



## Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room  
March 4, 2015

### AGENDA

(Vacant), *Chairman*  
Ernie Hogan, *Acting Chairman*  
Ray Gastil, *Director of Planning*  
Erik Harless, *Assistant Chief PLI, Secretary*  
Joe Serrao  
(Vacant)  
(Vacant)

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

*Old Business*

*New Business*

- Approval of the minutes from the February 2015 hearing
- Certificates of Appropriateness Report – February 2015
- Applications for a Certificate of Economic Hardship – None

➤ **1:00 PM HEARING & ACTION**

- 1. Allegheny Commons Historic District**  
Lake Elizabeth  
City of Pittsburgh, owner  
PWSA, applicant  
**Installation of mechanical units for lake**
- 2. Allegheny West Historic District**  
705 Brighton Road  
705 Brighton Road Associates LP, owner  
Pfaffmann + Associates, applicant  
**Building and carriage house renovations**
- 3. Deutschtown Historic District**  
910 Cedar Avenue  
Margaret Macavoy, owner  
Germaine Gladu, applicant  
**After-the-fact installation of railings,  
installation of door**
- 4. Deutschtown Historic District**  
406-408 Foreland Street  
Sarah Sims Erwin & Dominick DeGennaro,  
owners and applicants  
**Change in siding material**

- 5. East Carson Street Historic District**  
1908 E. Carson Street  
Mike Alberter, owner  
Alex Carik, applicant  
**Signage**
- 6. Manchester Historic District**  
1415 Lake Street  
Manchester Housing Development, owner and  
applicant  
**Fence replacement**
- 7. Manchester Historic District**  
Page Street  
Western PA Human Society, owner and  
applicant  
**Fencing and rain shelter for a dog park**
- 8. Market Square Historic District**  
260 Forbes Avenue  
GMS Commercial, LP, owner  
Kolano Design, applicant  
**Signage**

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**9. Market Square Historic District**

24 Market Square  
Nola Pgh Inc, owner  
Doug Sipp, applicant

**Canopy addition over sidewalk**

**10. Mexican War Streets Historic District**

409 Eloise Street  
Jake Bier, owner  
Arctecon, LLC, applicant

**Façade renovations**

**11. Mexican War Streets Historic District**

1224 Monterey Street  
Monterey Street Project, owner  
Richard Worl, applicant

**Demolition of rear addition and fence**

**12. Oakland Civic Center Historic District**

4215 Fifth Avenue  
Oakland Fifth Ave Hotel Associates, owner and applicant

**Construction of an 11-story hotel**

**13. Penn-Liberty Historic District**

930 Penn Avenue  
Tolmer Foods, owner  
Joseph Stasa, applicant

**Replacement of door**

➤ **DEMOLITIONS**

**Individual Landmark —**

**Iron City Brewery**

3340 Liberty Avenue  
Collier Development, owner  
Jack Cargnoni, applicant

**Demolition of wall**

➤ **HISTORIC NOMINATIONS**

**Turney House**

160 43<sup>rd</sup> Street  
Carol Peterson, owner and nominator

**Historic Designation**

**Walton House**

4412-4414 Plummer Street  
Chan Real Estate LP, owner  
Carol Peterson, nominator

**Historic Designation**

➤ **DIRECTOR'S REPORT**

➤ **ADJOURNMENT**

*The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public.* INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

**Please contact Sarah Quinn with questions and comments: 412-255-2243**

[sarah.quinn@pittsburghpa.gov](mailto:sarah.quinn@pittsburghpa.gov)



**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

Lake Elizabeth - Allegheny Commons

**DISTRICT:**

District 1

**OWNER:**

NAME: City of Pittsburgh

ADDRESS: 414 Grant Street

Pittsburgh, PA 15222

PHONE: (412) 255-2152

EMAIL: \_\_\_\_\_

**APPLICANT:**

NAME: Pittsburgh Water and Sewer Authority

ADDRESS: 1200 Penn Avenue Suite 100

Pittsburgh, PA 15222

PHONE: (412) 255-8800

EMAIL: BSchubert@pgh2o.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

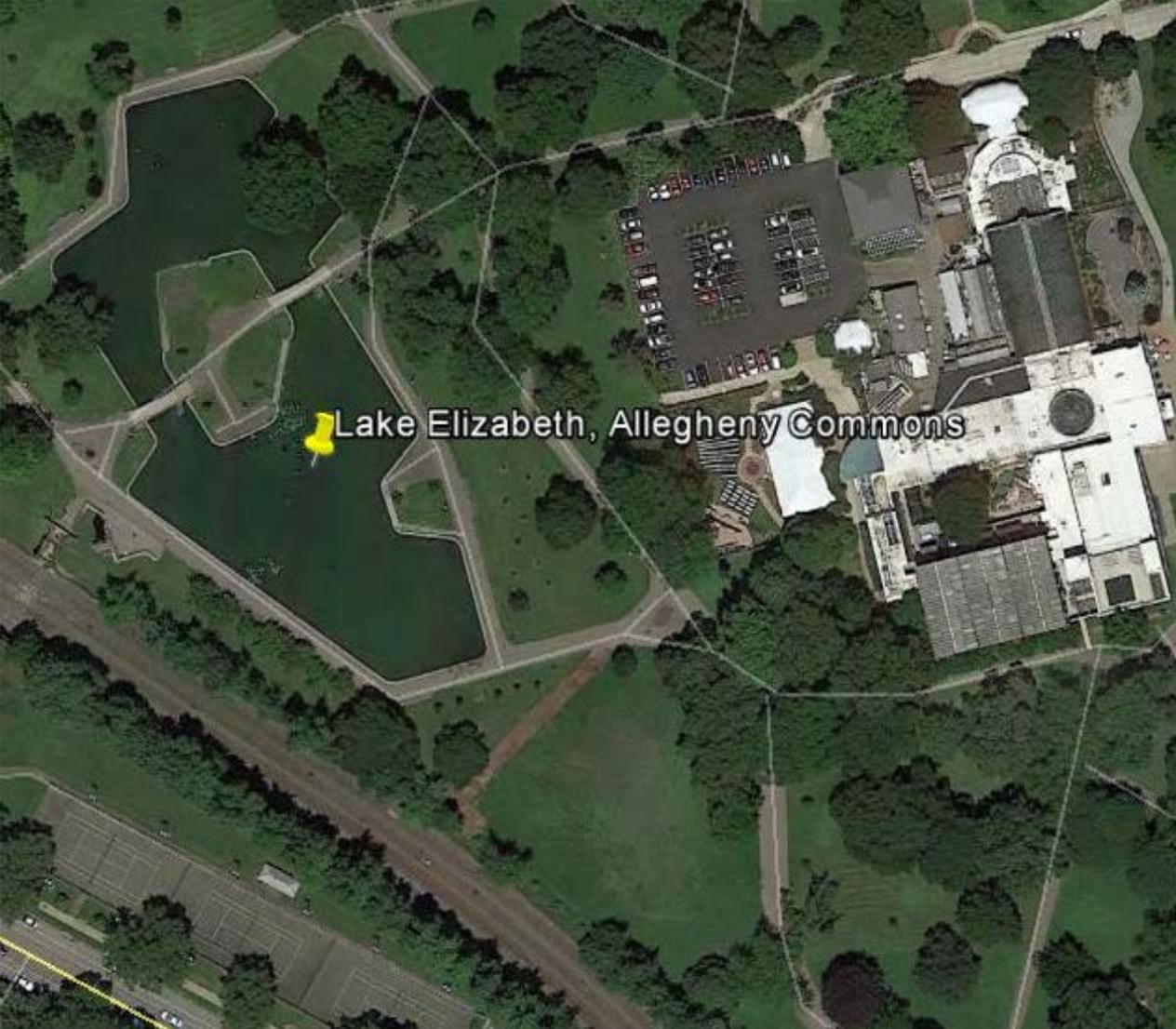
**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Project will install two electrical mixers in Lake Elizabeth to increase the dissolved oxygen and prevent algae growth. Two utility boxes (approximately size of 3'x2'x2') will be located on the shore and will be obscured with shrubbery. No above ground electrical service is required.

**SIGNATURES:**

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPLICANT:  DATE: 11/14/2014



Lake Elizabeth, Allegheny Commons



## Lake Elizabeth

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*Plan View*

*Equipment Not to Scale*

## Air Powered Mixer

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**GridBee AP200P**

October 2014



1250 PENN AVENUE  
PITTSBURGH, PA 15222  
PH: 412-232-4410  
FAX: 412-232-4420  
[www.chester-engineers.com](http://www.chester-engineers.com)

Created by: Donegan

Date: 10/20/14

File: G:\CLIENT\PWSA\Projects\2014  
LakeElizabeth\_102014



## Lake Elizabeth

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### *Profile Rendering*

*Not to Scale*

## Air Powered Mixer

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### GridBee AP200P

October 2014

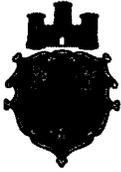


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LakeElizabeth\_102014



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 200 Ross Street, Third Floor  
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**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

705 Brighton Road  
 Pittsburgh, PA 15233

**OWNER:**

NAME: 705 Brighton Road Associates LP  
 ADDRESS: % Doug Duerr, 1008 Brianna Lane  
 Bethel Park, PA 15102  
 PHONE: 412-443-5289  
 EMAIL: doug@qdevelopment.com

STAFF USE ONLY:

DATE RECEIVED: 2/10/15  
 LOT AND BLOCK NUMBER: 8-A-158  
 WARD: 2nd.  
 FEE PAID: 400  
**DISTRICT:**  
 Allegheny West

**APPLICANT:**

NAME: Pfaffmann + Associates  
 ADDRESS: % Jeff Slack, AICP  
 223 Fourth Avenue, Suite 800  
 Pittsburgh, PA 15233  
 PHONE: 412-471-2470  
 EMAIL: jeff@pfaffmann.com

**REQUIRED ATTACHMENTS:**

- Drawings (Annotated Photos)   
 Photographs   
 Renderings   
 Site Plan   
 Other (Excerpts from historic structure report)

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Clean and repaint brick and sandstone; ~~new front door to match historic photo~~; repair front porch (~~new floor and ceiling to match historic~~); restore historic windows (turret); replace ca. 2005 non-historic windows (with identical operation, double-glazed, wood sash); install historically-appropriate brick molding at all windows; replace carriage house windows; widen garage door of carriage house. See attached annotated illustrations.

**SIGNATURES:**

OWNER:  DATE: 1/28/2015  
 Doug Duerr, 705 Brighton Road Associates LP  
 APPLICANT:  DATE: 1-28-15  
 Jeff Slack, Pfaffmann + Associates



# The Willock House

## HRC Application

705 Brighton Road, Pittsburgh, PA

28 January 2015

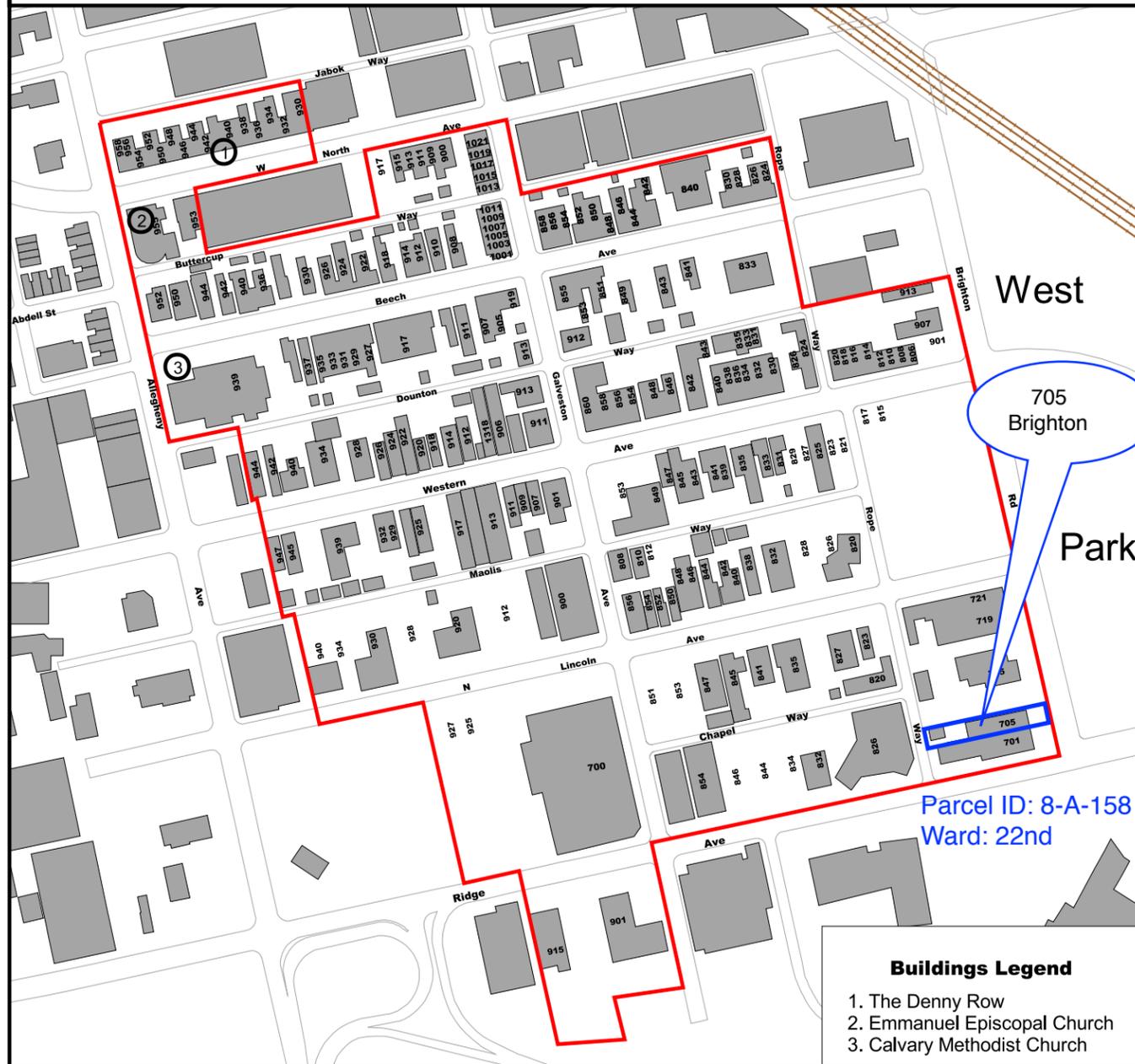
### PFAFFMANN + ASSOCIATES

223 Fourth Avenue  
Suite 800  
Pittsburgh, PA 15222  
412.471.2470  
[www.pfaffmann.com](http://www.pfaffmann.com)



# Allegheny West

## City Designated Historic District



Designated November 26, 1990

0 200 400 600 Feet

- City Historic District
- Railroad
- Buildings



jeff slack <jeff@pfaffmann.com>

### The Allegheny West LRC Response to Your Plans for The Willock House

1 message

**Carole Malakoff** <carolemalakoff@hotmail.com> Tue, Dec 2, 2014 at 12:03 PM  
 To: "jeff@pfaffmann.com" <jeff@pfaffmann.com>, "rick@qdevelopment.com" <rick@qdevelopment.com>, "doug@qdevelopment.com" <doug@qdevelopment.com>  
 Cc: Carrie Doyle <cadpgh@yahoo.com>, Eleanor Coleman <eleanor.coleman@verizon.net>, "etwilson@gmail.com" <etwilson@gmail.com>, "mamurph721@aol.com" <mamurph721@aol.com>, "ingridberglund@aol.com" <ingridberglund@aol.com>, "mdgalleries@verizon.net" <mdgalleries@verizon.net>, Michael Shealey <michael\_shealey@hotmail.com>, TIMOTHY ZINN <tzinn106@msn.com>, "sarah.quinn@pittsburghpa.gov" <sarah.quinn@pittsburghpa.gov>

Dear Jeff, Thank you and Rob for taking the time to meet with us on Thursday, Nov. 20. Sorry for the delay in our response.

The LRC agrees that your plans are the most extensively documented, well thoughtout, and detailed that we have seen for a residential property in our neighborhood. Your project will definitely be a "showcase for historic preservation" in the City. We are pleased that the project is in Allegheny West.

Your extensive amount of work: window replacement; installation of brick molding around the windows; paint removal; brick and stone cleaning; chimney and brick pointing; installation of a new front door; and repair of the porch floor, ceiling, and steps conforms to our neighborhood historic guidelines as well as the Secretary of the Interior's Standards.

We are satisfied with the widening of the garage door opening on the alley to provide easier access.

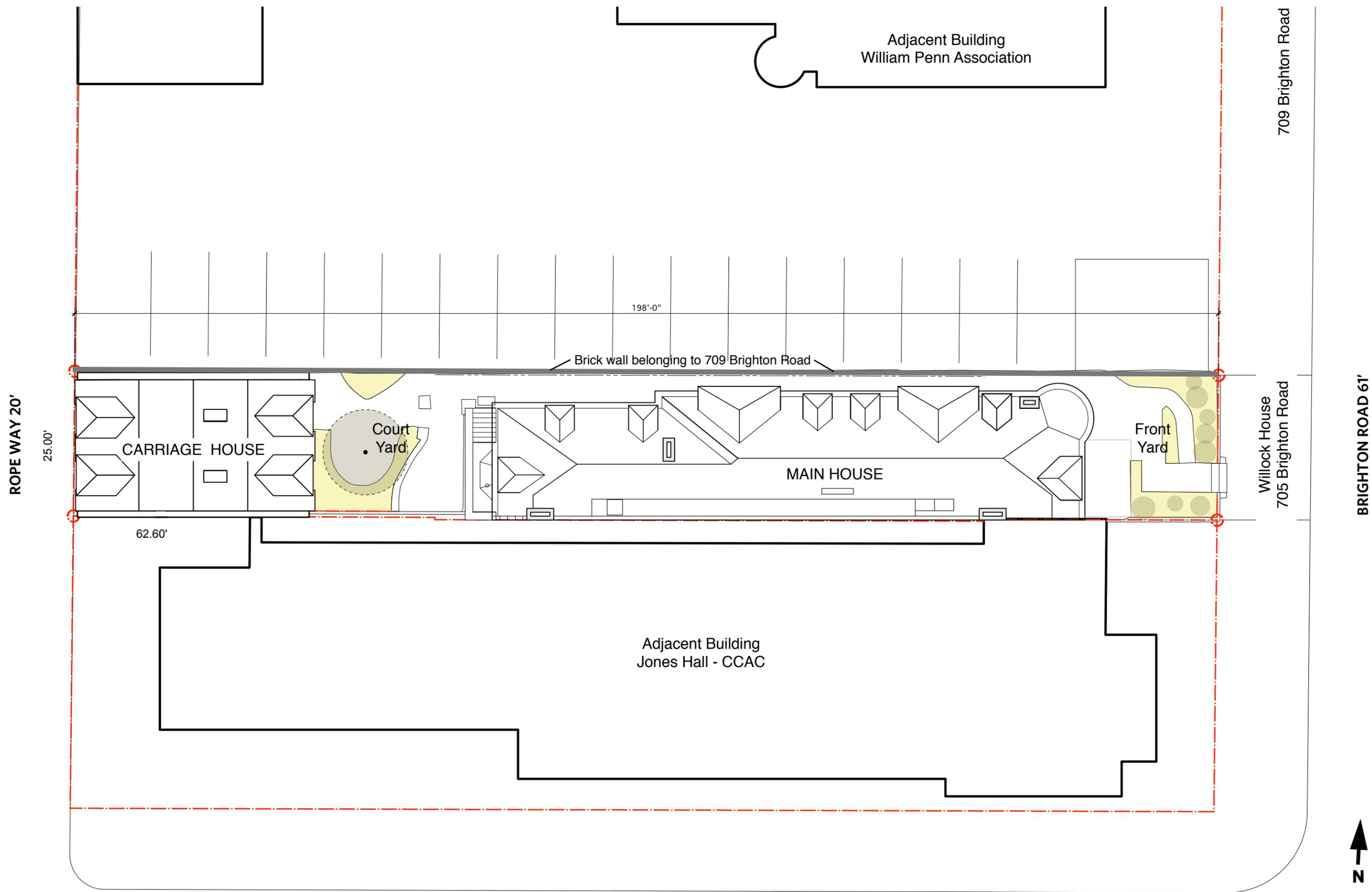
We would be very pleased to support your project when it comes up before the HRC in January.

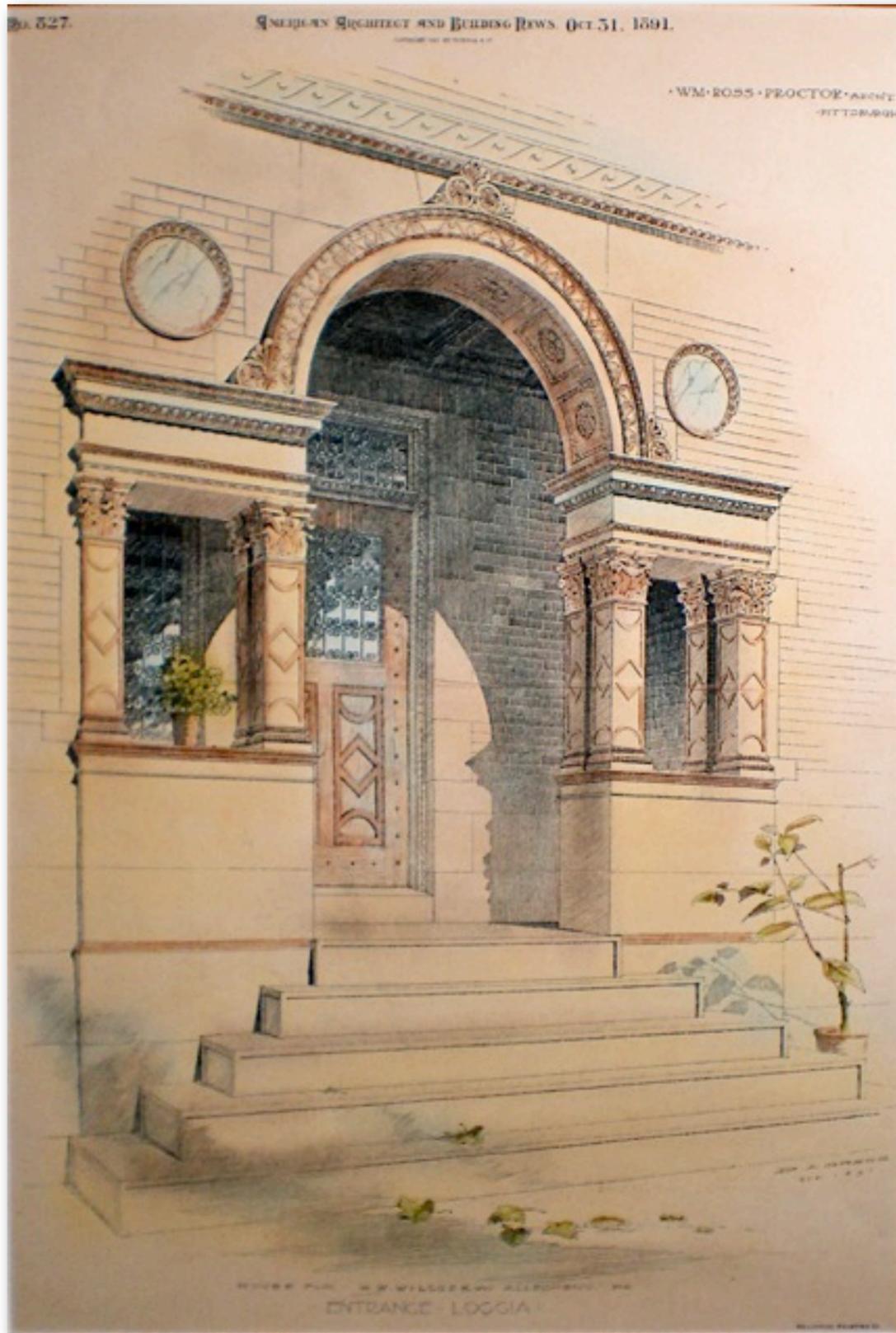
We wait anxiously to see the project completed.

Good luck,  
 Carole

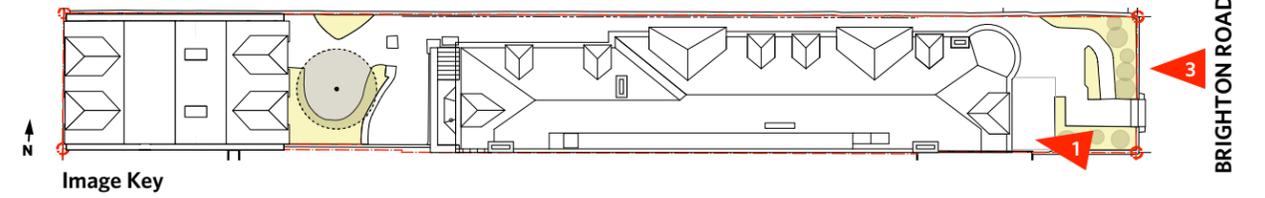
Project support from Allegheny West LRC.







**[Image 1]. 1891:** Architectural rendering of the entrance loggia (or open entry porch with columns) of the Willock House prior to construction of the existing front porch (from the October 31, 1891 edition of *American Architect and Building News*). The illustration identifies William Ross Proctor as the architect and W.W. Willock as the owner.



**[Image 2]. 1917:** The Willock House can be seen to the right of the horse's head in this historic photo.



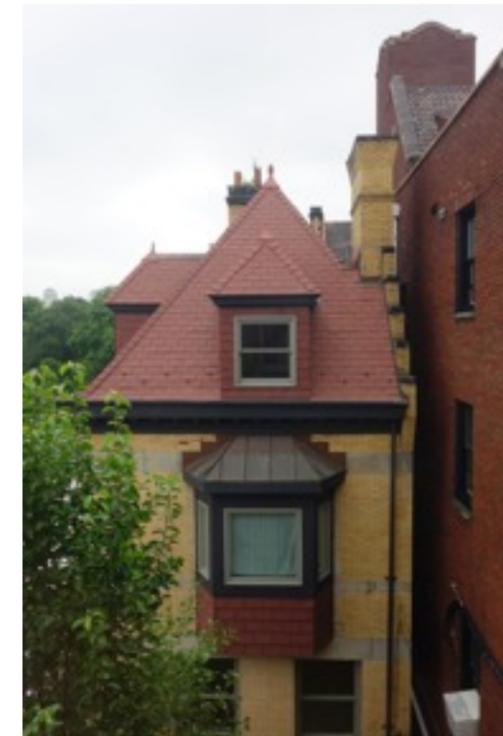
**[Image 3]. 1980s:** Front facade.



[Image 4]. Front/east facade of Main House.



[Image 5]. East and north facades of Main House, with Carriage House at rear.



[Image 8]. West/rear facade of Main House.

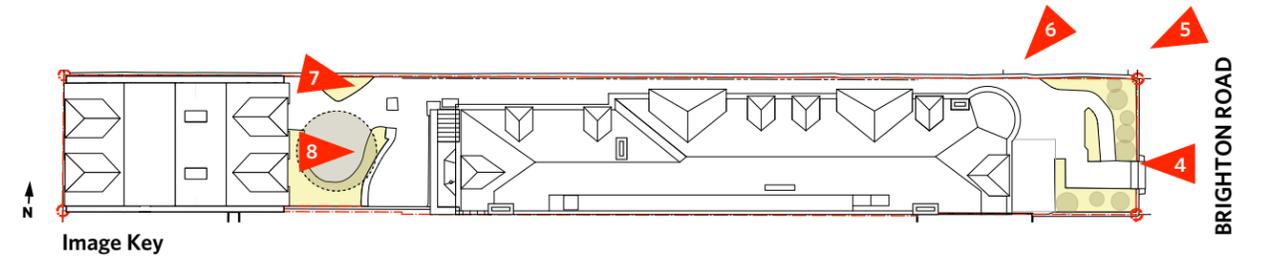
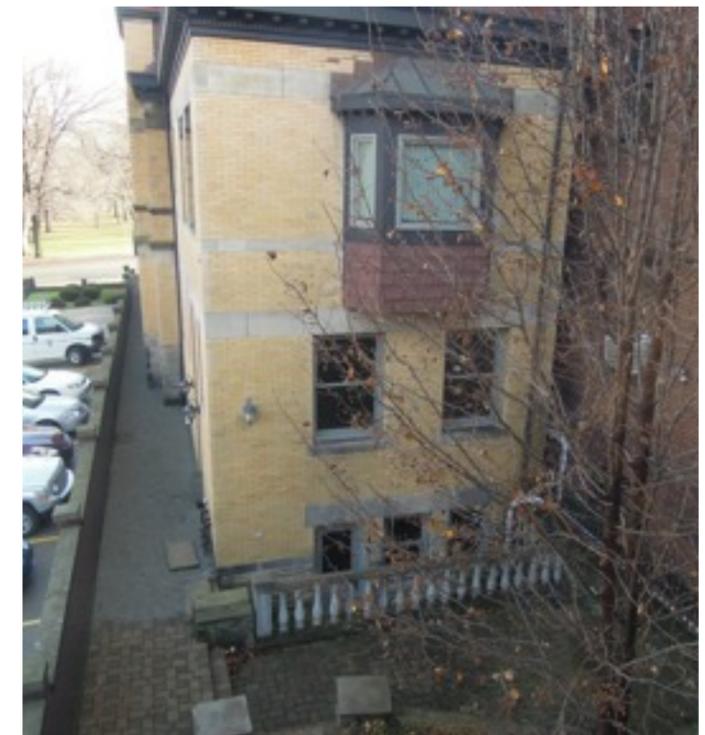


Image Key



[Image 6]. North facade of Main House, showing neighbor's brick wall in foreground.



[Image 7]. West/rear facade of Main House.



[Image 9]. East/rear facade of Carriage House.



[Image 10]. North facade of Carriage House, showing the Main House to the left and Rope Way to the right..



[Image 11]. West/front facade of Carriage House.

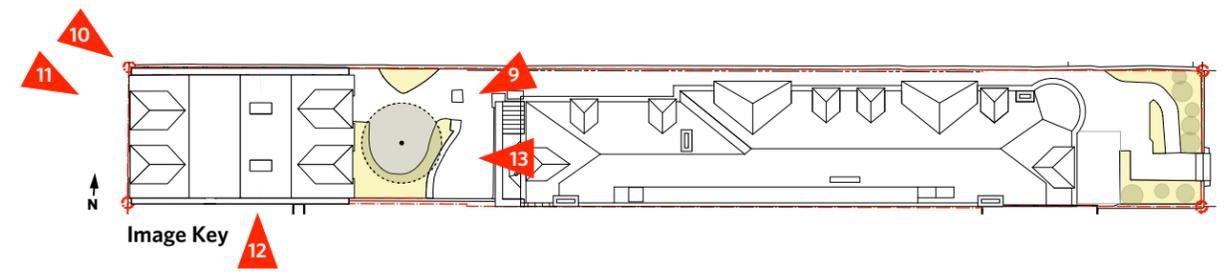


Image Key



[Image 12]. South facade of Carriage House.



[Image 13]. View of courtyard from roof of Main House, looking west (courtyard is not visible from public way).

**3rd Floor**

- 1. **Repair chimneys** - Remove vegetation, repoint and clean, provide new copper caps
- 2. **Replace double-hung windows** - Replace non-historic windows with 1/1, double-hung, double-glazed, painted wood sashes, dimensions to match existing

**2nd Floor**

- 2. **Replace double-hung windows**
- 3. **Restore historic windows** - As needed, remove paint; repair sashes, frames, chains, pulleys, weights; weatherstrip; repaint
- 4. **New casement windows** - Double-glazed, leaded glass casement windows, wood sashes
- 5. **New iron safety railing** - Behind stone parapet of existing balcony

**1st Floor**

- 2. **Replace double-hung windows**
- 3. **Restore historic windows**
- 6. **Reconstruct porch ceiling** - New coffered wood to match ceiling of loggia/ historic photo
- 7. **New transoms (leaded)** - Leaded glass, painted wood sashes, dimensions to match existing
- 8. **Replace transoms (leaded)** - Replace non-historic transoms with fixed, leaded, double-glazed, painted wood sashes, dimensions to match existing
- 9. **Replace casement windows (leaded)** - Replace non-historic windows with leaded, double-glazed casements, painted wood sashes, dimensions to match existing
- 10. **Replace transoms (no leading)** - Replace non-historic transoms with fixed, double-glazed, painted wood sashes, dimensions to match existing
- 11. **New exterior lighting** - Replace existing non-historic fixtures

**1st Floor (continued)**

- 3. **Replace double-hung windows**
- 12. **Replace door** - New wood door with double-glazed panel

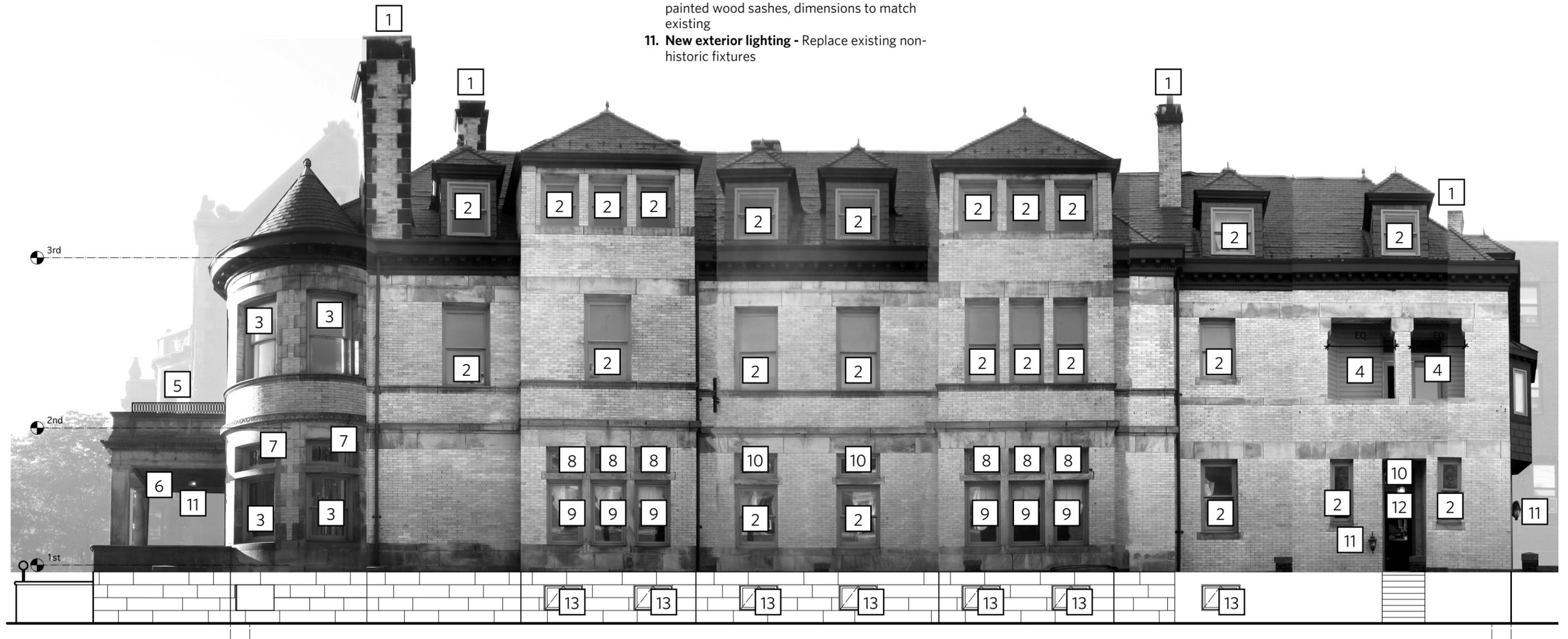
**Basement**

- 13. **Replace awning windows** - Replace non-historic windows with double-glazed, painted wood sashes, dimensions to match existing

**General Notes**

**Preservation standards** - All work to conform to the Allegheny West Historic District Design Guidelines and the Secretary of the Interior's Standards

- A. **Repoint and clean masonry** - For all brick and sandstone, repoint and clean
- B. **Repair stone** - For cracks or spalls greater than 1/4-inch, restore using Jahn restoration mortar; replace larger areas in-kind
- C. **Match historic brick mould** - For all windows, install new brick mould to match original



**3rd Floor**

- 1. **Repair chimneys** - Remove vegetation, repoint and clean, provide new copper caps
- 2. **Replace double-hung windows** - Replace non-historic windows with 1/1, double-hung, double-glazed, painted wood sashes, dimensions to match existing

**2nd Floor**

- 2. **Replace double-hung windows**
- 3. **Restore historic windows** - As needed, remove paint; repair sashes, frames, chains, pulleys, weights; weatherstrip; repaint
- 5. **New iron safety railing** - Behind stone parapet of existing balcony
- 9. **Casement windows (leaded)** - Replace non-historic windows with leaded, double-glazed casements, painted wood sashes, dimensions to match existing
- 12. **Replace door** - New wood door with double-glazed panel

**1st Floor**

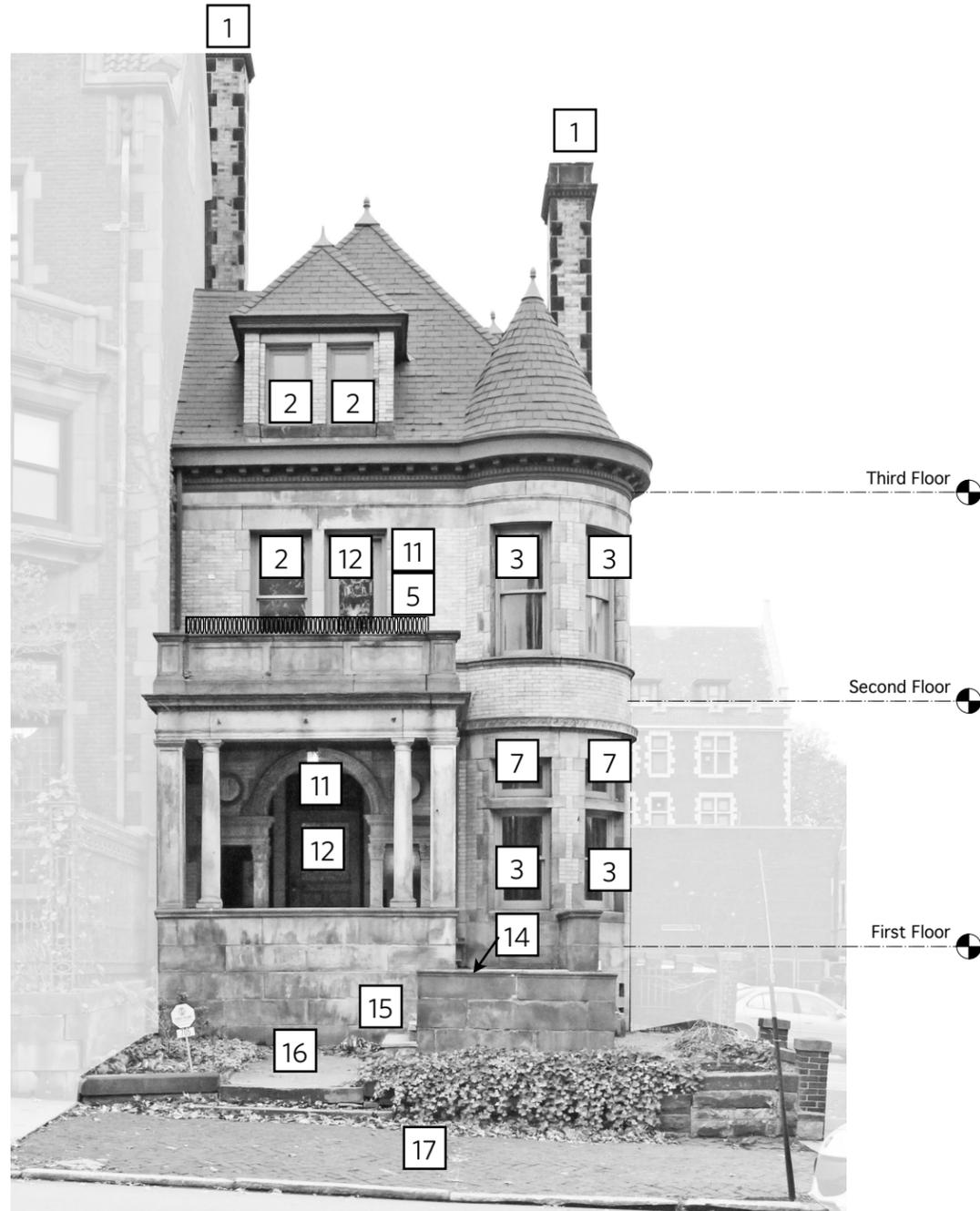
- 2. **Replace double-hung windows**
- 3. **Restore historic windows**
- 7. **New transoms (leaded)** - Leaded glass, painted wood sashes, dimensions to match existing
- 12. **Replace door** - New wood door with double-glazed panel
- 14. **New porch floor** - New concrete slab, tiles to match historic
- 15. **Replace stair treads** - Replace precast concrete treads with sandstone to match historic
- 16. **Brick herringbone walk** - Replace concrete walk with brick in herringbone patten to match front sidewalk
- 17. **Repair uneven brick walkway** - Reuse existing brick, replace in-kind as needed

**Basement**

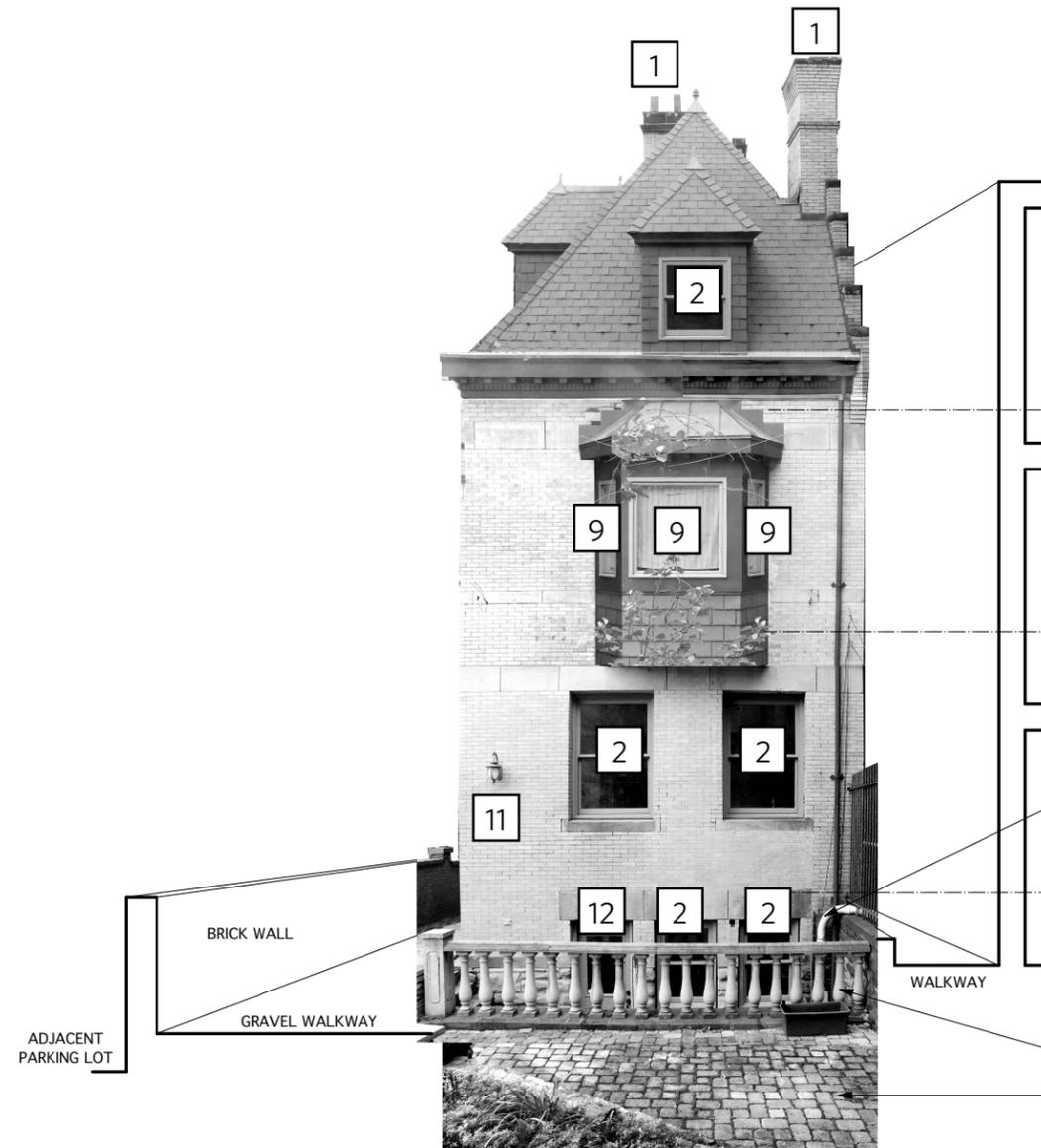
- 2. **Replace double-hung windows**
- 12. **Replace door**

**General Notes**

- A. **Preservation standards** - All work to conform to the Allegheny West Historic District Design Guidelines and the Secretary of the Interior's Standards
- B. **Repoint and clean masonry** - For all brick and sandstone, repoint and clean
- C. **Repair stone** - For cracks or spalls greater than 1/4-inch, restore using Jahn restoration mortar; replace larger areas in-kind
- D. **Match historic brick mould** - For all windows, install new brick mould to match original



Scope—Main House—East Facade



Scope—Main House—West Facade

**3rd Floor**

- 1. **Repair chimneys** - Remove vegetation, repoint and clean, provide new copper caps
- 18. **Replace double-hung windows** - Replace existing windows with double-hung, double-glazed, simulated divided light, painted wood sashes, dimensions to match existing
- 19. **Replace casement windows** - Replace existing windows with double-glazed, simulated divided light casements, painted wood sashes, dimensions to match existing

**2nd Floor**

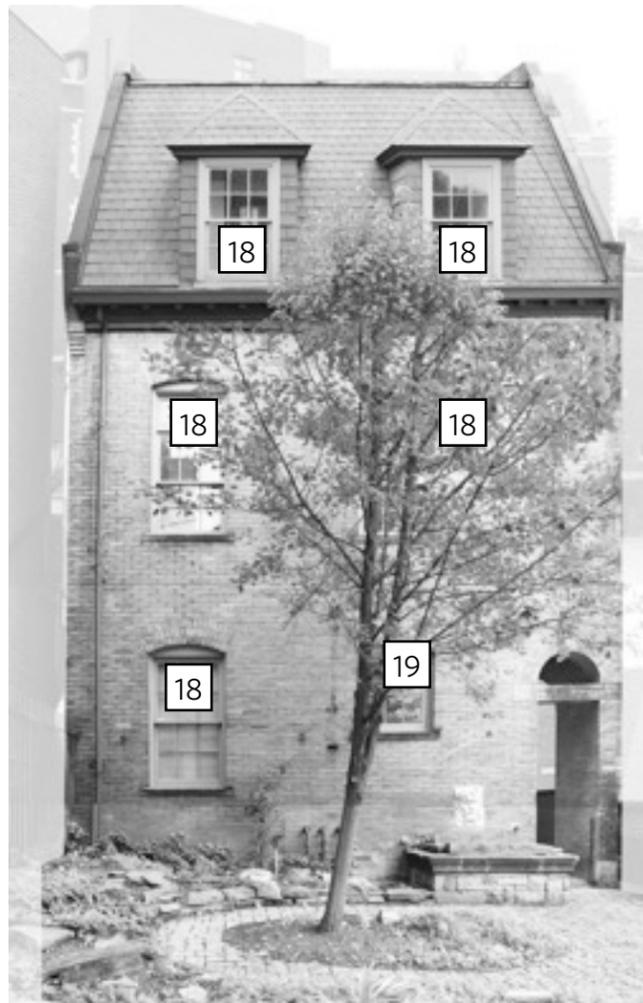
- 18. **Replace double-hung windows**

**1st Floor**

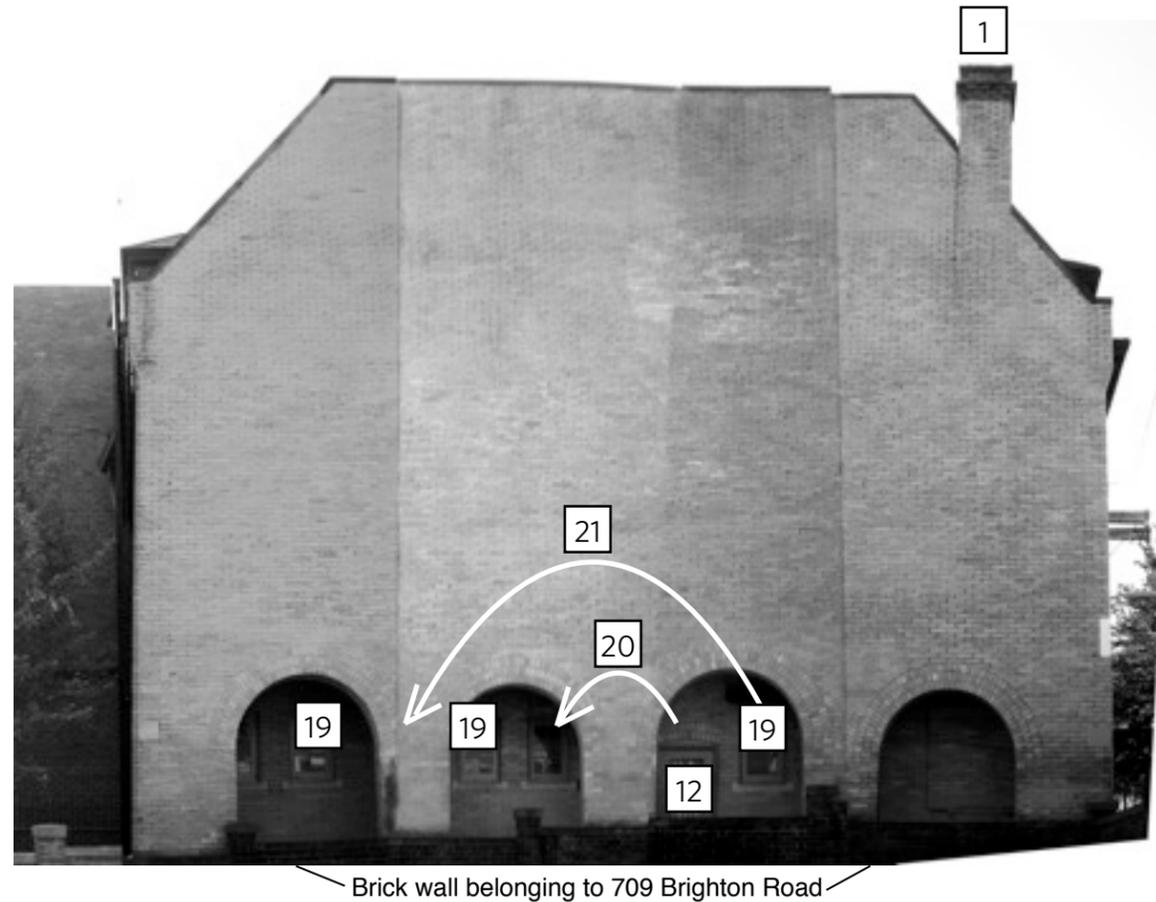
- 12. **Replace door** - New wood door with double-glazed panel
- 17. **Repair uneven brick walkway** - Reuse existing brick, replace in-kind as needed
- 18. **Replace double-hung windows**
- 19. **Replace casement windows**
- 20. **Relocate door opening** - Move one bay to the east
- 21. **Relocate window opening** - Move four bays to the east (behind brick pier)
- 22. **Replace transom** - Replace existing transom with double-glazed, simulated divided light fixed transom, painted wood sashes, dimensions to match existing
- 23. **Reconstruct brick pier**
- 24. **New iron gate** - Wrought iron to match grilles over transoms at front porch of Main House
- 25. **Widen garage door** - Expand opening to facilitate vehicle entry around power pole
- 26. **Remove paint from masonry** - Remove paint to expose original brick and stone

**General Notes**

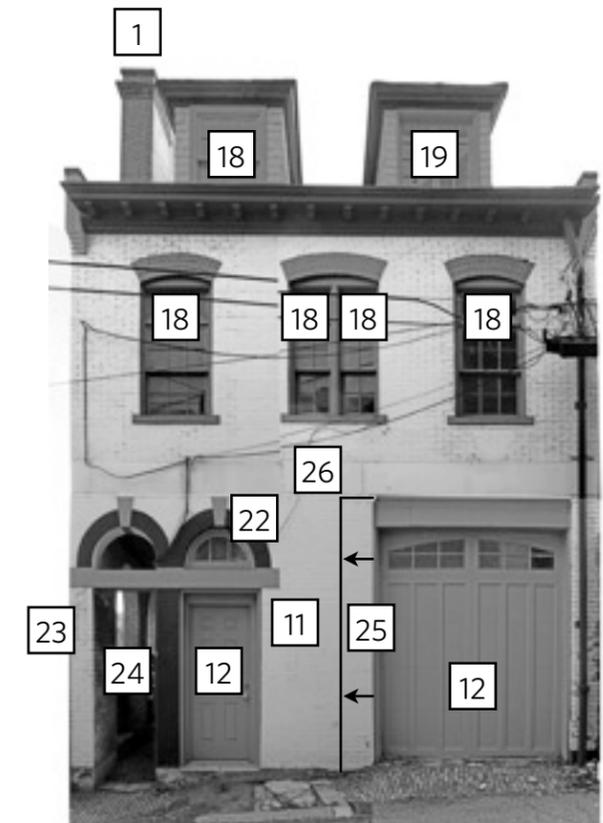
- A. **Preservation standards** - All work to conform to the Allegheny West Historic District Design Guidelines and the Secretary of the Interior's Standards
- B. **Repoint and clean masonry** - For all brick and sandstone, repoint and clean
- C. **Repair stone** - For cracks or spalls greater than 1/4-inch, restore using Jahn restoration mortar; replace larger areas in-kind
- D. **Match historic brick mould** - For all windows, install new brick mould to match original



Scope—Carriage House—East Facade



Scope—Carriage House—North Facade



Scope—Carriage House—West Facade

# A

**Repoint and clean masonry** - For all brick and sandstone, repoint and clean

## Cleaning

Masonry Cleaners shall be in accordance with the Department of the Interior National Park Service Cultural Resources **Preservation Brief 1, "The Cleaning and Waterproof Coating of Masonry Buildings"**, and **Preservation Brief 6 "Dangers of Abrasive Cleaning to Historic Buildings"**, and in compliance with the guidelines set forth by the Secretary of the Interior's Standards for Rehabilitation.

