



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room
April 2, 2014

AGENDA

(Vacant), *Chairman*
Ernie Hogan, *Acting Chairman*
Noor Ismail, *Director of Planning*
(Vacant), *Secretary, Acting Chief BBI*
Linda McClellan
Joe Serrao
(Vacant)

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business

New Business

- Approval of the minutes from the March 2014 hearings
- Certificates of Appropriateness Report – February and March
- Applications for a Certificate of Economic Hardship – None

Upcoming Demolitions, no action at this time

- None

➤ **1:00 PM HEARING & ACTION**

1. Allegheny West Historic District
818 Western Avenue
Francis Schmitt, owner and applicant
Replacement of rear window sills

2. East Carson Street Historic District
12 Bedford Square
John DeMauro, owner
Gerald Morosco, applicant
Demolition and new construction

3. East Carson Street Historic District
1302 E. Carson Street
Sayer Real Estate, owner
Ayhan Sayer, applicant
Storefront restoration and window replacement

4. East Carson Street Historic District
1820 E. Carson Street
Aspen Holdings III, LLC, owner
Gerald Morosco, applicant
Façade renovations

5. East Carson Street Historic District
60 S. 15th Street
Christopher Beech, owner
Gerald Morosco, applicant
Façade renovations

6. Manchester Historic District
1111 Liverpool Street
Patricia Juliano, owner
Sears Home Improvement, applicant
Door replacement

7. **Market Square Historic District**
221 Fourth Avenue
William Benter, owner
Stephen Mrdjenovich, applicant
Renovations to roof deck, awning, and siding of 19th floor unit

8. **Mexican War Streets Historic District**
1240 Monterey Street
Christopher D'Addario, owner and applicant
Addition of pergola to rear deck

9. **Penn-Liberty Historic District**
717 Liberty Avenue
PMC Property Group, owner
Sean Beasley, applicant
Installation of temporary signage

- **DEMOLITIONS**
- **NOMINATIONS**
- **DIRECTOR'S REPORT**
- **ADJOURNMENT**

The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public. INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

Please contact Sarah Quinn with questions and comments: 412-255-2243
sarah.quinn@city.pittsburgh.pa.us

1/20/14/2014



Division of Development Administration and Review
City of Pittsburgh, Department of City Planning
200 Ross Street, Third Floor
Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

Francis J. Schmitt
818 Western Avenue
Allegheny West
Pittsburgh, PA 15233

STAFF USE ONLY:

DATE RECEIVED: 2/19/14
LOT AND BLOCK NUMBER: 8-A-21
WARD: 22nd
FEE PAID: yes

DISTRICT:

Allegheny West

OWNER:

NAME: Francis J. Schmitt
ADDRESS: 818 Western Avenue
Allegheny West
Pittsburgh, PA 15233

APPLICANT:

NAME: Francis J. Schmitt
ADDRESS: 818 Western Avenue
Allegheny West
Pittsburgh, PA 15233

PHONE: 412 3228223

PHONE: Same

EMAIL: FJACKSCHMITT@GMAIL

EMAIL: Same

REQUIRED ATTACHMENTS:

- Drawings
- Photographs
- Renderings
- Site Plan
- Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Replacing rear window sills which are rotting with beige limestone sills that look the same size.

SIGNATURES:

OWNER: Francis J. Schmitt DATE: February 10, 2014
APPLICANT: Francis J. Schmitt DATE: February 10, 2014



To: Historic Review Commission

Re: Rear window rotten sill replacement April 14th, 2014

Scope of Work: Sixteen rear window sills in various states of rotting wood will be replaced with beige limestone sills of the same dimension. Only 3 of the sills can be seen at a distance from a public alley and will not look any different from the lightly painted wood sills. Please see accompanying photos. Minor mortar/caulk may be needed around the perimeter of the new sill and the mortar/caulk will match the existing color and texture of the light gray mortar.

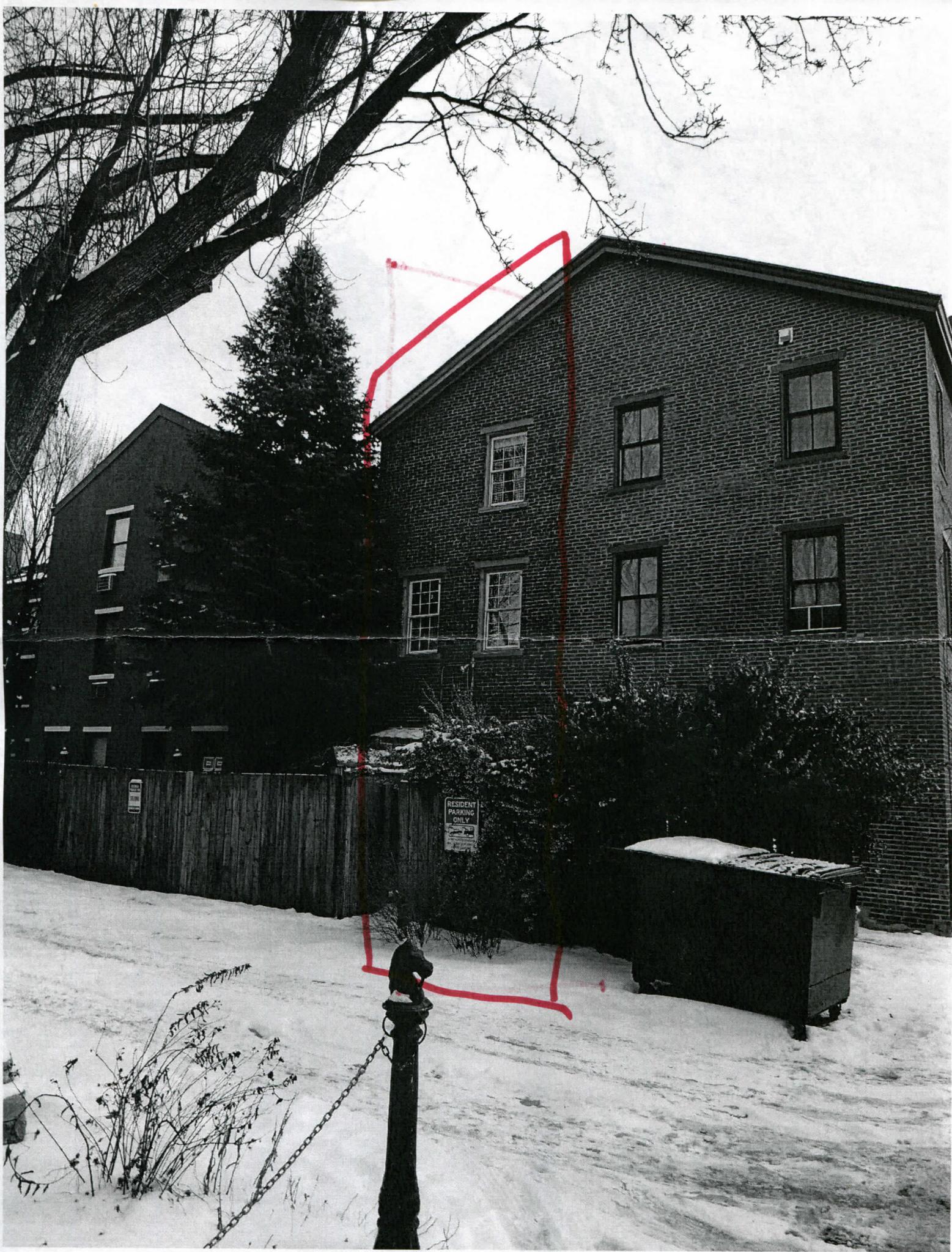
Note: In an attempt to keep wood window sills I replaced three of the sills with custom-cut treated lumber many years ago. It cracked through, would not hold paint, and water kept running through the cracks into the masonry below threatening the historic fabric of the house walls. So treated lumber was not a good restorative technique.

In 2013 I called Allegheny Millwork who said it could not provide the correct sized wood for these sills. Then I contacted three sawmills to order natural wood in ash, as architect Michael Shealey suggested. The owners of the three sawmills said that wood was not available in that size. A larger size could not be effectively kiln dried and cut down to size without serious warping before and after installation. The mill owners recommended gluing together three pieces of wood to create the full size needed but they could not guarantee that the glue would hold or not shrink. There was no guarantee or historical precedent for the glued windowsills. So untreated lumber was not a good restorative technique.

The only choice was a kind of stone. Beige limestone has been approved and used on many historic buildings and on new construction in Allegheny West Historic District. Although custom cut limestone sills have a higher cost, they look like the original wood from the distance my house is from the alley.

Francis J. Schmitt

Homeowner – 818 Western Avenue



RESIDENT
PARKING
ONLY



RESERVED
PARKING FOR
APARTMENT
4
VEHICLES TITLED



BEIGE
LIMESTONE



BEIGE
LIMESTONE
SILL



Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

12 Bedford Square

Pittsburgh, PA 15203

OWNER:

John DeMauro
NAME: MJT Real Estate, LLC

ADDRESS: PO BOX 4276
Pittsburgh, PA 15203-0276

PHONE: (412) 420-7751

EMAIL: picoalfired@gmail.com

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

East Carson Street

APPLICANT:

Gerald Lee Morosco, AIA
NAME: Gerald Lee Morosco Architects, PC

ADDRESS: 1016 East Carson Street
Pittsburgh, PA 15302-1110

PHONE: (412) 431-4347

EMAIL: glm@glm-architects.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

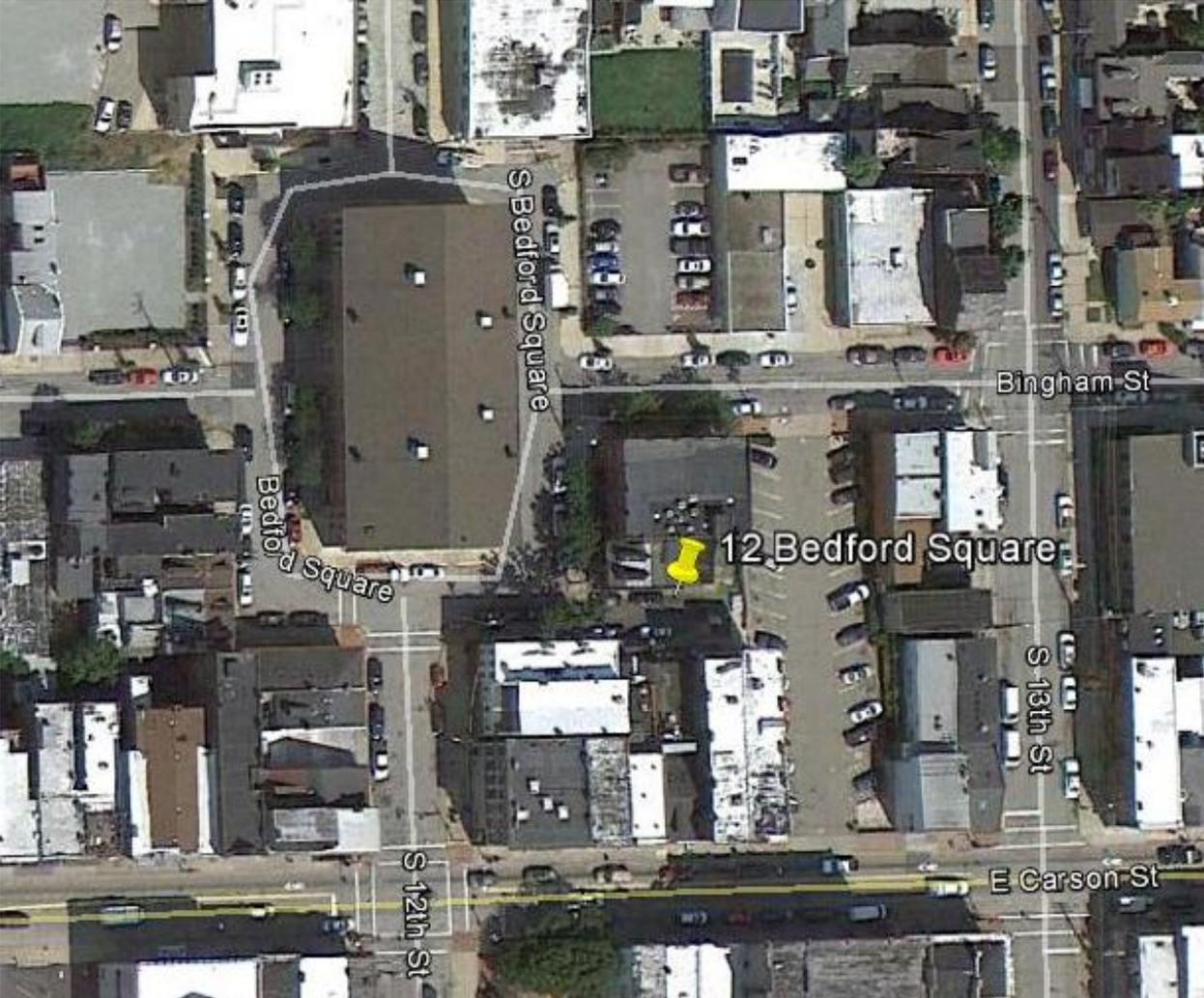
DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: _____ DATE: 3/14/14

Gerald Lee Morosco, President
Gerald Lee Morosco Architects, PC



CONTEXT PHOTOS

New Building at:
12 BEDFORD SQUARE
Pittsburgh, Pennsylvania 15203

PROJECT NO. 01314.01 14 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.
1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

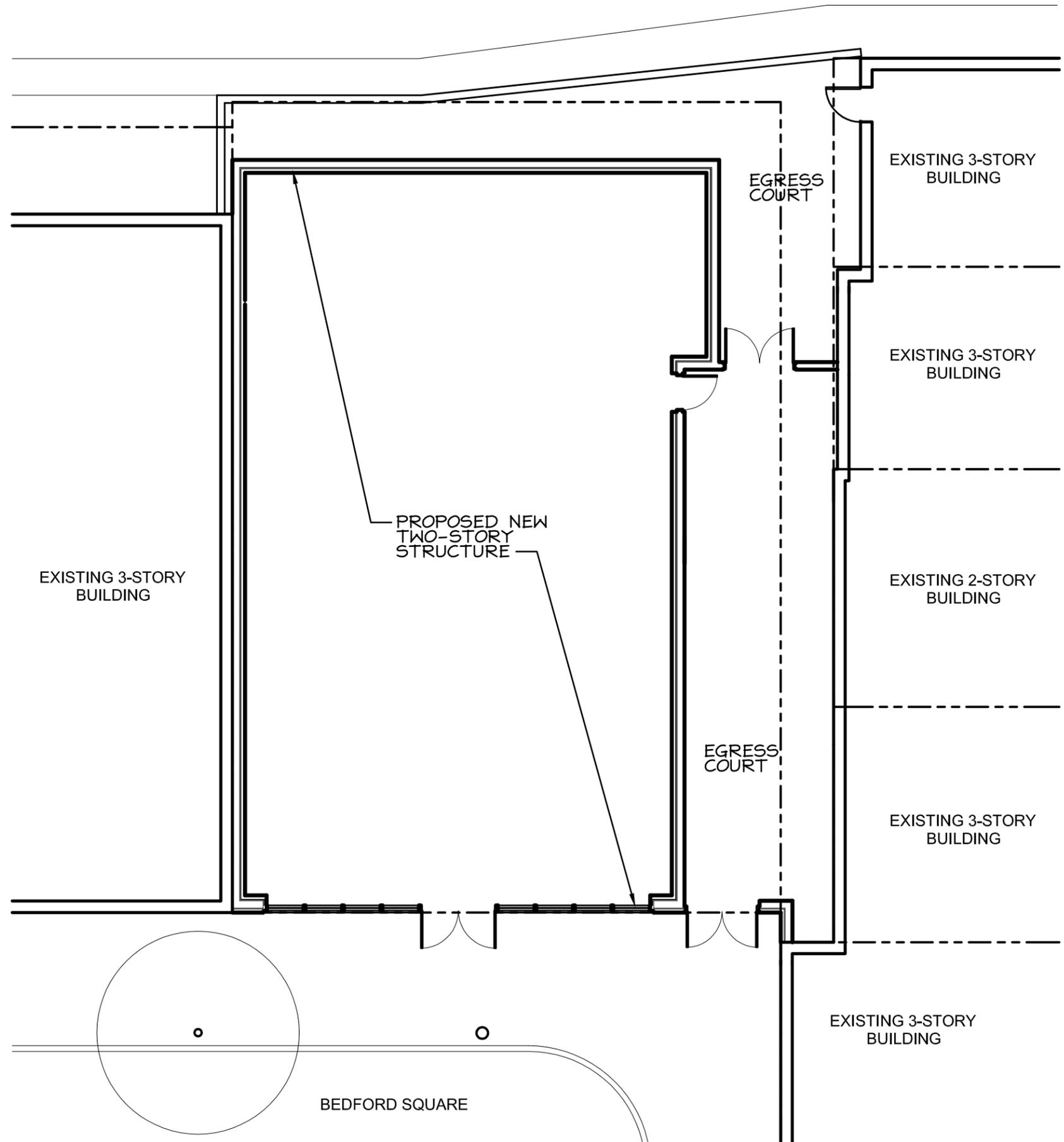
© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used
without prior expressed written consent of Gerald Lee Morosco Architects, P.C.



SITE PLAN 1' = 10'-0"

New Building at:
12 BEDFORD SQUARE
Pittsburgh, Pennsylvania 15203

PROJECT NO. 01314.01 14 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.
1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used
without prior expressed written consent of Gerald Lee Morosco Architects, P.C.

EXTERIOR ELEVATION from Bedford Square

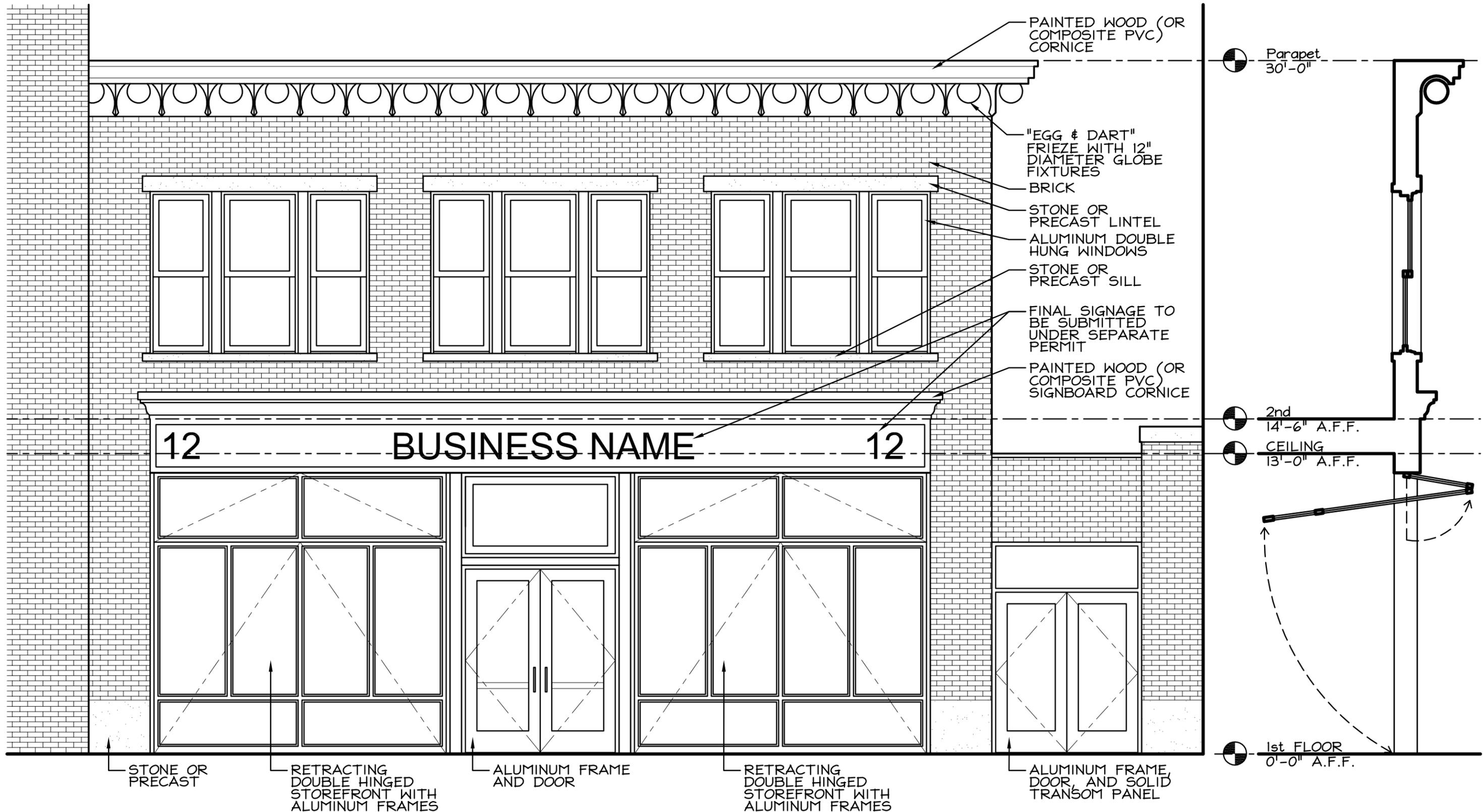
New Building at:
12 BEDFORD SQUARE
Pittsburgh, Pennsylvania 15203

PROJECT NO. 01314.01 14 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.
1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used
without prior expressed written consent of Gerald Lee Morosco Architects, P.C.



