



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room
July 1, 2015

AGENDA

(Vacant), *Chairman*
Ernie Hogan, *Acting Chairman*
Raymond Gastil, *Director of Planning*
Erik Harless, *Assistant Chief PLI, Secretary*
Joe Serrao
Carol Peterson
Matthew Falcone

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business

New Business

- Approval of the minutes from the June 2015 hearing
- Certificates of Appropriateness Report – June 2015
- Applications for a Certificate of Economic Hardship – None
- Design Guidelines Review and Adoption

➤ **1:00 PM HEARING & ACTION**

1. Allegheny West Historic District
911 Galveston Avenue
Delta Foundation of Pittsburgh, owners and applicants
After-the-fact storefront rehabilitation

2. Deutschtown Historic District
601 Middle Street
Jane Harter, owner
Bob Baumbach, applicant
Construction of new residence on vacant lot

3. East Carson Street Historic District
1021 E. Carson Street
Morgan Family Development Co, owner
Front Studio Architects, applicant
Façade renovations

4. East Carson Street Historic District
2134 E. Carson Street
Morgan Family Development Co, owner
Front Studio Architects, applicant
Façade renovations

5. Benedum Center—Individual Landmark
237 7th Street
Pittsburgh Cultural Trust, owner
MacLachlan, Cornelius & Filoni, applicant
Marquee renovations

6. Immanuel Church – Individual Landmark
810 Tripoli Street
Homestead Property Ventures, owners and applicant
After-the-fact glass block window installation

7. **Lowen-Shaffer House—Individual Landmark**
311 Lowenhill Street
Christine Simmons, owner and applicant
Replacement of roofing material

8. **Manchester Historic District**
1319 N. Franklin Street
David J Mistick, owner
Mistick Construction, applicant
Deck and fencing replacement

9. **Manchester Historic District**
1416 Sheffield Street
Jamie Dietz, owner
Bob Baumbach, applicant
Deck replacement

10. **Market Square Historic District**
2 S. Market Place
N&P Properties, owner,
Primanti Bros., applicant
Enclosure of sidewalk canopy

11. **Oakland Civic Center Historic District**
4215 Fifth Avenue
Oakland Fifth Ave Hotel Associates, owner and applicant
Construction of a hotel

12. **Penn-Liberty Historic District**
942 Penn Avenue
Sienna Mercato, LLC & Gemini Holdings, owners
Sipp and Tepe Architects LLC, applicant
Extension of existing exhaust fans

13. **Schenley Farms Historic District**
4255 Parkman Avenue
Barbara Brown, owner and applicant
Stabilization and refinishing of retaining wall

➤ **DEMOLITIONS**

Mexican War Streets Historic District
1224 Monterey Street
Richard Craig Worl, owner and applicant
After-the-fact demolition and proposed new construction

➤ **HISTORIC NOMINATIONS**

➤ **DIRECTOR'S REPORT**

➤ **ADJOURNMENT**

The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public. INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

Please contact Sarah Quinn with questions and comments: 412-255-2243
sarah.quinn@pittsburghpa.gov



Addendum to application for application for exterior work for 911 Galveston Ave, Pittsburgh PA 15233:

On our about 4/25/15 someone damaged the front of the building including breaking of the 2nd from the right glass pane. Presently there is plate glass that is not tempered or laminated. The Foundation will replace all of the glass with safety insulated glass panes.

Additionally the front will be sanded, primed and painted to match existing sandstone color. This includes the storefront and the area above it.

+ replacement of windows + doors on alley







Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

601 AVERY STREET
PITTSBURGH PA 15212

DISTRICT:

DEUPTSTOWN

OWNER:

NAME: JANE HARTER

ADDRESS: 605 MIDDLE ST.
PITTSBURGH PA 15212

PHONE: _____

EMAIL: _____

APPLICANT:

NAME: BOB BAUMBACH

ADDRESS: 900 MIDDLE ST.
PZH PA 15212

PHONE: 412.266.4425

EMAIL: bob.baumbach@comcast.net

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

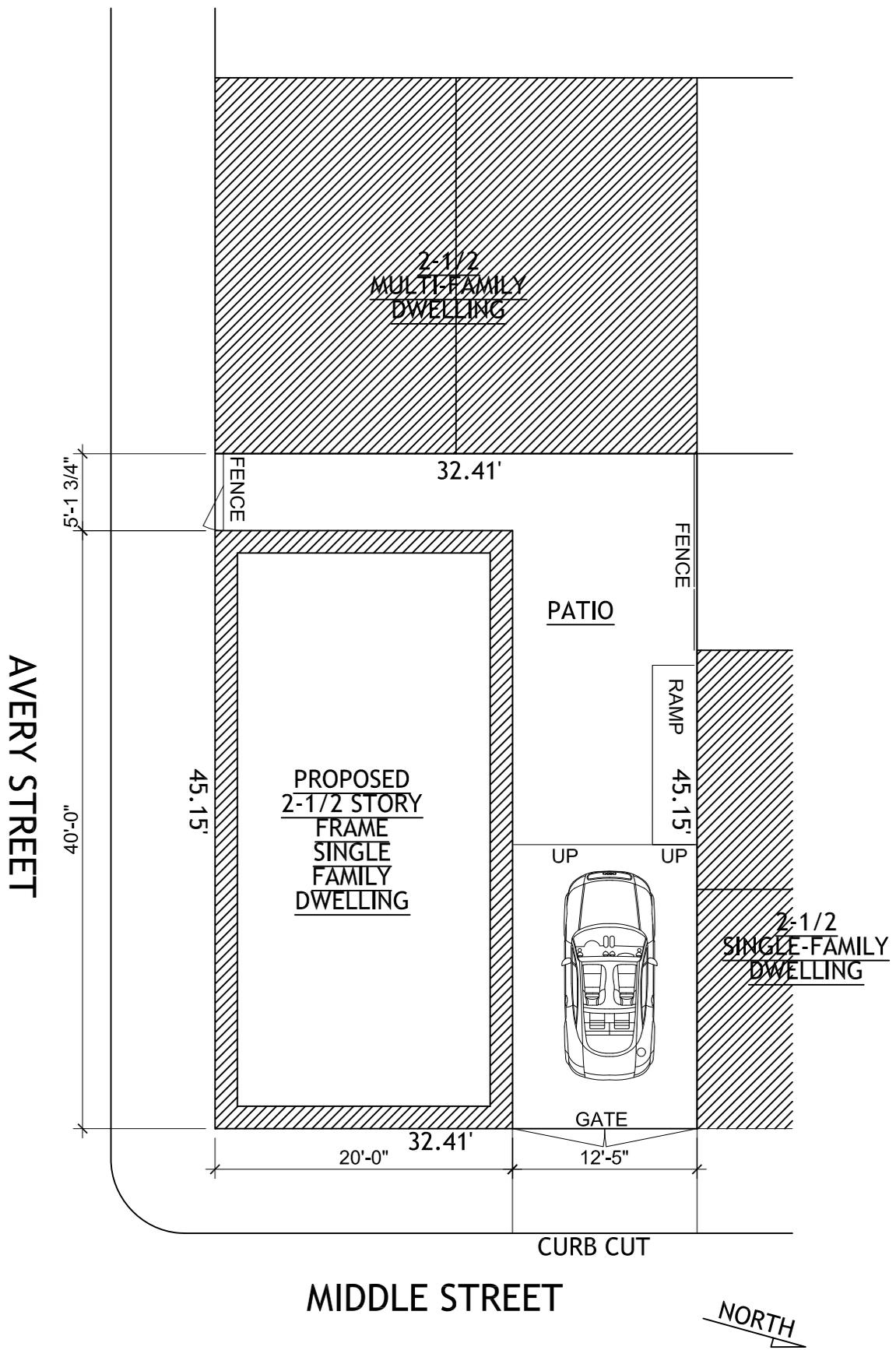
PROPOSED CONSTRUCTION OF NEW RESIDENCE, 20'x40', 2 1/2 STORY
FRAME WITH DECORATIVE IRON FENCE AND GATES.

SIGNATURES:

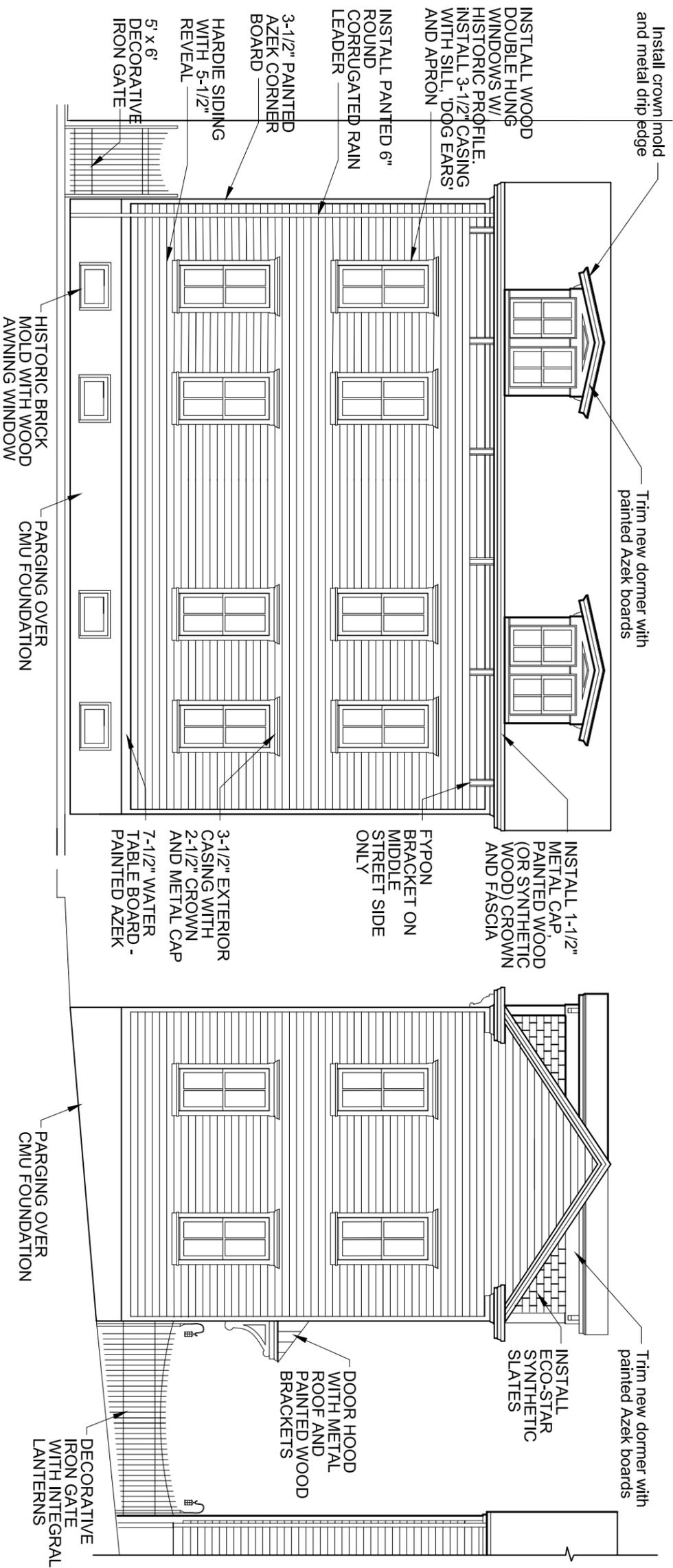
OWNER: _____ DATE: _____

APPLICANT: [Signature] DATE: 4/24/2015





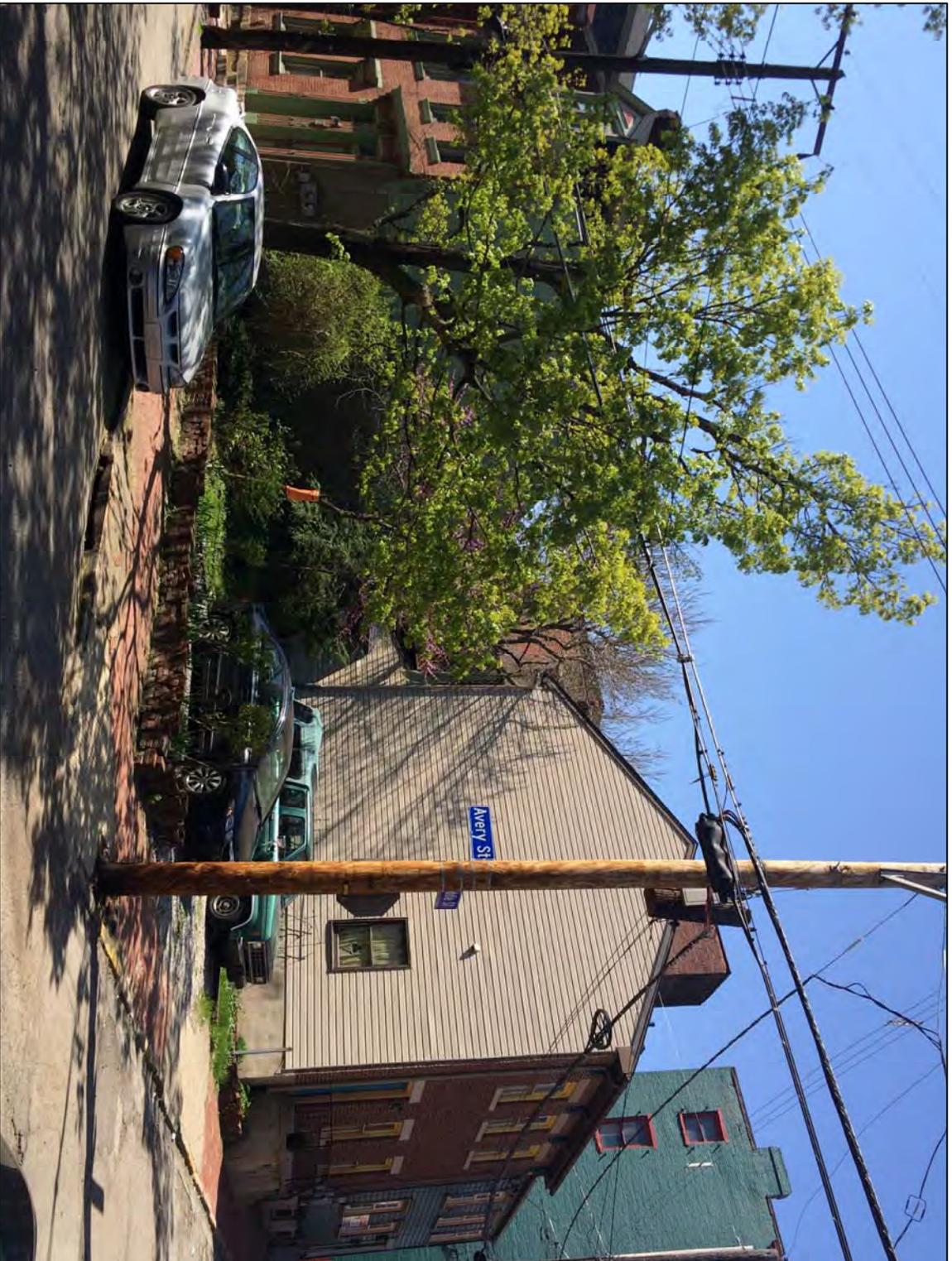
PLAN OF PROPERTY
 JANE HARTER
 601 MIDDLE STREET
 LOT AND BLOCK 24-N-222
 PITTSBURGH PA 15212
 APRIL 10, 2015
 SCALE: 1" = 10'



1 AVERY STREET ELEVATION
SCALE: 1/8"=1'-0"

2 MIDDLE STREET ELEVATION
SCALE: 1/8"=1'-0"

PROPOSED NEW RESIDENCE
JANE HARTER
601 MIDDLE STREET
Pittsburgh, PA 15212



PROPOSED NEW RESIDENCE
AT AVERY AND MIDDLE STREETS

JANE HARTER
601 MIDDLE STREET
Pittsburgh, PA 15212



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1021 E. CARSON STREET
 PITTSBURGH, PA 15203

OWNER:

NAME: MORGAN FAMILY DEVELOPMENT Co.
 ADDRESS: 6 PARKDA DR.
 MONROEVILLE, PA 15146
 PHONE: 412. 225. 0009
 EMAIL: MORGAN2K1@comcast.net

STAFF USE ONLY:

DATE RECEIVED: 6/11/15
 LOT AND BLOCK NUMBER: 3-G-134
 WARD: 17th.
 FEE PAID: ~~NO~~ YES

DISTRICT:

EAST CARSON STREET

APPLICANT:

NAME: FRONT STUDIO ARCHITECTS
 ADDRESS: 357 N. CRAIG STREET
 PITTSBURGH, PA 15217
 PHONE: 412. 682. 2121
 EMAIL: ben@frontstudio.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

