



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

Bakery Square 2 Living Holdings Parcel B, L.P.

1. Property Owner Name: a Pennsylvania limited partnership		Phone Number: (412) 683-3810	
Address: 5500 Walnut St	City: Pittsburgh	State: PA	Zip Code: 15232
2. Applicant/Company Name: Strada		Phone Number: (412) 263-3800	
Address: 925 Liberty Ave.	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Bakery Square 2.0 - Bakery Living 2			
4. Development Location: 6400 Penn Avenue			
5. Development Address: Pending			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 10/ 01/ 14	Occupancy Date: 06/ 01 / 14	Project Cost: \$ 26 million

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **Multi-unit residential**

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: **New 5-story apartment building above one level underground parking garage along with associated new infrastructure.**

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed: _____ 0 sq ft
 Existing to be Retained: _____ 0 sq ft
 Retained Area to be Renovated: _____ sq ft
 To be Constructed: _____ 235,894 sq ft
 Building Footprint: _____ 55,330 sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure			5	57'-4"
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: 175

17. Lot Area: _____ 92,381 sq ft

18. On Site Parking: 158 N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		82
Compact (7 1/4' x 16')		71
Handicap (13 1/2' x 19')		5

Off-Street Loading Spaces: N/A
 Actual: _____ 1
 Required: _____ 1

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

1	New Water Service Connection(s)		Termination of Existing Water Service Tap(s)
2	New Sewer Service Connection(s)		Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



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Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



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DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
www.city.pittsburgh.pa.us/cp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html

City Zoning Code

<http://www.municode.com/resources/gateway.asp?sid=38&pid=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/BBI/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

Bureau of Public Space Management
City-County Building, Room 301
414 Grant Street
Pittsburgh, PA 15219
(412) 255-8850
www.city.pittsburgh.pa.us/pw/

**Department of Public Works (DPW)
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2382
www.city.pittsburgh.pa.us/pw/

**Pittsburgh Water and Sewer Authority
(PWSA)**

Permit Counter
441 Smithfield Street, Second Floor
Pittsburgh, PA 15222
(412) 255-2443
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/progstartfolder/plumbingstart.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
<http://www.achd.net/food/foodstart.html>

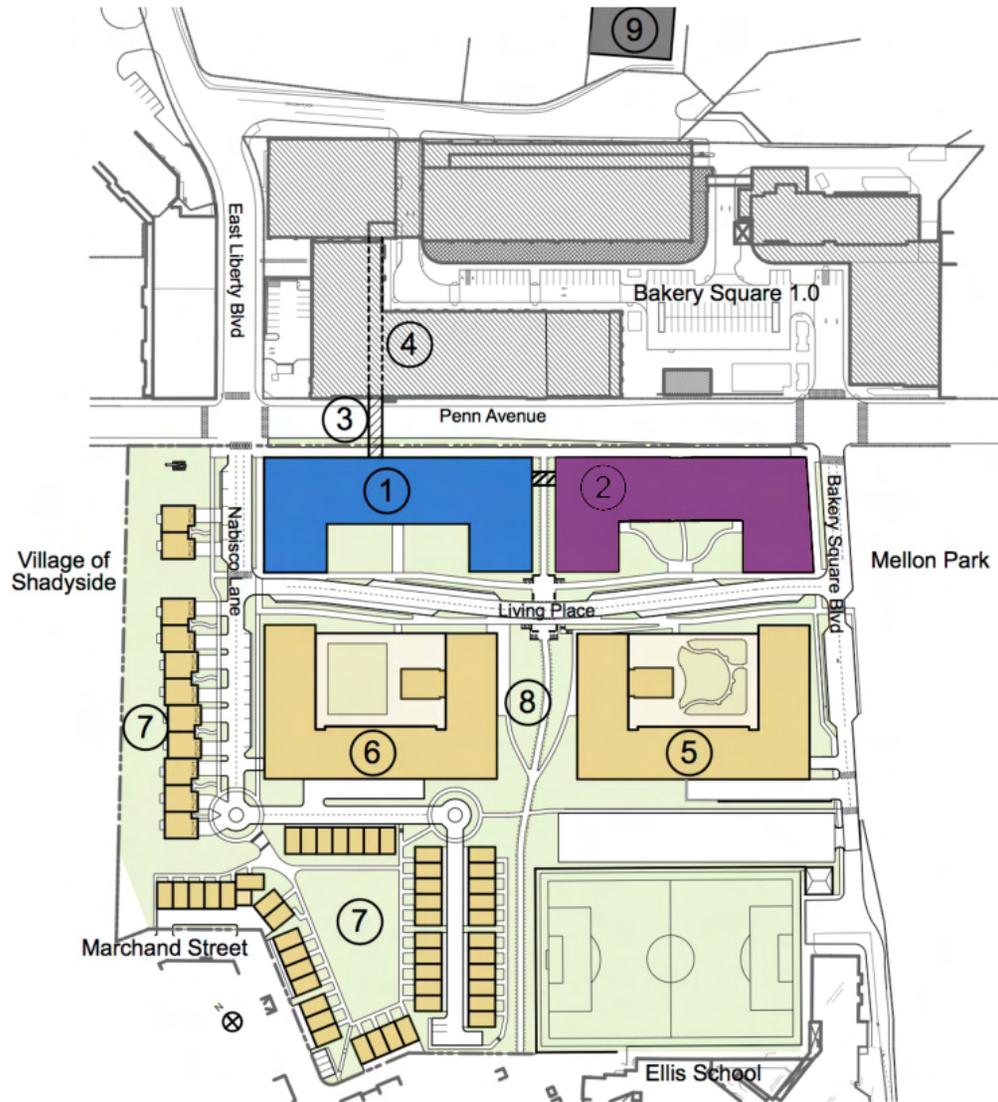
Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
<http://www.achd.net/housing/commenvironstart.html>



Bakery Living 2

Master Plan



KEY PLAN

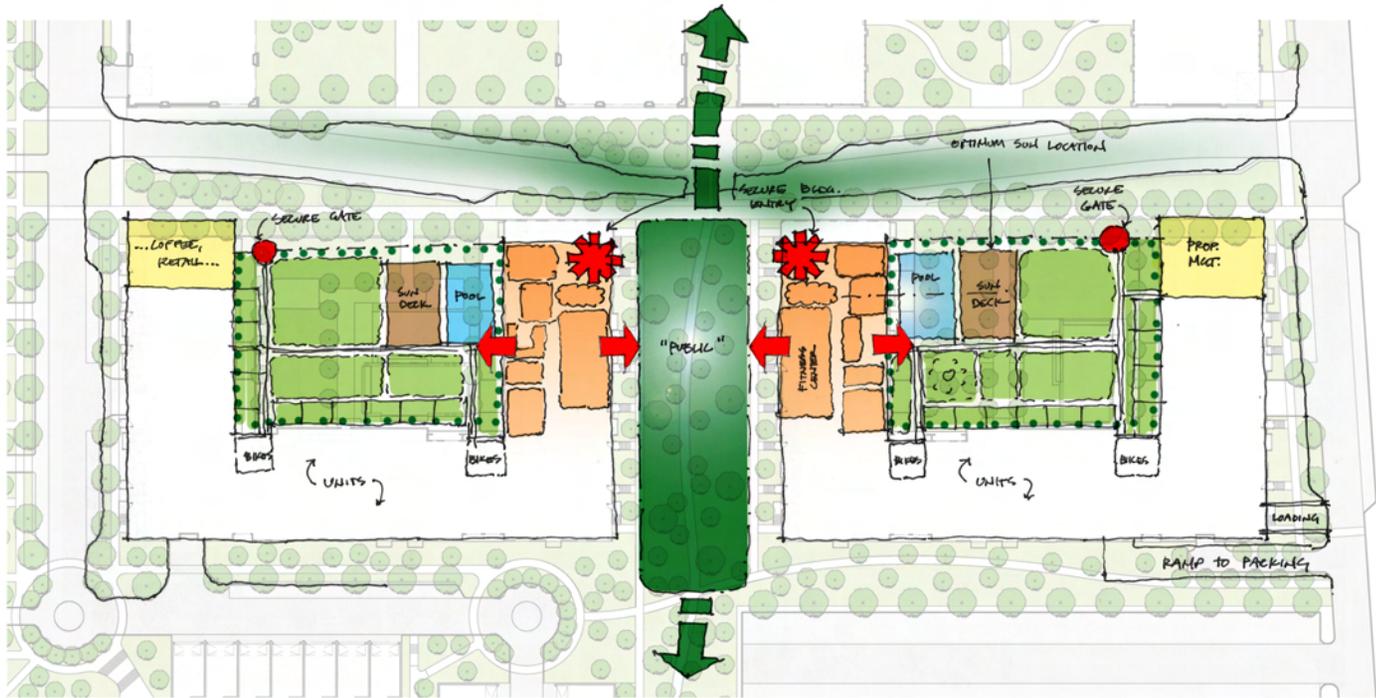
- ① A Office Building
- ② Beta Building
- ③ Skybridge (Connects 4th and 5th Floors of Buildings)
- ④ Access to Parking Garage (through 4th Floor Skybridge/Common Corridor)
- ⑤ Bakery Living Apartments 1.0 [now open](#)
- ⑥ Proposed Bakery Living 2.0
- ⑦ Proposed Townhouses
- ⑧ Bike Path
- ⑨ Future Parking Garage Site

Bakery Living 1 – Apartment Building



Now Open

Bakery Living 1&2 – Concept Diagram



Key:
 Building Amenity Areas
 Retail/Other
 Private Outdoor Areas
 Public Outdoor Areas

S+RADA
 ARCHITECTURE + INTERIORS + LANDSCAPES + URBAN DESIGN
 10.23.12

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 328 LIBERTY AVENUE
 PITTSBURGH, PA 15222
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 412.281.9394 FAX
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S+RADA
 ARCHITECTURE + INTERIORS + LANDSCAPES + URBAN DESIGN

PRELIMINARY
 Not for Construction

Professional's Seal

Project Name
 Bakery Living

Project Number
 12078

Client
 Walnut Capital

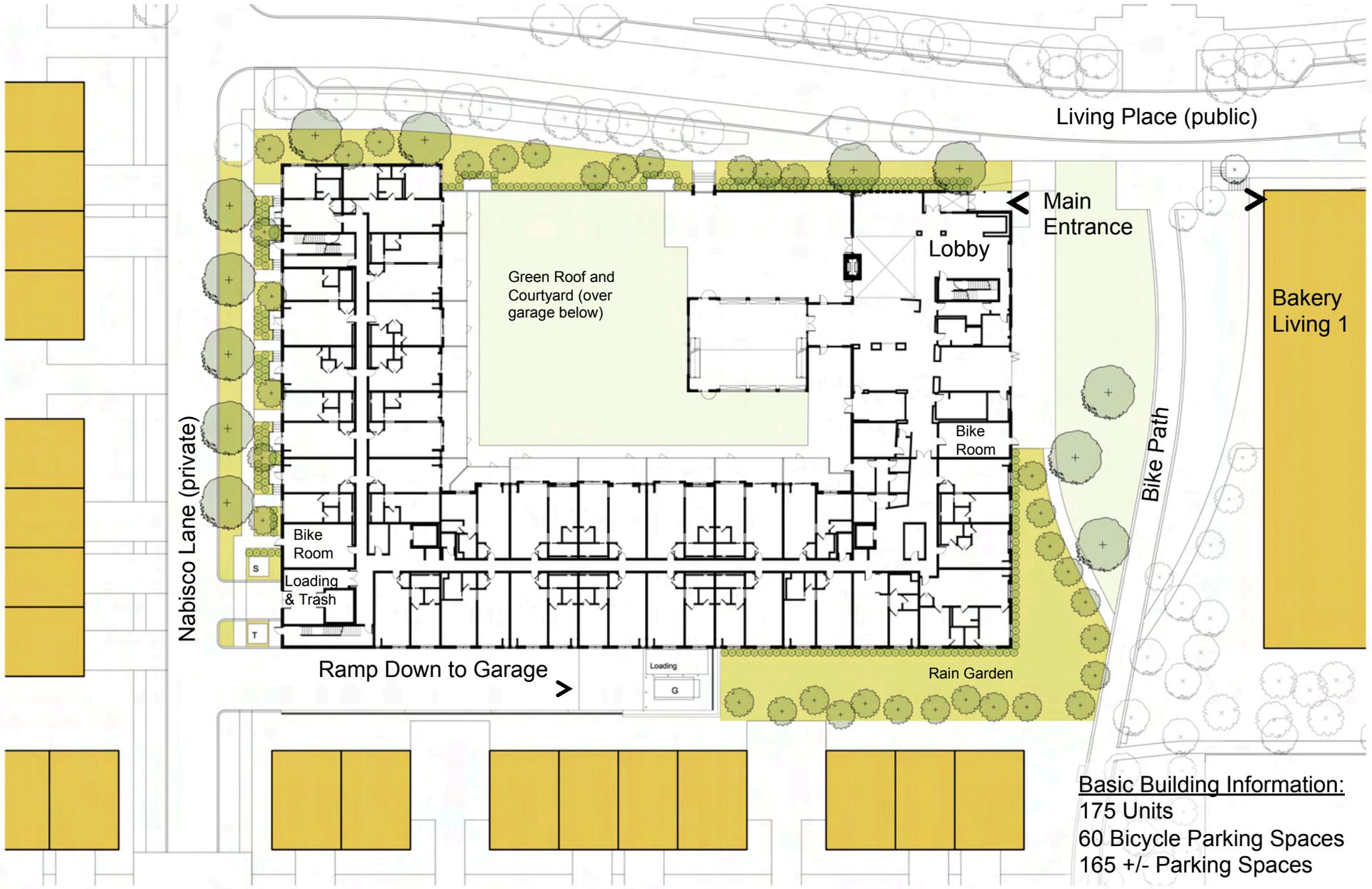
Issue Dates
 11.16.12 Schematic Design

Drawing Title
 Concept Plan

Sheet Number
A0.00



Bakery Living 2 - Site Plan



Basic Building Information:
175 Units
60 Bicycle Parking Spaces
165 +/- Parking Spaces

Bakery Living 2 – Front (North Elevation)



Bakery Living 2 – Bike Path Side (East Elevation)



Bakery Living 2 – Nabisco Lane Side (West Elevation)



Bakery Living 2 – Back (South Elevation)





DEVELOPMENT REVIEW APPLICATION

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- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: CARNEGIE MELLON UNIV. Phone Number: (412) 268.5259

Address: 5000 FORBES City: PITTSBURGH State: PA Zip Code: 15213

2. Applicant/Company Name: BOB PETTE Phone Number: (412) 266.6905

Address: _____ City: _____ State: _____ Zip Code: _____

Applicant/Contractor ID: (assigned by the City)

3. Development Name: COHEN UNIVERSITY CENTER ADDITION

4. Development Location: FORBES @ MOREWOOD

5. Development Address: 5034 FORBES AVE

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) NA

Proposed Zoning District:

Present Use of Site:
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: 71819 Date Issued: 17 JUL 1996 Existing Use of Property: STUDENT + REC SPACE

8. Estimated Construction: Start Date: 1 SEP 2014 Occupancy Date: 1 APR 2016 Project Cost: \$ 22M

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): RECREATION, INDOOR + STUDENT ACTIVITIES

10. Select the Type of Work:

- New Construction, New Renovation, Interior
 New Construction, Renovation, Exterior
 Change in Use Only Renovation, Change in Use

11. Describe the Development: 3 STORY, 68,000 SF ADDITION TO COHEN CENTER FOR RECREATION + STUDENT ACTIVITIES

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: ! N/A
 ! Residential ! Commercial ! Recreational ! Industrial ! Institutional **1**

14. Gross Floor Area:
 Existing to be Razed: 0 sq ft
 Existing to be Retained: 240,000 sq ft
 Retained Area to be Renovated: _____ sq ft
 To be Constructed: 68,000 sq ft
 Building Footprint: 22,000 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	3	50	3	50
Proposed Addition/Extension			3	50

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: 0

17. Lot Area: 19.5 ACRES sq ft

18. On Site Parking: 0 ! N/A **(BEO CAR PKG GARAGE ADJACENT TO SITE)**

	Existing	Proposed
Full (8' x 19')	0	0
Compact (7' x 16')	0	0
Handicap (13' x 19')	0	0

Off-Street Loading Spaces: ! N/A
 Actual: 4
 Required: 4

19. Please check any of the following items that will be part of the proposed work: ! N/A
 Demolition HVAC (Interior) ! HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers ! Deck Construction ! Commercial Cooking Hood ! Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing ! No Plumbing Work is Proposed



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21. Please indicate the number (e.g. 0, 1, 2, □) of each of the following sewer and/or water items that will be part of the work:

2 New Water Service Connection(s) _____ Termination of Existing Water Service Tap(s)
_____ New Sewer Service Connection(s) _____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

! YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- ! Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- ! Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- ! Public Property, Existing City Street ! Private Property ! Not Applicable
- ! Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- ! Applicant requests to change or designate the name of a City Street.
- ! The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- ! Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- ! Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- ! The proposed work will create an obstruction of traffic on City rights-of-way.
- ! The proposed work includes the excavation of a City street or sidewalk.
- ! The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

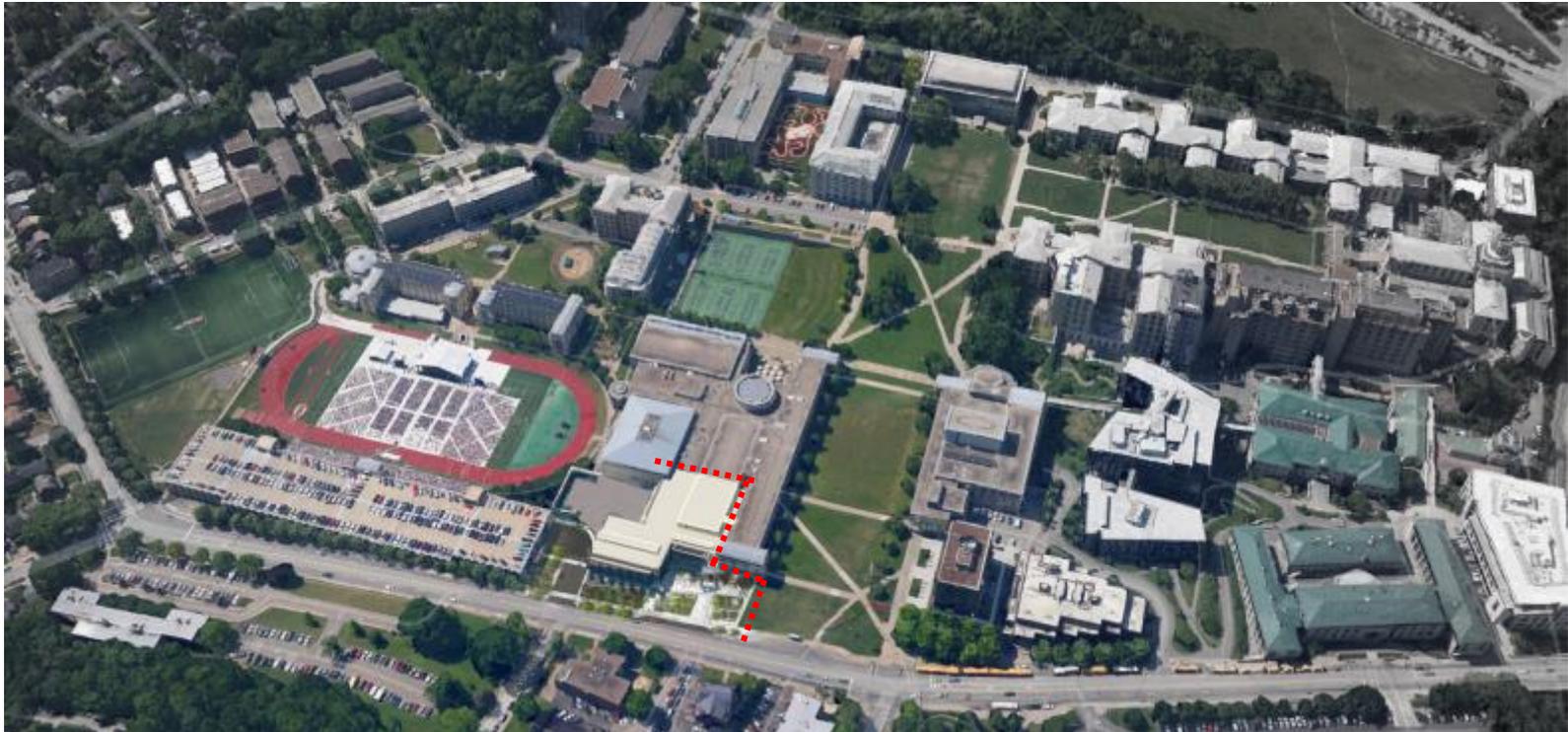
26. Applicant will be applying for a Visitability Tax Credit? ! Yes No

Applicant Signature:

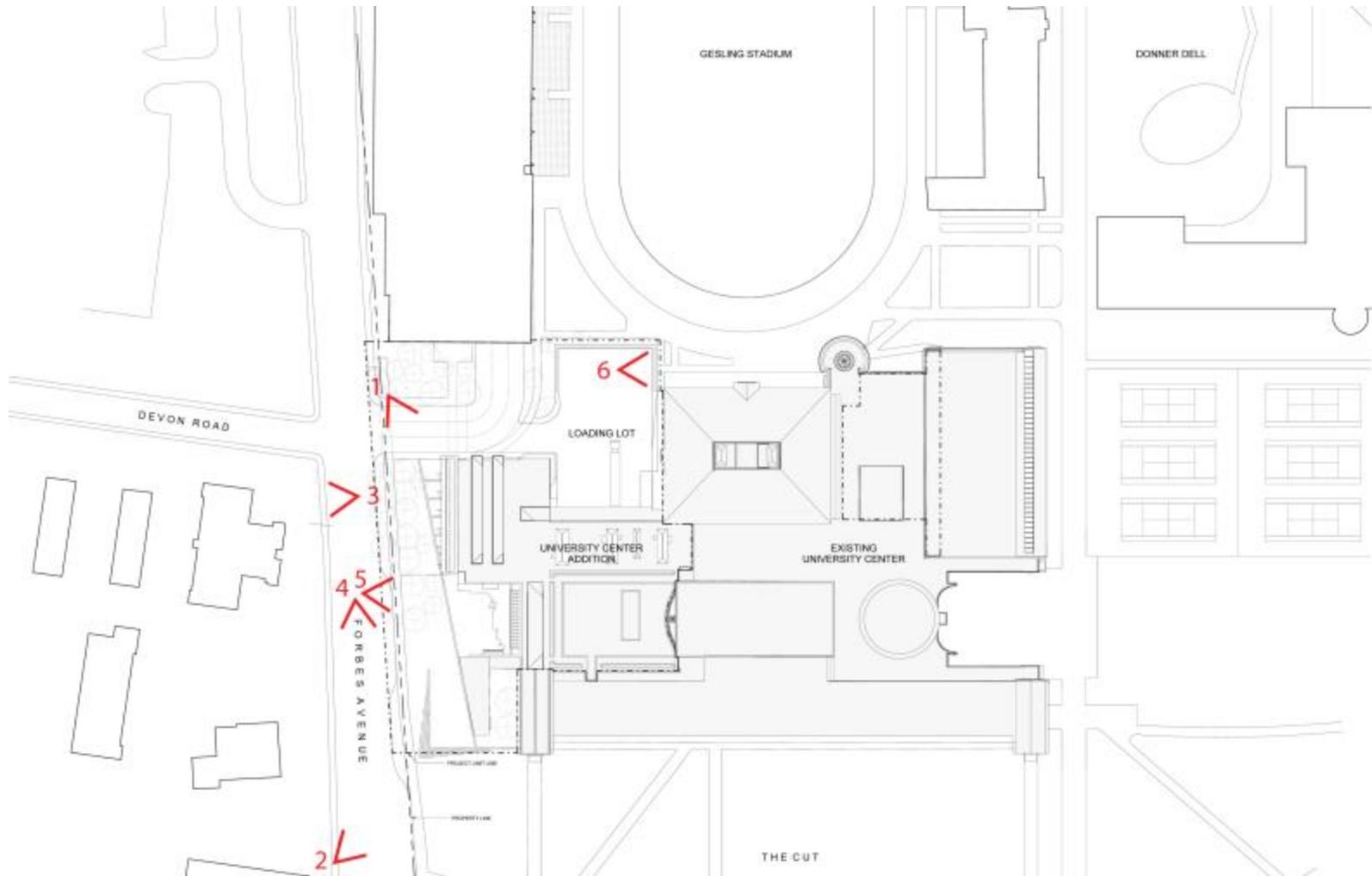
Existing University Center Context



Cohon University Center in Context



Site Plan



Existing U.C. From Forbes Avenue



1



2

Context Photos



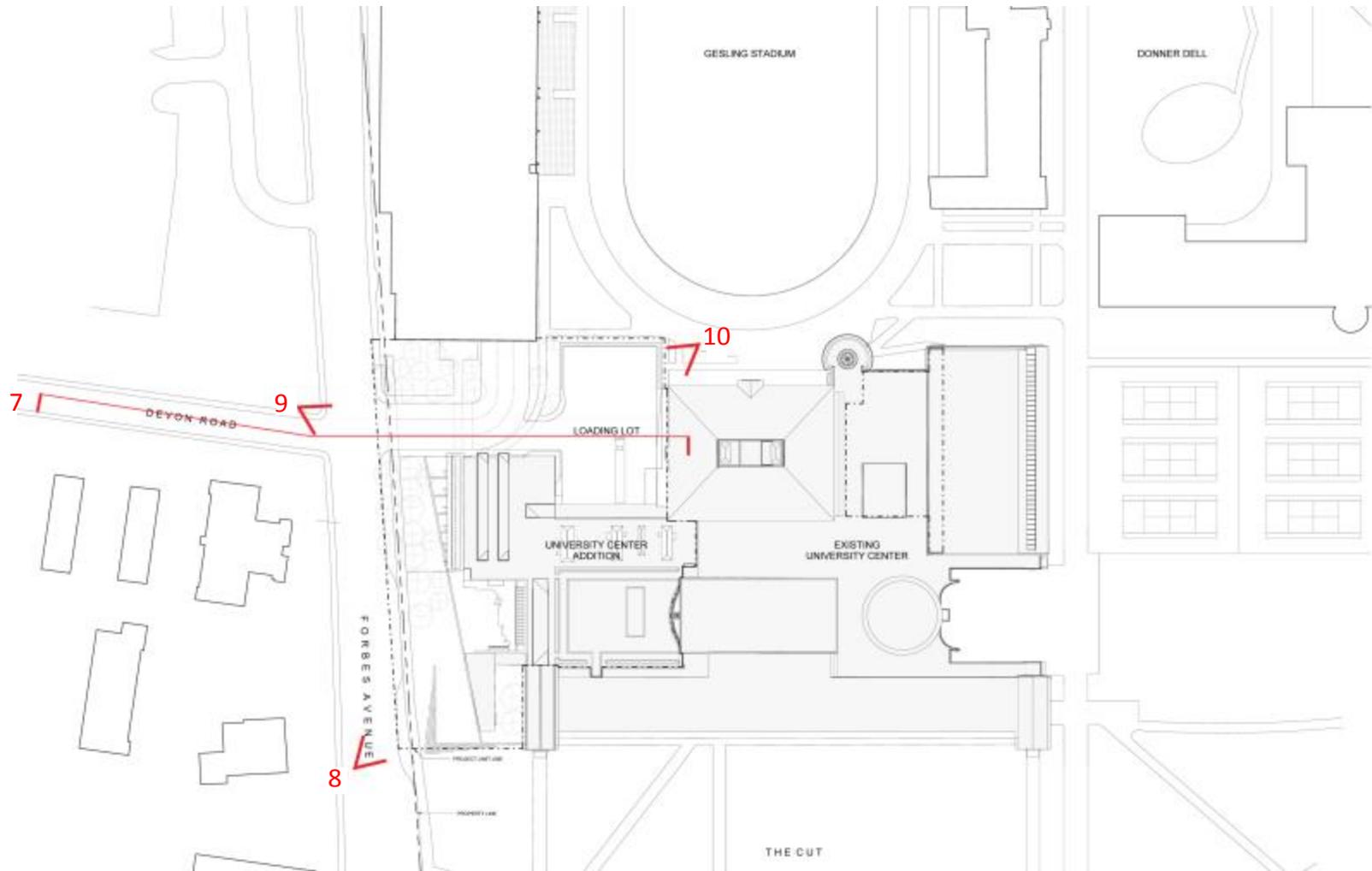
Landscape Plan



LEGEND	
17	PLAZA
18	CANOPY
19	RARE GARDEN
20	BOULDER GARDEN
21	SEATING AREA
22	ENTRY PLAZA TO GARAGE
23	RAISED CROSSWALK
24	CONNECTING WALK
25	DROP-OFF
26	GATE
27	TREE TRENCH
28	RAISED SIDEWALK
29	RUMBLE STRIP
30	FENCE, 7'-0" HIGH



