



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room

September 5, 2012

AGENDA

(Vacant), *Chairman*

Ernie Hogan, *Acting Chairman*

Noor Ismail, *Director of Planning*

John Jennings, *Secretary, Acting Chief BBI*

Linda McClellan

Joe Serrao

(Vacant)

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business

- Decision on representation at September 20, 2012 Mexican War Streets District Expansion meeting

New Business

- Approval of the minutes from the June 2012 hearing
- Certificates of Appropriateness Report – August
- Applications for a Certificate of Economic Hardship – None

Upcoming Demolitions, no action at this time

- None

➤ **1:00 PM HEARING & ACTION**

1. East Carson Street Historic District

1500 Bingham Street
Bingham Partners, owners
Justin Cipriani, applicant
**Renovation to accommodate
condominiums**

2. East Carson Street Historic District

1922 East Carson Street
GB Properties DA, LP, owner
Eat'n Park
Renovation of façade and side elevation

3. Individual Designation -

Iron City Brewery
3340 Liberty Avenue
Collier Development, owner
Tim Frew, applicant
Lighting, cleaning, roofing

4. Manchester Historic District

1339 W. North Avenue
Paula Cellini, owner and applicant
Replacement of a garage and balcony

-
- **DEMOLITIONS**
 - **DIRECTOR'S REPORT**
 - **ADJOURNMENT**

The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public. INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

Please contact Sarah Quinn with questions and comments: 412-255-2243

sarah.quinn@city.pittsburgh.pa.us



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1500 Bingham Street
 Pittsburgh, PA 15203

OWNER:

NAME: 1500 Bingham Partners, LP
 ADDRESS: 223 Fourth Ave
 Pittsburgh, PA 15222
 PHONE: o (412) 471-2442
 EMAIL: rpmills@millshenry.com

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

Southside/ the East Carson Designated Historic District

APPLICANT:

NAME: Justin Cipriani/ Permier Architecture
 ADDRESS: 1273 Washington Pike, No. 202
 Brideville, PA 15017
 PHONE: o (412) 257-9010/ c (510) 459-6271
 EMAIL: justin@ciprianistudios.com

REQUIRED ATTACHMENTS:

Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Renovation and vertical extension to existing (2) level masonry garage. Proposed structure to be
 (5) residential units on (3) levels w/ mezzanine and roof deck. (7) parking spaces provided.

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: _____ DATE: _____



1500 BINGHAM

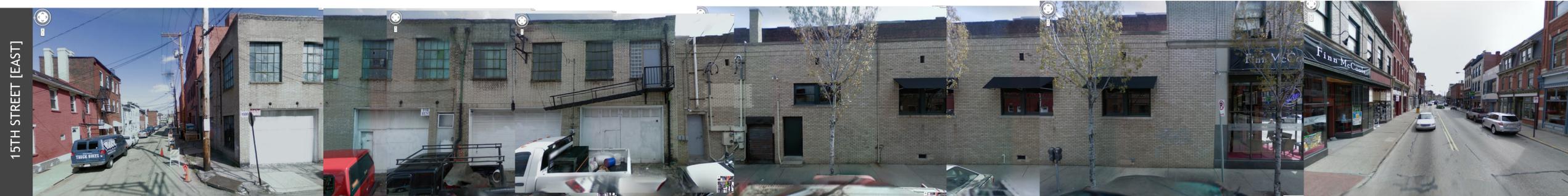
1500 BINGHAM STREET PITTSBURGH, PA 15203

JMAC
ARCHITECTS

1275 Washington Pike
Bridgeville, PA 15117

T. 412.237.9400
F. 412.237.9300

CIPRIANISTUDIOS
1273 WASHINGTON PIKE, No. 202
BRIDGEVILLE, PA 15017
T. 510.459.6271
E. INFO@CIPRIANISTUDIOS.COM



15TH STREET [EAST]

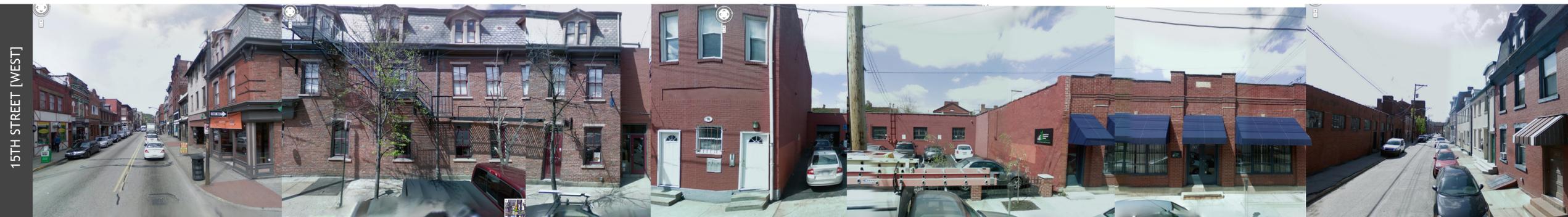
BINGHAM STREET

SUBJECT PROPERTY
1500 BINGHAM ST.

1501 E. CARSON ST.

E. CASRON STREET

| ISSUE | DATE |
|------------|---------|
| SCHEMATIC | 4.10.12 |
| ZONING SET | 5.8.12 |



15TH STREET [WEST]

E. CASRON STREET

1417 E CASRON STREET

70 S. 15TH STREET

60 S. 15TH STREET

BINGHAM STREET

**1500
BINGHAM**
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : STREETSCAPE



BINGHAM STREET [SOUTH]

S. 16TH STREET

1505 BINGHAM ST.

SUBJECT PROPERTY
1500 BINGHAM ST.

S. 15TH STREET

SCALE : NA

A 0.0

SHEET



JMAC ARCHITECTS
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 Bridgeville, PA 15017

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 BRIDGEVILLE, PA 15017
 T. 510.459.6271
 E. INFO@CIPRIANISTUDIOS.COM

| ISSUE | DATE |
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| SCHEMATIC | 4.10.12 |
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1500 BINGHAM
 1500 BINGHAM STREET
 PITTSBURGH, PA 15203

NAME : RENDERING

SCALE : NA

A 0.2
 SHEET



JMAC
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**1500
BINGHAM**
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : RENDERING

SCALE : NA

A 0.3

SHEET

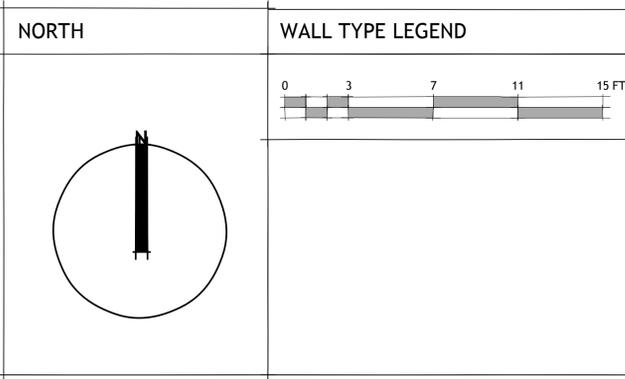
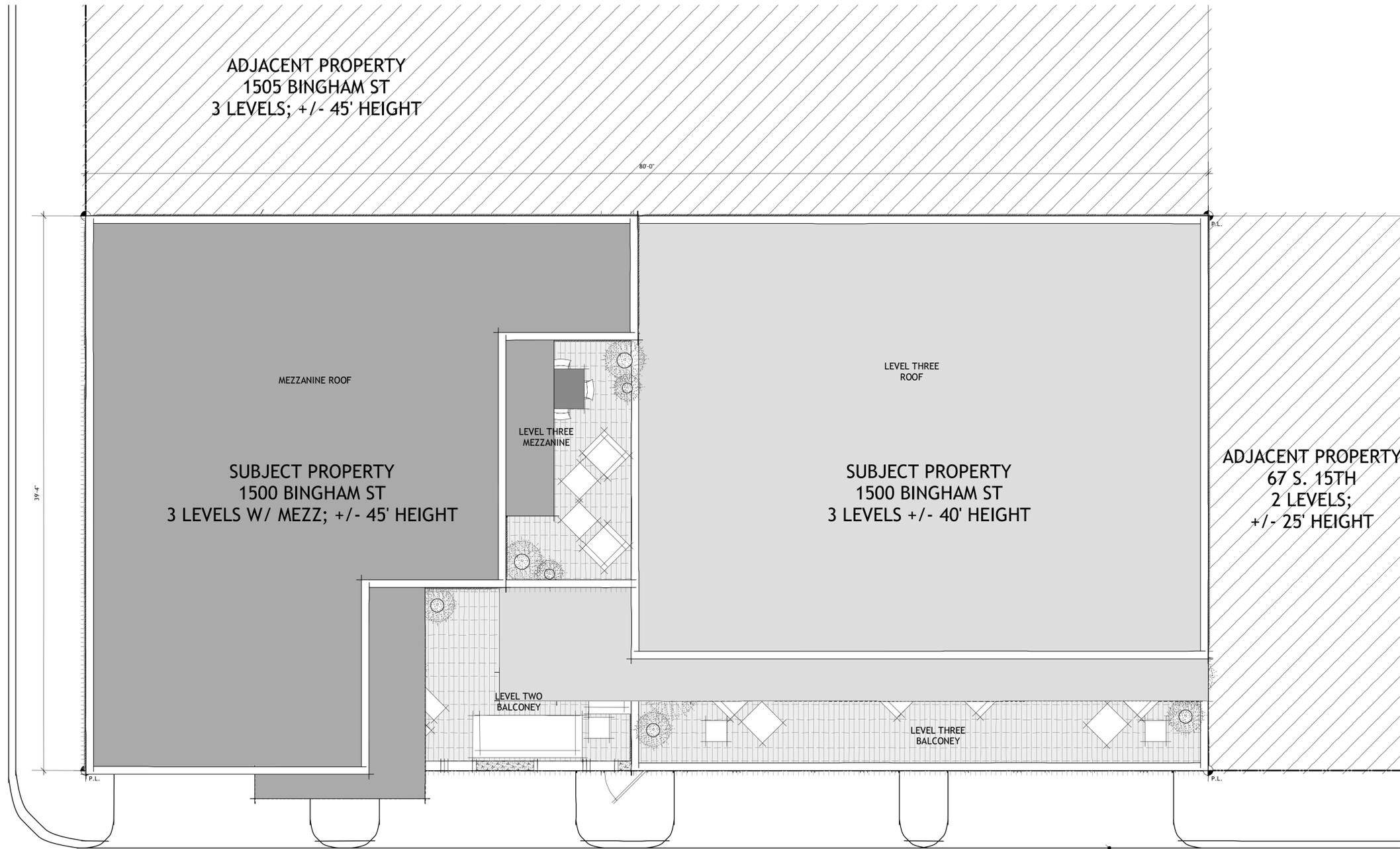
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1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : SITE PLAN

SCALE : 1/8"=1'-0"

A 2.0
SHEET

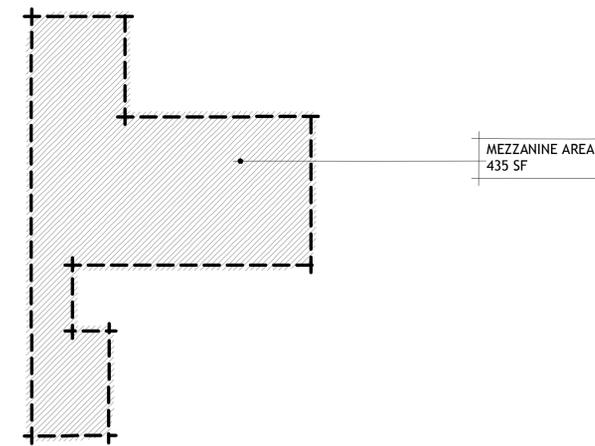
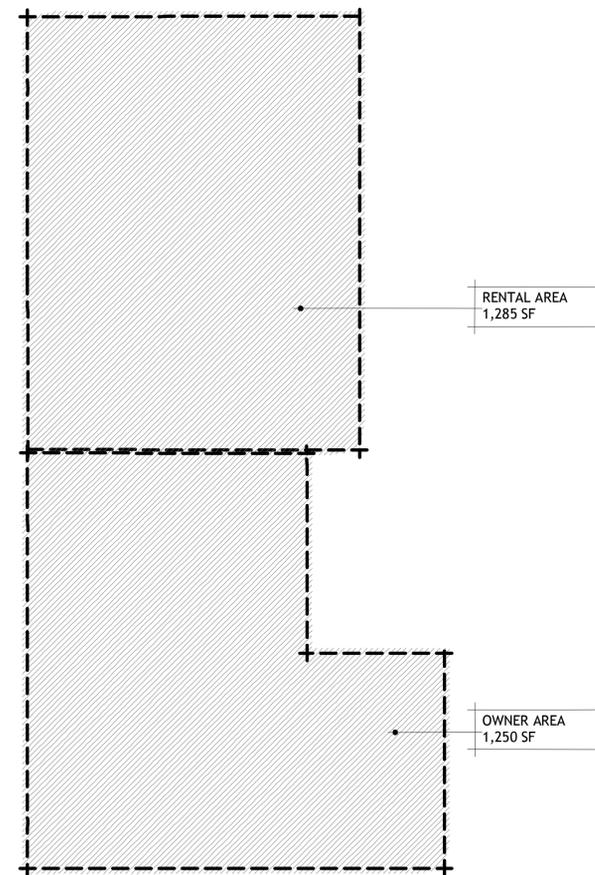
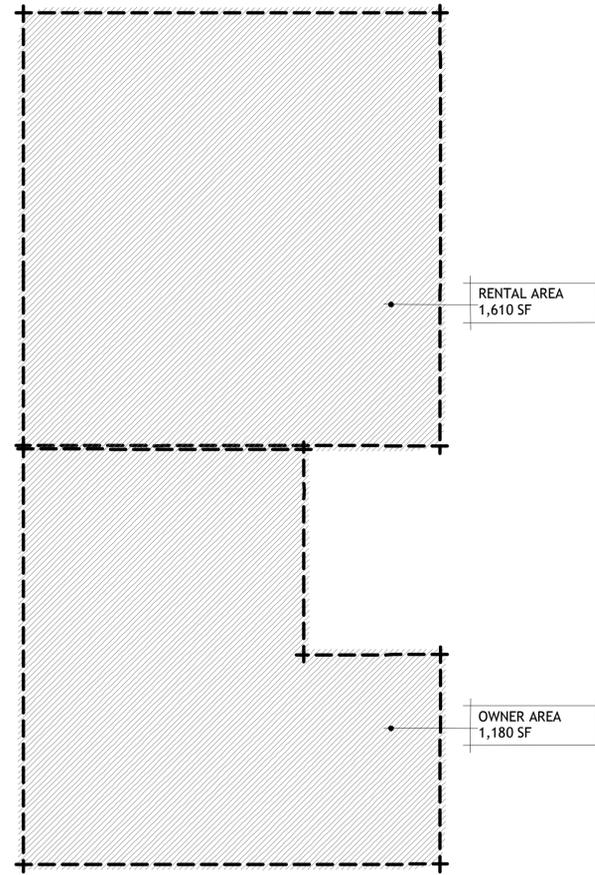
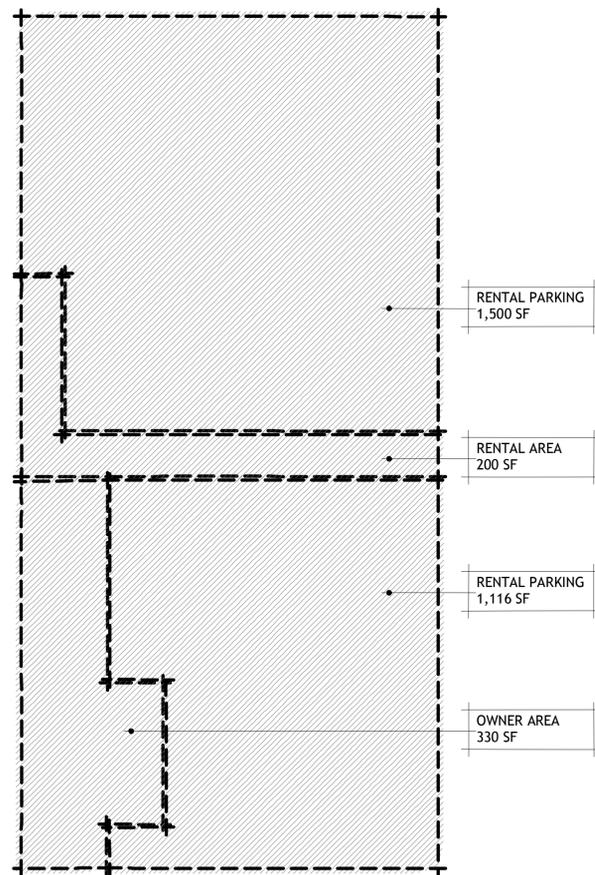


| ISSUE | DATE |
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1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : FAR DIAGRAMS

SCALE : 1/8"=1'-0"



| FAR CALCS | RENTAL | OWNER | TOTAL |
|------------------|---------------|---------------|----------|
| LEVEL 1/ PARKING | 200/ 1,500 SF | 330/ 1,116 SF | 530 SF |
| LEVEL 2 | 1,610 SF | 1,180 SF | 2,790 SF |
| LEVEL 3 | 1,285 SF | 1,250 SF | 2,535 SF |
| MEZZANINE | - SF | 435 SF | 435 SF |
| TOTAL | 3,095 SF | 3,195 SF | 6,290 SF |

| FAR CALCS | RENTAL | OWNER | TOTAL |
|------------------|---------------|---------------|----------|
| LEVEL 1/ PARKING | 200/ 1,500 SF | 330/ 1,116 SF | 530 SF |
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| FAR CALCS | RENTAL | OWNER | TOTAL |
|------------------|---------------|---------------|----------|
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LEVEL ONE

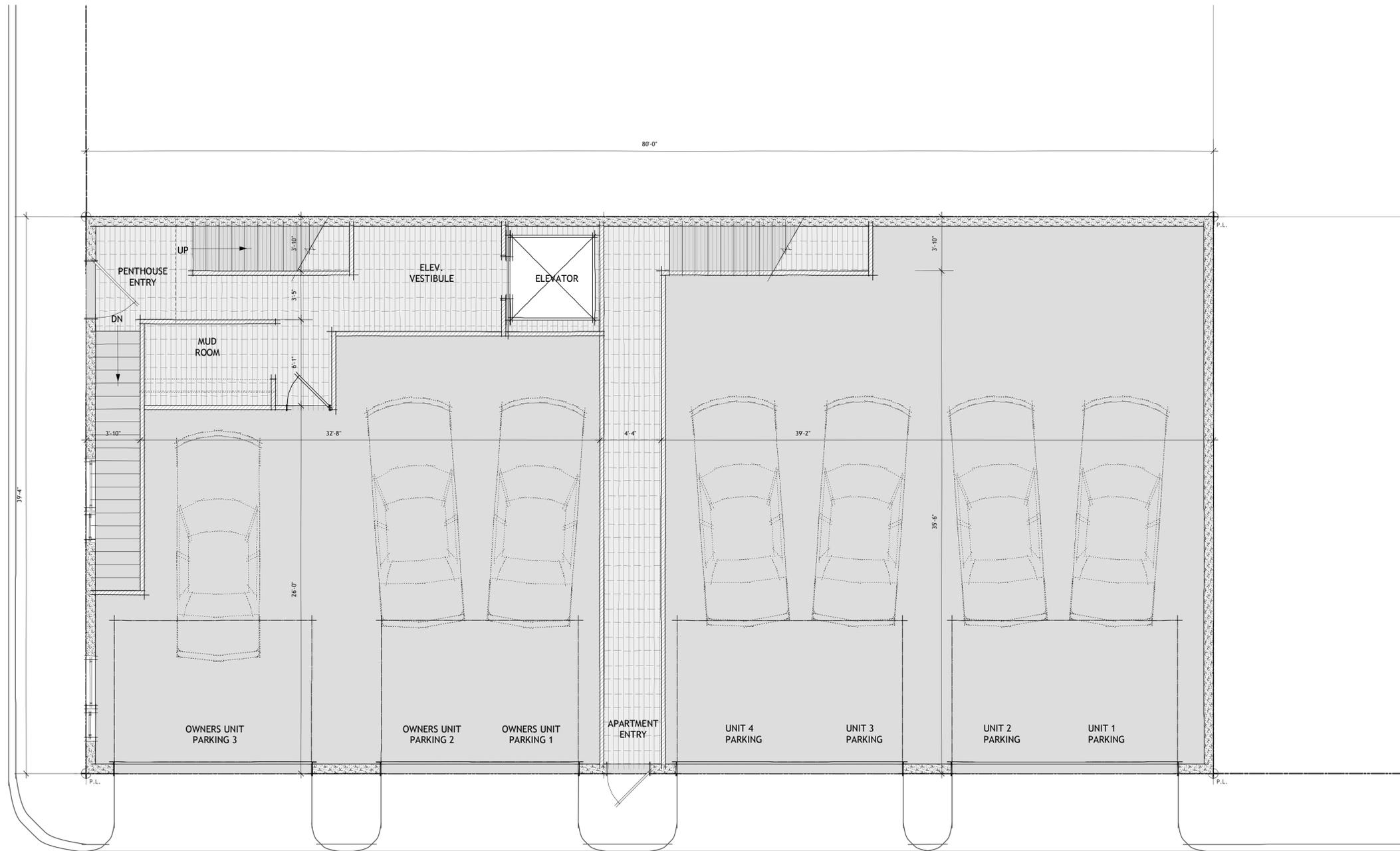
LEVEL TWO

LEVEL THREE

LEVEL THREE MEZZANINE

SHEET

A 2.0



| ISSUE | DATE |
|------------|---------|
| SCHEMATIC | 4.10.12 |
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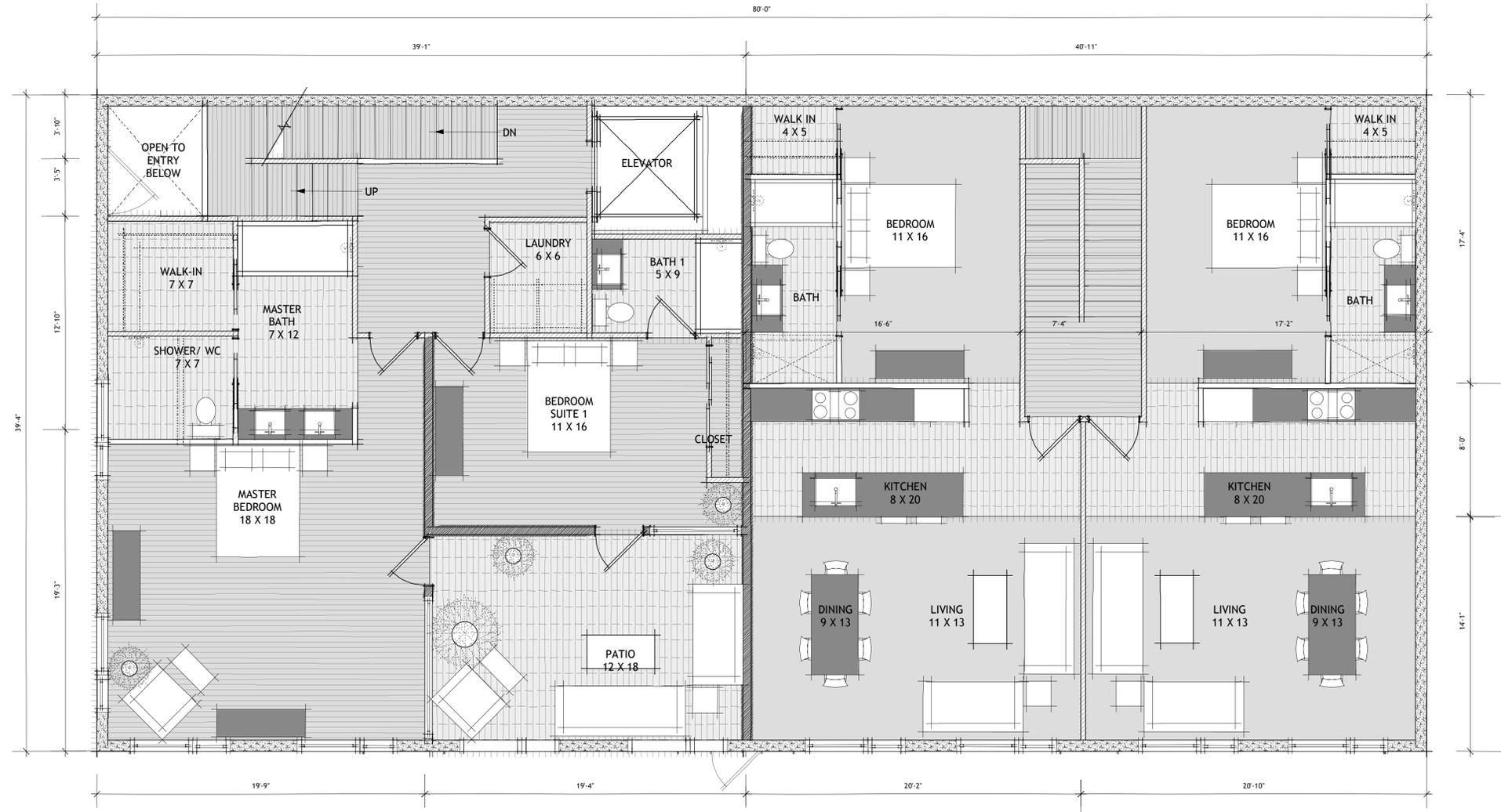
1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : LEVEL 1 FLOOR PLAN

SCALE : 1/4"=1'-0"

A 2.1
SHEET

| NORTH | WALL TYPE LEGEND | NOTES |
|-------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| | | |
| | <p>WALL TYPE LEGEND</p> <ul style="list-style-type: none"> (N) 2 X 4 FRAMED WALL (N) FRAMED RAILING/ LOW WALL (N) 2 X 6 FRAMED WALL (R-22 @ EXTERIOR LOCATIONS) (E) MASONRY 2" X 6" FRAMED PLUMBING WALL | |



| ISSUE | DATE |
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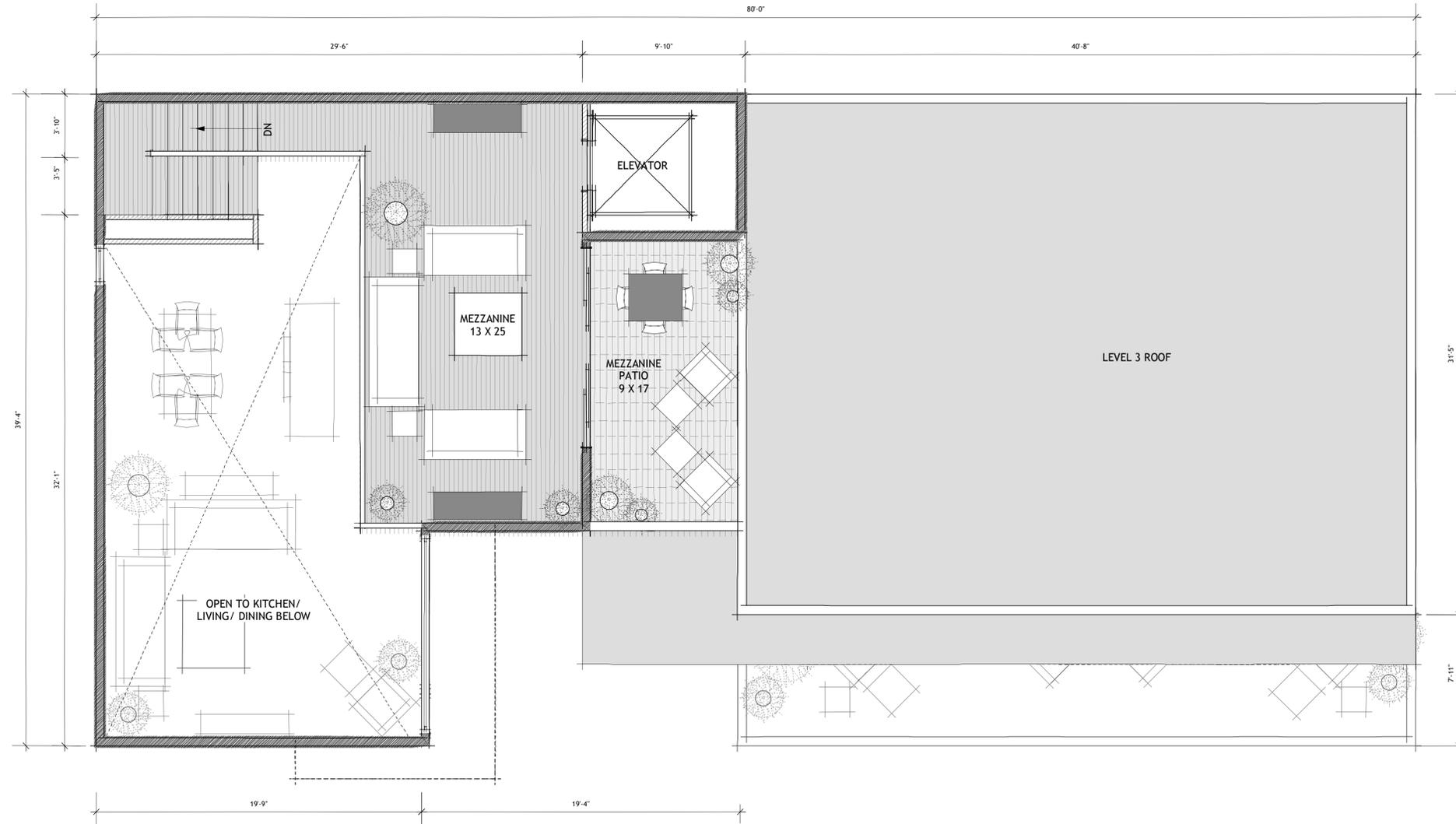
1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : LEVEL 2 FLOOR PLAN

SCALE : 1/4"=1'-0"

A 2.2
SHEET

| NORTH | WALL TYPE LEGEND | NOTES |
|-------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| | | |
| | <p>WALL TYPE LEGEND</p> <ul style="list-style-type: none"> (N) 2 X 4 FRAMED WALL (N) FRAMED RAILING/ LOW WALL (N) 2 X 6 FRAMED WALL (R-22 @ EXTERIOR LOCATIONS) (E) MASONRY 2" X 6" FRAMED PLUMBING WALL | |



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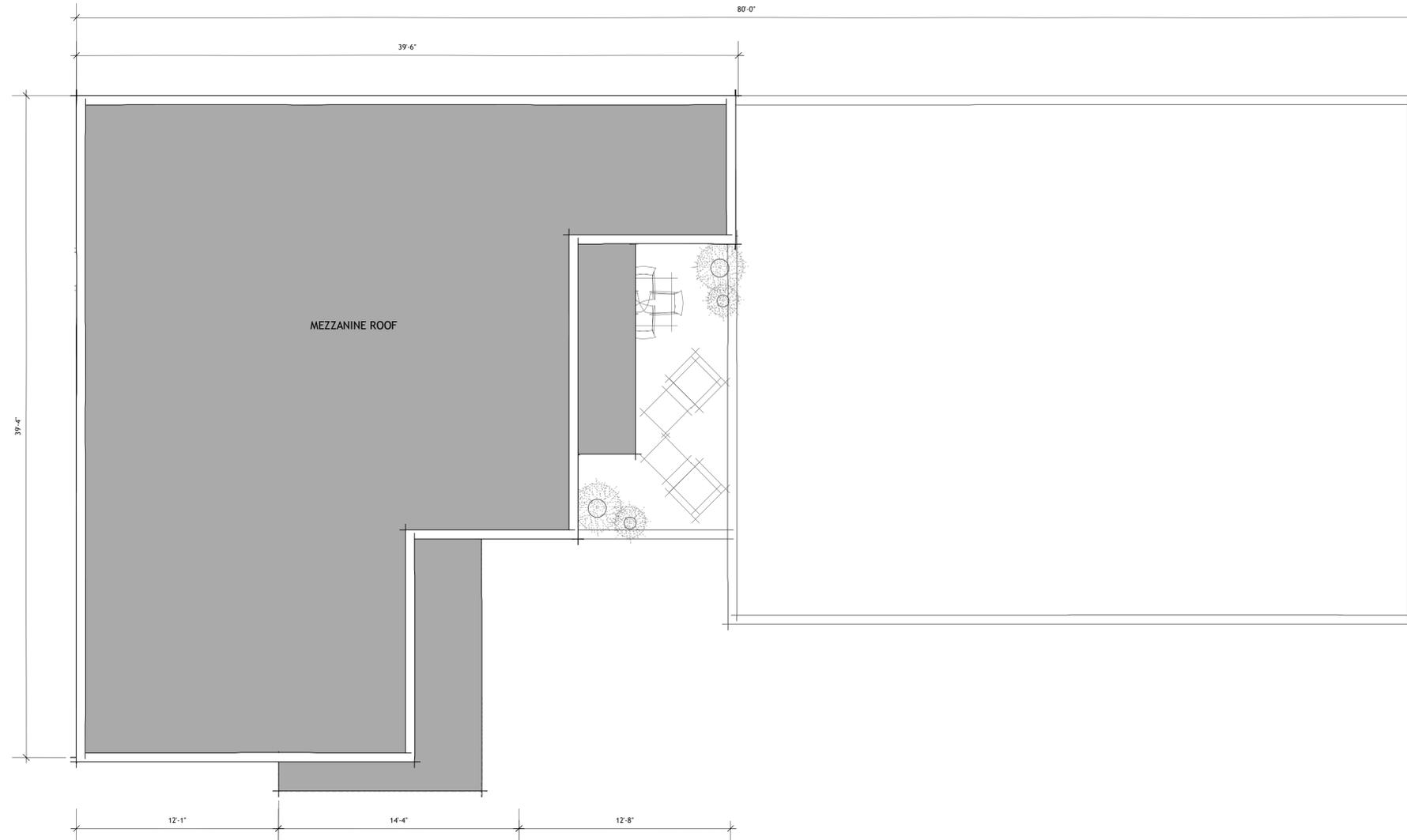
1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : LEVEL 3 MEZZ FLOOR PLAN

SCALE : 1/4"=1'-0"

A 2.4
SHEET

| NORTH | WALL TYPE LEGEND | NOTES |
|-------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| | | |
| | <p>WALL TYPE LEGEND</p> <ul style="list-style-type: none"> (N) 2 X 4 FRAMED WALL (N) FRAMED RAILING/ LOW WALL (N) 2 X 6 FRAMED WALL (R-22 @ EXTERIOR LOCATIONS) (E) MASONRY 2" X 6" FRAMED PLUMBING WALL | |



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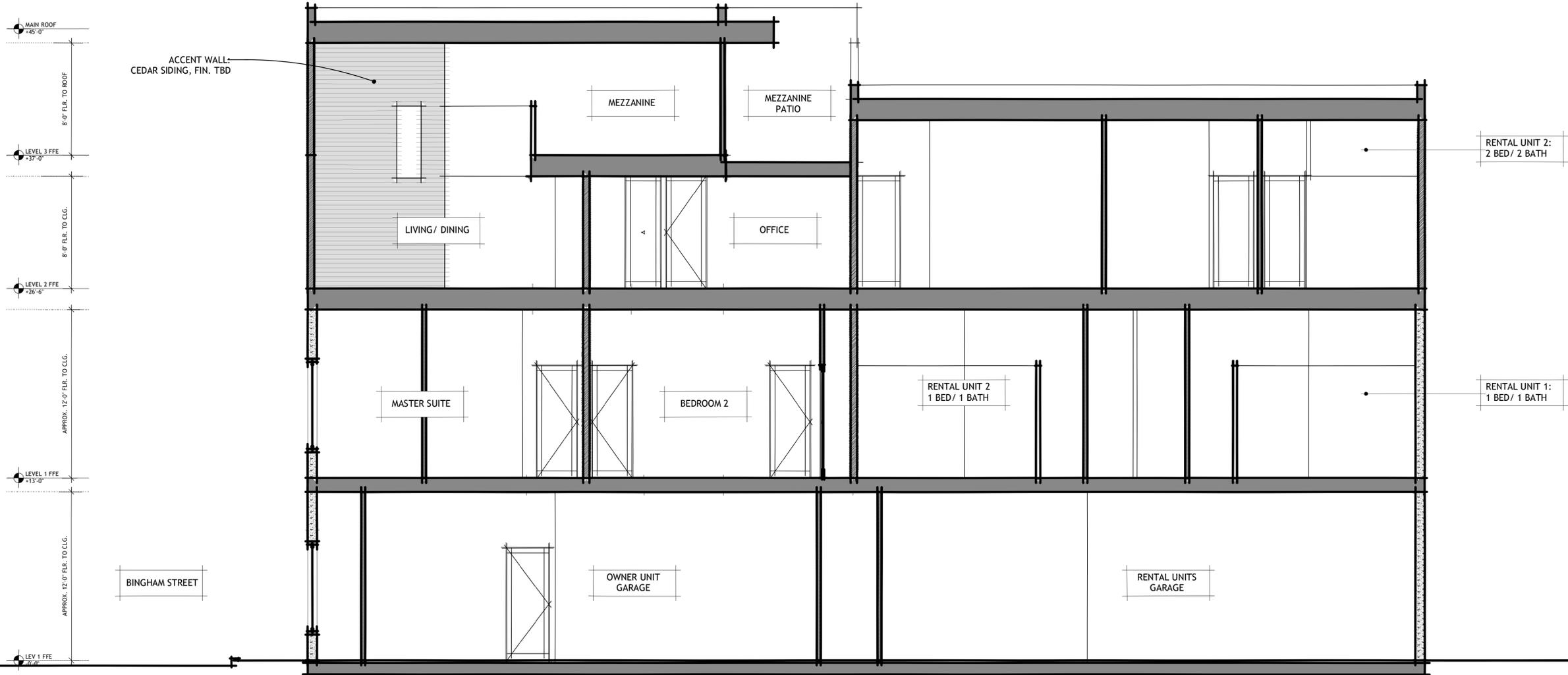
1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : ROOF PLAN

SCALE : 1/4"=1'-0"

A 2.5
SHEET

| NORTH | WALL TYPE LEGEND | NOTES |
|-------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| | | |
| | <p>WALL TYPE LEGEND</p> <ul style="list-style-type: none"> (N) 2 X 4 FRAMED WALL (N) FRAMED RAILING/ LOW WALL (N) 2 X 6 FRAMED WALL (R-22 @ EXTERIOR LOCATIONS) (E) MASONRY 2" X 6" FRAMED PLUMBING WALL | |



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1500 BINGHAM
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PITTSBURGH, PA 15203

NAME : BUILDING SECTION

SCALE : 1/4"=1'-0"

A 3.1
SHEET

| ISSUE | DATE |
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1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : SOUTH ELEVATION

SCALE : 1/4"=1'-0"

A 4.1

SHEET



| ISSUE | DATE |
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1500 BINGHAM
1500 BINGHAM STREET
PITTSBURGH, PA 15203

NAME : WEST ELEVATION

SCALE : 1/4"=1'-0"

A 4.2
SHEET



CLADDING
ALUMINUM ON SUBSTRATE, TO MATCH WINDOW FIN.