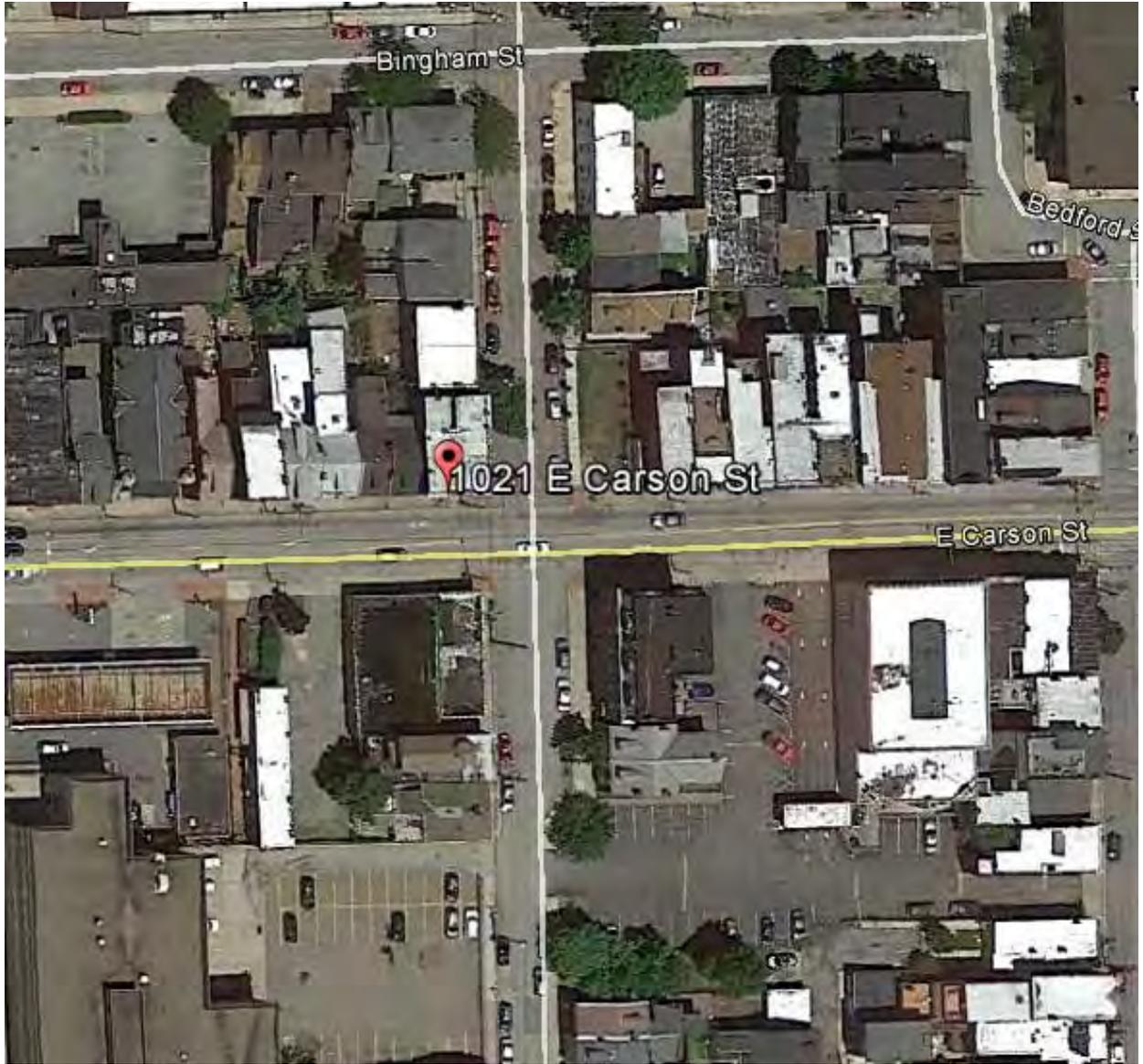
DETAILED DESCRIPTION OF PROPOSED PROJECT:

RESTORE DAMAGED HISTORICAL FACADE, ADDITION OF METAL JULIET BALCONIES
 & NEW FACADE LIGHTING

SIGNATURES:

OWNER: _____ DATE: _____

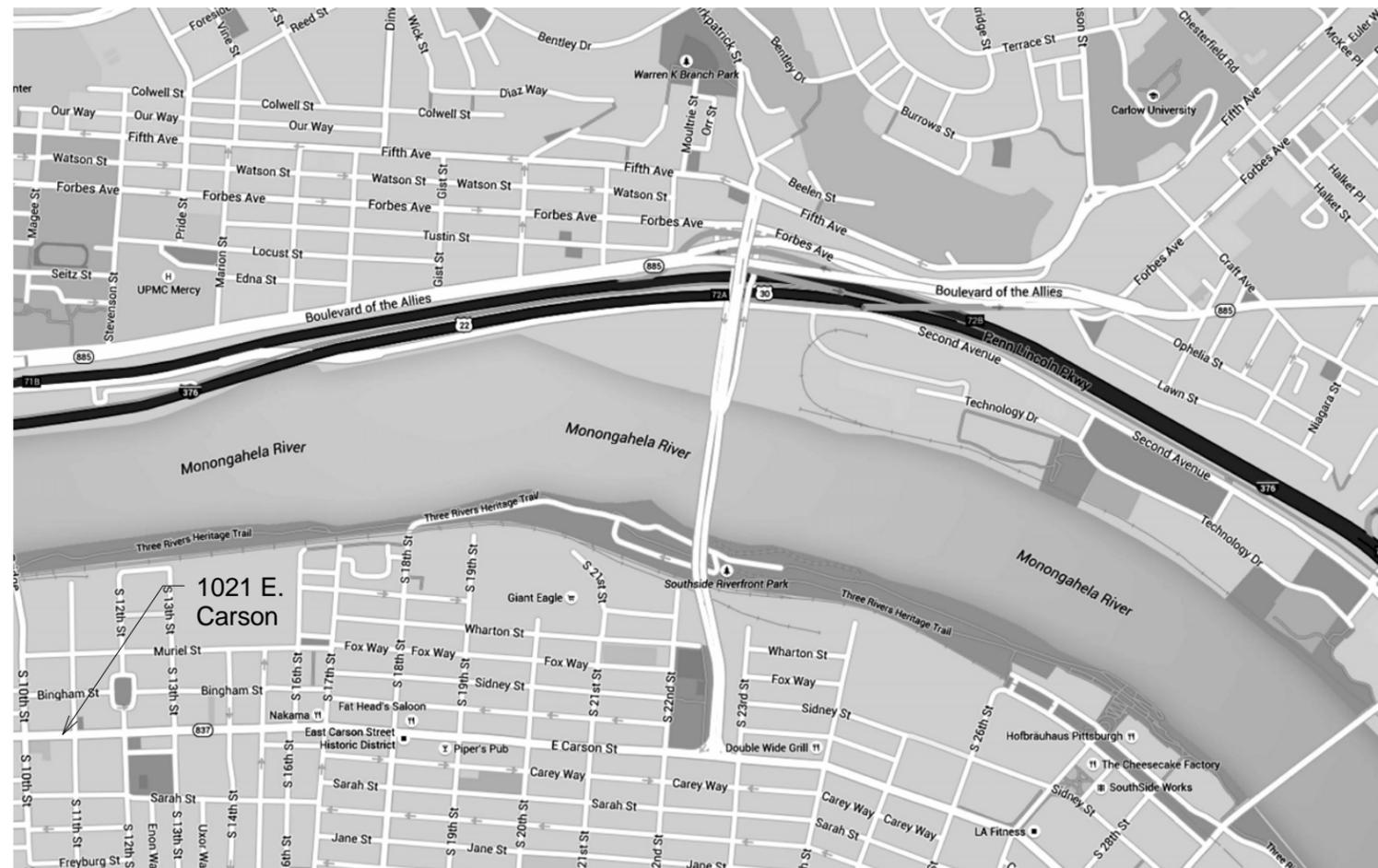
APPLICANT: Ben Sum _____ DATE: 6/9/2015



HISTORIC FACADE RESTORATION

1021 E. CARSON STREET,
PITTSBURGH, PENNSYLVANIA 15203

MORGAN FAMILY DEVELOPMENT CO., L.P.



FRONT STUDIO ARCHITECTS LLC
WWW.FRONTSTUDIO.COM
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NEW YORK NY 10013
T 212 334 6820 — F 212 334 6822
357 NORTH CRAIG ST
PITTSBURGH PA 15213
T 412 682 2121 — F 412 682 2151

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STUDIO

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1021 E. Carson Facade

DWG DATE 06/09/2015
PROJECT # 15-1400
DRAWN BY BLS
SCALE

6/18/2015 9:32:36 AM

A101

HRC GUIDELINES

D. Building Rehabilitation and Alteration

1. Masonry Exteriors: The exterior surfaces of most of the contributing buildings in the district are predominantly masonry (brick and stone), with stone or terra cotta details. If replacement of deteriorated or missing materials is necessary, the replacements should be new or recycled materials that match the appearance of the original as closely as possible (including these characteristics: color, texture, shape, size, placement, detailing, and type of joint). Masonry surfaces should be cleaned, if necessary, by the gentlest means possible (water with detergent, or a mild acid, with low-pressure water wash not to exceed 600 psi); sandblasting and other abrasive cleaning methods shall not be used (except in extraordinary circumstances). Repointing of masonry should be done with a mortar that matches the original as closely as possible in terms of lime and cement content (to avoid damaging the masonry; Portland cement mortars may damage older bricks), color, and type of joint (to match the appearance). Waterproof and water-repellant coatings should not be used on masonry unless there is actual water penetration through the masonry. Artificial sidings and stucco (or synthetic stucco) should not be applied over masonry, except on a case-by-case basis when the masonry has been damaged. Unpainted masonry and architectural metals should not be painted.

E. Storefronts

1. General guidelines: Original storefront materials and features should not be removed or destroyed, but should be retained and repaired, if possible. If it is impossible to repair them, they should be replaced with the same material or one that matches the original visually. Storefronts should be located within the original (or new) structural "frame" made up of the sidewalls and lintel that spans the storefront opening. The open commercial character of a storefront should be retained, regardless of the use of the building; the storefront should not be closed-up, but other interior devices to ensure privacy may be employed. A lintel, or cornice, should be maintained or provided above the storefront in order to separate it from the upper facade and to provide a signboard for the first-floor use.

F. New Construction

1. The general aim of the guidelines for new construction is to encourage the visual compatibility of new construction with the character and quality of the nineteenth- and early twentieth-century buildings that give the district its historic architectural significance and visual character. This does not require, although it also does not forbid, replication of the styles of the existing buildings in the district. The review of the design of a new structure will take into account the immediate context of the buildings that surround it, as well as the historic and architectural character of the district as a whole.

3. Scale, Massing, Rhythm, and Siting: The scale, massing, and rhythm of a new building and its individual elements (e.g., windows, doors, roof, and ornamentation) should be compatible with the forms found among the contributing buildings in the district. The ratio of wall surface to openings, and the proportions and direction of the door and window openings, should be consistent with those of the contributing buildings. Glass curtain walls and horizontal strip windows along the principal facades should be avoided, as well as large, flat wall surfaces unbroken by openings, setbacks, or moldings.

FRONT STUDIO ARCHITECTS LLC
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357 NORTH CRAIG ST
PITTSBURGH PA 15213
T 412 682 2121 — F 412 682 2151

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1021 E. Carson Facade

DWG DATE 06/09/2015
PROJECT # 15-1400
DRAWN BY BLS
SCALE

6/18/2015 9:32:36 AM

A102

GENERAL NOTES

1. Front Studio Architects, LLC will be referred to as the "Architect", Cooper-Siegel Library will be referred to as the "Owner", and TBD, General Contractor, will be referred to as the "Contractor" in these documents.
2. The Contractor is responsible for scheduling and obtaining all permits and inspections.
3. The Contractor is responsible for all safety requirements and the enforcement of these requirements.
4. The administration of this project shall be governed by the General Conditions for the Contract, AIA Form No. A-201, Latest Edition as amended by the Owner. Copies can be obtained from the Architect.
5. All work shall be performed in accordance with Federal, State and Local Municipal codes with jurisdiction over the work, including but not limited to the International Building Code 2009, the Americans with Disabilities Act, and the Pennsylvania Labor and Industry regulations. All Materials shall be installed in strict accordance with the manufacturer's recommendations.
6. The Contractor shall coordinate the work to comply with building management requirements regarding hours of operation, access for materials and labor, loud and/or quiet work periods, dust and fumes restrictions, and interruptions of any building services or systems including but not limited to power, security, water, fire alarm, telephone services and access to adjacent areas.
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12. The Contractor is required to perform a final cleaning of all new work and any affected adjacent areas, including but not limited to removal of all dirt, dust, smudges, paint drips, and splatters, scuffs and scrape marks which will be subject to a final punch list.

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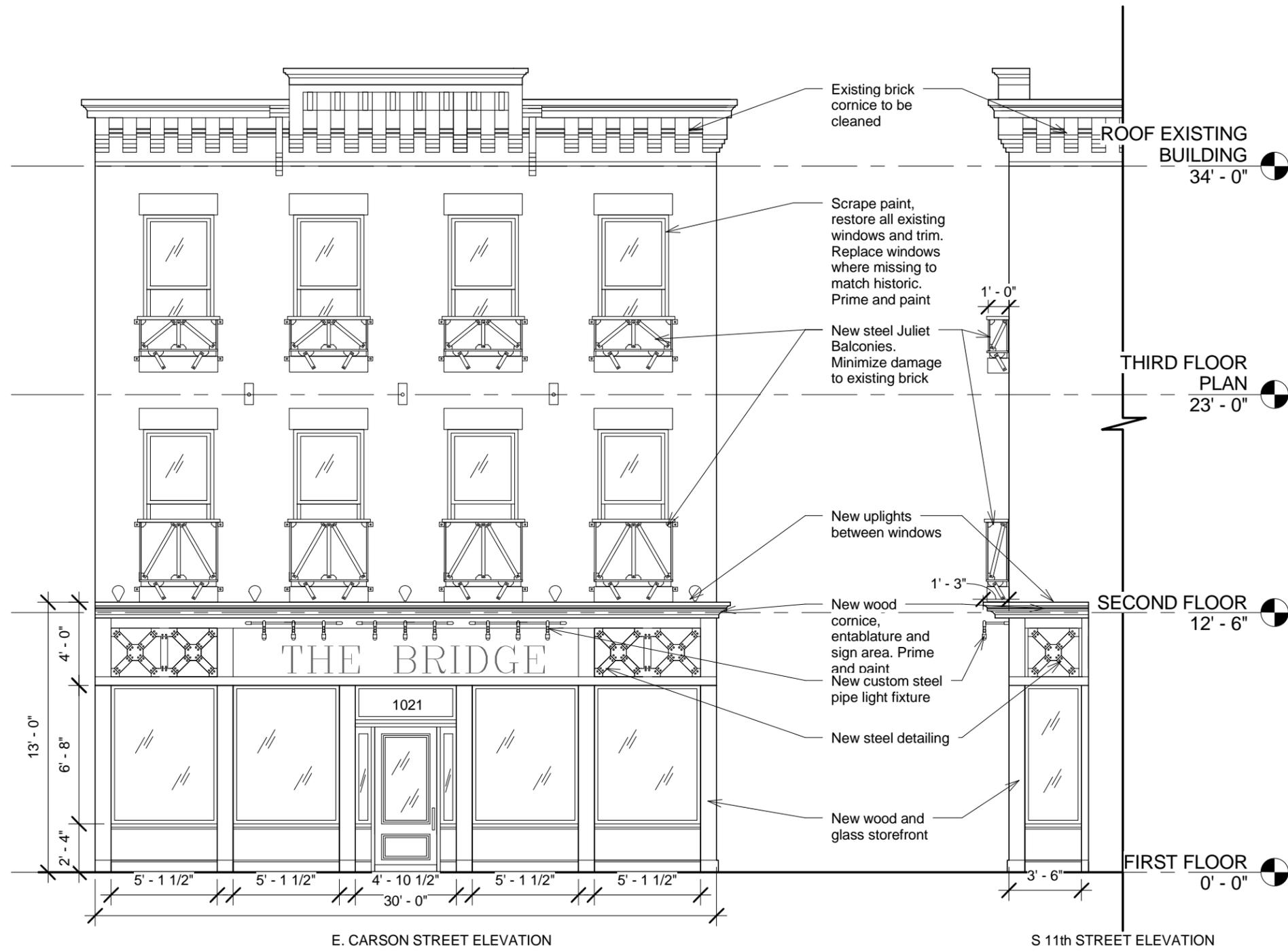
MORGAN FAMILY DEVELOPMENT CO., L.P.