**Cleaning baseline procedure: Hot water wash at low psi.** If hot water wash proves to be insufficient, see below for acceptable manufacturers of alternate cleaning products. Pressure to be measured at the gun or as closely to it as possible. 200- 300 psi may be satisfactory; 400-800 psi (field test psi ranges) are more typical. A bristle brush may be used to supplement the water wash as long as it does not remove or damage the limestone surface. Nozzle size and configuration: Stainless steel flat tip with 25-50 degree wide spray. Distance from nozzle orifice and the surface being cleaned shall be evaluated and tested during the mock-up phase.

Mortar Materials Contact: U.S. Heritage Group, Inc., 3516 North Kostner Ave., Chicago, IL 60641 Phone: 773-286-2100 Fax: 773-286-1852. Email: [info@usheritage.com](mailto:info@usheritage.com); [www.usheritage.com](http://www.usheritage.com) 2. Cleaning Materials: a. PROSOCO, Inc., 3741 Greenway Circle, Lawrence, KS 66046. ASD. Tel: (800) 255-4255 or (785) 865-4200. Fax: (785) 830-9797. Email: [marketing@prosoco.com](mailto:marketing@prosoco.com); [www.prosoco.com](http://www.prosoco.com) b. Diedrich Technologies, Inc., 7373 South 6th Street, Oak Creek, WI 53154. Tel: (800) 323-3565 or (414) 764-0058. Fax: (414) 764-6993. Email: [diedtech@execpc.com](mailto:diedtech@execpc.com); [www.diedrichtechnolog](http://www.diedrichtechnolog)

All cleaning techniques should use the gentlest means possible to avoid etching, staining, bleaching, or masonry damage.

The goal of the masonry cleaning is not to remove 100% of surface soiling but to generally enhance the stone by removing sufficient particulate caused by pollution. Architect will establish parameters on-site for acceptable levels of cleaning

## Repointing

Repointing mortar shall be prepared and placed in accordance with the Department of the Interior National Park Service Cultural Resources **Preservation Brief 2, "Repointing Mortar Joints in Historic Masonry Buildings"**, Revised edition October 1998, and in compliance with the guidelines set forth by the Secretary of the Interior's Standards for Rehabilitation.

The repointing mortar shall match the original in color, grain size, and texture. The compressive strength of the repointing mortar shall be equal or less than the compressive strength of the original mortar and surrounding brick or stone. The replacement mortar shall contain approximately the same ingredient proportions of the original mortar.

If the original mortar was substandard, care should be taken in its reformulation to insure that the new mixture will not cause damage, through excessive bonding or compressive strength, to the historic masonry units. The original mortar joints should be duplicated in width and tooling.

All replacement mortar ingredients and mortar formulations will be established from test data gathered from the original materials sampled from site.

**For additional information, see attached specification: Maintenance of Masonry**

# B

**Repair stone** - For cracks or spalls greater than 1/4-inch, restore using Jahn restoration mortar; replace larger areas in-kind

Remove all loose mortar and masonry prior to installation of the repair mortar. "Sound" masonry with a hammer to verify its integrity. If necessary, cut away an additional 1/2" of the substrate to ensure the surface to be repaired is solid and stable. Remove any sealant residue.

Cut the edges of the repair area to provide a minimum depth of 1/4". The edges of the repair should be square cut. Do not allow any feathered edges in the repair area.

For very dry or porous surfaces, pre-wet the substrate ahead of time to prevent the substrate from drawing moisture out of the repair too quickly. Re-wet the surface immediately before applying the repair material.

Apply the mortar mix (see data sheet) using a trowel to place and compress the mortar into the repair ensuring not to leave any voids. For overhead repairs thicker than 2", apply mortar in layers, allowing the first layer to cure for a two to four hours before applying the second layer. If applied in layers, scrape off any cement skin that has formed and continue application. Dampen the surface and before applying the next layer. Work mortar firmly into the surface of the masonry, including the corners, and under and around all mechanical anchors.

Build up repair material so that it is slightly above the adjacent masonry surface. Allow mortar 30 to 60 minutes to set slightly (wait time will vary with temperature and humidity-longer in cool weather), and then scrape off excess material using a straight edge (a plasterer's miter rod is good for this). Do not press down or "float" the repair. Where repairs occur at panel edges or corners, form mortar to match the profile of the surrounding masonry. In all cases, finish and texture repair so that it is as indistinguishable as possible from the adjacent masonry.

To obtain a smooth finish repair should be scraped down to the original profile then trowelled to to leave a smooth surface. This may cause the repair to lighten and may need to be stained to match.

**For additional information, see attached specification: Jahn M70 Restoration Mortars**



Column at front porch, showing areas requiring stone repair.

# C

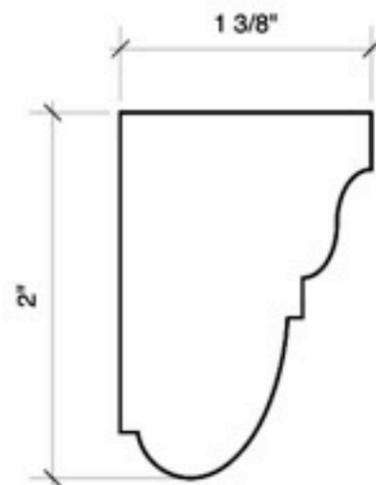
**Match historic brick mould** - For all windows, install new brick mould to match original



Original brick mold of Main House



Original brick mold of Carriage House



Dimensions of original brick mold of Main House

Sample to be removed and replicated when construction begins.

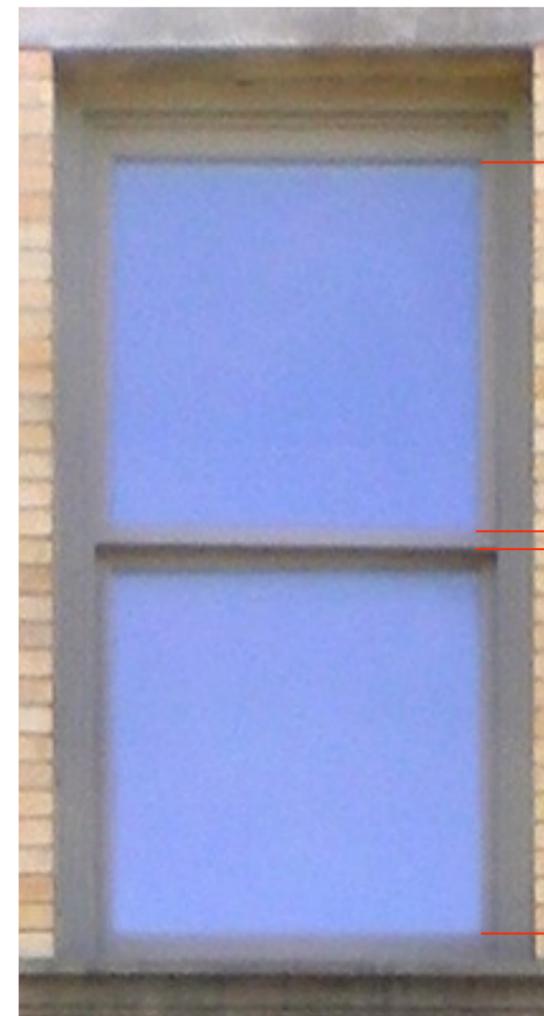
# I

**Repair chimneys** - Remove vegetation, repoint and clean, provide new copper caps

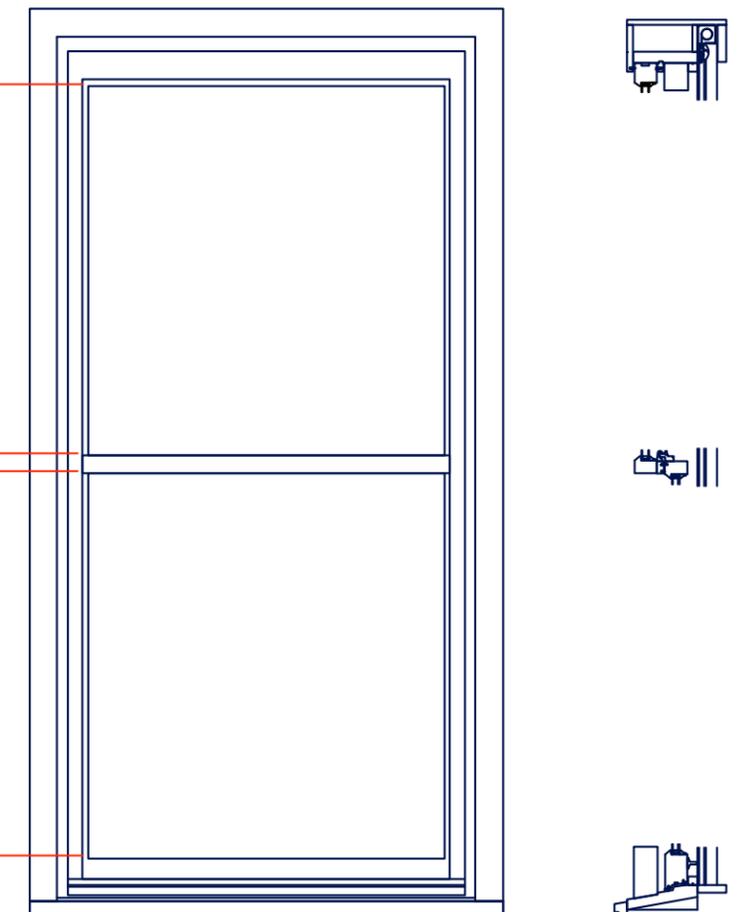
See *Repointing and Cleaning under General Note A (previous page)*

# 2

**Replace double-hung windows** - Replace non-historic windows with 1/1, double-hung, double-glazed, painted wood sashes, dimensions to match existing



Typical existing, non-historic, 1/1. double-hung window



Shop drawing showing 1/1, double-hung, double-glazed replacement window with painted wood sashes. Replacement windows to match the historic windows in pane size and configuration, glazing, muntin detailing and profile and historic trim.

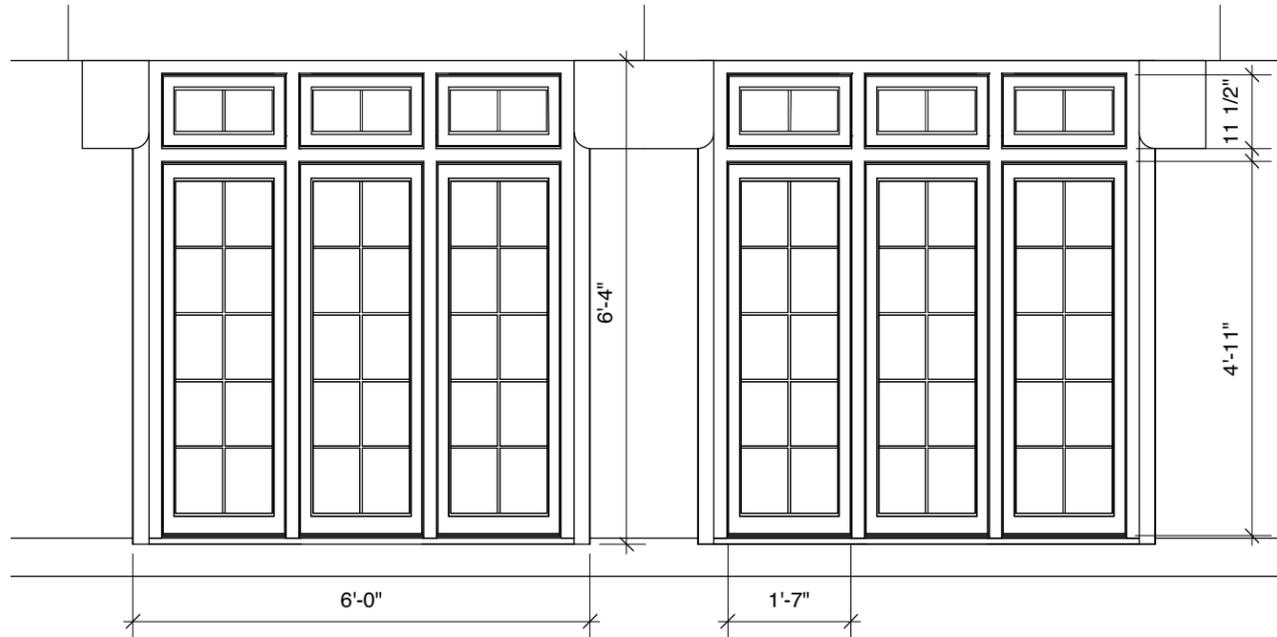
# 3

**Restore historic windows** - As needed, remove paint; repair sashes, frames, chains, pulleys, weights; weatherstrip; repaint

*For additional information, see attached specification: **Rehabilitating Wood Windows***

# 4

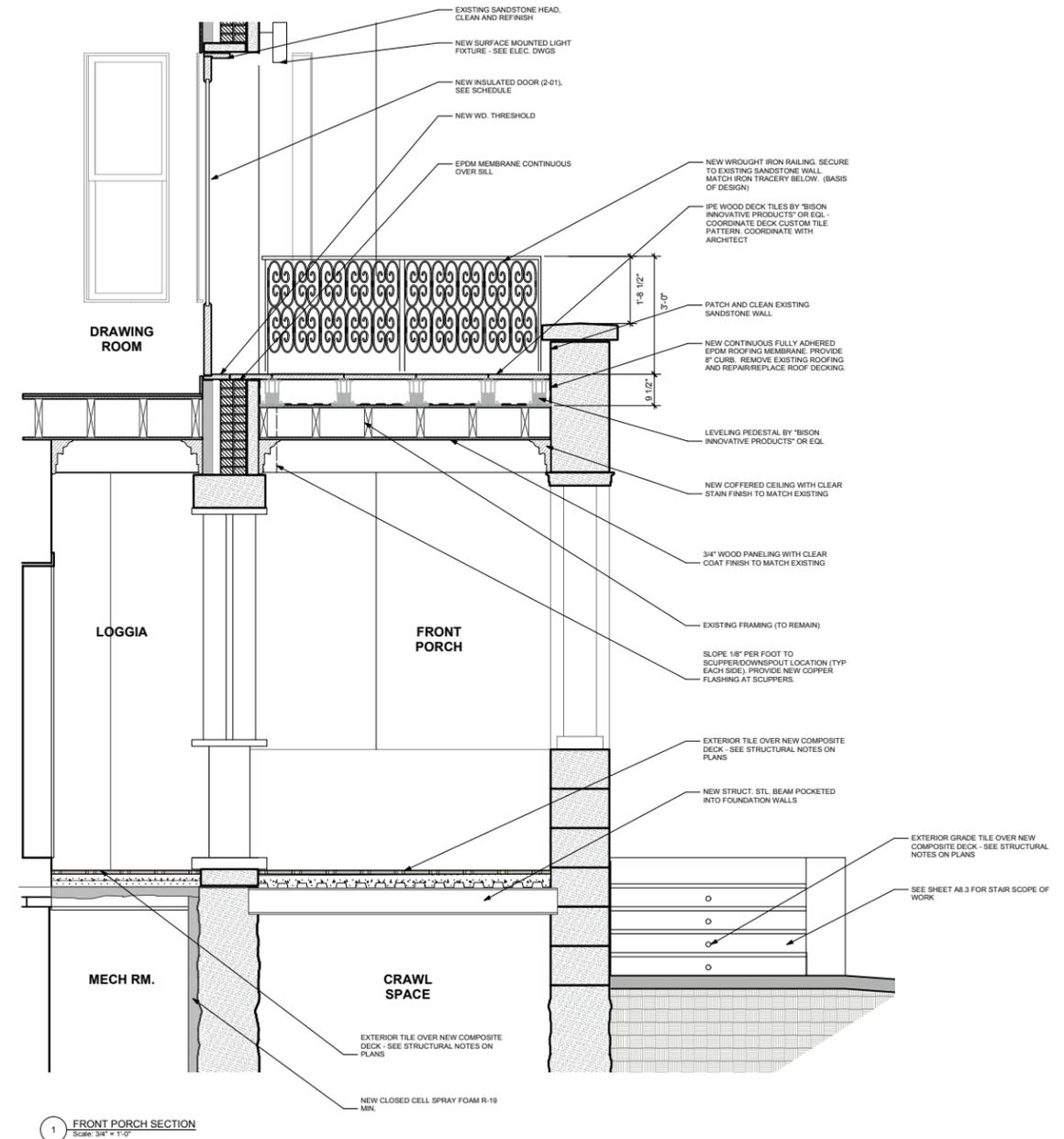
**New casement windows** - Double-glazed, leaded glass casement windows, wood sashes



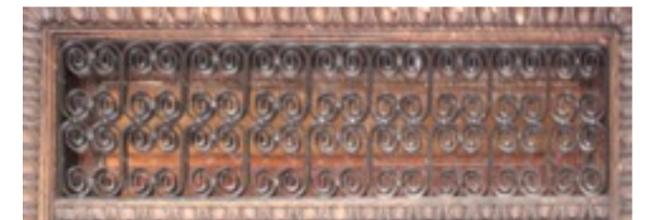
Proposed casement windows, second floor, north facade

# 5

**New iron safety railing** - Behind stone parapet of existing balcony



Section through front porch and balcony, showing new iron safety railing. For larger view, see Sheet A2.01.



Basis for design: The historic wrought iron grille in the transom over the front door.

# 6

**Reconstruct porch ceiling** - New coffered wood to match ceiling of loggia/ historic photo



View of existing coffered ceiling of the adjacent Loggia.

See also: Details for Item 12—The historic photo of the front entry shows that matching wood coffers originally extended to the adjacent front porch ceiling



Existing nonhistoric porch ceiling and light fixture.

# 7

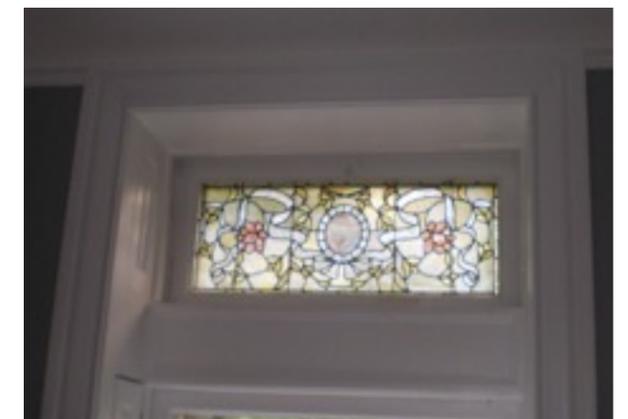
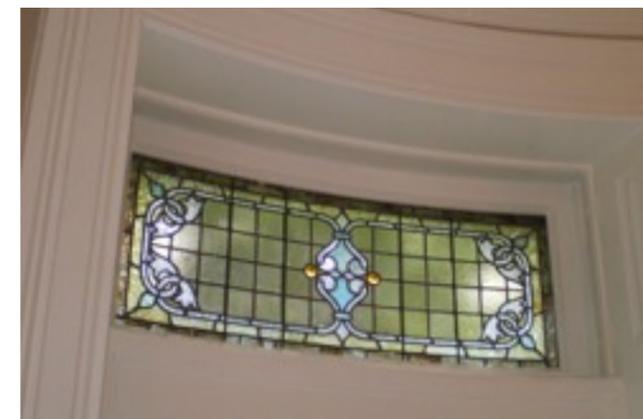
**New transoms (leaded)** - Leaded glass, painted wood sashes, dimensions to match existing



**Design concept** showing how the historic rosette can be incorporated into a historically-appropriate design



**Precedent:** Salvaged leaded rosette from original turret transoms



**Additional precedents:** The architect of the Willock House, William Ross Proctor, also designed the LB Childs House at 653 Morewood Avenue. Both houses date from 1891. The stained glass transoms for the turret of the Willock House will be based on the salvaged rosette, historic stained glass pattern books, architectural details from the Willock House and details from the Childs House.

# 8

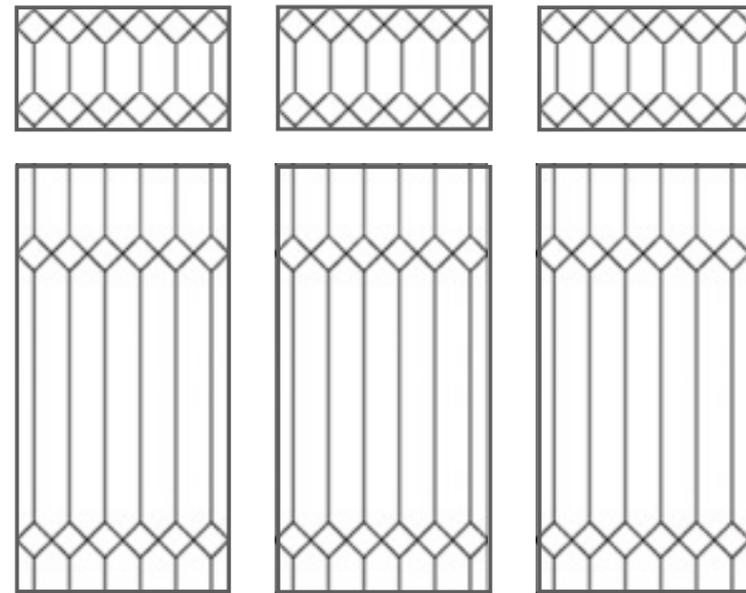
**Replace transoms (leaded)** - Replace non-historic transoms with fixed, leaded, double-glazed, painted wood sashes, dimensions to match existing

# 9

**Replace casement windows (leaded)** - Replace non-historic windows with leaded, double-glazed casements, painted wood sashes, dimensions to match existing



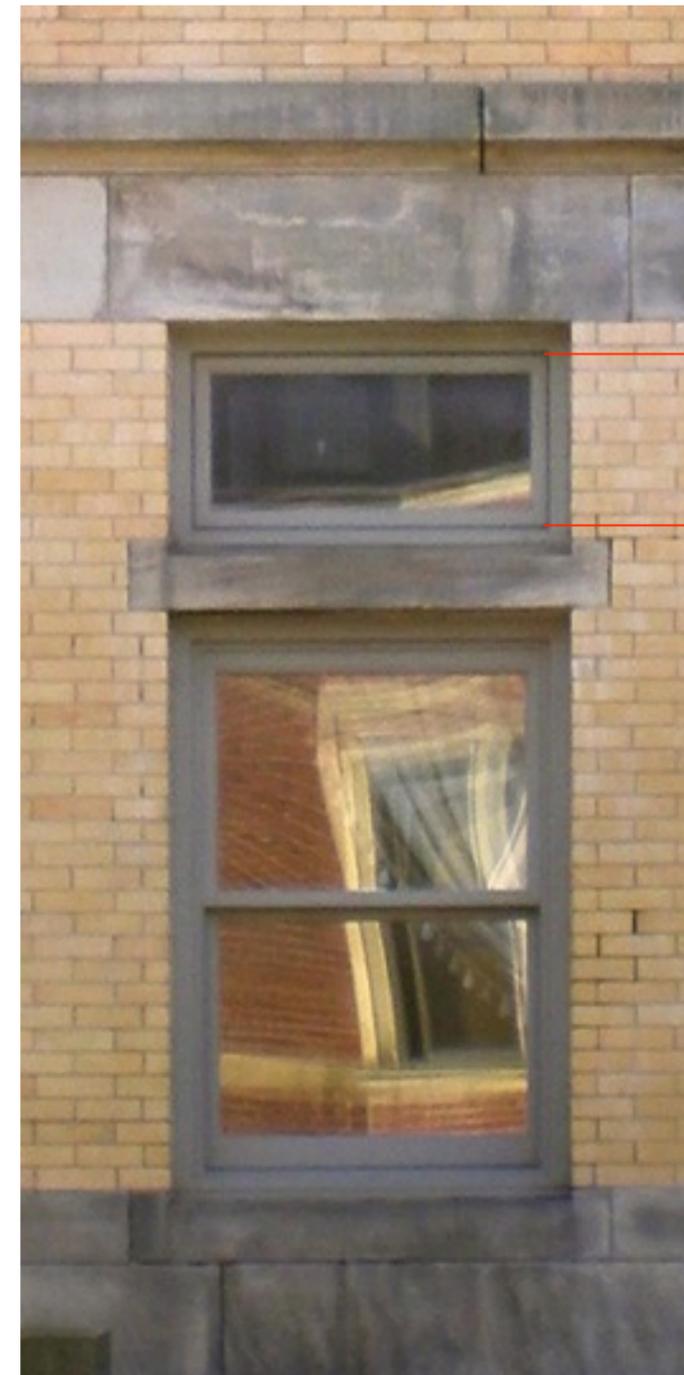
**Precedent:** Salvaged leaded window from dining room



**New:** Design concept showing leaded panels to reflect the design of the original windows

# 10

**Replace transoms (no leading)** - Replace non-historic transoms with fixed, double-glazed, painted wood sashes, dimensions to match existing



Typical unglazed transom, north facade

**New exterior lighting** - Replace existing non-historic fixtures



**Los Olivos Fixtures**

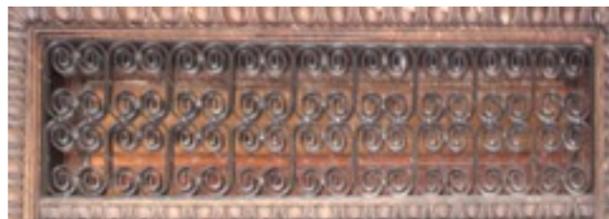
The intricate iron woven frame is protected in an old-iron finish and inset with clear, seeded glass. Its soft glow adds a tranquil ambience to your exterior decor.

Dimensions: 20" H x 11 3/4" W. Canopy diameter: 5". Fixture has 3 candelabra base sockets rated for 60W each. UL Wet Rated.



Ceiling pendant

Wall sconce



Basis for design: The historic wrought iron grille in the transom over the front door.

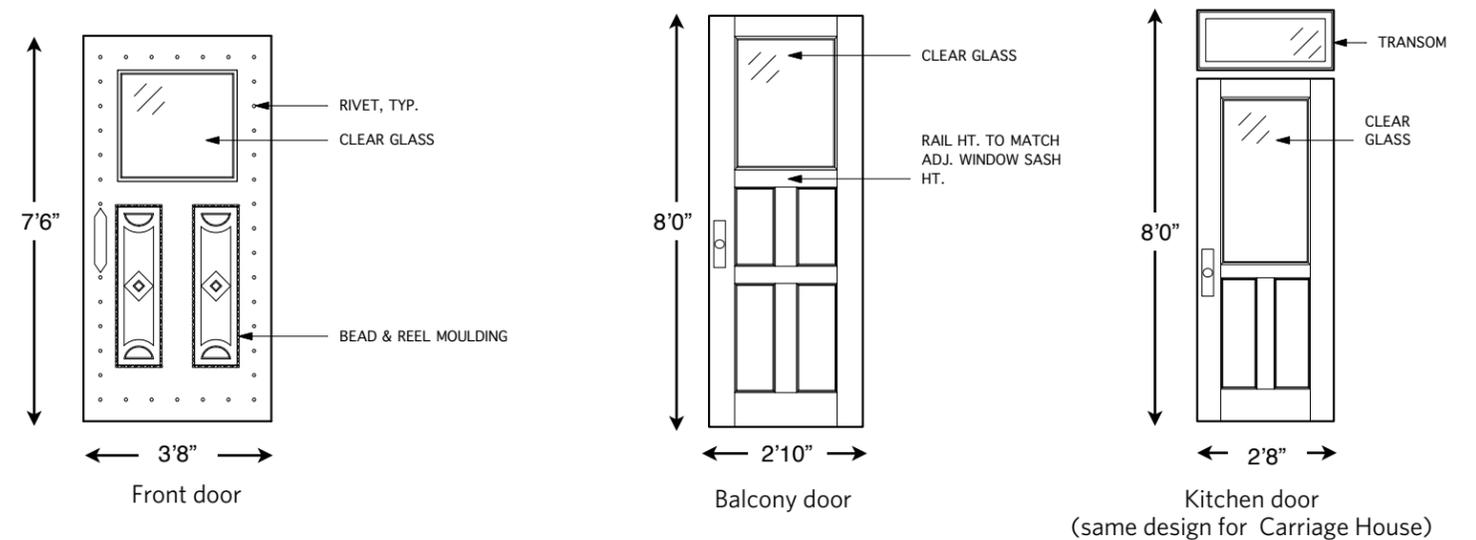
**Replace door** - New wood door with double-glazed panel



Existing front door (created ca. 2005)



**Precedent:** Historic photo showing the original front door to the house. Note how the design of the door panels mirrored the design of the adjacent carved sandstone posts. This detail is repeated in a number of locations on the interior, including the newel posts of the grand staircase.



# 13

**Replace awning windows** - Replace non-historic windows with double-glazed, painted wood sashes, dimensions to match existing



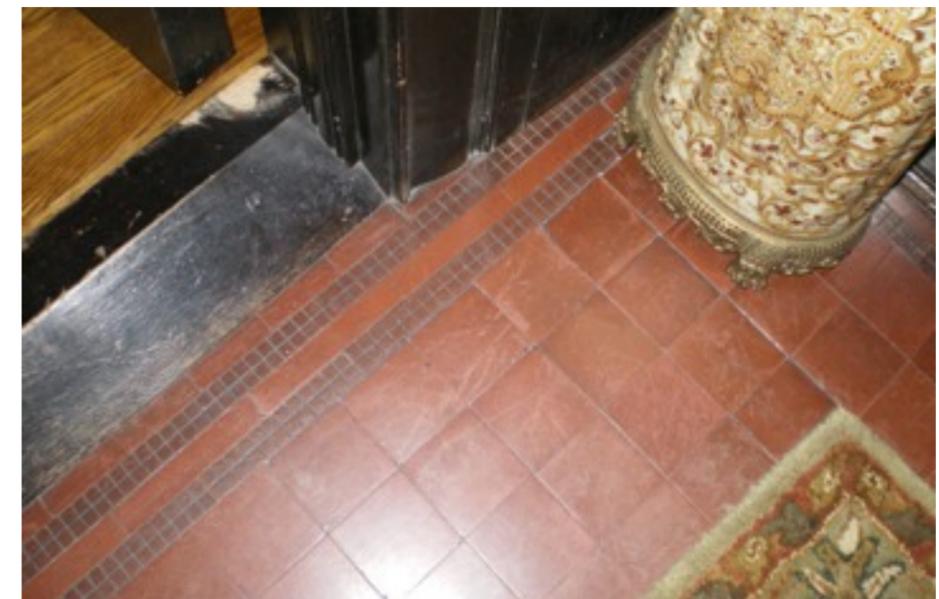
While these windows are not visible from a public way, they will be replaced with sashes that match the pane size and configuration and sash dimensions.

# 14

**New porch floor** - New concrete slab, tiles to match historic



The existing porch floor has failed structurally (causing settling and low points that retain water). Additionally, it has suffered from unsympathetic alteration (ca. 2005) that included the installation of mismatched tile.



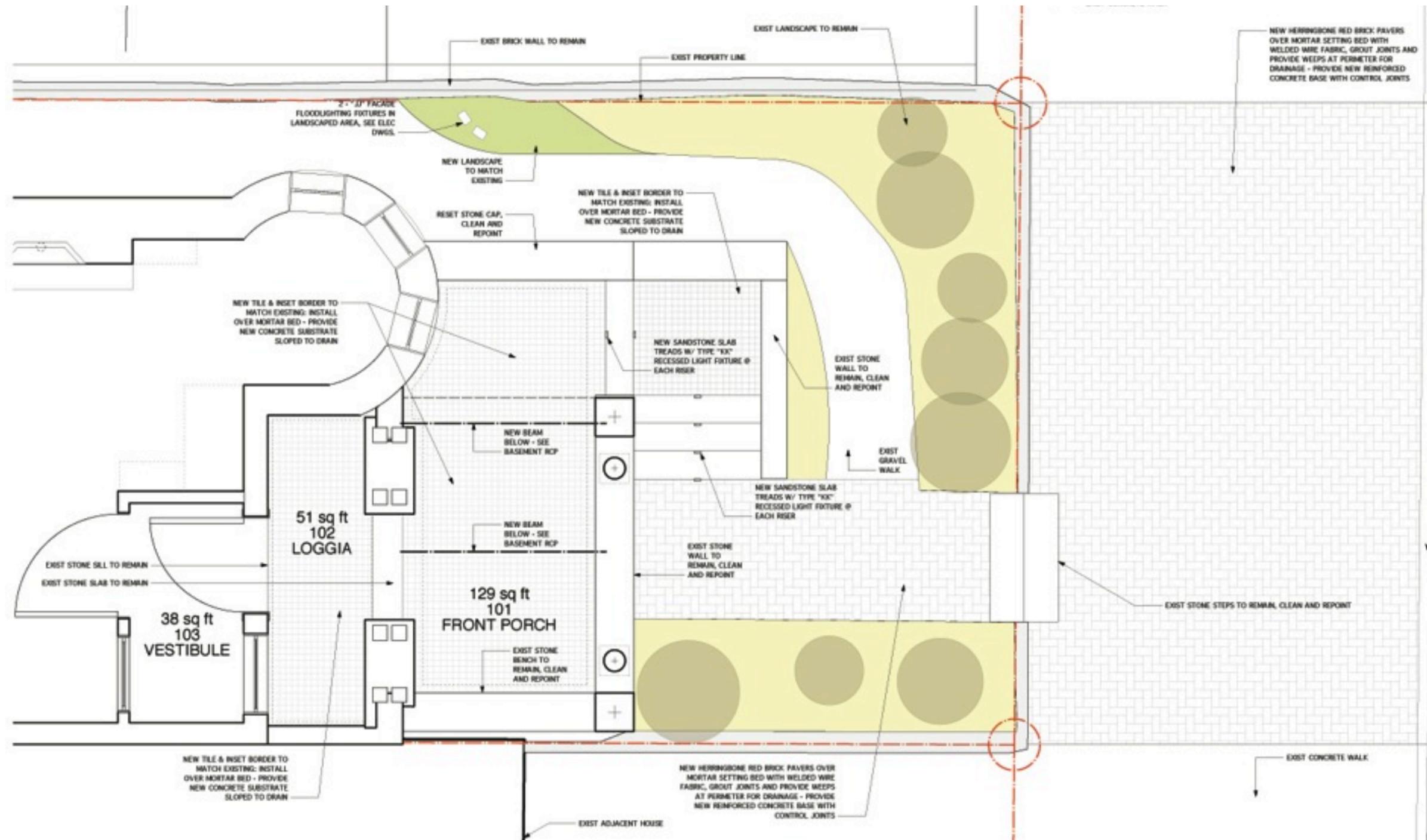
**Precedent:** The porch floor of the LB Childs House (also designed by William Ross Proctor) remains intact and can serve as the basis for design of the new floor at the Willock House.

*For additional information, see Item 5 above and Sheet A2.01*

**15** Replace stair treads - Replace precast concrete treads with sandstone to match historic

**16** Brick herringbone walk - Replace concrete walk with brick in herringbone pattern to match front sidewalk

**17** Repair uneven brick walkway - Reuse existing brick, replace in-kind as needed



View of original sandstone treads, ca. 2005.

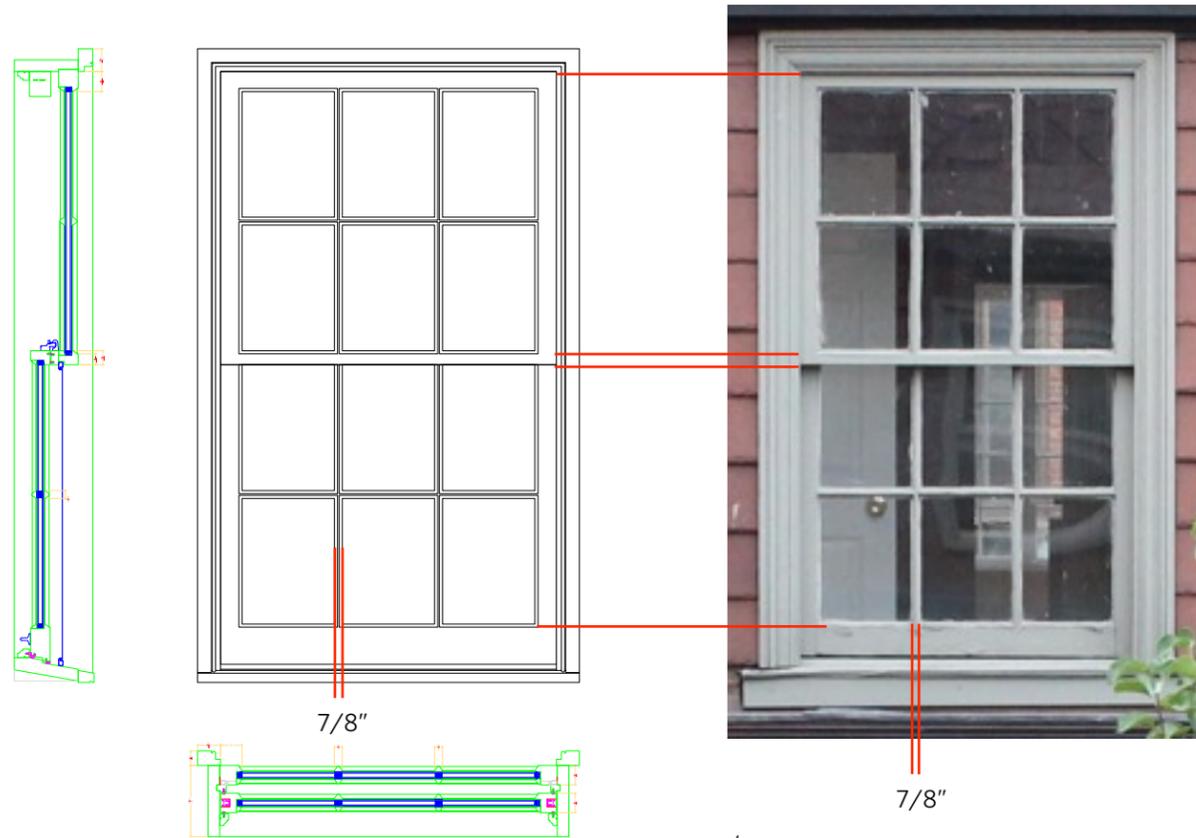


View of existing precast concrete treads with herringbone brick in foreground..

EXIST STONE CURB

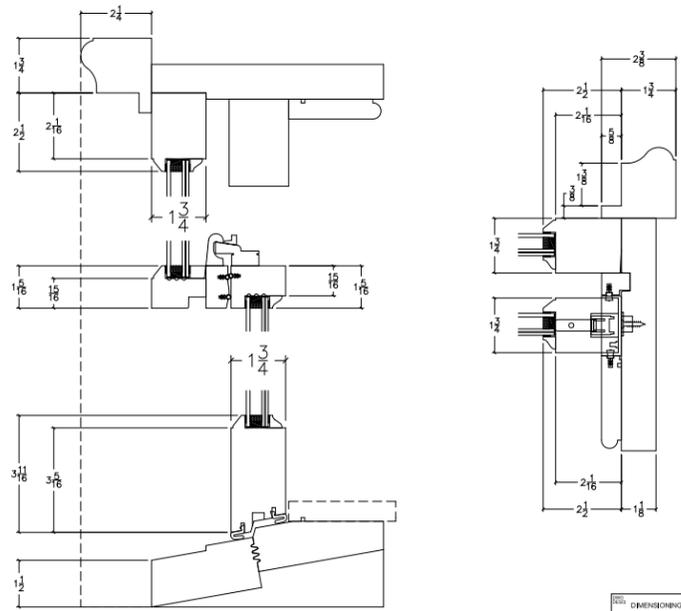
# 18

**Replace double-hung windows** - Replace existing windows with double-hung, double-glazed, simulated divided light, painted wood sashes, dimensions to match existing



Sample shop drawing showing wood-sashed, double-glazed, double-hung window.

Replacement sash to match the historic sash in pane size and configuration, glazing, muntin detailing and profile and historic trim.



Sample shop drawing showing section through sashes and meeting rails.

# 19

**Replace casement windows** - Replace existing windows with double-glazed, simulated divided light casements, painted wood sashes, dimensions to match existing

# 20

**Relocate door opening** - Move one bay to the east (in arcade on north side of carriage house). Area is not visible from public way.

# 21

**Relocate window opening** - Move four bays to the east (in arcade on north side of carriage house). Area is not visible from public way.



View of the carriage house, looking west, showing a typical first-story casement window (red arrow). The door and window to be relocated are contained within the arcade of the carriage, and are not visible from the street.

# 23

## Reconstruct brick pier



The brick on the northwest corner of the carriage house has shifted and need to be temporarily shored and then reconstructed.

*For additional information, see Item A: Repointing*

# 24

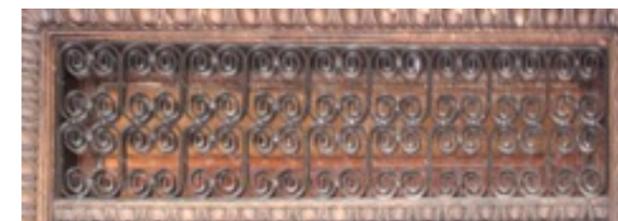
## New iron gate - Wrought iron to match grilles over transoms at front porch of Main House



View of the carriage house showing the concept for the iron gate



Manufacturer's sample.



Basis for design: The historic wrought iron grille in the transom over the front door.

# 25

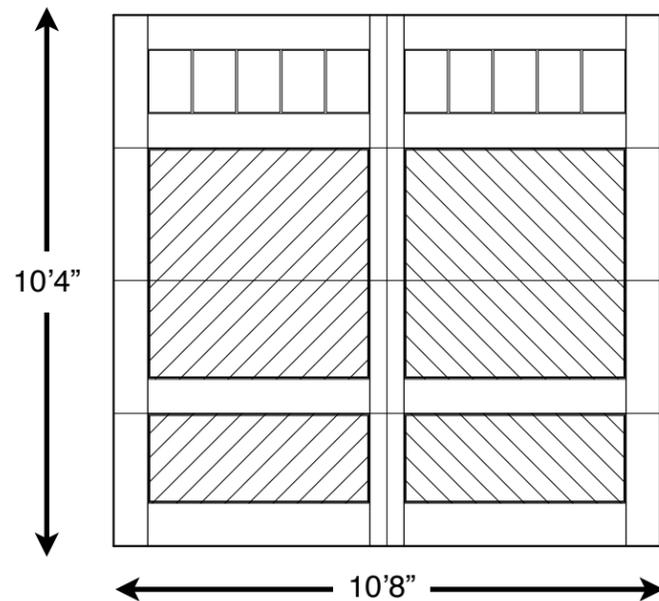
**Widen garage door -** Expand opening to facilitate vehicle entry around power pole



Existing utility pole makes entry into the garage difficult from the one-way alley.



Proposed wider opening, shown in red (approximately 2 bricks wider). Current door dates from ca. 2005.



Proposed design for new wood overhead door.

# 26

**Remove paint from masonry -** Remove paint to expose original brick and stone

Sandblasting is not recommended by the Secretary of the Interior's Standards and shall not be used. High-pressure water blasting is also not recommended without adequate testing or experience as it may erode soft brick and drive moisture into the wall.

Test panels, using the appropriate cleaning methods, shall be created to determine the best method to remove paint. The "best method" shall be defined as that which successfully removes the paint with no, or minimal, damage to the masonry substrate.

Surface Preparation: Repoint any open mortar joints to prevent water and chemicals from entering the wall structure.

Manually scrape all loose paint and efflorescence using paint scrapers, putty knives or stiff bristle brushes. If the mortar and bricks are quite crumbly, use a softer brush.

Apply apply a proprietary chemical paint remover (for large surface areas):

Apply chemical paint remover with a brush, roller or appropriate spray equipment as directed by manufacturer. Pressure application of paint stripping materials shall not be done as it tends to drive the chemicals too far into the brick and mortar making it impossible to remove all residue. Final dilution ratio to be determined by test patches done prior to removal process.

Allow the stripper to stay on the brick as directed by the manufacturer and as determined by test patches.

Rinse completely with clean, fresh water using low pressure washing equipment to remove all paint and residue. Maintain water pressures as recommended by chemical manufacturer and SHPO.

Apply a second coat of paint stripper if necessary to remove remaining paint, again following manufacturer's instructions.

Rinse completely again and apply afterwash as recommended by chemical manufacturer.

After paint has been removed, but before brick dries, apply neutralizer such as white vinegar, or a proprietary chemical neutralizer. A neutral pH (7 pH) should be achieved before repainting.

Allow neutralizer to stand on wall about three minutes before rinsing. DO NOT LET IT DRY!

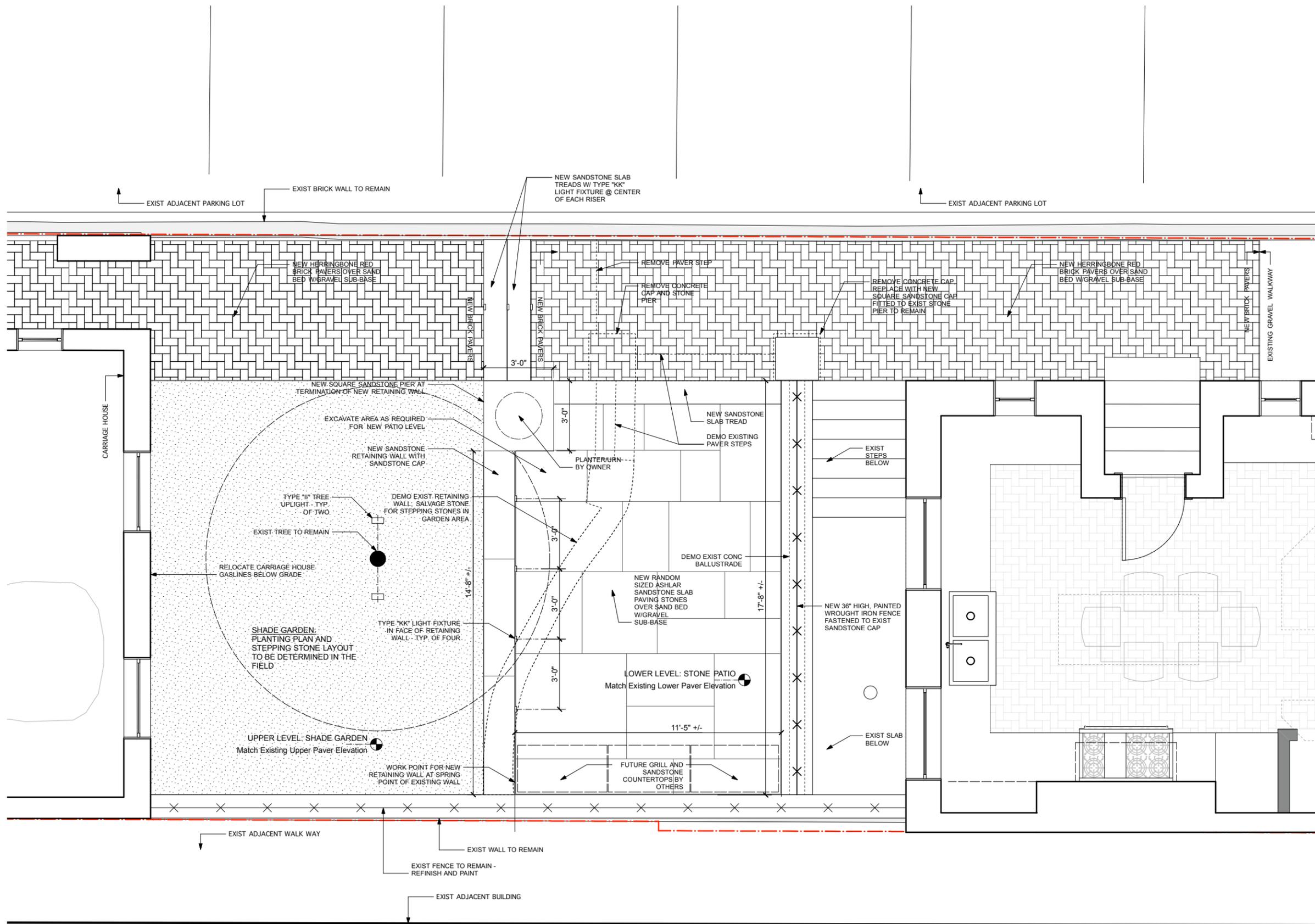
Thoroughly rinse the surface with clean, clear water.

