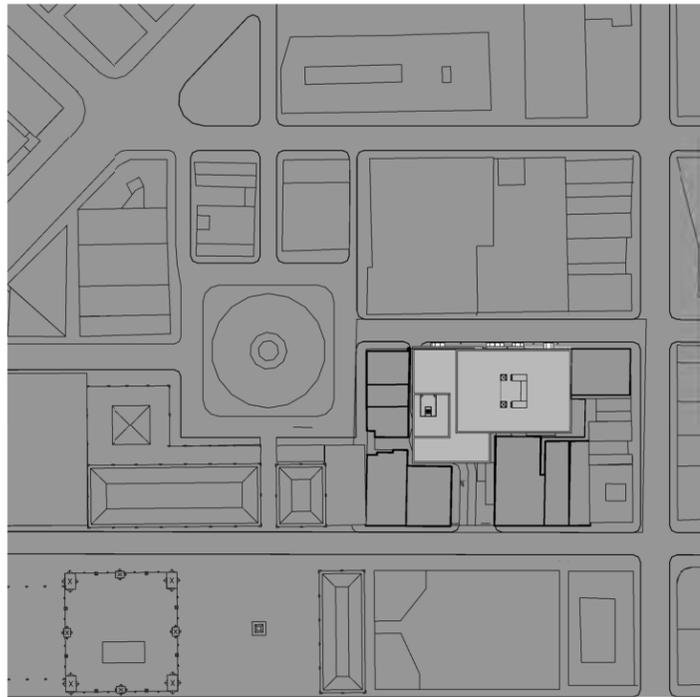
- LEGEND**
- EXISTING SHADOWS
  - PROPOSED BUILDING
  - PROPOSED SHADOWS
  - SUN LOCATION



4 | 3 PM  
SCALE: 1" = 250'-0"



5 | 6 PM  
SCALE: 1" = 250'-0"



1 | 6 AM  
SCALE: 1" = 250'-0"



2 | 9 AM  
SCALE: 1" = 250'-0"



3 | 12 PM  
SCALE: 1" = 250'-0"

- LEGEND**
- EXISTING SHADOWS
  - PROPOSED BUILDING
  - PROPOSED SHADOWS
  - SUN LOCATION



4 | 3 PM  
SCALE: 1" = 250'-0"



5 | 6 PM  
SCALE: 1" = 250'-0"



**LEGEND**

- AREA OF PROPOSED BUILDING WITHIN MARKET SQUARE HISTORIC DISTRICT
- AREA OF PROPOSED BUILDING OUTSIDE OF MARKET SQUARE HISTORIC DISTRICT
- MARKET SQUARE HISTORIC DISTRICT BOUNDARY LINE
- FOURTH AVENUE HISTORIC DISTRICT BOUNDARY LINE
- MARKET SQUARE HISTORIC DISTRICT
- FOURTH AVENUE HISTORIC DISTRICT