EXTERIOR ELEVATION from rear

New Building at:
12 BEDFORD SQUARE
Pittsburgh, Pennsylvania 15203

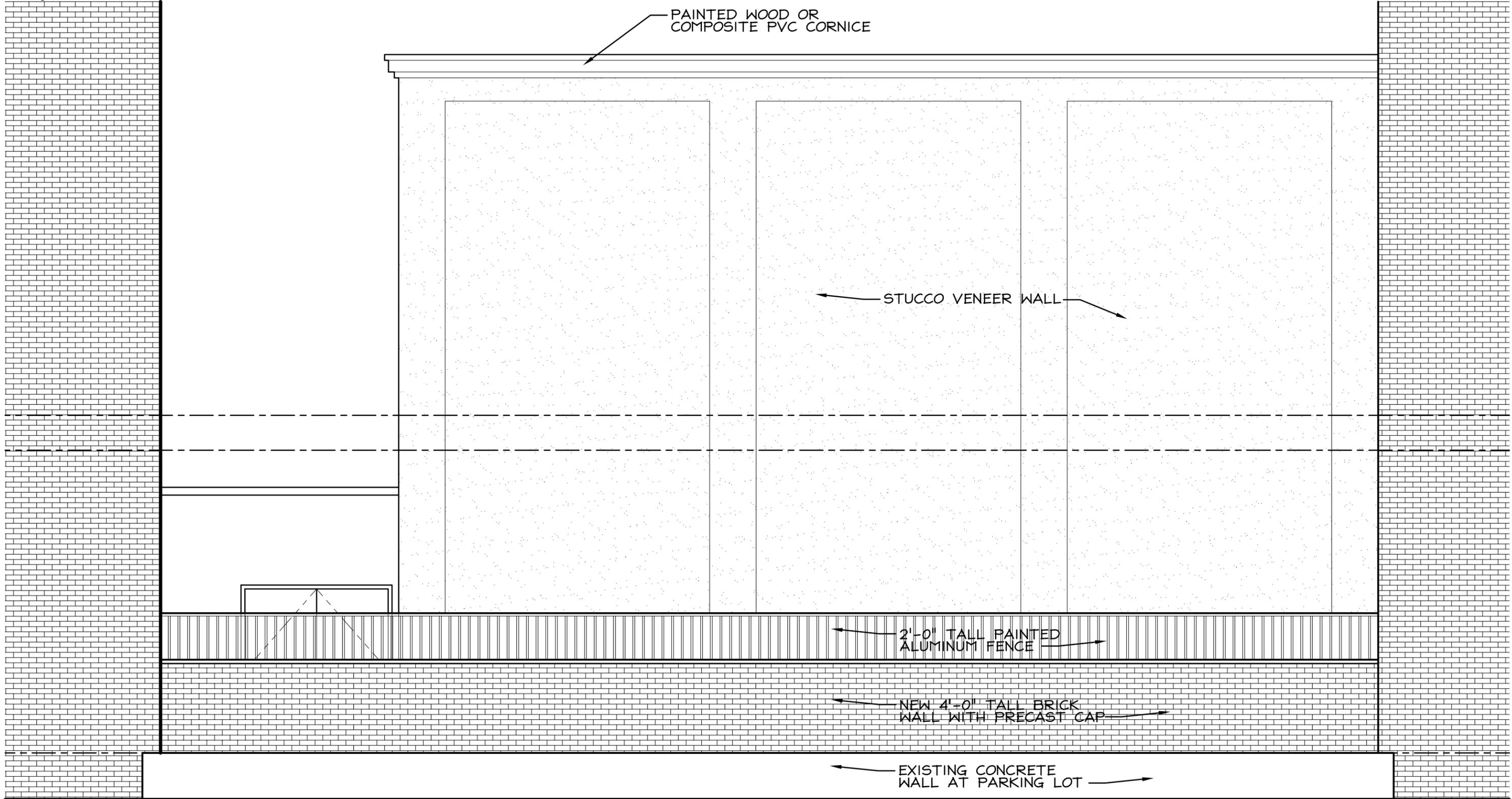
PROJECT NO. 01314.01 14 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.

1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used without prior expressed written consent of Gerald Lee Morosco Architects, P.C.



PAINTED WOOD OR
COMPOSITE PVC CORNICE

STUCCO VENEER WALL

2'-0" TALL PAINTED
ALUMINUM FENCE

NEW 4'-0" TALL BRICK
WALL WITH PRECAST CAP

EXISTING CONCRETE
WALL AT PARKING LOT

Folding Glass Wall System

SI3000

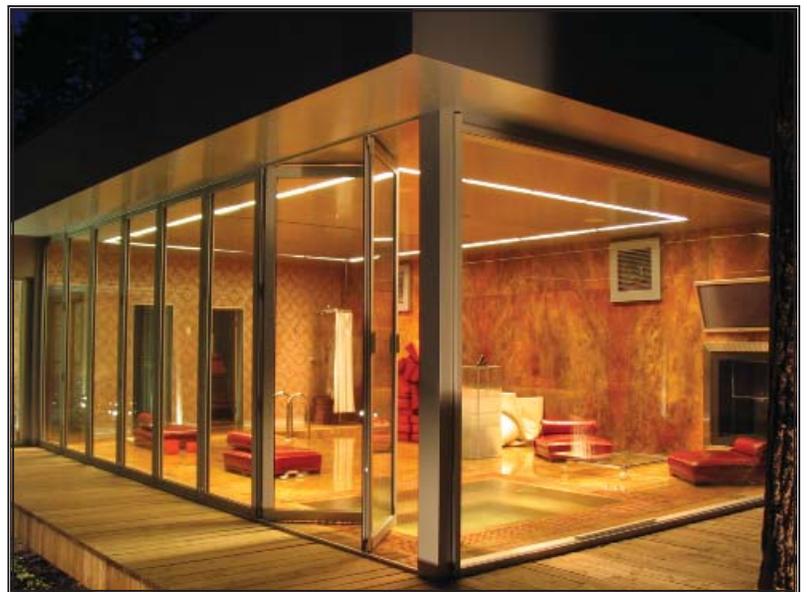
The SI3000 is a family of Folding Glass Wall systems designed to fulfill any architectural condition. Solar Innovations, Inc.'s revolutionary folding glass wall systems employ an elongated trolley design to efficiently distribute and balance panel loading to ensure effortless operation. Our unique hinge design incorporates lubricant impregnated bushings which provide for long lasting, sag free operation, even with oversized panels.

Folding Glass Walls by Solar Innovations offer the highest level of versatility and security. Fixed and operable portions of the wall can be constructed from the same profiles to maintain a consistent sightline throughout. The use of our high quality three or five point locks ensure the highest level of security and can be combined with a variety of hardware design options including hinges, handles, and pulls. Solar Innovations® is leading the folding glass wall industry in design and innovation.

Features and Options

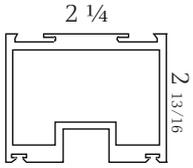
- Systems
 - SI3250 - Non-thermal System for Interior Applications
 - SI3300 - Standard Thermally Broken System Suitable for Commercial and Residential Applications
 - SI3500 - Monumental Thermally Broken System Hurricane Tested and Suitable for Oversized Panel Configurations.
 - Standard Maximum Panel - 3' x 10'
 - Over Sized Units Possible - 5' x 15' (Depending upon configurations.)
- Glazing
 - Infill Options from 3/16" to 1 1/4"
 - Panel Infills Available
 - SDLs and Grids Available
- Performance
 - Water Performance = 9.75 psf
 - Air = 0.06 cfm
 - Structural = ± 80 psf
 - Thermal = 0.47 BTU/hr/ft²/°F
 - Florida Product Approval ± 60 psf (3' x 8' panels)
 - Hurricane/Impact Tested

Performance dependent upon sill and head choice. Custom configurations can meet virtually any performance requirement.
- Options
 - In-fold and Out-fold
 - Top or Bottom Load Bearing
 - Custom Configurations
 - Single and Double Door Configuration
 - Standard and Custom Hardware
 - Standard and Custom Finishes including Cladding and Veneer
 - Folding and Sliding Screen Options including Multi-Track and Dual Track Available
 - LEED Conscious Product Selection

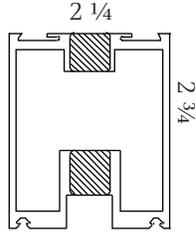


Series Options

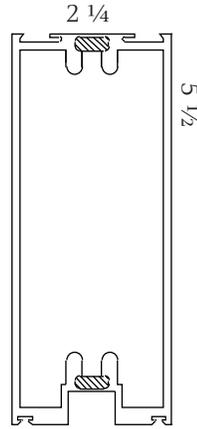
Non Thermal
Series SI3250



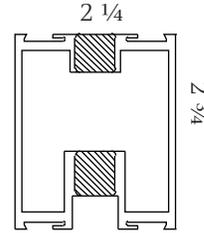
Standard Thermal
Series SI3300



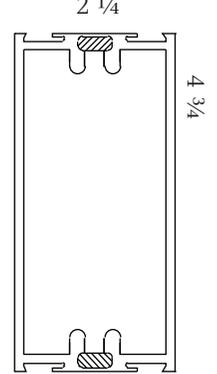
Heavy Thermal
Series SI3500



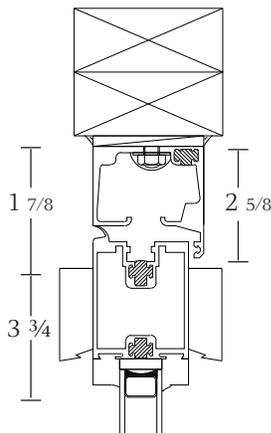
Standard
Mullion



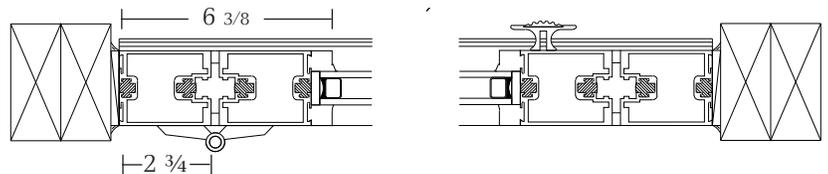
Wide
Mullion



Head

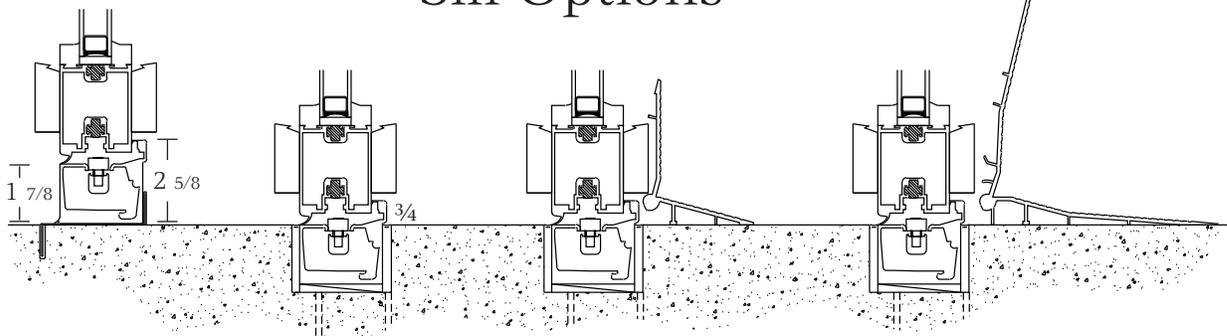


Jamb



Jambs shown represent a left fold, odd panel system.

Sill Options

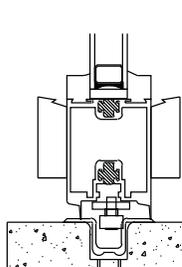


Standard
Sill

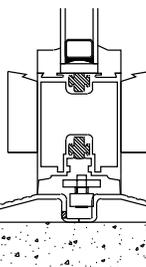
Recessed
Sill

Recessed Sill
with Cover

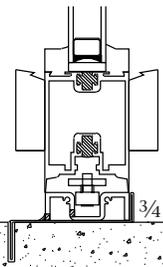
Recessed Sill
with ADA Cover



Flush Sill



Surface Mount Flush Sill



Surface Mount Sill

Commercial Hardware



Clear Anodized Panic Bar



Wire Pull Handle



Panic Handle



Panic Closer

(All hardware available in Clear and Dark Bronze Anodized.)
Available with hinge jamb panels or non-folding panels only.

Handles *Inland Applications*



Milan
(Standard)



Florence



Venice



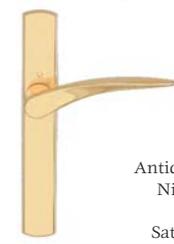
Coastal Applications



Toronto



München



Ródos



**Heavy Saltwater Resistant Finishes include: Antique Nickel, Brass, and Satin Nickel.*

Hinges, Flushbolts, and Pull Handles

Multiple color options are available for all Folding Glass Wall hardware.
Please contact your Solar Innovations, Inc. representative for details and color charts.



Standard



Semi Concealed



Standard
Flushbolt



Deep Pocket
Flushbolt



Low Profile
Two Point Lock
and Pull Handle



Standard
Pull Handle
with Guard



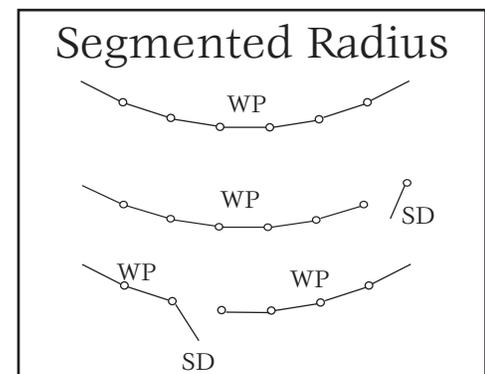
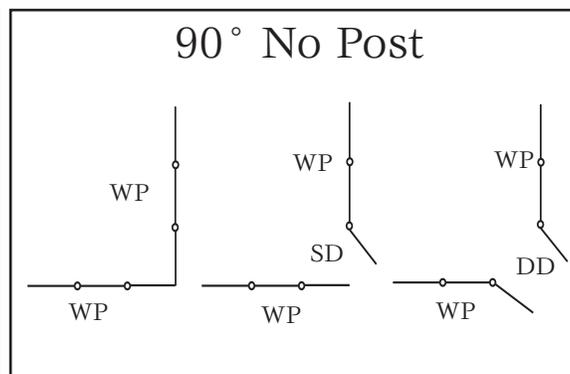
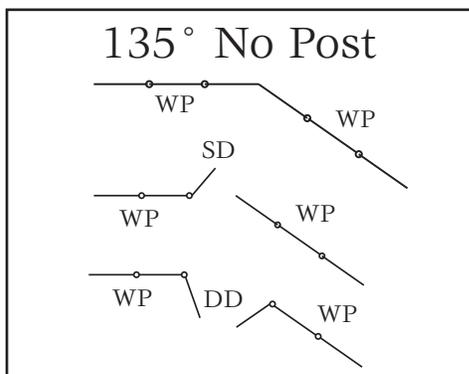
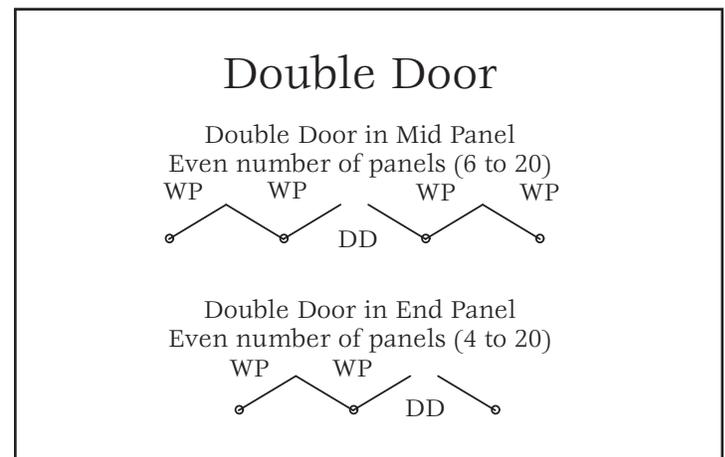
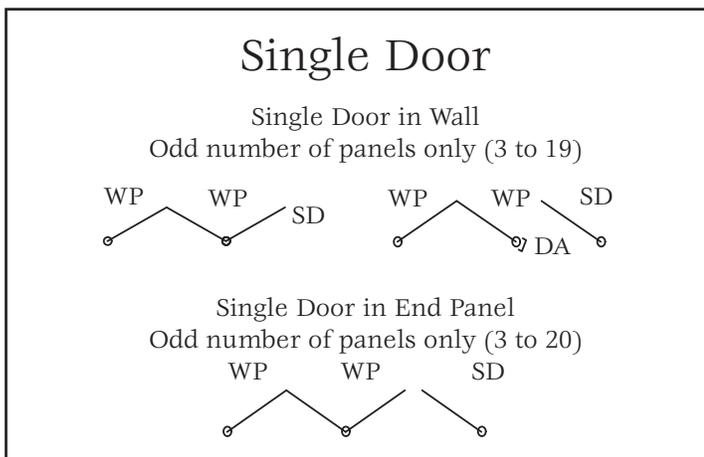
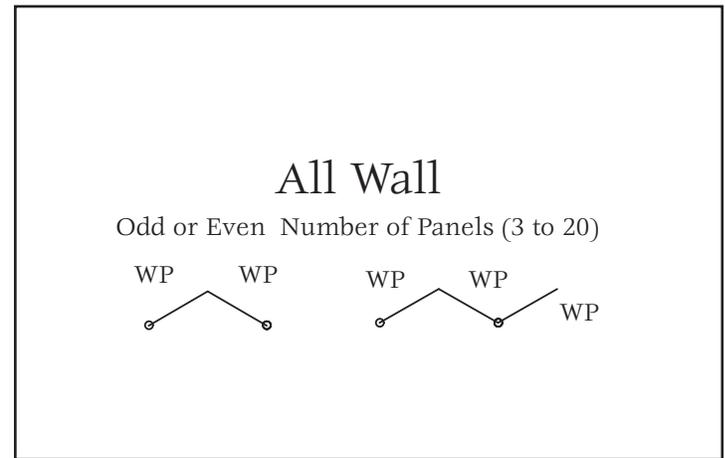
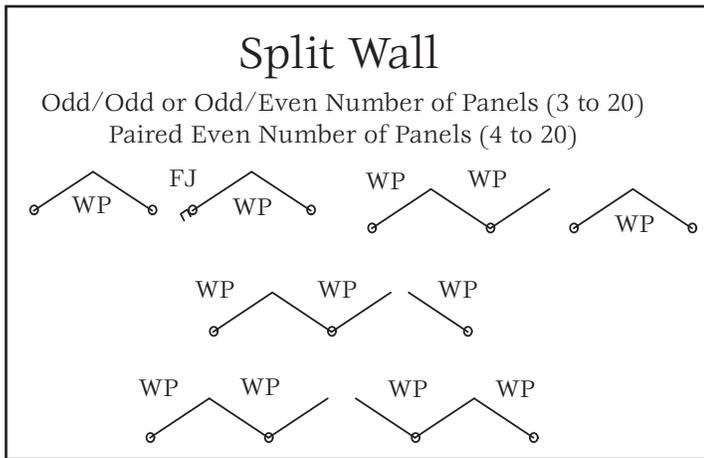
Recessed
Pull Handle
with Guard



Wire Pull
Hinge Handle

Additional hardware options, including custom designs are available.
Please visit our web site or contact your representative.

Configurations



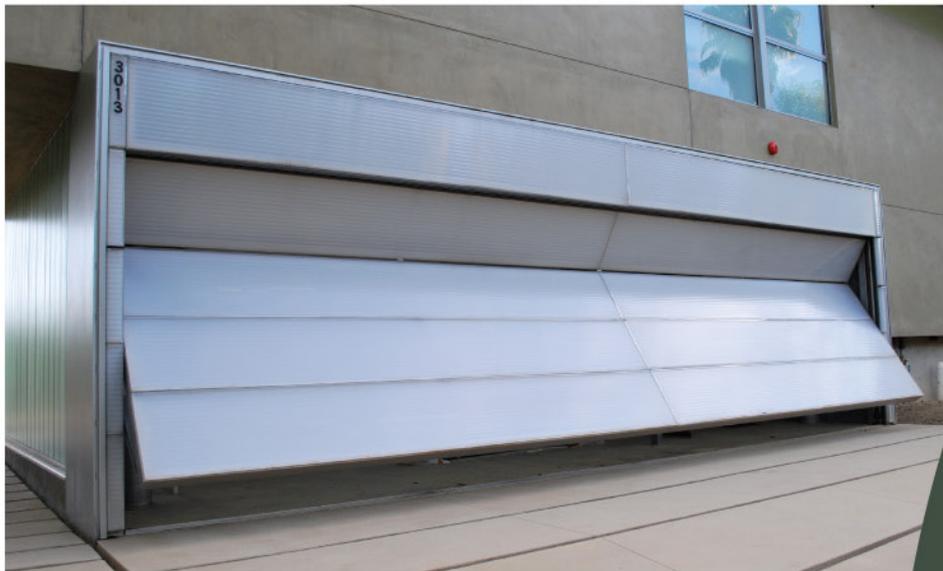
WP = Wall Panel SD = Single Door DD = Double Door DA = Door Adapter FJ = Floating Jamb
Custom configurations and angle accommodations available.

Solar Innovations, Inc. Product Offerings

- Folding Glass Walls, Doors, Windows, & Screens
- Sliding Glass Doors, Windows, & Screens
- Standard Windows & Doors
- European Windows & Doors
(Tilt-n-Turn, Tilt-n-Slide, & More)
- Alternative Energy
(Wind and Solar Power)

- Stacking Glass Walls
- Skylights
- Structures
(Greenhouses, Conservatories,
Sunrooms)
- Curtain Walls
- Canopies and Walkways
- Daylighting Systems

Renlita Doors



RENLITA S-2000 HINGEWAY DOORS

Renlita S-2000 Counterweight Balanced Door is a custom design concept offering a wide variety of architectural features and performance.

Designed for residential / industrial and commercial applications where minimum internal projection is desired, this door requires little headroom.

Allowing natural light in or bringing the outside in, the Renlita S-2000 door design will compliment the architecture of your custom project.



HINGEWAY DOORS
S-2000

FEATURES

The Renlita Hingeway S-2000 counterweight balanced door is designed for industrial/commercial and residential applications where minimum internal projection is required.

