



## Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room

November 7, 2012

### AGENDA

(Vacant), *Chairman*

Ernie Hogan, *Acting Chairman*

Noor Ismail, *Director of Planning*

John Jennings, *Secretary, Acting Chief BBI*

Linda McClellan

Joe Serrao

Vacant

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business

New Business

- Approval of the Minutes from the October 2012 hearing
- Certificates of Appropriateness Report – October
- Applications for a Certificate of Economic Hardship – None
- Briefing on Proposed Ordinance Revisions

Upcoming Demolitions, no action at this time

- None

➤ **1:00 PM HEARING & ACTION**

**1. Manchester Historic District**

1322-1324 and 1332-1334 Columbus Avenue  
Manchester Housing Development, LLC,  
owner and applicant

**Fencing**

**2. Manchester Historic District**

1403 N. Franklin Street  
Joseph Rockey Jr., owner and applicant

**Exterior renovations**

**3. Manchester Historic District**

1113 Liverpool Street  
Charlotte Foster, owner and applicant

**After-the-fact window replacement**

**4. Manchester Historic District**

1127 Sheffield Street  
SRB Properties, LLC, owner and applicant

**Rear deck construction**

**5. Oakland Square Historic District**

3729 Parkview Avenue  
Nathan Hart, owner and applicant

**Porch restoration**

**6. Penn-Liberty Historic District**

908 Penn Avenue  
PMC Property Group, owner  
Sean Beasley, applicant

**Exterior renovations**

**7. Mexican War Streets Historic District Expansion**

- a. Briefing by Staff
- b. Public comment
- c. Preliminary determination of reasonable cause

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➤ **DIRECTOR'S REPORT**

➤ **ADJOURNMENT**

*The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public.* INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

**Please contact Sarah Quinn with questions and comments: 412-255-2243**  
[sarah.quinn@city.pittsburgh.pa.us](mailto:sarah.quinn@city.pittsburgh.pa.us)



Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

- Staff Use -

**DEADLINES:**  
 Completed Applications must be submitted 15 days prior to next HRC hearing, when a hearing is required.

**FEE SCHEDULE:** See attached  
 Please make check payable to Treasurer, City of Pittsburgh

Fee Paid:  \$ \_\_\_\_\_

Date Received: \_\_\_\_\_  
 Hearing Date: \_\_\_\_\_  
 Lot and Block #: \_\_\_\_\_

ADDRESS OF PROPERTY: 1332-1334-1322-24  
Pgh PA 15233 Columbus

HISTORIC DISTRICT: Manchester

**OWNER**

Name: Manchester Housing Dev. LLC  
 Address: 1319 Allegheny Ave.  
 City, State, Zip: Pittsburgh Pa. 15233  
 Phone: (412) 323-1743 Fax: (412) 322-6448  
 E-MAIL: hawk@manchester.org

**APPLICANT**

Name: same  
 Address: same  
 City, State, Zip: same  
 Phone: ( ) - Fax: ( ) -  
 E-MAIL: same

REQUIRED ATTACHMENTS:  Drawings  Photographs  Renderings  Site Plan  Other

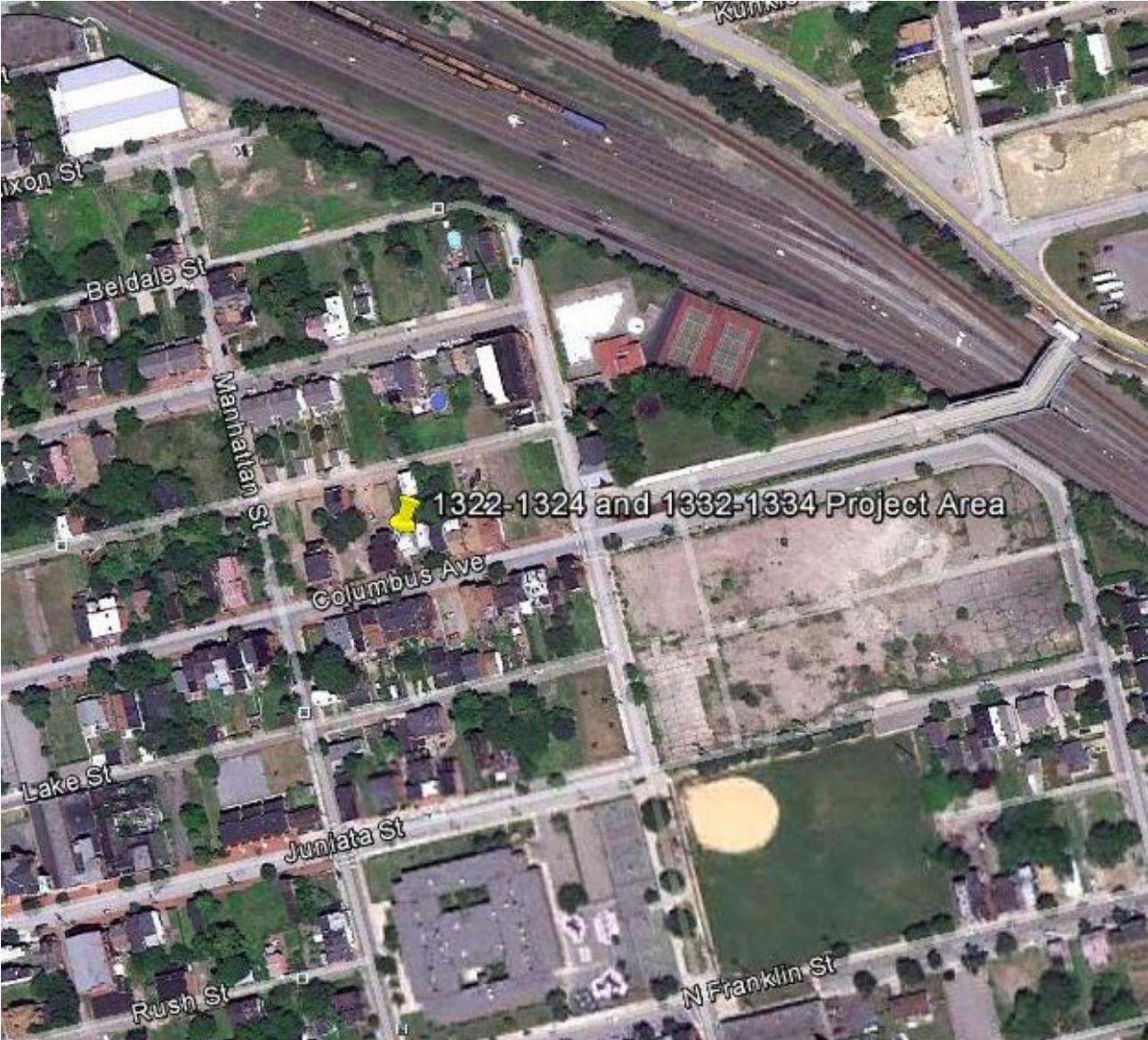
*Examples of fencing attach*

DETAILED DESCRIPTION OF PROPOSED WORK: \_\_\_\_\_

**SIGNATURE**

[Signature] Owner  
[Signature] Applicant

DATE 9-14-12  
 DATE 9-14-12



***1332, 1334, 1322, 1324 Columbus Avenue - Manchester Historic District***

Narrative  
August 23, 2012

Fencing

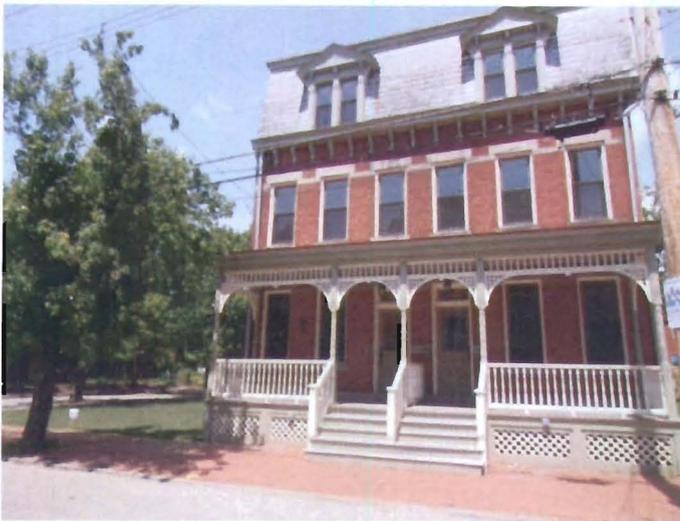
Install 6' High x 6' Wide, Chicago-Black Wrought Iron Palmetto Commercial Aluminum Fencing; 4-Rail/Picket through; 3/4" Picket; arched gates, finials and ball caps along the front yard and side yard along Manhattan Street, and along the property lines between properties.

1332 & 1334 Columbus Avenue  
Manchester Historic District

Fence Installation



Before restoration



After Restoration



STREET  
CLEANING  
NO PARKING  
ON THIS SIDE  
MAY 17 10 AM '04

MANCHESTER ONE AT HOUSE, SALE & MORE  
**AVAILABLE!**  
PRESERVE THE PAST, ENJOY THE PRESENT, ADDRESS THE FUTURE  
MANCHESTER

Fencing  
1300 block of Columbus Avenue  
Manchester Historic District



Side yard



Facing Columbus  
Avenue



1322-24 Columbus Ave.



1332-34 Columbus Ave.

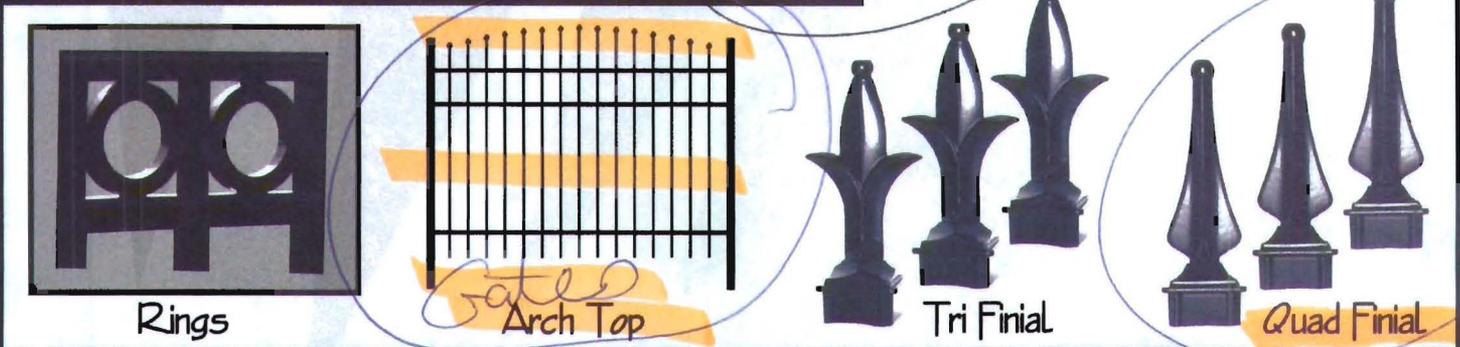


# PERFECT SOLUTIONS FOR YOUR FENCING REQUIREMENTS!

Variety of Designs to Enhance any Landscape...



Personal Accents Ignite Your Imagination...



## Residential Classic



## Different Levels for Every Application...

Residential: Most popular grade for homes and residential pool areas.

Commercial: Greater strength for higher security and commercial properties. Perfect for municipality applications.

Industrial: When the absolute highest security is required. Strong and extra durable.