Site Plan



Site Section at Devon Road



7

View from Forbes Avenue



8

View from Forbes Avenue



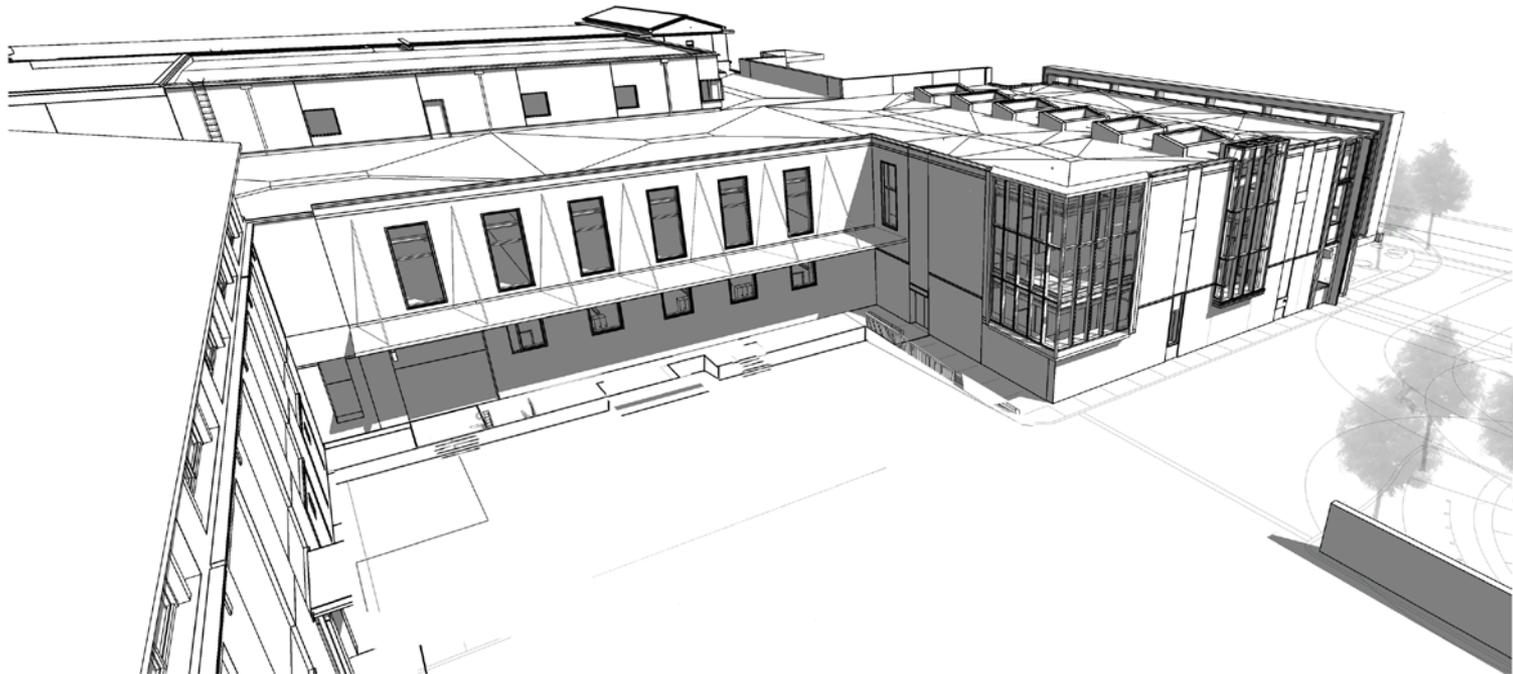
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View from Forbes Avenue



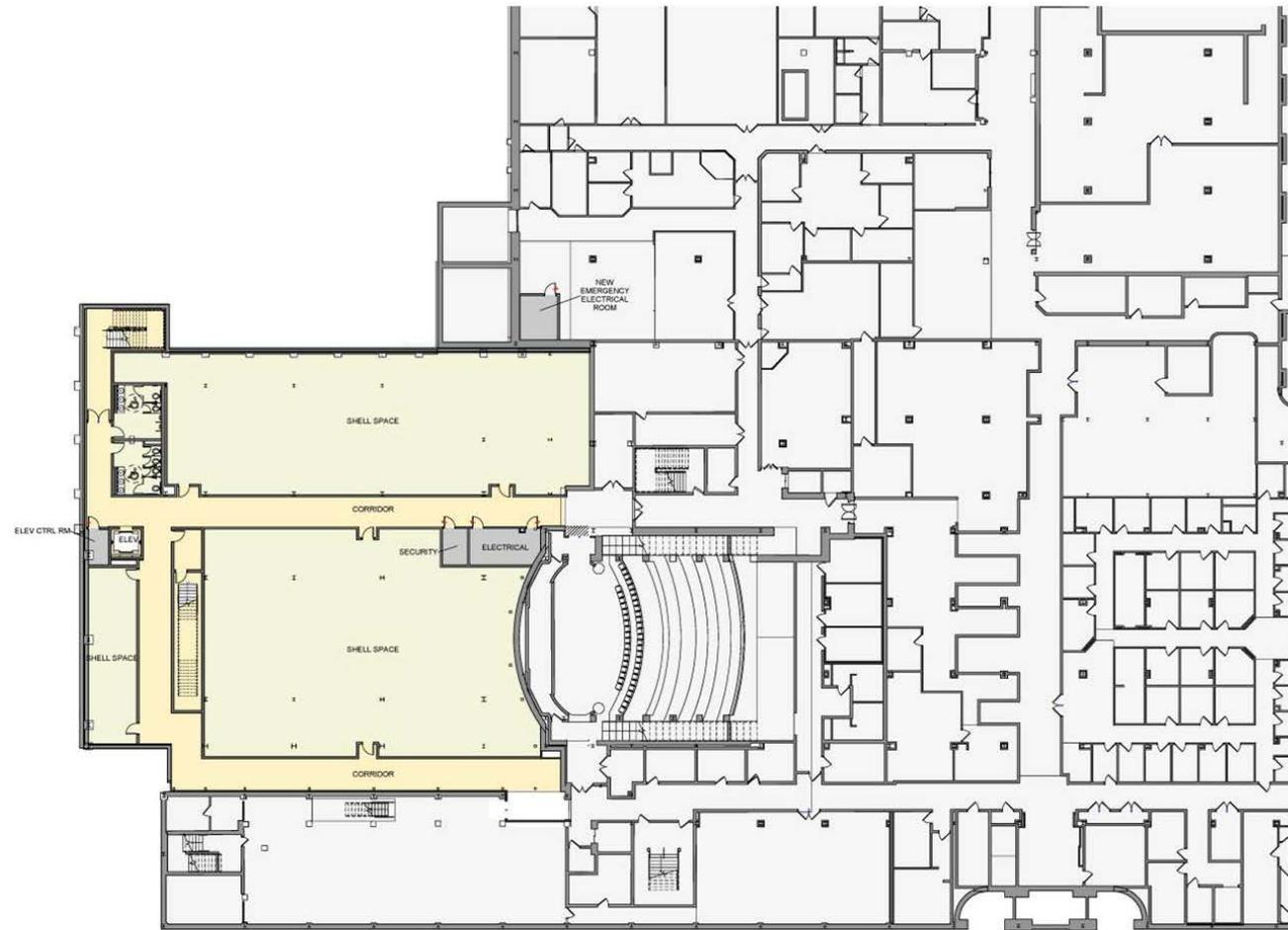
9

Aerial View from East

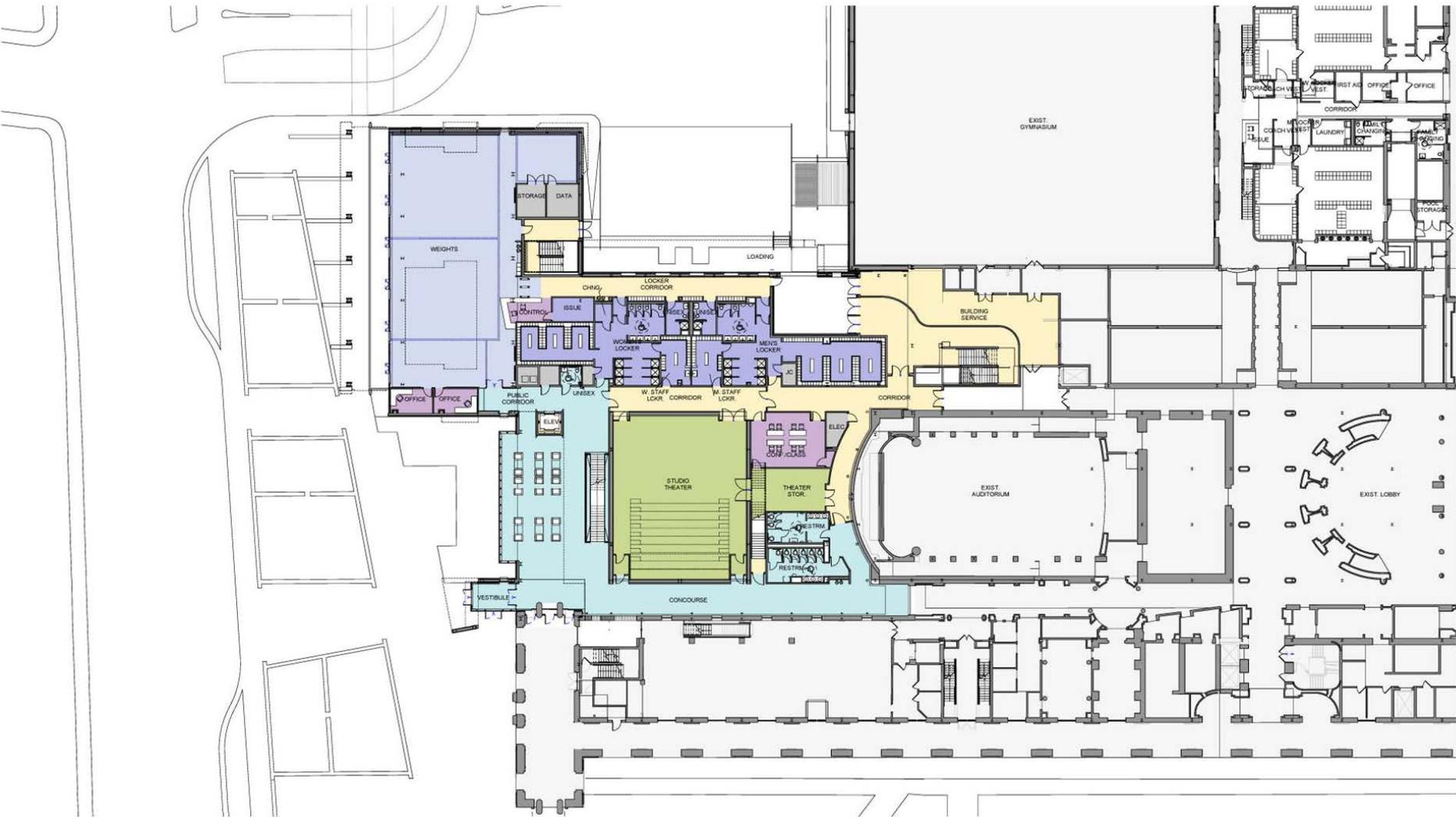


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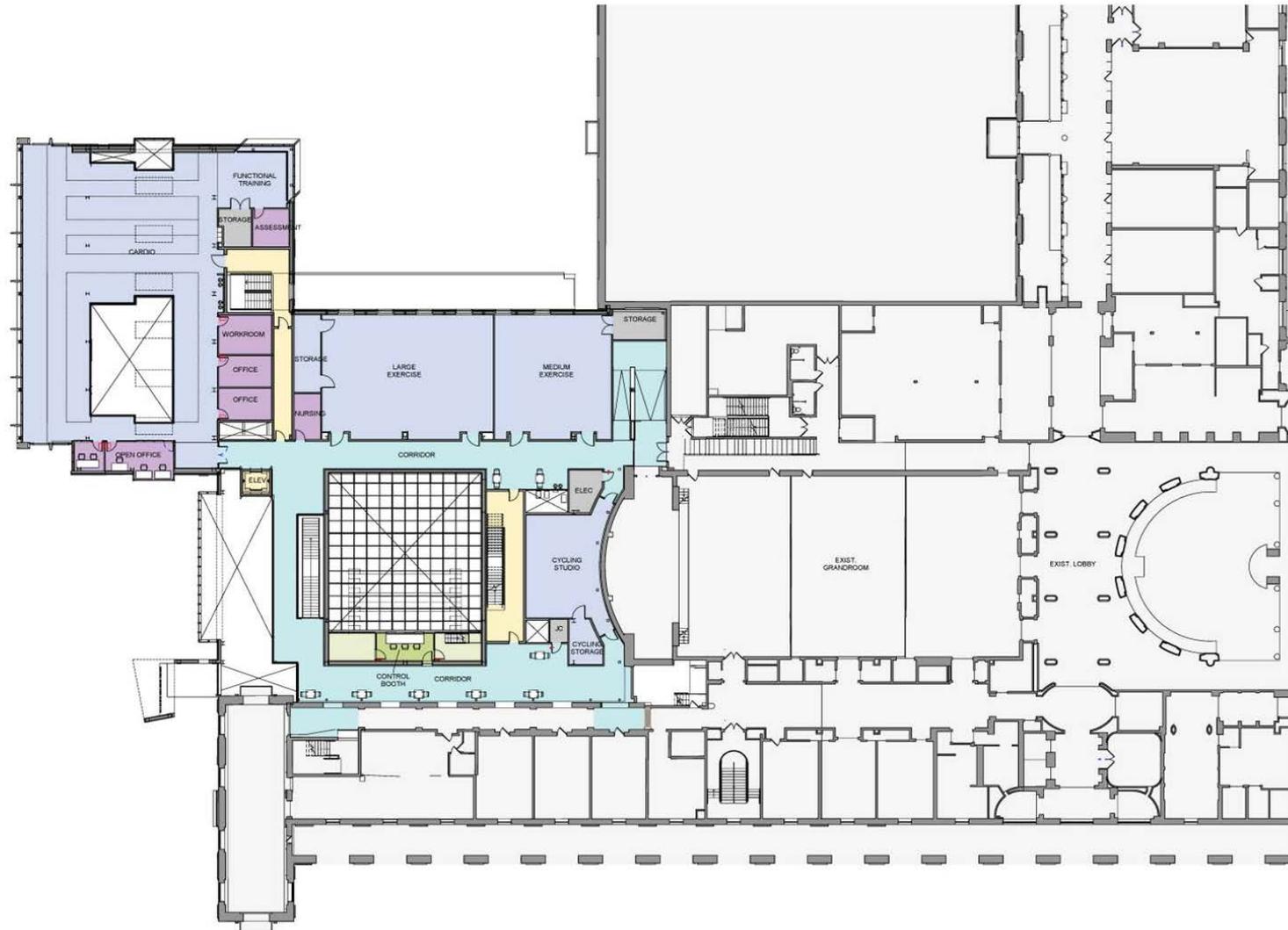
Lower Floor Plan



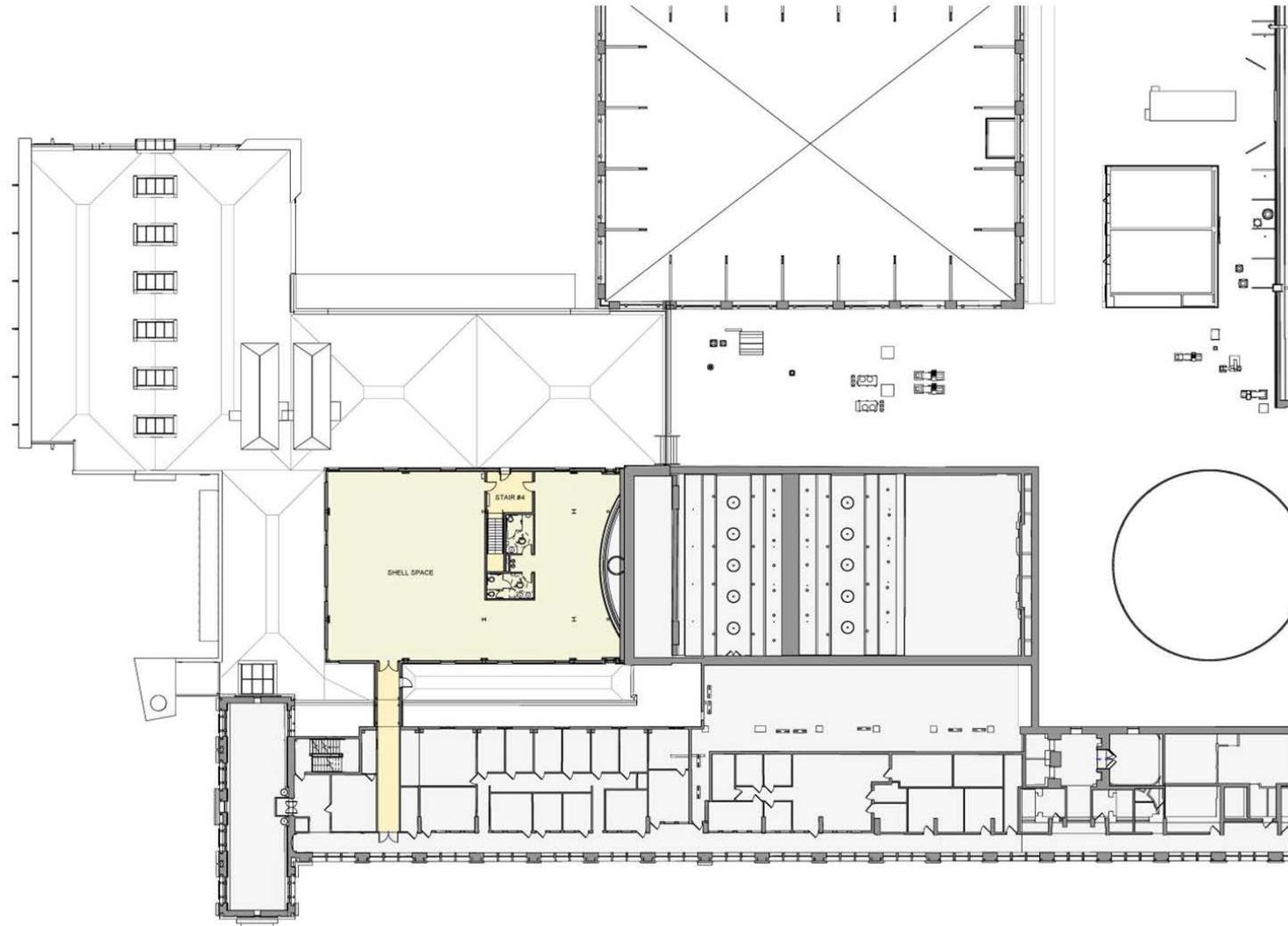
Ground Floor Plan



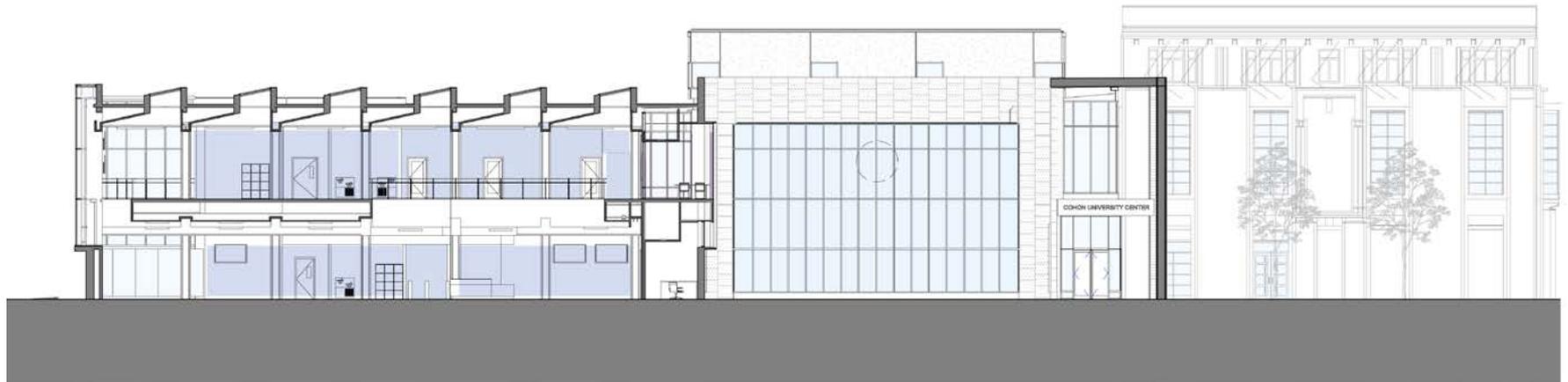
Second Floor Plan



Third Floor Plan



Sections



Elevations



Exterior Palette



A. Rheinink
Zinc Shingle
Blue-gray



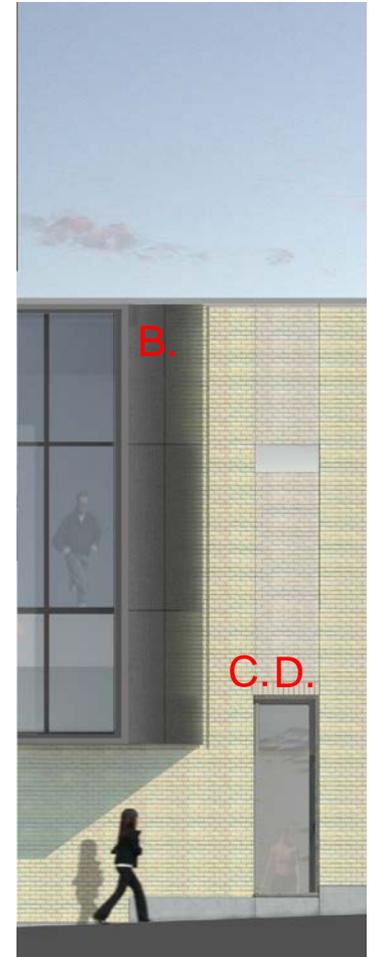
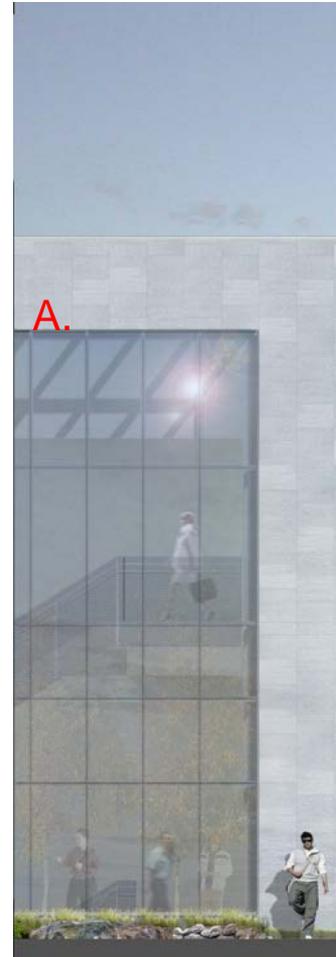
B. Rheinink
Zinc Panel
Graphite gray