WINDOWS:
(N) ALUMINUM TO MATCH REPLACEMENT, FIN. TBD

(N) SIDING:
COMPOSITE PANEL PRODUCT, TBD. FIN. TBD

WINDOWS:
(N) ALUMINUM REAPLCEMENT, FIN. TBD

(E) BRICK:
TO REMAIN. REPAIR, PATCH, AND PROTECT AS REQ'D

(N) SIDING:
COMPOSITE PANEL PRODUCT, TBD. FIN. TBD

DOORS:
(N) ALUMINUM REAPLCEMENT, FIN. TBD

15TH STREET



WAUSAU

WINDOW AND WALL
SYSTEMS

ELEVATIONS

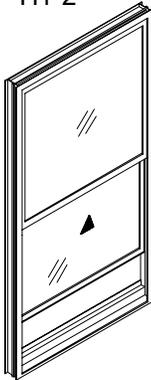
Architectural Windows

310i SHS Series

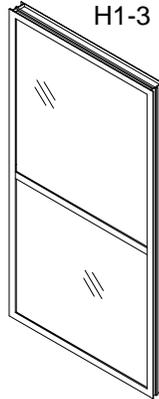
Elevations Viewed From The Exterior

Catalog Page Number

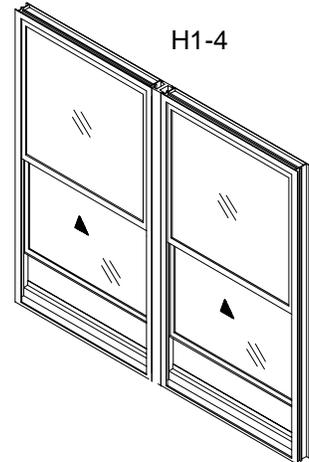
H1-2



H1-3

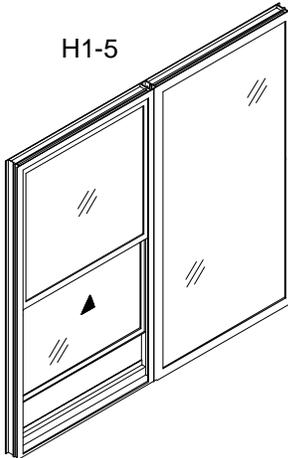


H1-4

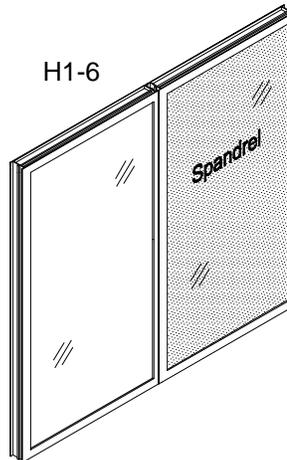


Details H1-2 thru H1-3
Mullion Stacks H1-4 thru H1-6
Glazing Options H1-7
Balance Options H1-8
Grid Options H1-9
Accessories H1-10

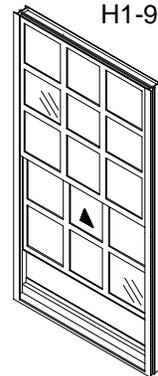
H1-5



H1-6

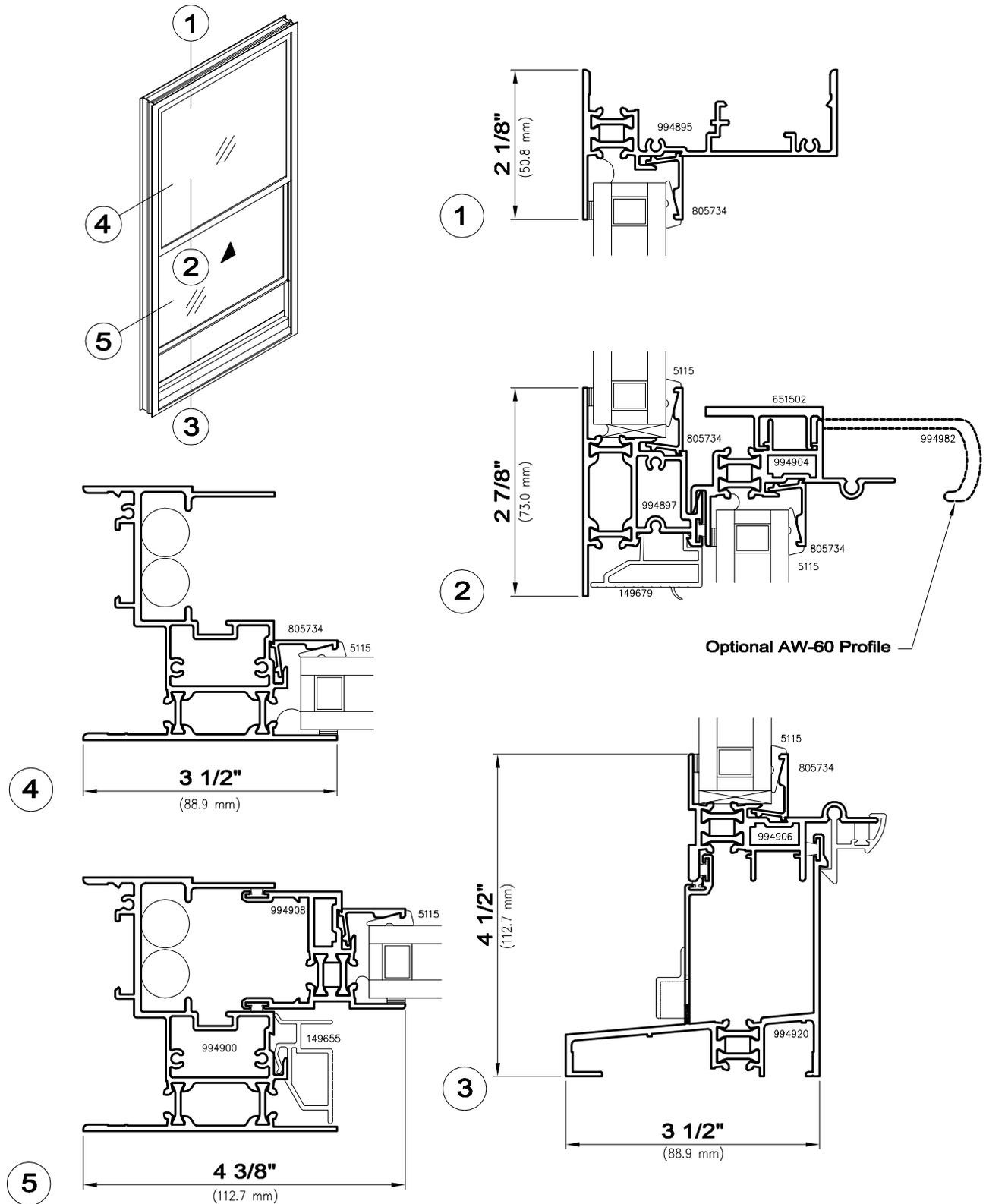


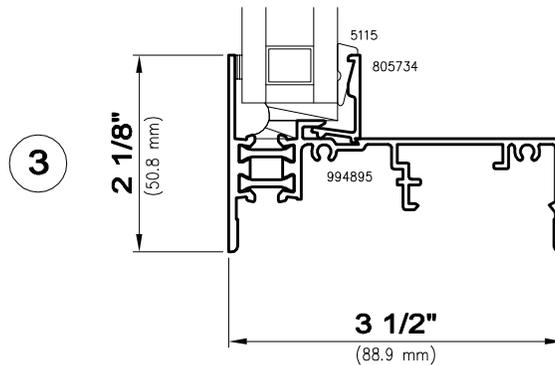
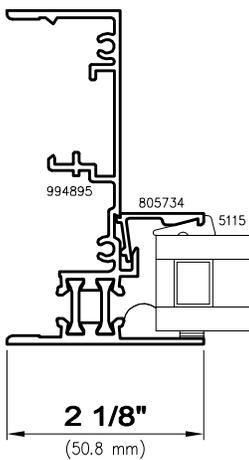
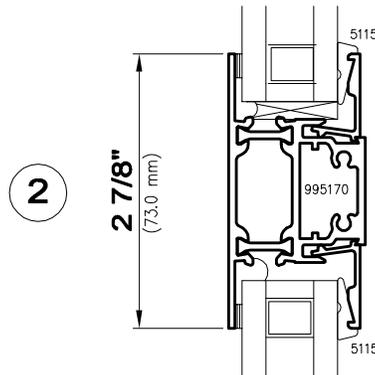
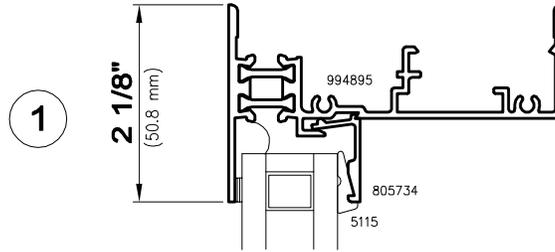
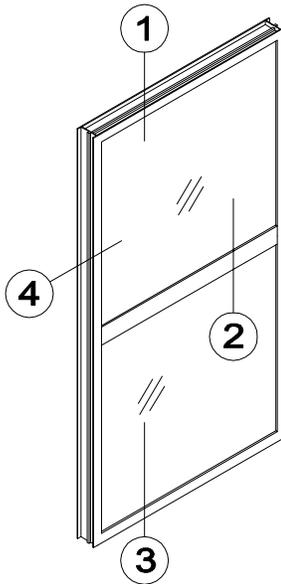
H1-9



310i-SHS

Contact A Wausau Representative For Other Possible Configurations.
 Frame Selections Show Caldwell Ultralift™ Balances.
 Refer To Sheet H1-8 For Balance Options.







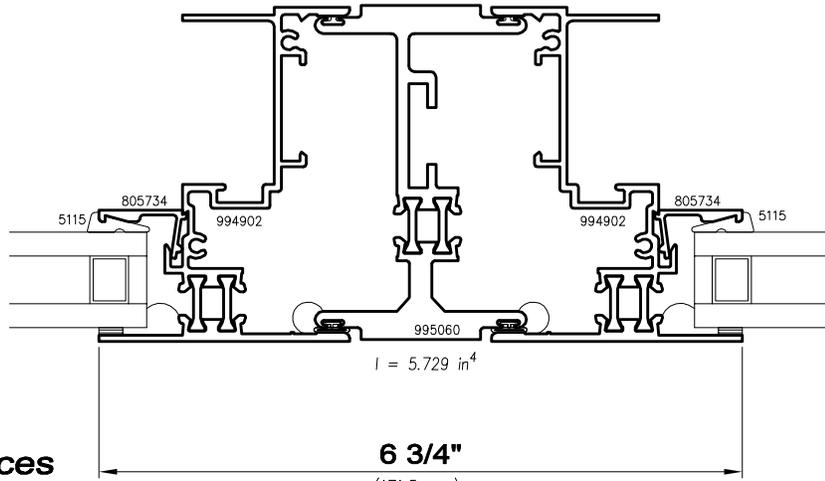
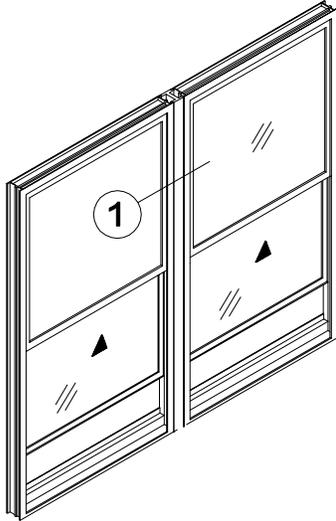
WAUSAU

WINDOW AND WALL
SYSTEMS

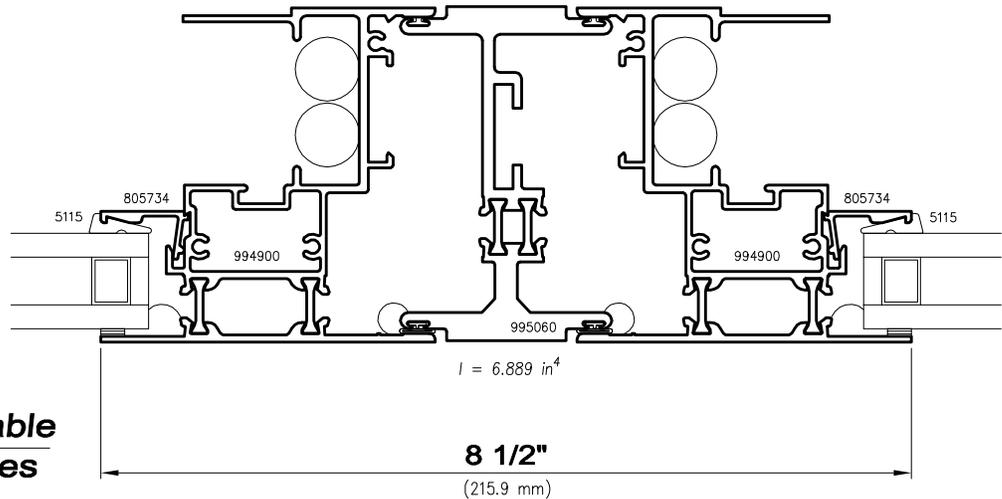
MULLION STACKS

Architectural Windows

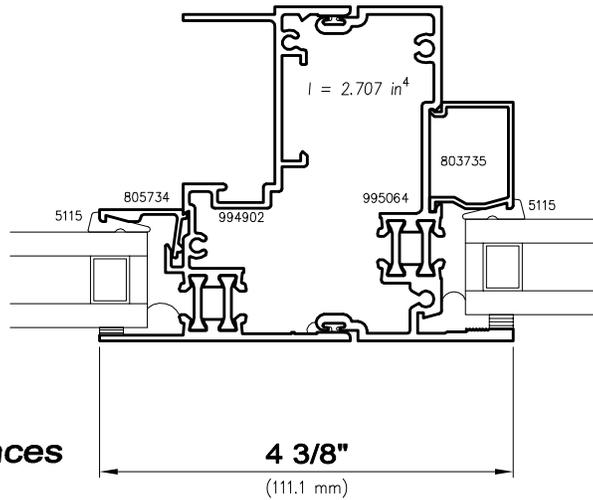
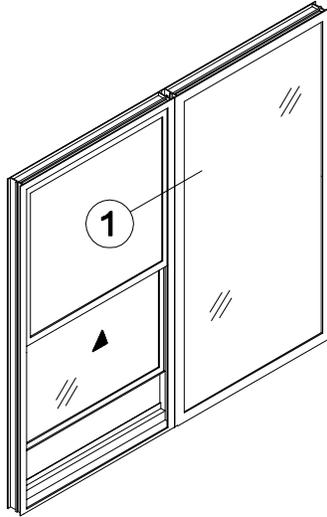
310i SHS Series



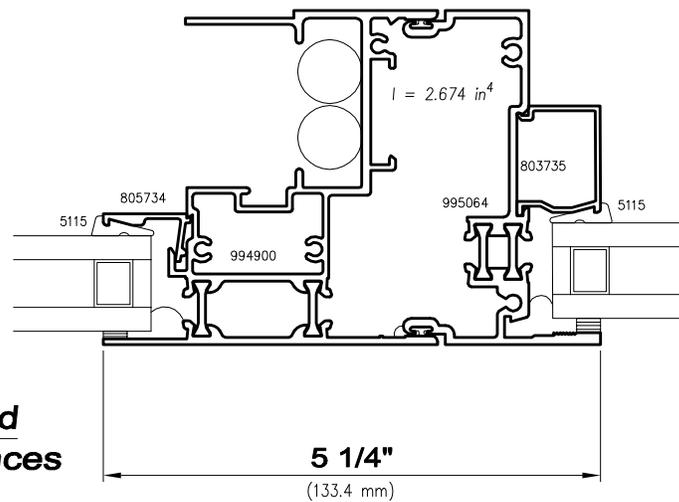
**1 Operable/Operable
Block & Tackle Balances**



**1 Operable/Operable
Ultralift™ Balances**



**1 Operable/Fixed
Block & Tackle Balances**



**1 Operable/Fixed
Ultralift™ Balances**



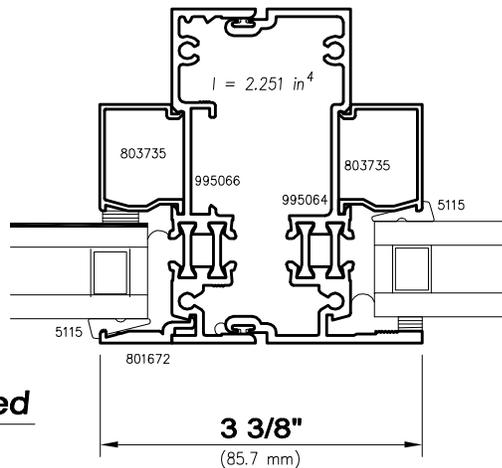
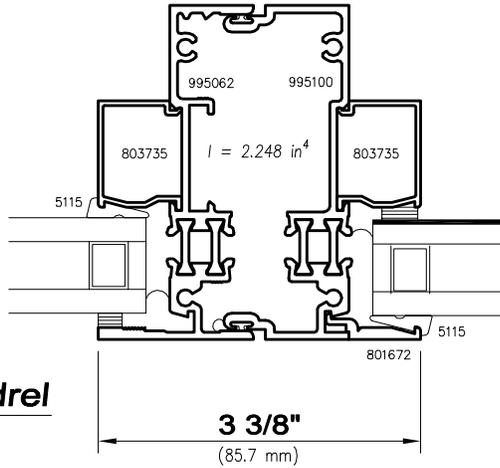
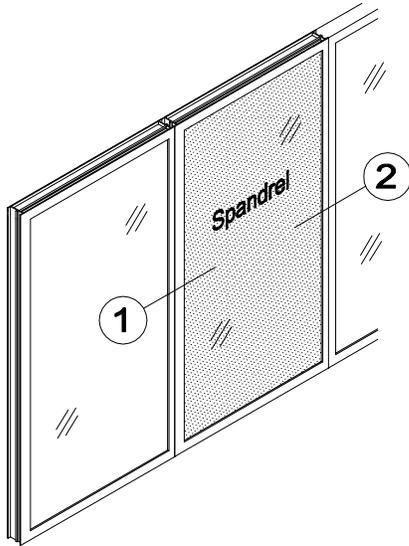
WAUSAU

WINDOW AND WALL
SYSTEMS

MULLION STACKS

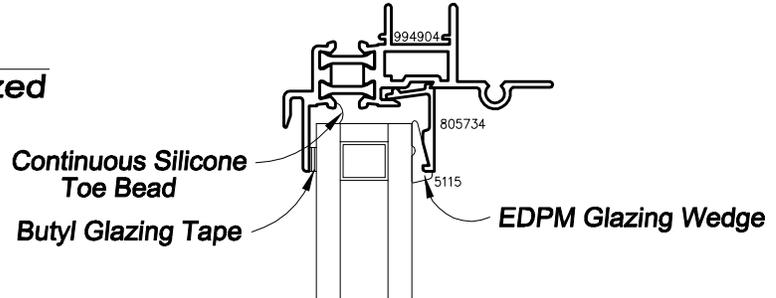
Architectural Windows

310i SHS Series

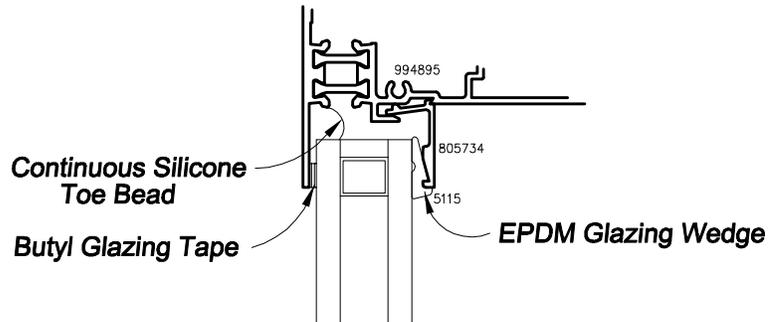




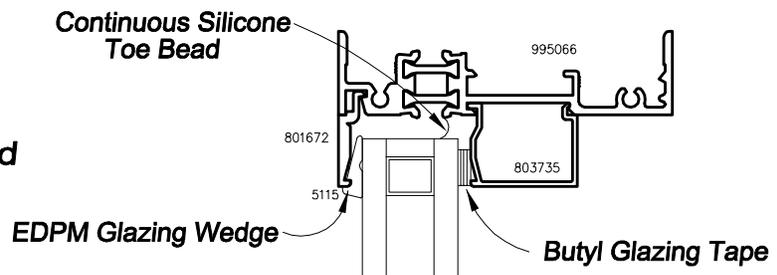
**1" Insulating Glass
Operable Interior Glazed**



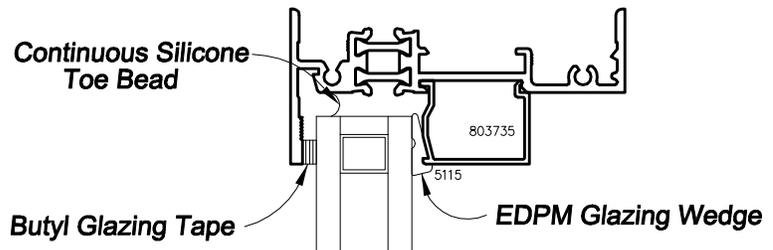
**1" Insulating Glass
Fixed Interior Glazed**

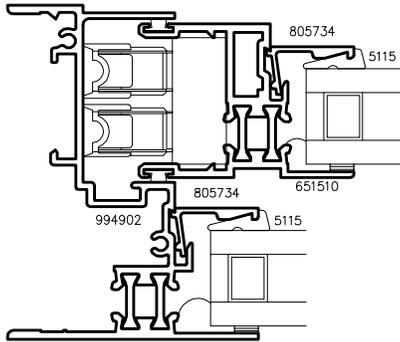


**1" Insulating Glass
Fixed Exterior Glazed**

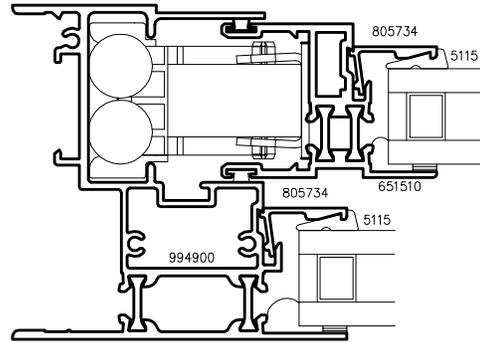


**1" Insulating Glass
Fixed Interior Glazed**

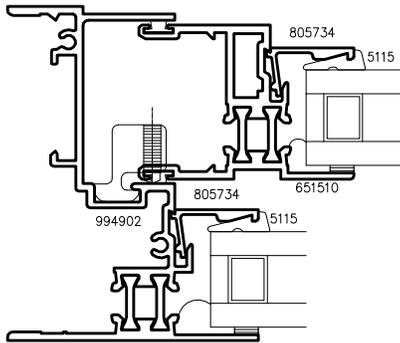




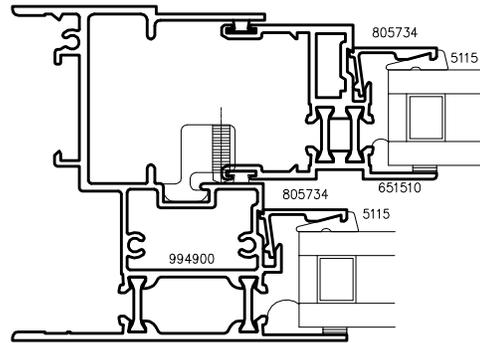
Block & Tackle Balances



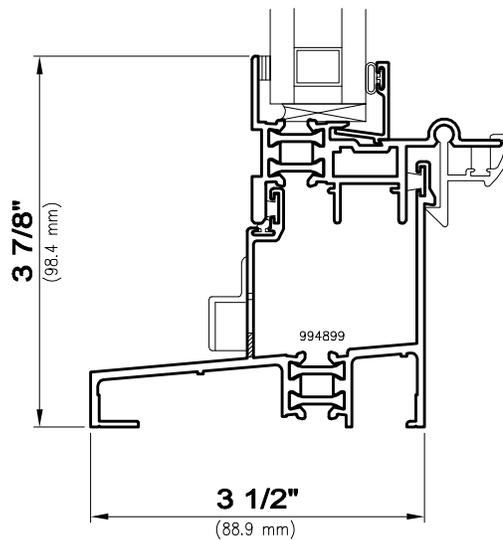
Ultralift™ Balances



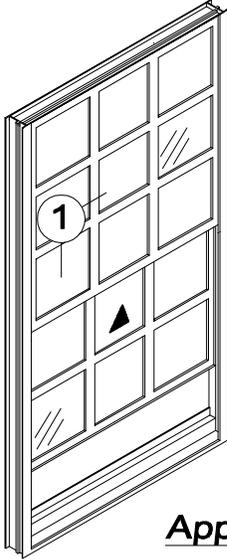
***Block & Tackle Balances
Adjustable Limit Stop***



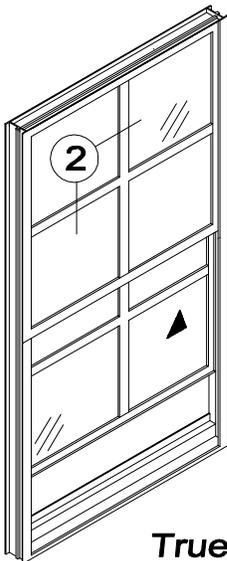
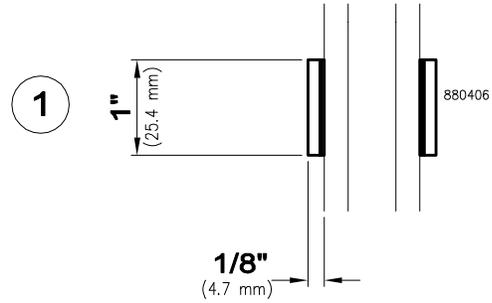
***Ultralift™ Balances
Adjustable Limit Stop***



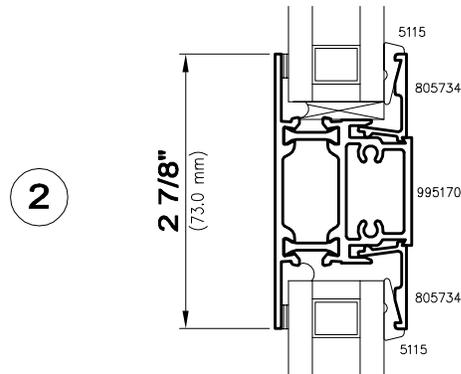
9 PSF Water Sill

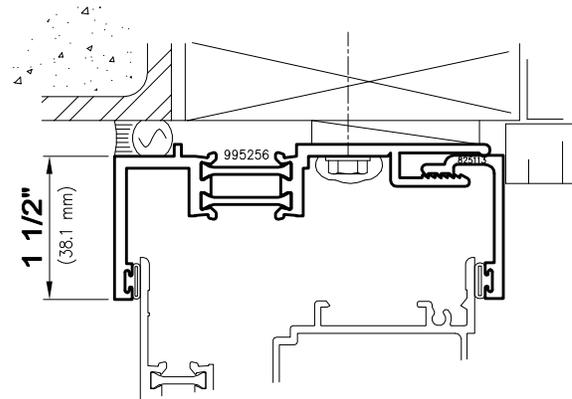
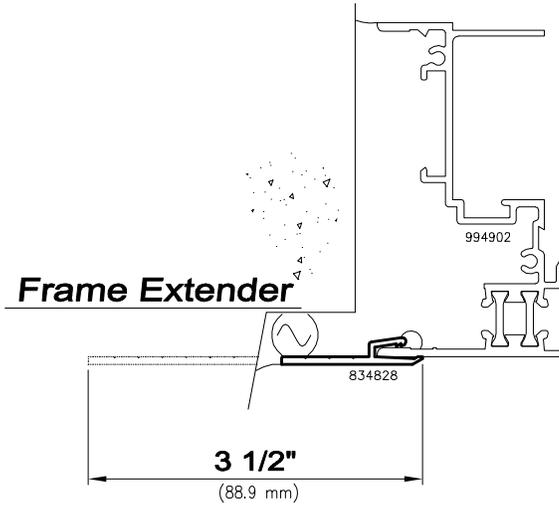


Applied Muntin Grid

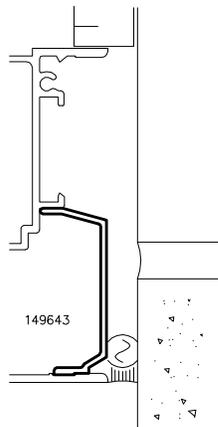


True Divided Lite

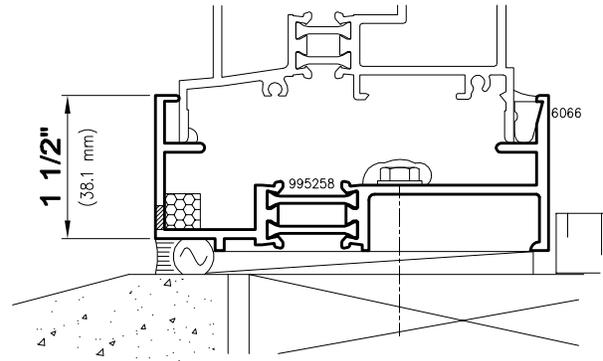




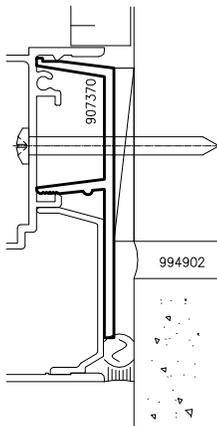
Head & Jamb Starter



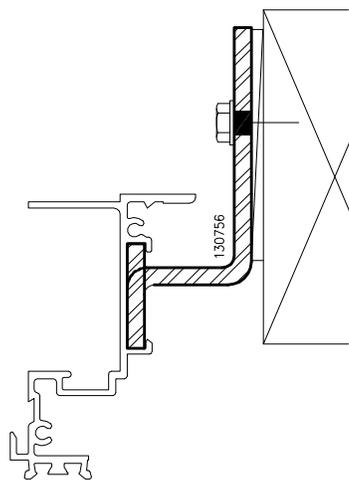
PVC Caulk Backer



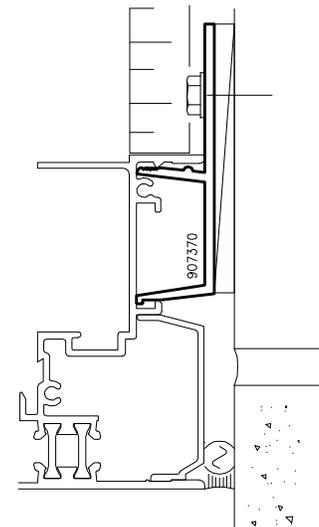
Sill Starter



Shimming Anchor Support



Twist-In Anchor
1/8" Formed Steel



Strap Anchor

310i-SH SERIES SINGLE HUNG WINDOW

Showalter Hall, Eastern Washington University
Cheney, Washington
A&E Services, Eastern Washington University



FEATURES

Life cycle tested per
AAMA 910-93

AAMA AW60 rated
12 PSF water test pressure

AAMA AW45 rated
9 PSF water test pressure

3 1/2" thermal frame depth

Ensinger - Insulbar®

Side load sash

Double-silcoated pile
weatherstripping with
Mylar® fin

Screw spline frame joinery

Mitered, corner-keyed,
epoxied and crimped sash
joinery

Sill principal wall
members .094" thick

Glazed with extruded
aluminum glazing beads

Factory glazing available

Automatic, spring-loaded sill
latch

Continuous extruded
lift handles

Ultralift™ balances

Hooded weeps with
Mylar® fin

Vertical and horizontal
stacks/structural mullions

Accepts 1" insulated glass

Architectural finishes

Up to 10-year limited
warranty

310i-SH SERIES - SINGLE HUNG WITH INSULBAR®

Provides superior weathering characteristics and is the perfect solution for time and budget sensitive projects such as schools, churches and low-rise office buildings.