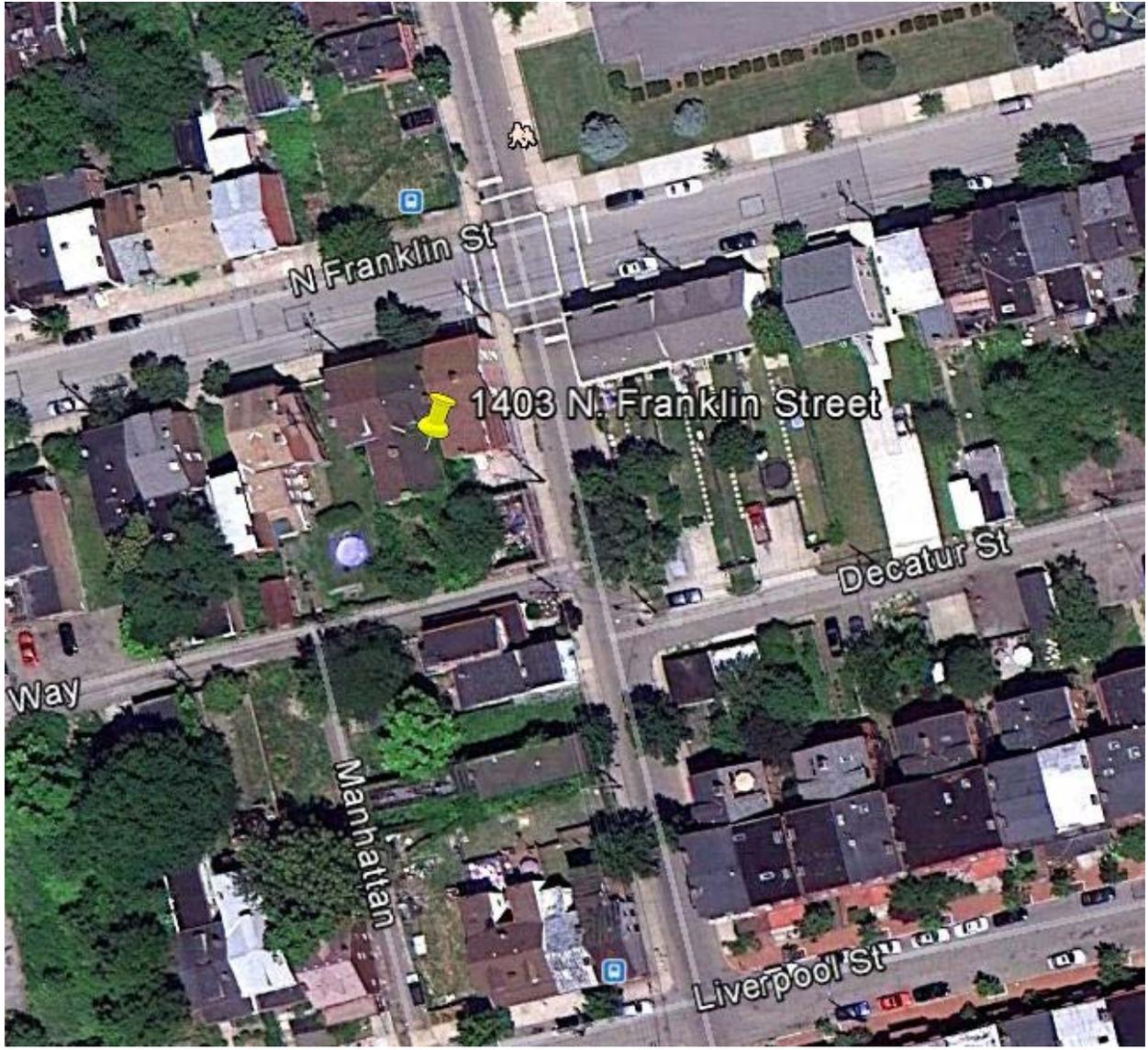
## Commercial Chicago



Quality Fence Solution by Palmetto!  
Distributed by:

## Residential Chicago Wall Mount





N Franklin St

1403 N. Franklin Street

Decatur St

Way

Manhattan

Liverpool St



**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

1403 N Franklin St  
Pittsburgh PA 15233

**OWNER: (contingent)**

NAME: JOSEPH ROCKEY JR  
 ADDRESS: 229 Lynturst Dr  
Pittsburgh PA 15237  
 PHONE: 412 969 0966  
 EMAIL: JROCKY325@YAHOO.COM

STAFF USE ONLY:

DATE RECEIVED: 10/22/12  
 LOT AND BLOCK NUMBER: 22-K-321  
 WARD: 21st  
 FEE PAID: \_\_\_\_\_

**DISTRICT:**

\_\_\_\_\_

**APPLICANT:**

NAME: SANE  
 ADDRESS: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 EMAIL: \_\_\_\_\_

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

All Attached

**SIGNATURES:**

OWNER:  DATE: 10/19/12  
 APPLICANT: \_\_\_\_\_ DATE: \_\_\_\_\_

I am buying this property to make it an absolute gem. I feel that Manchester is a really good area, just some of the properties need to be brought up to speed. I feel intent rehabilitate the house to bring modern consumer desires while at the same time preserving the historical elegance of this great Victorian home.

## **Summary Exterior Activities**

### **Roof**

Replace the entire shingle roof, with a new shingle roof maintaining same dimensions angles etc. We all will be putting up the decorative mounts to match the neighborhood.

### **Gutters**

Presently there are no gutters. We are planning to match the exterior of our immediate neighbor on the right in most architectural ways (primarily the gutter system and coverings decorative designs over the windows and doors.)

### **Windows**

We are going to replacing all the exterior windows with double pane windows

### **Front Doorway**

The front doorway is not historically similar to the rest of the street. The door way has been reduced using vinyl siding and a storm door. We will remove the siding and storm door returning it to double door opening with a decorative glass piece above the door.

### **Materials**

We are going to be using materials to match the current materials of the property, for example are going to be putting shingles on the roof and it is already a shingled roof.

## **Contractors Scope of Work**

### **ROOF/GUTTERS**

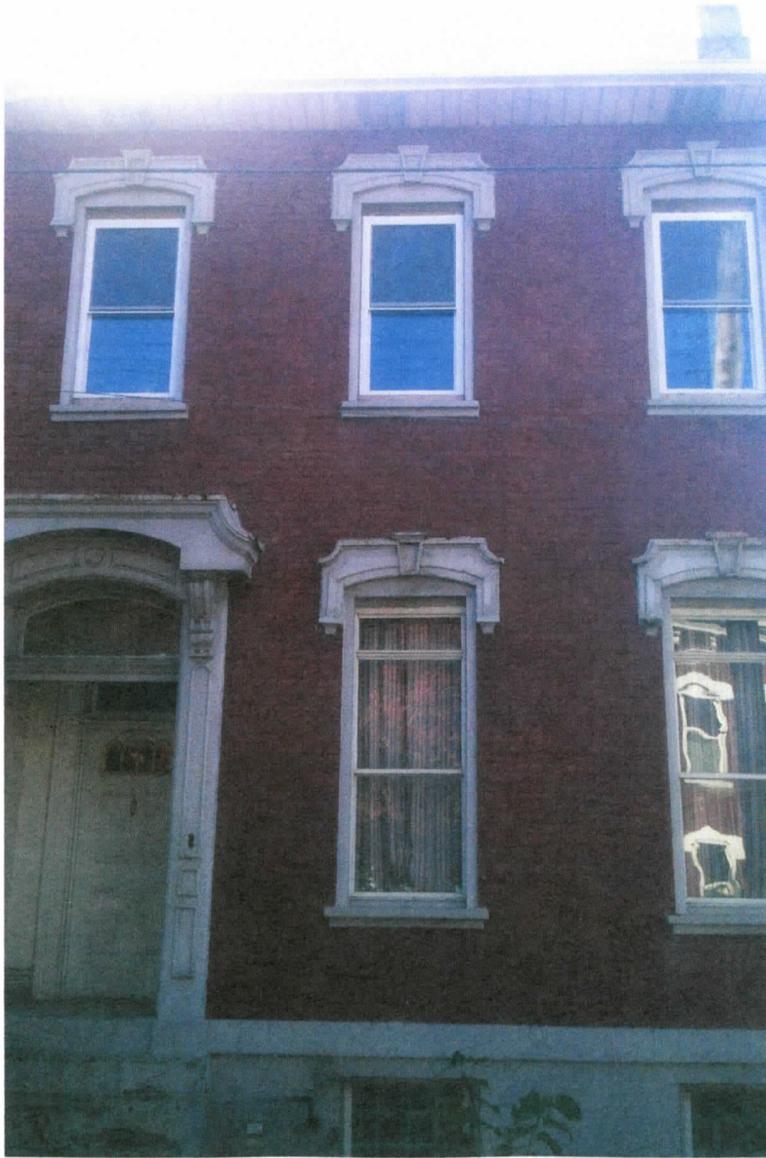
- INSTALL ALL GUTTERS
- REPLACE THE ROOF
- REPLACE ROTTEN WOODEN ON ROOF
- TEST TO CONFIRM THE ROOF IS UP TO CODE AND NOT LEAKING
- TEST ALL FLASHING AROUND VENT(S)/CHIMNEY(S)
- POINT THE CHIMNEY

### **EXTERIOR PAINT/SIDING**

- PAINT THE FRONT ENTRANCEWAY, DOORWAY, AND RAILINGS
  - THE FRONT, REAR, AND GARAGE ALL WILL BE PAINTED (REPLACING EXISTING PAINT)
- REMOVE SIDING THAT SURROUNDS THE EXTERIOR DOOR
- INSTALL NEW EXTERIOR DOOR
- INSTALL GLASS ABOVE THE DOOR
- CONSTRUCT ON OVERHANG FOR EACH WINDOW FACING NORTH FRANKLIN
  - THESE ARE TO BE OF THE SAME STYLE AS WAS ORIGINAL TO THE PROPERTY
  - PAINT EACH OVERHANG
- THE EXTERIOR WILL UTILIZE 3 DIFFERENT COLORS (PROPOSED OPTIONS ARE ATTACHED)

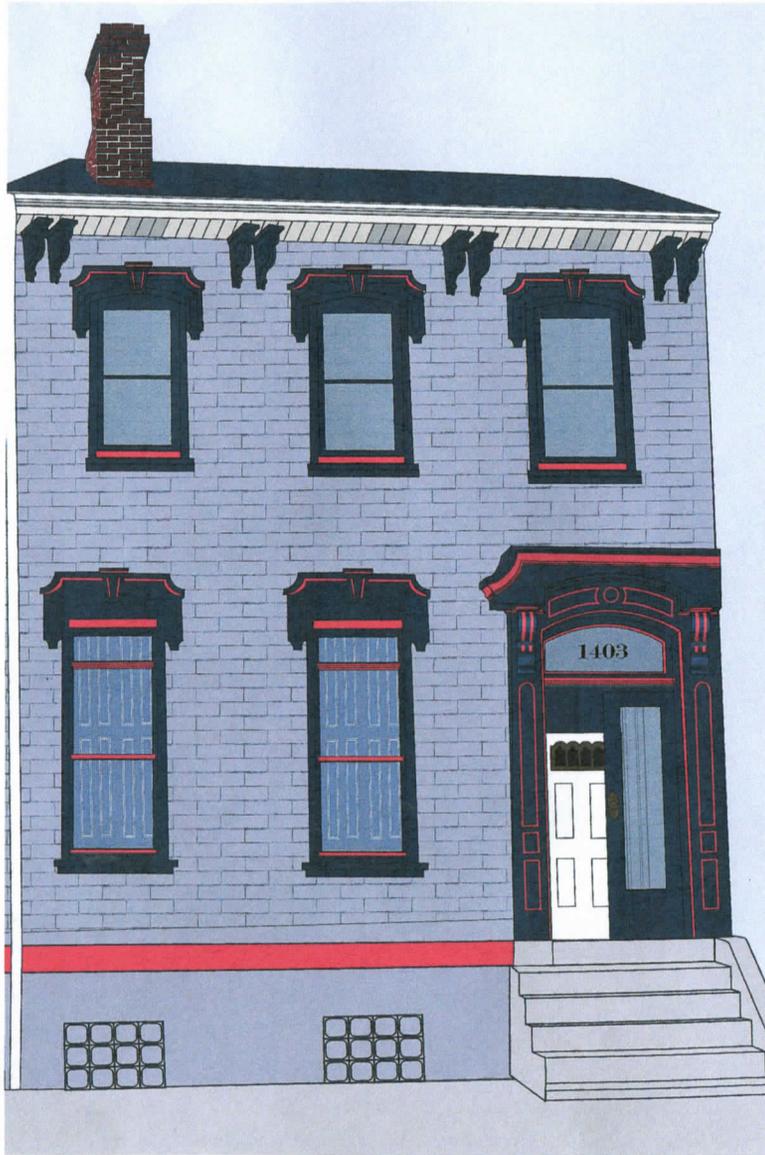
### **GARAGE (TO BE CREATED)**

- CREATE/INSTALL A 2 CAR GARAGE WITH A SINGLE DOUBLE DOOR FACING THE ALLY BEHIND THE PROPERTY
- SET CEMENT FOUNDATION
- CREATE A REAR DOOR THAT IN A STRAIGHT LINE TO THE BACK KITCHEN DOOR
- INSTALL CONCRETE WALKWAY CONNECTING THE TWO
- INSTALL GARAGE DOOR OPENER AND TRACKS
- INSTALL INTERNAL LIGHTING
- INSTALL EXTERIOR MOTION SENSOR LIGHTING
- DRYWALL THE CEILING
- CREATE A FLAT ROOF



