



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room
February 4, 2015

AGENDA

(Vacant), *Chairman*
Ernie Hogan, *Acting Chairman*
Ray Gastil, *Director of Planning*
Erik Harless, *Assistant Chief PLLI, Secretary*
Joe Serrao
(Vacant)
(Vacant)

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business

New Business

- Approval of the minutes from the December 2014 hearing
- Certificates of Appropriateness Report – December 2014 and January 2015
- Applications for a Certificate of Economic Hardship – None

➤ **1:00 PM HEARING & ACTION**

- 1. Allegheny Commons Historic District**
Lake Elizabeth
City of Pittsburgh, owner
PWSA, applicant
Installation of mechanical units for lake
- 2. Deutschtown Historic District**
900 Cedar Avenue
Odontological Society, owner and applicant
Façade renovations including after-the-fact installation of glass-block windows
- 3. Deutschtown Historic District**
910 Cedar Avenue
Margaret Macavoy, owner
Germaine Gladu, applicant
After-the-fact installation of railing, door, and glass-block windows
- 4. Deutschtown Historic District**
406-408 Foreland Street
Sarah Sims Erwin & Dominick DeGennaro, owners and applicants
Change in siding material
- 5. East Carson Street Historic District**
1831 E. Carson Street
1831 E. Carson LLC, owner and applicant
Façade renovations
- 6. East Carson Street Historic District**
2603 E. Carson Street
PNC Financial Svcs Group, owner
Adam Lott, applicant
Relocation of ATM
- 7. Manchester Historic District**
1439 Juniata Street
Renee Rosensteel & Bill O'Driscoll, owners and applicants
Façade renovations
- 8. Manchester Historic District**
1415 Lake Street
Manchester Housing Development, owner and applicant
Fence replacement

9. **Manchester Historic District**
1417 Sheffield Street
Betsy O'Neill, owner
Bob Baumbach, applicant
Rear renovations including new dormer
10. **Manchester Historic District**
Page Street
Western PA Human Society, owner and applicant
Fencing and rain shelter for a dog park
11. **Manchester Historic District**
1310 W. North Avenue
Nivlem Properties, LP, owner
Arctecon LLC, applicant
Façade renovations
12. **Market Square Historic District**
24 Market Square
Nao Paw, owner
Doug Sipp, applicant
Canopy addition over sidewalk
13. **Mexican War Streets Historic District**
1200 Resaca Place
Glenn Olcerst, owner and applicant, owners
After-the-fact installation of art

14. **Oakland Square Historic District**
15 Oakland Square
MAO Realty, owner
Michael Orlando, applicant
Window replacement and installation of railing
15. **Oakland Square Historic District**
3423 Parkview Avenue
Theodora Denim, owner
Nicholas Lardas, applicant
Change in roofing material
16. **Penn-Liberty Historic District**
947 Penn Avenue
Yves Carreau, owner
DLA+Architecture&Interior Design, applicant
Installation of operable storefront system
17. **Schenley Farms Historic District**
4147 Bigelow Boulevard
Thomas Kamarck, owner
Mike Angelilli, applicant
Window replacement
18. **Schenley Farms Historic District**
223 Tenneyson Avenue
Mr. & Mrs. Rolph Jacob, owner
Robert Dabney, applicant
Installation of skylights

➤ **DEMOLITIONS**

➤ **HISTORIC NOMINATIONS**

Turney House
160 43rd Street
Carol Peterson, owner and nominator
Historic Designation

Winter Homes
2314 and 2316 Brownsville Road
Councilwoman Rudiak and Garnett Diethorn, owners
Carrick –Overbrook Historical Society, owners and nominators
Historic Designation

➤ **DIRECTOR'S REPORT**

➤ **ADJOURNMENT**

The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public. INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

Please contact Sarah Quinn with questions and comments: 412-255-2243
sarah.quinn@pittsburghpa.gov



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

Lake Elizabeth - Allegheny Commons

DISTRICT:

District 1

OWNER:

NAME: City of Pittsburgh

ADDRESS: 414 Grant Street

Pittsburgh, PA 15222

PHONE: (412) 255-2152

EMAIL: _____

APPLICANT:

NAME: Pittsburgh Water and Sewer Authority

ADDRESS: 1200 Penn Avenue Suite 100

Pittsburgh, PA 15222

PHONE: (412) 255-8800

EMAIL: BSchubert@pgh2o.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Project will install two electrical mixers in Lake Elizabeth to increase the dissolved oxygen and prevent algae growth. Two utility boxes (approximately size of 3'x2'x2') will be located on the shore and will be obscured with shrubbery. No above ground electrical service is required.

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT:  DATE: 11/14/2014



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STAFF LEVEL REVIEW and FEES – Project adheres to historic guidelines

Type of Project	Residential Fees	Commercial Fees
In-kind repairs	\$25	\$5 per linear foot of the façade (minimum \$50)
In-kind restoration		
Mechanical and HVAC		
Commercial awnings		
Signage		
Painting	No Fee	

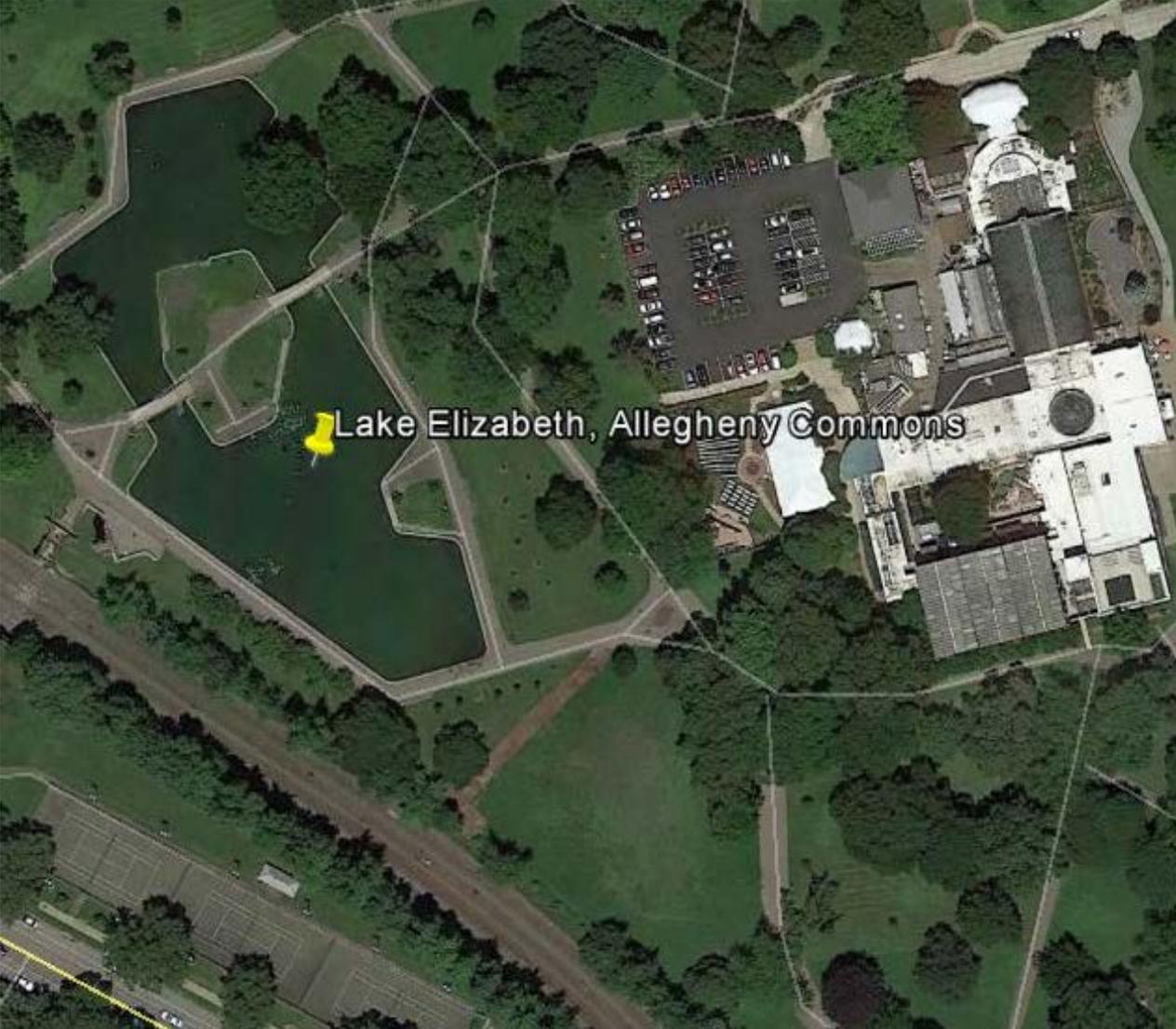
HISTORIC REVIEW COMMISSION LEVEL REVIEW AND FEES – Project does not adhere to historic guidelines and changes in materials

Type of Project	Residential Fees	Commercial Fees
Awnings	\$100	\$10 per linear foot of the façade (minimum \$150)
Fencing		
Painting		
Restoration		
Replacement		
Change in materials		
Change in fenestration		
Mechanical and HVAC		
New construction		
Signage		

****All demolitions and historic nominations require full HRC review. Fees vary for demolitions (\$100 or \$400) and for historic nominations (\$100 or \$250) depending on type.****

* Residential review is for single-family homes, and structures originally built as houses with four units or less. Properties with more than four units and apartment buildings are considered commercial buildings.

* Applicants do not pay for both the Staff Review and the full HRC review for any single project. Fees are non-refundable.



Lake Elizabeth, Allegheny Commons



Lake Elizabeth

Plan View

Equipment Not to Scale

Air Powered Mixer

GridBee AP200P

October 2014



1250 PENN AVENUE
PITTSBURGH, PA 15222
PH: 412-232-4410
FAX: 412-232-4420
www.chester-engineers.com

Created by: Donegan

Date: 10/20/14

File: G:\CLIENT\PWSA\B_Projects\2014
LakeElizabeth_102014



Lake Elizabeth

Profile Rendering

Not to Scale

Air Powered Mixer

GridBee AP200P

October 2014



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PITTSBURGH, PA 15222
PH: 412-232-4410
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LakeElizabeth_102014



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FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

900 Cedar Avenue
 Pittsburgh, PA 15212

STAFF USE ONLY:

DATE RECEIVED: 1/16/15
 LOT AND BLOCK NUMBER: 23-8-273
 WARD: 23rd
 FEE PAID: yes
 DISTRICT: Deutschtown

OWNER:

NAME: Odontological (Dental) Society
 ADDRESS: 900 Cedar Avenue
Pittsburgh, PA 15212
 PHONE: 412-321-5810
 EMAIL: threeriversdental@verizon.net

APPLICANT:

NAME: Odontological (Dental) Society
 ADDRESS: 900 Cedar Avenue
Pittsburgh, PA 15212
 PHONE: 412-321-5810
 EMAIL: threeriversdental@verizon.net

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

(See attached sheet)

SIGNATURES:

Sec DSWP
 OWNER: [Signature] DATE: 1-13-15
 Pres. DSWP
 APPLICANT: [Signature] DATE: 1-13-15



Replacing broken and damaged foundation windows with glass block.

Replace old HVAC vents that were in existing old windows.

Replacing window sills with concrete sills.

Repairing sandstone foundation.

Repair rotted wood on all wood trim on exterior of property including window trim (house is brick) and paint these items after repair.

Repair or replace as needed small side roof on Suismon Street side of house (3rd floor).

Replace rotted and torn awnings with new same design.











900















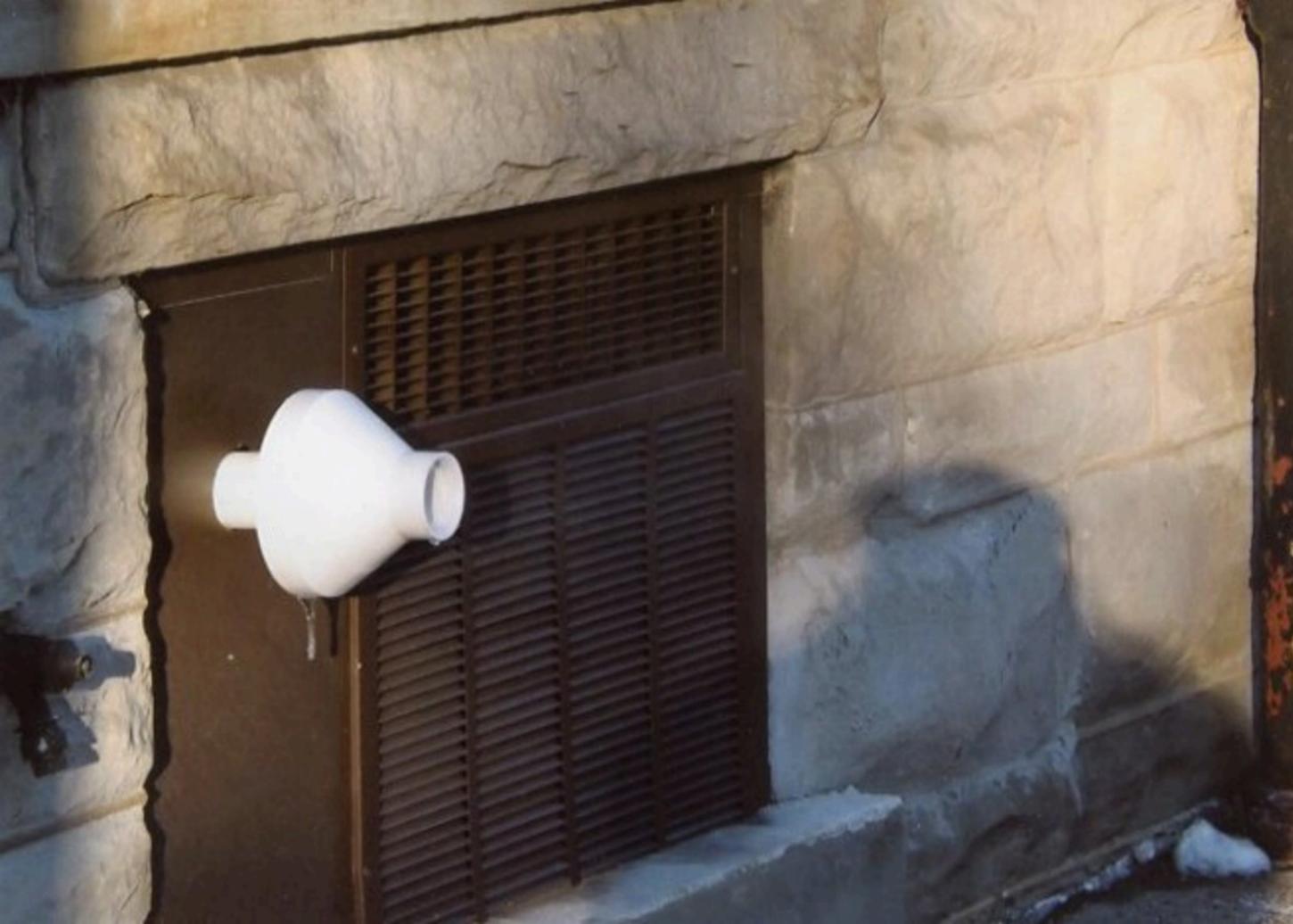


















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ADDRESS OF PROPERTY:

910 Cedar Avenue
Pittsburgh PA 15212

OWNER:

NAME: Charles Heidlage
Margaret Macavoy
 ADDRESS: 910 Cedar Ave Pgh PA 15212
 PHONE: 617.939.4055
 EMAIL: _____

STAFF USE ONLY:

DATE RECEIVED: 12-6-14
 LOT AND BLOCK NUMBER: 23-11-224
 WARD: 23rd
 FEE PAID: yes

DISTRICT:

123 Pittsburgh - 23rd Ward

APPLICANT: Heritage Industries Inc.

NAME: Germaine Gladu
 ADDRESS: 600 Fountain St.
Blawnox PA 15238
 PHONE: 412.435.0091 (o) ^{412.722.9688}
 EMAIL: germaine@heritageindustries.net

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

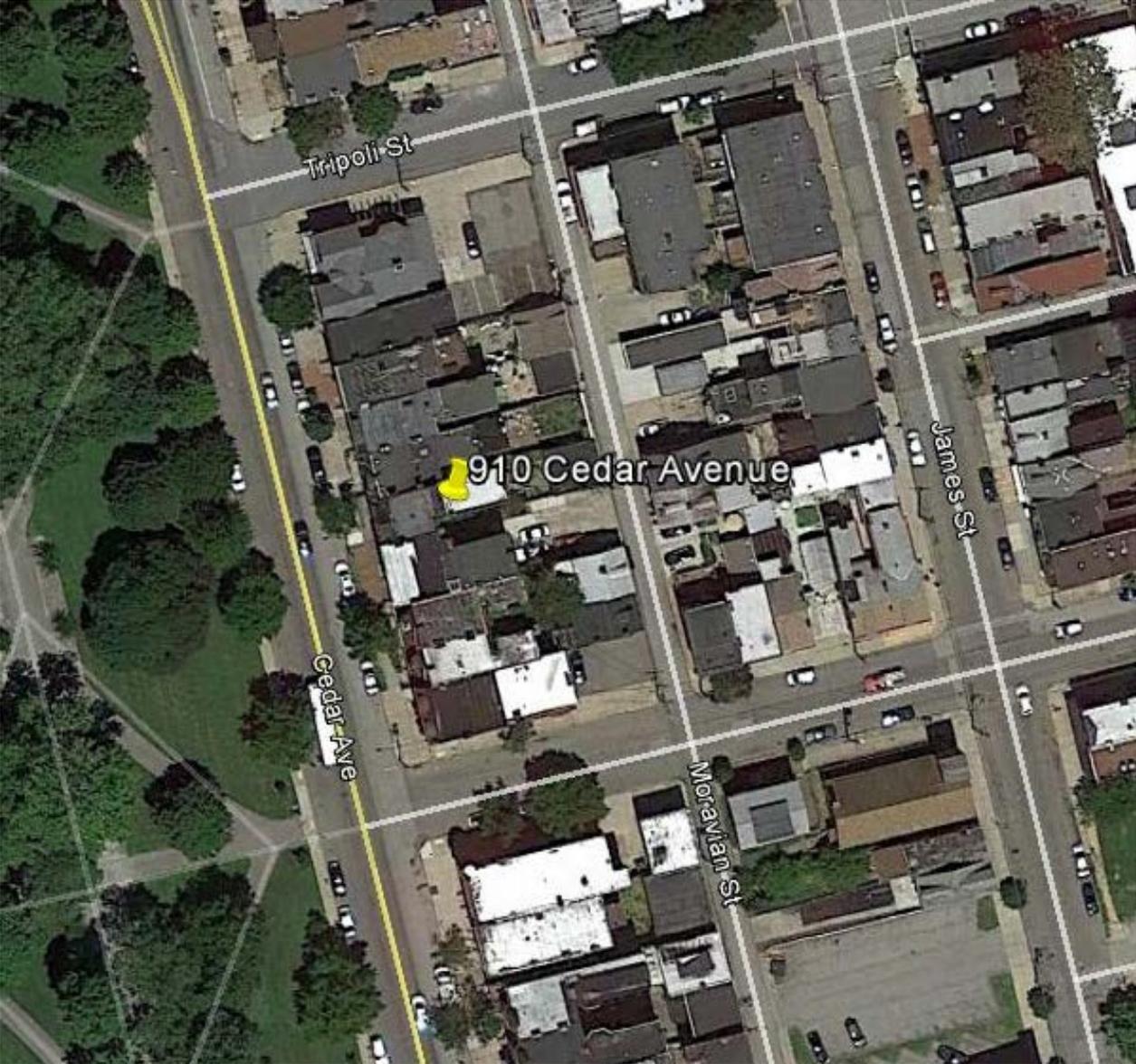
DETAILED DESCRIPTION OF PROPOSED PROJECT:

* Railing - Replace existing exterior railing due to rust and severe damage. The railing also did not meet current code requirements for height. Heritage industries fabricated a new railing using solid steel with full welds to ensure historical accuracy and quality. We kept the existing newel post that was original to the home and "goosenecked" the railing from the post to ensure accurate height.

OWNER: _____ DATE: _____

APPLICANT: Germaine Gladu DATE: 12-5-14

* Door - Front doors were in disrepair due to vandalism. New doors were custom milled and are an exact replica. They will be stained walnut. The photo does not show the doors installed. They are on site to be installed.



Tripoli St

910 Cedar Avenue

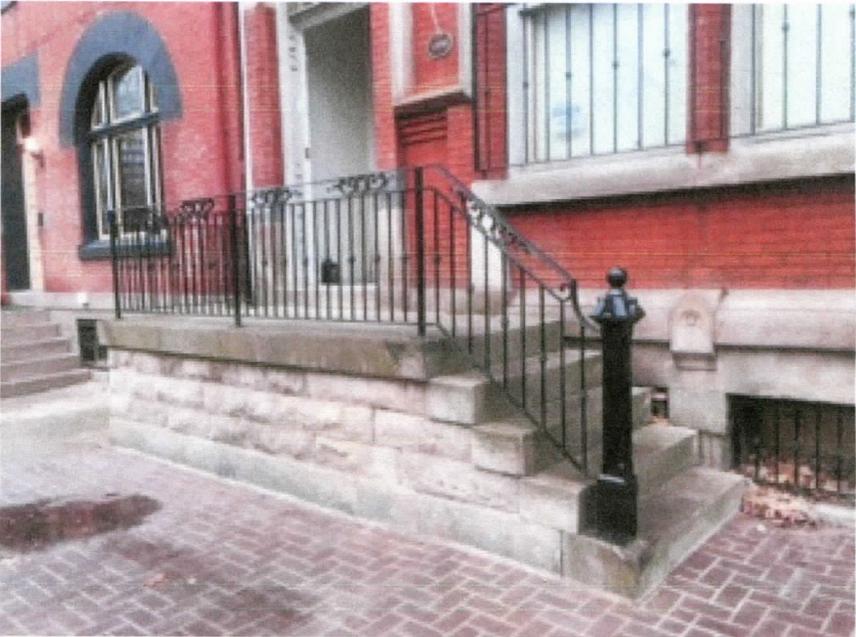
James St

Cedar Ave

Moravian St

Heritage Industries, Inc. for Cedar Avenue

Historic Review for Railing



HERITAGE INDUSTRIES, INC

600 Fountain Street
PO Box 111434
Blawnox, PA 15238
PROPOSAL

Phone: (412) 435-0091
Fax: (412) 435-0095 Email:
sales@heritageindustries.net
PAOAGHC License# PA9168

December 5, 2014

Project: 910 Cedar Avenue - Iron Railing and Window Guards

- Full Rail – Front Porch and Steps
- Guards – (2) Total
 - Front of House - 1st Floor and Basement

Design: As per CAD Rendering

Detail: Keep existing newel post in place. Do not remove. Terminate new rail into newel.
Window Guards: top bar at window sash, scroll directly below

Material: Cap Rail: 3/8" x 1-7/8" Solid Steel Beveled (Railing) / 3/8" x 1-1/4" (Window Guard)
Verticals: 1/2" Solid Square Bar
Sub Horizontal: 1/1-4" Solid steel Blat Bar
Posts: 1-1/4" 11 Gauge Steel Tube
Decorative Collars and Scrolls

Scope:

On-site Build Measurements

Fabricate to Design & Build Specifications

3 Step Cleaning Process:

- Steel Shot Blast / Forced Air Blast / Phosphate Wash

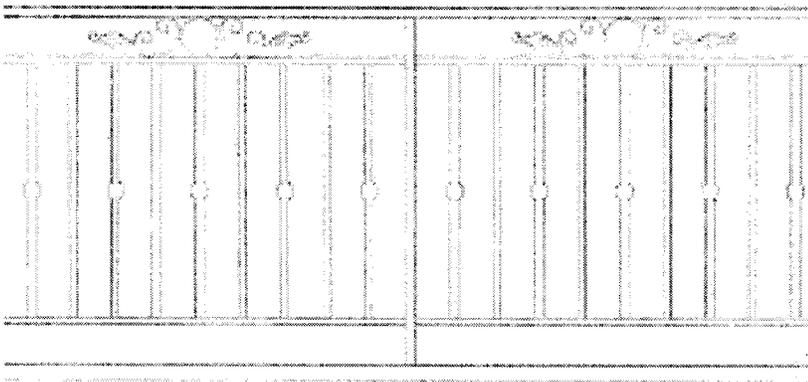
3 Step Coating Process:

- Conversion Coating Pre-Treatment
- Zinc Rich, Epoxy Based, Powder Coat Primer
- Powder Coat Finish: Super Durable Black

Deliver and Install



Scroll Frieze with Leaf Detail to meet
3-15/16" Code Requirements



Square
Collar to fit
square bar



Original railing that was replaced

© 2014 Google

© 2014 Google

Google earth

Estate Millwork

WWW.ESTATEMILLWORK.COM

service@estatemillwork.com

BILLING ADDRESS

Morgan McCollum
Morgan Peyton Interiors, LLC
1919 Forbes Avenue
Pittsburgh, PA 15219
Ph: 412.512.4661
F:
morganpeytoninteriors@gmail.com

SHIPPING ADDRESS

Morgan McCollum
Morgan Peyton Interiors, LLC
910 Cedar Avenue
Pittsburgh, PA 15212
Ph: 412.512.4661
F:

INVOICE# 205148

DATE: September 10th, 2014
Rep: Andy

Actual Ship Date: 2014-11-01
Ship Via: FedEx
Tracking Number:

ORDER STATUS

✓ APPROVED

✓ DEPOSIT RECEIVED

✓ PRODUCTION COMPLETE

✓ FINISHING COMPLETE

✓ SHIPPED

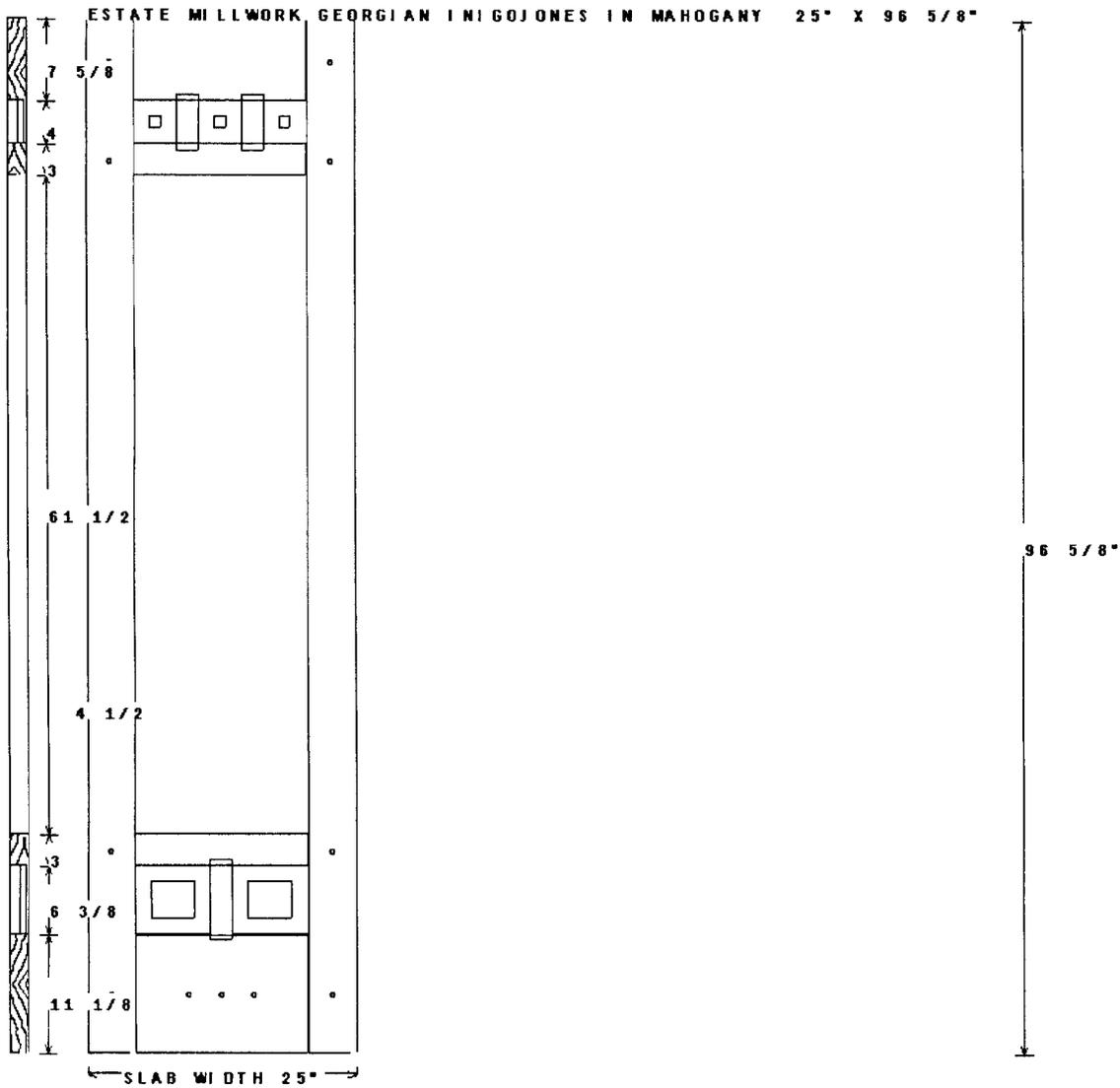
[View Approved Drawings](#)

All items Made in the USA

QUANTITY	ITEM	UNIT PRICE	TOTAL PRICE
2	 Georgian InigoJones DOOR in unfinished Mahogany 1 3/4" X 25" X 96 5/8" --INSTALL EXISTING GLASS IN NEW DOORS	\$1,794.57	\$3,589.14
	Subtotal		\$3,589.14
	Estimated Shipping and Handling		\$202.02
	Grand Total		\$3,791.16
	Payments Received		09/10/14 (CC) - \$1,895.58 09/18/14 (CC) - \$1,895.58
	BALANCE DUE		\$0.00

RETURN POLICY: Stock items such as shutter hardware and door hardware can be returned within 15 days for a 20% restocking fee, provided they are accompanied by original packing slip and are in saleable condition. Custom made-to-order items are not returnable and are subject to Shop Drawings and our [Terms and Conditions](#).

GEORGIAN INIGOJONES DOOR IN UNFINISHED MAHOGANY 1 3/4" X 25" X 96 5/8"





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ADDRESS OF PROPERTY:

406 & 408 Foreland St.
 Pittsburgh, PA 15212

OWNER: Sarah Sims Erwin &
 NAME: Dominick DeGemero

ADDRESS: 211 S. Evaline St. #1
 Pittsburgh, PA 15224

PHONE: 212 / 533-8848

EMAIL: simzee@hotmail.com

STAFF USE ONLY:

DATE RECEIVED: 1/16/15

LOT AND BLOCK NUMBER: 23-5-255, 256

WARD: 23rd

FEE PAID: 100

DISTRICT:

APPLICANT:

NAME: Sarah Sims Erwin

ADDRESS: 211 S. Evaline St. #1
 Pittsburgh, PA 15224

PHONE: 212 / 533-8848

EMAIL: simzee@hotmail.com

REQUIRED ATTACHMENTS:

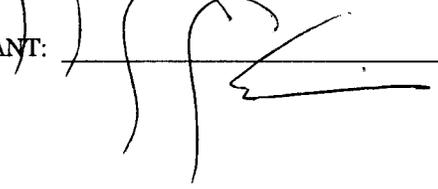
- Drawings
- Photographs
- Renderings
- Site Plan
- Other

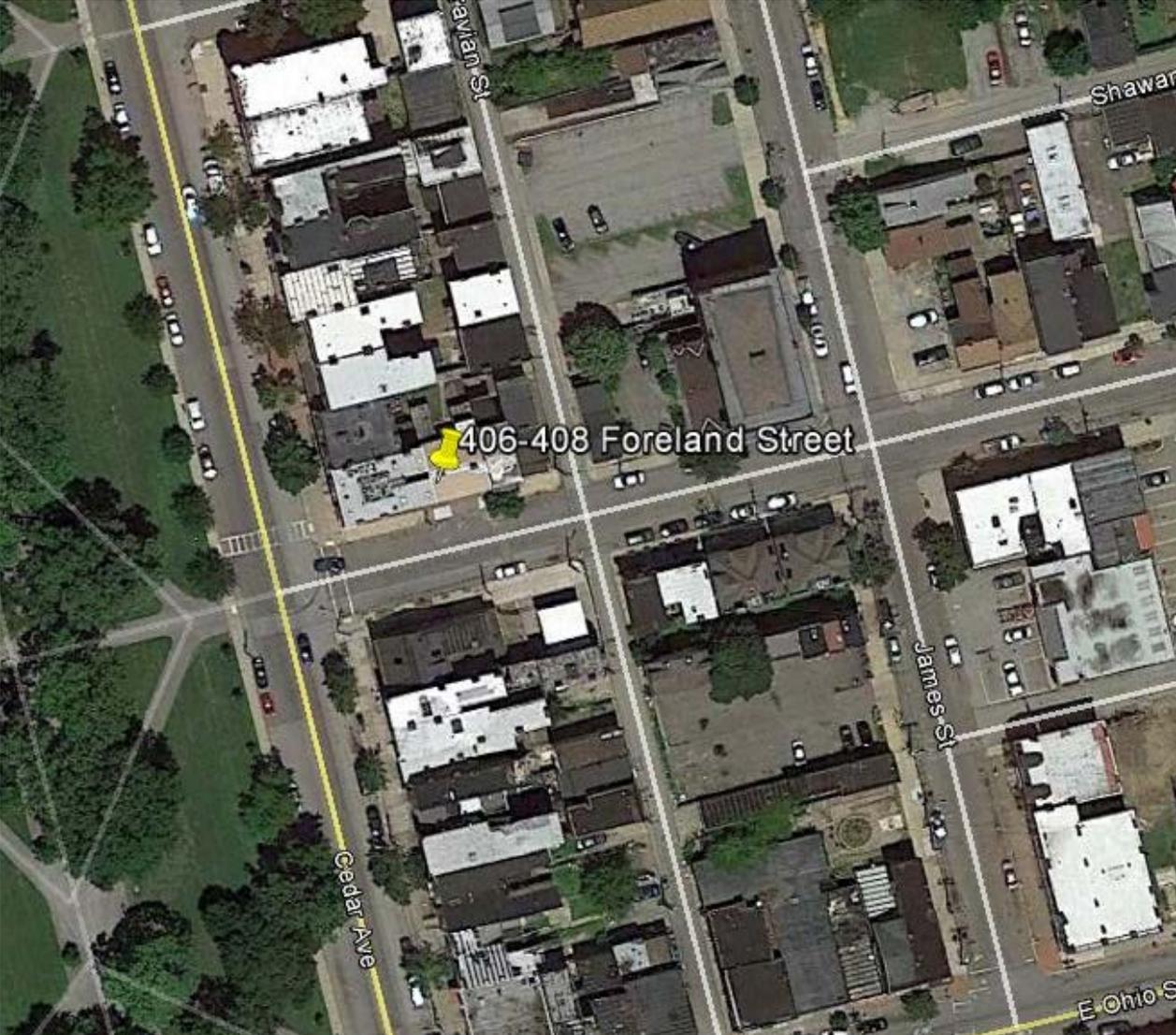
DETAILED DESCRIPTION OF PROPOSED PROJECT:

We are proposing, based on the advice of numerous painters & carpenters, to use Hardie Plank on the exterior of this structure.

SIGNATURES:

OWNER:  DATE: 1/16/15

APPLICANT:  DATE:



406-408 Foreland Street

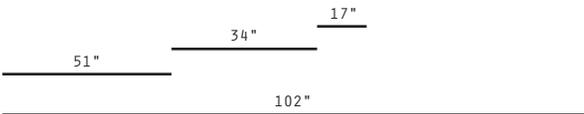
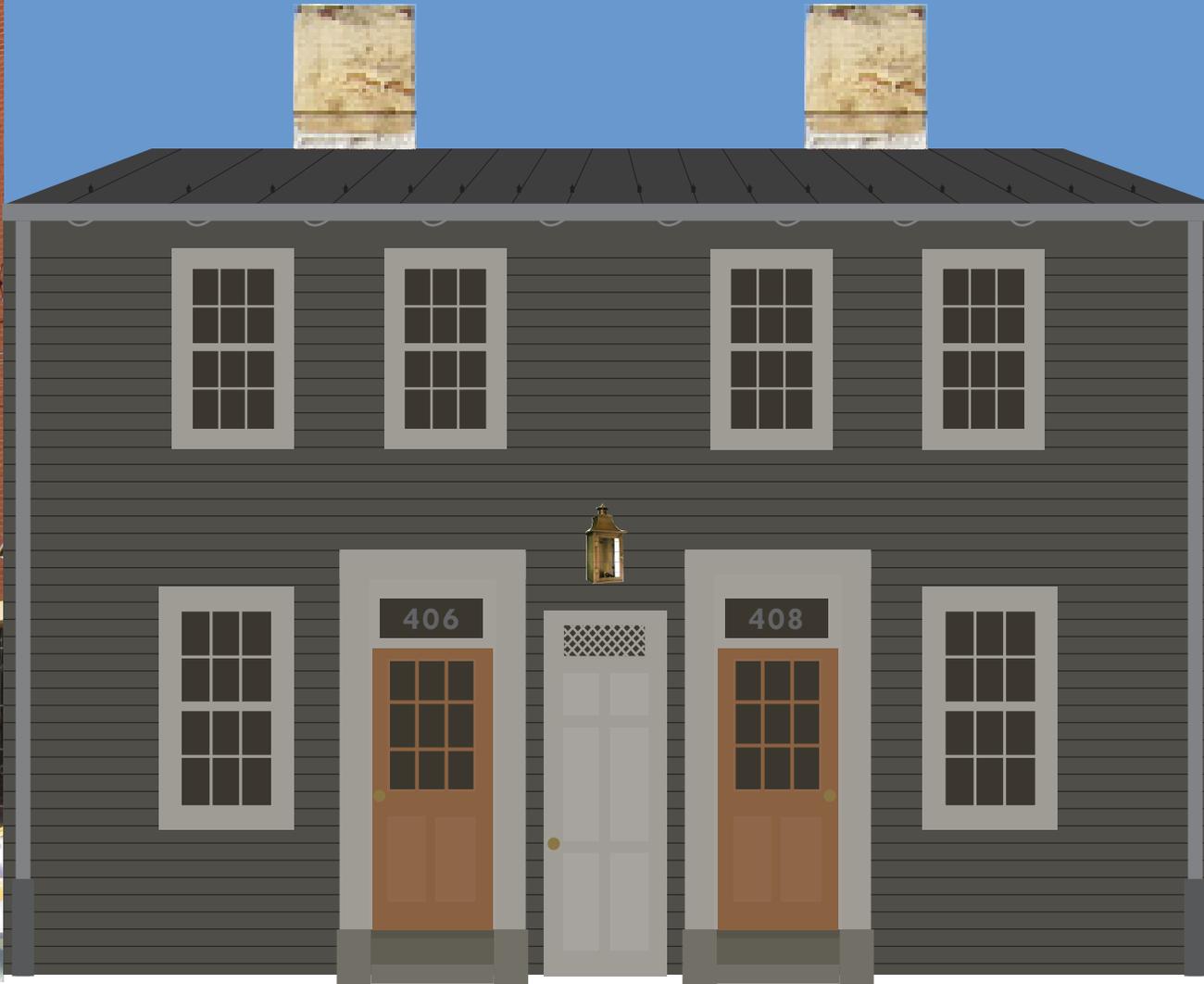
Cedar Ave

James St

Shawan

E Ohio S

406-408 FORELAND STREET, PITTSBURGH, PA 15212
DEUTSCHTOWN HISTORIC DISTRICT
PROPOSED FRONT ELEVATION FOR:
WINDOWS, DOORS, ROOF & BODY COLOR, GAS LIGHT, AND HOUSE NUMBERS



PROPOSED FRONT SIDING / MATERIAL CHANGE:

AS RECOMMENDED BY CARPENTERS, PAINTERS, AND GENERAL CONTRACTORS

HARDIE PLANK LAP SIDING .0312 THICKNESS

PLANK WIDTHS: 7.25"

TRIM WIDTHS: 4"

HardiePlank® Lap Siding

SMOOTH

3/3

THICKNESS: 0.312"

LENGTH: 144" boards

WIDTHS:

5.25"	6.25"	7.25"	8.25"
-------	-------	-------	-------

EXPOSURES:

4"	5"	6"	7"
6.25"	8.25"	12"*	12"*
		10.75"	5.25"
7.25"	9.25"*	9.25"*	48"
	8"		48"
48"*			

HardiePlank® Lap Siding

SMOOTH

2/3

Smooth is available in 14 ColorPlus® Technology finishes or primed for paint.

Iron Gray



Download Product Catalog

PROPOSED WINDOWS: 6 OVER 6, WOOD
PROPOSED TRIM:



PROPOSED DOOR: 9-LITE, WOOD

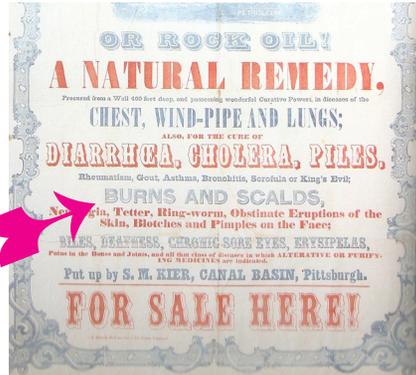
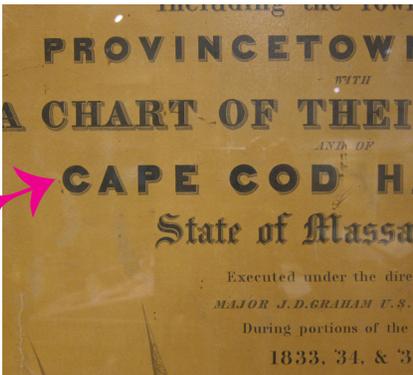


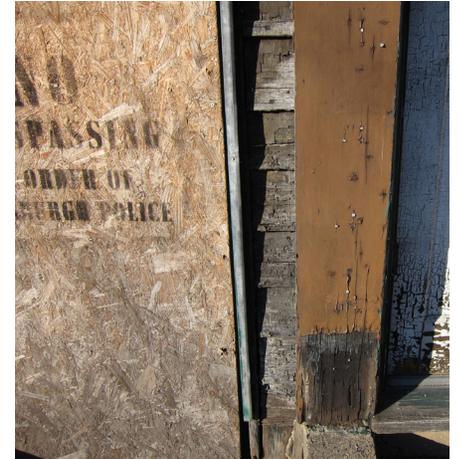
PROPOSED GAS LIGHT: BRASS



PROPOSED ROOF: 1" STANDING SEAM, METAL

PROPOSED HOUSE NUMBER FONT:







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See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1831 E. Carson St.

Pittsburgh PA 15203

OWNER: 1831 E. Carson LLC

NAME: Jim Camp

ADDRESS: 1831 E. Carson St.