1021 E. Carson Facade

DWG DATE 06/09/2015
PROJECT # 15-1400
DRAWN BY Author
SCALE

6/18/2015 9:32:36 AM

A103



1 Front and Side Elevations
3/16" = 1'-0"

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WWW.FRONTSTUDIO.COM
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NEW YORK NY 10013
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1021 E. Carson Facade

DWG DATE 06/09/2015
PROJECT # 15-1400
DRAWN BY Author
SCALE 3/16" = 1'-0"

6/18/2015 9:32:36 AM

A104



① Before and After Facade Rendering
 Perspective Not To Scale

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 NEW YORK NY 10013
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 357 NORTH CRAIG ST
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1021 E. Carson Facade

DWG DATE 06/09/2015
 PROJECT # 15-1400
 DRAWN BY Author
 SCALE 3/32" = 1'-0"

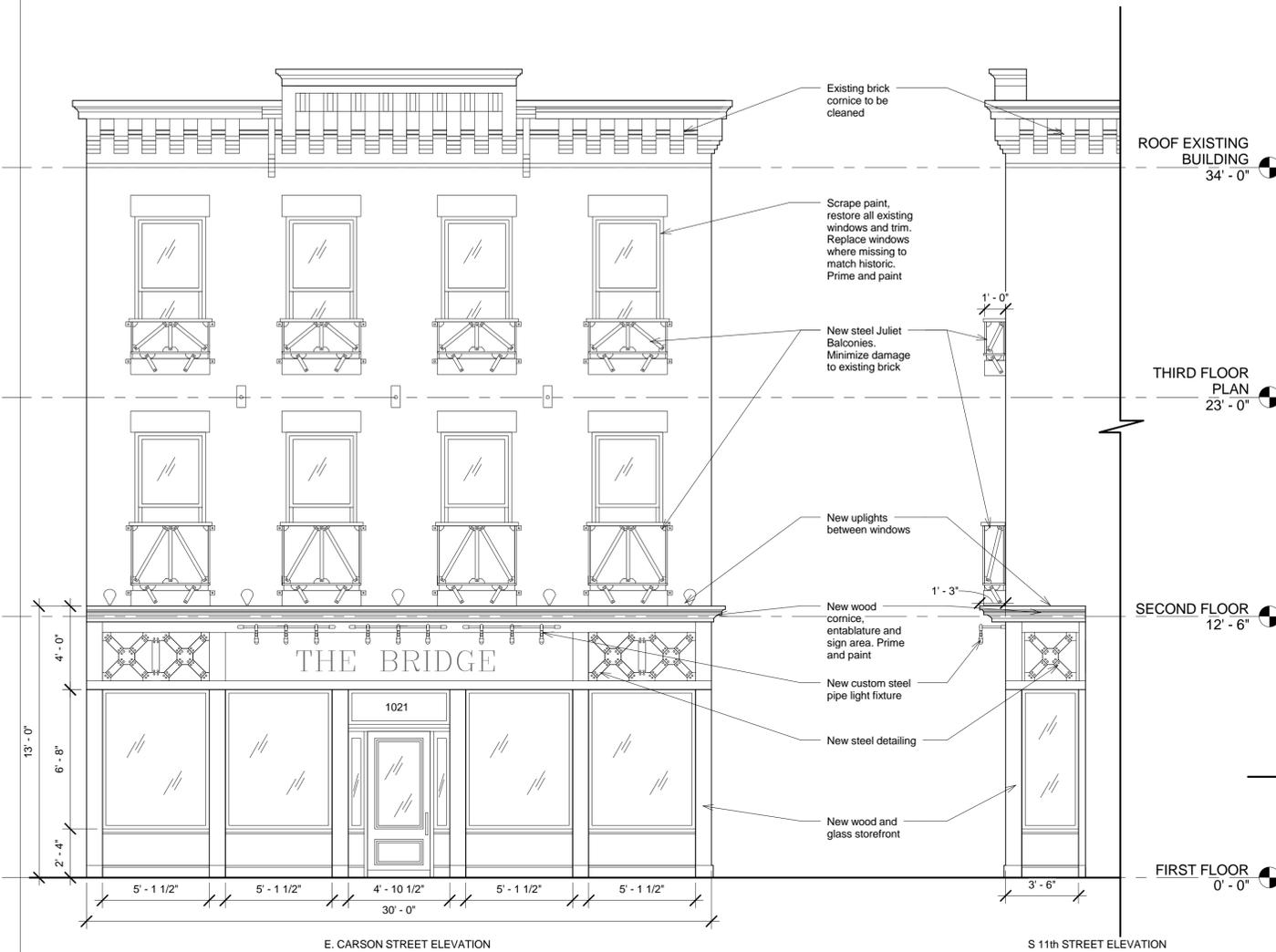
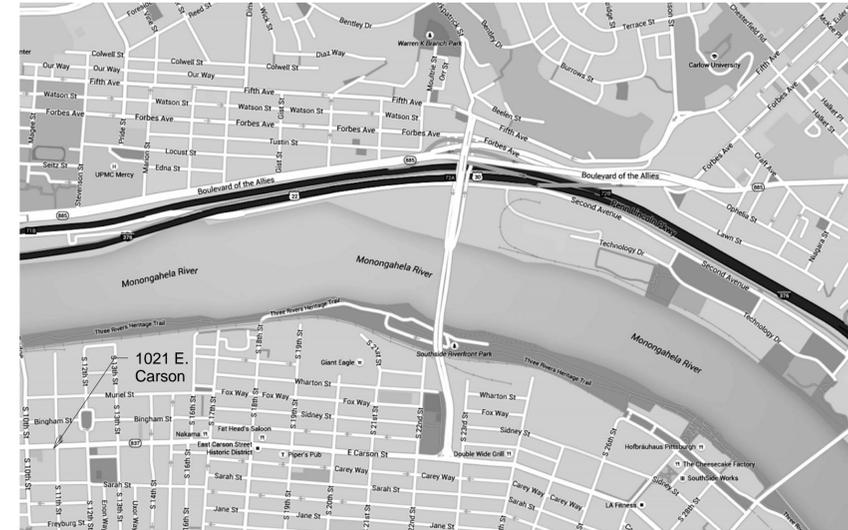
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A105

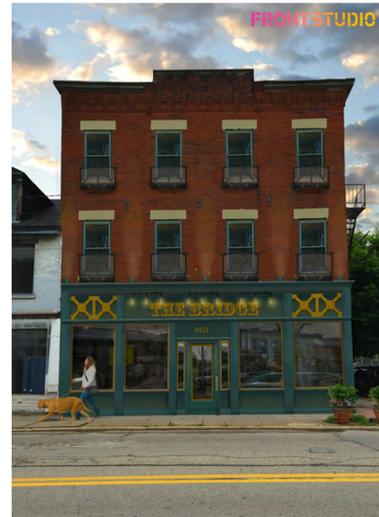
HISTORIC FACADE RESTORATION

1021 E. CARSON STREET,
PITTSBURGH, PENNSYLVANIA 15203

MORGAN FAMILY DEVELOPMENT CO., L.P.



1 Elevations
1/4" = 1'-0"



2 Before and After Rendering
Perspective Not To Scale

HRC GUIDELINES

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REVISIONS

No.	Description	Date
-----	-------------	------

FRONT STUDIO ARCHITECTS LLC
WWW.FRONTSTUDIO.COM
187 LARAVETTE ST. FL 6
NEW YORK NY 10013
T 212 334 6820 - F 212 334 6822
357 NORTH CRAIG ST.
PITTSBURGH PA 15213
T 412 682 2121 - F 412 682 2151

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STUDIO

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MORGAN FAMILY DEVELOPMENT CO., L.P.

1021 E. Carson Facade

Required Attachments

DWG DATE 5/26/2015
PROJECT # 15-1400
DRAWN BY BLS
SCALE As indicated



CS



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

2134 E. CARSON STREET
PITTSBURGH, PA 15203

OWNER:

NAME: MORGAN FAMILY DEVELOPMENT CO.
 ADDRESS: 6 PARKLEA DRIVE
MORRISVILLE, PA 15146
 PHONE: 412.225.0000
 EMAIL: MORGAN2K1@COMCAST.NET

STAFF USE ONLY:

DATE RECEIVED: 6/10/15
 LOT AND BLOCK NUMBER: 127K-44
 WARD: 16th
 FEE PAID: \$2000 40

DISTRICT:

EAST CARSON STREET

APPLICANT:

NAME: FRONT STUDIO ARCHITECTS
 ADDRESS: 357 N. CRAIG ST.
PITTSBURGH, PA 15213
 PHONE: 412.682.2121
 EMAIL: BEN@FRONTSTUDIO.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

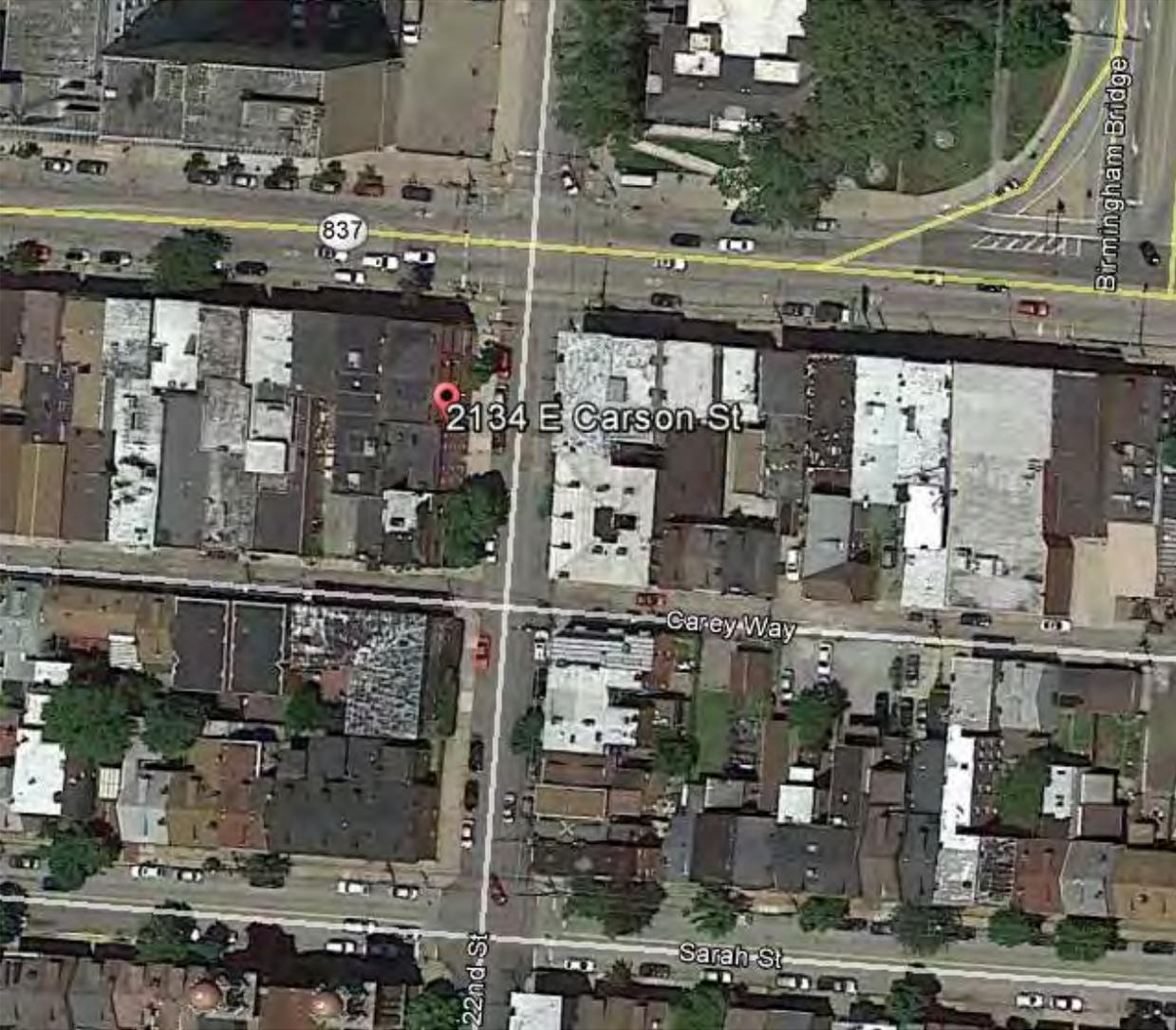
DETAILED DESCRIPTION OF PROPOSED PROJECT:

REMOVAL OF NON-HISTORIC SIGNAGE & RESTORATION OF HISTORIC
FAÇADE INCLUDING: MASONRY, WINDOWS, TRIM, METAL SCREENING, ADDITIONAL LIGHTING.

SIGNATURES:

OWNER: _____ DATE: _____

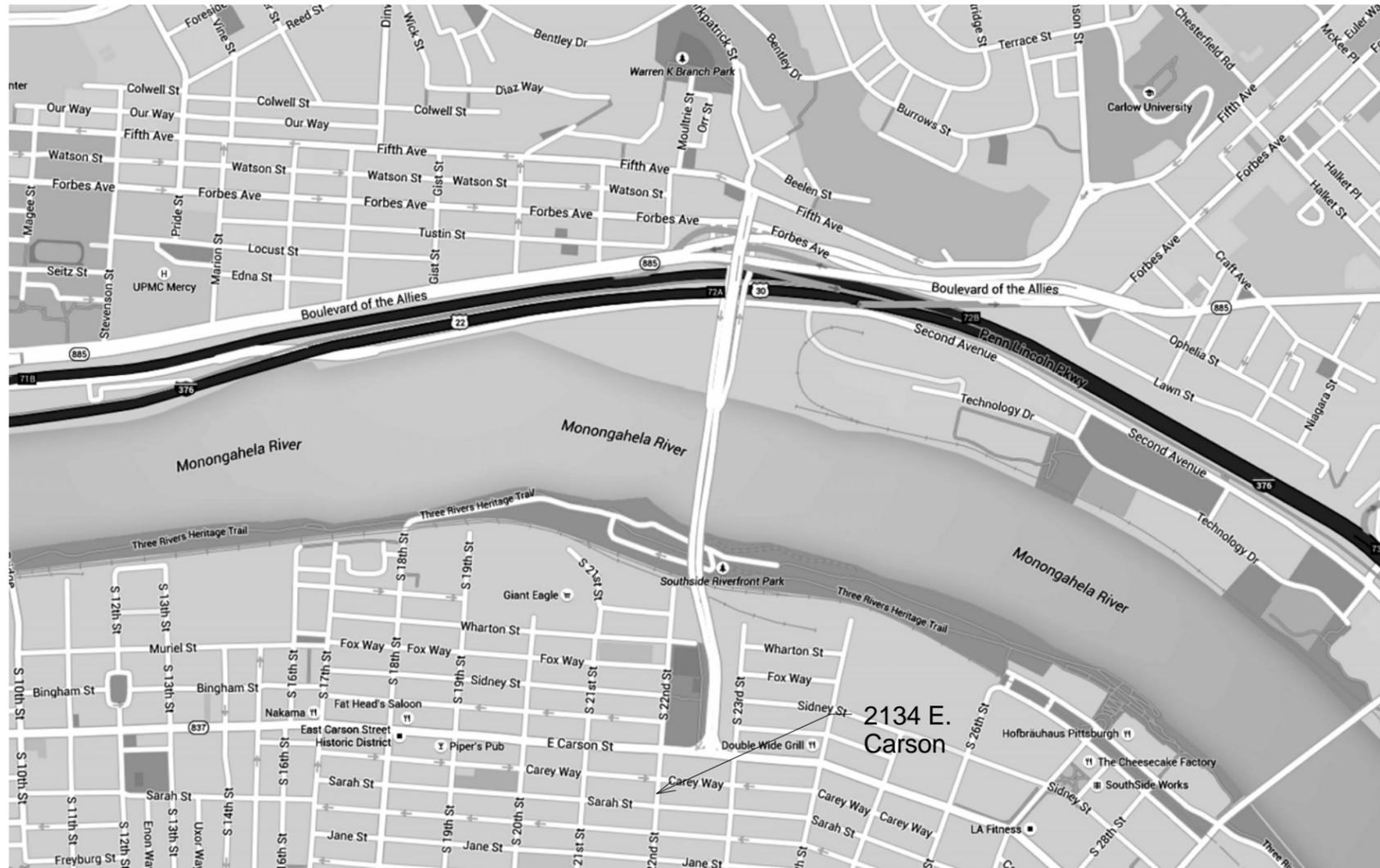
APPLICANT: Ben Jam _____ DATE: 6/9/2015



HISTORIC FACADE RESTORATION

2134 E. CARSON STREET,
PITTSBURGH, PENNSYLVANIA 15203

MORGAN FAMILY DEVELOPMENT CO., L.P.



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MORGAN FAMILY DEVELOPMENT CO., L.P.

2134 E. Carson Facade

DWG DATE 06/09/2015
PROJECT # 15-1900
DRAWN BY BLS
SCALE

6/18/2015 9:38:13 AM

A101

HRC GUIDELINES

D. Building Rehabilitation and Alteration

1. Masonry Exteriors: The exterior surfaces of most of the contributing buildings in the district are predominantly masonry (brick and stone), with stone or terra cotta details. If replacement of deteriorated or missing materials is necessary, the replacements should be new or recycled materials that match the appearance of the original as closely as possible (including these characteristics: color, texture, shape, size, placement, detailing, and type of joint). Masonry surfaces should be cleaned, if necessary, by the gentlest means possible (water with detergent, or a mild acid, with low-pressure water wash not to exceed 600 psi); sandblasting and other abrasive cleaning methods shall not be used (except in extraordinary circumstances). Repointing of masonry should be done with a mortar that matches the original as closely as possible in terms of lime and cement content (to avoid damaging the masonry; Portland cement mortars may damage older bricks), color, and type of joint (to match the appearance). Waterproof and water-repellant coatings should not be used on masonry unless there is actual water penetration through the masonry. Artificial sidings and stucco (or synthetic stucco) should not be applied over masonry, except on a case-by-case basis when the masonry has been damaged. Unpainted masonry and architectural metals should not be painted.