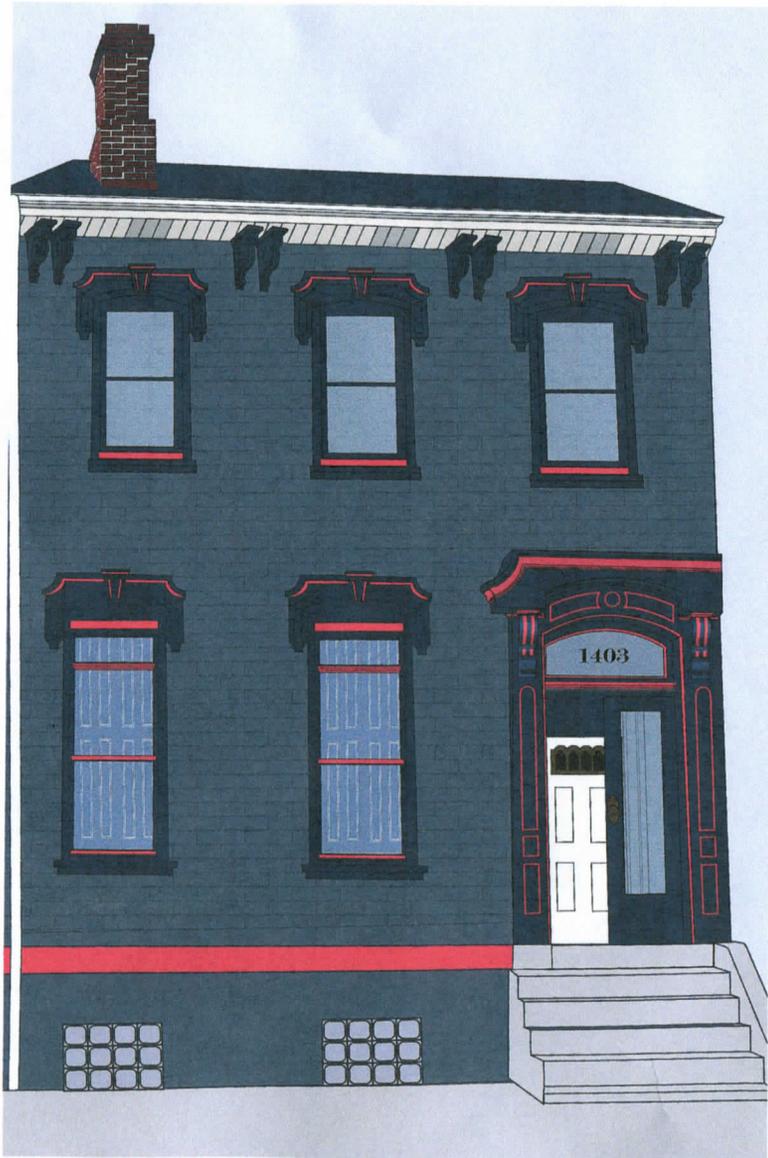
Next  
Door  
Neighbor  
(model  
house)

First  
choice





2nd  
choice

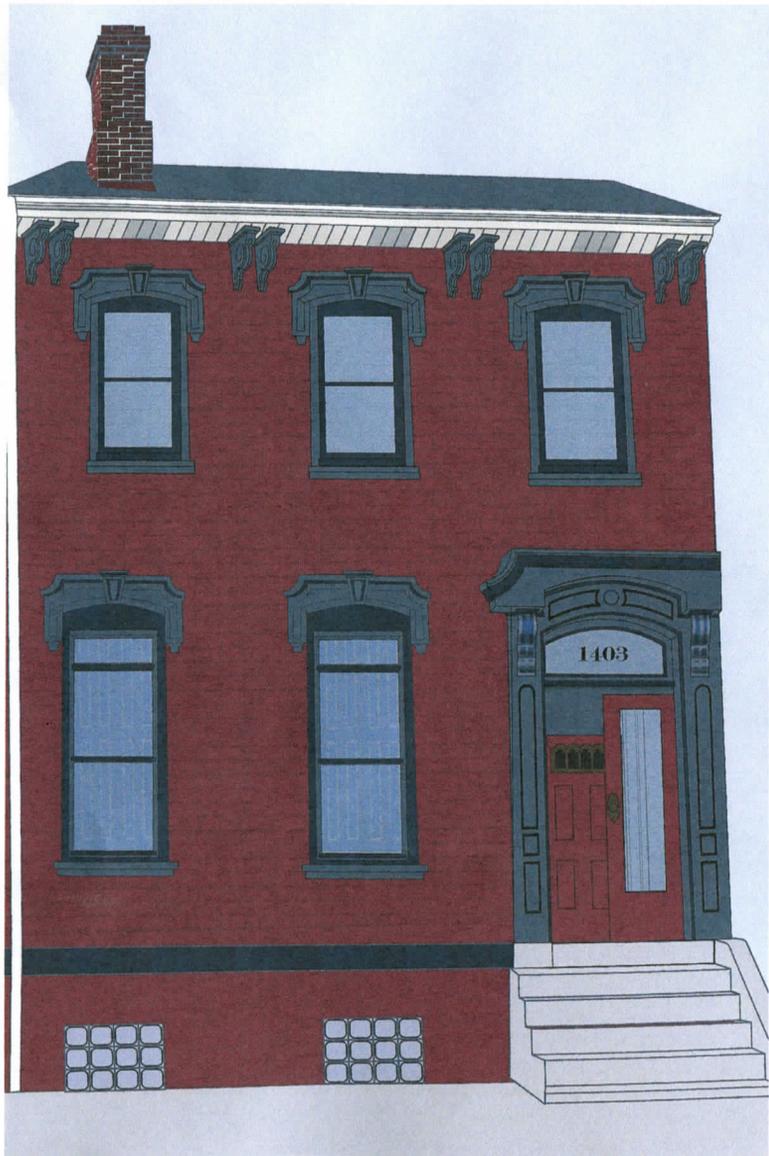


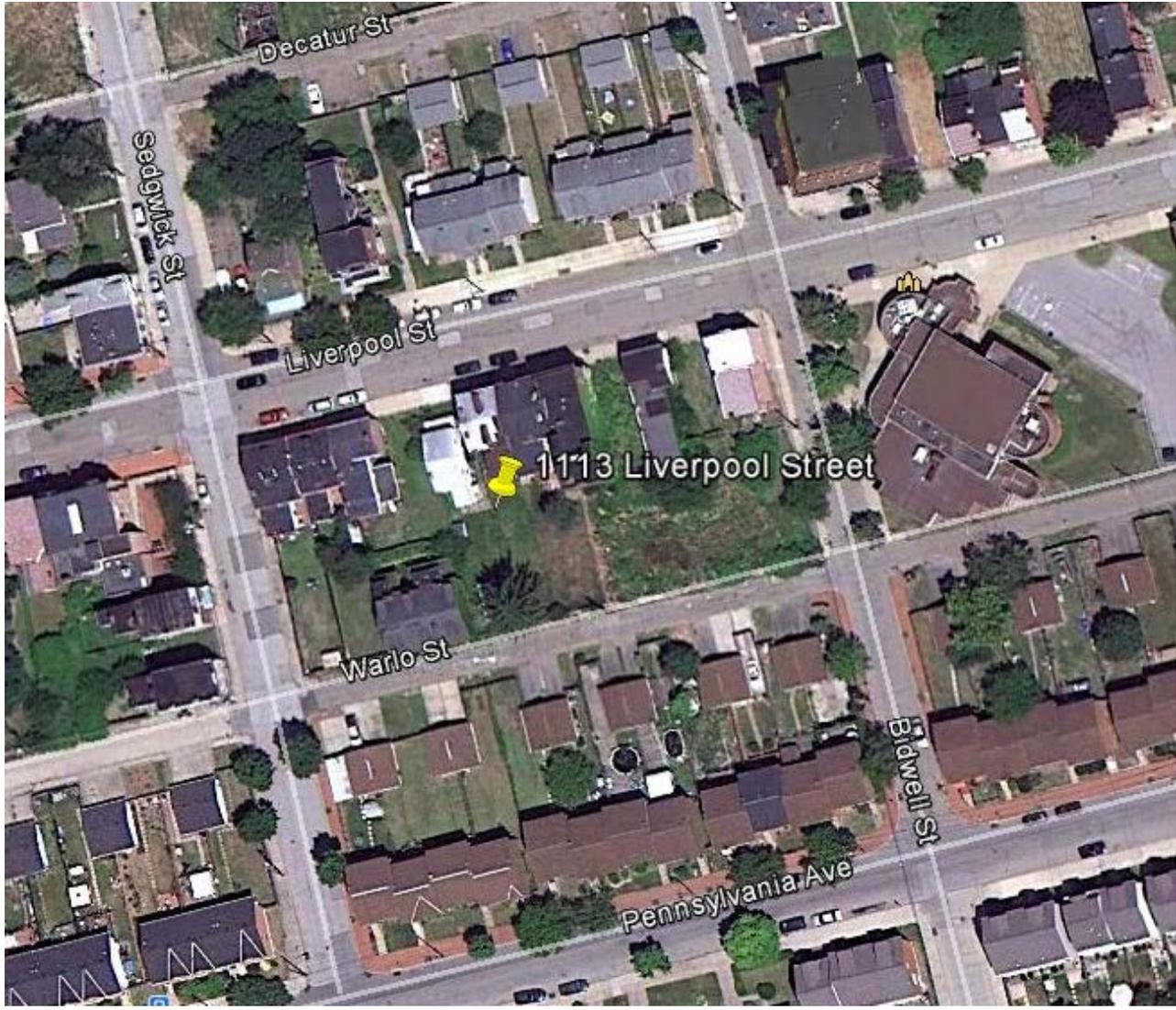


3rd

choice







Decatur St

Sedgwick St

Liverpool St

1113 Liverpool Street

Warlo St

Pennsylvania Ave

Bidwell St



Charlotte Foster  
1302 Pennsylvania Avenue  
Pittsburgh, Pennsylvania 15233

Owner of  
1113 Liverpool Street  
Pittsburgh, Pennsylvania 15233

October 5, 2012

Ms. Sarah Quinn  
Historic Preservation Planner  
3<sup>rd</sup> Floor, 200 Ross Street  
Pittsburgh, PA 15219

Dear Ms. Quinn

I am writing The Historic Review Commission of Pittsburgh pertaining to property at 1113 Liverpool Street. I got a permit in March of this year to repair items that the inspectors stated would condemn the property. I was not aware of guidelines or rules. I tried to get glass to put in all windows but the wood was rotten. The wood was hanging from two of the front windows. So I replaced the windows to protect anyone walking pass so no one would get injured. And to make it look historical, I thought putting glass in the windows was the same thing as replacing windows. I have been an employee of URA and was under the impression that if money wasn't given to you, you didn't have to follow any guidelines – Grant Money. At that time, when money was received from URA, the Historic Program maintained the front of property.

I am a retired police officer and trying to get the property up to standards to live in. I never received any papers or guidelines. That's why I was not aware of this situation at all. I will paint over the bottom of the house and porch. And the front will be done; paint is peeling from the front because the house was painted years ago. I will put the doors back on the front of the house; they were also on the front years ago.

Friends and family have been helping me to restore the building. I'm also doing repairs inside the property. Pictures included of the front of the house.

I thank you for your help.

Sincerely,



Mrs. Charlotte Foster

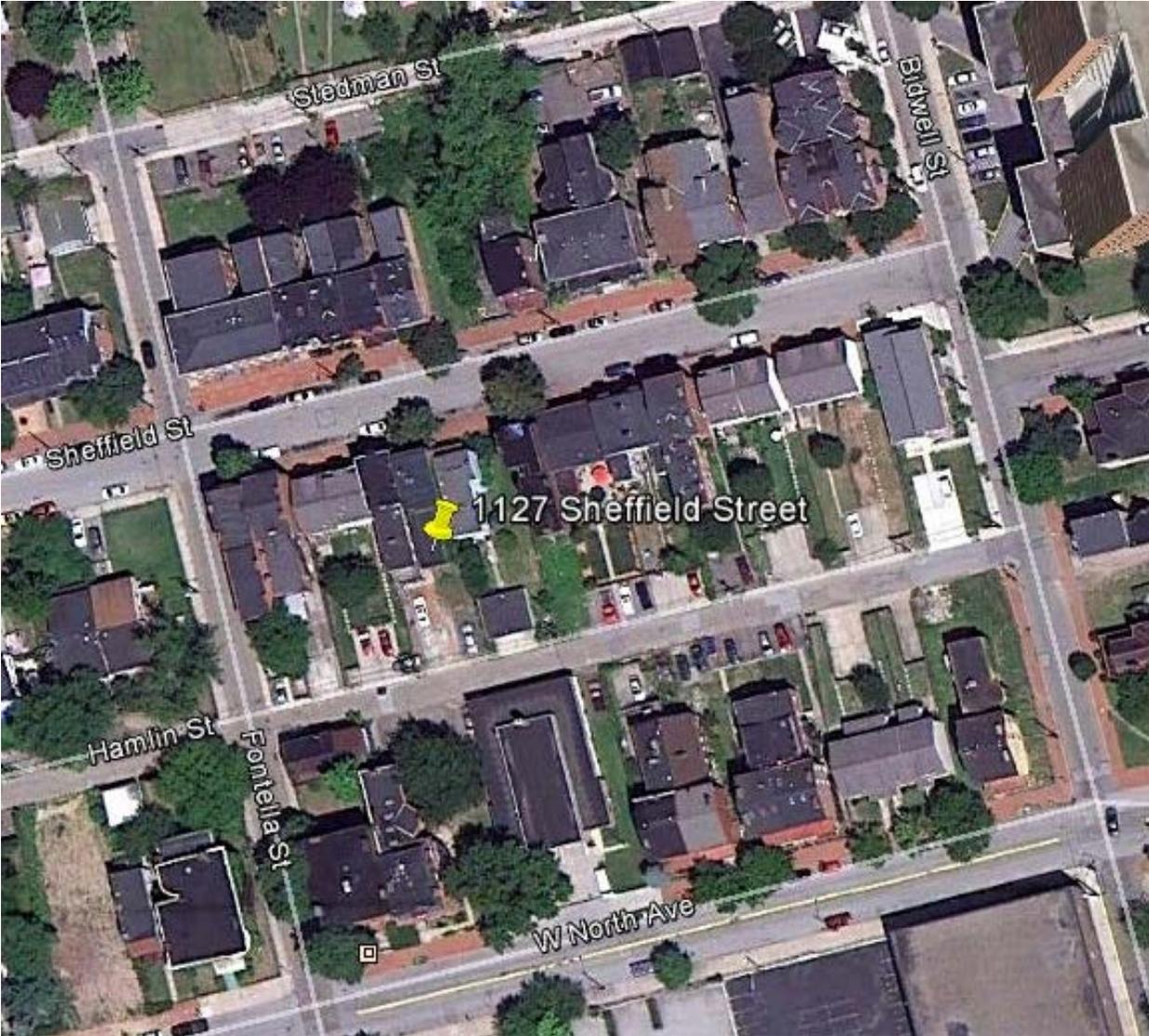














**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

1127 SHEFFIELD ST  
 PITTSBURGH, PA 15233

**OWNER:**

NAME: SRB PROPERTIES, LLC  
 ADDRESS: 2400 OXFORD DR  
PO BOX 170, BETHEL PARK, PA 15102  
 PHONE: 412-901-1085  
 EMAIL: SRB@CONTRACTOR.NET