PGH PA 15203

PHONE: 412 720 7645

EMAIL: jim@campdgroup.com

STAFF USE ONLY:

DATE RECEIVED: 9/15/14

LOT AND BLOCK NUMBER: 12-E-338

WARD: 17th

FEE PAID: 0

DISTRICT:

East Carson

APPLICANT:

NAME: 19 Carson LLC dba Steel Cactus

ADDRESS: same as owner

PHONE: _____

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Further construction of a brick facade to a screen wall system to conceal a rain canopy system; halo light existing channel letter sign; install decorative nopales cactus artwork on

SIGNATURES

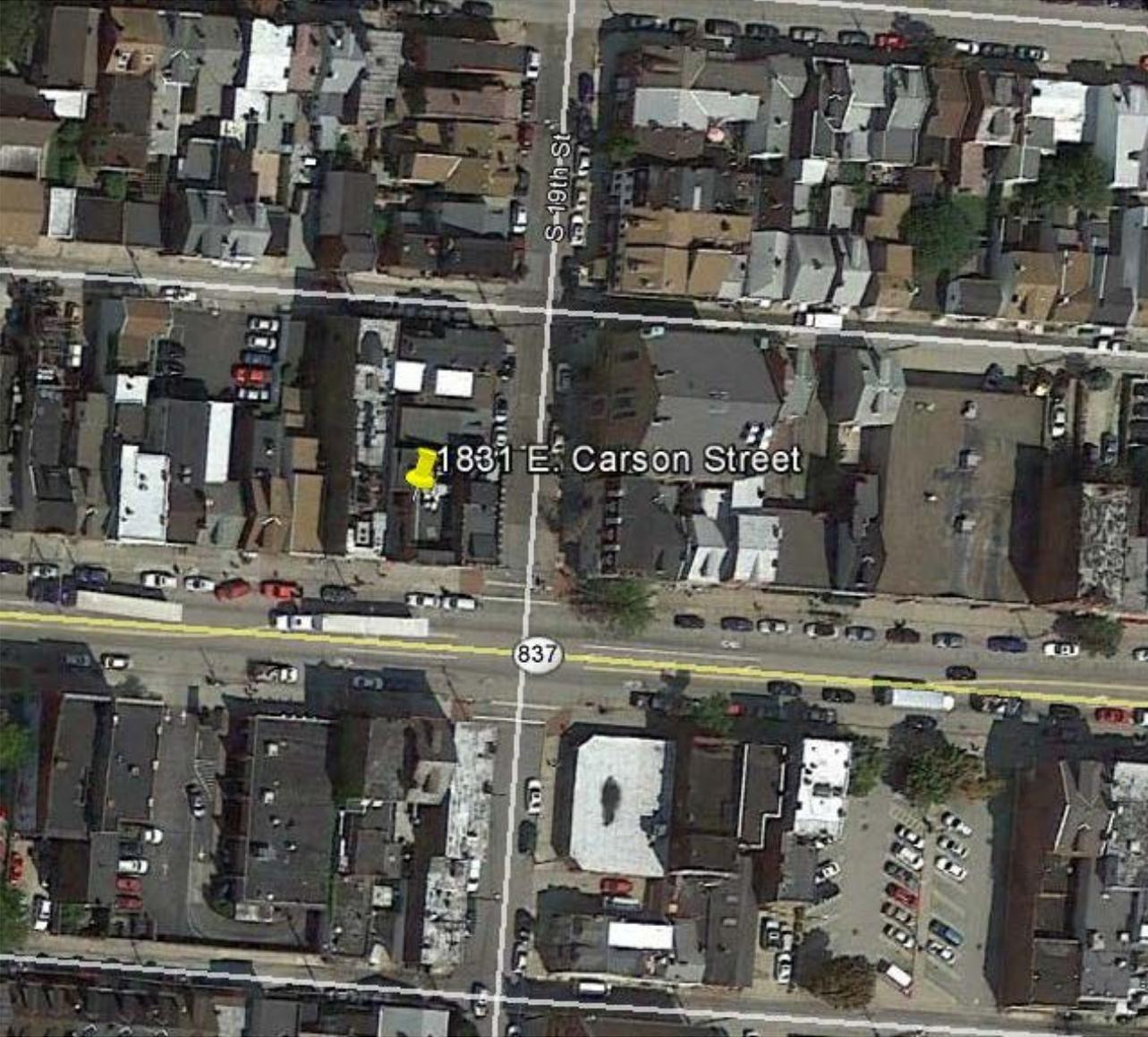
OWNER: [Signature]

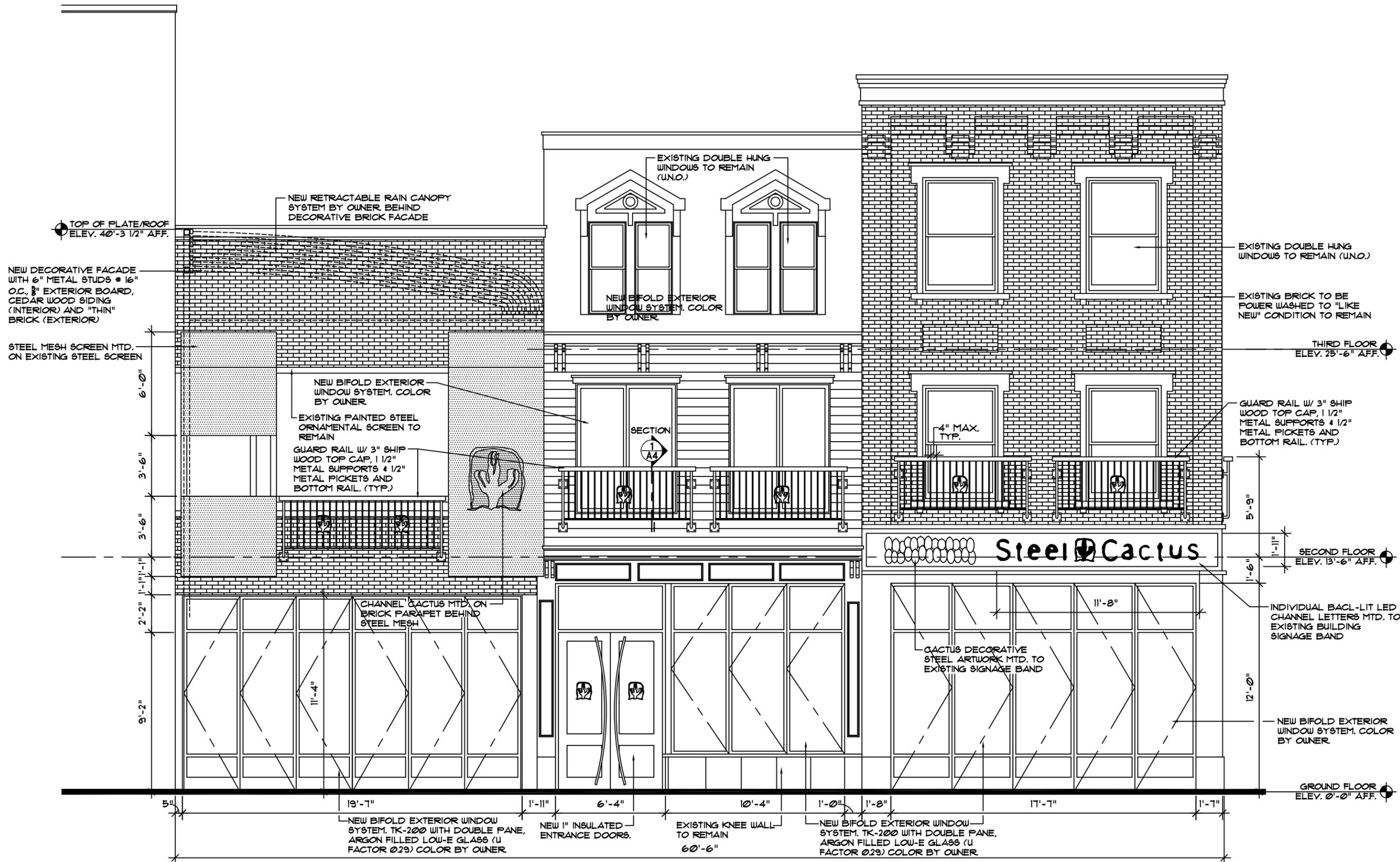
DATE: 9/15/14

APPLICANT: _____

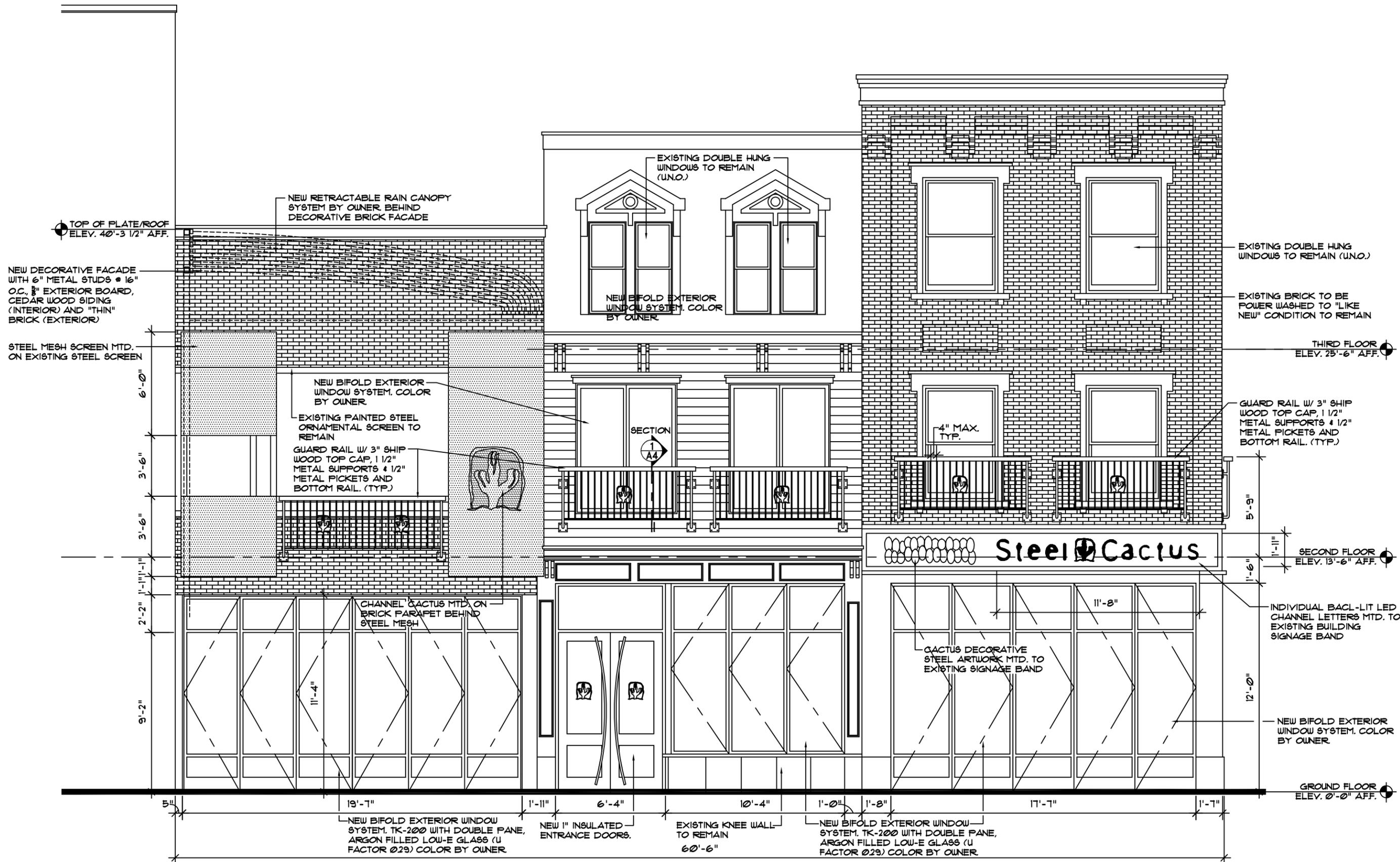
DATE: _____

sign board
 With green background
 Halo light





1 EAST CARSON STREET ELEVATION
 SCALE: 3/16"=1'-0"



1 EAST CARSON STREET ELEVATION
 SCALE: 3/16"=1'-0"



1 EAST CARSON STREET ELEVATION
 SCALE: 3/16"=1'-0"



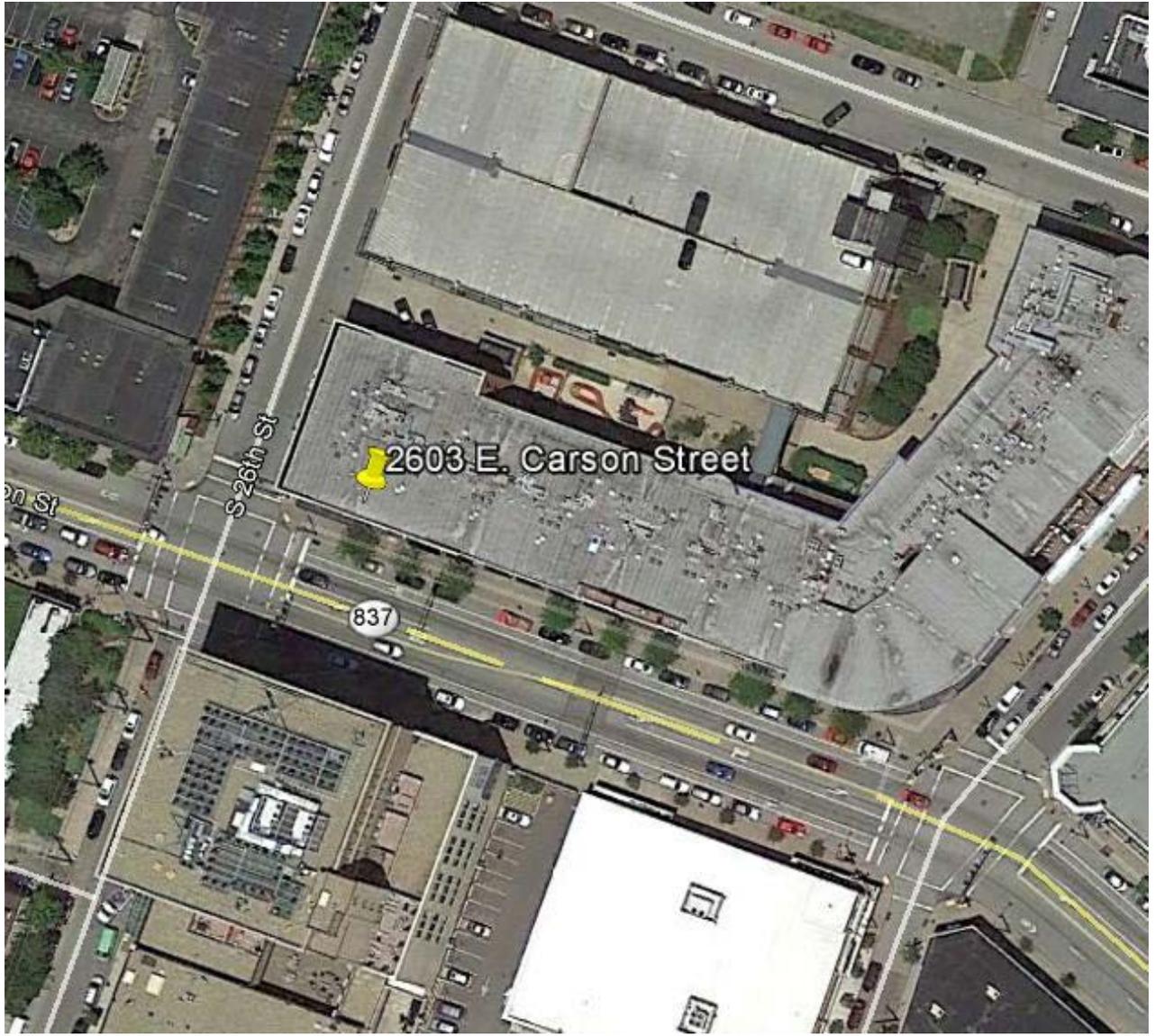
2 19TH STREET ELEVATION
 SCALE: 3/16"=1'-0"



© 2014 Google

© 2014 Google

Google earth



Project Summary: "New Walk-Up ATM Room Alterations and Renovations East Carson St Branch."

Location: 2603 East Carson Street- Pittsburgh, Pa 15203-5109.

Owner: PNC Financial Services Group. ATTN: John Baker-412-442-3915

Architect: Jeffrey A Schroder-724-861-5225

General Contractor: dck Worldwide. ATTN: Adam Lott-412-302-7837

Project Objective:

- Separate PNC Bank ATM room space from potential future tenant in main store space to provide security and privacy for all parties.
- Provide new access into existing ATM room via new door at vestibule.
- ATM must be relocated to allow for ADA approach at new door.

Scope of Work:

- Remove Existing ATM and surround from storefront window.
- Fill in window space with new spandrel panel to match existing green mullions.
- Re install existing or new ATM at adjacent storefront window (approx. 4'8" left looking at customer side of ATM.) New location was previous location of night deposit drop box.
- Install new ATM surround and light at new ATM location.
- Cut in new 3'x7' commercial door and frame from vestibule swinging into ATM room. Wall is nonstructural, non-rated.
- Remove existing interior double doors and frame between ATM room and store space.
- Fill in opening with framing, insulate, drywall, finish, paint and trim to match existing wall.

Adam Lott
Construction Superintendent
dck Worldwide LLC.



The PNC Financial Services Group

PNC WALK-UP ATM - 2603 EAST CARSON STREET - PITTSBURGH, PENNSYLVANIA 15203-5109

GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES HAVING JURISDICTION.
2. ALL EXISTING DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED BY ALL TRADES AT THE SITE. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONDITIONS AS DEPICTED OR IMPLIED BY THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE PNCBANK REPRESENTATIVE AND THE ARCHITECT FOR CONSIDERATION AND CLARIFICATION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO ANY CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO SUCH DISCREPANCIES IF THE REQUIRED NOTIFICATION HAS NOT BEEN GIVEN.
3. ANY AND ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL HAVE WRITTEN APPROVAL BY THE PNCBANK REPRESENTATIVE PRIOR TO BEING EXECUTED BY ANY SUB-CONTRACTOR, VENDOR, OR SUPPLIER.
4. AT ALL CONNECTIONS, JOINTS, AND INTERFACES BETWEEN EXISTING AND NEW WORK, THE INTEGRITY OF THE EXISTING CONSTRUCTION IS TO BE MAINTAINED AND/OR MODIFIED AS REQUIRED TO CONTINUE PERFORMANCE OF ITS INTENDED FUNCTION.
5. OVERLAPPING AND/OR CONFLICTING REQUIREMENTS: MOST STRINGENT APPLIES AND WILL BE ENFORCED, UNLESS MORE DETAILED LANGUAGE WRITTEN DIRECTLY INTO THE CONTRACT DOCUMENTS CLEARLY INDICATES THAT A LESS STRINGENT REQUIREMENT IS ACCEPTABLE. REFER UNCERTAINTIES TO THE ARCHITECT AND/OR ENGINEER FOR A DECISION BEFORE PROCEEDING.
6. STRUCTURAL WORK: DO NOT CUT-AND-PATCH STRUCTURAL WORK IN SUCH A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR THE LOAD/DEFLECTION RATIO. SUBMIT PROPOSAL AND REQUEST, AND OBTAIN ARCHITECT'S/ENGINEER'S APPROVAL BEFORE PROCEEDING WITH CUT-AND-PATCH OF STRUCTURAL WORK.
7. PENETRATIONS: CONTRACTORS SHALL MAINTAIN, IN ALL CIRCUMSTANCES, PROPER RATINGS WHEN PENETRATING WALLS, FLOORS, AND CEILINGS.
8. DIMENSIONS GIVEN ON PLANS AND SCHEDULES ARE FOR ROUGH FRAMING PURPOSES. ALL CONTRACTORS AND MANUFACTURERS SHALL COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, AND WINDOWS AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.
9. INDUSTRY STANDARDS: APPLICABLE STANDARDS OF THE CONSTRUCTION INDUSTRY HAVE THE SAME FORCE AND EFFECT ON THE PERFORMANCE OF THE WORK AS IF COPIED DIRECTLY INTO THE CONTRACT DOCUMENTS OR BOUND AND PUBLISHED THEREWITH. STANDARDS REFERENCED IN THE CONTRACT DOCUMENTS OR IN GOVERNING REGULATIONS HAVE PRECEDENCE OVER NON-REFERENCED STANDARDS, INsofar AS DIFFERENT STANDARDS MAY CONTAIN OVERLAPPING OR CONFLICTING REQUIREMENTS, COMPLY WITH STANDARDS IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS, UNLESS OTHERWISE INDICATED.
10. SUBMITTALS: INCLUDE FULL DOCUMENTATION, INCLUDING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, WHERE APPLICABLE, PROVIDE DETAILED PERFORMANCE COMPARISONS AND EVALUATION TESTING LABORATORY REPORTS. COORDINATE INFORMATION FOR EFFECT ON OTHER WORK, TIME SCHEDULES, COSTS FOR PROPOSED CHANGE ORDERS, CONTRACTOR'S GENERAL CERTIFICATION OF RECOMMENDED SUBSTITUTIONS, AND SIMILAR INFORMATION GERMANE TO THE CIRCUMSTANCES.
11. SHOP DRAWINGS AND DATA: SUBMIT SIX (6) SETS OF SHOP DRAWINGS FOR SPECIAL COMPONENTS AND INSTALLATIONS NOT FULLY DIMENSIONED OR DETAILED IN MANUFACTURER'S PRODUCT DATA.
12. COORDINATION: COORDINATE VARIOUS ELEMENTS OF THE WORK AND ENTITIES TO PERFORM THE WORK. COORDINATE THE WORK WITH EXISTING FACILITIES/CONDITIONS AND WITH WORK BY SEPARATE CONTRACTORS AND THE OWNER.
13. CLEANING AND PROTECTION: CLEAN EACH ELEMENT OF THE WORK AT THE TIME OF INSTALLATION TO PROVIDE A SAFE ENVIRONMENT.
14. FINAL CLEANING: SUB-CONTRACTOR AT CLOSEOUT TIME, CLEAN OR RE-CLEAN ENTIRE WORK TO NORMAL LEVEL OF "FIRST CLASS" MAINTENANCE/CLEANING OF BUILDING PROJECTS OF SIMILAR NATURE. REMOVE NON-PERMANENT PROTECTION AND LABELS. POLISH GLASS. CLEAN EXPOSED FINISHES. TOUCH-UP MINOR FINISH DAMAGE, REMOVE DEBRIS, AND PERFORM SIMILAR CLEAN-UP OPERATIONS TO PRODUCE A "CLEAN" CONDITION AS JUDGED BY THE OWNER.
15. WARRANTY: THE CONTRACTOR AND SUB-CONTRACTOR SHALL WARRANT THEIR WORK IN THIS PROJECT TO BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP AND BE OBLIGATED TO REPAIR OR REPLACE THE WORK FOR A PERIOD OF ONE (1) YEAR FOLLOWING SUBSTANTIAL COMPLETION OF THE PROJECT (UNLESS NOTED OTHERWISE).

BANK OWNER: PNC FINANCIAL SERVICES GROUP
MAILSTOP: P8-YB35-01-C
116 ALLEGHENY CENTER MALL
PITTSBURGH, PENNSYLVANIA 15212
CONTACT: JOHN BAKER
TELEPHONE: 412.442.3915

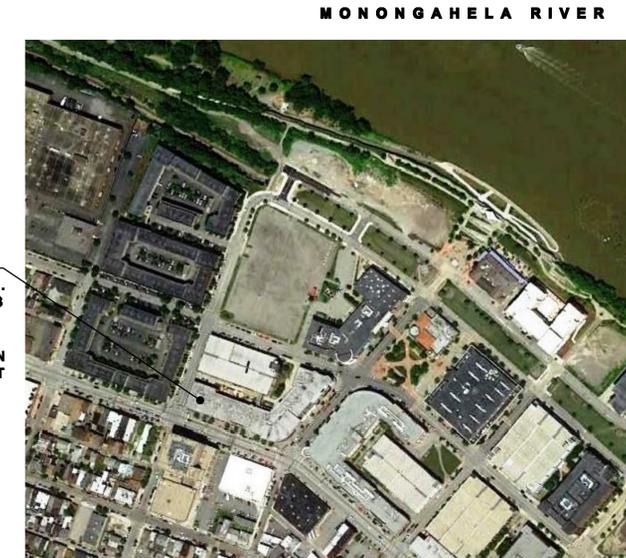
ARCHITECT: JEFFREY A. SCHRODER - ARCHITECT
208 MELLON DRIVE
IRWIN, PENNSYLVANIA 15642
CONTACT: JEFF SCHRODER
TELEPHONE: 724.861.5225

THESE DRAWINGS ARE BASED ON THE
2009 INTERNATIONAL EXISTING BUILDING CODE

CHAPTER 4 - CLASSIFICATION OF WORK

SECTION 404: ALTERATION - LEVEL 2

INDEX OF DRAWINGS				
DRAWING NUMBER	DRAWING TITLE	DRAWING DATE	REVISION NUMBER	REVISION DATE
T101	NOTES - DRAWING INDEX - CODES - CONSULTANTS - SITE PHOTO	5 JANUARY 2015		
EG101	EXISTING CONDITIONS FLOOR PLAN + CEILING PLAN - SITE PICS	5 JANUARY 2015		
A101	PROPOSED FLOOR PLAN - CEILING PLAN - EXTERIOR ELEVATION	5 JANUARY 2015		
CS101	OPTEVA 760 WALK-UP ATM CUT SHEETS	5 JANUARY 2015		



PNC WALK-UP ATM
2603 EAST CARSON ST.
PITTSBURGH, PA 15203

EAST CARSON STREET

SOUTH 26TH STREET



BUILDING NORTH

AERIAL PHOTO OF SITE
BY GOOGLE EARTH NOT TO SCALE

Architect
208 Mellon Drive
Irwin, Pennsylvania 15642
724.861.5225 fax 861.5220

Jeffrey A. Schroder



CONTRACT NO.: 14-48

SCALE: AS NOTED

DATE: 5 JANUARY 2015

DRAWN BY: WOZ

REVISIONS:

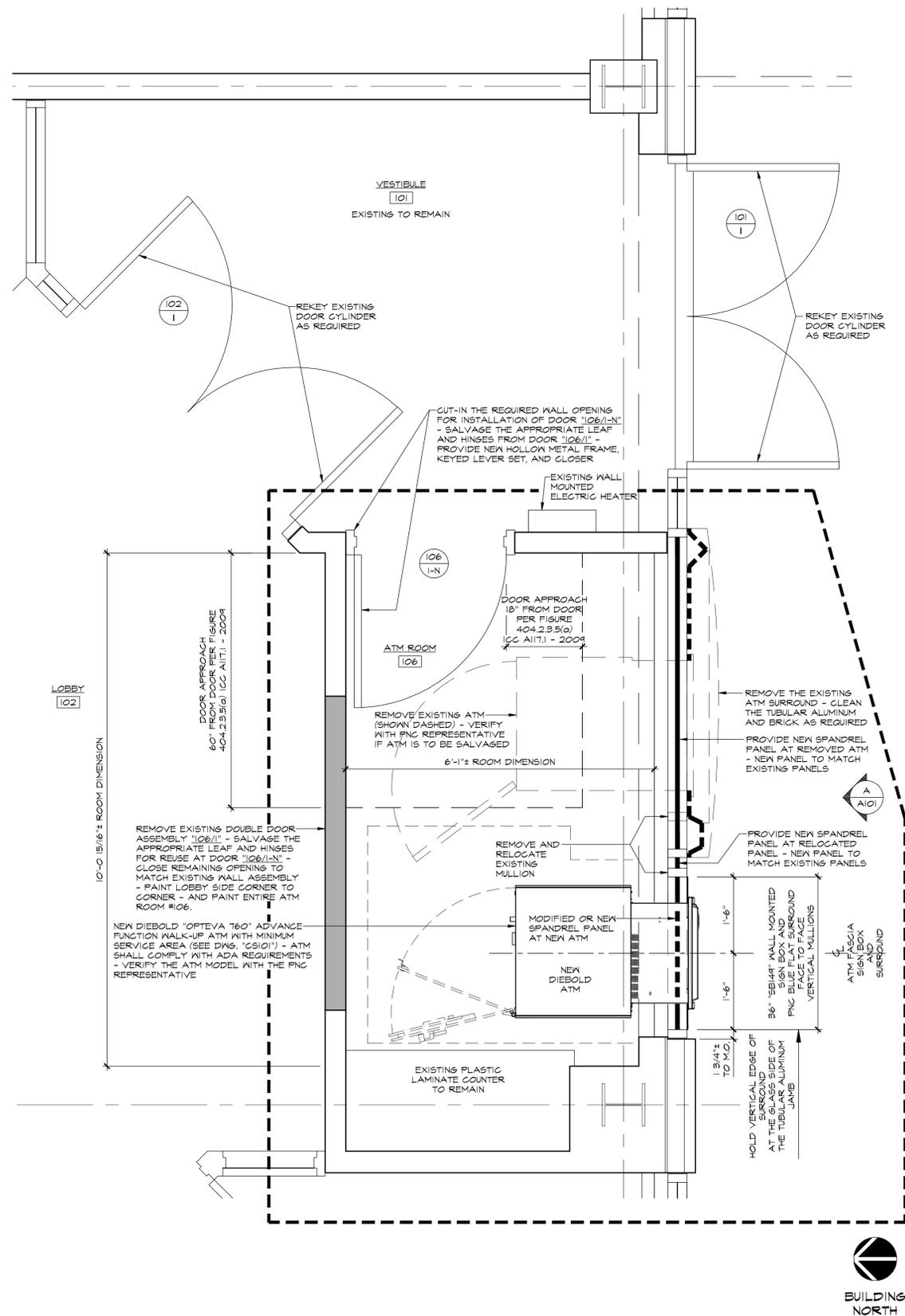
PNC BANK
The PNC Financial Services Group

NEW WALK-UP ATM ROOM ALTERATIONS AND RENOVATIONS
EAST CARSON STREET
2603 EAST CARSON STREET - PITTSBURGH, PA 15203-5109

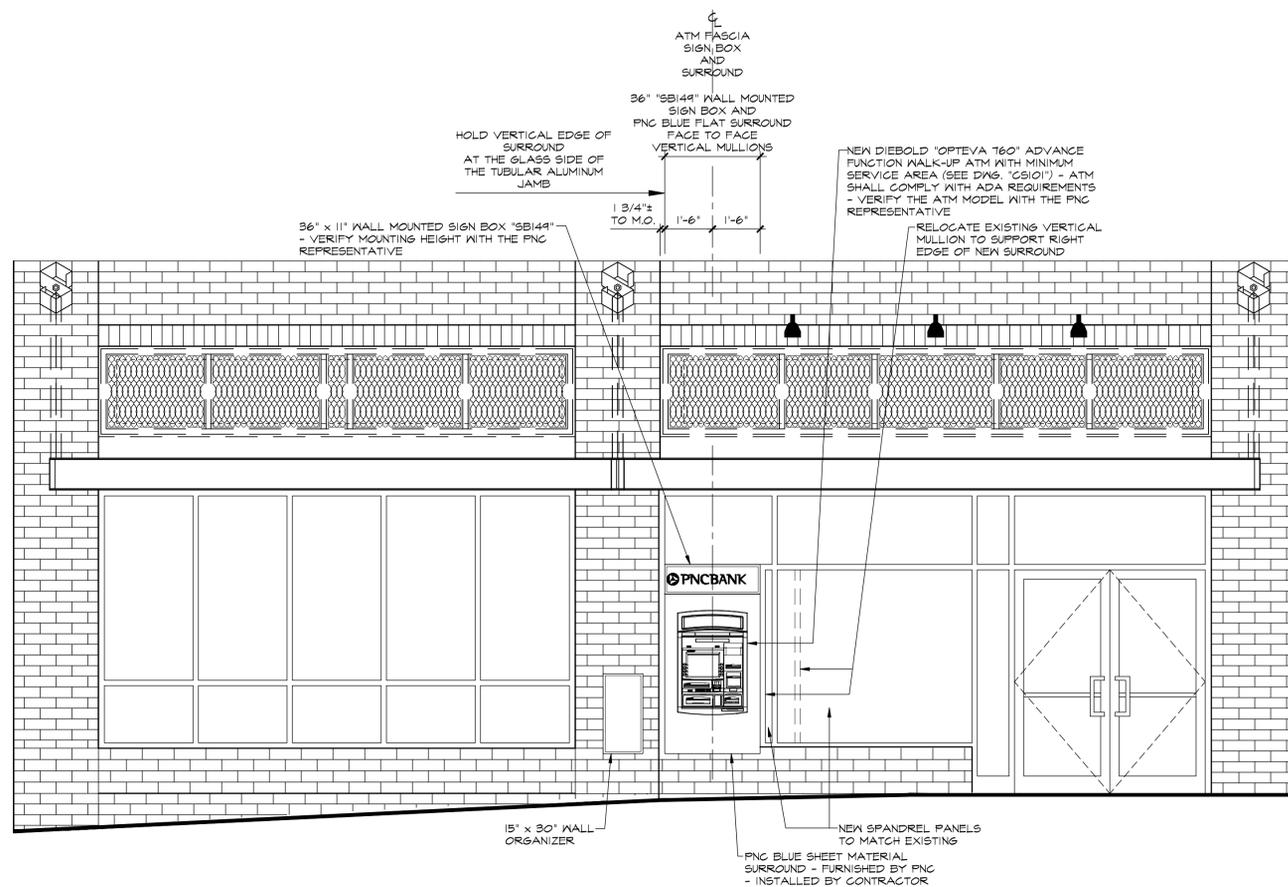
SHEET TITLE:
GENERAL NOTES
DRAWING INDEX - CODES
CONSULTANTS - SITE PHOTO

ARCHITECTURAL

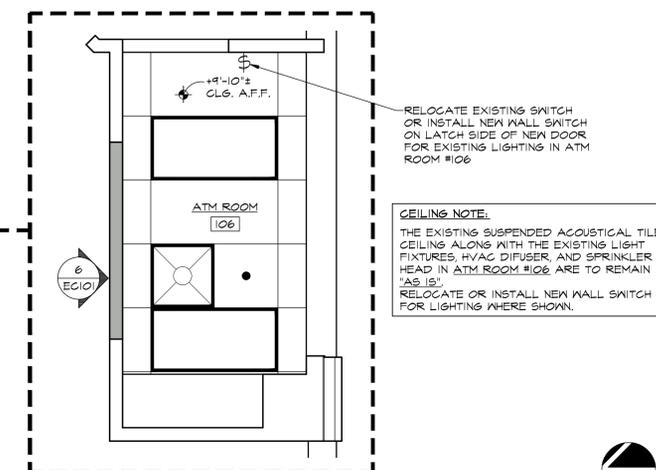
SHEET NO.: T101



PROPOSED FLOOR PLAN:
SCALE: 3/4" = 1'-0"



A SOUTH (EAST CARSON ST.) ELEVATION:
SCALE: 3/8" = 1'-0"



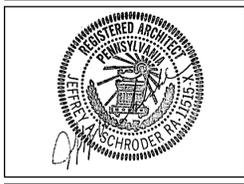
EXISTING CONDITIONS CEILING PLAN:
ATM ROOM #106 ONLY
SCALE: 3/8" = 1'-0"

FIXTURE LEGEND:

	EXISTING 48x24 RECESSED FLUORESCENT LIGHT FIXTURE WITH PRISMATIC LENS
	EXISTING 24x24 SUPPLY AIR DIFFUSER
	EXISTING CEILING MOUNTED FIRE SUPPRESSION SYSTEM SPRINKLER HEAD

Architect
208 Mellon Drive
Irwin, Pennsylvania 15242
724.861.5225 fax 861.5220

Jeffrey A. Schroder



CONTRACT NO.: 14-48
SCALE: AS NOTED
DATE: 5 JANUARY 2015
DRAWN BY: WOZ
REVISIONS:

PNC BANK
The PNC Financial Services Group

NEW WALK-UP ATM ROOM ALTERATIONS AND RENOVATIONS
EAST CARSON STREET BRANCH
2603 EAST CARSON STREET - PITTSBURGH, PA 15203-5109

SHEET TITLE:
PROPOSED FLOOR PLAN
EXISTING CONDITIONS
CEILING PLAN - ELEVATION

ARCHITECTURAL
SHEET NO.: **A101**

DIEBOLD

OPTEVA® 760 ADVANCED FUNCTION WALK-UP ATM THROUGH THE WALL 5 HIGH WITH 13mm (1/2") SAFE

CALL 1-800-999-3600

CONSULT WITH DIEBOLD INSTALLATION/SERVICE BRANCH FOR ADDITIONAL DETAILS AND INFORMATION. PLEASE SEE PLANNING AND SITE PREPARATION GUIDE TP-820718-001.

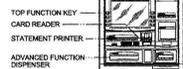


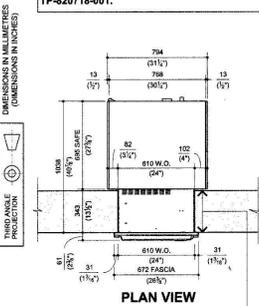
Table with 5 columns: TOP FUNCTION KEY, CARD READER, STATEMENT PRINTER, ADVANCED FUNCTION DISPENSER, HEIGHT FROM SIDEWALK LEVEL, DEPTH FROM FRONT EDGE OF BEZEL.

WALL OPENING HEIGHT NOTE #1:

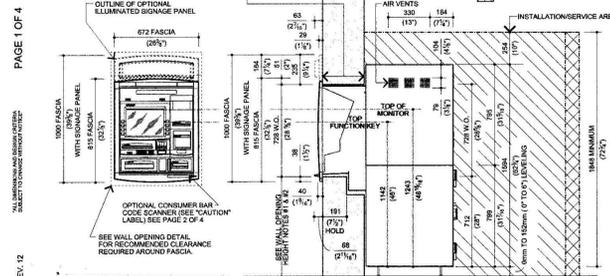
- CSA: 769mm (30 3/4") MAXIMUM HEIGHT FROM EXTERIOR SIDEWALK / FLOOR LEVEL TO BOTTOM OF WALL OPENING FOR CANADIAN STANDARDS ASSOCIATION (CSA) REQUIREMENTS. INSIDE FLOOR LEVEL CANNOT EXCEED 54mm (2 1/8") ABOVE EXTERIOR SIDEWALK / FLOOR LEVEL AND STILL COMPLY WITH THESE STANDARDS.
- ADA: 789mm (31") MAXIMUM HEIGHT FROM EXTERIOR SIDEWALK / FLOOR LEVEL TO BOTTOM OF WALL OPENING FOR AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS. INSIDE FLOOR LEVEL CANNOT EXCEED 76mm (3") ABOVE EXTERIOR SIDEWALK / FLOOR LEVEL AND STILL COMPLY WITH THESE STANDARDS.
- CAE: 817mm (32 1/8") MAXIMUM HEIGHT FROM EXTERIOR SIDEWALK / FLOOR LEVEL TO BOTTOM OF WALL OPENING FOR CENTRE FOR ENVIRONMENTS (CAE) REQUIREMENTS. INSIDE FLOOR LEVEL CANNOT EXCEED 109mm (4 3/8") ABOVE EXTERIOR SIDEWALK / FLOOR LEVEL AND STILL COMPLY WITH THESE STANDARDS.

FOR ALL THREE STANDARDS ABOVE, WHERE INSIDE FLOOR IS MORE THAN 889mm (35 1/8") BELOW THE BOTTOM OF THE WALL OPENING THE OWNER'S G.C. MUST PROVIDE A SUPPORT PLATFORM.

RECOMMENDED SERVICE AREA MINIMUM SERVICE AREA



PLAN VIEW



EXTERIOR ELEVATION VERTICAL SECTION

WALL OPENING HEIGHT NOTE #2: VERIFY INSIDE FLOOR AND EXTERIOR SIDEWALK / FLOOR LEVEL HEIGHTS PRIOR TO CONSTRUCTING WALL OPENING. IF INSIDE FLOOR LEVEL IS HIGHER OR LOWER THAN EXTERIOR SIDEWALK / FLOOR LEVEL, THE WALL OPENING HEIGHT MUST BE ADJUSTED ACCORDINGLY AND OPTIMUM OPERATING HEIGHTS MAY NOT BE MET.

FILE NO. 177-460 REV. 12

CONDUIT AND JUNCTION BOX REQUIREMENTS

- 1 15mm (5/8") METAL CONDUIT FROM MAIN CONTROL CABINET JUNCTION BOX TO ATM UNIT. OWNERS E.C. TO RUN 15mm (5/8") METAL CONDUIT FROM 15mm (5/8") X 54mm (2 1/8") JUNCTION BOX TO ATM UNIT.
- 2 WHEN "ELECTROMAGNETIC" AFTER HOUR DISPENSER IS TO BE CONNECTED TO ATM UNIT, OWNERS E.C. TO RUN 15mm (5/8") METAL CONDUIT FROM 15mm (5/8") X 54mm (2 1/8") JUNCTION BOX TO AFTER HOUR DISPENSER.
- 3 OWNERS E.C. TO RUN 15mm (5/8") LIQUID TIGHT FLEX METAL CONDUIT OR 15mm (5/8") RIGID CONDUIT FROM JUNCTION BOX TO CABLE CONNECTION PLATE.
- 4 15mm (5/8") METAL CONDUIT AND UNMATCHED ELECTRICAL SUPPLY TO 15mm (5/8") X 54mm (2 1/8") JUNCTION BOX WITH 15mm (5/8") BEZEL CONNECTING PLATE. BOTTOM CONNECTION MUST BE COMPENSATED BY A LIQUID CONDUIT SUPPLIED WITH UNIT. POWER CORD LENGTH 254mm (10") FROM SIDE OF UNIT.
- 5 OWNERS E.C. TO SUPPLY COMPATIBLE RECEPTACLE FOR COUNTRY SPECIFIC POWER CORD SUPPLIED WITH UNIT. POWER CORD LENGTH 254mm (10") FROM SIDE OF UNIT.

NOTE: JUNCTION BOXES MUST BE LOCATED WITHIN 230mm (9 1/8") OF CONNECTING PLATE LOCATION OF ELECTRICAL POWER PROVIDED WITH UNIT. LOCATE IN AN EASILY ACCESSIBLE AREA.

PHYSICAL SECURITY: THE SECURITY GATE MEETS THE BANK PROTECTION ACT'S 5137 AND 5138 AND MEETS THE ATM ACT TEST PER 50.16. THE SAFE DOOR MUST BE SECURED WITH A LOCKING MECHANISM. THE SAFE DOOR SHOULD BE CONTROLLED BY A MINIMUM OF A GROUP OF 3 (3) KEYS OR 3 (3) KEYS AND WITHOUT THE POSITIVE LOCKING MECHANISM OR ORIGINAL ELECTRONIC KEY.

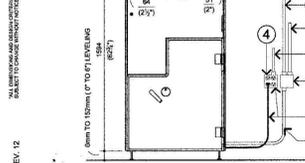
ALARM PROTECTION: THE LISTED SAFE IS EQUIPPED WITH A BASIC ALARM SENSOR PACKAGE. THE MANUFACTURER'S USER MANUAL SHOULD BE REFERRED TO FOR ALARM SWITCH AND ALARM PROTECTION FEATURES.

BUILDING AIR PRESSURE: THE ATM IS NOT DESIGNED TO OPERATE IN POSITIVE OR NEGATIVE AIR PRESSURE. THE ATM WILL OPERATE IN POSITIVE OR NEGATIVE AIR PRESSURE UP TO 120 Pa (0.435 in. H2O) POSITIVE OR NEGATIVE AIR PRESSURE DIFFERENTIAL MEASURED FROM THE PRESSURE TO THE BUILDING AT THE ATM INSTALLATION LOCATION. IF POSITIVE OR NEGATIVE PRESSURE CANNOT BE MAINTAINED AT THE ATM LOCATION, THE ATM SHOULD NOT BE INSTALLED. POSITIVE AIR PRESSURE IS NOT ALLOWED IN THE ATM.

SIGNAL CABLE RUN CONSTRAINTS: THE FOLLOWING CHART PROVIDES THE PHYSICAL SPACING REQUIREMENTS OF THE SIGNAL CABLE RUN WITH RESPECT TO OTHER POWER AND ELECTRICAL EQUIPMENT.

Table with 3 columns: TYPE OF ELECTRICAL RUN, SEPARATION FROM OTHER CABLES, SEPARATION FROM OTHER CABLES.

SIGNAL CABLE INSTALLATION CONSTRAINTS: RELATIVE LAYER IS REQUIRED WITH SIGNAL CABLES IN CONDUITS, UNLIT POWER AND LIGHTING CABLE SIGNAL CABLES HAVE SMALL CONDUCTORS AND LIGHT INSULATION AND WILL NOT WITHSTAND AS MUCH STRESS IN INSTALLATION.



INTERIOR ELEVATION

FILE NO. 177-460 REV. 12

POWER REQUIREMENTS

THE ATM REQUIRES A SINGLE-PHASE, THREE-WIRE UNMATCHED POWER RECEPTACLE WIRING TO THE RECEPTACLE MUST INCLUDE A THROU-WIRE BATH GROUND CONDUIT SPECIFIC POWER PLUS. THE POWER SUPPLIED MUST BE AS SPECIFIED BELOW.

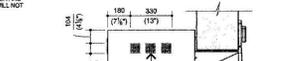
Table with 2 columns: MACHINE STATUS, POWER REQUIREMENTS.

POWER TO THE ATM IS TO BE A DESIGNATED SERVICE AND MUST BE PROTECTED BY A SAFETY GROUNDING DEVICE TO BREAK LINE VOLTAGE SUCH AS A CIRCUIT BREAKER AT THE ELECTRICAL SERVICE PANEL. THE SAFETY GROUNDING DEVICE IS TO BE INSTALLED IN THE SERVICE ENTRANCE AT 100%.

CONFIGURATION: 1 PRINTER, 500 CASH DISPENSER DISPLAY, RETRIEVED CARD READER, JOURNAL PRINTER, 500MM THERMAL RECEIPT PRINTER, STANDARD DEPOSITORY AND A HIGH AFD. 2 500MM THERMAL RECEIPT PRINTER, 500MM AFD, STORAGE AND BULK NOTE ACCEPTOR. 3 500MM THERMAL RECEIPT PRINTER, 500MM AFD, STORAGE AND BULK NOTE ACCEPTOR, DEPOSITORY MODULE AND ENHANCED NOTE ACCEPTOR OR DM AND BULK NOTE ACCEPTOR OR DM.

HEAT OUTPUT CONFIGURATION: 1 500MM THERMAL RECEIPT PRINTER WITH HEATER. 2 500MM THERMAL RECEIPT PRINTER WITH HEATER. 3 500MM THERMAL RECEIPT PRINTER WITH HEATER. 4 500MM THERMAL RECEIPT PRINTER WITH HEATER.

OPERATING ENVIRONMENT: 10°C TO 35°C (50°F TO 100°F). SAFETY LOCATION: 20 TO 30% RH (30 TO 60% RH). FACIAL LOCATION: 20 TO 30% RH (30 TO 60% RH). WEIGHT OF UNIT: 99kg (218 lbs).



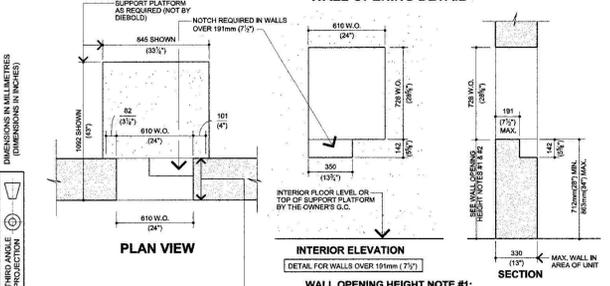
VERTICAL SECTION

DIEBOLD

OPTEVA® 760 ADVANCED FUNCTION WALK-UP ATM THROUGH THE WALL 5 HIGH WITH 13mm (1/2") SAFE

CALL 1-800-999-3600

WALL OPENING DETAIL



PLAN VIEW INTERIOR ELEVATION SECTION

WALL OPENING HEIGHT NOTE #1: 769mm (30 3/4") MAXIMUM HEIGHT FROM EXTERIOR SIDEWALK / FLOOR LEVEL TO BOTTOM OF WALL OPENING FOR CANADIAN STANDARDS ASSOCIATION (CSA) REQUIREMENTS. INSIDE FLOOR LEVEL CANNOT EXCEED 54mm (2 1/8") ABOVE EXTERIOR SIDEWALK / FLOOR LEVEL AND STILL COMPLY WITH THESE STANDARDS.

ADA: 789mm (31") MAXIMUM HEIGHT FROM EXTERIOR SIDEWALK / FLOOR LEVEL TO BOTTOM OF WALL OPENING FOR AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS. INSIDE FLOOR LEVEL CANNOT EXCEED 76mm (3") ABOVE EXTERIOR SIDEWALK / FLOOR LEVEL AND STILL COMPLY WITH THESE STANDARDS.

CAE: 817mm (32 1/8") MAXIMUM HEIGHT FROM EXTERIOR SIDEWALK / FLOOR LEVEL TO BOTTOM OF WALL OPENING FOR CENTRE FOR ENVIRONMENTS (CAE) REQUIREMENTS. INSIDE FLOOR LEVEL CANNOT EXCEED 109mm (4 3/8") ABOVE EXTERIOR SIDEWALK / FLOOR LEVEL AND STILL COMPLY WITH THESE STANDARDS.

FOR ALL THREE STANDARDS ABOVE, WHERE INSIDE FLOOR IS MORE THAN 889mm (35 1/8") BELOW THE BOTTOM OF THE WALL OPENING THE OWNER'S G.C. MUST PROVIDE A SUPPORT PLATFORM.

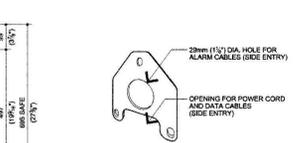
RECOMMENDED SERVICE AREA MINIMUM SERVICE AREA

WALL OPENING HEIGHT NOTE #2: VERIFY INSIDE FLOOR AND EXTERIOR SIDEWALK / FLOOR LEVEL HEIGHTS PRIOR TO CONSTRUCTING WALL OPENING. IF INSIDE FLOOR LEVEL IS HIGHER OR LOWER THAN EXTERIOR SIDEWALK / FLOOR LEVEL, THE WALL OPENING HEIGHT MUST BE ADJUSTED ACCORDINGLY AND OPTIMUM OPERATING HEIGHTS MAY NOT BE MET.

FILE NO. 177-460 REV. 12

ANCHOR BOLT CABLE ENTRY

ELECTRICAL AND DATA CABLES ENTER THE ATM THROUGH A CABLE ENTRY OPENING ON THE SIDE OF THE SAFE. CABLES ENTERING THE ATM PASS THROUGH THE POWER CABLE PLATE WHICH IS ATTACHED TO THE INSIDE WALL OF THE SAFE. THE CABLE ENTRY OPENING CABLES ENTER FROM THE SIDE OR OPTIONALLY FROM UNDER THE ATM. THE CABLE ENTRY OPENING IS ON THE RIGHT SIDE OF THE SAFE AS VIEWED FROM THE REAR OF THE ATM.



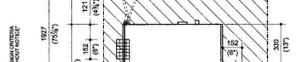
POWER CABLE PLATE



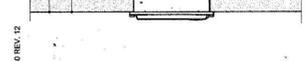
PLAN/SECTION SAFE FLOOR

1 40 (1 5/8") DIA. LEVELING LEG HOLES. 2 40 (1 5/8") DIA. FLOOR MOUNTING HOLES.

NOTE: THE MINIMUM RECOMMENDED AREA REQUIRED FOR INSTALLATION AND SERVICE DIMENSIONS SHOWN MAY BE INCREASED WHEREVER POSSIBLE TO IMPROVE INSTALLATION AND SERVICE ACCESS. USE OF AREA LESS THAN THE RECOMMENDED AREA MAY RESULT IN AN INCREASE IN INSTALLATION AND SERVICE TIME. CONSULT WITH DIEBOLD INSTALLATION/SERVICE BRANCH FOR SPECIAL BUILDING CONDITIONS.



PLAN VIEW MINIMUM SERVICE AREA



PLAN VIEW RECOMMENDED SERVICE AREA

FILE NO. 177-460 REV. 12

ATM: DIEBOLD "OPTEVA 760" ADVANCED FUNCTION WALK-UP ATM - THROUGH THE WALL - FIVE (5) HIGH WITH 13mm (1/2") SAFE - FILE NO. 177-460 REV. 12. BANK EQUIPMENT SUPPLIER TO PROVIDE LATEST EDITION CUT SHEETS PRIOR TO CONSTRUCTION. VERIFY ATM MODEL WITH THE PNC REPRESENTATIVE.