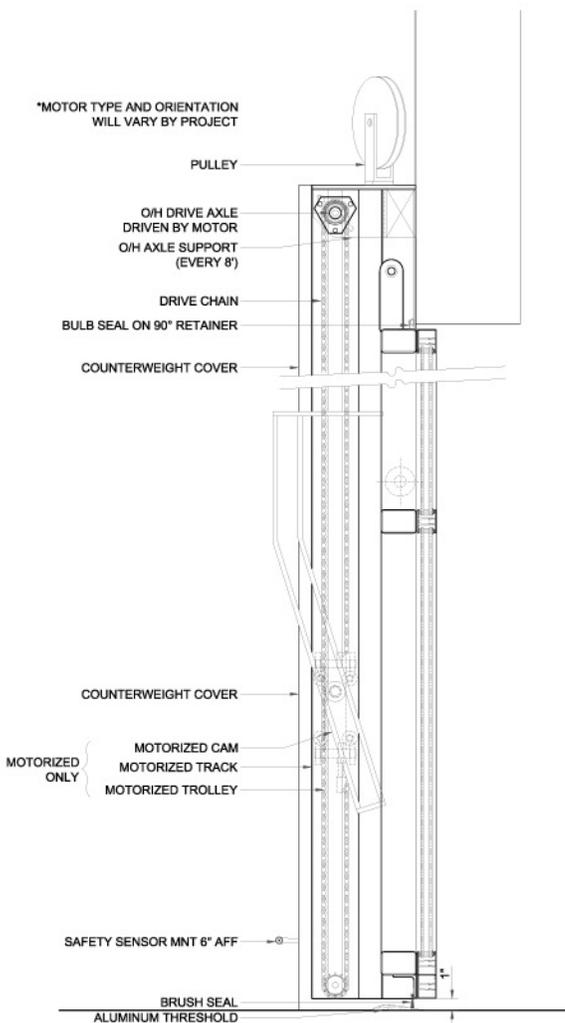
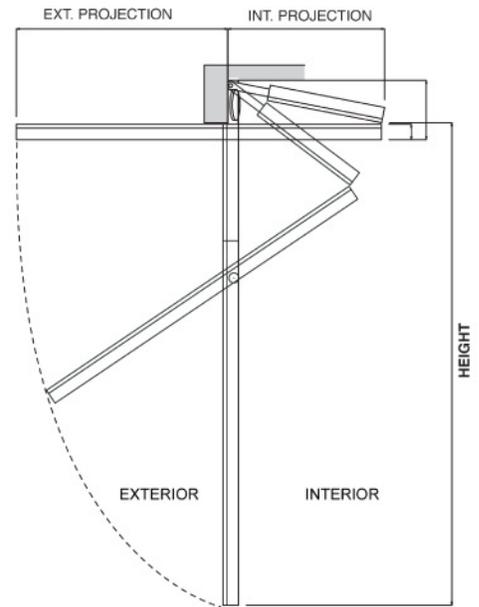
Little headroom is necessary for this type of door. The doors accept a wide range of cladding and/or glazing materials and come in many colors to suit your design brief.

When opening, the door folds along a horizontal hinge line and moves upward. Flush mount bottom panel opens until horizontal and creates an awning effect when open.

Dimensions of the doors vary according to the application and each door is individually designed. Suitable for opening sizes up to 32' wide x 20' tall.

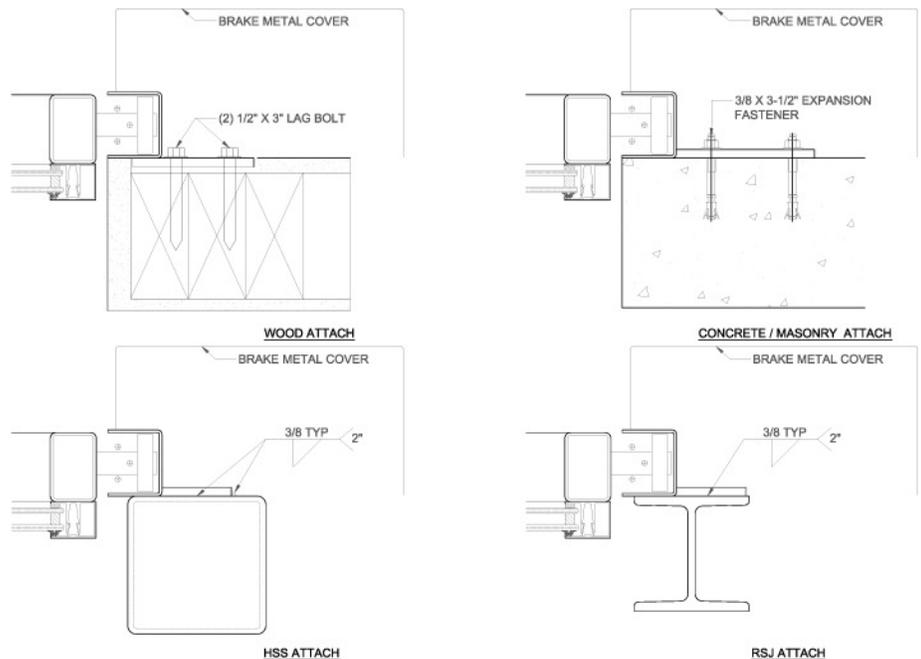
Mathematical calculations are completed to ensure the door is correctly counter weight balanced.

Wind loading can be a critical design factor especially in hurricane prone areas unless otherwise specified the doors are designed to resist a minimum wind loading of 10 psf.



Typical Mounting Details

Note: Attach by welding, lag bolts or concrete anchors.



Note: Counterweight profiles can vary depending on jamb conditions.

Renlita Doors

Renlita Doors is a Texas based manufacturer of custom doors. Our products include vertical operating, horizontal operating and security grilles. With a wide application market the Renlita custom products are used in retail stores, restaurants, commercial and industrial as well as residential projects.

Our in house design team custom designs each project to your design objectives. Every project is designed and fabricated to the highest standards and are based on your project specifications.

As a turn-key provider of high quality products Renlita provides local authorized dealer/installers or a factory team of professional installers depending on location and project scope. When you work with Renlita we are with you from concept to completion. Every project is shipped complete based on our project objectives and design criteria.



RENLITA SERIES PRODUCT FEATURES

- Designed and fabricated in the USA for the North American customer and market
- Custom engineered and fabricated door system based on customer specifications and designed around functional models.
- Recycled/Recyclable materials including steel, aluminum and glass.
- Frames and mechanism powder coated – low VOC
- Most projects are turn-key from design to completion including frames, motorization, coatings, hardware and installation to meet your design brief.
- Low lead times based on custom features and specifications
- Renlita Doors Products are eligible for LEED points for the following categories.

LEED Categories

- | | |
|---|--|
| <input checked="" type="checkbox"/> Materials And Resources | <input checked="" type="checkbox"/> Recycled Content |
| <input checked="" type="checkbox"/> Innovation in Design | <input checked="" type="checkbox"/> Regional Materials |
| <input checked="" type="checkbox"/> Daylight and Views | <input checked="" type="checkbox"/> Low-Emitting Materials – Paints and Coatings |

SPECIFICATIONS

Luxury • Elegance • Durability

The frame is constructed from hollow steel sections and designed in accordance with ASTM I 170-1981, ASTM I 250-1980 to withstand wind loading of 10 psf in the closed position and provide minimum deflection in the open position.

Applications

Suitable where minimal internal projection is required.

Operation

Two leaf hinged horizontally, counterbalanced with counterweights under constant suspension. Door movement is controlled by guide roller operating in $2\frac{5}{8}'' \times 2\frac{1}{4}'' \times 2\frac{5}{8}'' \times \frac{1}{8}''$ guide channels.

Size

Maximum height: 20 feet

Maximum width: 32 feet

When Designing an Opening

Ensure the opening is plumb and true. There should be sufficient room at the front and rear of the opening for projection, as well as adequate space for pulley.

Standard Design

Doors are constructed from rectangular hollow steel sections and designed for minimum deflection in the open and closed position. The standard design is based on 10 psf wind load. This may be altered to suit specific requirements, thus the desired wind load must be stated, when specifying this product.

Cladding (Steel)

Doors can be clad with various sheeting materials. Standard Colorbond profiles are commonly used however specialized profiles can be used. Please consult the manufacturer on the use of non standard sections.

Cladding (Glass)

Doors can be partially or fully glazed to meet your design brief. Standard glazing uses $\frac{1}{4}''$ laminated / tempered or 1" insulated safety glass. The use of other glass or glazing material should be referred to the manufacturer due to additional weight, deflection, door design and construction.

Other Cladding

Other available cladding commonly used are metal, composite, wood and stone.

Finishes

Standard finish on frames and channels is powder coat. On glazed doors beading can be clear anodized or powdercoat finish. Custom color matches are available.

Locking

By use of internal padbolts unless otherwise specified. Motorized doors will not be fitted with locks.

Counterweight Covers

The counterweights shall be protected and covered with a removable pressed aluminum sheet to meet design requirements.

For typical drawings and CSI specs visit www.renlitadoors.com



OPTIONAL EXTRAS

Escape and Access Doors

Can be incorporated into door design providing bottom leaf height is sufficient (over 7'). Locking is by a dead bolt unless otherwise specified. Access doors open outward on a S-2000 door.

Motorization

Operation by a ramp and carriage designed for smooth opening and closing. The carriage is driven by an overhead shaft connected to a single phase jackshaft operator that complies with UL 325-2010 requirements.

Renlita Overhead Doors has a continuous program of product development and reserves the right to change specifications at any time without notice.

CONTACT DETAILS

Renlita Doors North America, LLC

Mailing Address: P.O. Box B, Bonham, TX 75418

Shipping Address: 220 E First St, Bonham, TX 75418

Phone: 903.583.7500 | Fax: 903.583.7544

Email: sales@renlitadoors.com

Renlita Doors North America, LLC is a licensee of The ARA Group

Visit our website: www.renlitadoors.com.





Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1302 East Carson Street
Pittsburgh, PA 15203

OWNER:

NAME: Sayer Real Estate
ADDRESS: 1302 East Carson Street
Pittsburgh, PA 15203
PHONE: 412-916-3630
EMAIL: ayhansayer@hotmail.com

STAFF USE ONLY:

DATE RECEIVED: _____
LOT AND BLOCK NUMBER: _____
WARD: _____
FEE PAID: _____

DISTRICT:

APPLICANT:

NAME: Ayhan Sayer
ADDRESS: _____
PHONE: 412-916-3630
EMAIL: ayhansayer@hotmail.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

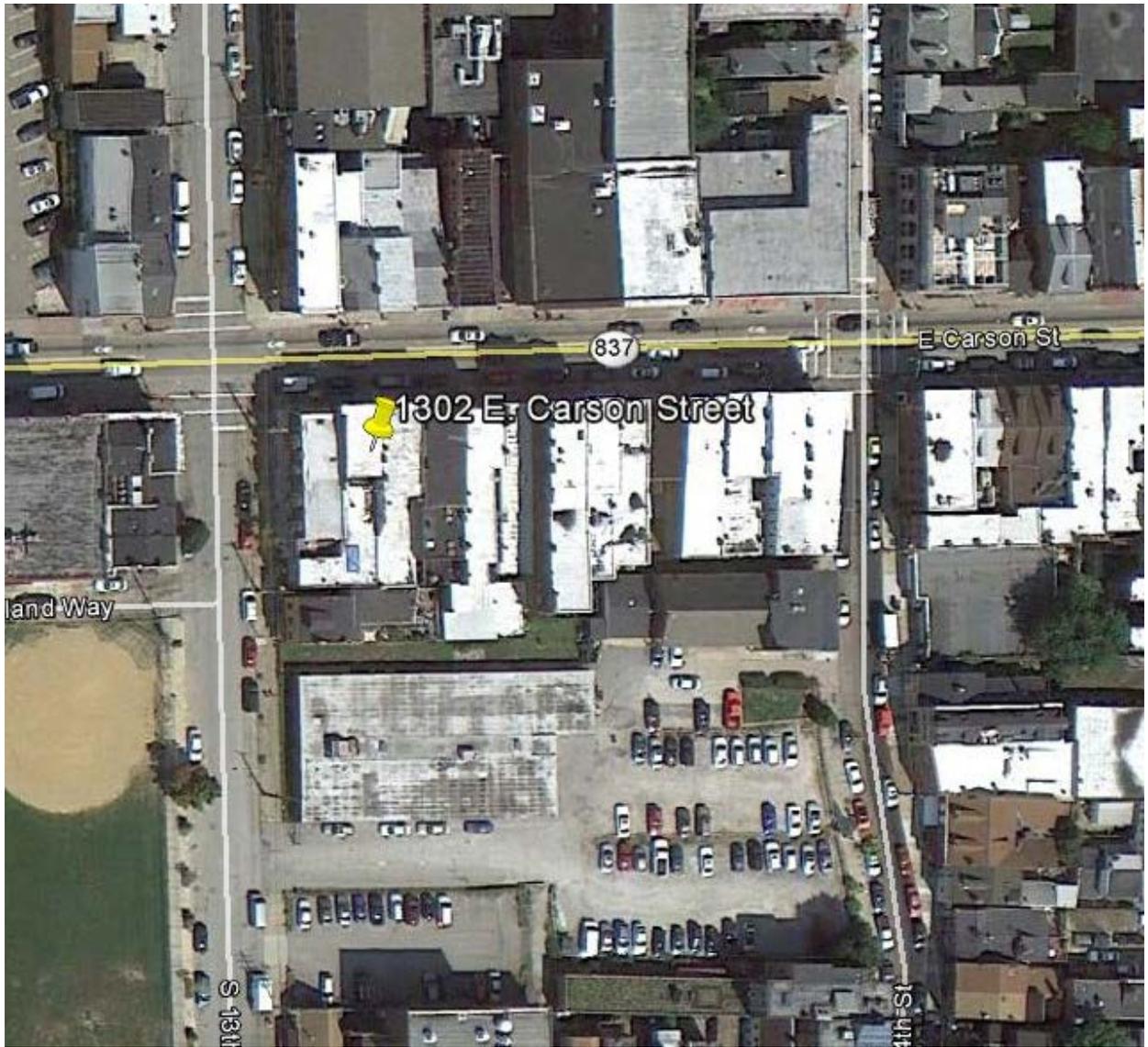
DETAILED DESCRIPTION OF PROPOSED PROJECT:

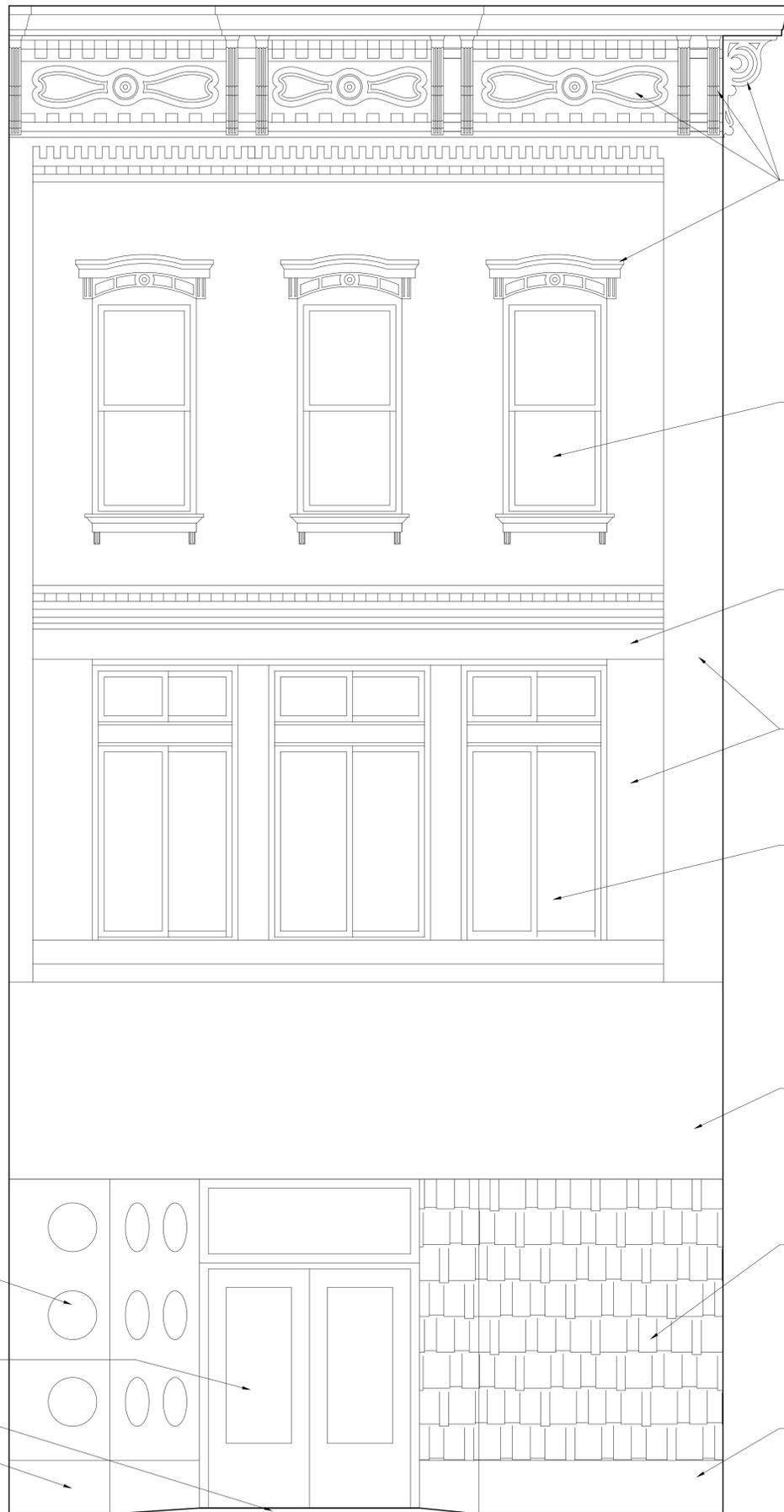
Strip brick of paint, clean and repaint. Replace metal slider and double hung windows with new aluminum clad wood double hung windows. Replace existing stucco/wood shingle storefront with aluminum frame glazed storefront with clearstory windows and new sign panel above.

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: _____ DATE: _____





Scrape paint from all wood surfaces and prep for new primer + paint.

Remove all existing vinyl windows, typ. all upper floor windows.

Scrape paint from all wood surfaces and prep for new primer + paint.

Strip paint from all exposed brick.

Remove all existing vinyl windows, typ. all upper floor windows.

Remove sign panel and wood framing beneath.

Remove wood shingles and wood framing beneath.

Remove wood base.

Remove sheathing and plaster cast medallions.

Remove storefront doors, frame, and transom.

Remove sloped tile floor.

Remove wood base.

2 North Elevation - Demo
1/4" = 1'-0"



1 North Facade - Existing Conditions Photo
NTS

Seal



Facade Renovations

1302 East Carson Street
Pittsburgh, PA 15203

Revisions

Date
02.24.2013

Client
Sayer Real Estate

Project No.
1311.068

Drawing Title
Demo Elevation

Sheet

A5.0



Facade Renovations

1302 East Carson Street
Pittsburgh, PA 15203

Revisions

Date

02.24.2013

Client

Sayer Real Estate

Project No.

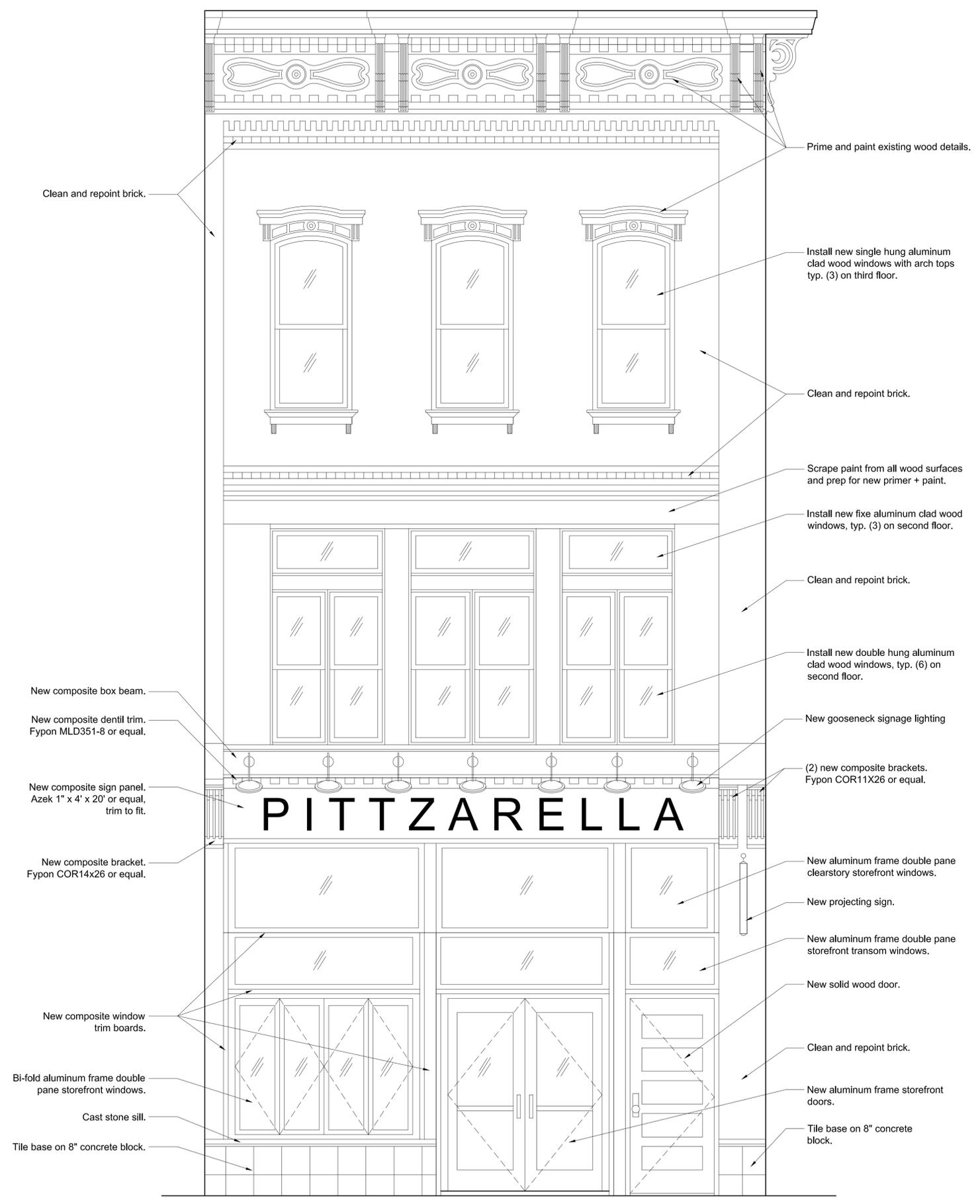
1311.068

Drawing Title

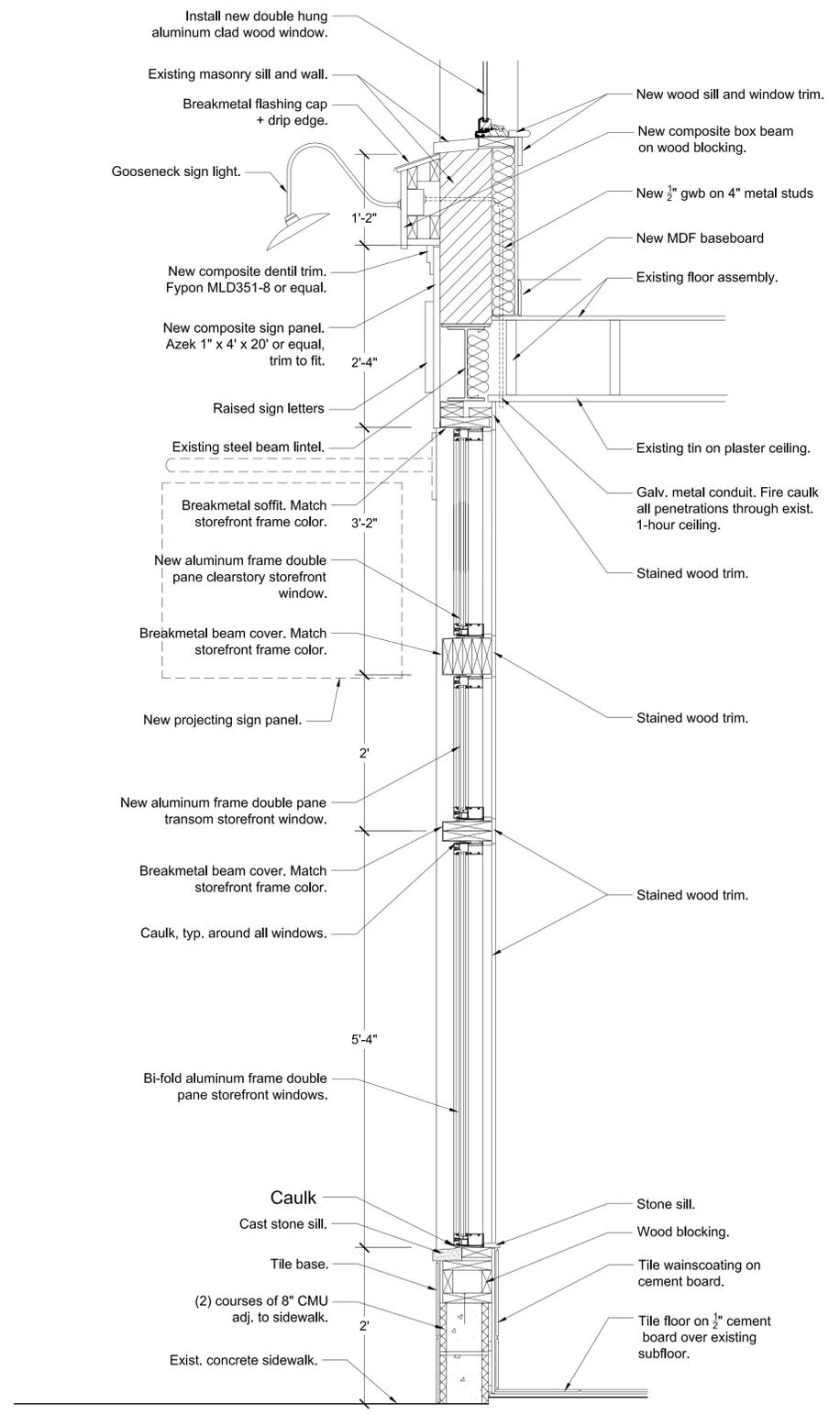
Proposed Elevation

Sheet

A5.1



2 North Elevation - New Construction
1/4" = 1'-0"



1 Wall Section - New Construction
1/4" = 1'-0"



Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1820 East Carson Street

Pittsburgh, PA 15203

OWNER:

NAME: Aspen Holdings III, LLC

ADDRESS: 232 E. 250 South
Valparaiso, IN 46383-7843

PHONE: (407) 234-2778

EMAIL: rhailend@gmail.com

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

East Carson Street

APPLICANT:

Gerald Lee Morosco, AIA
NAME: Gerald Lee Morosco Architects, PC

ADDRESS: 1016 East Carson St.
Pittsburgh, PA 15203

PHONE: (412) 431-4347

EMAIL: glm@glm-architects.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

attached herewith

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: Gerald Lee Morosco, President DATE: 03/14/14
Gerald Lee Morosco Architects, PC



DESCRIPTION OF WORK

1820 East Carson Street – South Side Burger King
Pittsburgh, PA 15203
Lot and Block No: 0012-J-00383

The subject property is a non-contributing and non-conforming structure located within the East Carson Street Historic District. The single story structure was constructed originally as a drive through car wash and converted into a Burger King fast food restaurant with drive-through window service in the early 1980's. Currently, the building exists as it did at the time the East Carson Street Historic District was created in 1993.

When the building was converted from the car wash to a Burger King some efforts were made to historicize the structure with applied wood pilasters and moulding trims over plywood panels – both below and above the first floor window band. All of these applied elements have become deteriorated and are in need of replacement.

There is also a free-standing, double-faced, elevated sign. Wood trim and a mansardesque roof element were added to this structure also to create the impression of an historic element. The original metal sign box from the car wash exists beneath the applied elements. A non-illuminated changeable letter board exists below the elevated sign.

It is proposed to remove all the damaged and deteriorated wood elements from below and above the window band and from the broad horizontal element which serves as a defacto sign board. Those areas between the windows will be refaced with 12" square porcelain ceramic tile up to the window head height. The bulkhead below the windows will be refaced with 6" square porcelain ceramic tile. The area above the windows will be refaced with smooth Hardie Board, butt jointed and painted.

At the "sign board" the wood pilaster trim elements will be removed from the face of the brick masonry. The horizontal portion inset between the two brick pier elements will be refaced with smooth Hardie Board and painted. A simple horizontal cornice element will cap the "sign board." Eighteen Inch (18") high dimensional letters will be pin mounted to the "sign board" as indicated in the drawings. The "sign board" will be illuminated with a discreet, lineal LED sign lighting fixture.

At the right most brick pier – a three foot diameter (36") logo element will be installed with lighting via a single head LED fixture.

The existing metal railing which defines an outdoor patio dining area and a planting area beneath the elevated sign will be replaced with 48" high aluminum fencing in keeping with fencing approved previously by the HRC at various locations in the East Carson Street Historic District. The fencing will also be installed at the sidewalk edge of the planting area to the right of the curb cut into the surface parking lot. There is an existing curb which defines that planting area from the sidewalk.

Page 02 of 02

DESCRIPTION OF WORK

1820 East Carson Street – South Side Burger King

Pittsburgh, PA 15203

Lot and Block No: 0012-J-00383

At the elevated sign we proposed to remove the accretion of wood trim and mansardesque roof element down to the original sign box. That box will be refaced with smooth Hardie Board and painted. The existing, non-illuminated changeable letter board will be framed with painted trim as indicated on the drawings. The upper sign will be illuminated with the same, discreet lineal LED sign board fixture.

Concealed linear LED lighting will be installed in the soffit area below the upper sign to illuminate the faces of the changeable letter board.

LOCATION PLAN

Alterations to:
BURGER KING
1820 East Carson Street
Pittsburgh, Pennsylvania 15203

PROJECT NO. 01405.00 13 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.
1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used
without prior expressed written consent of Gerald Lee Morosco Architects, P.C.



CONTEXT PHOTOS

Alterations to:
BURGER KING
1820 East Carson Street
Pittsburgh, Pennsylvania 15203

PROJECT NO. 01405.00 13 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.
1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used without prior expressed written consent of Gerald Lee Morosco Architects, P.C.



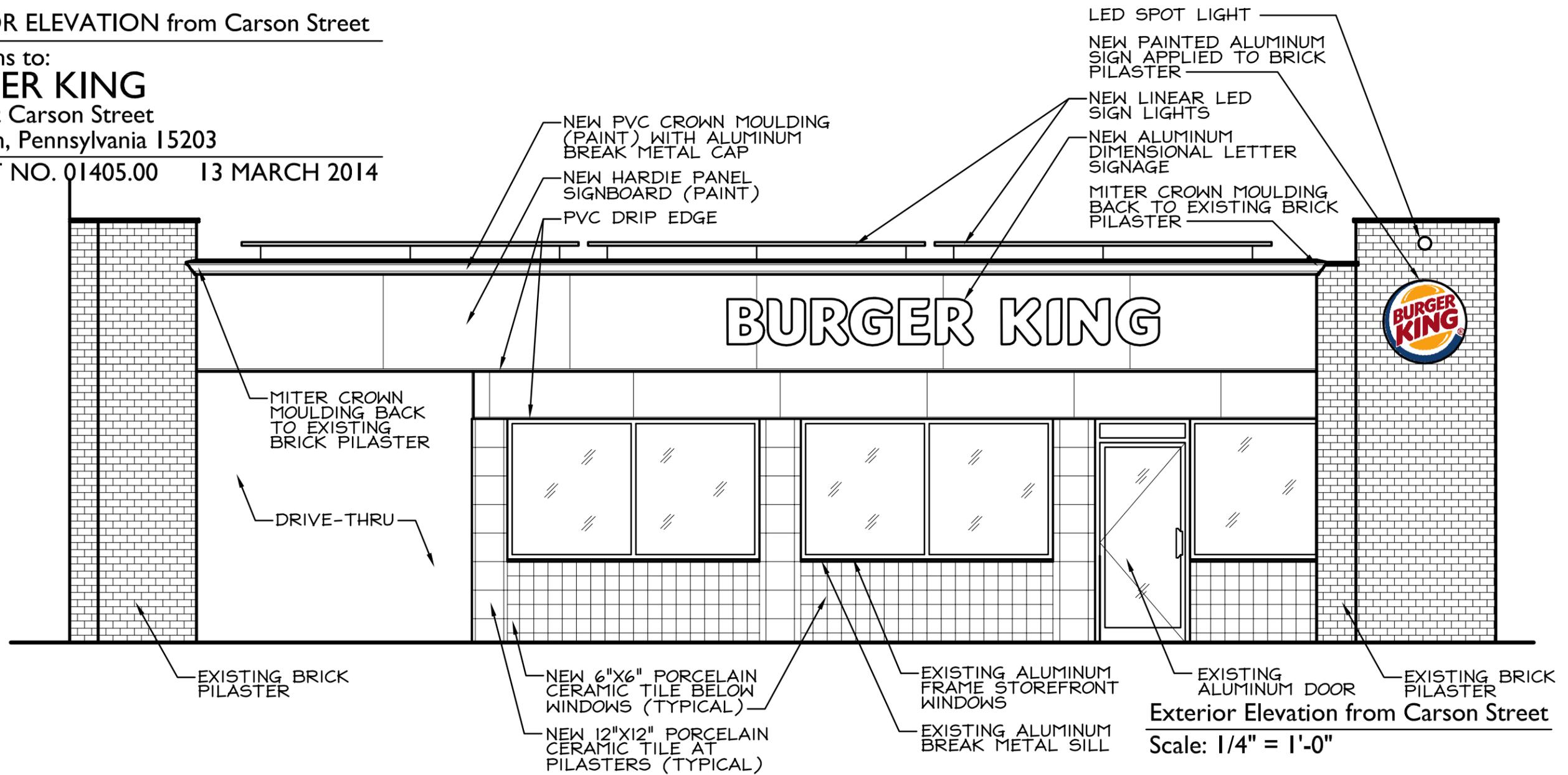
EXTERIOR ELEVATION from Carson Street

Alterations to:

BURGER KING

1820 East Carson Street
Pittsburgh, Pennsylvania 15203

PROJECT NO. 01405.00 13 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.

1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used without prior expressed written consent of Gerald Lee Morosco Architects, P.C.

EXTERIOR ELEVATION from parking lot

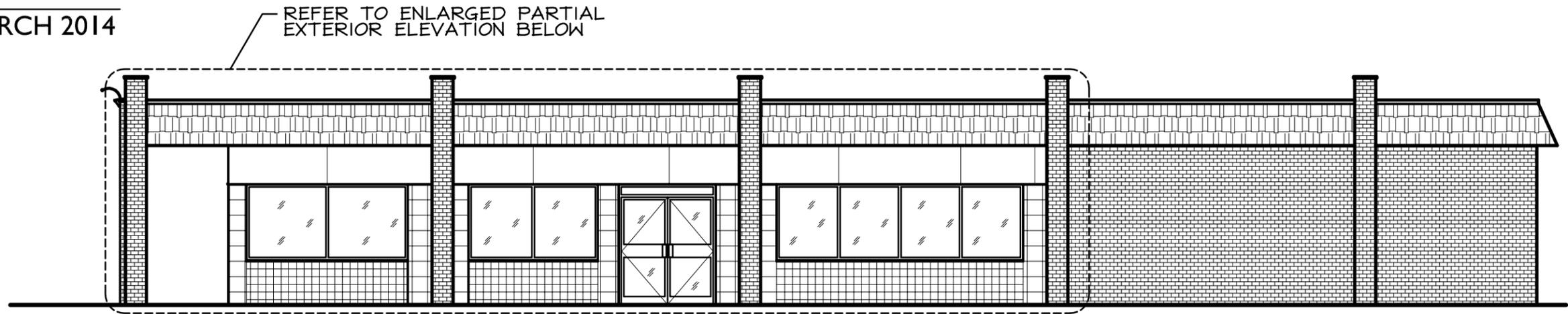
Alterations to:

BURGER KING

1820 East Carson Street

Pittsburgh, Pennsylvania 15203

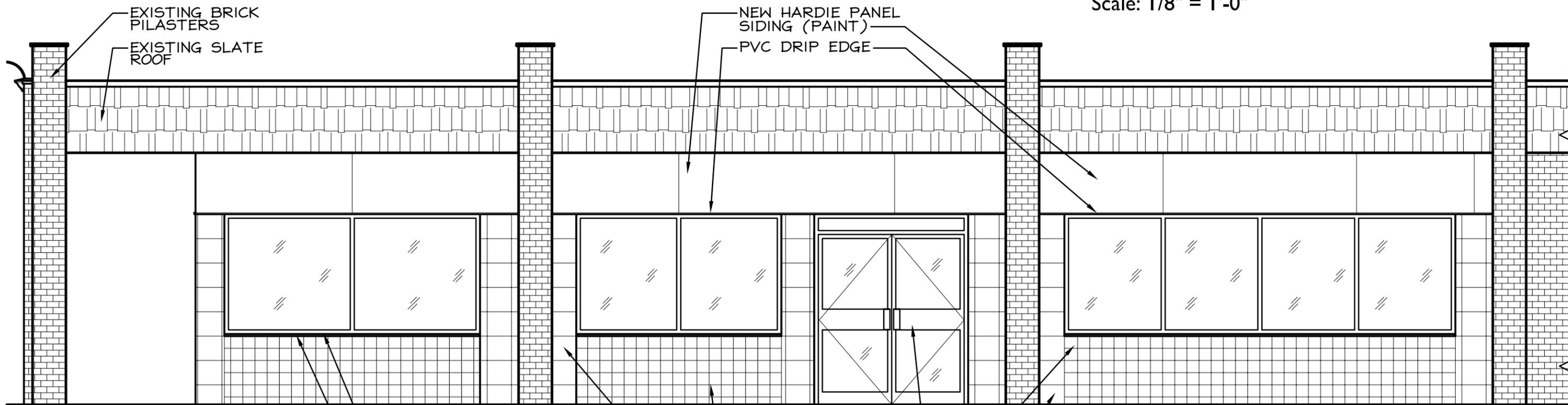
PROJECT NO. 01405.00 13 MARCH 2014



REFER TO ENLARGED PARTIAL EXTERIOR ELEVATION BELOW

Exterior Elevation from parking lot

Scale: 1/8" = 1'-0"



EXISTING BRICK PILASTERS

EXISTING SLATE ROOF

NEW HARDIE PANEL SIDING (PAINT)

PVC DRIP EDGE

EXISTING ALUMINUM FRAME STOREFRONT WINDOWS

EXISTING ALUMINUM BREAK METAL SILL

EXISTING ALUMINUM DOORS

NEW 6"X6" PORCELAIN CERAMIC TILE BELOW WINDOWS (TYPICAL)

NEW 12"X12" PORCELAIN CERAMIC TILE AT PILASTERS (TYPICAL)

Enlarged Partial Exterior Elevation from parking lot

Scale: 1/4" = 1'-0"



GERALD LEE MOROSCO ARCHITECTS, P.C.

1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used without prior expressed written consent of Gerald Lee Morosco Architects, P.C.

FREESTANDING SIGN MODIFICATIONS

Alterations to:

BURGER KING

1820 East Carson Street

Pittsburgh, Pennsylvania 15203

PROJECT NO. 01405.00

13 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.

1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used without prior expressed written consent of Gerald Lee Morosco Architects, P.C.



EXISTING FREESTANDING SIGN

NEW LINEAR LED SIGN LIGHT AT EACH SIDE OF EXISTING SIGN

NEW PVC CROWN MOULDING (PAINT) WITH ALUMINUM BREAK METAL CAP

REMOVE EXISTING SLATE ROOF STRUCTURE

REMOVE EXISTING LIGHT FIXTURES

REMOVE EXISTING PLYWOOD FACING AND MOULDINGS INSTALLED OVER ORIGINAL SIGN BOX

WRAP ORIGINAL SIGN BOX WITH 1/4" HARDIE PANELS (PAINT)

APPLIED VINYL GRAPHIC

INSTALL PVC DRIP EDGE AT BASE OF HARDIE PANELS (PAINT)

WRAP EXISTING MENU BOARD FRAME WITH 1X4 PVC TRIM (PAINT)

CONCEALED LED SIGN LIGHTS

REMOVE EXISTING METAL FENCE AND REPLACE WITH 48" TALL ALUMINUM FENCE

PROVIDE NEW LANDSCAPING AT EXISTING PLANTING BED



PROPOSED MODIFICATIONS (TYPICAL BOTH SIDES)

SITE PLAN

Alterations to:

BURGER KING

1820 East Carson Street

Pittsburgh, Pennsylvania 15203

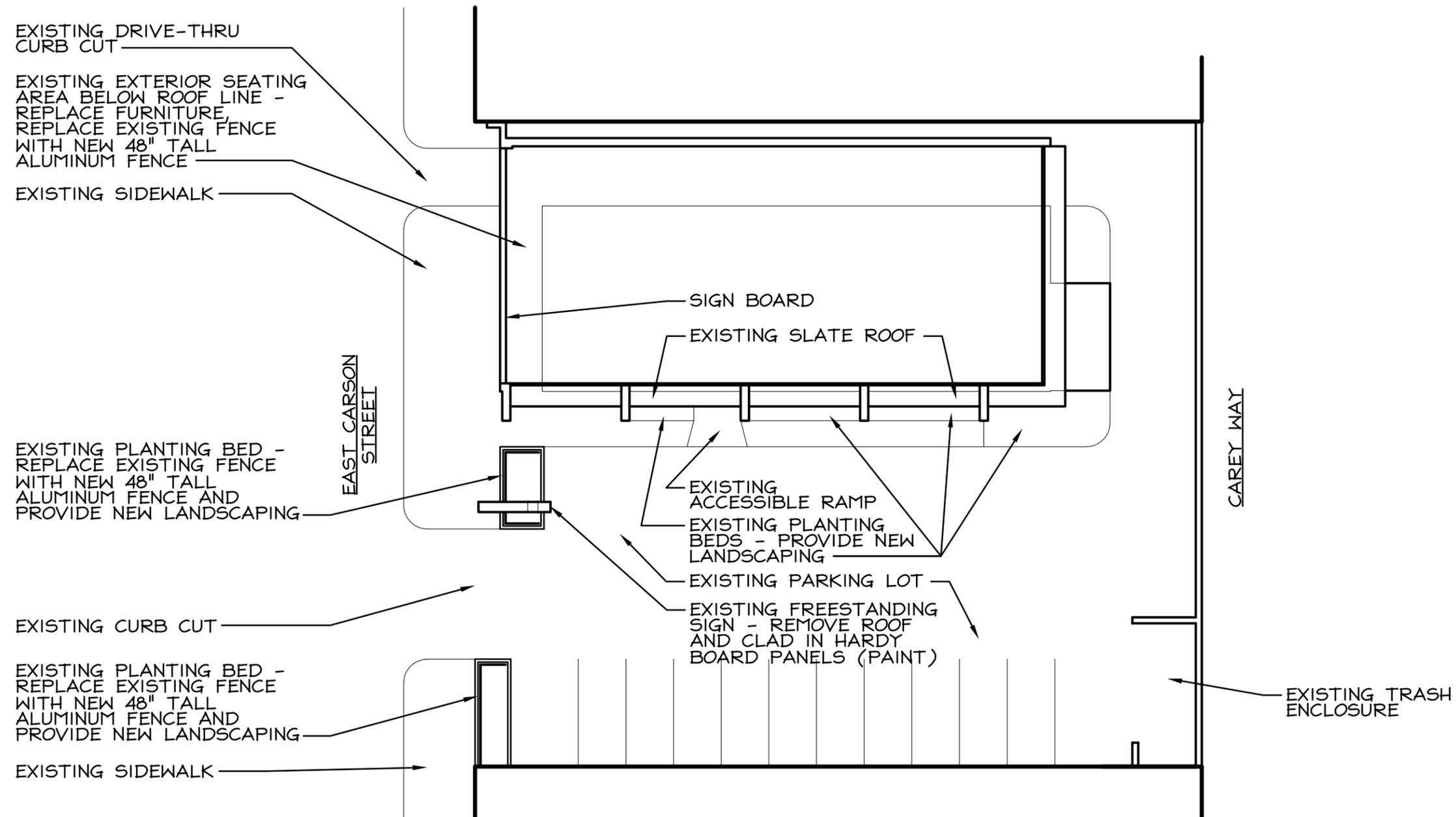
PROJECT NO. 01405.00 13 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.

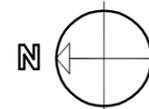
1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used
without prior expressed written consent of Gerald Lee Morosco Architects, P.C.