RIGHT. THE WAY YOU WANT IT.



WAUSAU

WINDOW AND WALL
SYSTEMS

310i-SH SERIES SINGLE HUNG WINDOW

OPTIONS

Adjustable limited operation stops

True, applied and between glass grid muntins

Panning/trims: including contoured shapes

Half screens: aluminum or fiberglass mesh, extruded frame finished to match window color

Extruded lift handles

Lexan glazing

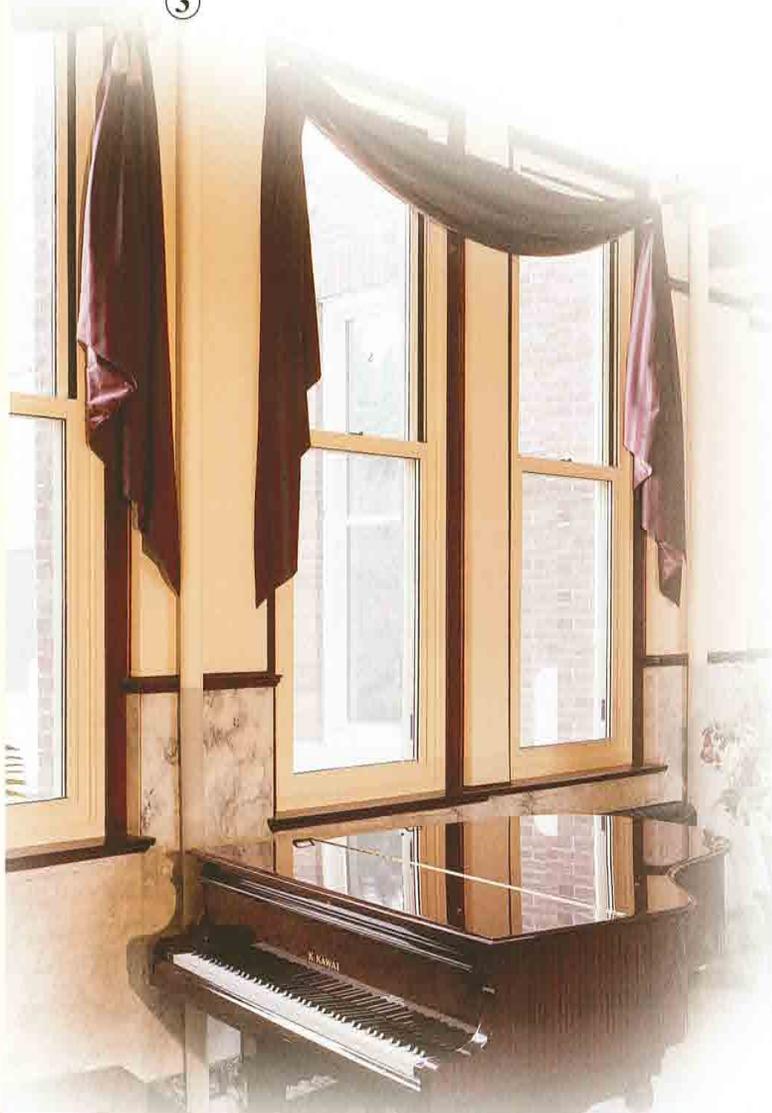
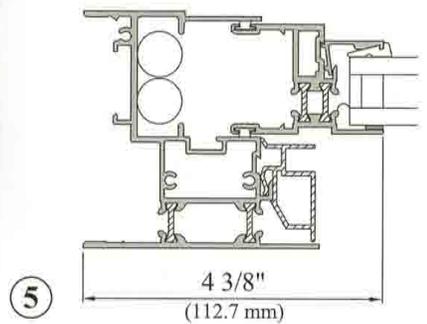
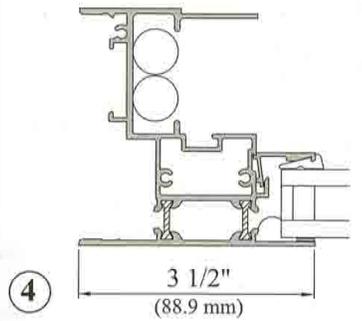
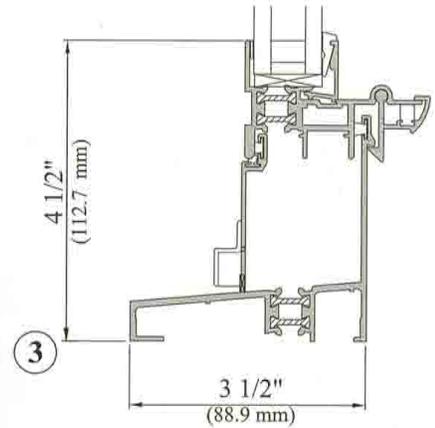
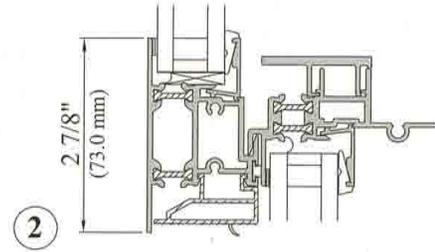
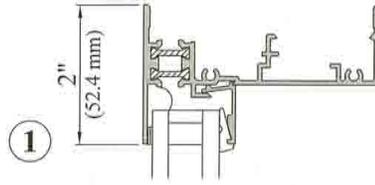
Dual-color painted finishes

Head, sill and jamb starters

Complimentary fixed, sliding and projected windows

Sweep cam

Keyed sweep cam



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Find a Builder

See homes from around the country that were built with James Hardie® products.

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DESIGN YOUR HOME

Use our design tool to create the home of your dreams!

Products / Exterior / HardiePanel® Vertical Siding

HardiePanel® vertical siding provides value and long-lasting performance. As with all of our exterior products, HardiePanel® is engineered for climate and will stand up against your climate's harshest conditions. When combined with HardieTrim® boards, HardiePanel vertical siding gives you a traditional board-and-batten look. HardiePanel vertical siding comes with our strongest warranty ever. It is protected by a 30-year nonprorated, transferable, limited warranty.



PRODUCT INFORMATION

WARRANTY

INSTALLATION

FAQ

Your zip code has been saved as: 15017

Change your location:

GO



The above HardieZone products are suited for your local climate. [Learn more.](#)

[Click here to view all products.](#)

HardiePanel Cedarmill® Vertical Siding



Thickness: 5/16"
Weight: 2.3 lbs./sq. ft.

WIDTHS 4'X8' 4'X10'

COLORPLUS®

PRIMED

Color Palette



Cobble Stone

Smooth



Thickness: 5/16"
Weight: 2.3 lbs./sq. ft.

WIDTHS 4'X8' 4'X10'

COLORPLUS®

PRIMED

Color Palette



Cobble Stone

Stucco



Thickness: 5/16"
Weight: 2.3 lbs./sq. ft.

WIDTHS 4'X8' 4'X10'

COLORPLUS®

PRIMED

Color Palette



Cobble Stone

Sierra 8



Thickness: 5/16"
Weight: 2.3 lbs./sq. ft.

WIDTHS 4'X8' 4'X10'

COLORPLUS®

PRIMED

Color Palette



Cobble Stone



Product #: RAS12-SB

Width: 12"

Height: 10.5"

Wattage: 200

Bulb: 1

Glass: N/A

Finish: Satin Black - UV Protectant

Extension:

RAS12-SB is shade only. Choose a Goose Neck for wall mount (shown with RGN15-SB).
Optional Wire Guard (RWG12-SB) is available.

Related Products



[RRRS14-ABR](#)



[RRRS14-GA](#)



[RRRS14-CP](#)



[RRWS18-GA](#)

THERMASEAL™



ThermaSeal STANDARD with full-view windows

M A X I M U M

T H E R M A L

P R O T E C T I O N



THERMASEAL™

SECTIONAL THERMAL DOORS

For maximum thermal protection, choose ThermaSeal™, our durable, energy-efficient sectional door. Our exclusive process fills 100% of the door's interior space with energy-saving polyurethane foam insulation to deliver exceptional R-values. This process also provides superior foam density for excellent structural integrity.

THERMASEAL™ OPTIMA

The ultimate choice for durability and thermal efficiency in demanding environments is the ThermaSeal OPTIMA. With a heavy duty 20-gauge exterior and a 16.4 R-value, this 1-3/4" thick model has all the features you expect and options you need for a wide range of applications.

THERMASEAL™ STANDARD

With a 16.4 R-value, this benchmark product provides proven Raynor reliability and durability to meet or exceed the requirements of daily use. This door is offered with the widest selection of quality features and options for the most common product applications.

THERMASEAL™ BASIC

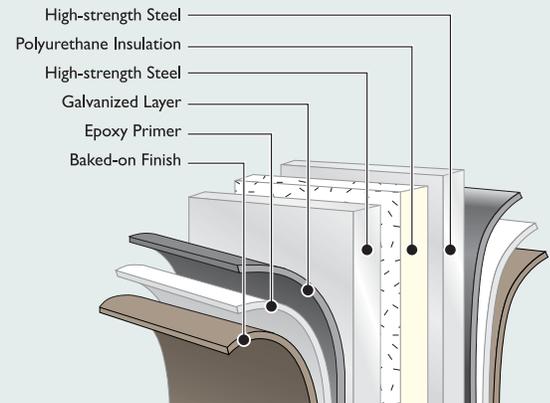
Practical when thermal performance is desired but cost is a consideration, this door is available in a limited selection of sizes, features and options.

BUILT TOUGH.

Rust-resistant galvanized steel is finished with a two-coat, baked-on paint process for long life. The superior thermal bond between steel and polyurethane foam is warranted against delamination for 10 years.



ThermaSeal BASIC, white, with oval windows



| Series MODEL | Max. Opening Width | Max. Opening Height | Construction | Surface Texture | Section Thickness | Exterior/Interior Steel Thickness | End Stile Steel Thickness | Insulation (R-Value) | Thermal Break | Exterior Colors | Section Warranty |
|---------------------|--------------------|---------------------|----------------|-----------------|-------------------|-------------------------------------------------|---------------------------|--------------------------|---------------|----------------------|---------------------------------------------|
| ThermaSeal OPTIMA | 24' 2" | 20' | Steel Sandwich | Stucco | 1 3/4" | 20-Gauge (.035" min.)/ 26-Gauge (.013" min.) | 16-Gauge (.055" min.) | Polyurethane Foam (16.4) | Yes | White | 1-Year (Any Rust) 10-Year (Delamination) |
| ThermaSeal STANDARD | 28' | 20' | Steel Sandwich | Stucco | 1 3/4" | 25-Gauge (.018" min.)/ 26-Gauge (.013" min.) | 16-Gauge (.055" min.) | Polyurethane Foam (16.4) | Yes | White, Dark Brown | 1-Year (Any Rust) 10-Year (Delamination) |
| ThermaSeal BASIC | 16' | 16' | Steel Sandwich | Stucco | 1 1/2" | 26-Gauge (.013" min.)/ 26-Gauge (.013" min.) | 16-Gauge (.055" min.) | Polyurethane Foam (14.5) | Yes | White | 1-Year (Any Rust) 10-Year (Delamination) |

WARRANTY ThermaSeal door sections carry a 1-year limited warranty against any rust and a 10-year limited warranty against delamination (of the steel door skins from the insulating foam). Hardware and springs are warranted for 1 year against defects in materials and workmanship. See your local Raynor Dealer for complete details.

THERMASEAL FEATURES



Maximum thermal protection.

Energy-saving polyurethane foam insulation is used to deliver exceptional R-values.



Rugged hardware and springs.

Your ThermaSeal door comes packaged with the right combination of long-lasting hardware, track and springs to precisely match your door's size and application.



Reduced airflow.

Dual vinyl barriers dramatically reduce air infiltration. A true thermal break prevents heat loss and eliminates any metal-to-metal contact between surfaces.



Decreased energy costs.

ThermaSeal doors help you reduce energy costs with a U-shaped, vinyl bottom weatherseal and sturdy aluminum retainer.



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CSI MASTER FORMAT™ SPECIFICATIONS,
RAYNOR QUICK SPECS
AND STANDARD DRAWINGS

APPLICATION GUIDE

| | ThermaSeal OPTIMA | ThermaSeal STANDARD | ThermaSeal BASIC |
|---------------------------------|----------------------|------------------------|---------------------|
| Agricultural Buildings | ● | ● | ○ |
| Car Wash/Corrosive Environments | ○ | ○ | ○ |
| Commercial/Multi-Tenant | ● | ● | ● |
| Fire Station/Ambulance | ● | ● | ○ |
| High Security | ● | ○ | ○ |
| Large Opening Size | ● | ● | ○ |
| Mining, Pulp & Paper | ● | ○ | ○ |
| Non-insulated Storage | ○ | ○ | ○ |
| Service Station | ● | ○ | ○ |
| Thermal Environments | ● | ● | ● |
| Transit Facility/Truck Terminal | ● | ● | ○ |
| Underground Parking | ○ | ○ | ○ |
| Warehouse/Manufacturing | ● | ● | ● |

● Best Choice ○ Good Solution ○ Applicable

MODEL OPTIONS AND UPGRADE



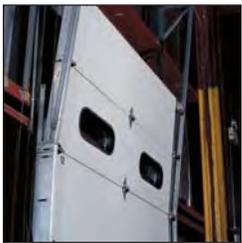
Choice of windows.

Select either 24" x 8" oval (shown), 34" x 16" rectangle or aluminum full-view window sections. Choose from a variety of insulated glass, acrylic and polycarbonate styles to suit any application.



Locks.

In applications where control and access are important, choose from a variety of locking options to help keep your building secure. Locks come in both inside and outside variations.



Customized track and hardware systems.

Track systems are supplied to fit special clearances, inclines or contour applications. Hardware and track systems can be designed to fit any need.* Additional trussing is available for special windloading applications.



Pedestrian doors.

Pedestrian doors are designed for convenient entry and to help minimize energy loss.*



Removable center posts.

Carry-away and swing-up options are available for extra-wide openings. Ideal for agricultural or airplane hangar applications.



Carbon monoxide vent.

Allows you to channel fumes to the outside when door is closed. Available in a variety of sizes.



High-cycle counterbalance systems.

For reliable operation in high-traffic areas, choose high-cycle torsion springs with 25,000, 50,000 or 100,000-cycle life.* For reduced maintenance and ultra-smooth operation in heavy-use applications, choose a weight counterbalance system.

*Some options may be limited to door size or model. Contact your local Raynor Dealer regarding availability for your application.



P.O. Box 448, 1101 EAST RIVER ROAD, DIXON, IL 61021



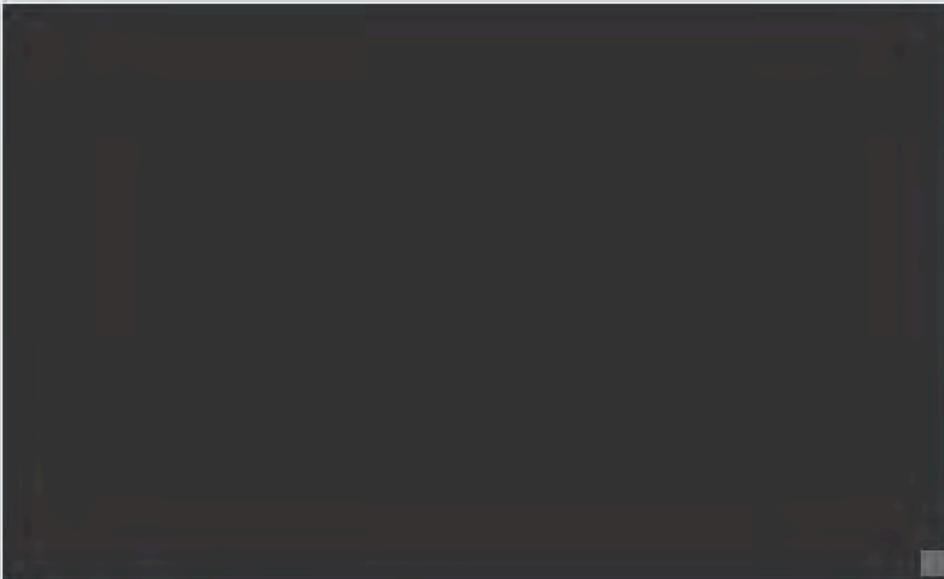
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This color is part of Color Preview. A collection of bold, saturated colors that brings spaces to life for those looking to illuminate their world with pure, extraordinary color. A great complement to Classic Colors, Color Preview offers a collection of 1,232 hues that excite and inspire with pure, deep, clear colors that create striking combinations.

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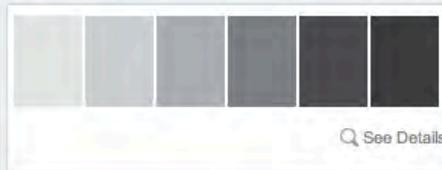
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ben® Premium Waterborne Exterior Paint

ben Premium Exterior latex paint is a 100% acrylic latex paint that delivers dependable performance, application and appearance. It is premium quality, environmentally friendly with low VOC and is designed to meet the needs of a value conscious consumer.

AVAILABLE IN:

Flat

Low Lustre

Soft Gloss



ben Waterborne Exterior Paint- Soft Gloss (543)

- A premium-quality 100% acrylic latex soft gloss finish
 - Provides a breathable surface for maximum durability
 - Low temperature application down to 4.4° C (40° F)
 - Resistant to peeling and cracking
 - Excellent color retention
 - Blister resistant
 - Excellent hiding
- Resists new mildew formation
 - Fast, simple cleanup with soapy water
 - 25-year warranty

ben Waterborne Exterior Paint- Soft Gloss (543)

Available Colors: All Colors, Ready Mix White

Sheen (or Gloss): Soft Gloss

Cleanup: Soap and Water

Resin Type: 100% Acrylic Latex

Recommended Use: Exterior

Recommended Tools

Chinex® Professional Brushes

High Capacity Professional Roller Covers

Note: On-screen and printer color representations may vary from actual paint colors.

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About Tamlyn

Tamlyn manufactures Xtreme Trim™ for fiber cement. Our Xtreme Trim™ for fiber cement is recommended by James Hardie® Building Products, the world leader in fiber cement technology.

Tamlyn provides a full line of Color Flashing with ColorPlus® Technology recommended for use in conjunction with HardiePlank® Lap Siding. Tamlyn provides tough, weather-resistant coatings for long lasting beauty and low maintenance on Color Flashing. Easy to install with James Hardie® Siding and Soffit Products.

Company History

TAMLYN was established in May 1971 by Ron Tamlyn, Sr. with \$800 borrowed money and help from his wife, Jean, in a small shack in the back yard of their modest home in Bellaire, Texas. We remain family-owned to this day. Our history is one of quality, innovation, and proven performance. We are proud to represent the manufacturing end of the building products industry, and remain a competitive manufacturer committed to making products in America, giving customers a choice and not putting all their eggs in an uncertain import basket. An overwhelming majority of our products are still made in the USA. We believe it matters in helping America keep control of its destiny.

Mission Statement

To become a world-class and world-wide supplier of quality building products. We will help build the dream of better homes, continually innovating, while honoring our heritage as a family business that values all employees, making Tamlyn a rewarding place to work. We will promote positive, lasting relationships with customers, providing excellent products at fair prices with superior service. We commit to be good stewards of our resources to leave Tamlyn in a stronger position for the next generation, passing these values on and bringing glory to God in all we do.

Company Directory

Corporate Headquarters / Plant
 13623 Pike Road
 Stafford, Texas 77477
 USA Toll Free 800-334-1676
 Phone: 281-499-9604
 Fax: 281-499-8948
 Technical support: 713-562-5149

Dallas Plant
 10940 Petal Street
 Dallas, Texas 75238
 USA Toll Free 888-416-9676
 Phone: 214-348-9676
 Fax: 214-348-0976



Color Palette - Color Flashing, PVC Trim and Xtreme Trim™ Colors

Colors shown are as accurate as printing methods will permit. Please see actual product sample for true color. Product and color availability vary by region and are subject to change. **There will be color variance lot to lot.**

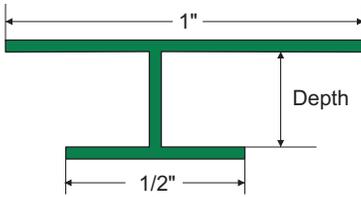
| | | |
|------------------------------|------------------------------|------------------------------|
| Arctic White AW | Autumn Tan AT | Boothbay Blue BB |
| Chestnut Brown CHB | Cobble Stone CS | Countrylane Red CR |
| Evening Blue EB | Harris Cream HC | Heathered Moss HM |
| Iron Gray IG | Khaki Brown KB | Light Mist LM |
| Monterey Taupe MT | Mountain Sage MS | Navajo Beige NB |
| Parkside Pine PP | Sail Cloth SC | Sandstone Beige SB |
| Timber Bark TB | Traditional Red TR | Tuscan Gold TG |
| Woodland Cream WC | Woodstock Brown WB | Black BK |

Xtreme Trim™ Soffit H-Mold



EXTRUDED ALUMINUM

US Patents #5,799,446 / #5,881,502 / #5,937,592



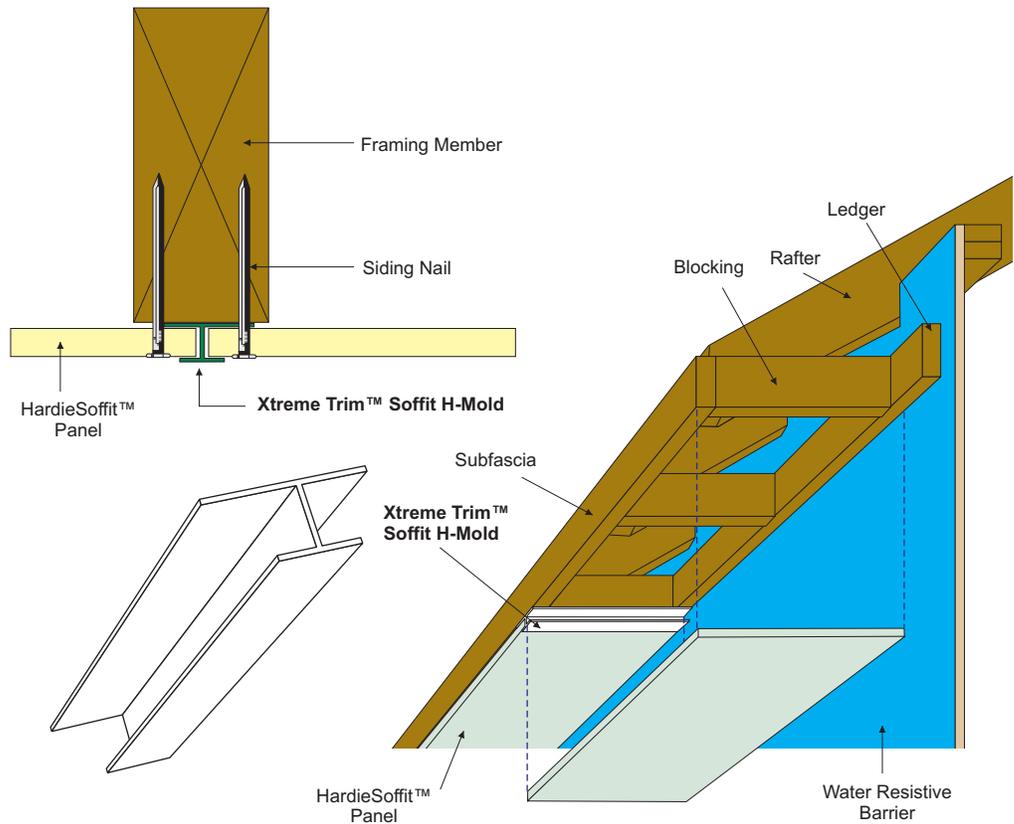
DESIGN FEATURES: Designed to work as a system with Tamlyn vinyl continuous soffit vent. Covers the end seams of the soffit material and continuous vents, providing a more appealing appearance than simply butting the vents end to end.

MATERIAL: Custom die-extruded from heavy duty, 6063 T-5 aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion.

Available in most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot

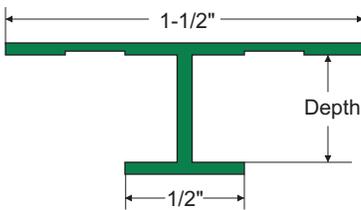
| ITEM ID | DEPTH | LENGTH |
|-----------|-------|--------|
| VCHM148 | 1/4" | 8' |
| VCHM1412 | 1/4" | 12' |
| VCHM5168 | 5/16" | 8' |
| VCHM51612 | 5/16" | 12' |



Xtreme Trim™ Vertical Siding H-Mold



EXTRUDED ALUMINUM



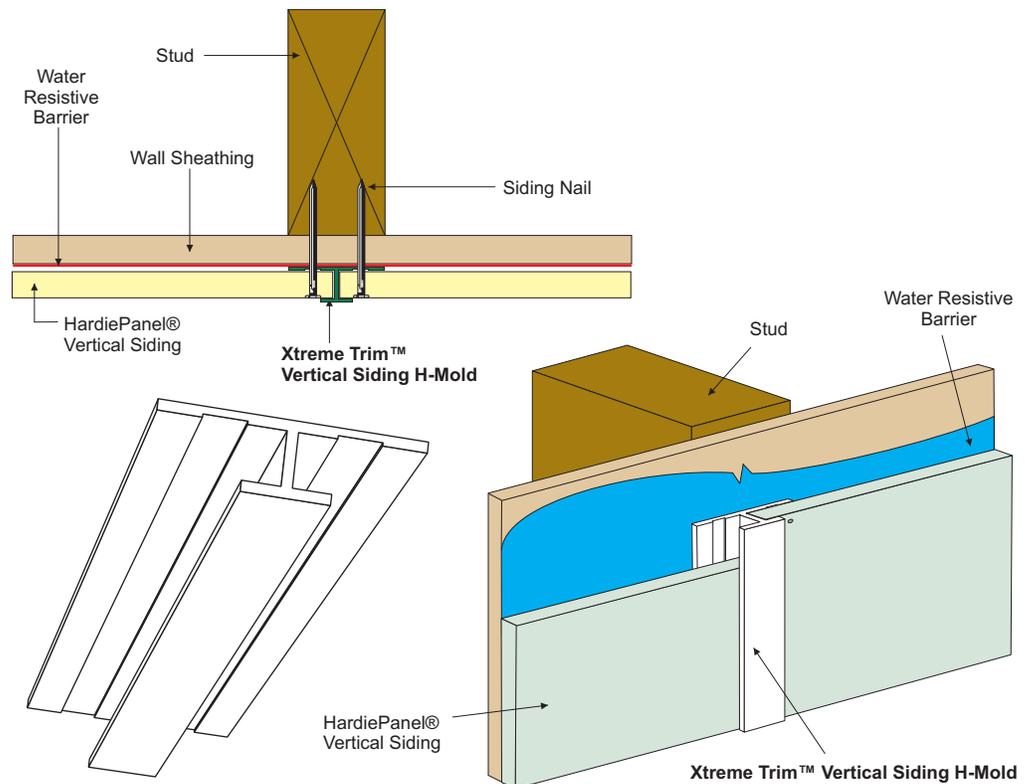
DESIGN FEATURES: Designed to cover vertical joints in HardiePanel® vertical siding. Longer lasting, more effective than contractor grade caulk. Provides a smooth trim seam to cover siding.

MATERIAL: Custom die-extruded from heavy duty, 6063 T-5 aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion. Also available in anodized finishes.

Available in most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot

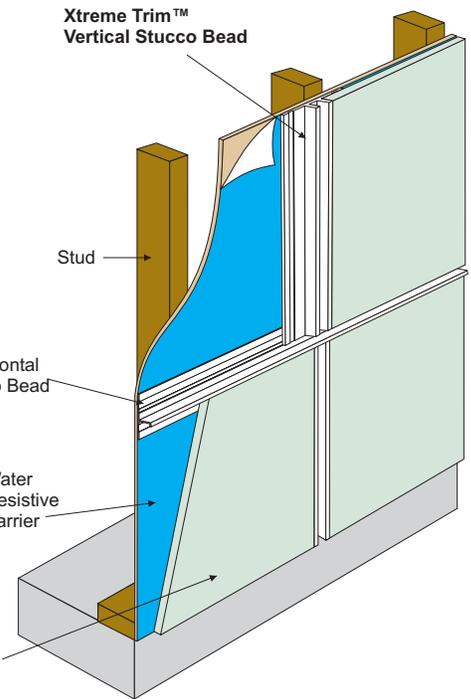
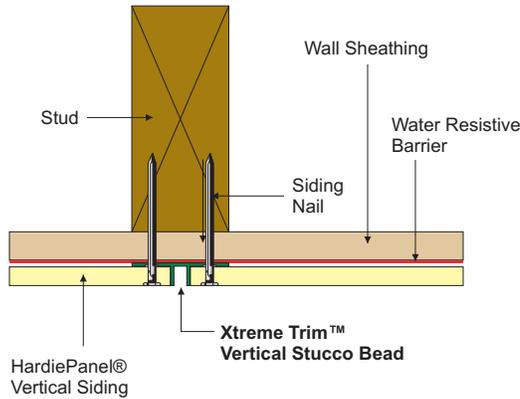
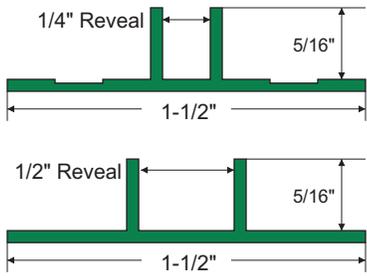
| ITEM ID | DEPTH | LENGTH |
|------------|-------|--------|
| VCSHM5168 | 5/16" | 8' |
| VCSHM51610 | 5/16" | 10' |



Xtreme Trim™ Vertical Stucco Bead



EXTRUDED ALUMINUM

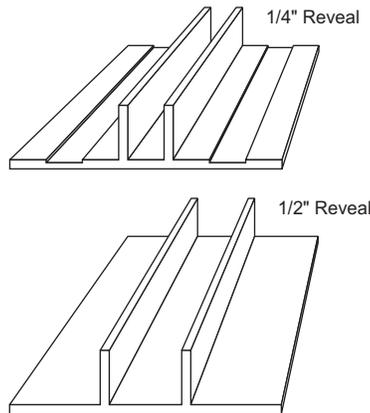


DESIGN FEATURES: Xtreme Trim™ Vertical Stucco Bead serves as an expansion joint between panels. Works with all panel profiles/finishes. Xtreme Trim™ Vertical Stucco Bead is an aesthetically pleasing product for your home or project.

MATERIAL: Custom die-extruded from heavy duty, 6063 T-5 aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion. **Also available in anodized finishes.**

Available in most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot

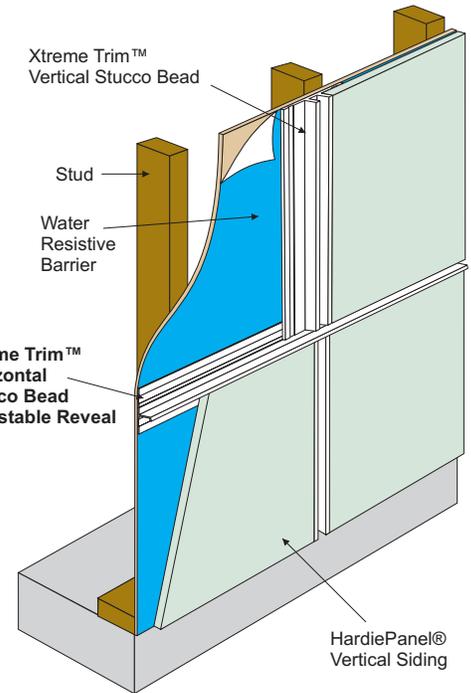
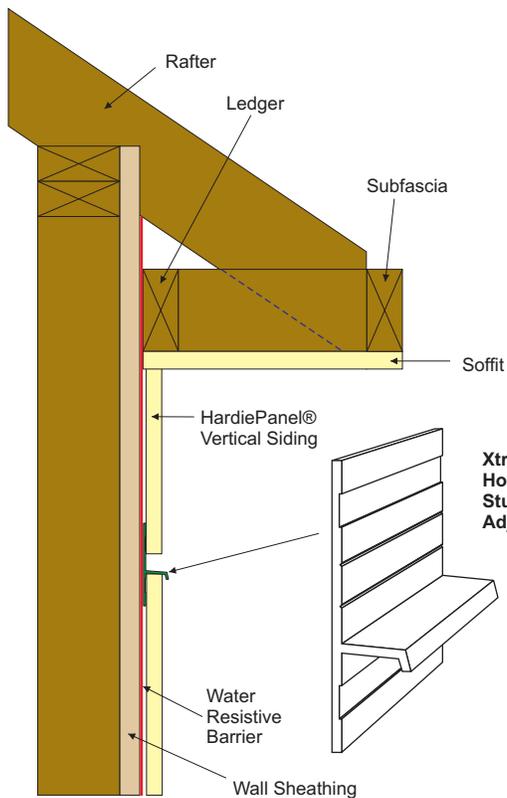
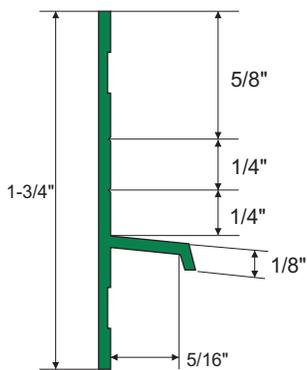


| ITEM ID | REVEAL | LENGTH |
|------------|--------|--------|
| STUCCO8 | 1/4" | 8' |
| STUCCO10 | 1/4" | 10' |
| STUCCO128 | 1/2" | 8' |
| STUCCO1210 | 1/2" | 10' |

Xtreme Trim™ Horizontal Stucco Bead



EXTRUDED ALUMINUM



DESIGN FEATURES: Designed to work as a system with Vertical Stucco Bead. Serves as an expansion joint between panels. Works with all panel profiles/finishes. Xtreme Trim™ Horizontal Stucco Bead Adjustable Reveal is an aesthetically pleasing product for your home or project.