Test the pH with litmus paper or phenolphthalein: Dissolve a 2" piece of phenolphthalein in denatured alcohol.

Brush the solution onto the surface. If it turns a shade from pink to magenta there is still chemical residue.

Continue to neutralize the surface and test until there is no color change in the phenolphthalein solution or the litmus paper registers neutral.

**For additional information, see attached specification: Chemically Removing Paint from Brick Masonry**



Proposed Courtyard Plan (Included for reference—not visible from a public way)



**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

910 Cedar Avenue  
Pittsburgh PA 15212

**OWNER:**

NAME: Charles Heidlage  
Margaret Macavoy  
 ADDRESS: 910 Cedar Ave Pgh PA 15212  
 PHONE: 617.939.4055  
 EMAIL: \_\_\_\_\_

STAFF USE ONLY:

DATE RECEIVED: 12-6-14  
 LOT AND BLOCK NUMBER: 23-11-224  
 WARD: 23rd  
 FEE PAID: yes

**DISTRICT:**

123 Pittsburgh - 23rd Ward

**APPLICANT:** Heritage Industries Inc.

NAME: Germaine Gladu  
 ADDRESS: 600 Fountain St.  
Blawnox PA 15238  
 PHONE: 412.435.0091 (o) <sup>412.722.9688</sup>  
 EMAIL: germaine@heritageindustries.net

**REQUIRED ATTACHMENTS:**

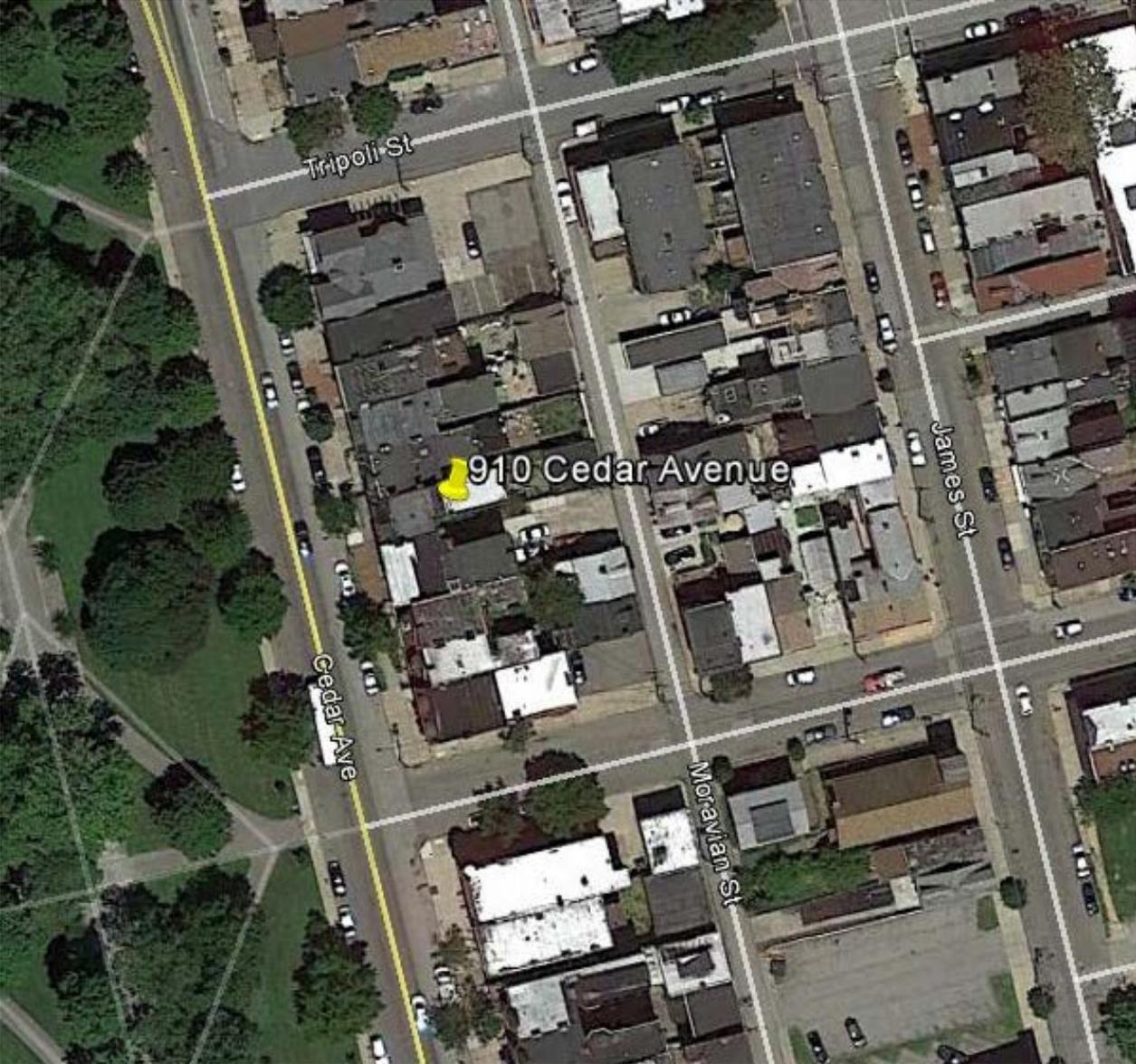
- Drawings  Photographs  Renderings  Site Plan  Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

\* Railing - Replace existing exterior railing due to rust and severe damage. The railing also did not meet current code requirements for height. Heritage industries fabricated a new railing using solid steel with full welds to ensure historical accuracy and quality. We kept the existing newel post that was original to the home and "goosenecked" the railing from the post to ensure accurate height.

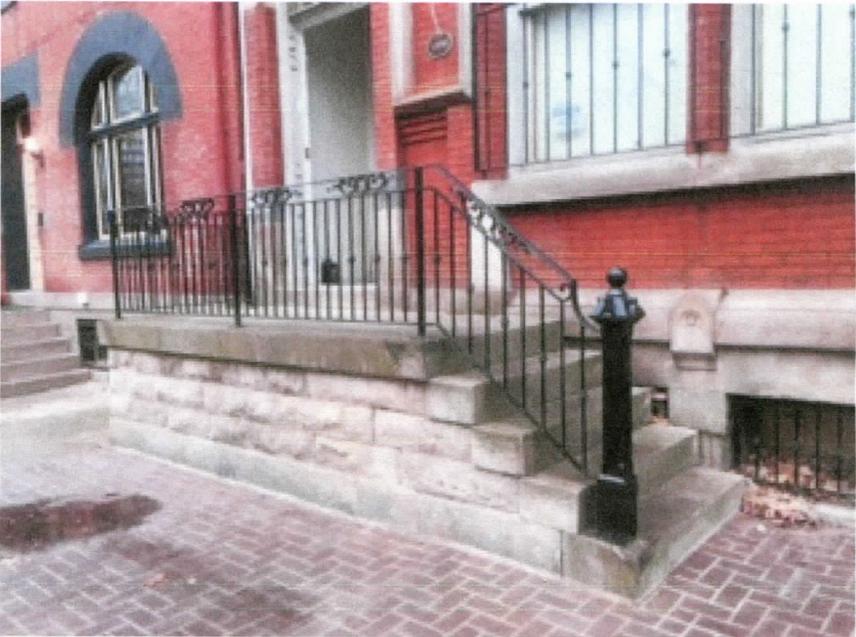
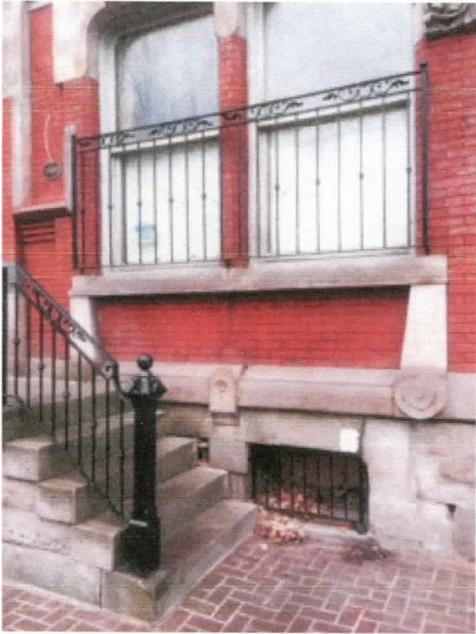
OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 APPLICANT: Germaine Gladu DATE: 12-5-14

\* Door - Front doors were in disrepair due to vandalism. New doors were custom milled and are an exact replica. They will be stained walnut. The photo does not show the doors installed. They are on site to be installed.



Heritage Industries, Inc. for Cedar Avenue

Historic Review for Railing



# HERITAGE INDUSTRIES, INC

600 Fountain Street  
PO Box 111434  
Blawnox, PA 15238  
PROPOSAL

Phone: (412) 435-0091  
Fax: (412) 435-0095 Email:  
sales@heritageindustries.net  
PAOAGHC License# PA9168

December 5, 2014

**Project:** 910 Cedar Avenue - Iron Railing and Window Guards

- Full Rail – Front Porch and Steps
- Guards – (2) Total
  - Front of House - 1st Floor and Basement

**Design:** As per CAD Rendering

**Detail:** Keep existing newel post in place. Do not remove. Terminate new rail into newel.  
Window Guards: top bar at window sash, scroll directly below

**Material:** Cap Rail: 3/8" x 1-7/8" Solid Steel Beveled (Railing) / 3/8" x 1-1/4" (Window Guard)  
Verticals: 1/2" Solid Square Bar  
Sub Horizontal: 1/1-4" Solid steel Blat Bar  
Posts: 1-1/4" 11 Gauge Steel Tube  
Decorative Collars and Scrolls

**Scope:**

On-site Build Measurements

Fabricate to Design & Build Specifications

3 Step Cleaning Process:

- Steel Shot Blast / Forced Air Blast / Phosphate Wash

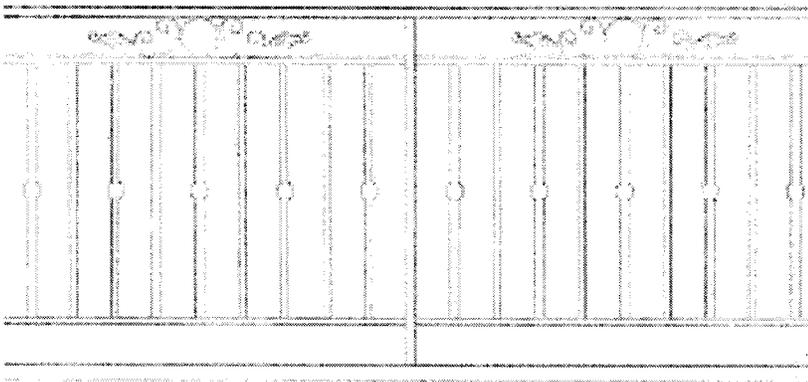
3 Step Coating Process:

- Conversion Coating Pre-Treatment
- Zinc Rich, Epoxy Based, Powder Coat Primer
- Powder Coat Finish: Super Durable Black

Deliver and Install



Scroll Frieze with Leaf Detail to meet  
3-15/16" Code Requirements



Square  
Collar to fit  
square bar



Original railing that was replaced

# Estate Millwork

WWW.ESTATEMILLWORK.COM

service@estatemillwork.com

## BILLING ADDRESS

Morgan McCollum  
Morgan Peyton Interiors, LLC  
1919 Forbes Avenue  
Pittsburgh, PA 15219  
Ph: 412.512.4661  
F:  
morganpeytoninteriors@gmail.com

## SHIPPING ADDRESS

Morgan McCollum  
Morgan Peyton Interiors, LLC  
910 Cedar Avenue  
Pittsburgh, PA 15212  
Ph: 412.512.4661  
F:

## INVOICE# 205148

DATE: September 10th, 2014  
Rep: Andy

Actual Ship Date: 2014-11-01  
Ship Via: FedEx  
Tracking Number:

## ORDER STATUS

✓ APPROVED

✓ DEPOSIT RECEIVED

✓ PRODUCTION COMPLETE

✓ FINISHING COMPLETE

✓ SHIPPED

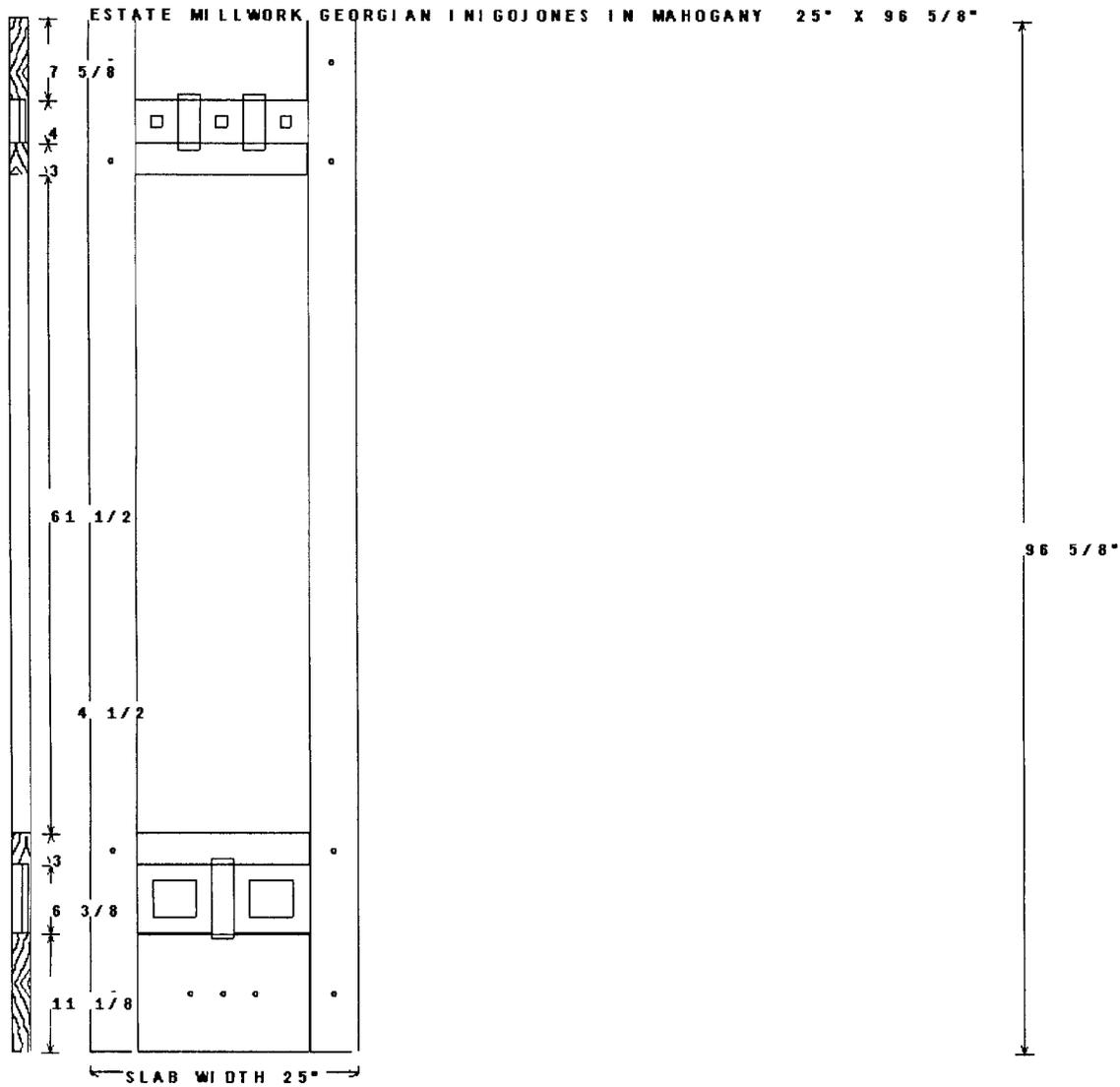
[View Approved Drawings](#)

All items Made in the USA

QUANTITY	ITEM	UNIT PRICE	TOTAL PRICE
2	 Georgian InigoJones DOOR in unfinished Mahogany 1 3/4" X 25" X 96 5/8" --INSTALL EXISTING GLASS IN NEW DOORS	\$1,794.57	\$3,589.14
	Subtotal		\$3,589.14
	Estimated Shipping and Handling		\$202.02
	Grand Total		\$3,791.16
	Payments Received		09/10/14 (CC) - \$1,895.58 09/18/14 (CC) - \$1,895.58
	<b>BALANCE DUE</b>		<b>\$0.00</b>

**RETURN POLICY:** Stock items such as shutter hardware and door hardware can be returned within 15 days for a 20% restocking fee, provided they are accompanied by original packing slip and are in saleable condition. Custom made-to-order items are not returnable and are subject to Shop Drawings and our [Terms and Conditions](#).

## GEORGIAN INIGOJONES DOOR IN UNFINISHED MAHOGANY 1 3/4" X 25" X 96 5/8"





Division of Development Administration and Review  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

406 & 408 Foreland St.  
Pittsburgh, PA 15212

**OWNER:** Sarah Sims Erwin &  
 NAME: Dominick DeGemero

ADDRESS: 211 S. Evaline St. #1  
Pittsburgh, PA 15224

PHONE: 212 / 533-8848

EMAIL: simzee@hotmail.com

**STAFF USE ONLY:**

DATE RECEIVED: 1/16/15

LOT AND BLOCK NUMBER: 23-5-255,256

WARD: 23rd

FEE PAID: yes

DISTRICT: \_\_\_\_\_

**APPLICANT:**

NAME: Sarah Sims Erwin

ADDRESS: 211 S. Evaline St. #1  
Pittsburgh, PA 15224

PHONE: 212 / 533-8848

EMAIL: simzee@hotmail.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

We are proposing, based on the advice of numerous painters & carpenters, to use Hardie Plank on the exterior of this structure.

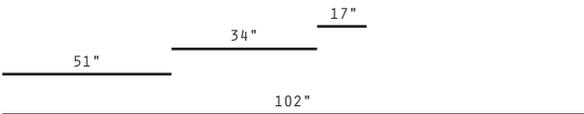
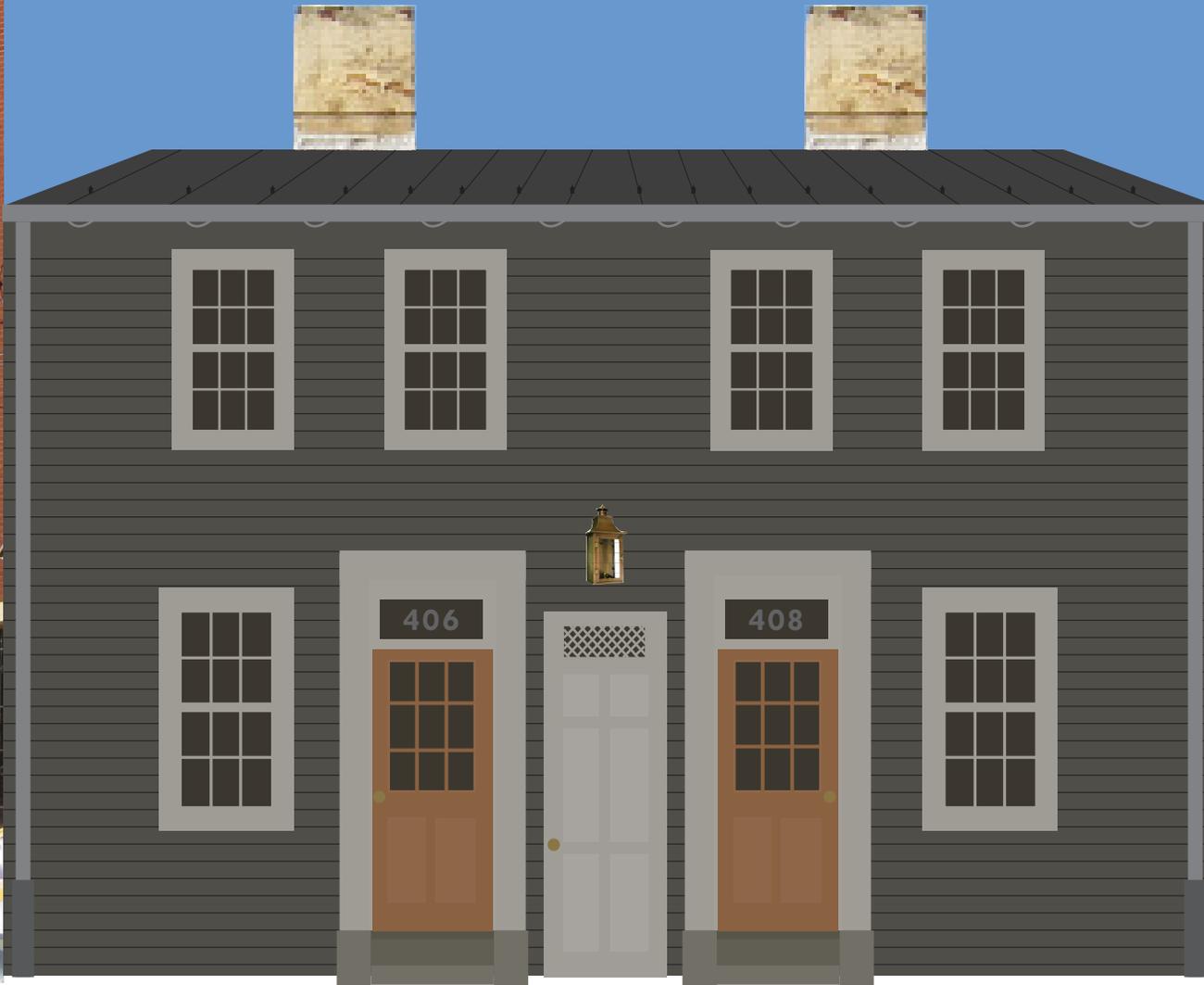
**SIGNATURES:**

OWNER: [Signature] Dominick DeGemero DATE: 1/16/15

APPLICANT: [Signature] DATE: \_\_\_\_\_



406-408 FORELAND STREET, PITTSBURGH, PA 15212  
DEUTSCHTOWN HISTORIC DISTRICT  
PROPOSED FRONT ELEVATION FOR:  
WINDOWS, DOORS, ROOF & BODY COLOR, GAS LIGHT, AND HOUSE NUMBERS



PROPOSED FRONT SIDING / MATERIAL CHANGE:

AS RECOMMENDED BY CARPENTERS, PAINTERS, AND GENERAL CONTRACTORS

HARDIE PLANK LAP SIDING .0312 THICKNESS

PLANK WIDTHS: 7.25"

TRIM WIDTHS: 4"

HardiePlank® Lap Siding

SMOOTH

3/3

THICKNESS: 0.312"

LENGTH: 144" boards

WIDTHS:

5.25"	6.25"	7.25"	8.25"
-------	-------	-------	-------

EXPOSURES:

4"	5"	6"	7"
6.25"	8.25"	12"*	12"*
		10.75"	5.25"
7.25"	9.25"*	9.25"*	48"
	8"		48"
48"*			

HardiePlank® Lap Siding

SMOOTH

2/3

Smooth is available in 14 ColorPlus® Technology finishes or primed for paint.

Iron Gray



Download Product Catalog

PROPOSED WINDOWS: 6 OVER 6, WOOD  
PROPOSED TRIM:



PROPOSED DOOR: 9-LITE, WOOD

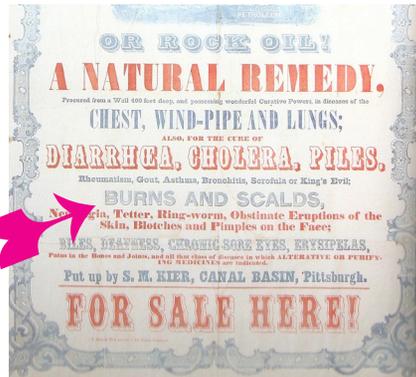
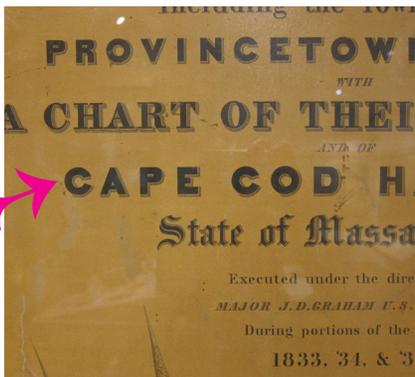


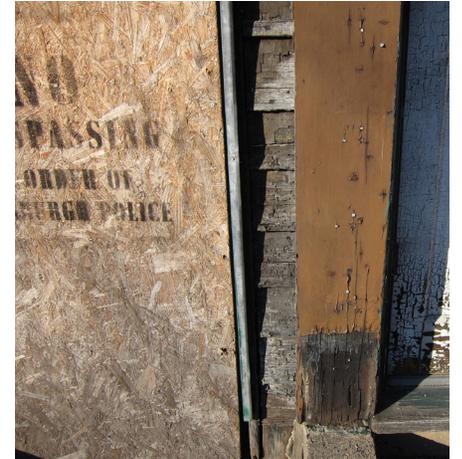
PROPOSED GAS LIGHT: BRASS



PROPOSED ROOF: 1" STANDING SEAM, METAL

PROPOSED HOUSE NUMBER FONT:







**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

1908 EAST CARSON  
 Pittsburgh PA 15203.

**OWNER:**

NAME: Mike Albert  
 ADDRESS: Carmella Salem  
 1908 E. Carson St, 15203  
 PHONE: 412-918-1215  
 EMAIL: csalem107@yahoo.com

**STAFF USE ONLY:**

DATE RECEIVED: 2/12/15  
 LOT AND BLOCK NUMBER: 12-J-393  
 WARD: 17th  
 FEE PAID: 400

**DISTRICT:**

South Side Historical District

**APPLICANT:**

NAME: Alex Carik / Carik Signs  
 ADDRESS: 2523 Brownsville Rd.  
 Pittsburgh PA 15210  
 PHONE: 412 327 5055  
 EMAIL: alexcarik@gmail.com

**REQUIRED ATTACHMENTS:**

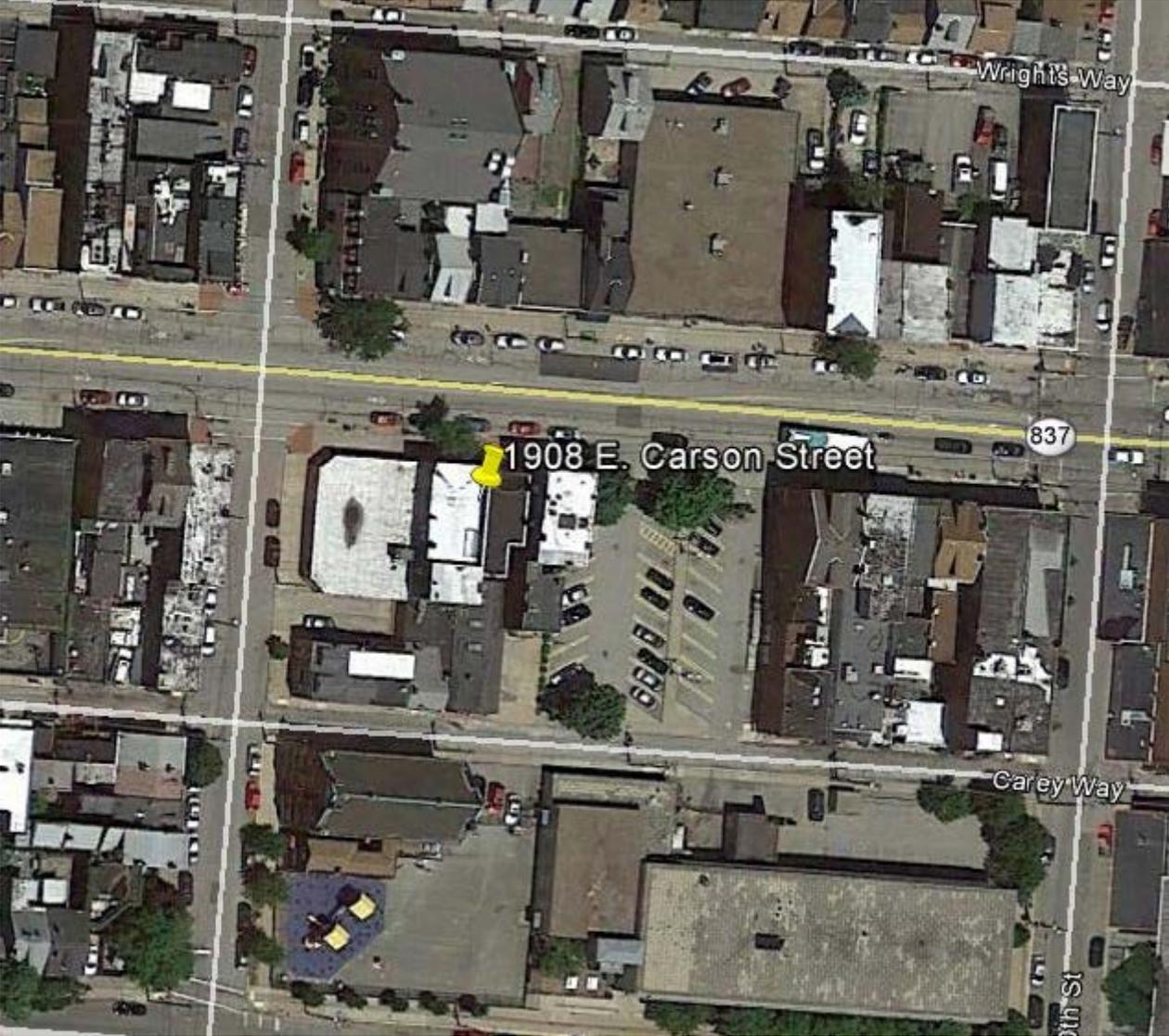
- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

we are proposing to mount a double sided projection sign to the exterior of the establishment. Sign will be mounted on the second floor of building

**SIGNATURES:**

OWNER: DATE: 2/12/15  
 APPLICANT: DATE: 2/12/15



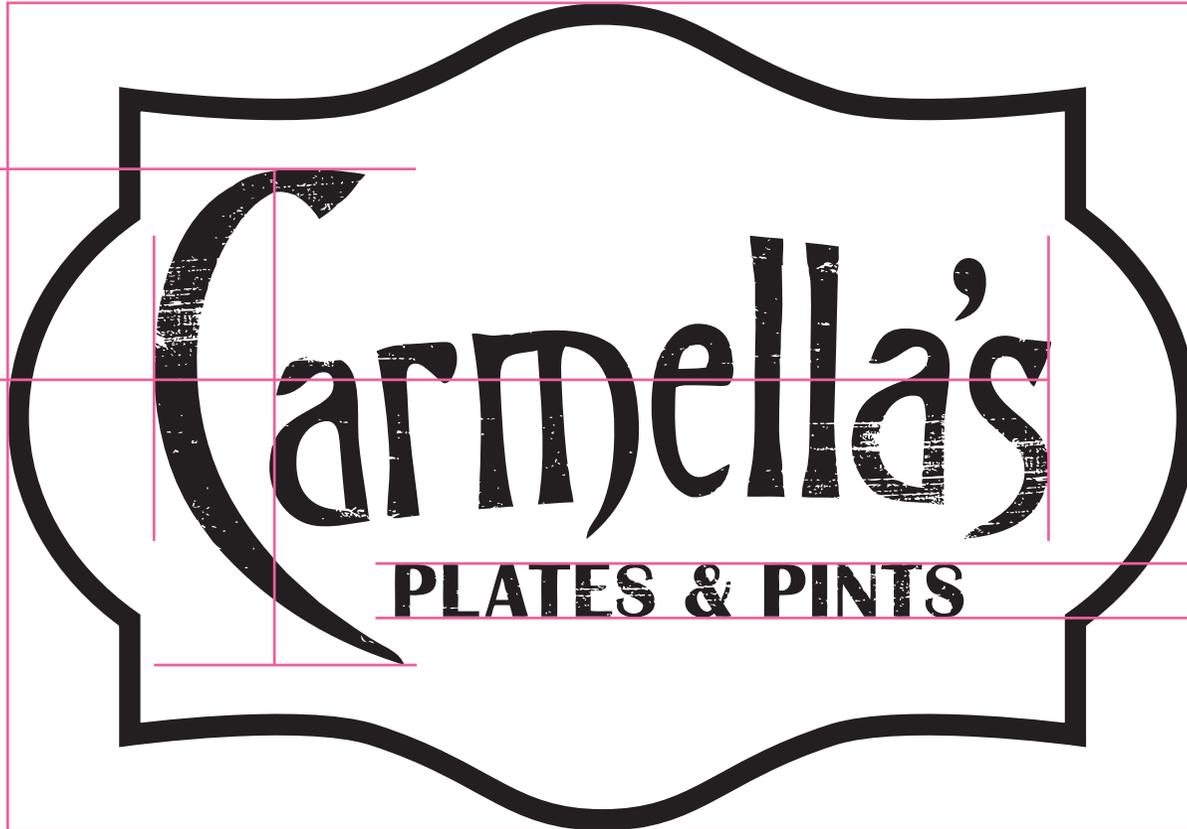


Street Hanger - Brushed Copper

Overall Sign Dimensions : 40"x27.26"

"C" Cap Height :16.6"

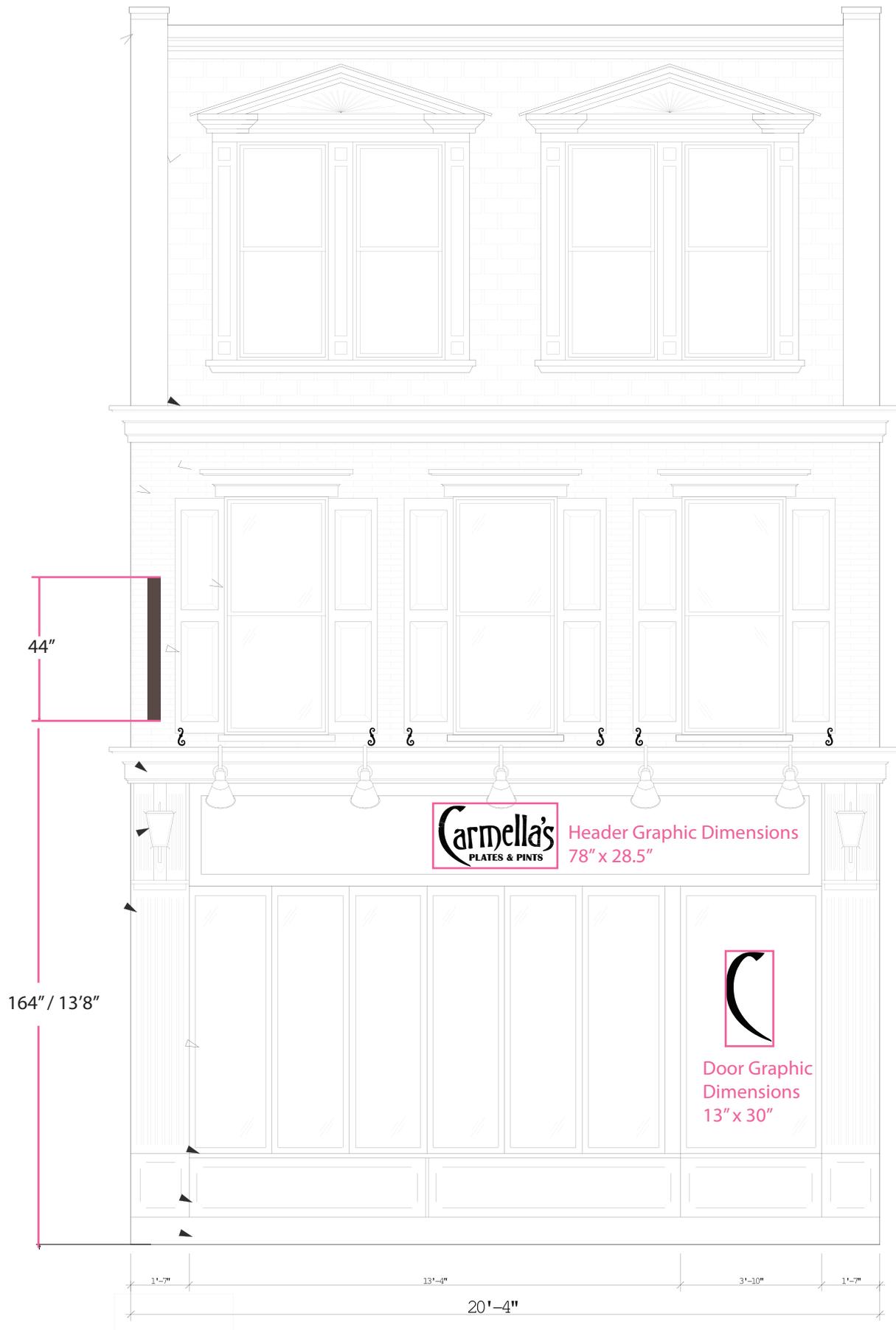
Logo Width : 30.7"

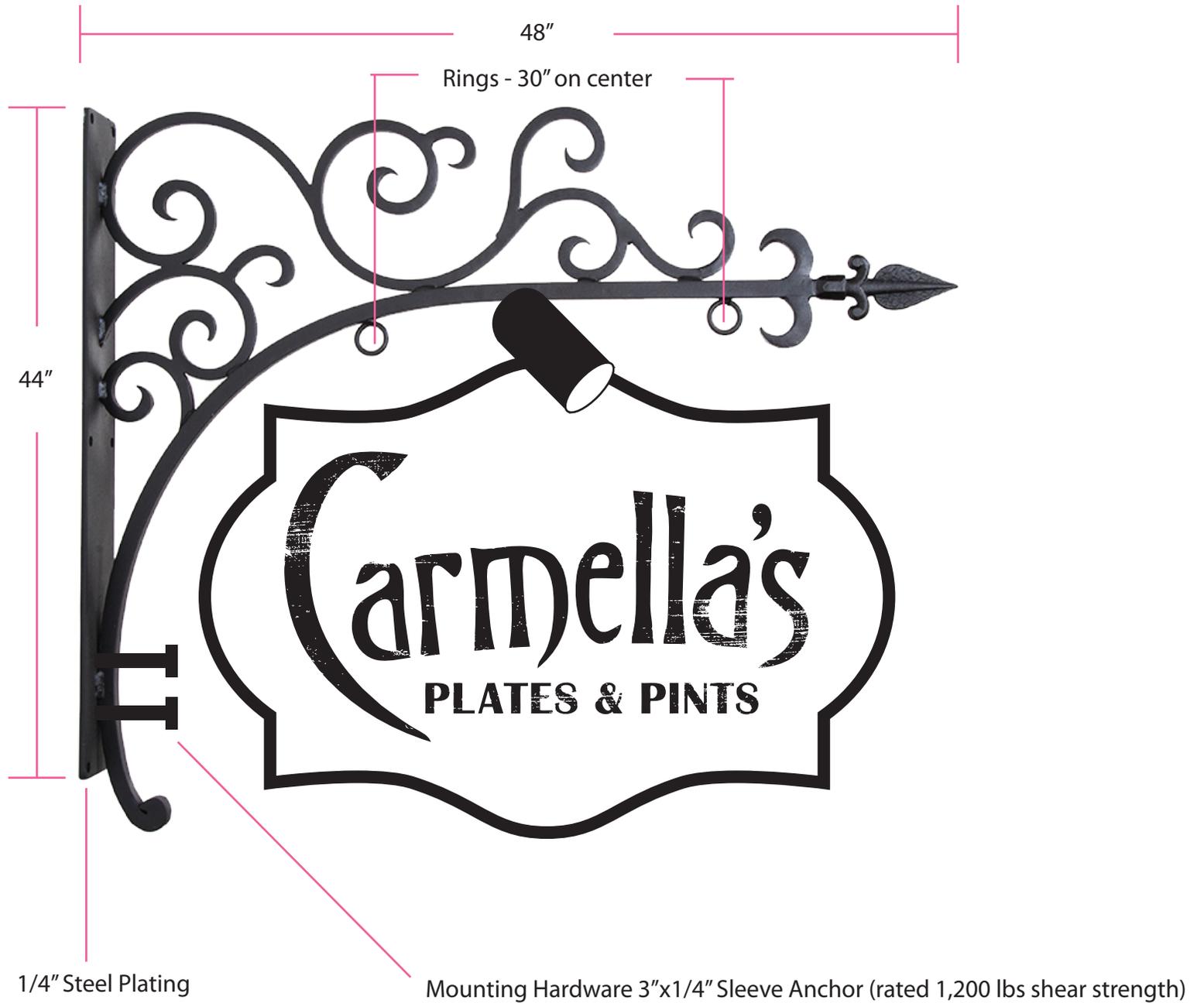


Cap Height: 1.76"

Bracket dimensions: 48" x 44"







## **Additional information:**

Sign will be double sided with accent light attached to the main arm of bracket.

Finish size of sign- 40"w by 27.26"h by 1"d

Estimate total weight of sign=45lbs

Estimated Bracket weight = 45lbs

Total estimated weight= 90lbs

### **Material- Dibond**

We are proposing to make the sign out of 3mm Dibond. Which is an exterior architectural material consisting of an aluminum skin and a high density polystyrene core.

To give the sign added dimension we will weld 1" square aluminum tubing in-between the two sign faces. This will also allow us to securely fasten the eyebolts needed for hanging the sign.

### **Lighting:**

The Sign bracket will be fitted to accept two 50 watt bullet style flood lights. Lights will only be used to highlight sign.

Light arms are 1/2" by 18" galvanized steel

### **Mounting Hardware:**

Bracket will be secure to the brick wall with 6(3 on each side) 3" by 1/4" sleeve anchors. Each anchor is individually rated with a shear rate of 1,200lbs.

We will use heavy duty carabineer to hang the sign from the bracket. Carabineer are rated for 450lbs



**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: 22-K-109

WARD: 21st

FEE PAID: yes

DISTRICT: Manchester

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

1415 Lake St. (rear of 1414 Junata)  
Pittsburgh, PA 15233

**OWNER:**

NAME: Manchester Housing Developm  
 ADDRESS: 1319 Allegheny Ave.  
Pittsburgh, PA 15233  
 PHONE: (412) 323-1743  
 EMAIL: ffault@manchestercitizens.org

**APPLICANT:**

NAME: same as owner  
 ADDRESS: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 EMAIL: \_\_\_\_\_

**REQUIRED ATTACHMENTS:**

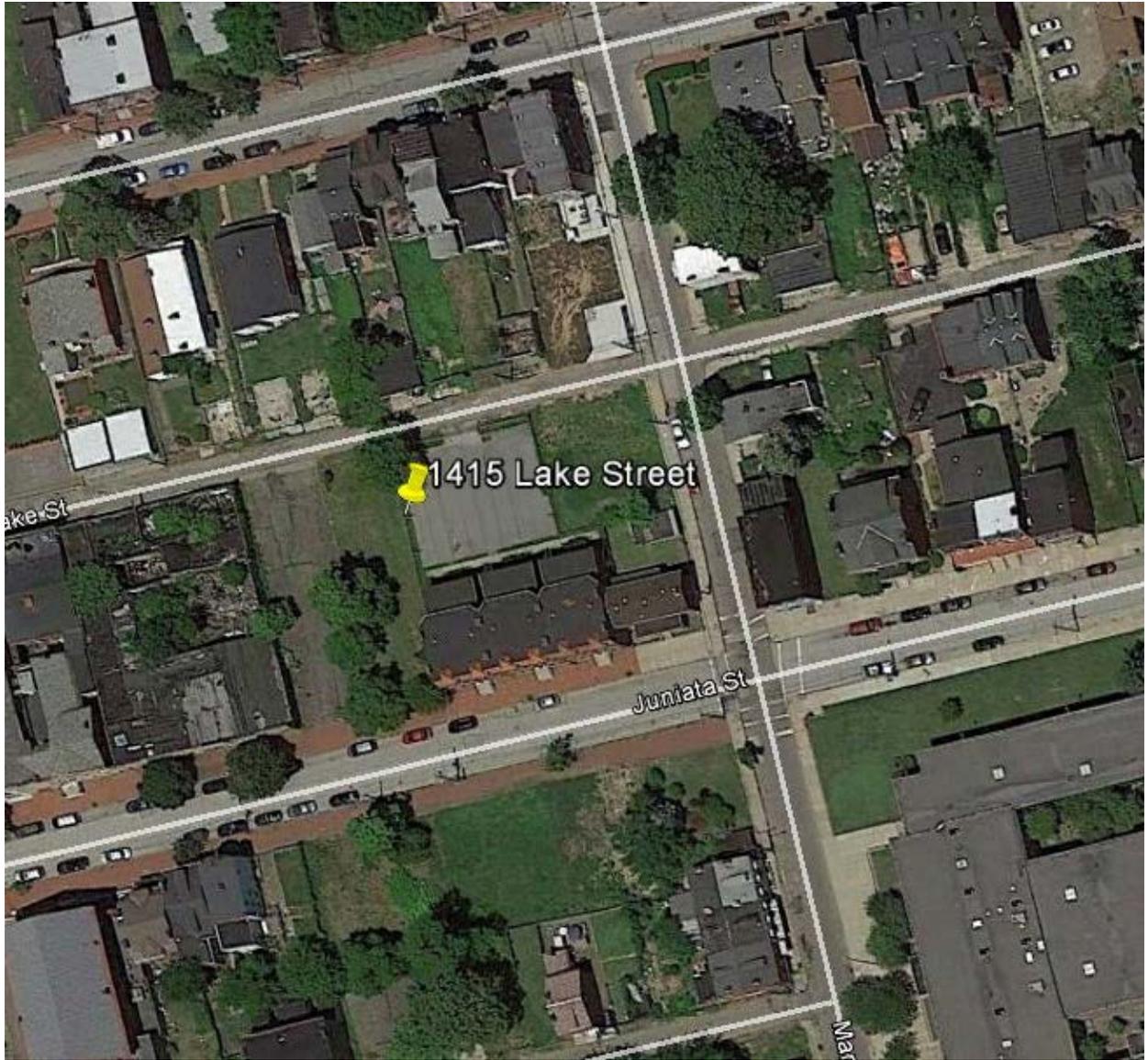
- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Replacement of existing chain link fence w/ spruce pine fence.  
Dimensions are 17' x 40' to match previous.

**SIGNATURES:**

OWNER: [Signature] DATE: 11.26.14  
 APPLICANT: \_\_\_\_\_ DATE: \_\_\_\_\_



1415 Lake Street

Lake St.

Junata St.

Main

Property Photos



1415 Lake St. (Rear of 1414 Juniata)



Pine fence will replace previous stockade fence

Spruce Pine Fence Section



Photos of similar fences within the Manchester Historic District



Warlo between Sedgwick and Allegheny



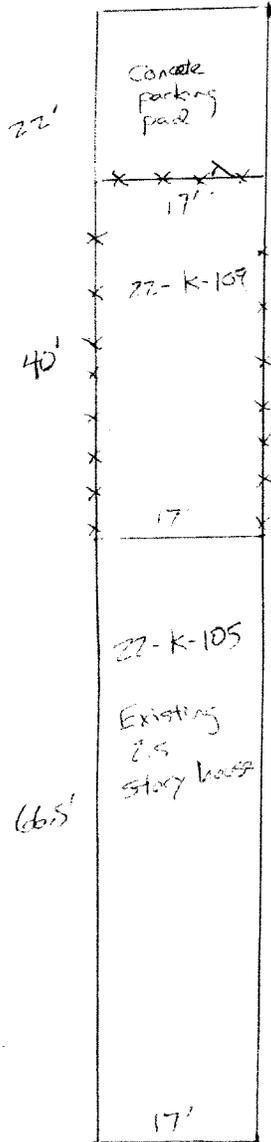
Sedgwick and Warlo



1415 Lake St. Site Plan

Replacement of existing ear chain link fence with Spruce pine fence

1415 Lake St.



x = spruce pine rear fence  
1 inch = 20 feet

1414 Juniata St.



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 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
*Treasurer, City of Pittsburgh.*

**ADDRESS OF PROPERTY:**

Page Street, Block and Lot No. 7-B-208

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**DISTRICT:**

Manchester Historic District

**OWNER:**

NAME: Western PA Humane Society

ADDRESS: 1101 Western Avenue

Pittsburgh, PA 15233

PHONE: 412-489-0827

EMAIL: dhartman@wpahumane.org

**APPLICANT:**

NAME: Same as owner

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**REQUIRED ATTACHMENTS:**

Drawings     Photographs     Renderings     Site Plan     Other

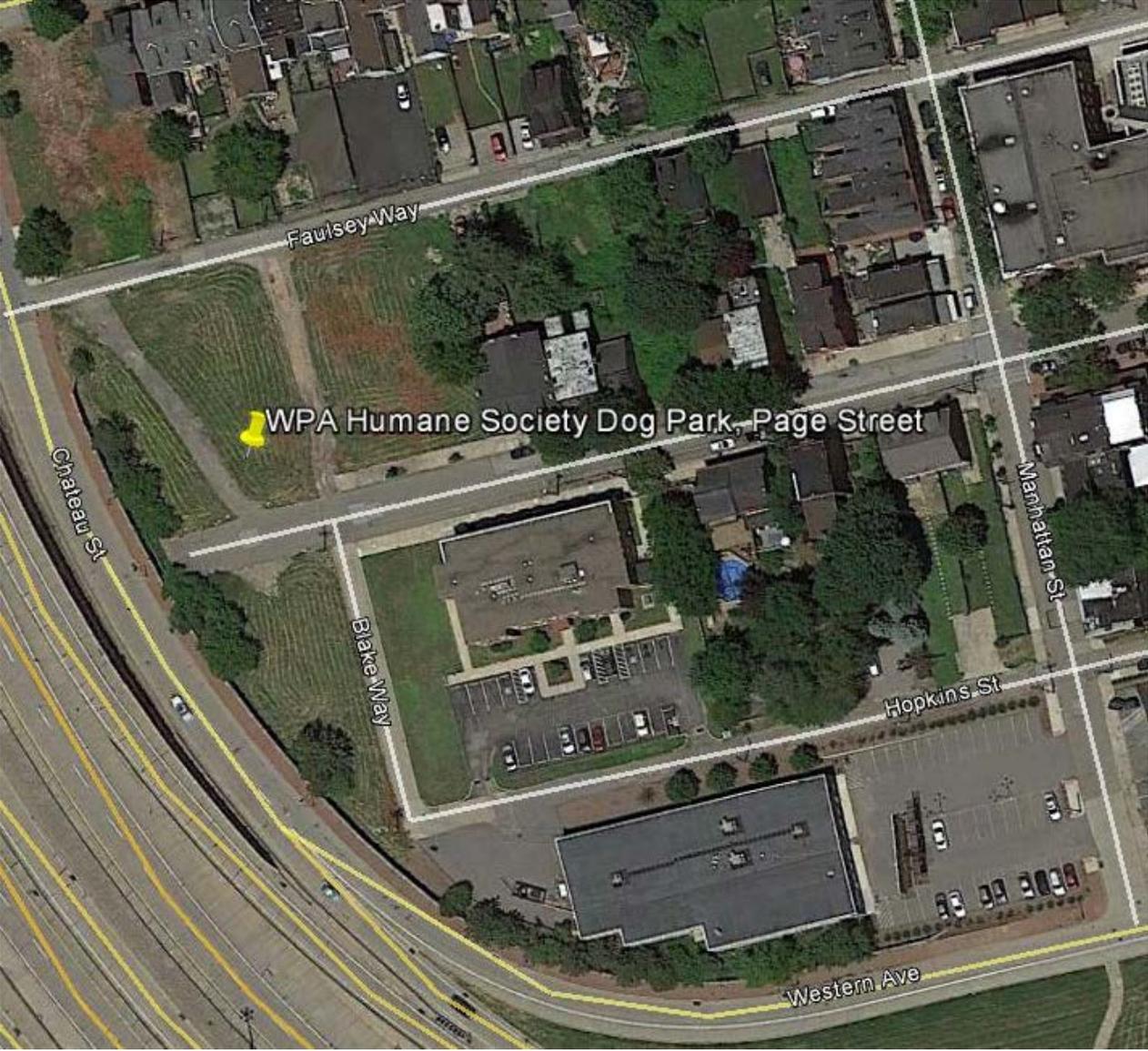
**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Outdoor dog exercise yard for Western PA Humane Society. There will be water features, dog runs, fencing surrounding the site, and a small unenclosed rain shelter with a roof.