PARTIAL SITE PLAN

Scale: 1/8" = 1'-0"





Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

60 South 15th Street

Pittsburgh, PA 15203

OWNER:

NAME: Christopher Beech

ADDRESS: 60 South 15th Street
Pittsburgh, PA 15203

PHONE: (412) 390-3590

EMAIL: chris@thickbikes.com

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

East Carson Street

APPLICANT:

Gerald Lee Morosco, AIA
NAME: Gerald Lee Morosco Architects, PC

ADDRESS: 1016 East Carson Street
Pittsburgh, PA 15203-1110

PHONE: (412) 431-4347

EMAIL: glm@glm-architects.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

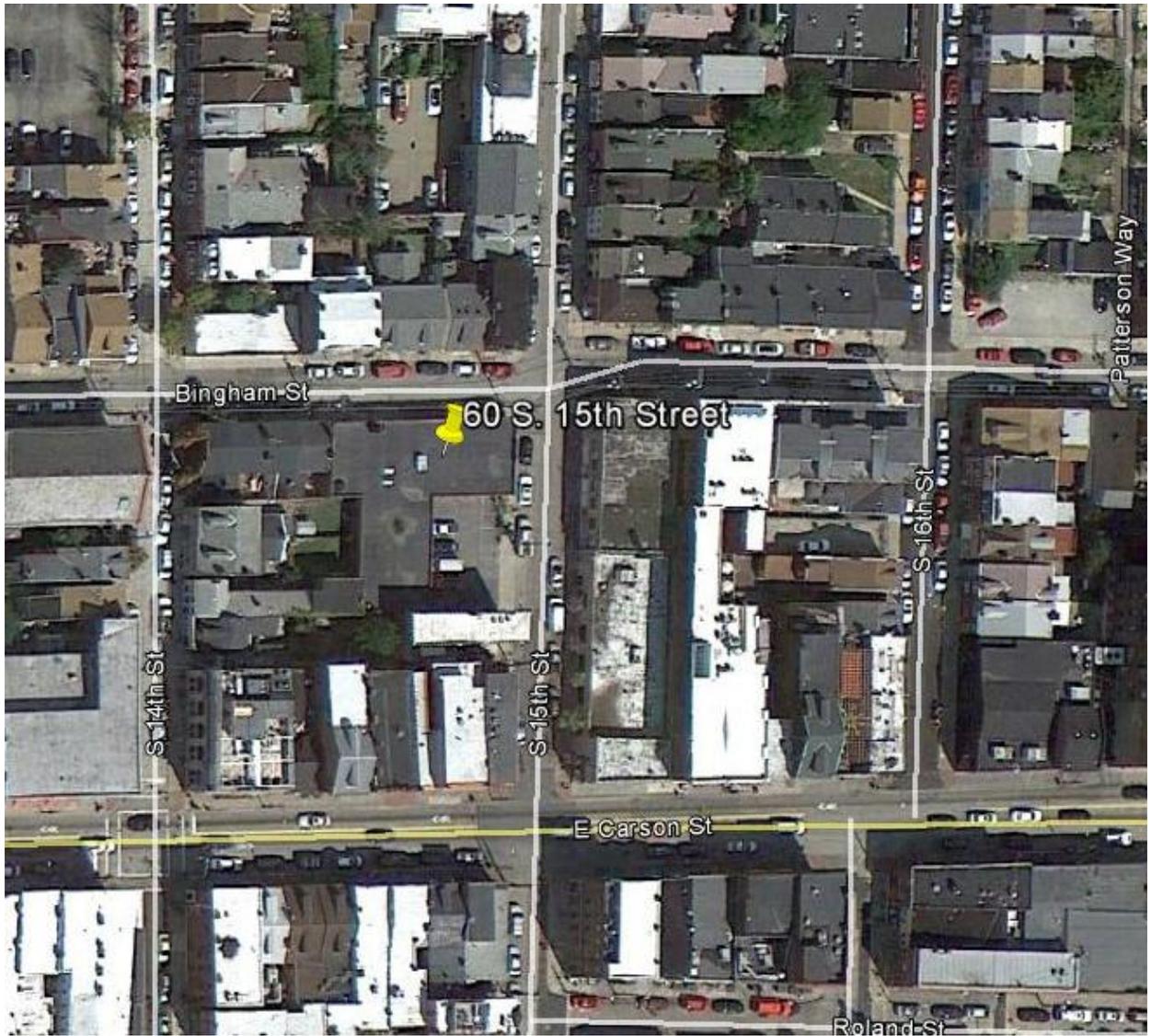
See attached

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: _____ DATE: 03/14/14

Gerald Lee Morosco, President
Gerald Lee Morosco Architects, PC



LOCATION PLAN AND PHOTOS

Alterations and Addition to:

THICK BIKES

60 South 15th Street and 1408 Bingham Street
Pittsburgh, Pennsylvania 15203

PROJECT NO. 01207.00 13 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.
1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used without prior expressed written consent of Gerald Lee Morosco Architects, P.C.



CONTEXT PHOTOS

Alterations and Addition to:

THICK BIKES

60 South 15th Street and 1408 Bingham Street
Pittsburgh, Pennsylvania 15203

PROJECT NO. 01207.00 13 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.
1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used
without prior expressed written consent of Gerald Lee Morosco Architects, P.C.



EXTERIOR ELEVATION from 15th Street

Alterations and Addition to:

THICK BIKES

60 South 15th Street and 1408 Bingham Street
Pittsburgh, Pennsylvania 15203

PROJECT NO. 01207.00 13 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.

1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used
without prior expressed written consent of Gerald Lee Morosco Architects, P.C.

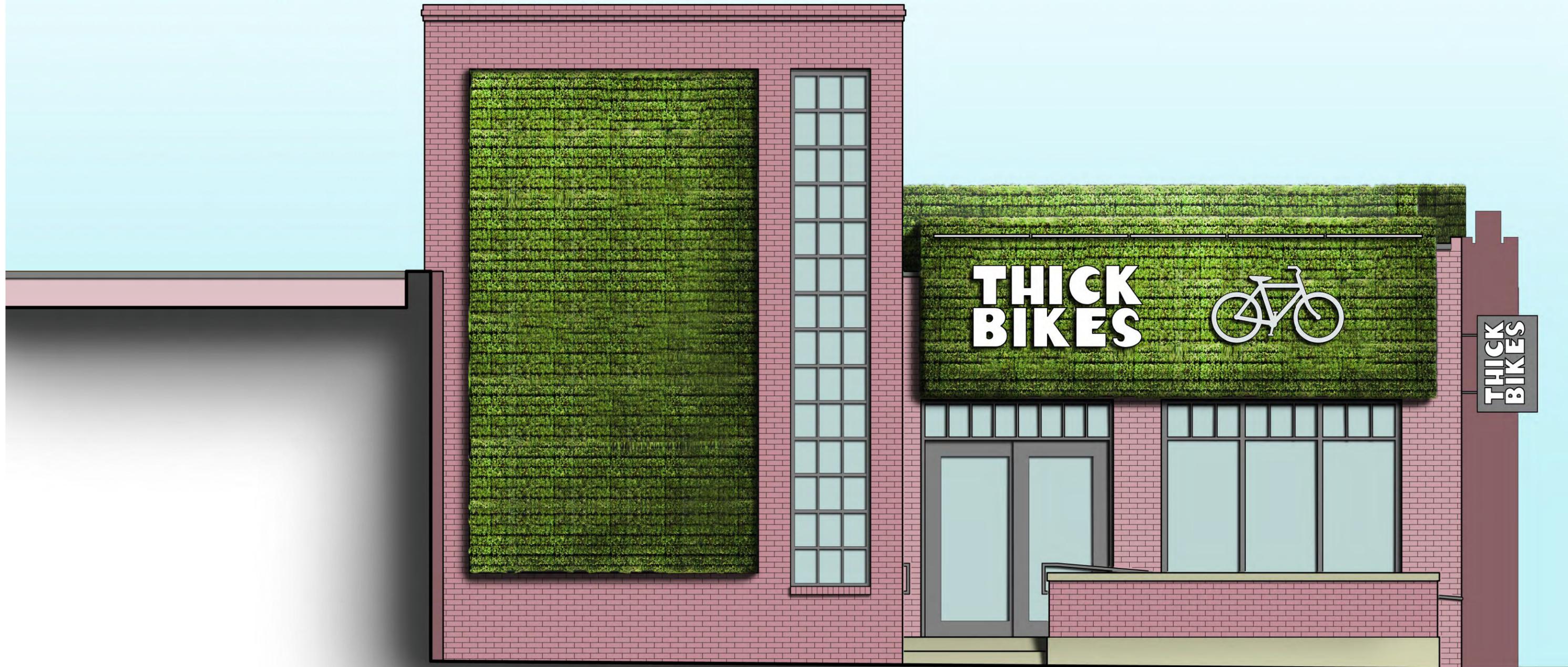
EXTERIOR ELEVATION from Parking Area

Alterations and Addition to:

THICK BIKES

60 South 15th Street and 1408 Bingham Street
Pittsburgh, Pennsylvania 15203

PROJECT NO. 01207.00 13 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.

1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.
This drawing is an instrument of service and is not to be reproduced or used
without prior expressed written consent of Gerald Lee Morosco Architects, P.C.

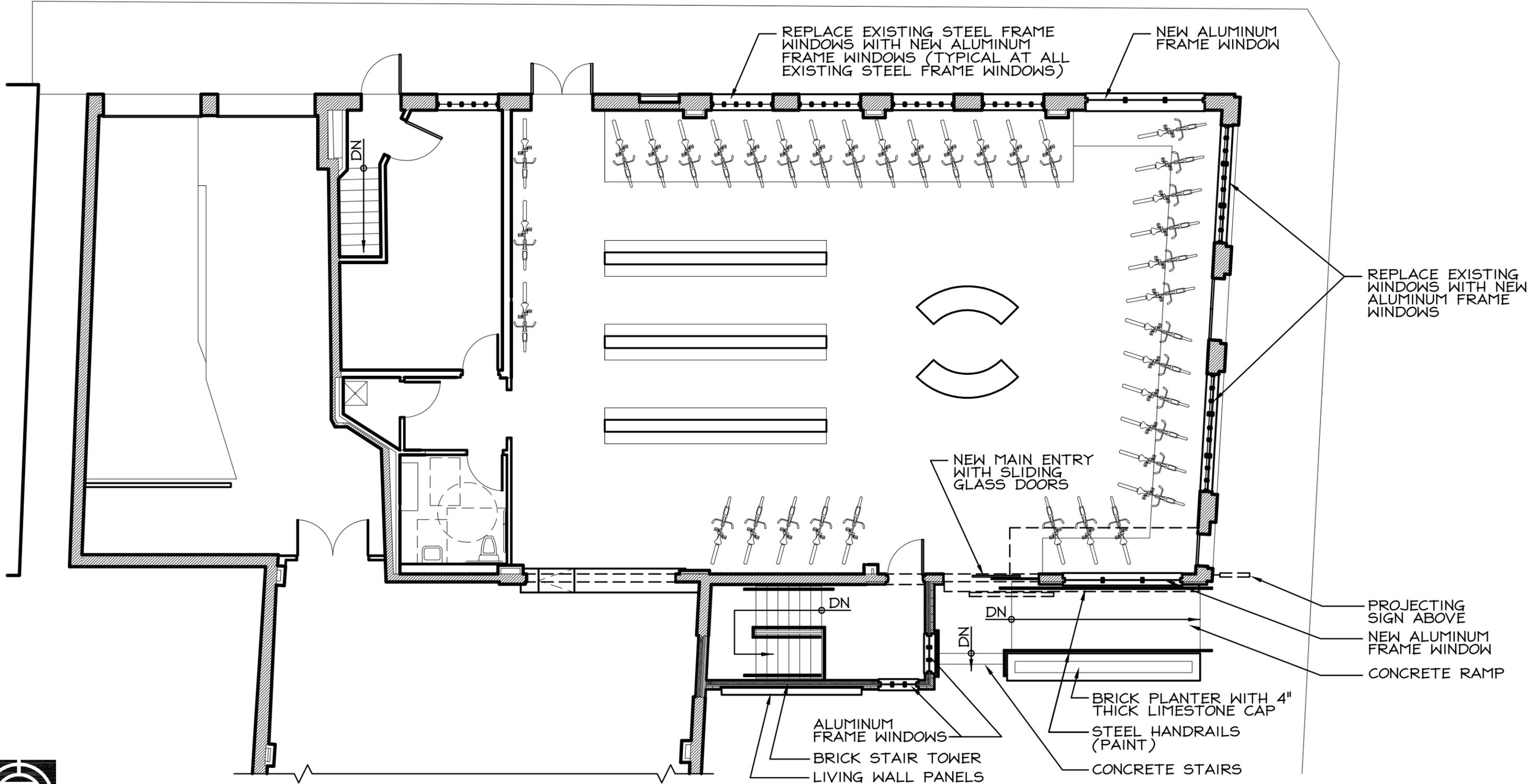
PARTIAL FLOOR PLAN

Alterations and Addition to:

THICK BIKES

60 South 15th Street and 1408 Bingham Street
Pittsburgh, Pennsylvania 15203

PROJECT NO. 01207.00 13 MARCH 2014



GERALD LEE MOROSCO ARCHITECTS, P.C.

1016 EAST CARSON STREET PITTSBURGH, PA 15203
T: [412] 431-4347 F: [412] 431-2667 WWW.GLM-ARCHITECTS.COM

© 2014 GERALD LEE MOROSCO ARCHITECTS, P.C.

This drawing is an instrument of service and is not to be reproduced or used without prior expressed written consent of Gerald Lee Morosco Architects, P.C.



8300 Series Historical Fixed and Projected Aluminum Windows



Historically accurate preservation demands more than just a nod to the architectural vernacular - Respectful restoration calls for replication of character-defining features. Narrow sightlines, true divided lite muntin grids, and strict attention to detail set apart the fenestration of landmark structures - Then, and now.



by Wausau

Custom
Window™

Features

- Fluted, stepped "T", beveled or ogee perimeter glazing rebates to match existing putty-glazed windows
- AAMA AW-100 Architectural Performance Class - Grids designed for project-specific wind loads
- 3-1/2" frame depth with polyurethane or polyamide thermal barrier (8300i Series)
- Welded frame and true muntin grid construction, corner-blocked and hydraulically crimped vents
- 0.094" extrusion wall thickness
- Fixed; in- or out-swing casement (pictured); top-hinged, awning or hopper vents
- Custom profiles can be designed for panning, perimeter framing or muntins

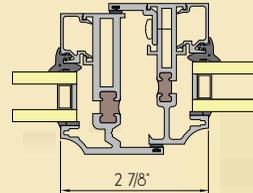
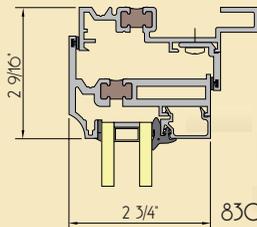
8300 Series Historical

Fixed and Projected Aluminum Windows

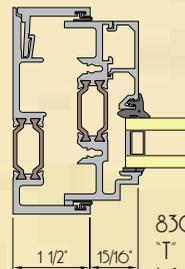
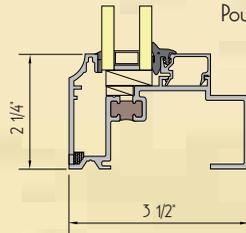


Options

- Optional between-glass blinds with 5/8" aluminum slats
- Extra-wide thermal barrier (8300i) option for energy savings and condensation resistance
- Dual-color frame finishes
- Applied muntin grids optional at exterior, interior and/or between glass
- Panning systems with "T" mullions to echo existing profiles
- Head, jamb and sill receptors with stacking mullions
- More than 30,000 color choices in ultra-low VOC paints, or VOC-free anodize finishes
- Frosty matte eco-friendly anodize is ideal for recycled aluminum - Patina-free copper anodize available



8300 Series
Fluted Profile
Poured Thermal



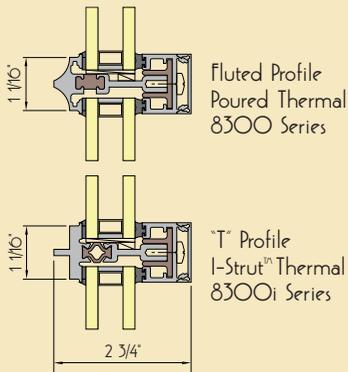
8300i Series
"T" Profile
I-Strut™ Thermal

Test results may vary with size, grids and hardware used.

Allowable Air	Water	NFRC U-Factor	CRF _f	STC
0.10 cfm/sqft at 6.24 psf	12 psf	0.38 to 0.73 BTU/hr.sqft.°F (est.)	43 to 58 (est.)	31 to 40 26 to 33 OITC

True Divided Lite Muntin Grids

Glassmaking technology in the years prior to World War II limited the size of individual glass lites, mitigating the use of putty-glazed muntin grids. Only true divided lite (TDL) design can reproduce this aesthetic with the fidelity required for rigorous historical preservation. For more than 30 years, Custom Window has been matching the appearance of existing sash in the nation's most prestigious landmarks.



- 1-1/16" sightline at thermal barrier muntins
- 7/8" sightline at non-thermal barrier muntins
- Interior access for re-glazing standard, outside glazed options available
- Requires only small, low-cost replacement insulating glass units in case of vandalism
- Factory-applied silicone cap beads at exterior, glazing rebates drained to base
- Complies with industry standard deflection limits - Reduced glass bite and edge clearance for minimum sightline
- TDL muntin grids will affect NFRC U-Factor - Check local codes for historical building requirements

www.customwindow.com

Download comprehensive details, specifications and product performance information.

 Custom Window™
by Wausau



"Custom Window" is a trademark of Apogee Wausau Group, Inc.
All rights reserved. © 2013 Apogee Wausau Group, Inc.

Featured Projects:

On the Cover:

The Palladian
San Diego, California
Walt Smyk Development

Inside right:

Manchester Street Power Station
Providence, Rhode Island
William Warner & Robinson Green Bereta, Architects

There's a reason so many of our nation's most important buildings, from art museums to elementary schools have Wausau windows...

For more than 55 years, Wausau has set the standard for performance, quality and ease of installation.

Wausau engineering professionals ensure that each building's windows are right for its needs, such as pre-engineered school windows, architectural grade hospital windows or customized, historically accurate replacements.

Wausau supports your sustainable design goals, and offers an industry-leading product warranty of up to 10 years.



2727 South Santa Fe Drive Englewood, CO 80110
Toll Free 1 800 255 1820 Fax 1 303 722 1993
email info@wausauwindow.com
customwindow.com



7800 International Drive Wausau, WI 54401
Toll Free 1 877 678 2983 Fax 1 715 843 4350
email info@wausauwindow.com
wausauwindow.com

Tournesol VGM®

A modular living wall system designed for the life of the building

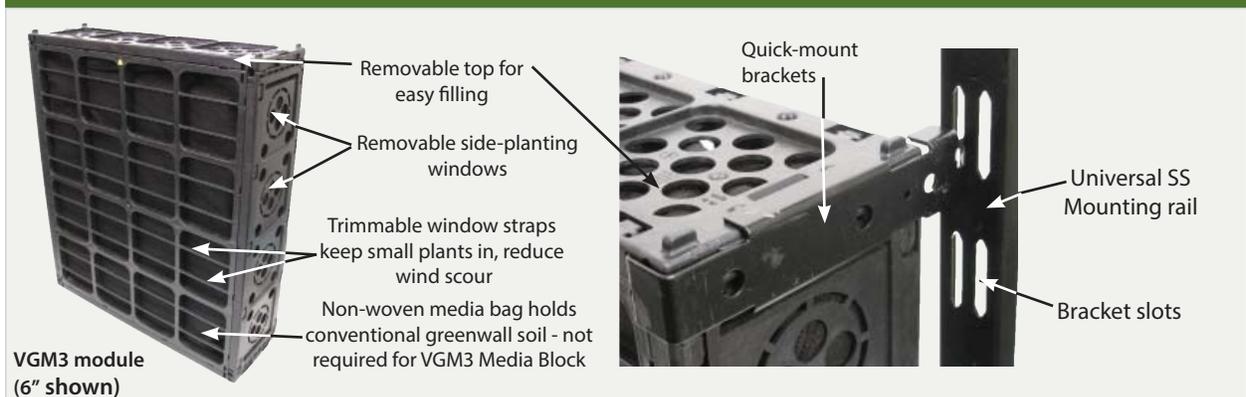
The VGM3® is a 100% recycled plastic planting module, attached to stainless steel rails mounted to a wall or structure. Once grown in it provides instant, complete coverage of any vertical surface. A wide, controllable variety of plants can be used in nearly any horticultural condition. Modules are available with an optional stabilized growing media for peak plant performance.

Each planting module is available with a 4" or generous 8" soil profile. Because root growth isn't limited by restricting cells or baffles, plants grow healthier and stronger. Stainless steel hanging brackets need no screws or fasteners, install quickly on planted modules, and allow for removal and maintenance off-site. The rails carry the load, and are mounted to either the wall or a framed sub-structure.



Fashion Valley Mall
San Diego, CA

- Modular coverage allows for easy, off-site maintenance
- The only system with up to 8" of soil profile
- Optional VGM3 Media Blocks provide optimal performance of the VGM system
- 100% post-consumer recycled plastic and stainless brackets for longevity



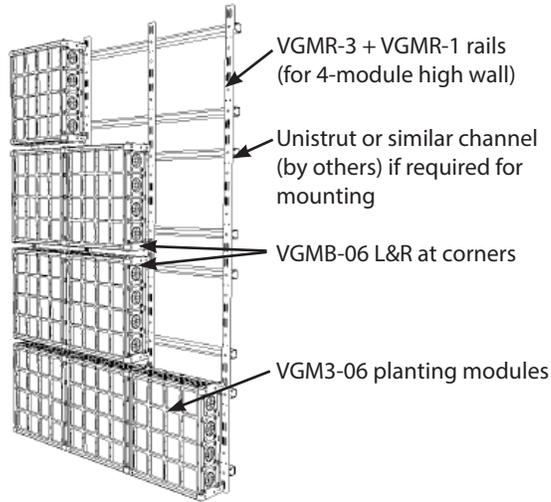
For more information about Tournesol VGM, visit www.tournesolsiteworks.com/products/gr_vgm.asp



Tournesol
SITEWORKS

tournesolsiteworks.com
800.542.2282

The Tournesol VGM® system



VGM Modules during grow-in (shown tilted at 45°)

Specifying VGM®

Tournesol VGM® is installed with Tournesol's optional VGM3 Media Block (see below), or a lightweight, mostly inorganic planting media. Organic components should comprise no more than 10% of the mix by volume, and the saturated media should weigh no more than 50 lbs/cu. ft. Automatic irrigation with integrated fertilization is highly recommended. Consult with a local horticulturalist for plant choices. Tournesol Siteworks has a design consultation service available should it be required. Simply ask your salesperson for details.

VGM3 Living Wall Modules

Part No.	Overall Dimensions	Soil Profile	Media Volume	Empty Weight	Full Saturated Weight (w/ VGM Media Block)	Full Sat. Weight (w/ 50 lb/cu ft media)
VGM3-06	19-5/8"W x 22"H x 6"D	4"	0.85 cu. ft.	5 lbs.	37.0 lbs.	47.5 lbs.
VGM3-10	19-5/8"W x 22"H x 10"D	8"	1.63 cu. ft.	7 lbs	70.0 lbs.	88.5 lbs.

VGM3 Brackets

Part No.	Description	Weight
VGMB-06 L&R	Powder coated SS304 brackets for VGM3-06 module, 2-L & 2-R required per module	6 lbs. (for all 4)
VGMB-10 L&R	Powder coated SS304 brackets for VGM3-10 module, 2-L & 2-R required per module	10 lbs (for all 4)

VGM3 Rails

Part No.	Description
VGMR-1	SS304 mounting rail to hold 1 module - 1-1/2"W x 5/8"D x 23-1/2"L - use as end or middle rail
VGMR-2	SS304 mounting rail to hold 2 modules - 1-1/2"W x 5/8"D x 47-1/4"L - use as end or middle rail
VGMR-3	SS304 mounting rail to hold 3 modules - 1-1/2"W x 5/8"D x 70-7/8"L - use as end or middle rail



Tournesol
SITEWORKS

tournesolsiteworks.com
800.542.2282

Tournesol VGM3 Media Blocks



VGM3 Media Block

These stabilized media blocks are engineered to be the perfect complement to the VGM modular living wall system. The organic base material creates a sponge-like block that fits perfectly into a VGM module. The polymer blend eliminates the need for a media bag, holds together in inclement weather, and won't fall out the face of the module.