MATERIAL: Custom die-extruded from heavy duty, 6063 T-5 aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion. **Also available in anodized finishes.**

Available in most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot

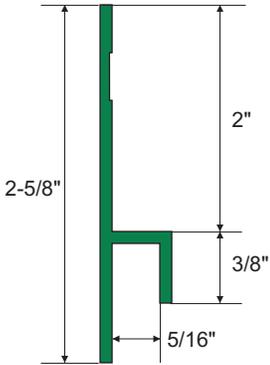
| ITEM ID | LENGTH |
|-----------|--------|
| STUCCOH10 | 10' |

Xtreme Trim™ Shadoz® Adjustable Reveal



EXTRUDED ALUMINUM

US Patent #6,018,924, US Trademark #2,358,771



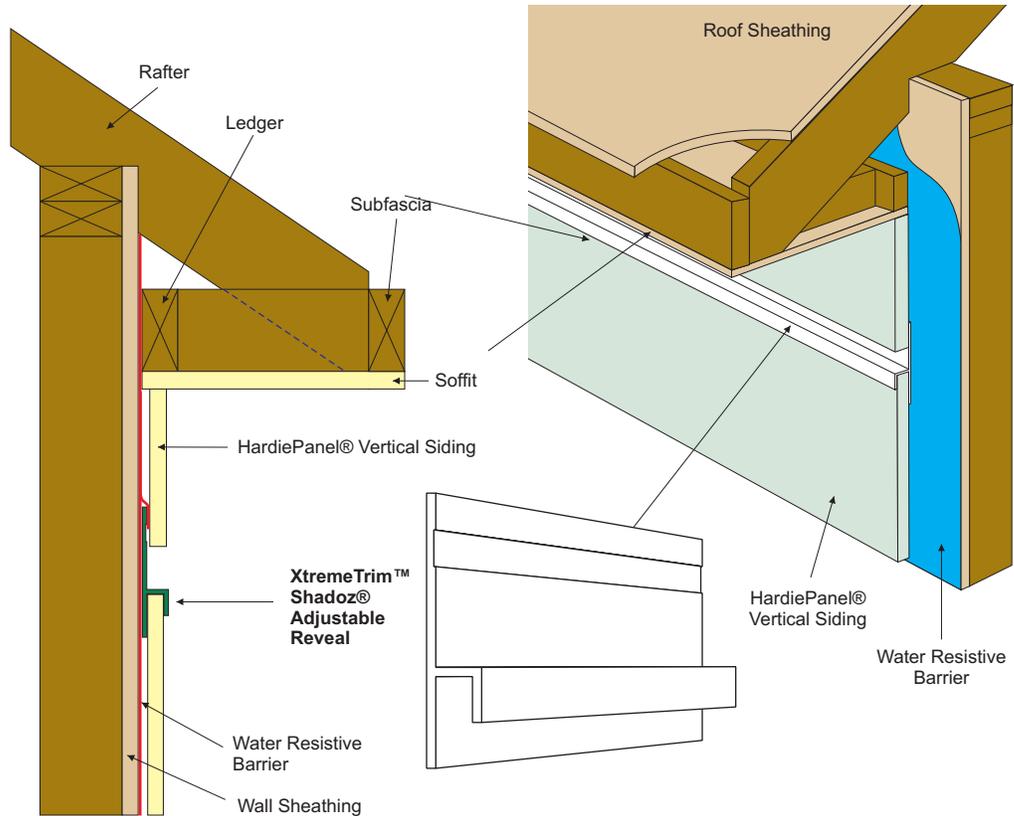
DESIGN FEATURES: Provides an aesthetically attractive adjustable shadow/accent line.

MATERIAL: Custom die-extruded from heavy duty, 6063 T-5 aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion.

Available in most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot

| ITEM ID | LENGTH |
|---------|--------|
| AR8 | 8' |

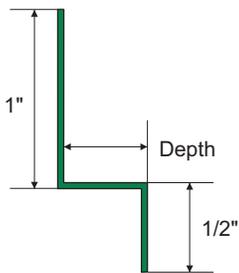


Xtreme Trim™ Zeam® Z Bar



FABRICATED STEEL

US Trademark #2,291,533



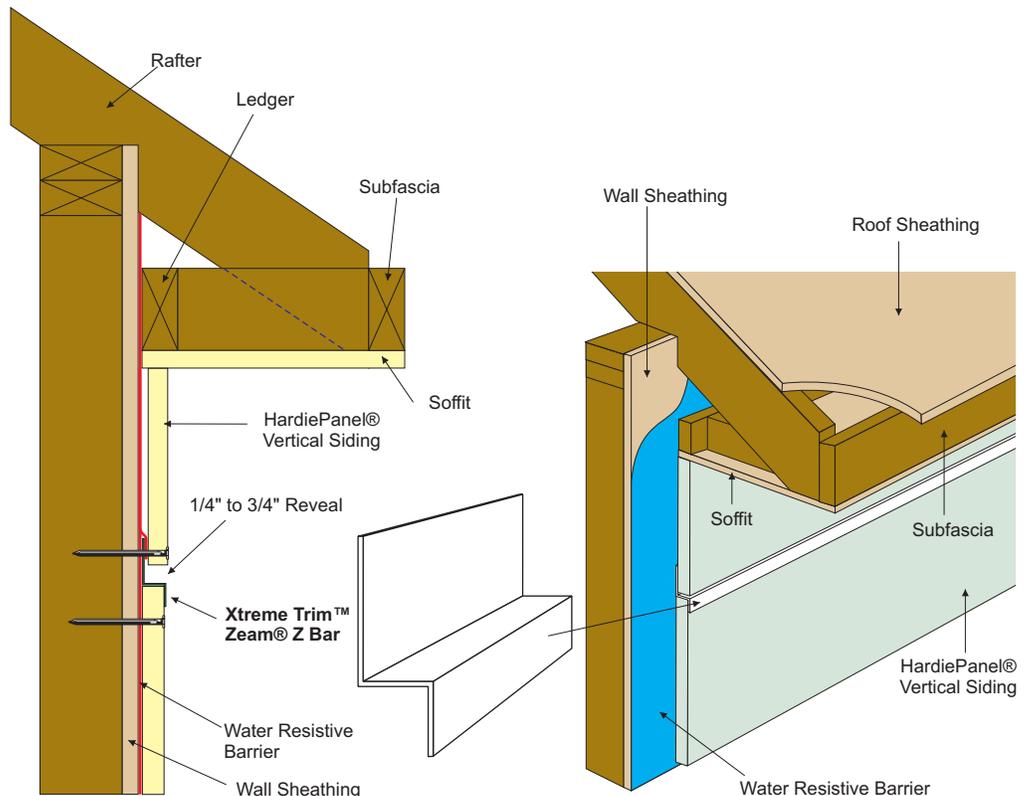
DESIGN FEATURES: Provides an aesthetically attractive horizontal reveal while serving as a rustproof flashing between HardiePanel®.

MATERIAL: Galvanized steel with proprietary coating that protects against harsh weather conditions and allows for paint adhesion.

Available in most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot

| ITEM ID | DEPTH | LENGTH |
|---------|-------|--------|
| VZB5168 | 5/16" | 8' |
| VZB388 | 3/8" | 8' |
| VZB7168 | 7/16" | 8' |
| VZB128 | 1/2" | 8' |
| VZB588 | 5/8" | 8' |

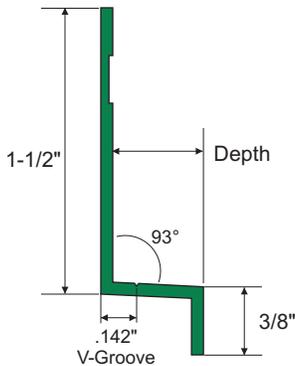


Xtreme Trim™ Zeam® Z Bar Heavy Duty



EXTRUDED ALUMINUM

US Trademark #2,291,533



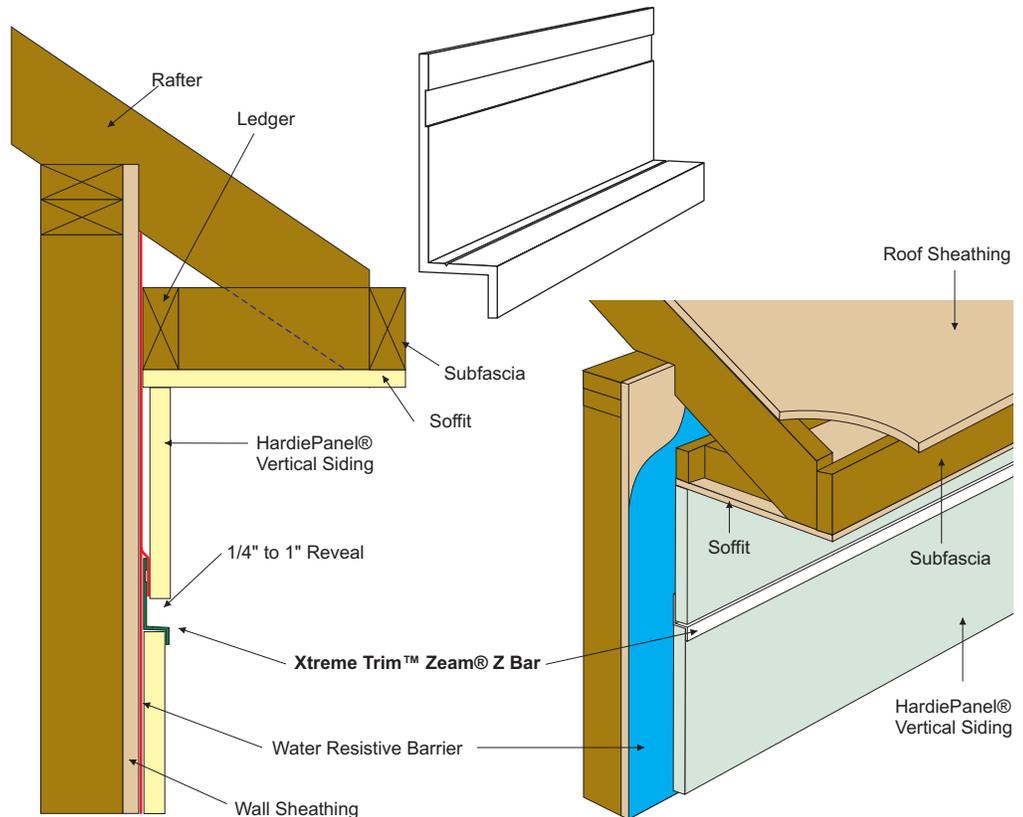
DESIGN FEATURES: Provides an aesthetically attractive horizontal reveal while serving as a rustproof flashing between HardiePanel®. Design to work in conjunction with Xtreme Trim™ Vertical Reveal and siding H-Mold.

MATERIAL: Custom die-extruded from heavy duty, 6063 T-5 aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion. Also available in anodized finishes.

Available in most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot

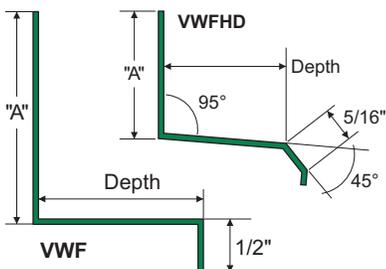
| ITEM ID | DEPTH | LENGTH |
|---------|--------|--------|
| VZBHD10 | 15/32" | 10' |



Xtreme Trim™ Window Flashing



VWFHD - EXTRUDED ALUMINUM, VWF - FABRICATED STEEL



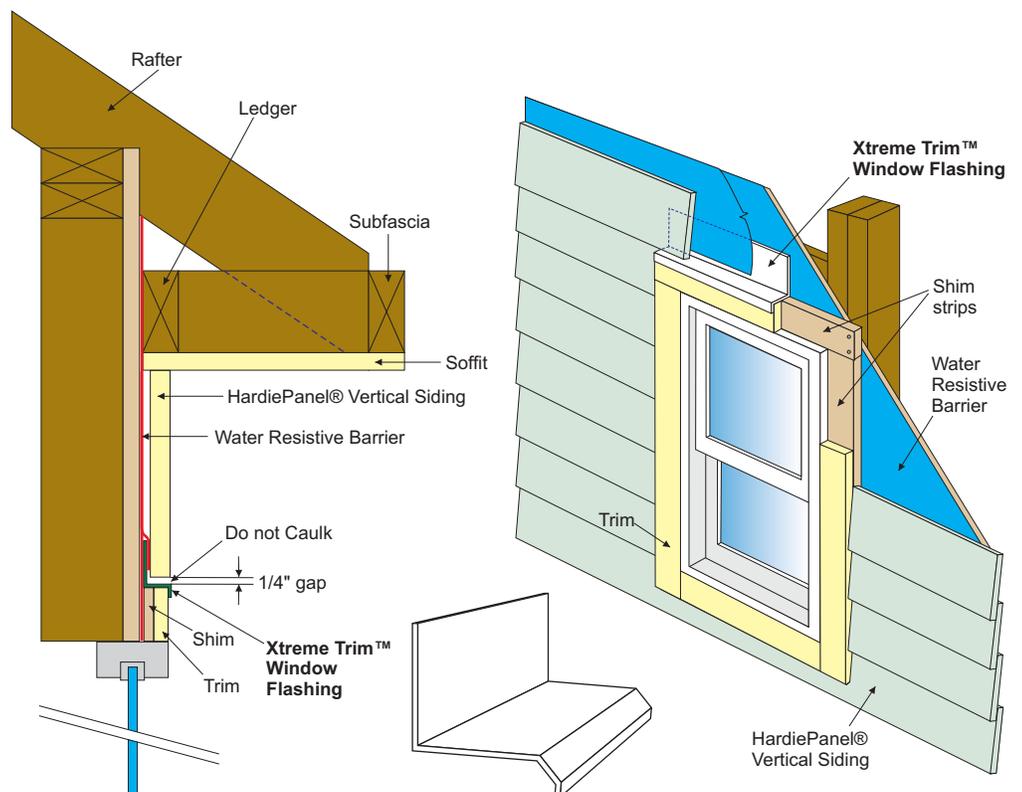
DESIGN FEATURES: Provides an easy to install and long-lasting method of stopping water penetration at horizontal seams of vertical siding.

MATERIAL: VWF - Galvanized steel with proprietary coating. VWFHD - Custom die-extruded from heavy duty, 6063 T-5 aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion. Also available in anodized finishes.

Available in 26 most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot

| ITEM ID | "A" | DEPTH | LENGTH |
|-----------|--------|--------|--------|
| VWF1128 | 2" | 1-1/2" | 8' |
| VWF18 | 1-1/2" | 1" | 8' |
| VWF348 | 1" | 3/4" | 8' |
| VWFHD1148 | 1-3/4" | 1-1/4" | 8' |

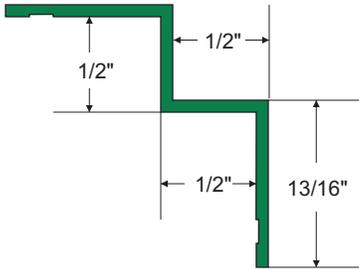


Xtreme Trim™ Panel Inside Corner



EXTRUDED ALUMINUM

US Patent #5,960,598

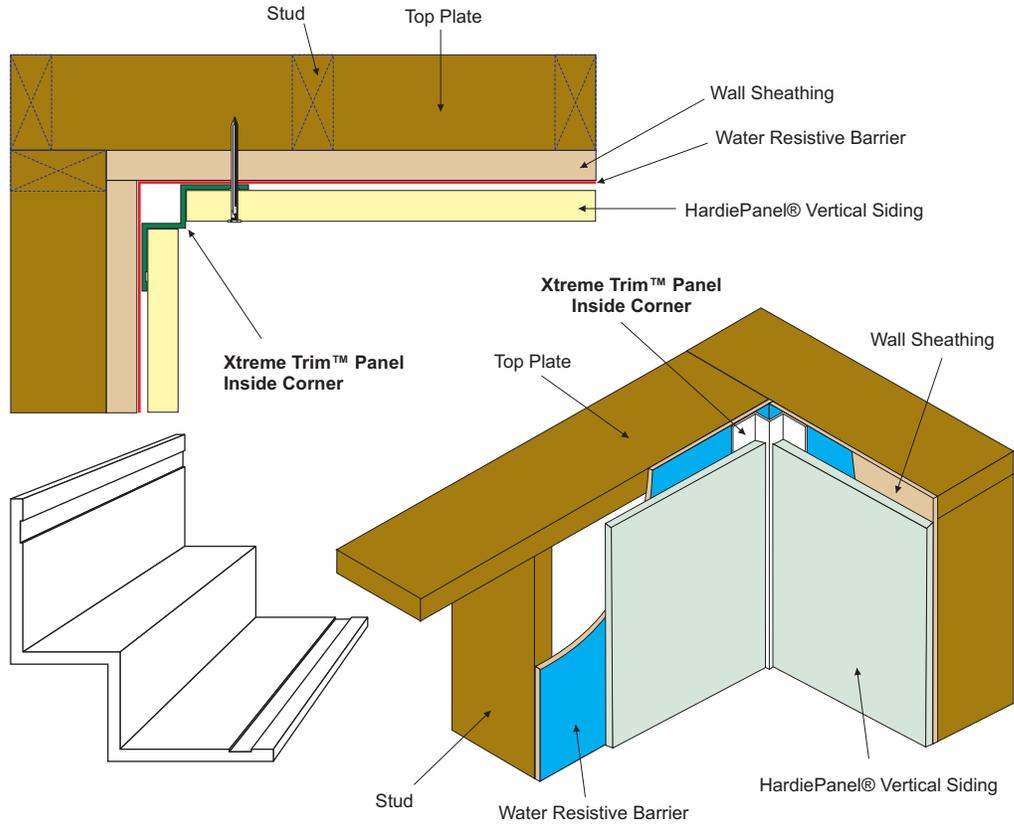


DESIGN FEATURES: Patented design authentically duplicates the look of a wood corner piece without the maintenance headaches. Eliminates wood inside corner piece that will split/rot over time.

MATERIAL: Custom die-extruded from heavy duty, 6063 T-5 aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion. **Also available in anodized finishes.**

Available in most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot



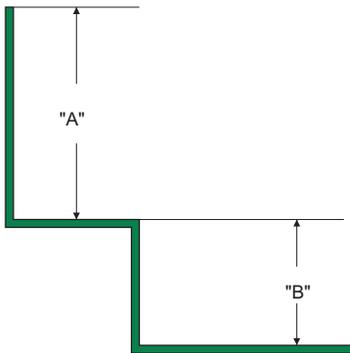
| ITEM ID | LENGTH |
|---------|--------|
| VCIPC10 | 10' |

Xtreme Trim™ Permacorner® Inside Corner



FABRICATED STEEL

US Patent #5,960,598, US Trademark #2,296,728

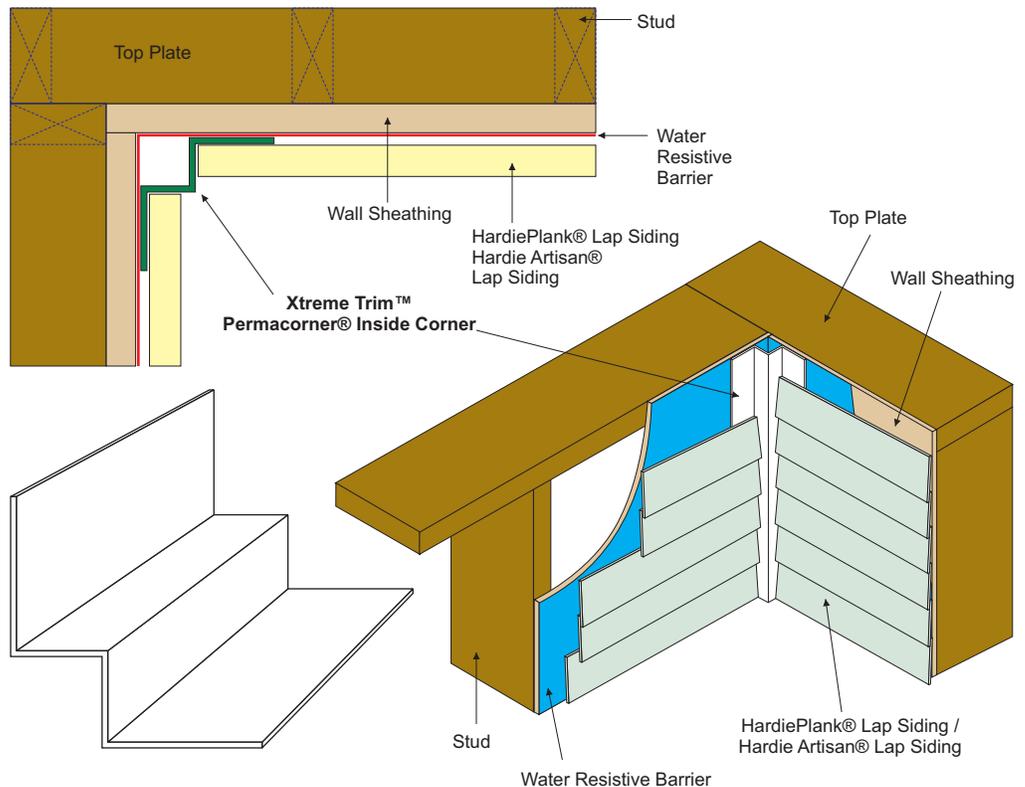


DESIGN FEATURES: Patented design authentically duplicates the look of a wood corner piece without the maintenance headaches. Eliminates wood inside corner piece that will split/rot over time.

MATERIAL: Galvanized steel with proprietary coating that protects against harsh weather conditions and allows for paint adhesion.

Available in most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot



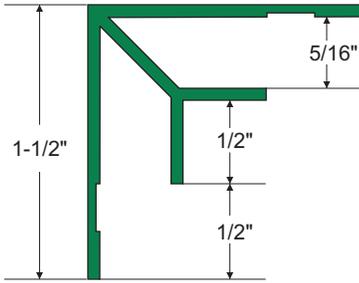
| ITEM ID | "A" | "B" | LENGTH |
|---------|--------|--------|--------|
| VCIC10 | 1-1/2" | 7/8" | 10' |
| VCICJ | 1-1/2" | 1-1/2" | 10' |

Xtreme Trim™ Low Profile Panelcorner® Inside Corner



EXTRUDED ALUMINUM

US Trademark #2,537,446

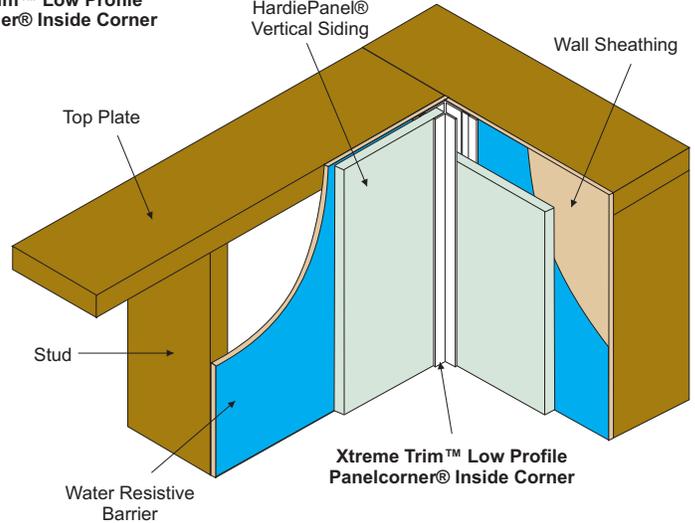
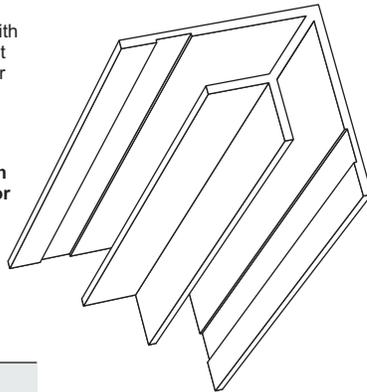
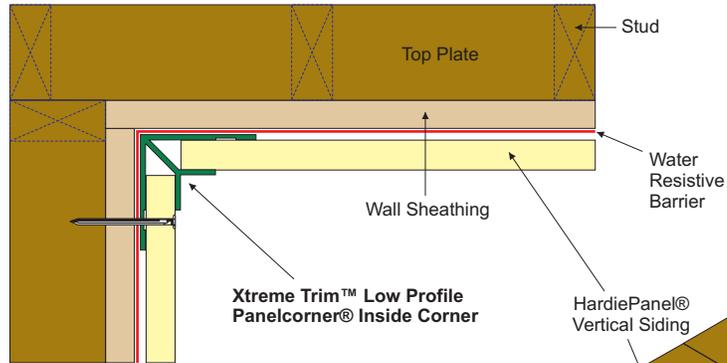


DESIGN FEATURES: Provides a good looking, low profile, durable inside corner with vertical siding panels.

MATERIAL: Custom die-extruded from heavy duty, 6063 T-5 aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion. **Also available in anodized finishes.**

Available in most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot



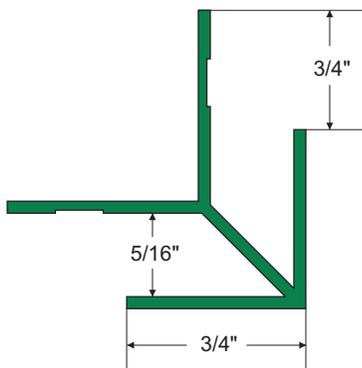
| ITEM ID | LENGTH |
|----------|--------|
| VCICLP10 | 10' |

Xtreme Trim™ Low Profile Panelcorner® Outside Corner



EXTRUDED ALUMINUM

US Trademark #2,537,446

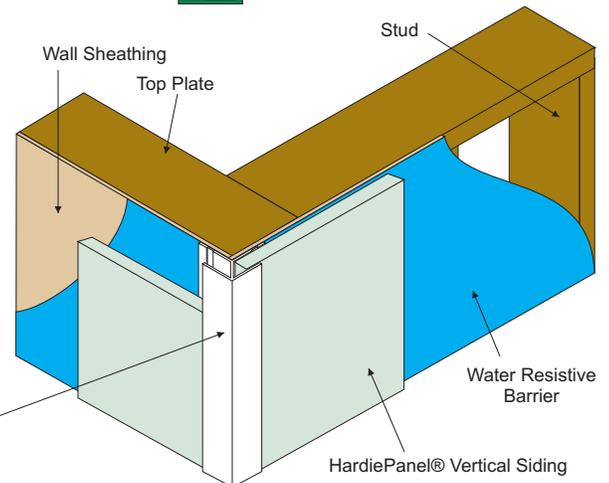
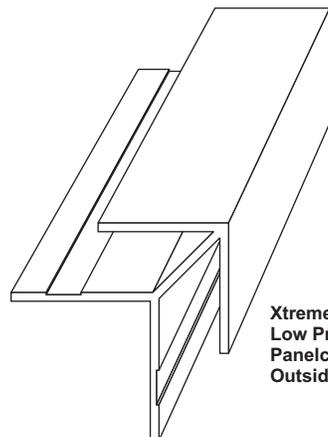
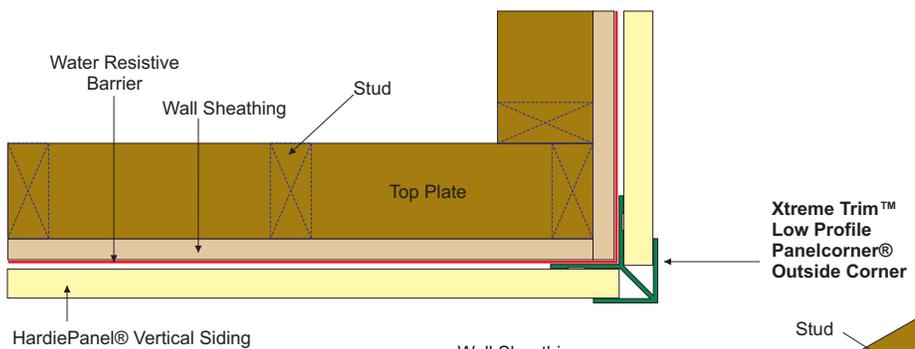


DESIGN FEATURES: Provides a good looking, low profile, durable outside corner with vertical siding panels.

MATERIAL: Custom die-extruded from heavy duty, 6063 T-5 aluminum alloy with proprietary coating that protects against harsh weather conditions and allows for paint adhesion. **Also available in anodized finishes.**

Available in most popular James Hardie® Siding and Soffit colors with ColorPlus® technology. Specify color code using Color Palette on page 3.

NOTE: Slight color variance lot to lot



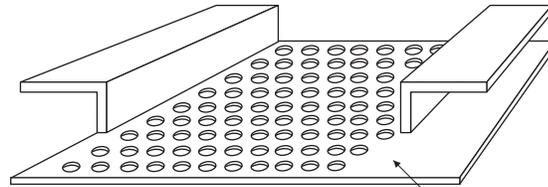
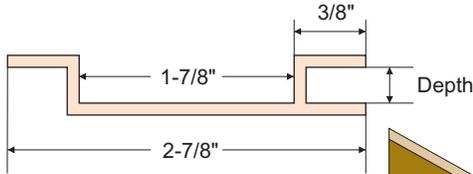
| ITEM ID | LENGTH |
|----------|--------|
| VCOCPL10 | 10' |

Ezvent® Continuous Soffit Vent



EXTRUDED PVC

US Patents #5,881,502 / #5,937,592. US Trademark #2,149,898



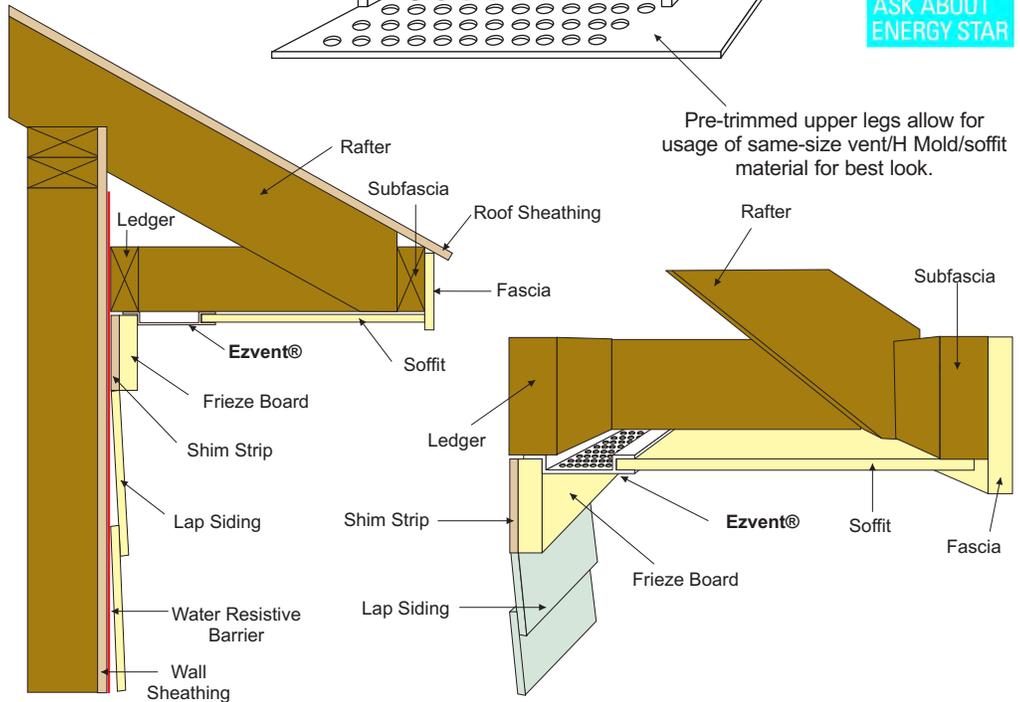
DESIGN FEATURES: The best looking, most "framer-friendly", easy to install, effective continuous soffit vent on the market. Unique double leg channels hide edges of soffit material for clean look and help prevent vents from being pulled up into subfascia. Patents cover use of Tamlyn H Mold at seams.

MATERIAL: Extruded rigid PVC, industry-standard, durable, chemically resistant product designed for outdoor weatherability.

WARNING: Use light or pastel paint colors only on Tamlyn PVC or Sherwin-Williams Vinyl Safe™ Paint. Use of dark color paint will cause deformation. Tamlyn vinyl products are not warranted if painted with dark color paint.

| ITEM ID | DEPTH | LENGTH | *NFA |
|----------|-------|--------|------|
| EZV148 | 1/4" | 8' | 9 |
| EZV5168 | 5/16" | 8' | 9 |
| EZV51612 | 5/16" | 12' | 9 |
| EZV7168 | 7/16" | 8' | 9 |

*NFA = net free area / sq.in. per lineal ft.

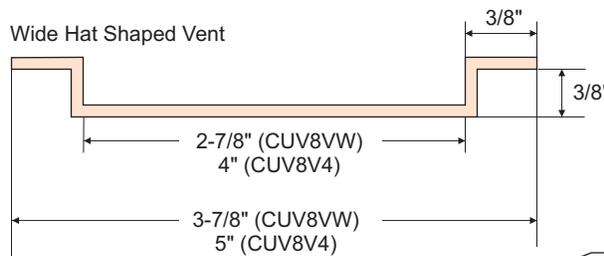
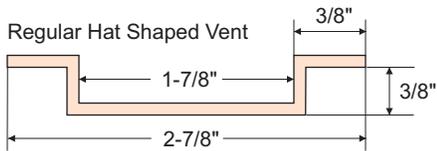


Pre-trimmed upper legs allow for usage of same-size vent/H Mold/soffit material for best look.

Hat Shaped Continuous Soffit Vent



EXTRUDED PVC



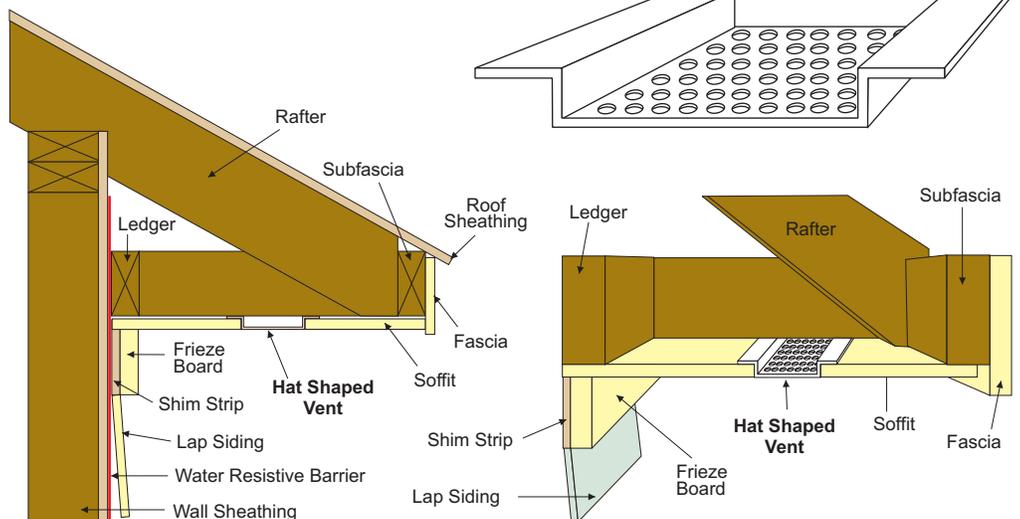
DESIGN FEATURES: Tamlyn vinyl hat-shaped vents are available in 2", 3" and 4" widths to handle nearly any soffit ventilation needs. 3/8" depth works with all soffit thicknesses. Large perforated holes provide excellent intake airflow but inhibit pest entry. Wide Hat Shaped Vent is minimum acceptable for large homes and multi-family, or use double vents. Use Continuous Soffit Vent Connector Clip or Vinyl H Mold to join seams.

MATERIAL: Extruded rigid PVC, industry-standard, durable, chemically resistant product designed for outdoor weatherability.

WARNING: Use light or pastel paint colors only on Tamlyn PVC or Sherwin-Williams Vinyl Safe™ Paint. Use of dark color paint will cause deformation. Tamlyn vinyl products are not warranted if painted with dark color paint.

| ITEM ID | LENGTH | *NFA |
|---------|--------|------|
| CUV8V | 8' | 9 |
| CUV8VW | 8' | 12.7 |
| CUV8V4 | 8' | 18.8 |

*NFA = net free area / sq.in. per lineal ft.