Architect Jeffrey A. Schroder 208 Mellon Drive Irwin, Pennsylvania 15242 724.861.5225 fax 861.5220



CONTRACT NO.: 14-48

SCALE: AS NOTED

DATE: 5 JANUARY 2015

DRAWN BY: WOZ

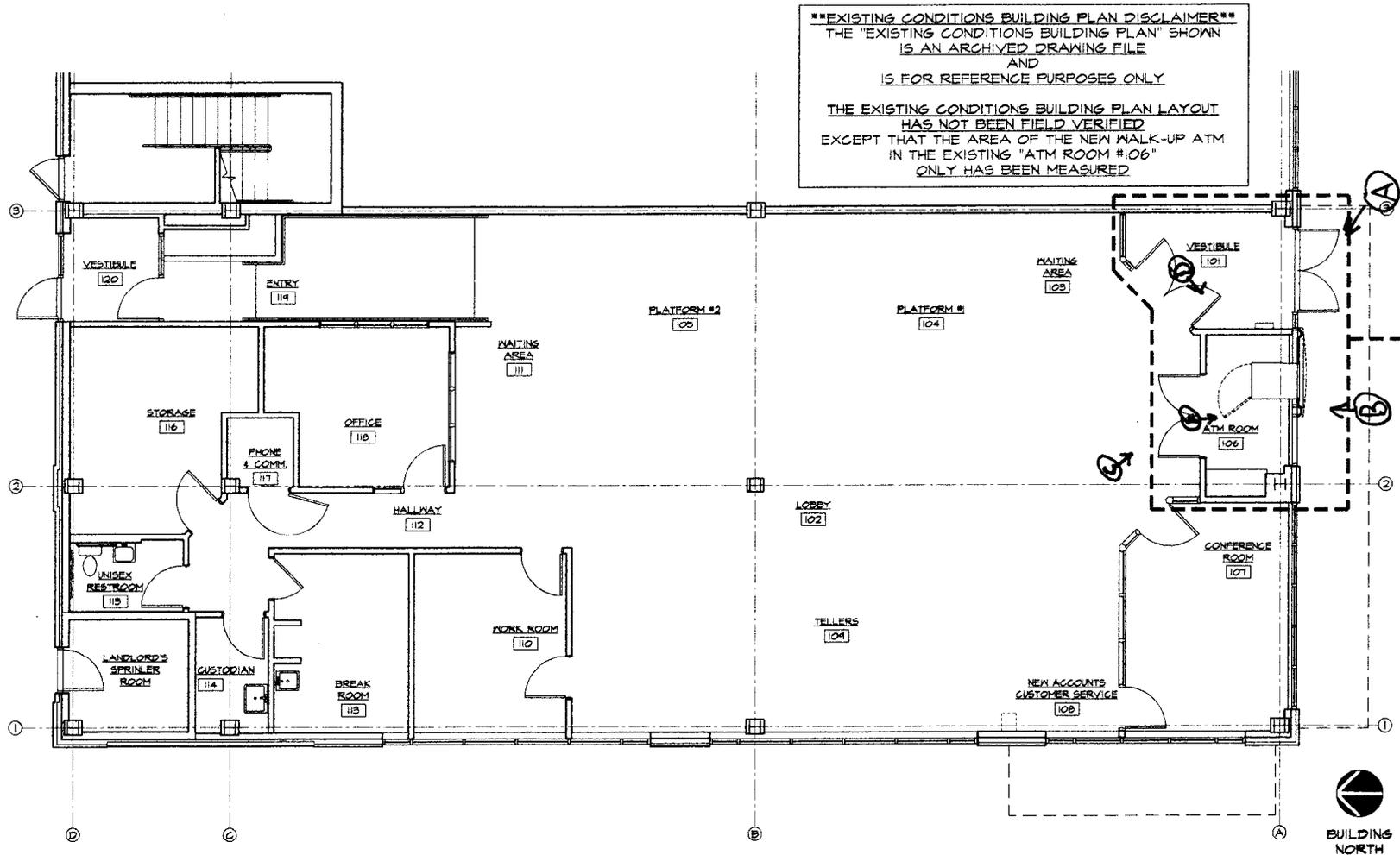
REVISIONS:

PNC BANK The PNC Financial Services Group NEW WALK-UP ATM ROOM ALTERATIONS AND RENOVATIONS EAST CARSON STREET BRANCH 2603 EAST CARSON STREET - PITTSBURGH, PA 15203-5109

SHEET TITLE: DIEBOLD OPTEVA 760 WALK-UP ATM CUT SHEETS

ARCHITECTURAL SHEET NO.: CS101

PICTURE LOCATIONS



EXISTING CONDITIONS BUILDING PLAN:
SCALE: 3/16" = 1'-0"

A



FOR
SUBLEASE
Joe Tosi
412.261.0200
OXFORD
REALTY SERVICES, INC.
www.OxfordRealtyServices.com

PNC BANK

2603

PNC Bank
1708 East Carson St.
Pittsburgh, PA 15201

We're excited
to do some business

IN CASE OF EMERGENCY
CALL
PNC BANK SECURITY
1-800-826-6776

39' Store Front



PNC BANK

FOR SUBLEASE

NEW ATM & SURROUND ↗
Joe Tosi LOCATION ↘

412.261.0200

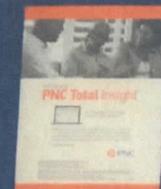


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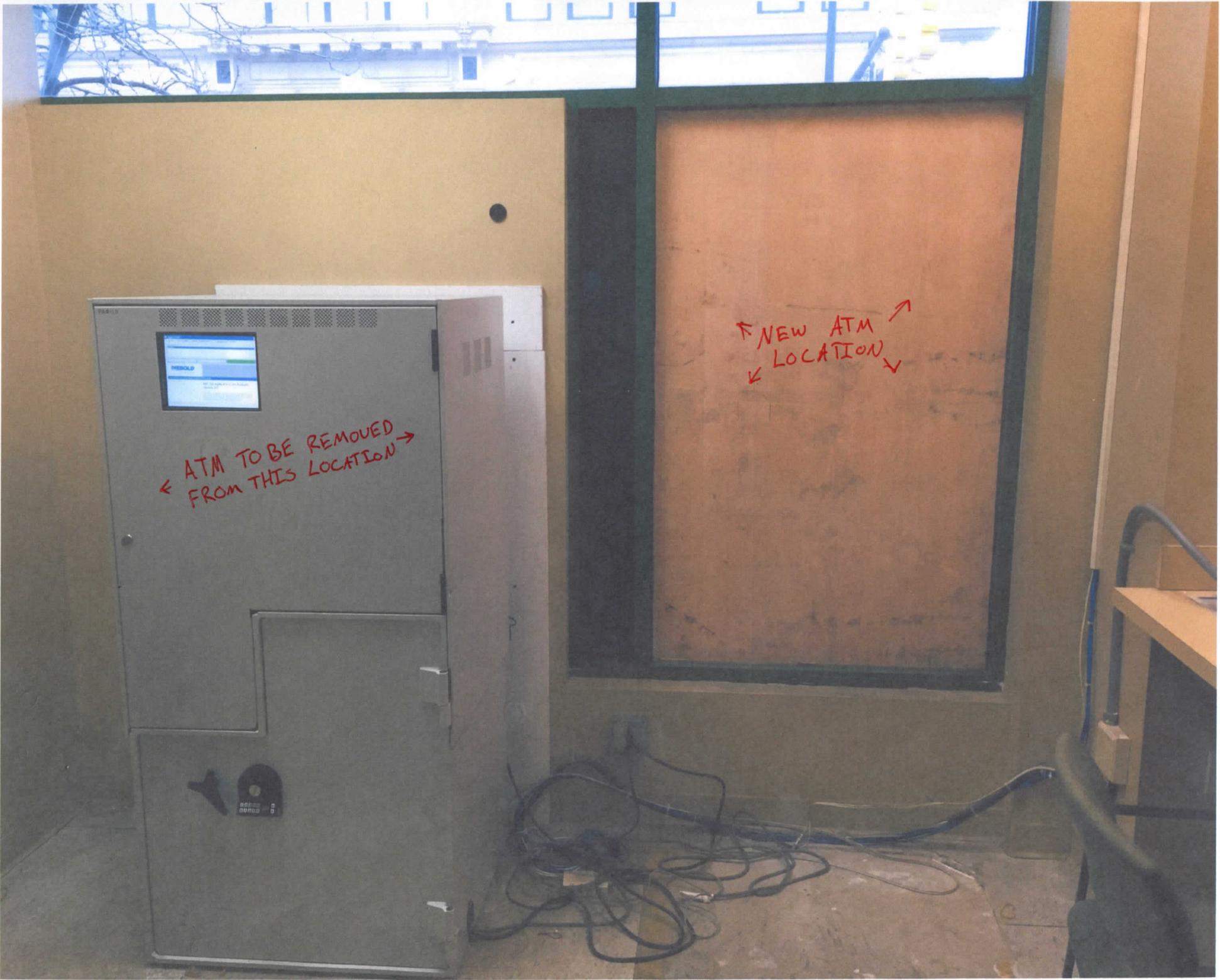
ATM & SURROUND REMOVED
FROM THIS LOCATION



DOORS & FRAME TO BE REMOVED, FRAMING & DRYWALL
FILL IN TO MATCH EXISTING WALL

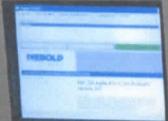






← ATM TO BE REMOVED FROM THIS LOCATION →

↑ NEW ATM LOCATION ↓





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1439 Juniata St. Pgh PA 15233

STAFF USE ONLY:

DATE RECEIVED: 1/16/15
 LOT AND BLOCK NUMBER: 22-J-328
 WARD: 21st
 FEE PAID: 400
 DISTRICT: Manchester

OWNER: CONSERVATORS:

NAME: Renee Rosensteel and William O'Driscoll, III
 ADDRESS: PO Box 99352 Pittsburgh, PA 15233 412-407-7749
 PHONE: Renee@Rosensteel.com ODriscoll65@gmail.com
 EMAIL: _____

APPLICANT:

NAME: Same
 ADDRESS: _____
 PHONE: _____
 EMAIL: _____

REQUIRED ATTACHMENTS:

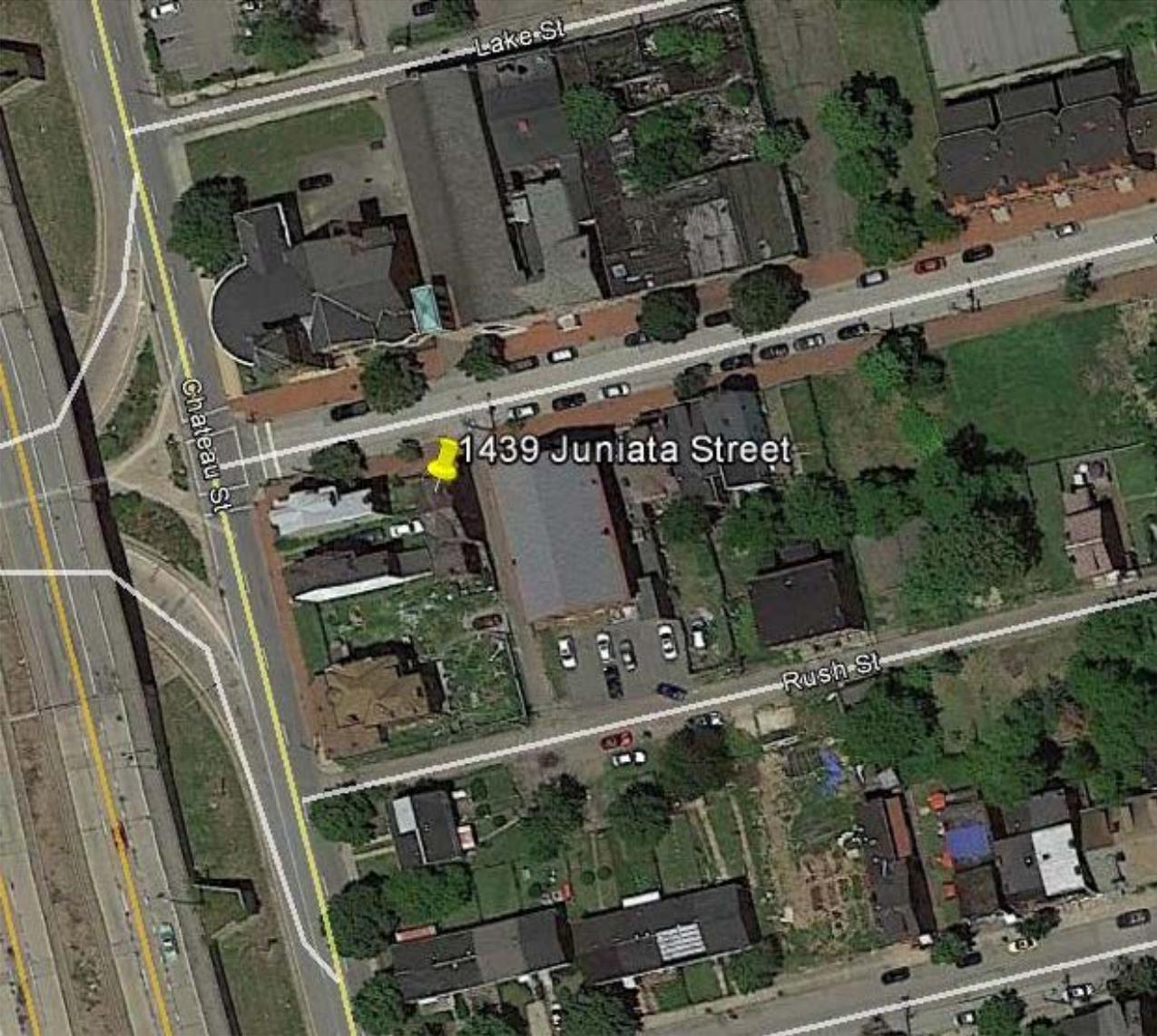
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

See Attached

SIGNATURES

OWNER: *Renee Rosensteel* DATE: 1/16/2015
 APPLICANT: *William O'Driscoll* DATE: 1/16/2015



1439 Juniata Street

Historical Review Commission Request for Plan Approval by William O'Driscoll, III and Renee Rosensteel
Contact: Renee@Rosensteel.com 412/407.7749 POB 99352 Pittsburgh, PA 15233

Project:

William O'Driscoll and Renee Rosensteel have sought conservatorship of the blighted property at 1439 Juniata Street. The property is vacant. It had been the scene of illegal activities and had fallen into disrepair after the owner, Edna Moore, died in 2010. Under the new conservatorship law O'Driscoll/Rosensteel have agreed to rehabilitate the building to a habitable state using their own money. After conservatorship, the two will seek to buy the building and to become responsible landlords. The rehabilitation of this property is especially important to O'Driscoll/Rosensteel because it abuts their home (1616 Chateau Street.)

To learn more about conservatorship:

http://www.housingalliancepa.org/sites/default/files/resources/ConservatorshipManual_Pgh_AllegCo-final.pdf#overlay-context=node/1001

Plan:

Repoint brick on all sides as needed.

Parge the foundation which is eroding sandstone. (Parging is about 3 feet in height and runs the length of the west wall of the building.

Repair and paint box gutters.

Rework broken downspout (which will be painted brick dust or fudge brown) so that it drains into a 300 gallon rain barrel on property owned by O'Driscoll/Rosensteel.

O'Driscoll/Rosensteel want to upgrade the exterior by replacing white storm windows with black ones.

Replace attic windows with new wooden ones. See brochure.

Secure the chimneys by removing the bricks that are falling onto the roof and capping the chimneys.

Repair slate roof.

Do minimal painting of trim (NOT bricks) and metal porch roof with the following colors that are similar to existing colors:

Brick Dust PPG1056-7 (Main)

Fudge PPG1073-7 (Secondary)

Lotus Petal PPG1073-1(Accent)

Gray Marble PPG1002-4 (Foundation parge color)

Black (accent)

Remove front door (broken storm door and a decaying interior door which has been re-purposed as a front door to: <http://www.roguevalleydoor.com/products/1059>

Remove original back door to a door which is similar. <http://www.roguevalleydoor.com/products/1059>



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Door Builder

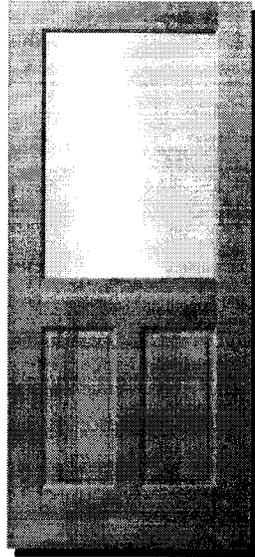
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2035 (SG)



2039 (SG)



204

Your Rogue Valley Door

When you purchase a Rogue Valley Door, you are buying the finest product from America's largest wood door maker. Each and every door we produce features:

WOODEN DOOR For Front/back
1439 JUNIATA

Need help finding your door?

WINDOW FOR ATTIC
1439 JUNIATA

Ultra-Fit

Sash Replacement System

The Natural
Beauty of Wood

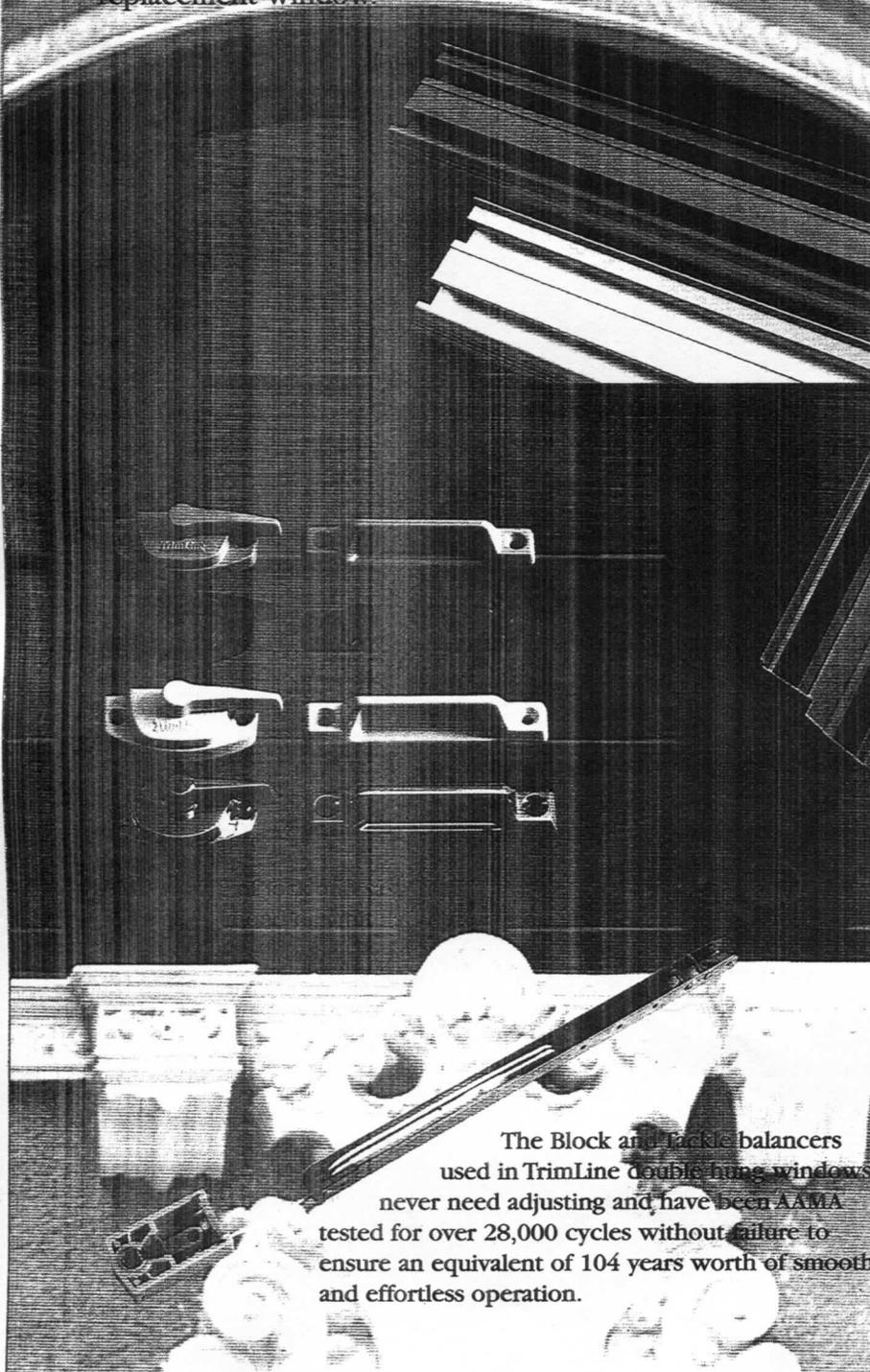


Tripart
INCORPORATED

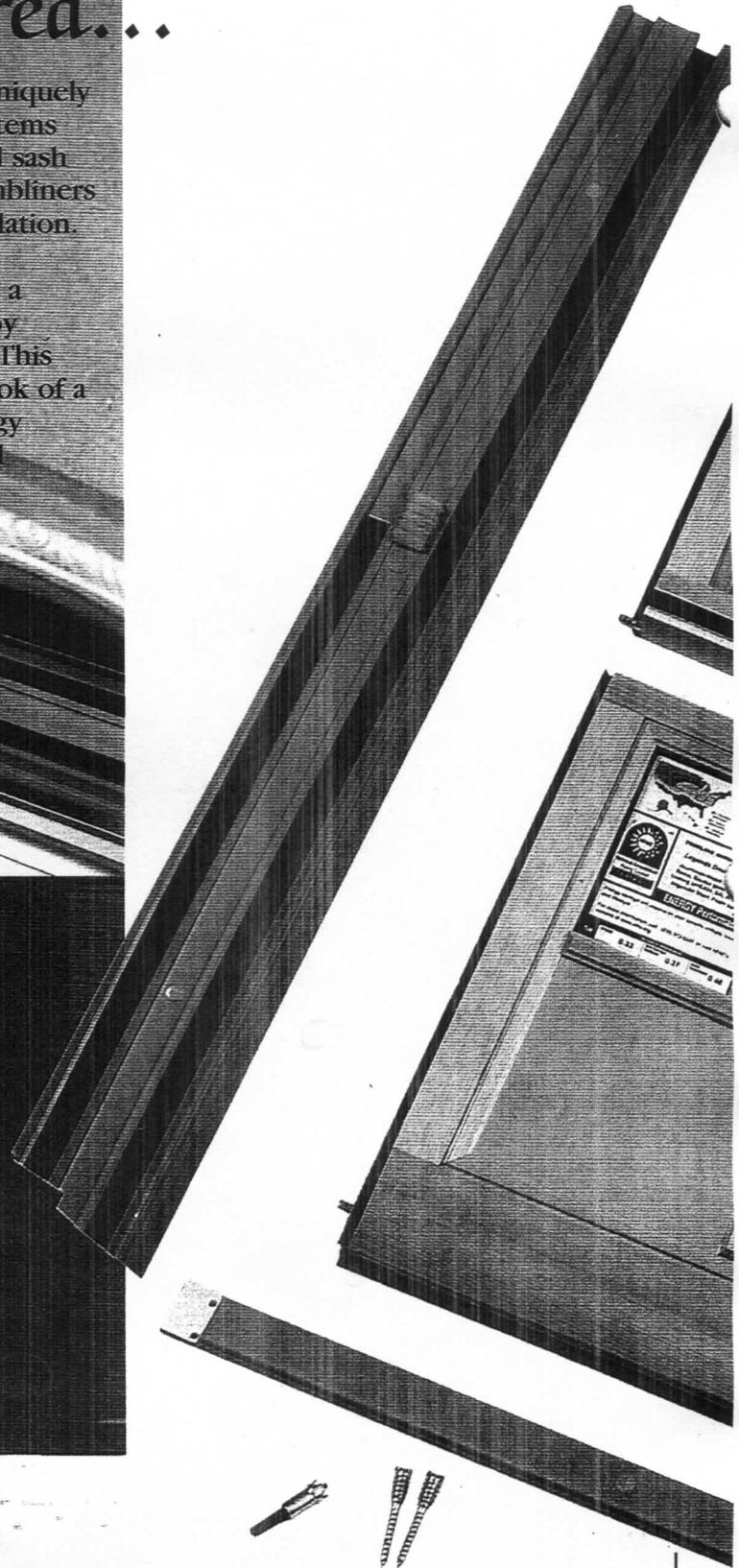
Uniquely Engineered...

TrimLine's *Ultra-Fit* sash replacement system is uniquely engineered ... typical wood sash replacement systems rely on the integrity and squareness of the original sash opening to accept a pair of loose compression jambliners in the hope of providing a new energy tight installation.

The *Ultra-Fit* design is revolutionary ... it creates a completely new factory controlled sash opening by unitizing its jambliener with a head and sill profile. This unique design achieves the natural undisturbed look of a conventional sash replacement, but with the energy tightness and ease of installation found in a typical replacement window.



The Block and Tackle balancers used in TrimLine double hung windows never need adjusting and have been AAMA tested for over 28,000 cycles without failure to ensure an equivalent of 104 years worth of smooth and effortless operation.



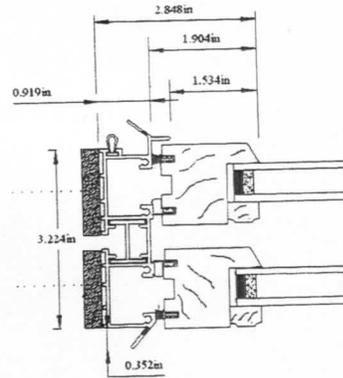
Jambadjusters

Vinyl Sill Profile

UNITIZED FRAME SYSTEM

Vinyl Jambliners are pre-loaded with block & tackle balancers and cut to your precise sill angle. The *Ultra-Fit* jambliner features the Flexi-Flap design which creates a tight fitting weather-seal against the existing blind stop while providing a seamless transition from the old window frame. Reinforced with an extruded aluminum channel the jambliners are foam backed and pre-drilled for all installation screws and **Jambadjusters**. Snap-in caps are provided to cover all installation holes.

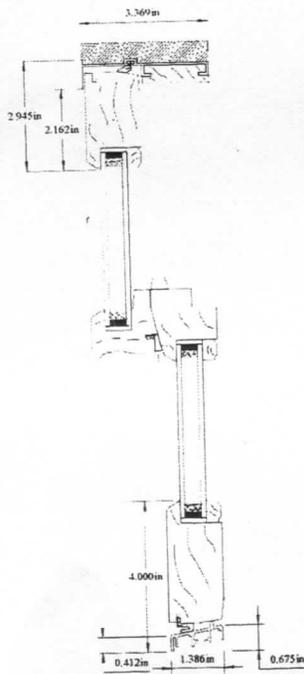
Vinyl Head Profile



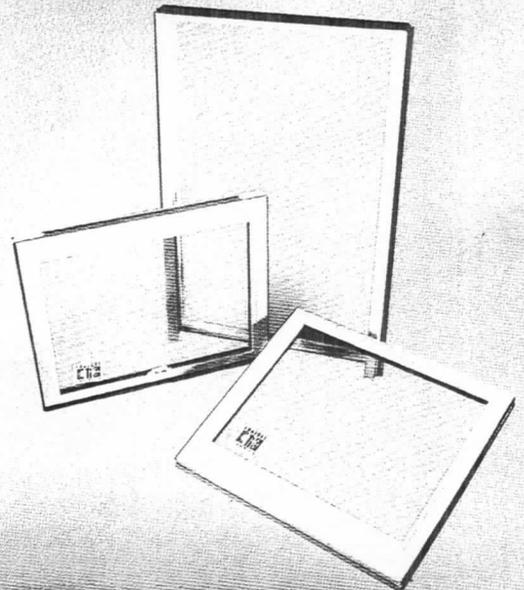
Vinyl Head Profile is foam backed and comes complete with compression weatherstripping and a wood head plate which provides a fresh new look to the inside of the exposed window frame.

Vinyl Sill Profile is reinforced with an aluminum extrusion insert allowing the *Ultra-Fit* unitized frame system to be securely fastened at the existing window sill. This design creates a solid new surface ensuring a tight weatherseal for the bottom sash.

Vinyl Jambliner



Your choice... the *Ultra-Fit* frame system is packaged with the head, sill and jambliner components prefabricated ready for field assembly in a matter of minutes; or the frame system can also be ordered pre-assembled.



North face of 1439 Juniata St.



Current front door with damaged storm door will be replaced with period style wood door.

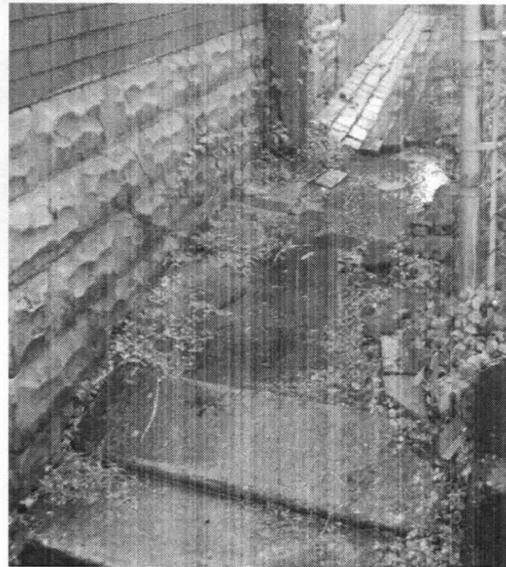
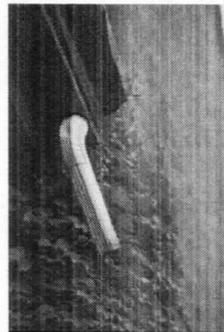
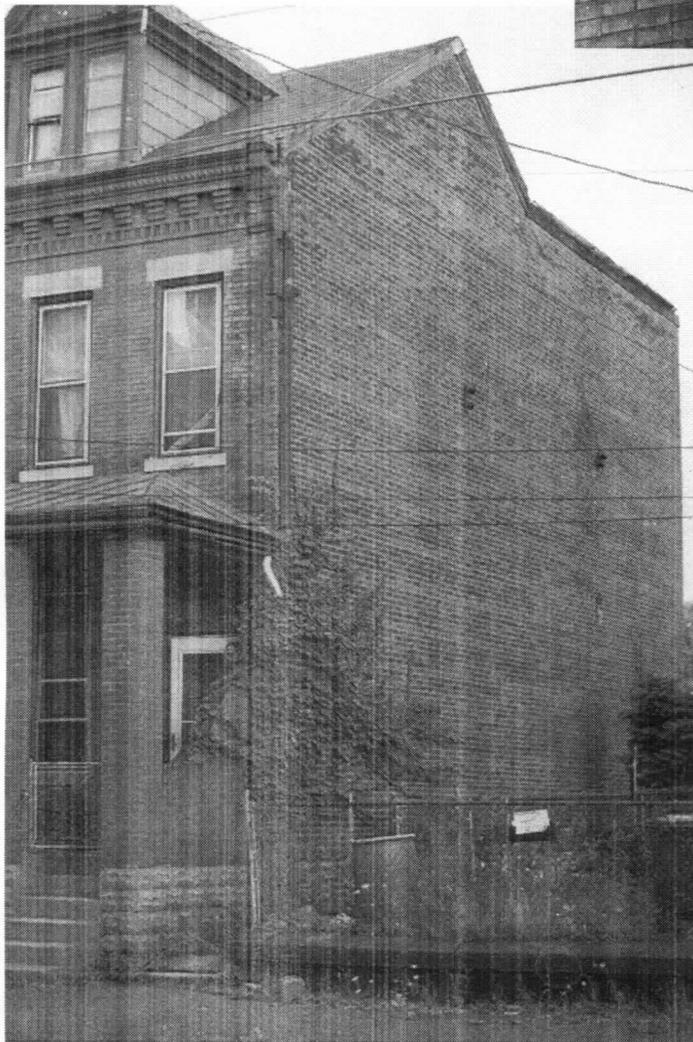
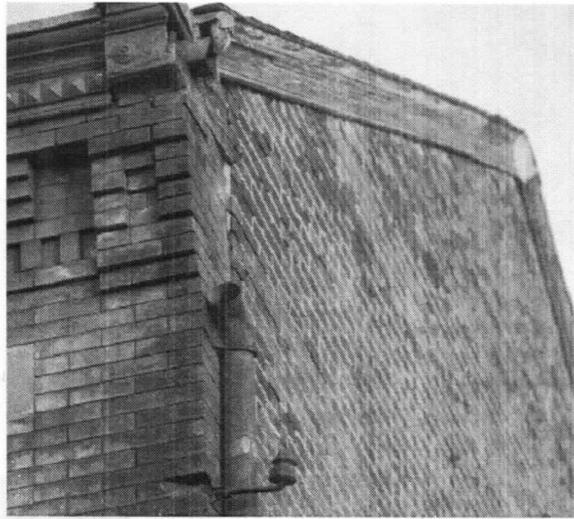


Detail of decay on current front door that is a repurposed interior door

West Face of 1439 Juniata St.

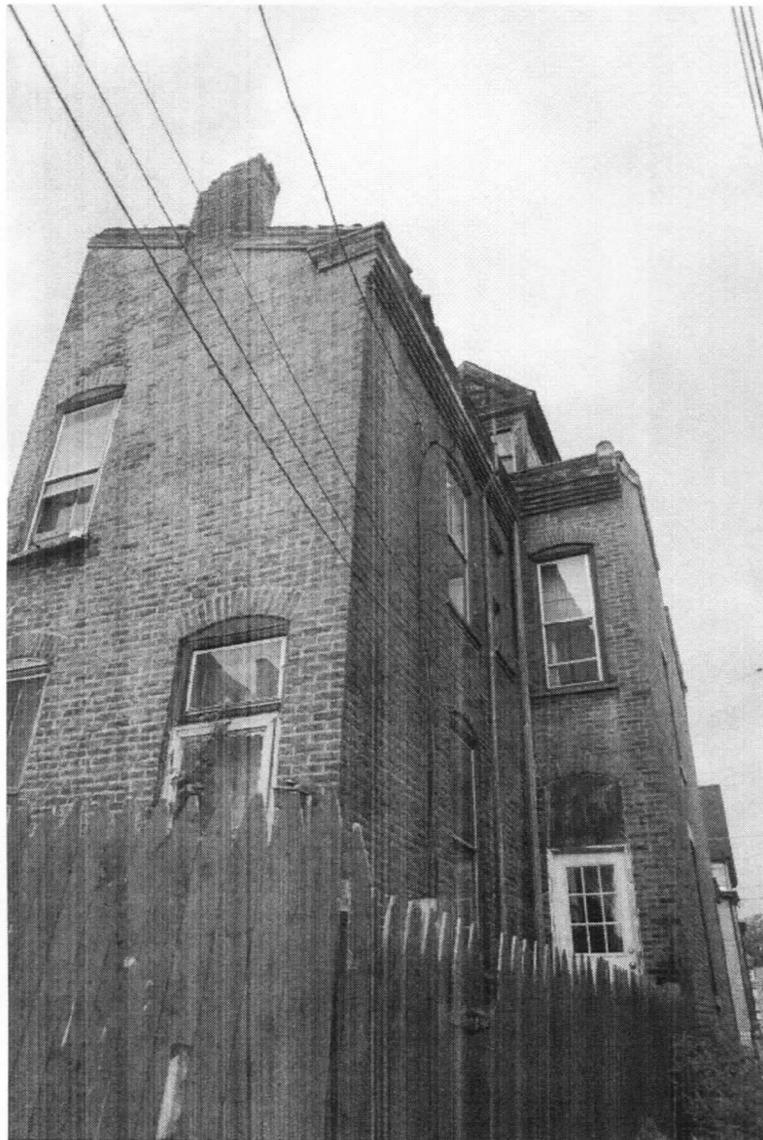
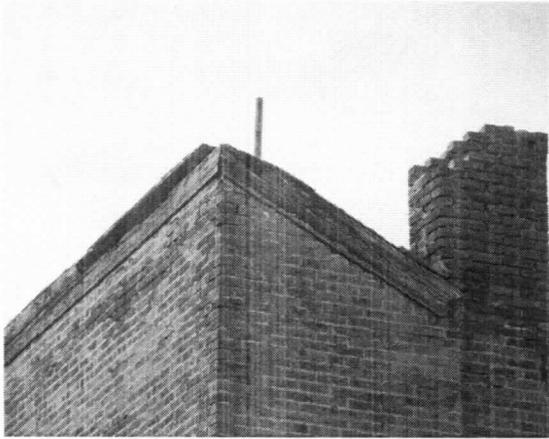
Downspout and gutter need replaced immediately to remediate hazard caused by water collecting on walkway used by elderly neighbor.

Soffit and fascia on porch need repaired.

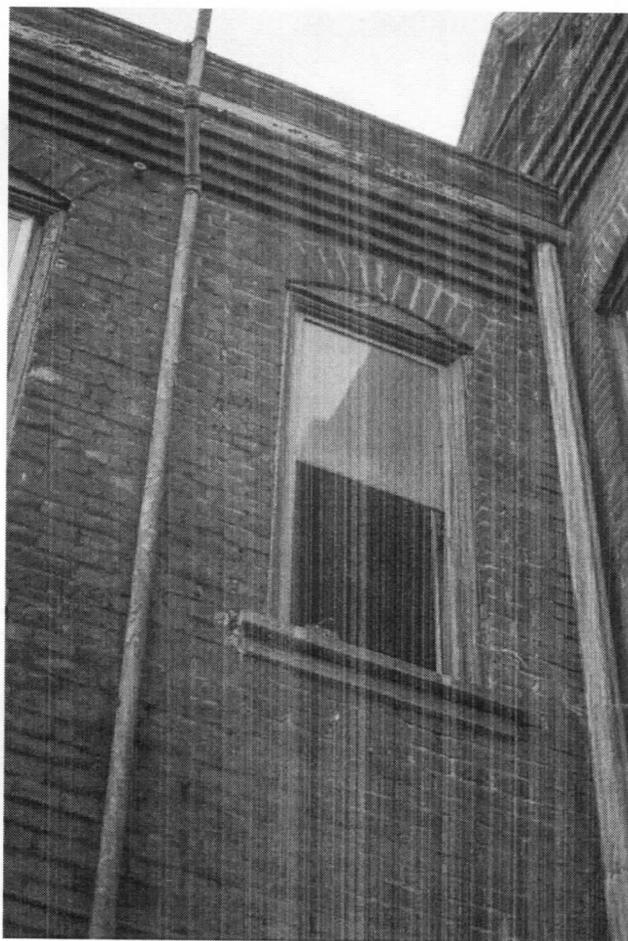
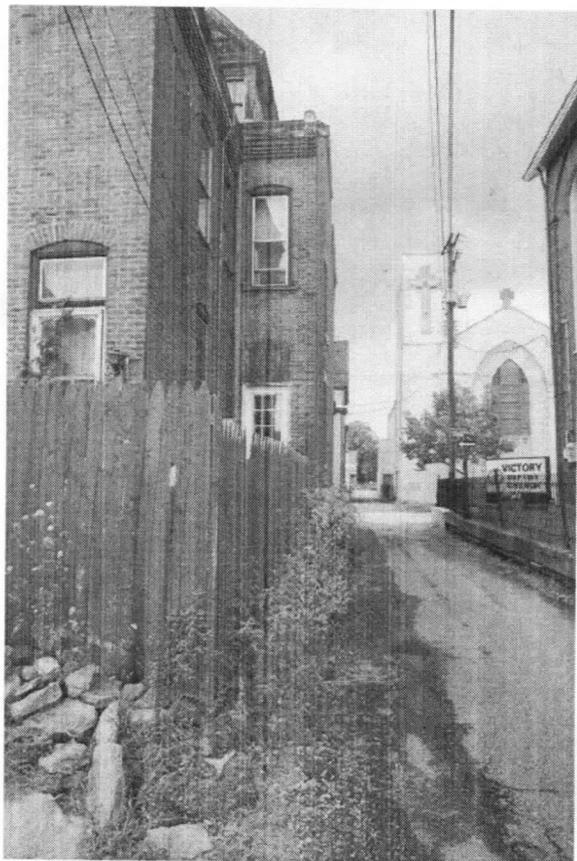


Pooling water after rain as a result of missing downspout.

South face of 1439 Juniata St.



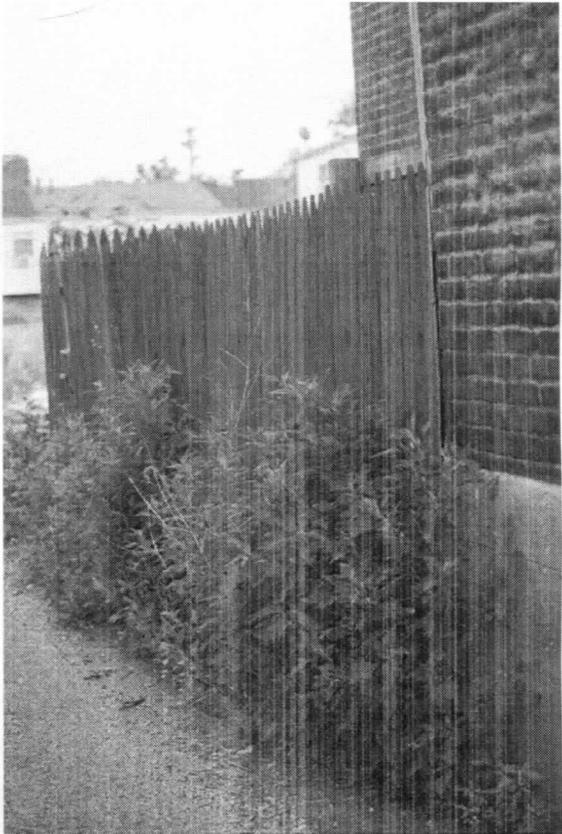
East face of 1439 Juniata St.



Back yard 1439 Juniata St.



Poison ivy from the Property encroaches in to the yard of O'Driscoll/Rosensteel.



Unkept weeds from the Property grow out onto George Way.



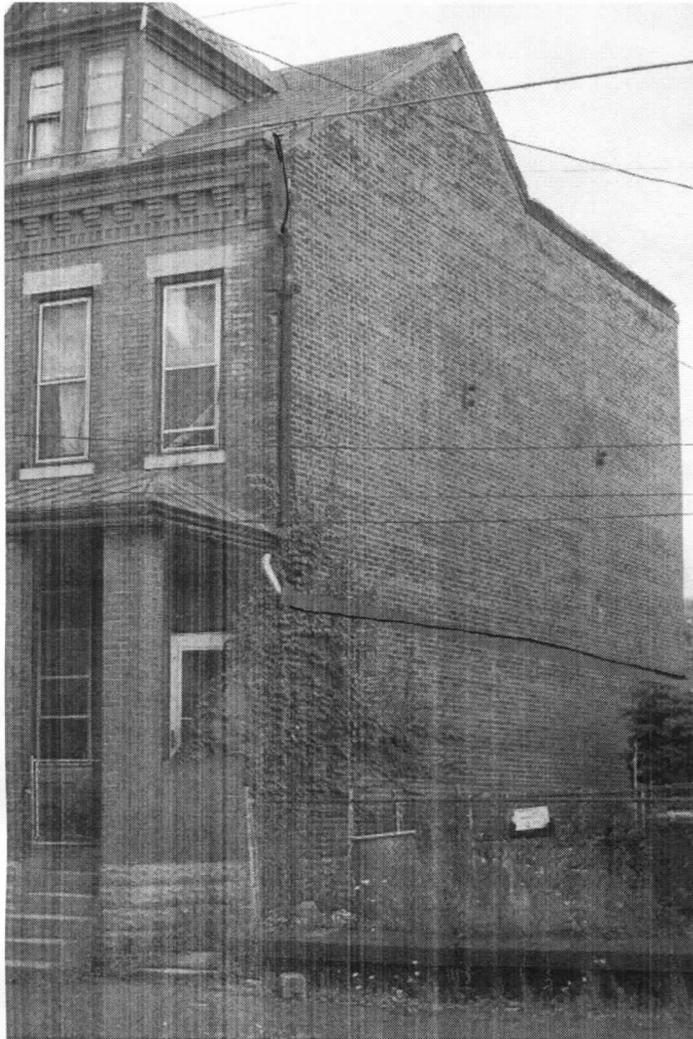
Poison ivy, weeds and debris clutter the courtyard of the Property. The ramp is slick with mildew.

Details of chimney and roof issues at
1439 Juniata St.



New stormwater management plan for front downspout 1439 Juniata St.

- Mitigates water hazard caused by faulty downspout that is dangerous for an elderly neighbor. She and her son have requested that something be done about this since she is disabled and the walkway by 1439 is her best access to her car.
- Keeps water from entering the already over-capacity city sewers
- Allows for re-use of the water for gardening
- Follows best practices for storm water management (<http://www.epa.gov/brownfields/tools/swdp0408.pdf>)

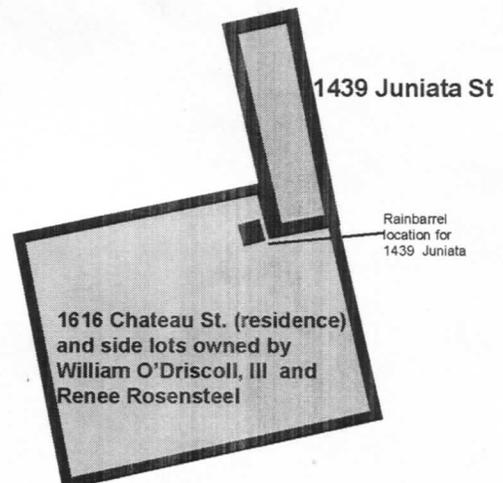


The proposed new downspout would run the length of the house and be painted either fudge or dusty brick (whichever is less obtrusive.) It would run at least eight feet from the ground and empty into a storm water managemnt tank.



A 300 gallon tank similar to this one would be used to collect water.

The tank would be located on the property of O'Driscoll/Rosensteel. It will be hidden from street view by a privacy fence and landscaping. Overflow from the tank will percolate into a gravel bed below the tank and woodchip fill around the tank and plantings.





Design Principles

for Stormwater Management on Compacted, Contaminated Soils in Dense Urban Areas

EPA's Brownfields Program is designed to empower states, communities, and other stakeholders in economic redevelopment to work together in a timely manner to prevent, assess, safely clean up, and sustainably reuse brownfields. A brownfield is a property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. EPA's Brownfields Program provides financial and technical assistance for brownfield revitalization, including grants for environmental assessment, cleanup, and job training.

What is Green Infrastructure?

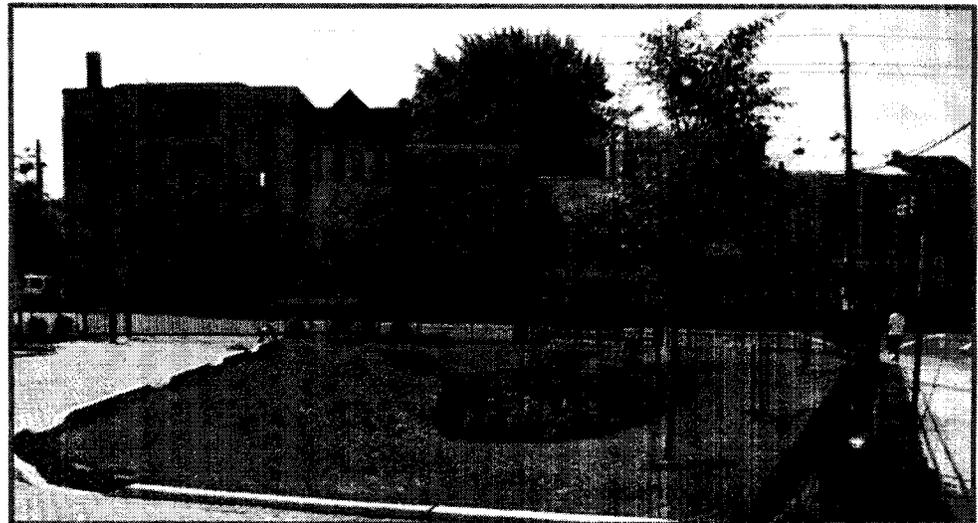
Most development and redevelopment practices cover large areas of the ground with impervious surfaces such as roads, driveways, sidewalks, and new buildings themselves, which then prevent rainwater from soaking into the ground. These hard surfaces increase the speed and amount of stormwater that runs into nearby waterways, carrying pollutants and sediment each time it rains.

Green infrastructure seeks to reduce or divert stormwater from the sewer system and direct it to areas where it can be infiltrated, reused or evapotranspirated. Soil and vegetation are used instead of, or in conjunction with, traditional drains, gutters, pipes and centralized treatment areas. In many new and redevelopment projects, green infrastructure is implemented to manage and mitigate the polluted runoff created by precipitation that falls on rooftops, streets, sidewalks, parking lots and other impervious surfaces.

How can Green Infrastructure be Applied to Brownfield Sites?

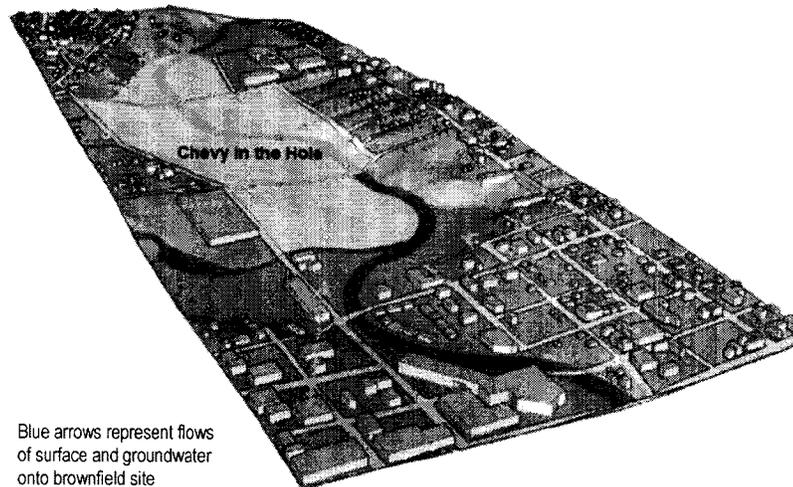
Preparing brownfields for redevelopment often requires capping of contaminated soils, creating even larger impervious surfaces. The challenge for managing stormwater on brownfield sites is allowing this capping while mitigating the impervious surface conditions that can negatively impact local waterways.

Unlike many conventional developments, impervious footprints on brownfields cannot always be minimized through site designs that incorporate more porous surfaces to allow for infiltration. Direct infiltration on a brownfield site may introduce additional pollutant loads to groundwater and nearby surface waters. However, green infrastructure practices exist that can retain, treat and then release stormwater without it ever coming in contact with contaminated soils.



A bioswale in Wilmington, Delaware, designed to absorb and retain stormwater runoff.