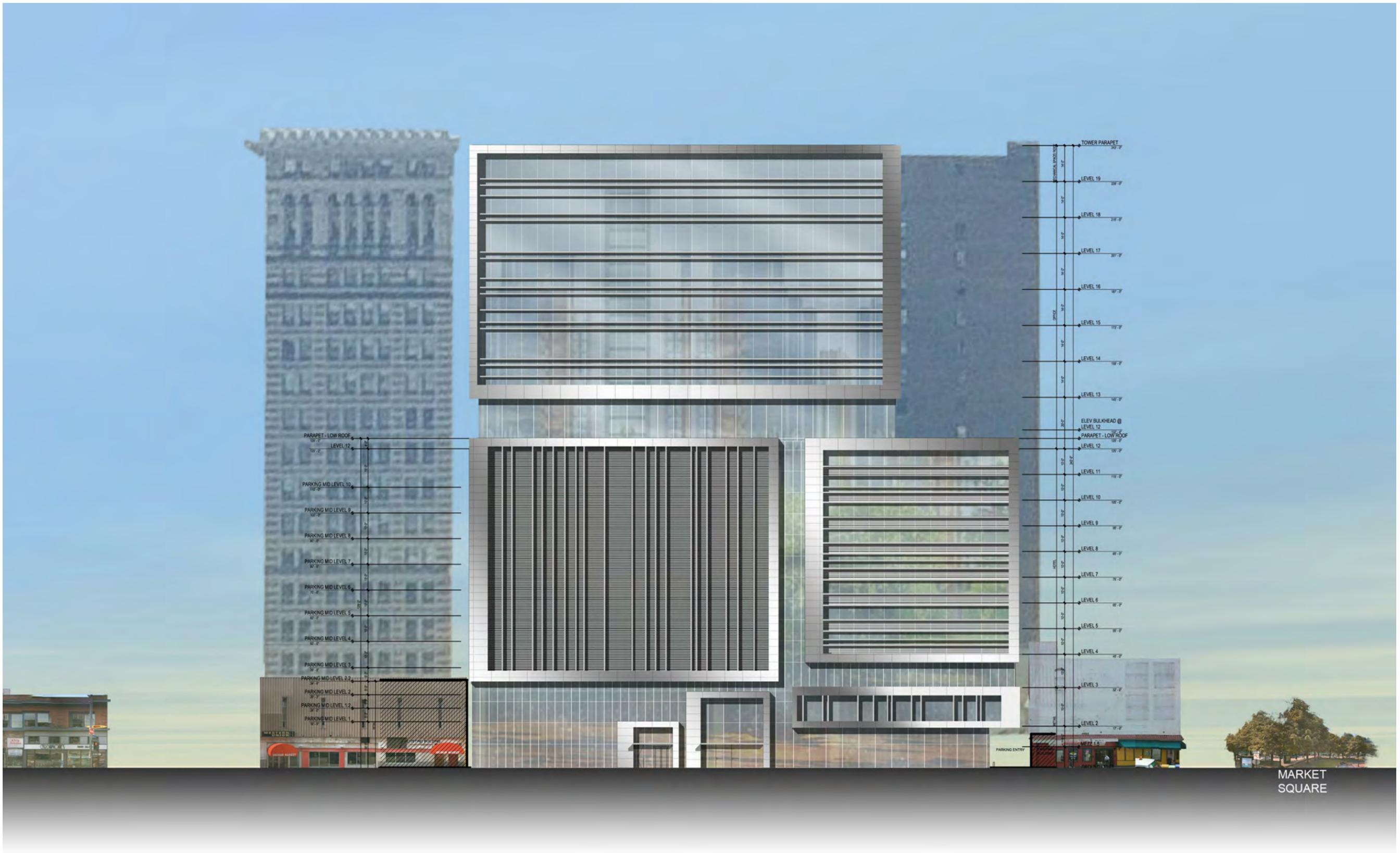










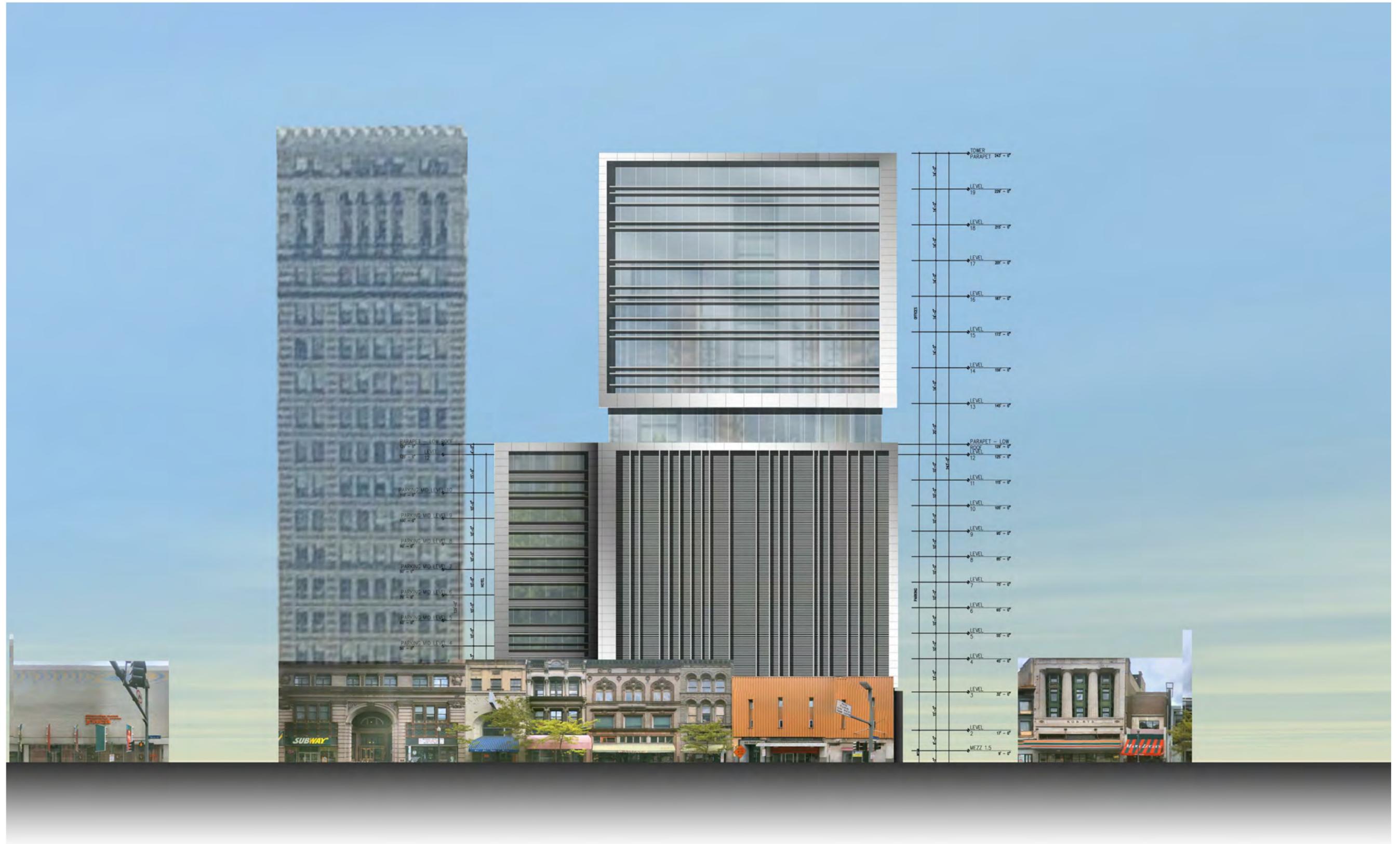


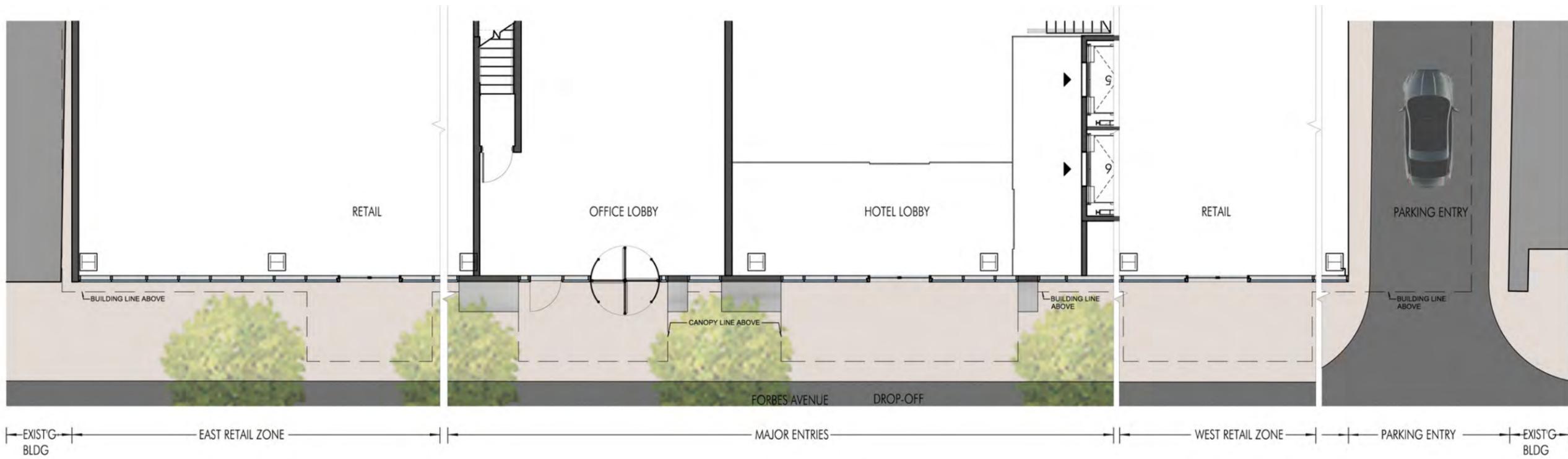
PARAPET - LOW ROOF 137'-0"  
 LEVEL 12 137'-0"  
 PARKING MID LEVEL 10 137'-0"  
 PARKING MID LEVEL 9 137'-0"  
 PARKING MID LEVEL 8 137'-0"  
 PARKING MID LEVEL 7 137'-0"  
 PARKING MID LEVEL 6 137'-0"  
 PARKING MID LEVEL 5 137'-0"  
 PARKING MID LEVEL 4 137'-0"  
 PARKING MID LEVEL 3 137'-0"  
 PARKING MID LEVEL 2.2 137'-0"  
 PARKING MID LEVEL 2 137'-0"  
 PARKING MID LEVEL 1.2 137'-0"  
 PARKING MID LEVEL 1 137'-0"