TD-4250i Terrace Door



Wausau Window and Wall Systems® announces our new TD-4250i Series Terrace Doors. Ideally suited for residential towers and high-rise hotels, the TD-4250i features a 4-1/2" frame depth to seamlessly integrate with other Wausau window and curtainwall systems popular in these applications.



WAUSAU
WINDOW AND WALL
SYSTEMS

Right
THE WAY YOU WANT IT

Features

- AAMA ATD-AW60 (Single)
- AAMA ATD-AW50 (Double)
- AAMA 1503-98 thermal tested
- 3-1/4" and 4-1/2" frame depths
- Single leaf
 - Double leaf French style
 - In-swing
 - Out-swing
- Superior water and air performance
- Large sizes
- Forced entry resistant
- Dual weather strip seals
- Miter/crimped door leaf joinery
- Verona style handle with manual compression lock
- Precision Euro designed hardware
- Adjustable stainless steel multi-point locks
- Two color finish
- 1/8" wall thickness
- Exterior silicone cap glazed
- Frame screw construction
- Double-tube sash
- Insulbar® thermal barrier
- Bead glazed
- EPDM gasket with molded corners



TD-4250i Terrace Door

Engineered for high-performance, durability, Wausau's new Terrace Doors function smoothly as either in-swing or out-swing operating units. Both models are available with transom lites, kickplates, and French door astragal rails for residents or hotel guests to enjoy the doors' full opening onto a balcony or terrace. Like other Wausau products, the TD-4250i Terrace Door withstands demanding environmental and security challenges: The Insulbar® barrier enhances thermal performance, while a single, European styled handle triggers multi-point locks.



WAUSAU

WINDOW AND WALL
SYSTEMS

Right
THE WAY YOU WANT IT

There's a reason so many of our culture's most important buildings, from art museums to elementary schools, have Wausau's windows. For 50 years, Wausau has **s e t t h e s t a n d a r d** for performance, craftsmanship and ease of installation. Over 100 engineering and design professionals ensure each building receives the windows that are right for its needs, such as pre-engineered, standard school windows; architectural-grade hospital windows; or customized, historically accurate replacements in any color. Wausau also supports your sustainable design goals, and offers an industry-leading product warranty of up to 10 years.

1415 West Street • P.O. Box 1746 • Wausau, WI 54402-1746
Toll free 1 877 678 2983 • Fax 1 715 843 4350
E-mail • info@wausauwindow.com

LINETEC

ANODIZE FINISHES

Quality

Our computer-automated system controls and monitors your product through the entire anodizing process. It tracks all aspects of the process including tank sequencing, time, temperature, voltage, current, etc. Our computer controlled hoist system ensures all material with the same job and process specification is moved through the same solutions for the same amount of time.

Linetec conducts a rigorous, on line, quality assurance program for your product before it is allowed to leave our premises. We visually check for freedom from visual flaws and color differences among other on line inspections. Laboratory testing includes checks for coating weight, seal quality, anodic film thickness, and several other criteria. We carefully document all our tests and keep them on file for a minimum of five years.

Linetec's documented testing standards allow us to offer warranties up to 5 years, depending upon finish specified, with confidence that your product will perform as intended.

Environmental Compliance

Linetec has the latest in acid recovery, effluent neutralizing and monitoring systems on our two anodizing lines to assure that we are totally compliant and environmentally friendly.

Besides being a leader in the finishing industry, we are also a leader in environmental protection and compliance, doing our part to maintain a clean and healthy environment for everyone.

See reverse side for finish specifications.



FINISHER OF CHOICE!™



Clear Anodize 215R1 or 204R1



Champagne ANO-300



Light Bronze ANO-301



Medium Bronze ANO-302



Dark Bronze ANO-303



Extra Dark Bronze ANO-304

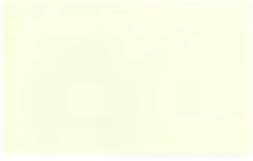
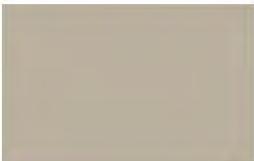
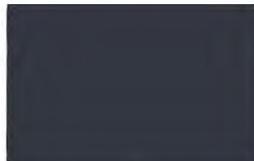
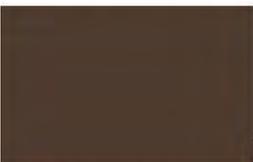
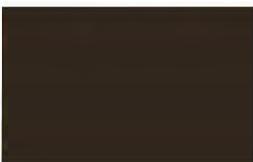


Black ANO-305



FINISHER OF CHOICE!™

Standard Colors (*see note on back)

| | | | | |
|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
|  |  |  |  | |
| Bone White LT609 | Ivory LT611 | Sandstone LT607 | Burnt Sun LT612 | Dijon LT613 |
|  |  |  |  |  |
| Beige LT603 | Light Seawolf Beige LT614 | Dove Gray LT615 | Slate Gray LT604 | Charcoal Gray LT605 |
|  |  |  |  |  |
| Patina Green LT616 | Dark Ivy LT617 | Hartford Green LT606 | Military Blue LT610 | Midnight Blue LT618 |
|  |  |  |  |  |
| Brick Red LT619 | Boysenberry LT608 | Sage Brown LT620 | Quaker Bronze LT602 | Black LT601 |

Premiere Colors (**see note on back)

| | | | |
|-------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
|  |  |  |  |
| Opti-White LT740 | Banner Red LT701 | Copper Wire LT710 | Champagne LT720 |
| | | |  |
| | | | Silver LT730 |

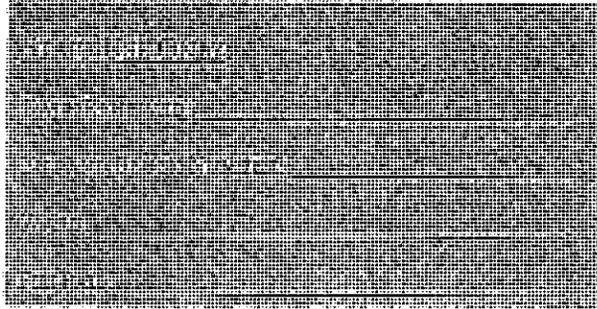


Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required



FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1922 E. CARSON ST
PITTSBURGH, PA 15203

DISTRICT:

YARD 17

OWNER:

NAME: GB Properties DA, LP
 ADDRESS: 101 Freeport Rd.
Pittsburgh, PA 15205
 PHONE: 412-782-2923
 EMAIL: EGOLDBERG@GKKCAPITAL.COM

APPLICANT:

NAME: EATIN PARK HOSPITALITY GRP.
 ADDRESS: 285 E. WATERFRONT DR.
HOMESTEAD, PA 15120
 PHONE: 412-476-2494
 EMAIL: VBATES@EATINPARK.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

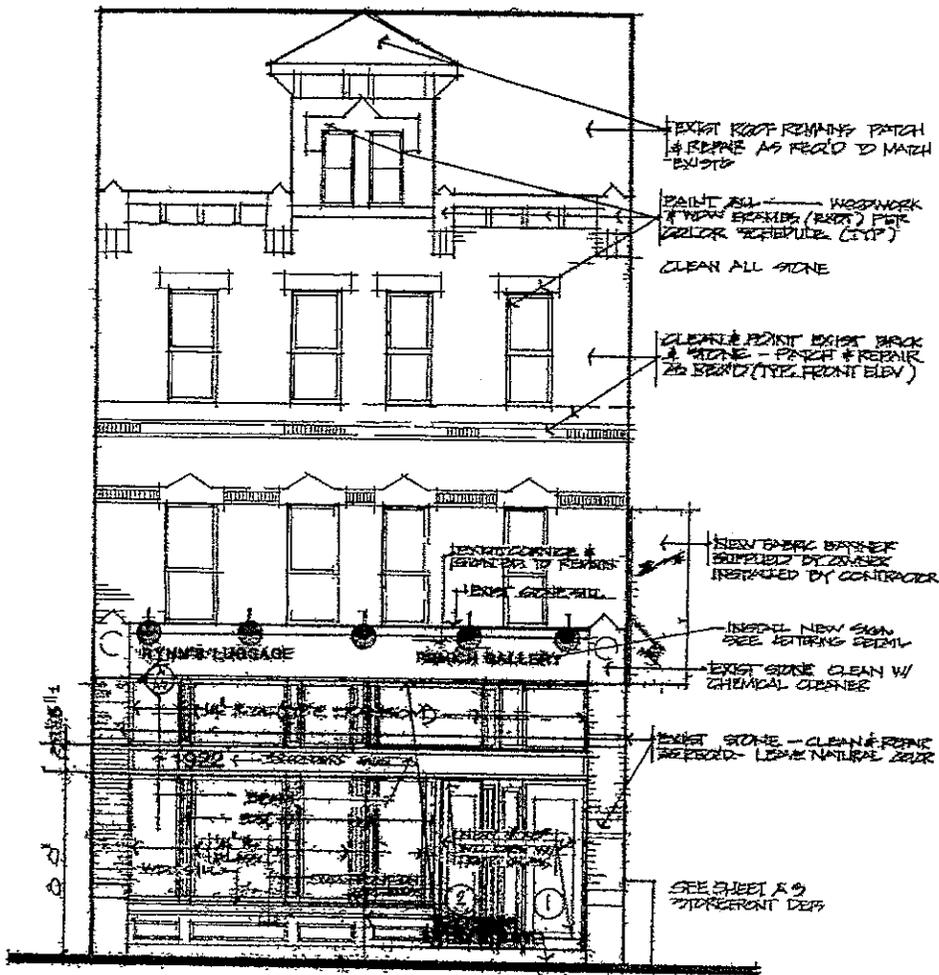
RENOVATION OF FIRST FLOOR RETAIL SPACE TO RESTAURANT
AND RELATED EXTERIOR MODIFICATIONS AND SIGNAGE

SIGNATURES:

OWNER: [Signature] DATE: 8-6-12

APPLICANT: [Signature] DATE: 8/5/12



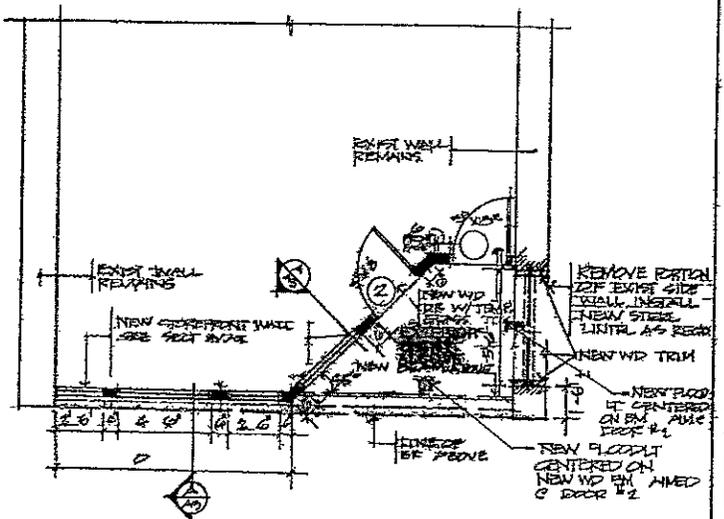


FRONT ELEVATION $\frac{1}{4}'' = 1'-0''$

NOTE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS & DIMENSIONS & SITE

COLOR SCHEDULE

- A PITTSBURGH PAINTS # 9271 - KATY HAWK PAINT ENTIRE FIRST FLOOR FRONT WITH THE FOLLOWING EXCEPTIONS:
- B PITTSBURGH PAINTS # 4245 - BLENDED ORANGE PAINT THE ELZERS, WOOD SIDES & TRANSOM STORES EXCEPT TRANSOM OVER DOOR #2 SIGNAGE ON FRONT
- C PITTSBURGH PAINTS # 4034 - NOBIL BRAD PAINT DOOR #1 & TRANSOM ABOVE 2ND FLOOR FRONT & SIDE WINDOWS WOODWORK OF ROOF SIGNAGE ON SIDE FORMER WOOD FRAMES



FLOOR PLAN $\frac{1}{4}'' = 1'-0''$

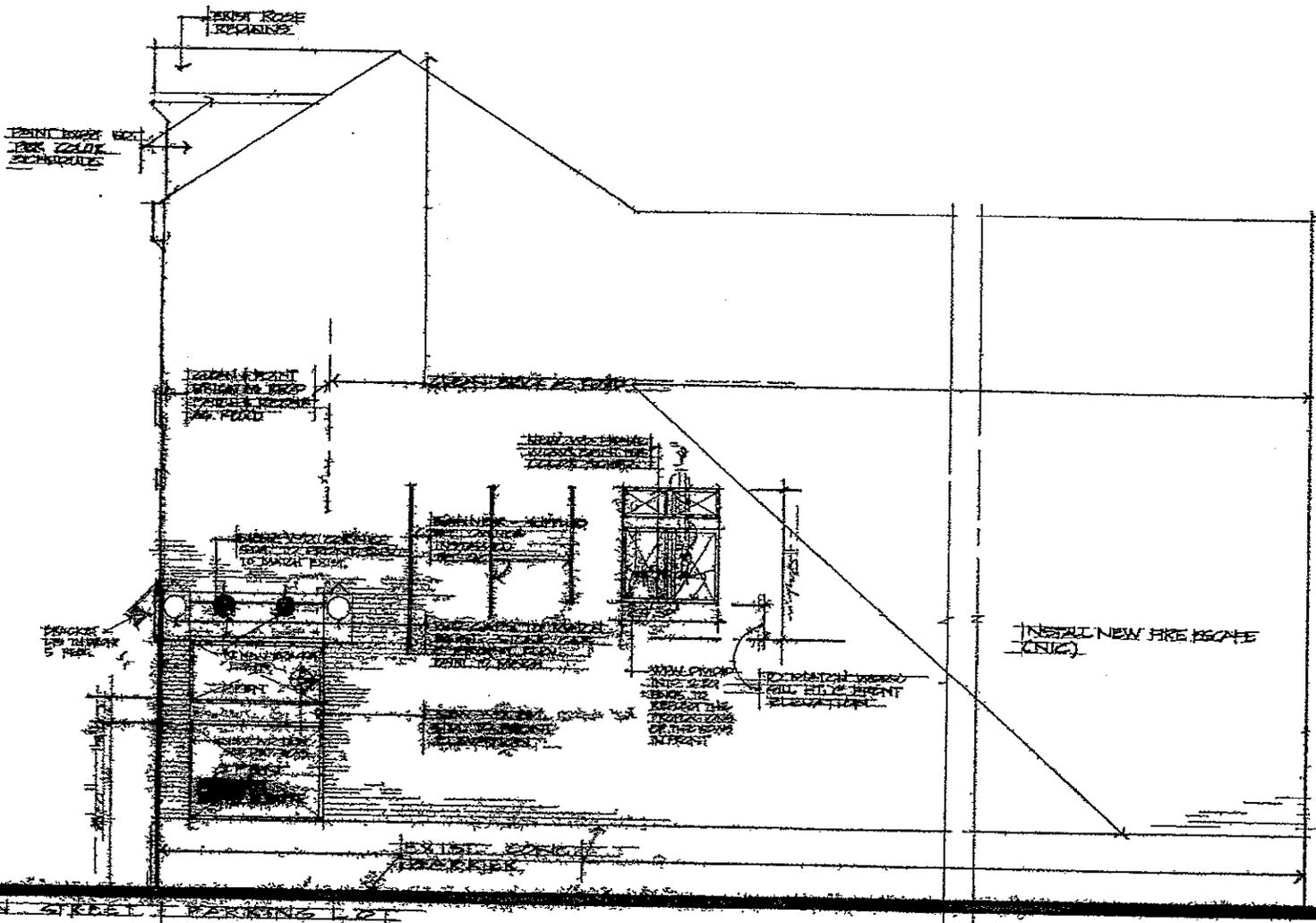
NOTE ALL STRUCTURAL MEMBERS SHALL BE METAL CONSTRUCTION

NEW STOREFRONT FOR
 1922 CARSON ST.
 PITTSBURGH, PA. 15203

PLAN/ELEVATION

A-1

SHEET NO.



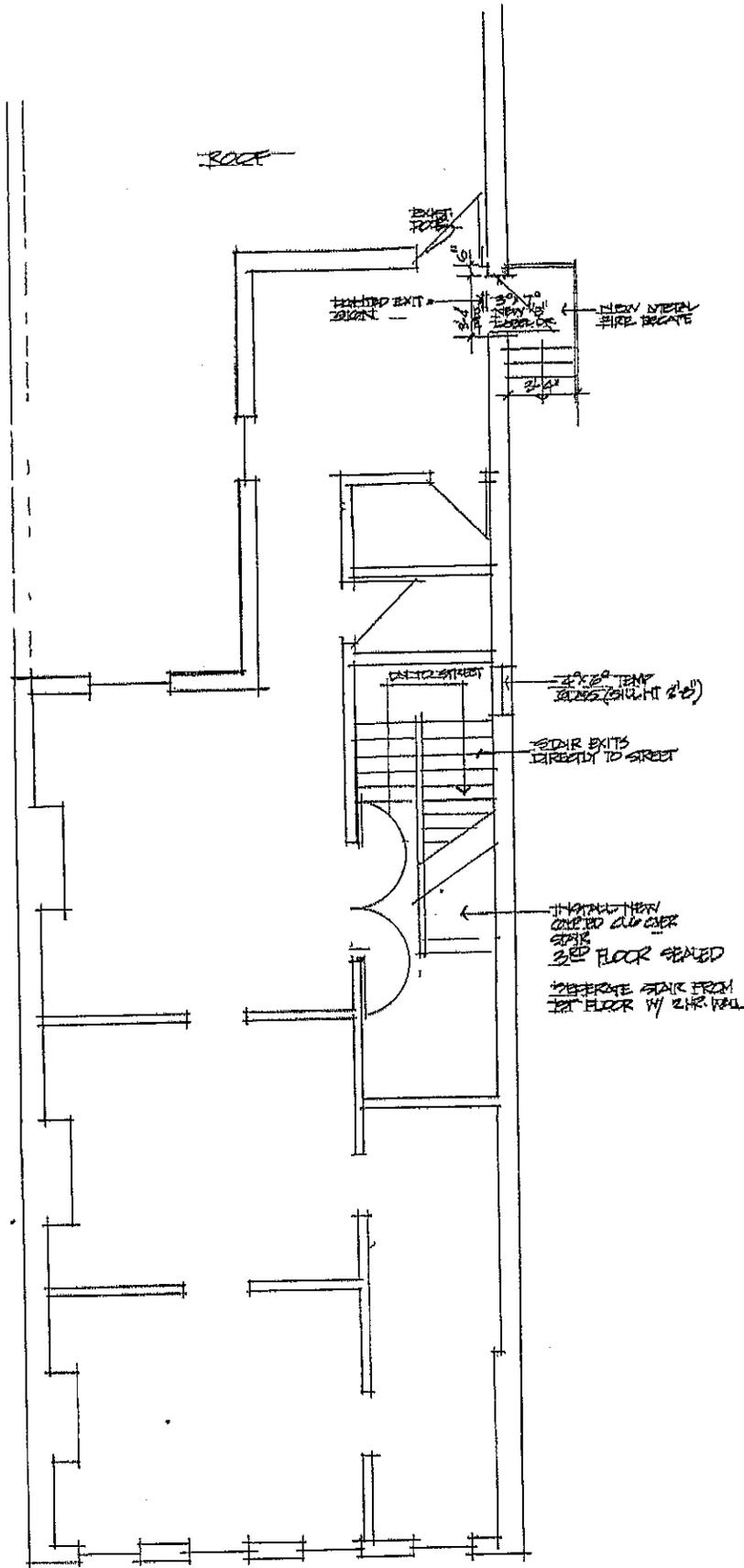
SIDE ELEVATION

1/4" = 1'-0"

NOTES: CONTRACTOR SHALL VERIFY ALL CONDITIONS
 FIELDWORK & FIELD

NEW STOREFRONT FOR
 1922 CARSON ST.
 PITTSBURGH, PA 15202

A-2



SECOND FLOOR PLAN 1/4" = 1'-0"

SECOND FLOOR RENOVATION
 1922 CARSON ST.
 PITTSBURGH, PA 15203
 DAVID MORAN, 289 MARSHALL AVE
 PCH, PA 15214 [A/E] 381-7105
 DATE [REV] MAY 4, 1984

GENERAL

The structure located at the street address is comprised of three structures, the original building and two subsequent additions. The original building is a three-story wood framed brick bearing wall structure. The first addition is a wood framed one-story structure added to the back of the original building and of the same width. The second addition is a two-story addition, also of the same width as the original building and first addition, with what appears to be a subsequent mechanical mezzanine added between the ground level and the second floor.

OBSERVATIONS

The original building is wood framed with brick bearing walls and has been renovated on the second and third floors such that the structure is concealed. No evidence of a lack of structural integrity has manifested itself through the present interior finishes, nor does there appear to be visible evidence of any loss of structural integrity on the visible brick exterior surface of the original building.

The first addition is also wood framed with brick bearing walls. From the roof it was observed that the parapet on the west elevation, adjacent to the parking lot, was approximately 8'-0 high and appeared to be structurally sound.

The second addition is also wood framed with masonry bearing walls. The west bearing wall was observed to be constructed of 4" brick and 8" clay tile. Previous notable repairs to wide cracks/separations in the west elevation brick facade of the addition were observed. From the interior of the second floor, visible hollow clay tiles were observed to be cut out horizontally as well as vertically for plumbing in the same west elevation bearing wall. The addition of a mechanical mezzanine in between the ground and second floors was observed to be only approximately 4'-6 high with no ventilation. The interior stairs accessing the second floor in the addition were observed to be cut off and redirected to the second floor. The roof framing was observed to consist of 2X6 wood joists spanning from side wall to side wall and supported by a wood stud partition running front to back near the middle of the structure, with 2x8 ceiling joists. No structural support of the load-bearing wood stud partition was visible below the second floor in the mechanical mezzanine nor from the ground level below the mezzanine. The south elevation, the back facade, adjacent to a back alley, was observed to have a sagging lintel at the second floor level above the mechanical mezzanine level and garage door opening with stepped cracks in the brick propagating from the corners of the masonry opening.

ANALYSIS

The main building appears to have maintained its structural integrity and been preserved during the last renovation to the structure.

The first addition appears to have maintained its structural integrity also. The approximately 8'-0 high parapet of the west elevation adjacent to the parking lot does not appear to have any loss of structural integrity either.

The second addition appears to have lost structural integrity in multiple aspects as evidenced by past repairs and present condition of the structure. The roof, while framed to slope to the back, has what appears to be a finished roof slope in the opposite direction, leaving ponding water towards the first addition towards the middle of the group of structures. The present 2x6 wood roof joists will not support future proposed roof top units without reinforcing the roof joists. The masonry bearing walls have fractures and cut outs that indicate past loss and present lack of structural integrity in the west elevation. The interior wood stud bearing wall has no visible evidence of structural support. The south elevation lintel at the second floor has lost structural integrity and the masonry being supported by it is also losing its structural integrity.

CONCLUSIONS/RECOMMENDATIONS

The original building and the first addition to it appear to have maintained their structural integrity for the future uses proposed.

The second addition has multiple locations with lack of structural integrity and structural questions regarding required structure not visible or answered that require destructive investigation to confirm existing structural integrity. The present roof will not support future roof top equipment based on the present wood framing and masonry bearing wall conditions. The support of the south elevation back masonry wall is failing and the lintel needs replaced. It is recommended the second addition be removed down to the second floor and the second floor framing exposed to confirm existing second floor framing sufficient to support a future roof and second floor; and, that all failing structural framing including the sagging second floor lintel in the west elevation be replaced.

REPRESENTATION

We have reviewed the structure described in the attached report in accordance with our understanding as to the nature and scope of the assignment. Our examination was made following generally accepted visual review standards but did not include testing of any physical conditions referred to in the report.

The report is intended to fairly present our professional opinion of the condition of the structure, and the component parts to which reference is made in the report, as of the date of the review involved, as based upon our physical review and the information provided to us of the age and the materials that were apparently used.

Unless otherwise stated, we have reported on only those items that we were able to visually review. It was not possible or feasible to remove portions of construction in order to expose concealed and thus not apparent conditions.

This report, therefore, does not constitute a representation or warranty of such conditions and should not be viewed as such. It does, however, reflect our professional opinion as stated in the report and as qualified by the above.

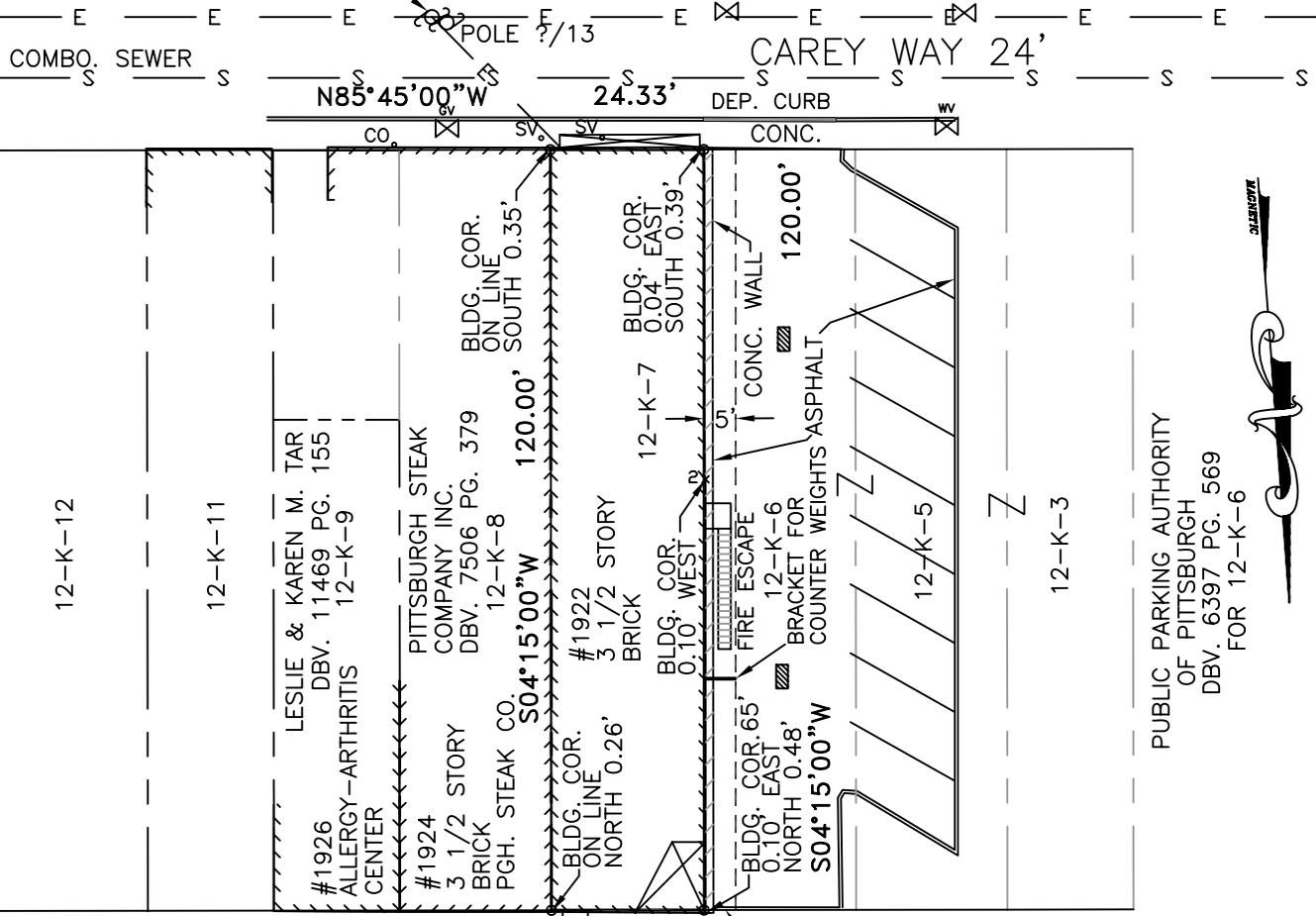
If we may be of any further service, please don't hesitate to call our office.

Very truly yours,



Stephen F. Farris, P.E.
SFF/mos

POLE W/LIGHT & TRANS. #3374 BTCO SL#32400
 BOARD OF EDUCATION OF THE SCHOOL DISTRICT OF PITTSBURGH #1917 SARAH ST. 12-K-111



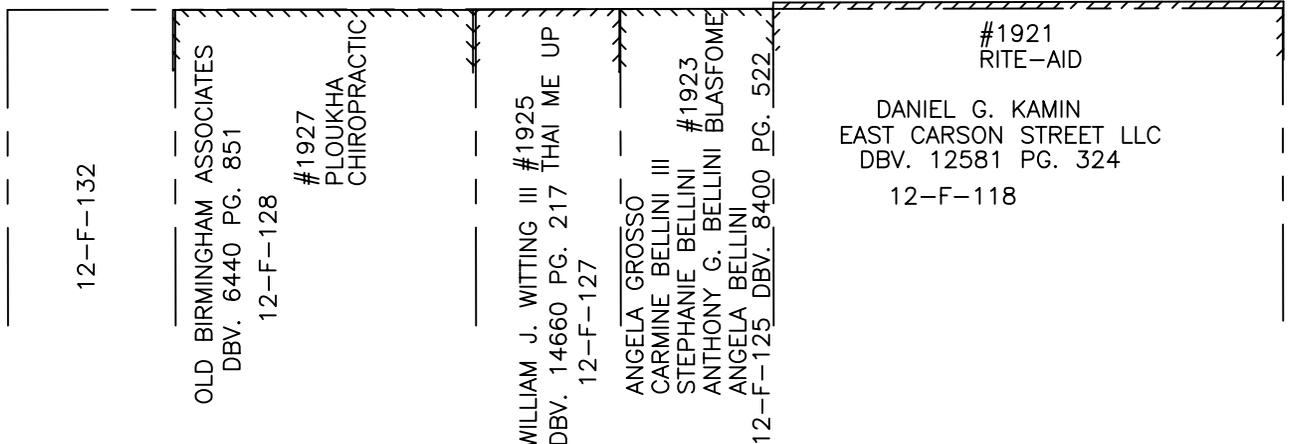
PUBLIC PARKING AUTHORITY
 OF PITTSBURGH
 DBV. 6397 PG. 569
 FOR 12-K-6

N85°45'00"W DELIVERY DOOR 24.33' CONC. PROPOSED 5' X 120' EASEMENT FOR INGRESS, EGRESS & REGRESS

POLE W/LIGHT #SL18108 DEP. CURB DLCO. O MANHOLE

EAST CARSON STREET 80'

- LEGEND**
- CO. CLEAN OUT
 - SV. SANITARY VENT
 - GV. GAS VALVE
 - CB. CATCH BASIN
 - WV. WATER VALVE



PLAN OF PROPERTY
 SITUATE IN
17TH WARD, CITY OF PITTSBURGH
ALLEGHENY COUNTY, PA

MADE FOR
SOUTH SIDE HELLO BISTRO

SCALE: 1" = 30' DATE: AUGUST 17, 2012



REF. D.B.V. 10220 p. 326 J.R. GALES & ASSOCIATES, INC.
 BLOCK 12-K LOT 7 2704 BROWNSVILLE ROAD PITTSBURGH, PA 15227 12-121032
 SB 793 P 34-36 PHONE (412) 885-8885 FAX (412) 885-1320