C. Watsontown Brick
Manhattan series
M1 Madison Smooth



D. Redland Brick
Harmar series
#865 Shadow buff smooth



Exterior Palette



E. Guardian
Sunguard SN 68
Clear



F. Guardian
AG 43 spandrel
Light clear



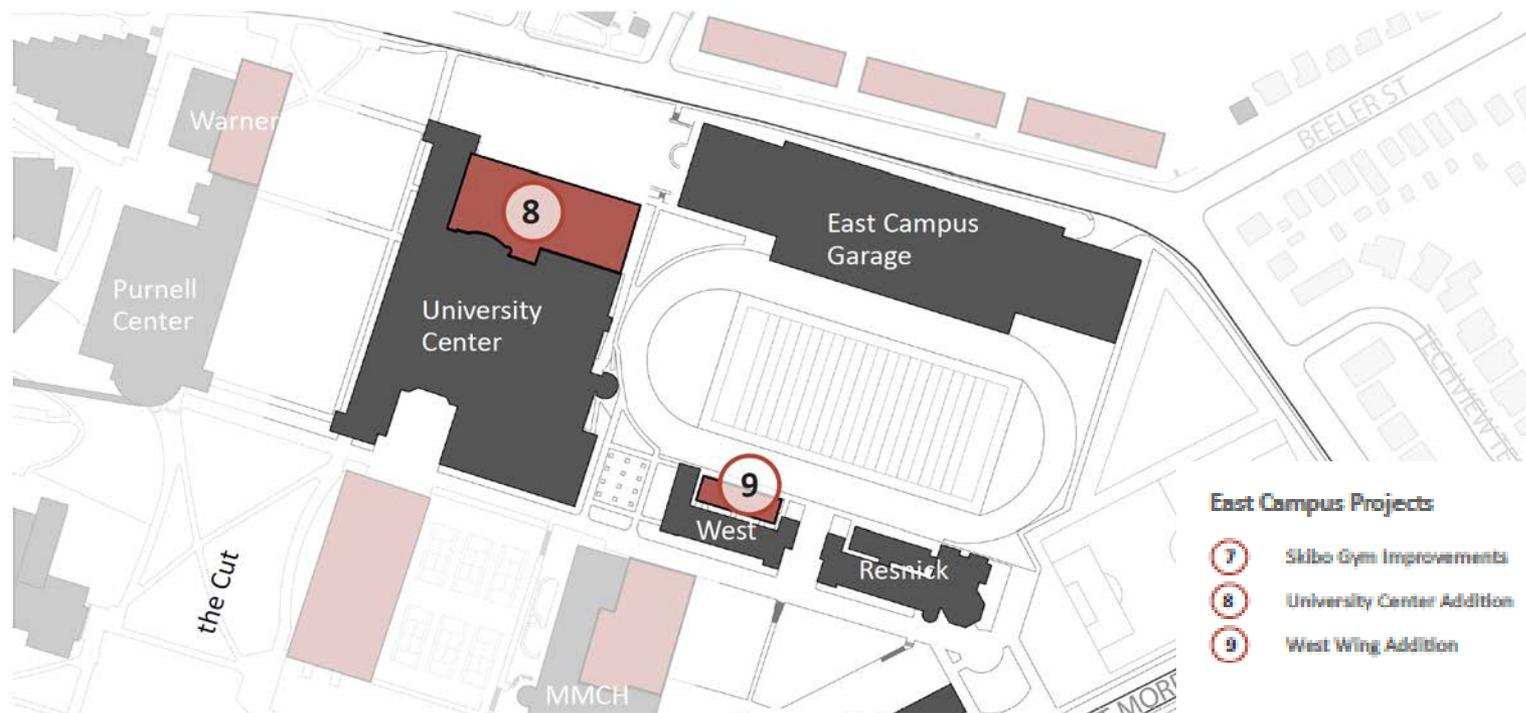
G. Rheinzink
Perforated Zinc, 3/16"
holes
Graphite gray



H. PPG
Duranar XL cap
Medium Gray



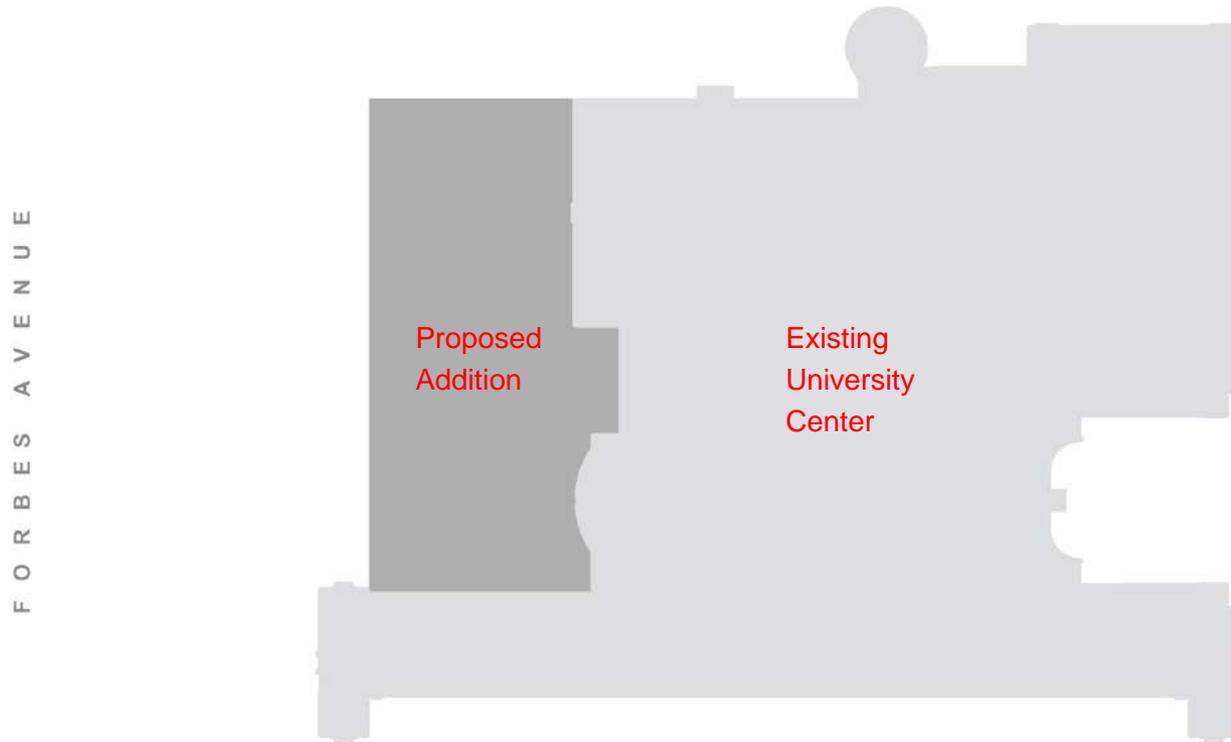
2012 Institutional Master Plan



8. University Center Addition

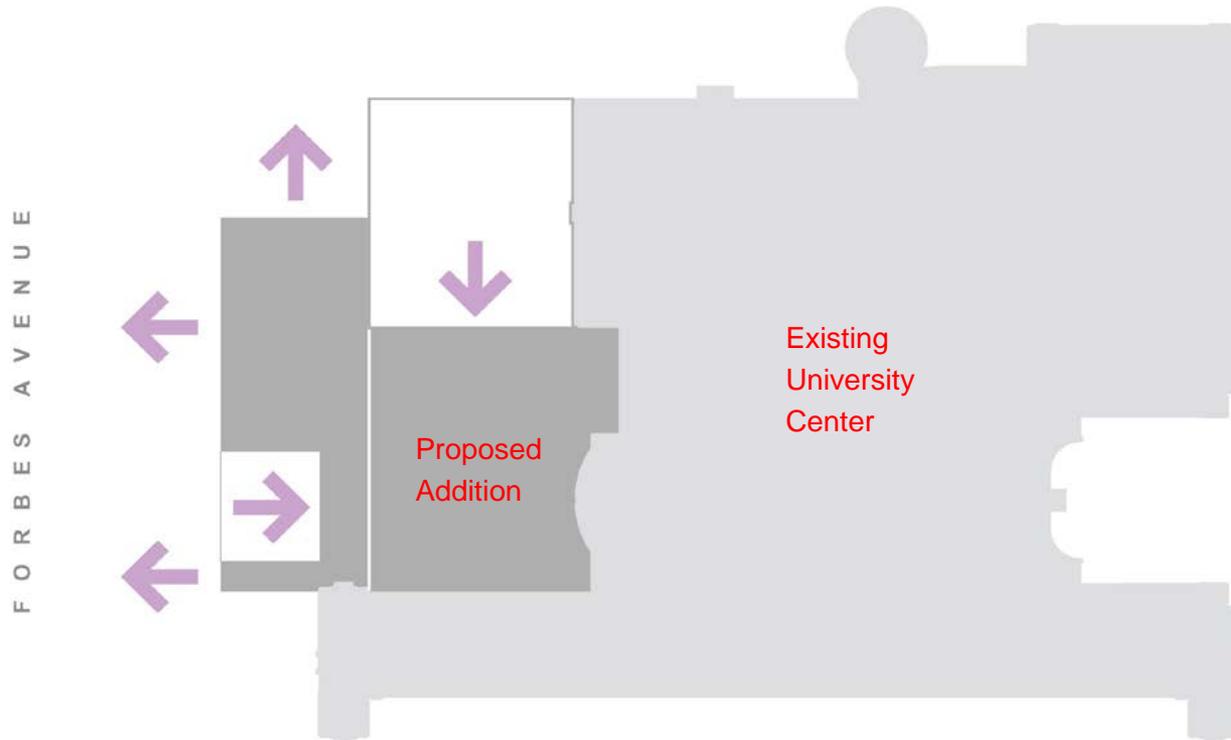
DESCRIPTION	Addition of new fitness facility; new entry to UC; enclosure of existing loading facility
USES	Office, student space, athletics & recreation, performance space
SQUARE FEET	75,000 gsf (new)
HEIGHT	3 stories (no higher than existing building)
SETBACK	North: align w/inside loggia wall South and West: adjacent to existing building East: align w/easternmost existing wall

Building Diagrams



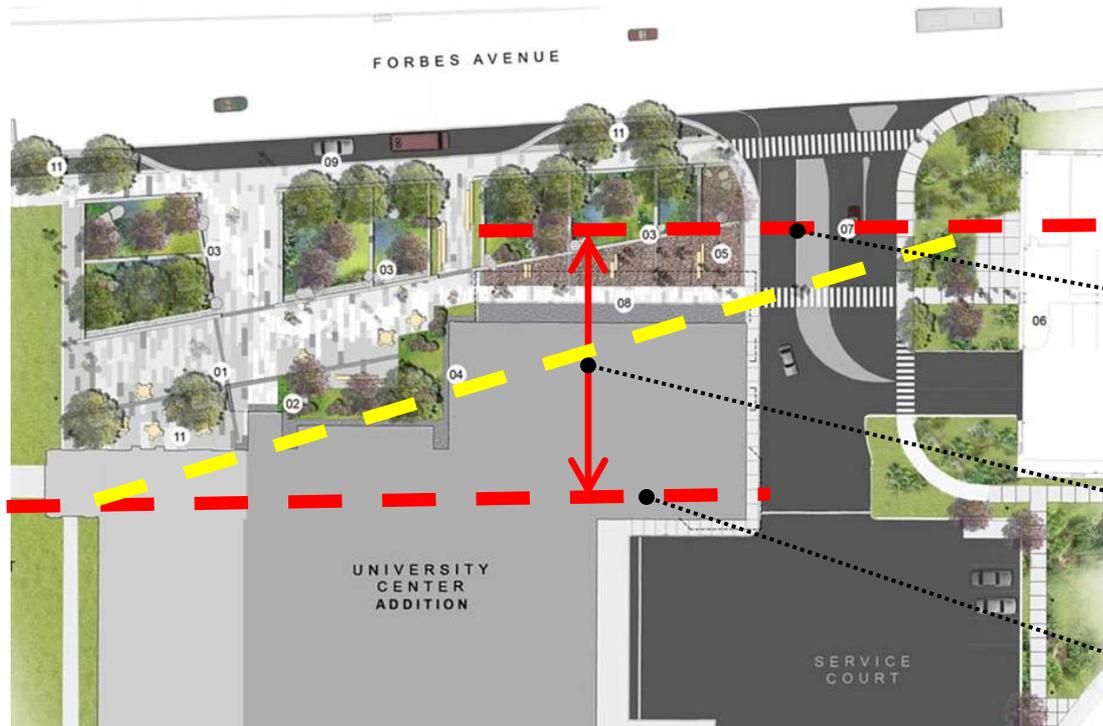
2012 Institutional Master Plan

Building Diagrams



Move toward Forbes Ave.

Setback Conditions



E Campus Garage
Setback Line

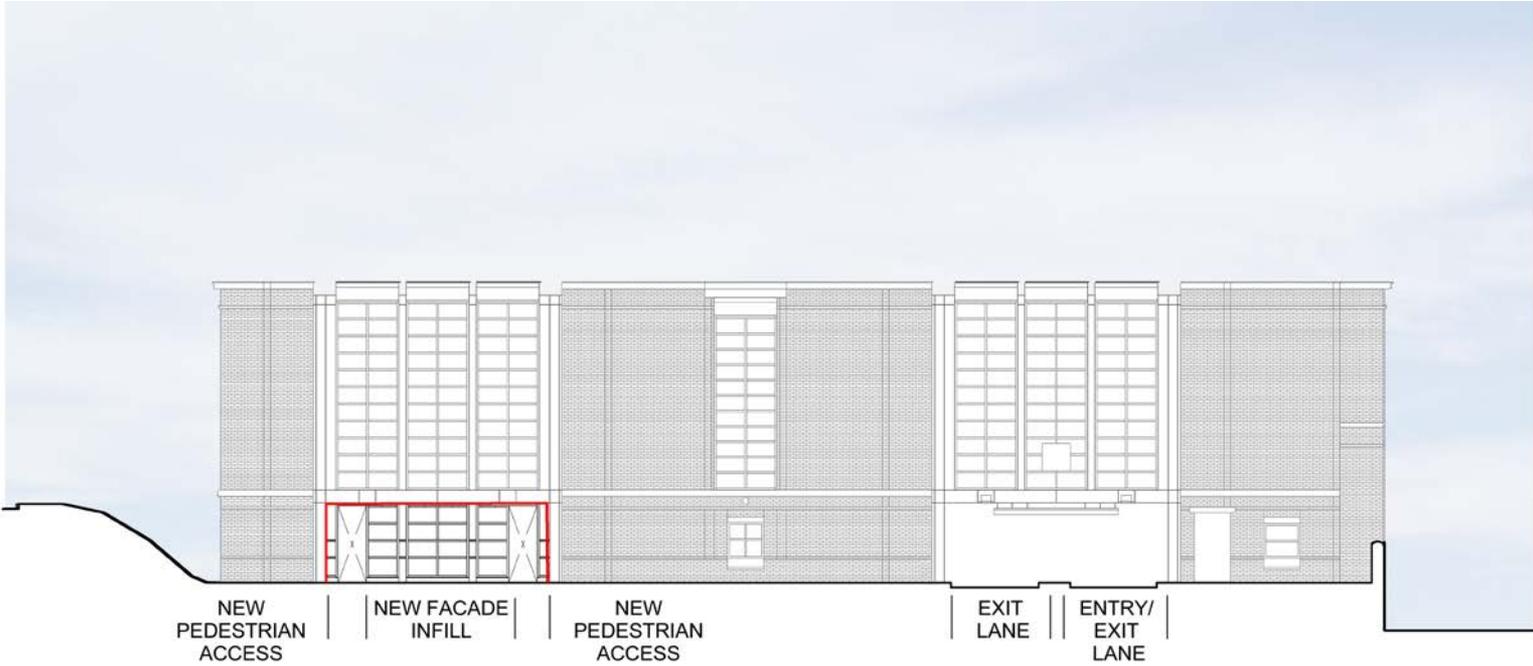
Contextual Setback
Zone

IMP Setback Line

Existing Parking Garage



Renovated Parking Garage





**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Eastside Limited Partnership III		Phone Number: (412) 391-7171	
Address: 535 Smithfield St. Suite 2425		City: Pittsburgh	State: PA
		Zip Code: 15222	
2. Applicant/Company Name: Same as Above		Phone Number: ()	
Address:		City:	State:
		Zip Code:	
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Eastside III, Building B (temporary name)			
4. Development Location: East Liberty			
5. Development Address: 6000 Centre Avenue, Pittsburgh, PA 15206			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	UNC		
Present Use of Site: (Select from attached list)	Under Construction		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property: Under Construction	
8. Estimated Construction:	Start Date: 09/ 01/ 2014	Occupancy Date: 09/ 01 /2015	Project Cost: \$ TBD
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list):			
10. Select the Type of Work:			
<input checked="" type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development: The building is a mixed use building consisting of 175 apartments above approximately 20,747 SF of retail. The parking to support this project is accommodated within the existing garage.			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	N/A	sq ft
Existing to be Retained:	N/A	sq ft
Retained Area to be Renovated:	N/A	sq ft
To be Constructed:	228,397	sq ft
Building Footprint:	54,526	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	N/A	N/A	5	57'-8 1/4" (TOP OCC. FLOOR) 75'-2 3/4" (PARAPET)
Proposed Addition/Extension			N/A	N/A

Provide Accessory Structure Type(s) and Height(s):

Stair Tower		80'-0"

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: 175

17. Lot Area: 178,637 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19') as approved during	146 +18 parallel parking spaces on new elevated street to support retail, a portion to be signed for accessibility	
Compact (7 1/4' x 16') master plan review	25	
Handicap (13 1/2' x 19')	4	
Off-Street Loading Spaces: <input checked="" type="checkbox"/> N/A	2	
Actual:		
Required:	As per Master Development Plan	

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s) _____ Termination of Existing Water Service Tap(s)
 _____ New Sewer Service Connection(s) _____ Termination of Existing Sewer Service Tap(s)

Water and sewer connections are addressed in site project.

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

Construction of water and sewer infrastructure is addressed in site project.

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:

Daniel Friday, The Mosites Company



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

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The Development Review Application can be used for the following:

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Address: 535 Smithfield St. Suite 2425		City: Pittsburgh	State: PA Zip Code: 15222
2. Applicant/Company Name: Same as Above		Phone Number: ()	
Address:	City:	State:	Zip Code:
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: Eastside III, Building C (temporary name)			
4. Development Location: East Liberty			
5. Development Address: 6230 Penn Avenue, Pittsburgh, PA 15206			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	UNC		
Present Use of Site: (Select from attached list)	Under Construction		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property: Under Construction	
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9. Proposed Use of Site (Select from attached list):			
10. Select the Type of Work:			
<input checked="" type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development: The building is a mixed use building consisting of 76 apartments above approximately 18,703 SF of retail. The parking to support this project is accommodated within the existing garage.			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	N/A	sq ft
Existing to be Retained:	N/A	sq ft
Retained Area to be Renovated:	N/A	sq ft
To be Constructed:	113,488	sq ft
Building Footprint:	25,449	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	N/A	N/A	5	50'-6 1/2" (TOP OCC. FLOOR) 66'-6" (PARAPET)
Proposed Addition/Extension			N/A	N/A

Provide Accessory Structure Type(s) and Height(s):

Stair Tower			77'-1"
Decorative Fin at Tower			82'-6 1/2"

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: 76

17. Lot Area: 178,637 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19') as approved during	49	
Compact (7 1/4' x 16') master plan review	25	
Handicap (13 1/2' x 19')	2	

Off-Street Loading Spaces: N/A (SEE VARIANCE)
 Actual: _____
 Required: As per master development plan

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

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21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s) _____ Termination of Existing Water Service Tap(s)

_____ New Sewer Service Connection(s) _____ Termination of Existing Sewer Service Tap(s)

Water and sewer connections are addressed in site project.

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

Applicant requests PWSA to accept ownership of the sewer mains and/or water lines

Applicant retains private ownership of sewer mains and/or water lines

Not Applicable (Development does not include construction of sewer mains and/or water lines)

Construction of water and sewer infrastructure is addressed in site project.

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

Public Property, Existing City Street

Private Property

Not Applicable

Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

Applicant requests to change or designate the name of a City Street.

The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.

Modification or reconstruction of City curbs.

Design and construction of a new street where the Applicant will request the City to accept ownership of the street.

Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.

The proposed work will create an obstruction of traffic on City rights-of-way.

The proposed work includes the excavation of a City street or sidewalk.

The proposed work includes the placement of a demolition dumpster in a City right-of-way.

The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit?

Yes

No

Applicant Signature:

Daniel Friday, The Mosites Company



EASTSIDE III

PITTSBURGH, PENNSYLVANIA

BUILDING B&C ZONING UPDATE PACKAGE

JULY 17, 2014

EASTSIDE III

PITTSBURGH, PENNSYLVANIA

JULY 17, 2014

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PROJECT INFORMATION

BUILDING A	5 RESIDENTIAL LEVELS OF TYPE III-A WOOD FRAME ABOVE TYPE I-A GARAGE
BUILDING B	5 RESIDENTIAL LEVELS OF TYPE III-A WOOD FRAME ABOVE TYPE I-A GARAGE
BUILDING C	5 RESIDENTIAL LEVELS OF TYPE III-A WOOD FRAME ABOVE TYPE I-A GARAGE
GARAGE	3 LEVELS OF TYPE I-A CONSTRUCTION - 2 BAY GARAGE BELOW NEW ELEVATED STREET

UNITS

NET RESIDENTIAL AREA:	328,072SF (360 UNITS)
AMENITY AREA:	14,119 SF
775 SF/UNIT AVERAGE -	15% STUDIO
	58% 1 BR
	27% 2 BR

RETAIL

BUILDING A	1,923 SF
BUILDING B	20,747 SF
BUILDING C	18,703 SF
TOTAL	41,373 SF

LANDSCAPING - 50/50 HARDSCAPE TO PLANTING

ABOVE ELEVATED DECK:	50% OF THE MEWS (SOUTH), BUILDING C COURTYARD, WEST PLAZA, NEW ELEVATED STREET TREES
ON GRADE:	50% OF THE MEWS (NORTH), EAST PLAZA, NORTH PLAZA, BUILDING B COURTYARD

PARKING

- LOWER LEVEL	274 SPACES
- GROUND LEVEL	241 SPACES
- ELEVATED STREET LEVEL	39 SPACES
TOTAL PARKING	554 SPACES

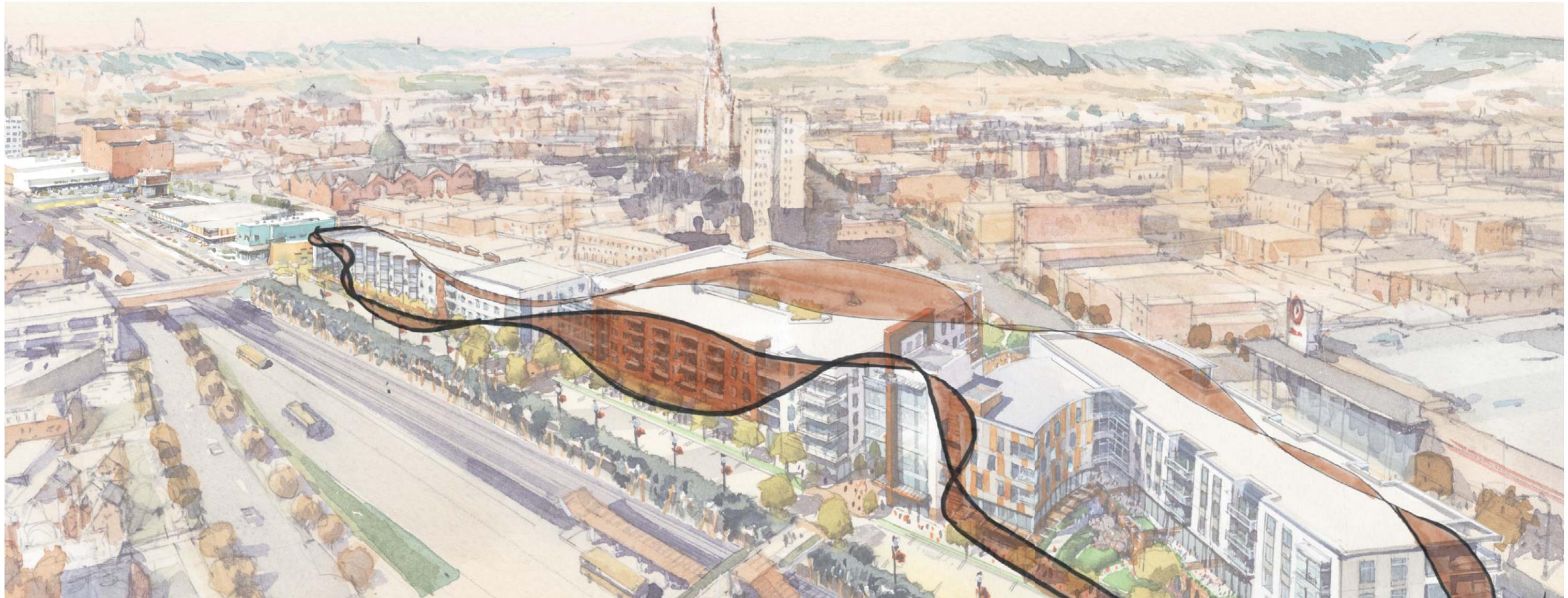
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CONNECTIVE RIBBON

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BUILDING B

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THE MEWS

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SOUTH ELEVATION



MEWS (EAST) ELEVATION

BUILDING B - SOUTH AND MEWS ELEVATIONS



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BUILDING C

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NORTHEAST ELEVATION



MEWS (NORTHWEST) ELEVATION

BUILDING C - NORTHEAST AND MEWS ELEVATIONS



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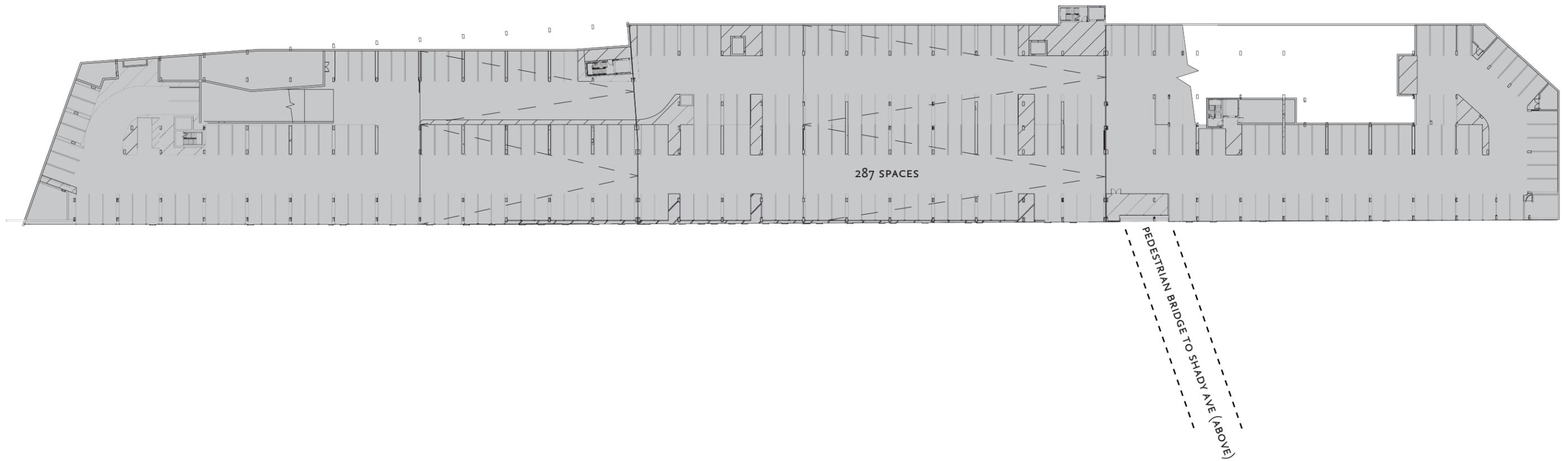
BUILDING C - SOUTH ELEVATION