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5. Ornamentation: Significant architectural and ornamental features should be retained and maintained

7. Painting: The HRC urges the use of original color schemes in the painting of wood and metal elements, but will not ordinarily prescribe paint colors. Unpainted masonry and architectural metals should not be painted.

GENERAL NOTES

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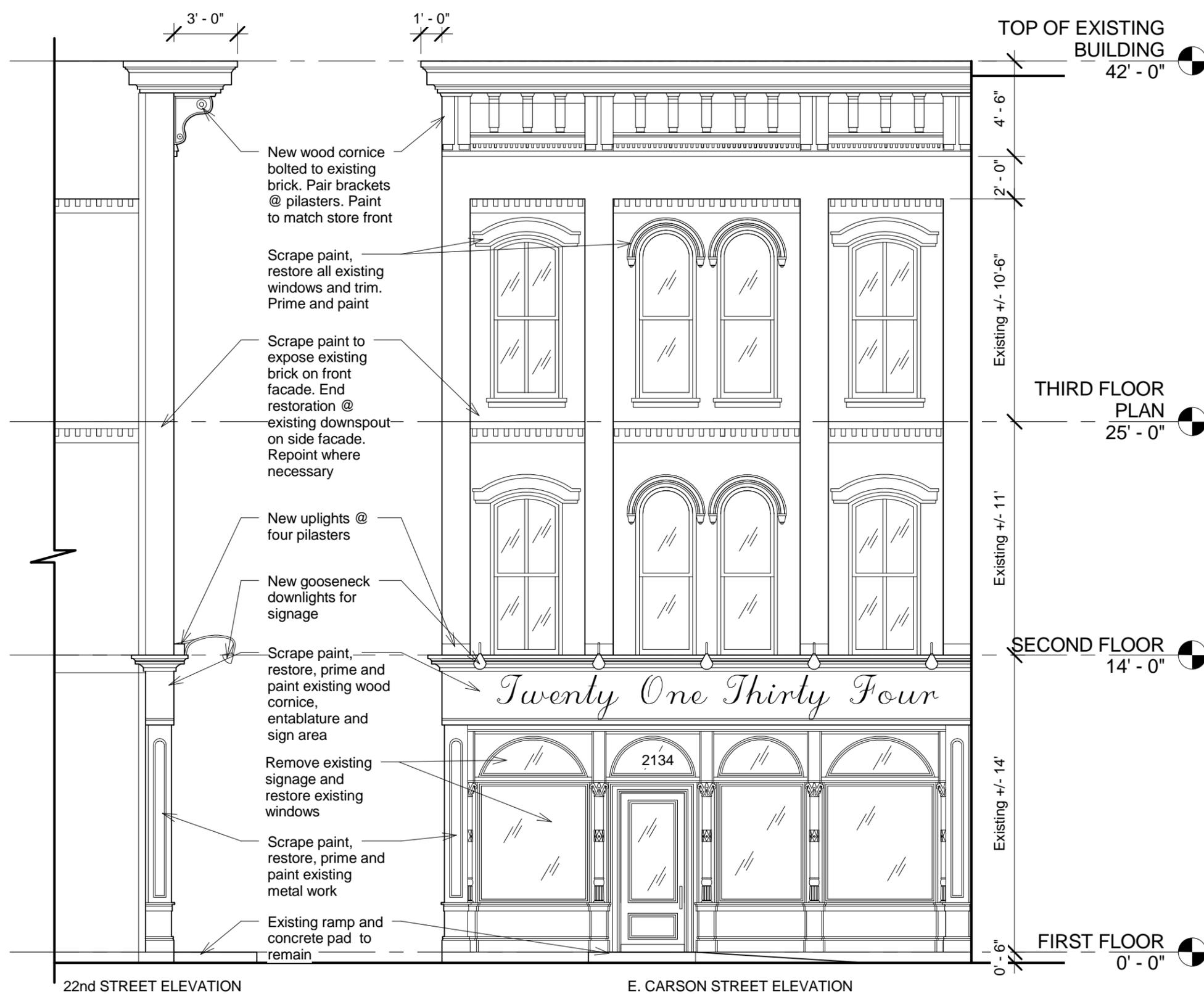
MORGAN FAMILY DEVELOPMENT CO., L.P.

2134 E. Carson Facade

DWG DATE 06/09/2015
PROJECT # 15-1900
DRAWN BY Author
SCALE

6/18/2015 9:38:14 AM

A103



1 Front and Side Elevations
3/16" = 1'-0"

FRONT STUDIO ARCHITECTS LLC
WWW.FRONTSTUDIO.COM
187 LAFAYETTE ST, FL 6
NEW YORK NY 10013
T 212 334 6820 — F 212 334 6822
357 NORTH CRAIG ST
PITTSBURGH PA 15213
T 412 682 2121 — F 412 682 2151

FRONT
STUDIO

Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect shall be notified immediately of any discrepancies between this drawing, job conditions and dimensions.

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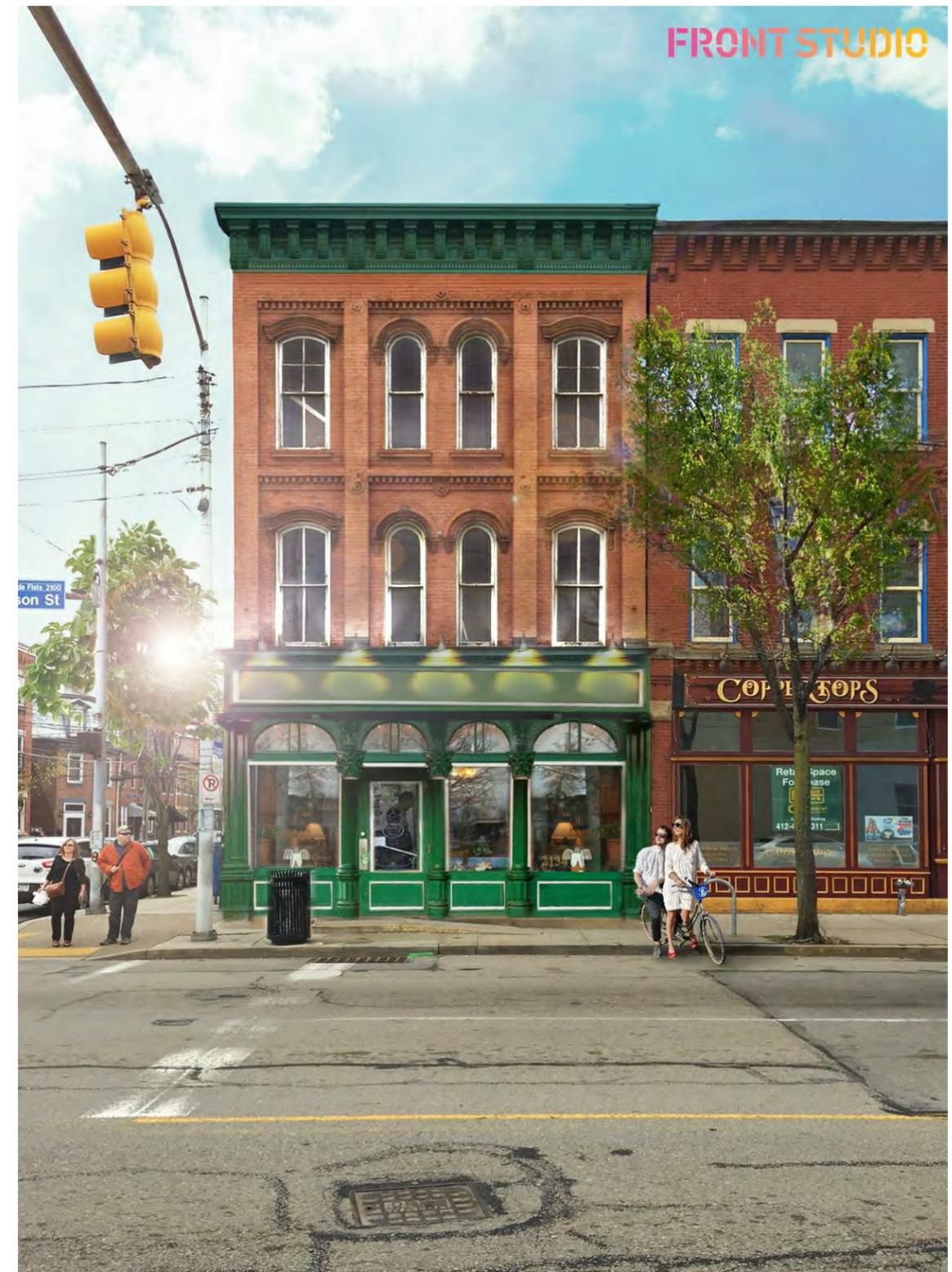
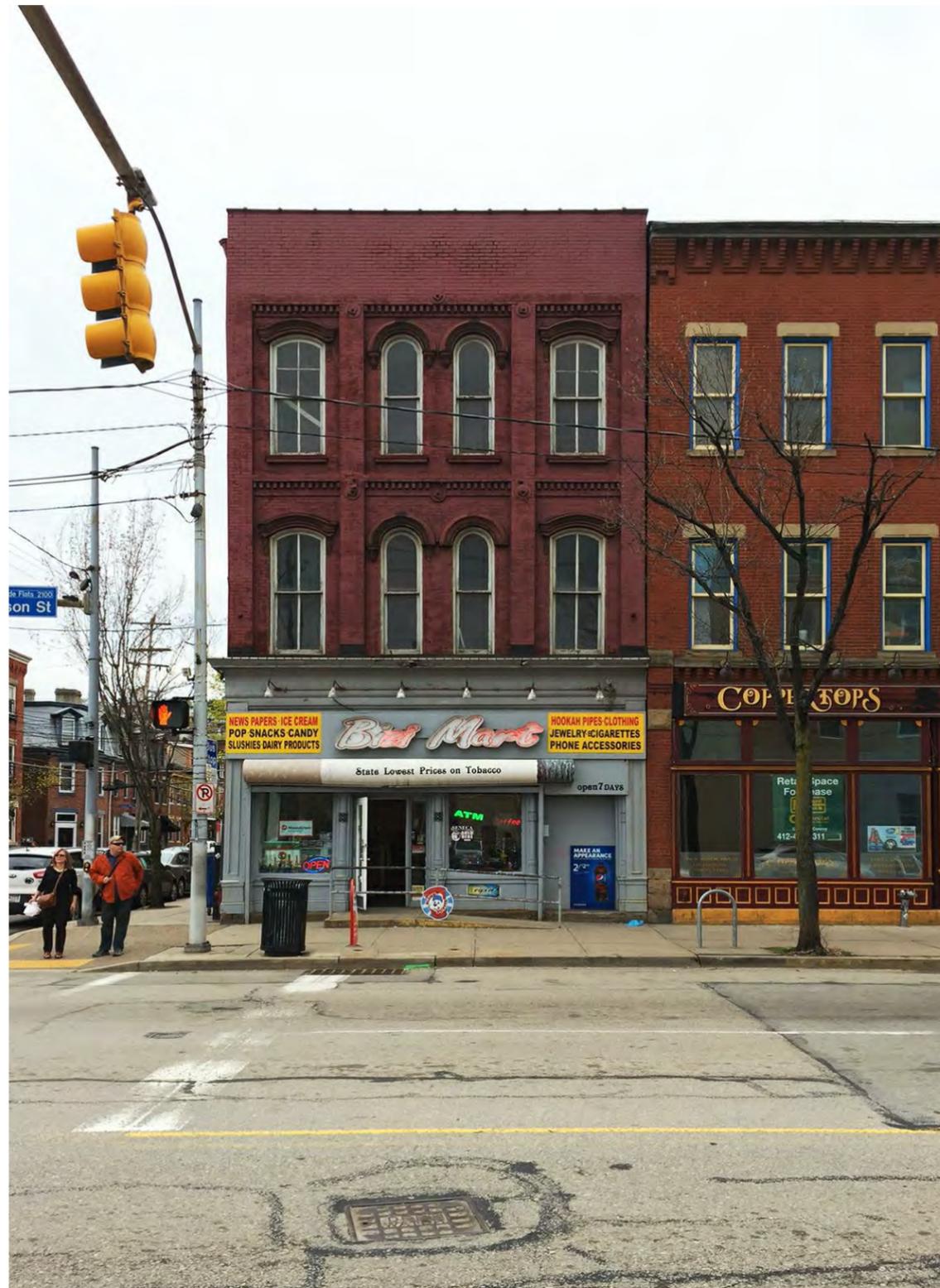
MORGAN FAMILY DEVELOPMENT CO., L.P.

2134 E. Carson Facade

DWG DATE 06/09/2015
PROJECT # 15-1900
DRAWN BY Author
SCALE 3/16" = 1'-0"

6/18/2015 9:38:14 AM

A104



① Facade Before and After Rendering
3/32" = 1'-0"

FRONT STUDIO ARCHITECTS LLC
WWW.FRONTSTUDIO.COM
187 LAFAYETTE ST, FL 6
NEW YORK NY 10013
T 212 334 6820 — F 212 334 6822
357 NORTH CRAIG ST
PITTSBURGH PA 15213
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2134 E. Carson Facade

DWG DATE 06/09/2015
PROJECT # 15-1900
DRAWN BY BLS
SCALE 3/32" = 1'-0"

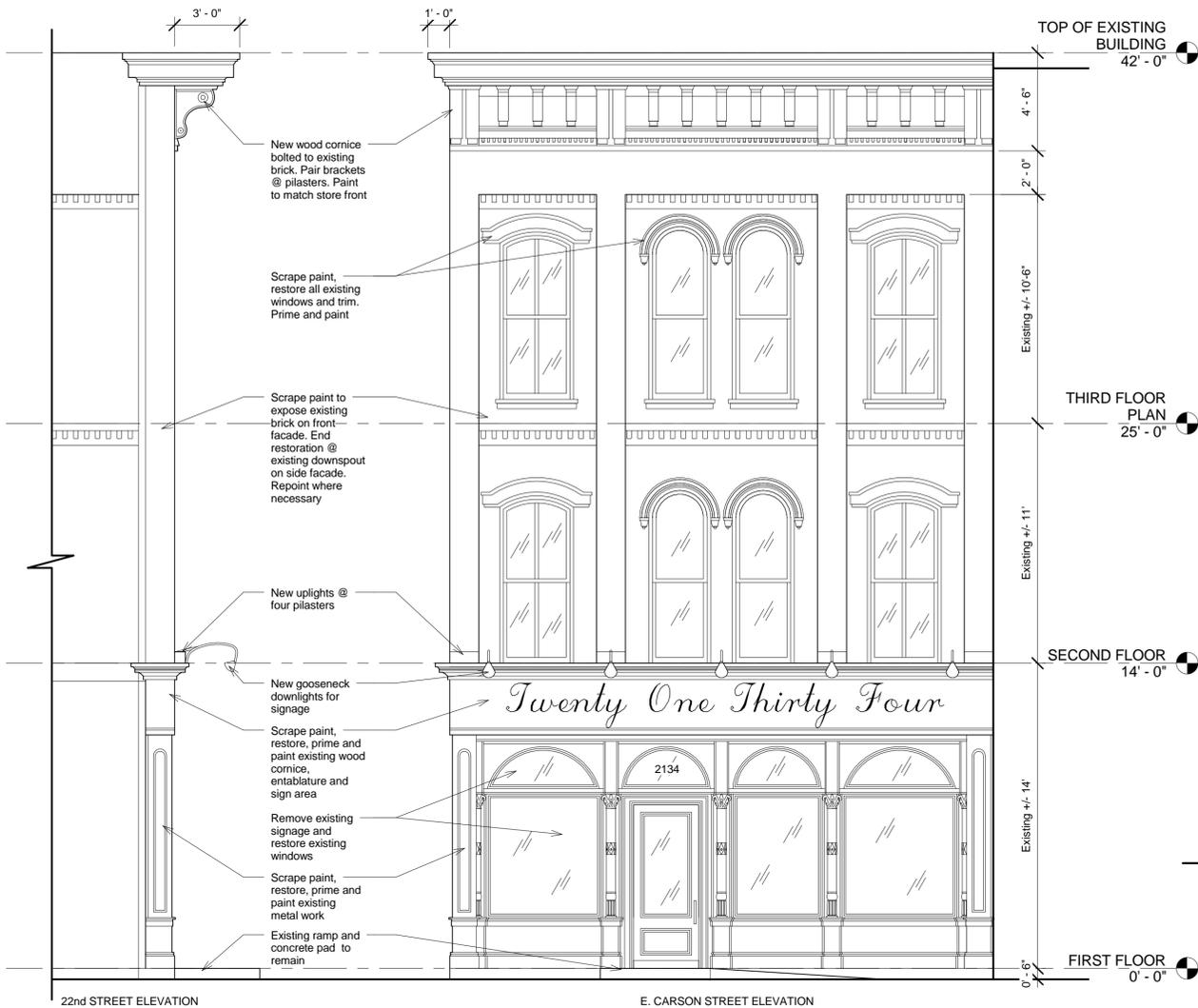
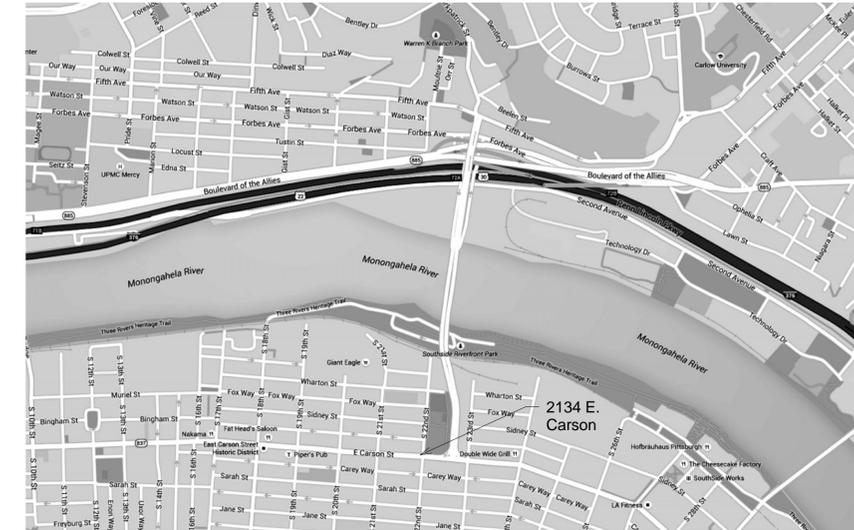
6/18/2015 9:38:15 AM

A105

HISTORIC FACADE RESTORATION

2134 E. CARSON STREET,
PITTSBURGH, PENNSYLVANIA 15203

MORGAN FAMILY DEVELOPMENT CO., L.P.