1922 EAST CARSON STREET
PARTIAL SIDE ELEVATION

HELLO BISTRO



1922 EAST CARSON STREET
FRONT ELEVATION

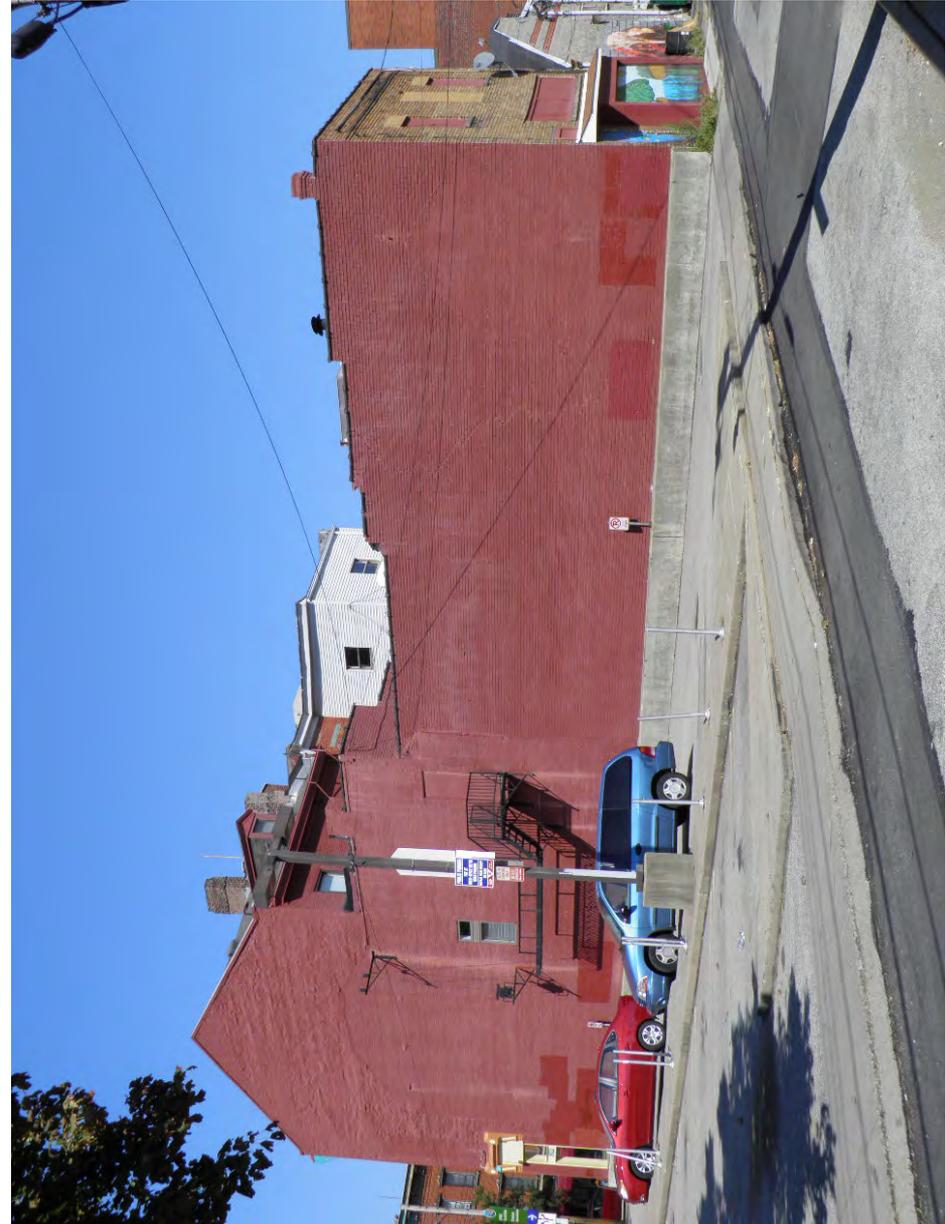
HELLO BISTRO

EXISTING BUILDING

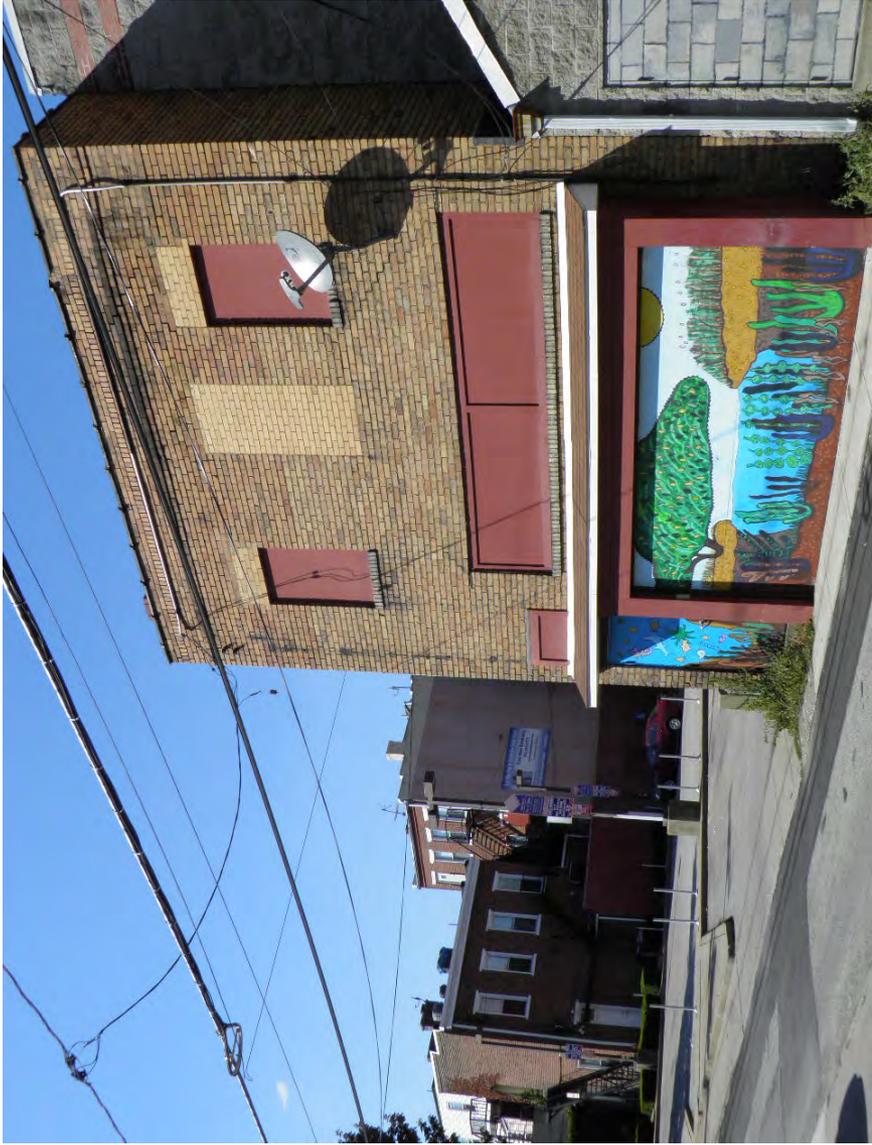
1922 East Carson Street



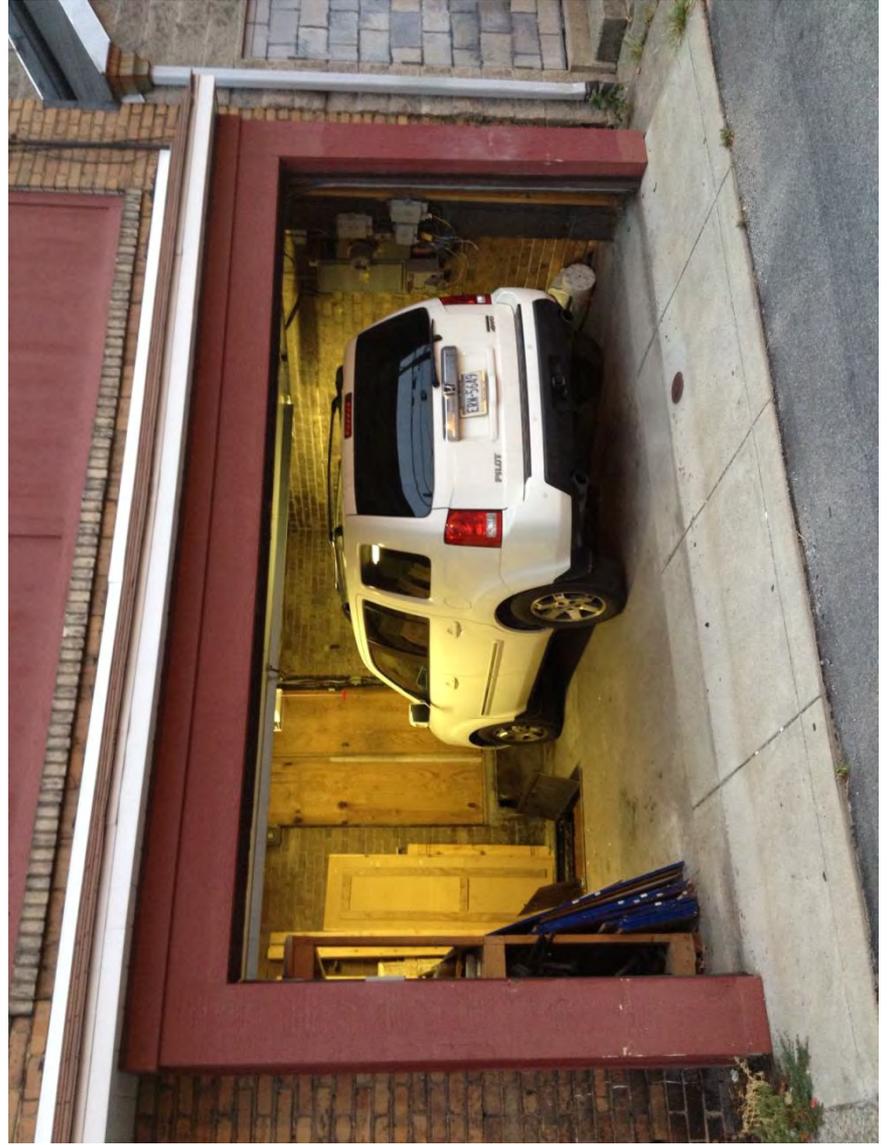
EXISTING BUILDING – FRONT & SIDE



EXISTING BUILDING - SIDE



EXISTING BUILDING - REAR



EXISTING BUILDING - REAR

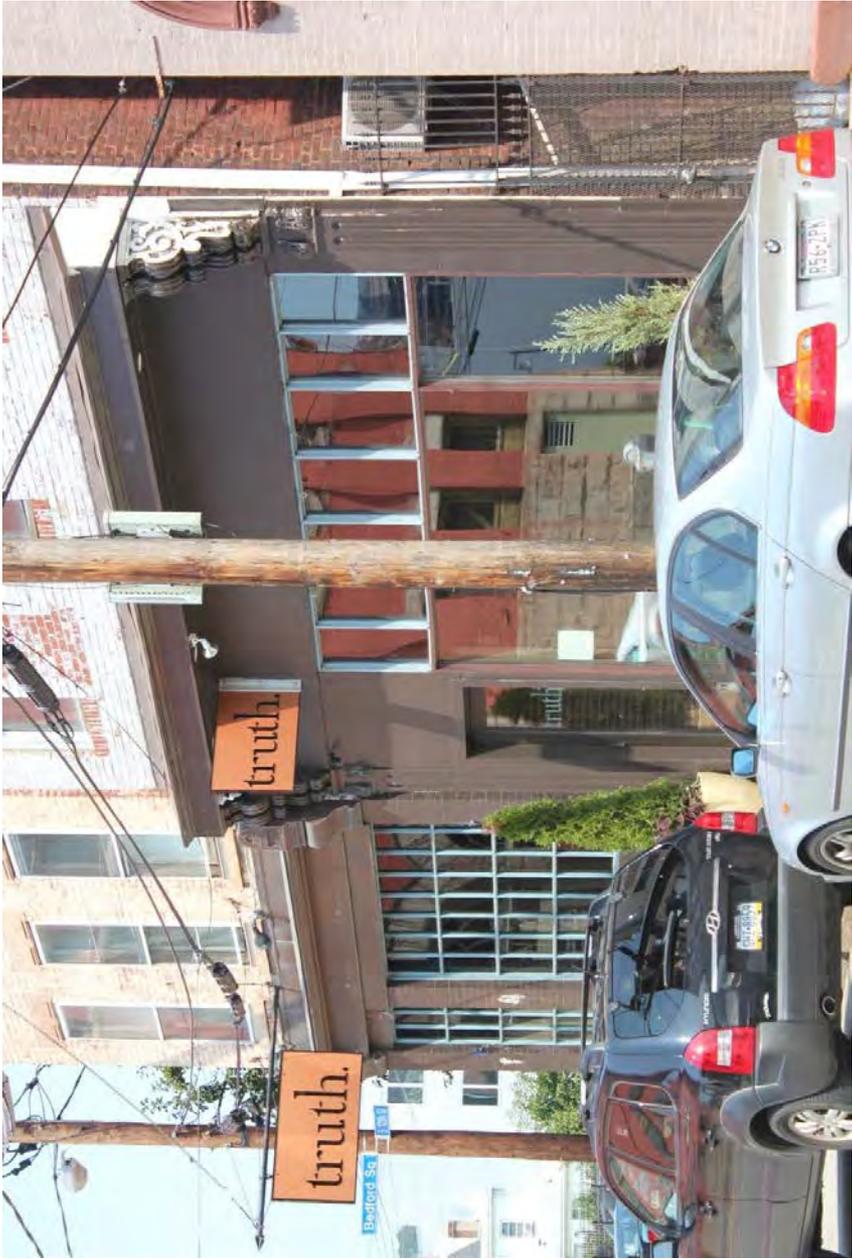


EXISTING BUILDING – FRONT (EAST CARSON)

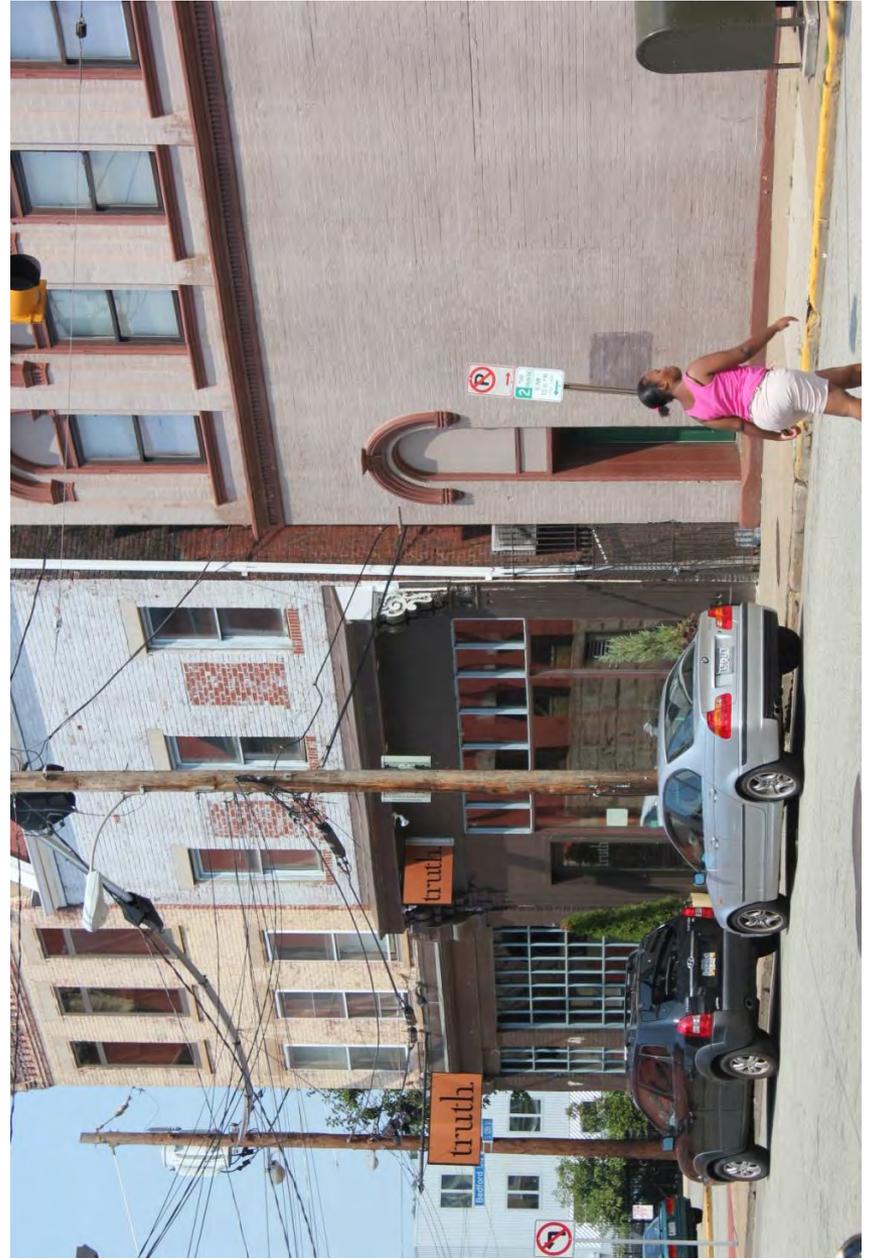


EXISTING PARKING LOT – FRONT (CAREY WAY)

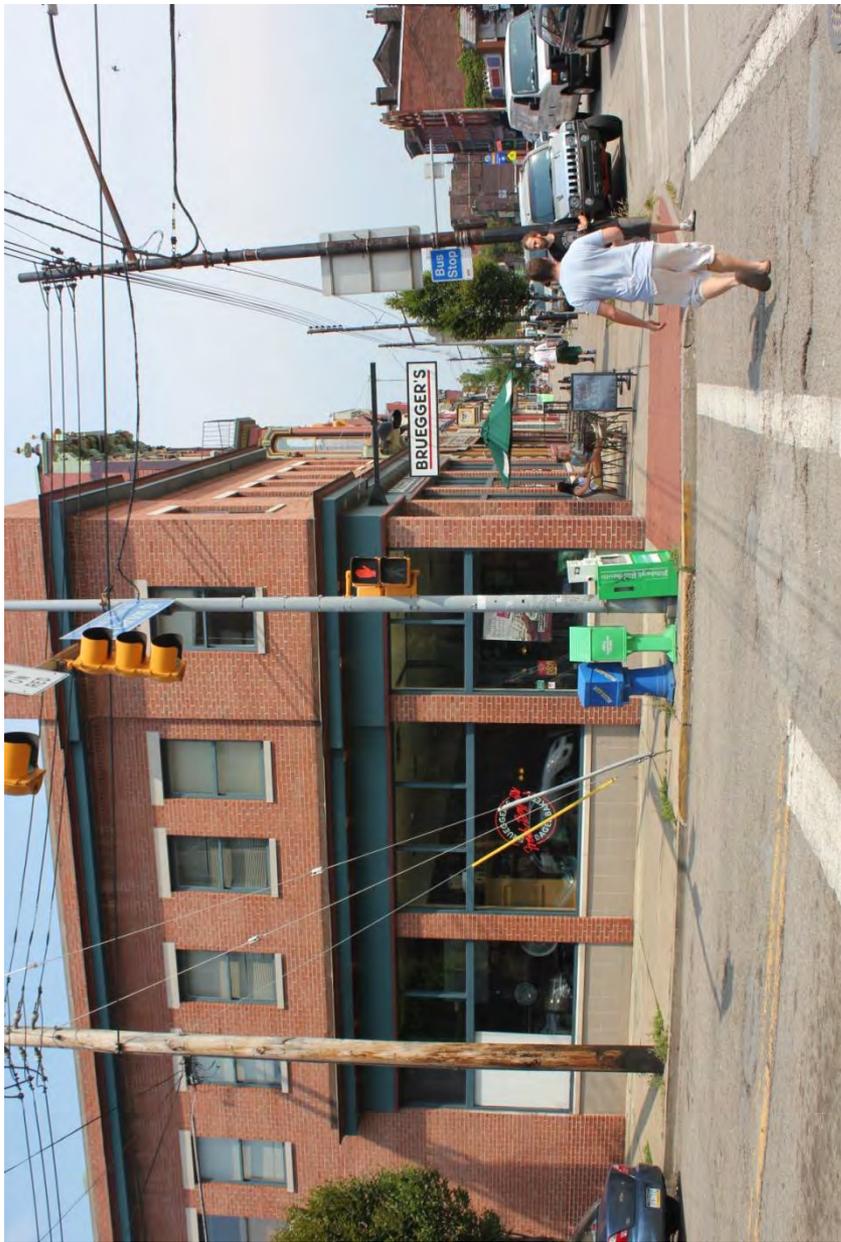
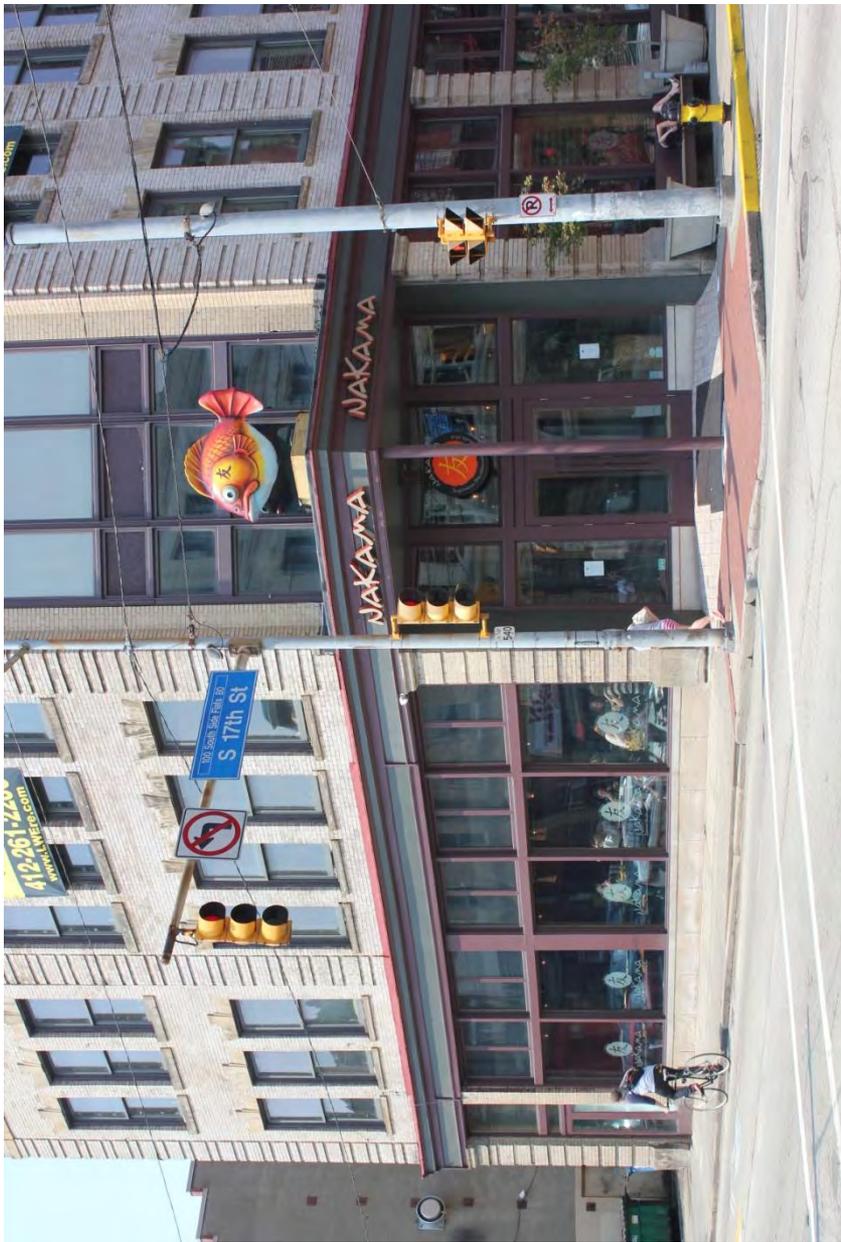
SITE CONTEXT

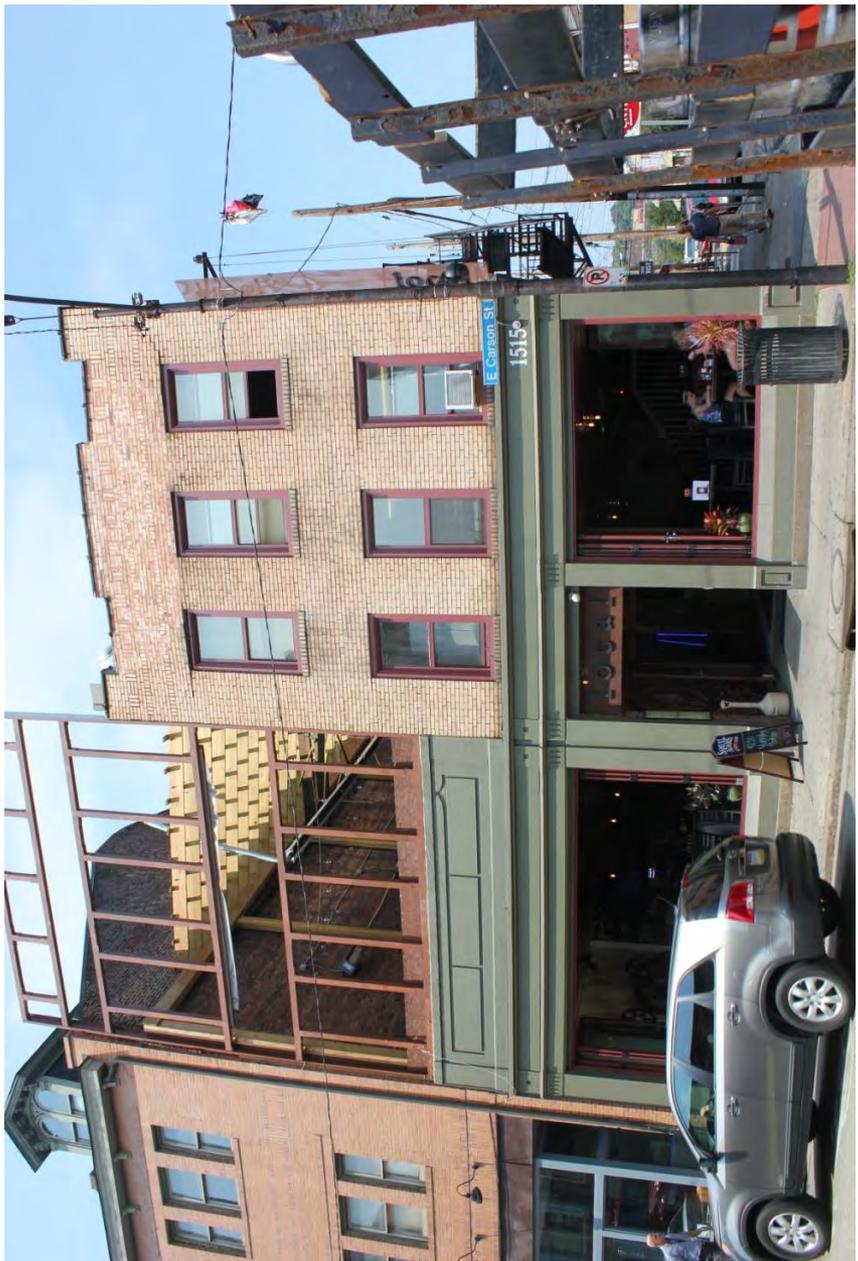


SIDE OF BUILDING



SIDE OF BUILDING



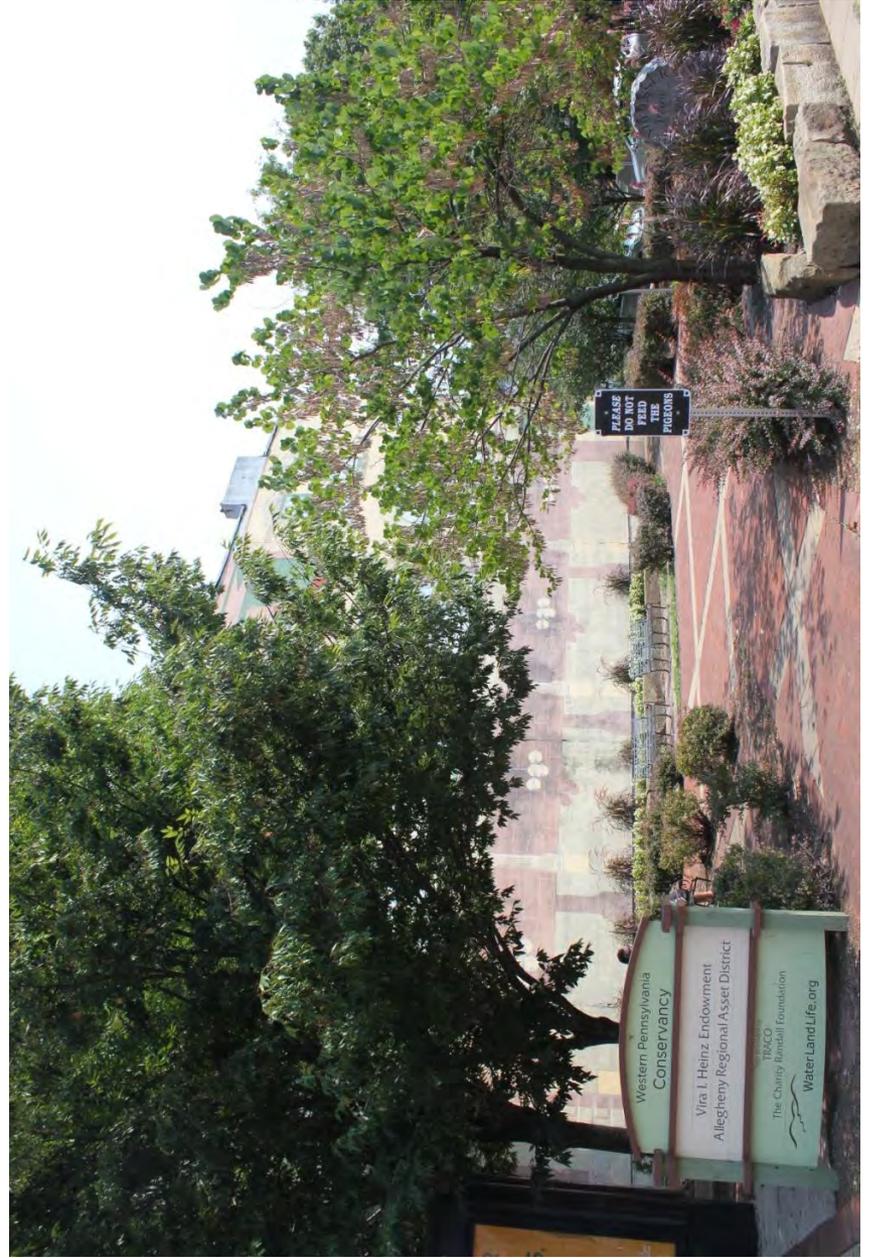








PAINTED MURAL



PAINTED MURAL



PAINTED MURAL



PAINTED MURAL

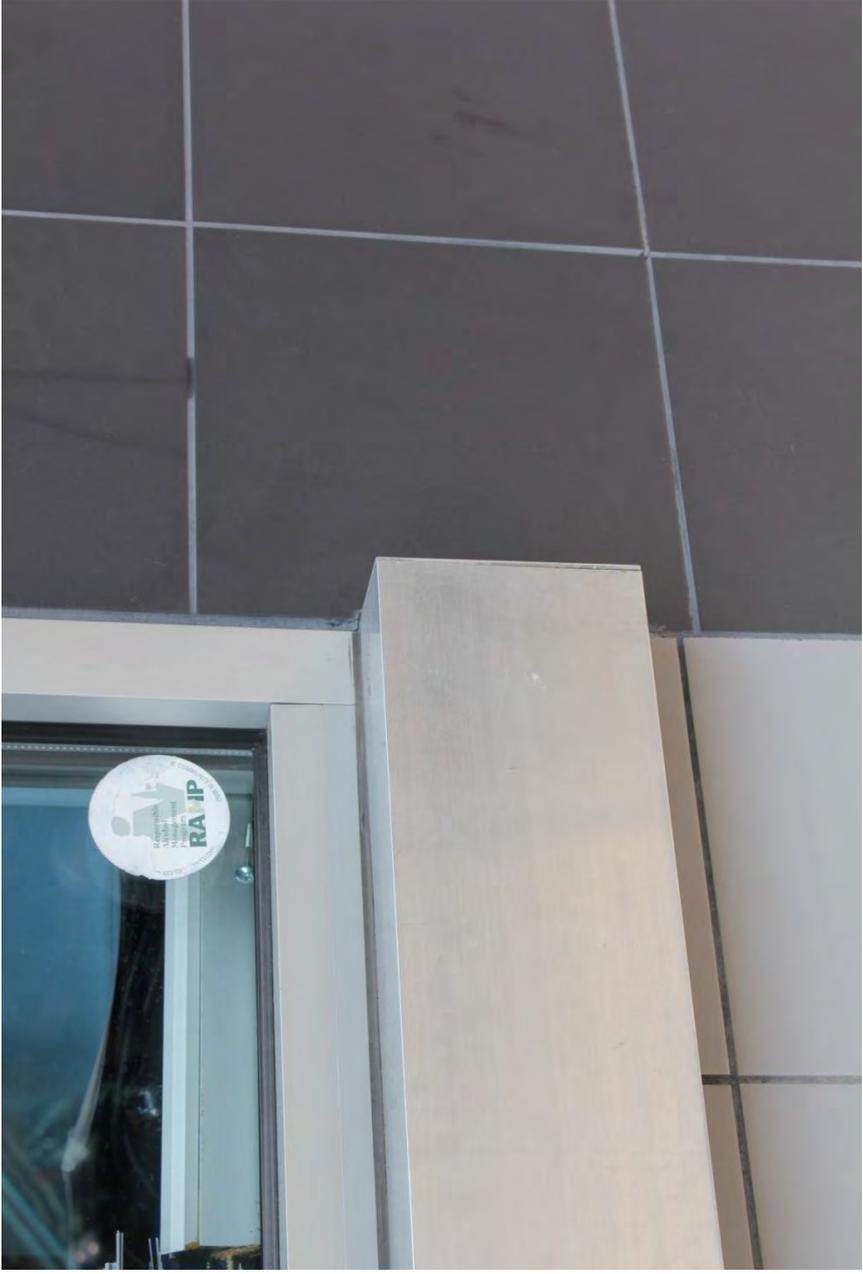


NEIGHBORHOOD MATERIALS



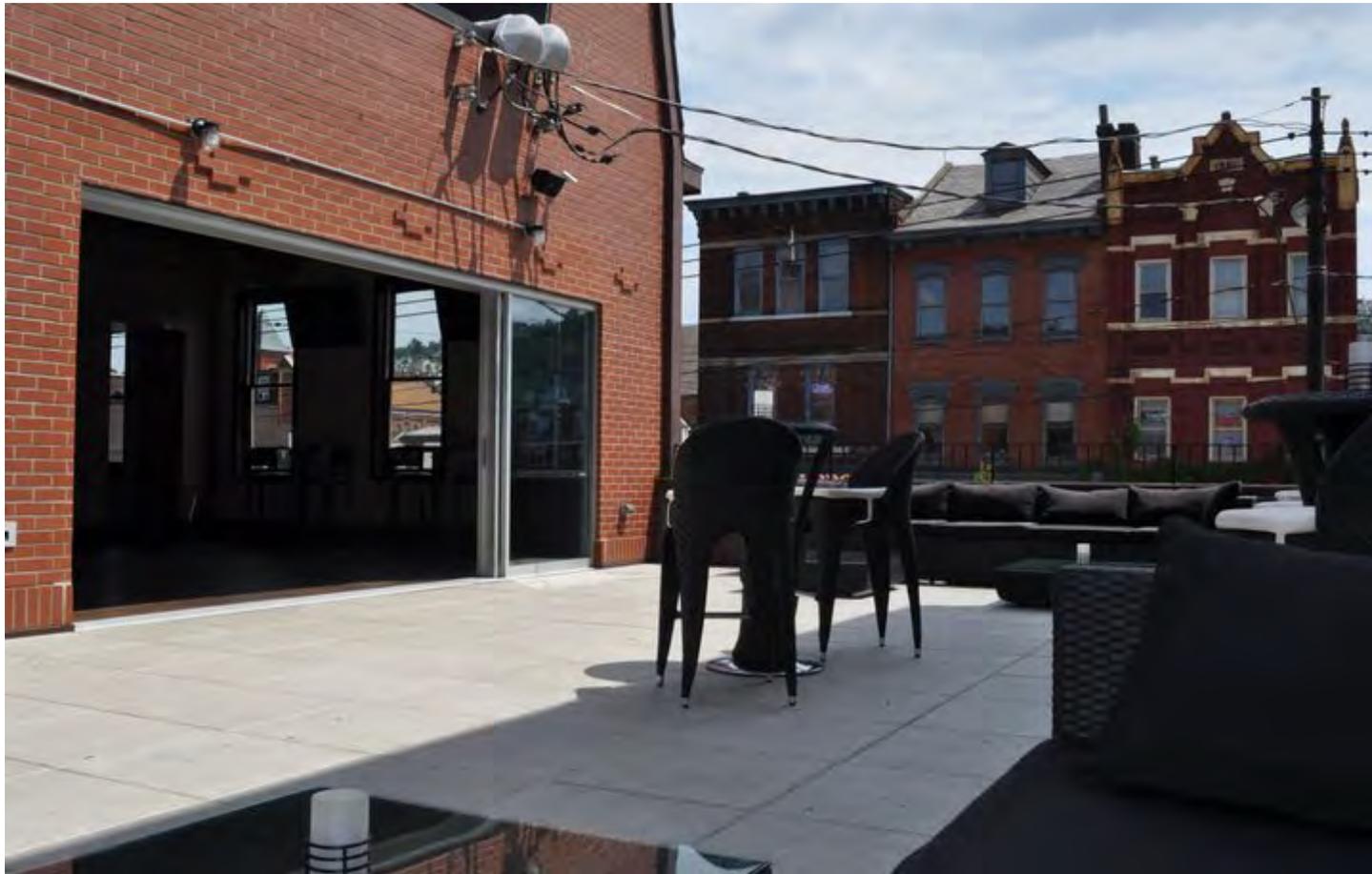












SECOND STORY - SIDE





105 South 34th Street, 5880
Garson St

NO
TURN
ON
RED

ONLY

Bus Stop

Vineet

Supplies

Vineet

Three Rivers
PAYROLL
Full Payroll Services • Payroll Tax • 401(k) • Insurance
(412) 481-3297

CANVAS BRUSHES LETTERS OILS
ENTRANCE ENTRANCE

Vineet
art supplies
PAPERS PAINTING DRAWING

Spiritual
Garden

Spiritual
Garden



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

DISTRICT:

Laracuville

ADDRESS OF PROPERTY:

3340 Liberty Ave

Pitts. PA 15213

OWNER:

NAME: Collier Development

ADDRESS: 5020 Thoms Run Rd

Pitts PA 15071

PHONE: 412 221-3435

EMAIL: _____

APPLICANT:

NAME: Tim Frew

ADDRESS: 980 Ridge Ave

Pitts PA 15202

PHONE: 412-715-6169

EMAIL: Tim.Frew@HOTMAIL.COM

REQUIRED ATTACHMENTS:

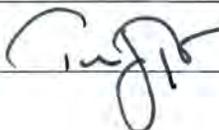
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

lights, front restoration, painting, cleaning, roof

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT:  _____ DATE: 7/12/12









Brick Cleaning

Building S or the Iron City Corporate office is a brick structure built around 1861. The brick and stone has been painted and at some point re pointed. Collier Development is asking for consideration in using the attached product to clean the brick and stone. Product description sheet is attached.