TOWER PARAPET 207'-0"  
 LEVEL 19 207'-0"  
 LEVEL 18 207'-0"  
 LEVEL 17 207'-0"  
 LEVEL 16 207'-0"  
 LEVEL 15 207'-0"  
 LEVEL 14 207'-0"  
 LEVEL 13 207'-0"  
 ELEV BULKHEAD @ LEVEL 12 207'-0"  
 PARAPET - LOW ROOF 207'-0"  
 LEVEL 12 207'-0"  
 LEVEL 11 207'-0"  
 LEVEL 10 207'-0"  
 LEVEL 9 207'-0"  
 LEVEL 8 207'-0"  
 LEVEL 7 207'-0"  
 LEVEL 6 207'-0"  
 LEVEL 5 207'-0"  
 LEVEL 4 207'-0"  
 LEVEL 3 207'-0"  
 LEVEL 2 207'-0"

MARKET SQUARE















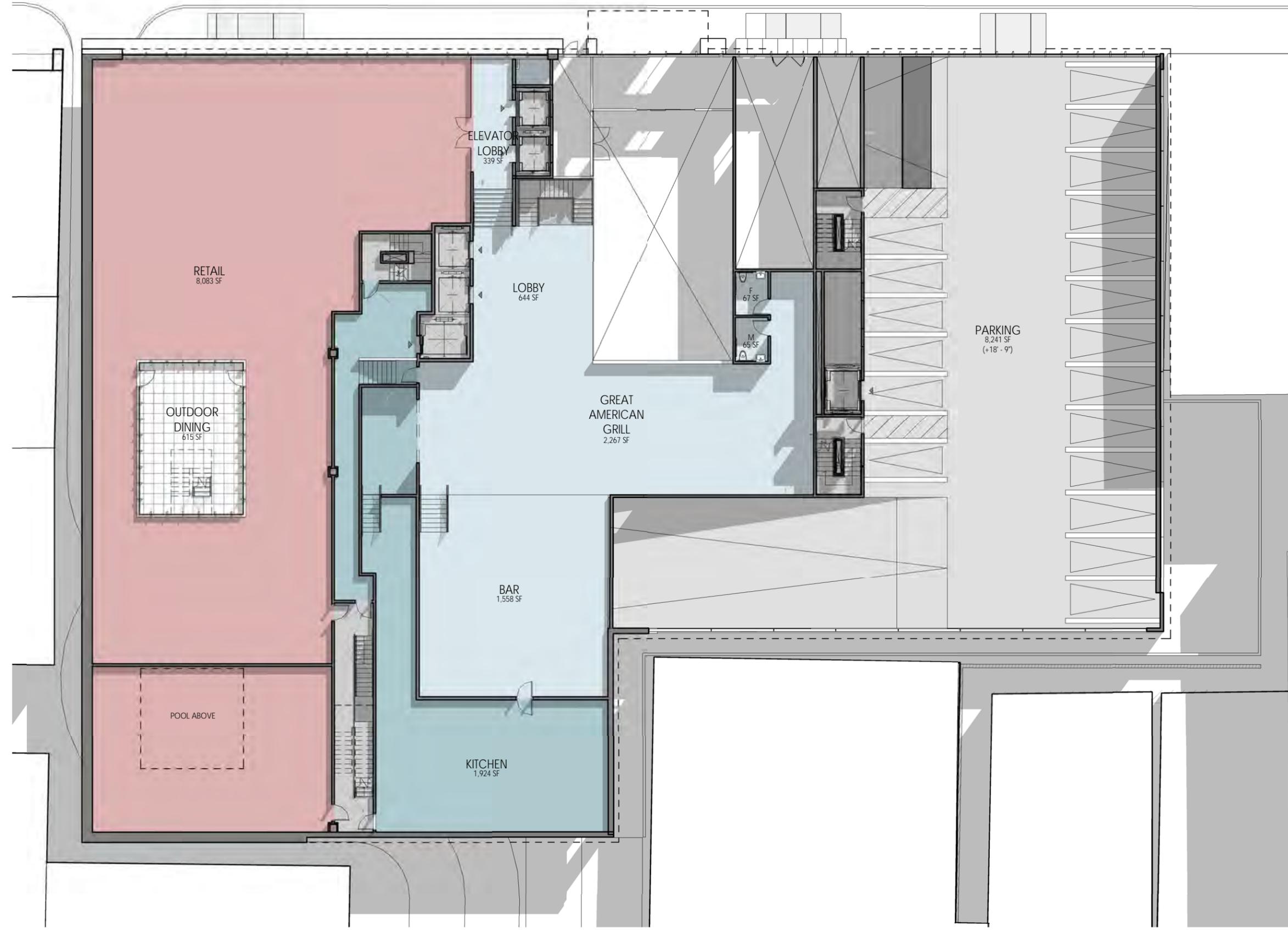


**COLOR LEGEND**

- Core
- Hotel BOH
- Hotel FOH
- Office
- Office Service
- Public Way
- Retail 1
- Retail 2
- Retail 3
- Service