HRC GUIDELINES

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REVISIONS		
No.	Description	Date



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MORGAN FAMILY DEVELOPMENT CO., L.P.

2134 E. Carson Facade

Required Attachments

DWG DATE 5/26/2015
PROJECT # 15-1900
DRAWN BY BLS
SCALE As indicated



CS

1 Elevations
1/4" = 1'-0"



2 Before and After Rendering
Perspective Not To Scale



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

STAFF LEVEL REVIEW and FEES – Project adheres to historic guidelines

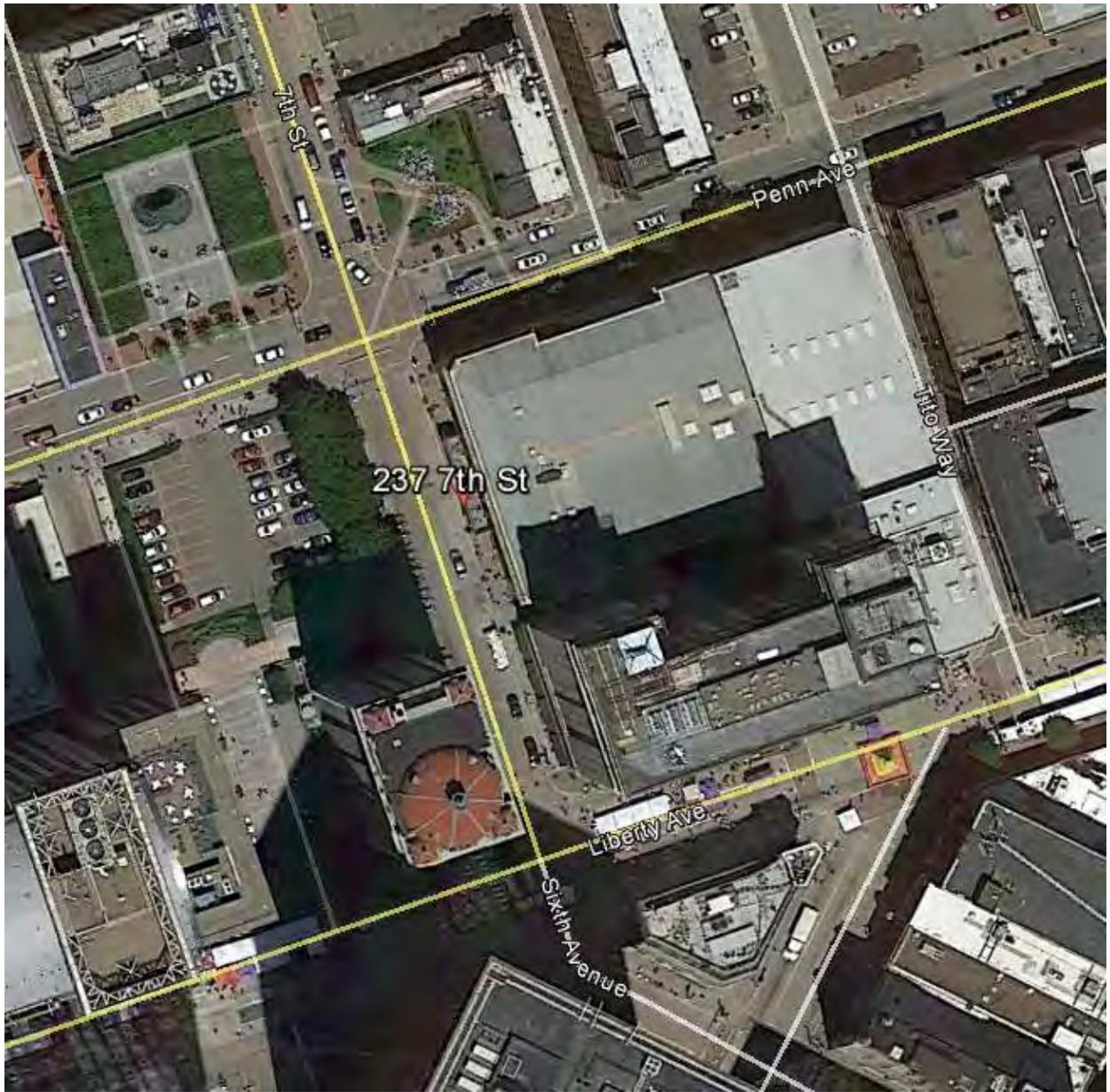
Type of Project	Residential Fees	Commercial Fees
In-kind repairs	\$25	\$5 per linear foot of the façade (minimum \$50)
In-kind restoration		
Mechanical and HVAC		
Commercial awnings		
Signage		
Painting	No Fee	

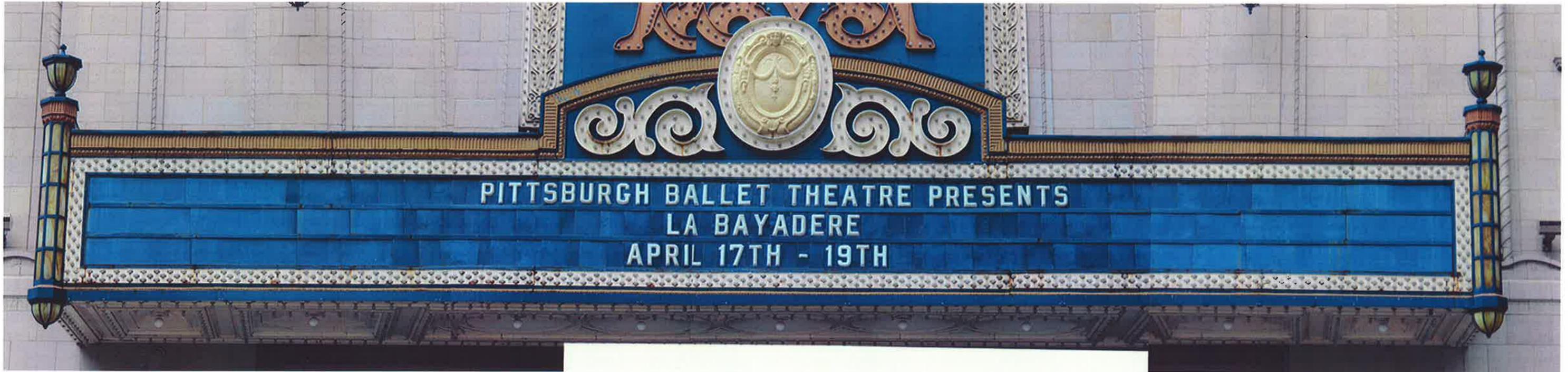
HISTORIC REVIEW COMMISSION LEVEL REVIEW AND FEES – Project does not adhere to historic guidelines and changes in materials

Type of Project	Residential Fees	Commercial Fees
Awnings	\$100	\$10 per linear foot of the façade (minimum \$150) 146 LINEAL FEET X \$10.00 / LINEAL FOOT = \$1460.00
Fencing		
Painting		
Restoration		
Replacement		
Change in materials		
Change in fenestration		
Mechanical and HVAC		
New construction		
Signage		

****All demolitions and historic nominations require full HRC review. Fees vary for demolitions (\$100 or \$400) and for historic nominations (\$100 or \$250) depending on type.****

- * Residential review is for single-family homes, and structures originally built as houses with four units or less. Properties with more than four units and apartment buildings are considered commercial buildings.
- * Applicants do not pay for both the Staff Review and the full HRC review for any single project. Fees are non-refundable.