**SIGNATURES:**

OWNER:  DATE: 11/14/2014  
 Lawrence H. Baumiller (Attorney for Western PA Humane Society)

APPLICANT: Same as above DATE: \_\_\_\_\_



# FAULSEY WAY - 20' R/W

S 80°09'09" E

Total width 100 ft

117.60'

Total Length 133 ft

N 09°50'51" E

133.45'

E

99.60'

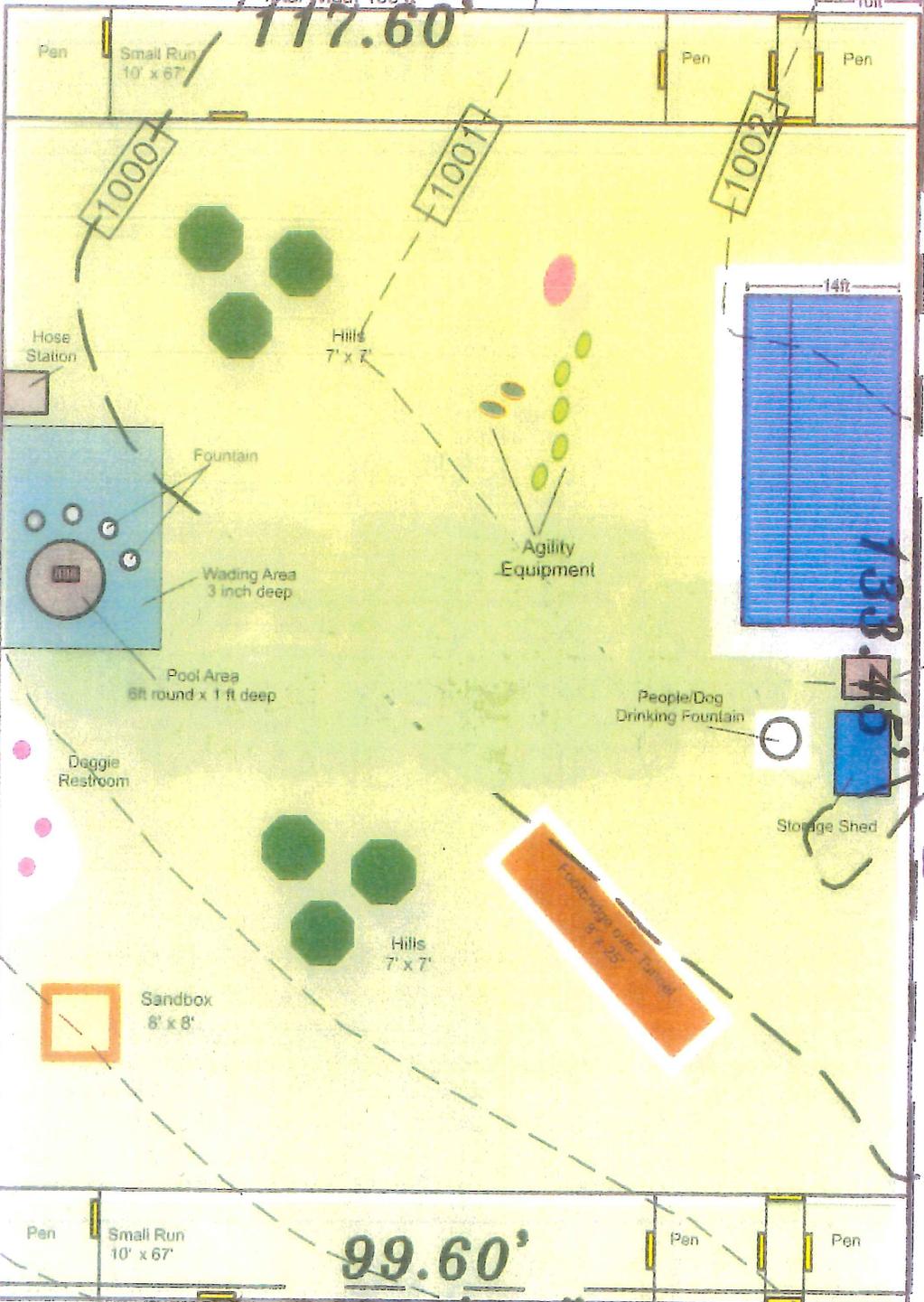
S 80°09'09" E

CB  
T=995.69

A=134.89'  
R=668.00'

999

998



B&L: 7-B-318  
CITY OF PITTSBURGH

FAULSEY WAY - 20' R/W

S 80°09'09" E  
117.60'

B&L: 7-B-208  
D.B.V. 15210, PG. 532  
WESTERN PENNSYLVANIA  
HUMANE SOCIETY

A=134.89'  
R=668.00'

N 09°50'51" E  
133.45'

99.60'  
S 80°09'09" E

B&L: 7-B-207-B  
CITY OF PITTSBURGH

B&L: 7-B-207  
CITY OF PITTSBURGH

PAGE STREET - 50' R/W

S 80°09'09" E  
85.55'

B&L: 7-B-185  
WESTERN PENNSYLVANIA  
HUMANE SOCIETY

A=183.06'  
R=668.00'

BLAKE WAY - 20' R/W  
N 09°50'51" E  
164.33'

B&L: 7-B-172  
MANCHESTER SUPPORTIVE  
HOUSING INC

CHATEAU STREET

HOPKINS ST.

B&L: 7-B-180  
ROBERT LAUGHERY

6.21'  
S 80°09'09" E





View of B&L 7-B-208  
Proposed Fenced Area 1



View of B&L 7-B-208  
Proposed Fenced Area 1



View of B&L 7-B-208  
Proposed Fenced Area 1  
from Page Street



B&L 7-B-208  
Proposed Fenced Area 1





B&L 7-B-208  
Proposed Fenced Area 1





B&L 7-B-318  
Proposed Parking Area





Faulsey Way intersecting B&L  
7-B-318 & B&L 7-B-208  
Proposed Parking Area &  
Fenced Area 1



Middle Lot (Fenced Area 1) –  
to R is Parking; to L is Fenced  
Area 2



B&L: 7-B-318

Proposed Parking Area



Here's the fountain and bench info I sent before:

\$800.00 2 recycled plastic benches \$389 ea

[http://www.plasticrecycling.us/recycled\\_plastic\\_benches\\_traditional.shtml](http://www.plasticrecycling.us/recycled_plastic_benches_traditional.shtml)

\$3,000 dog/people drinking fountain

<http://www.dog-on-it-parks.com/products/175-drinking-fountain-w-dog-bowl.aspx>

Additional Examples:



The task force members:

April Minech, Enrichment Facilitator

Dr. Kate Borland, Veterinarian

Karen Dioguardi, Assistant Director of Animal Services

Donna Bucek, Director of Animal Services

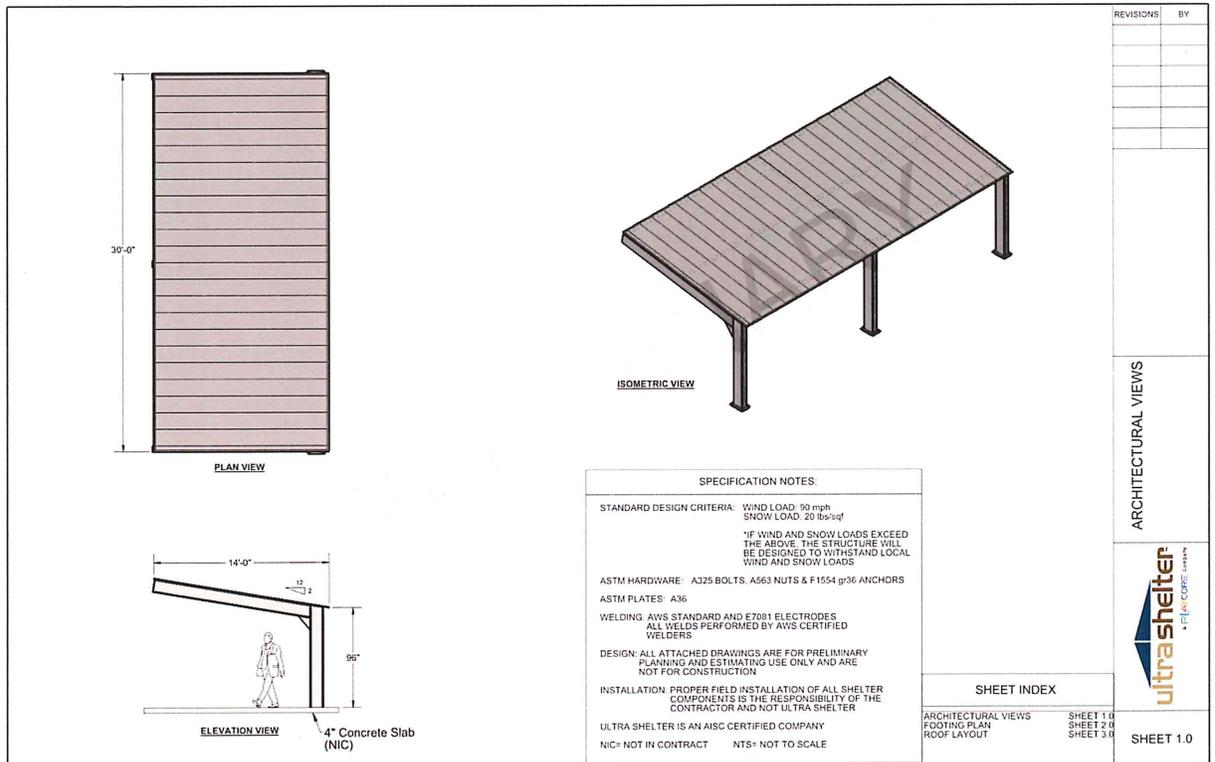
Margaret Stanley, Advisory Board member

We met to discuss what the Western Pennsylvania Humane Society needed to provide in order for one portion of the dog park to open while we worked on zoning issues of the other properties.

April Minech took the lead with our ideas and we propose the following:

We need to provide an area to step out of the weather while respecting the neighborhood.

Attached are the initial quotes for the structure, pending a small design change. The roof shown is angled but straight, and I was looking at one that had a little peak so it would block all the morning sun plus some of the after noon for greatest shade area.





A few notes:

- The shelter has an option for an electrical outlet, and I have it shown sitting on a cement block.
- There are two hose stations (one on each side), thinking they will be used for clean up as well as filling the pool, which can drain into the underground system for the turf
- All hills, benches and other items of height need to be away from the fence
- There's a small run area on each side, which will allow for more dogs to be accessing the park at one time
- Still have your "spacing" between fenced areas in mind but not sure how to draw them.
- The overall size of the Dog Park is 100 ft x 133 ft, which is roughly the size on the blueprint. The actual space is not exactly a rectangle, but I kept it to these dimensions for estimating purposes.



November 14, 2014

**VIA HAND DELIVERY**

Historic Review Commission  
c/o Sarah Quinn  
200 Ross Street, 3<sup>rd</sup> Floor  
Pittsburgh, PA 15219

**RE: HRC application for Western PA Humane Society Dog Exercise Yard**

Dear Ms. Quinn:

I represent the Western Pennsylvania Humane Society (“Humane Society”), which has submitted an application for a certificate of appropriateness for parcel no. 7-B-208 in the Manchester Historic District. In addition to the application materials submitted for the certificate of appropriateness, enclosed with this letter are items showing evidence of economic hardship. The criteria for economic hardship, and the Humane Society’s responses, are as follows:

- a. The assessed value of the property for the two (2) most recent assessments.

*\$40,000. See attached information from the Allegheny County Assessment website.*

- b. Real property taxes for the previous two (2) years.

*\$189.59 (Humane Society will apply for tax exemption). See attached information from the Allegheny County Assessment website.*

- c. The amount paid for the property by the owner, the date of purchase and the party from whom purchased, including a description of the relationship, if any, between the owner and the person from whom the property was purchased.

*The Humane Society paid \$37,000 for the property in 2013. The deed was recorded on April 18, 2013. The seller was PennDOT.*

- d. The current balance of any mortgages or any other financing secured by the property, and the annual debt service, if any, for the previous two (2) years.

*No balances. The property was paid for in cash.*

- e. All appraisals obtained within the previous two (2) years by the owner or applicant in connection with purchase, offerings for sale, financing or ownership of the property.

*None.*

- f. All listings of the property for sale or rent, price asked and offers received, if any, within the previous four (4) years.

*None. The Humane Society has never attempted to rent or sell the property.*

- g. All studies commissioned by the owner as to profitable renovation, rehabilitation or utilization of any structures or objects on the property for alternative use.

*None. The property was bought for the specific purpose of constructing the dog exercise yard.*

- h. For income producing property, itemized income and expense statements from the property for the previous two (2) years.

*Not applicable.*

- i. Estimate of the cost of the proposed construction, demolition or relocation and an estimate of any additional cost that would be incurred to comply with the recommendations of the Commission for changes necessary for it to approve a Certificate of Appropriateness.

*The Humane Society is still awaiting an estimate from the fence contractor. This information will be provided at the hearing.*

- j. Form of ownership or operation of the property, whether sole proprietorship, for-profit or not-for-profit corporation, limited partnership, joint venture or other.

*Not for profit. See attached documentation from the IRS.*

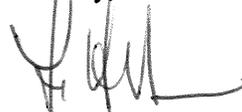
- k. Any other information, documentation or evidence as the Commission determines to be necessary to its application of the standard in § 1101.06(b).

- l. Tax status of owner as for-profit or not-for-profit.

*Not for profit. See attached documentation from the IRS.*

Thank you for your attention and please contact me with any questions.

Sincerely,



Lawrence H. Baumiller

cc: Deborah Hartman

Enclosures

Please find the new presentation for the dog park and attached images/links for each item.

1. New dog park layout design, based on Victorian Garden design (attached)

Includes: Type/Color Brick:

[http://www.pinehallbrick.com/product/Rumbled%C3%82%C2%AE\\_Red](http://www.pinehallbrick.com/product/Rumbled%C3%82%C2%AE_Red)

The installer (John Bane BANE MASONRY135 Chubbic Road Cannonsburg PA 15317) has completed work in historic Manchester

Turf: Physical sample will be available at hearing

2. Rain Shelter

<http://www.homedepot.com/p/Palram-Arcadia-5000-12-ft-x-16-ft-Carport-with-Polycarbonate-Roof-701592/202724311>

Carport that has curved roof and similar structural look to the period. Looking at the garden structures of the time, it seems like the bones of the buildings are as important as the exterior; this reminded me of that style and it looked a little bit like a greenhouse with the clear roof. Items would be side by side on a red brick patio.

3. Black Chain link fence

[http://commons.wikimedia.org/wiki/File:Black\\_Chain\\_Link\\_Fence.jpg](http://commons.wikimedia.org/wiki/File:Black_Chain_Link_Fence.jpg)

All noted fencing on design in black chain link.

4. Benches

Simple sandstone bench (picture attached) Resembles type of stone seen in houses and exterior walls in area.

5. Shed:

<http://www.homedepot.com/p/Lifetime-8-ft-x-10-ft-Outdoor-Storage-Shed-6405/202080011?N=5yc1vZbtz2>

This shed is the closest I could find with similar architectural elements including a pointed roof and the curve at the top of the windows and doors.

6. Signage: Sign with donor's name and WPHS logo, wood supported by wooden posts with finials (attached)

<http://greenscreengraphics.com/portfolio/signs/>

7. Footbridge: Wooden footbridge 4'W x 16'L decorative in nature spanning a flat area, with a small tunnel for dogs to run under. Curve above handrail and spires to be wrapped in iron for decorative effect. (image attached)

8. People/dog fountain: Historical series

<http://mostdependable.com/products.php?category=Historical%20Series&model=113>

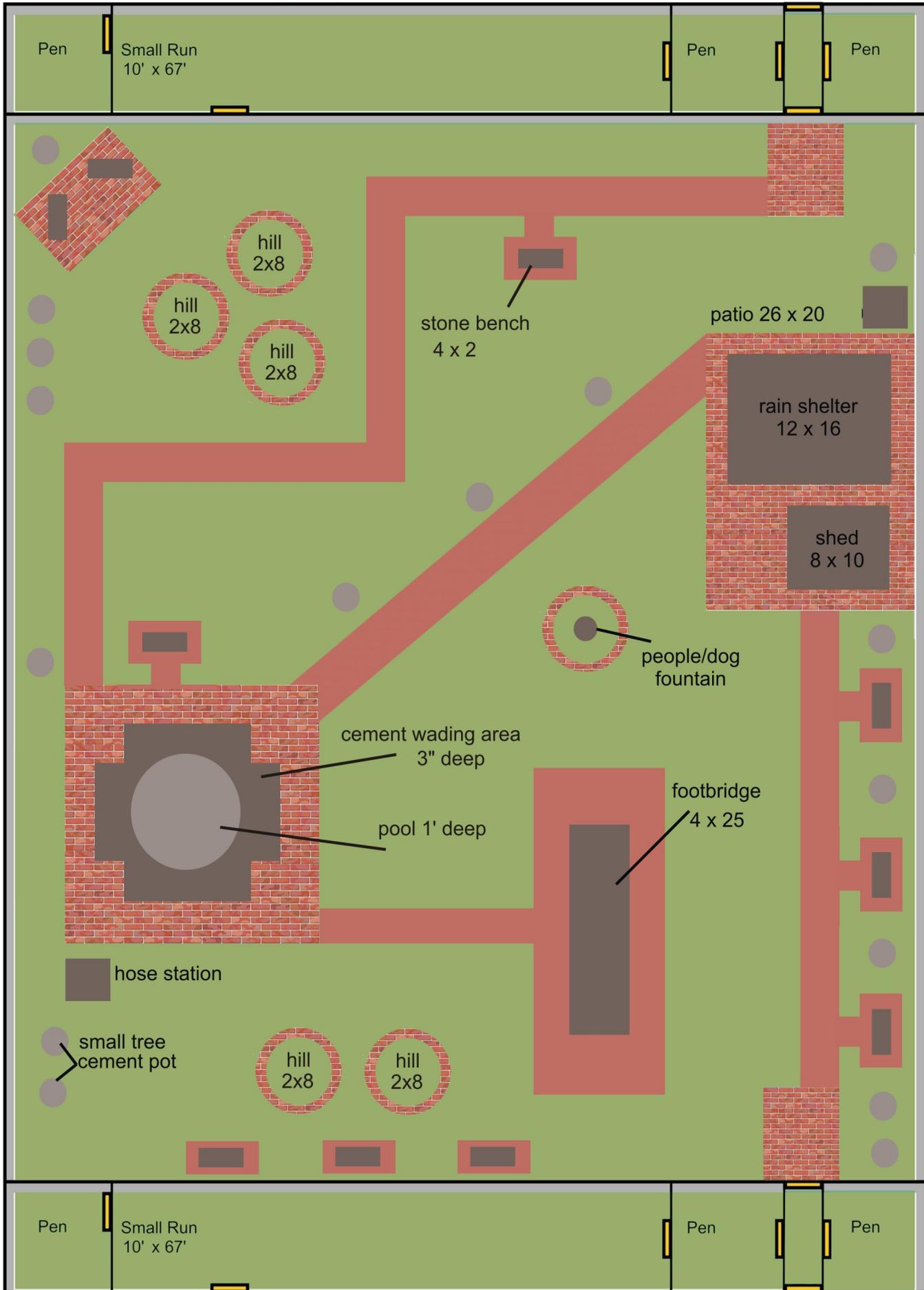
9. Wading pool - Brick outlined, interior (below ground cement) in Victorian Garden shape as indicated on plan

10. Landscaping shrub - single evergreen aborative shrub (image attached)

Total Width 100 ft

10ft

Total Length 133 ft



Pen

Small Run  
10' x 67'

Pen

Pen

hill  
2x8

hill  
2x8

hill  
2x8

stone bench  
4 x 2

patio 26 x 20

rain shelter  
12 x 16

shed  
8 x 10

people/dog  
fountain

cement wading area  
3" deep

pool 1' deep

footbridge  
4 x 25

hose station

small tree  
cement pot

hill  
2x8

hill  
2x8

Pen

Small Run  
10' x 67'

Pen

Pen









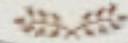


*Town of*

**BENSON**

VERMONT

TOWN OFFICES  
BENSON MUSEUM



2760









**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 2/13/15

LOT AND BLOCK NUMBER: 1-H-184

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

WARD: 1st.

FEE PAID: yes

**ADDRESS OF PROPERTY:**

260 Forbes Avenue, Pittsburgh Pa. 15222

**DISTRICT:**

Market Square

**OWNER:**

NAME: GMS Commercial, LP

ADDRESS: 95 West Beau Street, Suite 600  
Washington, PA 15301

PHONE: 724-299-8800

EMAIL: info@millcraftinv.com

**APPLICANT:**

NAME: Kolano Design

ADDRESS: 6026 Centre Avenue  
Pittsburgh, PA 15206

PHONE: 412-661-9000

EMAIL: lauren@kolano.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Three (3) highwall signs at Tower Two-Sixty office tower.

Signs to occur at North, East & West facades.

**SIGNATURES:**

OWNER:  DATE: 2/9/15

APPLICANT:  DATE: 2/13/15





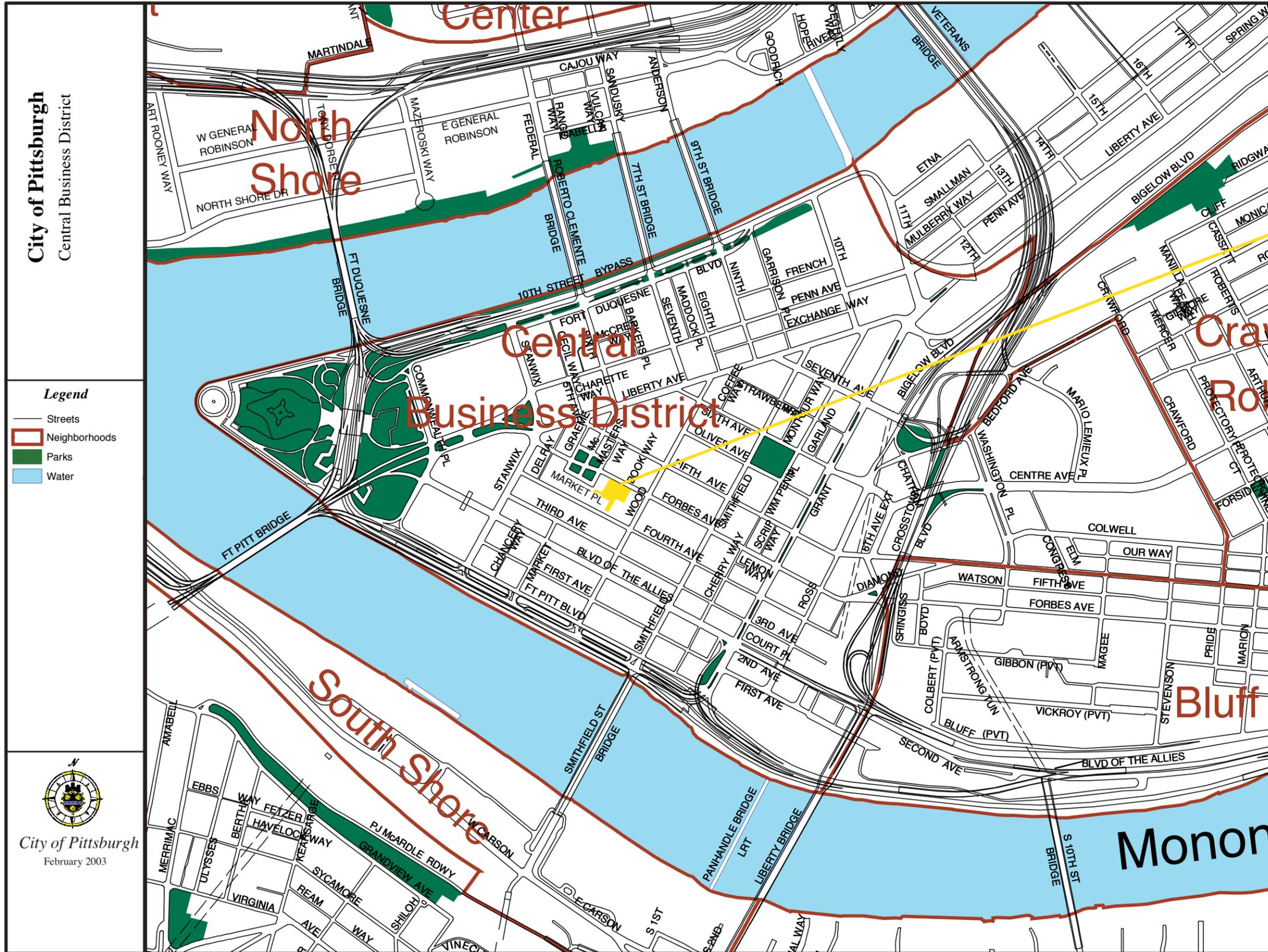
**HIGHWALL SIGN PACKAGE**  
**Historic Review Commission Submission**

**Issued: February 13, 2015**

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Site Address: 260 Forbes Avenue, Pittsburgh, PA 15222

**KOLANO design**  
6026 Centre Avenue  
Pittsburgh, Pennsylvania 15206-3921  
p. 412.661.9000  
[www.kolano.com](http://www.kolano.com)



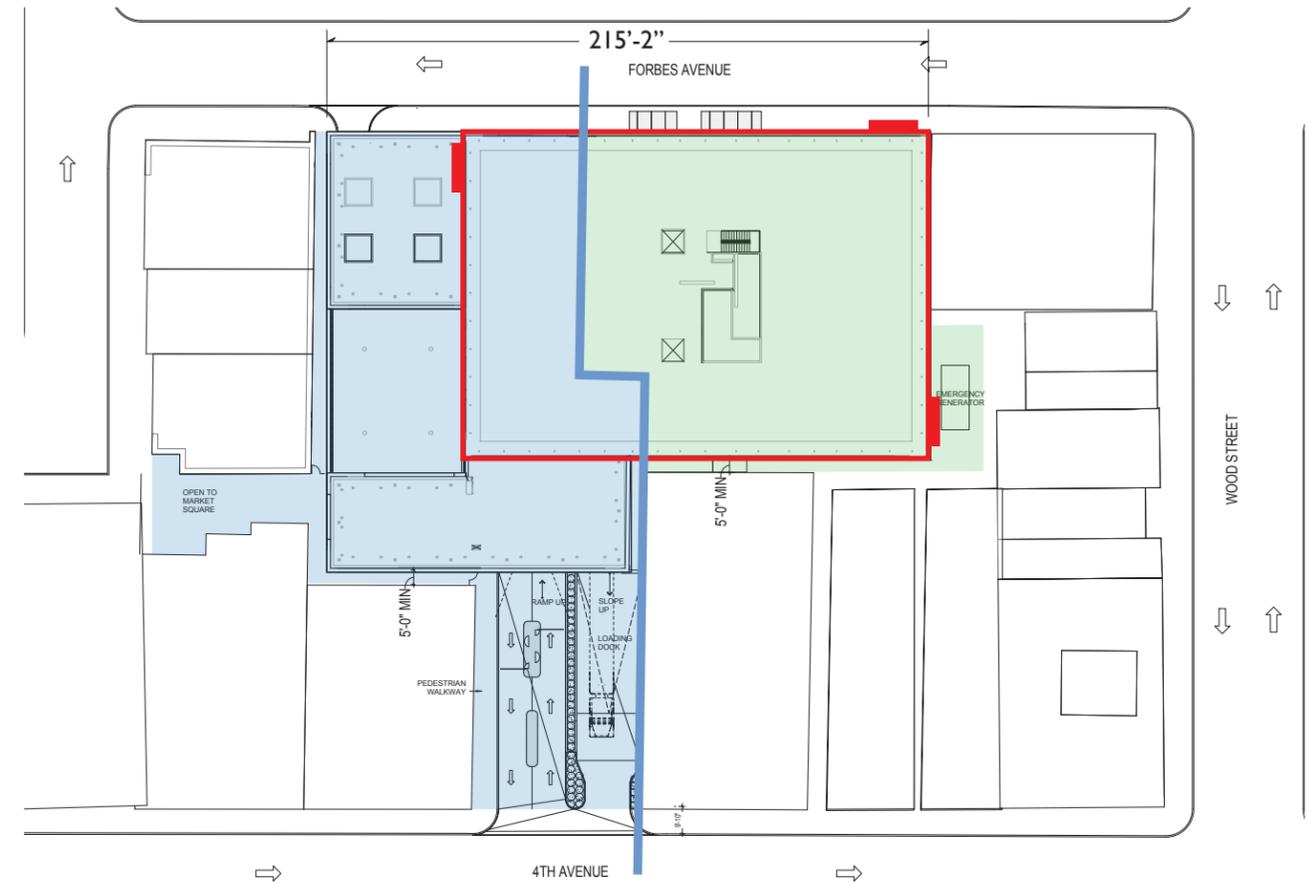
**The Gardens at Market Square**  
 260 Forbes Ave.  
 Pittsburgh, PA



**Market Square Historic District**

**Tower Two-Sixty at The Gardens**

Lot & Block Map



Sign Location Plan

**KEY**

HISTORIC DISTRICT

GOLDEN TRIANGLE DISTRICT (GT-A)

TOWER TWO-SIXTY AT THE GARDENS

HIGH WALL SIGN LOCATIONS

**HRC DESIGN GUIDELINES - MARKET SQUARE HISTORIC DISTRICT**

**M. Signs**

15. Wall signs placed above the window sills of the second floor will be allowed for a business establishment located on an upper floor. Total wall sign area allowed for a business establishment located on an upper floor shall not exceed 1.5 square feet per foot building face. Business establishments occupying more than one floor shall be allowed a maximum aggregate wall sign area of two (2) square feet for each foot of building face.

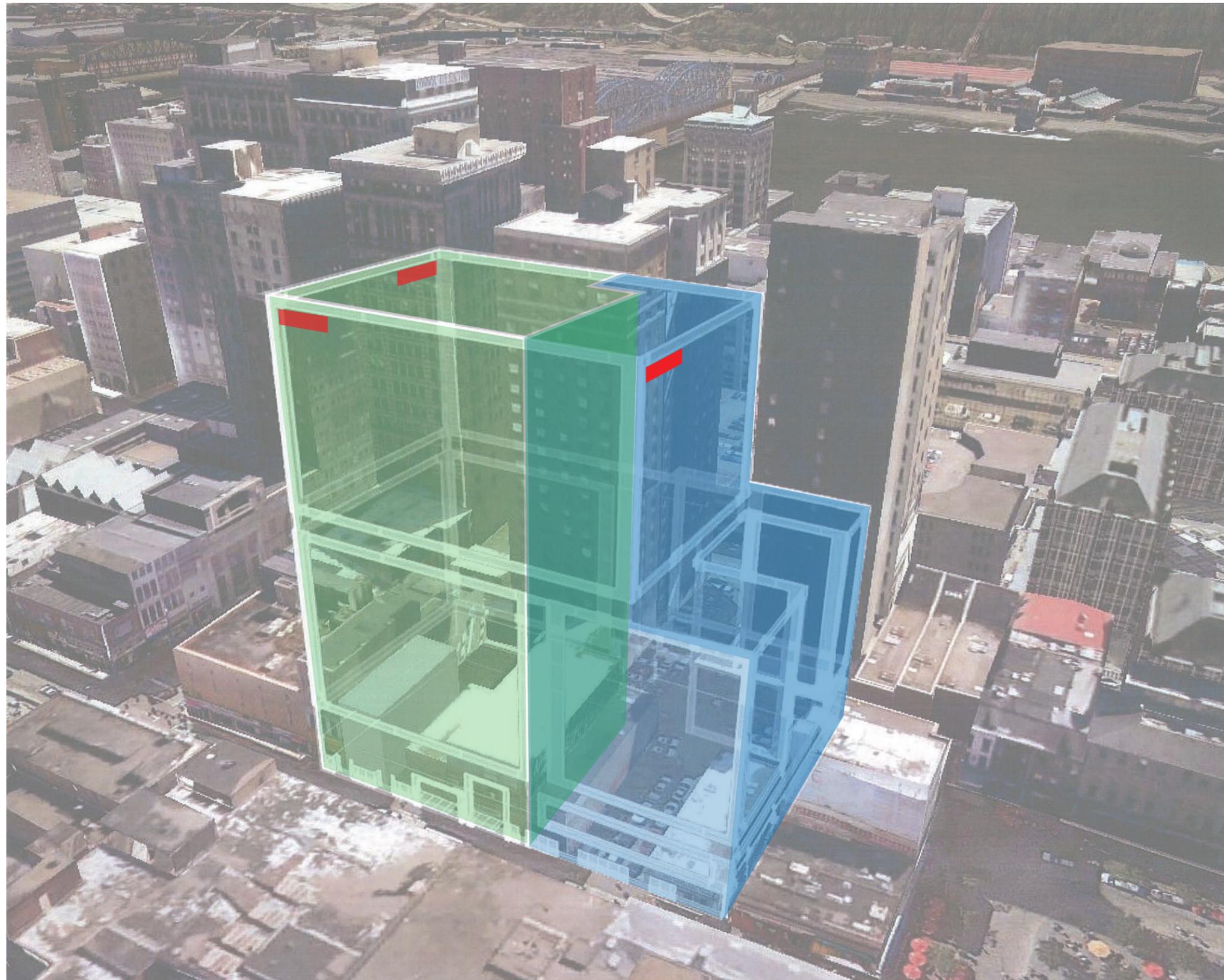
**CITY OF PITTSBURGH SIGN ORDINANCE - GOLDEN TRIANGLE DISTRICT (GT-A)**

**919.03.M.7 GT and DR Zoning Districts**

In the GT and DR Zoning Districts:

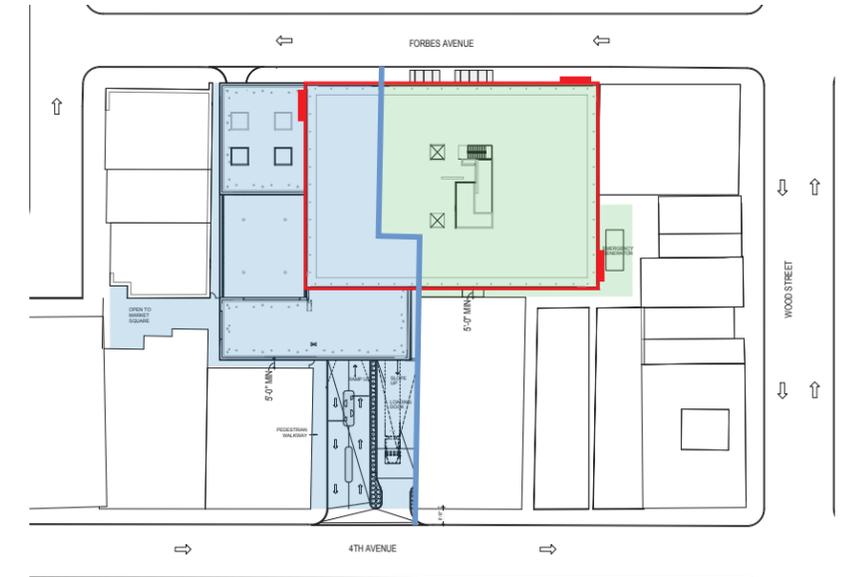
(c) Only the name of the building or business shall be mounted higher than forty (40) feet above grade and may face in all directions but shall not be roof mounted nor project above the roof peak or parapet wall, shall not exceed in face area forty (40) square feet or two (2) percent of exposed façade area whichever is larger, shall be limited to four (4) per building, shall include no motion or animation, shall not exceed a luminance of two thousand five hundred (2,500) nits during daylight hours between sunrise and sunset, shall not exceed a luminance of two hundred fifty (250) nits at all other times, shall permit electronic illumination with no motion or animation, and shall be subject to design review and approval by the City Planning Commission.

All applications shall include certification that the sign will comply with luminance level standards at the time of application and must certify again that the sign is operating in compliance with the standards prior to issuance of an occupancy permit.



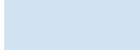
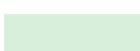
Zoning District Diagram and Sign Locations

### High Wall Sign Location



### Sign Location Plan

#### KEY

-  HISTORIC DISTRICT
-  GOLDEN TRIANGLE (GT-A) DISTRICT

**MARKET SQUARE HISTORIC DISTRICT**

Business establishments occupying more than one floor shall be allowed a maximum aggregate wall sign area of two (2) square feet for each foot of building face

**(117' x 2 = 234 Sq. Ft.)**

**CITY OF PITTSBURGH - GOLDEN TRIANGLE DISTRICT (GT-A)**

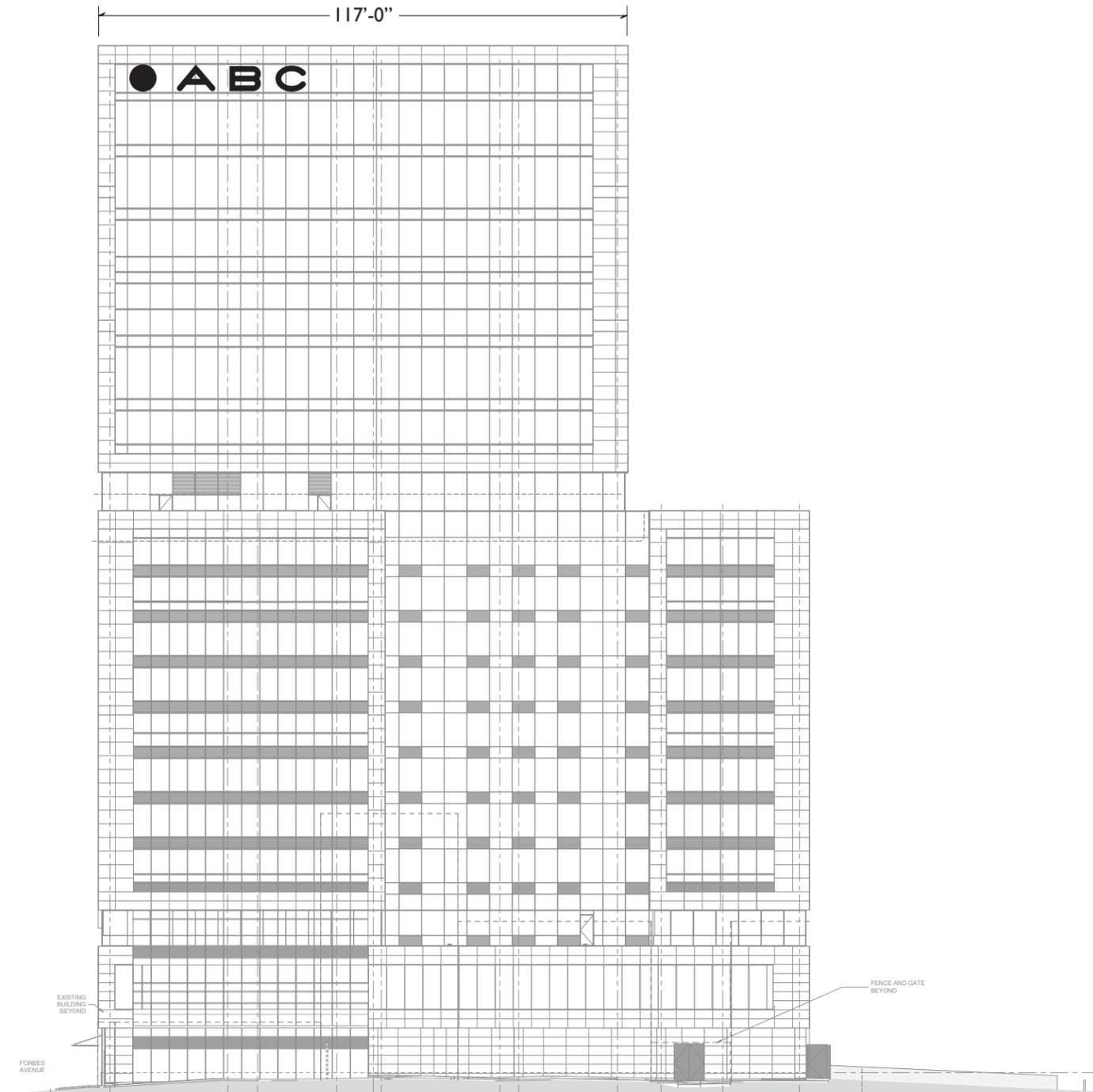
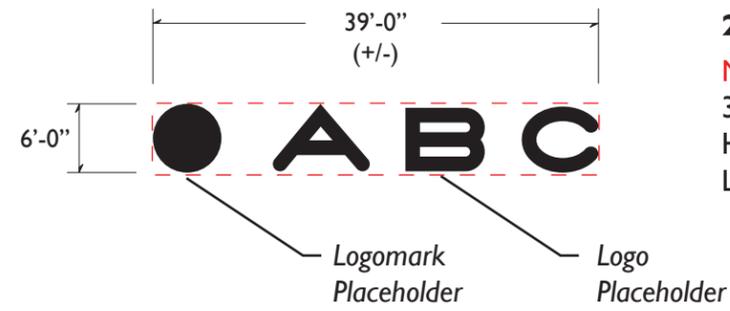
Only the name of the building or business shall be mounted higher than forty (40) feet above grade and shall not exceed in face area forty (40) square feet or two (2) percent of exposed façade area whichever is larger

**(32,386 Facade Sq. Ft. x 2% = 647.7 Sq. Ft.)**

**High Wall Sign Elevations**

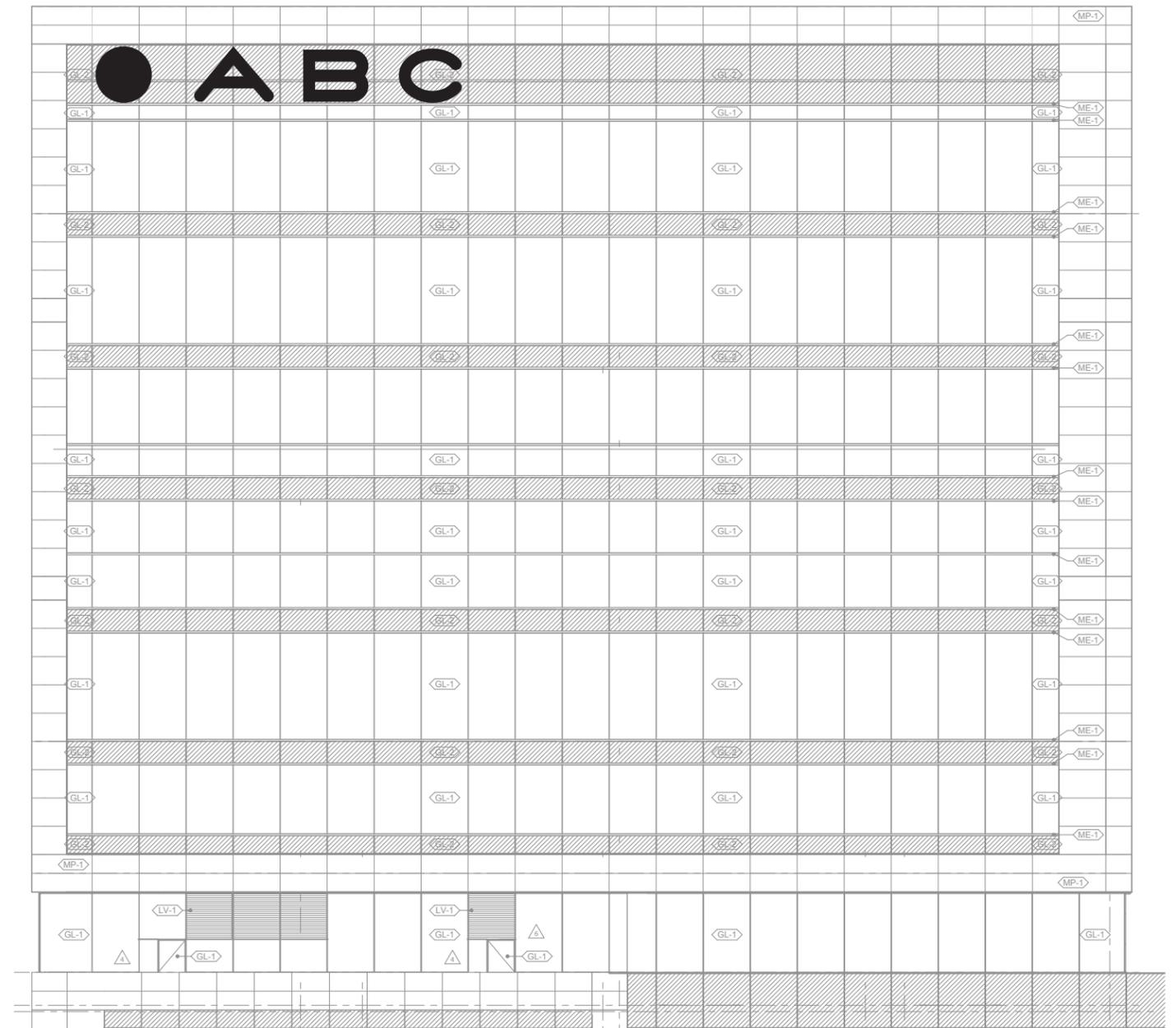
**234 Sq. Ft. Total**

Note: Tenant logo and logomark - to be determined  
3 letter logo and logomark shown as placeholder only  
Height of spandrel glass limits high wall sign height to 6'-0"  
Length of the sign is dependent on the logo and logomark



**West Exterior Elevation**

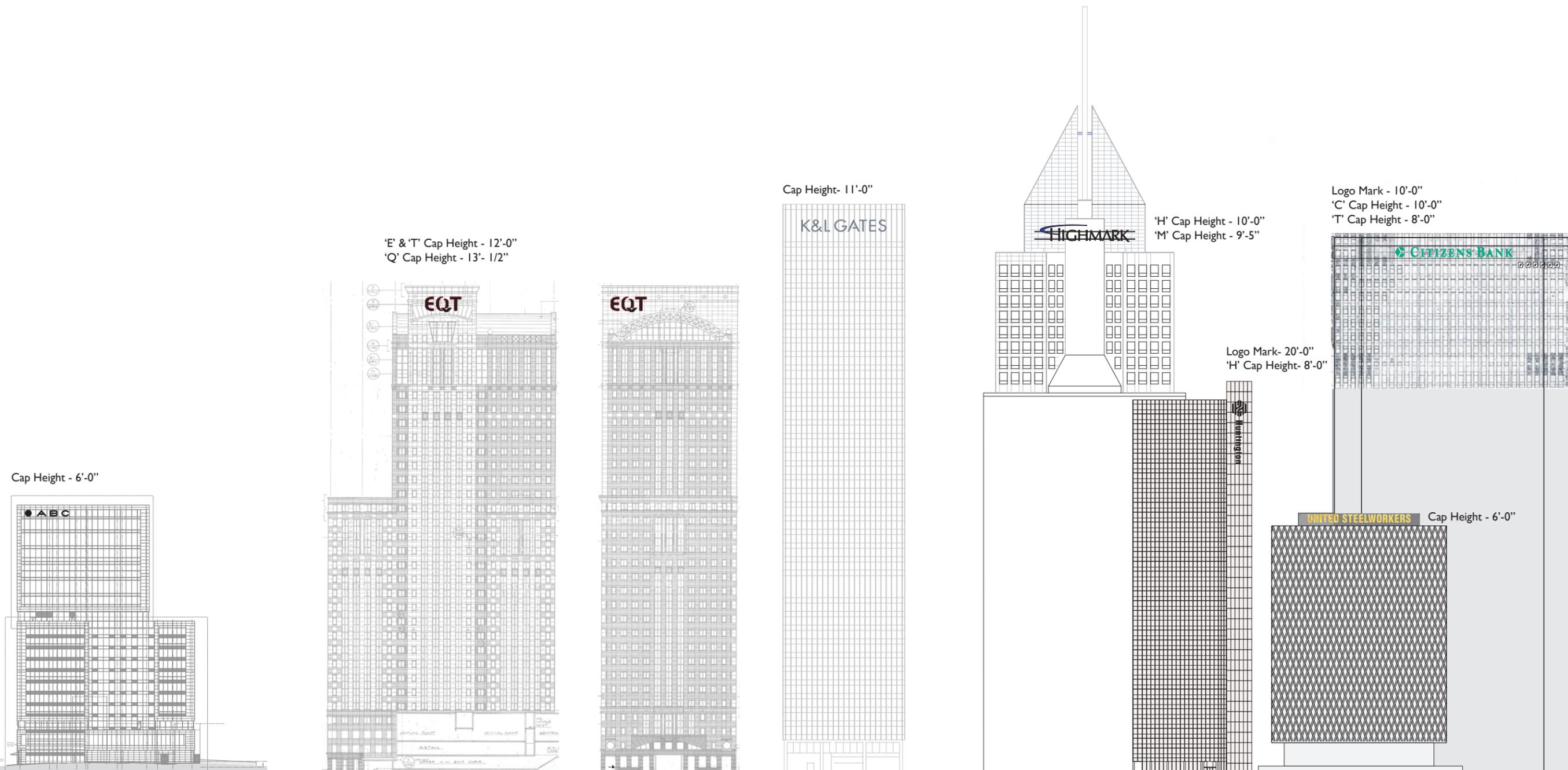
1/32" = 1'-0"



**Enlarged West Exterior Elevation**

1/16" = 1'-0"

City Buildings - Logo Height Comparison



Tower Two-Sixty at The Gardens  
West Exterior Elevation



Note: Scaling of all signs within environment is approximate

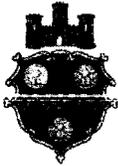
Tower Two-Sixty High Wall Signs - Environmental View



Reference Images

Face Lit Letters





**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**STAFF USE ONLY:**

DATE RECEIVED: 10 Dec 2014

LOT AND BLOCK NUMBER: 1-D-128

WARD: 1

FEE PAID: yes

**DISTRICT:**

Market Sq.