Each block weighs approx. 3 lbs when dry, holds up to five times its weight in water, yet is still lighter than nearly any other engineered soil mix. The media is designed to provide an optimal balance of moisture and aeration to the roots of the plants, ensuring fast grow-in, consistent irrigation, laterally-developing root systems, and maximum cation exchange rates. Enhanced with several natural biological and disease-preventing additives, the block will support plant growth for years.

VGM3 Media Block

Part No.	Description	Dimensions	Weight Dry	Weight Saturated
VGM3-MB4	Stabilized media block for VGM modules 2 per VGM3-06, 4 per VGM3-10 module	20.5"L x 9"W x 4"H	3 lbs. ea.	16 lbs. ea.



BETWEEN LANDSCAPE
+ ARCHITECTURE



Tournesol
SITEWORKS

tournesol^siteworks.com
800.542.2282

VGM1113
©2013,
Tournesol Siteworks



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1111 Liverpool St
 Pittsburgh, PA 15233

OWNER:

NAME: Patricia Juliano
 ADDRESS: 1111 Liverpool St
 Pittsburgh, PA 15233
 PHONE: 412-897-3039
 EMAIL:

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

Manchester
 Historic District

APPLICANT:

NAME: Sears Home Improvement
 ADDRESS: PO Box 522290, 1024 Florida Ct Plw
 Longwood FL 32750
 PHONE: 800-469-4663
 EMAIL: debbie.smith@strategicsignage.com

REQUIRED ATTACHMENTS:

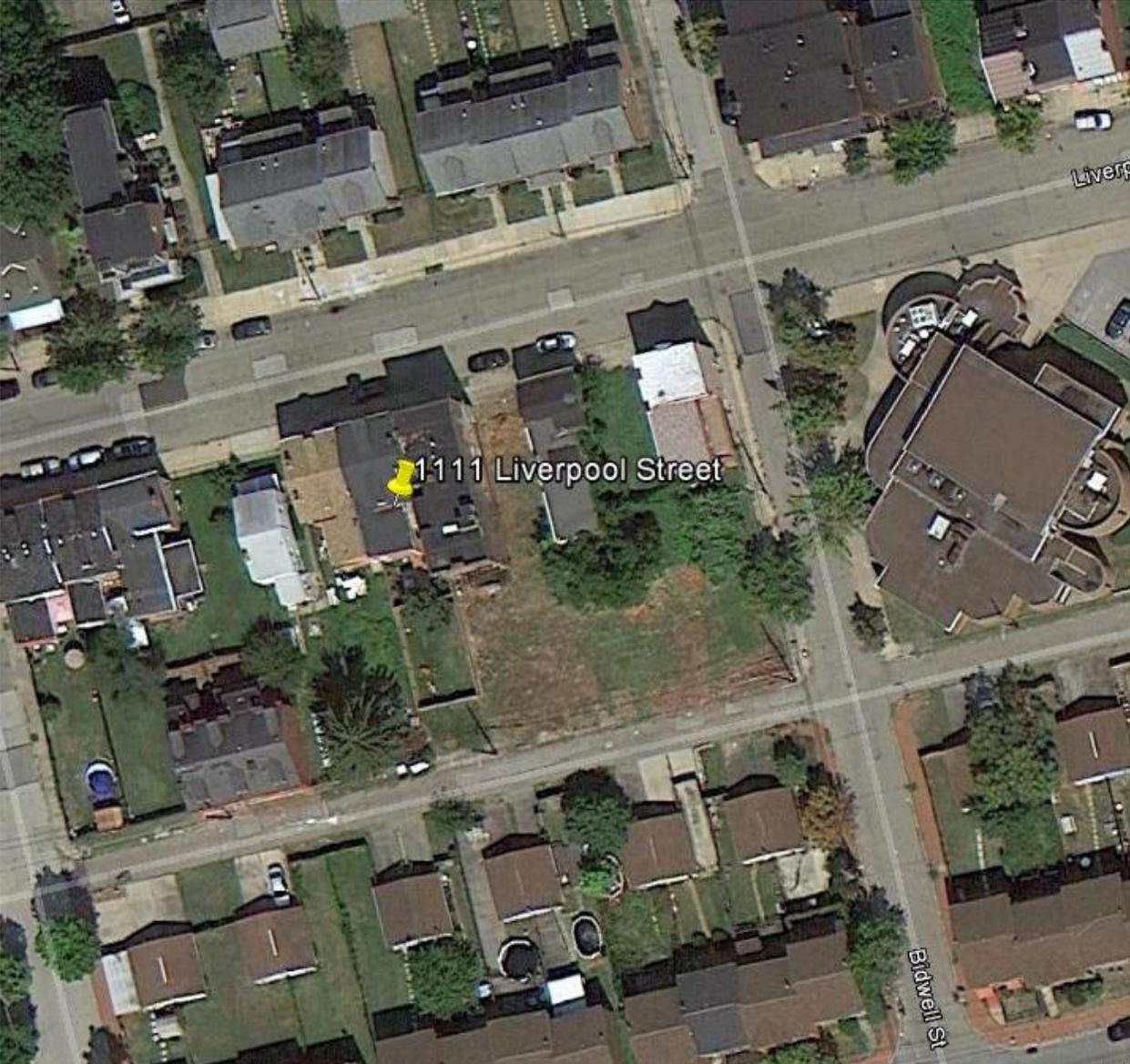
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Replacement of front door in the Historic District

SIGNATURES:

OWNER: _____ DATE: _____
 APPLICANT: Robert L. Keyser _____ DATE: 3/4/14



1111 Liverpool Street

Liverp

Bidwell St

Juliano Door



PRODUCT OPTIONS:

- French (Double) Entry Door
- Smooth Steel
- Full Wood Frame
- 72" Width
- 6" Frame Depth
- LT Hand Inswing-Right Door Act- ISLO
- Custom Height
- 6 Panel Embossed Door Style
- Rustic Bronze Outside
- Rustic Bronze Inside
- Antique Brass Hardware Finish
- Standard (Non Lifetime) Hardware Finish
- Accent Handle
- Touchpad Deadbolt
- Peepsite
- Magazine Slot
- Kickplate
- Rustic Bronze Cladding
- 2-1/2 Modern Casing
- Poplar Casing
- Rustic Bronze Casing

PRODUCT PRICE:

- Base Price	\$5,240.00
- Magazine Slot	\$130.00
- Kickplate	\$210.00
- Schlage Accent Lockset	\$70.00
- Electronic Keypad Deadbolt	\$385.00
- Frame Extensions	\$100.00
- Custom Size	\$240.00
TOTAL	\$6,375.00

Note: Due to variances in trim size, color, and manufacturing process, images shown here may vary from the final product.



Sears

Job Name: 16867481-2-25-2014-2060









Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

Benedum Trees Building
 221 Fourth Avenue, Floors 18 & 19

aka (225 Fourth Ave)

OWNER:

NAME: William Benter
 ADDRESS: 2901 Smallman Street, Apt 5D
 Pittsburgh, PA 15201
 PHONE: 412/209.1380
 EMAIL: bill@benter.net

STAFF USE ONLY:

DATE RECEIVED: 3/14/14
 LOT AND BLOCK NUMBER: 1-H-181-0018, 0019

WARD: 1st

FEE PAID: yes

DISTRICT:

Market District

APPLICANT:

NAME: Stephen Mrdjenovich - GBBN Architects
 ADDRESS: 5411 Penn Avenue
 Pittsburgh, PA 15206
 PHONE: 412/345.5005
 EMAIL: smrdjenovich@gbbn.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Upgrades to existing roof deck, awning, and cement siding on the 19th floor of the Benedum Trees Building.

SIGNATURES:

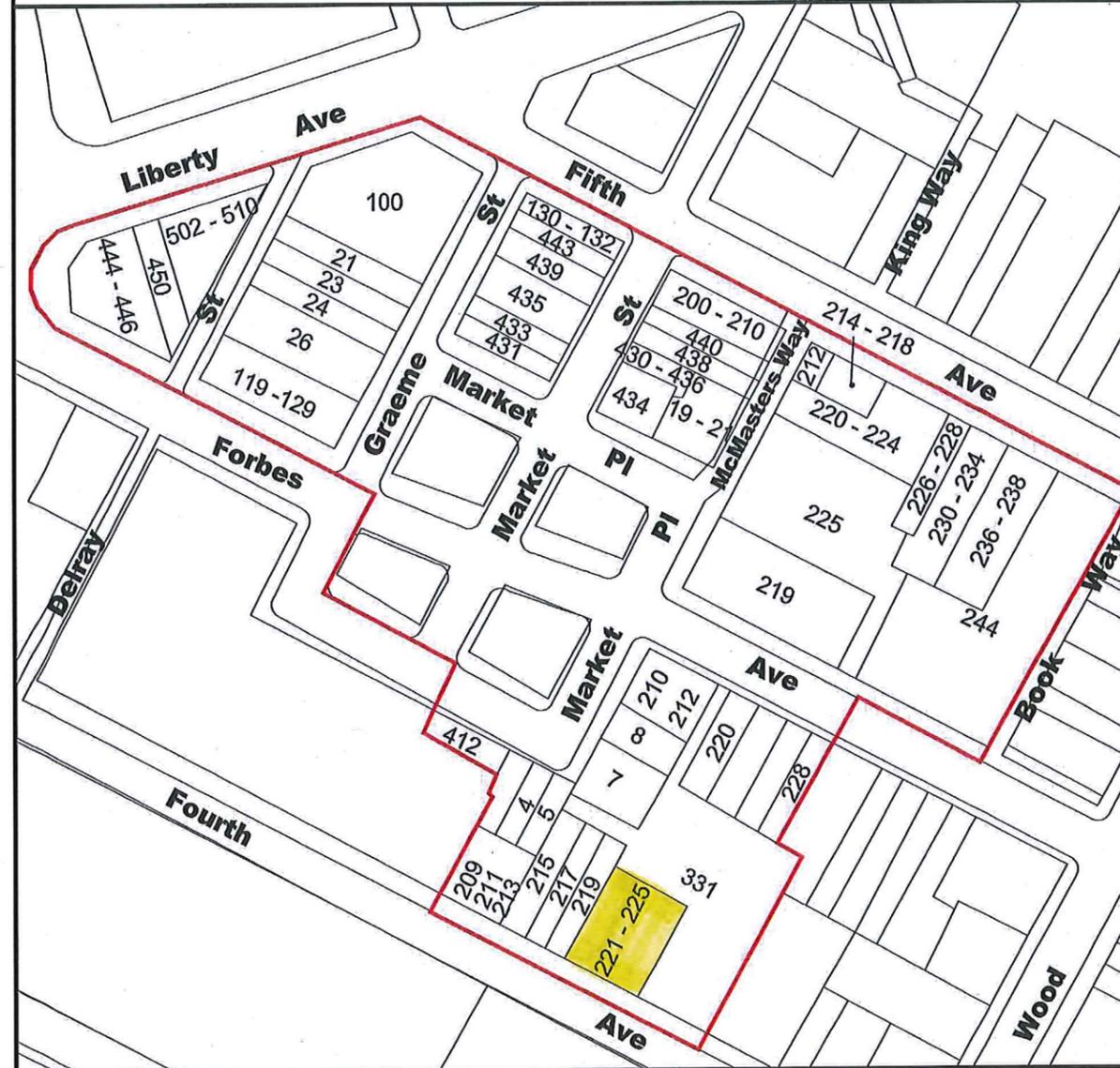
OWNER: William Benter DATE: 03.14.14

APPLICANT: [Signature] DATE: 03.14.14

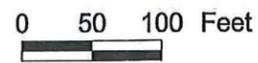


Market Square

City Designated Historic District



Designated December 28, 1992



- City Historic District
- Parcels
- SITE

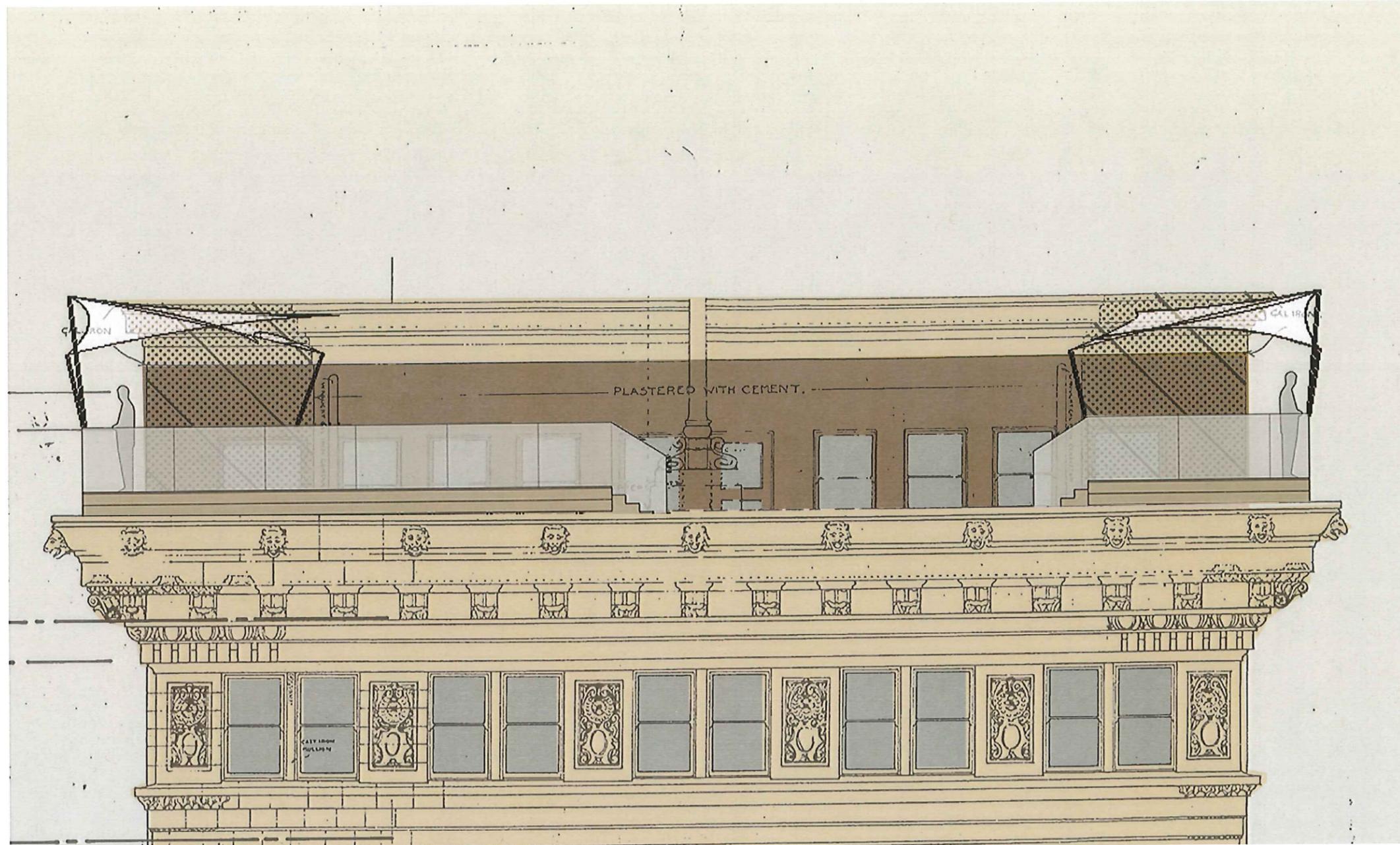


SITE PLAN

Benter Offices | Benedum Trees Building

2014.03.14





WORK SCOPE

GFRC PANELS

Cover existing plaster with dark brown GFRC panels

GLASS RAILING

Anit-reflective, butt-joint capless glass railings

WOOD DECKING

Ipe wood deck platforms

CANVAS AWNINGS

White, tensile canvas on metal supports

LIGHTING

Low level deck lighting for life safety

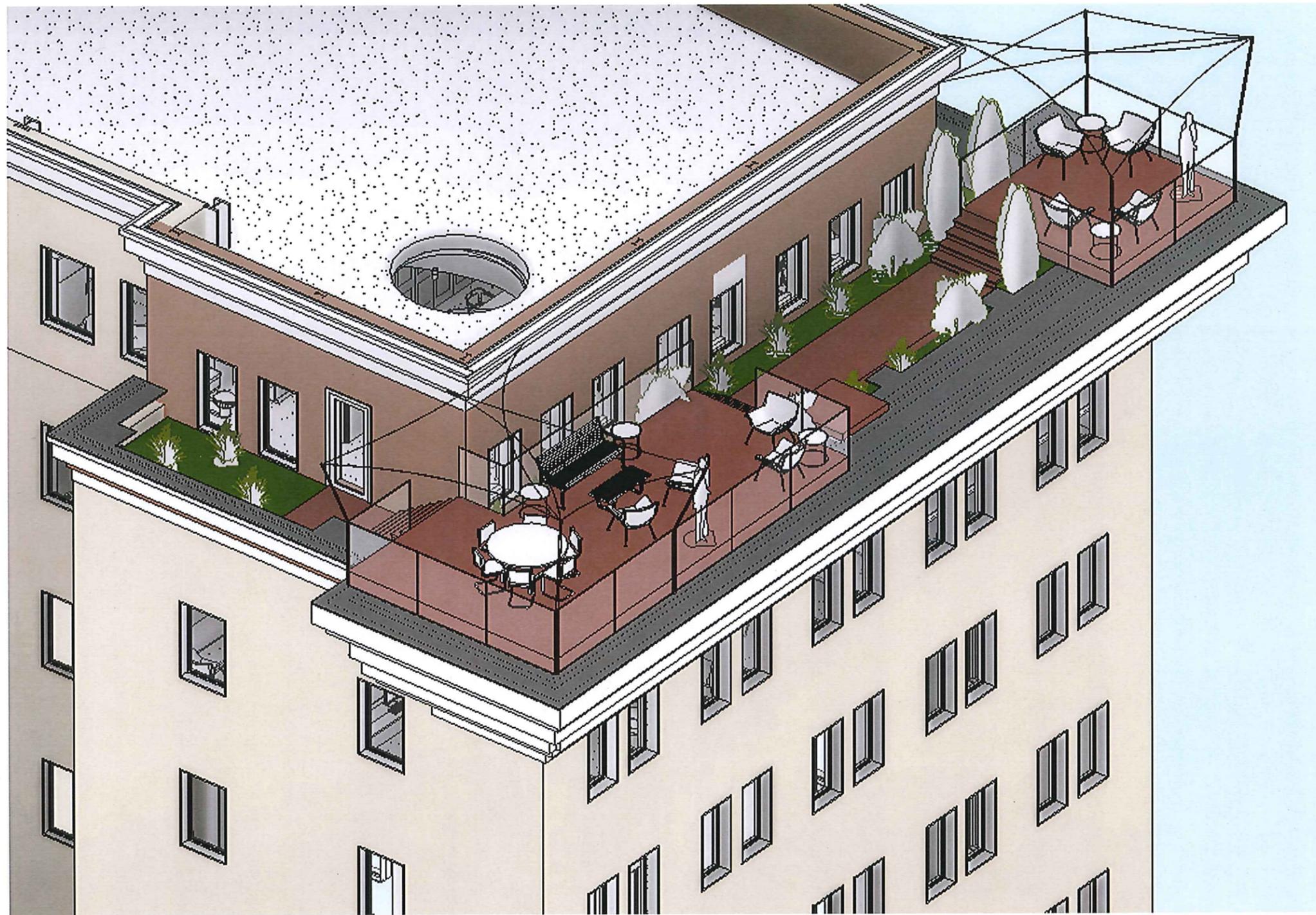
PLANTINGS

Small grasses and shrubbery

FRONT FACADE

Benter Offices | Benedum Trees Building

2014.03.14

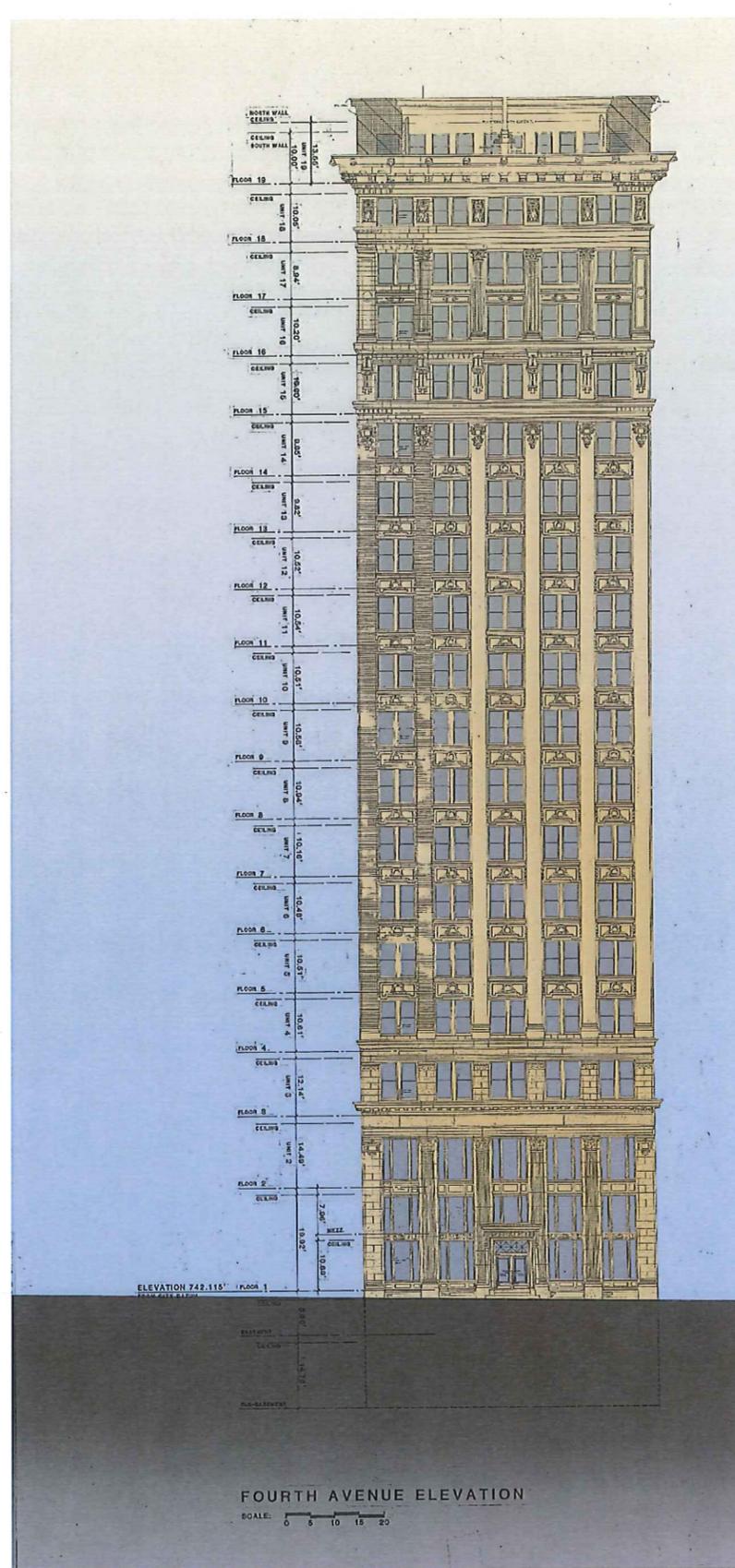


PERSPECTIVES

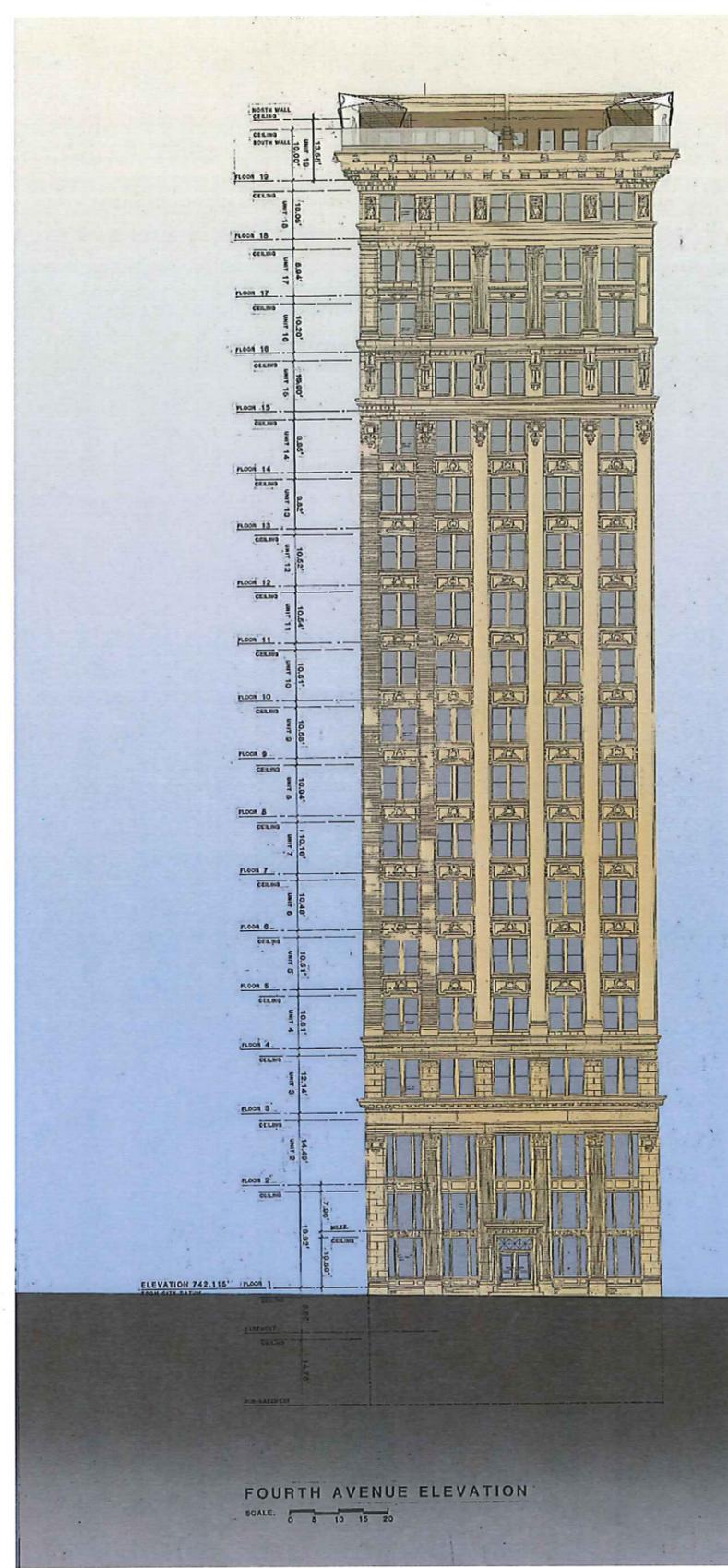
Benter Offices | Benedum Trees Building

2014.03.14

GBBN
architects



BEFORE



AFTER

FULL FRONT FACADE

Benter Offices | Benedum Trees Building

2014.03.14





BEFORE

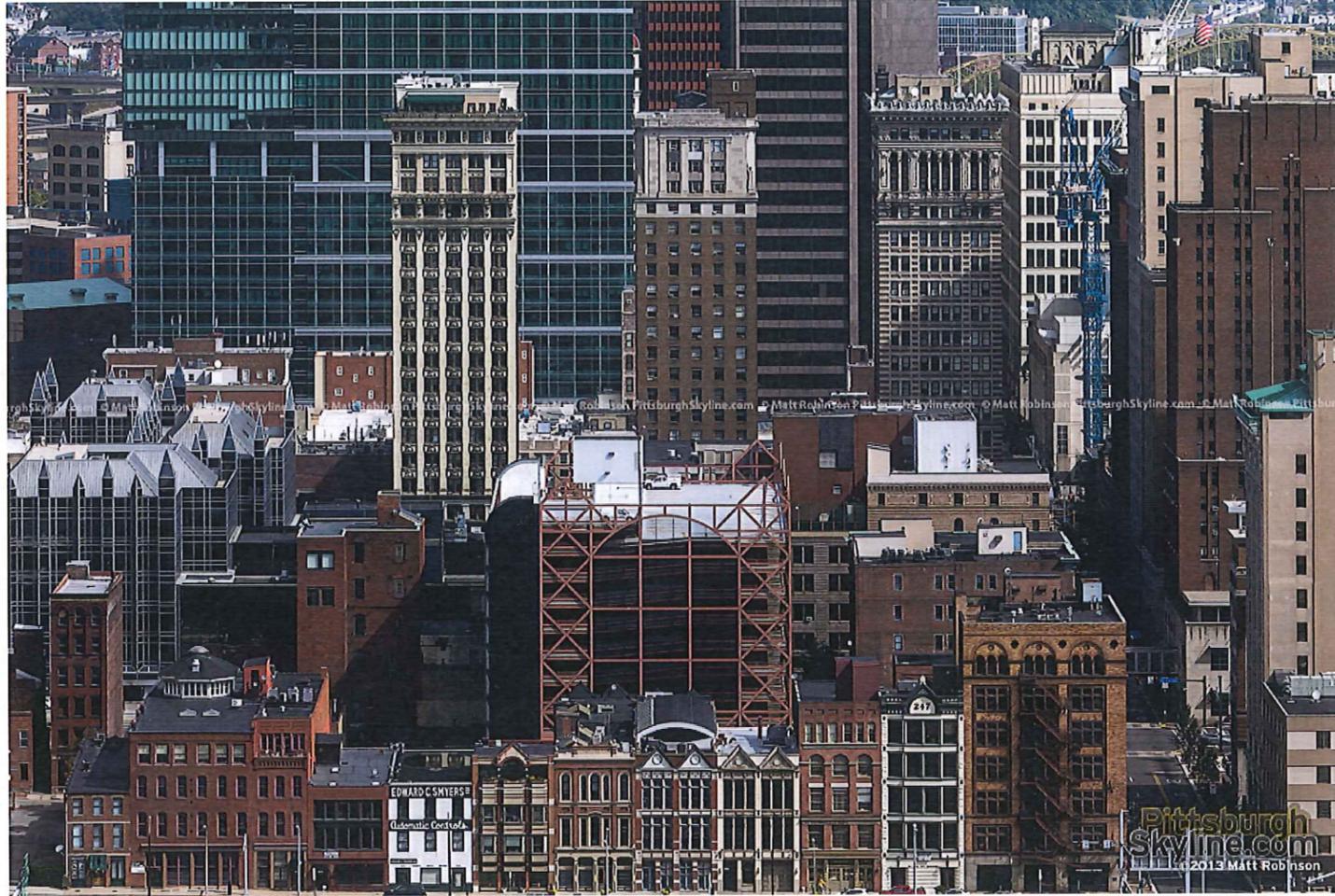


AFTER

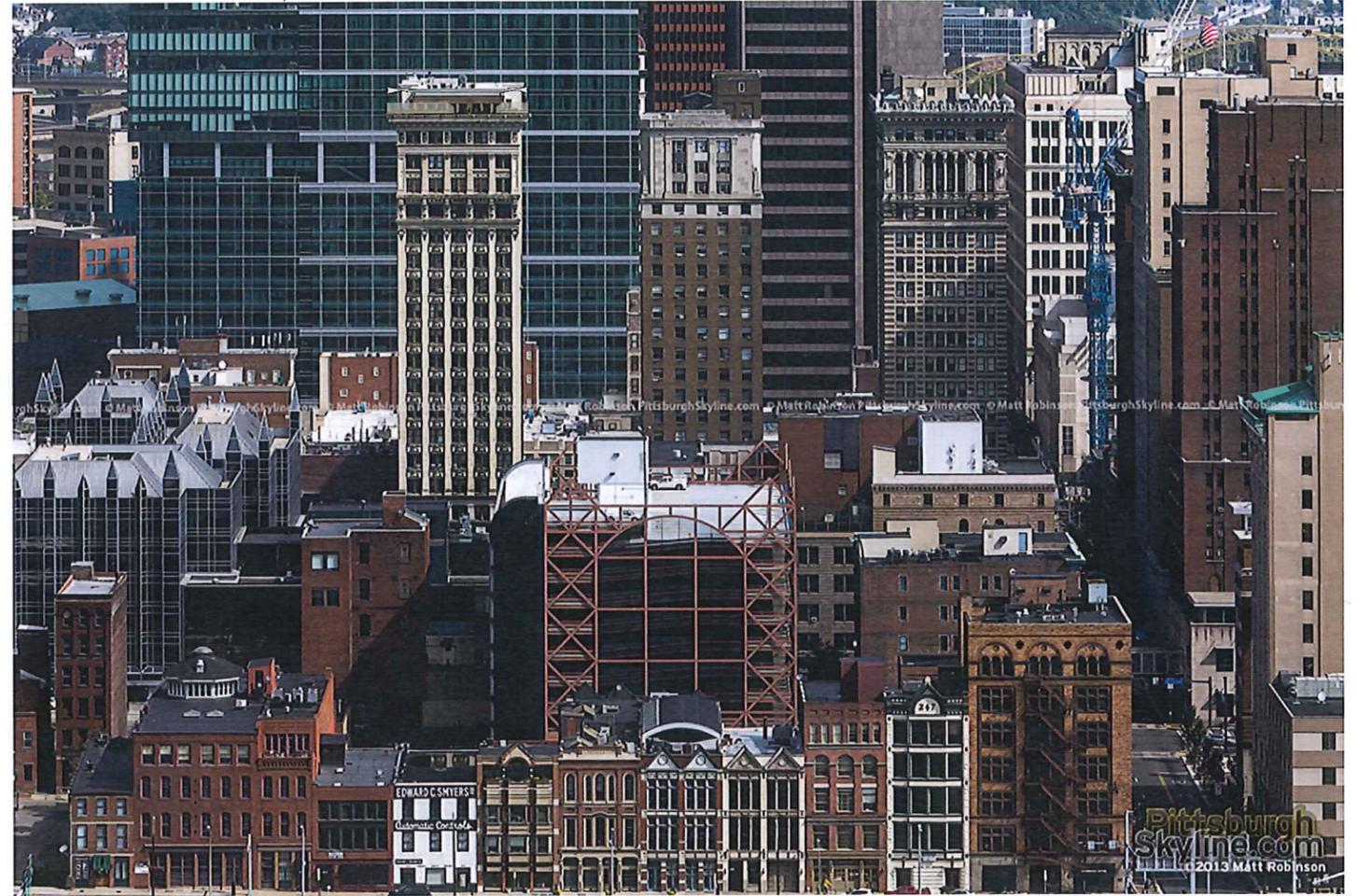
VIEW FROM MARKET SQUARE

Benter Offices | Benedum Trees Building

2014.03.14



BEFORE



AFTER

VIEW FROM MT WASHINGTON

Benter Offices | Benedum Trees Building

2014.03.14





BEFORE



AFTER

VIEW FROM MT WASHINGTON

Benter Offices | Benedum Trees Building

2014.03.14





HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 3/14/14

LOT AND BLOCK NUMBER: 23-J-256

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

WARD: 2nd

FEE PAID: yes

ADDRESS OF PROPERTY:

1240 Monterey Street
Pittsburgh PA 15212

DISTRICT:

6th

OWNER:

NAME: Christopher D'Addario / Colleen Bender
 ADDRESS: 1240 Monterey Street

APPLICANT:

NAME: Same
 ADDRESS: _____

PHONE: 412-926-0171

PHONE: _____

EMAIL: cdaddario2@MSM.COM

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Addition of a Pergola to already approved and built deck.
App # 13B-01484

SIGNATURES:

OWNER: [Signature] DATE: 2-19-14

APPLICANT: [Signature] DATE: 2-26-14



1240 Monterey Street

Day Way

Monterey S

Day Way





Ⓡ

242



NO PARKING IN THIS STREET







1227



1227







Capstone Structural Engineering & Consulting P.C.

Wexford Professional Building III

11676 Perry Highway, Suite 3209

Wexford PA 15090

(724) 933-4622 Phone, (724) 933-4625 Fax

March 17, 2014

Mr. Christopher D'Addario
1240 Monterey Street
Pittsburgh, PA 15212
cdaddario2@msn.com

Re: *The Proposed Pergola Addition to the Existing Garage Deck*
Capstone Project No.: 2012-311

Dear Mr. D'Addario,

It is my understanding that you intend to construct a wood-framed pergola on the eastern portion of the wood-framed deck constructed above a detached garage on your property. This pergola is to measure approximately 12 to 15 feet in the east-west direction by the full width of the garage in the north-south direction (approximately 17 feet 6 inches).

It is my understanding that the pergola roof structure is to be supported by the existing perimeter deck support posts that were intentionally left uncut to allow for the possible future installation of the pergola. It is further my understanding that all of these posts are fastened into the exterior concrete masonry block walls of the garage with Simpson Strong-Tie post bases and ½ inch diameter anchor bolts per the requirements of the structural drawings for the deck construction.

Based on a reasonable degree of engineering certainty, it is my professional opinion that the addition of the pergola will have no detrimental effect on the garage roof deck provided that the east and west frames of the pergolas are braced as follows:

1. I recommend that four (4) diagonal wood 4x4 knee braces be installed between the posts and the roof beam at the east frame of the pergola and that two (2) diagonal wood 4x4 knee braces be installed between the posts and the roof beam at the west frame of the pergola.
2. The knee braces must be sloped at a 45 degree angle and must be attached to both the posts and the beams with a minimum of two (2) ½ inch diameter lag bolts. The bottom ends of these braces must be located on the posts a minimum of 2 feet 6 inches (measured vertically) below the undersides of the beams.



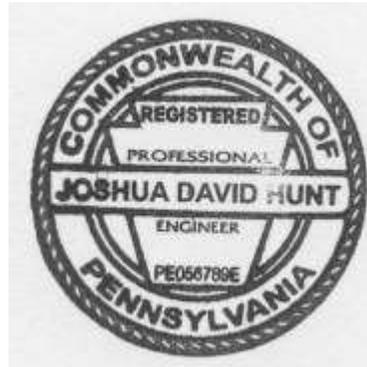
Capstone Structural Engineering & Consulting P.C.

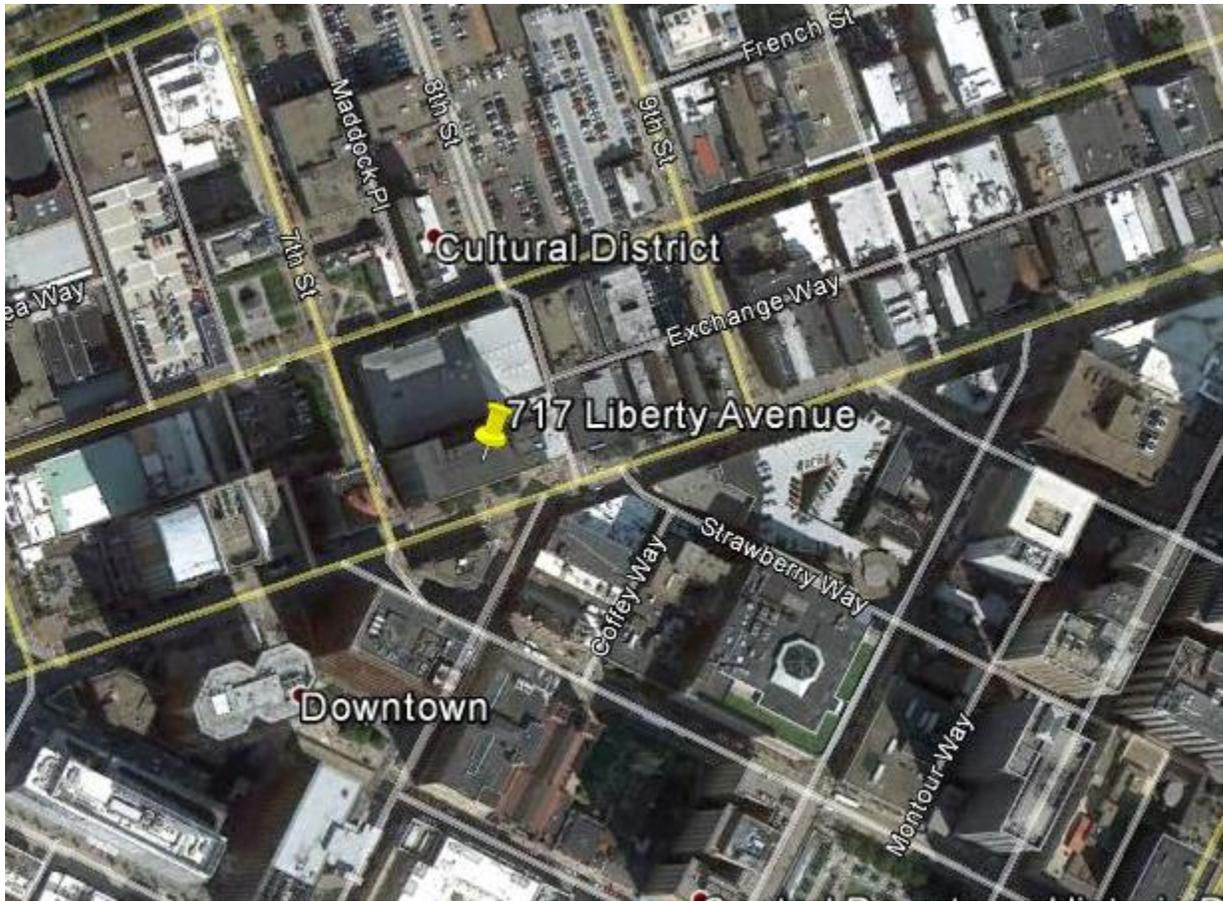
If you have any questions, or should any additional information become available in this matter, please do not hesitate to call me.

Sincerely,

A handwritten signature in black ink on a light-colored background, reading "JH Hunt P.E.".

Joshua Hunt, P.E.
Senior Structural Engineer



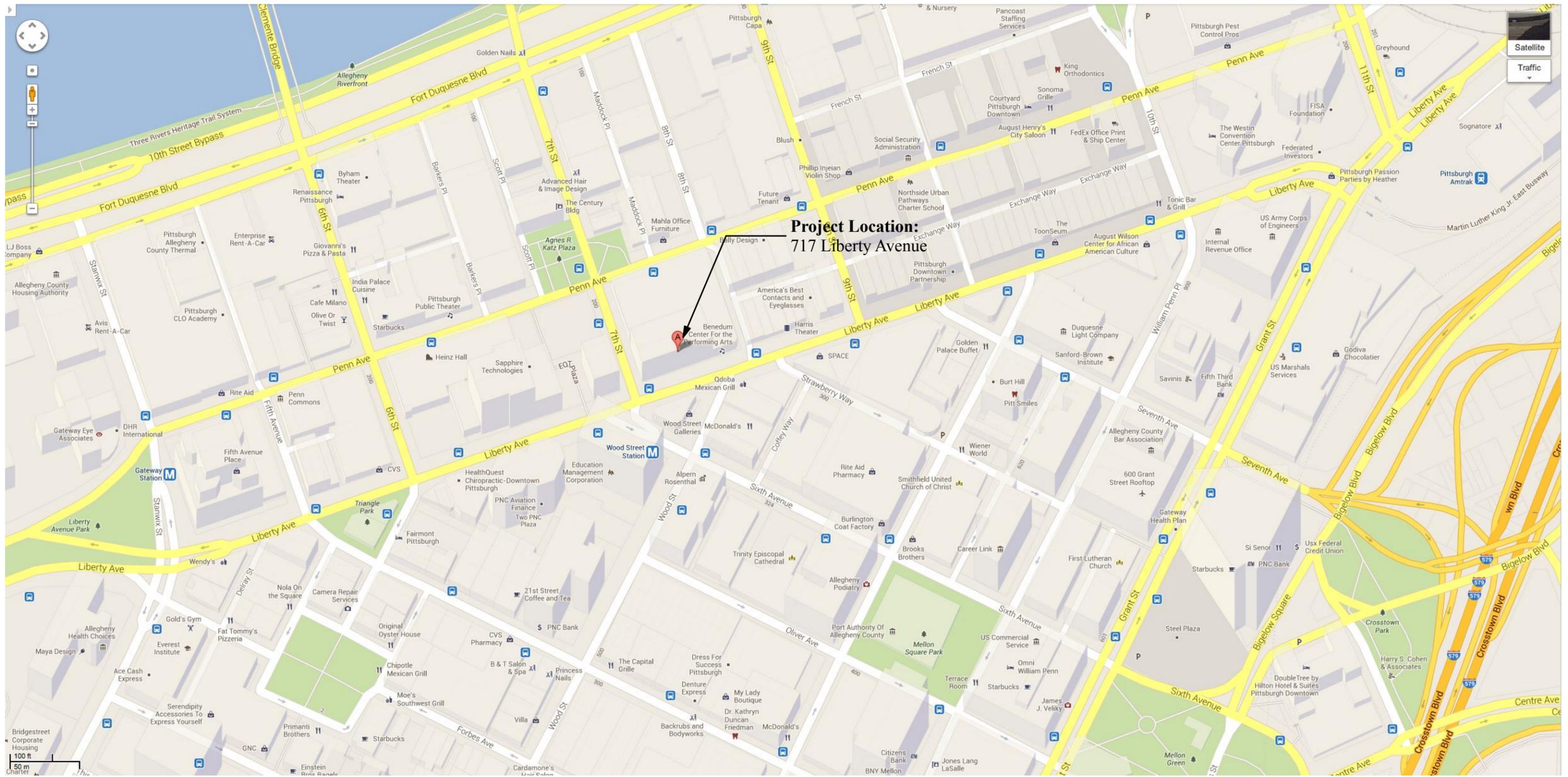




717 Liberty Avenue

Strada

Architecture 925 Liberty Avenue
Interiors Pittsburgh, PA 15222
Landscapes 412.263.3800
Urban Design www.stradallc.com
©2013 Strada Architecture LLC.