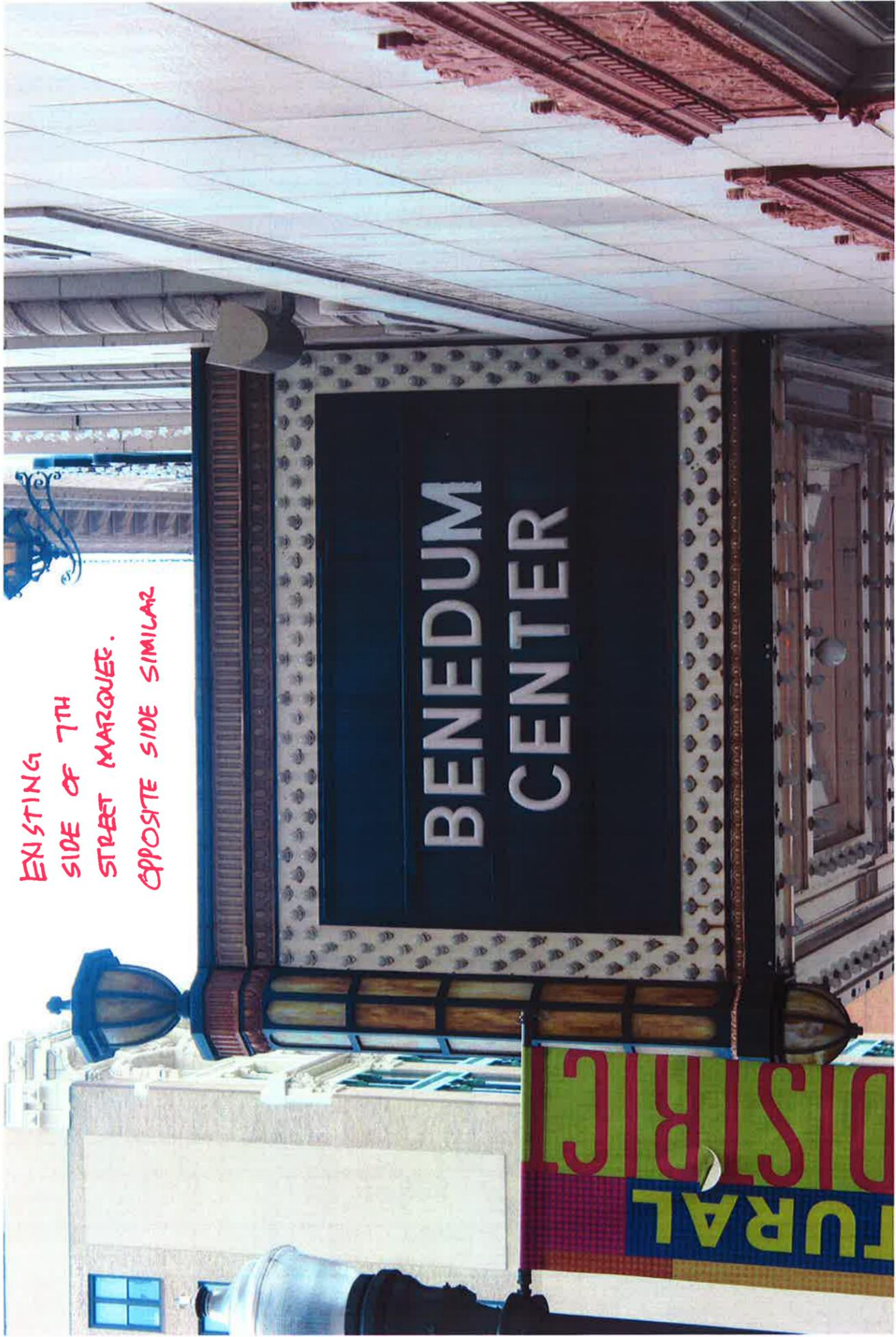


EXISTING 7TH STREET MARQUEE



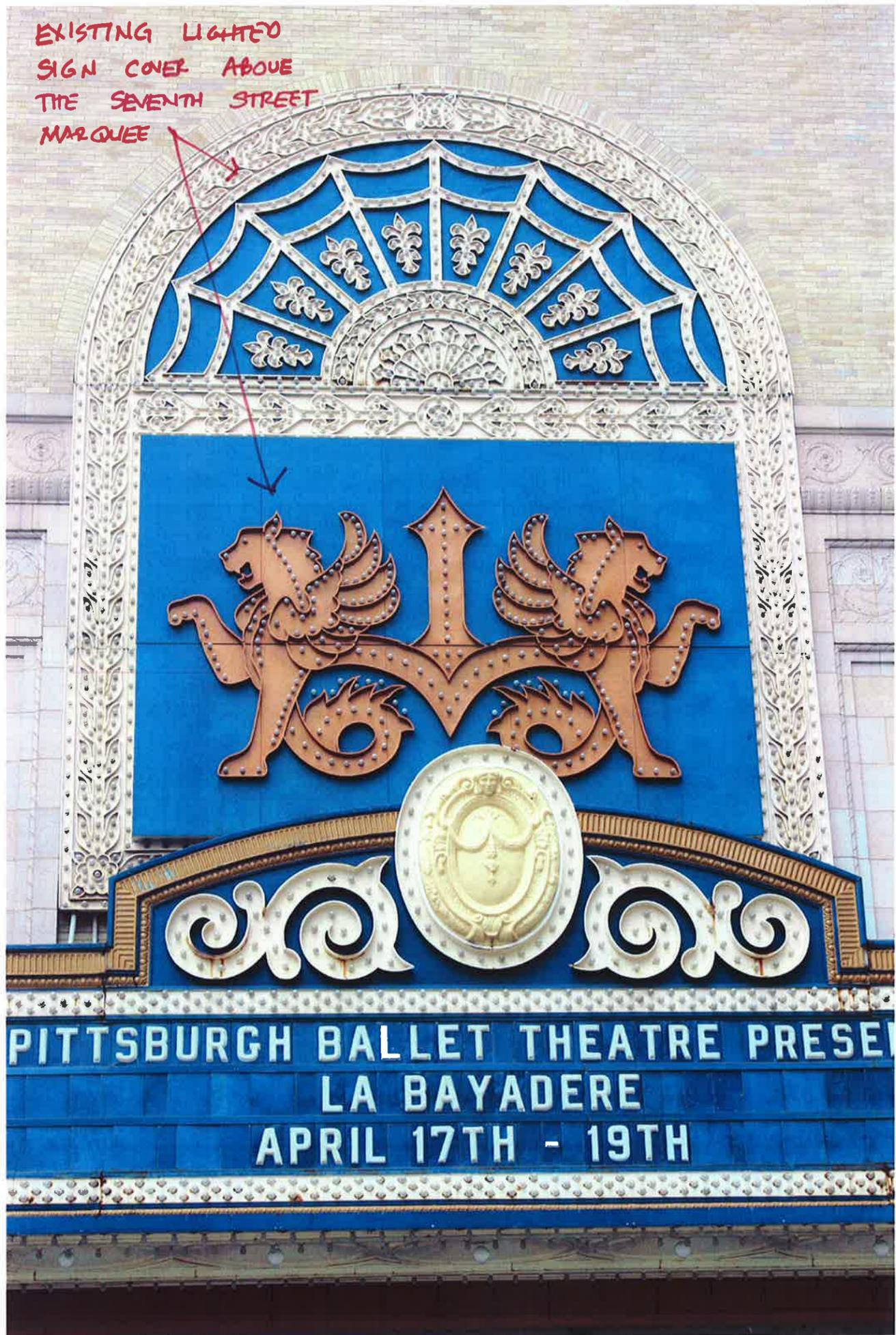
EXISTING PENN AVE. MARQUEE

EXISTING
SIDE OF 7TH
STREET MARQUEE.
OPPOSITE SIDE SIMILAR





EXISTING LIGHTED
SIGN COVER ABOVE
THE SEVENTH STREET
MARQUEE

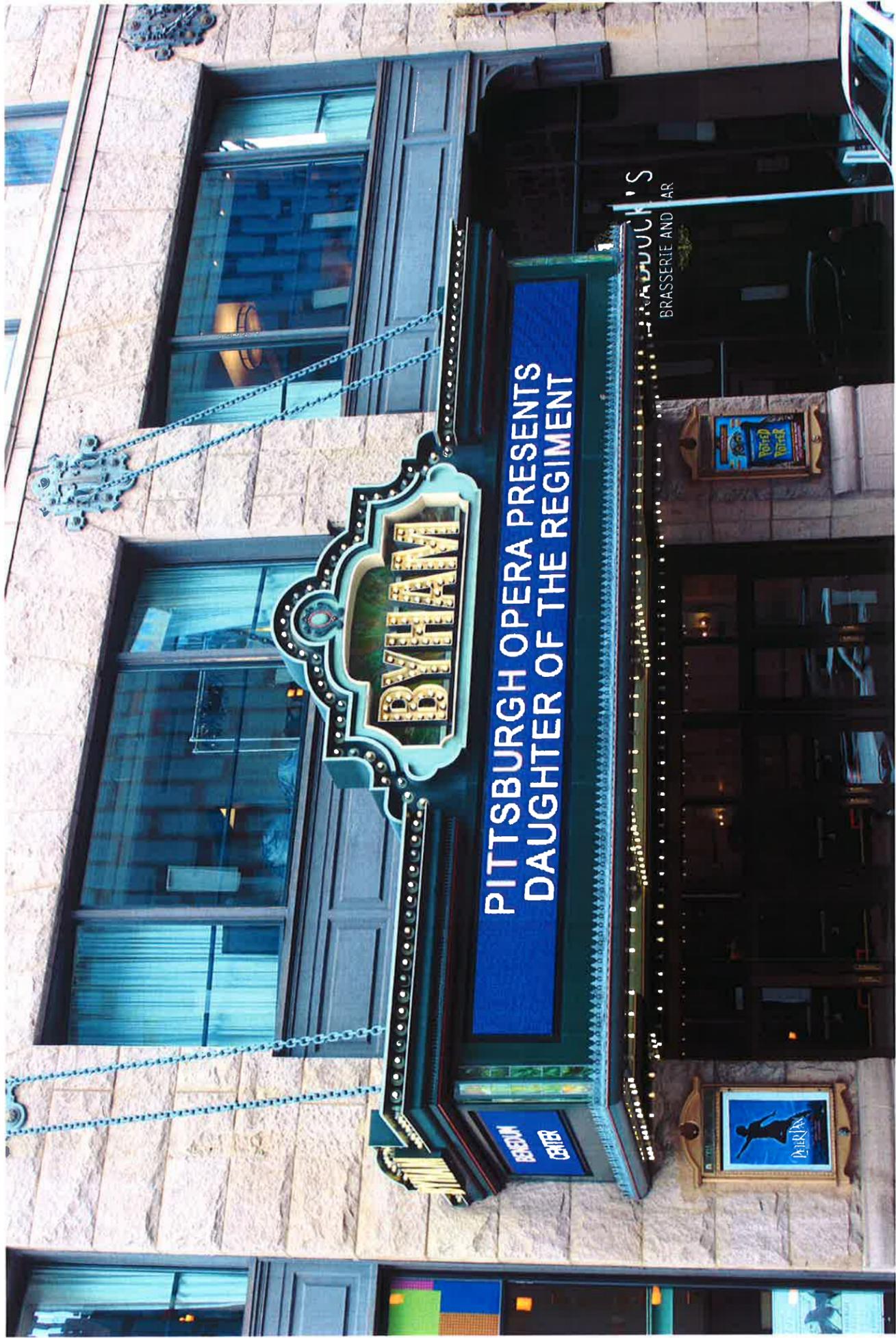




SAMPLE OF AREAS REQUIRING METAL REPAIR/REPLACEMENT



SIMILAR EXAMPLE OF MESSAGE BOARD AT BYHAM THEATRE MARQUEE



▲ 8/1/20 - THICKNESS OF MARQUEE ROOF

NOTE: ALL DIMENSIONS SHOWN IN FIELD ARE AS NOTED

MacLachlan Corplum & Pflum
ARCHITECTS

1704 COMMONWEALTH BLDG.
PITTSBURGH, PENNSYLVANIA 15222



BENEDUM CENTER FOR THE PERFORMING ARTS

SEVENTH STREET & BROWN AVENUE
PITTSBURGH, PENNSYLVANIA

PITTSBURGH TRUST

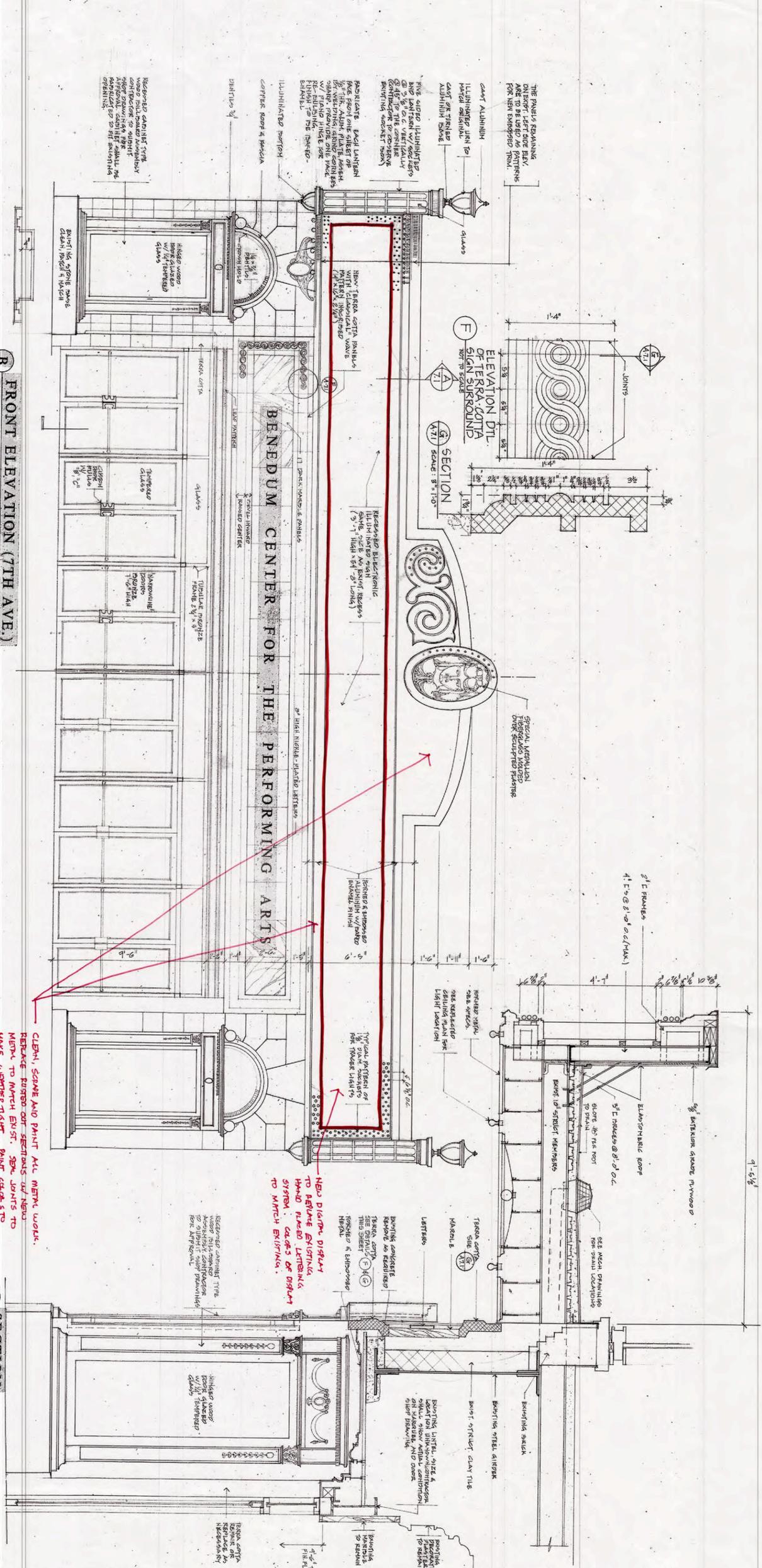
FOR CULTURAL RESOURCES

CONTRACT # 1942 DATE 1/20/2018

MARQUEE DETAILS

SCALE AS NOTED

A.71



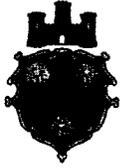
REMOVE EXISTING CUR. SECTIONS OF NEW METAL TO MATCH EXIST. SEW. JOINTS TO MATCH EXISTING. PAINT CEILING TO MATCH EXISTING. REMOVE ALL EXIST. CHANGES WITH NEW LED LIGHTS. REMOVE NEW ELECTRIC CONDUITS.

NEW DISPLAY SYSTEM TO REFLECT EXISTING HAND-DRAWN DISPLAY SYSTEM. COLORS OF DISPLAY TO MATCH EXISTING.

REMOVED EXISTING TERRA-COTTA SIGN SURROUND TO MATCH EXISTING. REMOVE ALL EXISTING METAL TO MATCH EXISTING. REMOVE ALL EXISTING METAL TO MATCH EXISTING.

REMOVED EXISTING TERRA-COTTA SIGN SURROUND TO MATCH EXISTING. REMOVE ALL EXISTING METAL TO MATCH EXISTING. REMOVE ALL EXISTING METAL TO MATCH EXISTING.

HRC REVIEW
C/11/15



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: June 9, 2015

LOT AND BLOCK NUMBER: 24-J-229-1

WARD: 23 rd

FEE PAID: yes

DISTRICT:

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

810 TRIPOLI ST

Individual

OWNER:

NAME: HOMESTEAD PROPERTY VENTURES

ADDRESS: 5889 AYLESBORO AVE

PITTSBURGH, PA 15217

PHONE: 412 427 7539

EMAIL: gkparker@outlook.com

APPLICANT:

NAME: same

ADDRESS: |

|

PHONE: |

EMAIL: |

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

OWNER: [Signature] DATE: 5/27/15

APPLICANT: [Signature] DATE: 5/27/15



HOMESTEAD PROPERTY VENTURES, LLC
5889 Aylesboro Avenue
Pittsburgh, PA 15217
412 427 7539

29 May 2015

Sarah Quinn
Historic Preservation Planner
City of Pittsburgh
200 Ross Street, 3rd floor
Pittsburgh, PA 15219

RE: 810 Tripoli Street
Immanuel Church Historic Application

Dear Ms Quinn:

Please find enclosed our application for work completed on this property, a check for \$350, and photos of the work completed.

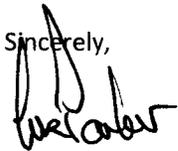
We replaced cinder blocks with glass windows and believed that the designation process had not been completed so did not apply at the time for this work. I apologise for this error.

Our contractor is certain that the property originally had glass block windows and we have attached a photo of the property where we believe you can see the block windows as they were.

We may also wish to replace the cinder block in the Tripoli Street house along the Turtle Way frontage. I have enclosed a photo of this property also.

Please call me if you have any questions on 412 427 7539.

Sincerely,



G.K. Parker
Director

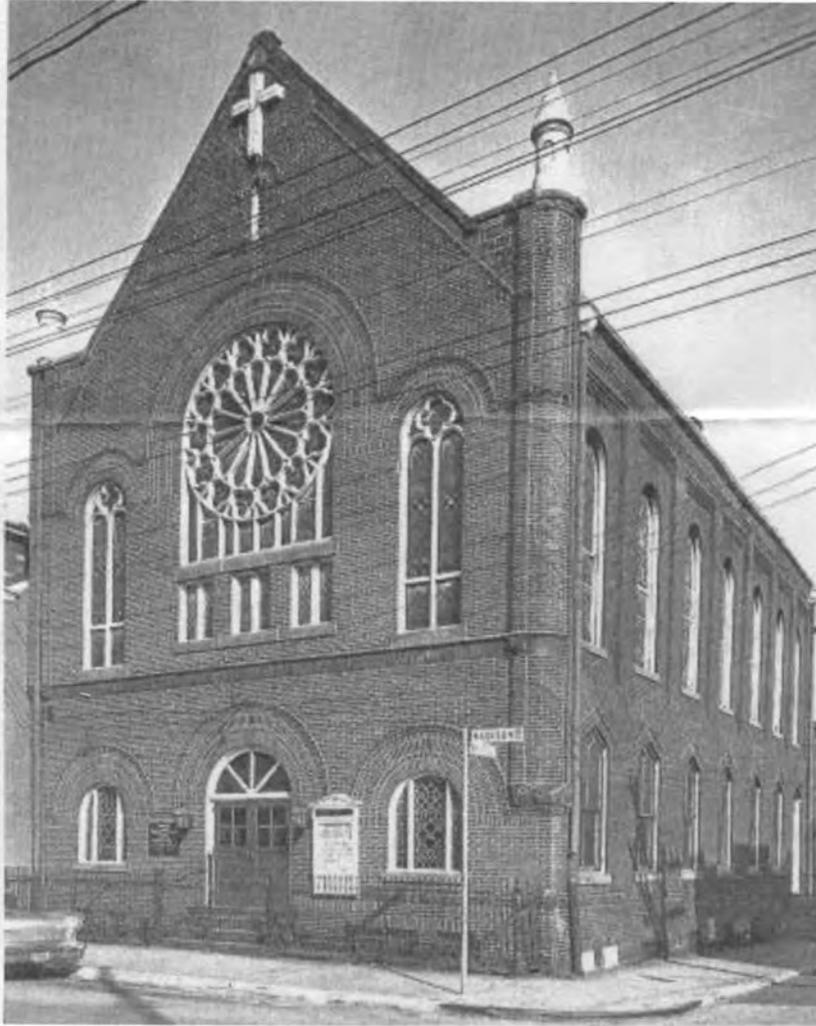
Description of Work Completed

The cinder block inserts that had been put into the old church basement block window spaces were removed in four spots and new glass block windows were inserted.

The glass block contractor indicated that these windows had previously been glass block based on the nature of the ledge that he encountered during construction.

This has greatly improved the light and ventilation into the basement space and we believe is consistent with how the building looked in the past.

ORIGINAL BUILDING.



1 blocks.



PICTURE BEFORE WORK COMPLETED.

Four windows as they look now.









TRIPOLI RESIDENCE.



Block wall on Turtle Way.

Replace with block windows.



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

311 Lowenhill St.
Pgh. PA 15216

OWNER:

NAME: Christine Simmons
 ADDRESS: 311 Lowenhill St
Pgh, PA. 15216
 PHONE: 412-773-2653
 EMAIL: -

STAFF USE ONLY:

DATE RECEIVED: 6/12/15
 LOT AND BLOCK NUMBER: 16-6-82
 WARD: 19th
 FEE PAID: ylo

DISTRICT:

Individual Landmark

APPLICANT:

NAME: _____
 ADDRESS: _____
 PHONE: _____
 EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Remove & replace metal roof with Tru Definition
owens Corning architectural asphalt shingles roofing-
* (Please see attached Sheets and photos) system.

SIGNATURES:

OWNER: Christine Simmons DATE: 6-15-2015
 APPLICANT: _____ DATE: _____



© 2015 Google

Google ea

①

I am contacting you and seeking your approval for necessary repairs and changes to my home, to protect the longevity of the structure.

I have three active leaks in the metal roof that was speculated by "Wette Roofing" to be a roof that is not original, but that was added in approximately 1910 or 1920. The current roof was also deemed by "Wette Roofing" to be in disrepair and the cost to replace in metal is very great. I'd like to preserve my home, and have saved ten thousand dollars to do so by having an architectural shingled roof added that does mimic older and period correct appearance, but most importantly will protect from water damage for years to come.

Also in the near future I'd like to have the exterior painted white as it is and perhaps the scroll work along the roofing in a complimentary shade.

Also, as some of the enclosed photos illustrate from the joists protruding out of the skirt boards along front of house, as well as the void above in the siding where lag boards existed to carry rafters, indicates

② that there was once a porch. I'd like to perhaps have a new porch added (not pressure treated or vinyl, but of painted wood to appear period correct. Thank you for considering these items.