The University of Michigan's School of Natural Resources and Environment developed design guidelines that use low impact development techniques on contaminated sites. Using a former industrial site in Flint, Michigan, called Chevy in the Hole, graduate students considered and refined methods to prevent residual contamination from moving with stormwater.



Blue arrows represent flows of surface and groundwater onto brownfield site

Design Considerations

A key component of using green infrastructure for brownfield sites is treatment and storage of stormwater, rather than complete infiltration. Most brownfields that have residual contamination need caps, so vegetated areas need to be located above caps and fitted with underdrain systems to remove overflow stormwater.

Development and redevelopment projects should start with keeping existing trees onsite, minimizing compaction of earth that inhibits water infiltration, and planting trees and other vegetation in areas where none exists. Retaining existing tree cover and vegetated areas helps infiltrate and evapotranspire stormwater runoff while intercepting large amounts of rainfall that would otherwise enter waterways as runoff.

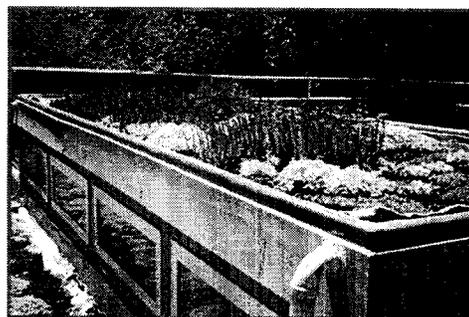
Buildings and other impervious surfaces can be strategically located to act as caps over areas with known contamination. Areas with fill caps can include soils and vegetation above the cap in the form of swales or rain gardens. If fitted with an under-drain system to release treated stormwater off site, these planted areas can safely allow filtration and evapotranspiration of stormwater. Additional features like impermeable liners or gravel filter blankets can be coupled with modified low impact development (LID) practices that safely filter stormwater without exposing the water to contaminated soils.

Green roofs are an ideal way to reduce the runoff from building roofs by encouraging evapotranspiration of rainwater. Another option for brownfield sites is the capture and reuse of stormwater for non-potable uses; this can include runoff storage in rain barrels for irrigation of green roofs or landscaped areas, or in cisterns that store rainwater for toilet flushing and other uses.

Site location within the watershed is very important. In particular, projects in groundwater recharge areas should avoid low impact development practices that promote infiltration, and use techniques that directly discharge treated stormwater instead. Furthermore, new and redeveloped sites near brownfields should use green infrastructure practices to prevent additional runoff from flowing onto potentially contaminated areas.

Overall, when developing a stormwater management plan on a brownfield, surrounding sites must be considered.

(Source: Flint Futures: Alternative Futures for Brownfield Redevelopment in Flint, Michigan.)



The Matthew Henson Conservation Center in Washington, DC, utilizes a green roof.

General Principles for Using Green Infrastructure on Brownfield Sites

Guideline #1: Differentiate between groups of contaminants as a way to better minimize risks.

Guideline #2: Keep non-contaminated stormwater separate from contaminated soils and water to prevent leaching and spreading of contaminants.

Guideline #3: Prevent soil erosion using vegetation, such as existing trees, and structural practices like swales or sediment basins.

Guideline #4: Include measures that minimize runoff on all new development within and adjacent to a brownfield. These measures include green roofs, green walls, large trees, and rainwater cisterns.

Definitions

Bioswales are open channels with a dense cover of vegetation where runoff is directed or retained to evapotranspire and filter.

Evapotranspiration is the return of water to the atmosphere either through evaporation or by plants.

Green Infrastructure and **Low Impact Development (LID)** both refer to systems and practices that use or mimic natural processes to infiltrate, evapotranspire or reuse stormwater or runoff on the site where it is generated.

Green roofs can be used to effectively reduce or eliminate runoff from small and medium sized storms. A soil mixture is placed over a waterproof membrane and drainage system and then planted with water absorbent and drought tolerant plants. Most systems also have root barriers. These roofs soak up stormwater and release it back into the atmosphere through evaporation and plant respiration, while draining excess runoff.

Rain gardens serve the same purpose as stormwater planters and are appropriate where there is more area to plant vegetation. Sizing is dependent on the area of impervious surfaces draining to the rain garden, but they can be designed to only treat a portion of the runoff so they can be placed in most situations.

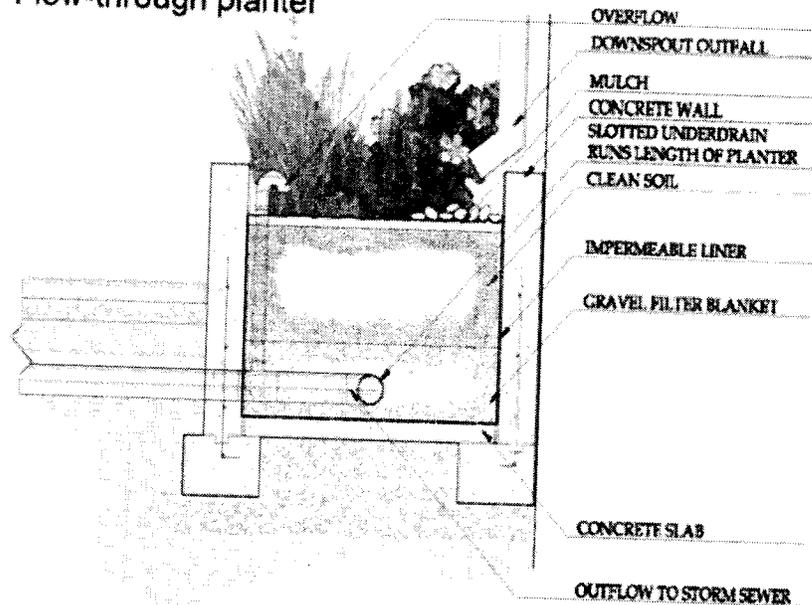
Stormwater harvest and reuse.

Rainwater harvested in cisterns, rain barrels, or other devices may be used to reduce potable water used for landscape irrigation, fire suppression, toilet and urinal flushing, and custodial uses. Storage and reuse techniques range from small-scale systems (e.g., rain barrels) to underground cisterns that may hold large volumes of water.

Stormwater planters.

Downspouts can be directed into stormwater planters. These planters are used to temporarily detain, filter and evapotranspire stormwater using plant uptake.

Flow-through planter



Additional Resources

The Emeryville, California Stormwater Guidelines for Green, Dense Redevelopment provides guidance on using vegetative stormwater treatment measures for this dense, brownfield-laden city:
www.ci.emeryville.ca.us/planning/stormwater.html.

EPA's Green Infrastructure Web site (www.epa.gov/npdes/greeninfrastructure) provides definitions, case studies and performance data for various practices that might be applicable to brownfield sites.

The Low Impact Development Center is dedicated to research, development, and training for water resource and natural resource protection issues. The Center focuses specifically on furthering the advancement of Low Impact Development technology: www.lowimpactdevelopment.org.

Green Roofs for Healthy Cities collects and publishes technical information on green roof products and services: www.greenroofs.org.

The Center for Watershed Protection's Better Site Design Tools provide links to various better site design resources and publications: www.cwp.org/PublicationStore/bsd.htm.

American Rivers' Catching the Rain: A Great Lakes Resource Guide for Natural Stormwater Management describes a variety of low impact development strategies that can be implemented in a wide range of built environments. Available at: www.americanrivers.org/site/DocServer/CatchingTheRain.pdf?docID=163

NRDC's Rooftops to Rivers: Green Strategies for Controlling Stormwater and Combined Sewer Overflows is a policy guide for decision makers looking to implement green strategies in their own area, including nine case studies of cities that have successfully used green techniques to create a healthier urban environment. Available at: www.nrdc.org/water/pollution/rooftops/contents.asp

Portland's (Oregon) Trees for Green Streets: An Illustrated Guide is a guidebook that helps communities select street trees that reduce stormwater runoff from streets and improve water quality. Available at: www.metro-region.org/article.cfm?articleID=263

Seattle's pilot Street Edge Alternatives Project (SEA Streets) is designed to provide drainage that more closely mimics the natural landscape prior to development than traditional piped systems. Good information can be found at: www.seattle.gov/util/About_SPU/Drainage_&_Sewer_System/Natural_Drainage_Systems/Street_Edge_Alternatives/index.asp

EPA's Protecting Water Resources with Higher-Density Development report helps communities better understand the impacts of higher and lower density development on water resources. The findings indicate that low-density development may not always be the preferred strategy for protecting water resources. Available at: www.epa.gov/dced/water_density.htm.

Portland Metro's (Oregon) Green Streets: Innovative Solutions for Stormwater and Stream Crossings is a handbook that describes stormwater management strategies and includes detailed illustrations of "green" street designs that allow infiltration and limit stormwater runoff. Available at www.metro-region.org/article.cfm?articleID=262

EPA's Protecting Water Resources with Smart Growth is a report intended for audiences already familiar with smart growth concepts who seek specific ideas on how techniques for smarter growth can be used to protect water resources. The report describes 75 policies that communities can use to grow in the way that they want while protecting their water quality. Available at: www.epa.gov/dced/water_resource.htm

EPA's Using Smart Growth Techniques as Stormwater Best Management Practices reviews nine common smart growth techniques and examines how they can be used to prevent or manage stormwater runoff. Available at: www.epa.gov/dced/stormwater.htm

EPA's Brownfields Program Website (www.epa.gov/brownfields) provides information on and resources for assessing, cleaning up and redeveloping brownfields, including grant funding opportunities.





Chapter One

What Is Conservatorship?

Background

Blighted and abandoned properties can be found in every region of Pennsylvania. Property neglect is no longer an “inner-city” issue; deteriorating or vacant properties can now be found in many rural and suburban communities, as well as in cities. Some residential blocks that had been fully occupied and well maintained not long ago are now experiencing “incipient blight,” as property conditions worsen and vacancy increases.

Nearly all of Allegheny County’s 130 municipalities are experiencing problems with blighted properties, from dilapidated and vandalized row houses on city streets to boarded-up, detached homes on suburban lots. Neglected properties destabilize residential communities; when they appear, nearby property owners start thinking about moving out. Because such properties have the potential to become centers of criminal activity, their presence makes a community less safe and increases the cost of police and fire services. A deteriorated or vacant property is a symptom of declining or failing real estate—and when no one takes action to improve its condition or status, market conditions begin to worsen and threats to community well-being increase.

Purpose of Act 135, Blighted and Abandoned Property Conservatorship

Growing public concern about blighted properties influenced the General Assembly to approve Act 135, the introductory section of which states: "If these buildings are not rehabilitated, they are likely to remain abandoned and further deteriorate, resulting in increased costs to the Commonwealth, municipality and taxpayers to secure and ultimately demolish them."¹

Property owners are responsible for complying with health and safety code standards associated with the real estate they own. When owners cannot or will not comply with those standards, their properties fall into disrepair and become community problems. Unfortunately, the problems cannot be resolved quickly, even in cases of extreme negligence. Because property rights have fundamental importance in the United States, the process by which government may take control of neglected properties or threaten their owners with code enforcement are cumbersome. Until Act 135 was approved, options for neighbors and other concerned parties to act were few.

The Blighted and Abandoned Property Conservatorship Act, enacted in 2008, creates a new opportunity for citizens and organizations, as well as local governments, to take constructive action in order to deal with serious cases of property neglect. Under the act, a neighbor, nonprofit organization, municipality, school district, or redevelopment authority can ask a judge to appoint a responsible party to take charge of a neglected property and bring it into compliance with code standards. The party appointed for this purpose, known as a conservator, is given the responsibility to stabilize, rehabilitate or demolish the structure in order to address seriously blighting conditions that the owner has been unwilling or unable to deal with.

A judge's decision to appoint a conservator is based on hearing evidence that a property owner is unwilling or unable to comply with codes and that the property in its dilapidated condition presents a serious threat to the community where it is located. The conservatorship process provides a legal, court-supervised way to enter onto someone else's property and complete the improvements needed to make it safe.

Although conservatorship is new to Pennsylvania, similar laws have existed in other states for many years. (In some places, the court action is referred to as "receivership" rather than conservatorship.) States with existing conservatorship or receivership laws include Louisiana, Maryland, Massachusetts, Missouri, New Jersey, Ohio and Oregon. Some of the Pennsylvania legislators who supported the approval of Act 135 did so after becoming aware of the positive results that have been achieved elsewhere.

Because conservatorship is a judicial intervention that is different from routine code enforcement, interested parties have to spend a lot of time and pay for legal expertise in order to organize and fully document a presentation to the court. For these reasons, conservatorship is not a blight-prevention strategy that is designed to be used to bring hundreds of properties into compliance at once. Instead, conservatorship is a specialized action designed to be used in a worst-case situation, in which no reasonable alternative course of action appears to be available to community members—a situation in which a favorable court decision will have been worth the time, money and paperwork involved in preparing a strong presentation to a judge.

The following chapter provides information that can help you determine whether conservatorship is the best way to address a blighted-property problem about which you are concerned and summarizes other strategies that you can use to acquire the property or alleviate the problem.

¹ Act 135 § 2(4); 68 P.S. § 1102(4).

Chapter Four

The Conservator and the Improvement Plan

The conservator is the party appointed by the court to enter the property and address the conditions of blight. This chapter describes what the law mandates a conservator to do and the powers conferred to a conservator, and the legal and practical considerations involved in selecting a party to be recommended to the court for selection as conservator of the property. The remainder of the chapter describes the elements of the improvement plan for the property and important issues that you should consider in preparing the plan.

Conservator Mandates

Act 135 requires that a conservator take possession immediately upon appointment and maintain, safeguard and insure the property.²⁰

Powers of the Conservator

Act 135 specifies that the appointment of a conservator by the court authorizes the conservator to undertake any of the following actions:²¹

Conservator Powers

- 1. Take possession and control of the building, associated land, and any personal property of the owner used with respect to the building, including any bank or operating accounts for the building.**
- 2. Collect outstanding accounts receivable.**
- 3. Pursue all claims or causes of action of the owner with respect to the building and all other property subject to the conservator.**

Action 3 may provide the conservator with a source of additional funds to help pay for the rehabilitation of the property.

- 4. Contract for the repair and maintenance of the building.**

The contracts must be fully documented, and the documentation must be included in the reports and accounting that the conservator is required to submit. For contracts valued at more than \$25,000, the conservator is required to make a reasonable effort to solicit three competitive bids.

Although the act requires only three bids for contracts that are expected to exceed \$25,000, it is recommended that conservators obtain three bids for all work, except work that needs to be done in response to an emergency.²²

- 5. Borrow money and obtain credit for the rehabilitation of the property.**
- 6. Contract and pay for the maintenance and restoration of utilities to the building.**

If the property has past-due bills, they may need to be paid before the utilities can be reconnected so that the property can be fully rehabilitated and sold.

²⁰Act 135 § 5(h); 68 P.S. § 1105(h) and § 6(b)(1); 68 P.S. § 1106(b)(1).

²¹Act 135 § 6; 68 P.S. § 1106.

²²RHLS Manual at 37.

7. Purchase materials, goods and supplies to accomplish repairs and operate the building.

The conservator should keep detailed records (with the assistance of a certified public accountant if needed) of all costs incurred, to ensure that a full reimbursement of expenses is received at the end of the conservatorship.

8. With the court's approval, enter into new rental contracts and leases for a period not to exceed one year.

Some buildings may be rehabilitated in phases, with the first phase being rented while the next phase is completed, and so on. The lease may not exceed one year, because it is anticipated that when the rehabilitation is complete, the property will be sold.

9. Affirm, renew or enter into contracts providing for insurance coverage on the building.

The conservator is authorized to purchase any and all required insurance, including coverage for the property, the equipment and liability.

10. Engage and pay legal, accounting, appraisal and other professionals to aid the conservator in the conduct of the conservatorship.

This provision includes the engagement of professional services associated with all aspects of the development, design, and construction, budgeting, bidding, financing and out-sale process.

11. In cases where the building has been designated a historic property or is located in a designated historic district, consult with the appropriate local or state historical commission to determine what requirements apply to the renovation to preserve the building's historic character, or to determine whether demolition will be allowed.²³

12. Apply for and receive public grants or loans.

13. Sell the building.²⁴

14. Exercise all authority that an owner of the building would have to improve, maintain and otherwise manage the building.

This is a catch-all provision that allows the conservator to handle any unanticipated problems that may arise as improvement plans are being implemented.

²³See the "Difficult Considerations for Conservatorship" section of this handbook for more information on historic properties.

²⁴See the "Termination of Conservatorship" section of this handbook for more information on the selling of property.



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: 22-K-109

WARD: 21st

FEE PAID: yes

DISTRICT: Manchester

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1415 Lake St. (rear of 1414 Junata)
Pittsburgh, PA 15233

OWNER:

NAME: Manchester Housing Developm

ADDRESS: 1319 Allegheny Ave.

Pittsburgh, PA 15233

PHONE: (412) 323-1743

EMAIL: ffault@manchestercitizens.org

APPLICANT:

NAME: same as owner

ADDRESS: _____

PHONE: _____

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Replacement of existing chain link fence w/ spruce pine fence.
Dimensions are 17' x 40' to match previous.

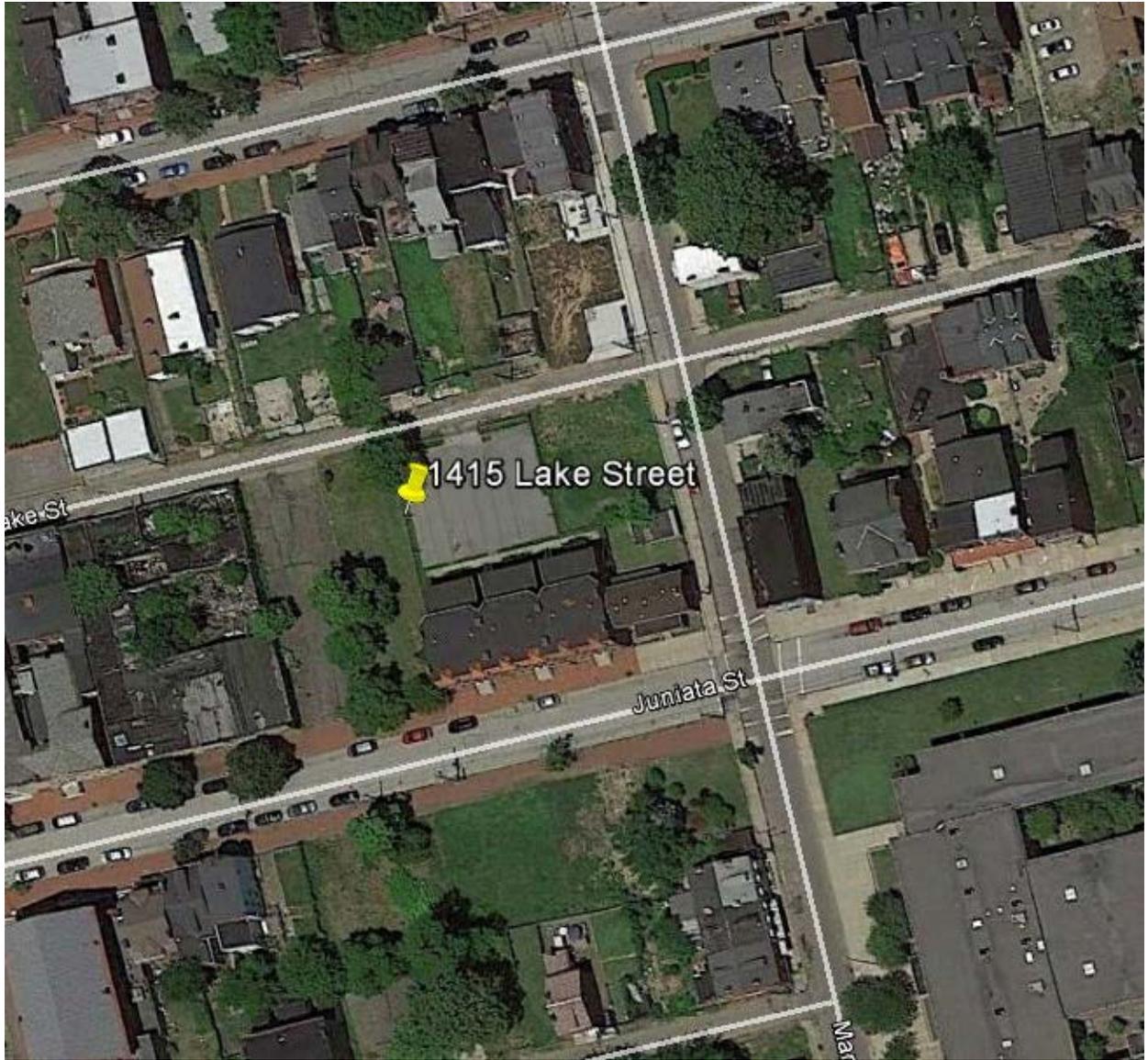
SIGNATURES:

OWNER: [Signature]

DATE: 11.26.14

APPLICANT: [Signature]

DATE: _____



1415 Lake Street

Lake St.

Junata St.

Main

Property Photos



1415 Lake St. (Rear of 1414 Juniata)



Pine fence will replace previous stockade fence

Spruce Pine Fence Section



Photos of similar fences within the Manchester Historic District



Warlo between Sedgwick and Allegheny



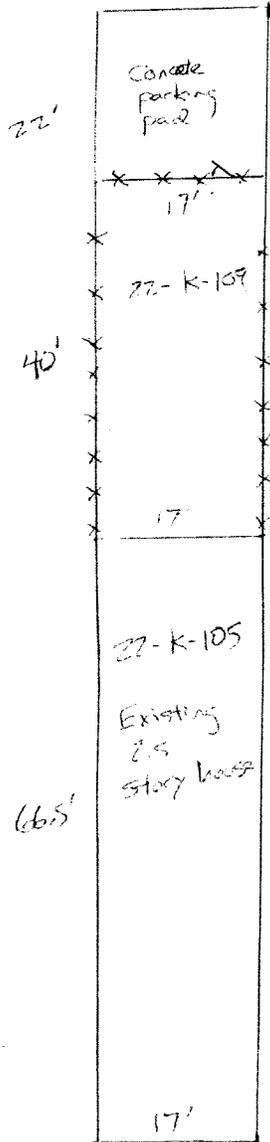
Sedgwick and Warlo



1415 Lake St. Site Plan

Replacement of existing ear chain link fence with Spruce pine fence

1415 Lake St.



x = spruce pine rear fence
1 inch = 20 feet

1414 Juniata St.



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1417 SHEFFIELD ST.
PITTSBURGH PA 15233

DISTRICT:

OWNER:

NAME: BETSY ONEILL

ADDRESS: 1417 SHEFFIELD ST

PHONE: _____

EMAIL: _____

APPLICANT:

NAME: BOB BAUMBACH

ADDRESS: 900 MIDDLE ST.

PITTSBURGH PA 15212

PHONE: 412.266.4425

EMAIL: bob.baumbach@comcast.net

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

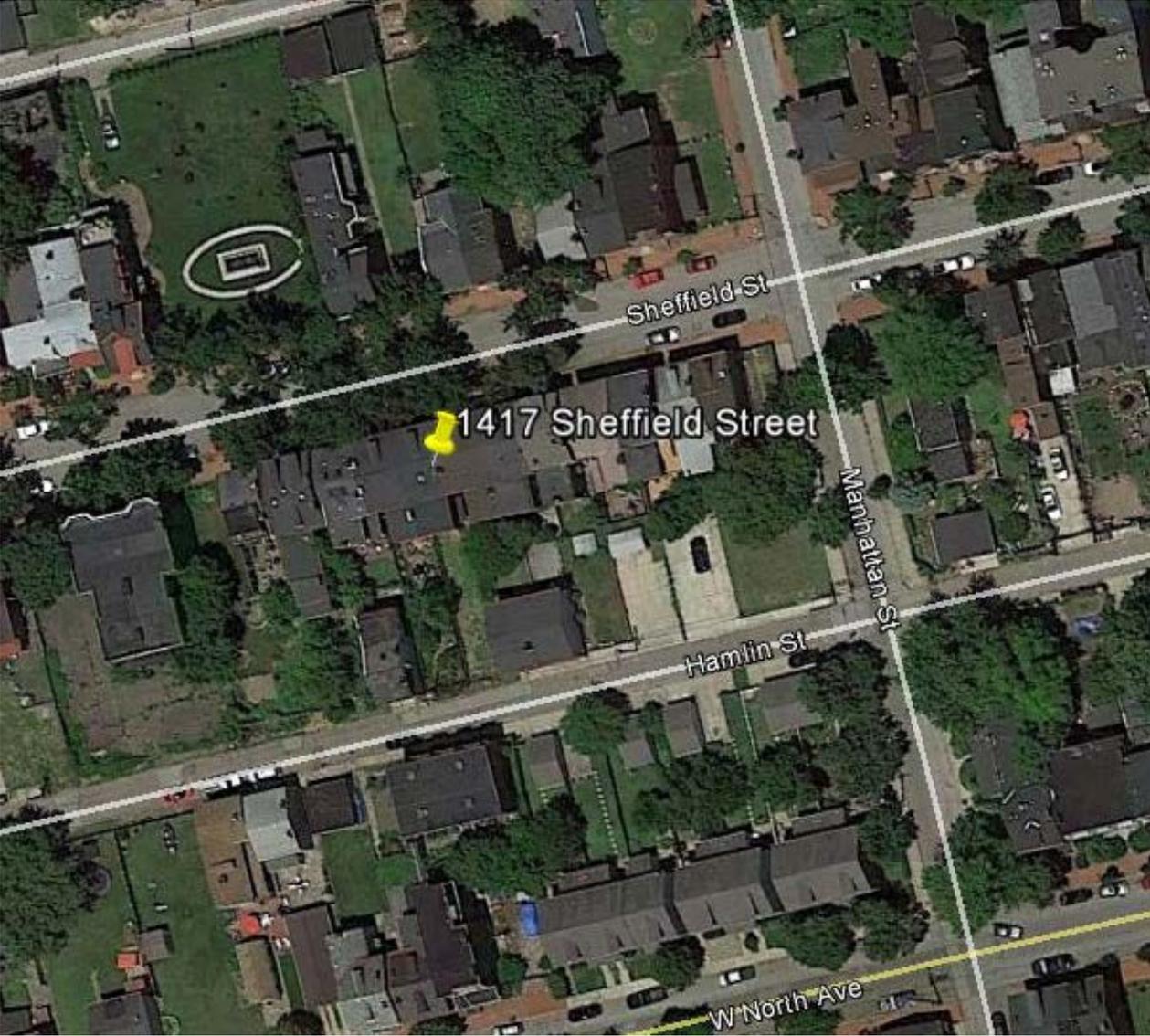
DETAILED DESCRIPTION OF PROPOSED PROJECT:

INSTALL NEW DORMER ON 3RD FLOOR REAR ROOF. INSTALL
NEW WINDOW ON REAR ELEVATION. REPLACE WINDOWS IN REAR
WITH 1-OVER-1 DOUBLE HUNG. REPLACE WINDOWS IN FRONT
IN-KIND.

SIGNATURES:

OWNER: _____ DATE: _____

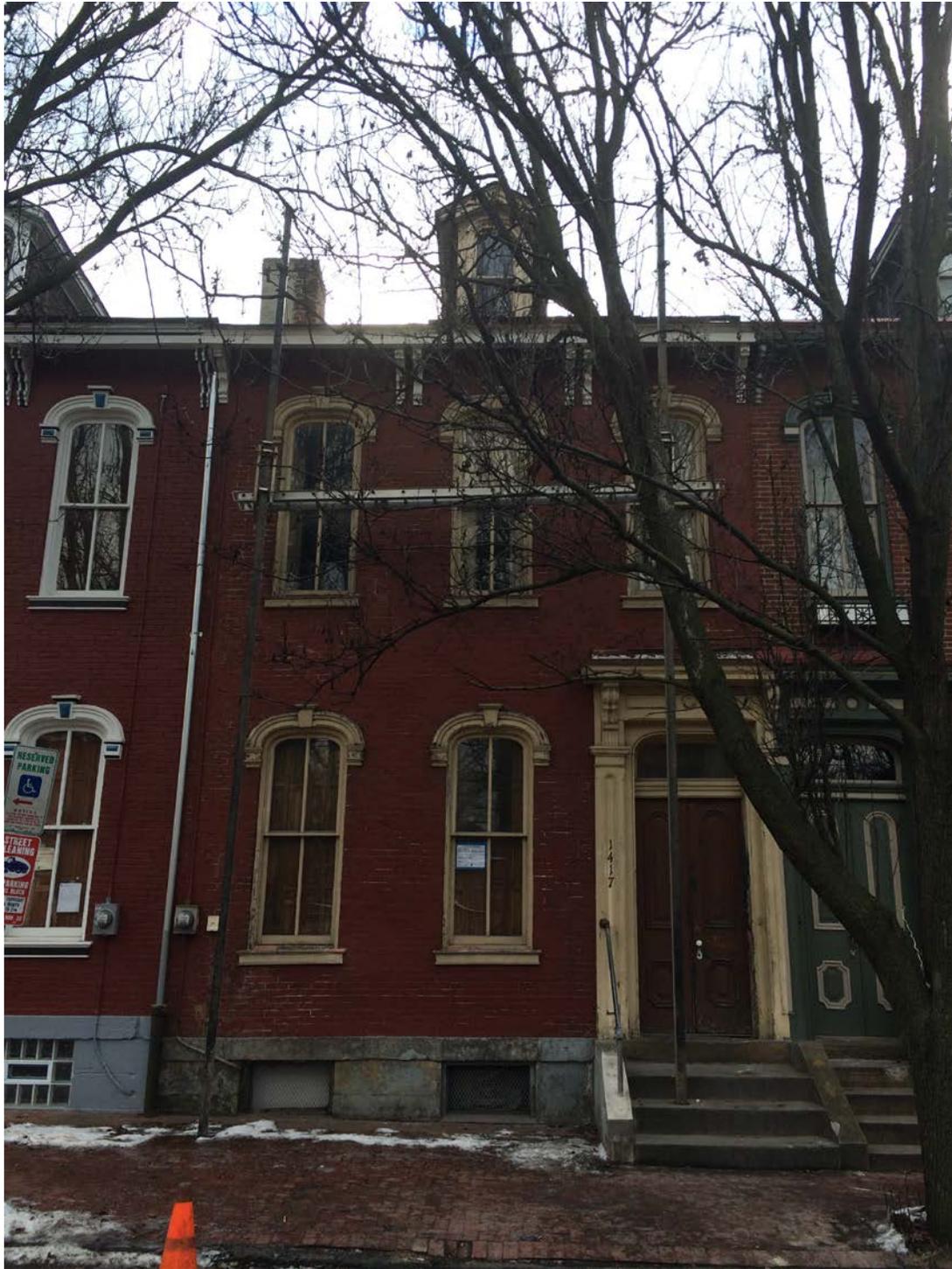
APPLICANT: Bob Baumbach DATE: 1/16/2015





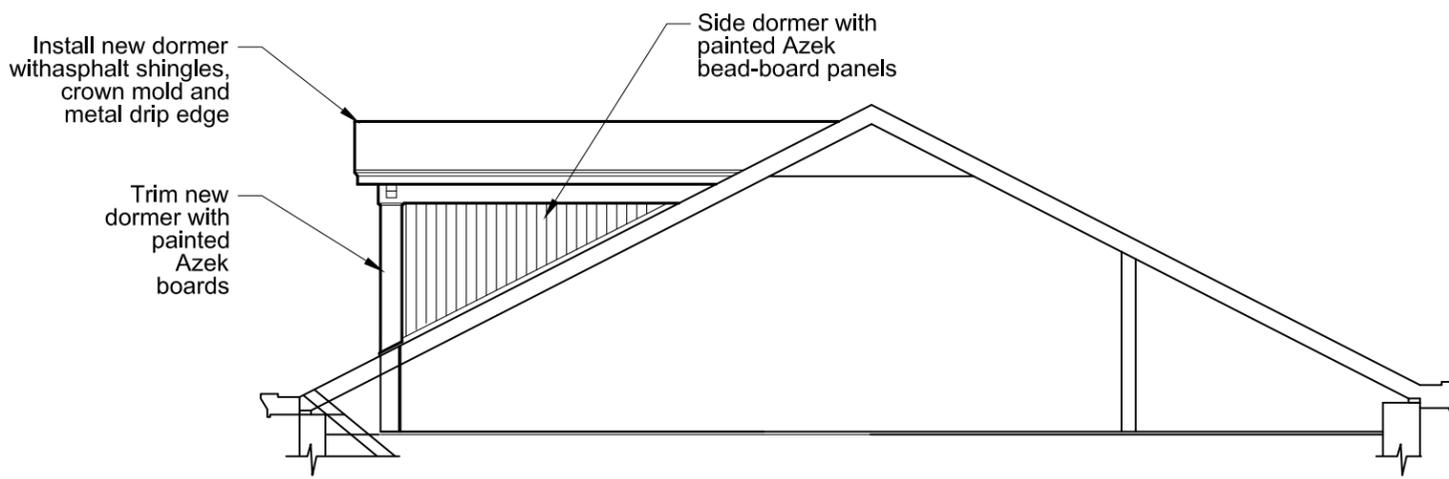
Rear Elevation

1417 Sheffield Street
Pittsburgh, PA 15233

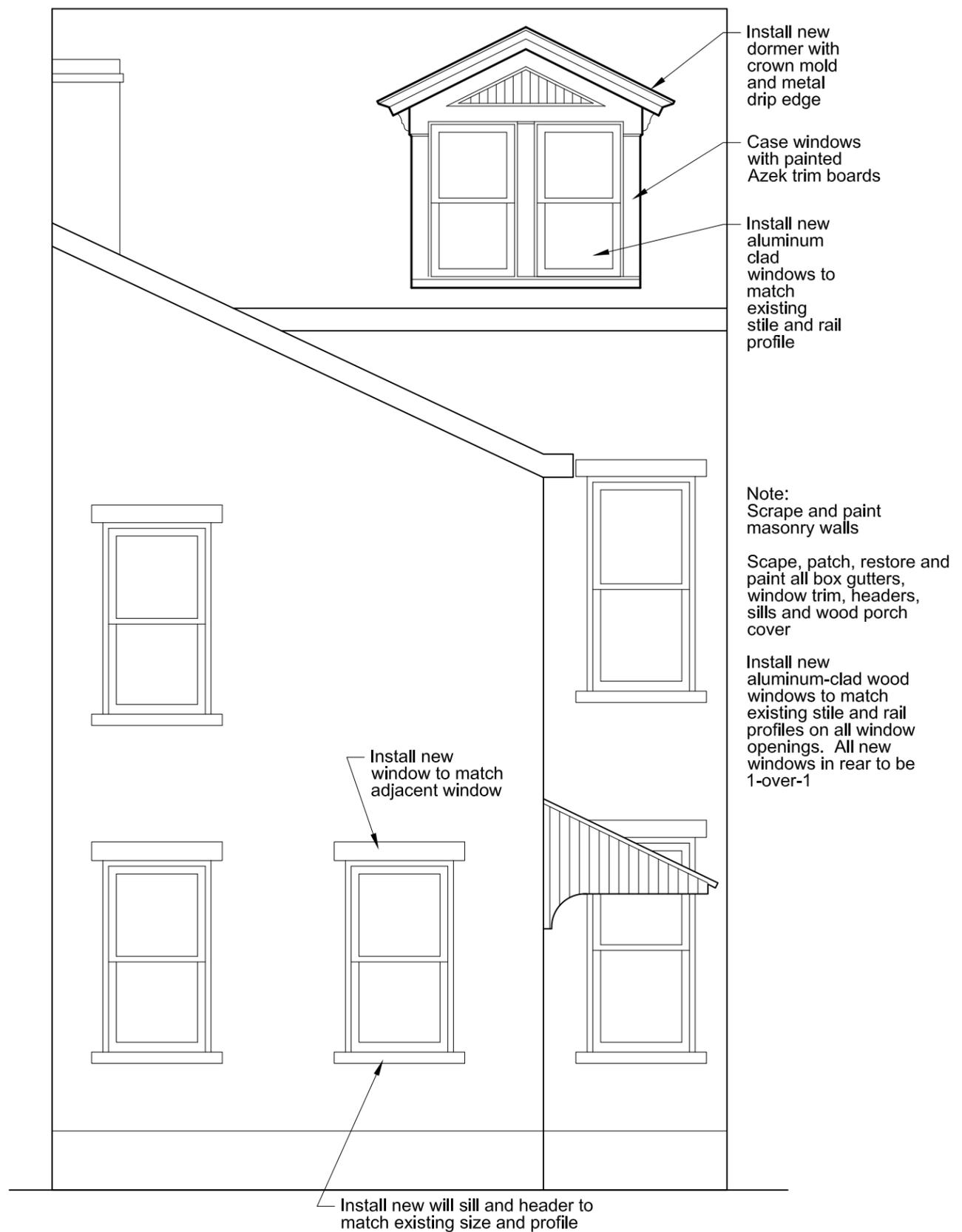


Front Elevation

1417 Sheffield Street
Pittsburgh, PA 15233

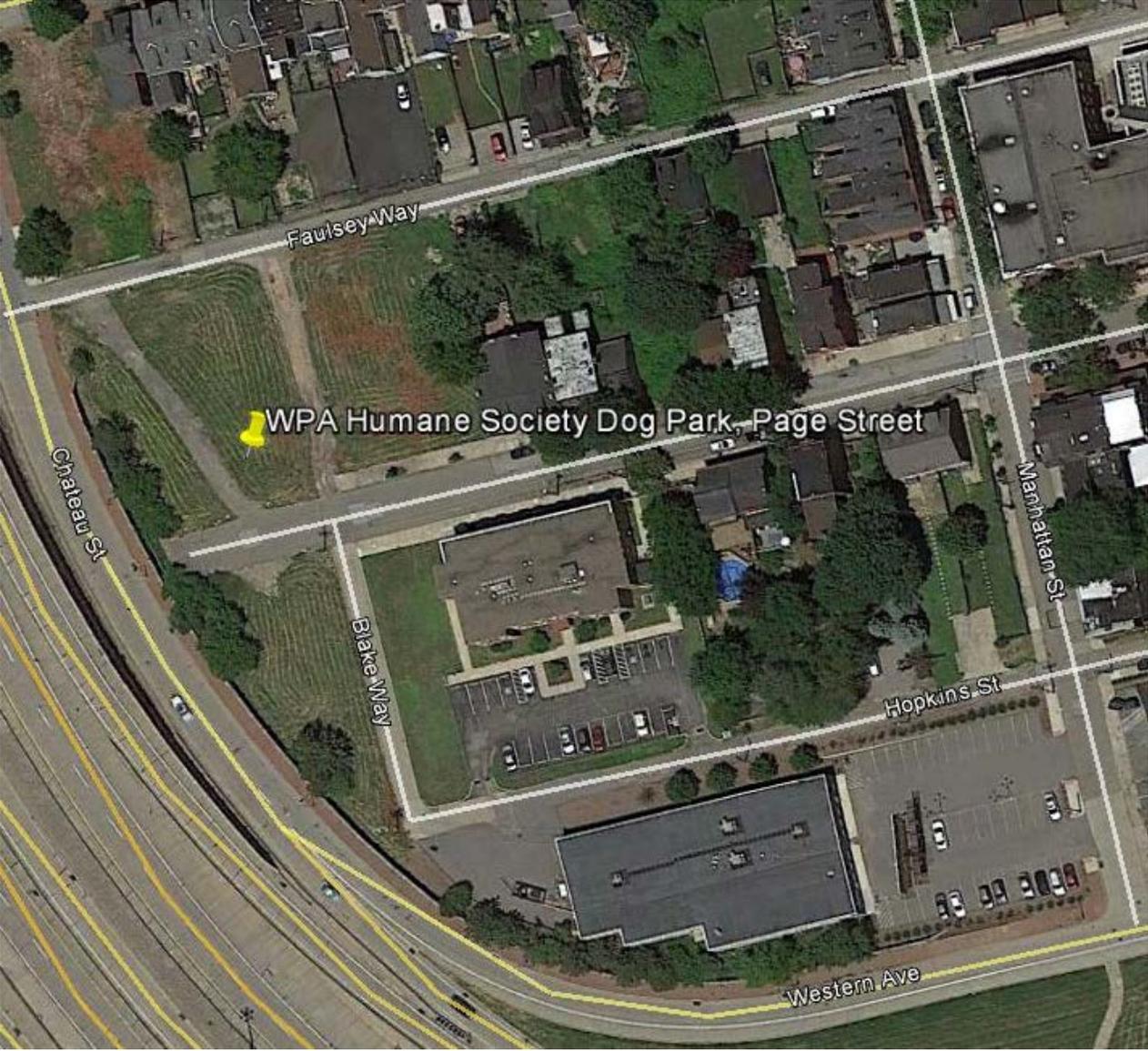


2 SECTION/ELEVATION AT NEW DORMER
SCALE: 1/4" = 1'-0"



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION 1417 SHEFFIELD STREET





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

Page Street, Block and Lot No. 7-B-208

OWNER:

NAME: Western PA Humane Society
 ADDRESS: 1101 Western Avenue
Pittsburgh, PA 15233
 PHONE: 412-489-0827
 EMAIL: dhartman@wpahumane.org

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

Manchester Historic District

APPLICANT:

NAME: Same as owner
 ADDRESS: _____
 PHONE: _____
 EMAIL: _____

REQUIRED ATTACHMENTS:

Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Outdoor dog exercise yard for Western PA Humane Society. There will be water features, dog runs, fencing surrounding the site, and a small unenclosed rain shelter with a roof.

SIGNATURES:

OWNER:  DATE: 11/14/2014
 LAWRENCE H. BAUMILLER (Attorney for Western PA Humane Society)
 APPLICANT: Same as above DATE: _____

FAULSEY WAY - 20' R/W

S 80°09'09" E

Total width 100 ft

117.60'

Total Length 133 ft

N 09°50'51" E

133.45'

99.60'

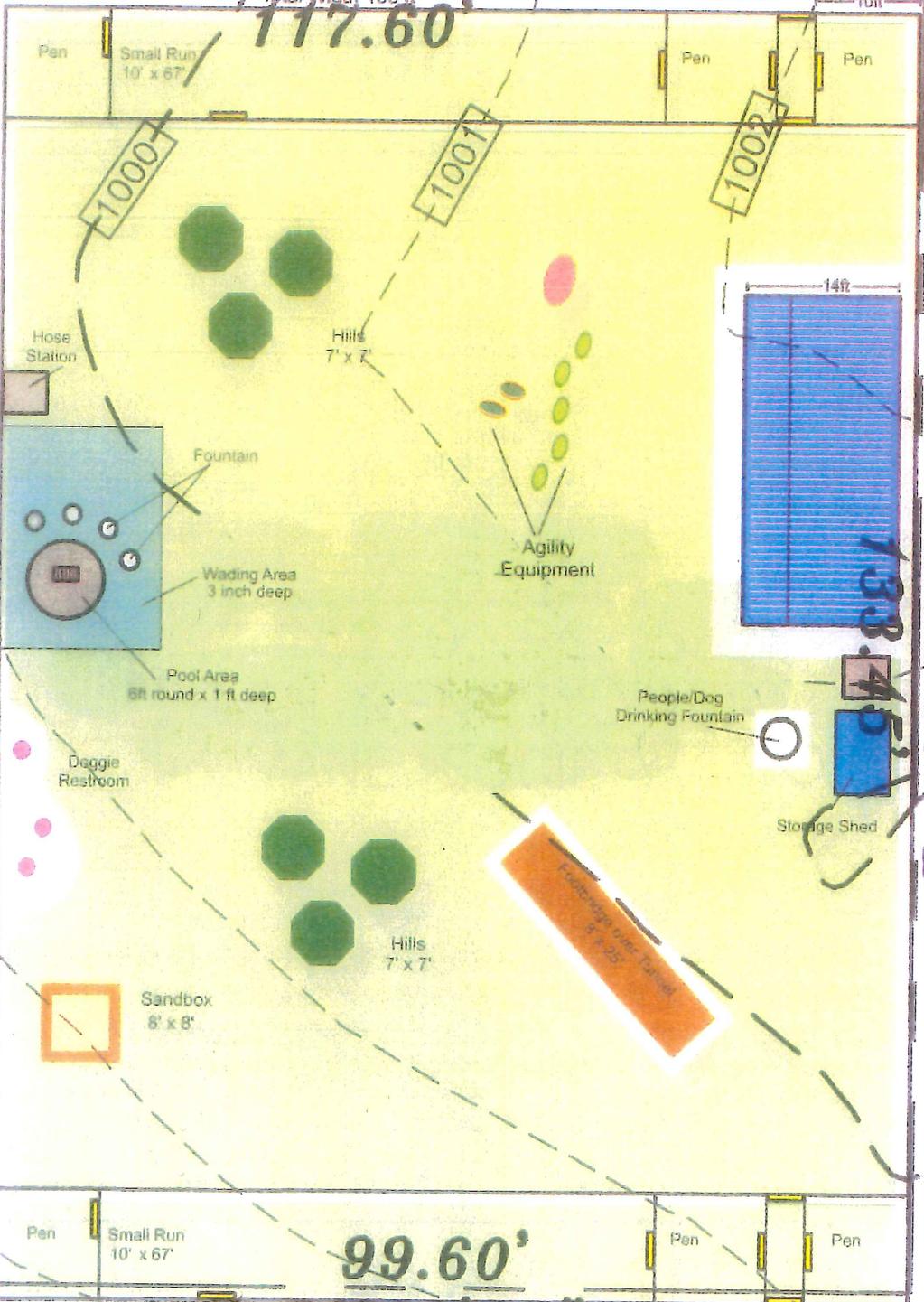
S 80°09'09" E

CB
T=995.69

A=134.89'
R=668.00'

999

998



B&L: 7-B-318
CITY OF PITTSBURGH

FAULSEY WAY - 20' R/W

S 80°09'09" E
117.60'

B&L: 7-B-208
D.B.V. 15210, PG. 532
WESTERN PENNSYLVANIA
HUMANE SOCIETY

A=134.89'
R=668.00'

N 09°50'51" E
133.45'

99.60'
S 80°09'09" E

B&L: 7-B-207-B
CITY OF PITTSBURGH

B&L: 7-B-207
CITY OF PITTSBURGH

PAGE STREET - 50' R/W

S 80°09'09" E
85.55'

B&L: 7-B-185
WESTERN PENNSYLVANIA
HUMANE SOCIETY

A=183.06'
R=668.00'

N 09°50'51" E
164.33'

BLAKE WAY - 20' R/W

B&L: 7-B-172
MANCHESTER SUPPORTIVE
HOUSING INC

CHATEAU STREET

HOPKINS ST.

B&L: 7-B-180
ROBERT LAUGHERY

6.21'
S 80°09'09" E





View of B&L 7-B-208
Proposed Fenced Area 1



View of B&L 7-B-208
Proposed Fenced Area 1



View of B&L 7-B-208
Proposed Fenced Area 1
from Page Street



B&L 7-B-208
Proposed Fenced Area 1





B&L 7-B-208
Proposed Fenced Area 1





B&L 7-B-318
Proposed Parking Area





Faulsey Way intersecting B&L
7-B-318 & B&L 7-B-208
Proposed Parking Area &
Fenced Area 1



Middle Lot (Fenced Area 1) –
to R is Parking; to L is Fenced
Area 2



B&L: 7-B-318

Proposed Parking Area



Here's the fountain and bench info I sent before:

\$800.00 2 recycled plastic benches \$389 ea

http://www.plasticrecycling.us/recycled_plastic_benches_traditional.shtml

\$3,000 dog/people drinking fountain

<http://www.dog-on-it-parks.com/products/175-drinking-fountain-w-dog-bowl.aspx>

Additional Examples:





A few notes:

- The shelter has an option for an electrical outlet, and I have it shown sitting on a cement block.
- There are two hose stations (one on each side), thinking they will be used for clean up as well as filling the pool, which can drain into the underground system for the turf
- All hills, benches and other items of height need to be away from the fence
- There's a small run area on each side, which will allow for more dogs to be accessing the park at one time
- Still have your "spacing" between fenced areas in mind but not sure how to draw them.
- The overall size of the Dog Park is 100 ft x 133 ft, which is roughly the size on the blueprint. The actual space is not exactly a rectangle, but I kept it to these dimensions for estimating purposes.



November 14, 2014

VIA HAND DELIVERY

Historic Review Commission
c/o Sarah Quinn
200 Ross Street, 3rd Floor
Pittsburgh, PA 15219

RE: HRC application for Western PA Humane Society Dog Exercise Yard

Dear Ms. Quinn:

I represent the Western Pennsylvania Humane Society (“Humane Society”), which has submitted an application for a certificate of appropriateness for parcel no. 7-B-208 in the Manchester Historic District. In addition to the application materials submitted for the certificate of appropriateness, enclosed with this letter are items showing evidence of economic hardship. The criteria for economic hardship, and the Humane Society’s responses, are as follows:

- a. The assessed value of the property for the two (2) most recent assessments.

\$40,000. See attached information from the Allegheny County Assessment website.