**FEE SCHEDULE:**

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

24 MARKET SQ.  
Pittsburgh, PA 15222

**OWNER:**

NAME: NADPA INC

ADDRESS: 2930 PENN AVE  
PITTSBURGH, PA 15222

PHONE: 412 476 9100

EMAIL: jerkylink@gmail.com

**APPLICANT:**

NAME: SIPTEPS ARCHITECTS LLC

ADDRESS: P.O. BOX 332  
NORTH LIMA, OHIO 44452

PHONE: 724.544.8160

EMAIL: ddsarch@yahoo.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

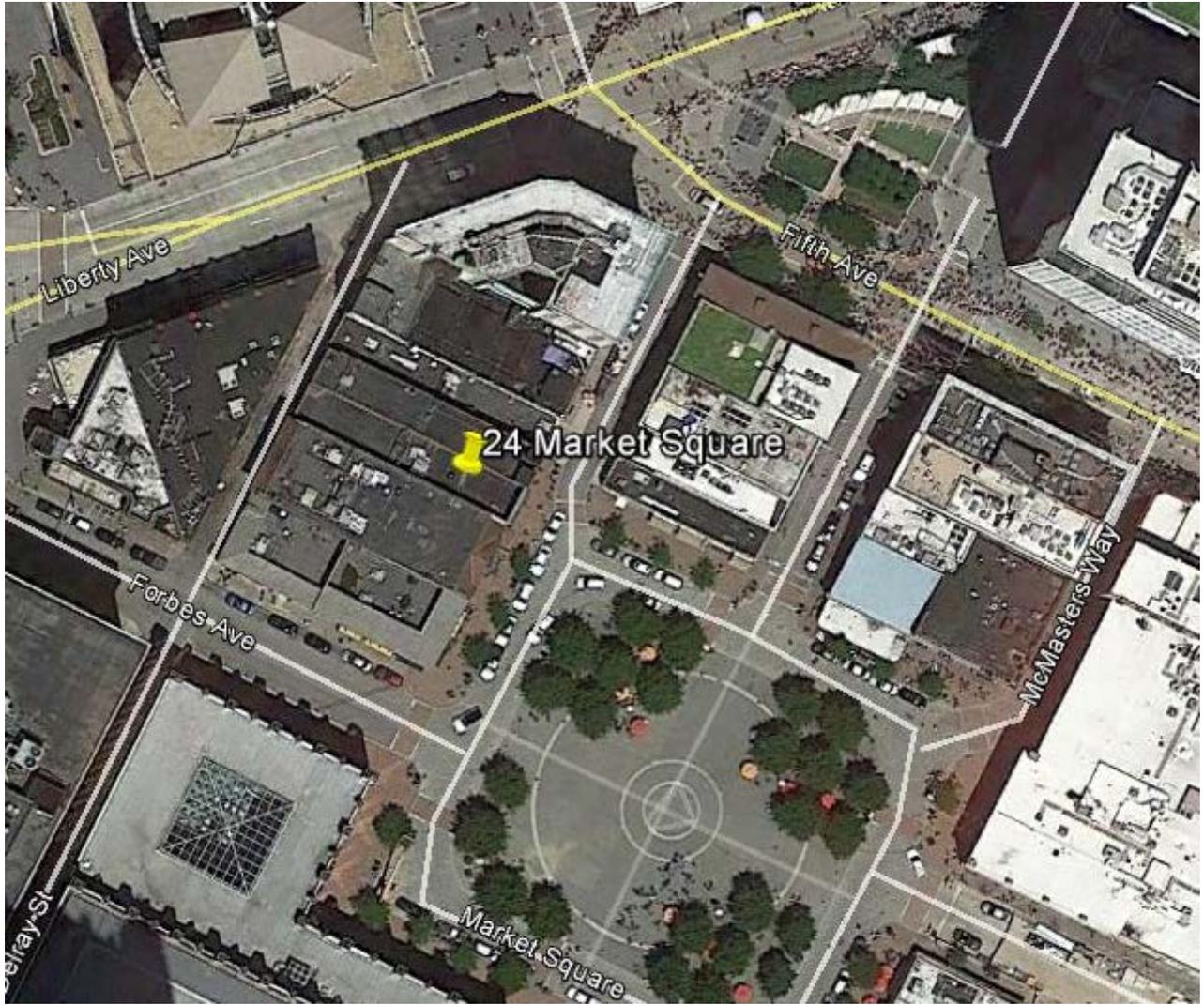
**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

EXTERIOR LOWERED STEEL FRAMED CANOPY  
ADDITION OVER SIDEWALK

**SIGNATURES:**

OWNER: [Signature] DATE: \_\_\_\_\_

APPLICANT: [Signature] A.T.G. DATE: 10/Dec/14





412 401 6211  
MASSAGE

NEPA  
ON THE SOUTH

CHOLAS COFFEE CO.  
WHOLE BEAN COFFEE TEA & SPICES

Roast of Coffee Co.  
ROASTERS  
IMPORTERS  
OF BETTER  
COFFEES, TEAS & SPICES  
23

OSTANNOS

MASSAGE

BAR

DENHAM CO.

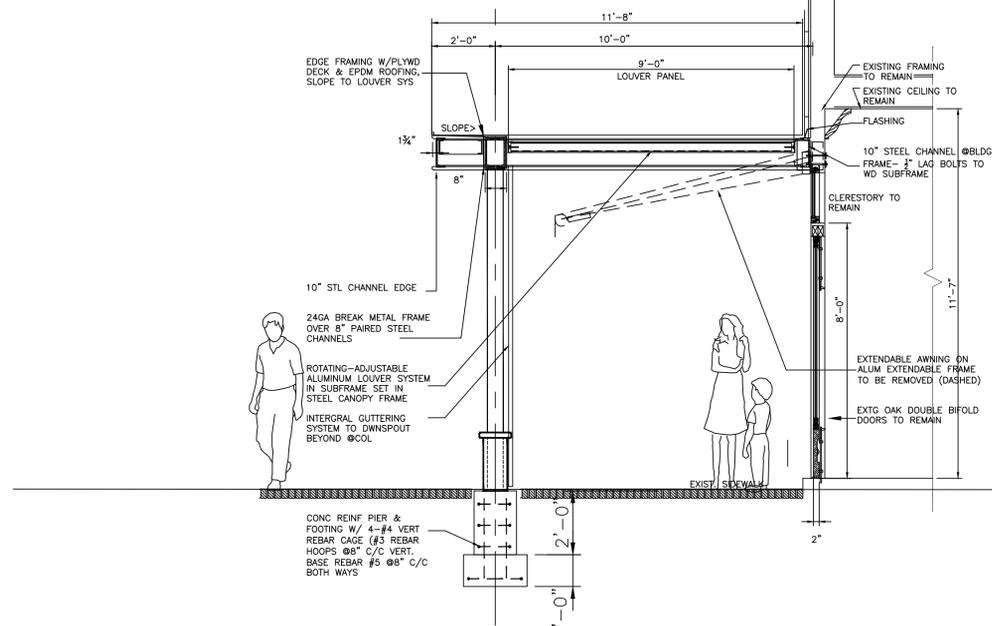
**ARCADIA**  
SUN · SHADE · SHELTER



*Perlé*

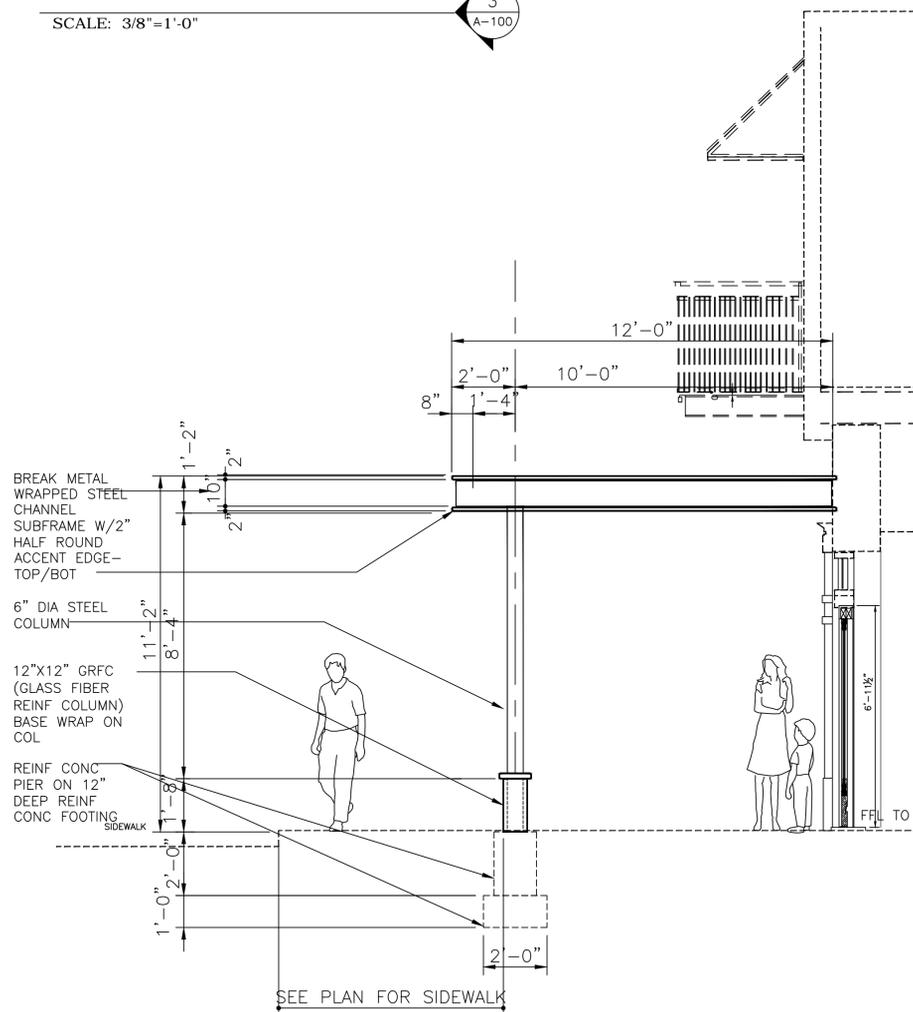
EE CO.





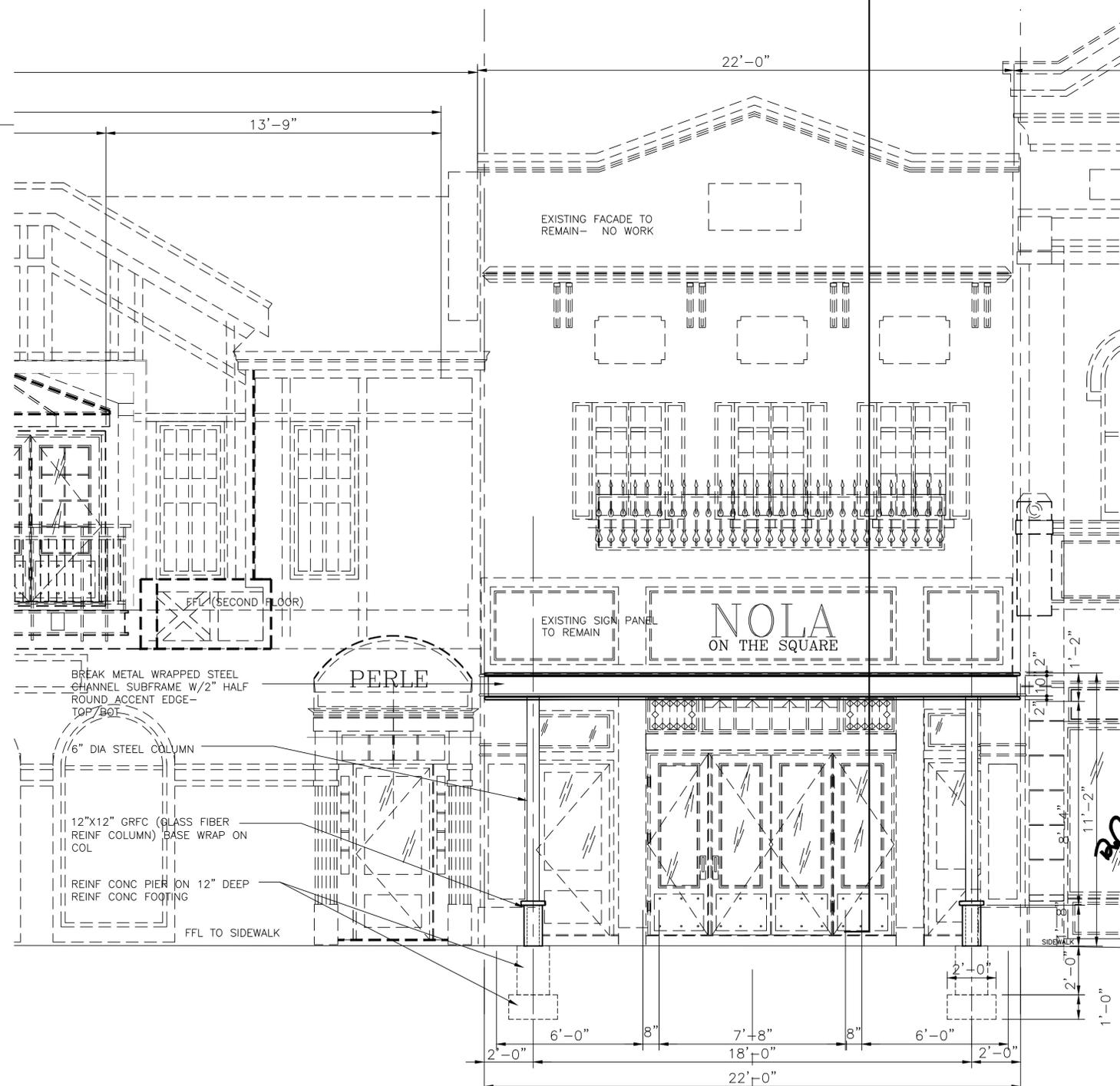
**EXTERIOR CANOPY ADDITION SECTION**

SCALE: 3/8"=1'-0"



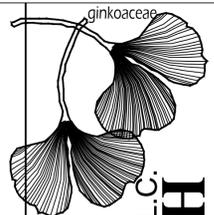
**EXTERIOR CANOPY ADDITION SIDE ELEVATION**

SCALE: 3/8"=1'-0"



**EXTERIOR CANOPY ADDITION FRONT ELEVATION**

SCALE: 3/8"=1'-0"



11524 Market Street  
North Lima Ohio 44452  
Tele: 330.549.0011  
Fax: 330.549.0012  
Cell (Sipp) : 724.544.8160 Cell (Tepe) :330.651.7543

Corporate Center:  
Post Office Box 332  
Tele: 330.549.0011  
Cell (Sipp) : 724.544.8160 Cell (Tepe) :330.651.7543

SIPP + TEPE ARCHITECTS, L.L.C.  
[S+T] ARCH

Licensed and Registered:  
OH., PA., TEXAS, W.VA.

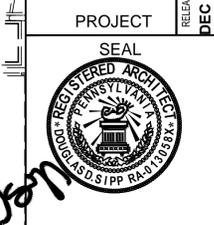
An EXTERIOR SEATING CANOPY for:

**NOLA ON THE SQUARE**  
Restaurant  
24 Market Square  
Pittsburgh, Pennsylvania 15222  
Contact Person: Yves Carreau-BIG Y Group 412 848 3183

DRAWN/CHECKED BY:  
YVES CARREAU/SIPP

PROJECT DESIGNATION:  
CANOPY FOR NOLA ON THE SQUARE

2014.11\_NOLA\_PERLE\_FRON\_CANOPY\_2014-11\_A



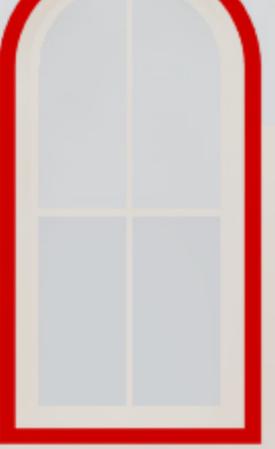
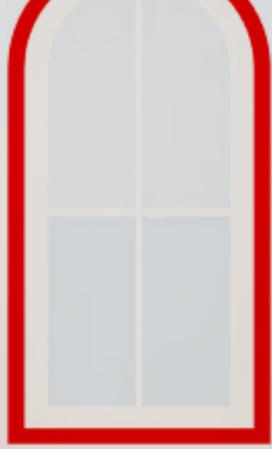
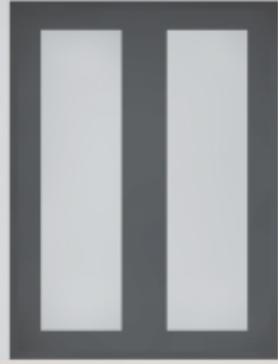
**FACADE ELEVATION, SECTION**

DRAWING TITLE  
DRAWING NUMBER

**A-300**

ESTABLISHED- 1997  
COPYRIGHT RESERVED- 2014

NO.	REVISION	DATE



NICHOLAS COFFEE



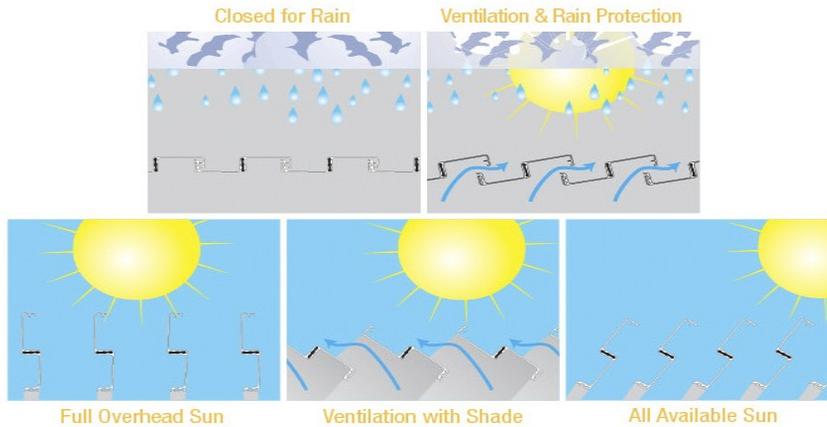
NOLA  
ON THE SQUARE



**Never again** will you have to disrupt a customer's meal to re-position an umbrella just to shield an area from sun, wind or rain.

**Never again** will you have to take up valuable floor space cluttering up your patio or deck with umbrella poles and bases.

**Never again** will you have to turn away patio or deck customers because of too much sun, heat, cold, wind or rain.



## REASONS TO CHOOSE AN ARCADIA ADJUSTABLE PATIO COVER:

- Made in the USA
- Waterproof when closed
- Built in, integrated gutter system
- Low maintenance and easy to clean
- Extremely strong - completely rustproof - stays up year round
- Constructed of 100% recycled, extruded, powder coated aluminum
- Units can be freestanding or attached to an existing structure
- Designed, engineered and tested to withstand 140+ mph winds
- You control the amount of light, shade and protection from the elements
- Reduces the temperature on your patio or deck by as much as 20 degrees
- Units can be customized to include: fans, heaters, lighting, pergola end cuts, wood wrapping, solar shades, custom brick and stone columns, enclosed sides and more.

**Maximizing the use of your outdoor space could dramatically increase the gross revenue and net profit of your business!**

Having a nice patio or deck is wonderful, however, if it can only be used 40-50% of the time due to the sun, heat, cold, wind or rain then now is the time for you to consider an Arcadia Adjustable Patio Cover.

*Contact us today at [724-816-2325](tel:724-816-2325) for your free consultation and cost estimate.*



## HISTORIC REVIEW COMMISSION OF PITTSBURGH

### Application for a Certificate of Appropriateness

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

409 ELOISE STREET  
PITTSBURGH, PA 15212

**OWNER:**

NAME: JAKE BIER  
 ADDRESS: 1216 ARCH STREET  
PITTSBURGH, PA 15212  
 PHONE: 941-223-4490  
 EMAIL: jakebier20@yahoo.com

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_  
 LOT AND BLOCK NUMBER: \_\_\_\_\_  
 WARD: \_\_\_\_\_  
 FEE PAID: \_\_\_\_\_

**DISTRICT:**

MEXICAN WAR STREETS

**APPLICANT:**

NAME: ARCTECON, LLC  
DBA: PENNS FOREST BUILDERS  
 ADDRESS: 3441 BUTLER STREET  
PITTSBURGH, PA 15201  
 PHONE: 412-264-8708  
 EMAIL: LMASON@PFBLDRS.COM

**REQUIRED ATTACHMENTS:**

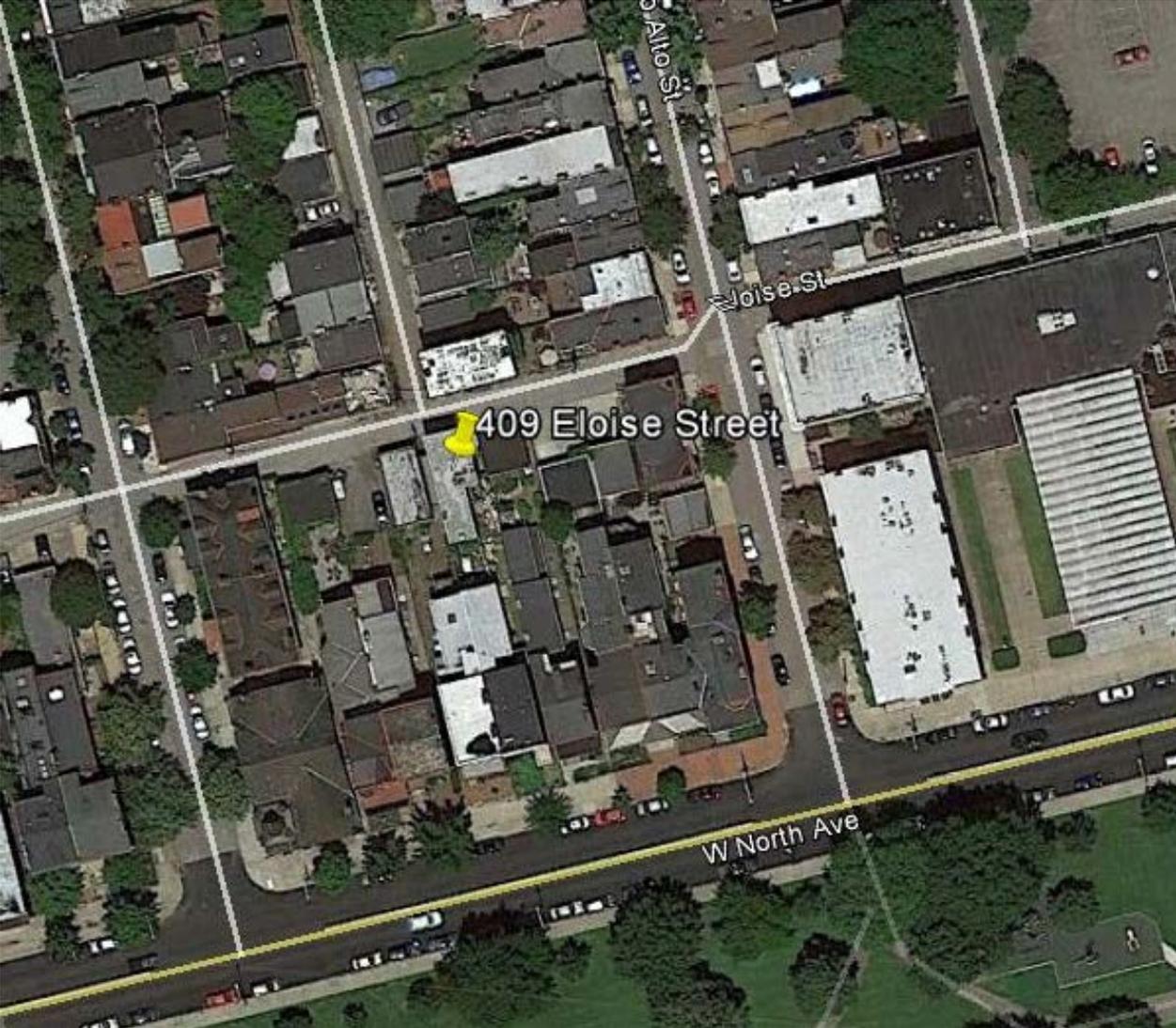
- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

RENOVATION OF EXTERIOR INCLUDES NEW WOOD WINDOWS & DOORS, NEW  
PRE-CAST SILL @ SIDE, PLUS COMPLETE INTERIOR RENOVATION.

**SIGNATURES:**

OWNER:  DATE: 2/12/15  
 APPLICANT:  DATE: 2/12/15



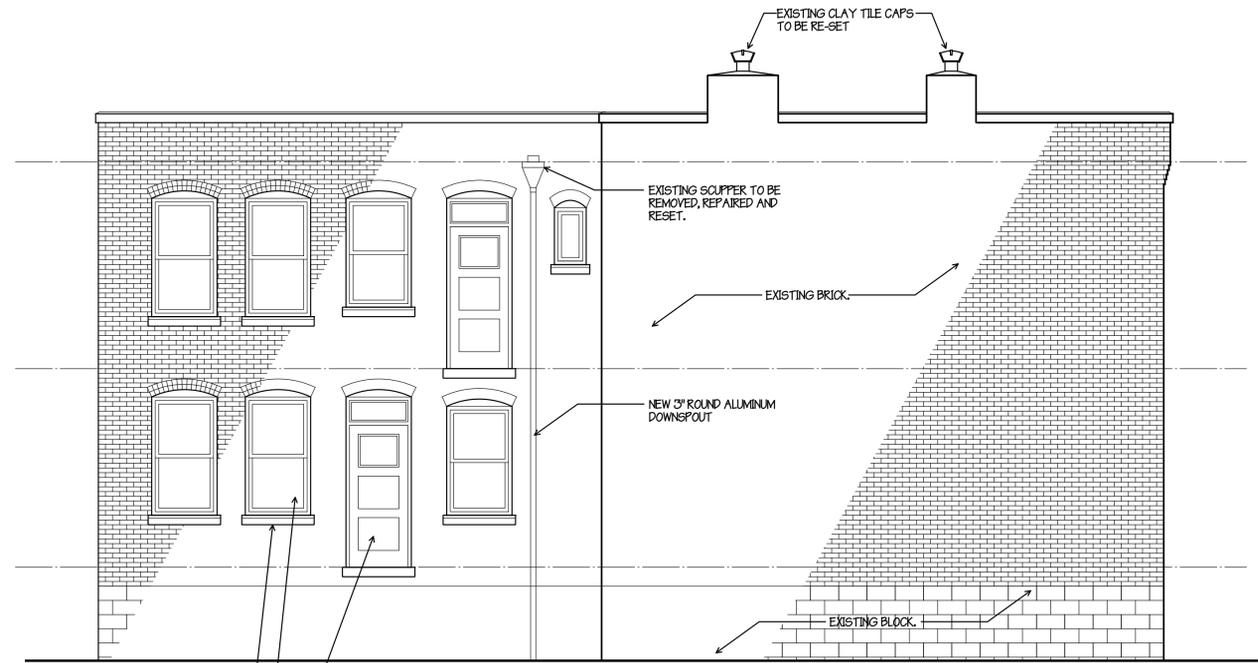






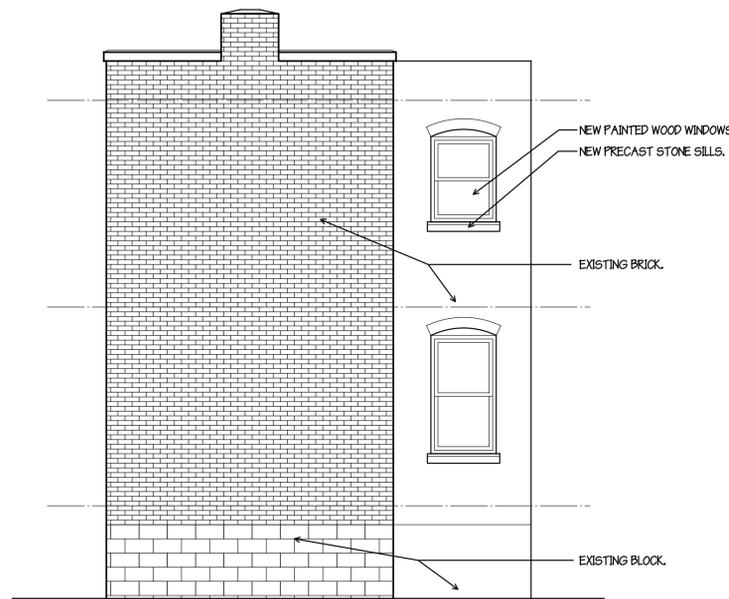



4 LEFT SIDE ELEVATION (DECKS SHOWN)  
A21 SCALE: 1/4" = 1'-0"



NEW PRECAST STONE SILLS.  
NEW PAINTED WOOD WINDOWS.  
NEW PAINTED EXTERIOR DOORS WITH GLASS TRANSOMS.

3 LEFT SIDE ELEVATION (DECKS NOT SHOWN)  
A21 SCALE: 1/4" = 1'-0"



2 REAR ELEVATION (DECKS NOT SHOWN)  
A21 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION  
A21 SCALE: N.T.S.

BRICK & FRAME BUILDING

NOW OR FORMERLY BENJAMIN D. FRIEDMAN DEED BOOK 15614, PAGE 43 BLOCK & LOT 23-P-21

LOT 37

LOT 36

LOT 35

WILLIAM ROBINSON JR'S PLAN OF LOTS PLAN BOOK 2, PART 1 PAGE 61

PROPERTY CORNER ON FACE OF BUILDING

S 76°45'00" W 23.50'

IRON PIN W/CAP SET

CHAIN LINK FENCE

PROPOSED DECK:

54.00'

CONCRETE PAD

13.7'

EXISTING BUILDING TO BE RENOVATED.

54.00'

NOW OR FORMERLY MARY ANNE MURPHY DEED BOOK 12050, PAGE 117 BLOCK & LOT 23-P-22

NOW OR FORMERLY MARY ANNE MURPHY DEED BOOK 12050, PAGE 126 BLOCK & LOT 23-P-20

STONE GARAGE

S 13°15'00" E

NOW OR FORMERLY JAKE DAVID BIER DEED BOOK 15791, PAGE 393 BLOCK & LOT 23-P-5

2-STORY BRICK DWELLING

50.3'

N 13°15'00" W

BLOCK WALL W/WOOD DOOR

CONCRETE GARAGE

R/W

MAG NAIL SET

N 76°45'00" E 23.50'

MAG NAIL SET

R/W

ELOISE STREET 18'



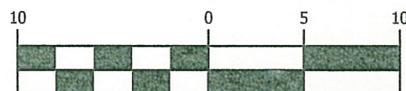
MDM

McILVRIED, DiDIANO, & MOX, LLC

Site Planners • Engineers • Surveyors  
8851 Kind Drive  
Pittsburgh, PA 15237  
Ph.: (724) 934-2810 fax: (724) 934-2811  
mdmsurvey@mdmlc.com  
www.mdmlc.com



GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.

PLAN OF SURVEY

prepared for  
Arctecon

409 Eloise Street  
22nd Ward, City of Pittsburgh, Allegheny County, PA  
Part of Lot 36, William Robinson Jr's Plan of Lots  
Plan Book Volume 2, Part 1, Page 61

Date: 12/18/14

Job No. 6186

Drawn By:WJM

I, Howard G. McIlvried, a Registered Professional Land Surveyor of the Commonwealth of Pennsylvania, do hereby certify that the plan as shown hereon is based upon an actual field survey of the land described, that all angles, distances and courses are correctly shown, and that this plan correctly represents the lots, lands, streets and improvements as surveyed by me for Arctecon.

Howard G. McIlvried, P.L.S.  
Reg. No. #049396-R

**PRODUCT SPECIFICATIONS****EXTERIOR FINISH**

All exterior surfaces are covered with a factory-applied latex primer.

**AURALAST® WOOD**

AuraLast® wood is fundamentally different from wood resulting from traditional millwork preservation processes in that it uses a proprietary vacuum/pressure process to provide protection throughout the wood parts used to make windows and doors. AuraLast® wood is distinguished from wood using the current preservation methods by its unique ability to achieve greater penetration of the active ingredients into the wood parts, with a penetration of the treatment being a minimum of 92%.

**INTERIOR FINISH**

All interior surfaces are unfinished clear pine ready for on site finishing. Primed and pre-finished interiors are available in paint: Pure White, Extra White, Natural Choice, Moderate White; in stain: Wheat, Cherry, Fruitwood, Cordovan, Cider and Clear Lacquer.

**FRAME**

Frame is assembled from select kiln dried pine using AuraLast® wood on all exterior parts. Frame corner joints are tightly secured with metal fasteners and adhesive. Frame thickness is 1 1/16" (17.5mm) at head, side jamb and sill. Basic jamb width is 4-9/16" (116mm) and may be extended for different wall depths. Finished frame has exterior casing, sill nosing, weather-stripping, hardware, and interior stops applied.

**SASH**

Sash is 1-7/16" (36.5mm) thick select kiln-dried pine using AuraLast® wood. Stiles and rails are mortise and tenoned, machine clamped for squareness and secured with metal fasteners. The glass is mounted into the sash using a silicone-glazing compound on the exterior and acrylic sealant on the interior, then secured with interior applied profiled wood stops. Sash operate in a non-compression ivory colored jamb liner that allows both top and bottom sash to tilt inside for easy cleaning and removal without the use of tools. No finger plow sash available on venting units.

**GLAZING**

3/4" (19mm) thick sealed insulating glass is constructed from two panes of glass, utilizing a continuous roll formed stainless steel spacer with dual seal sealant. The glass is mounted into the sash using a silicone-glazing compound and secured with interior applied profiled wood stops. All insulating glass units comply with the performance requirements of IGCC in accordance with either ASTM E774 or E2190.

**GLAZING OPTIONS**

3/4" insulating glass available in Low-E with Argon, Low-E, Low-E 366, Clear, Neat Glass, reflective, tinted, or obscure, tempered or other specialty glass as specified. Preserve® film is a 0.003" thick polyethylene film with a low tack acrylic adhesive applied to the glass for protection during shipping and installation. 4,000 foot elevations and higher require a capillary tube to equalize environmental stress (otherwise known as High Altitude glazing). High Altitude glazing does not allow the use of Argon as listed under glazing options.

**WEATHER-STRIPPING**

Engineered system combines PVC ivory jamb liner with dual bulb weather-stripping at head. Checkrail features thermoplastic rubber bulb and recessed cam action sash lock for secure closure. Rigid vinyl water stops at sill provide additional restraint against weather.

**HARDWARE**

Sash operate by means of a dual block and tackle balance system with nylon roller pulleys and high-tension coil springs. Balance system gauged to sash weight and uses pre-stretched dacron cords attached to clutch mechanisms to insure smooth, operation and compliance with operating force requirements. Jamb liners are Ivory (White is optional). Recessed cam action sash lock is available in White, Chestnut Bronze, Desert Sand or optional Bright Brass, Antique Brass, Polished Brass, Brushed Chrome or Imitation Oil Rubbed Bronze. 28" glass width and larger units have two sash locks. Optional Lexan sash lift available for no finger plow sash.

**EXTERIOR INSECT SCREENS**

Charcoal fiberglass screen cloth (18x16 mesh) set in painted roll formed aluminum frame with color to match cladding - choice of Brilliant White, Chestnut Bronze, Desert Sand, French Vanilla, Hartford Green, Mesa Red, Black, Arctic Silver or Dark Chocolate, installed in channel on frame extrusion and held in place with spring loaded plungers at the top and sides of screen. Aluminum mesh and Phantom screen also available. Insect screens are intended to allow air and light in and to keep insects out. They are not intended to keep anyone or anything from falling through an open window. For safety screens or other security devices contact your local building supply retailer.

**GRILLES**

**SDL** (Simulated Divided Lites) - wood muntins permanently applied to the exterior of the insulating glass unit (not available on textured glass) in 7/8" (22mm), 1-1/8" (28.5mm), or 1-3/8" (34.9mm) widths, and a putty profile in 5/8" (15.9mm), 7/8" (22mm) and 1-1/8" (28.5mm) widths only. SDL is standard with a light bronze internal shadow bar to give a true divided lite appearance. As an option, SDL may be ordered with a silver shadow bar. Clear wood interior muntin bars match the exterior muntin width and are permanently bonded to the interior of the glass. Also available is a 2-5/16" (59mm) SDL bar, which simulates a double-hung checkrail.

**Full Surround Wood Grilles** - Rectangular unfinished clear pine wood grilles in 7/8" (22mm), 1-1/8" (28.6mm) and 1-3/8" (35mm) are available in patterns selected by the owner.

**GBG** (Grilles between the Glass) - 5/8" (15.9mm) flat and 23/32" or 1" contour mounted between the glass panes suspended within the air cavity.

**EXTERIOR TRIM**

1-3/32" (27.8mm) x 2" (50.8mm) brickmould with 1-1/16" (27mm) x 1-3/4" (44.5mm) nosing is standard. Flat casing is available as 1-3/32" (27.8mm) x 2" (50.8mm), 1-3/32" (27.8mm) x 3-1/2" (89mm), 1-3/32" (27.8mm) x 4-1/2" (114.3mm), and 1-3/32" (27.8mm) x 5-1/2" (139.7mm). The following profiled casings are available: RB-3 and Adams as 1-1/16" x 3-1/2" (89mm), and Williamsburg 1-3/16" x 3-1/4". Historical wood sill nosing 1-3/4" (44.5mm) and 2-13/16" (71.4mm) is also available.

*Continued on next page*

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**PRODUCT SPECIFICATIONS**

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**EXTENSION JAMBS**

Extension jambs are factory applied to the interior on all four sides of the frame and are 4/4 standard thick pine to accommodate wall depths up to 9-5/16" with one piece, and up to 12" with two pieces. 9/16" (14.2mm) option also available.

**INSTALLATION**

Installation per JELD-WEN Installation Method for Wood Windows J11003 or J11012. See [www.jeld-wen.com/resources](http://www.jeld-wen.com/resources) for instructions.

**PERFORMANCE**

**NFRC Certified** - (Rated and labeled in accordance with NFRC)

WDMA Hallmark Certified -  
In accordance with **AAMA/NWWDA/101/1.S.2-97**

**QUICK SPEC GUIDE**

SPECIFICATION	STANDARD FEATURES	OPTIONAL FEATURES <i>Some options may require additional lead times. Consult your JELD-WEN Sales Representative.</i>				
<b>FRAME</b>	<ul style="list-style-type: none"> <li>Fingerjoint Wood</li> </ul>					
<b>EXTERIOR FINISH</b>	<ul style="list-style-type: none"> <li>Primed</li> </ul>	<ul style="list-style-type: none"> <li>Natural</li> </ul>				
<b>EXTERIOR TRIM</b>	<ul style="list-style-type: none"> <li>1-3/32" Brickmould</li> <li>Wood Sill Nose</li> <li>Drip Cap</li> </ul>	<ul style="list-style-type: none"> <li>Flat Casing: 1-3/32" x 2", 3-1/2", 4-1/2", and 5-1/2"</li> <li>Heritage Casing: 1-3/16" x 3-1/4"</li> <li>Adams Casing: 1-1/16" x 3-1/2"</li> <li>RB3 Casing: 1-1/16" x 3-1/12"</li> <li>1-7/32" x 4-1/2" Backband</li> <li>No Brickmould Option</li> <li>Historical Sill Nose</li> <li>Clad Metal Drip Cap (White only)</li> </ul>				
<b>INTERIOR FINISH</b>	<ul style="list-style-type: none"> <li>Natural</li> </ul>	<ul style="list-style-type: none"> <li>Priming Available</li> </ul> <p>Pre-finished Interior Options are:</p> <ul style="list-style-type: none"> <li>Paint - Pure White, Extra White, Natural Choice, Moderate White</li> <li>Stain - Wheat, Fruitwood, Cherry, Cordovan, Cider</li> <li>Clear Lacquer</li> </ul>				
<b>SIZE</b>	<ul style="list-style-type: none"> <li>Width: Venting Double-Hung: 21-3/8, 25-3/8, 29-3/8, 31-3/8, 33-3/8, 37-3/8, 41-3/8, 45-3/8</li> <li>Picture Double-Hung: 21-3/8, 25-3/8, 29-3/8, 31-3/8, 33-3/8, 37-3/8, 41-3/8, 45-3/8, 49-3/8, 53-3/8, 61-3/8, 69-3/8, 77-3/8</li> <li>Height: Venting Double-Hung: 32, 36, 40, 44, 48, 52, 56, 60, 64, 68, 72, 76, 80, 88, 92</li> <li>Picture Double-Hung: 15, 18, 24, 32, 36, 40, 44, 48, 52, 56, 60, 64, 68, 72, 76, 80, 88, 92</li> <li>For RO, add 3/4"</li> </ul>	<ul style="list-style-type: none"> <li>Width: Venting Double-Hung: Minimum: 16" Maximum: 45-3/8"</li> <li>Picture Double-Hung: Minimum: 16" Maximum: 77-3/8" Fixed Units over 49-3/8" wide can be up to 80" high Fixed Units up to 49-3/8" wide can be up to 92" high</li> <li>Height: Venting Double-Hung: Minimum: 28" Maximum: 92" * * glass can't exceed 42" high</li> <li>Picture Double-Hung: Minimum: 15" Maximum: 92" Fixed Units over 49-3/8" wide can be up to 80" high Fixed Units up to 49-3/8" wide can be up to 92" high</li> <li>For RO, add 3/4"</li> </ul>				
<b>GLAZING</b>	<ul style="list-style-type: none"> <li>Low-E Insulating Glass</li> <li>Preserve® Protective Film</li> </ul>	<table style="width: 100%; border: none;"> <tr> <td style="vertical-align: top;"> <ul style="list-style-type: none"> <li>Clear</li> <li>Obscure</li> <li>Bronze</li> <li>Low-E 366</li> </ul> </td> <td style="vertical-align: top;"> <ul style="list-style-type: none"> <li>Neat Glass</li> <li>Dual Low-E</li> <li>Reflective</li> <li>Tempered</li> </ul> </td> </tr> <tr> <td colspan="2"> <ul style="list-style-type: none"> <li>High Altitude</li> </ul> </td> </tr> </table>	<ul style="list-style-type: none"> <li>Clear</li> <li>Obscure</li> <li>Bronze</li> <li>Low-E 366</li> </ul>	<ul style="list-style-type: none"> <li>Neat Glass</li> <li>Dual Low-E</li> <li>Reflective</li> <li>Tempered</li> </ul>	<ul style="list-style-type: none"> <li>High Altitude</li> </ul>	
<ul style="list-style-type: none"> <li>Clear</li> <li>Obscure</li> <li>Bronze</li> <li>Low-E 366</li> </ul>	<ul style="list-style-type: none"> <li>Neat Glass</li> <li>Dual Low-E</li> <li>Reflective</li> <li>Tempered</li> </ul>					
<ul style="list-style-type: none"> <li>High Altitude</li> </ul>						

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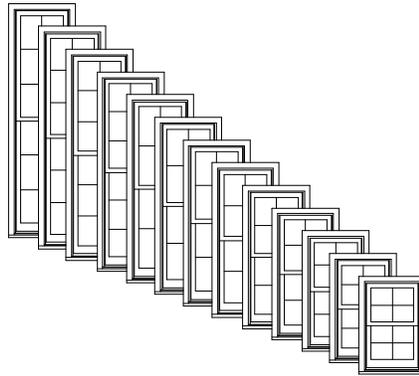
**QUICK SPEC GUIDE**

SPECIFICATION	STANDARD FEATURES	<b>OPTIONAL FEATURES</b> <i>Some options may require additional lead times. Consult your JELD-WEN Sales Representative.</i>
<b>GRILLES</b>		<ul style="list-style-type: none"> <li>• 5/8" Flat, 23/32" or 1" Contour GBG</li> <li>• 7/8", 1-1/8", 1-3/8" Full Surround Wood Grilles</li> </ul> SDL Bead Profile: <ul style="list-style-type: none"> <li>• 7/8", 1-1/8", 1-3/8", 2-5/16" with Light Bronze Shadow Bar</li> <li>• 7/8", 1-1/8", 1-3/8", 2-5/16" with Silver Shadow Bar</li> </ul> SDL Putty Profile: <ul style="list-style-type: none"> <li>• 5/8", 7/8", 1-1/8" with Light Bronze Shadow Bar</li> <li>• 5/8", 7/8", 1-1/8" with Silver Shadow Bar</li> </ul>
<b>HARDWARE</b>	<ul style="list-style-type: none"> <li>• Balance: Dual Block and Tackle</li> <li>• Cam Locks</li> <li>• Ivory Jamb Liners (standard)</li> </ul>	<ul style="list-style-type: none"> <li>• White</li> </ul>
<b>HARDWARE COLOR</b>	<ul style="list-style-type: none"> <li>• White</li> <li>• Desert Sand</li> <li>• Chestnut Bronze</li> </ul>	<ul style="list-style-type: none"> <li style="width: 50%;">• Antique Brass</li> <li style="width: 50%;">• Brushed Chrome</li> <li style="width: 50%;">• Polished Brass</li> <li style="width: 50%;">• Oil Rubbed Bronze</li> </ul>
<b>JAMB</b>	<ul style="list-style-type: none"> <li>• 4-9/16"</li> </ul>	<ul style="list-style-type: none"> <li>• Minimum: 4-9/16"</li> <li>• Maximum: 9-5/16" (one piece)</li> <li>• Maximum: 12" (two piece)</li> </ul>
<b>SCREENS</b>	<ul style="list-style-type: none"> <li>• BetterVue™</li> </ul>	<ul style="list-style-type: none"> <li>• Aluminum Mesh available</li> <li>• Phantom Screen - Limitations apply, factory-applied</li> <li>• UltraVue™</li> </ul>
<b>SCREEN FRAME COLOR</b>	<ul style="list-style-type: none"> <li style="width: 50%;">• Brilliant White</li> <li style="width: 50%;">• Hartford Green</li> <li style="width: 50%;">• Chestnut Bronze</li> <li style="width: 50%;">• Black</li> <li style="width: 50%;">• Desert Sand</li> <li style="width: 50%;">• Arctic Silver</li> <li style="width: 50%;">• French Vanilla</li> <li style="width: 50%;">• Dark Chocolate</li> <li style="width: 50%;">• Mesa Red</li> </ul>	<ul style="list-style-type: none"> <li style="width: 50%;">• Bronze</li> <li style="width: 50%;">• Hunter Green</li> <li style="width: 50%;">• Heirloom White</li> <li style="width: 50%;">• Sage Brown</li> <li style="width: 50%;">• Bone White</li> <li style="width: 50%;">• Redwood</li> <li style="width: 50%;">• Dark Buckskin</li> <li style="width: 50%;">• Sea Foam</li> <li style="width: 50%;">• Smoke</li> <li style="width: 50%;">• Ivory</li> <li style="width: 50%;">• Mocha Cream</li> <li style="width: 50%;">• Cascade</li> </ul>

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**GENERAL INFORMATION**  
**DOUBLE-HUNG**

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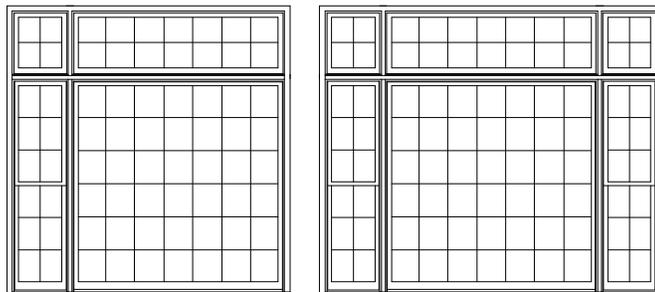
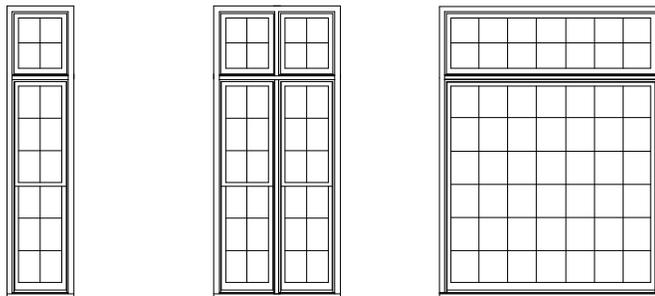
**DIMENSIONAL WINDOWS**

Wood double-hung windows may be specified as "dimensional " by adjusting the desired rough opening width or height in 1/4" increments from standard.

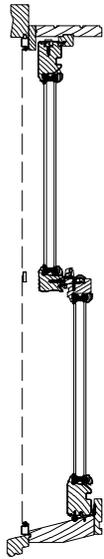
Wood double-hung windows feature fully operating upper and lower sash. Counterbalancing is achieved with block and tackle spring extension systems hidden in weatherable PVC jamb liners. Operating units are supplied with cam-type sash locks installed. Die-cast lower sash lifts supplied for field installation are an option. Recessed sash retainers provide simple sash installation and removal. There are several hardware finish options. Refer to the Specifications for available finish options.