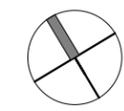


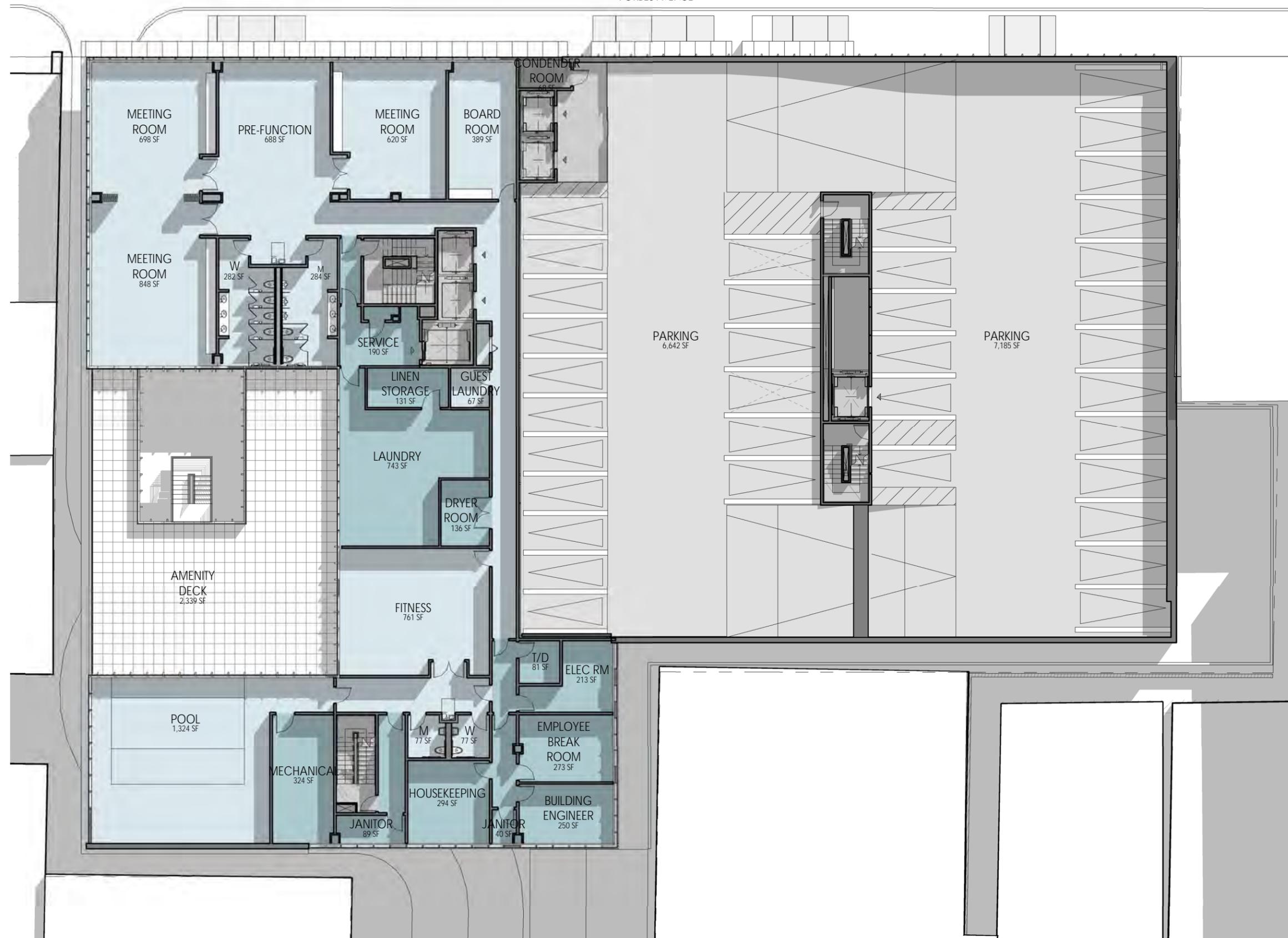
FORBES AVENUE



COLOR LEGEND

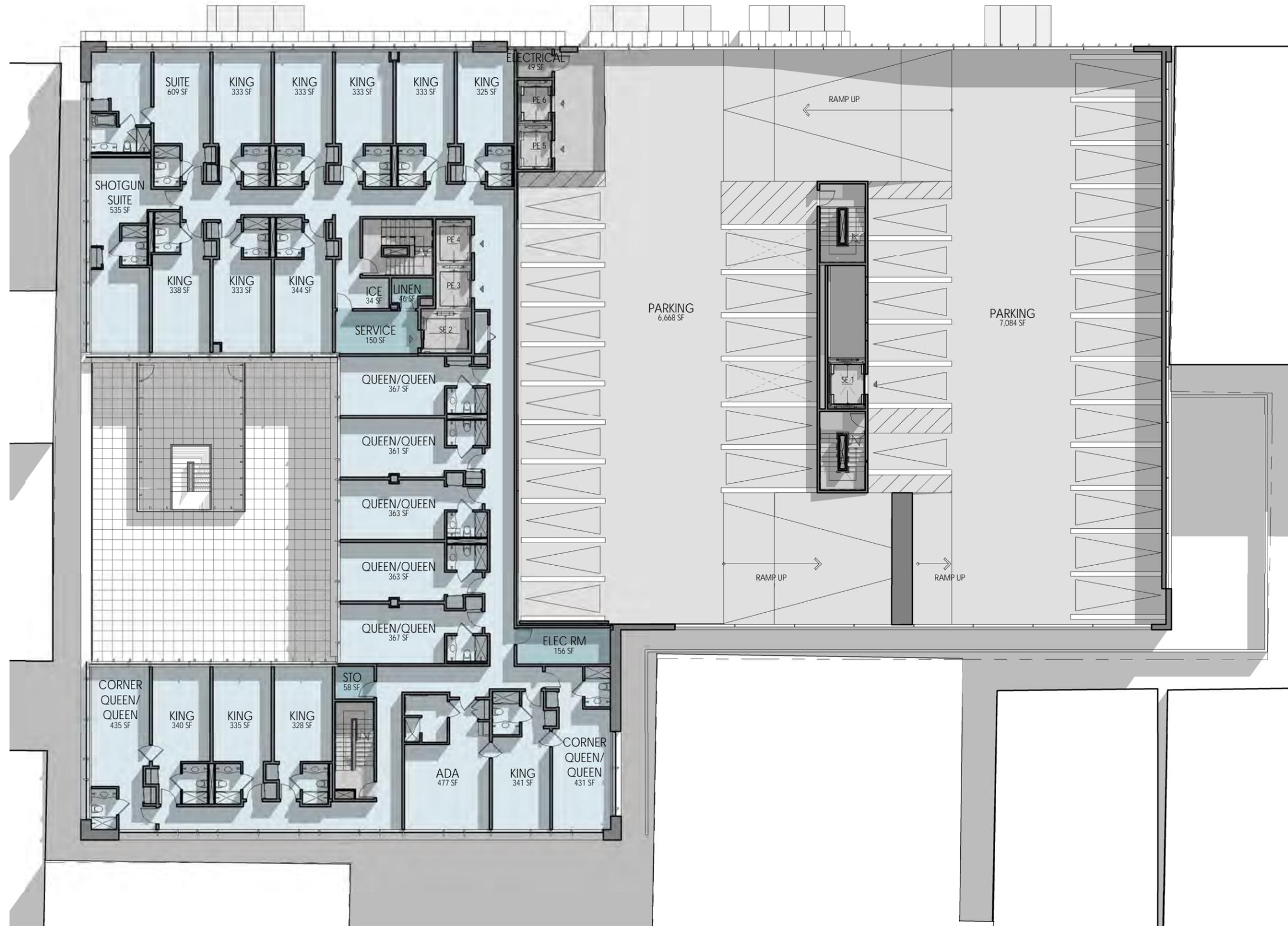
- Amenity Deck
- Core
- Hotel BOH
- Hotel FOH
- Parking
- Retail 2