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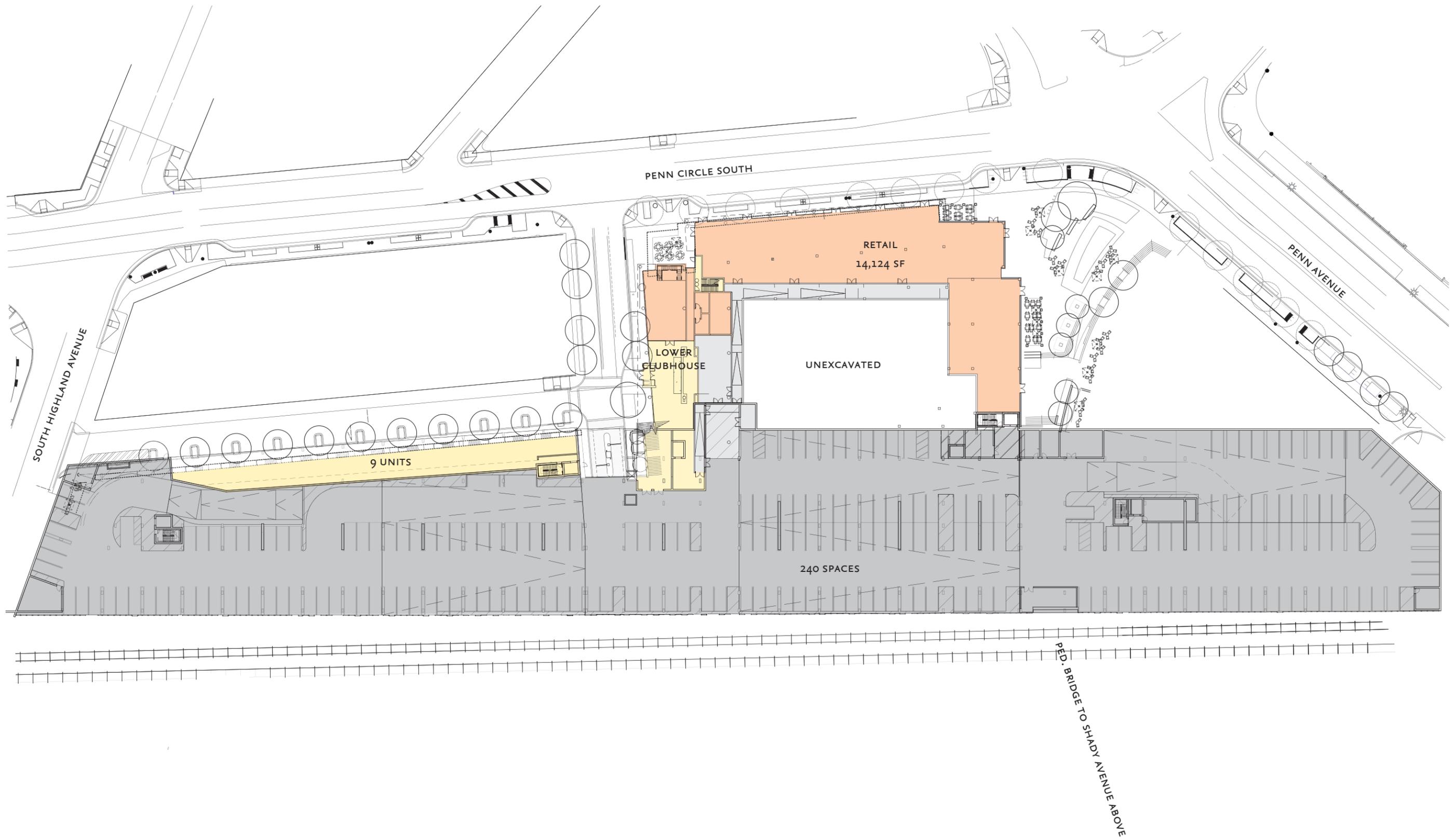
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LEVEL P1
SCALE: 1/64" = 1'-0"



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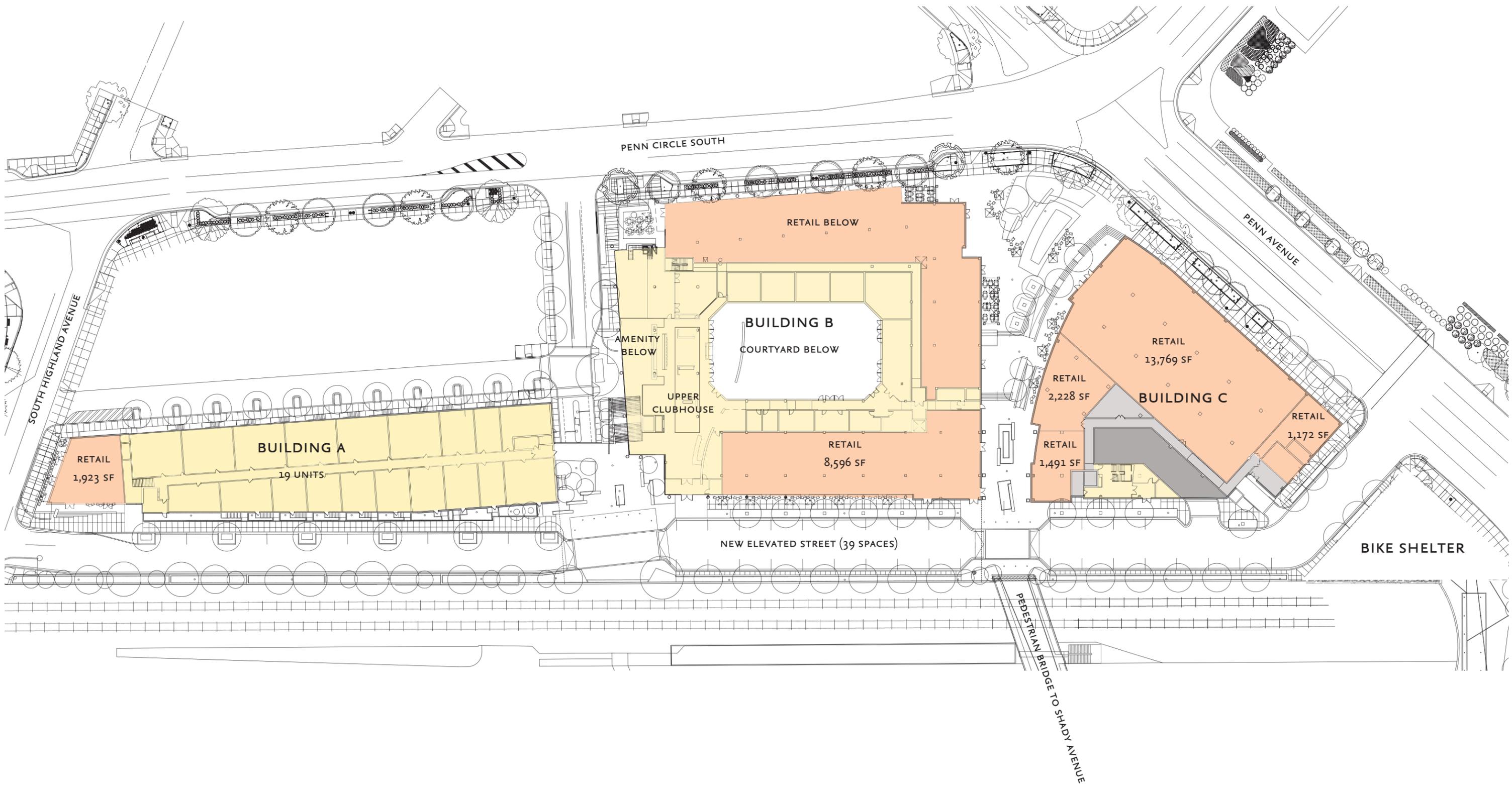
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LEVEL G1
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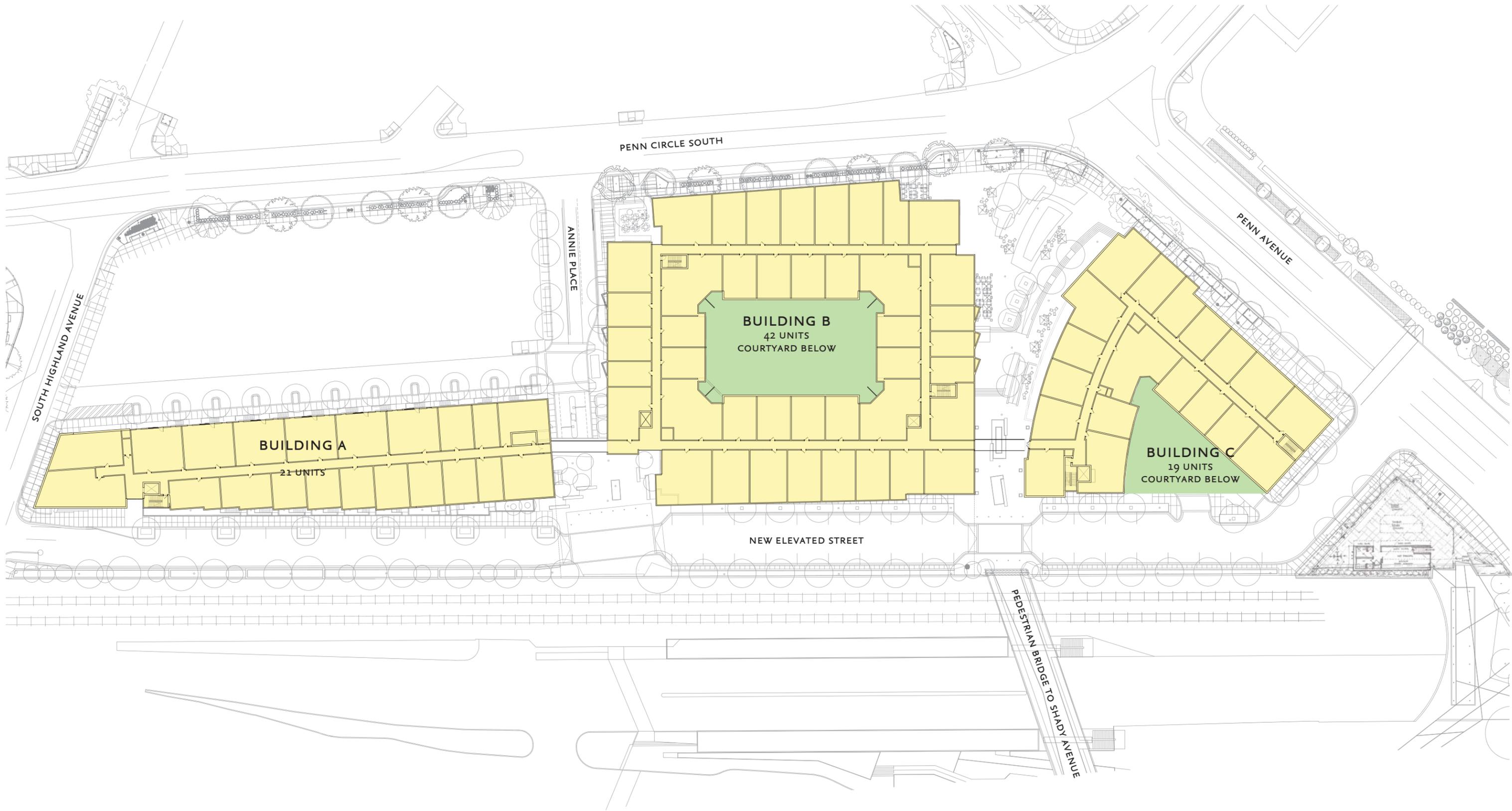
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ELEVATED STREET LEVEL

SCALE: 1/64" = 1'-0"



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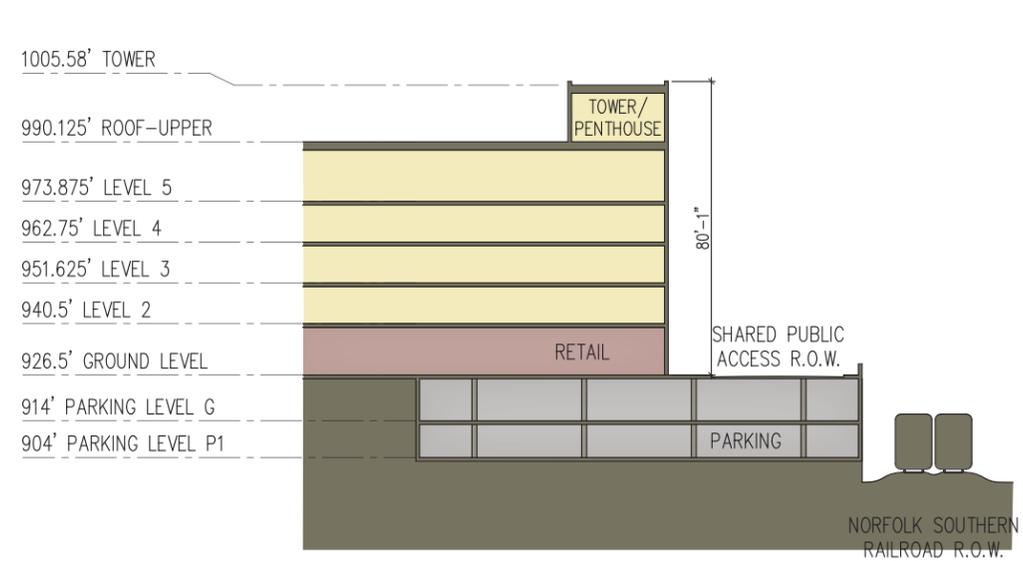
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TYPICAL RESIDENTIAL LEVEL

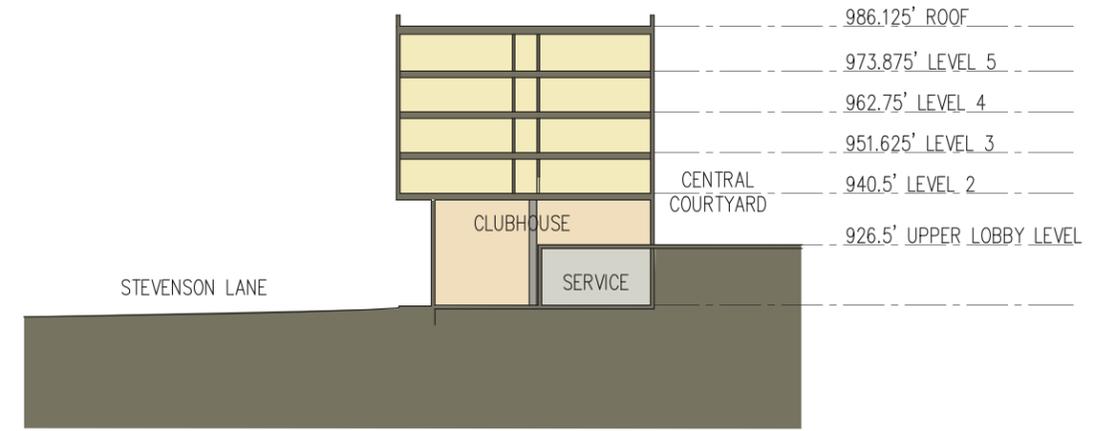
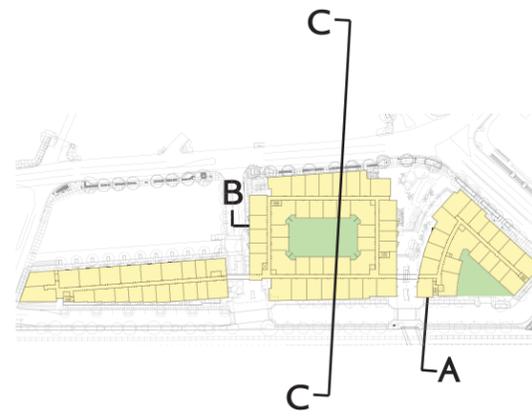
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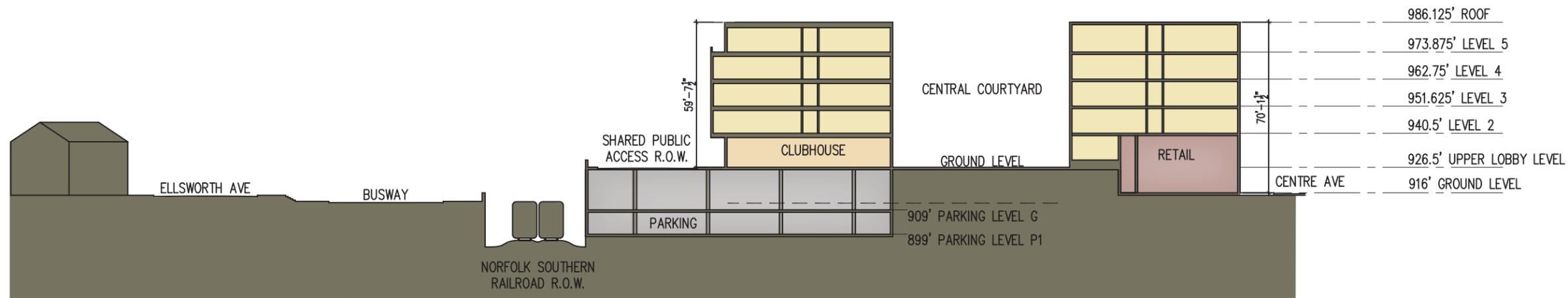
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SECTION A - BUILDING C @ PENTHOUSE MEZZANINE



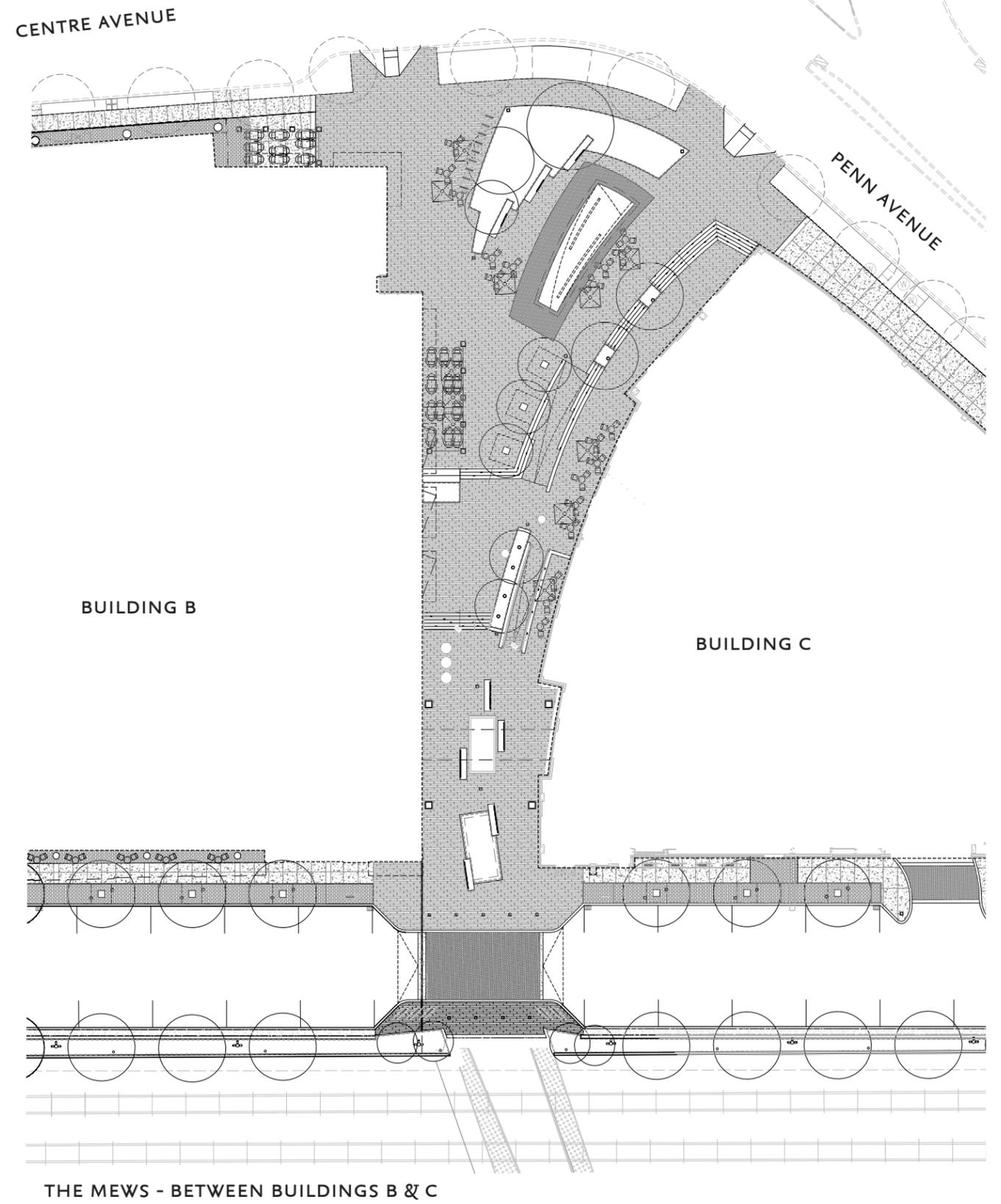
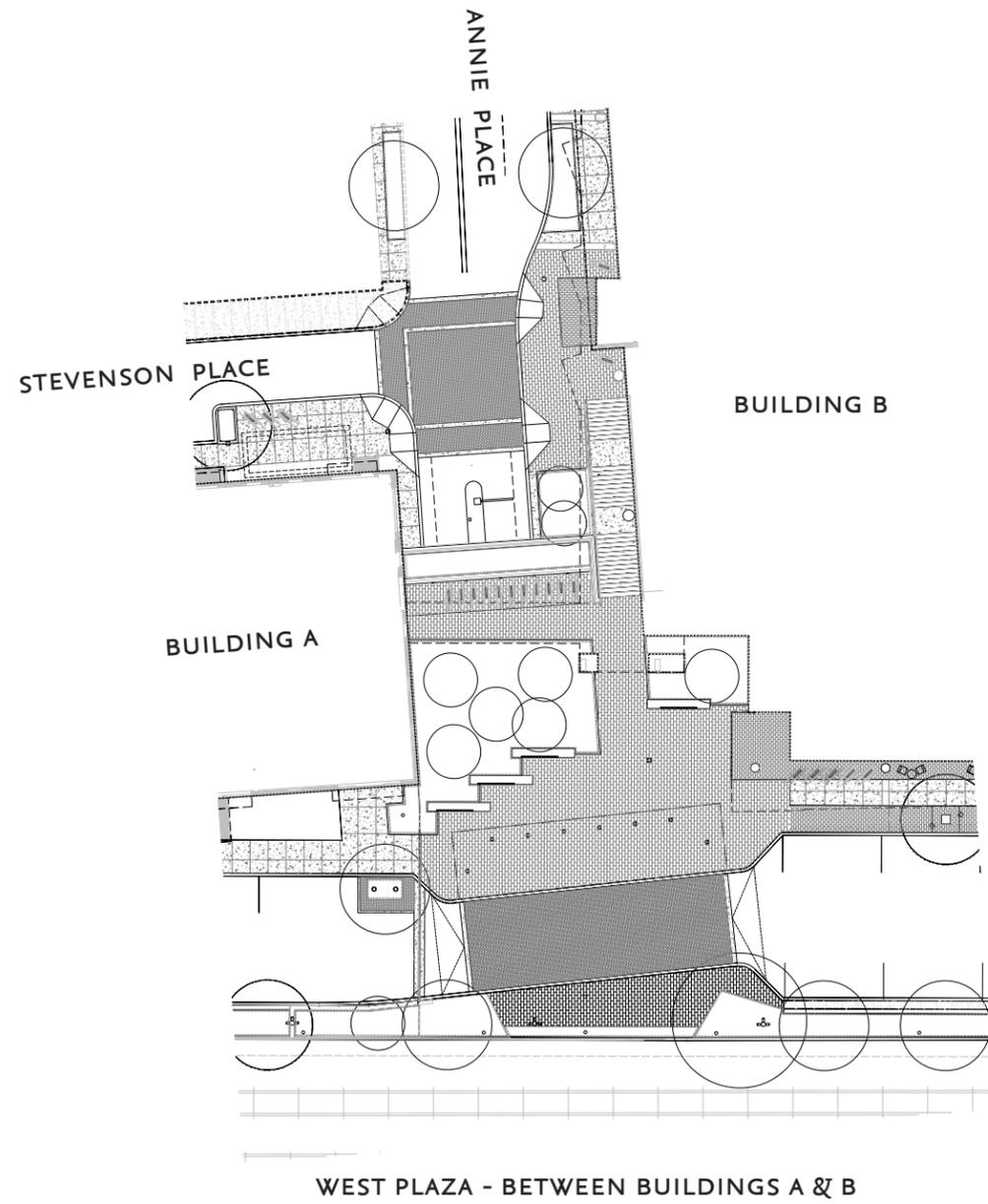
SECTION B - BUILDING B @ LARGEST HEIGHT FROM ADJACENT GRADE