- b. Real property taxes for the previous two (2) years.

\$189.59 (Humane Society will apply for tax exemption). See attached information from the Allegheny County Assessment website.

- c. The amount paid for the property by the owner, the date of purchase and the party from whom purchased, including a description of the relationship, if any, between the owner and the person from whom the property was purchased.

The Humane Society paid \$37,000 for the property in 2013. The deed was recorded on April 18, 2013. The seller was PennDOT.

- d. The current balance of any mortgages or any other financing secured by the property, and the annual debt service, if any, for the previous two (2) years.

No balances. The property was paid for in cash.

- e. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with purchase, offerings for sale, financing or ownership of the property.

None.

- f. All listings of the property for sale or rent, price asked and offers received, if any, within the previous four (4) years.

None. The Humane Society has never attempted to rent or sell the property.

- g. All studies commissioned by the owner as to profitable renovation, rehabilitation or utilization of any structures or objects on the property for alternative use.

None. The property was bought for the specific purpose of constructing the dog exercise yard.

- h. For income producing property, itemized income and expense statements from the property for the previous two (2) years.

Not applicable.

- i. Estimate of the cost of the proposed construction, demolition or relocation and an estimate of any additional cost that would be incurred to comply with the recommendations of the Commission for changes necessary for it to approve a Certificate of Appropriateness.

The Humane Society is still awaiting an estimate from the fence contractor. This information will be provided at the hearing.

- j. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit corporation, limited partnership, joint venture or other.

Not for profit. See attached documentation from the IRS.

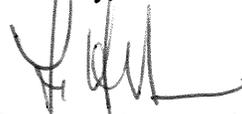
- k. Any other information, documentation or evidence as the Commission determines to be necessary to its application of the standard in § 1101.06(b).

- l. Tax status of owner as for-profit or not-for-profit.

Not for profit. See attached documentation from the IRS.

Thank you for your attention and please contact me with any questions.

Sincerely,



Lawrence H. Baumiller

cc: Deborah Hartman

Enclosures

11/14/2014 1:11:01 PM

Search Results | New Search | Help | Subscription Login

- General Information
- Building Information
- Tax Information eBill / ePay
- Owner History
- Image
- Comparables
- Appeal Status
- Maps

<< < 1 OF 2 > >>

General Information

Parcel ID : 0007-B-00208-0000-00
 Property Address : CHATEAU ST
 PITTSBURGH, PA 15233

Municipality : 121 PITTSBURGH - 21ST WARD
 Owner Name : WESTERN PENNSYLVANIA
 HUMANE SOCIETY

School District :	City Of Pittsburgh	Neighborhood Code :	12101
Tax Code :	Taxable	Recording Date :	4/18/2013
Owner Code :	Corporation	Sale Price :	\$37,000
State Code :	Residential	Deed Book :	15210
Use Code :	VACANT LAND	Deed Page :	532
Homestead :	No	Abatement :	No
Farmstead :	No	Lot Area :	14,798 SQFT

2014 Full Market Value	2014 County Assessed Value
Land Value \$40,900	Land Value \$40,900
Building Value \$0	Building Value \$0
Total Value \$40,900	Total Value \$40,900

2013 Full Market Value	2013 County Assessed Value
Land Value \$0	Land Value \$0
Building Value \$0	Building Value \$0
Total Value \$0	Total Value \$0

Address Information

Tax Bill Mailing : WESTERN PENNSYLVANIA HUMANE SOCIETY
 1101 WESTERN AVE
 PITTSBURGH, PA 15233-

Owner Mailing : 1101 WESTERN AVE
 PITTSBURGH, PA 15233-

[Send data errors to landhelp@alleghenycounty.us.](mailto:landhelp@alleghenycounty.us) |
 [Property Assessments HomePage](#) |
 [Legal Disclaimer](#)

11/14/2014 1:10:51 PM

Search Results New Search Help Subscription Login

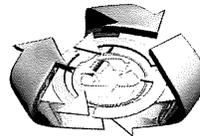
- General Information
- Building Information
- Tax Information eBill / ePay
- Owner History
- Image
- Comparables
- Appeal Status
- Maps

<< < 1 OF 2 > >>

Tax Information

Parcel ID : 0007-B-00208-0000-00
 Property Address : CHATEAU ST
 PITTSBURGH, PA 15233

Municipality : 121 PITTSBURGH - 21ST WARD
 Owner Name : WESTERN PENNSYLVANIA
 HUMANE SOCIETY



[Subscribe to eBilling](#)

[Pay Taxes Online](#)

Tax Bill Mailing Address: WESTERN PENNSYLVANIA HUMANE SOCIETY
 1101 WESTERN AVE
 PITTSBURGH, PA 15233-

Current Tax Information

Net Tax Due March 31:	\$189.59
Gross Tax Due April 30:	\$193.46
Millage Rate:	4.73
Taxable Market Value:	\$40,900
Code and Line:	121 01677 0

[Pay Taxes Online](#) or Mail payments to: John K. Weinstein, County Treasurer
 Room 108 Courthouse
 436 Grant Street
 Pittsburgh, PA 15219-2497

Year	Paid Status	Tax	Penalty	Interest	Total	Date Paid	If Paid By
2014	Paid	\$189.59	\$0.00	\$0.00	\$189.59	3/17/2014	

***** IMPORTANT NOTICE *****

The data viewed on this page is for informational purposes only and should not be considered a true and final certified account summary for property closings. Payments posted to the current tax year file may be removed at any time during that year pending proof of erroneous payment. Furthermore, payments found to be insufficient may be removed within 45 days of posting. The actual proof of payment of all real estate taxes belongs to the owner of record.

A four (4) year tax certification bearing the official seal of the Allegheny County Treasurer's Office that verifies payment can be obtained from the Treasurer's Office (412-350-4100). A \$25.00 fee is required for each property certification requested.



Department of the Treasury
Internal Revenue Service

P.O. Box 2508
Cincinnati OH 45201

In reply refer to: 0248205661
Feb. 02, 2009 LTR 4168C E0
25-0965608 000000 00 000
00013188
BODC: TE

WESTERN PENNSYLVANIA HUMANE SOCIETY
1101 WESTERN AVE
PITTSBURGH PA 15233-2025



006773

Employer Identification Number: 25-0965608
Person to Contact: Ms. Johnson
Toll Free Telephone Number: 1-877-829-5500

Dear Taxpayer:

This is in response to your request of Jan. 22, 2009, regarding your tax-exempt status.

Our records indicate that a determination letter was issued in April 1922, that recognized you as exempt from Federal income tax, and discloses that you are currently exempt under section 501(c)(3) of the Internal Revenue Code.

Our records also indicate you are not a private foundation within the meaning of section 509(a) of the Code because you are described in section(s) 509(a)(1) and 170(b)(1)(A)(vi).

Donors may deduct contributions to you as provided in section 170 of the Code. Bequests, legacies, devises, transfers, or gifts to you or for your use are deductible for Federal estate and gift tax purposes if they meet the applicable provisions of sections 2055, 2106, and 2522 of the Code.

If you have any questions, please call us at the telephone number shown in the heading of this letter.

Sincerely yours,

Michele M. Sullivan, Oper. Mgr.
Accounts Management Operations I



IRS Department of the Treasury
Internal Revenue Service

P.O. Box 2508
Cincinnati OH 45201

006773.529192.0036.001 1 AB 0.351 532



WESTERN PENNSYLVANIA HUMANE SOCIETY
1101 WESTERN AVE
PITTSBURGH PA 15233-2025

006773

CUT OUT AND RETURN THE VOUCHER AT THE BOTTOM OF THIS PAGE IF YOU ARE MAKING A PAYMENT,
EVEN IF YOU ALSO HAVE AN INQUIRY.



The IRS address must appear in the window.

Use for payments

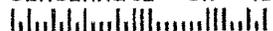
BODCD-TE

0248205661

Letter Number: LTR4168C
Letter Date : 2009-02-02
Tax Period : 000000



250965608

INTERNAL REVENUE SERVICE
P.O. Box 2508
Cincinnati OH 45201


WESTERN PENNSYLVANIA HUMANE SOCIETY
1101 WESTERN AVE
PITTSBURGH PA 15233-2025

250965608 QP WEST 00 2 000000 670 000000000000



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1310 WEST NORTH AVENUE
PGH., PA 15233

OWNER:

NAME: NINLEM PROPERTIES, LP
 ADDRESS: P.O. BOX 23353
PGH., PA 15222
 PHONE: 412-608-4571
 EMAIL: AREICHERT@GORLTY.NET

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

MANCHESTER

APPLICANT:

NAME: ARCTECON, LLC
 ADDRESS: 3441 BUTLER ST.
PGH., PA 15201
 PHONE: 412-264-6400
 EMAIL: MIKE.MASON@ARCTECON.COM

REQUIRED ATTACHMENTS:

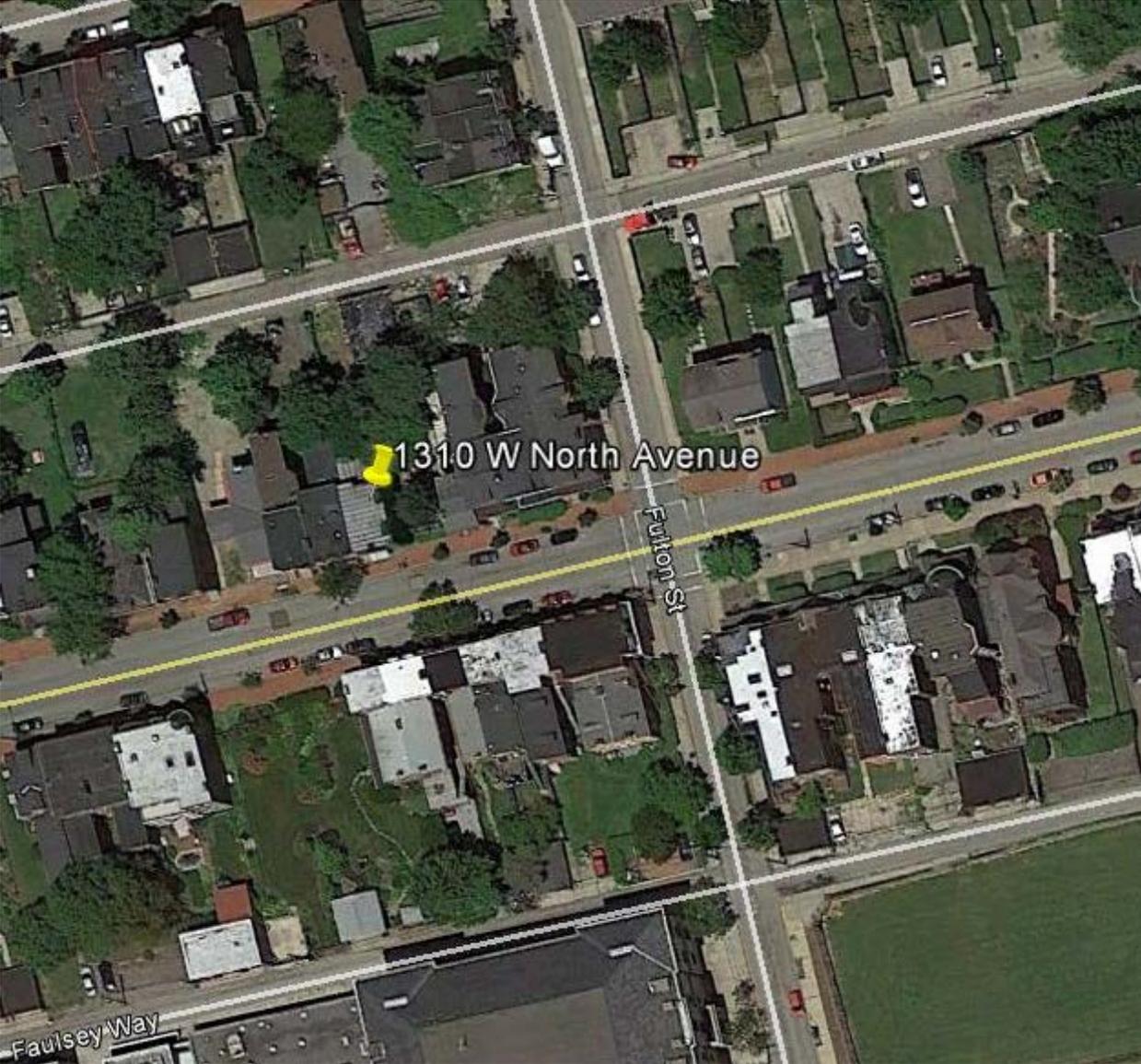
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

INTERIOR RENOVATION. EXTERIOR RENOVATION INCLUDING REMOVAL OF OLD ALUMINUM REPLACEMENT WINDOWS, ALUMINUM AWNING & INSTALLATION OF NEW VINYL CLAD WOOD WINDOWS & WOOD ENTRY DOOR. ALSO INCLUDED IS REPAIR/REPLACEMENT OF EXTERIOR WOOD TRIM TO BE PAINTED. INTERIORS WILL BE REPOINTED AS NEEDED.

SIGNATURES:

OWNER: [Signature] DATE: 1/15/15
 APPLICANT: [Signature] DATE: 1/15/15



1310 W North Avenue

Fulton St

Faulsey Way



STREET
CLEANING
NO PARKING
IN THIS ZONE
EXCEPT
FOR LOCAL DELIVERY
AND PICKUP ONLY
APR. 1 11 AM - 2 PM

141





Renovation of an Existing Single Family Residence

at:

1310 West North Avenue - Pittsburgh 15233

for:

Go Realty

AN ARCTECON, LLC PROJECT

arctecon

3441 Butler Street, Suite 200
 Pittsburgh, PA 15201
 CONTACT: Tom Pattison
 (412) 264-6400

KSBA ARCHITECTS

KSBA

3441 Butler Street, Suite 100
 Pittsburgh, PA 15201
 CONTACT: David L. Bauer, AIA
 (412) 252-1500

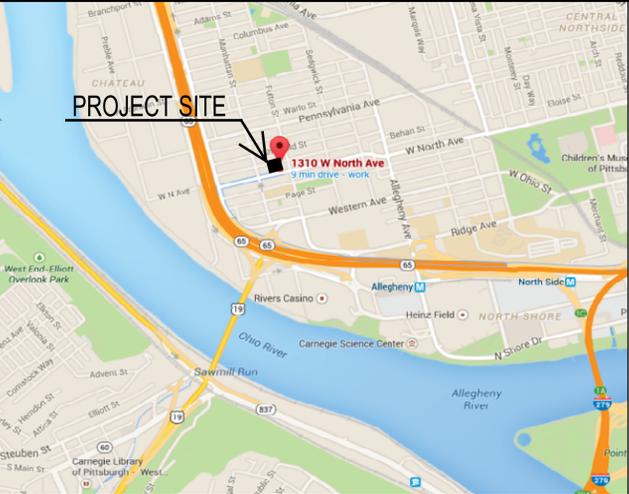
DRAWING INDEX:

ARCHITECTURAL

- D1.1 DEMOLITION PLANS
- A1.1 FLOOR PLANS - NEW WORK
- A2.1 EXTERIOR ELEVATIONS
- A2.2 INTERIOR ELEVATIONS

Property Address: 1310 West North Avenue
 Pittsburgh, PA 15212
 Allegheny County

LOCATION MAP:



CODE SUMMARY:

2009 IBC Code
 Construction Type : 5B
 Occupancy: R-1 (Residential - Single Family)
 Floor Area Allowed: Unlimited
 Height Allowed: 3 Story; 4 Story Sprinklered

DATE:

Progress Set: December 30, 2014
 For Permit / Construction Set : January 09, 2015



4 RIGHT SIDE - REAR VIEW
SCALE: N.T.S.

SEE THE FLOOR PLANS FOR THE WINDOWS THAT ARE NOT VISIBLE ON THESE ELEVATIONS.

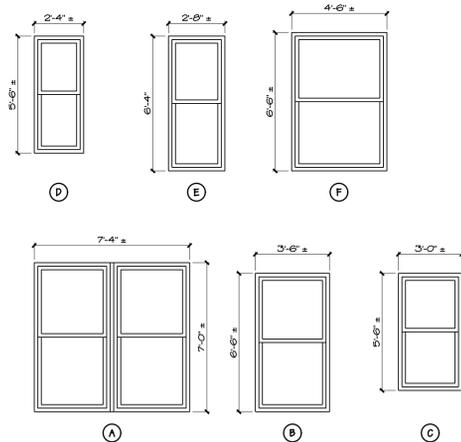
NEW SLIDING PATIO DOOR

NEW OVERHEAD DOOR



3 REAR VIEW
SCALE: N.T.S.

INFILL BALANCE OF OPENING BELOW NEW WINDOWS WITH 2x FRAMING, EXTERIOR PLYWOOD SHEATHING, FULL BATT INSULATION, GWB INTERIOR FINISH, AND EXTERIOR PLASTER ON THE OUTSIDE, PAINTED.



WINDOWS TYPES FIELD VERIFY ALL WINDOW SIZES.



2 RIGHT SIDE - FRONT VIEW
SCALE: N.T.S.

ALL VINES ARE TO BE REMOVED FROM ALL ELEVATIONS.

EXISTING DOWNSPOUT TO BE REMOVED. INSTALL NEW ROUND DOWNSPOUT CONNECTED TO EXISTING STORM WATER CONNECTION.

EXISTING STONE FOUNDATION TO BE CLEANED AND PAINTED.

REMOVE ALL EXISTING, ROTTED AND DETEIORATED WOOD AND TRIM FROM THE THIRD FLOOR. WINDOW PROJECTION, NEW TRIM IS TO BE INSTALLED TO MATCH THE ORIGINAL DESIGN.

REMOVE ALL EXISTING, ROTTED AND DETEIORATED WOOD AND FLASHING FROM THE BUILT-IN BOX GUTTER. NEW TRIM AND FLASHING IS TO BE INSTALLED TO MATCH THE ORIGINAL DESIGN.

AFTER REMOVAL OF THE VINES, THE EXISTING BRICK AND STONE ARE TO BE INSPECTED FOR LOOSE MORTAR AND CRACKS. REPAIR LOOSE MORTAR AND OPEN JOINTS WITH MORTAR TO MATCH EXISTING.

EXISTING DOOR AND FRAME AND STONE INFILL TO BE REMOVED.

EXISTING METAL AWNING AND RAILING TO BE REMOVED.

NEW DOOR, FRAME, AND GLASS TRANSOM, SEE DOOR SCHEDULE. FIELD VERIFY SIZE.

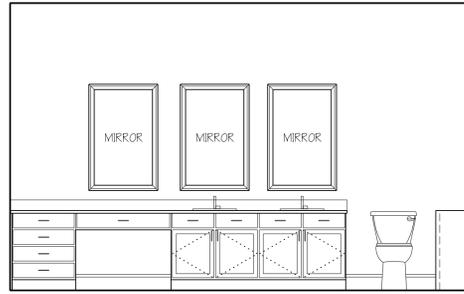
NEW ALUMINUM RAILING: TREX "REVEAL" SYSTEM OR EQUAL.

EXISTING CONCRETE STOOP AND STEPS ARE TO BE PATCHED AND PAINTED.

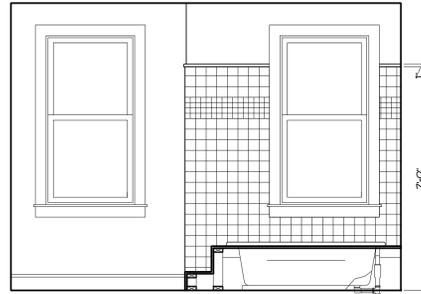
EXISTING CONCRETE BLOCK STOOP WALLS ARE TO BE PATCHED AND PAINTED.



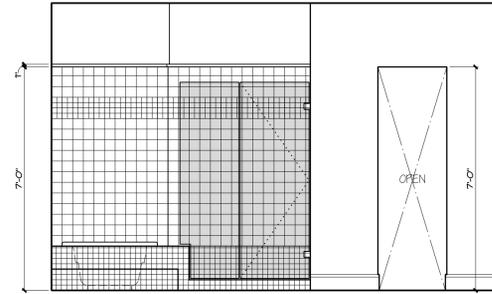
1 FRONT VIEW
SCALE: N.T.S.



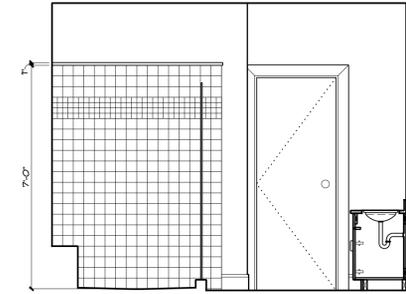
12 BATHROOM ELEVATION
A22 SCALE: 3/8" = 1'-0"



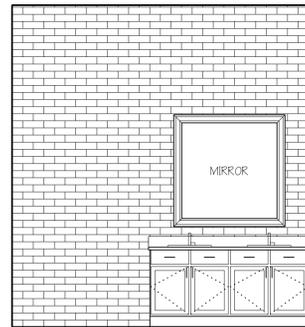
11 BATHROOM ELEVATION
A22 SCALE: 3/8" = 1'-0"



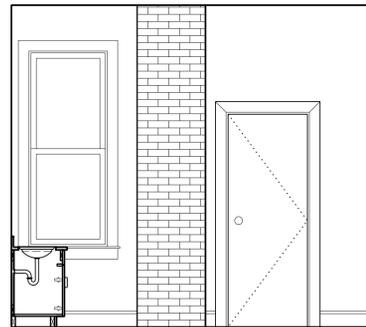
10 BATHROOM ELEVATION
A22 SCALE: 3/8" = 1'-0"



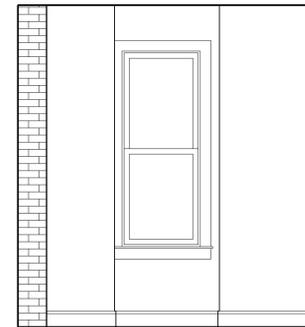
9 BATHROOM ELEVATION
A22 SCALE: 3/8" = 1'-0"



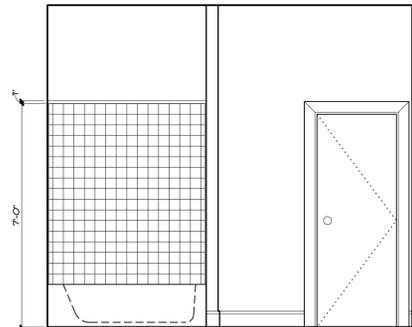
8 BATHROOM ELEVATION
A22 SCALE: 3/8" = 1'-0"



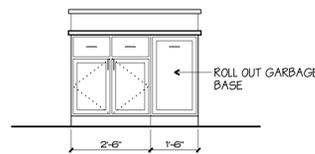
7 BATHROOM ELEVATION
A22 SCALE: 3/8" = 1'-0"



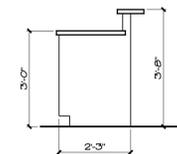
6 BATHROOM ELEVATION
A22 SCALE: 3/8" = 1'-0"



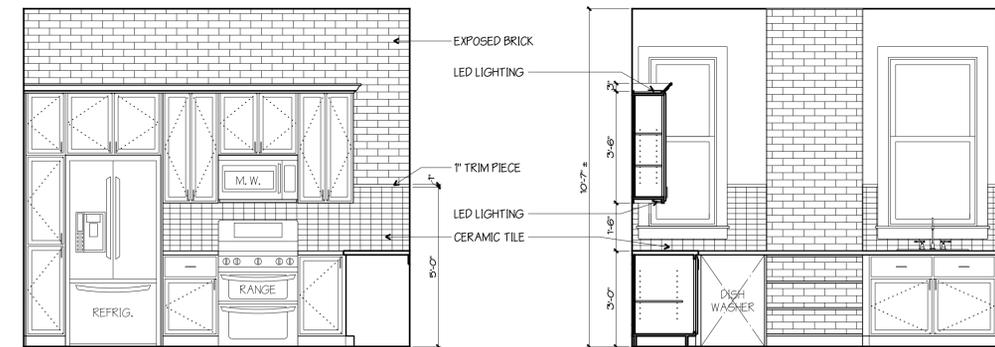
5 BATHROOM ELEVATION
A22 SCALE: 3/8" = 1'-0"



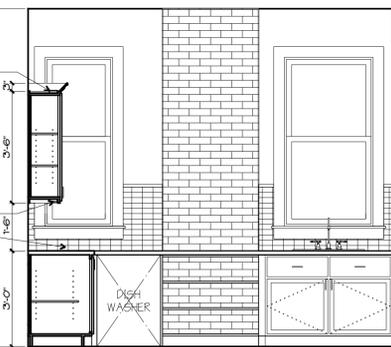
4 ISLAND ELEVATION
A22 SCALE: 3/8" = 1'-0"



3 ISLAND ELEVATION
A22 SCALE: 3/8" = 1'-0"



2 KITCHEN ELEVATION
A22 SCALE: 3/8" = 1'-0"



1 KITCHEN ELEVATION
A22 SCALE: 3/8" = 1'-0"

GENERAL DEMOLITION NOTES:

- 1) ALL INTERIOR WOOD TRIM IS TO BE REMOVED AND STRIPPED FOR RE-USE AND RE-FINISHING.
- 2) ALL EXISTING PLASTER AND WOOD LATHE ON WALLS AND CEILINGS IS TO BE REMOVED. THE PLASTER ON THE WEST EXTERIOR WALL IS TO REMAIN IN PLACE.
- 3) EXISTING POCKET DOORS ON THE FIRST FLOOR ARE TO BE REMOVED FOR REFINISHING AND REINSTALLATION.
- 4) ALL OTHER INTERIOR DOORS ARE TO BE REMOVED AND STORED FOR POSSIBLE RE-USE.
- 5) STAIRS: ALL LOOSE STAIR PARTS ARE TO BE REMOVED FOR POSSIBLE RE-USE. ALL MISSING AND NON-USABLE PARTS ARE TO BE REPLACED TO MATCH.

EXISTING / DEMOLITION PLANS

For Construction Set
Approved:

Signature: _____ Date: _____



1310 WEST NORTH AVENUE
SINGLE FAMILY HOUSE RENOVATION

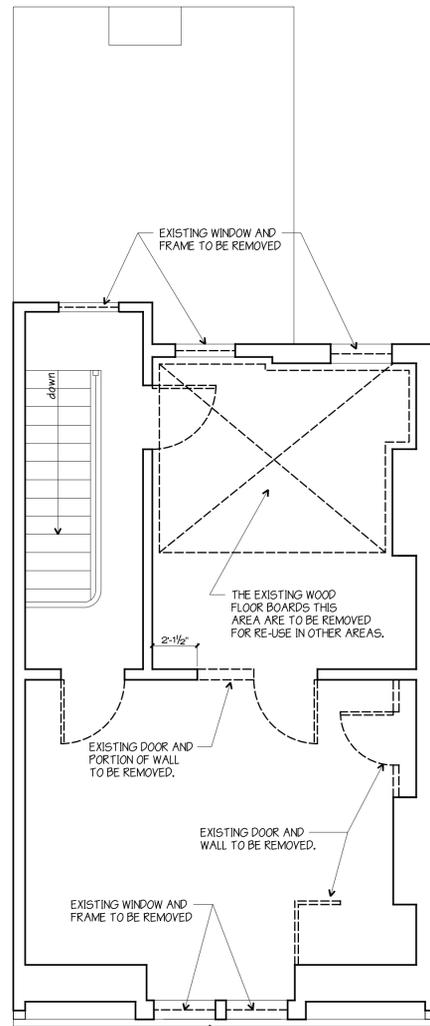
KSBA Architects
3044 Bay Street, Ft. Lauderdale, FL 33301
412-282-1500

KSBA
Architects • Planners • Interior Designers • Project Managers

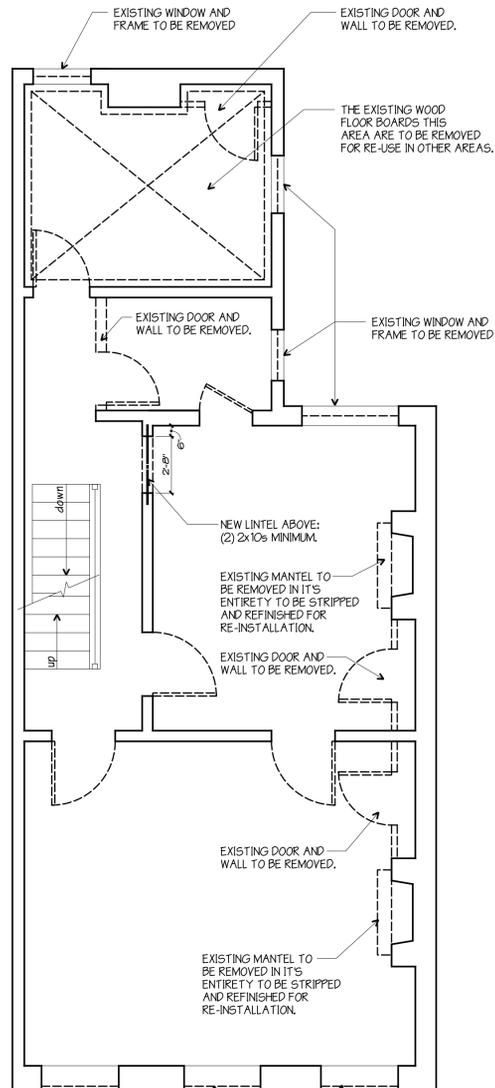
Revisions:
Progress Set: 30 DEC 2014
Permit Set: 09 JAN 2015

Date: 09 JAN 2014 Drawing Number
Project#: 75233
Scale: 1/4" = 1'-0"
Drawn By: DLB/MM

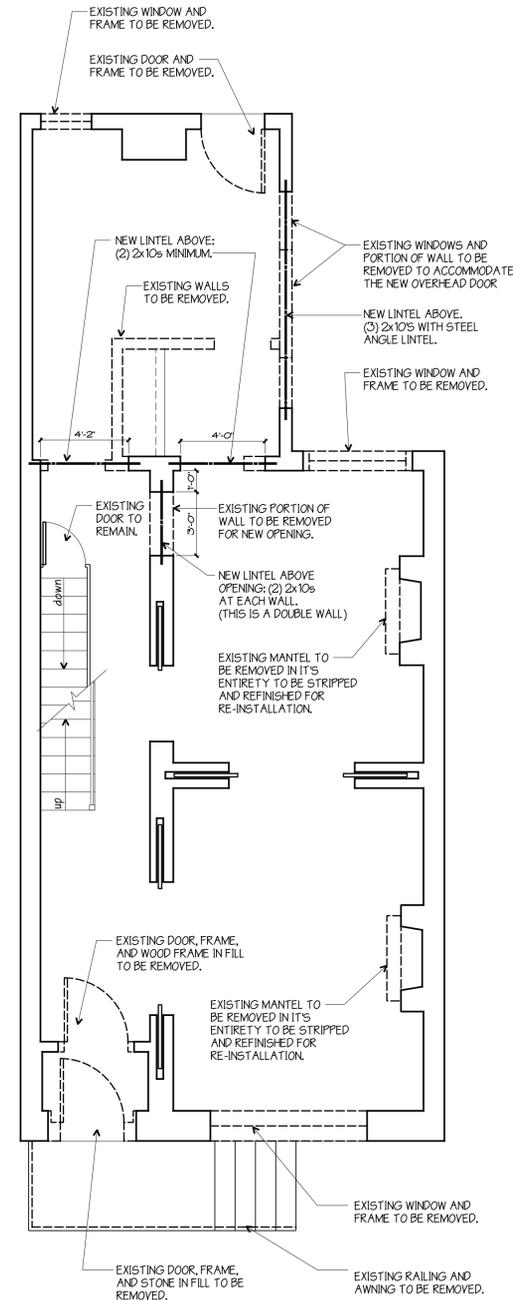
D11



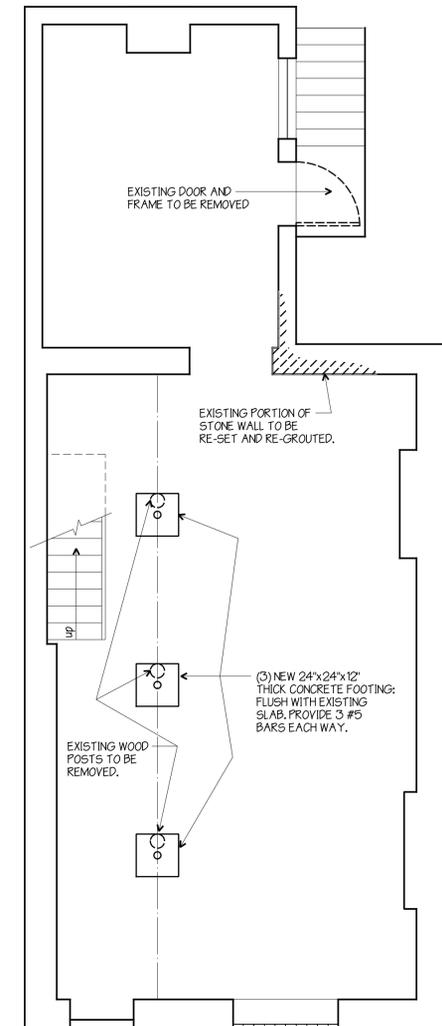
4 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



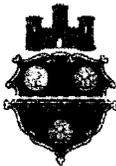
3 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 10 Dec 2014

LOT AND BLOCK NUMBER: 1-D-128

WARD: 1

FEE PAID: yes

DISTRICT: Market Sq.

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

24 MARKET SQ.
Pittsburgh, PA 15222

OWNER:

NAME: NADPAW INC
 ADDRESS: 2930 PENN AVE
PITTSBURGH, PA 15222
 PHONE: 412 476 9100
 EMAIL: jerkylink2@gmail.com

APPLICANT:

NAME: SIPTEPS ARCHITECTS LLC
 ADDRESS: P.O. BOX 332
NORTH LIMA, OHIO 44452
 PHONE: 724.544.8160
 EMAIL: ddsarch@yahoo.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

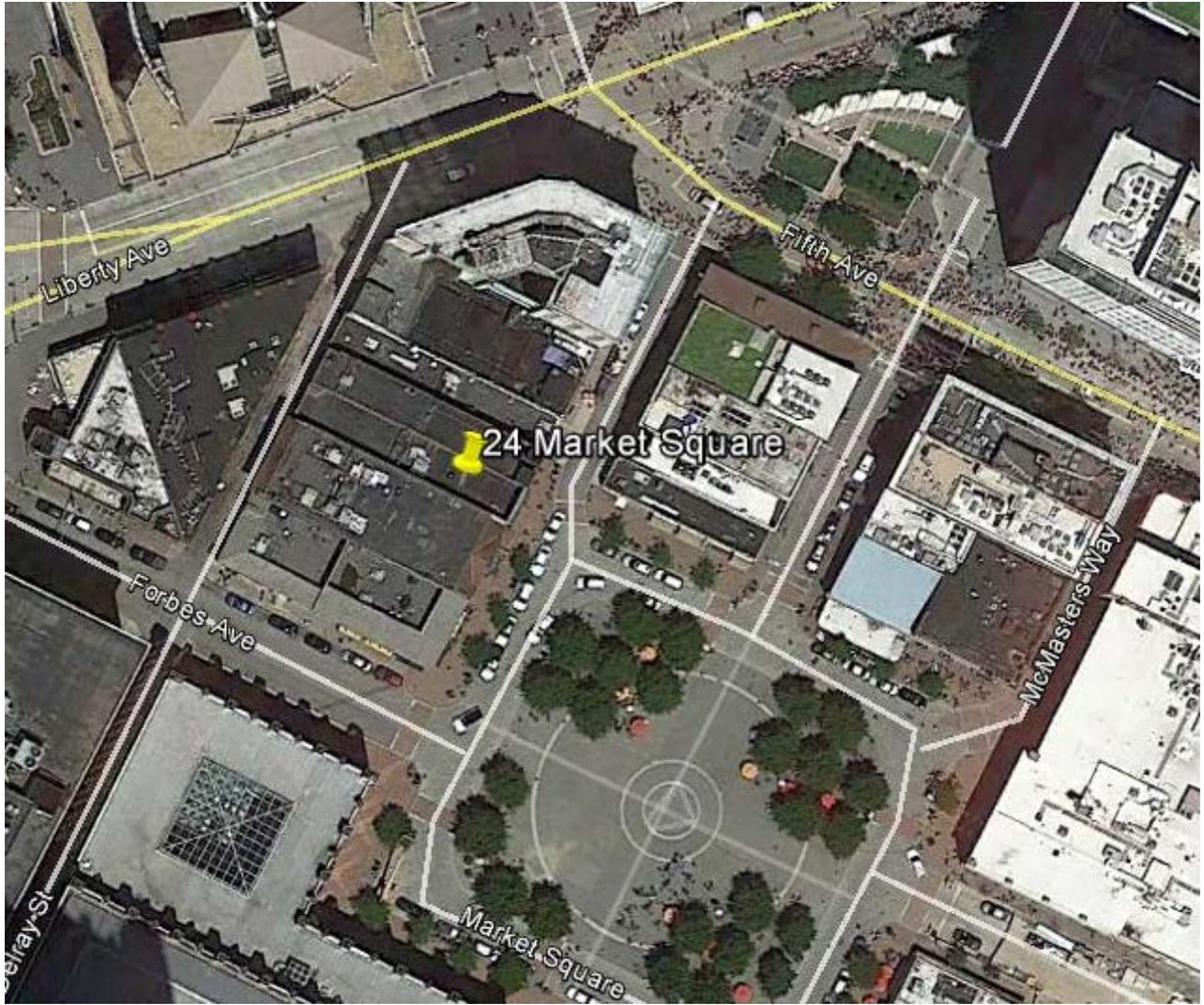
DETAILED DESCRIPTION OF PROPOSED PROJECT:

EXTERIOR LOWERED STEEL FRAMED CANOPY
ADDITION OVER SIDEWALK

SIGNATURES:

OWNER: [Signature] DATE: _____

APPLICANT: [Signature] A.T.G. DATE: 10/Dec/14





412 401 6211
MASSAGE



NEPA
ON THE SOUTH

CHOLAS COFFEE CO.
WHOLE BEAN COFFEE, TEA & SPICES

Masa's Coffee Co.
ROASTERS
IMPORTERS
OF BETTER
COFFEES, TEAS & SPICES
23

OSTANNOS

MASSAGE

BAR

DENHAM CO.

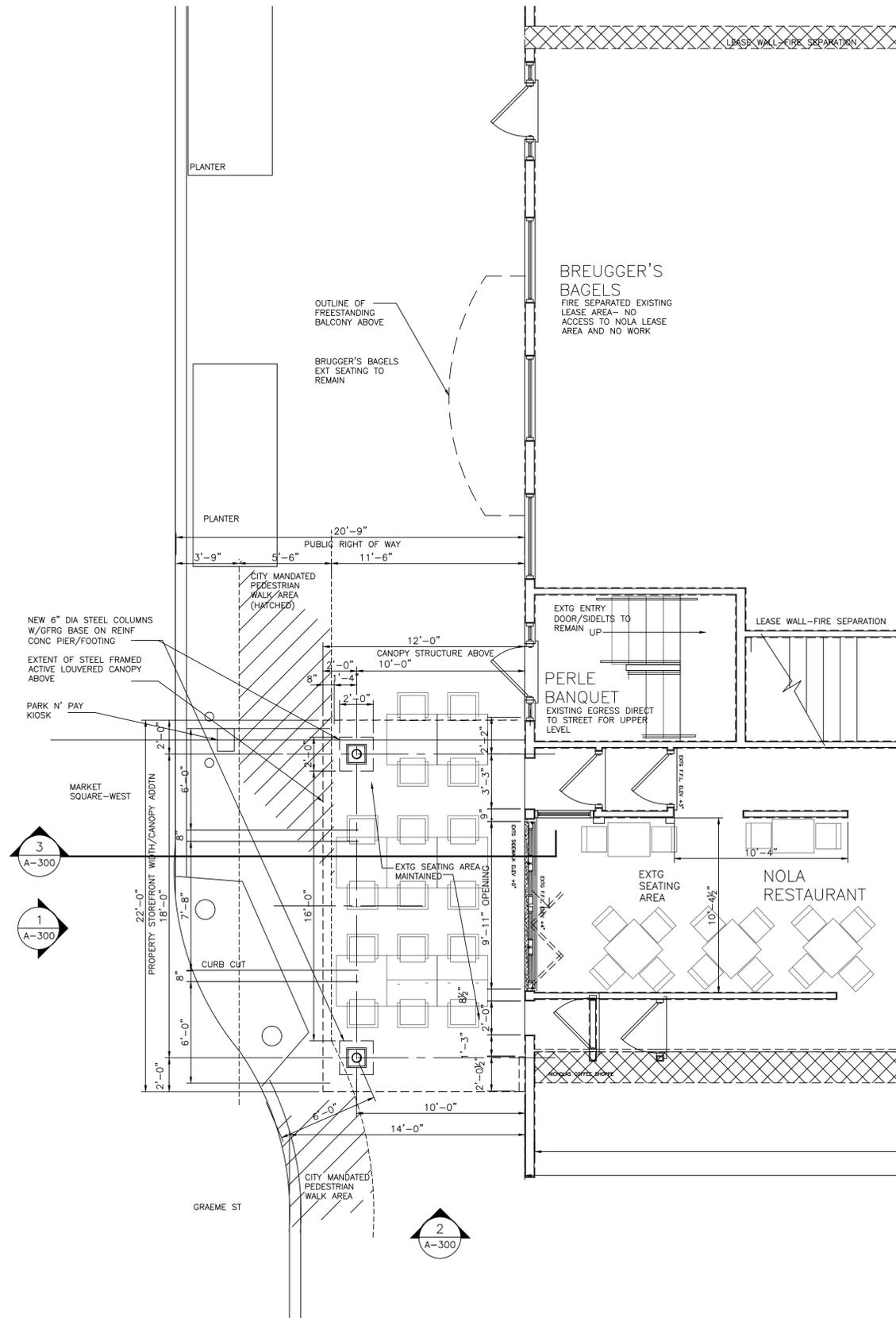


ARCADIA
SUN · SHADE · SHELTER



Perle

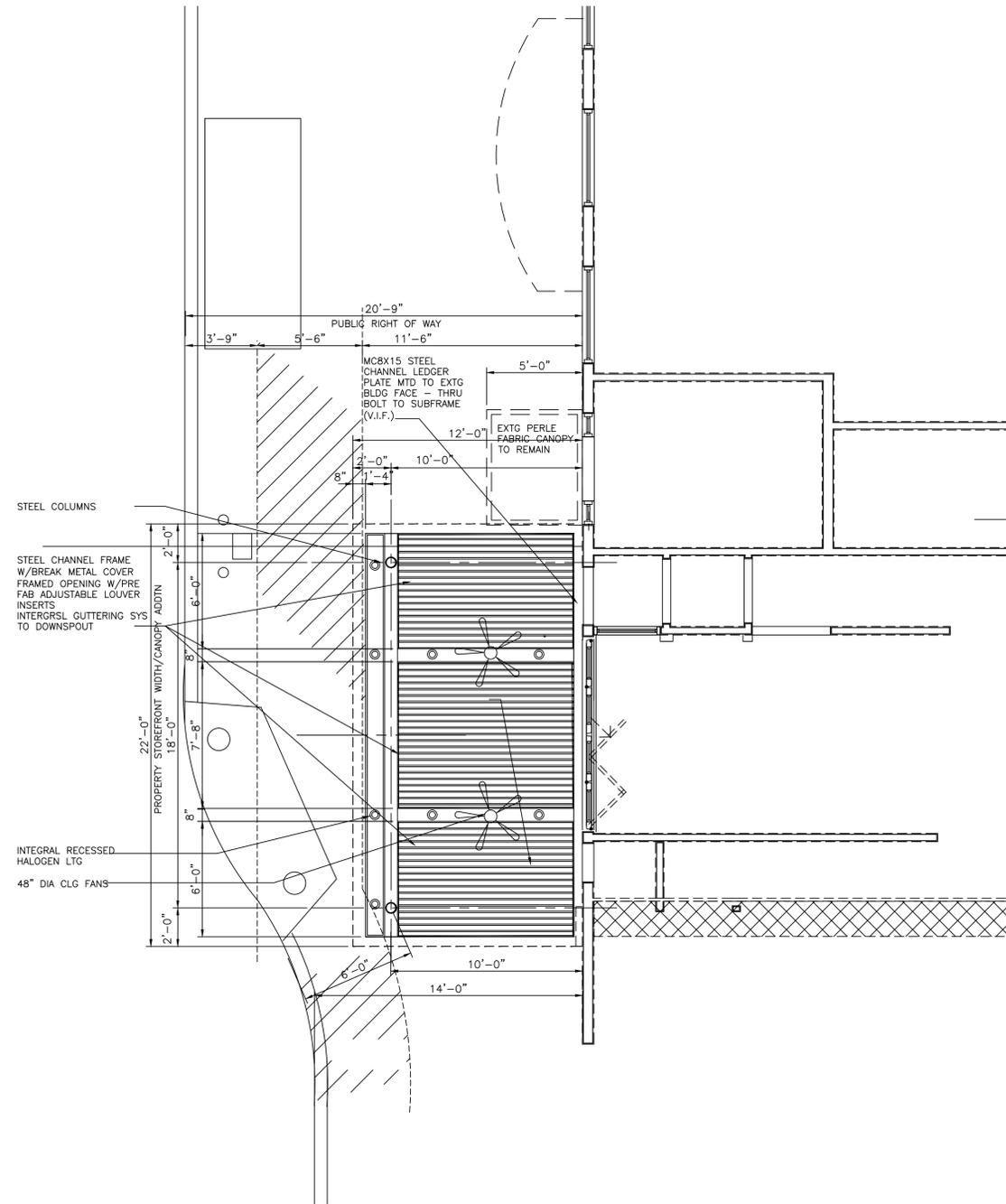
EE CO.



PARTIAL FLOOR PLAN:
SIDEWALK CANOPY AREA

SCALE: 1/4"=1'-0"

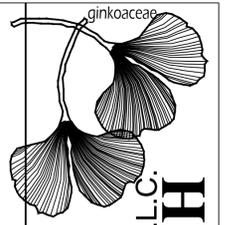
NORTH



CANOPY REFLECTED
CEILING PLAN

SCALE: 1/4"=1'-0"

NORTH



11524 Market Street
North Lima, Ohio 44452
Tel: 330.549.0012
Fax: 330.549.0011

Corporate Center:
Post Office Box 332
Tele: 330.549.0011
Cell (Sipp): 724.544.8160 Cell (Tepe): 330.651.7543

SIPP + TEPE ARCHITECTS, L.L.C.
[S+T] ARCH

Licensed and Registered:
OH., PA., TEXAS, W.VA.