COLOR LEGEND

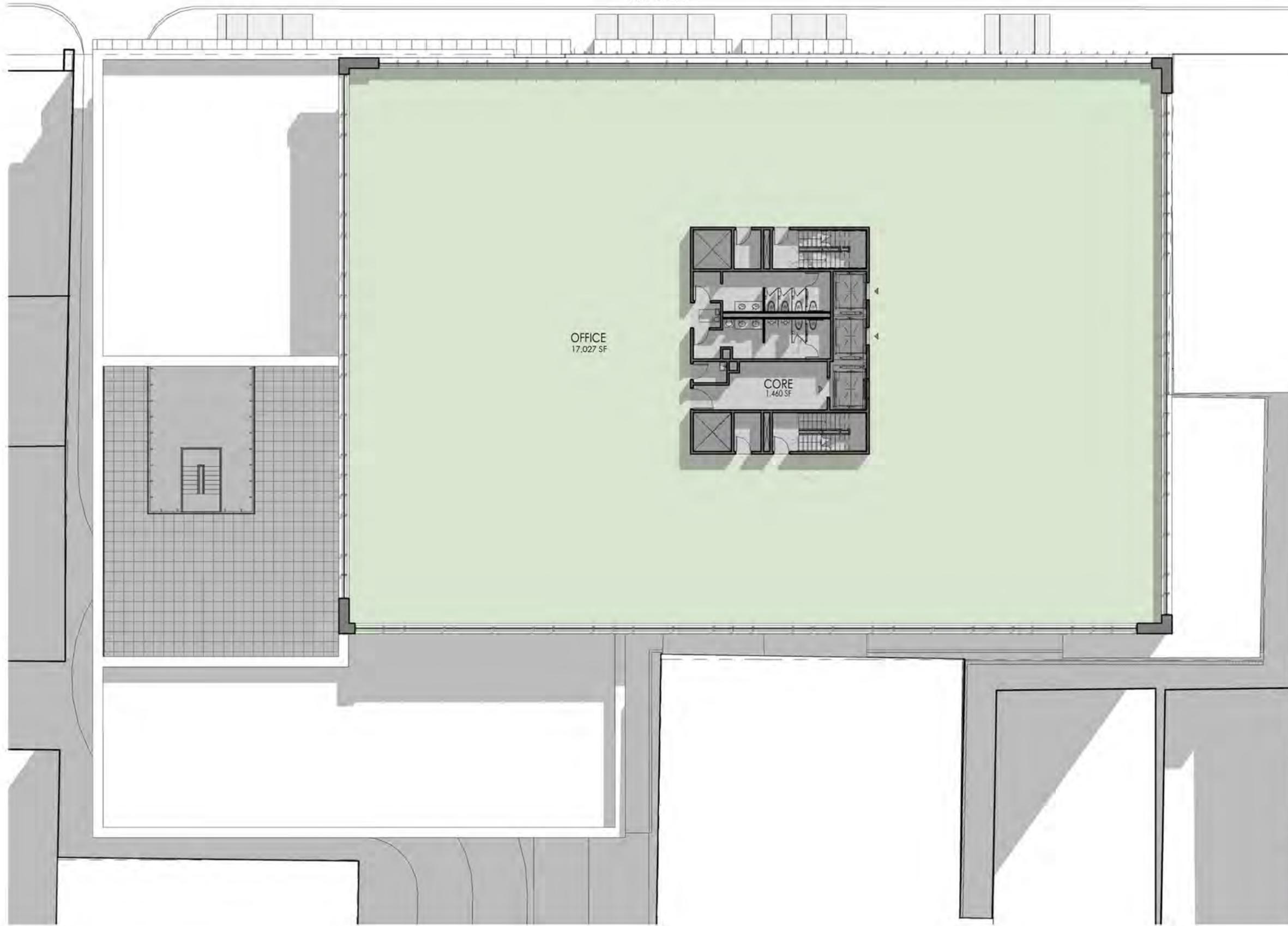
- Amenity Deck
- Core
- Hotel BOH
- Hotel FOH
- Parking
- Service