SECTION C - BUILDING B @ CLUBHOUSE TO NEAREST RESIDENTIAL PROPERTY

SECTIONS







PENN CIRCLE SOUTH EAST OF ANNIE PLACE



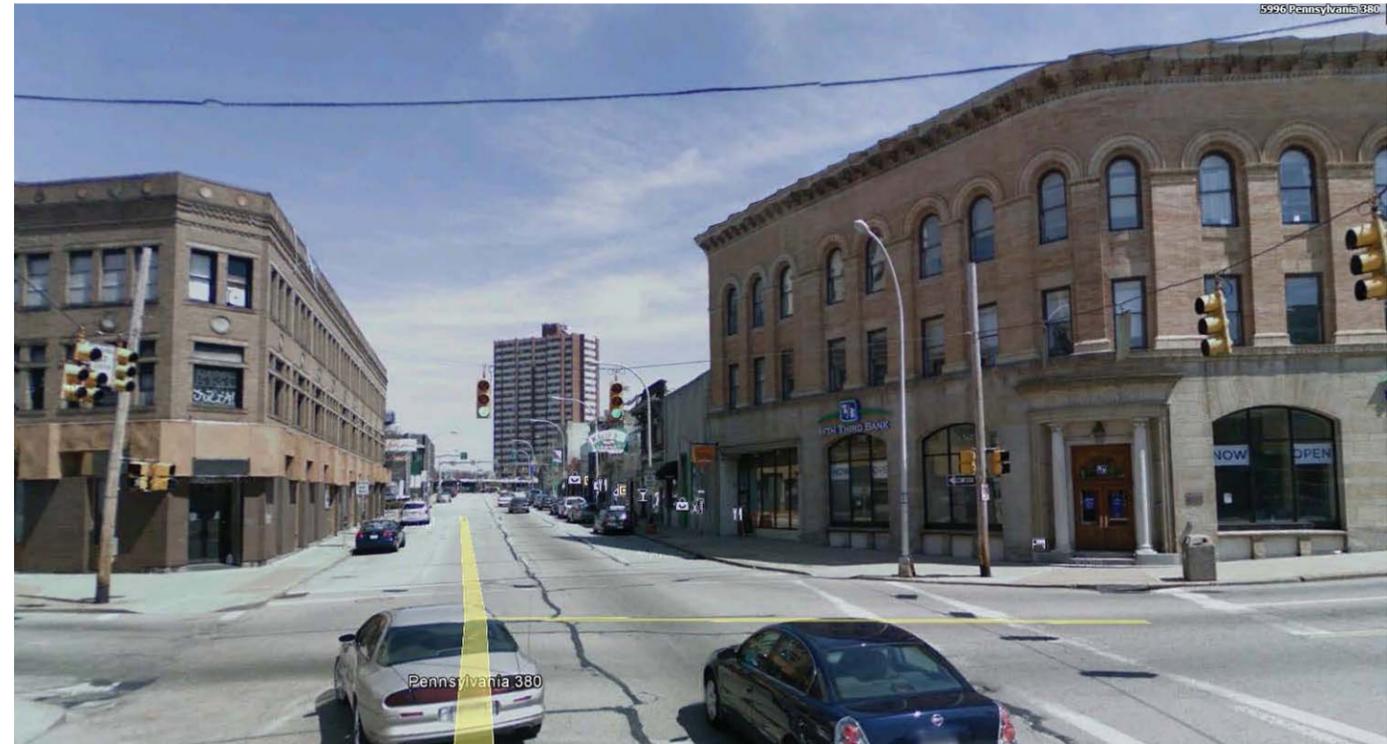
INTERSECTION OF PENN CIRCLE SOUTH AND ANNIE PLACE



PENN CIRCLE SOUTH WEST OF ANNIE PLACE



PENN CIRCLE SOUTH ACROSS FROM BUILDING B



INTERSECTION OF PENN CIRCLE SOUTH AND SOUTH HIGHLAND AVE

CONTEXT

EASTSIDE III

PITTSBURGH, PENNSYLVANIA

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INTERSECTION OF SOUTH HIGHLAND AVE AND PENN CIRCLE SOUTH RETAIL



HISTORIC NEIGHBORHOOD ARCHITECTURE



PENN CIRCLE SOUTH RETAIL



JUXTAPOSITION OF HISTORIC, INDUSTRIAL, AND CONTEMPORARY MATERIALS

CONTEXT

EASTSIDE III

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RAIL TRACKS LOOKING EAST



RAIL TRACKS LOOKING WEST



TARGET AT PENN AVE

CONTEXT

EASTSIDE III

PITTSBURGH, PENNSYLVANIA

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FAÇADE MATERIALS

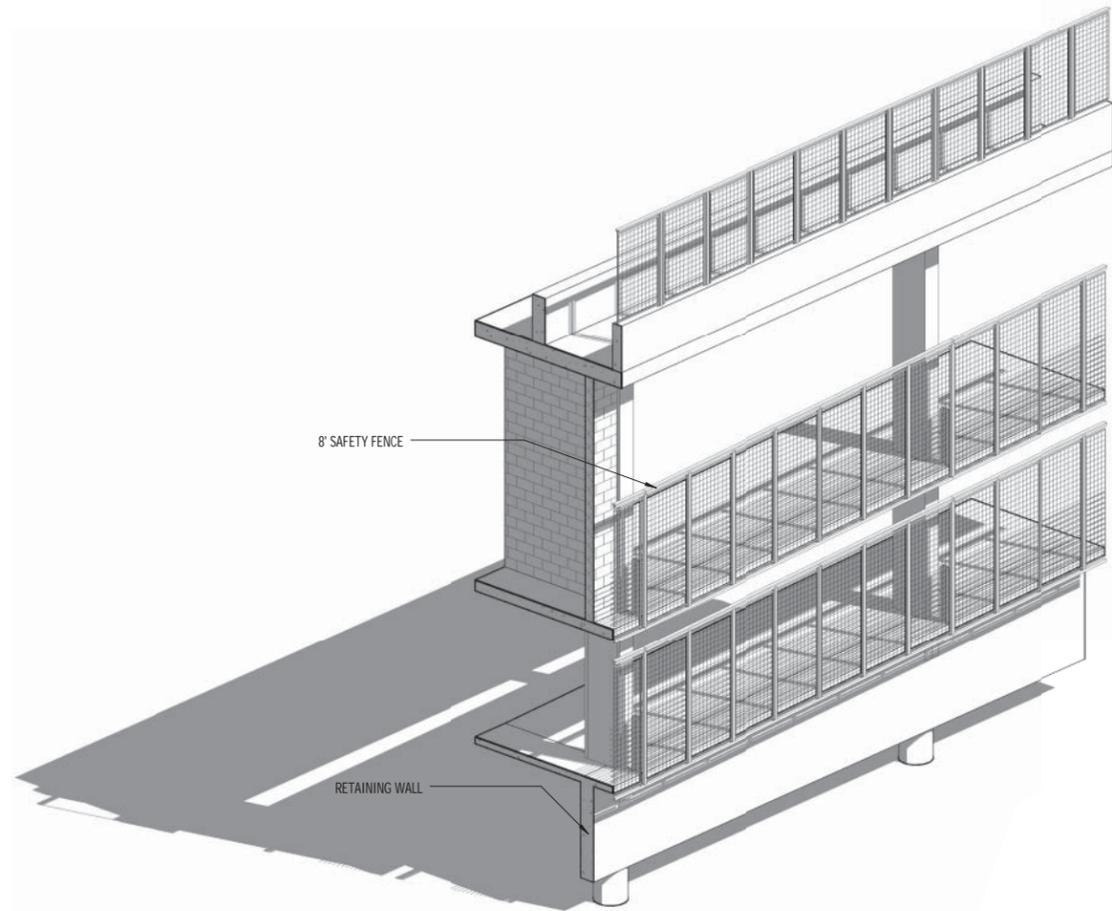
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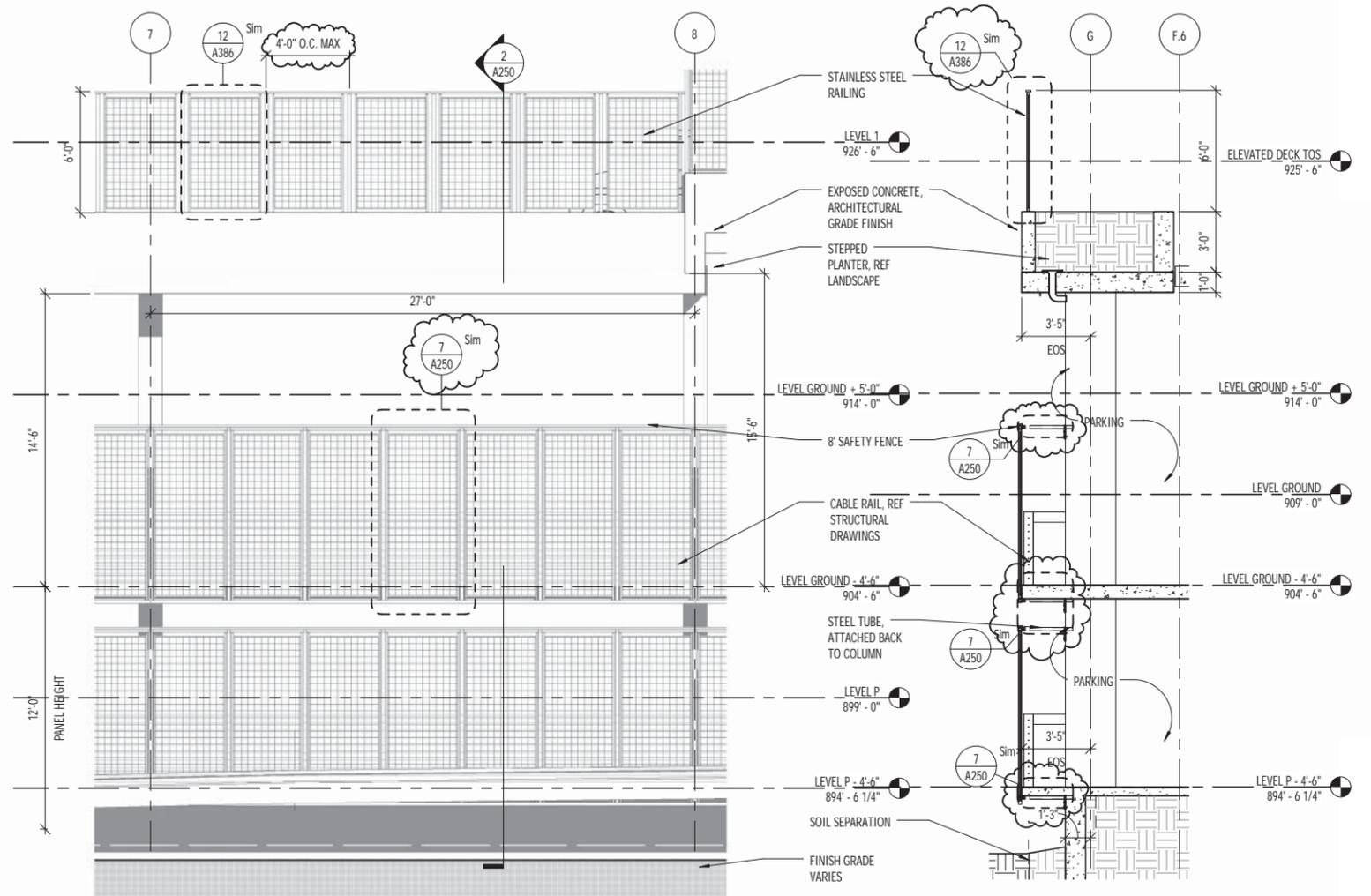
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5 PARTIAL AXON OF SOUTH ELEVATION BAY
A250



1 TYPICAL BAY-WEST @ STEPPED PLANTER
A201/A250 1/4" = 1'-0"

2 SECTION THROUGH WEST BAY @ STEPPED PLANTER
A101/A250 1/4" = 1'-0"

GARAGE SCREEN WALL SYSTEM

EASTSIDE III

PITTSBURGH, PENNSYLVANIA

JULY, 17, 2014

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TOTAL OF 360 UNITS

-100% OF UNITS MEET FHA REQUIREMENTS

-2.2% (8 UNITS) MEET ANSI TYPE A STANDARD FOR ACCESSIBILITY AS DEFINED BY ANSI A117.1. (2% REQUIRED)

Eastside III - Building A (West)
The Mosites Company

DCI Project 784-12-05
Apartment Tabs Floor Hgt. = 11'-1 1/2"

13-May-14

V 5.0

Unit Calculations					
Type	Unit	Unit Count:	BR Count:	Unit NRSF*	
Studio	oA	4	4	467 SF	
Studio	oA1	2	2	469 SF	
Studio	oB	1	1	484 SF	
Studio	oC	10	10	567 SF	
Studio	oD	3	3	625 SF	
Studio	oD1	6	6	685 SF	
Studio	oD-TYPE A	1	1	653 SF	
Subtotal Studio					27
1BR	1A	1	1	653 SF	
1BR	1A1	1	1	649 SF	
1BR	1B	14	14	755 SF	
1BR	1B1	2	2	695 SF	
1BR	1B2	2	2	737 SF	
1BR	1B3	3	3	748 SF	
1BR	1B4	3	3	789 SF	
1BR	1B-TYPE A	1	1	755 SF	
1BR	1C	2	2	782 SF	
1BR	1D	5	5	836 SF	
1BR	1E	2	2	749 SF	
1BR	1E1	2	2	839 SF	
1BR	1E2	3	3	840 SF	
1BR	1E3	3	3	908 SF	
1BR	1F	3	3	877 SF	
Subtotal 1BR					47
1 BR-Den	1G	1	1	1,032 SF	
Subtotal 1BR-Den					1
2BR	2A	4	8	1,112 SF	
2BR	2A-TYPE A	1	2	1,105 SF	
2BR	2B	3	6	1,157 SF	
2BR	2B1	1	2	1,119 SF	
2BR	2C	8	16	1,119 SF	
2BR	2C1	12	24	1,169 SF	
2BR	2D	2	4	1,256 SF	
Subtotal 2BR					31
2 BR-DEN	2E	2	4	1,492 SF	
2 BR-DEN	2F	1	2	1,498 SF	
Subtotal 2BR					3

Unit Totals			
Area	Units	Count	BR Count
Units	109	143	

Unit	Unit Count	BR Count:	Unit NRSF*
1 BR	47	62	8,037 SF
2 BR	31	62	8,037 SF
1 BR-DEN	2	4	1,492 SF
2 BR-DEN	1	2	1,498 SF
Total	109	143	859
Average GRSF			859 SF

Unit Info:			
Unit Type	Count	%	Ave. Size
Studio	27	24.8%	577 SF
1 BR	47	43.1%	785 SF
1 BR-Den	1	0.9%	1,032 SF
2 BR	31	28.4%	1,149 SF
2 BR-Den	3	2.8%	1,494 SF
Total	109	100.0%	859
Average GRSF			859 SF

Unit Counts per Floor						
G	1	2	3	4	5	
4	0	0	0	0	0	0
2	0	0	0	0	0	0
0	0	0	0	1	0	0
0	2	2	2	2	2	2
0	1	0	0	0	0	2
0	0	2	2	2	0	0
0	1	0	0	0	0	0
2,805 SF	2,411 SF	2,503 SF	2,503 SF	2,987 SF	2,382 SF	
1	0	0	0	0	0	0
1	0	0	0	0	0	0
0	3	2	3	3	3	3
0	1	0	0	0	1	1
0	1	0	0	0	1	1
0	0	1	1	1	0	0
0	0	1	1	1	0	0
0	1	1	0	0	0	0
0	0	0	0	0	5	5
0	1	0	0	0	1	1
0	1	0	0	0	1	1
0	0	1	1	1	0	0
0	0	1	1	1	0	0
0	0	1	0	0	0	0
0	0	0	0	0	1	1
0	0	0	0	0	1	1
1,302 SF	6,066 SF	6,332 SF	6,427 SF	6,427 SF	10,341 SF	
0 SF	2,265 SF	1,510 SF	2,265 SF	2,265 SF	2,265 SF	
0	1	0	1	1	1	1
0	0	1	0	0	0	0
0	0	0	0	0	1	1
0	1	1	1	5	0	0
0	4	4	4	0	0	0
0	0	1	1	0	0	0
0 SF	8,063 SF	9,312 SF	9,319 SF	7,828 SF	1,112 SF	
0	0	1	1	0	0	0
0	0	0	0	1	0	0
0 SF	0 SF	1,492 SF	1,492 SF	1,498 SF	0 SF	

Area	Units	Count	BR Count	Unit NRSF*
Units	8	19	21	109

Unit	Unit Count	BR Count:	Unit NRSF*
1 BR	47	62	8,037 SF
2 BR	31	62	8,037 SF
1 BR-DEN	2	4	1,492 SF
2 BR-DEN	1	2	1,498 SF
Total	8	19	109

Unit Counts per Floor						
G	1	2	3	4	5	TOTAL
4	0	0	0	0	0	0
2	0	0	0	0	0	0
0	0	0	0	1	0	0
0	2	2	2	2	2	2
0	1	0	0	0	0	2
0	0	2	2	2	0	0
0	1	0	0	0	0	0
2,805 SF	2,411 SF	2,503 SF	2,503 SF	2,987 SF	2,382 SF	
1	0	0	0	0	0	0
1	0	0	0	0	0	0
0	3	2	3	3	3	3
0	1	0	0	0	1	1
0	1	0	0	0	1	1
0	0	1	1	1	0	0
0	0	1	1	1	0	0
0	1	1	0	0	0	0
0	0	0	0	0	5	5
0	1	0	0	0	1	1
0	1	0	0	0	1	1
0	0	1	1	1	0	0
0	0	1	1	1	0	0
0	1	1	0	0	0	0
0	0	0	0	0	1	1
0	0	0	0	0	1	1
1,302 SF	6,066 SF	6,332 SF	6,427 SF	6,427 SF	10,341 SF	
0 SF	2,265 SF	1,510 SF	2,265 SF	2,265 SF	2,265 SF	
0	1	0	1	1	1	1
0	0	1	0	0	0	0
0	0	0	0	0	1	1
0	0	0	0	0	1	1
0	0	1	1	5	0	0
0	4	4	4	0	0	0
0	0	1	1	0	0	0
0 SF	8,063 SF	9,312 SF	9,319 SF	7,828 SF	1,112 SF	
0	0	1	1	0	0	0
0	0	0	0	1	0	0
0 SF	0 SF	1,492 SF	1,492 SF	1,498 SF	0 SF	



Eastside III - Building B (Center)
The Mosites Company

DCI Project 784-12-05
Apartment Tabs Floor Hgt. = 11'-1 1/2"

13-May-14

V 5.0

Unit Calculations					
Type	Unit	Unit Count:	BR Count:	Unit NRSF*	
Studio	oA	6	6	508 SF	
Studio	oB	4	4	563 SF	
Studio	oB1	9	9	587 SF	
Studio	oB2	3	3	609 SF	
Studio	oB3	1	1	577 SF	
Studio	oB4	2	2	604 SF	
Studio	oB-TYPE A	1	1	602 SF	
Subtotal Studio					26
1BR	1A	65	65	754 SF	
1BR	1A1	3	3	776 SF	
1BR	1A2	3	3	838 SF	
1BR	1A-TYPE A	2	2	776 SF	
1BR	1B	1	1	766 SF	
1BR	1C	3	3	809 SF	
1BR	1C1	3	3	812 SF	
1BR	1C2	3	3	822 SF	
1BR	1C3	3	3	825 SF	
1BR	1C4	3	3	834 SF	
Subtotal 1BR					89
1BR Den	1D	3	6	860 SF	
1BR Den	1D1	3	6	914 SF	
1BR Den	1E	3	6	945 SF	
1BR Den	1E1	3	6	982 SF	
1BR Den	1F	3	6	1,008 SF	
1BR Den	1G	4	8	1,077 SF	
Subtotal 1BR + Den					39
2BR	2A	3	6	1,138 SF	
2BR	2A1	7	14	1,112 SF	
2BR	2A2	4	8	1,085 SF	
2BR	2A3	2	4	1,091 SF	
2BR	2A4	3	6	1,208 SF	
2BR	2A-TYPE A	1	2	1,141 SF	
2BR	2B	4	8	1,408 SF	
2BR	2C	12	24	1,215 SF	
2BR	2D	1	2	1,264 SF	
2BR	2D1	3	6	1,512 SF	
Subtotal 2BR					40
2 BR-DEN	2E	1	2	1,341 SF	
Subtotal 2BR					1

Unit Totals			
Area	Units	Count	BR Count
Units	275	233	

Unit	Unit Count	BR Count:	Unit NRSF*
1 BR	89	80	11,878 SF
2 BR	40	80	11,878 SF
1 BR-DEN	1	2	1,341 SF
2 BR-DEN	1	2	1,341 SF
Total	275	233	151,548 SF

Unit Info:			
Unit Type	Count	%	Ave. Size
Studio	26	14.9%	569 SF
1 BR	89	50.9%	769 SF
1 BR Den	19	10.9%	970 SF
2 BR	40	22.9%	1,213 SF
2 BR-DEN	1	0.6%	1,341 SF
Total	275	100.0%	866 SF
Average GRSF			866 SF



Eastside III - Building C (East)
The Mosites Company

DCI Project 784-12-05
Apartment Tabs Floor Hgt. = 11'-1 1/2"

13-May-14

V 5.0

Unit Calculations					
Type	Unit	Unit Count:	BR Count:	Unit NRSF*	
Studio	oA	1	1	571 SF	
Subtotal 1BR					0
1BR	1A	17	17	754 SF	
1BR	1A1	6	6	716 SF	
1BR	1A2	3	3	908 SF	
1BR	1A3	3	3	805 SF	
1BR	1A-TYPE A	1	1	753 SF	
1BR	1B	4	4	792 SF	
1BR	1B1	4	4	792 SF	
1BR	1B2	4	4	860 SF	
1BR	1C	1	1	874 SF	
1BR	1C1	3	3	889 SF	
1BR	1E	1	1	733 SF	
Subtotal 1BR					47
1BR Den	1F	1	1	911 SF	
1BR Den	1D	4	4	1,036 SF	
Subtotal 1BR + den					5
2BR	2A	3	6	1,078 SF	
2BR	2A1	1	2	1,078 SF	
2BR	2B	4	8	1,033 SF	
2BR	2C	3	6	1,040 SF	
2BR	2D	1	2	1,067 SF	
2BR	2E	1	2	1,082 SF	
2BR	2F	1	2	1,128 SF	
2BR	2G	2	4	1,245 SF	
Subtotal 2BR					16
2BR Den	2H	3	6	1,309 SF	
2BR Den	2J	3	6	1,887 SF	
2BR Den	2J-TYPE A	1	2	1,888 SF	
Subtotal 2BR + Den					7

Unit Totals			
Area	Units	Count	BR Count
Units	76	98	

Unit	Unit Count	BR Count:	Unit NRSF*
1 BR	47	62	8,037 SF
2 BR	16	32	17,330 SF
1 BR-DEN	3		



VEGETATED ROOF

- STORMWATER SYSTEM
- REQUIRED TO CAPTURE 1.2" OF RAINFALL (1.2" REPRESENTS 95% OF STORM EVENTS), OF WHICH NO WATER IS PERMITTED TO LEAVE SITE
 - REQUIRED STORMWATER STORAGE: 27,000 CU FT
 - PROVIDED STORMWATER STORAGE: 32,000 CU FT UNDER MEWS.
 - CISTERN REUSES WATER FOR IRRIGATION OF PLANTING ACROSS ENTIRE SITE

NOTE: THE PLANTING AREAS ARE NOT INCLUDED IN THE STORM WATER MANAGEMENT CALCULATIONS. PLANTING PROVIDED HELPS TO REDUCE STORM WATER RUNOFF IN ADDITION TO THE REQUIRED CAPTURE AREA LISTED ABOVE.

3,502 SF PLANTED SITE AREA (ON-GRADE)
 17,588 SF PLANTED AREA (ON STRUCTURE)
 21,090 SF TOTAL PLANTING AREA

COURTYARD PLANTINGS

STORMWATER MANAGEMENT

SUSTAINABILITY INITIATIVES

- LEED FOR HOMES
- LEED NEIGHBORHOOD DESIGN
- HIGH PERFORMANCE BUILDING ENVELOPE
- COOL ROOF TECHNOLOGY TO REDUCE HEAT ISLAND EFFECT
- GREEN ROOF TECHNOLOGY
- CAPTURING RAINFALL TO IRRIGATE LANDSCAPING THROUGHOUT
- ALL STORMWATER CAPTURED AND HELD ON SITE
- ENERGYSTAR APPLIANCES
- HIGH EFFICIENCY LIGHTING
- LOW-FLOW PLUMBING FIXTURES



LEED-ND



LEED™
FOR HOMES

LEED INITIATIVES

EASTSIDE III

PITTSBURGH, PENNSYLVANIA

JULY, 17, 2014

© DESIGN COLLECTIVE INC.