An EXTERIOR SEATING CANOPY for:
NOLA ON THE SQUARE
Restaurant
24 Market Square
Pittsburgh, Pennsylvania 15222
Contact Person: Yves Carreau-BIG Y Group 412 848 3183

PROJECT

SEAL



FIRST FLOOR PLAN

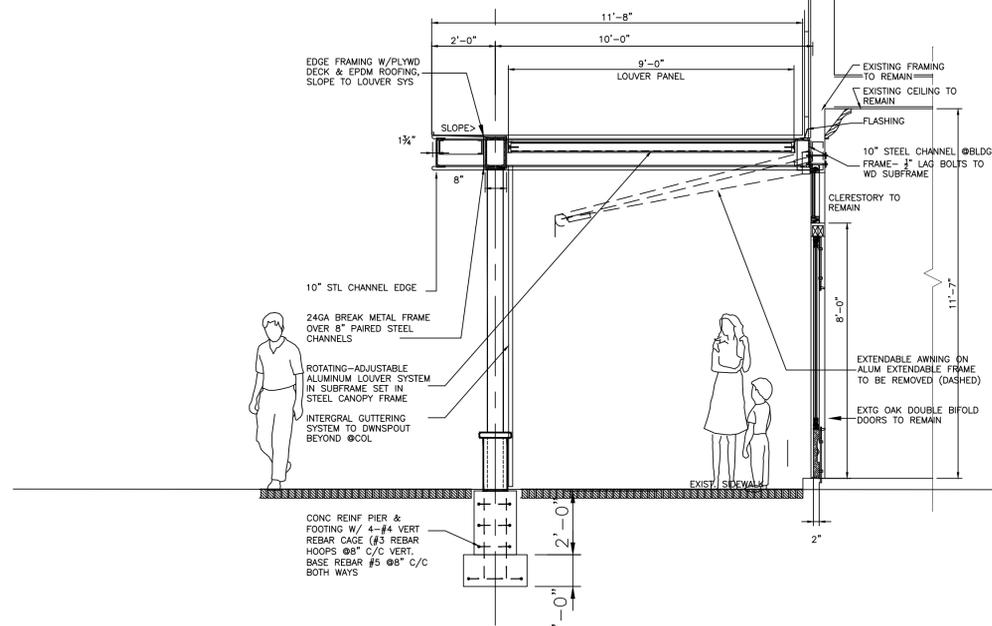
DRAWING TITLE
DRAWING NUMBER

A-200

ESTABLISHED- 1997
COPYRIGHT RESERVED- 2014

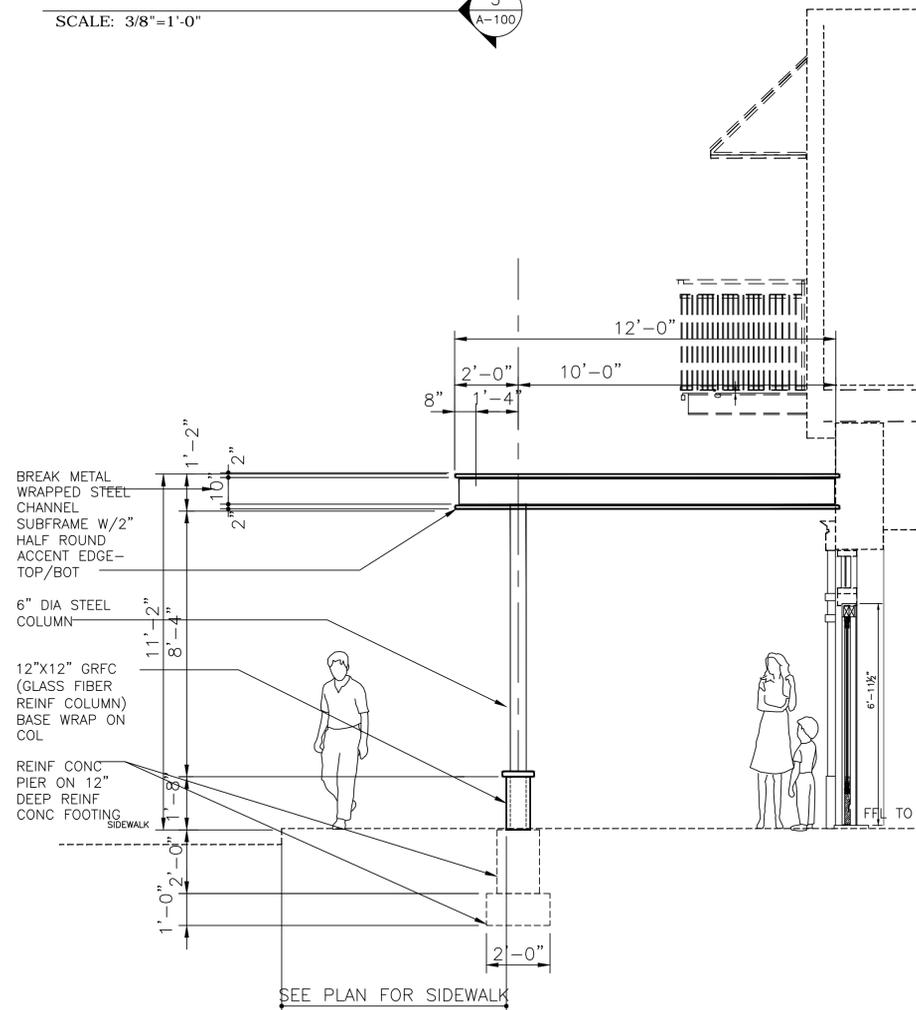
NO.	REVISION	DATE

RELEASE DATE: DEC 12, 2014
DRAWN/CHECKED BY: Douglas Sipp
PROJECT DESIGNATION: 2014-11_A
CADD FILE LOCATION: 2014-11_NOLA_PERLE_FRONT_CANOPY



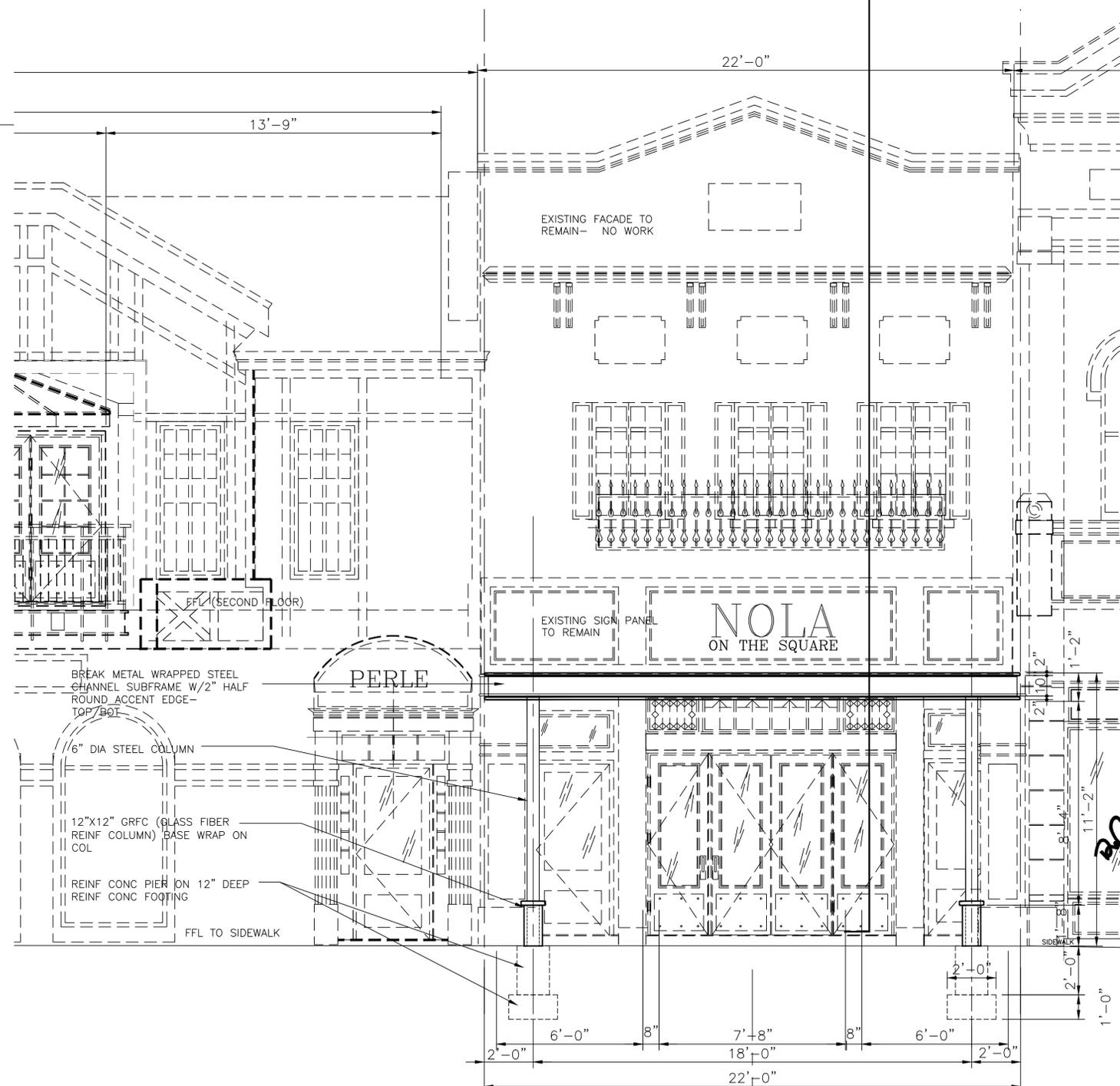
EXTERIOR CANOPY ADDITION SECTION

SCALE: 3/8"=1'-0"



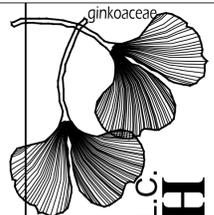
EXTERIOR CANOPY ADDITION SIDE ELEVATION

SCALE: 3/8"=1'-0"



EXTERIOR CANOPY ADDITION FRONT ELEVATION

SCALE: 3/8"=1'-0"



11524 Market Street
North Lima Ohio 44452
Tele: 330.549.0011
Fax: 330.549.0012
Cell (Sipp) : 724.544.8160 Cell (Tepe) :330.651.7543

Corporate Center:
Post Office Box 332
Tele: 330.549.0011
Cell (Sipp) : 724.544.8160 Cell (Tepe) :330.651.7543

SIPP + TEPE ARCHITECTS, L.L.C.
[S+T] ARCH

Licensed and Registered:
OH., PA., TEXAS, W.VA.

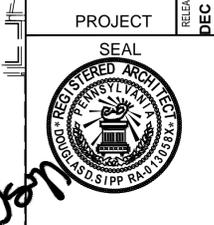
An EXTERIOR SEATING CANOPY for:

NOLA ON THE SQUARE
Restaurant
24 Market Square
Pittsburgh, Pennsylvania 15222
Contact Person: Yves Carreau-BIG Y Group 412 848 3183

DRAWN/CHECKED BY:
YVES CARREAU/SIPP

PROJECT DESIGNATION:
CANOPY FOR NOLA ON THE SQUARE

2014.11_NOLA_PERLE_FRONT_CANOPY_2014-11_A



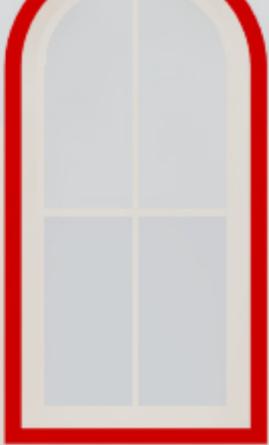
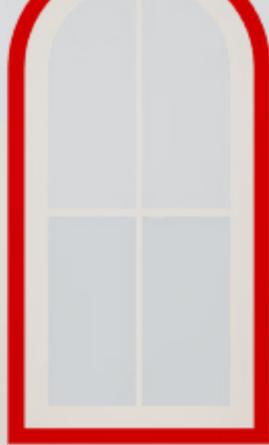
FACADE ELEVATION, SECTION

DRAWING TITLE
DRAWING NUMBER

A-300

ESTABLISHED- 1997
COPYRIGHT RESERVED- 2014

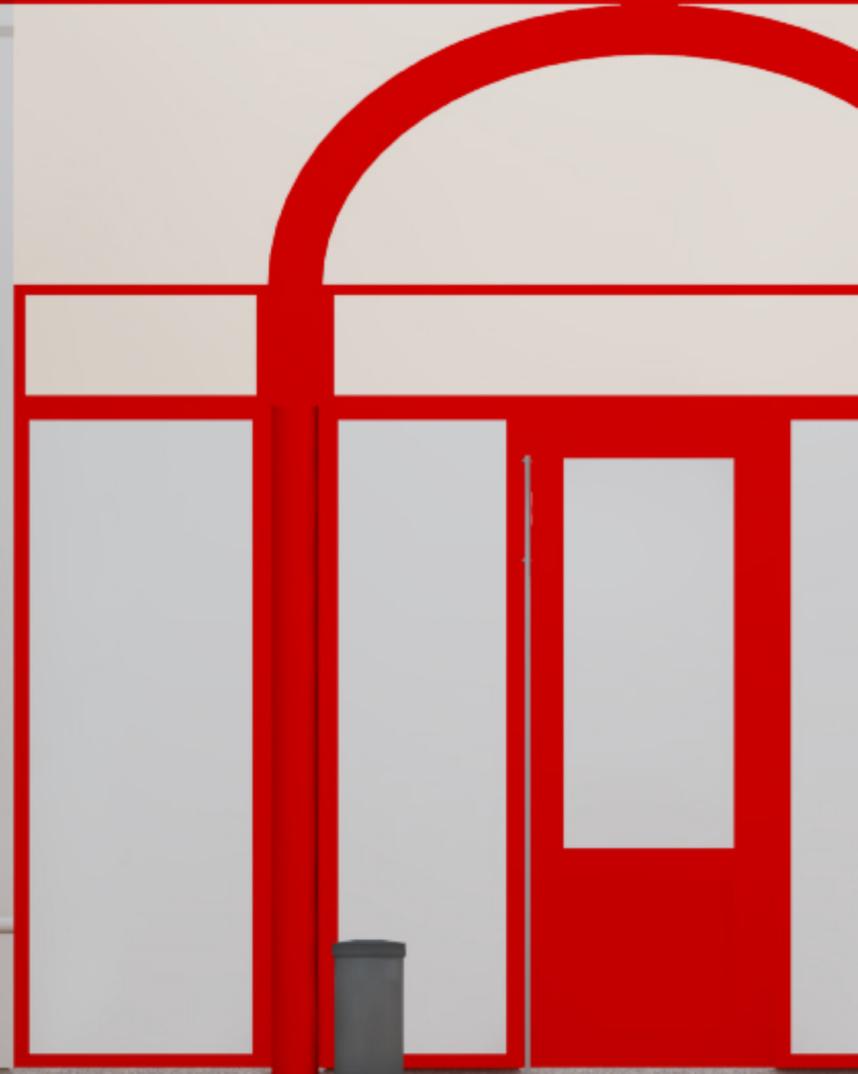
NO.	REVISION	DATE



NICHOLAS COFFEE



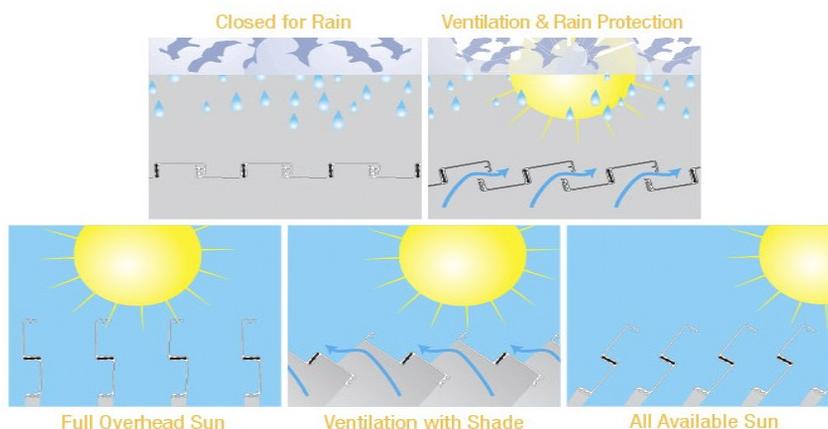
NOLA
ON THE SQUARE



Never again will you have to disrupt a customer's meal to re-position an umbrella just to shield an area from sun, wind or rain.

Never again will you have to take up valuable floor space cluttering up your patio or deck with umbrella poles and bases.

Never again will you have to turn away patio or deck customers because of too much sun, heat, cold, wind or rain.



REASONS TO CHOOSE AN ARCADIA ADJUSTABLE PATIO COVER:

- Made in the USA
- Waterproof when closed
- Built in, integrated gutter system
- Low maintenance and easy to clean
- Extremely strong - completely rustproof - stays up year round
- Constructed of 100% recycled, extruded, powder coated aluminum
- Units can be freestanding or attached to an existing structure
- Designed, engineered and tested to withstand 140+ mph winds
- You control the amount of light, shade and protection from the elements
- Reduces the temperature on your patio or deck by as much as 20 degrees
- Units can be customized to include: fans, heaters, lighting, pergola end cuts, wood wrapping, solar shades, custom brick and stone columns, enclosed sides and more.

Maximizing the use of your outdoor space could dramatically increase the gross revenue and net profit of your business!

Having a nice patio or deck is wonderful, however, if it can only be used 40-50% of the time due to the sun, heat, cold, wind or rain then now is the time for you to consider an Arcadia Adjustable Patio Cover.

Contact us today at [724-816-2325](tel:724-816-2325) for your free consultation and cost estimate.



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1200 Resaca Pl
Pgh, Pa 15212

OWNER:

NAME: Glenn Olcerst
 ADDRESS: 1200 Resaca Pl

PHONE: 412 999-2539

EMAIL: Olcerst@marcus-shapiro.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

As part of the larger community art project,
 Retaining 2 Rivers of words words on the front & rear of property installed in
 metal joint & wood respectively - causing no irreversible damage, without obscuring any historic
 detail, that are compatible with the character of the district in terms of size, scale, material
 & color. Artwork conforms to the Community Master Plan.

OWNER: [Signature]

DATE: 12/14/14 Implement HRC
 guidelines
 for Art &
 a separate
 fee schedule
 for art & Artists.

APPLICANT: [Signature]

DATE: 12/14/14

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT: _____

APPLICANT:

NAME: same

ADDRESS: _____

PHONE: _____

EMAIL: _____





ALLEGHENY CITY CENTRAL ASSOCIATION

P.O. Box 6255
Pittsburgh, PA 15212-0255
(412) 465-0192
info@accapgh.org
www.accapgh.org

JANUARY 11, 2014

Ms. SARAH QUINN
HISTORIC REVIEW COMMISSION
200 ROSS ST.
PITTSBURGH PA 15219

DEAR Ms. QUINN AND COMMISSIONERS:

THE BOARD OF THE ALLEGHENY CITY CENTRAL ASSOCIATION HAS UNANIMOUSLY VOTED TO PROVIDE THIS LETTER OF SUPPORT ON BEHALF OF ALL RESIDENTS CHOOSING TO CONTINUE TO HOST THE "RIVER OF WORDS" ART INSTALLATION WHICH EXISTS AROUND, AND FLOWS THROUGH, THE MEXICAN WAR STREETS HISTORIC DISTRICT.

PUBLIC ART IS RECOGNIZED IN OUR COMMUNITY MASTER PLAN AS BEING A TOOL FOR PROMOTING COMMUNITY DESIGN, INTEGRATION, DIVERSITY, AND NEIGHBORHOOD IMPROVEMENT. THE MASTER PLAN SPECIFICALLY RECOMMENDS SUPPORT FOR INTEGRATING ART INTO THE STREETSAPES – FOLLOWING THE INSPIRATION ALREADY PROVIDED BY THE CITY OF ASYLUM ON SAMPSONIA WAY. TO DATE, THE "RIVER OF WORDS" INSTALLATION IS THE BEST EXAMPLE OF PUBLIC ART THAT HAS BEEN EXECUTED AND EMBRACED BY THE WHOLE NORTHSIDE COMMUNITY.

THE ALLEGHENY CITY CENTRAL NEIGHBORHOOD IS A NEIGHBORHOOD WHOSE IDENTITY IS LINKED BOTH TO ITS HISTORIC AND ITS ARTISTIC CHARACTER. AS RESULT, THIS ORGANIZATION ENCOURAGES THE HRC TO USE MR. OLCERST'S APPLICATION AS AN OPPORTUNITY TO IMPLEMENT A UNIFORM COMMUNITY DESIGN STANDARD FOR THE "WORDS," AND FOR ART GENERALLY – AS WELL AS FORMULATING A SEPARATE LOWER FEE SCHEDULE APPLICABLE TO ART AND ARTISTS.

SHOULD YOU HAVE ANY QUESTIONS REGARDING THIS LETTER OF SUPPORT, PLEASE DO NOT HESITATE TO CONTACT ME.

SINCERELY,

ANDREW WICKESBERG
PRESIDENT
ALLEGHENY CITY CENTRAL ASSOCIATION

CC: GLENN OLCERST, TOM HARDY

ALLEGHENYSM
CENTRAL

ALL TOGETHER. DIFFERENT.

poem





POEM

ΣΥΝΑΦΙΣ



ART
IN THE
ALLEY

Synopsis





NO PARKING
IN THIS STREET
EXCEPT FOR
LOADING AND UNLOADING

ART
IN THE
ALLEY

Synopsis



←

P
NO PARKING
ANY TIME

ART
IN THE
ALLEY

Filson St

Eloise St



1234

DE PROFUNDIS

You the passer by, you who love me
let the others admire the castles
and listen to me:

My fate has been marked by a ravine singer
and the trembling in my foliage, it's a song,
the deep voice of life.

For you a sweet memory
but I, a tiny tree,
I need it for faith, to grow taller and taller
and stare beyond these walls.

Fotis Varelis



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 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
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DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

150 Oakland Square
Pittsburgh PA 15213

OWNER:

NAME: MAO Realty I, LLC
 ADDRESS: 1168 Tranter ave
Pittsburgh PA 15220
 PHONE: 412-600-7189
 EMAIL: michaela.orlando@hotmail.com

STAFF USE ONLY:

DATE RECEIVED: 1/15/15
 LOT AND BLOCK NUMBER: 28-M-133
 WARD: 4th
 FEE PAID: 240

DISTRICT:

4th Ward

APPLICANT:

NAME: Michael Orlando
 ADDRESS: Same
 PHONE: _____
 EMAIL: _____

REQUIRED ATTACHMENTS:

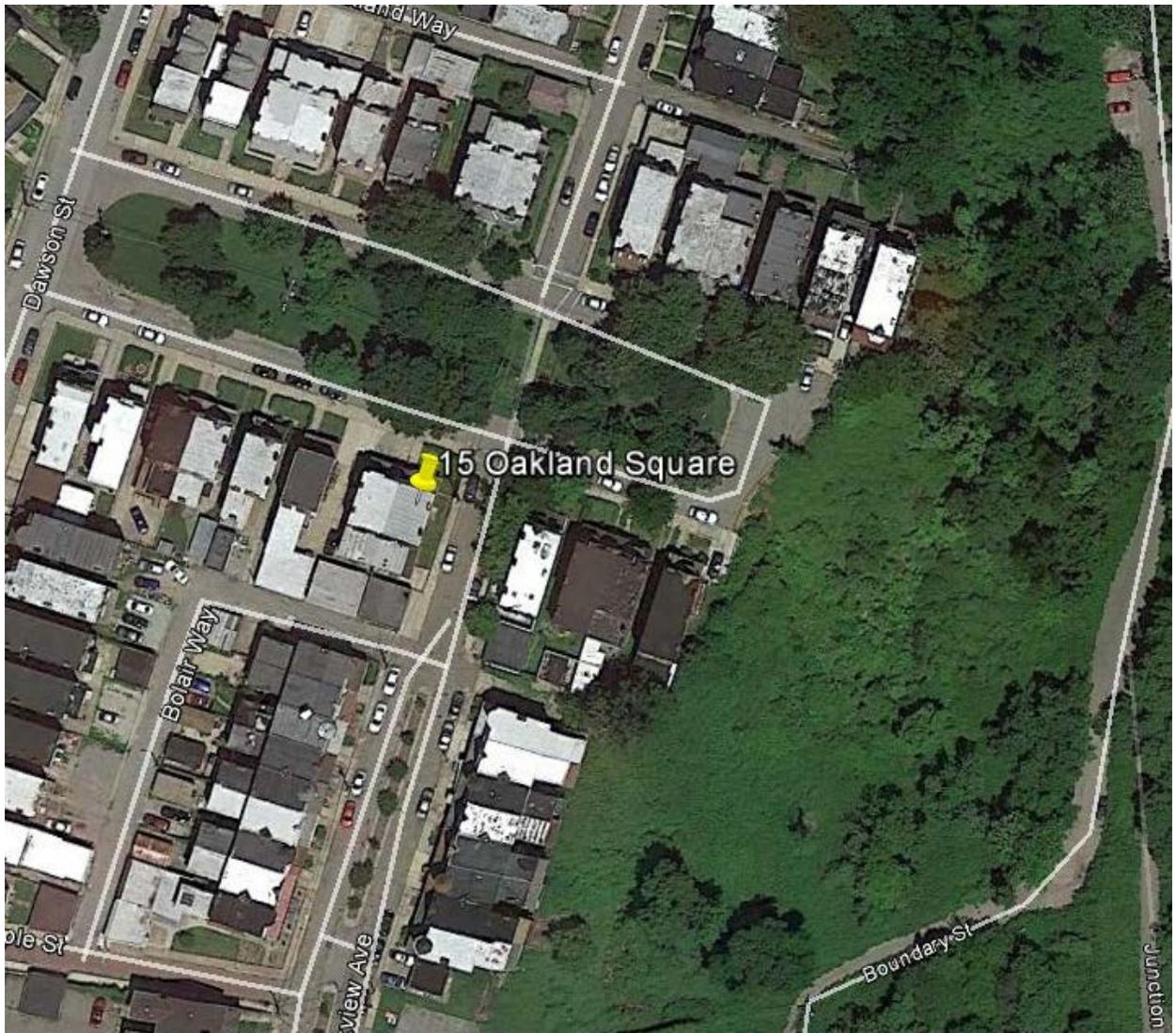
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

installation
Exterior railing + front window replacement

SIGNATURES:

OWNER: [Signature] member DATE: 01/09/15
 APPLICANT: Mike Orlando DATE: 01/09/15





15





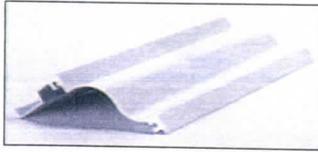
15





OPTIONS

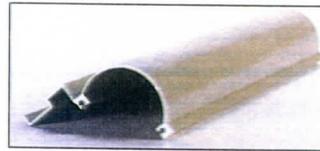
Brickmoulds and Panning Systems*



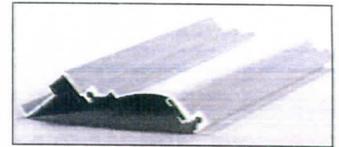
Meridian



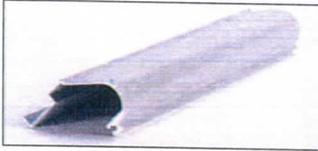
Kensington



Lexington



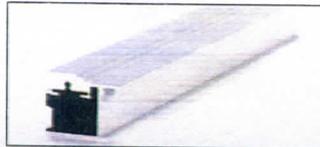
Cambridge



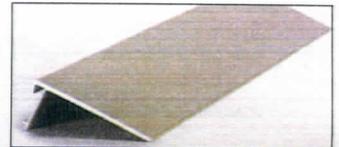
Richmond



Huntingdon

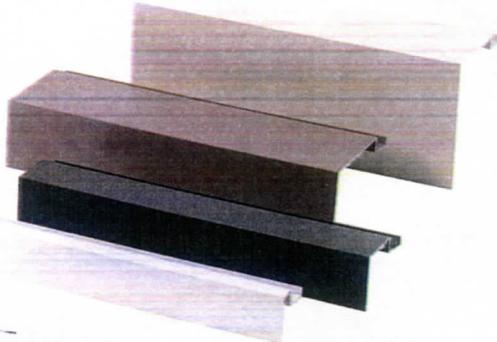


WP 908



Arlington

Historic Sills*



Spread Mullions*



4 1/2" Beaded



6" Fluted

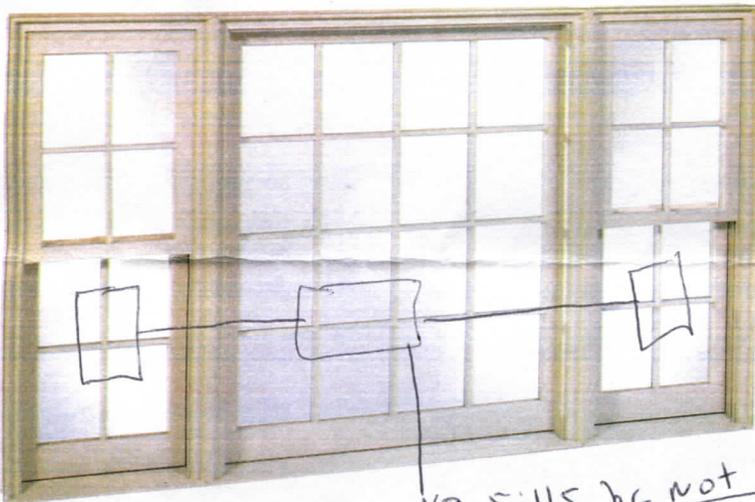


6" Flat



4 1/2" Flat

**Panning, historic sills and spread mullions for use with DR3 and C4000 only*

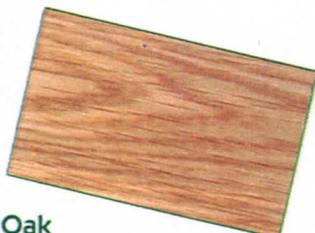


Interior Wood Species

the same as windows on Oakland Sq

All wood components are milled to precision and treated with a wood preservative and can be painted or stained to match your existing woodwork and room décor.

Pine also available factory primed or pre-finished.



Oak



Cherry



12

Mahogany



Pine (Standard)

Lux Ornamental Iron Works, Inc.

1815 S. 18TH STREET AT JOSEPHINE
PITTSBURGH, PENNA. 15203

PHONE 481-5677

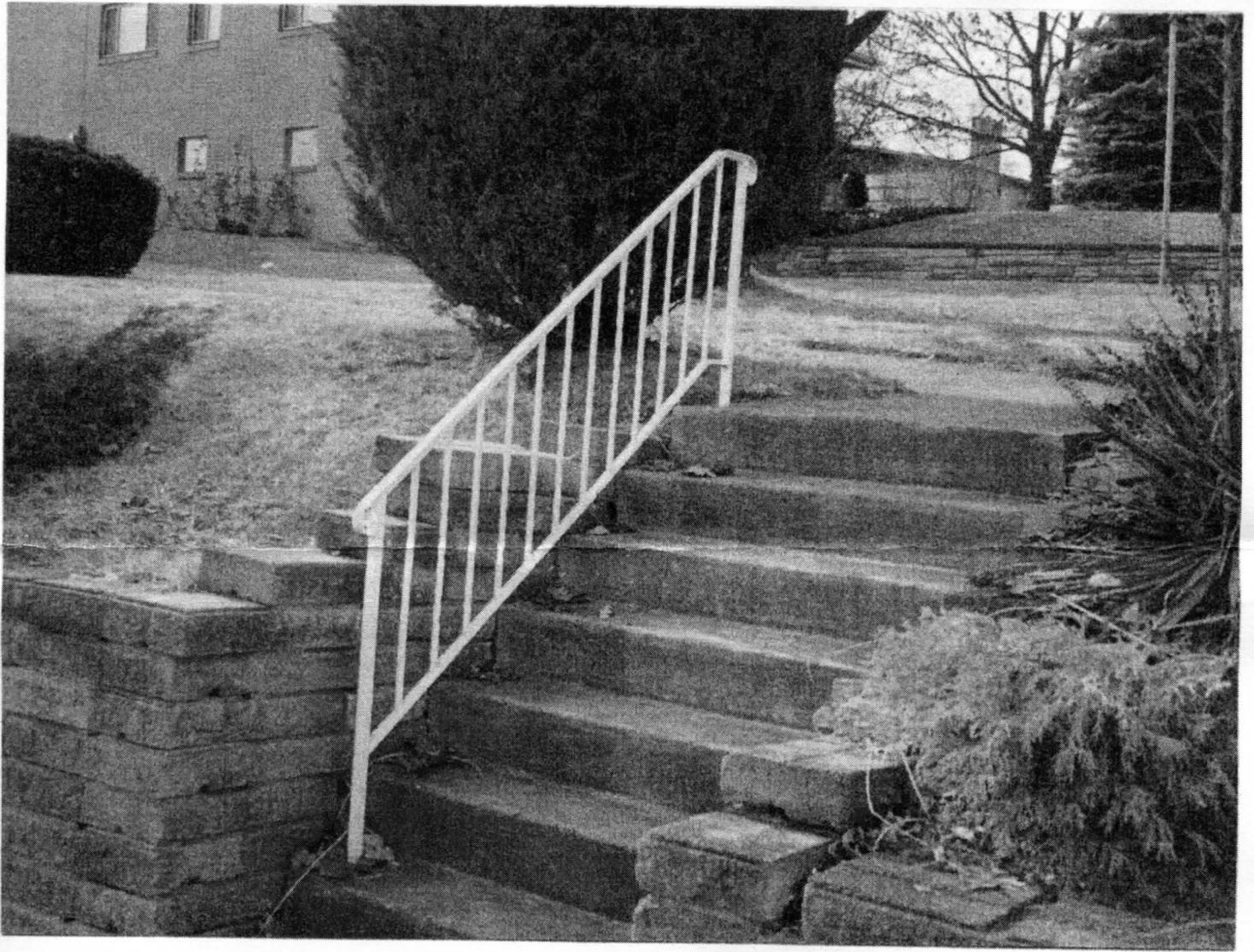
November 21, 2014

Mr. Michael Orlando

Re: 15 Oakland Square

LUX ORNAMENTAL IRON WORKS, INC. proposes to fabricate and install 36" high picket railing for back porch and both sides of back porch steps. Railing to be steel with alternating twist and straight pickets and one coat of black primer paint. Same type of railing will apply to front steps if necessary. Maximum spacing for pickets to be no more than 4".

Robert Riccardi
President





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

STATE USE ONLY

DATE RECEIVED: 12-12-14

LOT AND BLOCK NUMBER: 28-5-102

WARD: 4th

FEE PAID: yes

ADDRESS OF PROPERTY:

3423 Parkview Ave.
Pittsburgh, PA 15213

DISTRICT:

Oakland Square Hist. Dist.

OWNER:

NAME: Theodora M. DeNiro

ADDRESS: 6303 Archer Ranch Lane
Rosenberg, TX 77413

PHONE: 281 762 8946

APPLICANT:

NAME: NIKO CONTRACTING CO. LLC

ADDRESS: 3434 PARKVIEW AVE
PITTSBURGH, PA 15213

PHONE: 412-687-1517

EMAIL: Theodoraden@yahoo.com EMAIL: niko@nikocontracting.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

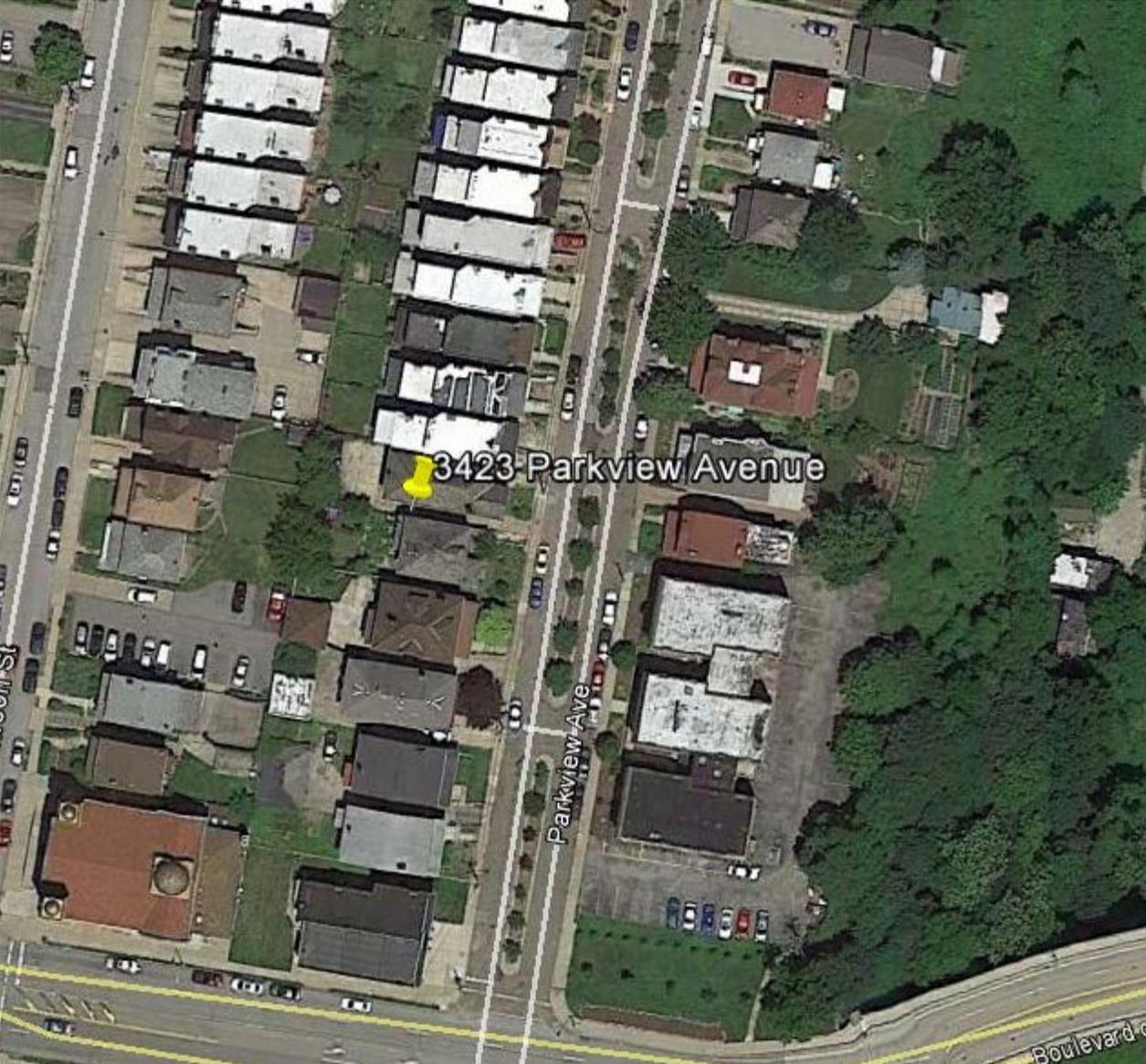
DETAILED DESCRIPTION OF PROPOSED PROJECT:

REMOVE EXISTING SLATE ROOFING, INSTALL NEW UNDERLAYMENT
& DARK GRAY SHINGLE ROOF. - SEE ATTACHED CONTRACT.
SHINGLE COLOR PEWTER GRAY, GAF TIMBERLINE

SIGNATURES:

OWNER: Theodora M. DeNiro DATE: 12/1/14

APPLICANT: [Signature] DATE: 12/1/14





11/24/2014 16:15

11/24/2014 16:15



11/24/2014 16:16



3431

431



3434 Parkview Avenue
Pittsburgh, PA 15213
Phone (412) 687-1517
Fax (412) 687-7969

September 19, 2014

Ms. Theodora DeNino
6306 Archer Ranch Lane
Rosenberg, TX 77471

VIA: theodoraden@yahoo.com & Mail
RE: Roof Replacement at
3423-25 Parkview Ave, Pgh, PA
NIKO Quote # Q2014-0169-DENI

Dear Theodora,

We are pleased to quote on replacing the roof for the above referenced project as follows:

- 1) The roof area included is approximately 1,950 SF.
- 2) Rig the roof with OSHA approved fall protection.
- 3) Remove the existing slate roofing including underlayments and flashings, down to the wood deck and dispose of at an approved landfill.
- 4) Repair any rotten wood decking at an additional cost to that quoted below.
- 5) The existing aluminum gutters will be rehung using new roof hangers. They are currently improperly installed with the hangers nailed thru the slates. The section at the north eave will be replaced due to its poor condition.
- 6) At all eaves, valleys and flashing areas prime deck and install a 3' wide strip of ice & watershed.
- 7) Install two plies of 30 # felt underlayment on the entire roof.
- 8) Install aluminum drip edge at all eaves and rakes.
- 9) Install new GAF Dimensional Laminated Shingles, in your choice of colors, on the entire roof.
- 10) Install new valleys, flashings and counter flashings from .032" prefinished aluminum.
- 11) Caulk all reglets with urethane sealant.
- 12) All additional work shall be done on a time and material basis at the following rates:
 - a) Labor: \$63.90/hour
 - b) Materials, supplies and equipment at cost plus 10% overhead plus 10% profit.
- 13) We exclude the following items:
 - a) Local permits and fees. If you wish us to provide these it will be at an additional cost to that quoted below.
 - b) Engineering
- 14) All work shall be done as described herein and per SMACNA's Architectural Sheet Metal Design Guide and the NRCA Roofing and Waterproofing Manual.
- 15) We shall provide all labor, supervision, taxes, insurances, materials, supplies and equipment necessary to perform our scope of work.

- 16) We shall require a staging area in or near the building so that we may stock materials and site a small sheet metal shop and other equipment necessary to perform our scope of work.
- 17) We shall require access to electricity and water.
- 18) Shop drawings are included.
- 19) Our five year warranty on labor and materials is included, along with GAF's Lifetime Shingle Warranty.
- 20) Our quote is based on monthly progress billings, due upon receipt.
- 21) Price quoted below is firm for 30 days. If this proposal is not accepted within 30 days of the date of issuance it becomes void and is withdrawn.
- 22) PRICE: \$21,837.00

I'd like to take this opportunity to tell you a little about our company. NIKO Contracting Co., Inc. works on historic restoration and renovation projects throughout the United States. We specialize in projects where roofing and architectural sheet metal work including pressed metal ceilings comprise the majority of the work, but where often extensive, structural carpentry, steel repair, masonry repair, siding work, painting, cleaning and other associated work is needed. Over 90% of the work is done by NIKO's in house craftsmen, which enables us to exercise strict control over quality and scheduling. We also provide these services on commercial, institutional and industrial projects not related to historic restoration. Enclosed is some literature about NIKO Contracting Co., Inc.

In addition, NIKO Contracting does custom fabrication of *all types* of architectural sheet metal and ornamentation (including cornices, crestings, finials, cupolas, crosses, domes, ornaments, pressed metal ceilings....). We can duplicate existing pieces or fabricate to original designs.

Thank you for this opportunity to quote on your roofing needs. Should you have any questions or need additional information please do not hesitate to call.

Sincerely,

Nicholas D. Lardas, President
NIKO Contracting Co., Inc.
PA HIC Registration # PA055324

NDL:zl
Attch.
Encl.

Accepted By: _____ Date: _____

Print Name: _____ Title: _____

Ms. Theodora DeNino

09/19/14

Page 3



Timberline[®] High Definition[®] Brochure

Updated: 3/13



*Quality You Can Trust...From
North America's Largest Roofing Manufacturer!™*



Quality You Can
Trust... From
North America's
Largest Roofing
Manufacturer!™

TIMBERLINE®

LIFETIME HIGH DEFINITION® SHINGLES

AMERICA'S #1-SELLING ROOF

gaf.com

Made to protect
your home. Your story.
And those of over **50 million**
of your fellow Americans!



Install Peace Of Mind.



Weathered Wood

Install To Protect.

When you install GAF Timberline® High Definition® Shingles with **Advanced Protection®** Technology, you're getting the very best combination of weight and performance that modern manufacturing technology can deliver. In fact, you won't find a shingle that surpasses Timberline® on:

- ✓ Toughness
- ✓ Granule adhesion
- ✓ Wind uplift resistance
- ✓ Flexibility
- ✓ Fire resistance



That's why every Timberline® Shingle comes with GAF's transferable Lifetime Ltd. Warranty*—for your peace of mind!—plus the backing of the Good Housekeeping Seal**.



Install To Invest.

Your roof can represent 40% or more of your home's "curb appeal." Timberline® High Definition® Shingles not only protect your most valuable asset but also beautify your home for years to come—and add to its resale value.

In fact, an independent research firm surveyed homeowners about the brand of architectural shingles they preferred. The result: **more homeowners preferred the look of Timberline® High Definition® Shingles** to the other leading brands. So why settle for anything less than a genuine Timberline® roof?

Here's What Professional Realtors And Female Homeowners Have To Say...



Based on a 2012 study with the National Association of REALTORS®, 99% of REALTORS® surveyed stated that a new roof makes a home **easier to sell** and contributes to the overall **appeal** of a home.



GAF recently received the Women's Choice Award for being the brand that is a "gold standard when it comes to meeting **high standards of quality and service,**" as rated by female homeowners.

Install To Impress.

Timberline® High Definition® Shingles are unlike any others, thanks to our patented High Definition® shadow bands (U.S. Patent No. 5,666,776). Each shadow band is applied using a sophisticated, computer-controlled "feathering" technique. When combined with our randomly blended top layer, it results in a shingle with exceptional depth and dimension—and a striking look unmatched by any other brand.

But don't just take our word for it. See for yourself. When you compare Timberline® High Definition® Shingles to typical architectural shingles, it's easy to see why they'll look sharper and more beautiful on your roof—while enhancing the resale value of your home.

See the difference...



Another Major Brand



Timberline® High Definition® Shingles

The color blends on Timberline® High Definition® Shingles are sharp and well defined—to give your roof maximum dimensionality and depth. Color shown: Hickory



2013



* See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" means as long as the original individual owner(s) of a single family detached residence [or the second owner(s) in certain circumstances] owns the property where the shingles are installed. For owners/structures not meeting above criteria, Lifetime coverage is not applicable.

**GAF Shingles have earned the prestigious Good Housekeeping Seal, which means that Good Housekeeping stands behind these products. (Refer to Good Housekeeping Magazine for its consumer protection policy.)

Find Your Timberline®

There's A Timberline® Shingle To Fit Your Taste And Your Budget.



Timberline® High Definition® Shingles Provide These Unique Benefits

- **Beautiful Look...** Features GAF's patented "High Definition" color blends and enhanced shadow effect for a genuine wood-shake look.
- **Safer...** Class A fire rating from Underwriters Laboratories, the highest rating possible.
- **High Performance...** Designed with Advanced Protection® Technology, which minimizes the use of natural resources while providing superior protection for your home (visit www.gaf.com/aps to learn more).
- **Stays In Place...** Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph.¹
- **Peace Of Mind...** Lifetime Ltd. transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years.²
- **Perfect Finishing Touch...** Use Timbertex® Premium Ridge Cap Shingles (in the West, use Ridglass® Premium Ridge Cap Shingles).

¹ This wind speed coverage requires special installation; see *GAF Shingle & Accessory Ltd. Warranty* for details.

² See *GAF Shingle & Accessory Ltd. Warranty* for complete coverage and restrictions. The word "Lifetime" means as long as the original individual owner(s) of a single family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles and accessories are installed. For owners/structures not meeting above criteria, Lifetime coverage is not applicable. Lifetime Ltd. warranty on accessories requires the use of at least three qualifying GAF accessories and the use of Lifetime Shingles.

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

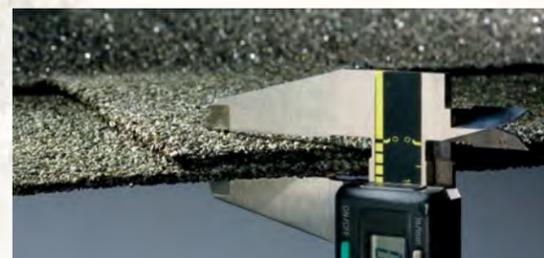
Looking for an ultra-dimensional wood-shake look?

For just pennies-a-day more, you can enjoy **Timberline® Ultra HD™** Shingles!

Timberline® Ultra HD™ Shingles will cost you just pennies-a-day more than standard architectural shingles. In return, you can enjoy the thickest, most ultra-dimensional wood-shake look for your roof.

Thanks to extra-thick layers combined with our patented High Definition® blends, Timberline® Ultra HD™ Shingles offer a natural beauty and incredible thickness that you'll notice and appreciate.

(Not to mention how much they'll increase the resale value of your home!)



Extra-thick layers make Timberline® Ultra HD™ Shingles up to 53% thicker than standard architectural shingles—for a natural dimensional beauty that you'll notice and appreciate.*

TIMBERLINE® ULTRAHD™
LIFETIME HIGH DEFINITION® SHINGLES

Or, you can choose Timberline® HD™, North America's #1-selling shingle.

More homeowners choose **Timberline® HD™** Shingles than any other brand. They offer just the right combination of beauty, performance, and reliability—and are the best value in roofing today.

When you install Timberline® HD™, you'll be installing the shingle that professional installers have long preferred for its rugged, dependable performance—thanks to **Advanced Protection® Technology**. And you'll be getting your own genuine Timberline® roof!

TIMBERLINE® HD™
LIFETIME HIGH DEFINITION® SHINGLES

* Comparison refers to Timberline® HD™ Shingles. Thickness varies by plant; see actual shingles for comparison.



Expert Advice



Tips For Choosing Your Color

A successful exterior design project depends on a tasteful color combination. Here are some simple suggestions for making the best shingle selection:

- **Observe how much of your roof is visible from the street or common view.** A larger roof looks best in neutral tones. If the roof angle is normal or slight, you can use more colorful shingles or interesting patterns.
- **Use colors in the same color family as the body of your house for a simple, non-accented combination.** An example is a gray roof on a gray house, whether light or dark gray. Trim in white or black will keep it understated.
- **Use bright or more colorful colors to make a design statement.** For example, a green roof on a red brick house or a red roof on a gray house.
- **And remember, follow your instinct.** Choose the color and style that make you comfortable. After all, you're the one looking at it every time you come home!

—Patricia Verlodt

Patricia Verlodt has been responsible for coloring products for many Fortune 500 companies as well as having a specialty in exterior products. Her work has been featured in major newspapers as well as in many magazines such as Real Simple, Better Homes and Gardens, and Forbes.



45 years of listening to millions of satisfied homeowners have resulted in a color palette that Americans have embraced. The following pages can help you find your ideal shingle choice.



WEATHERED WOOD

Weathered Wood is truly the perfect neutral color. Straddling the line between warm and cool tones, this shade complements a broad range of hues—especially clay, the current most popular color for home exteriors. Blending beautifully with nature, this color also works well paired with sage, cream, ivory, and all manner of beiges.

*“We love our roof!
Our area receives quite a bit of wind, rain, and storms in the spring. It is wonderful to no longer be concerned with shingles flying off the house.”*

—Tracy Christie, Bloomington, IN

GAF

S L A T E

Slate is a cool gray with a beautiful green undertone—exactly like real slate. This shade coordinates well with both grays and greens on the cool side as well as with white, cream, and ivory exteriors. A roof done in Slate will add a warm and inviting feel to any home.