COLOR LEGEND

- Core
- Hotel
- Hotel BOH
- Hotel FOH
- Parking
- Service

FORBES AVENUE

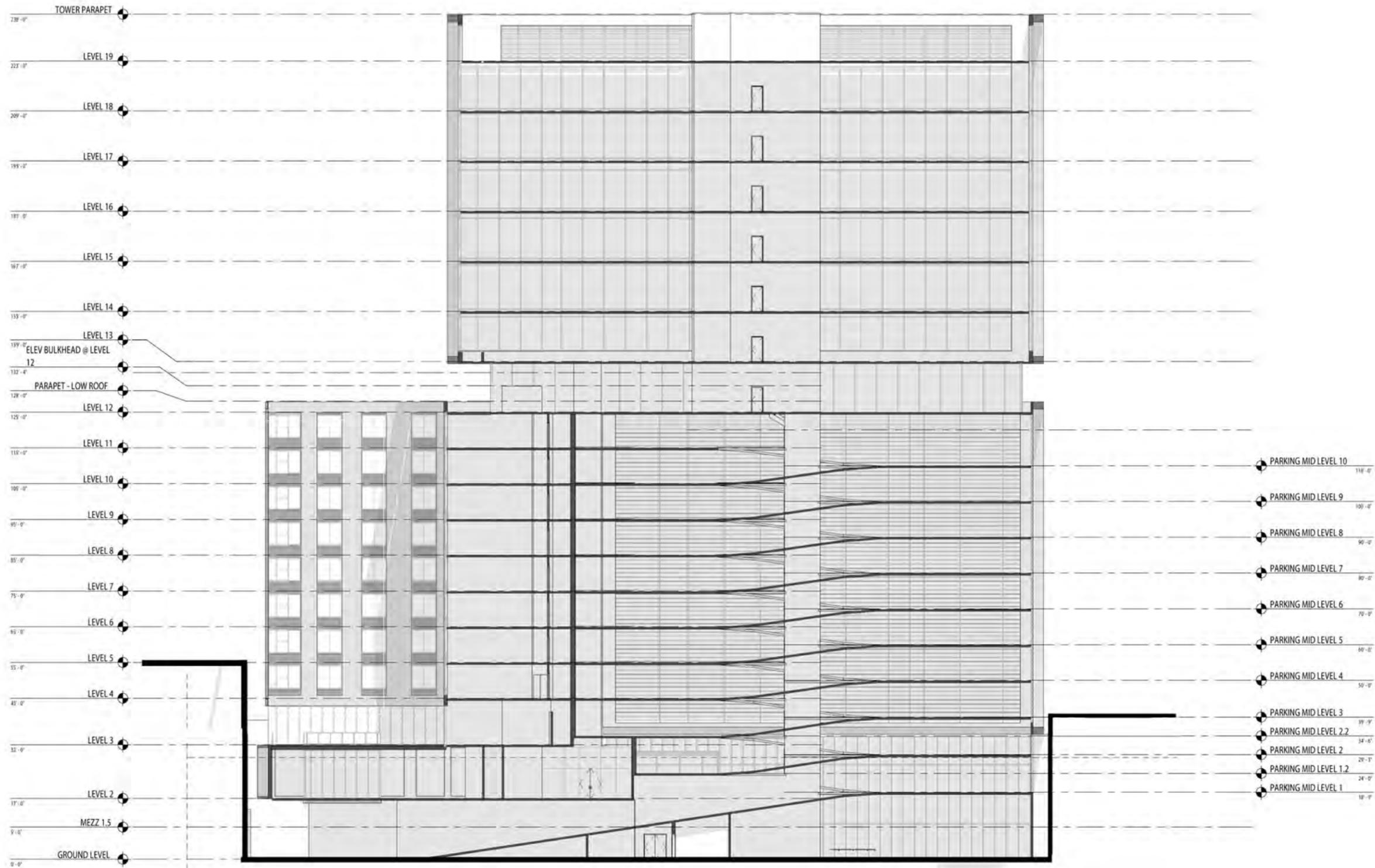


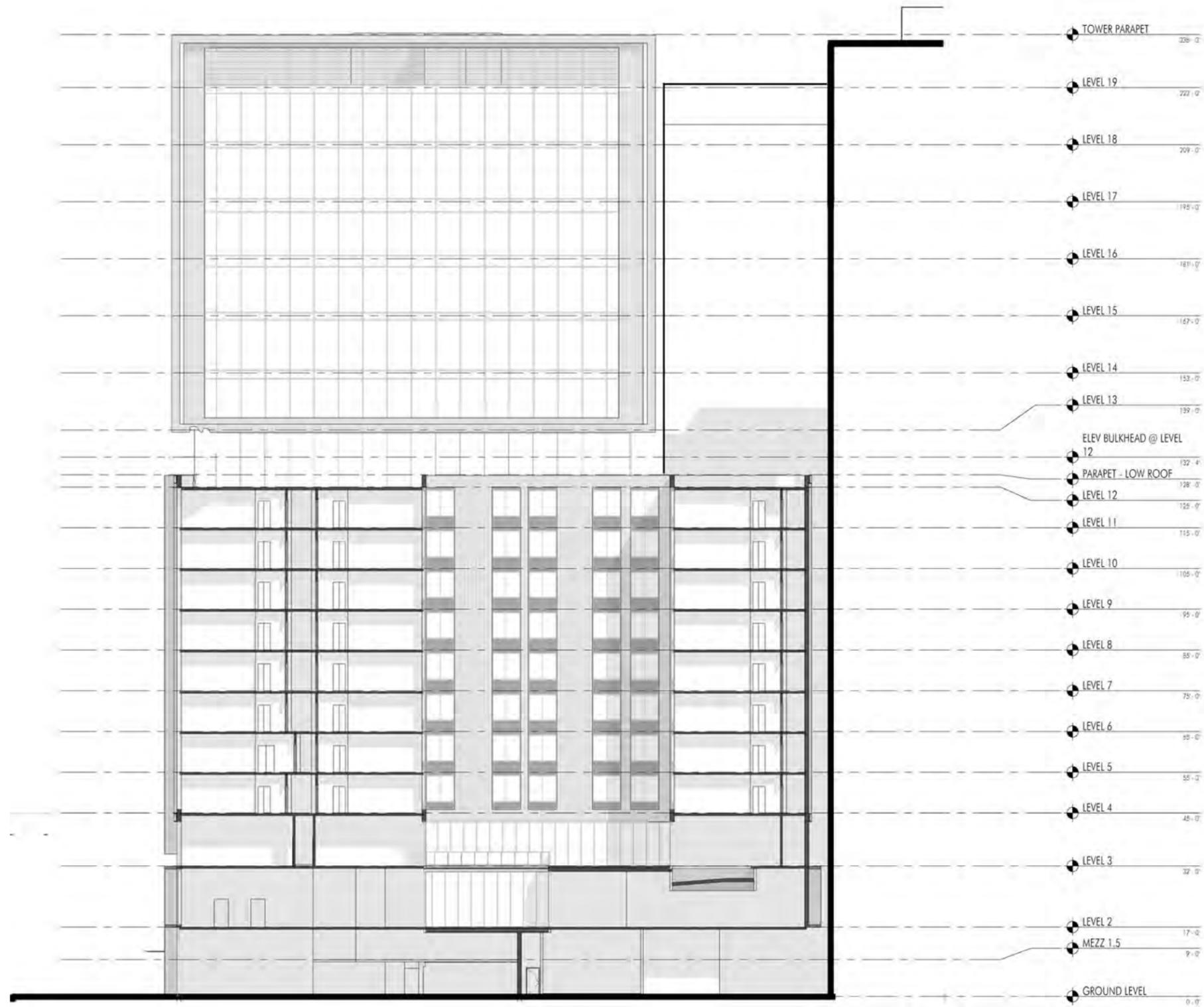
OFFICE  
17,027 SF

CORE  
1,460 SF

COLOR LEGEND

- Core
- Office

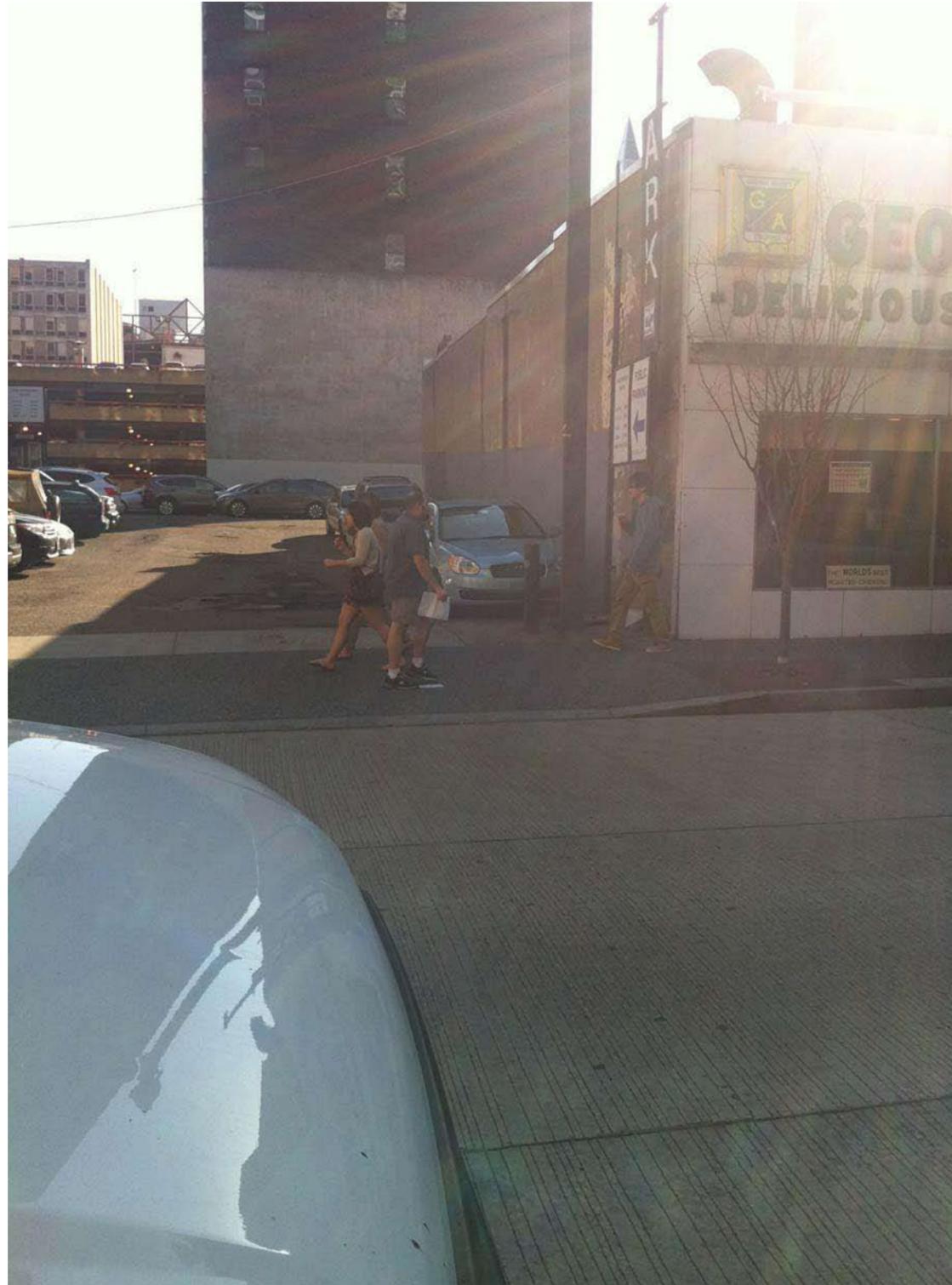




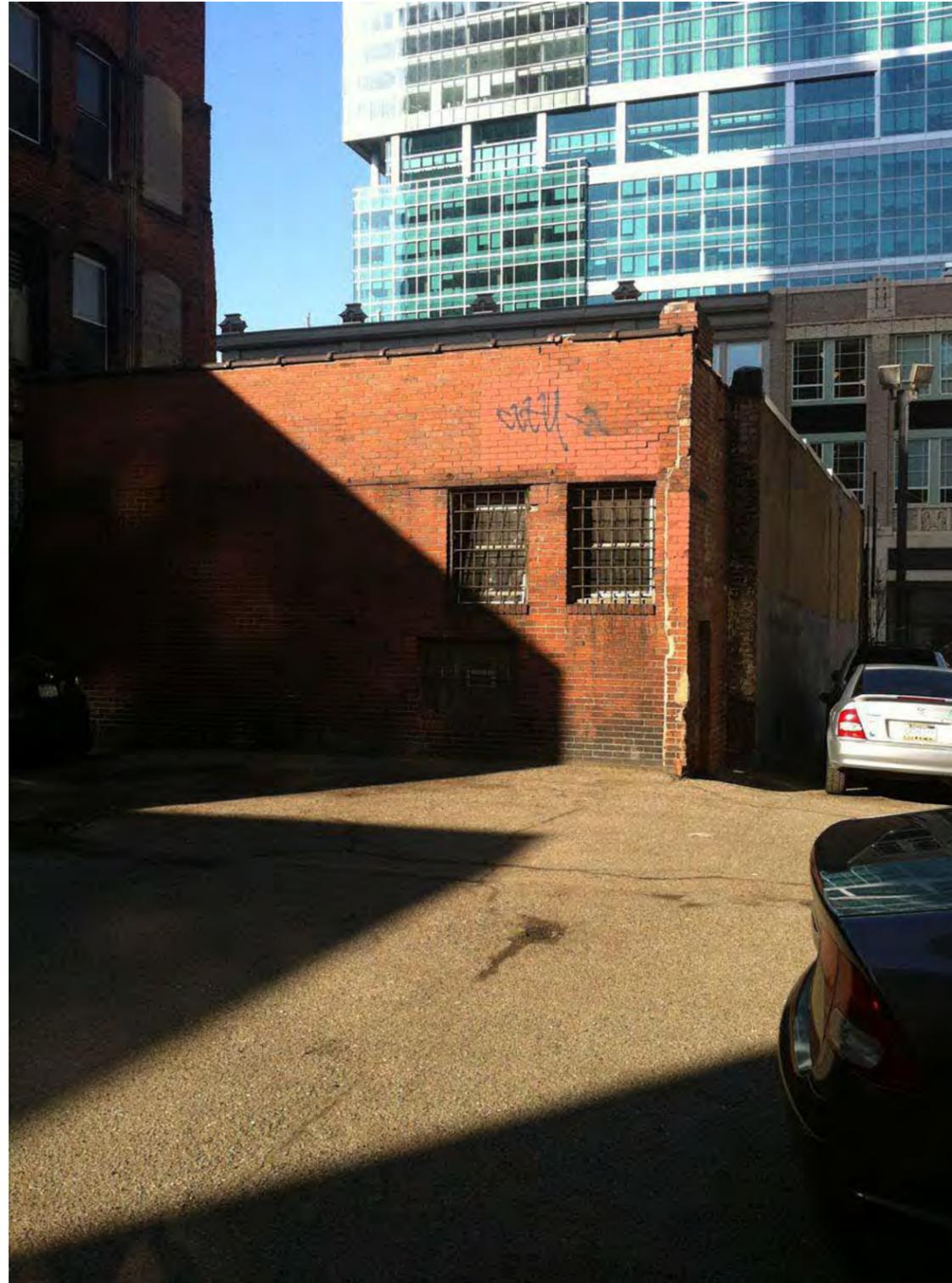




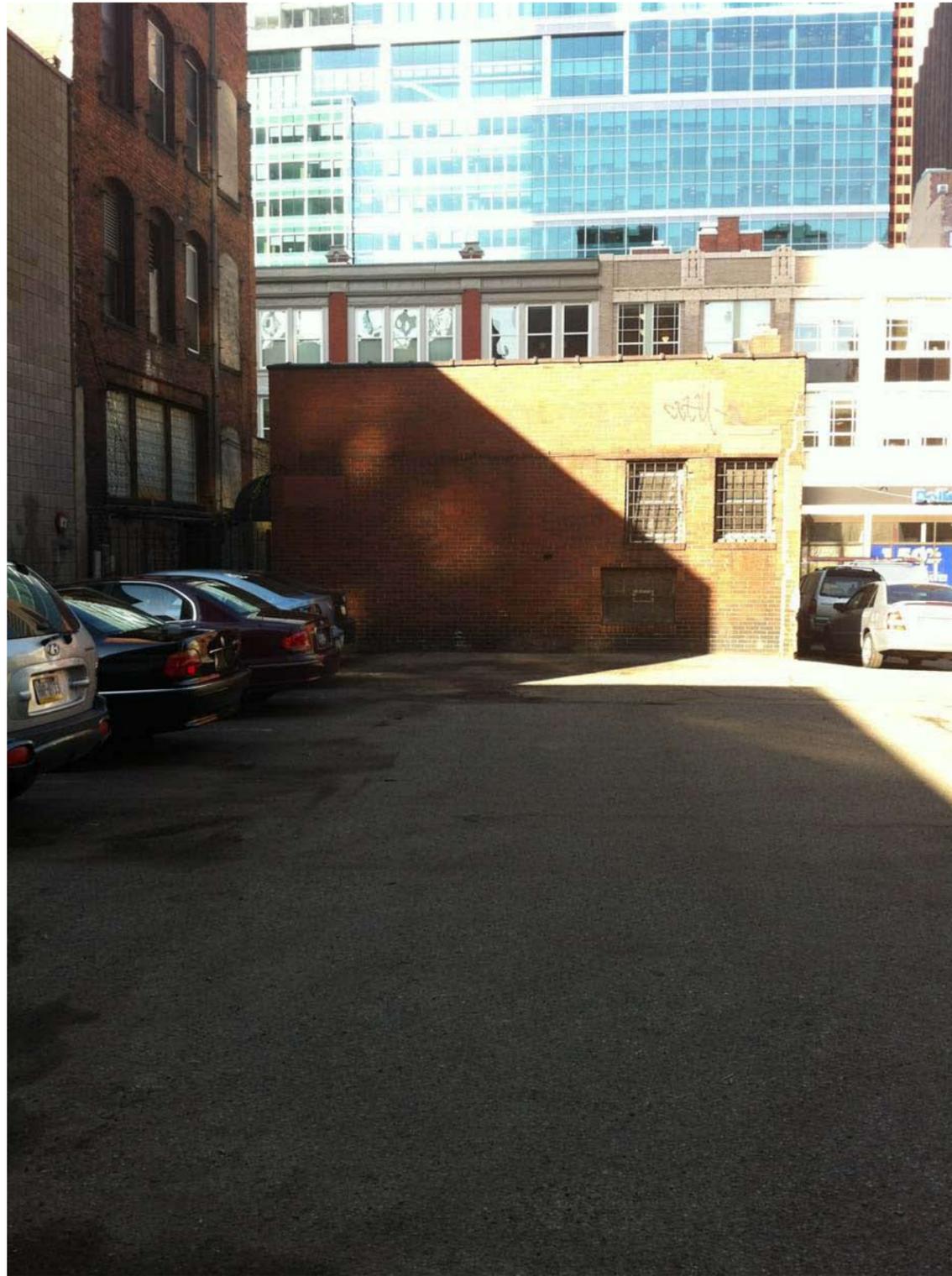














Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

- Staff Use -

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**FEE SCHEDULE:** See attached  