THE MOSITES COMPANY
DESIGN COLLECTIVE



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: North Shore Developers LP			Phone Number: ()	
Address: 3400 S. Water Street		City: Pittsburgh	State: PA	Zip Code: 15203
2. Applicant/Company Name: Big Heart Pet Brands		Phone Number: (412) 860-5304		
Address: 375 North Shore Drive		City: Pittsburgh	State: PA	Zip Code: 15212
Applicant/Contractor ID:(assigned by the City)				
3. Development Name: 375 North Shore Drive				
4. Development Location: Pittsburgh, PA				
5. Development Address: 375 North Shore Drive, Pittsburgh, PA				
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)				
Proposed Zoning District:	DR-B			
Present Use of Site: (Select from attached list)	82 Office			
7. If a Certificate of Occupancy exists, the following is required:				
Certificate of Occupancy#:	Date Issued:		Existing Use of Property: Office	
8. Estimated Construction:	Start Date: 8/ 1 / 14	Occupancy Date: / /	Project Cost: \$ 150,000	
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to http://www.city.pittsburgh.pa.us/cp/html/land_use_control_and_zoning.html and select the link for the City Zoning Code maintained at the Municode.com website.				
9. Proposed Use of Site (Select from attached list): 82 Office				
10. Select the Type of Work:				
<input type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input checked="" type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use				
11. Describe the Development: Replace high wall signs on South and West sides of existing building facade.				
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)				



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A

Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed: _____ sq ft

Existing to be Retained: _____ sq ft

Retained Area to be Renovated: _____ sq ft

To be Constructed: _____ sq ft

Building Footprint: _____ sq ft

15. Height of Structures:	Existing		Proposed		
	Stories	Feet	Stories	Feet	
Main Structure	6	West Facade: 130'W South Facade: 414'W			
Proposed Addition/Extension					
Provide Accessory Structure Type(s) and Height(s):	Existing Sign Dimensions	Existing Sign Face Area	New Sign Dimensions	New Sign Face Area	2% of Facade Area
High Wall Sign, West	4'-1"H x 61'-3" text	250 SqFt	3'-8"H x 66'-1" text	242 SqFt	263 sf
High Wall Sign, South	10'-4"H logo 6'-0"H text;	500 SqFt	10'-4"H logo 6'-4"H & 3'-4"H text;	562 SqFt	749 sf

16. Number of Dwelling Units:

Existing to Remain: _____ Proposed: _____

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A

Actual: _____

Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm

Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing: (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

 0 New Water Service Connection(s) 0 Termination of Existing Water Service Tap(s)
 0 New Sewer Service Connection(s) 0 Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____

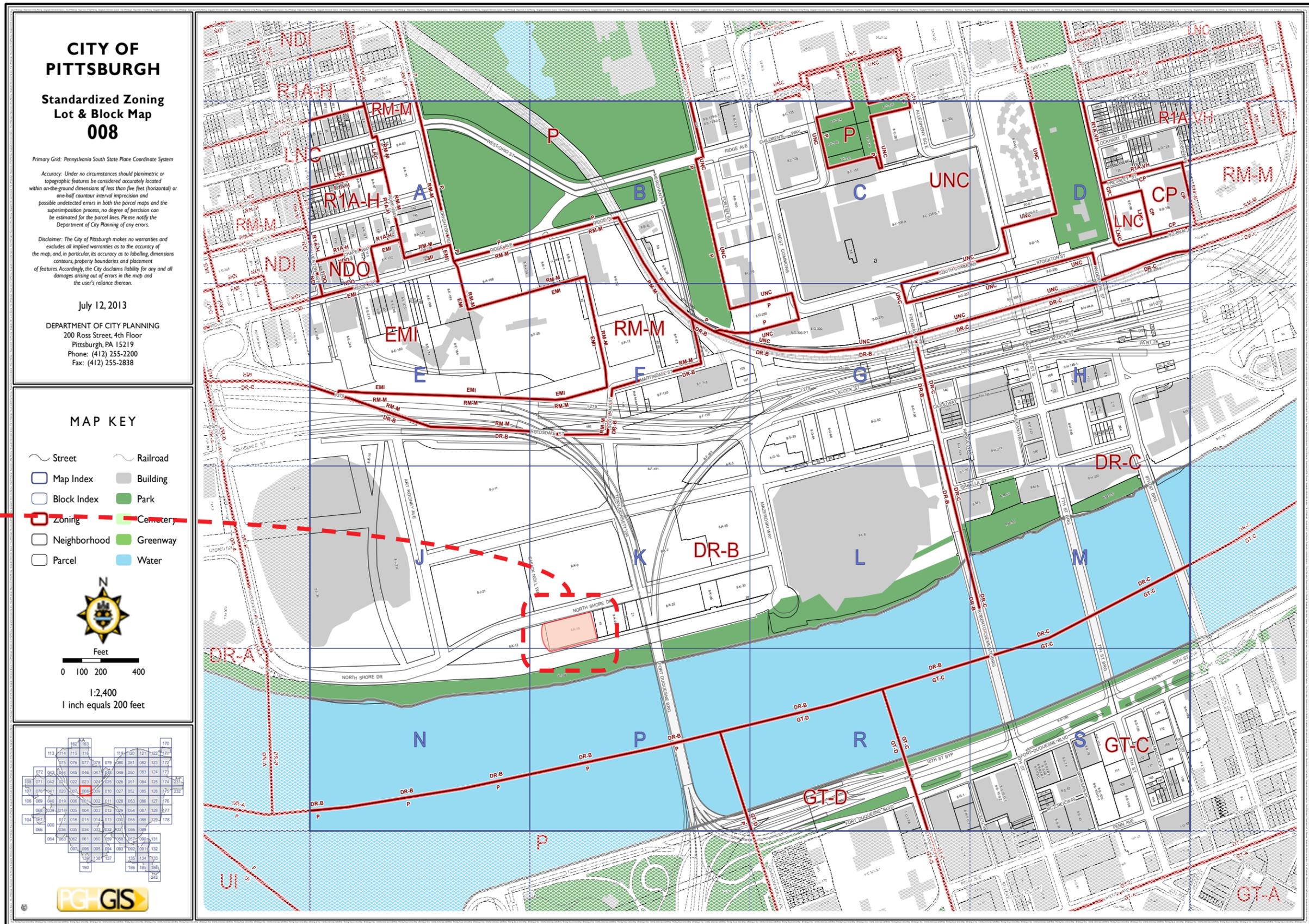


Big Heart Pet Brands High Wall Sign

City Planning Review Package

May 30 , 2014

KOLANO design
6026 Centre Ave.
Pittsburgh, Pennsylvania 15206-3921
p. 412.661.9000 f. 412.661.9606
www.kolano.com



CITY OF PITTSBURGH

Standardized Zoning Lot & Block Map 008

Primary Grid: Pennsylvania South State Plane Coordinate System
 Accuracy: Under no circumstances should planimetric or topographic features be considered accurately located within on-the-ground dimensions of less than five feet (horizontal) or one-half contour interval imprecision and possible undetected errors in both the parcel maps and the superimposition process, no degree of precision can be estimated for the parcel lines. Please notify the Department of City Planning of any errors.
 Disclaimer: The City of Pittsburgh makes no warranties and excludes all implied warranties as to the accuracy of the map, and, in particular, its accuracy as to labeling, dimensions contours, property boundaries and placement of features. Accordingly, the City disclaims liability for any and all damages arising out of errors in the map and the user's reliance thereon.

July 12, 2013

DEPARTMENT OF CITY PLANNING
 200 Ross Street, 4th Floor
 Pittsburgh, PA 15219
 Phone: (412) 255-2200
 Fax: (412) 255-2838

MAP KEY

- Street
- Railroad
- Map Index
- Building
- Block Index
- Park
- Zoning
- Cemetery
- Neighborhood
- Greenway
- Parcel
- Water

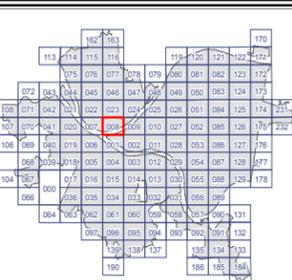
Building Location:
 325 North Shore Drive
 Pittsburgh, PA 15212

Lot#: 8-K-18



Feet
 0 100 200 400

1:2,400
 1 inch equals 200 feet





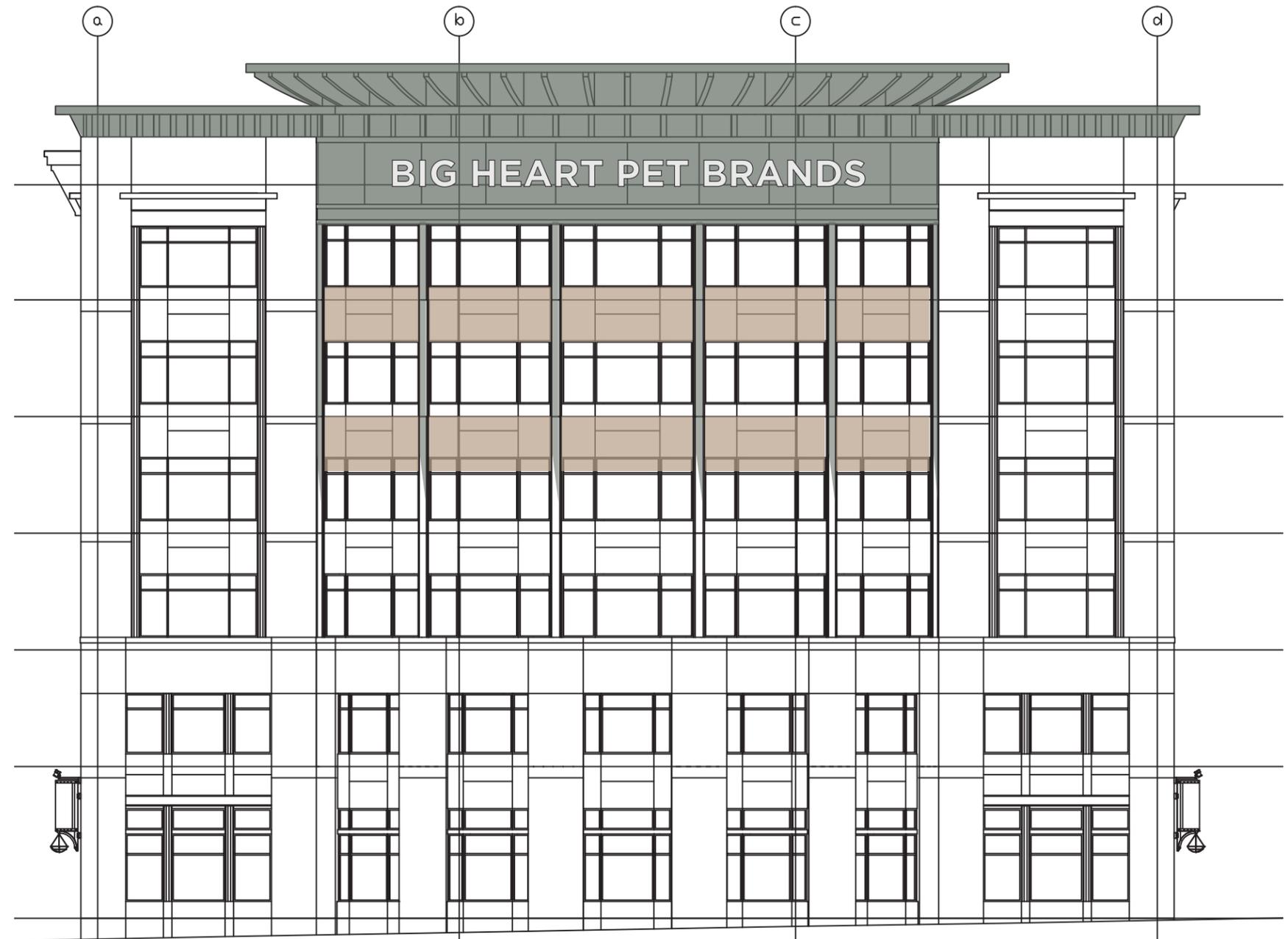
1 Existing Del Monte Identity Sign - West Elevation- Rendering
Elevation Scale: N.T.S.

Existing Sign Dimensions:
Letter Height 4'-1", Overall Length 61'-3"
Sign Face Area 250 sq.ft.
Building Facade Area 13,105 sq.ft.
City max. 2% of building face = 263 sq.ft.
Sign area is 1.90% of building face



2 Existing Del Monte Identity Sign - South Elevation- Rendering
Elevation Scale: N.T.S.

Existing Sign Dimensions:
Height of Logo 10'-4", Capital Letter Height 6'-0",
Overall Length 88'-4 1/2"
Sign Face Area 500 sq.ft.
Building Facade Area 37,484 sq.ft.
City max. 2% of building face = 749 sq.ft.
Sign area is 1.33% of building face



Sign Dimensions:

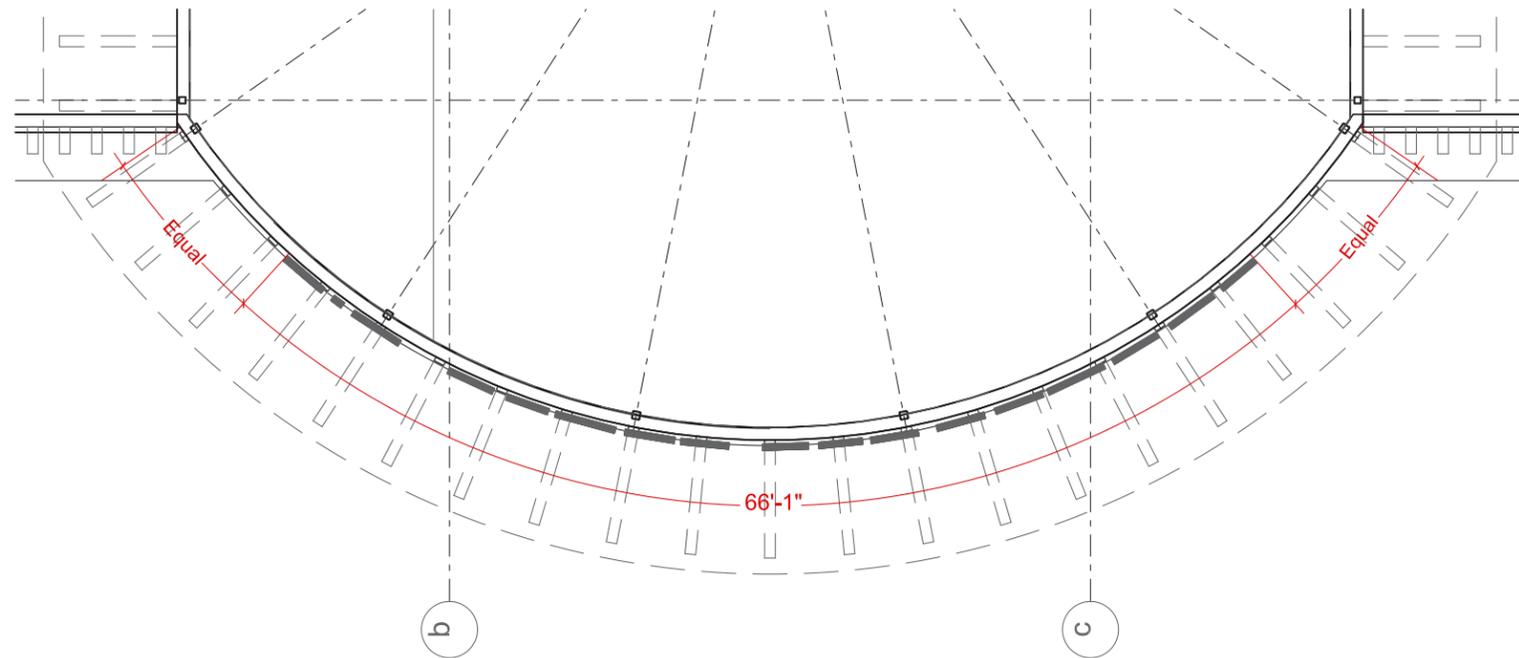
Letter Height 3'-8", Overall Length 66'-1"

Sign Face Area 242 sq.ft.

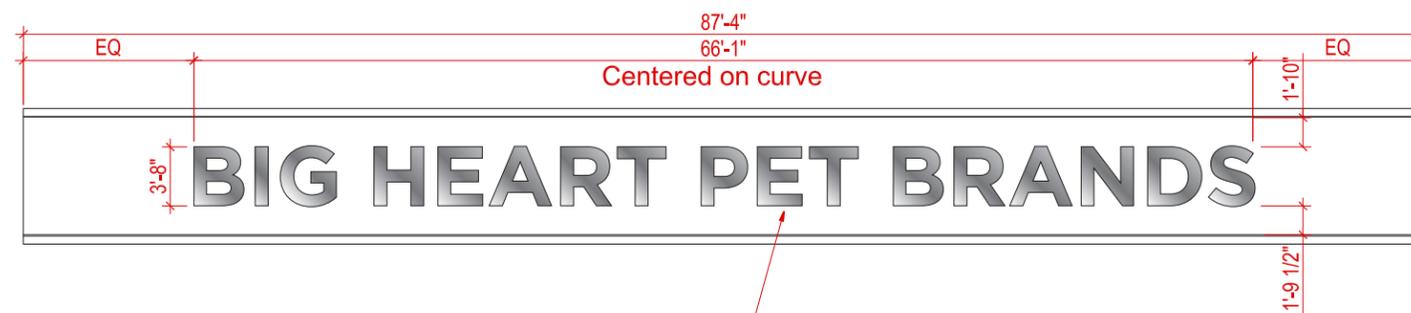
Building Facade Area 13,105 sq.ft.

City max. 2% of building face = 263 sq.ft.

Sign area is 1.85% of building face



ROOF PLAN
SCALE: 3/16" = 1'-0"



New "Big Heart Pet Brands" sign to be (LED) back-lit illuminated letters. Front and sides of letters to be .064 brushed aluminum finish and 4" deep. All seams are to be flush butted, welded and ground smooth. Provide 3" stand off supports as required.
Font: Gotham Bold

WEST ELEVATION SIGN DIMENSIONS
SCALE: 3/16" = 1'-0"

NOTE: EXISTING "DEL MONTE CENTER" SIGN TO BE REMOVED. WALL TO BE PATCHED AS REQUIRED AND PAINTED TO MATCH EXISTING PAINT FINISH



WEST SIDE RENDERING
SCALE: NTS



South Elevation



Scale 1/16" = 1'-0"

Sign Dimensions

Letter Height 6'-4" and 3'-4", Overall Length 101'-6 1/2"

Logo Height 10'-4"

Sign Face Area 562 sq. ft.

Building Facade Area 37,484 sq. ft.

City max. 2% of building face = 749 sq. ft.

Sign area is 1.50% of building face

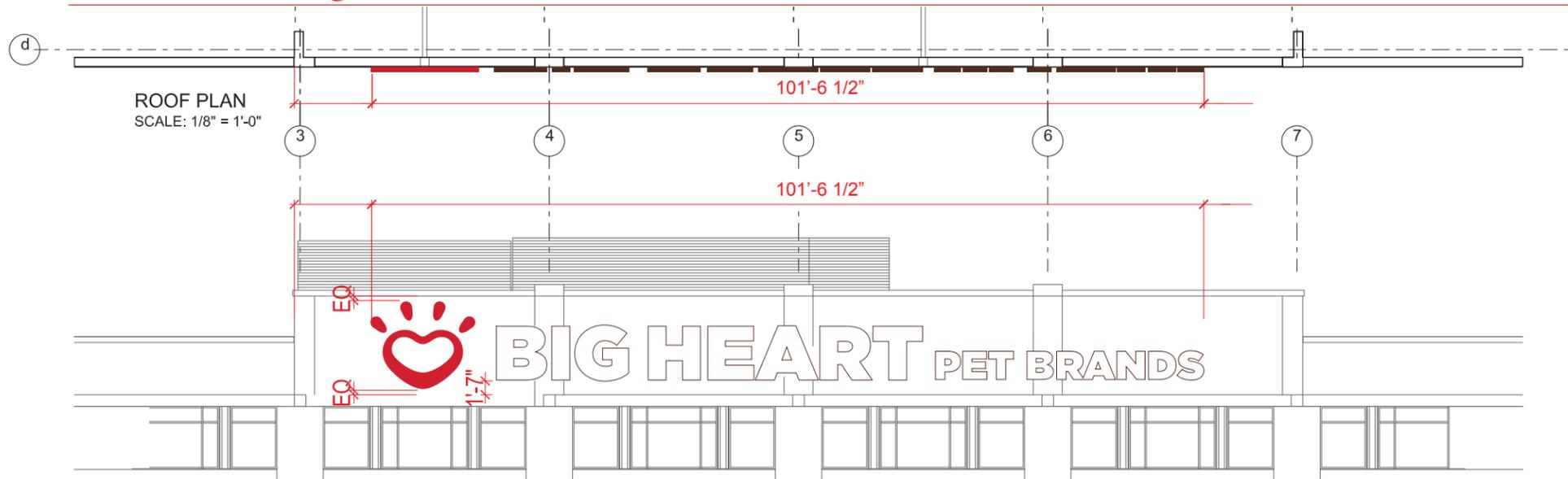


BIG HEART PET BRANDS

Big Heart Revised Logo:

Adjust spacing between 'Pet Brands'

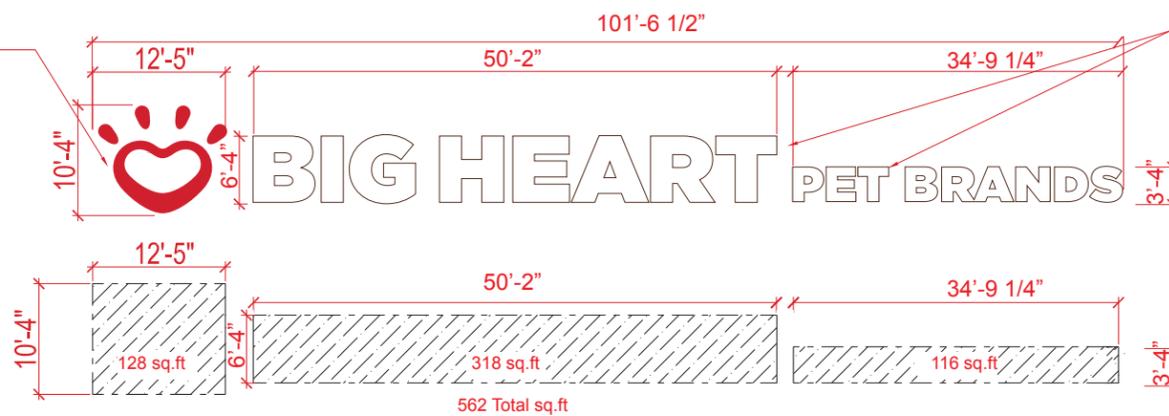
Heart logo centered on window



Internally illuminated "icon" sign. Face to be 1/4" translucent acrylic with trim cap retainer edging. Acrylic finish to match "Big Heart Red" PMS 186C.

All sides to be .064 aluminum to be painted to match "Chocolate Lab" PMS 4625C.

Depth of "icon" sign to be 5" with approximate 1" spacers to compensate for pilasters.



Internally illuminated letters sign face to be 1/4" translucent white acrylic with trim cap retainer edging. All sides to be .064 aluminum to be painted to match "Chocolate Lab" PMS 4625C.

Channel letter depth to be 5" with approximate 1" spacers to compensate for pilasters

NOTE: EXISTING "DEL MONTE FOOD" AND SHIELD SIGN TO BE REMOVE BRICK WALL TO BE PATCHED AS REQUIRED.

SOUTH ELEVATION SIGN DIMENSIONS
SCALE: 1/8" = 1'-0"



Color Specifications



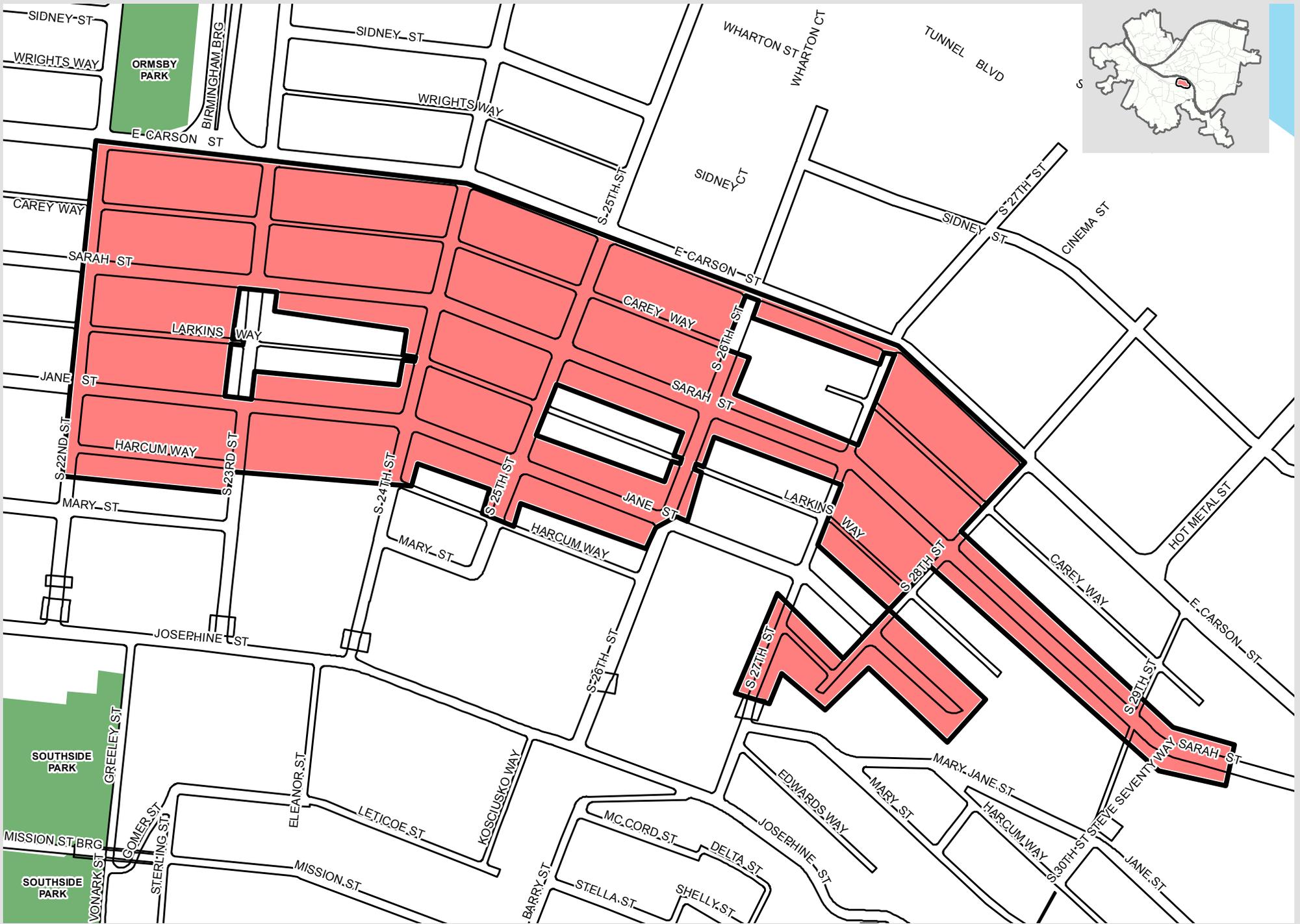
Chocolate Lab
PMS 4625C
C:0 M:60 Y:100 K:79
R:87 G:39 B:0



Big Heart Red
PMS 186C
C:0 M:100 Y:81 K:4
R:227 G:24 B:55







**Residential Permit Parking
Proposed Change to District II**

-  Streets
-  Proposed Permit Parking
-  Park
-  Greenway
-  Cemetery
-  Water

Section 906.02.FP-O, Flood Plain Overlay District.

906.02.A. Purpose

The purpose of the FP-O Flood Plain Overlay District is to reduce the potential for property damage and hazards to life caused by flooding. The regulations are intended to implement and ensure consistency with the Pennsylvania Flood Plain Management Act and the National Flood Insurance Program.