“The High Definition[®] shingles really added to the look of the house. Knowing the product is backed by a company like GAF is comforting.”

—David Cusumano, Colledgeville, PA



BARKWOOD

Barkwood is a popular neutral brown color that coordinates well with most other warm colors, such as beige, taupe, cream, gold, and yellow. Its nature-based tone emulates wood, fitting in well with natural surroundings. You'll love the way this color enhances the overall tones of your house.

“I absolutely love the look of my new roof and how it stands out among my neighbors. They have begun to follow my lead and now our little subdivision is being transformed.”

—Joann Steers, Arlington, TX



GAF

C H A R C O A L

Charcoal is the most neutral of all shades, making it versatile enough to use on your roof regardless of your home's style. This cool-toned color works wonderfully with home exteriors that feature blues, grays, or whites; you'll also find it paired with yellow, gold, sage, or green.

"I am the toughest customer you will ever find anywhere. Outstanding is an understatement."

—Patrice McDonough, Des Plaines, IL



GAF

HICKORY

Hickory is an inviting brown shade that has the added element of a red undertone, giving it a rich look. It's an excellent companion to both brick and stone homes that have shades of red or terra cotta. You'll also love how this color looks on homes with warm neutrals of brown and beige as well as with yellows and golds.

*“It looks GREAT!
My wife loves the
color and I love the
Lifetime ltd. warranty.”*

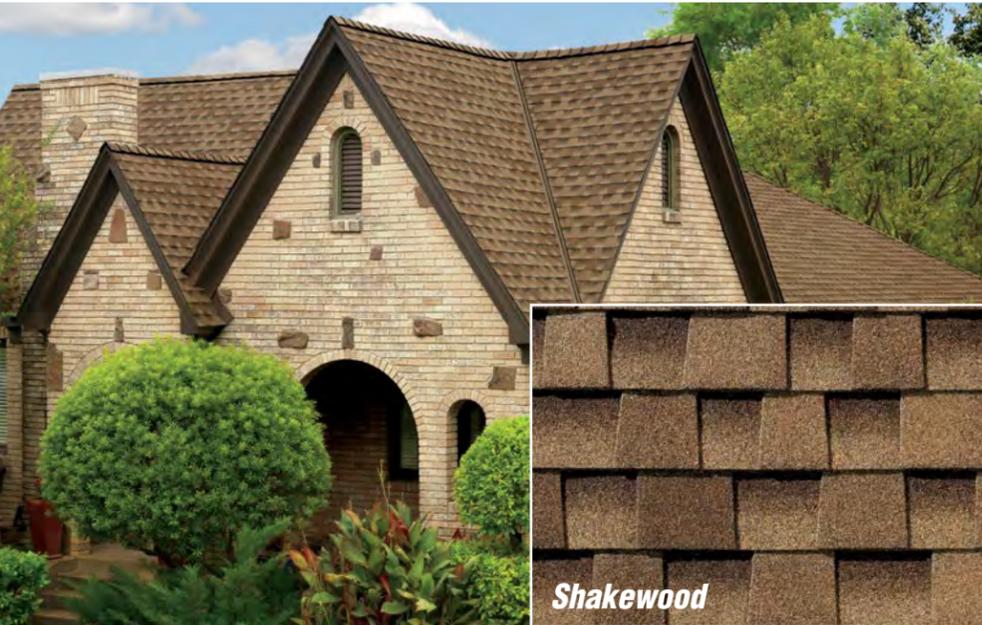
—Kevin McGrath, Dawsonville, GA



GAF

Color Availability

Most Popular (Available Nationwide)



Shakewood



Hunter Green



Barkwood



Charcoal



Weathered Wood



Slate



Hickory

Regional (See Color Availability Chart On Next Page For Details)



Birchwood



Biscayne Blue



Copper Canyon



Driftwood



Fox Hollow Gray



Mission Brown



Oyster Gray



Patriot Red



Pewter Gray



Sienna Sunset



Sunset Brick



White

ENERGY STAR® QUALIFIED! (White Only)*



We can help you choose the right shingle for your roof!

Try GAF's Virtual Home Remodeler at www.gaf.com. Visualize GAF shingles on a house like yours—or upload and decorate your own house. Try different siding, trim, and brick colors. It's fun!



Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

*Select colors are ENERGY STAR® qualified (U.S. only) and listed with the Cool Roof Rating Council (CRRCC). See www.gaf.com for availability and details.



Williamsburg Slate

Color Availability Chart



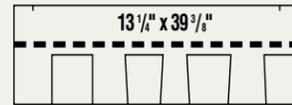
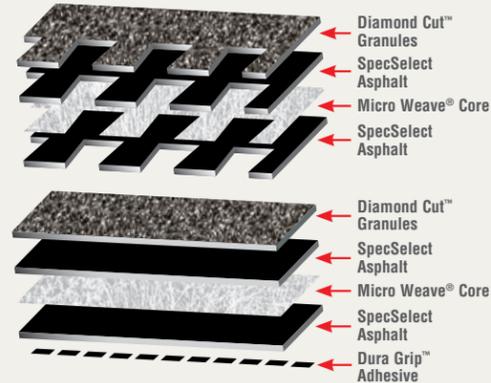
TIMBERLINE
LIFETIME HIGH DEFINITION SHINGLES

Ask your contractor which of these GAF plants supplies the shingles in your area...

	Baltimore/Myerstown	Dallas/Ennis	Michigan City	Minneapolis	Shafter	Tampa	Tuscaloosa
Most Popular Colors:							
Barkwood	●▲	●▲	●▲	●▲	●▲	●▲	●▲
Charcoal	●▲	●▲	●▲	●▲	●▲	●▲	●▲
Hickory	●▲	●▲	●▲	●▲	●▲	●	●
Hunter Green	●▲	●	●▲	●▲	●▲	●	●
Shakewood	●▲	●▲	●▲	●▲	●▲	●▲	●▲
Slate	●▲	●▲	●▲	●	●▲	●▲	●▲
Weathered Wood	●▲	●▲	●▲	●▲	●▲	●▲	●▲
Regional Colors:							
Birchwood			●	●	●▲	●	●
Biscayne Blue	●▲						
Copper Canyon					●▲		
Driftwood						●▲	●
Fox Hollow Gray	●▲		●	●			
Mission Brown	●	●	●	●	●▲		
Oyster Gray	●						
Patriot Red	●▲		▲				
Pewter Gray	●▲	●	●▲	●▲			●▲
Sienna Sunset						▲	
Sunset Brick						●▲	●
White ¹						●	●
Williamsburg Slate	●		●				

Color Key:	
● - Timberline® HD™	▲ - Timberline® Ultra HD™

The many protective layers of a **Timberline®** Shingle



- Fiberglass asphalt shingle
- Lifetime Ltd. transferable warranty¹
- Smart Choice® Protection for the first 10 years¹
- 130 mph ltd. wind coverage²
- Listed Class A Fire – UL 790
- Passes ASTM D7158, Class H
- ASTM D3161 Type 1, Class F
- StainGuard® algae discoloration ltd. warranty (available in most areas)
- ENERGY STAR® Qualified (white only)³
- CSA-A123.5⁴
- ASTM D3018 Type 1
- ASTM D3462⁵
- Miami-Dade County approved⁶
- Florida Building Code approved
- Texas Department of Insurance approved⁶
- ICC approved⁶
- Also classified in accordance with ICC ES AC438
- Approximately 64 Pieces/Sq.
- Approximately 3 Bundles/Square (Timberline® HD™)
- Approximately 4 Bundles/Square (Timberline® Ultra HD™)
- Approximately 256 Nails/Sq.
- 5 5/8" exposure

¹ See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions.
² Requires special installation; see GAF Shingle & Accessory Ltd. Warranty for details.
³ ENERGY STAR® qualified in U.S. only.
⁴ Refers to shingles sold in Canada only.
⁵ Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.
⁶ Applies to some plants.



RidgeCaps



Timbertex® and Ridglass®
Premium Ridge Cap Shingles



Important Warning: *Timbertex® and Ridglass® Ridge Cap Shingles are designed to complement the color of your Timberline® Shingles. But some contractors cut costs by using the tabs from a 20-year or 25-year 3-tab shingle as your ridge cap. To ensure the closest color consistency for your roof, ask your contractor to use genuine Timbertex® Ridge Cap Shingles (or Ridglass®, in the West)!*

- **Complements Timberline® Colors...** Designed to complement the color of your Timberline® Shingles
- **Superior Protection For Hips & Ridges...** Multi-layer design protects the most vulnerable areas of your roof
- **Perfect Finishing Touch...** Exceptionally thick designs with massive 8" exposure are 2–3 times thicker (versus using cut-up 3-tab shingles) for a distinctive, upscale look
- **Stays In Place...** Dura Grip™ Self-seal Adhesive seals each piece tightly and reduces the risk of blow-off
- **Peace Of Mind...** Up to a Lifetime Ltd. warranty when installed on Lifetime Shingle roofs[†]

[†]See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" means as long as the original individual owner(s) of a single family detached residence [or the second owner(s) in certain circumstances] owns the property where the shingles and accessories are installed. For owners/structures not meeting above criteria, Lifetime coverage is not applicable. Lifetime ltd. warranty on accessories requires the use of at least three qualifying GAF accessories and the use of Lifetime Shingles.

Timbertex® is available nationwide (check color availability with the nearest GAF sales office). Ridglass® is available in the West only.



¹ Select colors are ENERGY STAR® qualified (U.S. only) and listed with the Cool Roof Rating Council (CRRC). See www.gaf.com for availability and details.

TIMBERLINE American Harvest
LIFETIME SHINGLES

Color Shown:
Cedar Falls



Saddlewood Ranch



Nantucket Morning



Cedar Falls



Brandywine Dusk



Adobe Sunset



Appalachian Sky



Golden Harvest



Want Classic With A Twist? Meet The Newest Member Of The Timberline® Family

Designed to complement your home's exterior color scheme, the American Harvest™ Collection will give you that modern architectural style you want, at a price you can afford!

Our new color palette combines subtle blends with contrasting colors to give your roof unexpected depth and beauty.



Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.



Only from GAF!

Now get **Lifetime Protection** on your entire GAF Roofing System—at no additional cost!*

Quality You Can Trust...From North America's Largest Roofing Manufacturer!

gaf.com

Now, when you install any GAF Lifetime Shingle and at least 3 qualifying GAF accessories, you'll automatically get:

- A Lifetime Ltd. warranty on your shingles and all qualifying GAF accessories!*
- Non-prorated coverage for the first 10 years!*



LIFETIME

SHINGLES

GAF offers you many great Lifetime Shingle choices, including **Timberline**® Shingles with Advanced Protection® Technology. They're the #1-selling shingles in North America!

Advanced Protection® Technology results in superior protection for your home, while reducing the use of precious natural resources. That's better for your home—and better for the environment!

To learn more about why Advanced Protection® Shingles are your best choice, visit www.gaf.com/aps.



†In the North, building codes require the use of Leak Barrier at the eaves.



Roof Deck Protection

Allows moisture to escape from your attic while providing an exceptionally strong layer of protection against wind-driven rain. Also, lays flatter for a better-looking roof.



Leak Barrier

Provides exceptional protection against leaks caused by roof settling and extreme weather. Ideal upgrade at all vulnerable areas (including at the eaves in the North†).



Starter Strip Shingles

Saves time, eliminates waste, and reduces the risk of blow-off... and may even help qualify for upgraded wind warranty coverage (see GAF Shingle & Accessory Ltd. Warranty* for details).



Cobra® Attic Ventilation

Helps remove excess heat and moisture from your attic that can raise your energy bills, cause premature peeling of interior paint and wallpaper, and even affect your health.



Ridge Cap Shingles

Enhances the beauty and value of your home—while guarding against leaks at the hips and ridges.



*See GAF Shingle & Accessory Ltd. Warranty for complete coverage and restrictions. The word "Lifetime" means as long as the original individual owner(s) of a single family detached residence (or the second owner(s) in certain circumstances) owns the property where the shingles and accessories are installed. For owners/structures not meeting above criteria, Lifetime coverage is not applicable. Lifetime Ltd. warranty on accessories requires the use of at least three qualifying GAF accessories and the use of Lifetime Shingles.



GAF Proudly Sponsors "The All-American Home" Campaign www.theallamericanhome.com



The GAF Lifetime Roofing System has earned the prestigious Good Housekeeping Seal, which means that Good Housekeeping stands behind the products in this system. (Refer to Good Housekeeping Magazine for its consumer protection policy.)



SALES OFFICES:
NORTHEAST
717-866-8392

CENTRAL
630-296-1980

SOUTHEAST
813-829-8880

SOUTHWEST
972-851-0500

WEST
800-445-9330

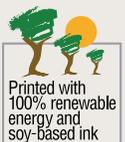
WORLD HEADQUARTERS:
973-628-3000

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1361 Alps Road, Wayne, NJ 07470

243439-0313

RESTL100HD





SECTION 07310

TIMBERLINE HD LIFETIME HIGH DEFINITION

GAF TIMBERLINE HD SHINGLE GUIDE SPECIFICATION

PART I GENERAL

1.01 SECTION INCLUDES

- A Asphalt roofing shingles.
- B Leak barrier and roof deck protection.
- C Metal flashing associated with shingle roofing.
- D Attic ventilation.

1.02 RELATED SECTIONS

- A Section 06100 - Rough Carpentry: Framing, wood decking, and roof sheathing.
- B Section 07620 - Flashing and Sheet Metal: Sheet metal flashing not associated with shingle roofing; gutters and downspouts.
- C Section 08630 - Unit Skylights: Skylights

1.03 REFERENCES American Society for Testing and Materials (ASTM) - Annual Book of ASTM Standards

- 1. ASTM A 653/A 653M - Standard Specification for Steel Sheet, Zinc Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process.
- 2. ASTM B 209 - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate.
- 3. ASTM B 370 - Standard Specification for Copper Sheet and Strip for Building Construction.
- 4. ASTM D 3018 - Standard Specification for Class A Asphalt Shingles Surfaced with Mineral Granules.
- 5. ASTM D 3161 - Standard Test Method for Wind-Resistance of Asphalt Shingles (Fan-Induced Method).
- 6. ASTM D 3462 – Standard Specification for Asphalt Shingles Made From Glass Felt and Surfaced with Mineral Granules.
- 7. ASTM D 4586 - Standard Specification for Asphalt Roof Cement, Asbestos-Free.
- 8. ASTM D 7158 - Standard Test Method for Wind-Resistance of Sealed Asphalt Shingles (Uplift Force/Uplift Resistance Method).
- 9. **ASTM E 903 – Standard Test Method for Solar Absorptance, Reflectance, and Transmission of Materials Using Integrating Spheres.** Underwriters Laboratories (UL) - Roofing Systems and Materials Guide (TGFU R1306)
 - 1. UL 790 - Tests for Fire Resistance of Roof Covering Materials.
 - 2. UL 997 - Wind Resistance of Prepared Roof Covering Materials.
 - 3. UL 2218 – Impact Resistance of Prepared Roof Covering Materials.

C Asphalt Roofing Manufacturers Association (ARMA)

D Sheet Metal and Air Conditioning Contractors National Association, 1nc. (SMACNA) - Architectural Sheet Metal Manual.

E National Roofing Contractors Association (NRCA)

F American Society of Civil Engineers (ASCE).

- 1. ASCE 7 - Minimum Design Loads for Buildings and Other Structures.

GAF TIMBERLINE HD SHINGLE GUIDE SPECIFICATION

- G U.S. Green Building Council (USGBC)
- H Leadership in Energy and Environmental Design (LEED)
- I ENERGY STAR
- J Cool Roof Rating Council (CRRC)
- K Miami Dade County

1.04 DEFINITIONS

- A Roofing Terminology: Refer to ASTM D1079 and the glossary of the National Roofing Contractors Association (NRCA) Roofing and Waterproofing Manual for definitions of roofing terms related to this section.

1.05 LEED CERTIFICATION

- A Provide a roofing system that will achieve or aid in the qualification of points satisfying
 1. Sustainable Site credit 7.2 - Heat Island Effect - Roof.
 2. Materials & Resource credit 5 - Local and Regional Materials.

1.06 SUBMITTALS

- A Submit copies of GAF® product data sheets, detail drawings and samples for each type of roofing product.
- B L.E.E.D. submittal: Coordinate with Section 01115 - Green Building Requirements, for LEED certification submittal forms and certification templates.

1.07 QUALITY ASSURANCE

- A Manufacturer Qualifications: Provide all primary roofing products, including shingles, underlayment, leak barrier, and ventilation, by a single manufacturer.
- B Installer Qualifications: Installer must be approved for installation of all roofing products to be installed under this section.

1.08 REGULATORY REQUIREMENTS

- A Provide a roofing system achieving an Underwriters Laboratories (UL) Class A fire classification.
- B . Install all roofing products in accordance with all federal, state and local building codes.
- D All work shall be performed in a manner consistent with current OSHA guidelines.

1.09 PREINSTALLATION MEETING

- A General: For all projects in excess of 250 squares of roofing, a pre-installation meeting is strongly recommended.
- B Timing: The meeting shall take place at the start of the roofing installation, no more than 2 weeks into the roofing project.
- C Attendees: Meeting to be called for by manufacturer's certified contractor. Meeting's mandatory attendees shall include the certified contractor and the manufacturer's representative. Non-mandatory attendees shall include the owner's representative, architect or engineer's representative, and the general contractor's representative.
- D Topics: Certified contractor and manufacturer's representative shall review all pertinent requirements for the project, including but not limited to, scheduling, weather considerations, project duration, and requirements for the specified warranty.

1.10 DELIVERY, STORAGE, AND HANDLING

GAF TIMBERLINE HD SHINGLE GUIDE SPECIFICATION

- A Store all products in manufacturer's unopened, labeled packaging until they are ready for installation.
- B Store products in a covered, ventilated area, at temperature not more than 110 degrees F (43 degrees C); do not store near steam pipes, radiators, or in direct sunlight.
- C Store bundles on a flat surface. Maximum stacking height shall not exceed GAF®'s recommendations. Store all rolls on end.
- D Store and dispose of solvent-based materials in accordance with all federal, state and local regulations.

1.11 WEATHER CONDITIONS

- A Proceed with work only when existing and forecasted weather conditions will permit work to be performed in accordance with GAF®'s recommendations

1.12 WARRANTY Provide to the owner a **GAF® WeatherStopper® Golden Pledge® Ltd Warranty** covering:

1. Roofs installed by a Certified GAF® Master Elite™ Contractor only.
2. Manufacturing defects: 100% coverage for materials and labor for:
 - a Single family detached homes owned by individuals the first
 - 50 years non-prorated, then 20% thereafter for all GAF lifetime shingles.
 - 20 years non-prorated, then 20% thereafter for GAF Marquis Weathermax and GAF Royal Sovereign Shingles.
 - b Any other type of owner or building – 40 years with the first 20 years non-prorated. (excludes Marquis WeatherMax and Royal Sovereign)
3. Workmanship errors: 100% coverage for workmanship errors for:
 - a Single family detached homes owned by individuals - the first 25 years for after installation. (20 years for Marquis WeatherMax and Royal Sovereign)
 - b Any other type of owner or building - 20 years.
4. Roof system NOT installed over an existing roof, all existing roof materials must be removed to the deck.
5. Warranted against algae discoloration for 10 years
6. Full roof installations (Roofs installed on portions of buildings do not qualify) using the following GAF® products.
 - a You must use GAF®_Roof Deck Protection.
 - b You must use eligible GAF® Leak Barrier in valleys and around dormers, sidewalls, firewalls, chimneys, plumbing vents, and skylights. In the North, leak barriers must be used at all eaves at least 24 inch inside warm wall.
 - c You must use GAF® pre-cut starter strip products (only those with factory applied adhesive) at the eaves. Note: To obtain bonus wind coverage, you must use GAF® pre cut starter strip products (with factory applied adhesive) at the eaves and rakes and you must install each shingle using 6 nails. For Miami Dade County Florida, no adhesive on rakes. You must cement the starter strip in and nail along the rake.
 - d You must use eligible COBRA® ventilation with adequate intake ventilation. Master Flow® exhaust ventilation products can be substituted only if COBRA® ridge ventilation cannot be installed due to a structure's architecture. In any event, adequate ventilation should meet the following requirements:

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- i. Minimum net free ventilation area of 1 sq ft per 150 sq ft of ceiling area is required. When intake vents are located at the eaves and exhaust vents are located near the roof's peak (in a properly balanced system) for maximum air flow, ventilation may be reduced to 1 sq ft per 300 sq ft. If these standards are not met, GAF® cannot be responsible for damage caused by inadequate ventilation.
 - e You must use GAF® Ridge Cap Shingles or shingles that correspond to the shingle product you are installing.
 - f You must use eligible GAF® Roofing Shingles.
 - g New metal flashings must be installed. Metal drip edge must be used at eaves and is recommended at rake edges.
 7. In addition to the requirements listed above, you installer must register and pay for this warranty. On projects that total more than 250 squares, the permanent Golden Pledge® Ltd Warranty will be issued only if the project passes GAF®'s final inspection. GAF® reserves the right to withhold the warranty if the roof has not been installed according to GAF®'s written application instructions. GAF® also strongly recommends that your Master Elite® Contractor schedule a start-up and at least one interim inspection on projects of 250 squares or more by contacting GAF® at least three weeks prior to the start of roof work.
- B Provide to the owner a **GAF® Weather Stopper® System Plus Ltd Warranty** covering:
 1. Roofs installed by a Authorized Home Builder, Certified Contractor or Certified GAF® Master Elite™ Contractor only.
 2. Manufacturing defects: 100% coverage for materials and labor for:
 - a Single family detached homes owned by individuals the first
 - 50 years non-prorated, then 20% thereafter for all GAF lifetime shingles.
 - 20 years non-prorated, then 20% thereafter for GAF Marquis Weathermax and GAF Royal Sovereign Shingles.
 - b Any other type of owner or building – 40 years with the first 20 years non-prorated. (excludes Marquis WeatherMax and Royal Sovereign)
 3. Warranted against algae discoloration for 10 years
- C Provide to the owner a **GAF® Smart Choice® Shingle Ltd. Warranty** covering:
 1. Manufacturing defects: 100% coverage for materials for:
 - a Single family detached homes owned by individuals the first
 - 10 years non-prorated, then 20% thereafter for all GAF lifetime shingles.
 - 5 years non-prorated, then 20% thereafter for GAF Marquis Weathermax and GAF Royal Sovereign Shingles.
 - 3 years non-prorated, then 20% thereafter for GAF Sentinel Shingles.
 - b Any other type of owner or building – 40 years with the first 5 years non-prorated.
 2. Warranted against algae discoloration for 10 years
- D Provide to the owner a **GAF® All American Pledge™ Guarantee**
 1. Provide to the owner a GAF® WeatherStopper® Golden Pledge® Ltd Warranty for the Steep Slope System covering:
 - a Roofs installed by a Certified GAF® Master Elite™ Contractor only.

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- b Manufacturing defects: 100% coverage for materials and labor for:
 - i. Single family detached homes owned by individuals the first
 - 50 years non-prorated, then 20% thereafter for all GAF lifetime shingles.
 - 20 years non-prorated, then 20% thereafter for GAF Marquis Weathermax and GAF Royal Sovereign Shingles.
 - ii. Any other type of owner or building – 40 years with the first 20 years non-prorated. (excludes Marquis WeatherMax and Royal Sovereign)
- c Workmanship errors: 100% coverage for workmanship errors for:
 - i. Single family detached homes owned by individuals - the first 25 years for after installation. (20 years for Marquis WeatherMax and Royal Sovereign)
 - ii. Any other type of owner or building - 20 years.
- 2. Roof system NOT installed over an existing roof, all existing roof materials must be removed to the deck.
- 3. Warranted against algae discoloration for 10 years
- 4. Provide Manufacturers standard WeatherStopper® Diamond Pledge™ Guarantee for the Low Slope system covering:
 - a Single source **Edge-to-Edge** coverage* and no monetary limitation, where the manufacturer agrees to repair or replace components in the roofing system and pre-approved metal edge details, which cause a leak due to a failure in materials or workmanship.
 - i Duration: (20) Twenty years from the date of completion

PART II PRODUCTS

2.01 MANUFACTURERS

- A Acceptable Manufacturer: GAF®, 1361 Alps Rd. Wayne NJ 07470. Tel: 1-973-628-3000.
- B Requests for substitutions will be considered in accordance with provisions of Section 01600.

2.02 SHINGLES

- A Self sealing, granule surfaced, asphalt shingle with a strong fiberglass reinforced Micro Weave® core and StainGuard® protection, which prevents pronounced discoloration from blue-green algae through formulation/unique blends of granules. Architectural laminate styling provides a wood shake appearance with a 5 5/8 inch exposure. Features GAF®'s patented High Definition® color blends and enhanced shadow effect. UL 790 Class A rated with UL 997 Wind Resistance Label; ASTM D 7158, Class H; ASTM D 3161, Type 1; ASTM D 3018, Type 1; ASTM D 3462; AC438; CSA A123.5-98; Dade County Approved, Florida Building Code Approved, Texas Dept of Insurance Approved, ICC Report Approval. **Timberline® HD** Lifetime High Definition Shingles, by GAF®.
 - 1. Color: As selected from manufacturers' full range.
 - 2. Color: _____

2.03 HIP AND RIDGE SHINGLES

- A High profile self sealing hip and ridge cap shingle matching the color of selected roof shingle. Each bundle covers approx. 20 lineal feet (6.10m). **Timbertex®** Premium Ridge Cap Shingles, by GAF®.

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- B Distinctive self sealing hip and ridge cap shingle complementing the color of selected roof shingle. Each bundle covers approx. 31 lineal feet (9.45m) with an 8 inch (203mm) exposure. **Ridglass™ 12"** Ridge Cap Shingles by GAF®.
- C Distinctive self sealing hip and ridge cap shingle complementing the color of selected roof shingle. Each bundle covers approx. 31 lineal feet (9.45m) with an 8 inch (203mm) exposure. **Ridglass™ 10"** Ridge Cap Shingles by GAF®.
- D Distinctive self sealing hip and ridge cap shingle complementing the color of selected roof shingle. Each bundle covers approx. 31 lineal feet (9.45m) with an 8 inch (203mm) exposure **Ridglass™ 8"** Ridge Cap Shingles by GAF®.
- E Distinctive self sealing hip and ridge cap shingle complementing the color of selected roof shingle. Each bundle covers approx. 25 lineal feet (7.62mm) with a 6 2/3 inch (169mm) exposure. **Seal-A-Ridge®** Ridge Cap Shingles by GAF®.
- F Distinctive hip and ridge cap shingle complementing the color of selected roof shingle. Each bundle covers approx. 33.3 lineal feet (10.15m) with a 5 5/8 inch (147mm) exposure. **Z® Ridge** Shingles by GAF®.
- G Integrated cap shingle and ridge vent design shingle complementing the color of selected roof shingle. Each bundle covers approx. 20 lineal feet (6.10m) with a 9 ¼ inch (235mm) exposure and provides 10.65 sq. in./linear ft. of net free ventilating area. **Vented RidgeCrest™** Venting Ridge Cap Shingles by GAF®.

2.04 STARTER STRIP

- A Self sealing starter shingle designed for premium roof shingles. Each bundle covers approx. 100 lineal feet (30.48m) for English and metric shingles or 50 lineal feet (15.24m) for oversized shingles. **WeatherBlocker™** Eave/Rake Starter Strip by GAF®.
- B Self sealing starter shingle designed for all roof shingles. Each bundle covers approx. 120 lineal feet (36.58m). **ProStart™** Starter Strip by GAF®.

2.05 LEAK BARRIER

- A Self-adhering, self sealing, bituminous leak barrier surfaced with fine, skid-resistant granules. Approved by UL, Dade County, ICC, State of Florida and Texas Department of Insurance. Each roll contains approx. 150 sq ft (13.9 sq.m.), 36" X 50' (0.9m x 20.3m) or 200 sq ft (18.6 sq.m.), 36" X 66.7' (0.9m x 20.3m). **WeatherWatch®** Leak Barrier, by GAF®.
- B Self-adhering, self sealing, bituminous leak barrier surfaced with a coated surface and added tack for extra traction. Approved by UL and ICC. Each roll contains approx. 200 sq ft (18.6 sq.m.), 36in. X 66.7ft. (0.9m x 20.3m) **WeatherWatch® XT** Leak Barrier, by GAF®.
- C Self-adhering, self sealing, bituminous leak barrier surfaced with a smooth polyethylene film. Approved by UL, Dade County, ICC, State of Florida and Texas Department of Insurance. Each Roll contains approx. 200 sq ft. (18.6 sq.m.), 36" X 66.7' (0.9m x 20.3m), and 60 mils thick. **StormGuard®** Leak Barrier, by GAF®.
- D Self-adhering, self sealing, SBS modified waterproof leak barrier. Approved by UL, FM, Dade County, and State of Florida. Each roll contains approx. 200 sq ft (18.6 sq.m.), 39.4in. X 67.8ft. (1 m x 20.7m), **UnderRoof™2** Waterproof Protection by GAF®.
- E Self-adhering air & moisture barrier film surfaced SBS modified flashing. Roll sizes available in 7 different dimensions. Approved by Dade Country and Florida Building Code. **Storm Flash™** Self-Adhering Flashing by GAF®.

2.06 SHINGLE UNDERLAYMENT

- A Premium, water repellant, breather type non-asphaltic underlayment. UV stabilized polypropylene construction. Meets or exceeds ASTM D226 and D4869. Approved by

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Dade Country, Florida Building Code, and ICC. Each roll contains approximately 10 squares (1003 sq. ft.) of material and is 54" x 223'. **Deck-Armor™** Premium Breathable Roof Deck Protection, by GAF®.

- B Synthetic, non-asphaltic, non-woven, anti-skid back coated, polypropylene constructed non breathable underlayment. Meets or exceeds ASTM D226 and D4869 approved by UL, Florida Building Code, ICC and CSA A220.1. Each roll contains approximately 10 squares (1000 gross sq. ft.) of material and is 48 in. x 250 ft. (14.6 m x 76.2 m), **Tiger-Paw™** Roof Deck Protection by GAF®.
- C Water repellent, breather type cellulose/glass fiber composite roofing underlayment. Meets or exceed ASTM D226 and D4869 and approved by UL and the Florida Building Code. Each roll contains approximately 4 squares (432 sq. ft.) of material and is 36" x 144" **Shingle-Mate®** Roof Deck Protection, by GAF®.
- D Premium, all-purpose fiberglass reinforced SBS modified underlayment. Meets or exceeds ASTM D226. Approved by UL and ICC. Each roll contains 2 squares (20.06 sqm.) of material and is 39.37 in. x 65.8 ft. (1m x 20m), **Roof Pro™** SBS Modified All-Purpose Underlayment by GAF®.
- E Non-woven fiberglass mat underlayment coated on both sides using a highly filled polymer. Provides a fire barrier and water resistant. Approved by Dade Country, Florida Building Code, and ICC approval. **VersaShield®** Fire-Resistant Roof Deck Protection by GAF®.
- F #15 Roofing Underlayment – By Others: Water repellent breather type cellulose fiber building paper. Meets or exceeds the requirements of ASTM D-4869 Type I.
- G #30 Roofing Underlayment - By Others: Water repellent breather type cellulose fiber building paper. Meets or exceeds the requirements of ASTM D-4869 Type II.

2.07 ROOFING CEMENT

- A Asphalt Plastic Roofing Cement meeting the requirements of ASTM D 4586, Type I or II.

2.08 ROOF ACCESSORIES

- A Exterior acrylic rust resistant aerosol roof accessory paint. Each 6 oz can is available in boxes of 6 and in a wide variety of colors to compliment the roof. **Shingle-Match™** Roof Accessory Paint by GAF®.

2.09 ATTIC VENTILATION

A Ridge Vents

1. Flexible rigid plastic ridge ventilator designed to allow the passage of hot air from attics, while resisting snow infiltration. For use in conjunction with eave/soffit ventilation products. Provides 12.5 sq inches Net Free Ventilation Area per lineal foot (8065 sq.m/m). Each package contains 20 lineal feet (6.10m) of vent. **Cobra® Ridge Runner™** Ridge Vent by GAF®.
2. Flexible ridge ventilator designed to allow the passage of hot air from attics. For use in conjunction with eave/ soffit intake ventilation products. Provides 16.9 inches (1430 mm/m) Net Free Ventilation Area (Hand Nail) and 14.1 inches (1193 mm/m) Net Free Ventilation Area (Nail Gun) per lineal foot. **Cobra® Exhaust Vent**, by GAF®.
3. Rigid plastic ridge ventilator designed to allow the passage of hot air out of attics. For use in conjunction with eave/ soffit intake ventilation products. Provides 18.0 sq inches (11613 sq.mm/m) in Net Free Ventilation Area per lineal foot. Each package contains 40 lineal feet (12.19m) of vent. **Cobra® Rigid Vent 3™** ridge vent (includes 3" (76mm) galvanized ring shank nails), by GAF®
4. Rigid plastic ridge ventilator designed to allow the passage of hot air from attics while prohibiting snow infiltration. For use in conjunction with eave/ soffit intake ventilation products. Provides 18.0 sq inches (11613 sq.mm/m) Net Free Ventilation Area per

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lineal foot. Each package contains 40 lineal feet (12.19m) of vent. **Cobra® Snow Country™ or Cobra® Snow Country Advanced™** Ridge Vent (includes 3" (76mm) galvanized ring shank nails), by GAF®.

B Fascia and Soffit/Under Eave Vents

1. Flexible ridge ventilator designed to allow the passage of air into thru the fascia. 1"x3" (25 mm x 76mm) provides a Net Free Ventilation Area of 11 square inches per foot and 1½" x3" (38 mm x 76 mm) provides a Net Free Ventilation Area of 16 square inches per foot. **Cobra® Fascia Vent**, by GAF®.
2. PVC soffit/undereave premium intake ventilation providing 9 sq.in. of Net Free Ventilation Area. Each section is 12ft. long, 6in. high and 1.25in. thick. **Cobra® Fascia Flow™** Premium Intake Ventilation.
3. Surface mounted, screened aluminum, corrosion resistant soffit vent. **MasterFlow™ EAC Soffit Vent** by GAF®.
4. Surface mounted, high impact resin, oval snap-in designed soffit vent. **MasterFlow™ EAP Soffit Vent** by GAF®.
5. Continuous aluminum 8ft section soffit vent. **MasterFlow™ LSV8 Series Soffit Vent** by GAF®.

C Solar Powered Vents

1. Solar powered roof exhaust vent designed to remove damaging heat and moisture from attics. Each vent provides 500 CFM and is solar powered to eliminate related utility costs. **Green Machine™ Solar Powered Roof Exhaust Vent**, by GAF®.
2. Solar powered intake booster vent designed for houses with insufficient soffit ventilation. Each vent provides up to 500 CFM airflow and is solar powered to eliminate related utility costs. **Green Machine™ Solar Powered Intake Booster™** Vent, by GAF®.
3. Solar powered gable mounted exhaust ventilators designed to remove damaging heat and moisture from attics. Each vent provides 500 CFM and is solar powered to eliminate related utility costs. **Green Machine™ Solar Powered Gable Vent**, by GAF®.

D Dual Powered Vents

1. Dual powered roof exhaust vent designed to remove damaging heat and moisture from attics. Each vent provides 500 CFM and is solar and electric powered to provide continuous operation and reduce related utility costs. **Green Machine™ Dual Powered Roof Exhaust Vent**, by GAF®.
2. Dual powered gable mounted exhaust ventilators designed to remove damaging heat and moisture from attics. Each vent provides 500 CFM and is solar and electric powered to provide continuous operation and reduce related utility costs. **Green Machine™ Dual Powered Gable Vent**, by GAF®.

E Powered Vents

1. Powered, rooftop mounted exhaust ventilators designed to evacuate hot air from attics. Each vent permits the passage of 1000 to 1600 c.f.m. Thermostat and/or humidistat controlled. **MasterFlow™ PR Series** power roof ventilators, by GAF®.
2. Powered, gable mounted exhaust ventilators designed to evacuate hot air from attics. Each vent permits the passage of 1280 to 1600 c.f.m. Thermostat and/or humidistat controlled. **MasterFlow™ PG Series** power roof ventilators, by GAF®.

F Roof Louvers

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1. Rooftop mounted, square-top designed, high-impact resin exhaust ventilator designed to evacuate hot air from attics. Each vent provides 60 sq in NFVA. **MasterFlow™ RT-65** Passive Roof Louver, by GAF®.
2. Rooftop mounted, slant-back designed, metal exhaust ventilator designed to evacuate hot air from attics. Each vent provides 60 sq in NFVA. **MasterFlow™ SSB 960A** Passive Roof Louver, by GAF®.
3. Rooftop mounted, slant-back designed, high-impact resin exhaust ventilator designed to evacuate hot air from attics. Each vent provides 65 sq in NFVA. **MasterFlow™ IR65** Passive Roof Louver, by GAF®.
4. Rooftop mounted, low-profile square-top designed, high-impact resin exhaust ventilator designed to evacuate hot air from attics. Each vent provides 37 sq in NFVA. **MasterFlow™ IR-61** Passive Roof Louver, by GAF®.
5. Rooftop mounted, square-top, slant-back, metal exhaust ventilator designed to evacuate hot air from attics. Each vent provides 50 sq in NFVA. **MasterFlow™ NSB50A** Passive Roof Louver, by GAF®.
6. Rooftop mounted, square-top metal utility ventilator designed to evacuate hot air from attics, bathrooms, and kitchen ducts. Each vent provides 50 sq in NFVA. **MasterFlow™ RV50A** Metal Utility Vent, by GAF®.

G Gable Louvers

1. Surfaced mounted, flush or recessed one piece integral construction in thermoformed plastic or aluminum. **Masterflow™ DA** Series or **SL** Series Gable Louver by GAF®.
2. Circular surfaced mounted, one piece integral construction high-impact white plastic mini vent. **Masterflow™ RLSC** Series Circular Louver by GAF®.

H Roof Turbines

1. Rooftop mounted, stainless dual bearing, high performance, aluminum rotary turbine exhaust vents. **MasterFlow™ AIC12 & AIC14** Rotary Turbine Vents by GAF®.
2. Rooftop mounted, stainless dual bearing, high performance, galvanized rotary turbine exhaust vents. **MasterFlow™ GC12E** Rotary Turbine Vent by GAF®.

I Whole House Fans **attic spaces greater than 1000sq.ft only**

1. Interior ceiling mounted belt drive deluxe house fan. Super quiet 1/3 hp permanent split capacitor motor, wall switch operated. **MasterFlow™ 30BWHFS** Belt Drive Deluxe Whole House Fan by GAF®.
2. Interior ceiling mounted direct drive standard house fan. Super quiet 1/4 hp permanent split capacitor motor, chain switch operated. **MasterFlow™ WHFS24M** Direct Drive Standard Whole House Fan by GAF®.
3. Interior ceiling mounted tandem whole house fan. 2 speed remote operated. **MasterFlow™ WHFTAN1** Tandem Whole House Fan by GAF®.

2.10 VENTILATION ACCESSORIES

A Chimney Cap

1. Stainless steel vented chimney cap. **MasterFlow™ CC1313SS** Safety Cap by GAF®.
2. Epoxy powder finished vented chimney cap. **MasterFlow™ CC99, CC913 and CC1313** Safety Cap by GAF®
3. Epoxy powder finished adjustable bracket mount vented chimney cap. **MasterFlow™ CC99, CC913 and CC1313** Safety Cap by GAF®.

B Foundation Vent

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1. High Density Polyethylene constructed electric foundation vent provides up to 330 CFM/airflow. Independent laboratory approved. **Masterflow™ PFV1** Foundation Vent by GAF®.
2. High Density Polyethylene constructed automatic foundation vent. **Masterflow™ FVRABL** Foundation Vent by GAF®.
3. Die Cast aluminum positive open/closed damper foundation vent. **Masterflow™ 500** Foundation Vent by GAF®.
4. Galvanized steel or aluminum high level ventilation foundation vent. **Masterflow™ BVSII** Foundation Vent by GAF®.

2.11 NAILS

- A Standard round wire, zinc-coated steel or aluminum; 10 to 12 gauge, smooth, barbed or deformed shank, with heads 3/8 inch (9mm) to 7/16 inch (11mm) in diameter. Length must be sufficient to penetrate into solid wood at least 3/4 inch (19mm) or through plywood or oriented strand board by at least 1/8 inch (3.18mm).

2.12 METAL FLASHING 24 gauge hot-dip galvanized steel sheet, complying with ASTM A 653/A 653M, G90/Z275.

- B 16-oz/sq ft (0.56mm) copper sheet, complying with ASTM B 370.
C 0.032-inch (0.8mm) aluminum sheet, complying with ASTM B 209.

PART III EXECUTION

3.01 EXAMINATION

- A Do not begin installation until the roof deck has been properly prepared.
B If roof deck preparation is the responsibility of another installer, notify the architect or building owner of unsatisfactory preparation before proceeding.

3.02 PREPARATION Remove all existing roofing down to the roof deck.

- B Verify that the deck is dry, sound, clean and smooth. It shall be free of any depressions, waves, and projections. Cover with sheet metal, all holes over 1 inch (25mm) in diameter, cracks over 1/2 inch (12mm) in width, loose knots and excessively resinous areas.
C Replace damaged deck with new materials.
D Clean deck surfaces thoroughly prior to installation of eaves protection membrane and underlayment.

3.03 PREPARATION Clean deck surfaces thoroughly prior to installation of eaves protection membrane and underlayment.

- B At areas that receive eaves protection membrane, fill knotholes and cracks with latex filler.
C Install crickets on the upslope side of all chimneys in the north, any chimney wider than 24" (610mm), and on all roofs steeper than 6/12.

3.04 PREPARATION Verify that the deck is structurally sound and free of deteriorated decking. All deteriorated decking shall be removed and replaced with new materials.

- B Verify that the existing shingles are dry, sound, clean and smooth. All curled, buckled or loose tabs shall be nailed down or removed.
C Clean shingle surfaces thoroughly prior to installation of eaves protection membrane and underlayment.

3.05 INSTALLATION OF UNDERLAYMENTS General:

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1. Install using methods recommended by GAF®, in accordance with local building codes. When local codes and application instructions are in conflict, the more stringent requirements shall take precedence.

B Eaves:

1. Install eaves edge metal flashing tight with fascia boards; lap joints 2 inches (51mm) and seal with plastic cement or high quality urethane sealant; nail at the top of the flange.
2. In the north, and on all roofs between 2/12 and 4/12 (low slopes) install GAF® leak barrier up the slope from eaves edge a full 36 inches (914mm) or to at least 24 inches (610 mm) beyond the interior "warm wall". Lap ends 6 inches (152mm) and bond.

C Valleys:

1. Install eaves protection membrane at least 36 (914mm) inches wide and centered on the valley. Lap ends 6 inches (152mm) and seal.
2. Where valleys are indicated to be "open valleys", install metal flashing over GAF® leak barrier before GAF® roof deck protection is installed; DO NOT nail through the flashing. Secure the flashing by nailing at 18 inches (457 mm) on center just beyond edge of flashing so that nail heads hold down the edge.

D Hips and Ridges:

1. Install GAF® leak barrier along entire lengths. If ridge vents are to be installed, position the GAF® leak barrier so that the ridge slots will not be covered.

E Roof Deck:

1. Install one layer of GAF® roof deck protection over the entire area not protected by GAF® leak barrier at the eaves or valley. Install sheets horizontally so water sheds and nail in place.
2. On roofs sloped at more than 4:12, lap horizontal edges at least 2 inches (51mm) and at least 2 inches (51mm) over eaves protection membrane.
3. On roofs sloped between 2 :12 and 4:12, lap horizontal edges at least 19 inches (482 mm) and at least 19 inches (482mm) over eaves protection membrane.
4. Lap ends at least 4 inches (102 mm). Stagger end laps of each layer at least 36 inches (914 mm).
5. Lap GAF® roof deck protection over GAF® leak barrier in valley at least 6 inches (152mm).

F Deck-Armor™ Application

1. Deck-Armor shall be installed over a clean, dry deck.
2. Install Weather Watch® or StormGuard® Leak Barrier at eaves, valleys, rakes, skylights, dormers and other vulnerable leak areas.
3. Lay Deck-Armor™ over deck and overlap 3" (76mm) at side laps and 6" (152mm) at end laps.
4. For exposure to rain or snow, overlap 12" (305mm) at end laps.
5. For side and end laps: fasten Deck-Armor 12" (305mm) o.c. (6" (152mm)o.c. for high wind areas).
6. For middle of the roll: fasten Deck-Armor 24" (610mm) o.c. (12" (305mm) o.c. for high wind areas).

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7. For exposure to rail or snow, completely cover all side laps, end laps and fasteners with tape.
8. For long term exposure see complete Deck-Armor installation instructions for side lap detail.
9. If roof may be exposed to high winds, apply tape over all fasteners at the center of the roll to prevent rain or snow from entering at the fasteners.
10. For slopes less than 2:12, a double application of Deck-Armor is required. See complete Deck-Armor installation instructions for more information.

G Penetrations:

1. Vent pipes: Install a 24 inch (610 mm) square piece of eaves protection membrane lapping over roof deck underlayment; seal tightly to pipe.
2. Vertical walls: Install eaves protection membrane extending at least 6 inches (152mm) up the wall and 12 inches (305mm) on to the roof surface. Lap the membrane over the roof deck underlayment.
3. Skylights and roof hatches: Install eaves protection membrane from under the built-in counterflashing and 12 inches (305mm) on to the roof surface lapping over roof deck underlayment.
4. Chimneys: Install eaves protection membrane around entire chimney extending at least 6 inches (152mm) up the wall and 12 inches (305mm) on to the roof surface. Lap the membrane over the roof deck underlayment.
5. Rake Edges: Install metal edge flashing over eaves protection membrane and roof deck underlayment; set tight to rake boards; lap joints at least 2 inches (51mm) and seal with plastic cement; secure with nails.

3.06 INSTALLATION OF STARTER SHINGLES

A General:

1. Install in accordance with GAF®'s instructions and local building codes. When local codes and application instructions are in conflict, the more stringent requirements shall take precedence.
2. Refer to application instructions for the selected starter strip shingles.

B Placement and Nailing:

1. For maximum wind resistance along rakes & eaves, install any GAF® starter strip containing sealant or cement shingles to underlayment and each other in a 4" (102mm) width of asphalt plastic roof cement.
2. Place starter strip shingles 1/4" – 3/4" (6 – 19mm) over eave and rake edges to provide drip edge.
3. Nail approximately 1-1/2" – 3" (38 – 76mm) above the butt edge of the shingle.
4. Rake starter course should overlap eave edge starter strip at least 3" (76mm).

3.07 INSTALLATION OF SHINGLES

A General:

1. Install in accordance with GAF®'s instructions and local building codes. When local codes and application instructions are in conflict, the more stringent requirements shall take precedence.

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2. Minimize breakage of shingles by avoiding dropping bundles on edge, by separating shingles carefully (not by "breaking" over ridge or bundles), and by taking extra precautions in temperatures below 40 degrees F (4 degrees C).
 3. Handle carefully in hot weather to avoid scuffing the surfacing, or damaging the shingle edges.
- B Placement and Nailing:** Secure with 4, 5, or 6 nails per shingle per GAF®'s application instructions or local codes.
2. Placement of nails varies based on the type of shingle specified. Consult the application instructions for the specified shingle for details.
 3. Nails must be driven flush with the shingle surface. Do not overdrive or under drive the nails.
 4. Shingle offset varies based on the type of shingle specified. Consult the application instructions for the specified shingle for details.
- C Placement and Nailing:** Beginning with the starter strip, trim shingles so that they "nest" within the shingle located beneath it. This procedure will yield a first course that is typically 3 inch (76mm) to 4 inch (102mm) rather than a fully exposed shingle.
2. Laterally, offset the new shingles from the existing keyways, to avoid waves or depressions caused by excessive dips in the roofing materials.
 3. Using the bottom of the tab on existing shingles, align subsequent courses.
 4. *Note: DO NOT install standard sized shingles (5inch exposure) over metric (5 5/8 inch exposure) shingles, as it will overexpose the shingles and reveal the nails. Use standard alignment methods to assure proper shingle placement.
 5. Secure with 4, 5, or 6 nails per shingle per GAF®'s instructions or local codes.
 6. Placement of nails varies based on the type of shingle specified. Consult the application instructions for the specified shingle for details.
 7. Nails must be driven flush with the shingle surface. Do not overdrive or under drive the nails.
 8. Shingle offset varies based on the type of shingle specified. Consult the application instructions for the specified shingle for details.
- D Valleys** Install valleys using the "open valley" method:
- a Snap diverging chalk lines on the metal flashing, starting at 3 inches (76mm) each side of top of valley, spreading at 1/8 inch per foot (9mm per meter) to the eaves.
 - b Run shingles to chalk line.
 - c Trim last shingle in each course to match the chalk line; do not trim shingles to less than 12 inches (305mm) wide.
 - d Apply a 2 inch (51mm) wide strip of plastic cement under ends of shingles, sealing them to the metal flashing.
2. Install valleys using the "closed cut valley" method:
- a Run the first course of shingles from the higher roof slope across the valley at least 12 inches (305mm).
 - b Run succeeding courses of shingles from the lower roof slope across the valley at least 12 inches (305mm) and nail not closer than 6 inches (152mm) to center of valley.