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid:  \$ \_\_\_\_\_

Date Received: \_\_\_\_\_  
 Hearing Date: \_\_\_\_\_  
 Lot and Block #: \_\_\_\_\_

ADDRESS OF PROPERTY: 228 FORBES AVENUE  
PITTSBURGH, PA 15222

HISTORIC DISTRICT: MARKET SQUARE

**OWNER**

**APPLICANT**

Name: MILLCRAFT INDUSTRIES  
 Address: 95 W. BEAUM STREET, SUITE 600  
 City, State, Zip: WASHINGTON, PA 15301  
 Phone: 724 229-8800 Fax: 724 884-0474  
 E-MAIL: CWheatley@millicraftindustries.com

Name: ARQUITECTONICA  
 Address: 100 FIFTH AVENUE, 10th FLOOR  
 City, State, Zip: NEW YORK, NY 10011  
 Phone: 212 254-2700 Fax: 212 533-9203  
 E-MAIL: Jchung@arquitectonica.com

REQUIRED ATTACHMENTS:  Drawings  Photographs  Renderings  Site Plan  Other

DETAILED DESCRIPTION OF PROPOSED WORK: MIXED USE HIGH RISE DEVELOPMENT WITH GROUND FLOOR RETAIL + LOBBIES, 2nd FLOOR F&B/BOH, 9 STORIES OF PARKING AND HOTEL WITH 7 STORIES OF CLASS A OFFICE ABOVE.

SIGNATURE \_\_\_\_\_, Owner DATE \_\_\_\_\_  
[Signature], Applicant DATE 3/16/12