STAFF USE ONLY:

DATE RECEIVED: 10-17-12  
 LOT AND BLOCK NUMBER: 22-R-212  
 WARD: 21st  
 FEE PAID: 468

**DISTRICT:**

21st WARD

**APPLICANT:**

NAME: ROBERT AMBROGIO, OWNER SRB PROPERTIES  
 ADDRESS: SAME  
 PHONE: \_\_\_\_\_  
 EMAIL: \_\_\_\_\_

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

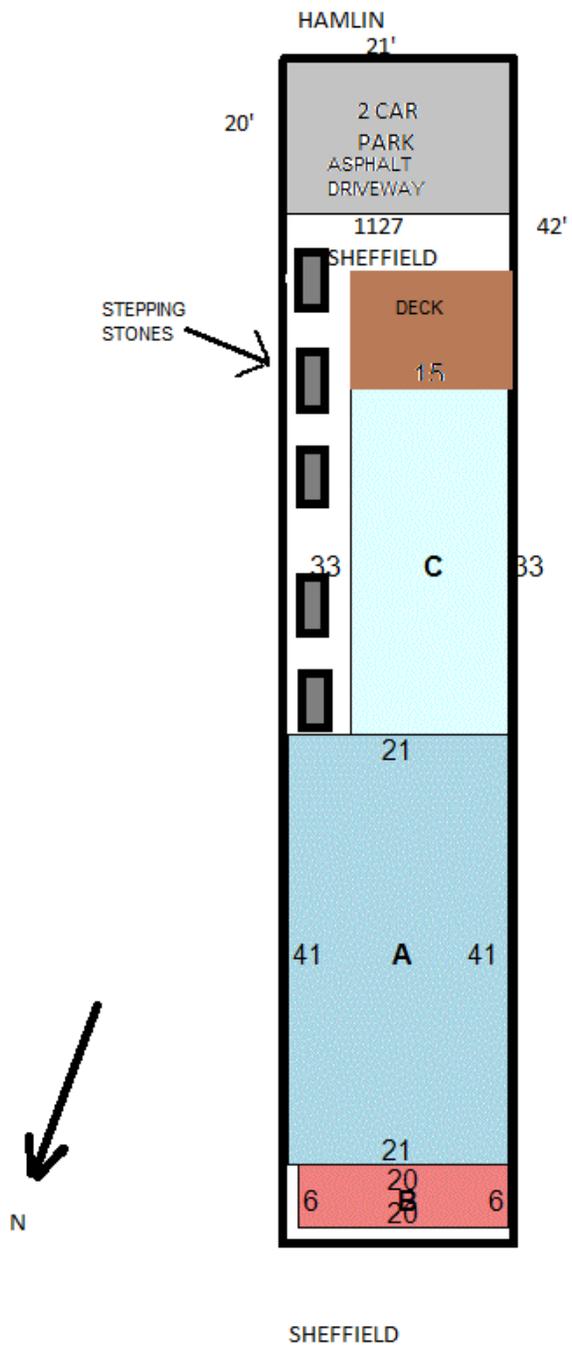
\_\_\_\_\_  
 \_\_\_\_\_

**SIGNATURES:**

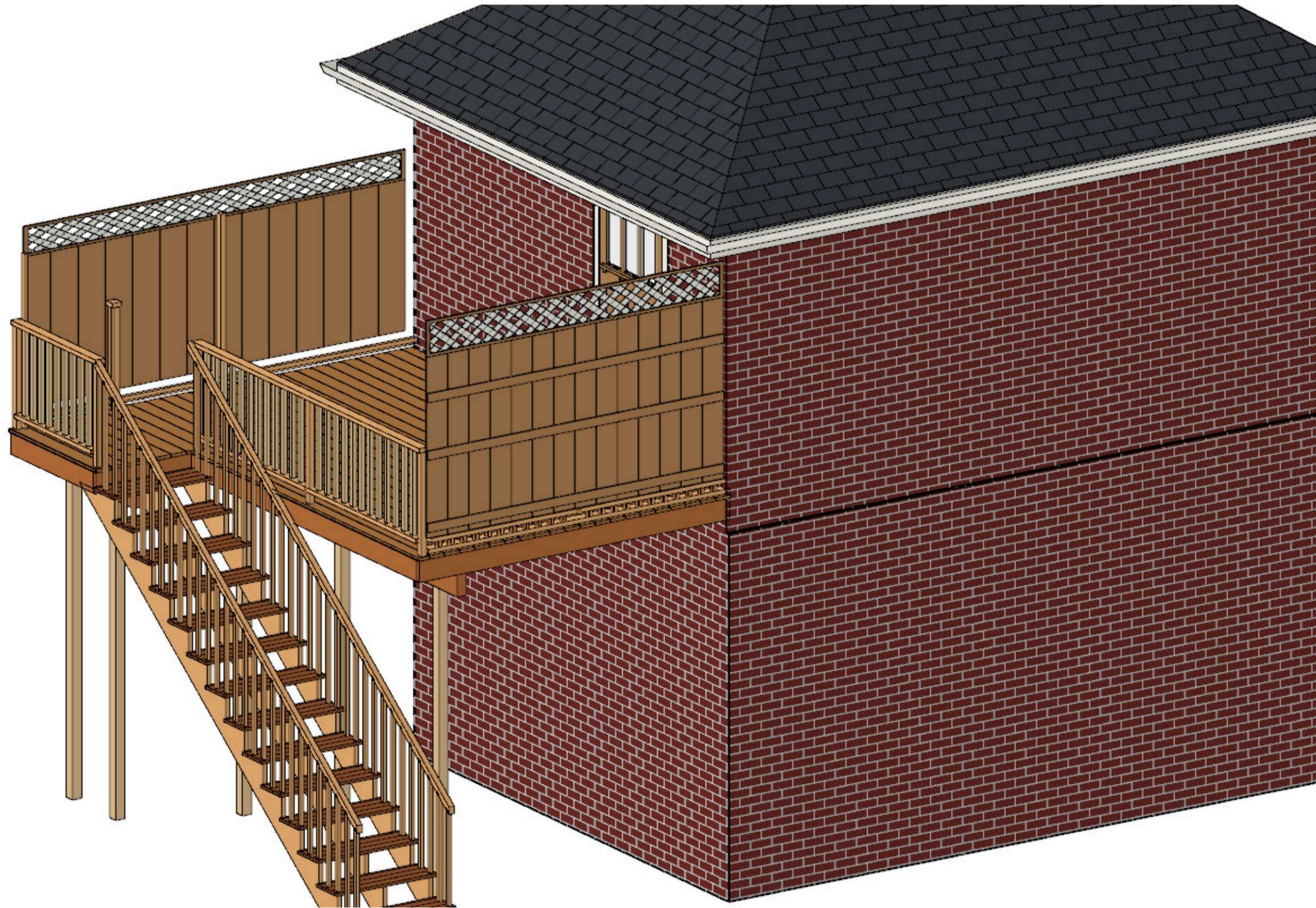
OWNER: [Signature] DATE: 10-17-12  
 APPLICANT: [Signature] DATE: 10-17-12

## Detailed Description of Proposed Projects for 1127 Sheffield St, Pittsburgh, PA 15233

1. Install deck on the rear exterior wall of the lower apartment. The deck will be made out of treated lumber and will measure approximately 15' wide by 13' deep. The height of the deck off of grade will be approximately 8'. Privacy fence sections will be installed on the left and right side of the deck. There will be a set of stairs to provide access from ground level. The window on the 2<sup>nd</sup> floor will be replaced with a steel entry door to provide access to the interior. (Paint color for door???)
2. Apply asphalt top coat to existing gravel driveway. The asphalt will be installed directly on top of the existing gravel that makes up the current driveway that measures 21'x20'.
3. Stepping stones will be placed from the driveway to the rear exterior door. Gravel will be spread on each side of the stepping stones.
4. Install 5 foot vinyl composite rake rail from porch landing down steps. Replace warped front door trim wood and repaint
5. Replace existing front porch hanging light fixture with one that works and is similar in design. Add rear light for safety and additional rear illumination
6. Wrap existing all exterior window jambs with white aluminum coil matching exterior trim color. Existing jambs are beginning to deteriorate due to a lack of maintenance.
7. Rear door to be painted
8. Replace existing pine boards on porch floor with composite decking that resembles stained hardwood.
9. Replace rotted porch columns and trim around columns with closely matching material.
10. Install aluminum coil on fascia along perimeter of roof
11. Paint front porch. Same pattern as original but different colors.



Owner: SRB  
PROPERTIES, LLC  
10-11-12



DRAWINGS PROVIDED BY:  
**SRB Properties, LLC**  
 801 Bellaire Ave  
 Pittsburgh, PA 15226  
 412-901-1085  
 srb@contractor.net

PROJECT DESCRIPTION:  
**1127 Sheffield**

SHEET TITLE:  
**Deck Layout**

NO.	DESCRIPTION	BY	DATE

SCALE:  
 1" = 1'-0"

DATE:  
 10-9-12

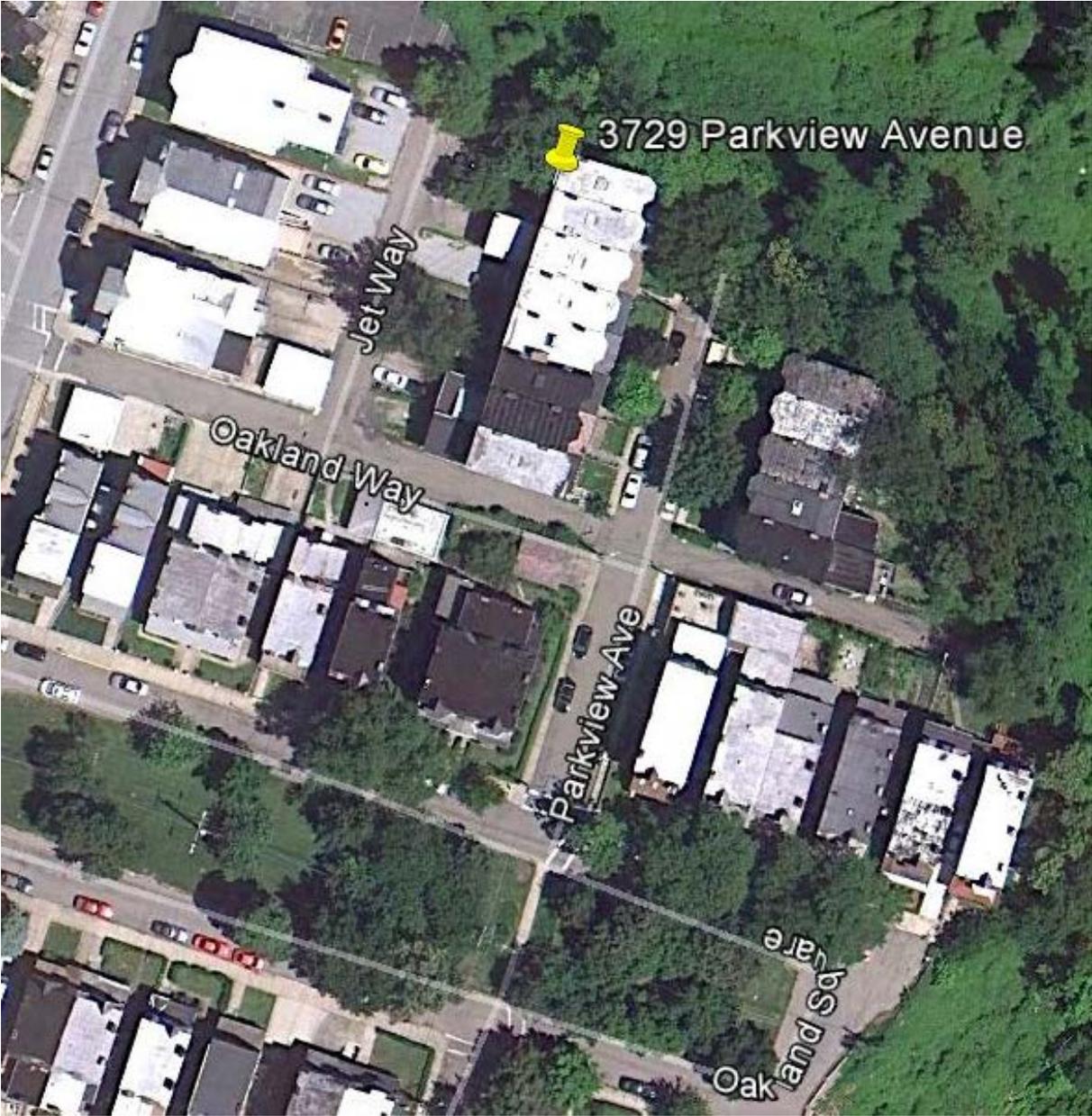






127





3729 Parkview Avenue

Jet Way

Oakland Way

Parkview Ave

Oakland Square



Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

3729 PARKVIEW AVE  
PITTSBURGH, PA 15213

**OWNER:**

NAME: NATHAN HART  
 ADDRESS: 3729 PARKVIEW AVE  
PITTSBURGH, PA 15213  
 PHONE: 412 726 1941  
 EMAIL: nate @ parkviewavenue.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

HISTORIC PORCH RESTORATION. REPLACEMENT OF FENCING AND RAILING. APPROX/  
RESTORATION OF TURNED COLUMNS AND PORCH ROOF.