GAF TIMBERLINE HD SHINGLE GUIDE SPECIFICATION

- c Run shingles from the upper roof slope into the valley and trim 2 inches (51mm) from the center line.
- 3. Install valleys using "woven valley" method: Run shingles from both roof slopes at least 12 inches (305mm) across center of valley, lapping alternate sides in a woven pattern.
 - b DO NOT nail less than 6 inches (152mm) from the valley center line.

E Penetrations

- 1. All Penetrations are to be flashed according to GAF®, ARMA and NRCA application instructions and construction details.

F Skylights and Roof Hatches

- 1. Consult the manufacturer of the skylight or roof hatch for specific installation recommendations.
- 2. Skylights and roof hatches shall be installed with pre-fabricated metal flashings specifically designed for the application of the unit.

3.08 INSTALLATION OF ATTIC VENTILATION

A General

- 1. Ventilation must meet or exceed current F.H.A., H.U.D. and local code requirements.

B Ridge / Soffit ventilation

- 1. Install ridge vent along the entire length of ridges:
- 2. Cut continuous vent slots through the sheathing, stopping 6 inches (152mm) from each end of the ridge.
- 3. On roofs without ridge board, make a slot 1 inch (25mm) wide, on either side of the peak (2 inch (51mm) overall).
- 4. On roofs with ridge board, make two slots 1-3/4 inches (44.5mm) wide, one on each side of the peak (3 ½ inch (89mm) overall).
- 5. Install ridge vent material along the full length of the ridge, including uncut areas.
- 6. Butt ends of ridge vent material and join using roofing cement.
- 7. Install eaves vents in sufficient quantity to equal or exceed the ridge vent area.

C Roof and Gable Louvers:

- 1. Cut vent hole through sheathing as specified by the manufacturer for the type of vent to be installed.
- 2. Install a 24 inches (610mm) square of leak barrier, centered around the hole for roof louvers
- 3. Install according to manufacturers instructions for flashing vent penetrations
- 4. Install eave vents in sufficient quantity to equal or exceed the exhaust vent area, calculated as specified by manufacturer.

D Powered (& Solar Powered) Ventilators & Roof turbines:

- 1. Cut vent hole through sheathing as specified by the manufacturer for the type of vent to be installed.
- 2. On rooftop applications, install a 36 inches (914mm) square of leak barrier, centered around the hole
- 3. Install according to manufacturers instructions for flashing vent penetrations

GAF TIMBERLINE HD SHINGLE GUIDE SPECIFICATION

4. Install eave vents in sufficient quantity to equal or exceed the exhaust vent area, calculated as specified by manufacturer

E Whole House Fans

1. Install at desired locations in ceiling below attic space per manufacturer recommended location and application instructions.

3.09 INSTALLATION OF VENTILATION ACCESSORIES

A Chimney Caps

1. Install chimney caps to manufacturer recommendations

B Foundation Vents

1. Install foundation vents per manufacturer recommendations and applications.

3.10 PROTECTION

- A Protect installed products from foot traffic until completion of the project.
- B Any roof areas that are not completed by the end of the workday are to be protected from moisture and contaminants.

END OF SECTION



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

947 PENN AVENUE
PGH PA 15222

DISTRICT:

PENN - LIBERTY

OWNER:

NAME: YVES CARREAU
 ADDRESS: 947 PENN AVENUE
PGH PA 15222
 PHONE: 412-848-3183
 EMAIL: YCARREAU@GMAIL.COM

APPLICANT:

NAME: DLA + ARCHITECTURE INTERIOR DESIGN
 ADDRESS: 750 HOLIDAY DR.
FOSTER PLAZA BLDG 9 SUITE 200
PGH PA 15220
 PHONE: 412-921-4300
 EMAIL: KESOLOMON@DLAPLUS.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

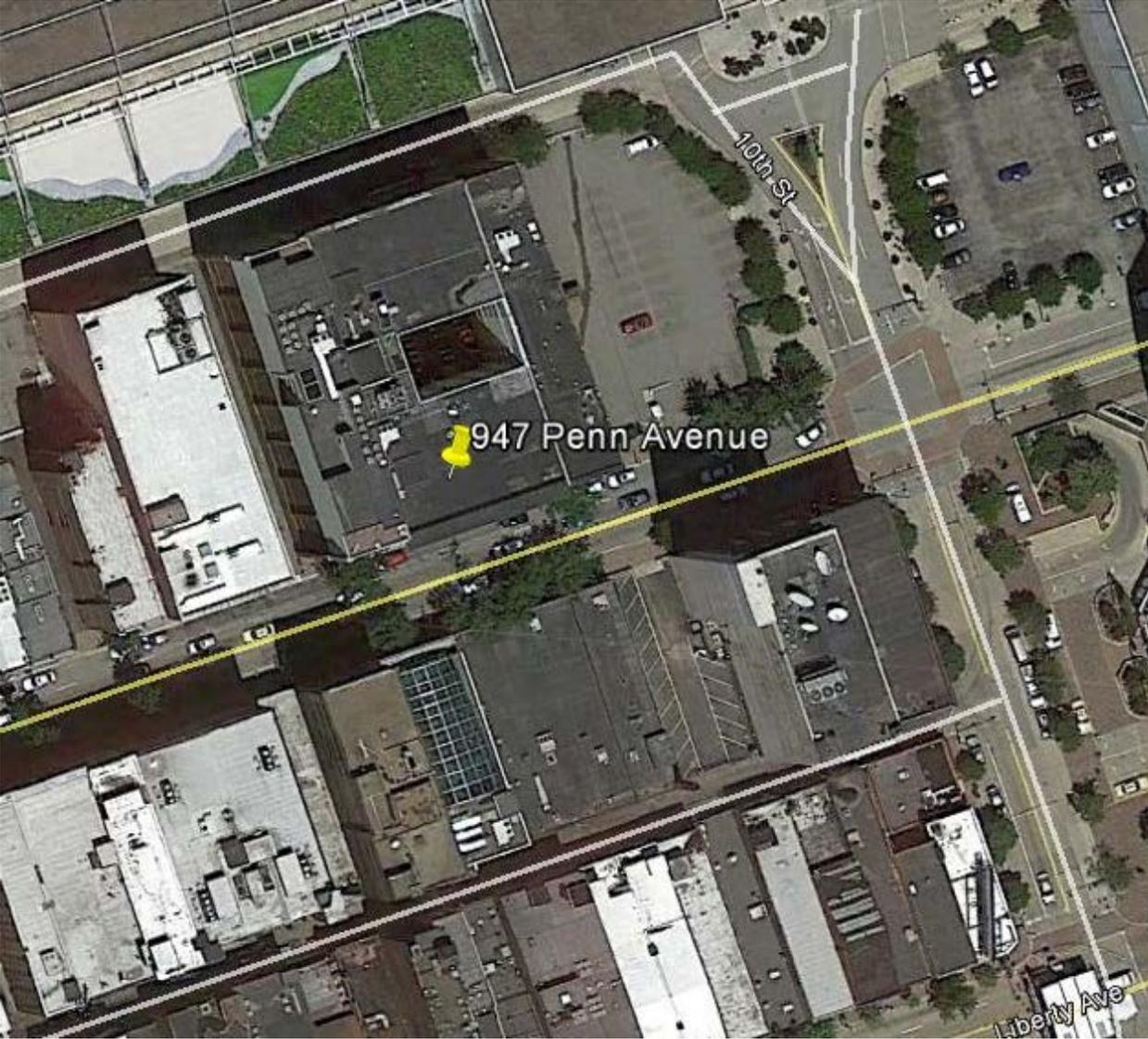
DETAILED DESCRIPTION OF PROPOSED PROJECT:

REPLACEMENT OF EXISTING STOREFRONT WITH
OPERABLE CURTAIN WALL SYSTEM - LEFT BAY ONLY

SIGNATURES:

OWNER: DATE: 1.12.15

APPLICANT: DATE: 1.12.15





Existing Photos – Building Facade
Sonoma Grille Storefront



Existing Photos – Sonoma Storefront
Sonoma Grille Storefront



Existing Photos – Historic Facade
Sonoma Grille Storefront



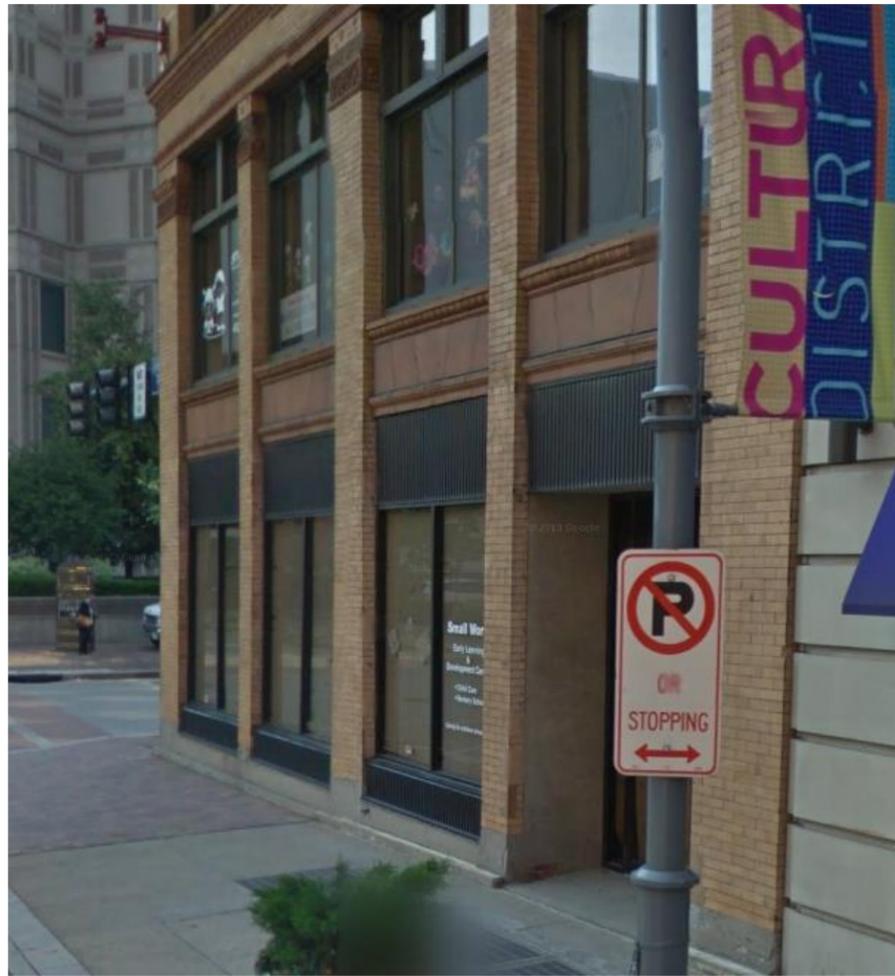
Existing Photos - Details
Sonoma Grille Storefront



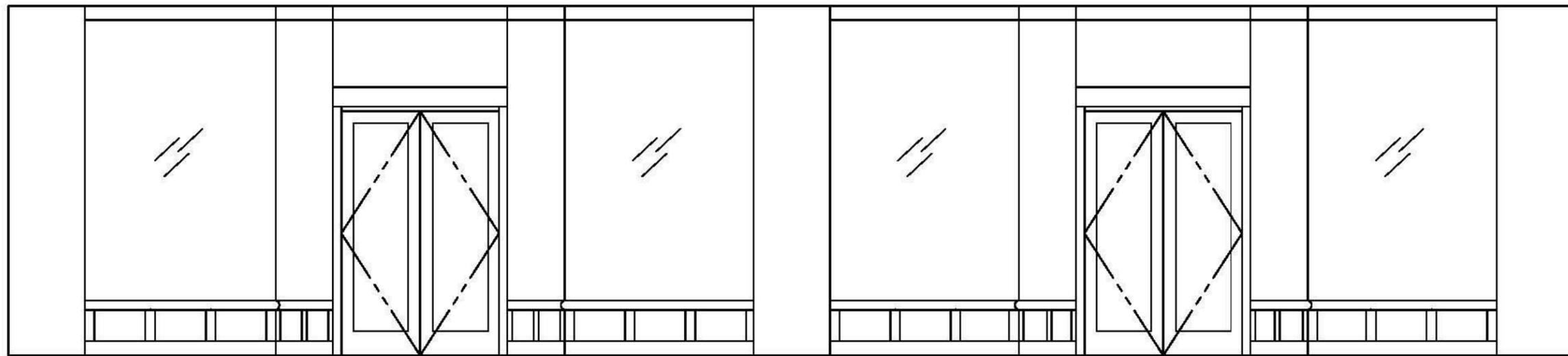
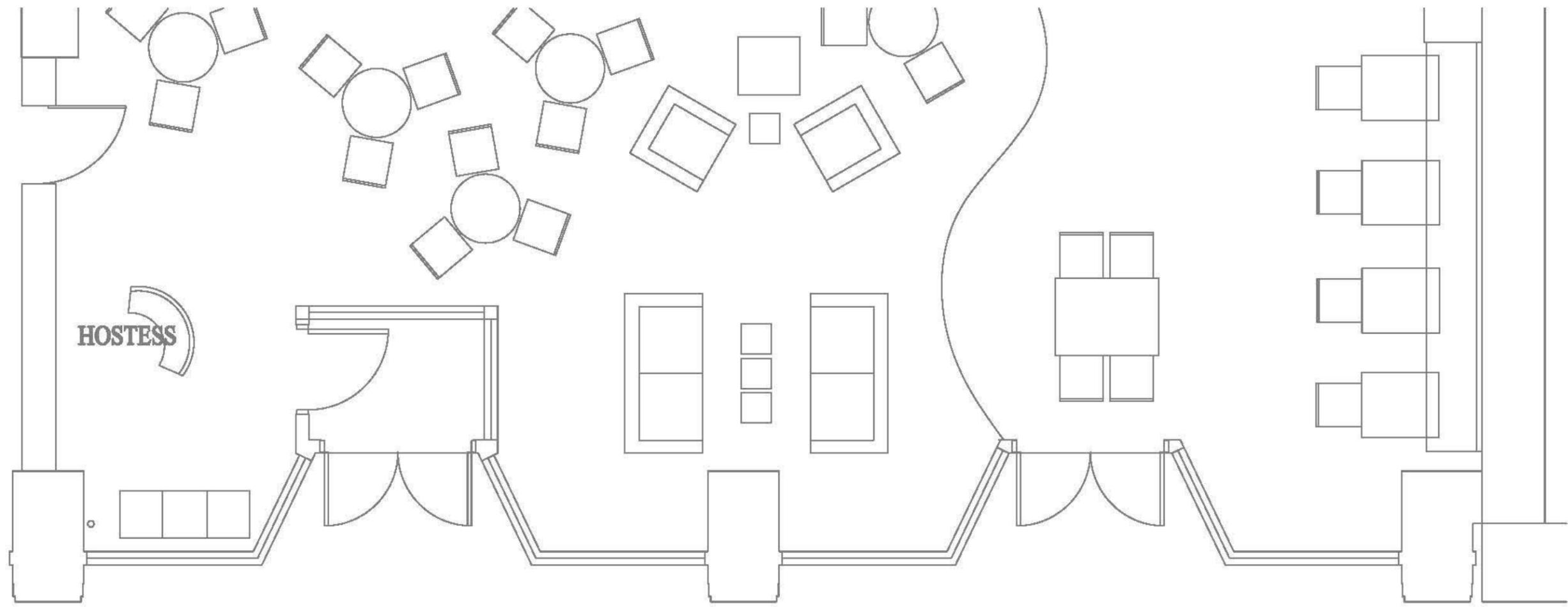
Context Photos
Sonoma Grille Storefront



Context Photos
Sonoma Grille Storefront



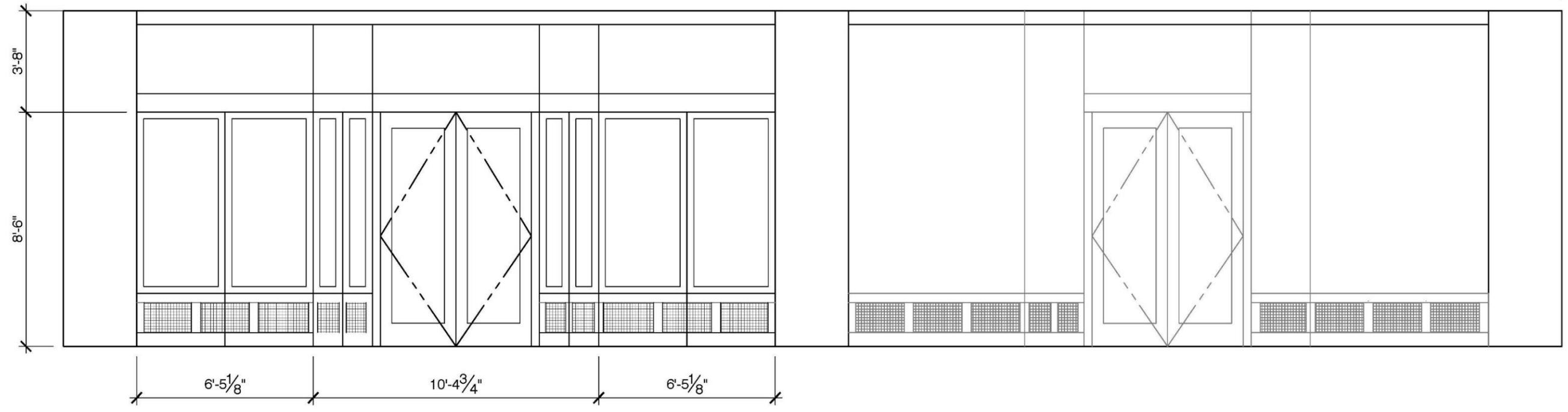
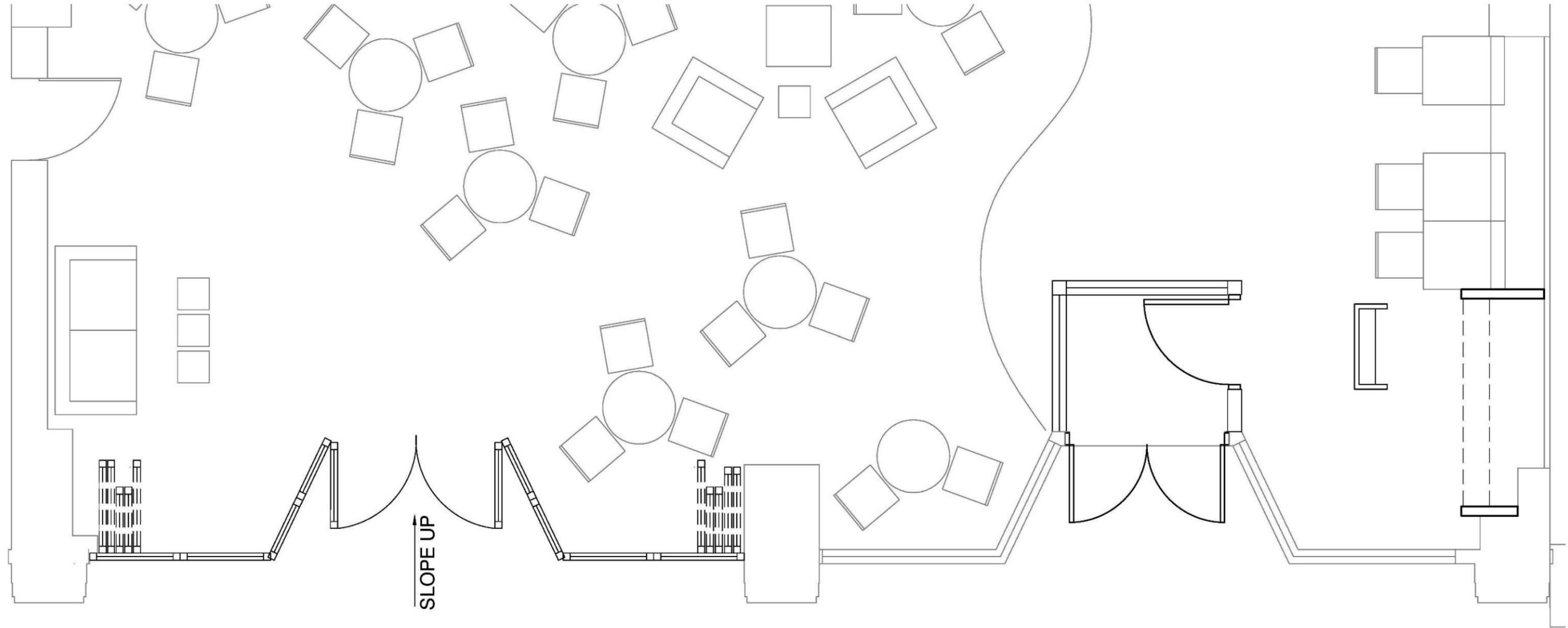
Nearby Precedent with Operable walls – Ten Penny Sonoma Grille Storefront



Partial Plan and Elevation - Existing
Sonoma Grille Storefront



Perspective - Existing
Sonoma Grille Storefront

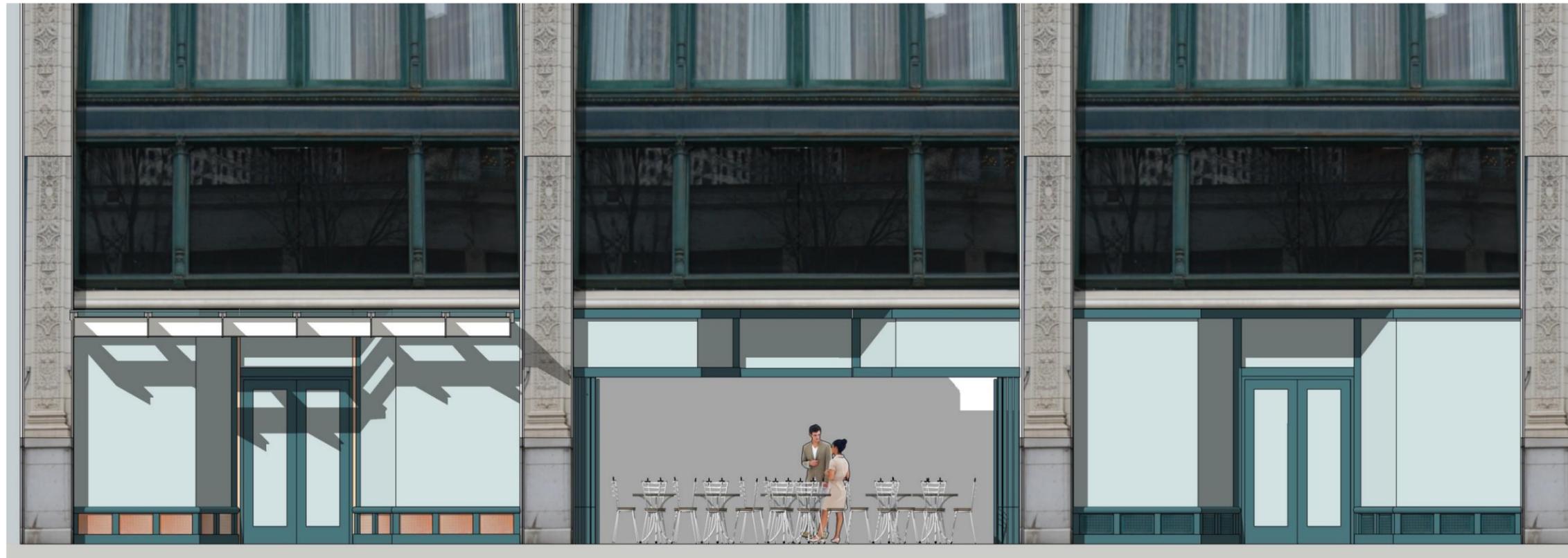


Partial Plan and Elevation - Proposed
Sonoma Grille Storefront





Perspectives – Closed and Open Storefront
Sonoma Grille Storefront



Elevations – Closed and Open Storefront
Sonoma Grille Storefront



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 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 1/13/15
 LOT AND BLOCK NUMBER: 27-0-266
 WARD: 4th
 FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

4147 Bigelow Blvd

DISTRICT:

Schenley Farms

OWNER:

NAME: Thomas W. Kamarck, Ph.D.
 ADDRESS: 4147 Bigelow Blvd
Pittsburgh, PA 15213
 PHONE: 412-624-2080
 EMAIL: tkam@pitt.edu

APPLICANT:

NAME: Greenheart Companies / Mike Angelilli
 ADDRESS: 6001 Southern Blvd
Boardman, OH 44512
 PHONE: 330-259-3070
 EMAIL: mike@greenheartcompanies.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Convert and restore original double hung window with insulated glass. Window appearance not to modified.

New exterior muntins to be applied to glass to keep true divide look. Exterior brickmould and sill to remain the same.

SIGNATURES:

OWNER: *Thomas W. Kamarck* DATE: 11-10-14
 APPLICANT: *Mike Angelilli* DATE: 11-10-14



GreenHeart

6001 Southern Blvd. Suite 103
Boardman, Ohio 44512

330.259.3070 Office
330.259.3072 Fax

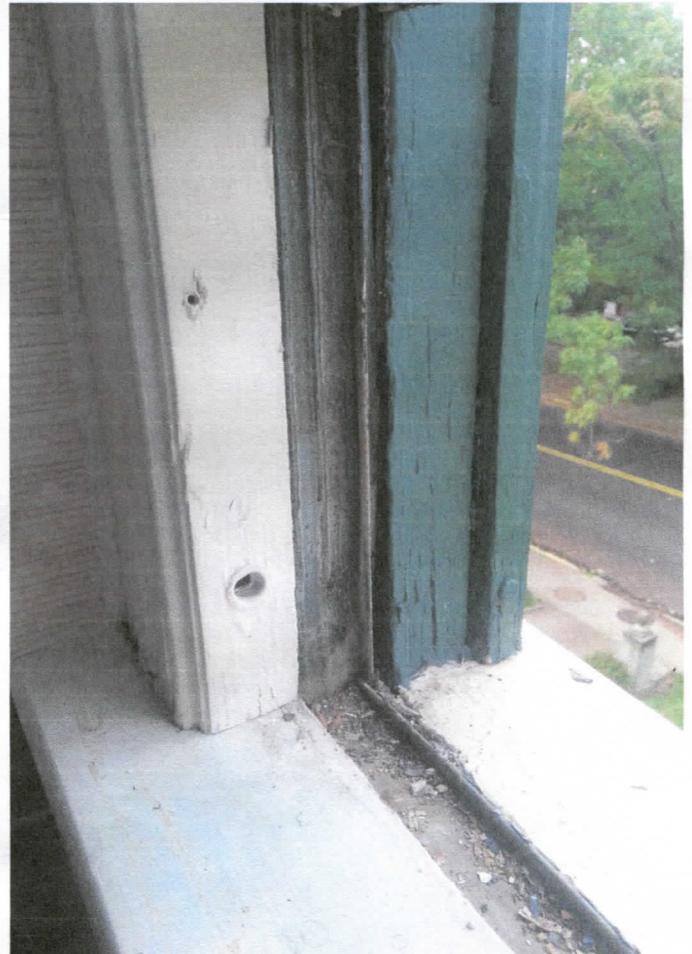
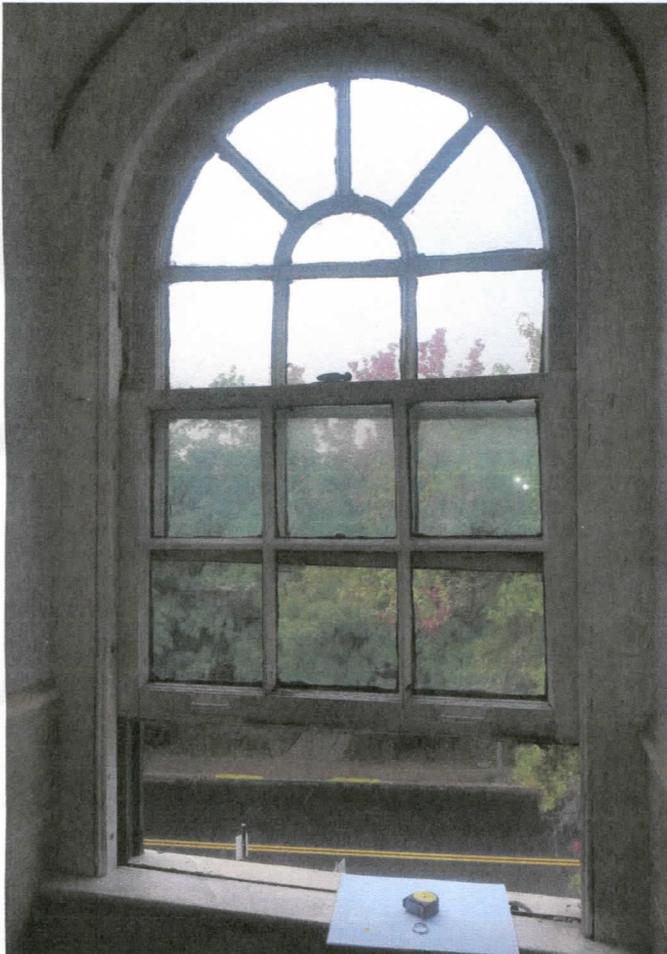
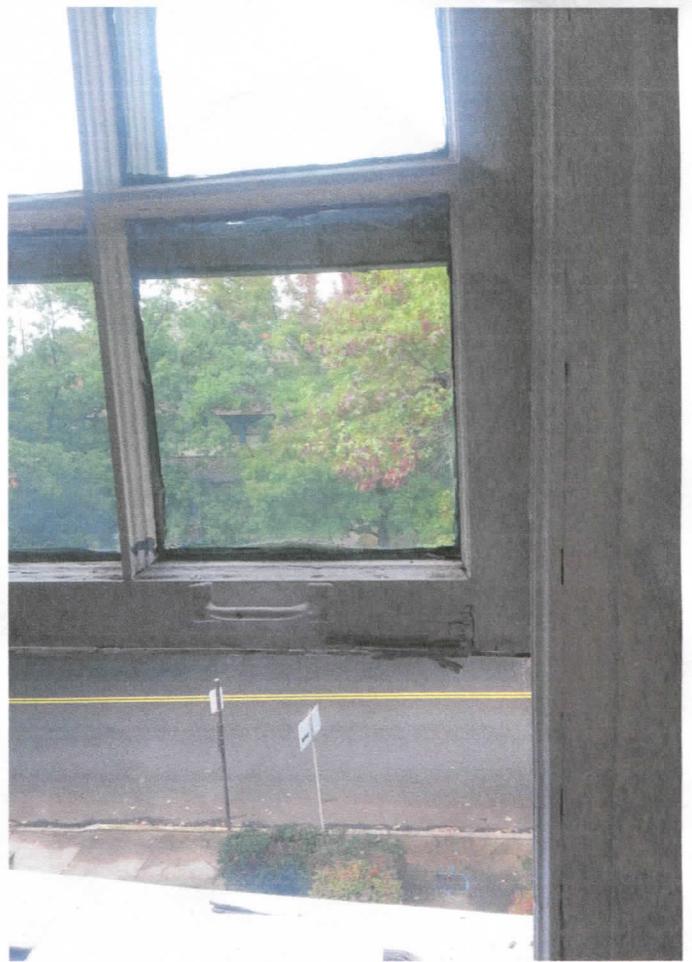


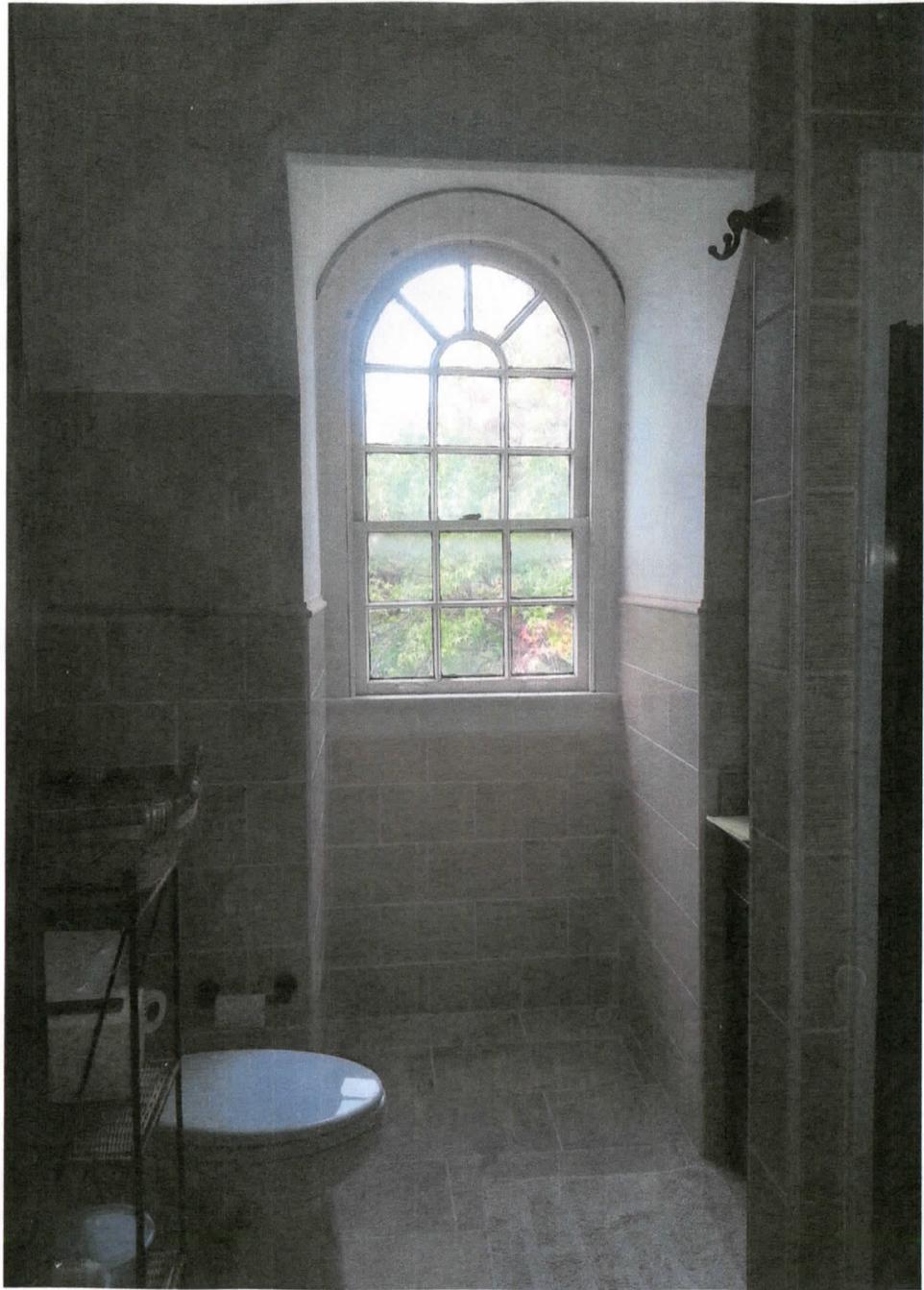
Companies

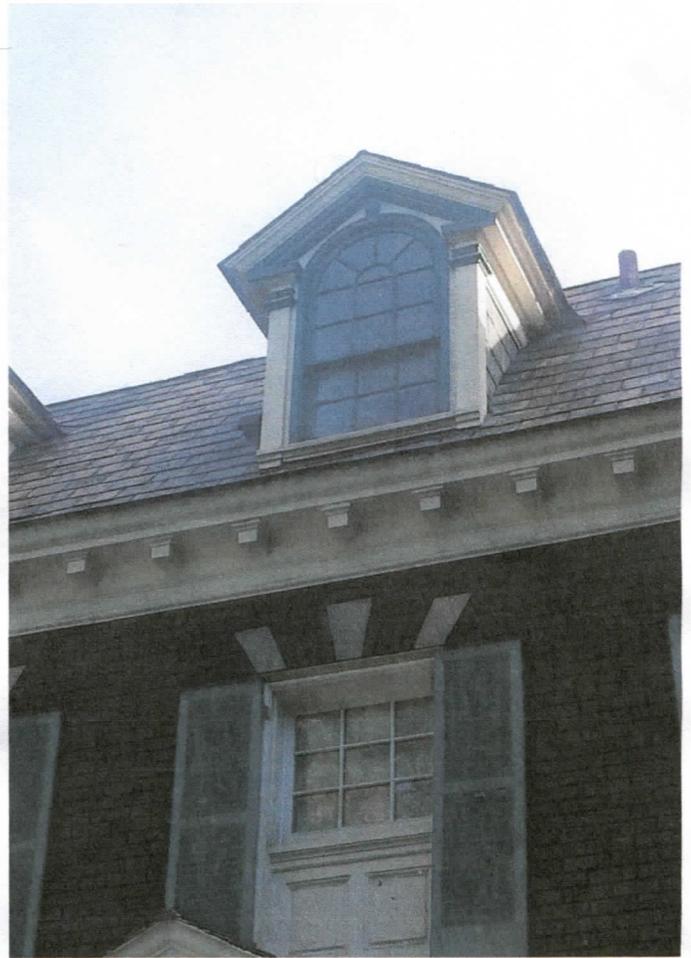
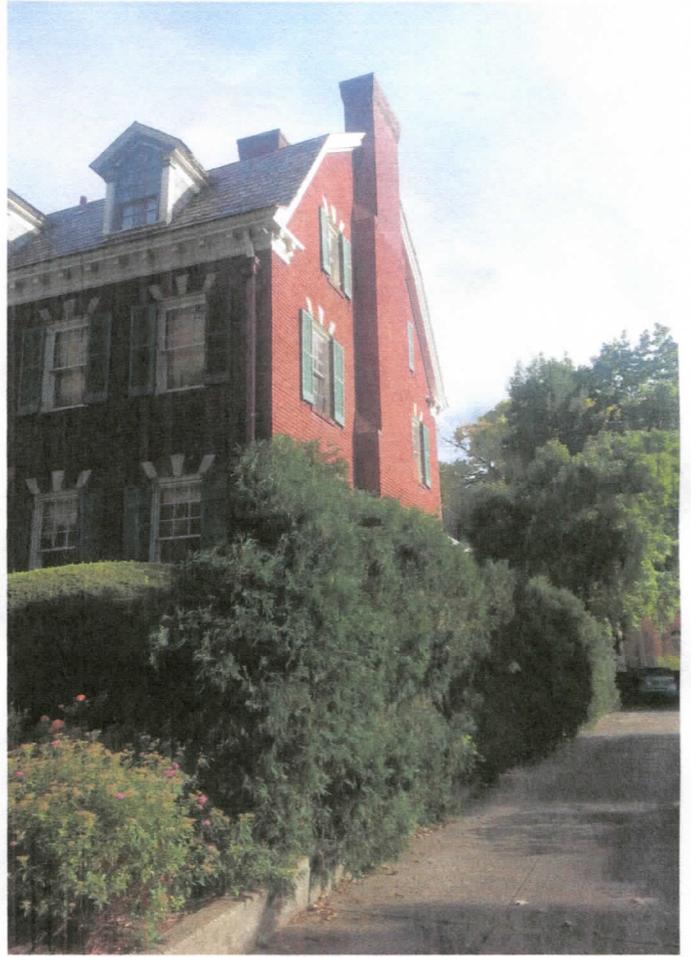
Scope of work:

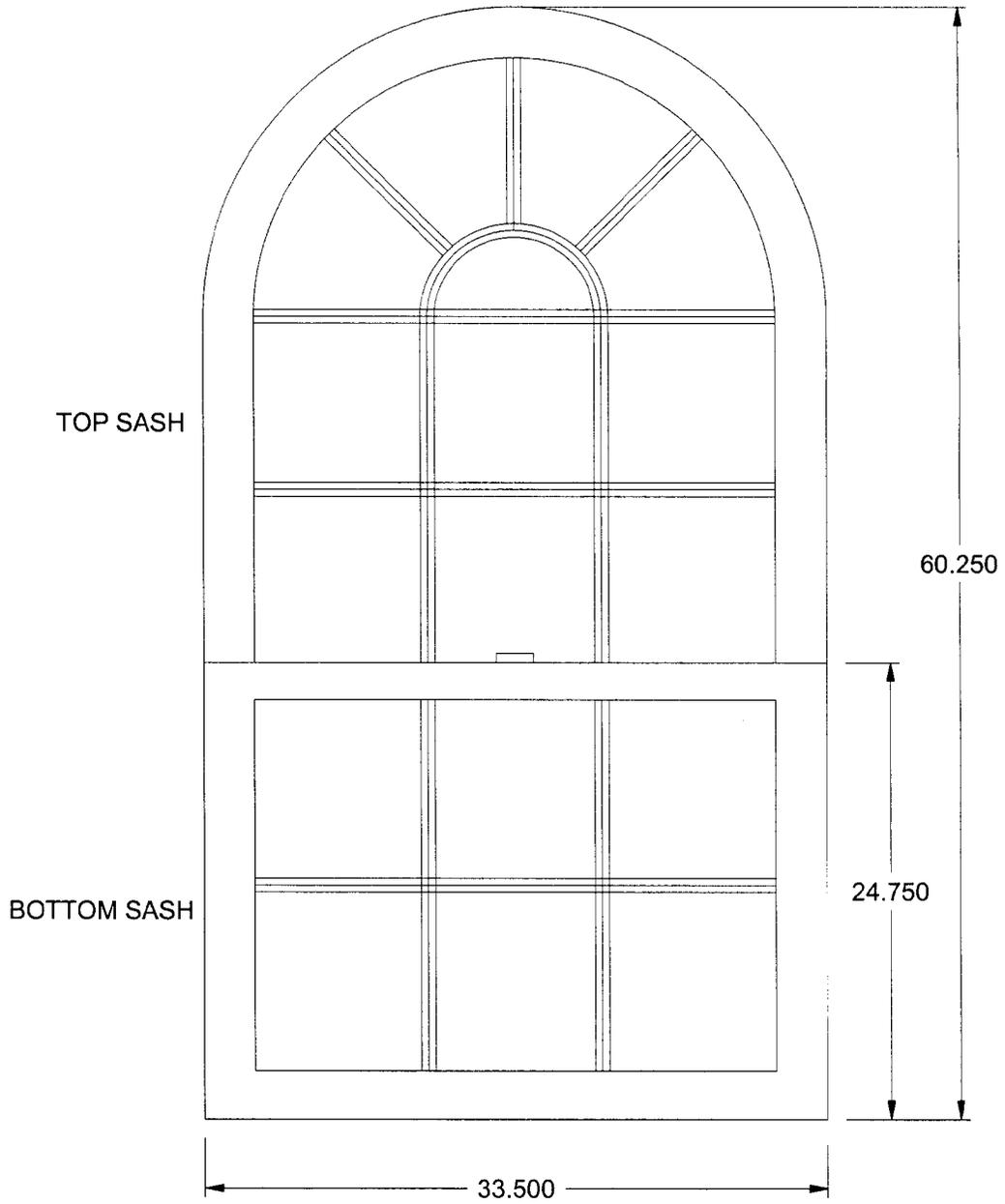
- Removal of upper and lower sash and sash beads and interior stops.
- Window weights to be removed and pockets to be filled with insulation and covered.
- Window then to be covered during Bi-Glass restoration.
- Window sashes to be fixed where need and sanded then primed and exterior be painted to match existing color.
- Original single pane glass to be removed from upper and lower sash.
- Upper and lower sash to processed to except ½" double pain insulated glass filled with argon glass. Low E optional.
- New one piece insulated glass to be fit into upper and lower sash.
- New exterior wood painted muntins to be applied directly to glass to match the interior muntins that still exist on the interior side of window.
- Bottom sash to have new hidden balances installed.
- New weather stripping to be fitted to upper and lower sash and on to interior stop to insure a good seal.
- Window sashes then will be ready for reinstall.
- Exterior frame/Brickmould to remain the same.
- Window architectural integrity will not be compromised.











SPRINGLINE DOUBLE-HUNG
WINDOW SPECIFICATION



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

223 TENNYSON AVE
PCH PA 15213

OWNER:

NAME: Mr & Mrs ROLPH JACOBS
 ADDRESS: SAME

PHONE: _____
 EMAIL: DUNBAR @ PITT. EDU

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

INSTALLATION OF Skylight

SIGNATURES:

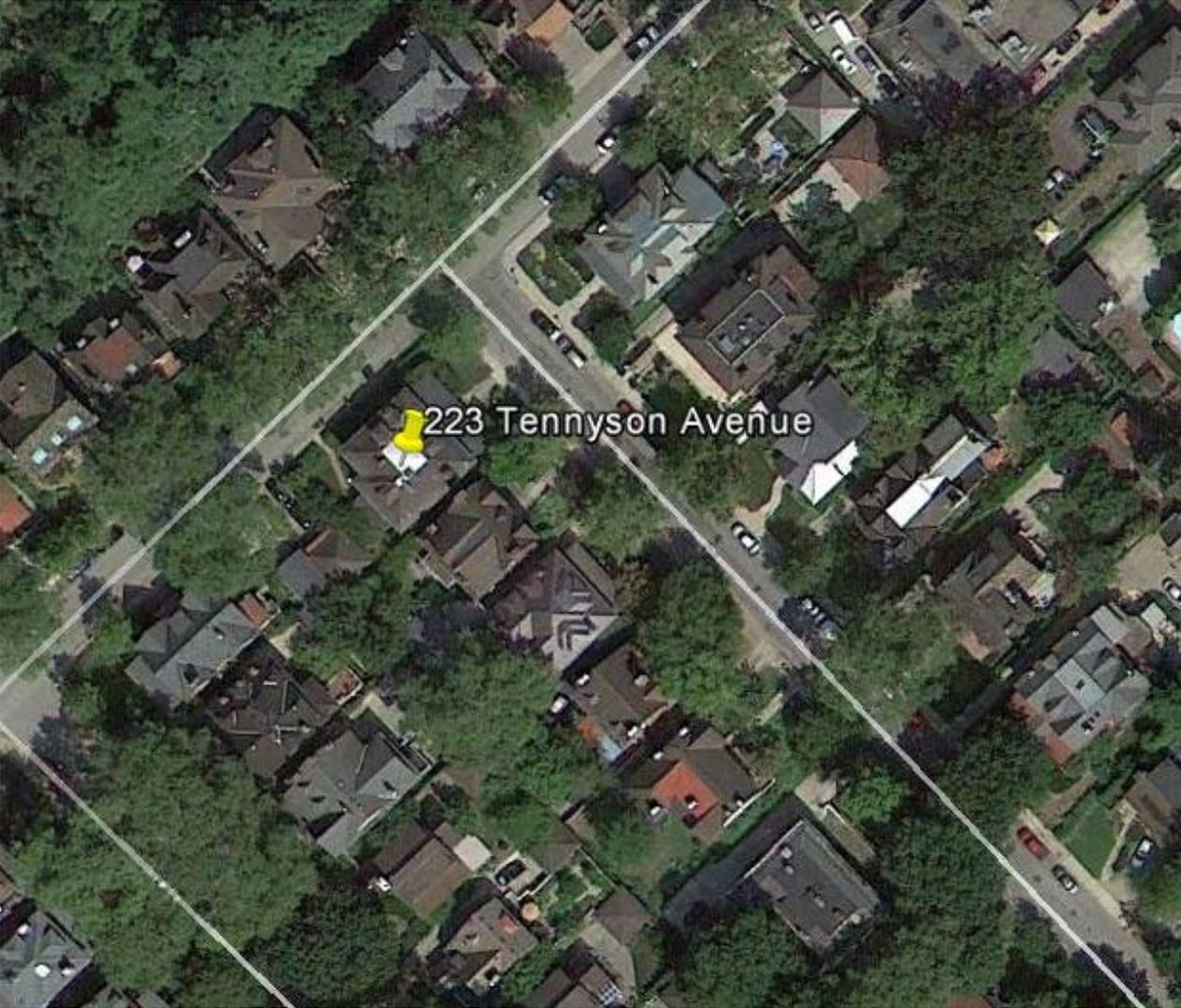
OWNER: _____ DATE: _____
 APPLICANT: [Signature] DATE: 1/21/15

STAFF USE ONLY:

DATE RECEIVED: 1/16/15
 LOT AND BLOCK NUMBER: 27-6-211
 WARD: 4th
 FEE PAID: yes
 DISTRICT: Schenley Farms

APPLICANT:

NAME: Robert DABNEY
 ADDRESS: _____
 PHONE: 412 812 5568
 EMAIL: Robert@dabney@gmail.com



223 Tennyson Avenue