**MULTIPLE ASSEMBLIES**

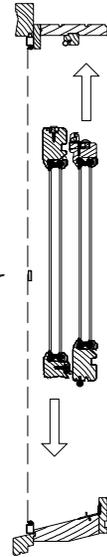
Wood double-hung windows may be mullied beside other wood double-hungs or wood picture windows, or below wood transom windows, to fulfill a wide variety of needs. Factory assembled mulls are limited in height (100"), width (114"), and a total area (75 square feet).



**HANDING & OPERATION**  
**DOUBLE-HUNG**



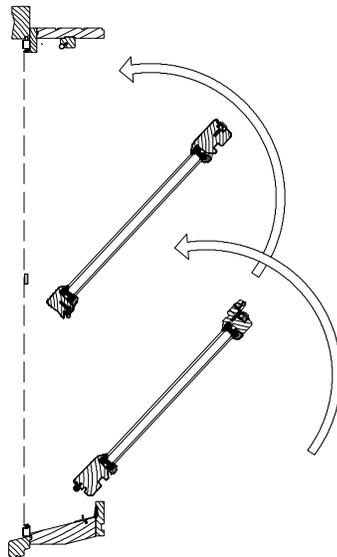
**DOUBLE-HUNG OPERATION:**  
When the sash are locked at the check rails the sash are closed and sealed in the sash opening of the frame.



When the sash are unlocked the lower sash travels vertically to any position desired. The upper sash can also be positioned as desired.

**SASH TILTING FOR WASHING**

The Custom Double-Hung window will allow the sash to be tilted or removed for easy cleaning.



**ELEVATION NOTES**  
**DOUBLE-HUNG**

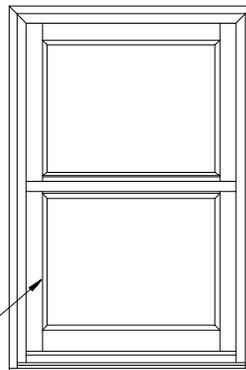
ELEVATION DRAWINGS UTILIZE A LIMITED NUMBER OF PROJECTED LINES TO PRODUCE A RUDIMENTARY DRAWING INTENDED TO BE USED IN A SMALL GRAPHICAL SCALE. ELEVATIONS ARE VIEWED PERPENDICULAR FROM THE EXTERIOR OF THE STRUCTURE. IF MORE DIMENSIONS ARE NEEDED, USE THE SECTION DRAWINGS FOR MORE COMPLETE DEPICTIONS.

M.O. Brickmould  
M.O. Adams/Flat Casing  
Rough Opening  
Frame Size  
Daylight Opening

24 1/2" (622)  
27 1/2" (699)  
22 1/8" (562)  
21 3/8" (543)  
14 13/16" (376)

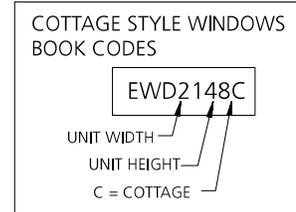
Masonry Openings for Brickmould, Flat & Adams Casing.  
Vertical measurements include sillnose.  
(Subtract 1/2" from Masonry Opening for Unit Size)

34 11/16" (881)  
36 3/16" (919)  
32 3/4" (832)  
32" (813)  
11 1/16" (281)[2]



OUTSIDE OF EXTERIOR TRIM

DAYLIGHT OPENING



EWD2132

'EWD' INDICATES SITELINE EX WOOD DOUBLE-HUNG

BOOK CODE

THE FIRST TWO NUMBERS INDICATE THE UNIT WIDTH

THE LAST TWO NUMBERS INDICATE THE UNIT HEIGHT

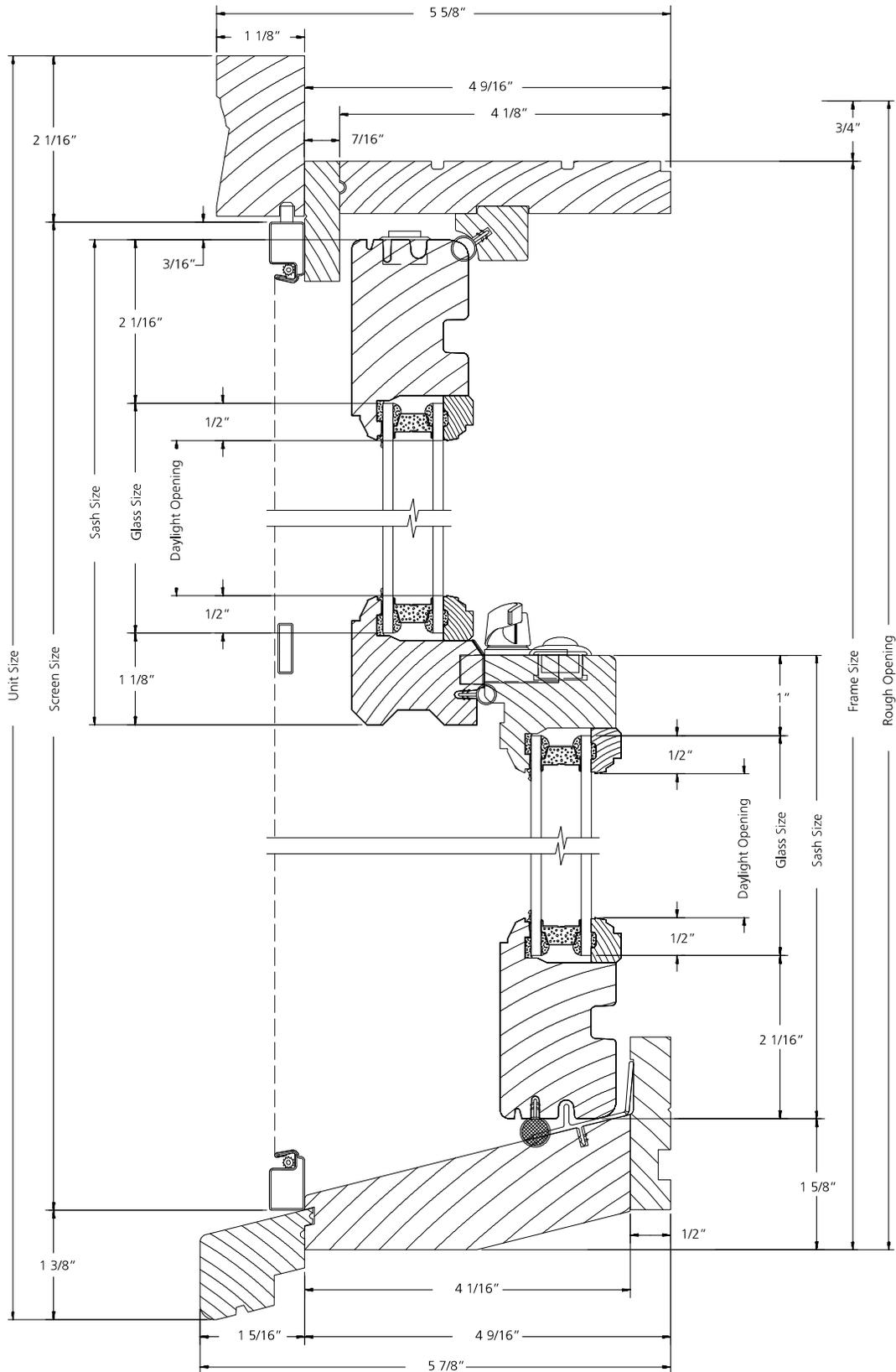
**GENERAL WOOD DOUBLE-HUNG NOTES**

1. ALL UNITS SHOWN ARE AVAILABLE AS OPERATORS ONLY.
2. UNIT ELEVATIONS ARE SHOWN WITH BRICKMOULD & SILL NOSE.
3. ALL OPERATING SASH ARE INSTALLED WITH VINYL JAMB LINERS AND OPERATED WITH AN INTERNAL BLOCK AND TACKLE SPRING SYSTEM.
4. DIMENSIONAL VALUES IN PARENTHESES ARE MILLIMETER CONVERSIONS.
5. VALUES IN BRACKETS ARE NUMBER OF DAYLIGHT OPENINGS.

**ELEVATION SYMBOL LEGEND:**

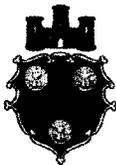
**MO** MASONRY OPENING

**1-WIDE UNIT**  
**DP35**



**VERTICAL SECTION**

SCALE: 6" = 1'



**Division of Development Administration and Review**  
 City of Pittsburgh, Department of City Planning  
 200 Ross Street, Third Floor  
 Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 2/10/15

LOT AND BLOCK NUMBER: 23-J-265

WARD: 2nd

FEE PAID: yes

DISTRICT: MWS

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

1224 Monterey Street  
Pittsburgh, PA 15212

**OWNER:**

NAME: Monterey Street Project

ADDRESS: 1228 Monterey St.  
Pittsburgh, PA 15212

PHONE: 412-992-0009

EMAIL: rcworl@aol.com

**APPLICANT:**

NAME: Richard C. Worl

ADDRESS: 1228 Monterey St.  
Pittsburgh, PA 15212

PHONE: 412-992-0009

EMAIL: rcworl@aol.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

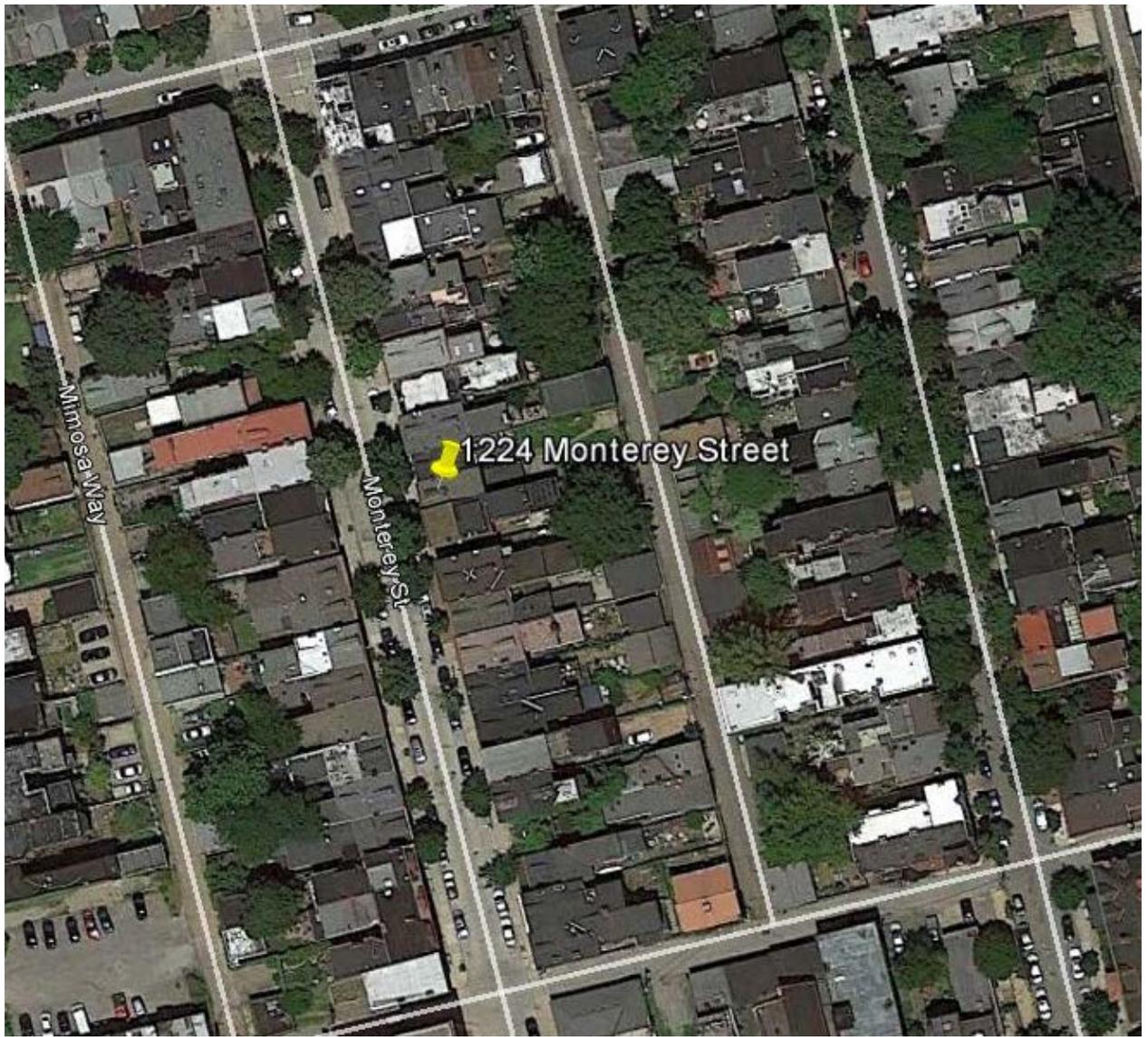
**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Demo back addition + fence  
All interior Daywall

**SIGNATURES:**

OWNER: [Signature] DATE: 3/20/14

APPLICANT: [Signature] DATE: 3/20/14





1222

1224



1226

1224

1222



1226

1226

1224

1224

1222

1222

1222

1222

1222







1222

1224







1228

1226



ABS  
Heat & Moisture

OXYGEN

JBD-4516



1212

1210

PENNSYLVANIA  
THE  
HXG-9362  
South Hills

AWD



120

DB-2208



1219

EGH-6325  
www.ROHRICH.com

















## 1224 Monterey Street, Pittsburgh, PA 15212

Lots 123 and 124 of William Robinson plan of Buena Vista extension.

R1A-H Residential single family, high density

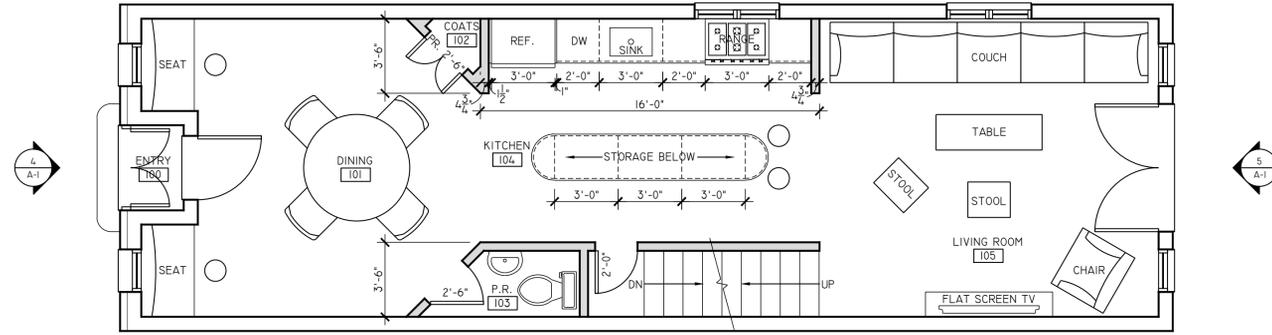
Minimum lot size	1800 s.ft.
Minimum Lot size per unit	750 s.ft.
Minimum front setback	15 ft.
Minimum rear set back	15 ft.
Minimum exterior side yard setback	15 ft.
Minimum interior side yard	5' ft.
Maximum height	40 ft. (3 stories max.)

Sites in the High-Density Subdistrict shall be developed in accordance with the following site development standards, provided that:

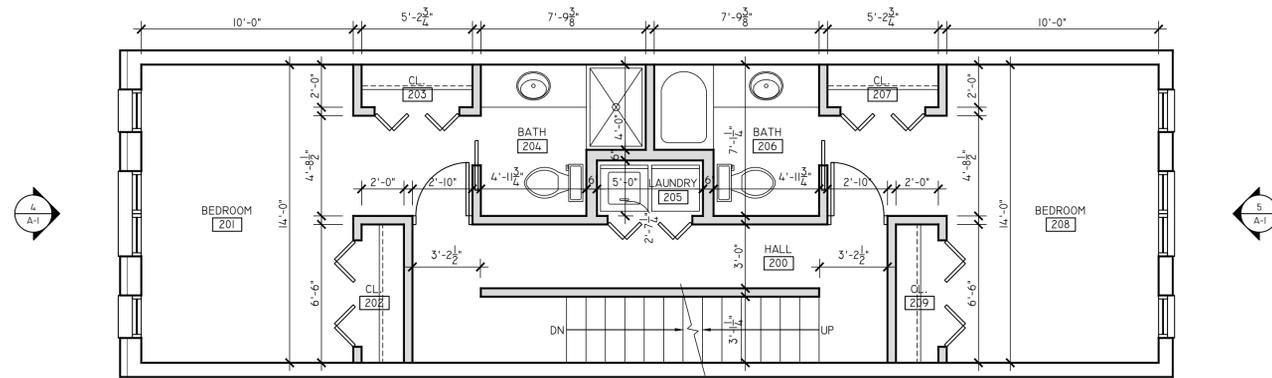
- (a) New development shall be allowed to use Contextual Setbacks and Contextual Building Heights in accordance with the provisions of [Sec. 925.06](#) and [Sec. 925.07](#);
- (b) Residential Compatibility Standards of Chapter 916 shall impose additional height and setback standards on new High-Density and Very High-Density residential and nonresidential development located near residential and H Districts; and
- (c) The Environmental Performance Standards of Chapter 915 shall impose additional regulations on site development if such conditions exist.

Article VI and Chapter 925 contain a complete description of site development standards and a listing of exemptions to various standards.

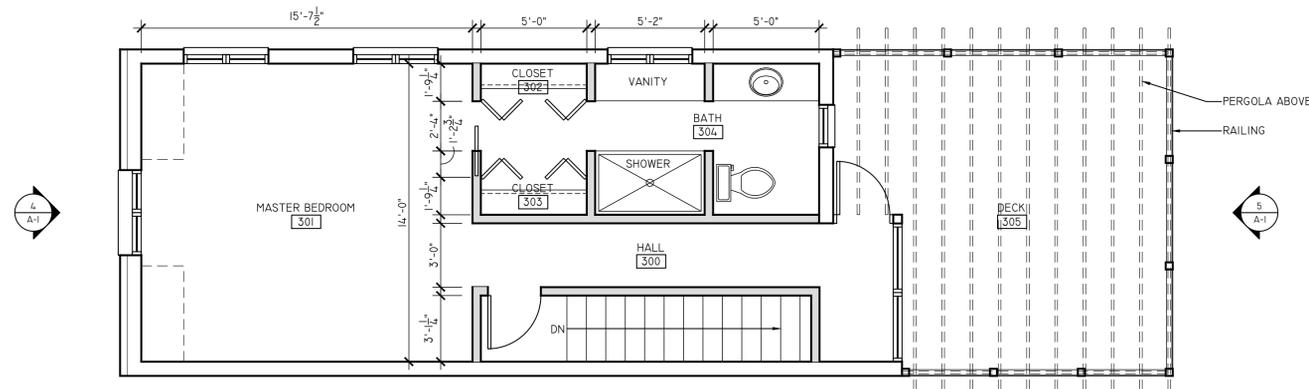
- (d) When a dwelling is "attached" to one (1) or more separate dwelling units on separate lots by a party wall or separate abutting wall the required interior sideyard setback shall be zero on the abutting or party wall side.



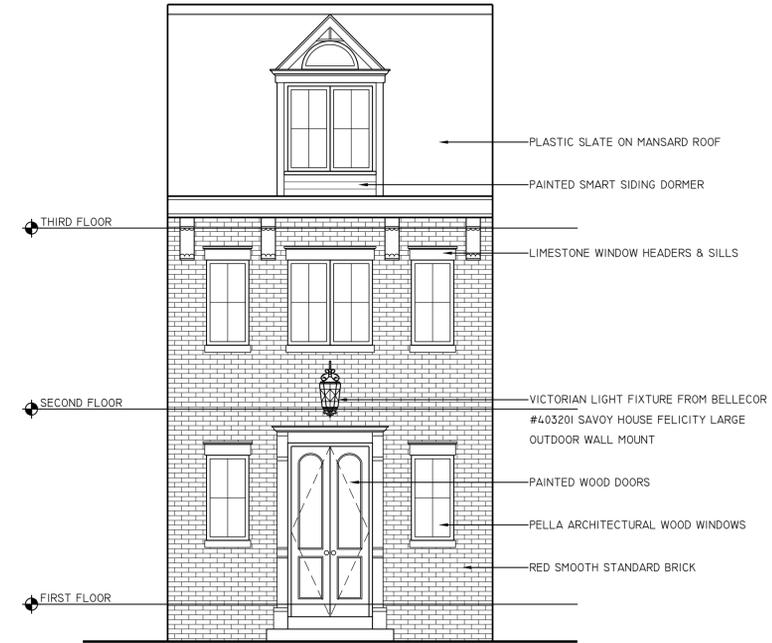
1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



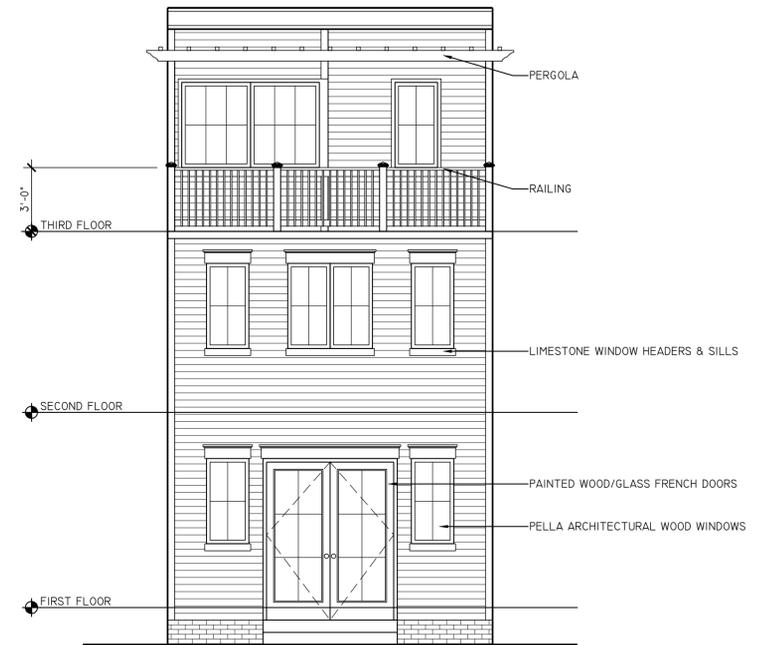
2 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"



4 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



5 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

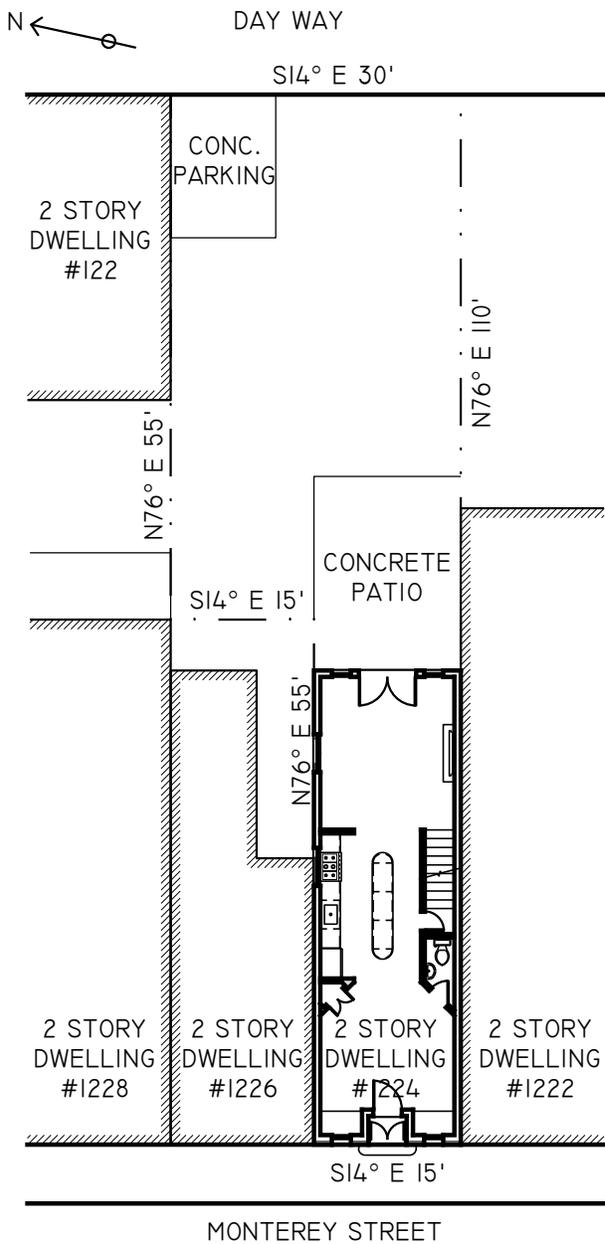
PAINT COLOR PALETTE SELECTION:  
VALSPAR'S VICTORIAN HISTORICAL COLLECTION.  
ANTE MERIDIAN 5005-IB, SPRING SPIRITS 5003-IC,  
WOODLAWN JUNIPER 5001-4B, WAVES CREST 5005-IA.

**SUSAN WARNER**  
A r c h i t e c t  
431 MAPLE AVENUE, PH. 412-979-4450  
PITTSBURGH, PA 15218 FAX 412-247-7669

DATE: JANUARY 27, 2015  
SCALE: 1/4" = 1'-0"  
CHECKED BY: ARC

1224 MONTEREY STREET  
PITTSBURGH, PA 15212  
FLOOR PLANS & ELEVATIONS

A-1



1 SITE PLAN  
S-1 SCALE: 1" = 20'-0"

**SUSAN WARNER**  
A r c h i t e c t  
431 MAPLE AVENUE PH. 412-979-4450  
PITTSBURGH, PA 15218 FAX 412-247-7669

DATE: JANUARY 21, 2015  
SCALE: 1" = 20'-0"  
CHECKED BY: ARC

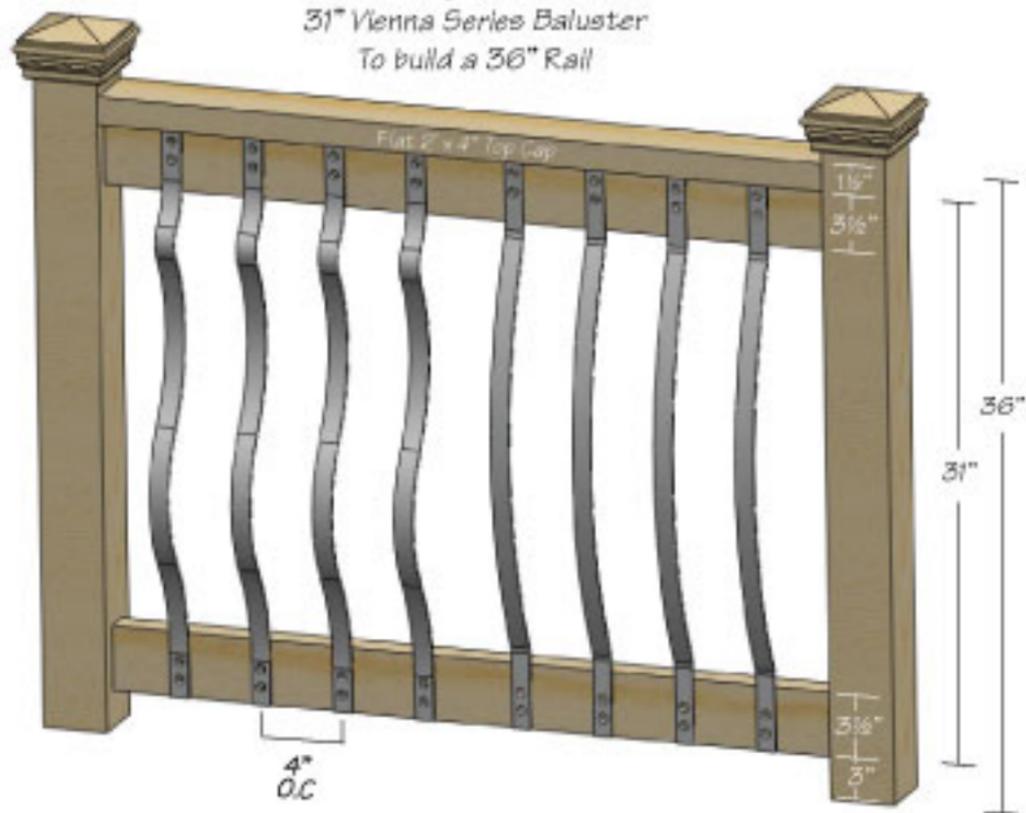
1224 MONTEREY STREET  
PITTSBURGH, PENNSYLVANIA 15212

SITE PLAN

S-1



*Belly & Bow*  
31" Vienna Series Baluster  
To build a 36" Rail





SHIPS IN 1-2 BUSINESS DAYS



? HAVE A QUESTION?  
CLICK TO LIVE CHAT

Hide Product Banner

### PRODUCT DESCRIPTION

- Pale Cream Textured Glass
- Designer: Pierce Paxton

### PRODUCT SPECS

Bellacor Number: 403201  
Dimensions: 12"W x 31 3/8"H x 14.25"Ext  
Voltage: 110 to 120 Volt  
Weight: 23.0 Lbs  
Usage: Exterior Dry  
Brand SKU: 5-422-56  
Collection: [Felicity](#)

Finish: [New Tortoise Shell](#)  
Style: [Victorian](#)  
Bulb/Watt: [3 - 60 watt Candelabra bulbs](#)  
Certification: [UL Damp](#)  
UPC: [822920197154](#)  
Brand: [Savoy House](#)

### [\\*MORE INFO](#)





**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

**DEADLINE:**

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

**FEE SCHEDULE:**

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

4215 Fifth Avenue  
Pittsburgh, PA 15213

**OWNER:**

Oakland Fifth Avenue Hotel  
 NAME: Associates LP  
c/o Concord Hospitality  
 ADDRESS: Enterprises Company  
Attn: Keith McGraw  
409 Broad Street, Suite 203  
Sewickley, PA 15153  
 PHONE: (412) 749-1114  
 EMAIL: sierrakm@aol.com

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_  
 LOT AND BLOCK NUMBER: \_\_\_\_\_  
 WARD: \_\_\_\_\_  
 FEE PAID: \_\_\_\_\_

**DISTRICT:**

Oakland Civic Center

**APPLICANT:**

NAME: (Same)  
 ADDRESS: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 EMAIL: \_\_\_\_\_

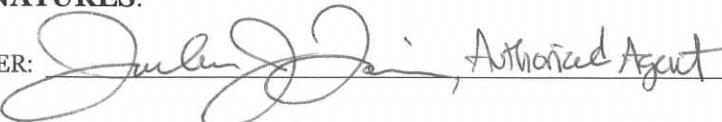
**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Development of an 11-story building currently planned to contain approximately  
200,000 SF for a 190-room hotel, with associated parking, restaurant and other  
facilities.

**SIGNATURES:**

OWNER:  AUTHORIZED AGENT DATE: 2/13/2015  
 APPLICANT: \_\_\_\_\_ DATE: \_\_\_\_\_

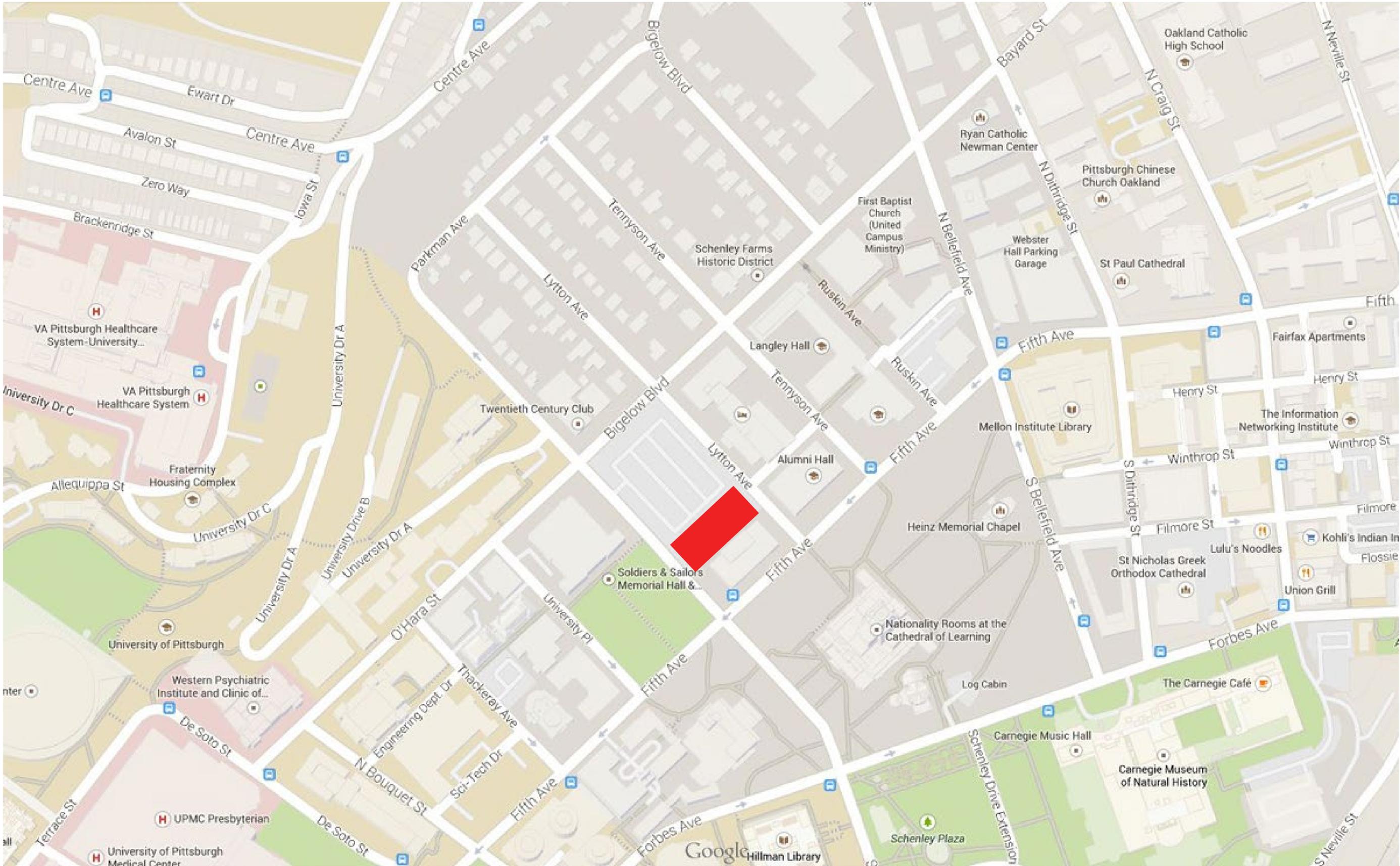




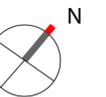
# PAA - Hotel Proposed

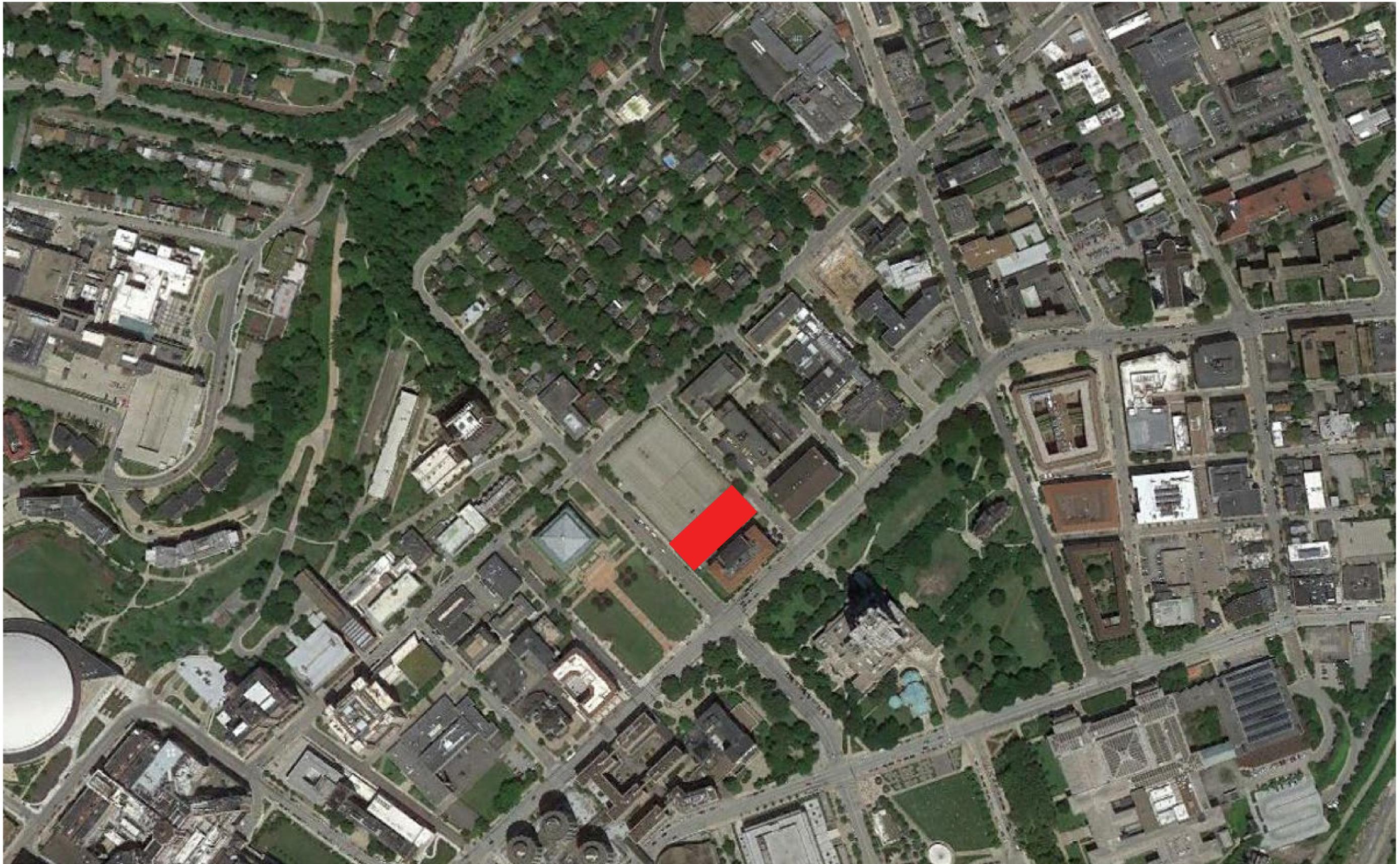
## Pittsburgh, PA

Historical Review Submission  
February 13, 2015

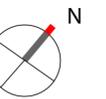


Site Map





Site Aerial





Site View



Bigelow Blvd. Perspective



Lytton St. Perspective



Existing View from Bigelow Blvd.



Proposed View from Bigelow Blvd.



Existing View from Bigelow Blvd.



Proposed View from Bigelow Blvd.



Existing View from Lytton Ave.



Proposed View from Lytton Ave.



Existing View from Lytton Ave.



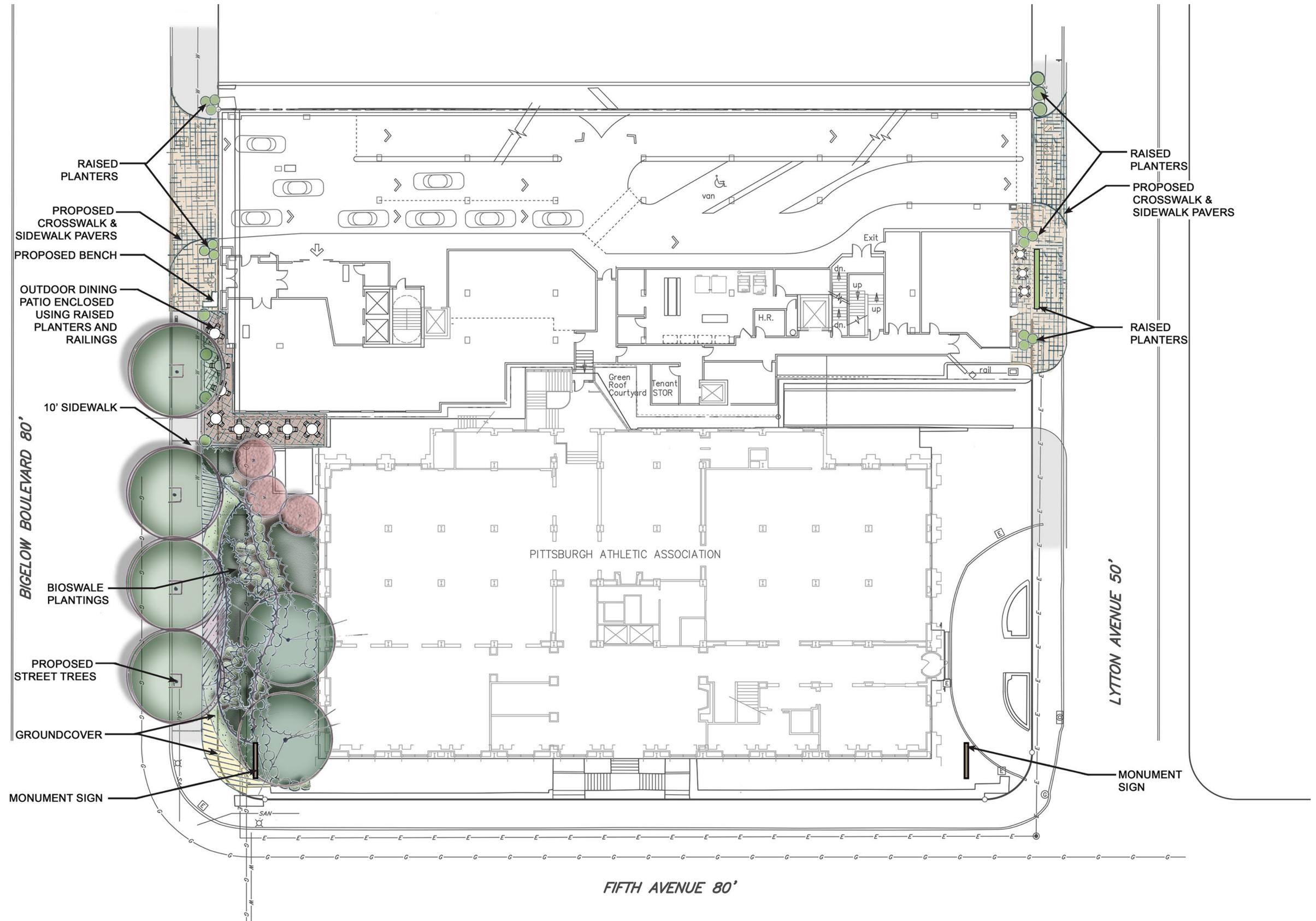
Proposed View from Lytton Ave.



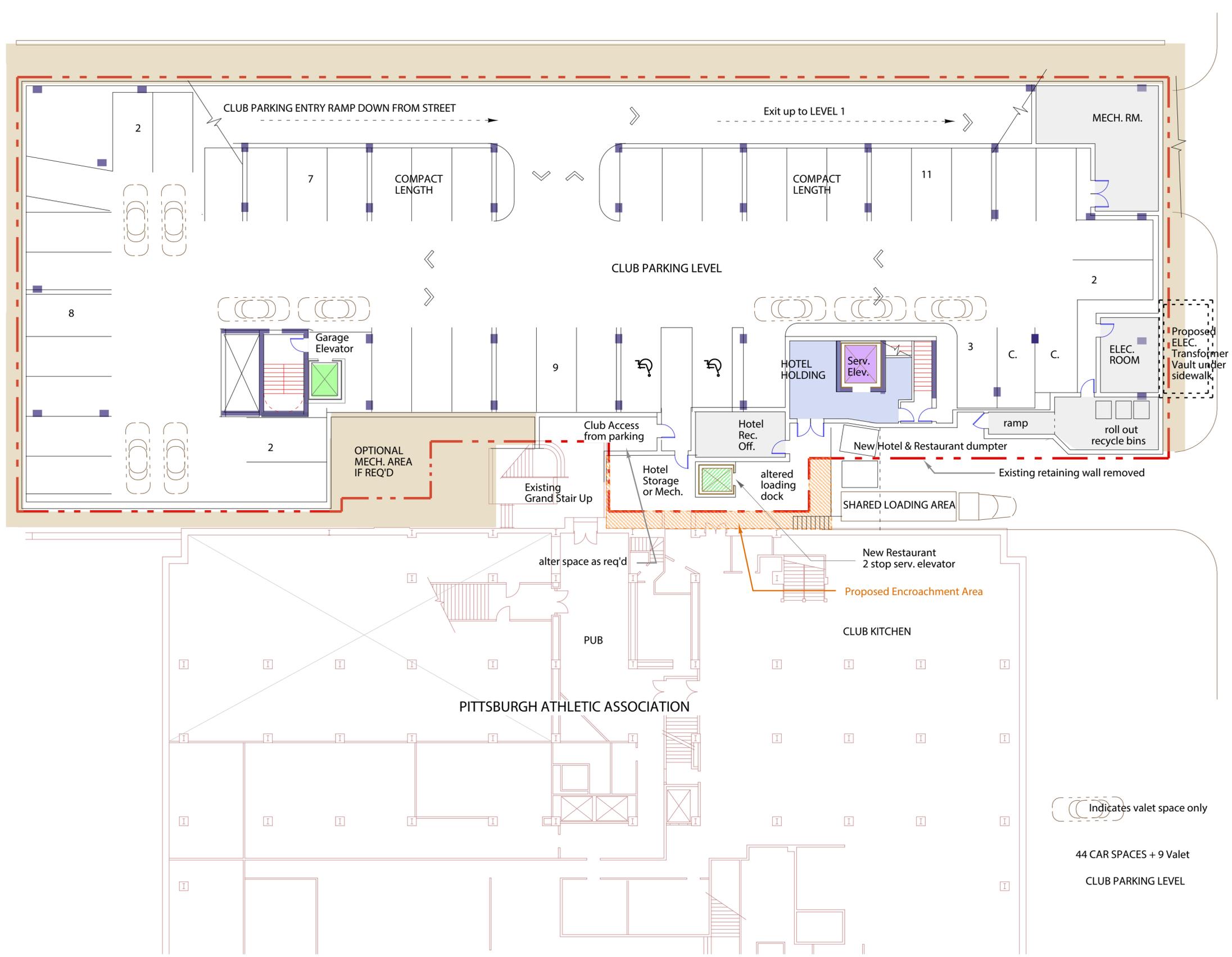
Existing View from Lytton Ave.



Proposed View from Lytton Ave.