**SIGNATURES:**

OWNER: [Signature] DATE: 10.15.12  
 APPLICANT: [Signature] DATE: 10.15.12

**STAFF USE ONLY:**

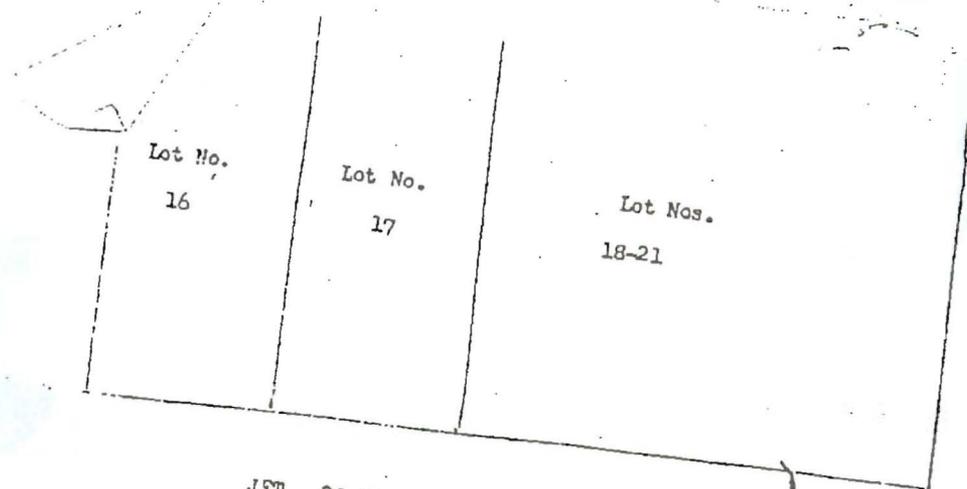
DATE RECEIVED: 10/16/12  
 LOT AND BLOCK NUMBER: 28-M-292  
 WARD: 4th  
 FEE PAID: yes

**DISTRICT:**

OAKLAND SQUARE HISTORIC DISTRICT

**APPLICANT:**

NAME: NATHAN HART  
 ADDRESS: 3729 PARKVIEW AVE  
PITTSBURGH, PA 15213  
 PHONE: 412.726.1941  
 EMAIL: nate @ parkviewavenue.com



APPROVED FOR ZONING

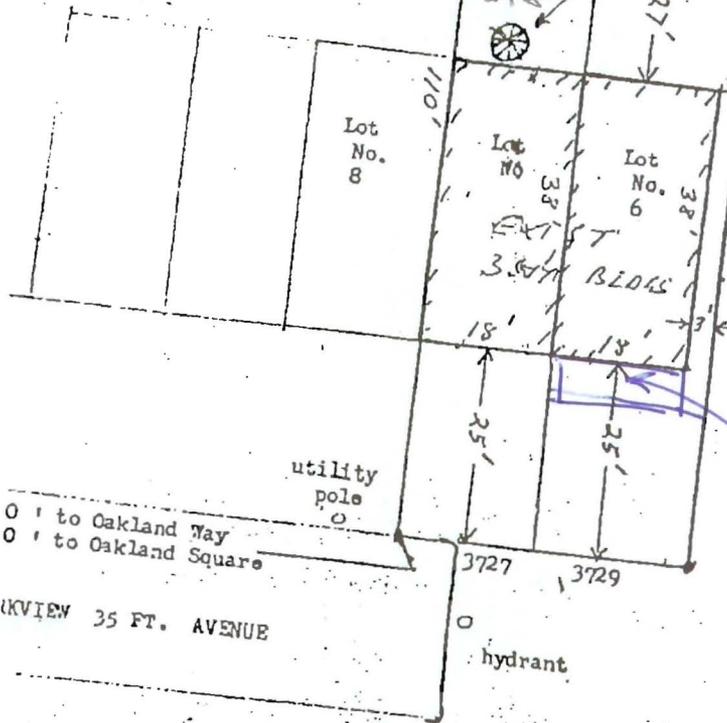
DATE: 7-26-78

BY: [Signature]

City of Pittsburgh  
Department of City Planning

*6ft. privacy fence*

*existing 4' ft. chain link fence*  
PROPOSED SLOPE  
EXIT STAIR LOCATION



Each house three story  
(four in rear) two family houses

Front Height 36'

*PROPOSED PORCH*

APPROVED FOR ZONING  
10/3/11  
By: [Signature]  
City of Pittsburgh  
Department of City Planning

0' to Oakland Way  
0' to Oakland Square

VIEW 35 FT. AVENUE

PLAN OF PROPERTY  
OF  
CLIFFORD C. AND MARILYN P. HAM  
BEING  
LOTS NO. 6 & 7

in  
PLAN OF E.M. O'NEIL'S NORTH OAKLAND SQUARE  
Fourth Ward- City of Pittsburgh- Allegheny County, PA.  
Recorded in Plan Book Volume 11 Page 113, Part Two

Scale: 1" = 20'

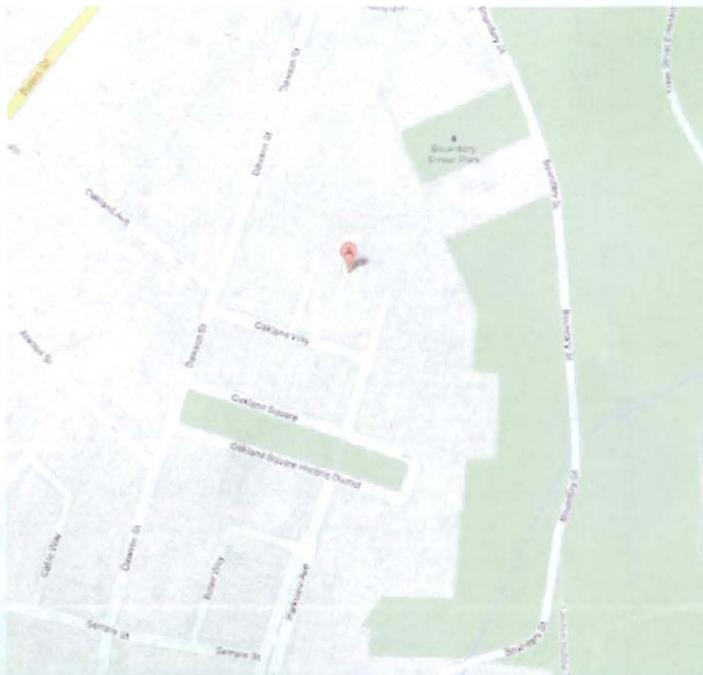
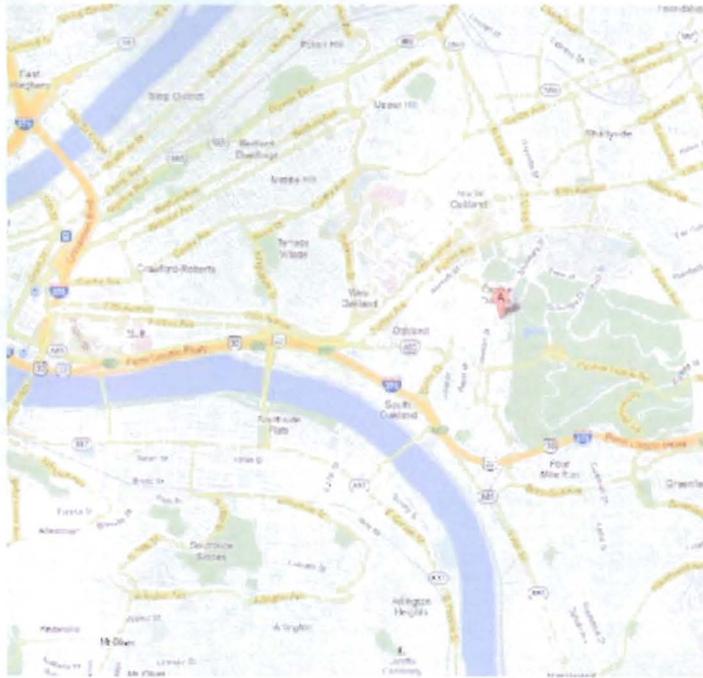
July 11, 1978

3729 Parkview Avenue  
Existing Conditions



3729 Parkview Avenue  
Precedent Conditions





## Drawing List

- C.1 Cover Sheet
- A1.1 Porch Plan + Railing Elevations
- A1.2 Porch Elevations
- A3.1 Porch and Railing Sections

## General Notes

1. All work and materials shall be in full conformance with the latest federal, state, and local laws and ordinances, including their most recent revisions, additions, amendments, and interpretations. In the event of conflict, the most stringent requirements shall apply.
2. All dimensions and existing conditions shall be checked and verified by the contractor at the site. Contractor shall notify owner and architect of any discrepancy in dimension prior to proceeding with work in that area.
3. All existing construction that is to remain as part of the project shall be protected from damage throughout the period of the construction work. Any damaged construction or features shall be replaced at the expense of the contractor to the satisfaction of the owner.
4. It shall be the responsibility of each contractor to verify all dimensions and inspect conditions of prior work by other trades before starting work. Proceeding with the work shall constitute acceptance of prior work.
5. Electrical and mechanical design shall be provided by the electrical and mechanical contractor on a design-build basis. Any electrical or mechanical work indicated within the architectural documents are schematic in nature and not for construction.
6. Details are usually keyed and noted "Typical" only once, and are representative of similar conditions throughout, unless otherwise noted.
7. Provide blocking in partitions as required for all millwork, casework, accessories, grab bars, or other similar items attached to walls.
8. All materials and equipment shall be installed per manufacturer's instructions.
9. In all cases where work depicted on these drawings represents a complete system composed of separate parts, it is the responsibility of the contractor to provide all of the parts, components, accessories, hardware, fasteners, etc. required for a complete and fully functioning assembly within the definitions of normal industry standards, whether or not these miscellaneous items are directly specified in the construction documents.
10. Substitutions, revisions, or changes must be submitted to the owner for review prior to purchase, fabrication, or installation.
11. All partitions are dimensioned from finish face unless otherwise noted.
12. New gypsum board construction adjoining existing construction in the same plane shall be flush with no visible joints.
13. Ensure that surfaces to receive finishes are clean, true, and free of irregularities. Do not proceed until unsatisfactory conditions have been corrected. Commencement of work shall indicate installers acceptance of substrate.
14. Repair and prepare existing surfaces scheduled to remain as necessary for the application of new finishes.