Site Vicinity Map



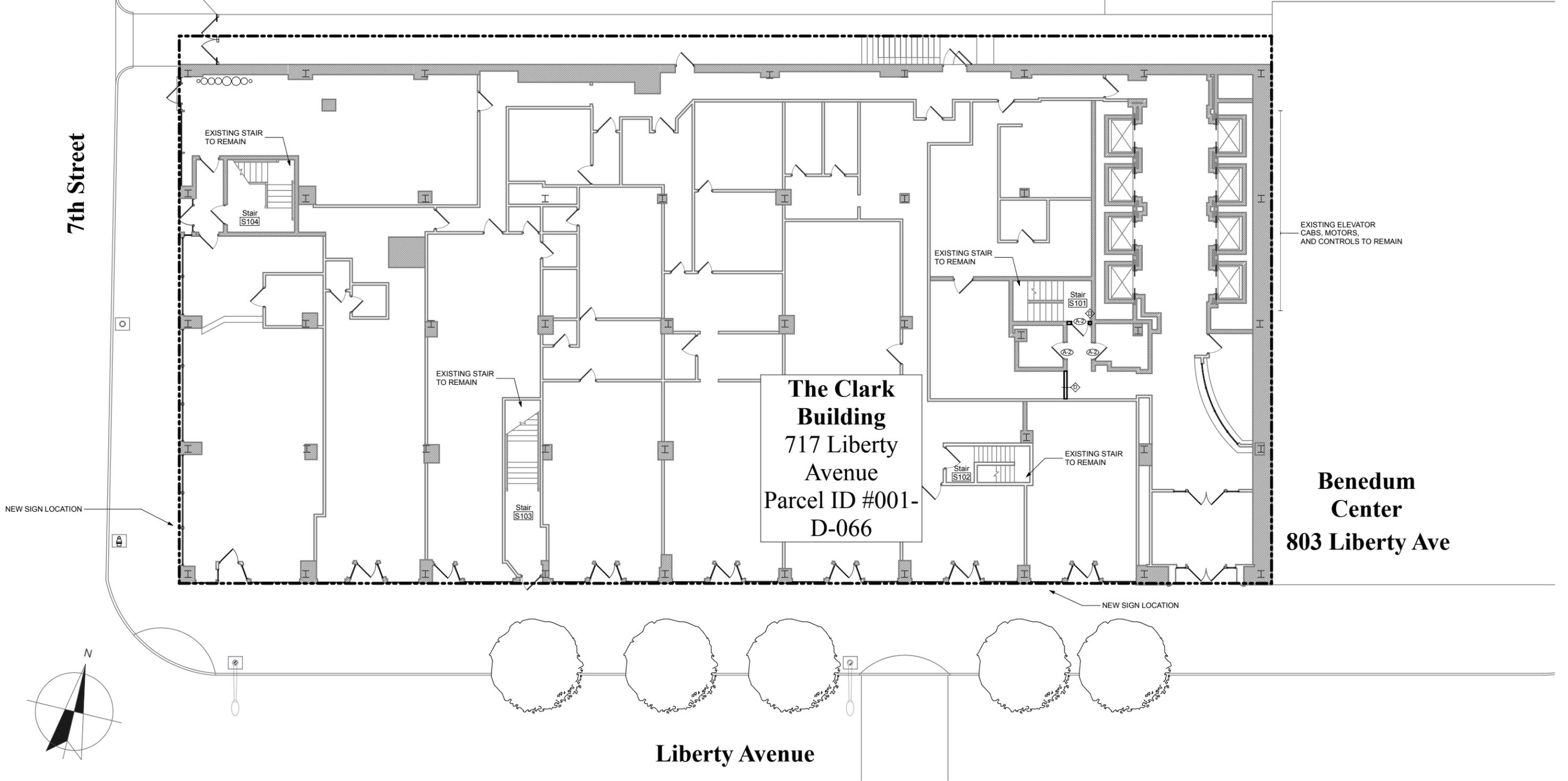
Liberty Avenue (south) and Tito Way (east) elevations



Liberty Avenue (south) and 7th Street (west) elevations

237 7th Street
Benedum
Center

7th Street



EXISTING ELEVATOR
CABS, MOTORS,
AND CONTROLS TO REMAIN

**The Clark
Building**
717 Liberty
Avenue
Parcel ID #001-
D-066

**Benedum
Center**
803 Liberty Ave

NEW SIGN LOCATION

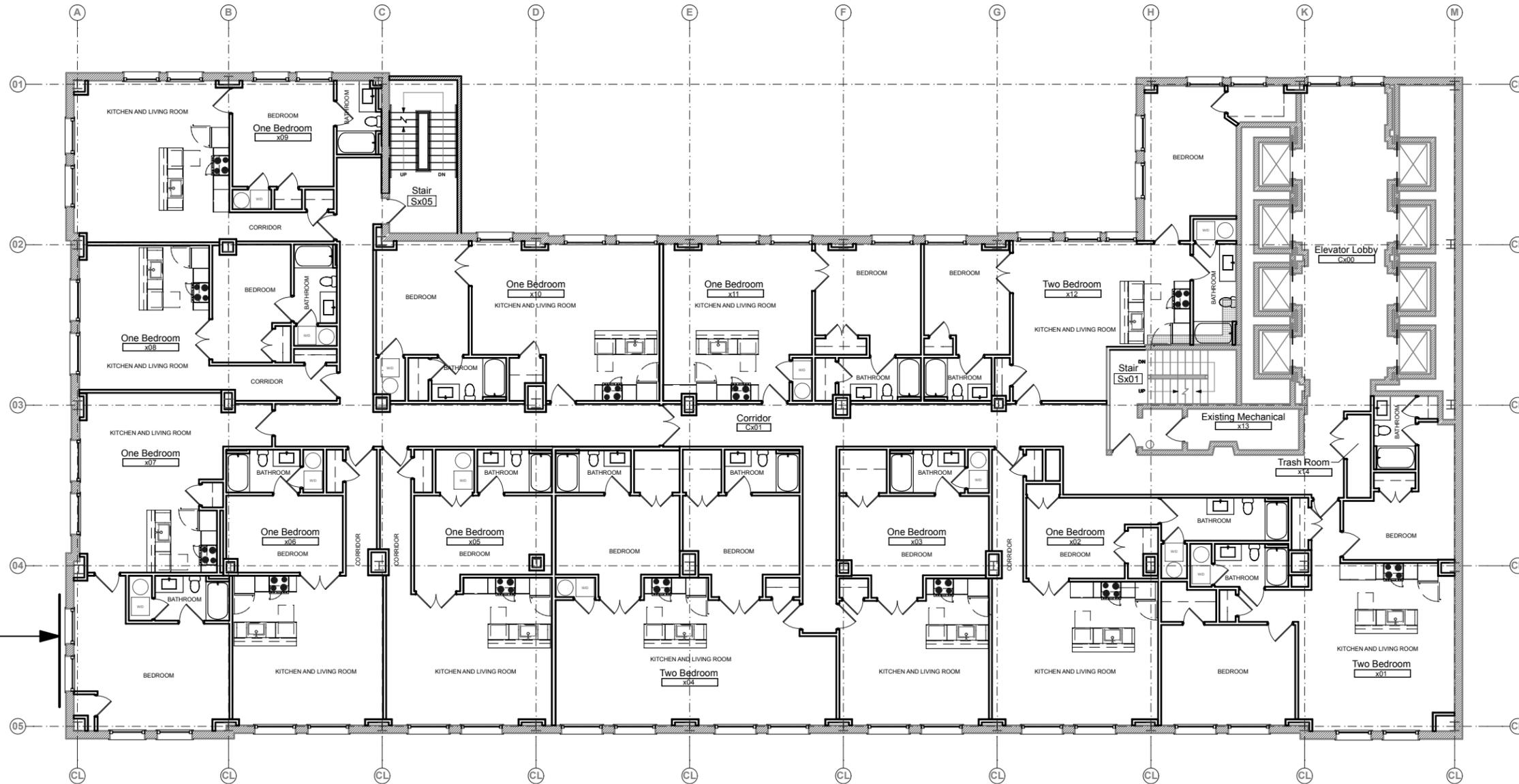
NEW SIGN LOCATION

Liberty Avenue

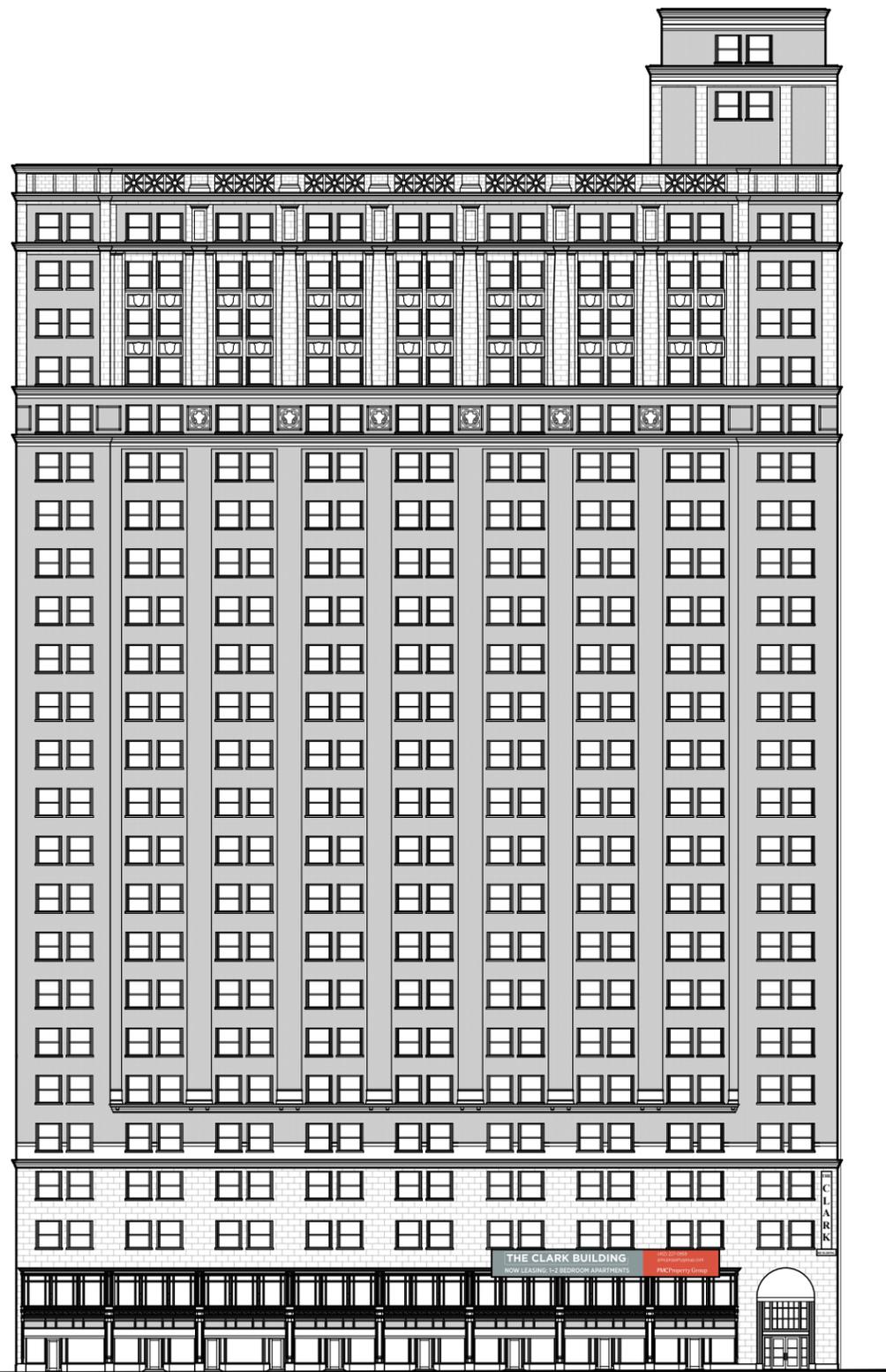


Liberty Avenue (south) street level facade

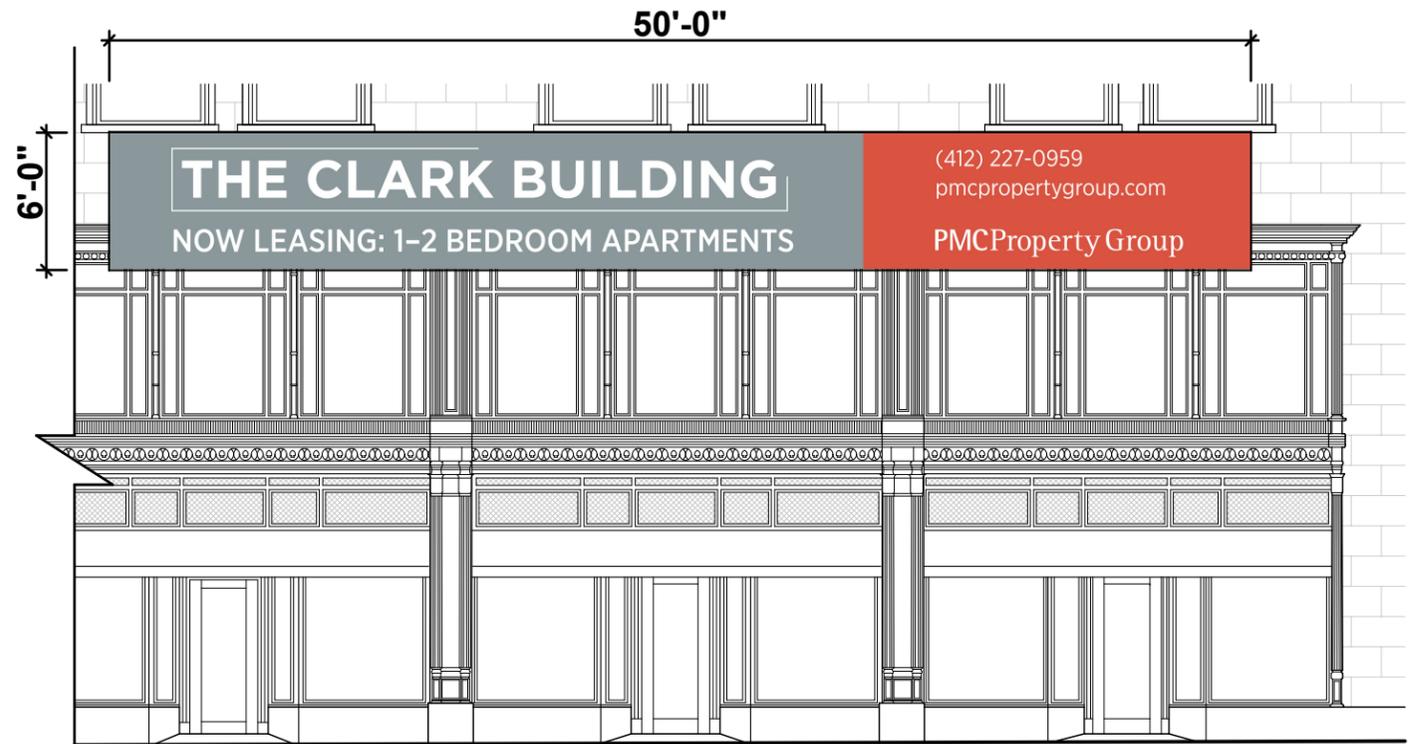
**Wall
sign
location**



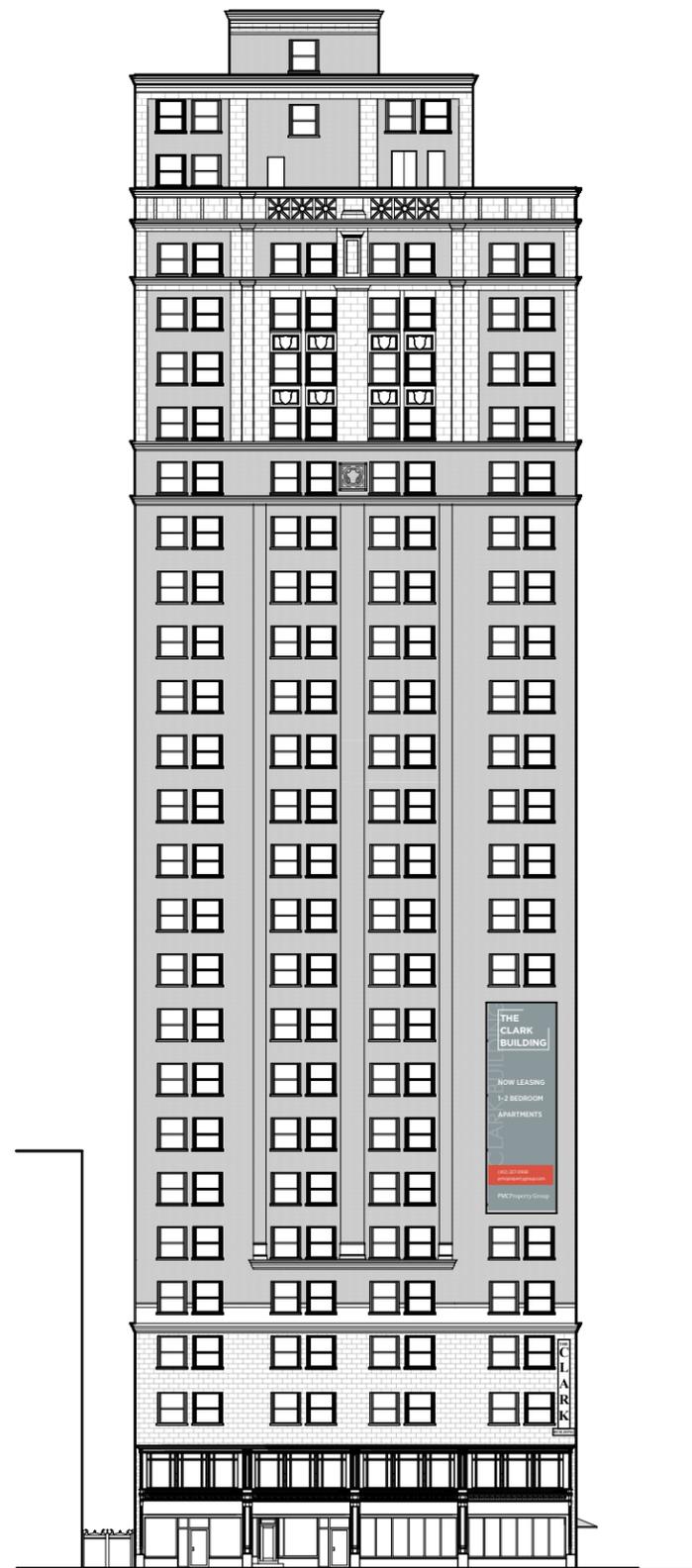
Typical Apartment Layout Floors 5-9



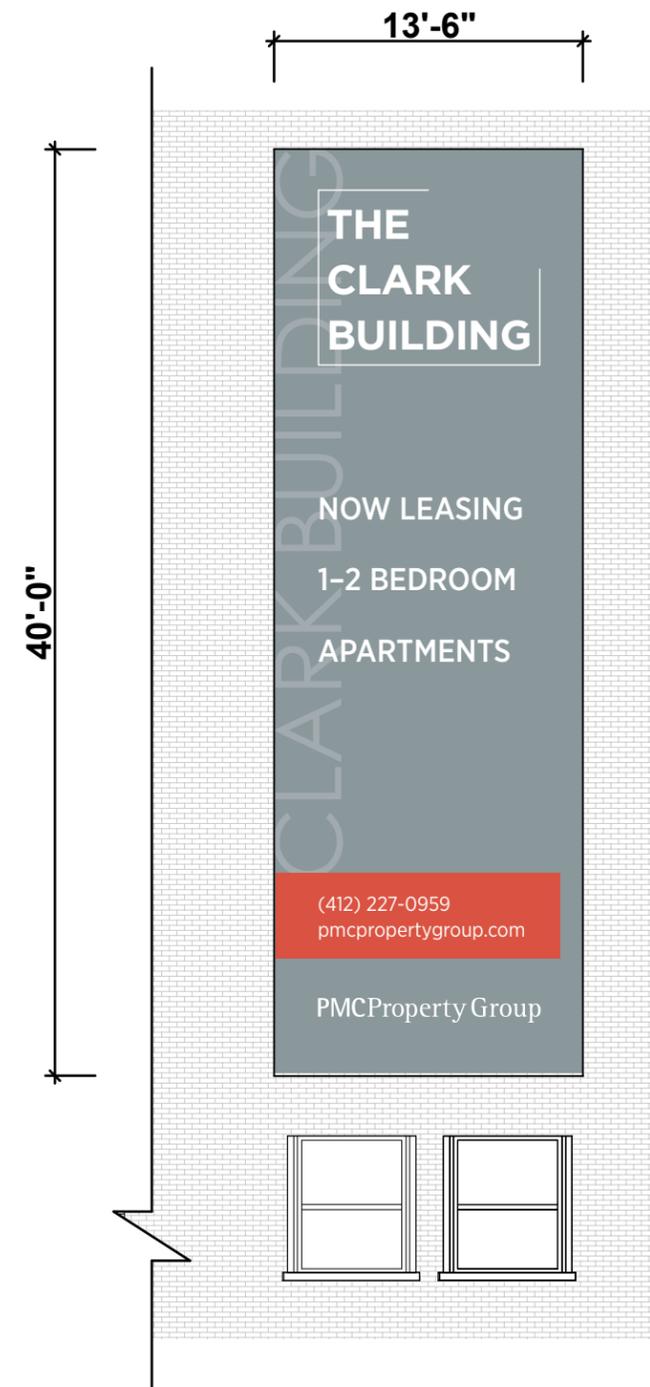
1 Proposed Signage Elevation



2 Enlarged Signage Elevation
SCALE: 1/8" = 1'-0"



1 Proposed Signage Elevation



2 Enlarged Signage Elevation
SCALE: 1/8" = 1'-0"