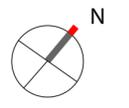


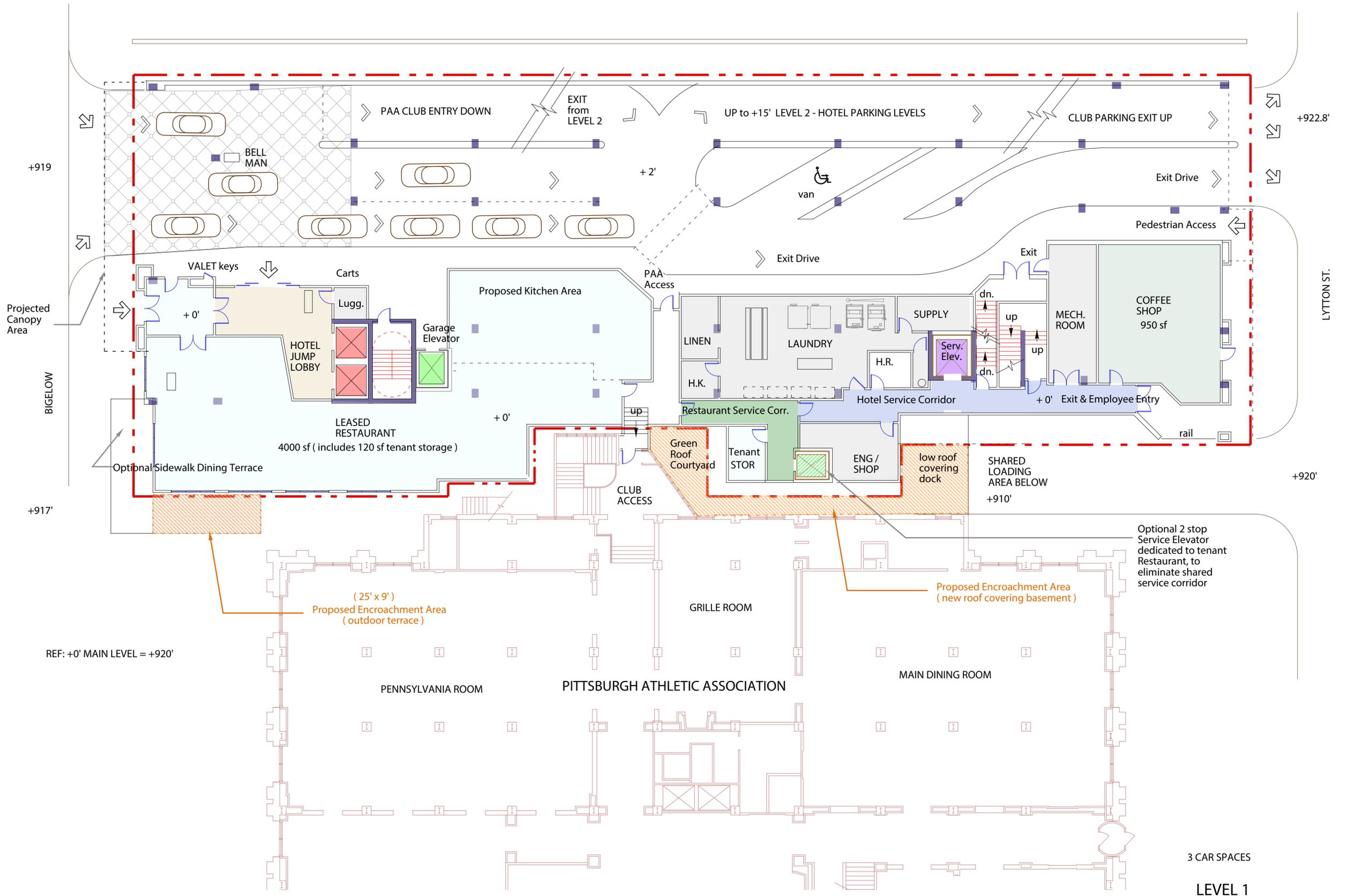
Conceptual Streetscape Design



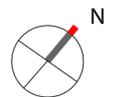
Indicates valet space only  
 44 CAR SPACES + 9 Valet  
 CLUB PARKING LEVEL

Basement Level

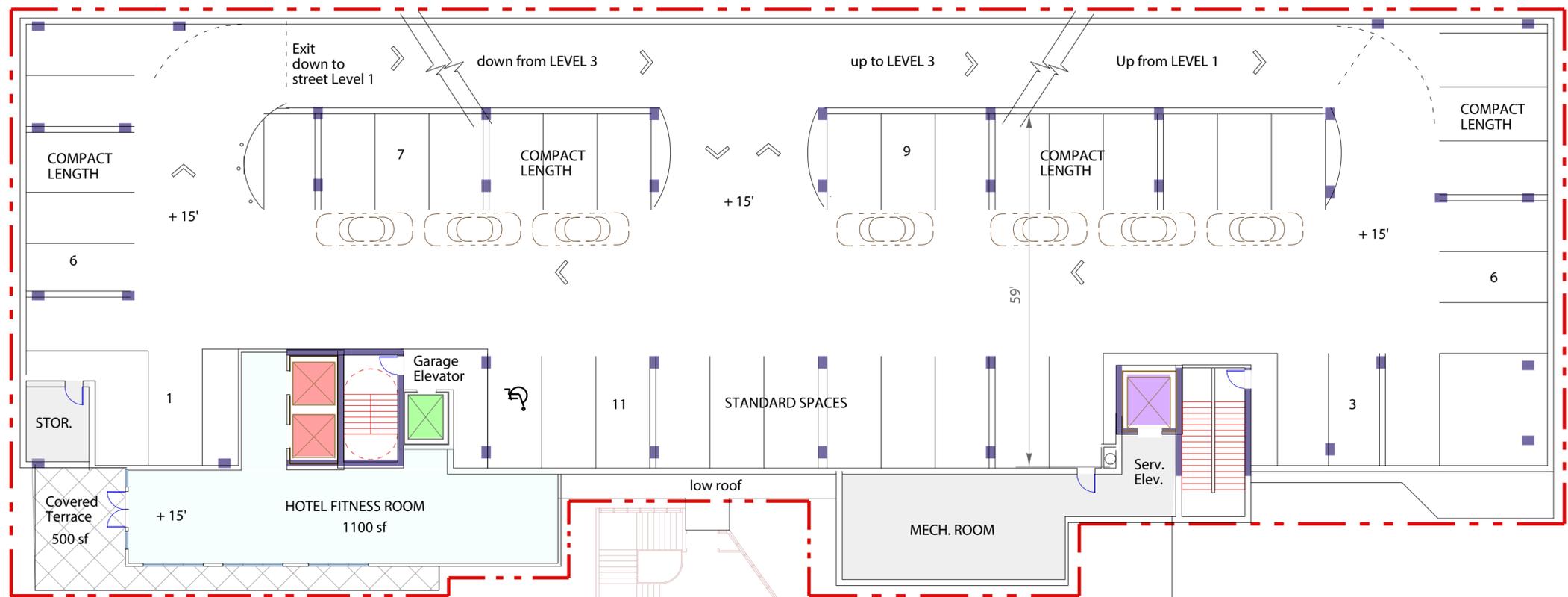




Level 1



3 CAR SPACES  
 LEVEL 1

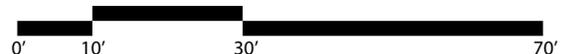
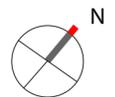


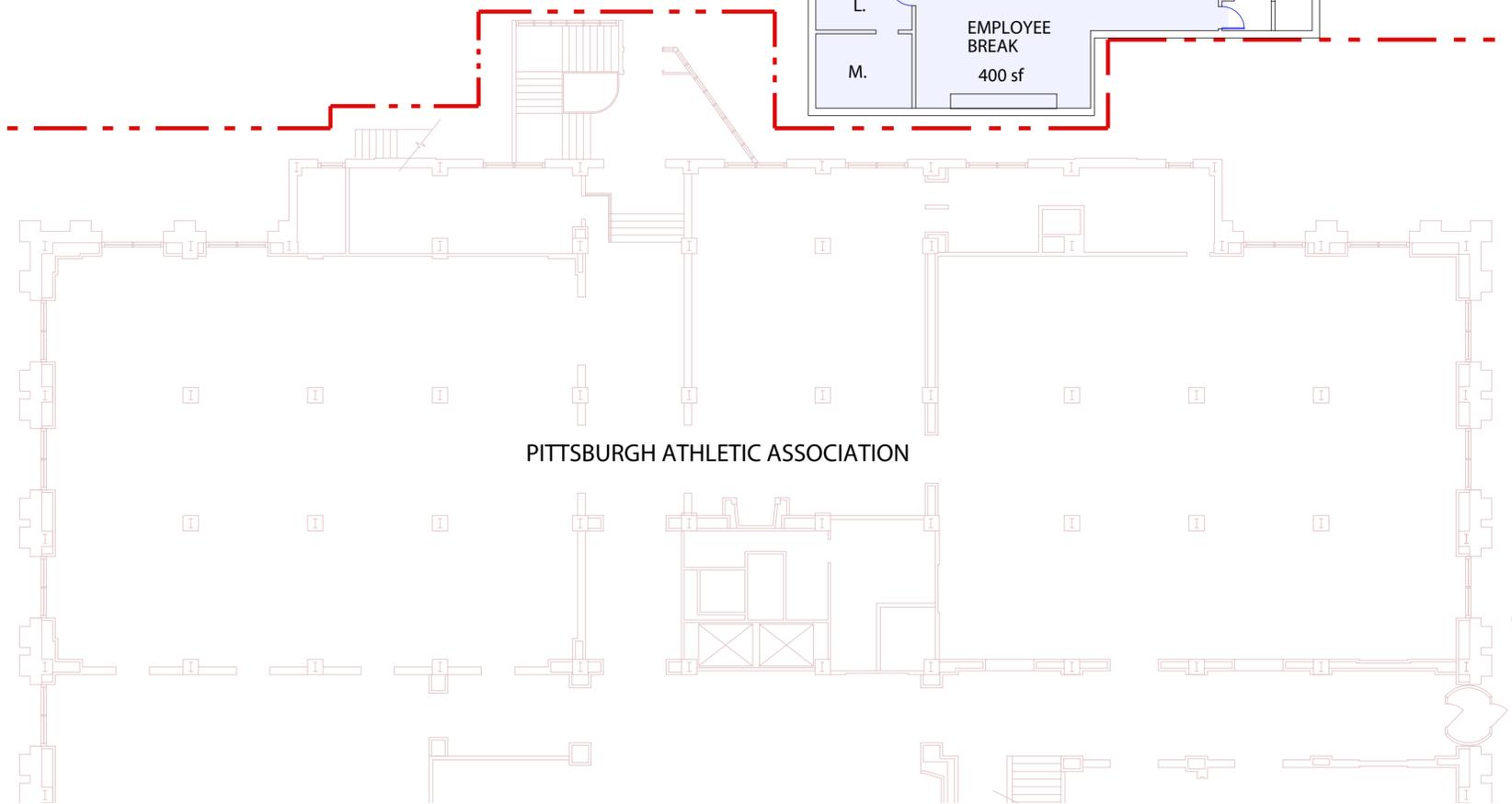
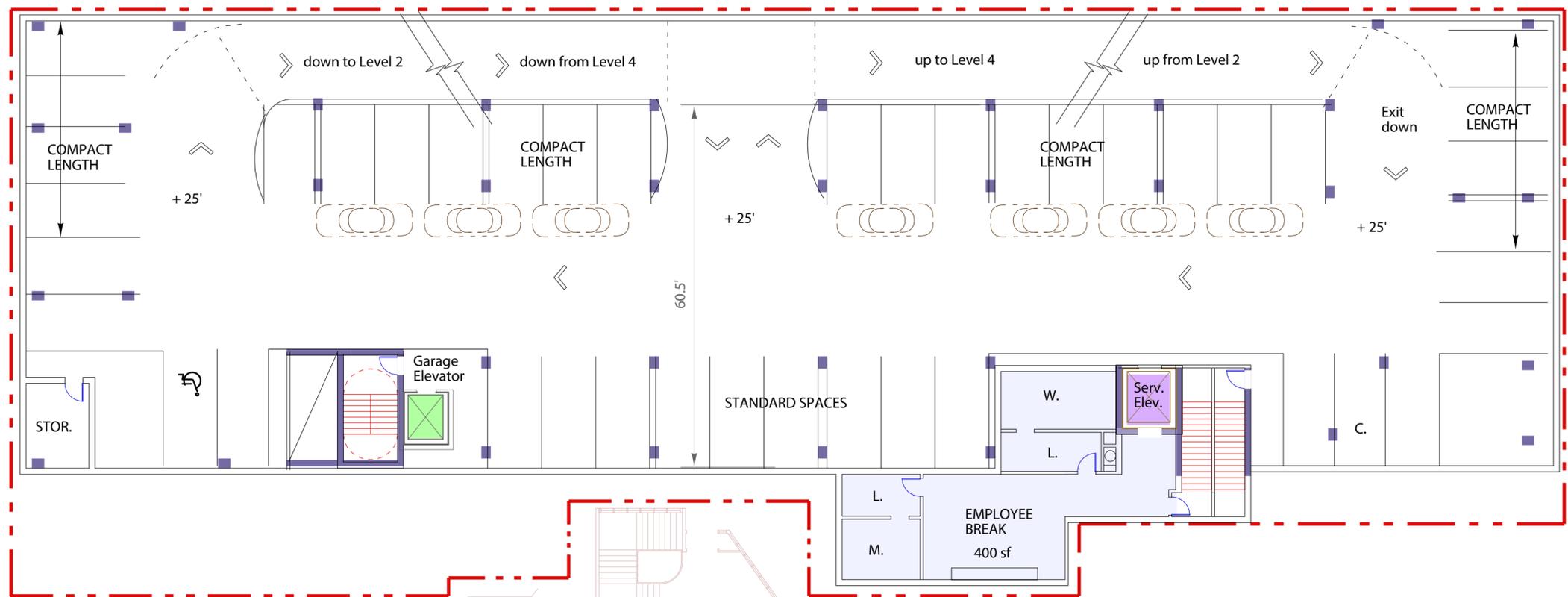
Level 2

Ramps 13' wide - typical

Indicates valet space only

43 CAR SPACES



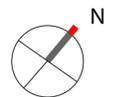


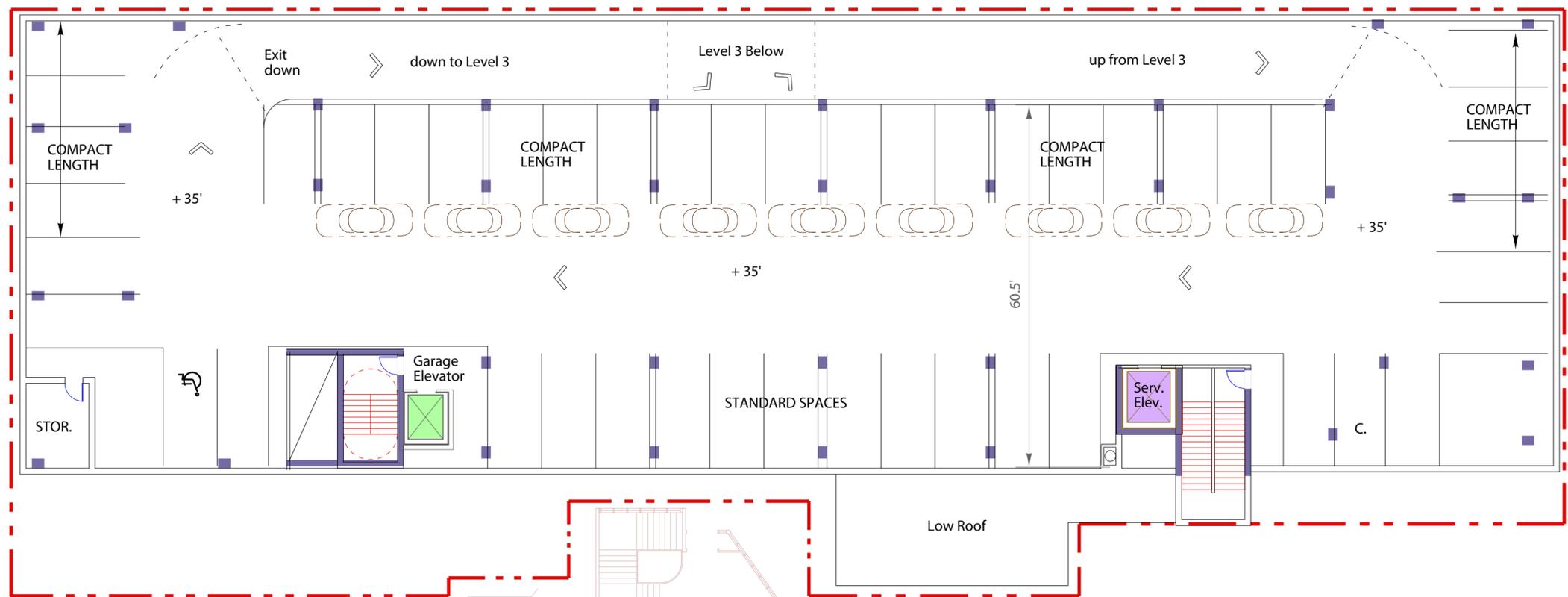
PITTSBURGH ATHLETIC ASSOCIATION

Level 3

Indicates valet space only

42 CAR SPACES

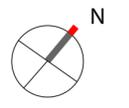


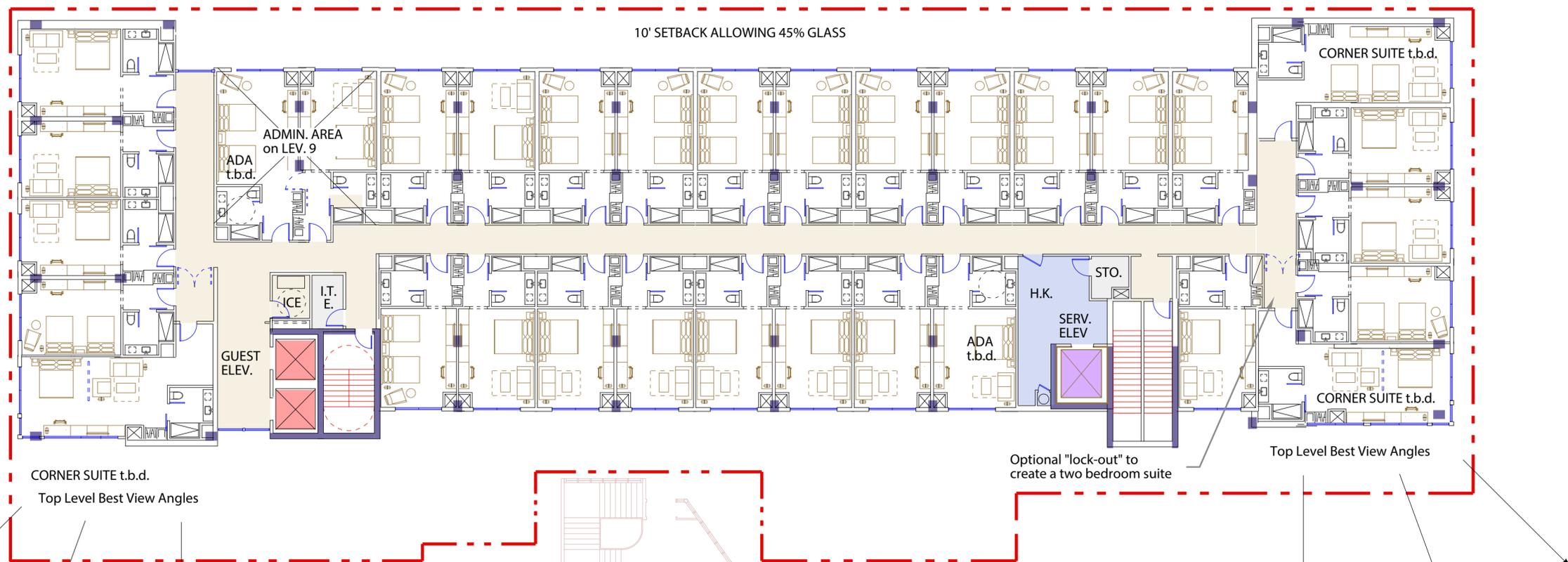


Indicates valet space only

47 CAR SPACES

Level 4





REF: +0' MAIN LEVEL = +920'

**BUILDING DATA:**

fl. hgt.	Level	SF Hotel	Keys	SF Garage	# of cars	+ # of valet only
- 10'	B	2,050	-	17,000	43	10 Club members Only
+ 0'	1	* 4,500	-	11,300	3	
+ 15'	2	2,000	stair / elev.	15,250	43	7
+ 25'	3	2,000	stair / elev.	15,250	44	7
+ 25'	4	2,000	stair / elev.	15,250	50	9
+ 35'	5	16,470	32	-	-	-
+ 45'	6	16,470	32	-	-	-
+ 55'	7	16,470	32	-	-	-
+ 65'	8	16,470	32	-	-	-
+ 75'	9	16,470	32	-	-	-
+ 85'	10	16,470	30	-	-	-
+ 95'	11	** 13,600	-	-	-	-
<b>Totals</b>		<b>124,970</b>	<b>190</b>	<b>74,050</b>	<b>183</b>	<b>33</b>
+ 107' roof		658 sf / Key				

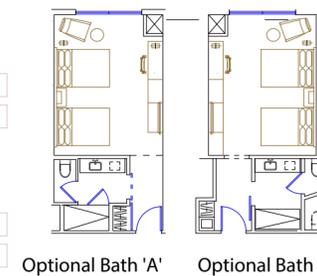
\* Does not include 3,700 sf Restaurant

\*\* Does not include 3,800 sf exterior upper terraces / balconies

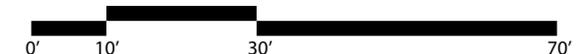
**GUESTROOM DATA:**

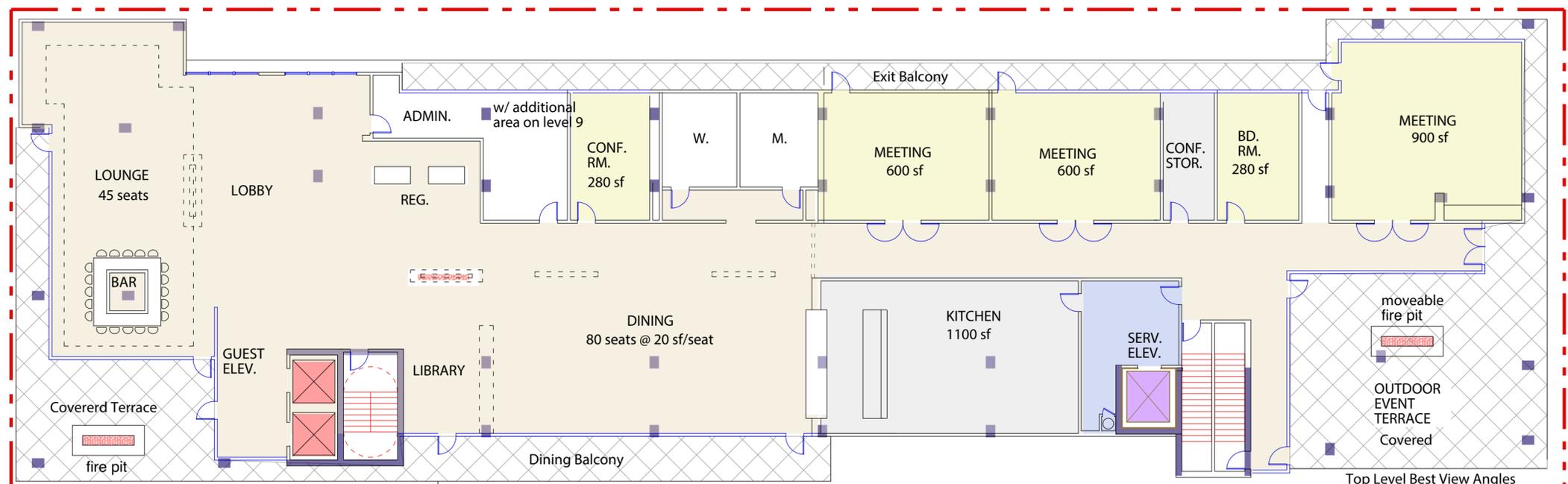
- 3 CORNER SUITES / level
- 14 DQ'S / level
- 15 KINGS / level

**PITTSBURGH ATHLETIC ASSOCIATION**



Typical Levels (5-10)



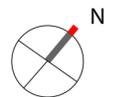


Top Level Best View Angles

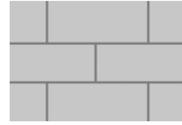
Top Level Best View Angles

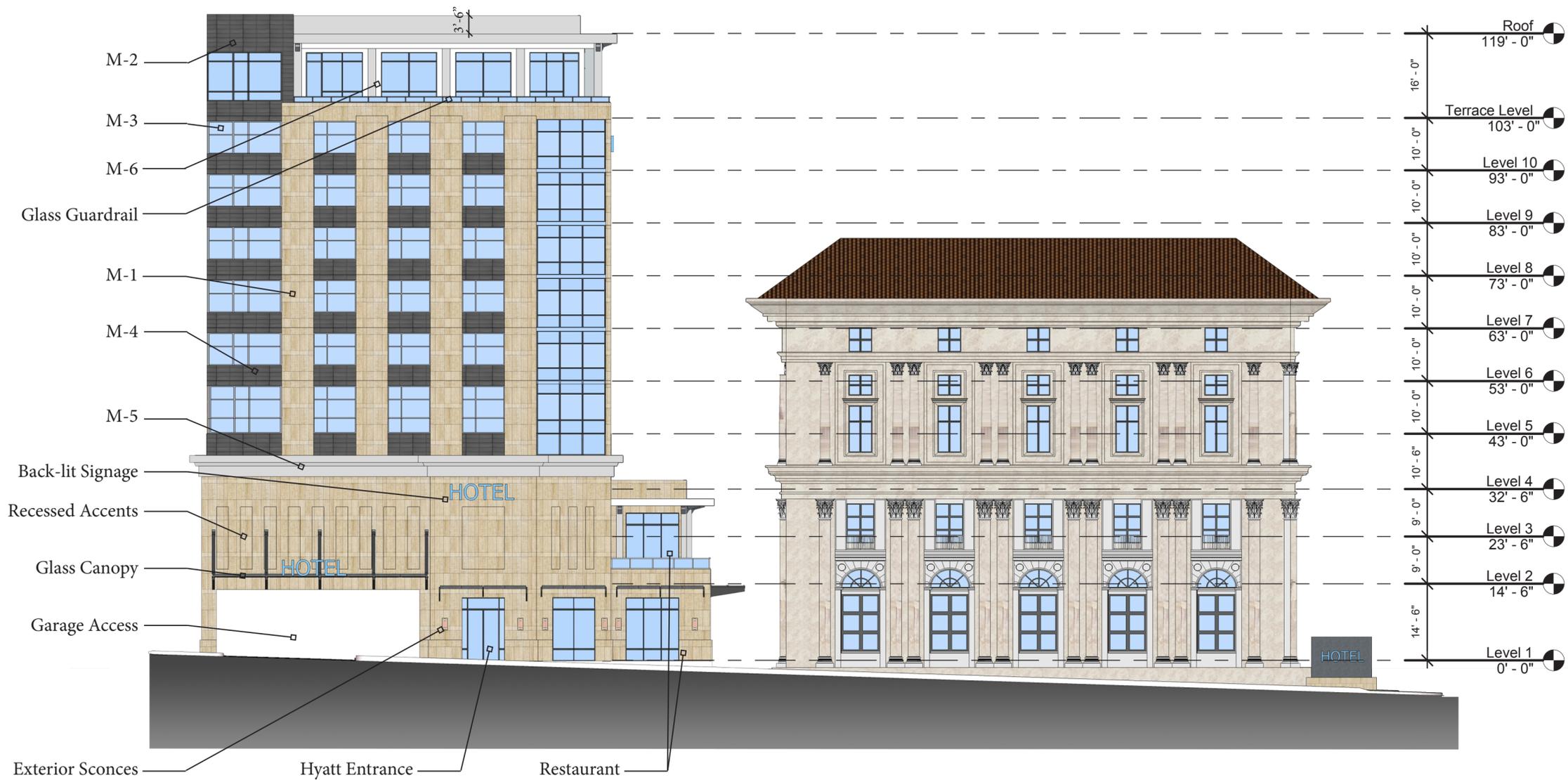
PITTSBURGH ATHLETIC ASSOCIATION

Terrace Level



# Material Legend

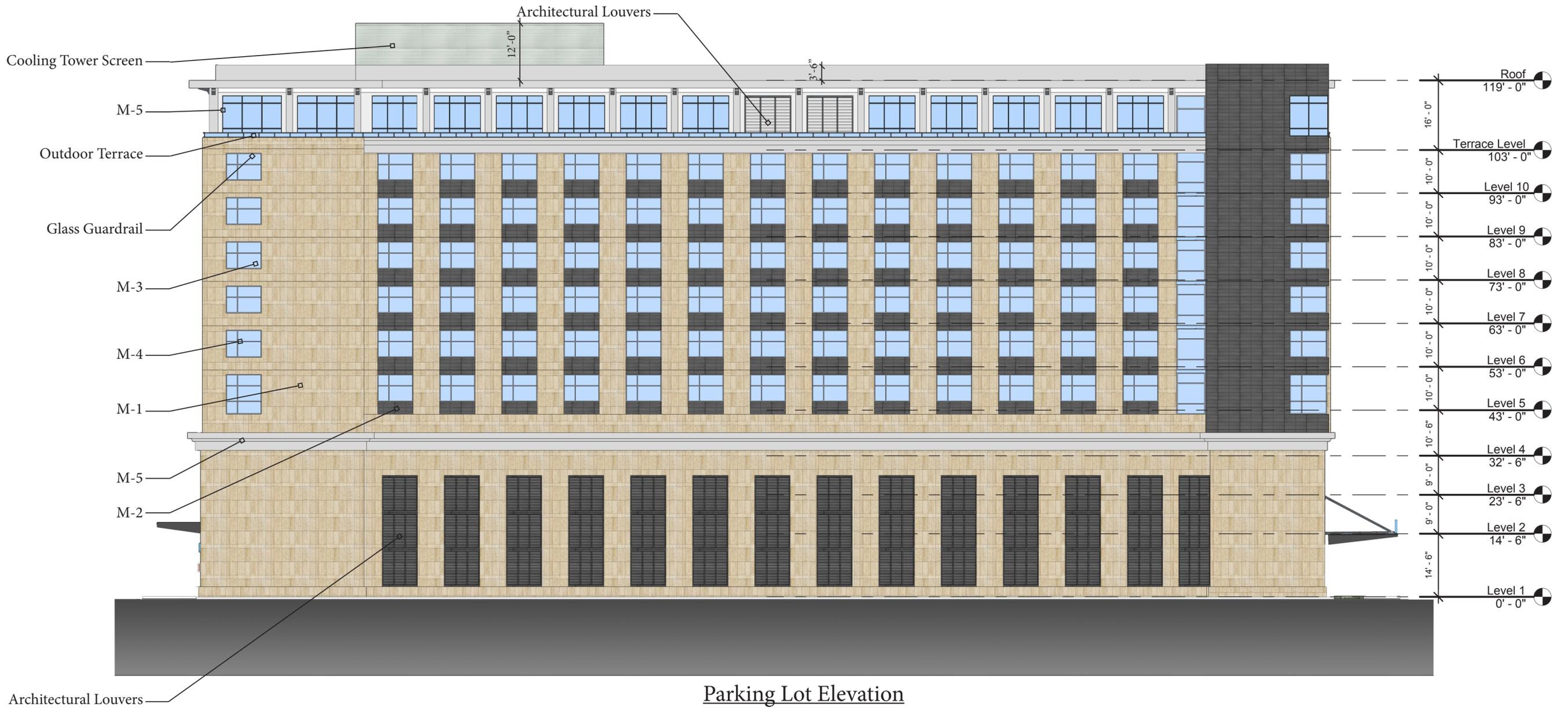
M-1	M-2	M-3	M-4	M-5	M-6
					
Product: Arriscraft Color: Sandrift Finish: Sandblasted & Rocked	Product: Endicott Brick Color: Manganese Ironspot Finish: Smooth	Product: Double Glazing Finish: Low -E coating	Product : Aluminum Framing Color: Dark Bronze	Product : Arriscraft ARRIS. cast Color: Limestone Finish: Smooth Note: Exterior Columns & Profiles	Product : Arriscraft Color: Montecito Finish: Smooth Note: Terrace Level Facade

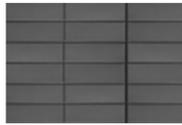
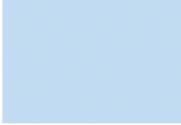


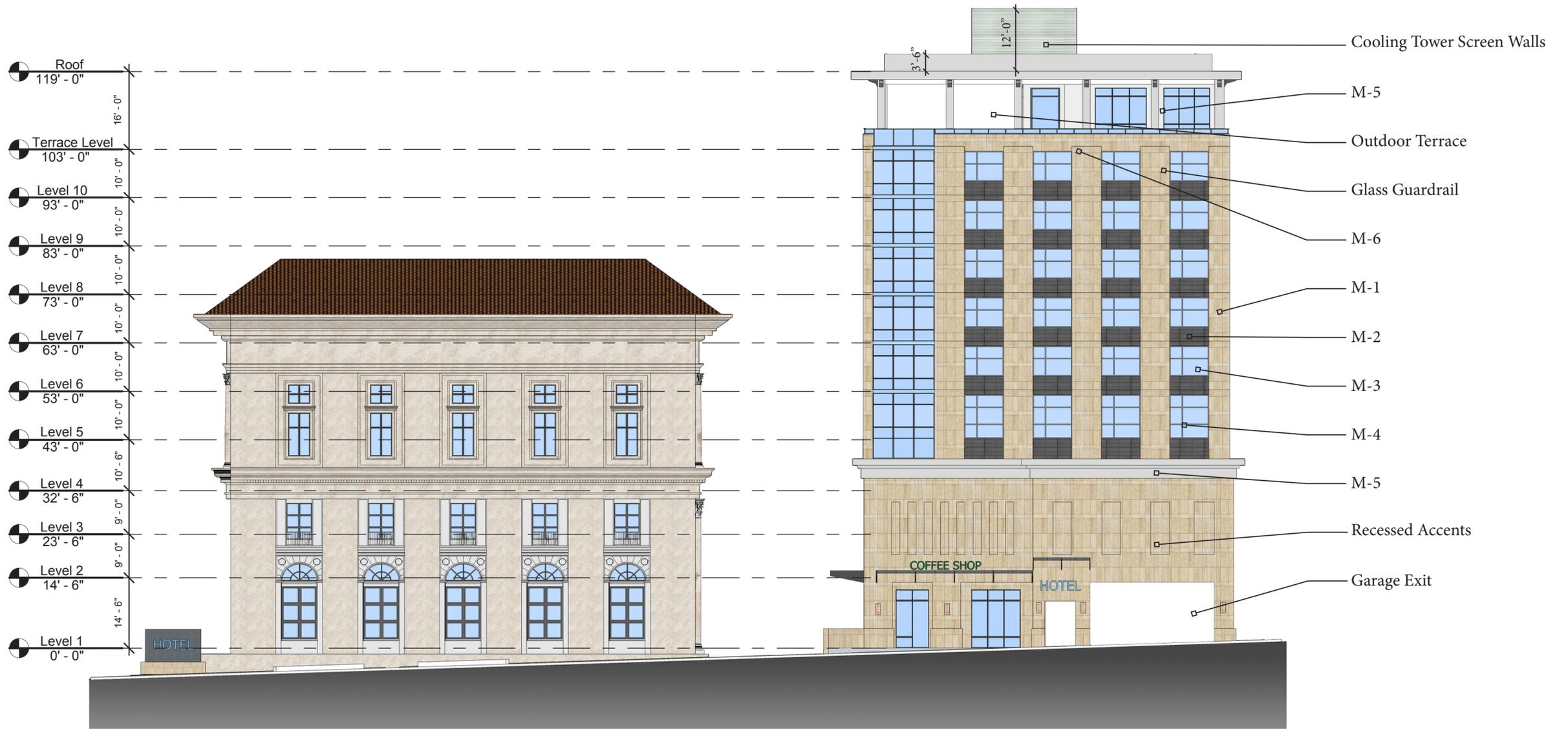
Bigelow Blvd. Elevation



Material Legend					
M-1	M-2	M-3	M-4	M-5	M-6
					
Product: Arriscraft Color: Sandrift Finish: Sandblasted & Rocked	Product: Endicott Brick Color: Manganese Ironspot Finish: Smooth	Product: Double Glazing Finish: Low -E coating	Product : Aluminum Framing Color: Dark Bronze	Product : Arriscraft ARRIS. cast Color: Limestone Finish: Smooth Note: Exterior Columns & Profiles	Product : Arriscraft Color: Montecito Finish: Smooth Note: Terrace Level Facade



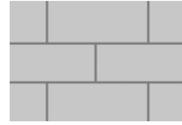
Material Legend					
M-1	M-2	M-3	M-4	M-5	M-6
					
Product: Arriscraft Color: Sandrift Finish: Sandblasted & Rocked	Product: Endicott Brick Color: Manganese Ironspot Finish: Smooth	Product: Double Glazing Finish: Low -E coating	Product : Aluminum Framing Color: Dark Bronze	Product : Arriscraft ARRIS. cast Color: Limestone Finish: Smooth Note: Exterior Columns & Profiles	Product : Arriscraft Color: Montecito Finish: Smooth Note: Terrace Level Facade

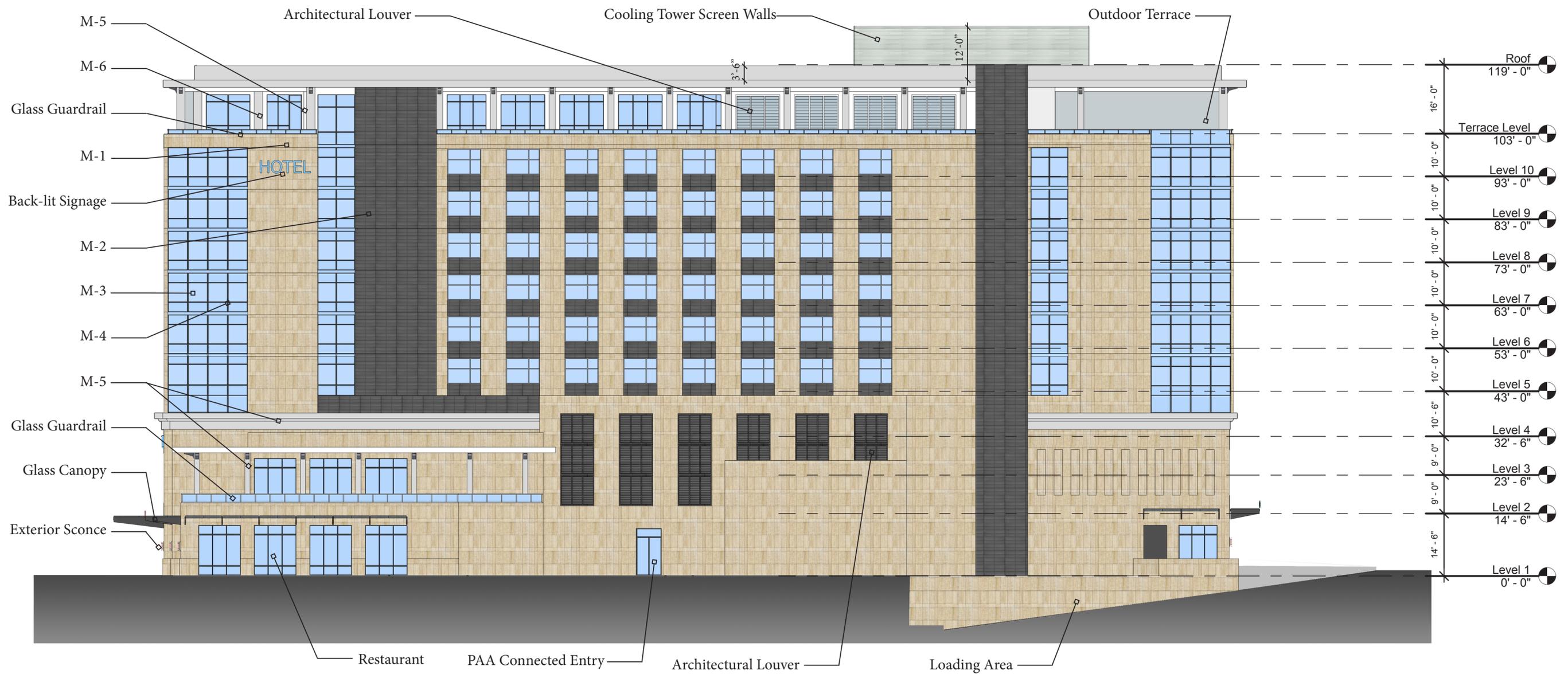


Lytton Ave. Elevation



# Material Legend

M-1	M-2	M-3	M-4	M-5	M-6
					
Product: Arriscraft Color: Sandrift Finish: Sandblasted & Rocked	Product: Endicott Brick Color: Manganese Ironspot Finish: Smooth	Product: Double Glazing Finish: Low -E coating	Product : Aluminum Framing Color: Dark Bronze	Product : Arriscraft ARRIS. cast Color: Limestone Finish: Smooth Note: Exterior Columns & Profiles	Product : Arriscraft Color: Montecito Finish: Smooth Note: Terrace Level Facade



PAA Elevation



# Proposed Material Photographs & Patterns

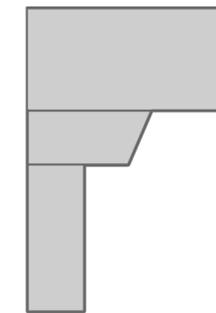
## Proposed Pattern

Arriscraft

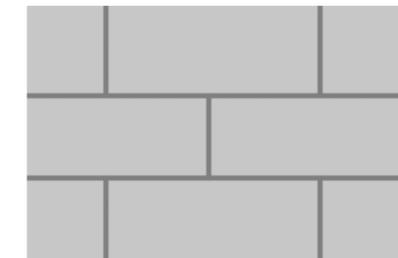
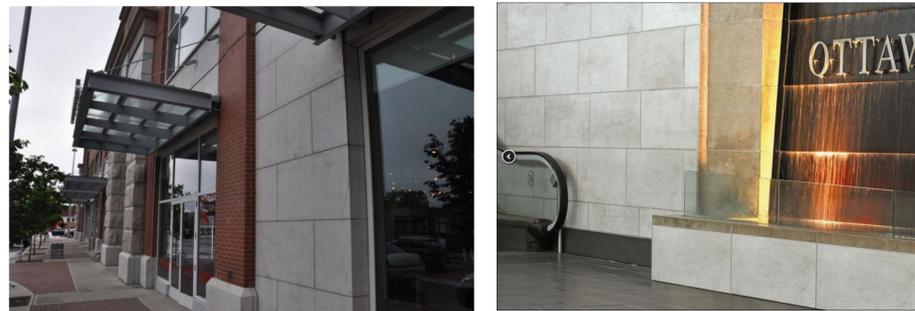
M-1



M-5



M-6



Endicott Brick

M-2

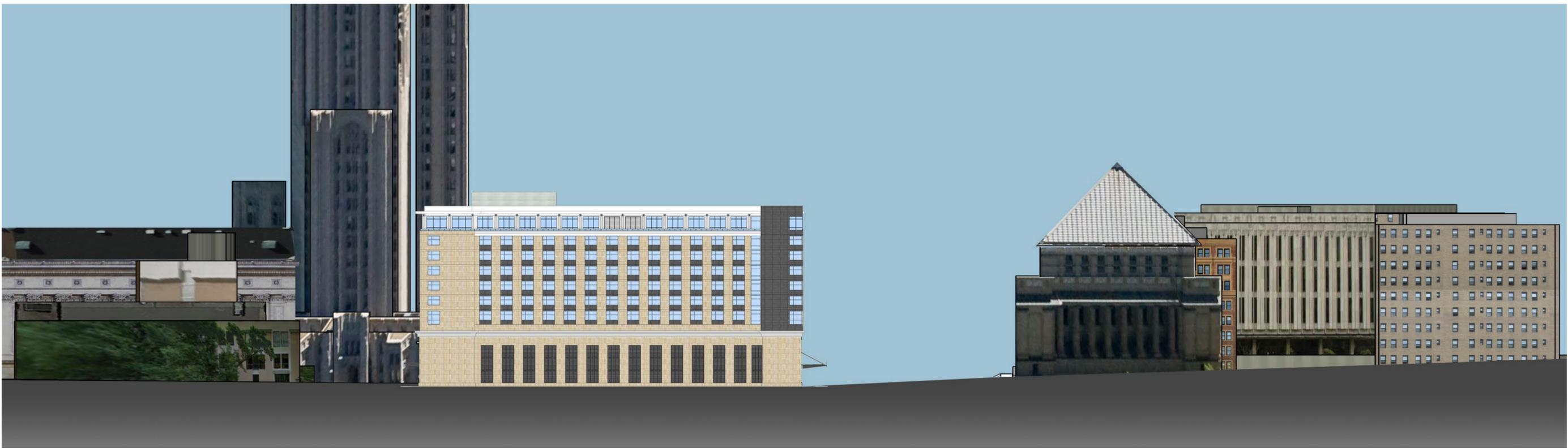




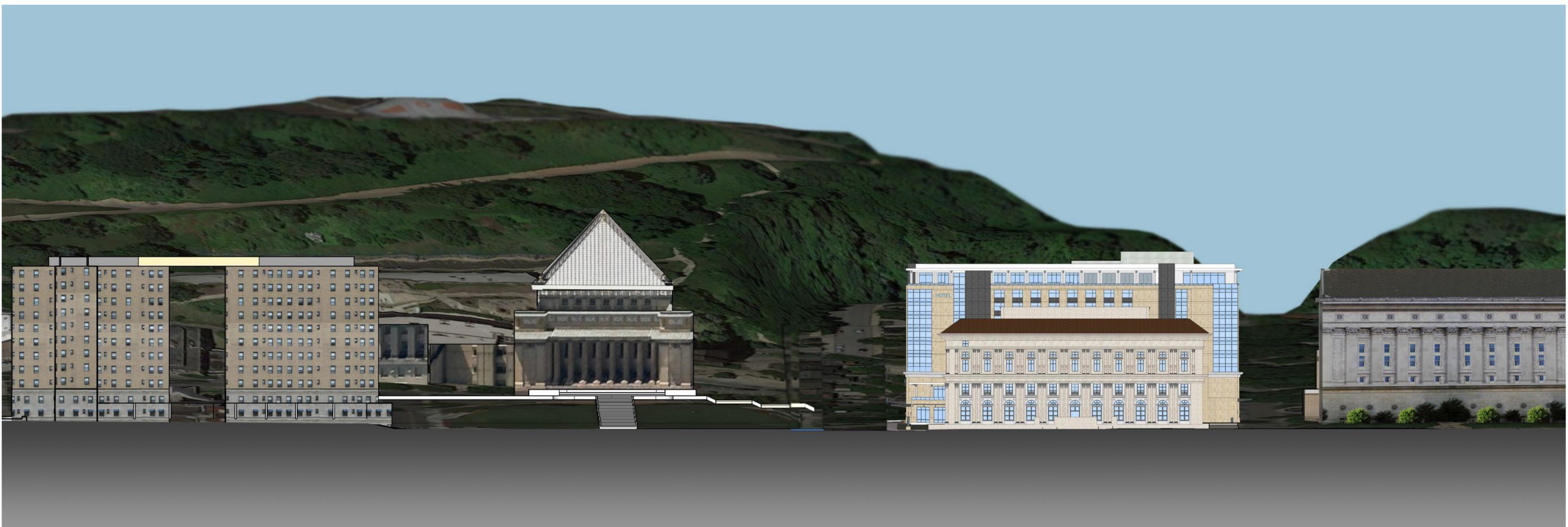
Context Elevation Looking West



Context Elevation Looking East



Context Elevation Looking South



Context Elevation Looking North



Bigelow Blvd Perspective



Bigelow Blvd towards Fifth St.



Lytton St. Towards Fifth



Restaurant View



Coffee Shop View



**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

DISTRICT: \_\_\_\_\_

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

930 PENN AVE  
PITTSBURGH, PA 15222

**OWNER:**

NAME: TOLMER FOODS

ADDRESS: 1401 HARRISON AVE

JEANNETTE, PA 15644

PHONE: 412-628-6756

EMAIL: SUBMANGG@AOL.COM

**APPLICANT:**

NAME: JOSEPH C. STASA

ADDRESS: PO BOX 155

ZOLICOFFLE, PA 16063

PHONE: 412-965-9949

EMAIL: JSTASA@ELITEBUILDERSPA.COM

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

REPLACEMENT OF GLASS ENTRY DOORS FROM  
PENN AVE

**SIGNATURES:**

OWNER: [Signature] DATE: 2-11-15

APPLICANT: [Signature] DATE: 2/11/15





Trulite of Pittsburgh  
 100 Business Center Drive  
 Cheswick, PA 15024

Phone: 800-232-9050 Fax: 724-274-9129

**CUSTOMER:** PECORA GLASS CO

**PROJECT:**

**PRODUCTS:**

**1" OVERALL INSULATED UNIT**  
 1/4" CLEAR  
**A** 1/2" AIRSPACE  
 1/4" CLEAR

**PERFORMANCE DATA:**

**A**

TRANSMISSION	VISIBLE:	80%
	UV:	49%
	SOLAR:	66%
REFLECTANCE	VISIBLE OUT:	15%
	VISIBLE IN:	15%
	SOLAR OUT:	12%
U-VALUE	WINTER NIGHT:	0.47
	SUMMER DAY:	0.50
RELATIVE HEAT GAIN:		176
SHADING COEFFICIENT:		0.84
SOLAR HEAT GAIN COEFFICIENT:		0.73
LIGHT TO SOLAR GAIN:		1.09

SAMPLES ARE FOR COLOR COMPARISON ONLY. COLOR OF ACTUAL PRODUCT MAY VARY DUE TO REASONS BEYOND OUR CONTROL, INCLUDING MATERIAL & SURFACE VARIATIONS, INSTALLATION, LIGHTING, INSIDE & OUTSIDE SHADING, ETC. FULL SCALE MOCK-UPS ARE HIGHLY RECOMMENDED.





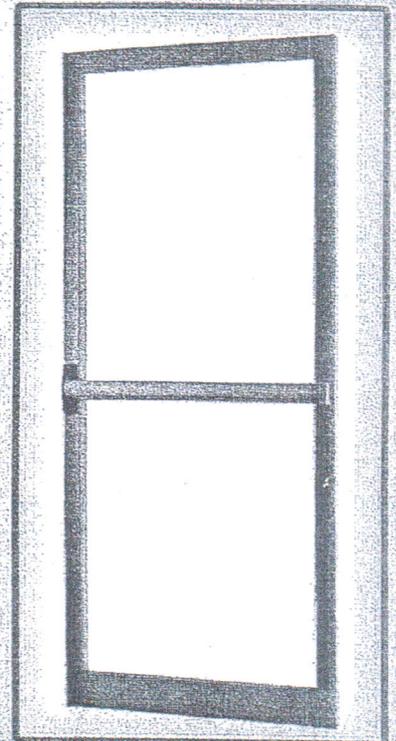
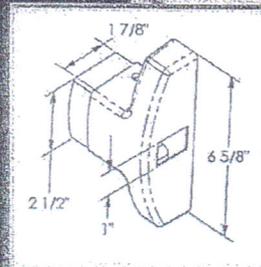
# 3700 Series Rim Latching Exit Device

*Packaging powerful security into a compact size, the 3700 can be mounted on doors with stiles as narrow as 2" and includes a 1" forged steel latch bolt. Non-handed and available for doors up to 4 feet, the 3700 is a convenient solution for demanding, busy traffic conditions.*

*These durable devices are ANSI Grade 1 (500,000 cycles) and UL Listed. Striking anodized finishes are accented with high performance coatings on solid metal end clips.*

## Series 3700 Rim Latching Exit Device Specification

Exit Device shall be First Choice Building Products series 3700 Rim Latching Narrow Stile model utilizing a low profile touch bar projecting less than three inches (3") from the face of the door. The device shall use 1" hardened steel latch bolt engaging a frame mounted stainless steel roller strike. The device shall be active the full length between door stiles and mount to the door using metal covers and end caps and require no more than 2" width of door stile. The device push bar and base shall be 6063, T-6 hardened aluminum in anodized finishes. The device shall be capable of operation by external key cylinder with Night Latch or Hold Back settings. The device shall be capable of disengagement by single point, quarter turn dogging.

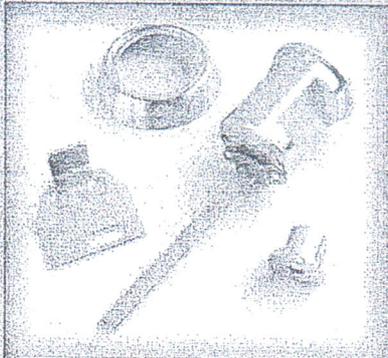


[www.firstchoicebuildingproducts.com](http://www.firstchoicebuildingproducts.com)

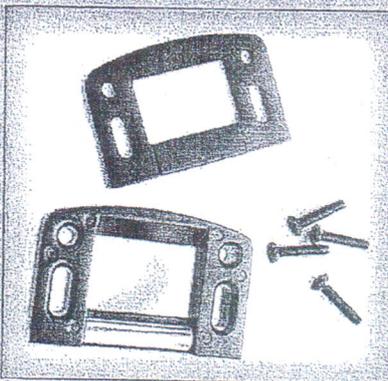
First Choice Building Products • 420 Bonnie Lane • Elk Grove Village, IL 60007 • Phone (800) 793-4544 • Fax (800) 867-5016



# 3700 Series Rim Latching Exit Device Accessories



For secure access, the simple cam drive Rim Cylinder Kit available in Night Latch (always locked when key is removed) or Hold-Back (can be left unlatched after key is removed).



Easily mounted, the heavy duty rim strike kit includes a precision cast spacer for a variety of frame stop configurations.

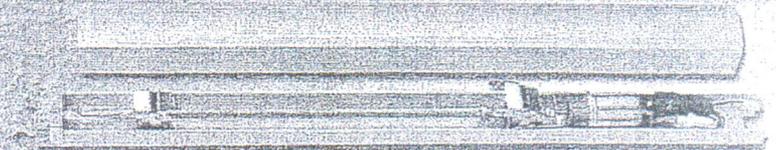
## Series 300 Security Mullions

The ultimate security partner for the 3700 Rim devices, these removable mullions are made from steel-reinforced aluminum. A simple removal system for easy in, easy out convenience and matching anodized finishes make them the right choice for pair-of-doors applications.

Easily cut for a perfect field fit, these mullions come with heavy duty strikes and are available in sizes up to 9 feet.

## Product Warranty

First Choice warrants that products manufactured by us will be free of defects in material and workmanship for a period of two years from date of invoice.



## Electric Latch Retraction

EL is available on First Choice model 3790 vertical rod devices.

These devices are equipped with heavy duty, 24VDC solenoids suitable for high traffic conditions and capable of extended periods of activation.