## Code Summary

Building Code: 2009 IBC

Use Group: (R-3) Residential  
Construction Type: VB (IBC Table 601)

## Abbreviations

ABV	Above	HM	Hollow metal
ADJ	Adjacent	HOR	Horizontal
AFF	Above Finished Floor	HR	Hour
ALT	Alternate	HT	Height
AUTO	Automatic	HVAC	Heating/ventilation/air-conditioning
AVG	Average	HWD	Hardwood
BLDG	Building	INCL	Included
BO	By others	INT	Interior
BTW	Between	MAINT	Maintenance
CL	Centerline	MAX	Maximum
CMU	Concrete Masonry Unit	MECH	Mechanical
D	Deep	MRF	Manufacturer
DEMO	Demolish	MIN	Minimum
DIM	Dimension	MTL	Metal
DN	Down	NIC	Not in Contract
DR	Door	NOM	Nominal
DTL	Detail	NTS	Not to scale
DWG	Drawing	OC	On center
EA	Each	OD	Outside dimension
ELEC	Electric	OPP	Opposite
ELEV	Elevation	PLAM	Plastic Laminate
ETR	Existing to remain	PL	Plate
EQ	Equal	PSF	Pounds per square foot
EQUIP	Equipment	PTD	Painted
EXIST	Existing	PVC	Polyvinyl Chloride
EXT	Exterior	R	Radius
FBO	Furnished by others	RO	Rough Opening
FE	Fire extinguisher	SIM	Similar
FF	Finished Floor	SPEC	Specifications
FLR	Floor	STD	Standard
FT	Feet	STL	Steel
GA	Gauge	TYP	Typical
GALV	Galvanized	VERT	Vertical
GC	General Contractor	W	Width
GWB	Gypsum Wall Board	WD	Wood
HDWR	Hardware		

Seal



Historic Porch Restoration

for

3729 Parkview Avenue  
Pittsburgh, PA 15213

Date

10.15.2012

Client

Nathan Hart

Project No.

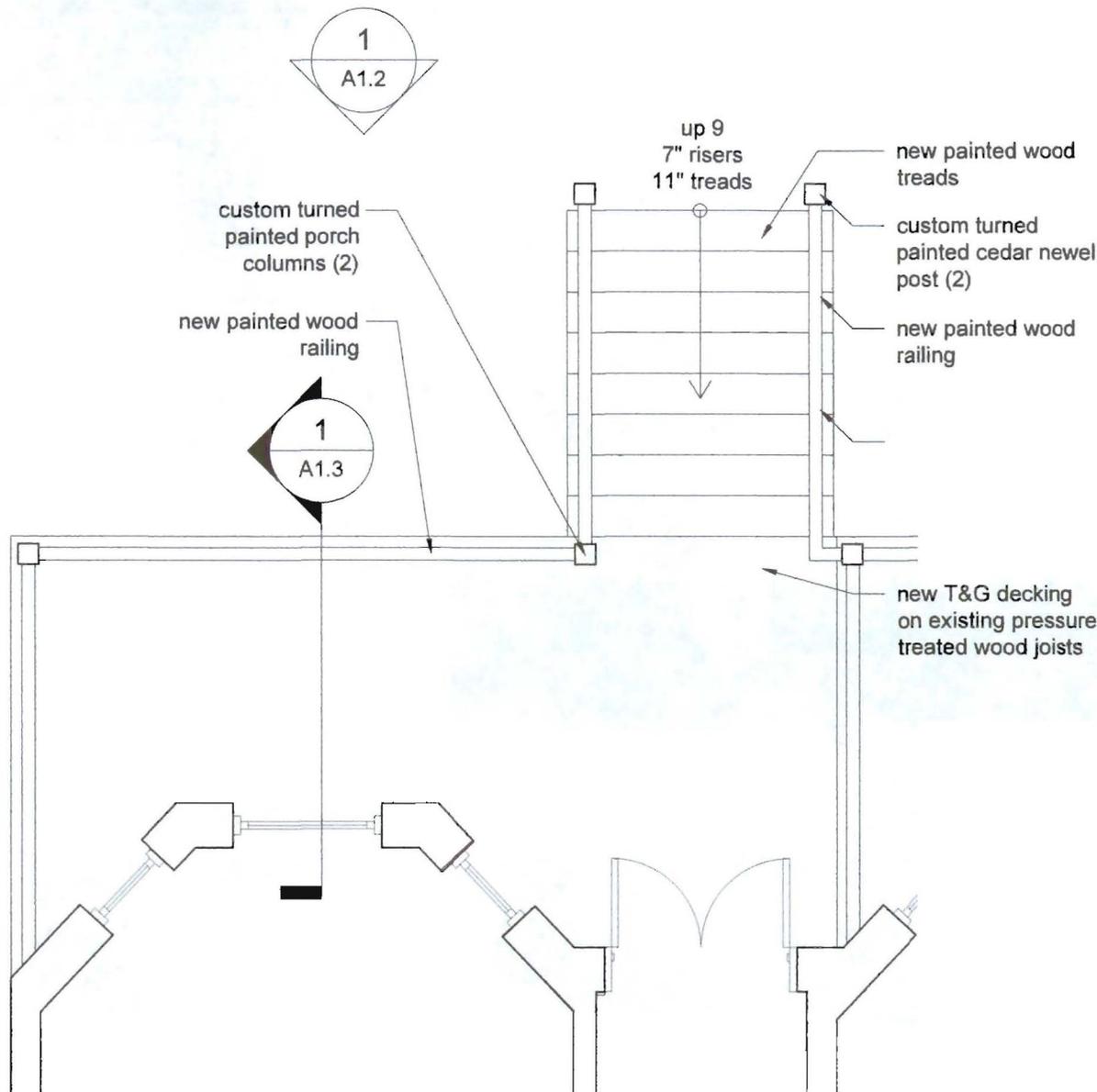
1210.019

Drawing Title

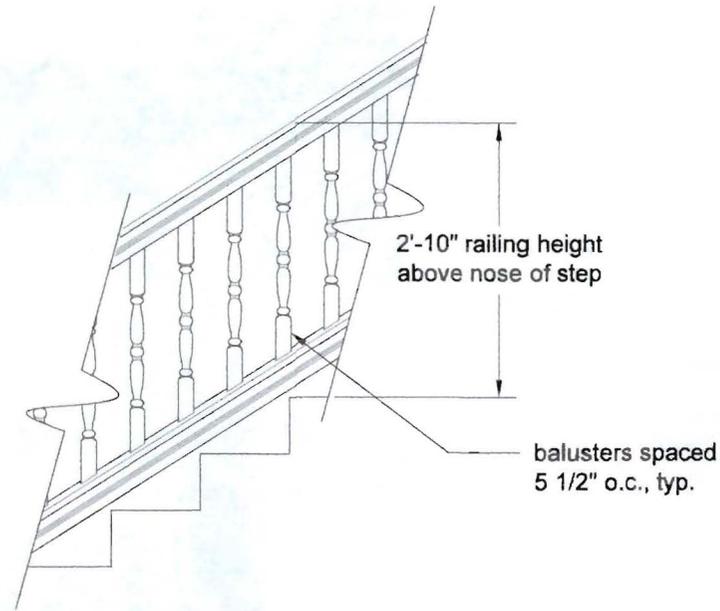
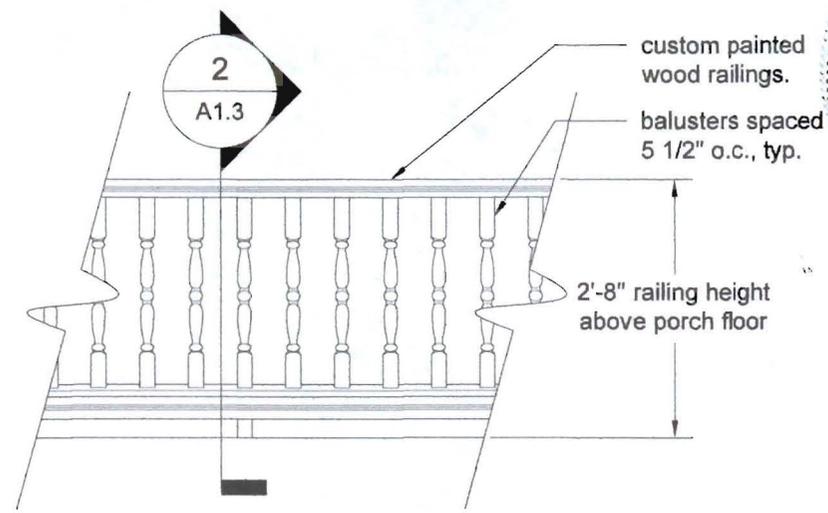
Cover Sheet