The intent of this section is to:

1. Promote the general health, welfare, and safety of the community.
2. Encourage the utilization of appropriate construction practices in order to prevent or minimize flood damage in the future.
3. Minimize danger to public health by protecting water supply and natural drainage.
4. Reduce financial burdens imposed on the community, its governmental units, and its residents, by preventing excessive development in areas subject to flooding.
5. Comply with federal and state floodplain management requirements.

906.02.B. Applicability

It shall be unlawful for any person, partnership, business or corporation to undertake, or cause to be undertaken, any construction or development anywhere within the flood plain unless zoning approval has been obtained from the Zoning Administrator and a permit has been issued by the Bureau of Building Inspection.

906.02.C Warning and Disclaimer of Liability

The degree of flood protection sought by the provisions of this section is considered reasonable for regulatory purposes and is based on accepted engineering methods of study. Larger floods may occur or flood heights may be increased by man-made or natural causes, such as ice jams and bridge openings restricted by debris. This chapter does not imply that areas outside any identified floodplain areas, or that land uses permitted within such areas will be free from flooding or flood damages.

This section shall not create liability on the part of the City or any officer or employee thereof for any flood damages that result from reliance on this section or any administrative decision lawfully made thereunder.

906.02.D Administration

906.02.D.1 Floodplain Administrator

The Zoning Administrator is hereby appointed to administer and enforce this section. The Zoning Administrator may: (a) Fulfill the duties and responsibilities set forth in these regulations, (b) Delegate duties and responsibilities set forth in these regulations to qualified technical personnel, plan examiners, inspectors, and other employees, or (c) Enter into a written agreement or written contract with another agency or private sector entity to administer specific provisions of these regulations.

Administration of any part of these regulations by another entity shall not relieve the community of its responsibilities pursuant to the participation requirements of the National Flood Insurance Program as set forth in the Code of Federal Regulations at 44 C.F.R. Section 59.22.

906.02.D.2 Approvals Required

Approval from the Zoning Administrator shall be required before any construction or development as defined in Article IX is undertaken within the flood plain overlay. Additional permits may be required at the determination of the Zoning Administrator for items not traditionally needing a building or occupancy permit, which include, but may not be limited to parking of recreation vehicles and storage of equipment and materials.

906.02.D.3 Duties and Responsibilities of the Zoning Administrator

- (a) No approval shall be granted until it has been determined that the proposed work to be undertaken will be in conformance with the requirements of this and all other applicable codes and ordinances.
- (b) Prior to issuance of zoning approval, the Zoning Administrator shall review the application for the permit to determine if all other necessary government permits required by state and federal laws have been obtained, such as those required by the Pennsylvania Sewage Facilities Act (Act 1966-537, as amended); the Pennsylvania Dam Safety and Encroachments Act (Act 1978-325, as amended); the Pennsylvania Clean Streams Act (Act 1937-394, as amended); and the U.S. Clean Water Act, Section 404, 33, U.S.C. 1344. No zoning approval shall be issued until this determination has been made.
- (c) The Zoning Administrator shall maintain in perpetuity all records associated with the requirements of this section including, but not limited to, finished construction elevation data, permitting, inspection and enforcement.
- (d) The Zoning Administrator is the official responsible for submitting a biennial report to FEMA concerning community participation in the National Flood Insurance Program.
- (e) The responsibility, authority and means to implement the commitments of the Zoning Administrator can be delegated from the person identified. However, the ultimate responsibility lies with the Zoning Administrator.

- (f) The Zoning Administrator shall delegate the consideration of the requirements of the Building Code in accordance with Title 10 to the Building Code Official.

906.02.D.4. Application Procedures and Requirements

- (a) In addition to the information required to apply for Zoning Vouchers and Building Permits, if any proposed construction or development is located entirely or partially within any identified floodplain area, applicants shall provide all the necessary information in sufficient detail and clarity to enable the Zoning Administrator to determine that:
 - (1) all such proposals are consistent with the need to minimize flood damage and conform with the requirements of this and all other applicable codes and ordinances;
 - (2) all utilities and facilities, such as sewer, gas, electrical and water systems are located and constructed to minimize or eliminate flood damage;
 - (3) adequate drainage is provided so as to reduce exposure to flood hazards;
 - (4) structures will be anchored to prevent floatation, collapse, or lateral movement;
 - (5) building materials are flood-resistant;
 - (6) appropriate practices that minimize flood damage have been used; and
 - (7) electrical, heating, ventilation, plumbing, air conditioning equipment, and other service facilities have been designed and located to prevent water entry or accumulation.
- (b) Applicants shall file the following minimum information plus any other pertinent information as may be required by the Zoning Administrator to make the above determination:
 - (1) A completed application form, in writing and submitted to the Zoning Administrator. The application shall contain the following:
 - (i) Name and address of applicant;
 - (ii) Name and address of owner of land on which proposed construction is to occur;
 - (iii) Name and address of contractor;
 - (iv) Site location including address;

- (v) Listing of other permits required;
 - (vi) Brief description of proposed work and estimated cost, including a breakout of cost of proposed improvement and the market value of the building before the damage occurred where appropriate; and
 - (vii) A plan of the site showing the exact size and location of the proposed construction as well as any existing buildings or structures.
- (2) A plan of the entire site, clearly and legibly drawn at a scale of one (1) inch being equal to one hundred (100) feet or less, showing the following:
- (i) north arrow, scale, and date;
 - (ii) topographic contour lines;
 - (iii) the location of all existing and proposed buildings, structures, and other improvements, including the location of any existing or proposed subdivision and development;
 - (iv) the location of all existing streets, drives, and other access ways; and
 - (v) the location of any existing bodies of water or watercourses, identified floodplain areas, and, if available, information pertaining to the floodway, and the flow of water including direction and velocities.
- (3) Plans of all proposed buildings, structures and other improvements, drawn at suitable scale showing the following:
- (i) the proposed lowest floor elevation of any proposed building based upon North American Vertical Datum of 1988;
 - (ii) the elevation of the base flood; and
 - (iii) supplemental information as may be necessary under the Building Code in accordance with Title 10.
- (4) The following data and documentation:
- (i) if available, information concerning flood depths, pressures, velocities, impact and uplift forces and other factors associated with a base flood; and Floodway Area (See 906.02.E.2.a) when combined with all other existing and anticipated development, will not increase the base flood elevation at any point;
 - (ii) documentation, certified by a registered professional engineer or architect, to show that the cumulative effect of any proposed

development within an AE Area/District without floodway (See Section 906.02.E.2.b) when combined with all other existing and anticipated development, will not increase the base flood elevation more than one (1) foot at any point within the community;

- (iii) a document, certified by a registered professional engineer or architect, which states that the proposed construction or development has been adequately designed to withstand the pressures, velocities, impact and uplift forces associated with the base flood. Such statement shall include a description of the type and extent of flood proofing measures which have been incorporated into the design of the structure and/or the development;
- (iv) detailed information needed to determine compliance with Section 906.02.F.3.f, Storage, and Section 906.02.F.4, Development Which May Endanger Human Life, including:
 - A. the amount, location and purpose of any materials or substances referred to in Sections 906.02.F.3.f. and 906.02.F.4 which are intended to be used, produced, stored or otherwise maintained on site;
 - B. a description of the safeguards incorporated into the design of the proposed structure to prevent leaks or spills of the dangerous materials or substances listed in 906.02.F.4 during a base flood;
- (v) the appropriate component of the Department of Environmental Protection's Planning Module for Land Development;
- (vi) where any excavation or grading is proposed, a plan meeting the requirements of the Department of Environmental Protection, to implement and maintain erosion and sedimentation control; and
- (vii) completed Elevation Certificate based on construction drawings.

906.02. D.5 Review of Application by Others

A copy of all plans and applications for any proposed construction or development in any identified floodplain area to be considered for approval may be submitted by the Zoning Administrator to any other appropriate agencies and/or individuals (e.g. Planning Commission, etc.) for review and comment.

906.02.D.6 Changes

After approval is issued by the Zoning Administrator, no changes of any kind shall be made to the application, permit or any of the plans, specifications or other documents submitted with the application without the written consent or approval of the Zoning Administrator. Requests for any such change shall be in writing, and shall be submitted by the applicant to Zoning Administrator for consideration.

906.02.E Identification of Flood Plain Areas

906.02.E.1 *Identification*

The identified floodplain area shall be:

- (a) any areas of City, classified as Special Flood Hazard Areas (SFHAs) in the Flood Insurance Study (FIS) and the accompanying Flood Insurance Rate Maps (FIRMs) dated September 26, 2014 and issued by the Federal Emergency Management Agency (FEMA) or the most recent revision thereof, including all digital data developed as part of the Flood Insurance Study, and
- (b) any Community Identified Flood Hazard Areas.

The above referenced FIS and FIRMs, and any subsequent revisions and amendments are hereby adopted by City and declared to be a part of this section.

906.02.E.2 *Description and Special Requirements of Identified Floodplain Areas*

The identified floodplain area shall consist of the following specific areas:

- (a) The Floodway Area shall be those areas identified in the FIS and the FIRM as floodway and which represent the channel of a watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without increasing the water surface elevation by more than one (1) foot at any point. This term shall also include floodway areas which have been identified in other available studies or sources of information for those Special Flood Hazard Areas where no floodway has been identified in the FIS and FIRM.
 - (i) Within any floodway area, no encroachments, including fill, new construction, substantial improvements, or other development shall be permitted unless it has been demonstrated through hydrologic and hydraulic analysis performed in accordance with standard engineering practice that the proposed encroachment would not result in any increase in flood levels within the community during the occurrence of the base flood discharge.
 - (ii) Within any floodway area, no new construction or development shall be allowed, unless the appropriate permit is obtained from the Department of Environmental Protection Regional Office.
- (b) The AE Area/District shall be those areas identified as an AE Zone on the FIRM included in the FIS prepared by FEMA for which base flood elevations have been provided.
 - (i) The AE Area adjacent to the floodway shall be those areas identified as an AE Zone on the FIRM included in the FIS prepared by FEMA for which base flood elevations have been provided and a floodway has been delineated.
- (c) The A Area/District shall be those areas identified as an A Zone on the FIRM included in the FIS prepared by FEMA and for which no base flood elevations have been provided. For these areas, elevation and floodway information from other

Federal, State, or other acceptable sources shall be used when available. Where other acceptable information is not available, the base flood elevation shall be determined by using the elevation of a point on the boundary of the identified floodplain area which is nearest the construction site.

In lieu of the above, the municipality may require the applicant to determine the elevation with hydrologic and hydraulic engineering techniques. Hydrologic and hydraulic analyses shall be undertaken only by professional engineers or others of demonstrated qualifications, who shall certify that the technical methods used correctly reflect currently accepted technical concepts. Studies, analyses, computations, etc., shall be submitted in sufficient detail to allow a thorough technical review by the municipality.

- (d) Community Identified Flood Hazard Areas shall be those areas where the City has identified local flood hazard or ponding areas, as delineated and adopted on a “Local Flood Hazard Map” using best available topographic data and locally derived information such as flood of record, historic high water marks, soils or approximate study methodologies.

906.02.E.3 Changes in Identification of Area

The Identified Floodplain Area may be revised or modified by the City where studies or information provided by a qualified agency or person documents the need for such revision. However, prior to any such change to the Special Flood Hazard Area, approval must be obtained from FEMA. Additionally, as soon as practicable, but not later than six (6) months after the date such information becomes available, a community shall notify FEMA of the changes to the Special Flood Hazard Area by submitting technical or scientific data. See Section 906.02.F.1.b for situations where FEMA notification is required.

906.02.F Technical Provisions

906.02.F.1 General

- (a) Alteration or Relocation of Watercourse
 - (1) No encroachment, alteration, or improvement of any kind shall be made to any watercourse until all adjacent municipalities which may be affected by such action have been notified by the municipality, and until all required permits or approvals have first been obtained from the Department of Environmental Protection Regional Office.
 - (2) No encroachment, alteration, or improvement of any kind shall be made to any watercourse unless it can be shown that the activity will not reduce or impede the flood carrying capacity of the watercourse in any way.
 - (3) In addition, FEMA and the Pennsylvania Department of Community and Economic Development, shall be notified prior to any alteration or relocation of any watercourse.

- (b) When the following encroachments are permitted: any development that causes a rise in the base flood elevations within the floodway; any development occurring in Zones A1-30 and Zone AE without a designated floodway, which will cause a rise of more than one foot in the base flood elevation; or alteration or relocation of a stream (including but not limited to installing culverts and bridges), the Applicant shall (as per 44 CFR Part 65.12):
- (1) apply to FEMA for conditional approval of such action prior to permitting the encroachments to occur.
 - (2) Upon receipt of the Administrator's conditional approval of map change and prior to approving the proposed encroachments, the City shall provide evidence to FEMA of the adoption of floodplain management ordinances incorporating the increased base flood elevations and / or revised floodway reflecting the post-project condition.
 - (3) Upon completion of the proposed encroachments, the City shall provide as-built certifications. FEMA will initiate a final map revision upon receipt of such certifications in accordance with 44 CFR Part 67.
- (c) Any new construction, development, uses or activities allowed within any identified floodplain area shall be undertaken in strict compliance with the provisions contained in this section and any other applicable codes, ordinances and regulations.

906.02.F.2 Elevation and Floodproofing Requirements

(a) Residential Structures

- (1) In AE Zones, any new construction or substantial improvement shall have the lowest floor (including basement) elevated up to, or above, the regulatory flood elevation as defined in Section 906.02.J.
- (2) In A Zones, where there are no Base Flood Elevations specified on the FIRM, any new construction or substantial improvement shall have the lowest floor (including basement) elevated up to, or above, the regulatory flood elevation determined in accordance with Section 906.02.E.2.b.
- (3) The design and construction standards and specifications contained in the Building Code in accordance with Title 10 and ASCE 24 shall be utilized, where they are more restrictive.

(b) Non-residential Structures

- (1) In AE Zones, any new construction or substantial improvement of a non-residential structure shall have the lowest floor (including basement) elevated up to, or above, the regulatory flood elevation, or be designed and constructed so that the space enclosed below the regulatory flood elevation:

- (i) is floodproofed so that the structure is watertight with walls substantially impermeable to the passage of water and,
 - (ii) has structural components with the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy.
 - (2) In A Zones, where there no Base Flood Elevations are specified on the FIRM, any new construction or substantial improvement shall have the lowest floor (including basement) elevated or completely floodproofed up to, or above, the regulatory flood elevation determined in accordance with Section 906.02.E.2.c.
 - (3) Any non-residential structure, or part thereof, made watertight below the regulatory flood elevation shall be floodproofed in accordance with the WI or W2 space classification standards contained in the publication entitled "Flood-Proofing Regulations" published by the U.S. Army Corps of Engineers (June 1972, as amended March 1992) or with some other equivalent standard. All plans and specifications for such floodproofing shall be accompanied by a statement certified by a registered professional engineer or architect which states that the proposed design and methods of construction are in conformance with the above referenced standards.
 - (4) The design and construction standards and specifications contained Building Code in accordance with Title 10 and ASCE 24 shall be utilized, where they are more restrictive.
- (c) Space below the lowest floor
- (1) Fully enclosed space below the lowest floor (excluding basements) which will be used solely for the parking of a vehicle, building access, or incidental storage in an area other than a basement, shall be designed and constructed to allow for the automatic entry and exit of flood waters for the purpose of equalizing hydrostatic forces on exterior walls. The term "fully enclosed space" also includes crawl spaces.
 - (2) Designs for meeting this requirement must either be certified by a registered professional engineer or architect, or meet or exceed the following minimum criteria:
 - (i) a minimum of two openings having a net total area of not less than one (1) square inch for every square foot of enclosed space.
 - (ii) the bottom of all openings shall be no higher than one (1) foot above grade.
 - (iii) openings may be equipped with screens, louvers, or other coverings or

devices provided that they permit the automatic entry and exit of floodwaters.

(d) Historic Structures

Historic structures as defined in Section 906.02.J undergoing repair or rehabilitation that would constitute a substantial improvement as defined in this section, must comply with all requirements in this section that do not preclude the structure's continued designation as a historic structure. Documentation that a specific section requirement will cause removal of the structure from the National Register of Historic Places or the State Inventory of Historic places must be obtained from the Secretary of the Interior or the State Historic Preservation Officer. Any exterior alterations to properties designated by the City as historic must be approved by the City's Historic Review Commission prior to commencement. Any exemption from Code requirements will be the minimum necessary to preserve the historic character and design of the structure.

(e) Accessory structures

Structures accessory to a principal building need not be elevated or floodproofed to remain dry, but shall comply, at a minimum, with the following requirements:

- (1) the structure shall not be designed or used for human habitation, but shall be limited to the parking of vehicles, or to the storage of tools, material, and equipment related to the principal use or activity;
- (2) floor area shall not exceed 200 square feet;
- (3) the structure will have a low damage potential;
- (4) the structure will be located on the site so as to cause the least obstruction to the flow of flood waters;
- (5) power lines, wiring, and outlets will be elevated to the regulatory flood elevation;
- (6) permanently affixed utility equipment and appliances such as furnaces, heaters, washers, dryers, etc. are prohibited;
- (7) sanitary facilities are prohibited; and
- (8) the structure shall be adequately anchored to prevent flotation, collapse, and lateral movement and shall be designed to automatically provide for the entry and exit of floodwater for the purpose of equalizing hydrostatic forces on the walls. Designs for meeting this requirement must either be certified by a registered professional engineer or architect, or meet or exceed the following minimum criteria:
 - (i) a minimum of two openings having a net total area of not less than one (1) square inch for every square foot of enclosed space.

(ii) the bottom of all openings shall be no higher than one (1) foot above grade.

(iii) openings may be equipped with screens, louvers, etc. or other coverings or devices provided that they permit the automatic entry and exit of flood waters.

906.02.F.3 Design and Construction Standards

The following minimum standards shall apply for all construction and development proposed within any identified floodplain area:

(a) Fill

If fill is used, it shall:

- (1) extend laterally at least fifteen (15) feet beyond the building line from all points;
- (2) consist of soil or small rock materials only - Sanitary Landfills shall not be permitted;
- (3) be compacted to provide the necessary permeability and resistance to erosion, scouring, or settling;
- (4) be no steeper than one (1) vertical to two (2) horizontal feet unless substantiated data justifying steeper slopes are submitted to, and approved by the Floodplain Administrator; and
- (5) be used to the extent to which it does not adversely affect adjacent properties.

(b) Drainage Facilities

Storm drainage facilities shall be designed to convey the flow of storm water runoff in a safe and efficient manner. The system shall ensure proper drainage along streets, and provide positive drainage away from buildings. The system shall also be designed to prevent the discharge of excess runoff onto adjacent properties.

(c) Water and Sanitary Sewer Facilities and Systems

- (1) All new or replacement water supply and sanitary sewer facilities and systems shall be located, designed and constructed to minimize or eliminate flood damages and the infiltration of flood waters.
- (2) Sanitary sewer facilities and systems shall be designed to prevent the discharge of untreated sewage into flood waters.
- (3) No part of any on-site waste disposal system shall be located within any

identified floodplain area except in strict compliance with all State and local regulations for such systems. If any such system is permitted, it shall be located so as to avoid impairment to it, or contamination from it, during a flood.

- (4) The design and construction provisions of the UCC and FEMA #348, “Protecting Building Utilities From Flood Damages” and “The International Private Sewage Disposal Code” shall be utilized.

(d) Other Utilities

All other utilities such as gas lines, electrical and telephone systems shall be located, elevated (where possible) and constructed to minimize the chance of impairment during a flood.

(e) Streets

The finished elevation of all new streets shall be no more than one (1) foot below the Regulatory Flood Elevation.

(f) Storage

All materials that are buoyant, flammable, explosive, or in times of flooding, could be injurious to human, animal, or plant life, and not listed in Section 906.02.F.4, Development Which May Endanger Human Life, shall be stored at or above the Regulatory Flood Elevation or floodproofed to the maximum extent possible.

(g) Placement of Buildings and Structures

All buildings and structures shall be designed, located, and constructed so as to offer the minimum obstruction to the flow of water and shall be designed to have a minimum effect upon the flow and height of flood water.

(h) Anchoring

- (1) All buildings and structures shall be firmly anchored in accordance with accepted engineering practices to prevent flotation, collapse, or lateral movement.
- (2) All air ducts, large pipes, storage tanks, and other similar objects or components located below the regulatory flood elevation shall be securely anchored or affixed.

(i) Floors, Walls, and Ceilings

- (1) Wood flooring used at or below the Regulatory Flood Elevation shall be installed to accommodate a lateral expansion of the flooring, perpendicular to the flooring grain without causing structural damage to the building.

(2) Plywood used at or below the regulatory flood elevation shall be of a "marine" or "water-resistant" variety.

(3) Walls and ceilings at or below the regulatory flood elevation shall be designed and constructed of materials that are "water-resistant" and will withstand inundation.

(4) Windows, doors, and other components at or below the regulatory flood elevation shall be made of metal or other "water-resistant" material.

(j) Paints and Adhesives

(1) Paints and other finishes used at or below the regulatory flood elevation shall be of "marine" or "water-resistant" quality.

(2) Adhesives used at or below the regulatory flood elevation shall be of a "marine" or "water-resistant" variety.

(3) All wooden components (doors, trim, cabinets, etc.) used at or below the regulatory flood elevation shall be finished with a "marine" or "water-resistant" paint or other finishing material.

(k) Electrical Components

(1) Electrical distribution panels shall be at least three (3) feet above the base flood elevation.

(2) Separate electrical circuits shall serve lower levels and shall be dropped from above.

(l) Equipment

Water heaters, furnaces, air conditioning and ventilating units, and other electrical, mechanical or utility equipment or apparatus shall not be located below the regulatory flood elevation.

(m) Fuel Supply Systems

All gas and oil supply systems shall be designed to prevent the infiltration of flood waters into the system and discharges from the system into flood waters. Additional provisions shall be made for the drainage of these systems in the event that flood water infiltration occurs.

(n) Building Code Coordination

The Standards and Specifications contained Title 10- Building, including adoption of the Uniform Construction Code 34 PA Code (Chapters 401-405), as amended and not limited to the following provisions shall apply to the above and other sections and sub-sections of this section, to the extent that they are more restrictive and supplement

the requirements of this section.

International Building Code (IBC) 2009 or the latest edition thereof: Secs. 801, 1202, 1403, 1603, 1605, 1612, 3402, and Appendix G.

International Residential Building Code (IRC) 2009 or the latest edition thereof: Secs. R104, R105, R109, R322, Appendix E, and Appendix J.

906.02.F.4 Development Which May Endanger Human Life

(a) In accordance with the Pennsylvania Flood Plain Management Act, and the regulations adopted by the Department of Community and Economic Development as required by the Act, any new or substantially improved structure which:

- (1) will be used for the production or storage of any of the following dangerous materials or substances; or,
- (2) will be used for any activity requiring the maintenance of a supply of more than 550 gallons, or other comparable volume, of any of the following dangerous materials or substances on the premises; or,
- (3) will involve the production, storage, or use of any amount of radioactive substances;

shall be subject to the provisions of this section, in addition to all other applicable provisions. The following list of materials and substances are considered dangerous to human life:

- Acetone
- Ammonia
- Benzene
- Calcium carbide
- Carbon disulfide
- Celluloid
- Chlorine
- Hydrochloric acid
- Hydrocyanic acid
- Magnesium
- Nitric acid and oxides of nitrogen
- Petroleum products (gasoline, fuel oil, etc.)
- Phosphorus
- Potassium
- Sodium
- Sulphur and sulphur products
- Pesticides (including insecticides, fungicides, and rodenticides)
- Radioactive substances, insofar as such substances are not otherwise regulated.

- (b) Within any Floodway Area, any structure of the kind described in Subsection A., above, shall be prohibited. Where permitted within any Identified Floodplain Area, any new or substantially improved residential structure of the kind described in Section 906.02.F.4.a above, shall be elevated to remain completely dry up to at least one and one half (1 ½) feet above base flood elevation and built in accordance with Sections 906.02.F.1, 906.02.F.2, and 906.02.F.3.
- (c) Where permitted within any Identified Floodplain Area, any new or substantially improved non-residential structure of the kind described in Section 906.02.F.4 above, shall be built in accordance with Sections 906.02.F.1, 906.02.F.2, and 906.02.F.3 including:
 - (1) elevated, or designed and constructed to remain completely dry up to at least one and one half (1 ½) feet above base flood elevation, and
 - (2) designed to prevent pollution from the structure or activity during the course of a base flood.

Any such structure, or part thereof, that will be built below the regulatory flood elevation shall be designed and constructed in accordance with the standards for completely dry floodproofing contained in the publication "Flood-Proofing Regulations (U.S. Army Corps of Engineers, June 1972 as amended March 1992), or with some other equivalent watertight standard.

906.02.F.5 Special Requirements for Subdivisions and Development

All subdivision proposals and development proposals containing at least 50 lots or at least 5 acres, whichever is the lesser, in Identified Floodplain Areas where base flood elevation data are not available, shall be supported by hydrologic and hydraulic engineering analyses that determine base flood elevations and floodway information. The analyses shall be prepared by a licensed professional engineer in a format required by FEMA for a Conditional Letter of Map Revision and Letter of Map Revision. Submittal requirements and processing fees shall be the responsibility of the applicant.

906.02.F.6 Special Requirements for Manufactured Homes

- (a) Within any Floodway Area/District, manufactured homes shall be prohibited. If a variance is obtained in accordance with the criteria in Section 906.02.I, then the following provisions apply:
- (b) Where permitted within any Identified Floodplain Area, all manufactured homes, and any improvements thereto, shall be:
 - (1) placed on a permanent foundation;
 - (2) elevated so that the lowest floor of the manufactured home is at least one and one half (1 ½) feet above base flood elevation;

- (3) anchored to resist flotation, collapse, or lateral movement; and
 - (4) have all ductwork and utilities including HVAC/heat pump elevated to the Regulatory Flood Elevation.
- (c) Installation of manufactured homes shall be done in accordance with the manufacturers' installation instructions as provided by the manufacturer. Where the applicant cannot provide the above information, the requirements of Appendix E of the 2009 "International Residential Building Code" or the "U.S. Department of Housing and Urban Development's Permanent Foundations for Manufactured Housing," 1984 Edition, draft or latest revision thereto and 34 PA Code Chapter 401-405 shall apply.
- (d) Consideration shall be given to the installation requirements of the Building Code, as prescribed in Title 10- Building, as amended where appropriate and/or applicable to units where the manufacturers' standards for anchoring cannot be provided or were not established for the proposed unit(s) installation.