## Your Answer for Exit Alarm Requirements

The AL37 Series alarm kits are designed to fit inside the push bars of the 3700 Rim exit device. The mechanism is designed for the rigorous requirements of exit hardware.

A powerful alarm emits a piercing, 105db, notification of unauthorized egress to protect persons and property. Automatic resetting means the door will remain protected at all times.

The sophisticated circuitry of the AL37 provides up to 12 months of standby power or 100 alarm cycles from a standard 9v battery. Battery monitoring is constant and a low charge signal is provided to make it easy to maintain.

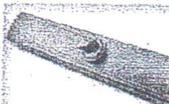


## Interior Cylinder Dogging

The CD37 cylinder dogging function is available for 3700 Rim exit devices and eliminates the need for special hex keys to put the device into hold open mode.

The CD37 accepts standard Rim Type key cylinders which can be changed in the field. Just a quarter turn by key and the exit device is dogged open for unrestricted access.

Thumb-turn cylinders are also available for keyless dogging.

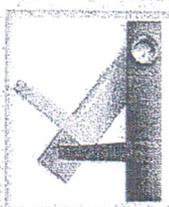


## Series L3 Levers

Utilizing a unique gear system these levers will operate with the 3700 Rim device.

Manual levers can be set for both Hold-Back or Night Latch. All levers are designed for most common mortise cylinders. A security collar is included.

The electric levers are low voltage and can be operated by remote devices such as card readers, code key devices, and remote mounted switches. Power requirements are 24v DC with easy hook-up at the lever. Available in painted finishes to match clear and dark bronze anodized.



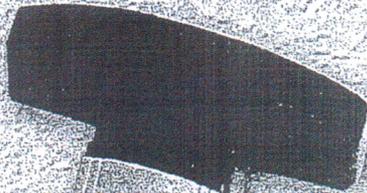
[www.firstchoicebuildingproducts.com](http://www.firstchoicebuildingproducts.com)

First Choice Building Products • 420 Bonnie Lane • Elk Grove Village, IL 60007 • Phone (800) 793-4544 • Fax (800) 867-5016

# 3600 Series

## First Choice Building Products

# Acc 3600

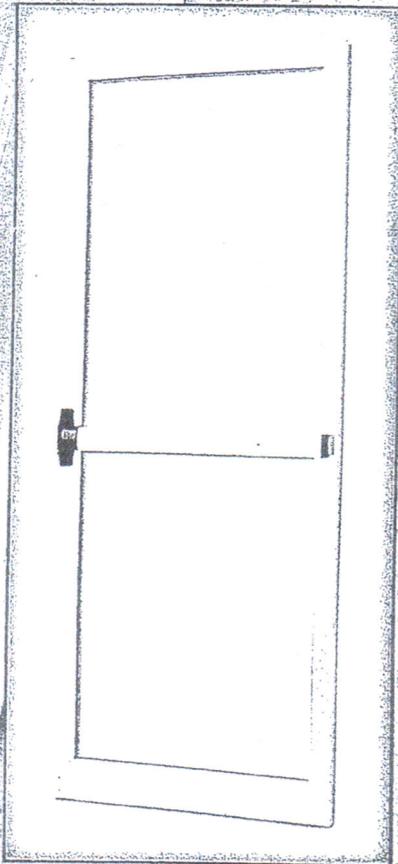


Sleek and attractive, the 3600 is ANSI Grade 1 (500,000 cycles) and UL listed. With durable anodized finishes and high performance coatings on solid metal end caps, these devices are made for tough, high traffic conditions.

The slim, compact design enables mounting on narrow stile doors up to 4 feet wide and 9 feet tall.

### Series 3600 Concealed Vertical Rod Device Specification

Exit Device shall be First Choice Building Products series 3600 Concealed Vertical Rod Narrow Stile model utilizing a low profile touch bar projecting less than three inches (3") from the face of the door. The device shall use 3/8" steel vertical rods operating hardened steel latch bolts with the top latch engaging a stainless steel top jamb-mounted strike with rotational adjustment for proper door alignment. The bottom latch will be spring powered to ensure engagement with the threshold. The device shall be active the full length between door stiles and mount to the door using metal covers and end caps and require no more than 2" width of door stile. The device push bar and base shall be 6063, T-6 hardened aluminum in anodized finishes; the device shall be capable of operation by external key cylinder with Night Latch or Hold Back settings. The device shall be capable of disengagement by single point, quarter turn dogging.



EMERGENCY EXIT ONLY - ALARM WILL SOUND  
PUSH TO OPEN

### Your Answer for Exit-Alarm Requirements

The AL37 Series alarm kits are designed to fit inside the push of the 3700 Rim exit device and the AL36 Series alarm kits fit into the 3600 CVR exit devices. The mechanism is designed to meet the rigorous requirements of exit hardware.

A powerful alarm emits a piercing, 105db, notification of unauthorized egress to protect persons and property. Automatic resetting means the door will remain protected at all times.

The sophisticated circuitry of the AL37 and AL36 provide up to 12 months of standby power or 100 alarm cycles from a standard 9v battery. Battery monitoring is constant and a low charge signal is provided to make it easy to maintain.

### Interior Cylinder-Dogging

The CD37 cylinder dogging function is available for the 3700 Rim exit devices, and the CD36 is available for the 3600 CVR exit device. They eliminate the need for special hex keys to put the device into hold open mode.

The CD37 and CD36 accept standard Rim Type key cylinder, which can be changed in the field. Just a quarter turn by key and the exit device is dogged open for unrestricted access.

Cylinders and collars are available for both clear and bronze trim.

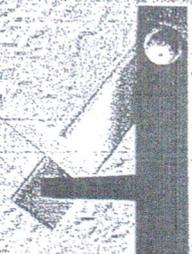
### Series 13 Levers

Utilizing a unique gear system these levers will operate with the 3700 Rim device and the 3600 CVR device.

Manual levers can be set for both Hold Back or Night Latch. All levers are designed for most common mortise cylinders. A security collar is included.

The electric levers are low voltage and can be operated by remote devices such as card readers, code key devices and remote mounted switches. Power requirements are 24v.DC with easy hook up at the lever.

Available in painted finishes to match clear and dark bronze anodized aluminum.



# www.firstchoice

First Choice Building Products



# CITY OF PITTSBURGH

## Bureau of Building Inspection

200 Ross Street - Third Floor, Pittsburgh, PA 15219  
412-255-2175 412-255-2974 (fax)



**COPY**

William Peduto - Mayor

Maura Kennedy - Chief

### GENERAL CONTRACTOR REGISTRATION

License Number: BL006589

APPLICANT: ELITE BUILDERS GROUP INC  
ELITE BUILDERS GROUP INC  
146 WARNER LANE  
HARMONY, PA 16037  
PHONE: 412-965-9949

ISSUED DATE:	12/12/2014	EXPIRATION DATE:	12/31/2015
CITY TAX ID:	01 0041 737	INSURANCE COMPANY:	MOTORIST MUTUAL INS CO
FEDERAL TAX ID:	45 2671494	POLICY NUMBER:	3328351780E
WORKMAN'S COMP NUMBER:	3328351780E	INSURANCE AMOUNT:	2000000

#### CONTRACTOR LICENSE INFORMATION:

ELITE BUILDERS GROUP INC

JOSEPH C STASA  
724-452-5677

DESCRIPTION OF WORK: COMMERCIAL INTERIORS

FEE SUMMARY:  
GENERAL CONTRACTORS ANNUAL FEE: \$93.00

TOTAL FEE: \$93.00

**NOTICE:** If exempt from workers compensation, as mandated by contractor's exemption from PA Act: 44, 1993, no individuals shall be employed to perform work pursuant to this permit.



\* DOORS TO BE REPLACED  
VIEW FROM EXTERIOR



DOORS TO BE REPLACED  
VIEW FROM PENN AVE.



INTERIOR VIEW



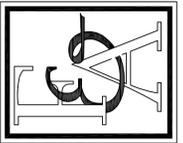
EXIT

PROPOSED  
NEW  
DOORS TO  
MATCH  
INTERIOR  
DOORS

EXISTING  
INTERIOR  
DOORS



**Mark Fickley, RA. - RLA.**  
 ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING  
 308 OAKWOOD COURT JEFFERSON HILLS, PENNSYLVANIA 15025  
 PHONE: (412) 956-1493 • mffickley@comcast.net



PROPOSED SIGNAGE

BUILDING ELEVATION  
 SUBWAY AT 930 PENN AVENUE  
 930 PENN AVENUE  
 PITTSBURGH, PENNSYLVANIA 15122

DATE ISSUED:  
2/7/07

JOB NO.  
05-32

REVISIONS

SHEET NO.

1

OF 1



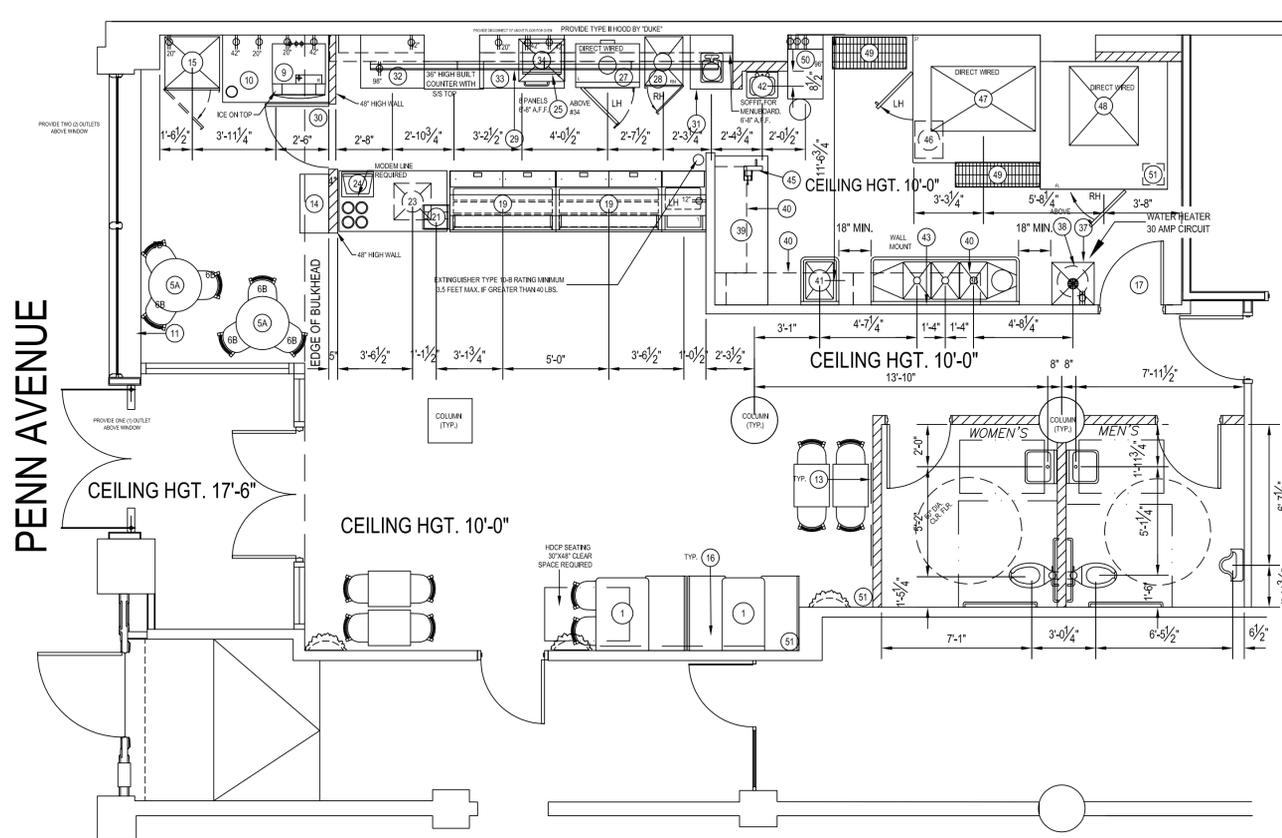
NORTH ELEVATION - 930 PENN AVENUE

1/8" = 1'-0"

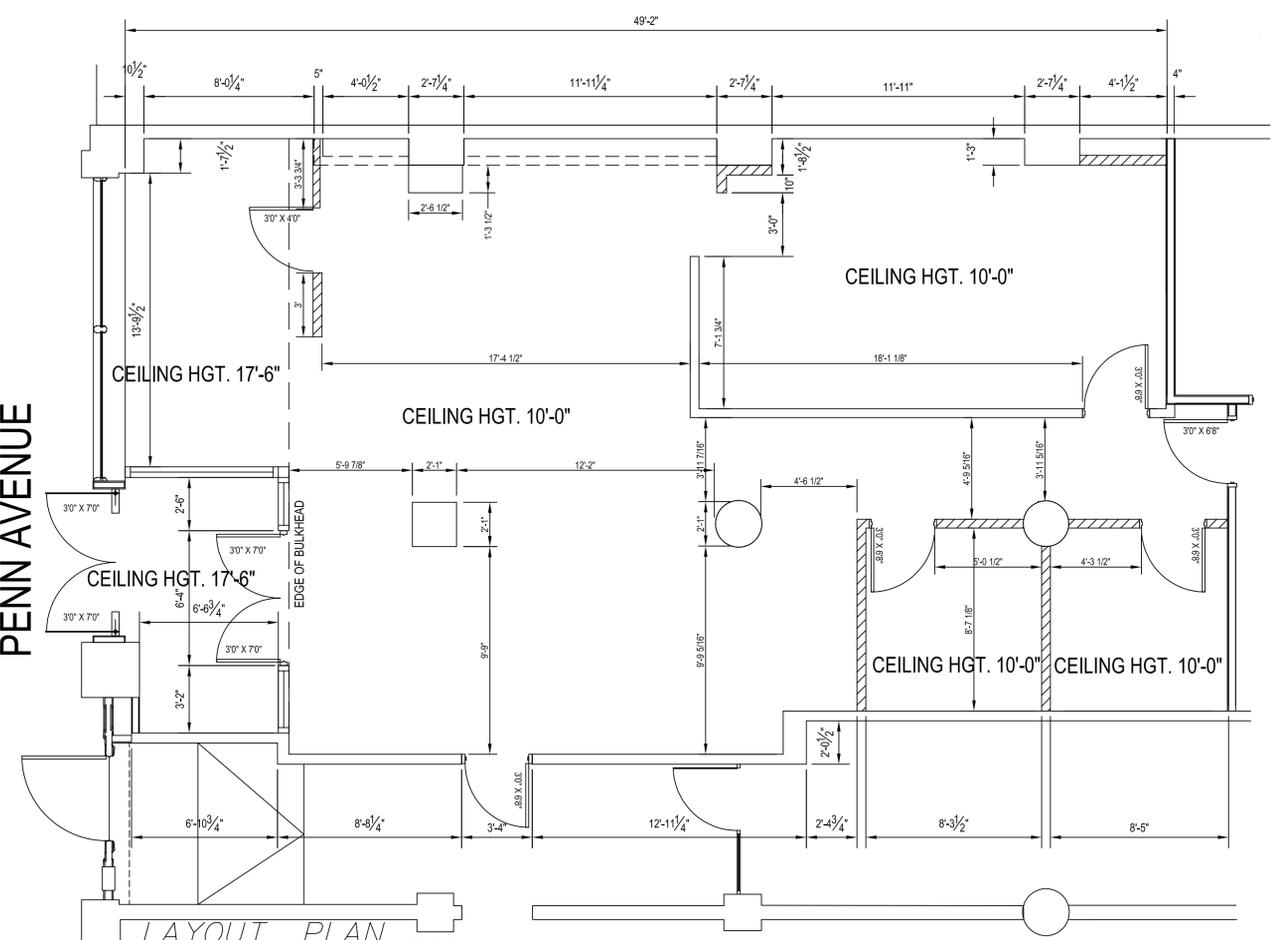
NOTE:  
BUILDING IMAGE PROVIDED BY EDGE STUDIO

# FURNITURE AND EQUIPMENT LEGEND

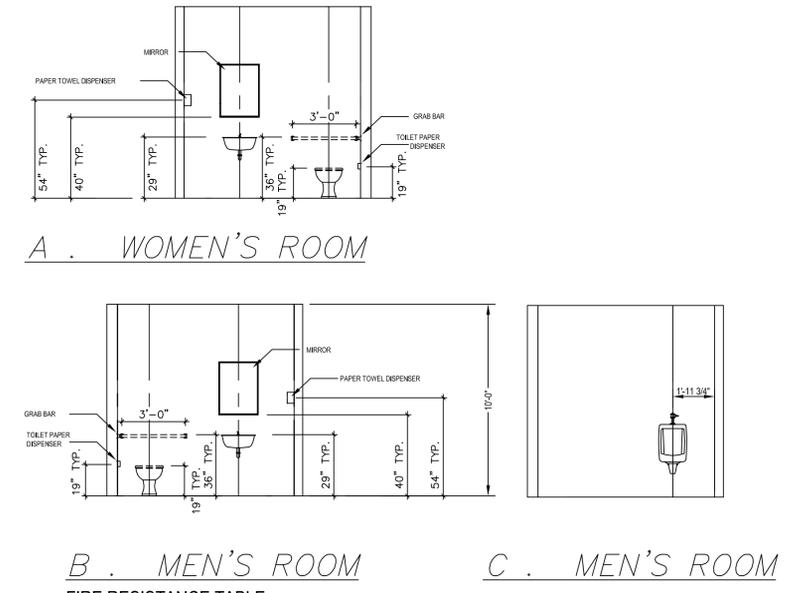
#	ITEM	MANUFACTURER	ORDERED FROM	QTY	DESCRIPTION
<b>CUSTOMER AREA</b>					
1	BOOTH SEATING	PLYMOLD	DAI	2	(1) 4-SEATER (1) 2-SEATER (1) 3-SEATER (1) 2-SEAT HANDICAP (1) 4-SEAT HANDICAP (1) CONTOUR (1) COLORCOURT. TOP HAS TWO COLOR INLAY (WILLOWSTONE & SIERRA MARBLE).
4B	20" X 24" TABLE	PLYMOLD	DAI	9	30" HIGH W/ FREESTANDING 22" X 22" CROSS BASE. TWO COLOR INLAY (WILLOWSTONE & SIERRA MARBLE) WITH DURA EDGE.
5A	30" ROUND BAR HEIGHT TABLE	PLYMOLD	DAI	3	42" HIGH W/ FREESTANDING 22" X 22" CROSS BASE. TWO COLOR INLAY (WILLOWSTONE & SIERRA MARBLE) WITH DURA EDGE.
6A	CHAIR	PLYMOLD	DAI	20	QUEST CHAIR W/ UPHOLSTERED SEAT OR DURA-SEAT TO BE ORDERED IN THE FOLLOWING COLORS: HUNTER, WHEAT AND FIRE RED. FRAME COLOR IS SEPIA.
6B	BAR HEIGHT STOOL	PLYMOLD	DAI	9	QUEST STOOL W/ UPHOLSTERED SEAT OR DURA-SEAT TO BE ORDERED IN THE FOLLOWING COLORS: HUNTER, WHEAT AND FIRE RED. FRAME COLOR IS SEPIA.
8	TRASH RECEPTACLE	PLYMOLD	DAI	1	DURA EDGE TRASH RECEPTACLE W/ IRISH MAPLE LAMINATE FINISH AND BLACK "THANK YOU" ON DOOR.
9	SODA MACHINE	COKE	LOCAL BOTTLER	1	SEE BOTTLER FOR SPECS. INSTALLED BY BOTTLER.
10	BEVERAGE DESTINATION CENTER	DUKE MANUFACTURING	DAI	1	(1) 18" (1) 18" BEVERAGE PLACEMENT (1) 20" (1) 20" (1) 18". STAINLESS STEEL TOP. IRISH MAPLE LAMINATE FINISH. INSTALLED BY G.C.
11	RED NEON "OPEN" SIGN	HINSON DISPLAY/NEON GLASS WORKS	DAI/G.C.	1	SEE MANUFACTURER FOR SPECS. INSTALLED BY G.C.
13	WALL ART (UPSCALE)	MODERNISTIC / SUNGLO	DAI	5	23" X 50" WALL HUNG PRINTS ON CANVA WITH 12" CLEATS ATTACHED FOR HANGING. SIX DIFFERENT PRINT IMAGES AVAILABLE. HEAT BEAT SIDES.
14	CHP RACK	FRITO-LAY	DAI	1	(1) 44"W X 16 3/8"D X 68"H (1) 44"W X 16 3/8"D X 54"H (1) 33X14"W X 16 3/8"D X 68"H FLOOR RACKS. (1) 24"W X 12"D X 22"H (1) 36"W X 12"D X 22"H COUNTERTOP RACKS. THROUGH LOCAL DIST.
15	DISPLAY REFRIGERATOR	COCA-COLA/LOCALLY SOURCED	LOCAL BOTTLER	1	(1) COUNTER TOP MODEL (1) DOOR FLOOR MODEL (1) DOOR FLOOR MODEL.
16	WALL PLANT	GRACE DESIGNS	DAI	4	WALL HUNG SILK PLANT. HANG LEVEL WITH BOTTOM OF UPPER DECORATIVE TRIM.
17	INTERIOR DOOR	LOCAL	G.C.	3	SOLID CORE WOOD DOOR (STAIN MINWAX #235 CHERRY & POLYURETHANE W/ MINWAX FAST DRYING SATIN). METAL FRAME (PAINT SHERWIN WILLIAMS #SW6356 COPPER MOUNTAIN). INSTALLED BY G.C.
<b>SERVICE AREA</b>					
19	FRONT COUNTER	DUKE MANUFACTURING	DAI	1	TOTAL LENGTH 17'-2" (1) 14'H (1) 18" HOT FOOD UNIT (1) 2' COLD PAN UNIT (1) CASH UNIT (1) HOT FOOD EXTENSION (1) CASH EXTENSION (1) BEVERAGE EXTENSION. INSTALLED BY G.C. ULS APPROVED. ELECTRICAL CONNECTIONS AND WIRING TO LOCAL AND STATE CODE REQUIREMENTS AS DETERMINED BY G.C. OR ELECTRICIAN.
21	COOKIE DISPLAY CASE	ADVANCED DISPLAYS IN PLASTICS, INC.	DAI	1	DISPLAY CASE ON TOP OF SUB-WRAP AND NAPKIN RISER. MADE OF CLEAR ACRYLIC.
23	SAFE	J. ROSS BOLS/C.S.S./TIDEL	DAI	1	(1) TIME LOCK (1) SHOE BOX (1) QUICK DROP (1) TIDEL TACC. INSTALLED BY G.C. IN SERVICE AREA.
24	SUBSHOP 2000 P.O.S.	MICROS SYSTEMS/DELL/SUBTOTAL	DAI	1	PC BASED POINT OF SALE SYSTEM. REQUIRES DEDICATED POWER SOURCE WITH ISOLATED GROUND TO BREAKER.
25	MICROWAVE	AMANA/SHARP	DAI	1	*5-208 OUTLET REQUIRED. 1200 WATT. 120V/60HZ/1PH. 20 AMP CIRCUIT. DEDICATED CIRCUIT REQUIRED.
27	BREAD OVEN	DUKE MFG. / NU-VU / MIWVE	DAI	1	(1) DUKE (1) NU-VU (1) MIWVE. DEDICATED CIRCUIT REQUIRED. DIRECT WIRED. INSTALLED BY G.C. NSF APPROVED.
28	ENCLOSED BREAD CABINET	LOCKWOOD / NU-VU	DAI	1	(1) LOCKWOOD (1) NU-VU INSTALLED BY G.C. NSF APPROVED.
29	MENUBOARD	VGS / TRANSLITE SONOMA	DAI	4	MENUBOARD (1) 2' X 4' (1) 2' X 2' LIGHT FIXTURES (1) 2' X 1' (1) 18" (1) 18" MOUNT TO TOP OF MENUBOARD. SINGLE OUTLET REQUIRED. INSTALLED BY G.C.
30	COUNTER ENTRANCE	MARLITE / G.C.	DAI/G.C.	1	SELF-CLOSING, PREFRAMED & PREFINISHED BY MARLITE OR SEE BACK-UP SHEETS FOR CONSTRUCTION SPECS. INSTALLED BY G.C.
31	BACK COUNTER W/ HAND SINK	DUKE MANUFACTURING	DAI	1	(1) 24" (1) 36" (1) 48" (1) 60" (1) 72" LENGTH. STAINLESS STEEL TOP. IRISH MAPLE LAMINATE FINISH. INSTALLED BY G.C.
32	BACK COUNTER	DUKE MANUFACTURING	DAI	1	(1) 24" (1) 36" (1) 48" (1) 60" (1) 72" LENGTH. STAINLESS STEEL TOP. IRISH MAPLE LAMINATE FINISH. INSTALLED BY G.C.
33	REFRIGERATED BACK COUNTER	DUKE MANUFACTURING	DAI	1	48" LENGTH. BACK COUNTER WITH UNDER-COUNTER REFRIGERATOR. STAINLESS STEEL TOP. IRISH MAPLE LAMINATE FINISH. INSTALLED BY G.C.
34	RAPID COOK OVEN	TURBOCHIEF TECHNOLOGIES, INC.	DAI	1	MICROWAVE/CONVECTION OVEN. NAMEPLATE RATING - 30 AMP @ 208/240 VAC. 60 HZ. 1 PHASE. NEMA 6-30 PLUG.
<b>BACKROOM AREA</b>					
36	SINK	DUKE MANUFACTURING	DAI	1	(1) COMPARTMENT(S) (1) DRAINBOARD(S). (1) 18" (1) 24" DRAINBOARD SIZE. INSTALLED BY G.C. ULS APPROVED.
37	MOP SINK	LOCALLY SOURCED	G.C.	1	FLOOR LEVEL SINK. 2' X 2' (PREFERRED). ACQUIRE LOCALLY. INSTALLED BY G.C.
38	HOT WATER TANK	LOCALLY SOURCED	G.C.	1	ACQUIRE LOCALLY. INSTALLED BY G.C.
39	S.S. WORKTABLE	DUKE MANUFACTURING	DAI	1	(1) 24" (1) 36" (1) 48" (1) 60" (1) 72" (1) 84" (1) 96" (1) 108" (1) 120" X 30". (1) 1/2" GALVANIZED UNDERSHELF (1) WITHOUT UNDERSHELF. X
40	WALL SHELF	INTER METRO	DAI	3	SUPER ERECTA BRITE. EPOXY COATED. WALL MOUNTED SHELVES. AVAILABLE IN VARIOUS SIZES. INSTALLED BY G.C.
41	VEGETABLE SINK	DUKE MANUFACTURING	DAI	1	(1) COMPARTMENT(S) (1) DRAINBOARD(S). (1) 18" (1) 24" DRAINBOARD SIZE. INSTALLED BY G.C. ULS APPROVED.
42	HAND SINK	DUKE MANUFACTURING / LOCAL	DAI/G.C.	1	WALL MOUNTED. 10" X 14" X 6". OR SEE OWNER FOR SPECS. SUBJECT TO HEALTH CODE APPROVAL.
43	CLEANING PRODUCT RACK	SSDC	DAI	1	DISPENSING STATION FOR CLEANING PRODUCTS.
45	NEVCO EASY-SLICER	NEVCO, INC.	DAI	1	MANUAL SLICER MOUNTED ON STAINLESS STEEL TABLE TOP. NSF APPROVED.
46	REFRIGERATOR	LOCKWOOD	DAI	1	DOOR WALK-IN REFRIG. NSF APPROVED.
47	REFRIGERATOR	NORLAKE	DAI	1	(1) 36" X 6' (1) 36" X 8' (1) 36" X 6' (1) 35" X 6' (1) 4' X 6' (1) 3' DOOR (1) 2' DOOR (1) 1' DOOR (1) OTHER SELF-EVAPORATING. DIRECT WIRED. INSTALLED BY G.C. NSF APPROVED.
48	FREEZER	NORLAKE	DAI	1	(1) 36" X 6' (1) 36" X 8' (1) 36" X 6' (1) 35" X 6' (1) 4' X 6' (1) 3' DOOR (1) 2' DOOR (1) 1' DOOR (1) OTHER SELF-EVAPORATING. DIRECT WIRED. INSTALLED BY G.C. NSF APPROVED.
49	STORAGE UNITS	INTER METRO	DAI	4	(1) 2' X 48" (1) 18" X 42" (1) 21" X 36" (1) 24" X 48". SUPER ERECTA BRITE.
50	SODA STORAGE	COKE	LOCAL BOTTLER	1	SEE BOTTLER FOR SPECS. INSTALLED BY BOTTLER.
51	STEREO SYSTEM	DMX MUSIC	LOCAL	1	(1) SIMON BEXON 508-634-0714 RECEIVER AND AMPLIFIER WITH THREE SPEAKERS MOUNTED AND PROFESSIONALLY WIRED IN CEILING.



FURNITURE PLAN  
1/4" = 1'-0"



LAYOUT PLAN  
1/4" = 1'-0"



**FIRE RESISTANCE TABLE**  
2003 INTERNATIONAL BUILDING CODE

**USE GROUP "A-2"**  
ASSEMBLY USES, INTENDED FOR FOOD AND/OR DRINK CONSUMPTION INCLUDING, BUT NOT LIMITED TO: BANQUET HALLS, NIGHT CLUBS, RESTAURANTS, TAVERNS AND BARS.

**GENERAL NOTES**

- ALL HANDICAPPED FIXTURES SHALL MEET ADA REQUIREMENTS:  
GRAB BARS - 36" OFF FINISHED FLOOR  
TOILET PAPER HOLDER 19" MINIMUM TO CENTER OF ROLLER  
CENTER LINE OF PAPER TOWEL DISPENSER  
TOWEL SIDE REACH 54"  
LAVATORY - 29" MIN. TOP OF LAVATORY  
WATER CLOSET - 19" HEIGHT MAXIMUM  
MIRROR - 40" TO BOTTOM OF MIRROR
- PROVIDE ADA HANDICAP MEN'S AND WOMEN'S REST ROOM SIGNS 6" X 9" WITH PICTOGRAM & BRAILLE W/ RAISED WHITE LETTERS ON GRADE 2 BLUE PLASTIC. TWO SIDED ADHESIVE TAPE MOUNTED. MOUNT SIGN ALONG SIDE OF DOOR ABOVE LATCH SIDE OF DOOR. @48" - 60" ABOVE FLOOR. SIGN SHALL COMPLY TO ANSI 703.2 SECTION 1110.1 CODE.

**NOTE:**  
THIS DRAWING IS FURNISHED BY DOCTORS ASSOCIATES INC. (DAI) DBA SUBWAY. RECIPIENT MUST DETERMINE IF THIS DRAWING MUST BE SUBMITTED TO A LICENSED ARCHITECT OR SIMILAR PROFESSIONAL UNDER FEDERAL, STATE OR LOCAL LAW. ANY CHANGES MUST BE APPROVED BY DAI.

DO NOT SCALE DRAWING. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCY IN DIMENSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF DAI'S AREA DEVELOPMENT AGENT OR DESIGNATED FIELD REPRESENTATIVE.

THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL MAKE HIS OWN INSPECTIONS AND MEASUREMENTS. DAI AND SUBWAY SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF DIMENSIONS AND FOR ERRORS AND OMISSIONS IN THE DRAWINGS IF WRITTEN CONFIRMATION HAD NOT BEEN RECEIVED BY DAI'S STORE DESIGN DEPARTMENT.

THIS DRAWING AND THE INFORMATIONAL CONTENT HEREOF IS THE CONFIDENTIAL PROPERTY OF SUBWAY AND DAI AND IS PROVIDED SOLELY FOR THE USE OF AUTHORIZED FRANCHISEES. THEIR AGENTS AND CONTRACTORS. RECIPIENT AGREES NOT TO REPRODUCE, COPY, USE OR TRANSMIT THIS DRAWING AND/OR ITS INFORMATIONAL CONTENT, IN WHOLE OR IN PART, OR ALLOW SUCH ACTION BY OTHERS FOR ANY PURPOSE, EXCEPT WITH THE WRITTEN PERMISSION OF DAI ACTING FOR SUBWAY. RECIPIENT FURTHER AGREES TO SURRENDER THIS DRAWING AND ANY PERMITTED COPIES HEREOF UPON DEMAND.

STORE MUST BE CONSTRUCTED AS DESIGNED IN THESE FLOOR PLANS SUBJECT TO FEDERAL, STATE AND LOCAL LAWS. RECIPIENT IS RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL LAWS. IF MODIFICATIONS ARE NECESSARY, PLEASE CONTACT DAI'S DESIGN DEPARTMENT FOR WRITTEN APPROVAL OF THE REQUIRED CHANGES.

**GENERAL NOTES:**

- CEILING HEIGHT IS 17'-9" (WILL INSTALL DROP CEILING TO 10'-0" HGT.)
- ELECTRICAL OUTLET HEIGHTS MEASURED TO BOTTOM OF BOX.
- ONE ELECTRICAL JUNCTION BOX TO BE LOCATED IN CEILING ABOVE EACH WINDOW.
- STORE DESIGNED WITH CONTOUR SEATING. SHOWN ON PLAN AS SINGLES NOT GROUPS.
- CUNO MODEL SW3-EL-1H WATER FILTRATION SYSTEM IS REQUIRED IN ALL NEW STORES THAT DISPENSE BEVERAGES IN CANADA. THE CUNO FRESH LEGO REMAINS OPTIONAL. THE RECOMMENDED PLACEMENT FOR INSTALLATION IS REMOTE MOUNTING ONTO THE BACKROOM BEVERAGE SYRUP RACK OR MOUNTING ONTO BACKROOM WALL. OPTIONAL INSTALLATION MOUNTING INSIDE THE FRONT BEVERAGE COUNTER WHERE SPACE LIMITATIONS OCCUR. IN AREAS WHERE CHLORAMINE IS IN USE BY THE LOCAL MUNICIPALITY THE CUNO MODEL CFSRC CANISTER IS REQUIRED TO BE INSTALLED IN ADDITION TO THE STANDARD SW3-EL-1H SYSTEM. REQUIRED: 1/2" INCOMING WATER LINE FEED WITH 1/2" BALL VALVE SHUTOFF AND 1/2" FPT CONNECTION. MINIMUM 110 VOLT, 20 AMP ELECTRICAL SERVICE TO SUPPORT THE CARBONATOR AND WATER BOOSTER (MUST BE DEDICATED CIRCUIT).
- PROMOTIONAL FLOOR STAND (MFR. TRANS WORLD) REQUIRED IN CUSTOMER AREA AT POINT OF ORDER (PREFERRED PLACEMENT), 14 1/2" X 10" BASE, 54" OVERALL HEIGHT.
- EXIT LIGHTS INSTALLED BY G.C. PER LOCAL CODE.
- EMERGENCY LIGHTS INSTALLED BY G.C. PER LOCAL CODE.
- EXTINGUISHERS, SMOKE AND FIRE DETECTION SYSTEMS INSTALLED BY G.C. PER LOCAL CODE.
- LABOR & MATERIAL SUPPLIED BY G.C. UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS TO BE VERIFIED BY G.C. ON SITE.
- DECOR SPECIFICATIONS ARE TO BE SUBWAY'S "TUSCAN" SCHEME.

FRANCHISEE  
GASPARICH / TOLMER  
SUBWAY  
571-575 CLAIRTON BOULEVARD  
PITTSBURGH, PA 15236  
412-973-1776

TENANT SPACE  
930 PENN AVENUE  
PITTSBURGH, PENNSYLVANIA 15222

NOTE: THE BUILDING IS PROTECTED BY AN  
AUTOMATIC SPRINKLER SYSTEM.

©2005 DOCTORS ASSOCIATES, INC.	
FRANCHISEE: GASPARICH / TOLMER	WORLD HEADQUARTERS 325 BIC DRIVE MILFORD, CT 06460 (203) 877-4281 (800) 888-4848
DESIGNED BY: PAUL TORELLO	DATE: _____
STORE ADDRESS: 930 PENN AVE. PITTSBURGH, PA	NO. 1 OF 6
DRAWN BY: P.T.	REVISIONS BY DATE
REVIEWED BY: _____	BY DATE
SCALE: 1/4" = 1'	

**MARK FICKLEY, RA-RLA**  
ARCHITECTURE • LANDSCAPE ARCHITECTURE • PLANNING  
308 OAKWOOD COURT • SUITE 100 • JEFFERSON HILLS, PENNSYLVANIA 15025  
PHONE: (412) 956-1493 • e-mail: mrfickley@comcast.net

**Subway - Penn Avenue**  
930 PENN AVENUE  
PITTSBURGH, PENNSYLVANIA 15222  
FOR  
**GASPARICH / TOLMER**  
COPYRIGHT 2005

DATE ISSUED:  
10-10-05

JOB NO.  
0532

REVISIONS  
2/3/06 5/20/06  
3/17/06

SHEET NO.  
**1** OF 6



**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:  
 Treasurer, City of Pittsburgh.

**ADDRESS OF PROPERTY:**

3340 Liberty Ave  
Pitts PA 15201

**OWNER:**

NAME: Collier Development  
 ADDRESS: 5020 Thoms Run Rd  
Oakdale PA 15071  
 PHONE: 412-221-3435  
 EMAIL: Jack@151.NET.CO

STAFF USE ONLY:

DATE RECEIVED: \_\_\_\_\_  
 LOT AND BLOCK NUMBER: \_\_\_\_\_  
 WARD: \_\_\_\_\_  
 FEE PAID: \_\_\_\_\_

**DISTRICT:**

6TH WARD

**APPLICANT:**

NAME: Jack Cargnoni  
 ADDRESS: 5020 Thoms Run Rd  
Oakdale PA 15071  
 PHONE: 412-221-3435  
 EMAIL: Jack@151.NET.CO

**REQUIRED ATTACHMENTS:**

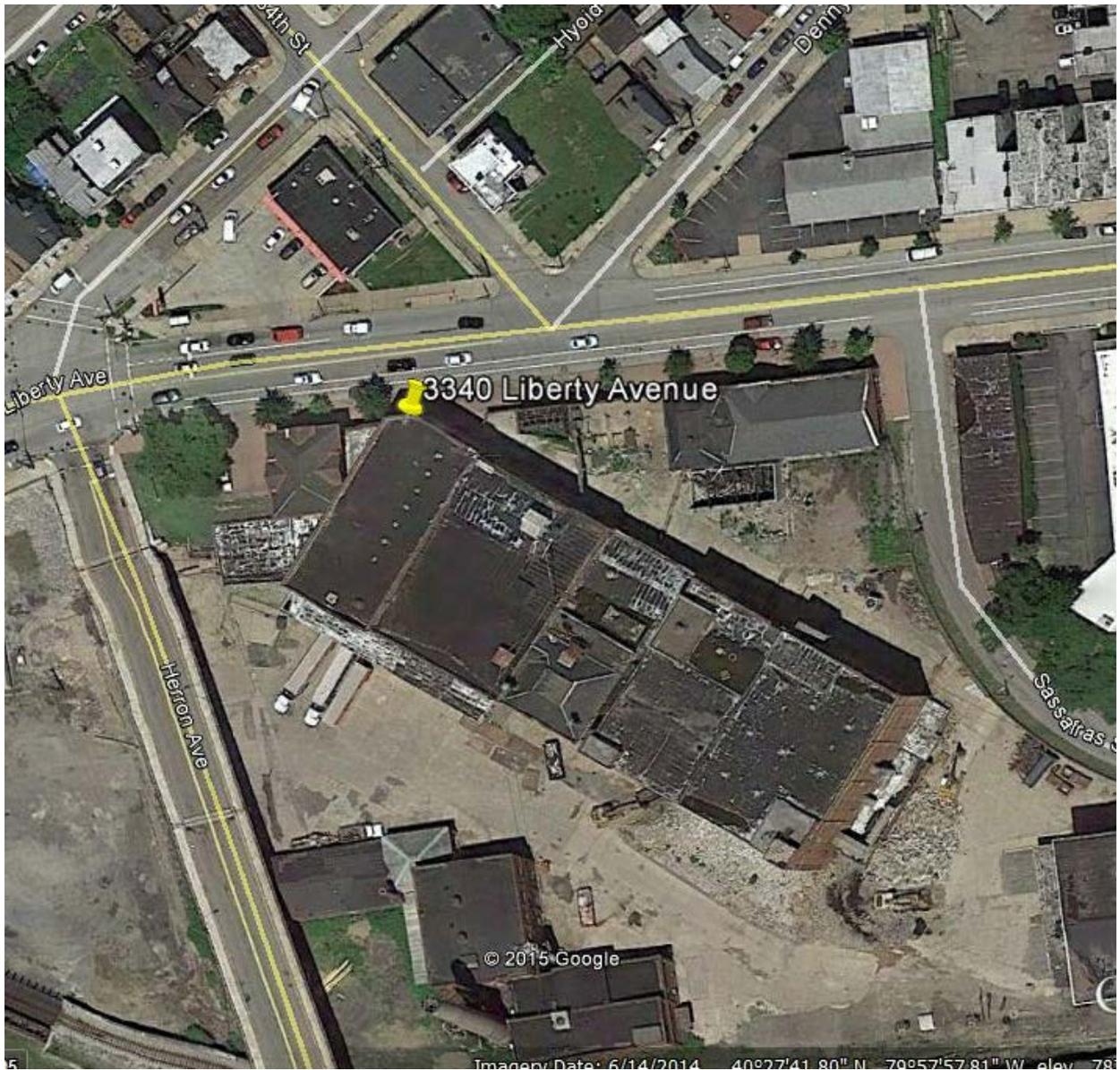
- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

REMOVAL OF WALL THAT CONCEALED OLD TRANSFORMER.  
Wall will NOT be rebuilt.

**SIGNATURES:**

OWNER: [Signature] DATE: 2/13/15  
 APPLICANT: Same DATE: 2/13/15



# **Demolition of Exterior Screen Wall at 3340 Liberty Avenue**

**February 13,2015**

Collier Development is requesting that the Historic Review Board grant its approval to Collier Development to remove the exterior screen wall that concealed an old transformer that was used when the Iron City brewery was producing beer(Drawings A-2,3,4,5,6,7,8). The reason for this request is that in December of 2014 it was found that three sets of tunnels ran from the old brewery basements along Liberty Avenue and crossed out underneath Liberty Avenue. It was discovered that these three tunnels have started collapsing. Upon this discovery Duquesne Light was immediately informed. They inspected the situation and rerouted power and removed the old transformer due to the fact that one of the tunnels ran directly under their transformer. Collier Development has an engineered designed plan to fill the tunnels to prevent and further collapse (Drawing A-1.). The tunnel roofs are twelve foot from the surface. The removal of the curtain wall will permit Collier Development to excavate and remediate the dangerous situation quickly and safely. The city has been contacted and Collier is working with all the proper branches to bring this issue to a quick resolve.



A-2

VIOLATORS WILL BE PROSECUTED

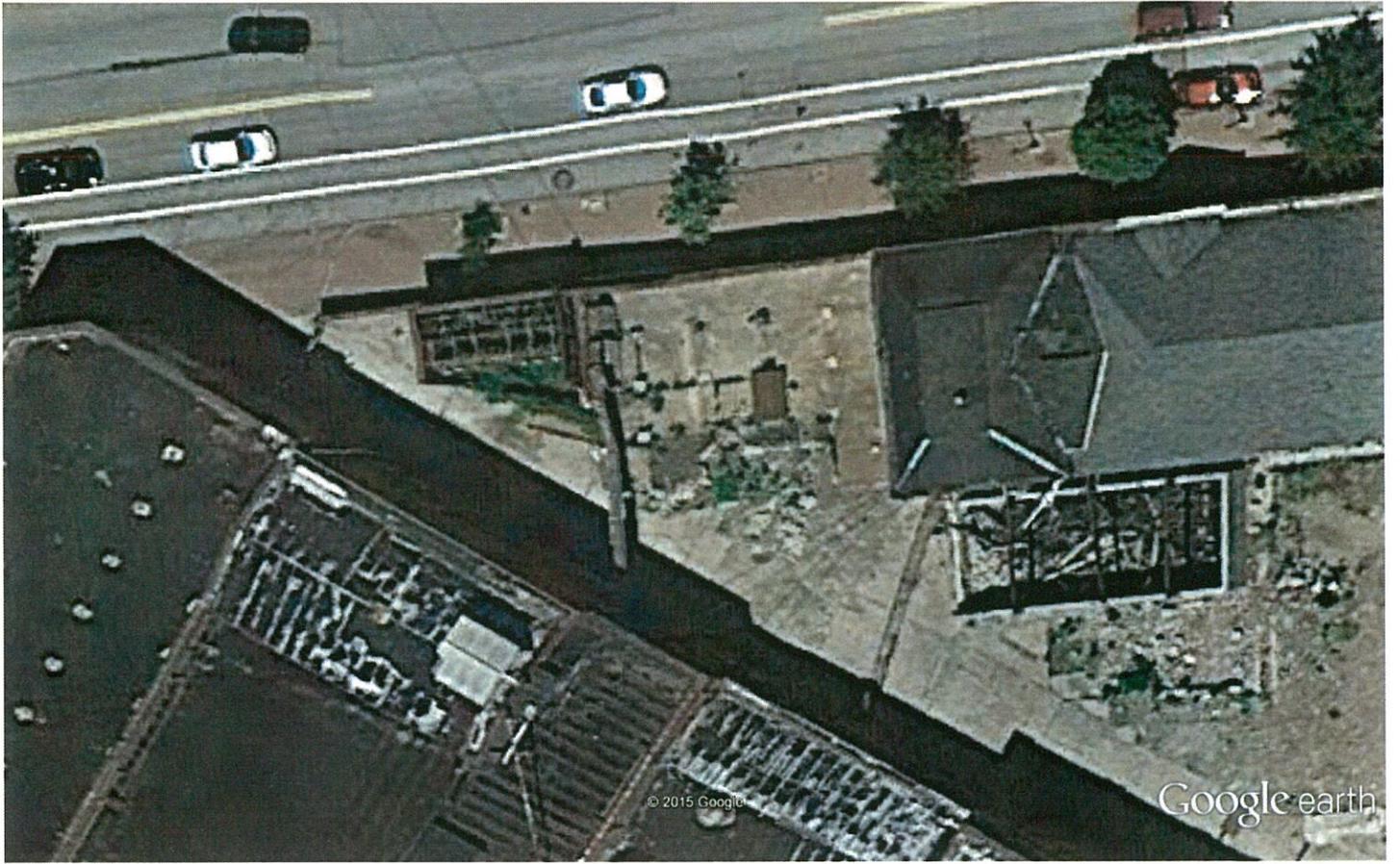
*NST*  
VIOLATORS WILL  
BE PROSECUTED

**NO  
TRESPASSING**  
VIOLATORS WILL  
BE PROSECUTED

A-3



A-4



Google earth



A-5

A-6



A-7



A-2





NO.	DESCRIPTION	BY	DATE

SHEET TITLE:  
**SHEET TITLE**

PROJECT DESCRIPTION:  
**Collier Dev Tunnel Repair**

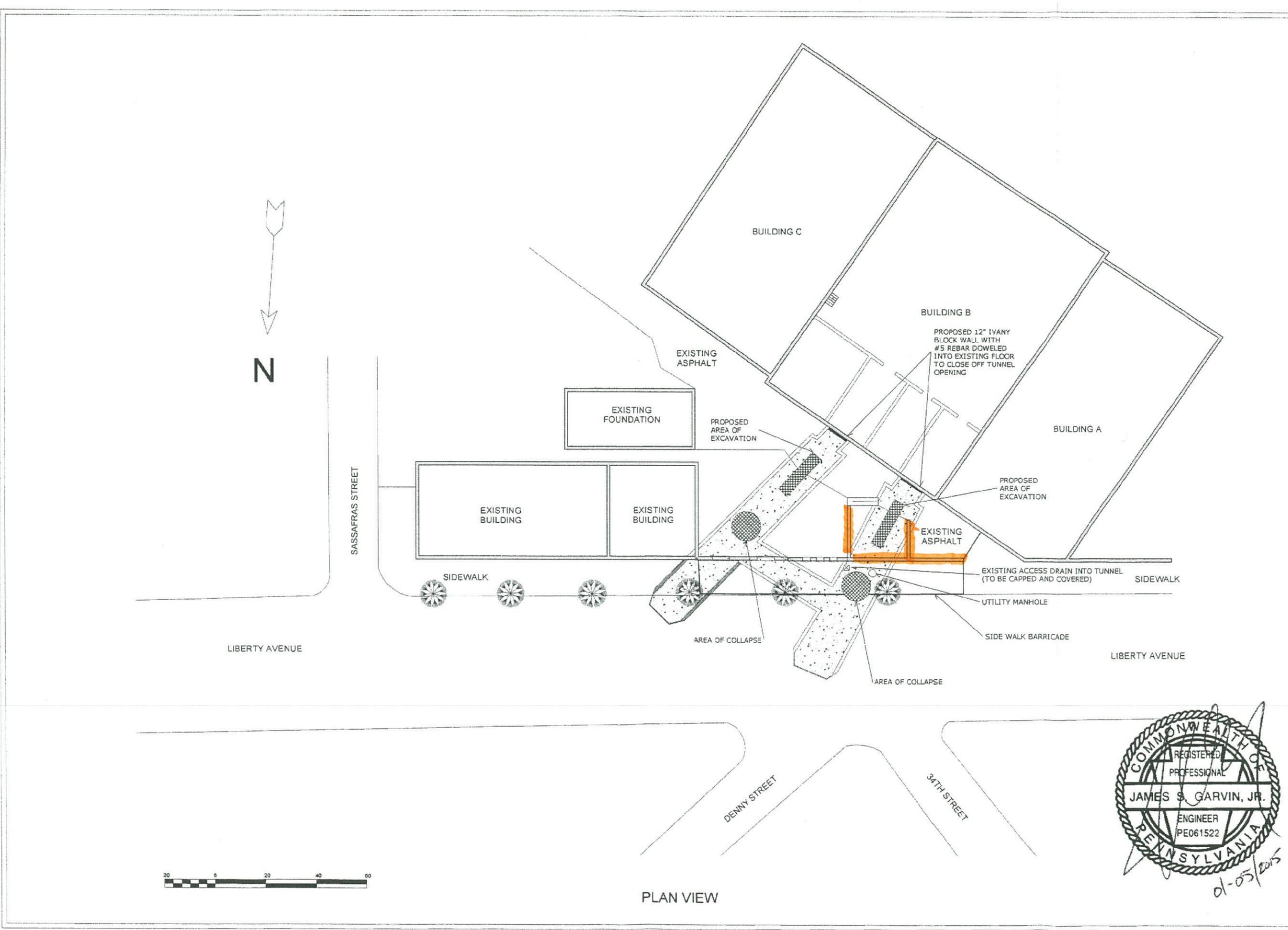
DRAWINGS PROVIDED BY:  
**GEMM**  
184 East Market Street  
Blue Bell, PA 15717  
724-459-5467

DATE:  
1/7/2015

SCALE:

SHEET:

**A-1**



PLAN VIEW