Sheet

C.1



**1** Porch Plan  
1/4" = 1'-0"



**2** Railing Elevations  
1/2" = 1'-0"

Historic Porch Restoration  
for  
3729 Parkview Avenue  
Pittsburgh, PA 15213

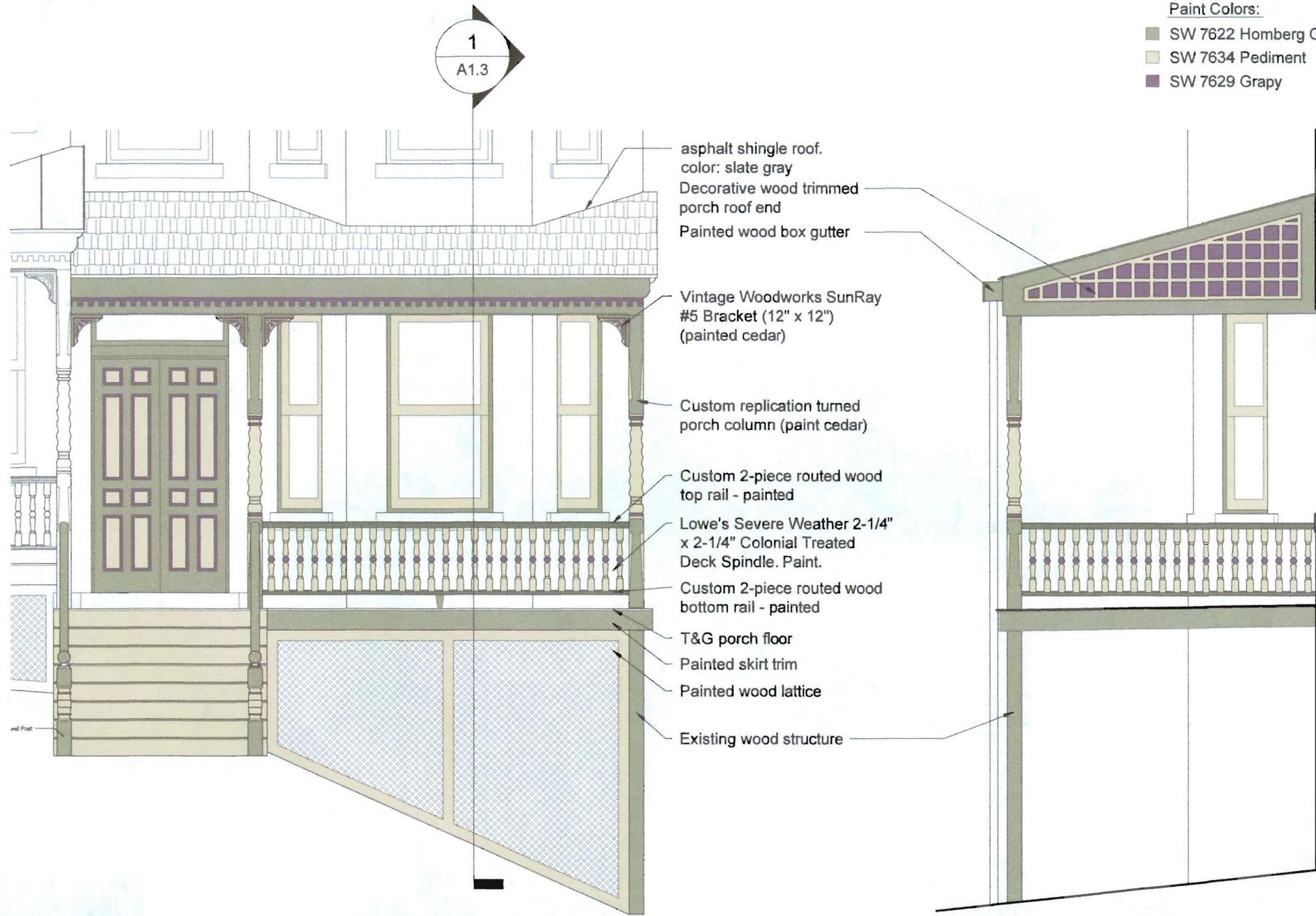
Date  
10.15.2012

Client  
Nathan Hart

Project No.  
1210.019

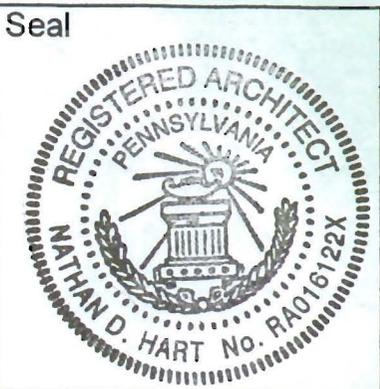
Drawing Title  
Plan/Railing Elev

Sheet  
A1.1



- Paint Colors:
- SW 7622 Homberg Gray
  - SW 7634 Pediment
  - SW 7629 Grapy

1  
A1.3



Historic Porch Restoration  
for  
3729 Parkview Avenue  
Pittsburgh, PA 15213

Date  
10.15.2012

Client  
Nathan Hart

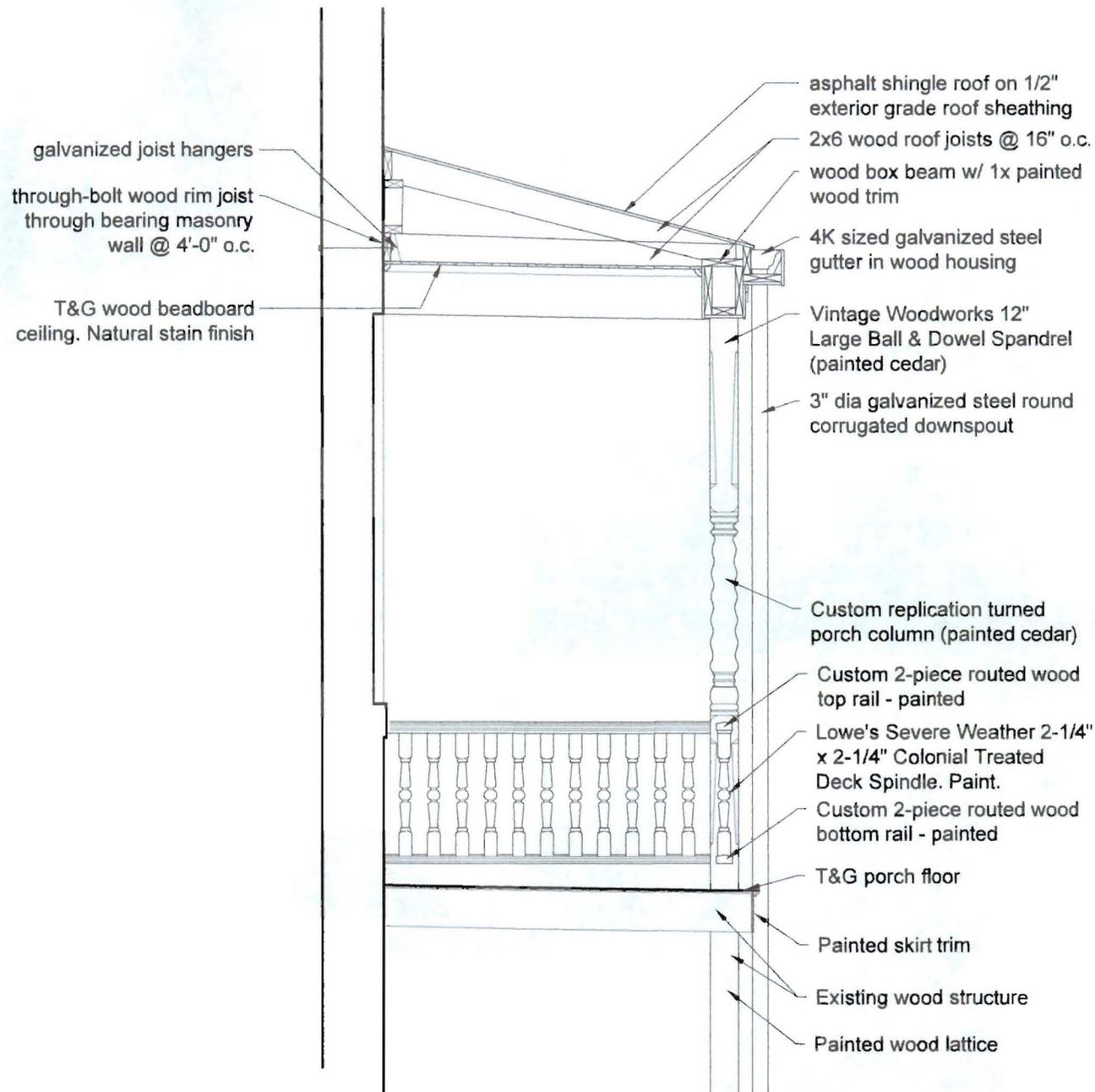
Project No.  
1210.019

Drawing Title  
Elevations

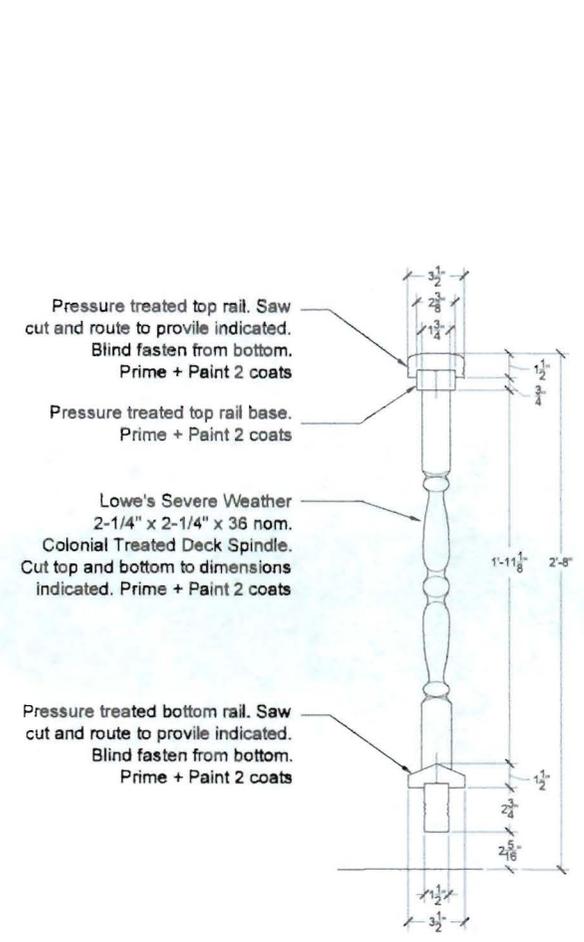
Sheet  
A1.2

1 Porch Elevation  
1/4" = 1'-0"

2 Porch Elevation  
1/4" = 1'-0"



1 **Porch Section**  
3/8" = 1'-0"



2 **Railing Section**  
1/2" = 1'-0"



Historic Porch Restoration  
for  
3729 Parkview Avenue  
Pittsburgh, PA 15213

Date  
10.15.2012

Client  
Nathan Hart

Project No.  
1210.019

Drawing Title  
Sections

Sheet  
A1.3



**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

908 PENN AVENUE  
 PCH, PA 15222

**OWNER:**

NAME: PMC PROPERTY GROUP  
 ADDRESS: 1411 WALNUT ST  
 PHILADELPHIA, PA 19102  
 PHONE: 215-241-0200  
 EMAIL: bobo@pmcpropertygroup.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

The restoration of the front and rear facades and renovation of all floors for residential use.

**SIGNATURES:**

OWNER: Robert A. Edelman      DATE: 10-26-12  
 APPLICANT: Sean Beasley      DATE: 10.26.12

**STAFF USE ONLY:**

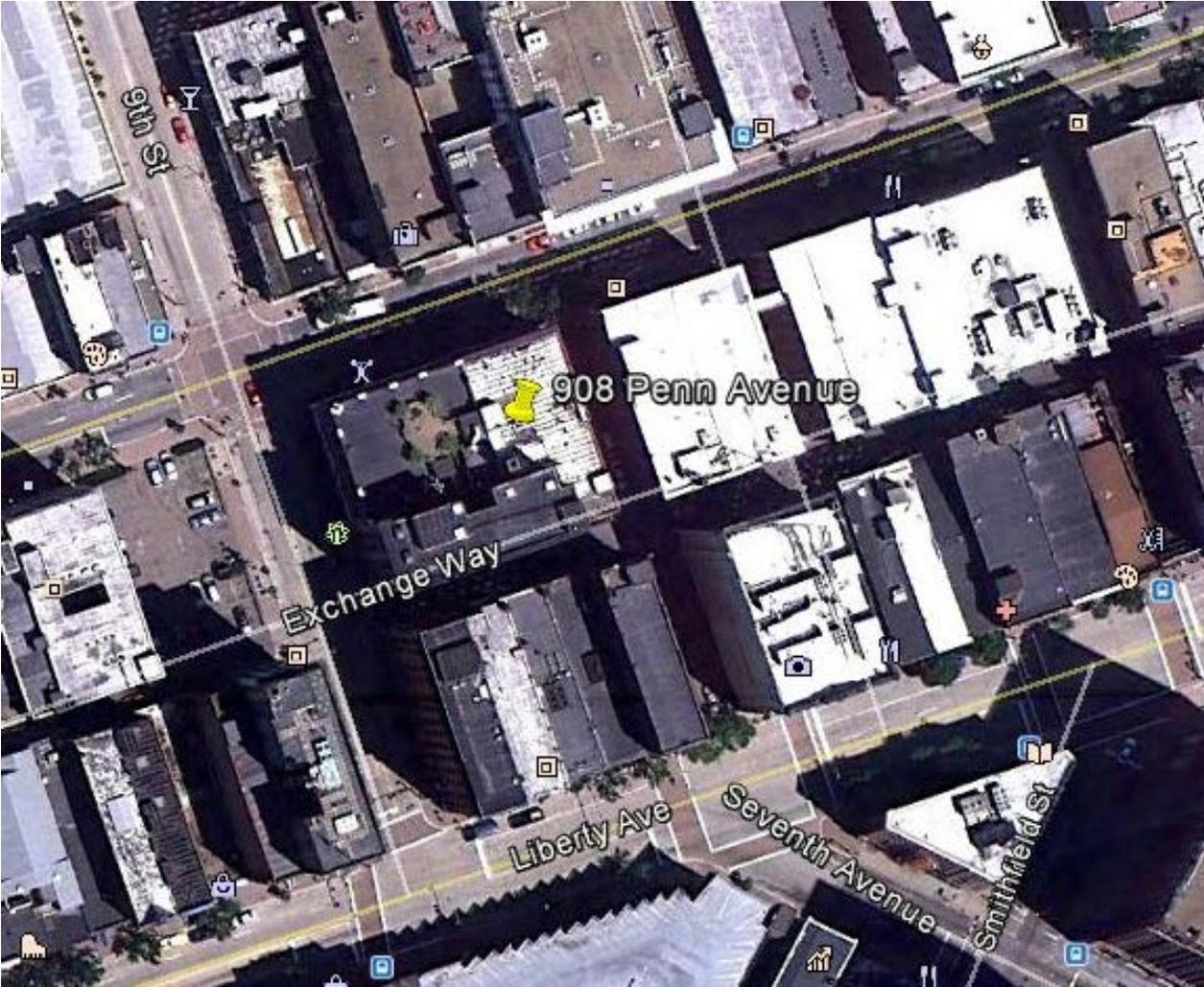
DATE RECEIVED: \_\_\_\_\_  
 LOT AND BLOCK NUMBER: \_\_\_\_\_  
 WARD: \_\_\_\_\_  
 FEE PAID: \_\_\_\_\_

**DISTRICT:**

PENN-LIBERTY

**APPLICANT:**

NAME: SEAN BEASLEY  
 ADDRESS: 908 LIBERTY AVE  
 PCH, PA 15222  
 PHONE: 412.263.3800  
 EMAIL: sbeasley@stradallc.com