DIEDRICH 505 SPECIAL COATINGS STRIPPER

1. PRODUCT NAME:

DIEDRICH 505 SPECIAL COATINGS STRIPPER

2. MANUFACTURER:

Diedrich Technologies Inc.
A Division of Sandell Construction Solutions
7373 S. 6th Street, Oak Creek, WI 53154
WI: 800-323-3565 / NY: 800-283-3888
AL: 877-726-3355
Internet: www.diedrichtechnologies.com
www.sandellmfg.com

3. PRODUCT DESCRIPTION:

Diedrich Diedrich 505 Special Coatings Stripper and Dry Strip (dry stripping means moist scrape off removal to deepest penetration, followed by pressure washing or hand rinsing to remove residue) is opaque, white, non-flammable, water soluble, non-damaging, digestive paint removers. Its viscous heavy body is designed to cling to vertical surfaces. Its quick action raises the coatings in 10 to 20 minutes for easy water wash-off with a garden hose or high pressure water. This thixotropic solvent can be scraped and sponged clean on interiors. 505 does not require neutralization and will not raise or discolor wood grain. Special added inhibitor prevents pre-mature dryout, stays moist longer, safer contains no caustic alkali, acid, or benzol. 505 WILL REMOVE: elastomers, epoxies, varnish, lacquers, graffiti, enamels, shellac, mastics, urethane, polyurethane, rubber-base floor and pool paints, polyester finishes, stains, tar, bubble gum, oil & acrylic paints (do not use on fiberglass, linoleum, asphalt, rubber tile, or synthetics). 505 CAN BE USED TO REMOVE THE ABOVE COATINGS FROM: all brick, stone, masonry, concrete, stucco, plaster, wood, metal, etc: like furniture, automobiles, buildings, boats, farm and industrial machinery. 505 CAN BE BRUSHED, ROLLED, OR AIRLESS SPRAYED.

4. PRECAUTIONS

Before starting work, workmen must be protected by rubber suits, boots, gloves, face shields, and protective headgear. In some cases ie. tank interiors or other enclosed unventilated areas, a respirator will be necessary. Avoid contact with eyes and skin. Protect all adjacent surfaces to the area being stripped. Open container slowly to release any pressure accumulated. Protect vegetation by water soaking the area and covering with tarpaulins or black plastic sheeting. Remove canvas awnings, and, if possible, all signs, rugs and doormats. Protect all glass synthetic or non-glass window material such as acrylic, polycarbonate, plexi-glass, lexan etc., aluminum, asphalt roofing, other metal and painted surfaces with plastic and continual water flush. Avoid drift as it may injure passersby or damage vehicles. KEEP OUT OF THE REACH OF CHILDREN AND ANIMALS. Fence off work area from unauthorized personnel at all times. Safety lines and suspended scaffolding must be equipped with steel cables. Do not add to or mix with other chemicals or cleaners. The solution is not usually damaging to other surfaces encountered in the masonry wall, but caution should be exercised to confine the material to the surfaces being treated. THOROUGHLY TEST ALL SURFACES BEFORE USING. Protect electrical anodized aluminum, cars, sidewalks, all other and miscellaneous adjacent items with proper precautions,

and coverings, and/or by soaking down with water. Working from top to bottom or bottom to top are all acceptable techniques. If application is too thin or uneven or removal attempt is too rushed additional applications may be necessary.

IMPORTANT: FOR INCREASED DISSOLVING OF MORE LAYERS OF PAINT SIMPLY ENCAPSULATE COVER WITH ALUMINUM TIN FOIL, ALUMINUM COATED MYLAR OR PLASTIC SHEETING IMMEDIATELY TO STICK TO A THICK APPLICATION OF 505. LEAVE OVERNIGHT - PULL OFF COVER, SCRAPE, COLLECT OR WASH REMOVE.

Products must be stored in cool place (70°F).

5. TEST AREA:

A test area **MUST** always be conducted before overall stripping operations to determine the effectiveness of the product and procedures necessary for most efficient cleaning. A test of each type of surface and each of the building's elevations must always be done. The test area chosen **MUST** be indicative of conditions on the entire project.

6. APPLICATION:

505 Special Coatings Stripper:

Stir well before using. Apply a heavy coat of remover in one direction only. Do not brush out or back brush as you would paint. Monitor dwell time until finish lifts - usually 10 to 20 minutes. Allow less time for varnish. Remove the old finish before it dries.

Dry Stripping:

For multi-layer paint removal or hard to remove high build coatings, apply 505 1/8" to 1/4" thick with a stainless steel chemical resistant airless sprayer, trowel or putty scraper /broad knife. Do not spread too thin, back brush or work in. For hand application use putty scraper or broad knife, apply evenly in small parcel areas. Apply in one heavy coat, not two thin coats. Dwell time for multi-layer removal on exterior surfaces is 1 to 4 hours. Dwell time may be extended by covering with plastic sheets and possibly digest more layers of paint. Whenever possible try to work in shade, especially in hot, sunny weather. Dwell time for interior use is 1 to 24 hours. Note: for heavy paint buildups and high build coatings, additional applications may be required.

7. REMOVAL/RINSE:

EXTERIOR REMOVAL: Before removal, thoroughly water soak area and lay down plastic sheets covered with hay. Removal can be by high pressure water wash, or scrape-off, of chemical and removed coatings, with wide blade putty knife followed by high pressure water or garden hose rinse. Allow plastic, hay and removal material to lay out for 24 to 48 hours or until smell has disappeared, indicating the total evaporation of methylene chloride. The plastic, hay and removal residue can then be rolled up and disposed of per regulations. When working outside or on particularly tough finishes (after applying liberal coat of stripper), cover surface to be stripped with polyethylene film. This prevents stripper from evaporating and allows a much longer time for remover to work.

INTERIOR REMOVAL: Finishes and chemical can be scraped off with a wide blade putty knife where water use restrictions apply. Steel wool and burlap cloth can also be

used. (This method is preferred on wood surfaces where water may raise the grain.) Allow surfaces to dry THOROUGHLY before applying new finishes (3 to 5 days and test wood with a moisture meter). If surface has cracks or joints, such as flooring, clean out thoroughly and allow extra time for these to dry completely. NOTE: Some finishes, such as epoxies and varnish usually will not wrinkle or bubble. These may be removed with a wide putty knife, scraper or steel wool as soon as the finish is softened. For removing stains: apply as above, wait 10 minutes and scrub with household bleach and steel wool. For better cleaning, mix a little detergent with water. Allow thorough dry time.

8. COVERAGE:

505 Special Coatings Stripper - coverage will vary - approximately 50 to 100 square feet per gallon.

9. WARRANTY:

ALWAYS USE A TEST SAMPLE TO DETERMINE DESIRED RESULTS. PRODUCT FREEZES BELOW 32°F, AND MAY BE ADVERSELY AFFECTED BY COLD WEATHER. DIEDRICH TECHNOLOGIES INC., warrants that the product will conform to the description and specifications set forth on the product label and will be free from defects in material and workmanship. The exclusive remedy of the Buyer in the event that the product does not so conform shall be the replacement of the product. This warranty is expressly made in lieu of any and all other warranties, expressed or implied, including the warranties of merchantability and fitness, and Diedrich Technologies Inc. shall not be liable for any loss or damage, directly or indirectly, arising from the use of such merchandise or for consequential or incidental damages. While Diedrich Technologies Inc. believes that the data contained herein is accurate and the information is based on test and data believed to be reliable, it is the user's responsibility to determine the safety, toxicity and suitability for his own use of the product described herein. Manufacturer shall not be responsible for any contamination, or related testing or removal costs resulting from use of this lead-free product on any material containing lead or toxic or environmentally hazardous substances. Since the actual use, by others, is beyond our control, no guarantee, expressed or implied, is made by Diedrich Technologies Inc. as to the effects of such use, the results to be obtained, or the safety and toxicity of the product referred to herein. Nor is the information herein to be construed as absolutely complete since additional information may be necessary or desirable when particular conditions or circumstances exist or because of applicable laws or governmental regulations. All claims of any kind against manufacturer arising from or related to this product in any way shall be decided by binding arbitration in accordance with the Construction Industry Arbitration rules of the American Arbitration Association.

ENVIRONMENTAL PROTECTION SYSTEM:
USE DIEDRICH NEUTRA-SOAK "S" (FOR SOLVENTS), WHICH IS A DRY ABSORBENT COMPOUND, FOR SPILLAGE AND TO DIKE/CONTAIN AND COLLECT WASH-OFF RESIDUE FOR SAFER DISPOSAL AND TO ADDRESS LOCAL ENVIRONMENTAL REQUIREMENTS.

Copyright © 1992 / Revised 08/2008

DIEDRICH 606 MULTI-LAYER PAINT REMOVER

1. PRODUCT NAME:

Diedrich 606 Multi-Layer Paint Remover

2. MANUFACTURER:

Diedrich Technologies Inc.
 A Division of Sandell Construction Solutions
 7373 S. 6th Street, Oak Creek, WI 53154
 WI: 800-323-3565 / NY: 800-283-3888
 AL: 877-726-3355
 Internet: www.diedrichtechnologies.com
 www.sandellmfg.com

3. PRODUCT DESCRIPTION:

Diedrich 606/606X Paint Removers are thixotropic alkaline compounds blended with special wetting agents and surfactants designed to remove oil base, latex, and lead based paints from exterior surfaces under normal conditions. Whitewash, limewash, cement-based paints, aggregate sand masonry waterproofing paints, blood and milk paints are difficult and may not be affected by the 606/606X. A TEST SAMPLE IS A MUST. 606/606X can be used to remove paint from brick, stone, concrete, block, metal and wood surfaces, followed by the appropriate Diedrich Neutralizer. 606 can also be used for graffiti removal from brick, stone, block and concrete surfaces. 606/606X may also remove "vine stains" from masonry where vines and foliage had been allowed to grow. Diedrich 606/606X offer a sensible alternative to damaging sandblasting with these advantages:

- RETAINS the original outer masonry "skin" for natural waterproofing and color appearance.
- KEEPS mortar joints intact and structurally sound, thus avoiding costly and unnecessary tuckpointing.
- PRESERVES delicate architectural carvings and delicate moldings.
- WATERSOLUBLE AND BIODEGRADABLE formulas create no ecological problems of sand nuisance and dust pollution.
- DOES NOT contain waxes or heavy metals.
- LIMITATIONS: Product performance is reduced by cold weather. For optimum results air and surface temperatures should be a minimum of 50°F during application. Not for use on wood furniture or finished wood surfaces.

4. TECHNICAL DATA:

| | |
|-----------------------|----------------------------------------------------------------------------------------------------------------------|
| Physical form: | 606 - thick viscous solution (brown color) 606X - EXTRA THICK viscous solution (tan) |
| Specific Gravity: | 606 - 1.33 606X - 1.25 |
| pH: | 14.0+ |
| Coverage: | Varies according to the number of layers and the type of paint. Generally one gallon will cover approximately 50-100 |
| Solubility: | completely soluble in water. |
| Flash Point: | Non-flammable |
| Shelf life/Stability: | indefinite/ product freezes below 32°F |

Use as directed to aid in meeting OSHA, EPA, and DNR requirements. (contains no phenols, methylene chloride, benzenes, phosphates, creosols or formates.) READ MATERIAL SAFETY DATA SHEETS BEFORE USING.

ENVIRONMENTAL PROTECTION SYSTEM:
 USE DIEDRICH NEUTRA-SOAK "C" (FOR CAUSTICS), WHICH IS A DRY ABSORBENT COMPOUND, FOR SPILLAGE AND TO DIKE/CONTAIN AND COLLECT WASH-OFF RESIDUE FOR SAFER DISPOSAL AND TO ADDRESS LOCAL ENVIRONMENTAL REQUIREMENTS.

5. APPLICATION:

Safety precautions/Personnel:

All workers must wear protective clothing for complete body coverage: Use long-sleeved rubber or PVC suits, (shoulder length) rubber gloves, safety glasses, face shields and protective headgear. Avoid contact with eyes and skin.

Safety Precautions/Adjacent Area:

Employ all necessary precautions and coverings to prevent unnecessary damage to the building being restored as well as surrounding buildings. Protect vegetation, electrical, anodized aluminum, asphalt roofing, cars, sidewalks, non-masonry surfaces and miscellaneous adjacent items with proper precautions coverings, and by soaking down with water. Paint removal and masonry cleaning should be completed before replacement of windows. Protect all window glass, metal, and painted surfaces from exposure during stripping process using polyethylene or other proven protective material. NOTE: 606/606X will not attack glass, it is the 101/101G masonry cleaners that follow the strippers, on masonry, that can etch glass and anodized aluminum surfaces. Pedestrian and auto traffic should be protected and/or diverted. Avoid drift as it may injure passersby or damage vehicles.

Preparatory Work:

Paint chips from various elevations should be examined to ascertain the number of layers present. If there are 10 layers or less 606 may be used with good results, but if the buildup is 10 to 20 layers the heavier 606X EXTRA THICK (which is meant to be spray applied,) formula is suggested. (Additional applications may be required on heavy accumulations.) TEST PATCHES MUST BE CONDUCTED ON EACH ELEVATION to check the action and timing of the remover, and to determine if additional applications will be required. While we recommend 606 for up to 10 layers of paint and 606X up to 20, that is not to say it will remove all the paint in one application. Simply put, because of factors beyond our control, the product may take all paint off one project, but require two or more applications on the next. Probable reasons for the difference could be types of paints

involved, thickness of individual layers, different types of coatings on different elevations, amount of remover applied, the applicators, or low temperature weather conditions.

Procedure:

MASONRY, STONE, CONCRETE, METAL:

Apply 606/606X with a synthetic fiber brush or roller, and for best results, a stainless steel corrosion-resistant airless sprayer fitted with viton, Teflon or other caustic resistant seals and hoses (set at lowest possible setting to reduce/prevent atomization of the stripper), liberally and uniformly. Apply full strength and let stand as long as necessary to soften whatever number of coats may be on the surface. The time may range from 1-24 hours with approximately 1 hour allowed for each layer of paint (Example: dissolve time for 4 coats of paint - allow 4 hours dwell time or overnight.) If 606/606X begins to dry out during dwell time, mist with water to reactivate. Where there are many coats of paint, additional applications of 606/606X may be necessary. IF APPLICATION IS TOO THIN OR UNEVEN, OR REMOVAL ATTEMPT IS TOO RUSHED, ADDITIONAL APPLICATIONS MAY BE NECESSARY. To rinse, fog lightly with a water mist, wait 10 minutes, then rinse with as much concentrated water pressure as possible. For best results a pressure of 500 PSI is recommended. It is not necessary to let the surface dry out completely before reapplication. 606/606X may cause a chalk film on masonry. To remove, apply 101 Masonry Restorer 5 to 1 according to directions. Failure to neutralize may interfere with performance of clear sealers or future paint coatings.

WOOD SURFACES:

606/606X are effective removers of paint from wood surfaces, but they must be removed as soon as it has been determined that the old paint has been loosened. (Follow the same application directions as for masonry, stone, concrete and metal.) DO NOT LET THE STRIPPER PENETRATE THE WOOD. Failure to do so will cause a darkening coloration of the wood or raised grain effect. Open grained redwood, cedar and cypress must be flushed with great quantities of water and then neutralized with Diedrich 101WN (for exterior wood) or 707N (for interior wood). 101WN and 707N will not etch glass. Because the tannic acid in these woods tends to bleed, the surface must be washed thoroughly before painting. Clear or tinted penetrating stains are recommended.

NOTICE: Three neutralizer applications are recommended: This triple application must be followed as an integral part to the complete Diedrich Restoration System.

FIRST APPLICATION: Before scraping or pressure wash-off, spray or mist full strength neutralizer over the paint remover. This step helps neutralize the paint stripper and prevents inward migration of the stripper during the pounding wash, and for environmental

purposes will lower the pH level of the washed off material. After 1 hour dwell time, pressure wash or scrape paint remover down to the base wood.

SECOND APPLICATION: Apply 101WN full strength immediately after the removal of the paint and paint stripper. Let stand 1 hour, pressure wash off. When removing wet or dry residue from intricate areas, use a BRISTLE brush to get into crevices, grooves, cracks, etc., then follow with neutralization applications.

THIRD APPLICATION: After a minimum of 24 hours apply another coat of neutralizer and follow with a final rinse, with the recommended 50 PSI, fan tip. (The neutralizer should be diluted 3 parts water to 1 part 101WN Wood Neutralizer.) Extremely high pressure washers pound moisture deep into wood pores thus extending dry time allotment. (Garden hose washing is acceptable alternative. Use Diedrich Neutra-Soak "C" at areas of run-off to neutralize and absorb caustic residue.)

DRY TIME: The surface should be allowed to dry for a minimum of 30 days in warm and dry conditions to a suggested 45 days for maximum safety. 7 days into the dry time take a PH reading. A neutral reading of 7 on most woods and 5 on cedar, redwood and cypress are acceptable levels and must be achieved and recorded. Also before painting, monitor wood with a moisture meter for proper level, not to exceed 12% moisture content.

BARRIER COATING:

A stain inhibitive bleed barrier coating (with an alkali inhibitor) must be used to counteract the bleeding of cedar, pine, fir, etc. (Many types of wood contain water soluble materials which tend to migrate, during high moisture periods, to the surface and cause discoloration. These wood resins oils are not harmful). 1 coat is usually sufficient, but 2 may be required if conditions are severe and warranted. Past experience shows Cabots 8011 or 3 pound shellac as a substitute, render best results.

LIMITATIONS:

- a. Do not over-strip, caustic strippers should be removed as soon as possible before they penetrate the wood. Touchup with Diedrich 505 fast acting solvent stripper. Do not expect the chemical to remove 100% The final finishing can be done with a power sander.
- b. Do not strip eaves and porch overhangs because they do not receive enough sun to dry out thoroughly. Their proximity to downspouts, gutters, roof drainage leaking may inhibit wood from drying properly.
- c. Because old galvanized nails scratch and show wear, water and chemical cleaning may tend to rust and bleed through finish coat. To prevent – prime nailheads with a rust inhibitor (aluminum/zinc oxide primer) paying special attention to cover total nailhead. After priming, fill nailheads with an appropriate sandable filler (wood putty).

6. AVAILABILITY AND COST:

Diedrich products are available through a network of 1400 distributors and over 2100 contractors located throughout the United States, Canada, Mexico and Europe. Cost will fluctuate according to the amount of paint to be removed, the type of surface, freight and labor costs and other variables.

7. WARRANTY:

ALWAYS USE A TEST SAMPLE TO DETERMINE DESIRED RESULTS. PRODUCT FREEZES BELOW 32°F, AND MAY BE ADVERSELY AFFECTED BY COLD WEATHER. DIEDRICH TECHNOLOGIES INC., warrants that the product will conform to the description and specifications set forth on the product label and will be free from defects in material and workmanship. The exclusive remedy of the Buyer in the event that the product does not so conform shall be the replacement of the product. This warranty is expressly made in lieu of any and all other warranties expressed or implied including the warranties of merchantability and fitness, and Diedrich Technologies Inc., shall not be liable for any loss or damage, directly or indirectly arising from the use of such merchandise or for consequential or incidental damages.

While Diedrich Technologies Inc., believes that the data contained herein is accurate and the information is based on test and data believed to be reliable, it is the user's responsibility to determine the safety, toxicity and suitability for his own use of the product described herein. Manufacturer shall not be responsible for any contamination, or related testing or removal costs resulting from use of this lead-free product on any material containing lead or toxic or environmentally hazardous substances. Since the actual use, by others is beyond our control, no guarantee, expressed or implied is made by Diedrich Technologies Inc., as to the effects of such use, the results to be obtained, or the safety toxicity of the product referred to herein. Nor is the information herein to be construed as absolutely complete since additional information may be necessary or desirable when particular conditions or circumstances exist or because of applicable laws or governmental regulations. All claims of any kind against manufacturer arising from or related to this product in any way shall be decided by binding arbitration in accordance with the Construction Industry Arbitration rules of the American Arbitration Association

8. MAINTENANCE:

Surfaces cleaned by Diedrich Technologies Inc's products require no maintenance. For safety and to avoid contamination of the product, chemical containers should be tightly sealed while in storage.

9. TECHNICAL SERVICE:

Diedrich Technologies Inc., keeps an updated referral list of qualified contractors nationwide. Architects and building owners may request local names at any time. For emergencies, personal assistance, technical information or fast ordering, call:

DIEDRICH TECHNOLOGIES, INC.

A Division of Sandell Construction Solutions

WI: 800.323-3565

NY: 800.283.3888

AL: 877.726-3355

View our full line of products online:

www.diedrichtechnologies.com

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→SURE KLEAN→

Heavy Duty Restoration Cleaner

concentrated carbon & pollution remover

OVERVIEW

Sure Klean® Heavy Duty Restoration Cleaner is a concentrated acidic cleaning compound for the removal of heavy atmospheric staining from unpolished masonry. Used properly, Heavy Duty Restoration Cleaner dissolves heavy carbon and many other stains commonly found on masonry buildings in highly polluted areas. Dilute with water to produce a cost-effective, general-purpose restoration cleaner for brick, granite, sandstone, slate, terra cotta and many other masonry surfaces.

SPECIFICATIONS

For all PROSOCO product specifications visit www.prosoco.com and click on "SpecBuilder" or "Solution Finder."

ADVANTAGES

- Cost-effective concentrate reduces shipping, storage and container disposal costs.
- Proven effective for cleaning the dirtiest buildings.
- Safer than sandblasting. Will not damage masonry when properly used.

Limitations

- Repeated application, or use when diluted with less than three parts fresh water, may damage some masonry surfaces. Use Sure Klean® Light Duty Restoration Cleaner or Sure Klean® Restoration Cleaner where possible.
- Not for interior use. Use Sure Klean® Light Duty Restoration Cleaner.
- Not suitable for polished stone surfaces. Use Sure Klean® Light Duty Restoration Cleaner.

REGULATORY COMPLIANCE

VOC Compliance

Sure Klean® Heavy Duty Restoration Cleaner is compliant with all national, state and district regulations.

TYPICAL TECHNICAL DATA

| | |
|------------------|-----------------------------------------------|
| FORM | Clear liquid |
| SPECIFIC GRAVITY | 1.132 |
| pH | 2.2 @ 1:3 dilution |
| WT/GAL | 9.42 lbs |
| ACTIVE CONTENT | Not applicable |
| TOTAL SOLIDS | Not applicable |
| VOC CONTENT | Not applicable |
| FLASH POINT | Not applicable |
| FREEZE POINT | No data |
| SHELF LIFE | 3 years in tightly sealed, unopened container |

Heavy Duty Restoration Cleaner

PREPARATION

Protect people, vehicles, property, plants and all non masonry surfaces from cleaner, rinse, fumes, and wind drift. Protect and/or divert auto and pedestrian traffic. This product is corrosive, etches glass and architectural aluminum and is harmful to wood, painted surfaces and foliage.

Complete cleaning before installing windows, doors, hardware, light fixtures, roofing materials and any other non masonry items. If such fixtures have been installed, protect before application of cleaner. All caulking and sealant materials should be in place and thoroughly cured before cleaning begins.

Avoid exposing building occupants to fumes. On occupied buildings, cover all windows, air intakes

and exterior air conditioning vents. Shut down air handling equipment during cleaning and until surfaces are thoroughly dry. Fumes attack glass, metal and all other acid-sensitive surfaces.

Surface and Air Temperatures

Cleaning when temperatures are below freezing or will be overnight may harm masonry. Best cleaning results are obtained when air and masonry surface temperatures are 40°F (4°C) or above. If freezing conditions exist prior to application, let masonry thaw.

Equipment

Apply using an acid-resistant brush or low-pressure airless spray equipment with a maximum 50 psi. Equipment should be fitted with acid-resistant

hoses and gaskets to avoid discoloration. Pressure spray above 50 psi drives the chemicals deep into the surface, making it difficult to rinse completely, and may result in staining.

Rinse with enough water and pressure to flush spent cleaner and dissolved soiling from the masonry surface and surface pores without damage. Inadequate rinsing leaves residues which may stain the cleaned surface.

Masonry-washing equipment generating 400–1000 psi with a water flow rate of 6–8 gallons per minute is the best water/pressure combination for rinsing

ALWAYS TEST

ALWAYS TEST a small area of each surface to confirm suitability and desired results before starting overall application. Test with the same equipment, recommended surface preparation and application procedures planned for general application.

porous masonry. Use a 15–45° fan spray tip. Heated water (150–180°F; 65–82°C) may improve cleaning efficiency. Use adjustable equipment for reducing water flow-rates and rinsing pressure as needed for sensitive surfaces.

Rinsing pressures greater than 1000 psi and fan spray tips smaller than 15° may permanently damage sensitive masonry. Water flow-rates less than 6 gallons per minute may reduce cleaning productivity and contribute to uneven cleaning results.

Storage and Handling

Store in a cool, dry place with adequate ventilation. Always seal container after dispensing. Do not alter or mix with other chemicals. Published shelf life assumes upright storage of factory-sealed containers in a dry place. Maintain temperature of 45–100°F (7–38°C). Do not double stack pallets. Dispose of unused product and container in accordance with local, state and federal regulations.

APPLICATION

Before use, read "Preparation" and "Safety Information."

ALWAYS TEST each type of surface and stain before overall application to ensure suitability and desired results. Test using the following application procedures. Let test area dry thoroughly before inspection and approval.

Recommended for these substrates. Always test.
 Coverage is in sq.ft./m. per gallon of concentrate.

| Substrate | Type | Use? | Coverage |
|-------------------------------|----------------|------|-------------------------------|
| Architectural Concrete Block | Burnished | no | N/A |
| | Smooth | no | |
| | Split-faced | no | |
| | Ribbed | no | |
| Concrete | Brick | no | N/A |
| | Tile | no | |
| | Precast Panels | no | |
| | Pavers | no | |
| | Cast-in-place | no | |
| Fired Clay | Brick | yes | 125–400 sq.ft. 28–47 sq.m. |
| | Tile | yes | |
| | Terra Cotta | yes | |
| | Pavers | yes | |
| Marble, Travertine, Limestone | Polished | no | N/A |
| | Unpolished | no | N/A |
| Granite | Polished | no | N/A |
| | Unpolished | yes | 100–175 sq.ft. 9–16 sq.m. |
| Sandstone | Unpolished | yes | 100–175 sq.ft. 9–16 sq.m. |
| Slate | Unpolished | yes | 100–175 sq.ft. 9–16 sq.m. |

Repeated applications may damage some surfaces.
 Always test to ensure desired results.
 Coverage estimates depend on surface texture and porosity.

Heavy Duty Restoration Cleaner

Dilution

Heavy Duty Restoration Cleaner must be diluted with fresh water before application. Failure to dilute may result in bleaching of the masonry's natural color. When diluting, always pour cold water into bucket first, then carefully add product. Acidic materials will attack metal. Use polyethylene or polypropylene buckets only.

- *Porous Masonry:* dilute one part concentrate to 3 parts water, depending on test results.
- *Nonporous masonry* (glazed brick, terra cotta): dilute one part concentrate to 4 to 6 parts water, depending on test results.

Application Instructions

1. Working from the bottom to the top, prewet the surface with clean water.
2. Apply the cleaner using a brush or low-pressure spray.
3. Let the cleaning solution stay on the surface for 3 to 5 minutes. Reapply. Gently scrub heavily soiled areas. Do not let cleaner dry on the surface. If drying occurs, lightly wet treated surfaces with fresh water and reapply in a gentle scrubbing manner.
4. Rinse with low-pressure flood rinse to remove initial acidic residue with minimum risk of wind drift.
5. Rinse thoroughly using high-pressure spray, from the bottom of the treated area to the top covering each section of the surface with a concentrated stream of water. *NOTE:* To avoid streaking, keep wall below wet and rinsed free of cleaner and residues.

Cleanup

Clean tools and equipment using fresh water.

SAFETY INFORMATION

Sure Klean® Heavy Duty Restoration Cleaner is a concentrated, acidic cleaner designed and labeled for professional use. This product may damage glass and a variety of common construction materials and has safety issues common to corrosive materials. Use appropriate safety equipment and job site controls during application and handling. Read the full label and MSDS for precautionary instructions before use.

First Aid

Ingestion: If conscious, give large amounts of milk or water and call a physician, emergency room or poison control center immediately. Do not induce vomiting.

Eye Contact: Rinse eyes and under lids thoroughly for 15 minutes. Get immediate medical assistance.

Skin Contact: Remove contaminated clothing and rinse thoroughly for 15 minutes. Immerse exposed area in 0.13% Zephiran Chloride or apply 2.5% Calcium Gluconate gel if available. Get medical attention. Launder contaminated clothing before reuse.

Inhalation: Remove to fresh air. Give artificial respiration if not breathing. Get immediate medical attention.

24-Hour Emergency Information:
INFOTRAC at 800-535-5053

BEST PRACTICES

Apply using an acid-resistant brush or low-pressure airless spray equipment fitted with acid-resistant hoses and gaskets to avoid discoloration.

Do not use spray equipment above 50 psi. Pressure spray above 50 psi drives the chemicals deep into the surface, making it difficult to rinse completely, and may result in staining.

Heavy Duty Restoration Cleaner must be diluted with fresh water before application. Failure to dilute may result in bleaching of the masonry's natural color. When diluting, always pour cold water into bucket first, then carefully add product. Acidic materials will attack metal. Use polyethylene or polypropylene buckets only.

Never go it alone. For problems or questions, contact your local PROSOCO distributor or field representative. Or call PROSOCO technical Customer Care toll-free at 800-255-4255.

Heavy Duty Restoration Cleaner

WARRANTY

The information and recommendations made are based on our own research and the research of others, and are believed to be accurate. However, no guarantee of their accuracy is made because we cannot cover every possible application of our products, nor anticipate every variation encountered in masonry surfaces, job conditions and methods used. The purchasers shall make their own tests to determine the suitability of such products for a particular purpose.

PROSOCO, Inc. warrants this product to be free from defects. **Where permitted by law, PROSOCO makes no other warranties with respect to this product, express or implied, including without limitation the implied**

warranties of merchantability or fitness for particular purpose. The purchaser shall be responsible to make his own tests to determine the suitability of this product for his particular purpose. PROSOCO's liability shall be limited in all events to supplying sufficient product to re-treat the specific areas to which defective product has been applied. Acceptance and use of this product absolves PROSOCO from any other liability, from whatever source, including liability for incidental, consequential or resultant damages whether due to breach of warranty, negligence or strict liability. This warranty may not be modified or extended by representatives of PROSOCO, its distributors or dealers.

CUSTOMER CARE

Factory personnel are available for product, environment and job-safety assistance with no obligation. Call 800-255-4255 and ask for Customer Care - technical support.

Factory-trained representatives are established in principal cities throughout the continental United States. Call Customer Care at 800-255-4255, or visit our web site at www.prosoco.com, for the name of the Sure Klean® representative in your area.

Sidewalk Lighting

The liberty Avenue side of the old brewery property has old damaged lighting. Collier Development request consideration for the replacement of that lighting with the attached product data sheet for Sternberg lamp post and globe. Along with that approval is the building light also attached with product data sheet.

5200 BARRINGTON SERIES

SPECIFICATIONS

GENERAL

The _____ ft tall* decorative post shall be aluminum, one-piece construction. The 20" diameter cast aluminum fluted base shall be constructed with a _____ inch diameter aluminum shaft. The model shall be Sternberg Lighting #5200 or #5200R for candy cane poles. The pole shall be U.L. or E.T.L. listed in U.S. and Canada.

CONSTRUCTION

The base shall be designed with twelve curved flutes and teardrop decorations and be made of heavy wall, 356 alloy cast aluminum. It shall have a 1" thick floor cast as an integral part of the base. The shaft shall be double circumferentially welded internally and externally to the base for added strength.

_____ The **smooth tapered shaft** shall be made of ASTM 6063 extruded aluminum and tempered to a T6 condition.

_____ The **smooth straight shaft** shall be made of ASTM 6063 extruded aluminum and tempered to a T6 condition.

_____ The **straight fluted shaft** shall be made of ASTM 6061 extruded aluminum and tempered to a T6 condition. It shall have a decorative fluted 3" O.D. tenon.

_____ The **cast tapered fluted shaft** shall be made of heavy wall, 356 alloy cast aluminum.

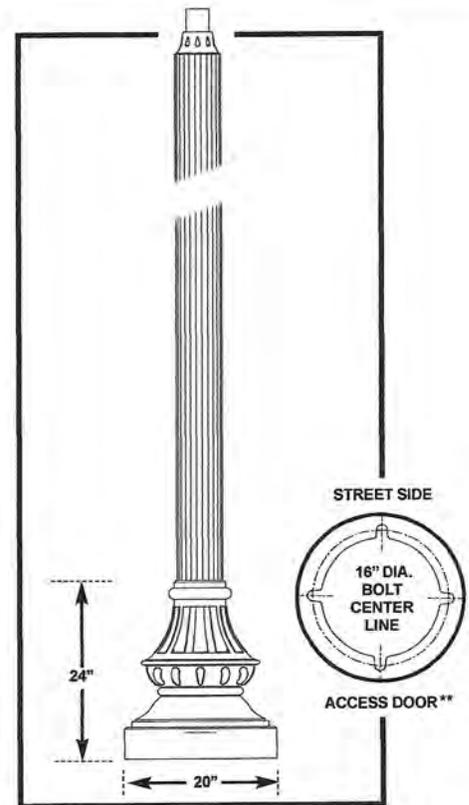
_____ The **extruded tapered fluted shaft** shall be made of ASTM 6063 extruded aluminum and tempered to a T6 condition.

_____ The **tapered octagonal shaft** shall be made of heavy wall, 356 alloy cast aluminum.

INSTALLATION

Four 3/4" diameter, hot-dipped galvanized "L" type anchor bolts shall be provided with the post for anchorage. A door shall be provided for wiring and anchor bolt access. It shall be secured with tamper proof, stainless steel hardware. Post will be provided with a grounding stud mounted on the base floor opposite the access door.

#5212FP5
12' Pole



** See installation template for exact door position. Bolt circle dimensions may change on taller poles.

Indicate the type of shaft needed (above)

| Cast Aluminum - Extruded Poles | | | | 20" Diameter Base x 24" High | |
|---------------------------------------------------------------------|---------------------------------------------------------------------|-------------------------|-------------------------|------------------------------|----------------------|
| 5" - 3" OD | 6" - 3" OD | 5" OD | 6" OD | 6" - 3" OD | 6" - 4" OD |
| 52 -- 'T5 | 52 -- 'T6 | 52 -- 'FP5 | 52 -- 'FP6 | 52 -- 'TFP6 | 52 -- 'ETFP6 |
| 10' 12' 14' | 10' 12' 14' | 10' 12' 14' | 10' 12' 14' | 10' 12' 14' | 12' 14' 16' 18' |
| 16' 18' | 16' 18' | 16' 18' | 16' 18' | | |
| SMOOTH TAPERED SHAFT | SMOOTH TAPERED SHAFT | † STRAIGHT FLUTED SHAFT | † STRAIGHT FLUTED SHAFT | TAPERED FLUTED SHAFT | TAPERED FLUTED SHAFT |
| † SMOOTH STRAIGHT SHAFT AVAILABLE SPECIFY AS: 5" OD 52 -- 'P5 | † SMOOTH STRAIGHT SHAFT AVAILABLE SPECIFY AS: 6" OD 52 -- 'P6 | | | | |

* For candy cane poles insert _____ AG ft (feet - above grade height). See diagram on reverse side.