906.02.F.7 Special Requirements for Recreational Vehicles

Recreational vehicles in Zones A and AE must either:

- (a) be on the site for fewer than 180 consecutive days, and
- (b) be fully licensed and ready for highway use, or
- (c) meet the permit requirements for manufactured homes in Section 906.02.F.6.

906.02.G Activities Requiring Special Permits

906.02.G.1 General

In accordance with the administrative regulations promulgated by the Department of Community and Economic Development to implement the Pennsylvania Flood Plain Management Act, the following activities shall be prohibited within any Identified Floodplain Area unless a Special Permit has been issued by the City.

- (a) The commencement of any of the following activities; or the construction, enlargement, or expansion of any structure used, or intended to be used, for any of the following activities:
 - (1) Hospitals
 - (2) Nursing homes (which include Assisted Living facilities, Housing for the Elderly, Personal Care Residences, Community Home, or other uses as determined by the Zoning Administrator)

(3) Correctional Facilities

906.02.G.2 *Application Requirements for Special Permits*

Applicants for Special Permits shall provide five copies of the following items:

- (a) A completed Application as prescribed by the Zoning Administrator.
- (b) A small scale map showing the vicinity in which the proposed site is located.
- (c) Detailed Site Plan of the entire site that meets the requirements of Section 922.01.D.2 A, clearly and legibly drawn at a scale of one (1) inch being equal to one hundred (100) feet or less, showing the following:
 - (1) topography based upon the North American Vertical Datum (NAVD) of 1988, showing existing and proposed contours at intervals of two (2) feet;
 - (2) the location of all existing streets, drives, other access ways, and parking areas, with information concerning widths, pavement types and construction, and elevations;
 - (3) the location of any existing bodies of water or watercourses, buildings, structures and other public or private facilities, including railroad tracks and facilities, and any other natural and man-made features affecting, or affected by, the proposed activity or development;
 - (3) the location of the floodplain boundary line, information and spot elevations concerning the base flood elevation, and information concerning the flow of water including direction and velocities;
 - (4) the location of all proposed buildings, structures, utilities, and any other improvements; and
 - (5) any other information which the municipality considers necessary for adequate review of the application.
- (d) Plans of all proposed buildings, structures and other improvements, clearly and legibly drawn at suitable scale showing the following:
 - (1) sufficiently detailed architectural or engineering drawings, including floor plans, sections, and exterior building elevations, as appropriate;
 - (2) for any proposed building, the elevation of the lowest floor (including basement) and, as required, the elevation of any other floor;
 - (3) complete information concerning flood depths, pressures, velocities, impact and uplift forces, and other factors associated with the base flood;

- (4) detailed information concerning any proposed floodproofing measures;
 - (5) cross section drawings for all proposed streets, drives, other accessways, and parking areas, showing all rights-of-way and pavement widths;
 - (6) profile drawings for all proposed streets, drives, and vehicular accessways including existing and proposed grades; and
 - (7) plans and profiles of all proposed sanitary and storm sewer systems, water supply systems, and any other utilities and facilities.
- (e) The following data and documentation:
- (1) certification from a registered professional engineer, architect, or landscape architect that the proposed construction has been adequately designed to protect against damage from the base flood;
 - (2) a statement, certified by a registered professional engineer, architect, landscape architect, or other qualified person which contains a complete and accurate description of the nature and extent of pollution that might possibly occur from the development during the course of a base flood, including a statement concerning the effects such pollution may have on human life;
 - (3) a statement certified by a registered professional engineer, architect, or landscape architect, which contains a complete and accurate description of the effects the proposed development will have on base flood elevation and flows;
 - (4) a statement, certified by a registered professional engineer, architect, or landscape architect, which contains a complete and accurate description of the kinds and amounts of any loose buoyant materials or debris that may possibly exist or be located on the site below the base flood elevation and the effects such materials and debris may have on base flood elevation and flows;
 - (5) the appropriate component of the Department of Environmental Protection's "Planning Module for Land Development;"
 - (6) where any excavation or grading is proposed, a plan meeting the requirements of the Department of Environmental Protection to implement and maintain erosion and sedimentation control;
 - (7) any other applicable permits such as, but not limited to, a permit for any activity regulated by the Department of Environmental Protection under Section 302 of Act 1978-166; and
 - (8) an evacuation plan which fully explains the manner in which the site will be safely evacuated before or during the course of a base flood.

906.02.G.3 Application Review Procedures

Upon the Zoning Administrator's receipt of an application for a Special Permit the following procedures shall apply in addition to those of Section 906.02.D:

- (a) Promptly upon determining that an application is complete, the Zoning Administrator shall schedule a public hearing before the Planning Commission and notify the applicant of the hearing date. The application shall be reviewed as a Project Development Plan as per section 922.10 except that the criteria for review shall be provisions 906.02.F of this section.
- (b) If the Planning Commission and/or City approves an application, it shall file written notification, together with the application and all pertinent information, with the Department of Community and Economic Development, by registered or certified mail, within five (5) working days after the date of approval.
- (c) Before issuing the Special Permit, the Zoning Administrator shall allow the Department of Community and Economic Development thirty (30) days, after receipt of the notification by the Department, to review the application and decision made by Council.
- (d) If the Zoning Administrator does not receive any communication from the Department of Community and Economic Development during the thirty (30) day review period, it may issue a Special Permit to the applicant.
- (e) If the Department of Community and Economic Development should decide to disapprove an application, it shall notify the Zoning Administrator and the applicant, in writing, of the reasons for the disapproval, and the Zoning Administrator shall not issue the Special Permit.

906.02.G.4 Special Technical Requirements

- (a) In addition to the requirements of Section 906.02.F, the following minimum requirements shall also apply to any proposed development requiring a Special Permit. If there is any conflict between any of the following requirements and those in Section 906.02.F or in any other code, ordinance, or regulation, the more restrictive provision shall apply.
- (b) No application for a Special Permit shall be approved unless it can be determined that the structure or activity will be located, constructed and maintained in a manner which will:
 - (1) Fully protect the health and safety of the general public and any occupants of the structure. At a minimum, all new structures shall be designed, located, and constructed so that:
 - (i) the structure will survive inundation by waters of the base flood without any lateral movement or damage to either the structure itself, or to any of its equipment or contents below the BFE.

(ii) the lowest floor (including basement) will be elevated to at least one and one half (1 ½) feet above base flood elevation.

(iii) the occupants of the structure can remain inside for an indefinite period of time and be safely evacuated at any time during the base flood.

(2) Prevent any significant possibility of pollution, increased flood levels or flows, or debris endangering life and property.

(c) All hydrologic and hydraulic analyses shall be undertaken only by professional engineers or others of demonstrated qualifications, who shall certify that the technical methods used correctly reflect currently accepted technical concepts. Studies, analyses, computations, etc. shall be submitted in sufficient detail to allow a thorough technical review by the Zoning Administrator, Planning Commission, and the Department of Community and Economic Development.

906.02.H Existing Structures In Identified Floodplain Areas

906.02.H.1 Existing Structures

The provisions of this section do not require any changes or improvements to be made to lawfully existing structures. However, when an improvement is made to any existing structure, the provisions of Section 906.02.H.2 shall apply.

906.02.H.2 Improvements

The following provisions shall apply whenever any improvement is made to an existing structure located within any Identified Floodplain Area:

- (a) No expansion or enlargement of an existing structure shall be allowed within any Floodway Area/District that would cause any increase in BFE.
- (b) No expansion or enlargement of an existing structure shall be allowed within AE Area/District without floodway that would, together with all other existing and anticipated development, increase the BFE more than one (1) foot at any point.
- (c) Any modification, alteration, reconstruction, or improvement of any kind to an existing structure to an extent or amount of fifty (50) percent or more of its market value, shall constitute a substantial improvement and shall be undertaken only in full compliance with the provisions of this section .
- (d) The above activity shall also address the requirements of the Building Code, as prescribed in Title 10 – Building.

906.02.I Variances

906.02.I.1 Variance Procedures and Conditions

Requests for variances shall be considered by the Zoning Board of Adjustment in accordance with the procedures contained in Section 922.09 and the following:

- (a) No variance shall be granted for any construction, development, use, or activity within any Floodway Area/District that would cause any increase in the BFE.
- (b) No variance shall be granted for any construction, development, use, or activity within any AE Area/District without floodway that would, together with all other existing and anticipated development, increase the BFE more than one (1) foot at any point.
- (c) Except for a possible modification of the regulatory flood elevation requirement involved, no variance shall be granted for any of the other requirements pertaining specifically to development regulated by Special Permit (or Prohibited Activities) (906.02.G) or to Development Which May Endanger Human Life (Section 906.02.F.4).
- (d) In reviewing any request for a variance, in addition to the considerations of Section 922.09.E., the Zoning Board of Adjustment shall consider, that the granting of the variance will:
 - (1) neither result in an unacceptable or prohibited increase in flood heights, additional threats to public safety, or extraordinary public expense,
 - (2) nor create nuisances, cause fraud on, or victimize the public, or conflict with any other applicable state or local ordinances and regulations
- (e) Whenever a variance is granted, the Zoning Board of Adjustment shall notify the applicant in writing that:
 - (1) The granting of the variance may result in increased premium rates for flood insurance.
 - (2) Such variances may increase the risks to life and property.
- (f) A complete record of all variance requests and related actions shall be maintained by the Zoning Administrator. In addition, a report of all variances granted during the year shall be included in the annual report to the FEMA.

Notwithstanding any of the above, however, all structures shall be designed and constructed so as to have the capability of resisting the one-percent (1%) annual chance flood.

906.02.J Definitions

906.02.J.1 General

Unless specifically defined below, words and phrases used in this section shall be interpreted in accordance with Section 926.

906.02.J.2 *Specific Definitions*

- (a) **Base flood** means a flood which has a one percent chance of being equaled or exceeded in any given year (also called the "100-year flood" or one-percent (1%) annual chance flood).
- (b) **Base flood discharge** means the volume of water resulting from a Base Flood as it passes a given location within a given time, usually expressed in cubic feet per second (cfs).
- (c) **Base flood elevation (BFE)** means the elevation shown on the Flood Insurance Rate Map (FIRM) for Zone AE that indicates the water surface elevation resulting from a flood that has a 1-percent or greater chance of being equaled or exceeded in any given year.
- (d) **Basement** means any area of the building having its floor below ground level on all sides.
- (e) **Building** means a combination of materials to form a permanent structure having walls and a roof. Included shall be all manufactured homes and trailers to be used for human habitation.
- (f) **Development** means any man-made change to improved or unimproved real estate, including but not limited to the construction, reconstruction, renovation, repair, expansion, or alteration of buildings or other structures; the placement of manufactured homes; streets, and other paving; utilities; filling, grading and excavation; mining; dredging; drilling operations; storage of equipment or materials; and the subdivision of land.
- (g) **Existing manufactured home park or subdivision** means a manufactured home park or subdivision for which the construction of facilities for servicing the lots on which the manufactured homes are to be affixed (including, at a minimum, the installation of utilities, the construction of streets, and either final site grading or the pouring of concrete pads) is completed before the effective date of the floodplain management regulations adopted by a community.
- (h) **Expansion to an existing manufactured home park or subdivision** means the preparation of additional sites by the construction of facilities for servicing the lots on which the manufactured homes are to be affixed (including the installation of utilities, the construction of streets, and either final site grading or the pouring of concrete pads).
- (i) **Flood** means a temporary inundation of normally dry land areas.
- (j) **Flood Insurance Rate Map (FIRM)** means the official map on which the Federal Emergency Management Agency has delineated both the areas of special

flood hazards and the risk premium zones applicable to the community.

- (k) **Flood Insurance Study (FIS)** means the official report provided by the Federal Emergency Management Agency that includes flood profiles, the Flood Insurance Rate Map, the Flood Boundary and Floodway Map, and the water surface elevation of the base flood.
- (l) **Floodplain Area** means a relatively flat or low land area which is subject to partial or complete inundation from an adjoining or nearby stream, river or watercourse; and/or any area subject to the unusual and rapid accumulation of surface waters from any source.
- (m) **Floodproofing** means any combination of structural and nonstructural additions, changes, or adjustments to structures which reduce or eliminate flood damage to real estate or improved real property, water and sanitary facilities, structures and their contents.
- (n) **Floodway** means the channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than one foot.
- (o) **Highest Adjacent Grade** means the highest natural elevation of the ground surface prior to construction next to the proposed walls of a structure.
- (p) **Historic structure** means any structure that is:
 - (1) Listed individually in the National Register of Historic Places (a listing maintained by the Department of Interior) or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;
 - (2) Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district;
 - (3) Individually listed on a state inventory of historic places in states which have been approved by the Secretary of the Interior; or
 - (4) Individually listed on a local inventory of historic places in communities with historic preservation that have been certified either:
 - (i) By an approved state program as determined by the Secretary of the Interior; or
 - (ii) Directly by the Secretary of the Interior in states without approved programs.

- (q) **Identified Floodplain Area** is an umbrella term that includes all of the areas within which the community has selected to enforce floodplain regulations. It will always include the area identified as the Special Flood Hazard Area on the Flood Insurance Rate Maps and Flood Insurance Study, but may include additional areas identified by the community. See Sections 906.02.E.1 and 906.02.E.2 for the specifics on what areas the community has included in the Identified Floodplain Area.
- (r) **Lowest floor** means the lowest floor of the lowest fully enclosed area (including basement). An unfinished, flood resistant partially enclosed area, used solely for parking of vehicles, building access, and incidental storage, in an area other than a basement area is not considered the lowest floor of a building, provided that such space is not designed and built so that the structure is in violation of the applicable non-elevation design requirements of this chapter.
- (s) **Manufactured home** means a structure, transportable in one or more sections, which is built on a permanent chassis, and is designed for use with or without a permanent foundation when attached to the required utilities. The term includes park trailers, travel trailers, recreational and other similar vehicles which are placed on a site for more than 180 consecutive days.
- (t) **Manufactured home park or subdivision** means a parcel (or contiguous parcels) of land divided into two or more manufactured home lots for rent or sale.
- (u) **Minor Repair** means the replacement of existing work with equivalent materials for the purpose of its routine maintenance and upkeep, but not including the cutting away of any wall, partition or portion thereof, the removal or cutting of any structural beam or bearing support, or the removal or change of any required means of egress, or rearrangement of parts of a structure affecting the exitway requirements; nor shall minor repairs include addition to, alteration of, replacement or relocation of any standpipe, water supply, sewer, drainage, drain leader, gas, oil, waste, vent, or similar piping, electric wiring, mechanical or other work affecting public health or general safety.
- (v) **New Construction** means structures for which the start of construction commenced on or after September 26, 2014 and includes any subsequent improvements to such structures. Any construction started after December 15, 1981 and before September 26, 2014 is subject to the Code in effect at the time the permit was issued, provided the start of construction was within 180 days of permit issuance.
- (w) **Person** means an individual, partnership, public or private association or corporation, firm, trust, estate, municipality, governmental unit, public utility or any other legal entity whatsoever, which is recognized by law as the subject of rights and duties.
- (x) **Post-FIRM Structure** means a structure for which construction or substantial

improvement occurred after December 31, 1974 or on or after the community's initial Flood Insurance Rate Map (FIRM) dated December 15, 1981, whichever is later, and, as such, would be required to be compliant with the regulations of the National Flood Insurance Program.

(y) **Pre-FIRM Structure** means a structure for which construction or substantial improvement occurred on or before December 31, 1974 or before the community's initial Flood Insurance Rate Map (FIRM) dated December 15, 1981, whichever is later, and, as such, would not be required to be compliant with the regulations of the National Flood Insurance Program.

(z) **Recreational vehicle** means a vehicle which is:

(1) built on a single chassis;

(2) not more than 400 square feet, measured at the largest horizontal projections;

(3) designed to be self-propelled or permanently towable by a light-duty truck,

(4) not designed for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use.

(aa) **Regulatory flood elevation** means the base flood elevation (BFE) or estimated flood height as determined using simplified methods plus a freeboard safety factor of one and one-half (1½) feet.

(bb) **Special permit** means a special approval which is required for hospitals, nursing homes, correctional facilities, and new manufactured home parks/ subdivisions and substantial improvements to such existing parks, when such development is located in all, or a designated portion of a floodplain.

(cc) **Special flood hazard area (SFHA)** means an area in the floodplain subject to a 1 percent or greater chance of flooding in any given year. It is shown on the FIRM as Zone A or AE.

(dd) **Start of construction** means includes substantial improvement and other proposed new development and means the date the Permit was issued, provided the actual start of construction, repair, reconstruction, rehabilitation, addition, placement, or other improvement was within 180 days after the date of the permit and shall be completed within twelve (12) months after the date of issuance of the permit unless a time extension is granted, in writing, by the Zoning Administrator . The actual start means either the first placement of permanent construction of a structure on a site, such as the pouring of slab or footings, the installation of piles, the construction of columns, or any work beyond the stage of excavation; or the placement of a manufacture home on a foundation. Permanent construction does not include land preparation, such as clearing, grading, and filling; nor does it include the installation of streets and walkways; nor does it include excavation for a basement, footings, piers, or foundations or the erection of temporary forms;

nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of the main structure. For a substantial improvement, the actual start of construction means the first alteration of any wall, ceiling, floor, or other structural part of a building, whether or not that alteration affects the external dimensions of the building.

- (ee) **Structure** means a walled and roofed building, including a gas or liquid storage tank that is principally above ground, as well as a manufactured home.
- (ff) **Subdivision** means the division or re-division of a lot, tract, or parcel of land by any means into two or more lots, tracts, parcels or other divisions of land including changes in existing lot lines for the purpose, whether immediate or future, of lease, partition by the court for distribution to heirs, or devisees, transfer of ownership or building or lot development: Provided, however, that the subdivision by lease of land for agricultural purposes into parcels of more than ten acres, not involving any new street or easement of access or any residential dwelling, shall be exempted.
- (gg) **Substantial damage** means damage from any cause sustained by a structure whereby the cost of restoring the structure to its before-damaged condition would equal or exceed fifty (50) percent or more of the market value of the structure before the damage occurred.
- (hh) **Substantial improvement** means any reconstruction, rehabilitation, addition, or other improvement of a structure, of which the cost equals or exceeds fifty (50) percent of the market value of the structure before the "start of construction" of the improvement. This term includes structures which have incurred "substantial damage" regardless of the actual repair work performed. The term does not, however, include any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been identified by the local code enforcement official and which are the minimum necessary to assure safe living conditions.
- (ii) **Uniform Construction Code (UCC)** means the statewide building code adopted by The Pennsylvania General Assembly in 1999 applicable to new construction in all municipalities whether administered by the municipality, a third party or the Department of Labor and Industry. Applicable to residential and commercial buildings, The Code adopted The International Residential Code (IRC) and the International Building Code (IBC), by reference, as the construction standard applicable with the State floodplain construction. For coordination purposes, references to the above are made specifically to various sections of the IRC and the IBC.
- (jj) **Violation** means the failure of a structure or other development to be fully compliant with the community's floodplain management regulations. A structure or other development without the elevation certificate, other certifications, or other evidence of compliance required in 44 CFR §60.3(b)(5), (c)(4), (c)(10), (d)(3), (e)(2), (e)(4), or (e)(5) is presumed to be in violation until such time as that

documentation is provided.

Suggested Provisions

Meeting the Minimum Requirements of
THE NATIONAL FLOOD INSURANCE PROGRAM

and the

PENNSYLVANIA FLOOD PLAIN
MANAGEMENT ACT (1978-166) |
SECTION 60.3 (d)

August 2013

> ready > set > succeed

Upcoming Legislation: Flood Plain Ordinance Update



Commonwealth of Pennsylvania
Tom Corbett, Governor
www.state.pa.us

Department of Community
& Economic Development
C. Alan Walker, Secretary

ncwPA.com

National Flood Insurance Program

- Created by the National Flood Insurance Act of 1968
- Participation is **voluntary**
 - Adopt and enforce regulations
 - Eligible for flood insurance
- **Benefits** of participation:
 - Flood insurance
 - Grants and loans
 - Disaster assistance
 - Federally-backed mortgages



NFIP Roles: Federal and State

- **Federal**

- National program oversight
- Risk Identification (mapping)
- Establish development/building standards
- Provide insurance coverage

- **State**

- State program oversight
- Establish development/building standards
- Provide technical assistance to local communities/agencies
- Evaluate and document floodplain management activities



FEMA

NFIP Roles: Local

- **Local Officials and Floodplain Administrators**
 - Adopt and enforce floodplain management ordinance compliant with Federal/State laws
 - Issue or deny development
 - Inspect development and maintain records
 - Make substantial damage determinations
- Remember, development oversight is a **local responsibility**



FEMA

Mitigate Risk Through Regulations

- Floodplain management regulations are a requirement for **ALL** NFIP participating communities
- Our local regulations are located in the Zoning Ordinance
- Regulations apply to Special Flood Hazard Area (SFHA) on the Flood Insurance Rate Map (FIRM)
- Regulations apply to all “**development**”



FEMA

ALL Development Requires a Permit

ALL development in the SFHA requires a permit

- Definition of development (as per 44 CFR 59):

Any manmade change to improved or unimproved real estate, **including, but not limited to** buildings or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations, or storage of equipment or materials

Ensure you have a process for capturing all floodplain development

Definitions

- **Base Flood Elevation (BFE)** – Height of the water in a 1% annual chance flood
- **Regulatory Flood Elevation (RFE)**– 18” above Base Flood Elevation
- **AE** – Area adjacent to the flood way
- **A** – Areas where base flood elevations have not been identified, applicant can determine the elevation with engineering studies



Federal Minimum Requirements

- **Require permits** in SFHA
- **Siting:**
 - Development in floodway must prove no rise in BFE
- **Foundation:**
 - Solid foundation walls permitted...
 - ...so long as there are openings to resist hydrostatic pressure
- **Enclosed Spaces:**
 - Only used for parking, access, and limited storage
 - Consider non-conversion agreement
- **Elevation:**
 - Top of lowest floor elevated above the BFE
 - Freeboard
 - Elevate and anchor utilities



FEMA

Regulatory Requirement Highlights

- Permits required for **ALL development**
- Building requirements: Zones A and AE
 - Residential buildings: lowest floor, including basement, **elevated to or above RFE**
 - Non-residential buildings: **elevated or floodproofed**
 - **No increase in BFE** for development within floodway



Special Permits (906.02.G)

- Special Permits are required for hospitals, nursing homes, and correctional facilities.
- Requirements
 - Evacuation Plan
 - Additional engineering analysis
 - Planning Commission approval required
 - Additional state review required



FEMA

Existing Structures (906.02.H)

- No expansion or enlargement in Floodway that would increase BFE.
- No expansion or enlargement in AE zone that together with all other existing and anticipated development that would cause an increase to the BFE or more than 1 foot.
- Modification permitted up to 50 percent of market value of the structure.
- Building code requirements must also be met.



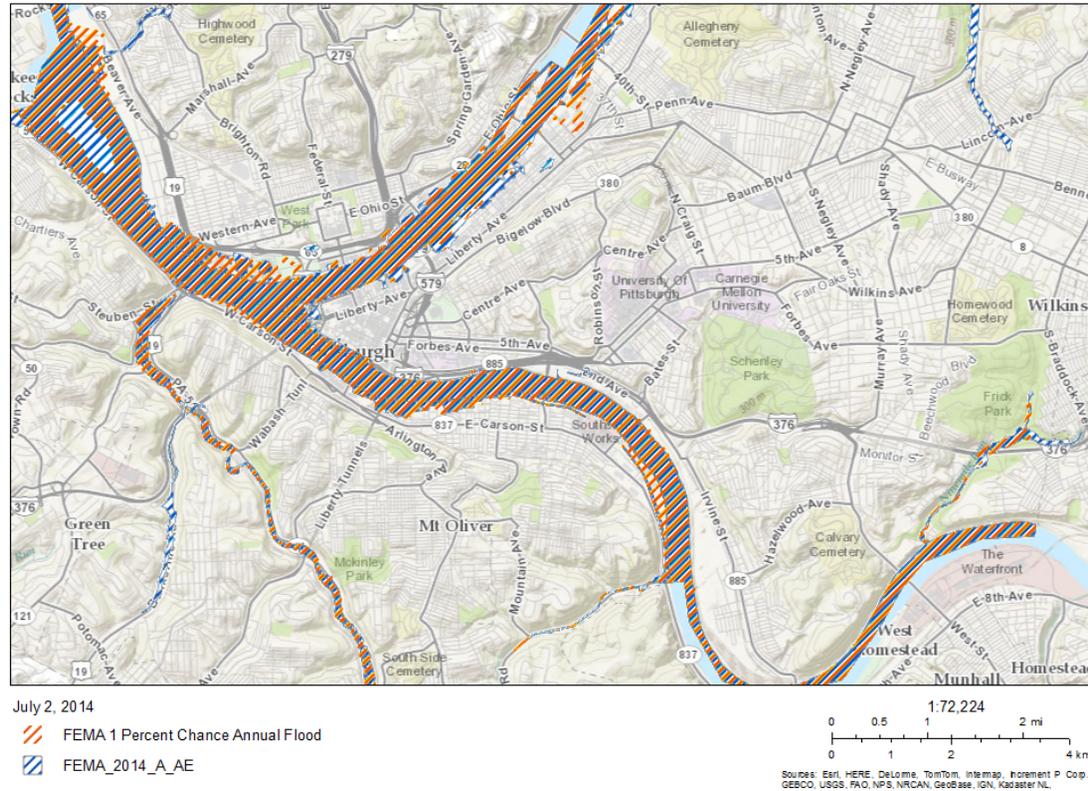
Ordinance Non-Compliance

- **Failure to adopt** a compliant ordinance by map effective date or having non-compliant ordinance = **easiest way to get suspended**
- **Serious ramifications:**
 - Suspension of NFIP eligibility
 - No mortgages or home equity loans in floodplain areas
 - No renewals of existing flood insurance policies
 - Loss of most forms of Disaster Assistance
 - No federal grants or loans
 - Loss of subsidized insurance for Pre-FIRM structures



FEMA

How are Pittsburgh's Floodplain Maps Changing?



To compare the current Flood Insurance Rate Map to the new map which will become effective September 26, 2014, visit:

<http://gis.pittsburghpa.gov/zoning/>

For more detailed information about Flood Risk, visit FEMA's Risk Map Portal

<http://maps.riskmap3.com/pa/allegHENY/>