1915 Condition

Building  
Facade



1937 Condition

Building  
Facade



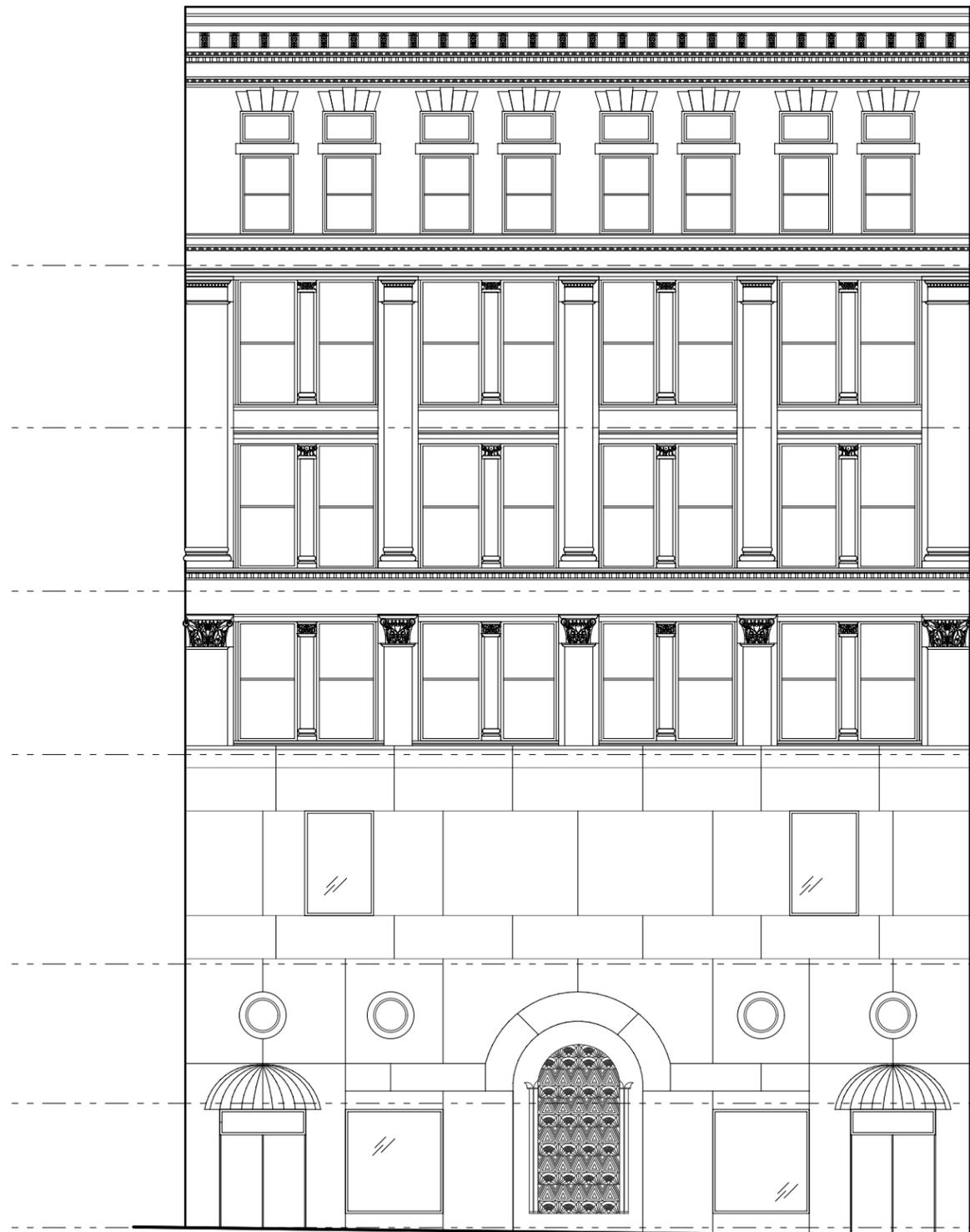
Existing Front Elevation



Upper Floor Detail



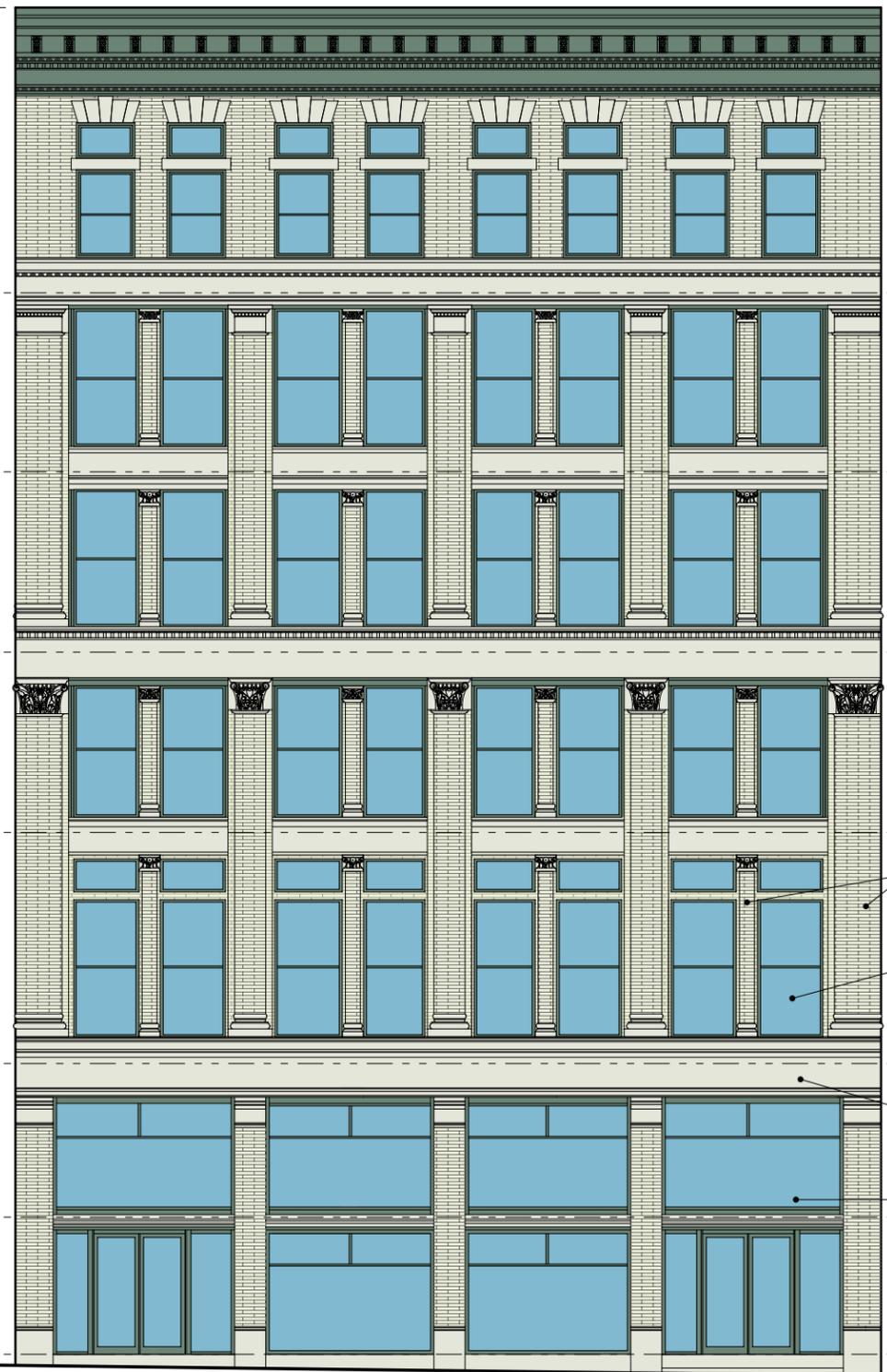
Lower Floor Detail



Existing Conditions

Original facade to be cleaned

Reconstruction of Original Facade



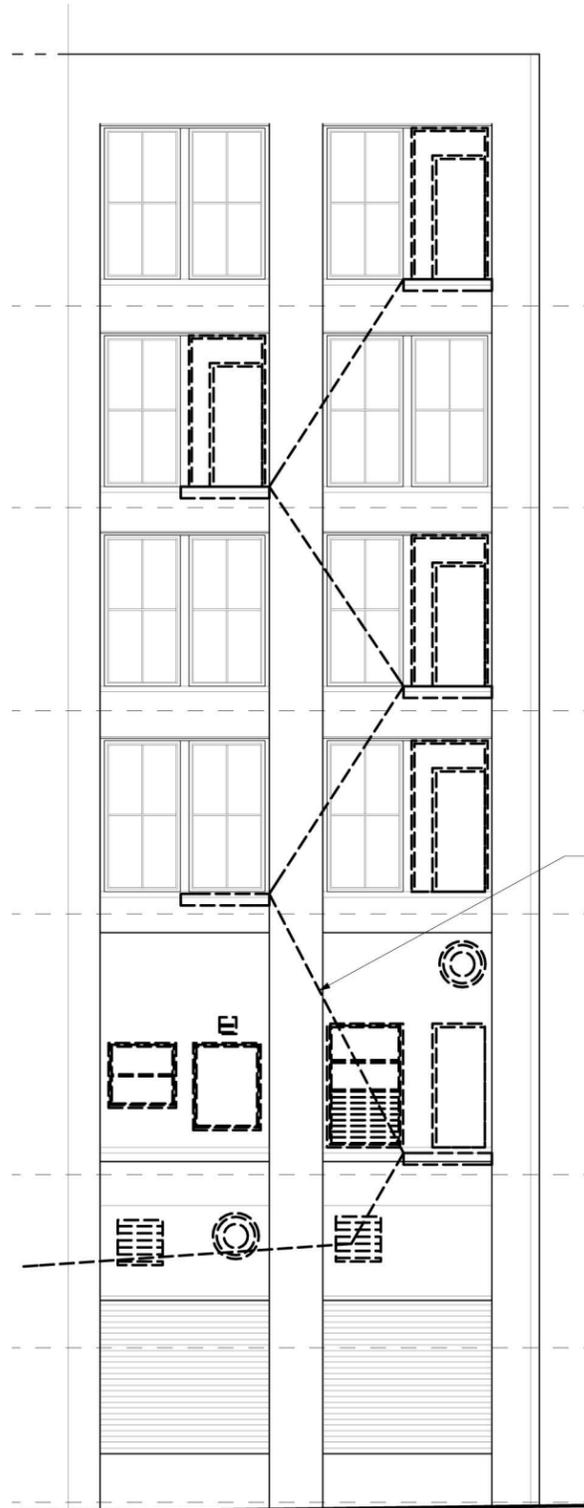
Proposed Elevation

Repair or install new brick piers to match existing  
 Double hung windows to match the original sight lines

Recreated signboard per the original photos  
 New storefront with operable transom windows



Existing Rear Elevation



Existing Conditions

Existing fire escape  
to be removed



Proposed Elevation

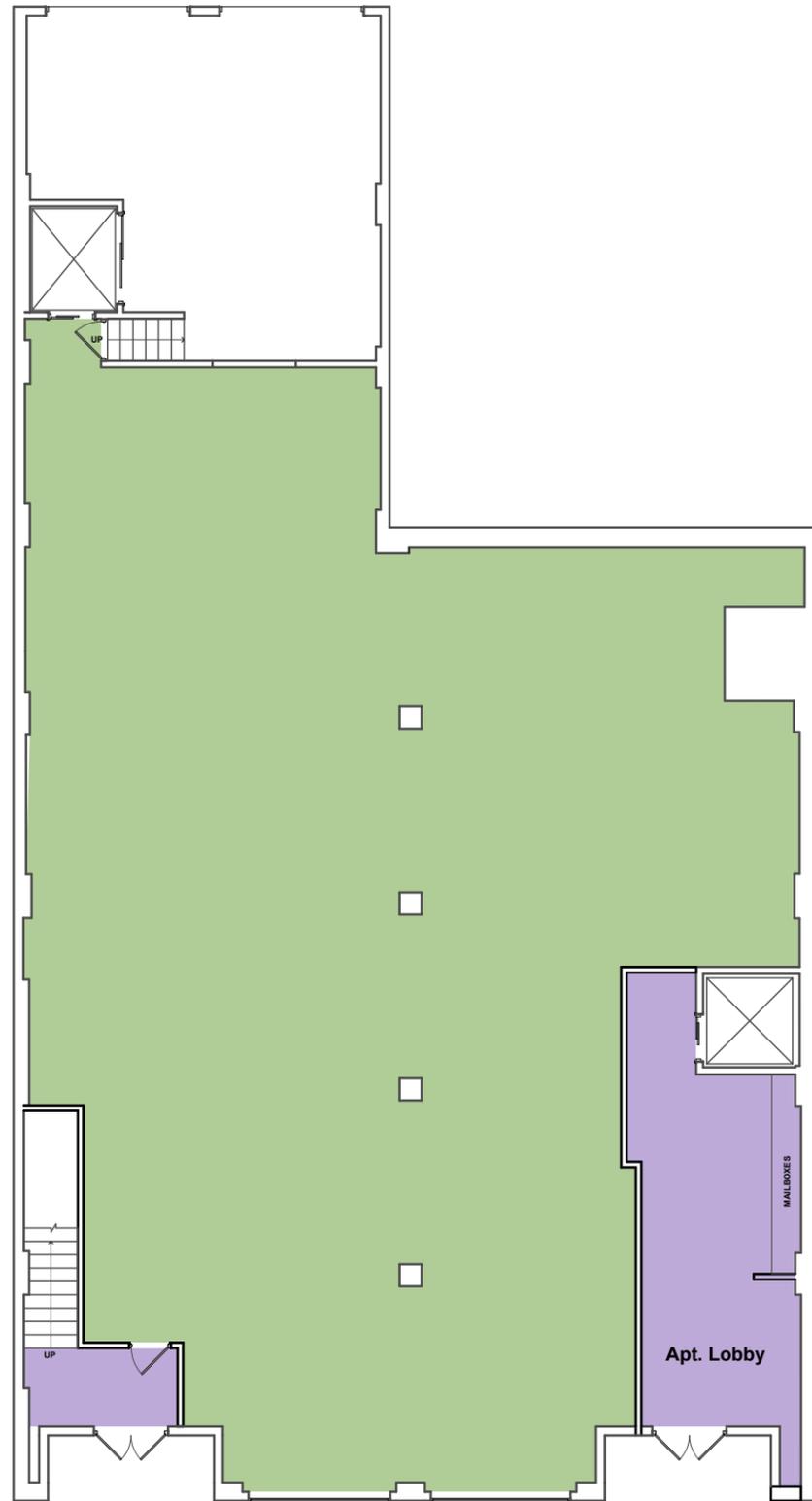
New double hung  
windows to match  
the original sight  
lines

Cleaning existing  
brick

Break metal infill  
panels at existing  
exhaust locations

Break metal infill  
panels at existing  
exhaust locations

New brick infill to  
match brickwork  
above



**Proposed Lower Floor Plans**



**Proposed Upper Floor Plans**