† Tenon not supplied if fixture or arm slips shaft O.D.

BUILDING A PART NUMBER

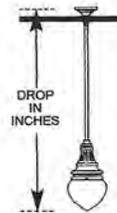
POST & ARM FIXTURES

| | | | | | | | |
|----------------------------|-------------------------------------|-------------|--------------------|-----------------------------|---------------|----------------|---------------|
| ARM MOUNTED FIXTURE | CENTER POST TOP FIXTURE (PT) | POST | POST CAP | LIGHT SOURCE BALLAST | OPTICS | OPTIONS | FINISH |
| NO. OF ARMS | FIXTURE / POSTARM | FIXTURE | (See Post Section) | WATTS / TYPE / VOLTS | | | |
| 2 | 1910/RPM | PT | 3900RT4-12AG | 100 HPS120 | RE3GSM | HPS100/MED | BK |



WALL FIXTURES

| | | | | |
|-------------------------------|-----------------------------|---------------|----------------|---------------|
| FIXTURE / WALL BRACKET | LIGHT SOURCE BALLAST | OPTICS | OPTIONS | FINISH |
| WATTS / TYPE / VOLTS | | | | |
| 1910/478FWB | 100 HPS120 | RE3GSM | HPS100/MED | BK |



HANGING FIXTURES

| | | | | | |
|----------------------------------|-------------------------------|-----------------------------|---------------|----------------|---------------|
| FIXTURE / HANGING BRACKET | OVERALL DROP IN INCHES | LIGHT SOURCE BALLAST | OPTICS | OPTIONS | FINISH |
| WATTS / TYPE / VOLTS | | | | | |
| 1910/SH44 | 48 INCHES | 100 HPS120 | RE5GSM | HPS100/MED | BK |

PART NUMBER SELECTIONS

FIXTURES

- 1910²
- 1910A²
- 1915³
- 1915A³
- 1930
- 1930A

OPTICS

- RE3GSM⁵
- RE5GSM⁵
- RE3G⁶
- RE5G⁶

VOLTAGES

- 120
- 208
- 240
- 277
- 480
- MULTI (120-277)

HANGING BRACKETS

- CH44
- SH44

POST ARMS

- 80PM
- 80DPM
- 86PM
- 480PM
- 480DPM
- 478PM
- 478FPM
- 478UPM
- 478UFPM
- TAPT
- TASUPT
- 478EFPM
- 678PM
- 55LDPM
- 6236UPM
- CDVHPM
- 91WPM
- RPM
- R3PM
- QPM
- CA4⁷
- CA6⁷
- CA8⁷
- CASA⁷
- CAS6⁷
- CAS8⁷

POST ARMS

- CSA4⁷
- CSA6⁷
- CSA7⁷
- SMA4⁷
- SMA6⁷
- CCA4⁷
- CCA6⁷
- CAF4⁷
- CAF6⁷
- CAF7⁷
- CBA4⁷
- CBA6⁷
- CBA7⁷
- RSA4⁷
- RSA6⁷
- RSA7⁷
- FFA4⁷
- FFA7⁷
- RA4⁷
- RA6⁷
- RA8⁷
- DA4⁷
- DA6⁷
- DA8⁷
- DAG4⁷
- DAG6⁷
- DAG7⁷

WALL BRACKET ARMS

- 55LDWB
- 80WB
- 80DWB
- 86WB
- 91WWB
- 478WB
- 478FWB
- 478UWB
- 478UFWB
- 478EFWB
- 480WB
- 480DWB
- 678WB
- 6236UWB
- CDVHWB
- R2WB
- TAWB
- TASUWB

BALLASTS^{4,8}

- 35HPS¹
- 50HPS
- 70HPS
- 100HPS
- 150HPS
- 250HPS
- 50MHP
- 70MHP
- 100MHP
- 150MHP
- 175MHP
- 200MHP
- 250MHP
- 26PLT
- 32PLT
- 42PLT
- 57PLT
- 70PLT
- INCAND
- QL55^{*}

*Consult factory for specification details

LAMPS⁸

- HPS35/MED
- HPS50/MED
- HPS70/MED
- HPS100/MED
- HPS150/MED
- HPS250/MOG/ED18
- MHP50/MED
- MHP70/MED
- MHP100/MED
- MHP150/MED
- MHP175/MED
- MHP200/MED
- MHP250/MOG/ED28
- PLT26
- PLT32
- PLT42
- PLT57
- PLT70

FINISHES STANDARD

- BKT Black Textured
- BK Black
- VG Verde Green
- PGT Park Green Textured
- PG Park Green
- ABZT Architectural Medium Bronze Textured
- ABZ Architectural Medium Bronze
- SI Swedish Iron
- DBT Dark Bronze Textured
- DB Dark Bronze
- OWGT Old World Gray Textured
- OWG Old World Gray

FINISHES CUSTOM

- WHT White Textured
- WH White
- CV Copper Vein
- WBK Weathered Black
- WBR Weathered Brown
- CD Cedar
- RT Rust
- OI Old Iron
- TT Two Tone
- CM Custom Match

NOTES:

- 1 35HPS is 120 volt only.
- 2 175 watt ballast maximum med base only.
- 3 70 watt ballast maximum unless ballast is remote mounted.
- 4 Medium base sockets standard for the 1910, 1915 and 1930 with ballasts up to 200 watts HID. Mogul base sockets can be used if ballast is remote mounted. 4-pin for PL.
- 5 1910 Acorn only.
- 6 Mogul base only.
- 7 Add (S) Spike or (B) Ball after arm to designate type of finial.
- 8 Metal halide systems are pulse start.

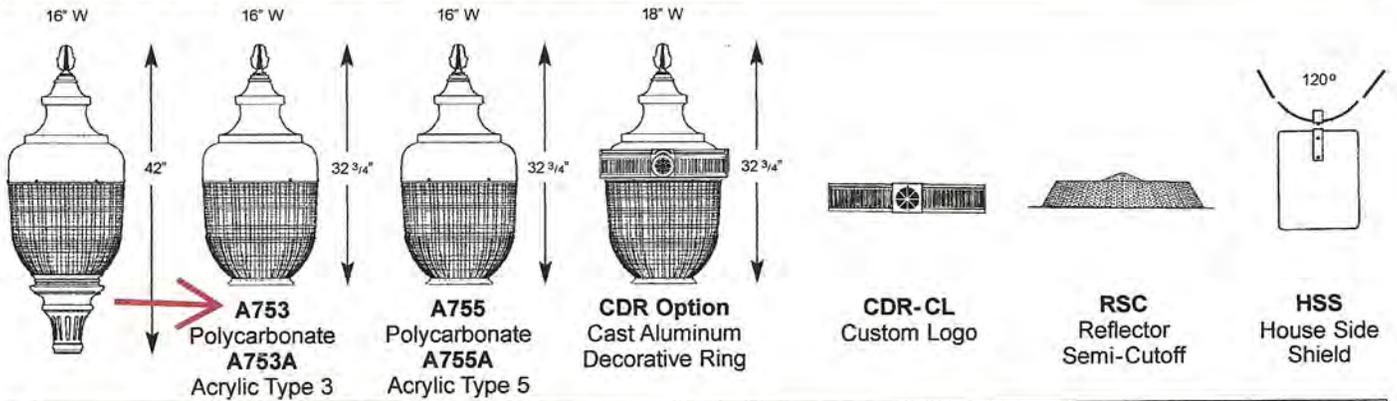
OPTIONS

- PEC1 Photocell-Bimetal 120 Volt
- PEC2 Photocell-Bimetal 208-277 Volt
- PEC1-E Photocell-Electronic 120 Volt
- PEC2-E Photocell-Electronic 208-277 Volt
- FHS Single Fuse and Holder-120, 277 Volt
- FHD Dual Fuse and Holder-208, 240, 480 Volt
- QR Quartz Re-Strike
- PF Pineapple Finial or Font (TA, TASC)
- CC3693 Scrolls for R2 or R3 Arm
- HS Hangstraight
- LAMPS Select from List

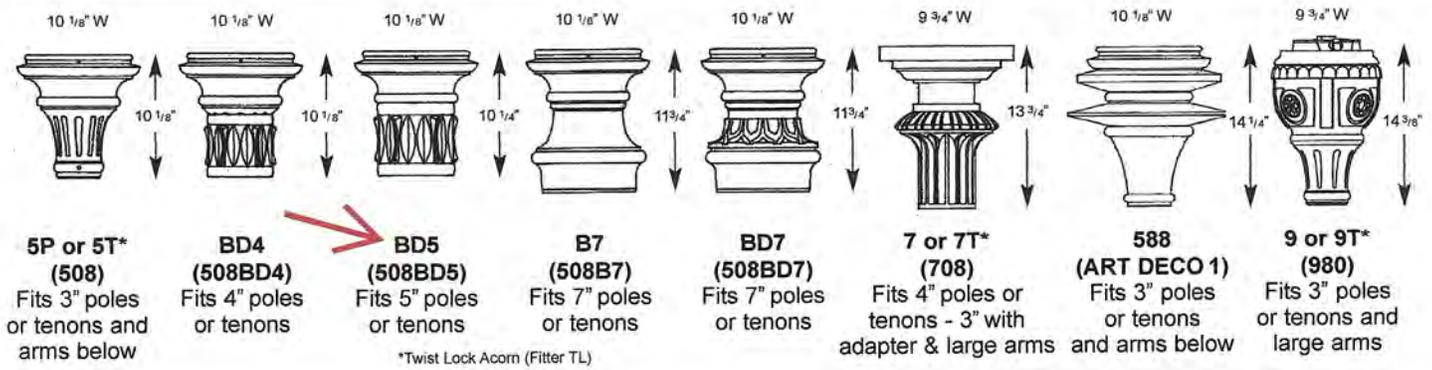
A753/A755 COLUMBIA

ACORNS / FITTERS / ARMS PM - WB

ACORNS / OPTIONAL TOPS / OPTICAL SYSTEMS

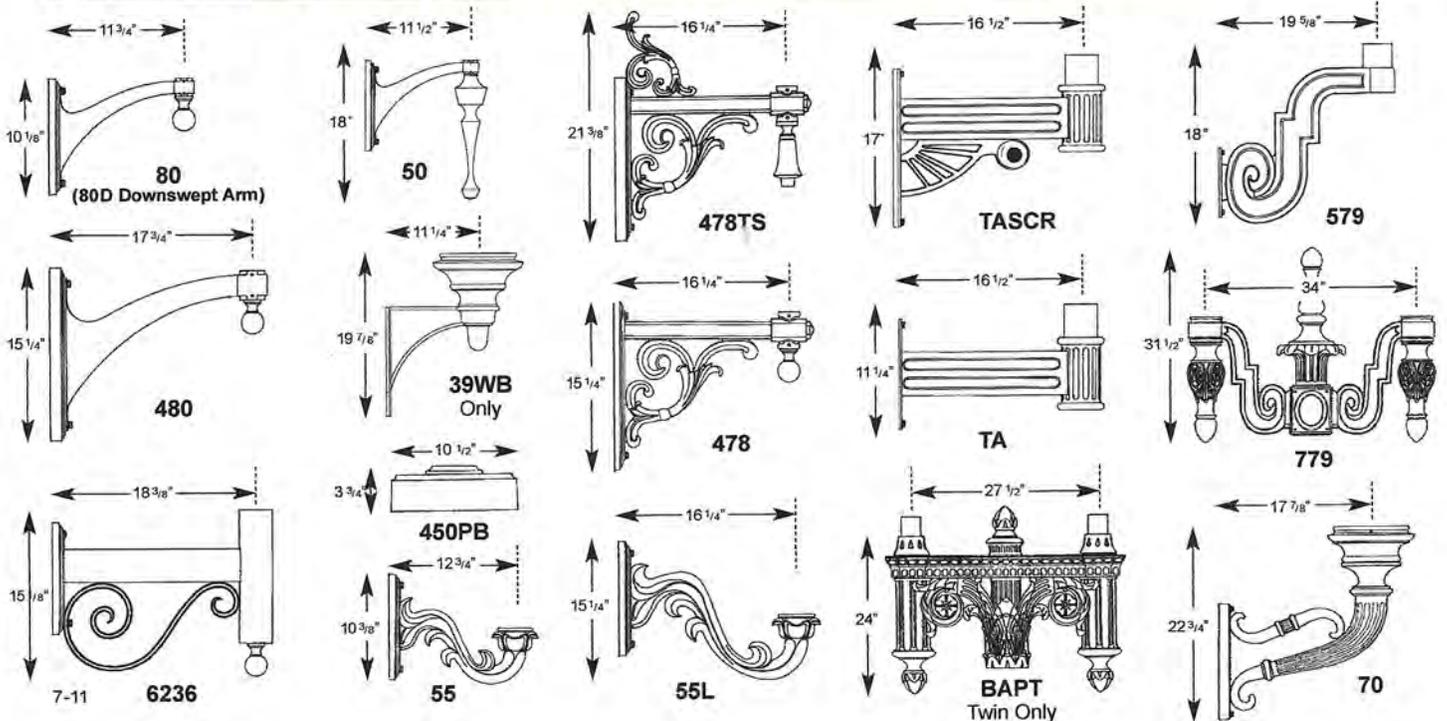


FITTERS



ARMS - POST MOUNT (PM) or WALL BRACKETS (WB)

See Arms Section for more information



Building S Roof Replacement

Building S or the Iron City Corporate office has an existing slate roof. Collier Development request that the HRC approves the following substitution in place of the old slate. The product is called Bellaforte by Davinci. The product is a polymer and the product sheet is attached. The old roof will be removed and sub sheeting will be installed then the box gutters will be coated with a tinners red poly urea and the new roof will be installed. Special care will be taken to re install the decorative ridge work and in its absence new copper ridge work will be installed.



~ We make sustainable attainable. ~



A Renaissance in Roofing

DaVinci Roofscapes... Sustainable



Sustainable start to finish.

At DaVinci Roofscapes® we compound, mold and finish lightweight tiles in our own Kansas City, Kansas facility to save energy and transportation costs—then utilize the energy we do consume to help heat the plant in cooler months. We use 100% pure virgin resins in our roof tiles to guarantee a sustainable product. Any materials that fail to meet finished specs are recycled for use in our starter tiles. And of course, every DaVinci tile is *100% recyclable*.

We also understand that endurance and low life cycle cost are the keys to sustainable design. Roofs needing frequent maintenance and replacement after only 15-20 years consume valuable energy and resources from manufacturing through removal and disposal, and they increase landfill problems. DaVinci slate and shake roofs are virtually maintenance-free and backed by a *50-year warranty*.

style the world can look up to. 

Safety from the ground up.

True sustainability demands manufacturing processes that protect the planet. That's why we manufacture DaVinci tiles with two different types of ThermoPlastic Olefin (TPO), organic fire retardant, proprietary color and UV stabilizers and inorganic pigments that are *safe for the environment*.

The safety story doesn't end there. Once installed, DaVinci products create a formidable shield of protection against the natural elements that can wreak havoc with roofs and insurance premiums. Our shake and slate synthetic tiles *resist fire, high wind and high impact*.



Tops wood, slate and asphalt.

Every time someone chooses a DaVinci roof over wood shakes, trees are saved—often “young growth” cedars that are difficult to harvest, produce low-quality shingles and further deplete our limited resources. DaVinci Shakes also offer a *Class A fire rating*.

Natural slate roofs present other problems. The quarrying process consumes large amounts of labor and fuel and can be harmful to the local ecosystem. Up to 15% of natural slate tiles also crack or break up during installation so waste is significant. Because DaVinci tiles weigh one-third as much as natural slate of comparable thickness, *transportation energy costs and carbon emissions are lower*.

Asphalt roof shingles require much more oil to produce than DaVinci products. The petroleum content in our products is a by-product of gasoline refinement—one that in the past was simply burned off. And compared to an asphalt roof that has to be replaced two to three times as often, DaVinci roofs *contribute less to landfills and use less of the earth's resources*.



A Renaissance in Roofing

DaVinci products contribute to the LEED® certification process.

DaVinci Slate and Shake synthetic roof tiles can make a valuable contribution to the Leadership in Energy and Environmental Design (LEED) Certification Process (LEED-NC Standard 2.2), which encourages and accelerates global adoption of sustainable building and development practices. Here's how.

Heat Island Effect • Water Efficiency • Construction Waste Management
Resources Re-Use • Regional Materials

DaVinci EcoBlend™ cool roof tiles.

DaVinci EcoBlend cool colors can be ordered for any DaVinci Roofscapes product and can help property owners save on energy costs, improve the comfort of the structure and mitigate global warming. Meeting the initial qualifications for a Cool Roof indicates that DaVinci EcoBlend products meet or exceed initial ENERGY STAR® program requirements for 25 percent solar reflectivity and qualify for LEED-NC 7.2 Heat Island Effect. Final ENERGY STAR approval will be awarded to DaVinci EcoBlends after a mandatory three-year weathering/testing period.

For a list of DaVinci EcoBlend cool colors, visit davinciroofscapes.com.

100% Recyclable.

Scraps and cuttings from a project may be returned to our plant for recycling, as well as, the tiles after the life expectancy (50 years) of the roof. The tiles will be recycled keeping waste from the landfill. DaVinci will make arrangements and pay shipping for projects within 500 miles of plant.



A Renaissance in Roofing

davinciroofscapes.com

1413 Osage Avenue ☞ Kansas City, KS 66105 USA

Toll-Free 800-328-4624 ☞ Phone: 913-599-0766 ☞ Fax: 913-599-0065



Printed on recycled paper.



Smoke Stack

The Smoke has been hit by lightning and has been damaged. Collier Development proposes removing the top fifteen foot of the two hundred and eight foot stack. After that removal the top courses will be capped with concrete and the opening will be capped with a fabricated stainless steel cap that will not be able to be seen from the ground. Upon completion of this work new lightning suppression equipment will be installed and the stack will be cleaned in accordance with HRC standards.

Warehouse Painting along Sassafras

The Warehouses that face Sassafras are covered with graffiti. Collier Development proposes painting all the area that has already been painted with the same color. The sandstone color chip is attached for The HRC approval.

Window Replacement of Building M

The windows in building M along sassafras have been broken out and no longer work. Collier Development is requesting a substitute replacement of a corrugated product. This product will be attached to the outside window framing by means of tracking and will cover all the old window framing. Attached is the product data sheet along with photos of the product installed.



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: *Treasurer, City of Pittsburgh.*

ADDRESS OF PROPERTY:

1339 W. North Ave
Pittsburgh PA 15233

OWNER:

NAME: Paula A Cellini
 ADDRESS: 1339 W. North Ave
Pittsburgh PA 15233
 PHONE: 412.519.9196
 EMAIL: pcellini@msn.com

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

Manchester

APPLICANT:

NAME: same
 ADDRESS: _____
 PHONE: _____
 EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

See attached railing and garage proposal

SIGNATURES:

OWNER: Paula A Cellini DATE: 8-17-12
 APPLICANT: Paula A Cellini DATE: 8-17-12



Paula Cellini 1339 W North Avenue Pittsburgh, PA 15233

2nd Floor Door RAILING

The proposed railing will replace an earlier railing affixed to the 2nd floor door. (See photo of the side of the building.)

The style will be similar to the one shown on the home at 1325 W. North Avenue (see picture attached). The base of the railing unit will be grid style to accommodate flower pots. The railing will be installed into the brick to ensure strength. The door opening measures 32" by 96" to the top of the transom.

The railing will be made of steel, painted black, extending out from the building 10" to accommodate flower pots, and up from the base of the door to a height of 42" and will extend out 5" on either side of the door opening for a total width of 42".

* * *

1339 W NORTH AVE



2ND FLOOR DOOR - SITE OF PROPOSED RAILING

1339 W NORTH AVE

Neighborhood Example

1325 W North

Existing Railing



Paula Cellini - 1339 W. North Avenue - Pittsburgh, PA 15233

GARAGE DESCRIPTION

The garage for the 1339 W. North Avenue home sits at the rear of the property and measures 28.5 feet wide by 18 feet deep and 11.5 feet high. The structure is a three bay garage, a single garage door to the left, a double garage door on the right, and a man door set back from the front of the garage three feet on the house side of the building.

The existing garage base will be repaired to the height of 3 rows of ashlar-look block with a 2 inch high cement cap for a height of 26", using beaded style mortar. The garage floor will be poured concrete 3" to 4" thick, graded to allow for drainage toward the doors and a slight step up at the doors to avoid water from backing up into the garage in case of heavy rain.

From the base cap of the garage to the roof line will be 2"x4" standard framing on 16" centers, resulting in a 9'4" framing height from base cap to the roof line. Garage will be sided by either shingle style Hardie board (see pictures of existing shingle style siding on buildings in the neighborhood) or board and batten style Hardie board, then painted with the custom colors approved in prior certificates of historical appropriateness. Paint is Sherwin Williams Duration paint in Sherwin Williams Superior Bronze, Universal Khaki and custom deep burgundy brick.

Mid point between the front and rear of the garage, at approximately 8.5' will be one 2"x 10" P-Lam beam supported across the width of the garage by two steel post supports placed between each bay. Roof rafters will be made of 2"x10" on 16" centers. Roof decking will be 3/4" plywood, covered in rolled roofing. The rear of the roof will have a 4-6" overhang with gutter draining to the garage side.

Garage will be trimmed at the roof line with 1"x10" fascia boards, finished with 3" crown molding and a cap. Garage doors will be Clopay Gallery Carriage House style with a wood look finish in walnut. See attached garage door picture from brochure.

* * * * *

1339 W North Avenue

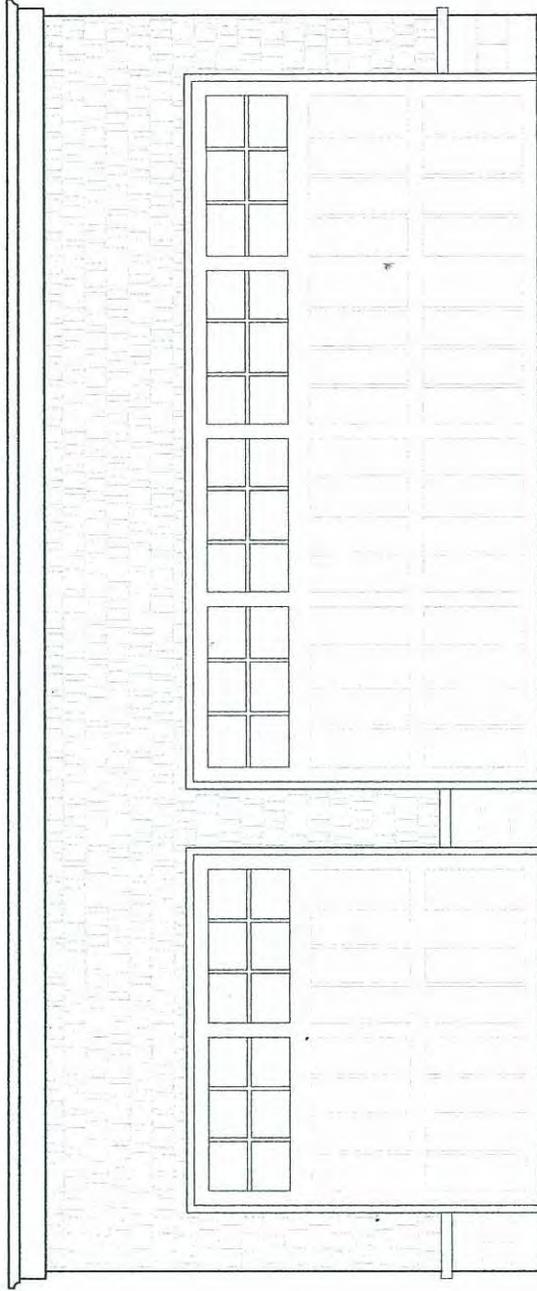


EXISTING GARAGE

1339 W North Ave



EXISTING GARAGE



1339 W. NORTH AVE.

GARAGE ELEVATION

SCALE: 3/8" = 1'

NOTE: Drawing is for representational purposes and some dimensions are estimations due to lack of floor plans and previous elevation drawings. Do not use for construction.

Chapter 2 Historic Building Materials

Policy:

Historic building materials should be preserved in place whenever feasible. When the material is damaged, then limited replacement that matches the original in appearance should be considered. Primary historic building materials should never be covered or subjected to harsh cleaning treatments.

Background

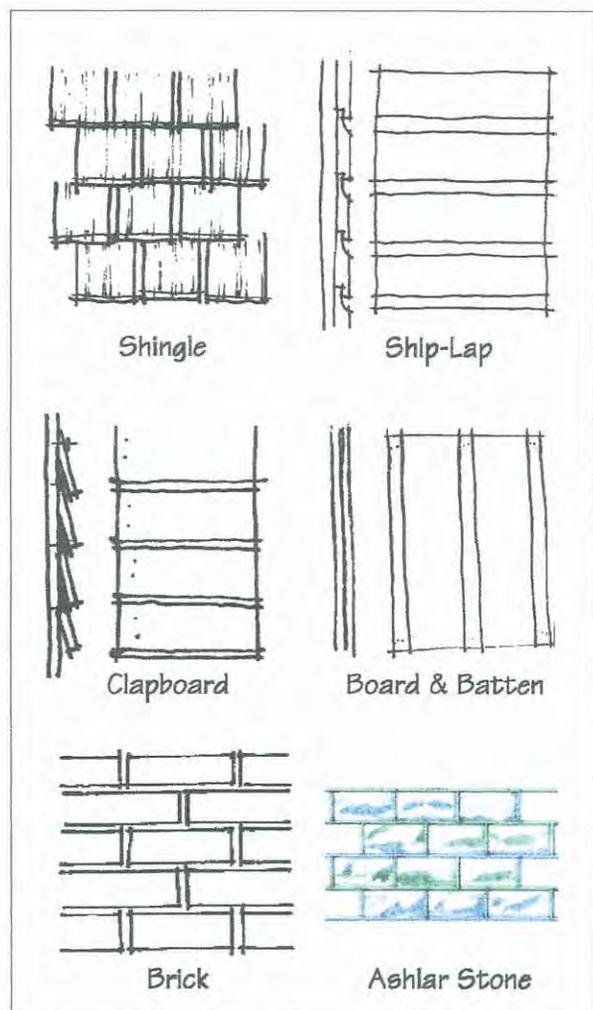
This chapter addresses the treatment of primary historic building materials—those that compose the dominant exterior surfaces of historic buildings. The treatment of materials used for architectural trim is addressed in a separate chapter.

In Aspen, wood siding and masonry have been the typical primary building materials. Wood siding occurs in a variety of forms but painted, horizontal clapboard was the most popular. A variety of lap profiles, including clapboard and ship-lap were used. In each case, the distinct characteristics of the primary building material, including the scale of the material unit, its texture and finish, contribute to the historic character of a building. Post WWII historic structures often used stucco, concrete block and poured concrete.

The best way to preserve historic building materials is through well-planned maintenance. Wood surfaces are best protected with a good application of paint. For paint guidelines, see the "Color" section in the *General Guidelines* chapter.

In masonry, horizontal surfaces such as chimneys, sills and parapet copings are likely to show the most wear because they are more exposed and may hold water for longer periods of time.

When deterioration occurs, repairing the material rather than replacing it is preferred. Frequently, damaged materials can be patched or



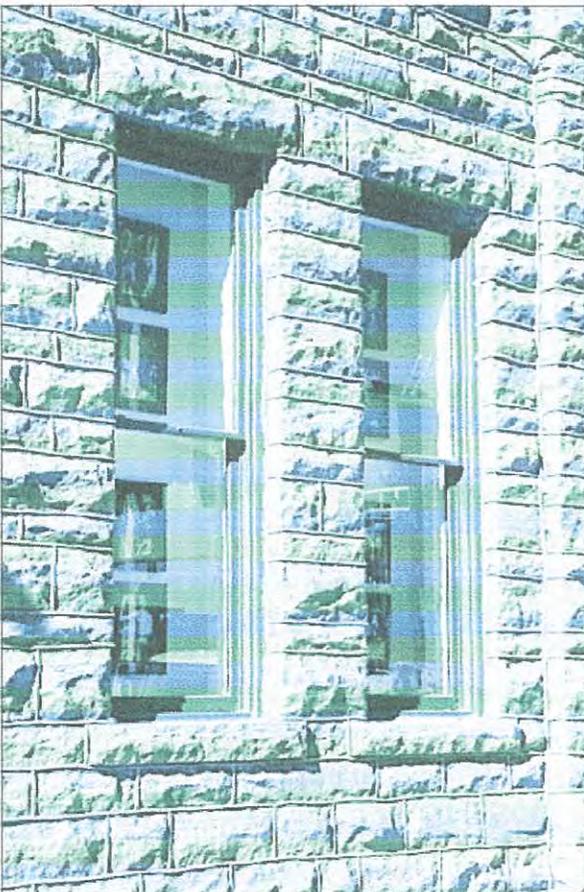
Typical historic siding materials are wood, stone and brick. Stone frequently was used for foundations and trim elements although a few commercial structures are entirely stone. Other materials include stucco and concrete block.



1339 W North Ave



Decorative wood siding should be preserved.



Ashlar stone is a significant feature that should be preserved. The beaded character of the mortar is also important.

consolidated using special bonding agents. In other situations, however, some portion of the material may be beyond repair. In such a case, the HPC will consider replacement. The new material should match the original in appearance. If wood siding had been used historically, for example, the replacement must also be wood.

It is important that the extent of replacement materials be minimized, because the original materials contribute to the authenticity of the property as a historic resource. Even when the replacement material exactly matches that of the original, the integrity of a historic building is to some degree compromised when extensive amounts are removed. This is because the original material exhibits a record of the labor and craftsmanship of an earlier time and this is lost when it is replaced.

It is also important to recognize that all materials weather over time and that a scarred finish does not represent an inferior material, but simply reflects the age of the building. Preserving original materials that show signs of wear is therefore preferred to replacement.

Rather than replace siding, some property owners consider covering the original building material. Aluminum and vinyl are examples of materials that are often discussed. Using any material, either synthetic or conventional to cover historic materials, is inappropriate. Doing so will obscure the original character and change the dimensions of walls, which is particularly noticeable around door and window openings. The extra layer may in fact cause additional decay, both by its method of attachment and because it may trap moisture inside the historic wall. For similar reasons, if original wall materials are presently covered with a more recent siding, remove the outer layer and restore the original.

In Modernist buildings, elements may be considered for replacement if they are deteriorated in a way that detracts from the original aesthetic intent of the design philosophy.



1339 W North Ave

Sample Siding - 1220 W North Ave

1339 W North Ave



SAMPLE SIDING

1339 W. North Ave



NEIGHBORHOOD SAMPLE STRIPING 1220 W NORTH AVE

1339 W NORTH AVE



NEIGHBORHOOD SAMPLE SIDING - BEECH & GALVESTON

1339 W North Ave



NEIGHBORHOOD SAMPLE SIDING - BEECH - GALVESTON

1339 W North Ave



Hardie Board Siding
from website

Hardie Board

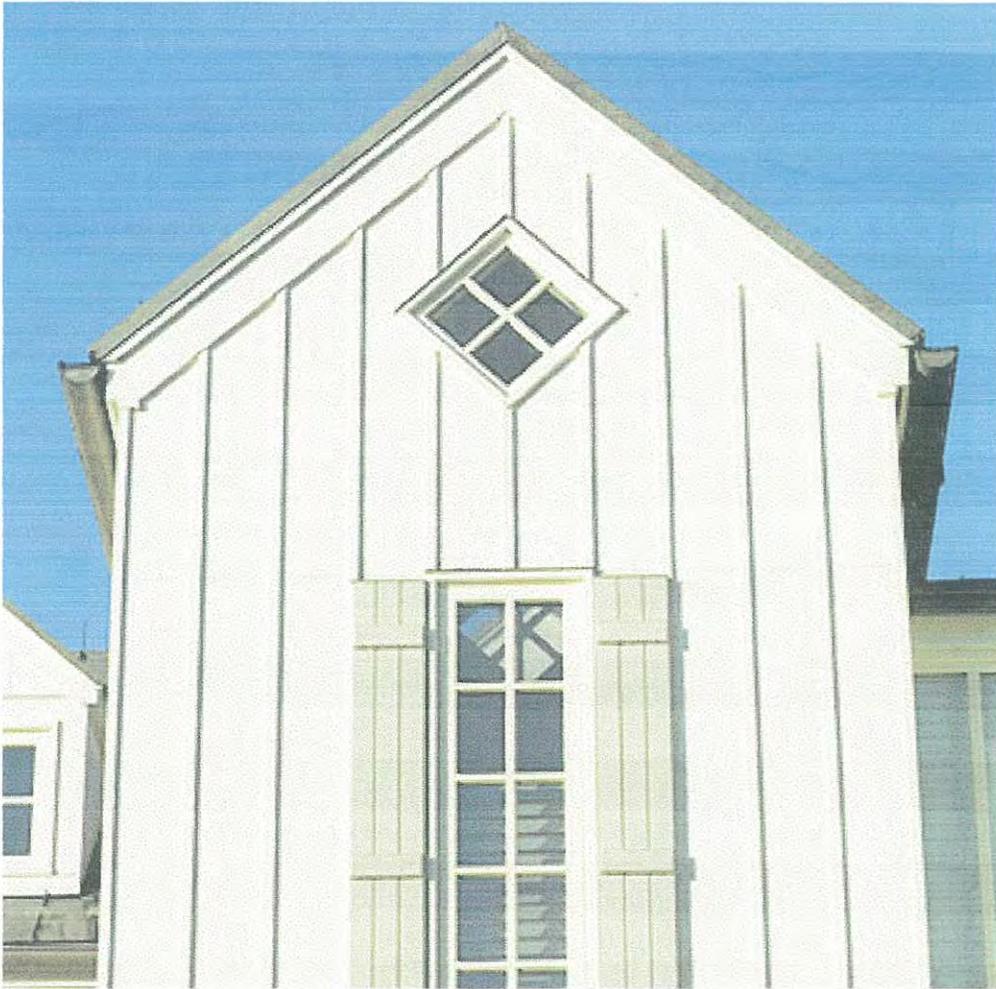


Hardie Bd.



1339 W North Ave

1339 W North



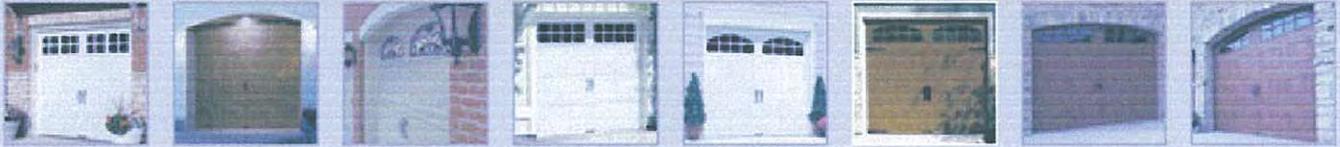
Style

Board and Batten

Board, Batten Siding



Long Panel in UltraGrain Medium with ARCH2 Grille windows



Clopay - Garage Door Style
Walnut Wood Look Finish
Long Panel - Square Windows

1339 W North Ave