Sincerely,

Christine Simmons

Christine Simmons

Product Attributes

Warranty Length*

Limited Lifetime^{††} (for as long as you own your home)

Wind Resistance Limited Warranty*

130 MPH



Algae Resistance Limited Warranty*

10 Years

Tru PROtection® Non-Prorated Limited Warranty* Period

10 Years

Duration® Series Shingles Product Specifications

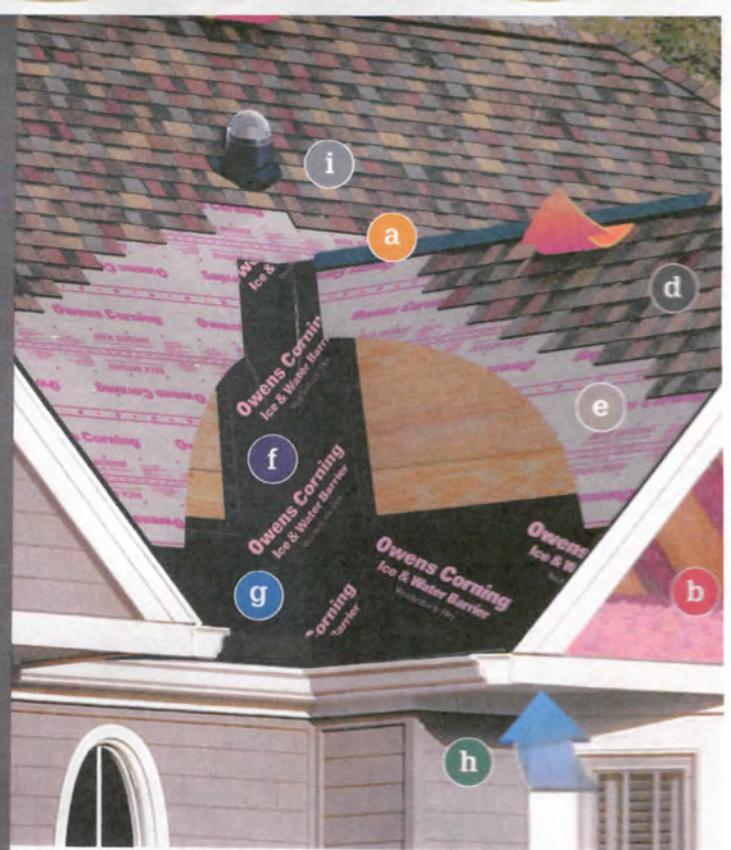
Duration STORM™
Duration® Designer
Duration®

Duration® Premium Cool

Nominal Size	13 1/4" x 39 3/8"	13 1/4" x 39 3/8"
Exposure	5 5/8"	5 5/8"
Shingles per Square	64	64
Bundles per Square	3	4
Coverage per Square	98.4 sq. ft.	98.4 sq. ft.

Applicable Standards and Codes

ASTM E 108, Class A Fire	ASTM D 228
ASTM D 3161, Class F Wind	UL 790, Class A
ASTM D 7158, Class H Wind	CSA 123.5†
ASTM D 3018, Type 1	UL 2218, Class 4 Impact [§]
ASTM D 3462	



THE ESSENTIALS FOR A COMPLETE ROOFING SYSTEM.

It takes more than just shingles to create a high-performance roof. It requires a system of quality products working together. Owens Corning™ Roofing Essentials® Accessory Products work with our shingles to make up a roofing system that's right the first time around, and help provide maximum durability and the most protection for your home.

- a** VentSure® Ventilation Products
- b** PINK® Fiberglas™ Blown-In Insulation
- c** Owens Corning™ Hip & Ridge Shingles
- d** Owens Corning™ Shingles
- e** Owens Corning™ Underlayment Products
- f** WeatherLock® Self-Sealing Ice & Water Barrier Product
- g** Owens Corning™ Starter Shingle Products
- h** Owens Corning™ Undereave Ventilation Products
- i** Owens Corning™ Illuminator™ Tube Skylight

Want to know more about Owens Corning™ products or find an Owens Corning™ Preferred Contractor in your area? It's easy to reach us:

1-800-GET-PINK® | www.roofing.owenscorning.com



TruDefinition® Duration® Shingles Designer Colors Collection

with SureNail® Technology

NEW V



Aged Copper†



Merlot†



Pacific Wave†





INNOVATIONS FOR LIVING®

TruDefinition® DURATION™ SHINGLES

with SureNail® Technology



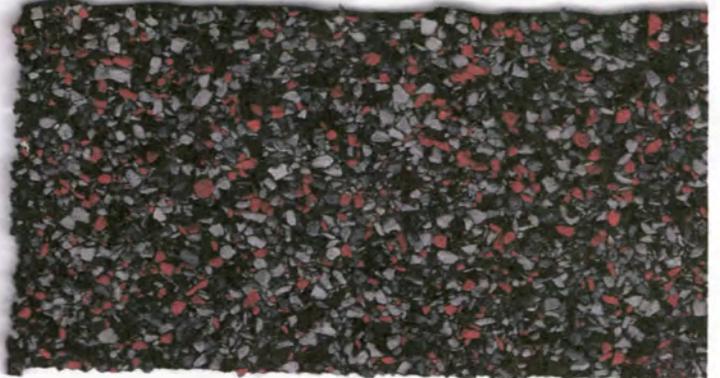
A intended product



Harbor Blue†



Chateau Green†



Colonial Slate†

† Not available in Service Area A (see map).

©2010 OWENS CORNING FIBERGLASS

Inks Installations

PA0AGHC372

The Bureau of Consumer Protection
#1-888-520-6680

107 Blackmore Drive
Venetia, PA 15367 (See install)
412-653-0850

Free Estimates
Fully Insured
References

THIS AGREEMENT MADE AND ENTERED INTO BETWEEN Scott Phillips

ADDRESS 311 Lowry Hill 724-351-0139

DATE _____ HOME PHONE _____ CELL PHONE _____

CONTRACTOR AGREES TO REMOVE OLD EXISTING ROOFING MATERIALS ON THE COMPLETE EXTERIOR ROOF. REPLACE UP TO _____ LINEAL FEET OF NEW WOOD WHERE BAD WOOD APPEARS. SECURE REMAINING ROOF WOOD BEFORE INSTALLING A 15 LB. FELT PAPER. INSTALL NEW OWENS/CORNING FIBERGLASS Quot. on 2.5000 YR. SELF SEALING SHINGLES OVER TOP OF THE SECURED AND FELTED ROOF. INSTALL NEW ALCOA ALUMINUM FLASHING AROUND CHIMNEY AND VALLEYS. INSTALL NEW NEOPRENE VENT FLANGES ON ALL VENT PIPE STACKS. INSTALL RIDGE VENT FOR AIR CIRCULATION AND TO REDUCE HOT AIR AND MOISTURE. CLEAN INSIDE ALL GUTTERS. INSTALL ALUMINUM GUTTER APRON AND ICE AND WATER SHIELD 3' UP UNDER SHINGLES ON ALL GUTTER EDGES. CONTRACTOR WILL CLEAN UP AND HAUL ALL JOB RELATED DEBRIS AWAY UPON COMPLETION. Quotation YEARS WARRANTY ON OWENS/CORNING FIBERGLASS SHINGLES. 5 YEARS GUARANTEE ON ALL LABOR

ADDITIONAL WORK DESIRED LISTED: _____

6,000 Roof
100 Gutters
1,350 All Plywood

***** THANKS FOR THE OPPORTUNITY TO ESTIMATE YOUR JOB *****

WE GIVE THE SATISFACTION OF KNOWING THAT ALL JOBS ARE DONE AS IF IT WERE OUR OWN

WE HEREBY PROPOSE TO FURNISH LABOR AND MATERIALS - COMPLETE IN ACCORDANCE WITH THE ABOVE SPECIFICATIONS

FOR THE SUM OF _____

DOLLARS (\$) _____ WITH PAYMENT TO BE MADE AS FOLLOWS

AUTHORIZED SIGNATURE _____

ACCEPTANCE OF AGREEMENT

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified.

Payment will be made as outlined above HOME OWNER _____

ACCEPTED DATE _____ HOME OWNER _____
If more than one person owns property, all should sign.













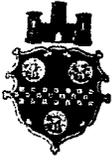












Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 5-28-15

LOT AND BLOCK NUMBER: 22-1C-334

WARD: 21st

FEE PAID: yes

DISTRICT: ~~Manchester~~ Manchester

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1319 N. Franklin St
Pittsburgh, PA 15233

OWNER:

NAME: David J. Mustick

ADDRESS: 11779 Aurelio Lane
Orlando, FL 32827

PHONE: C- 412-812-0211

EMAIL: dmustick@mac.com

APPLICANT:

NAME: Mistick Construction

ADDRESS: 1300 Brighton Rd
Pittsburgh, PA 15233

PHONE: 412-322-1121

EMAIL: btarquinio@mistickconstruction.com

*BRIAN
412 267 4720*

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

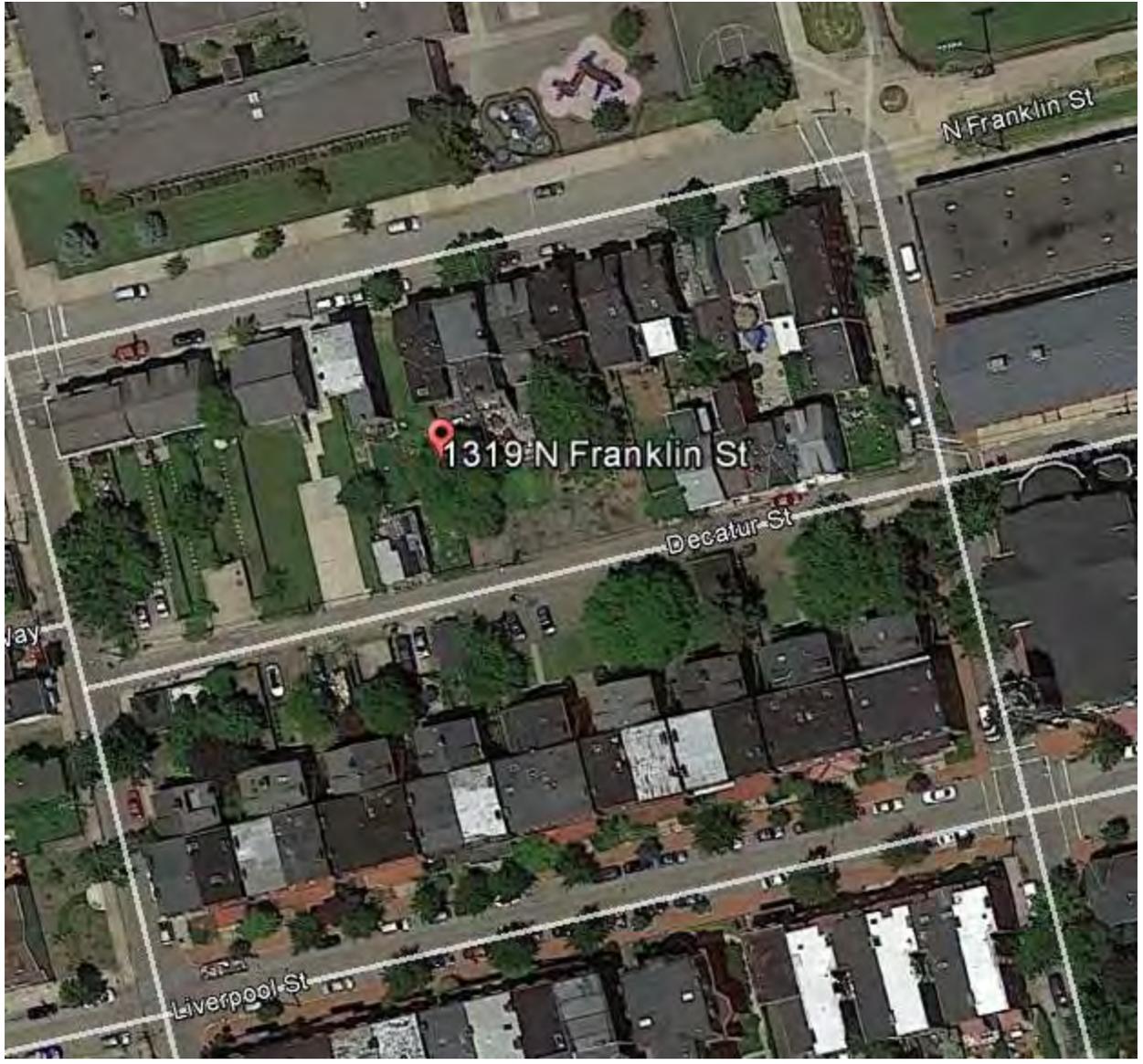
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Replace existing 2nd fl deck with new handrail and stairs
Replace existing fence on each side of property w/ new w/olmanized material

SIGNATURES:

OWNER: [Signature] DATE: 5/28/15

APPLICANT: Brian Tarquinio Mistick Construction DATE: 5-29-15



1319 N Franklin St

N Franklin St

Decatur St

Liverpool St

Jay

FRONT 1319 N. Franklin

- ~~5-28~~

5-27-15





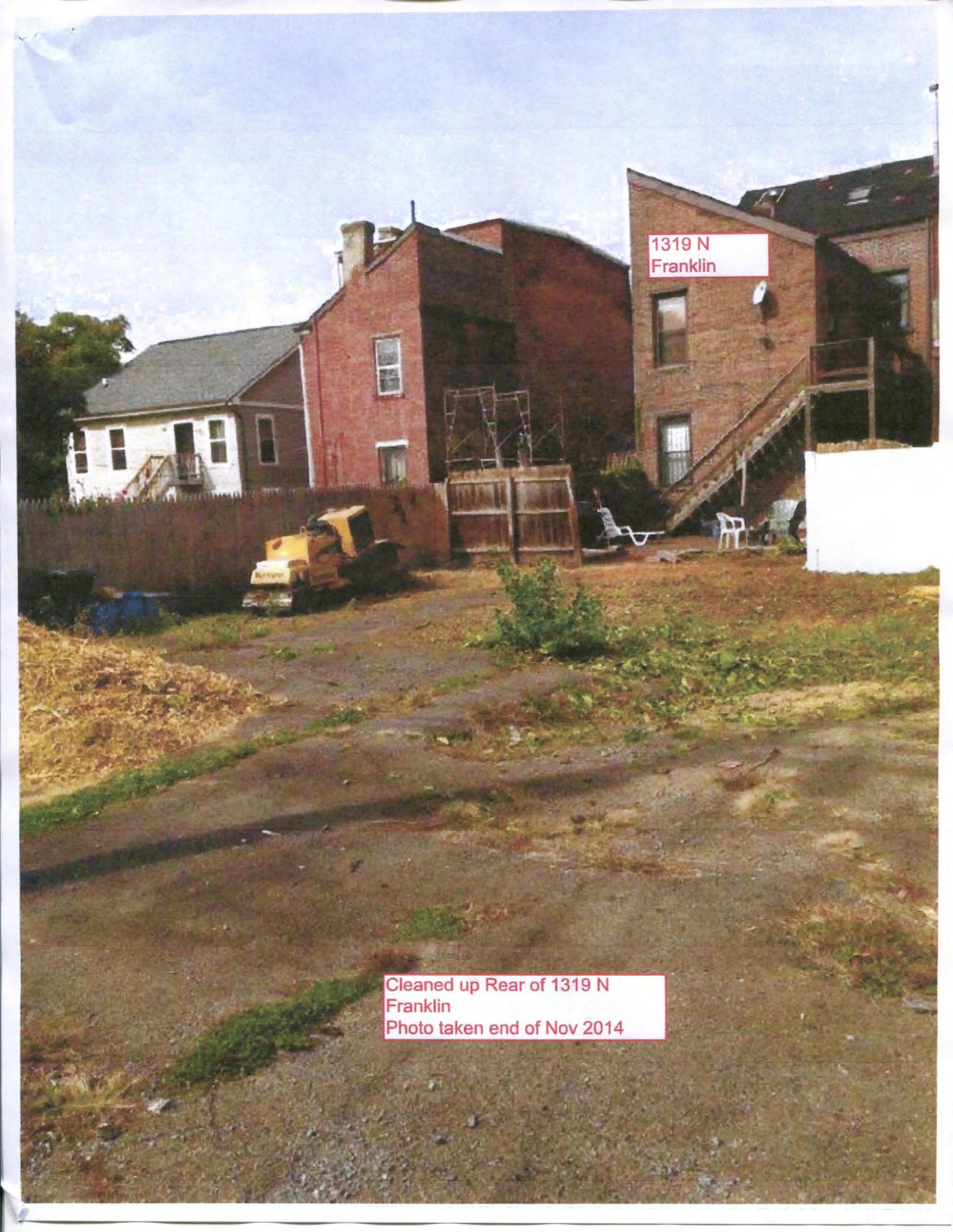
Rear 1319 N. Franklin
5-27-15

Existing deck

Existing Fence

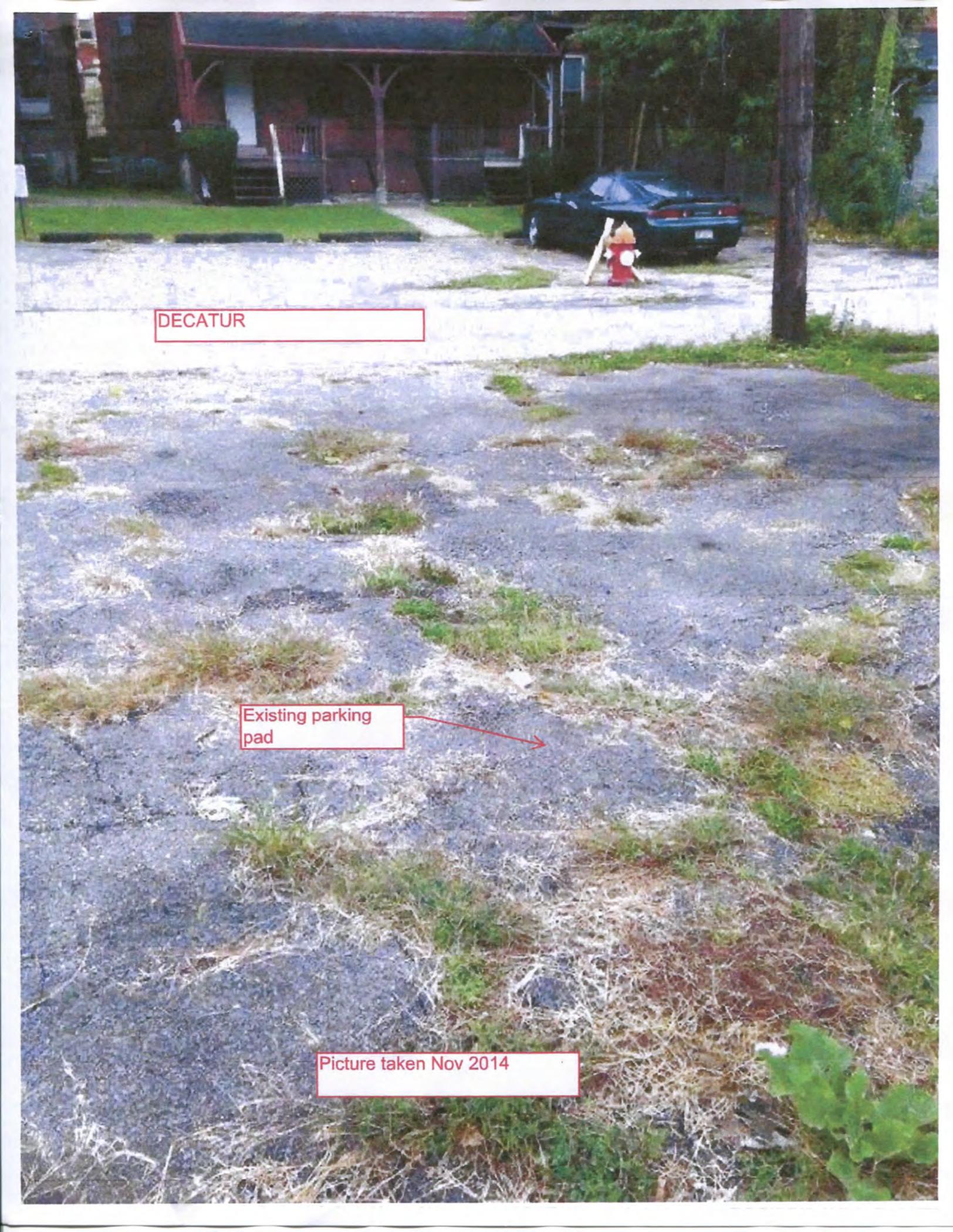
Picture taken Nov 2014





1319 N
Franklin

Cleaned up Rear of 1319 N
Franklin
Photo taken end of Nov 2014



DECATUR

Existing parking
pad

Picture taken Nov 2014



Existing deck to be replaced

Existing fence

Picture taken Nov 2014



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1416 SHERFIELD ST

PITTSBURGH PA 15212

OWNER:

JAMIE DITZ

APPLICANT:

BOB BRAUMBACH

ADDRESS:

900 MIDDLE ST.

Pgh. PA 15212

PHONE:

412.337.0884

PHONE:

412.266.4425

EMAIL:

bob.baumbach@comcast.net

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

REPLACEMENT OF EXISTING DECK 5'x20'

SIGNATURES:

OWNER:

[Signature]

DATE:

5/29/2015

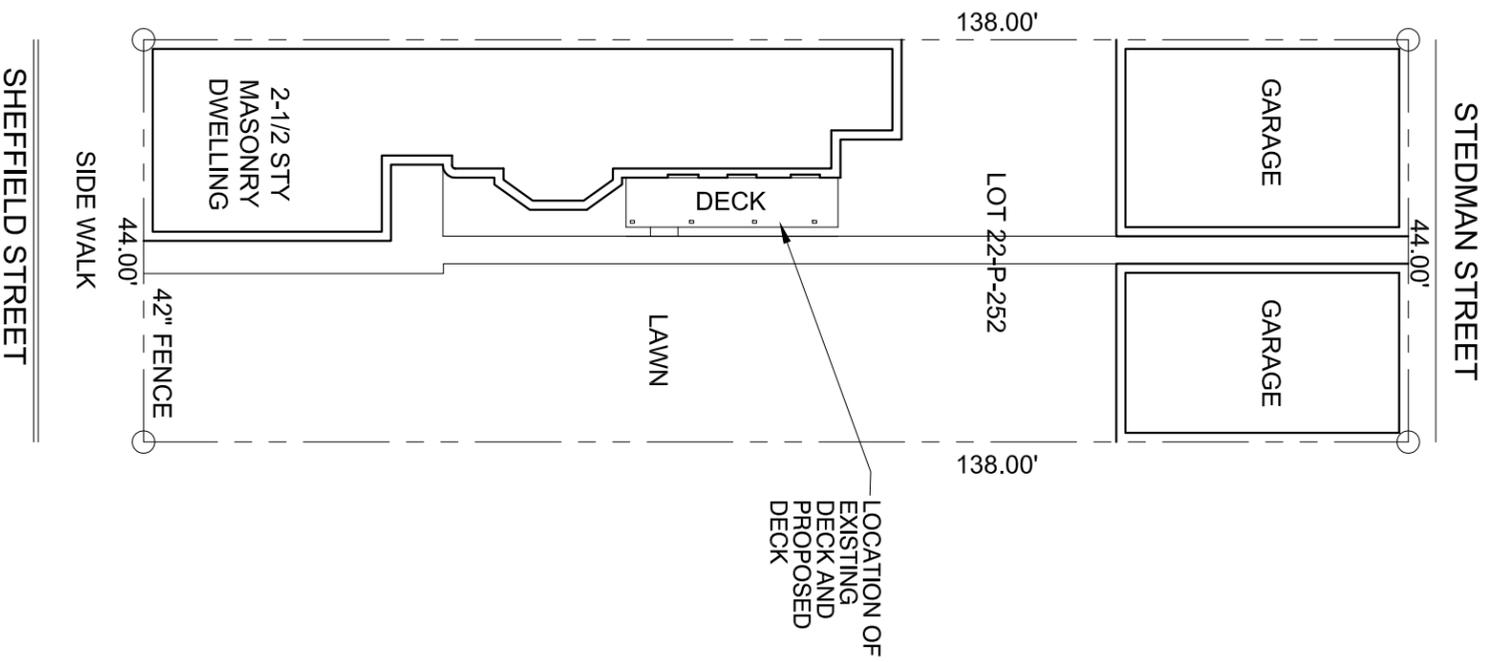
APPLICANT:



1416 Sheffield St

Sheffield St

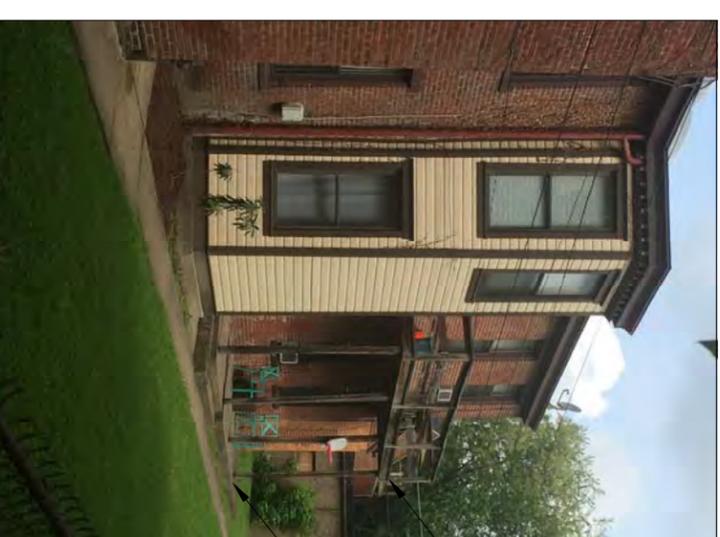
Steak



1 SIMPLE SITE PLAN
SCALE: 1"=20'



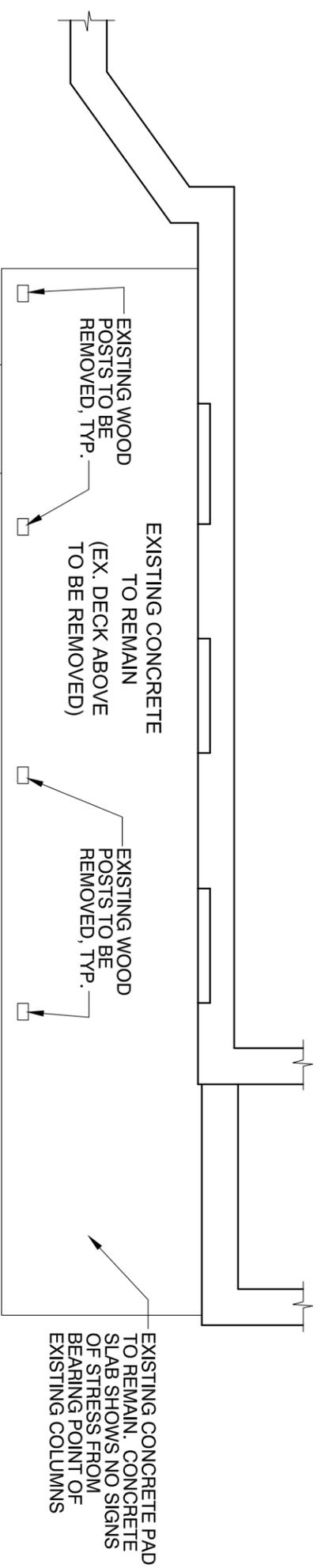
2 EXISTING CONDITIONS PHOTO
SCALE: N.T.S.



3 EXISTING CONDITIONS PHOTO
SCALE: N.T.S.

EXISTING WOOD DECK AND COLUMNS TO BE REMOVED

EXISTING CONCRETE PAD TO REMAIN. CONCRETE SLAB SHOWS NO SIGNS OF STRESS FROM BEARING POINT OF EXISTING COLUMNS

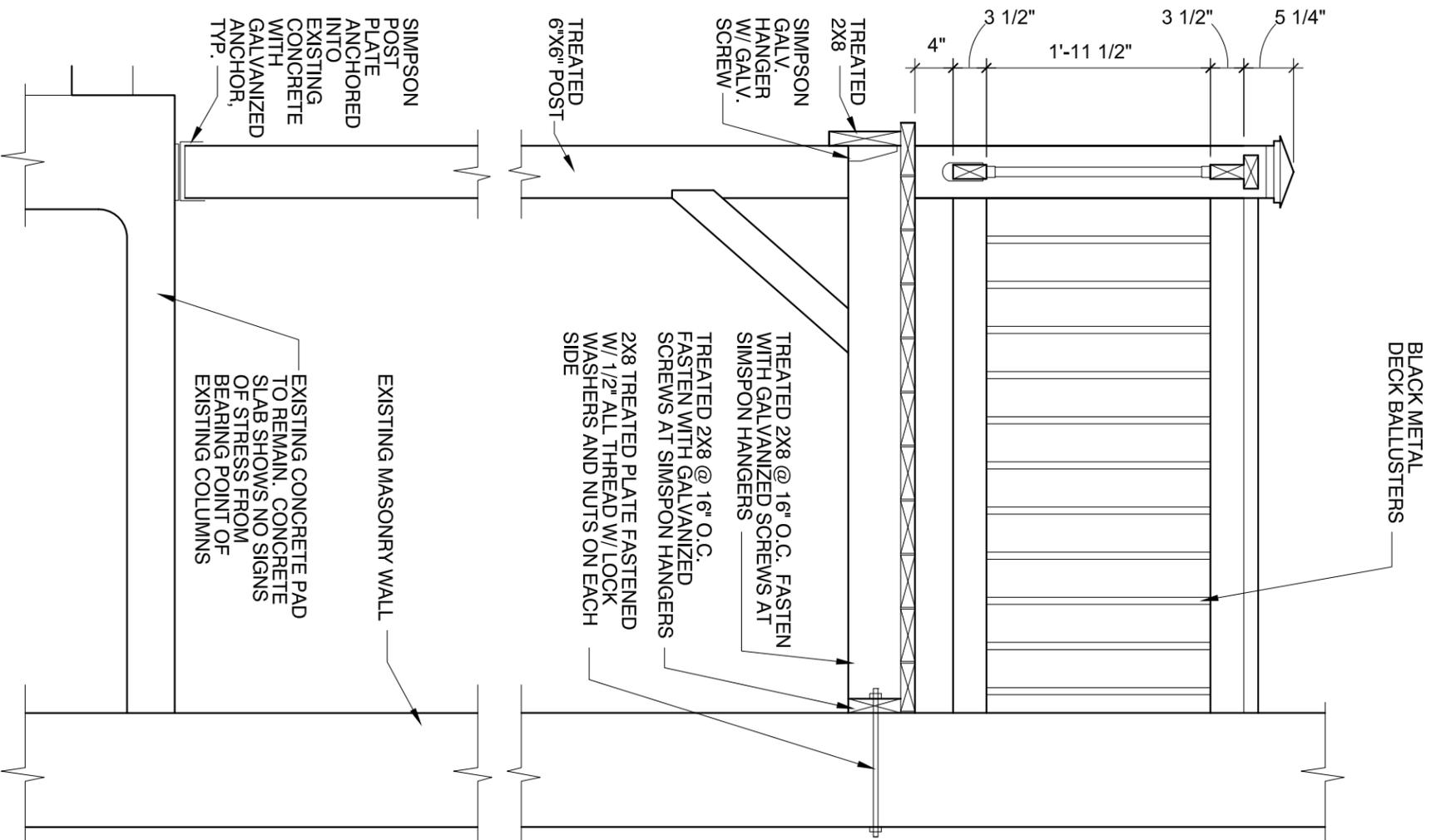


4 EXISTING PATIO AND POST PLAN
SCALE: 1/4" = 1'-0"

PROPOSED DECK REPLACEMENT FOR:			
JAMIE DIETZ			
1416 SHEFFIELD ST, PITTSBURGH, PA 15212			
PRINT DATE:	SCALE:	SHEET:	
MARCH 9, 2015	AS NOTED	A1	

RobertBaumbach, Architect
BUILDING DESIGN

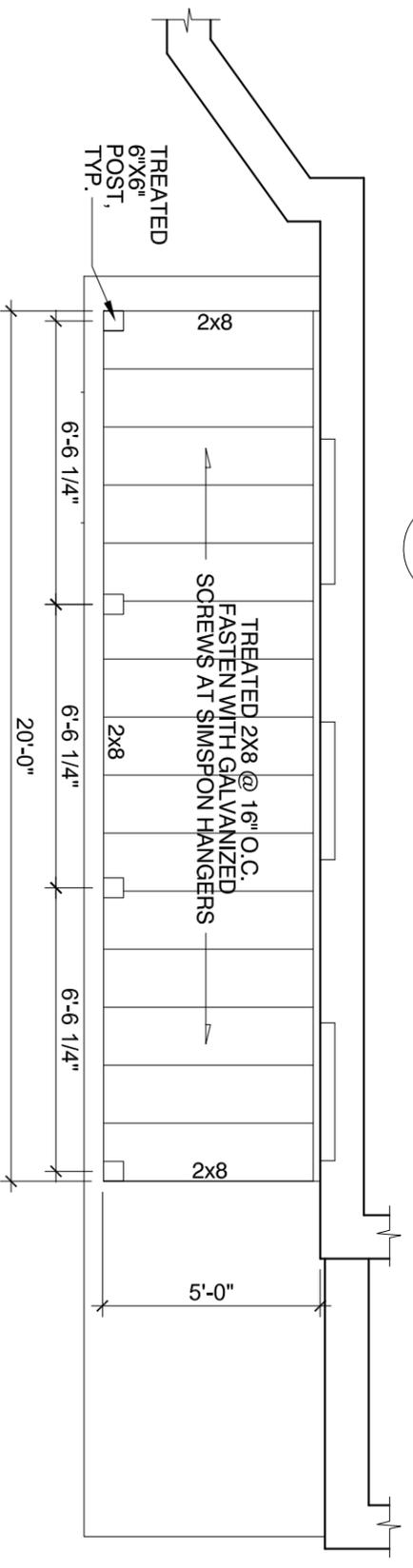
900 Middle Street
Pittsburgh, PA 15212
412.266.4425
bobbaumbach@comcast.net



3 SECTION AT DECK
SCALE: 3/4" = 1'-0"

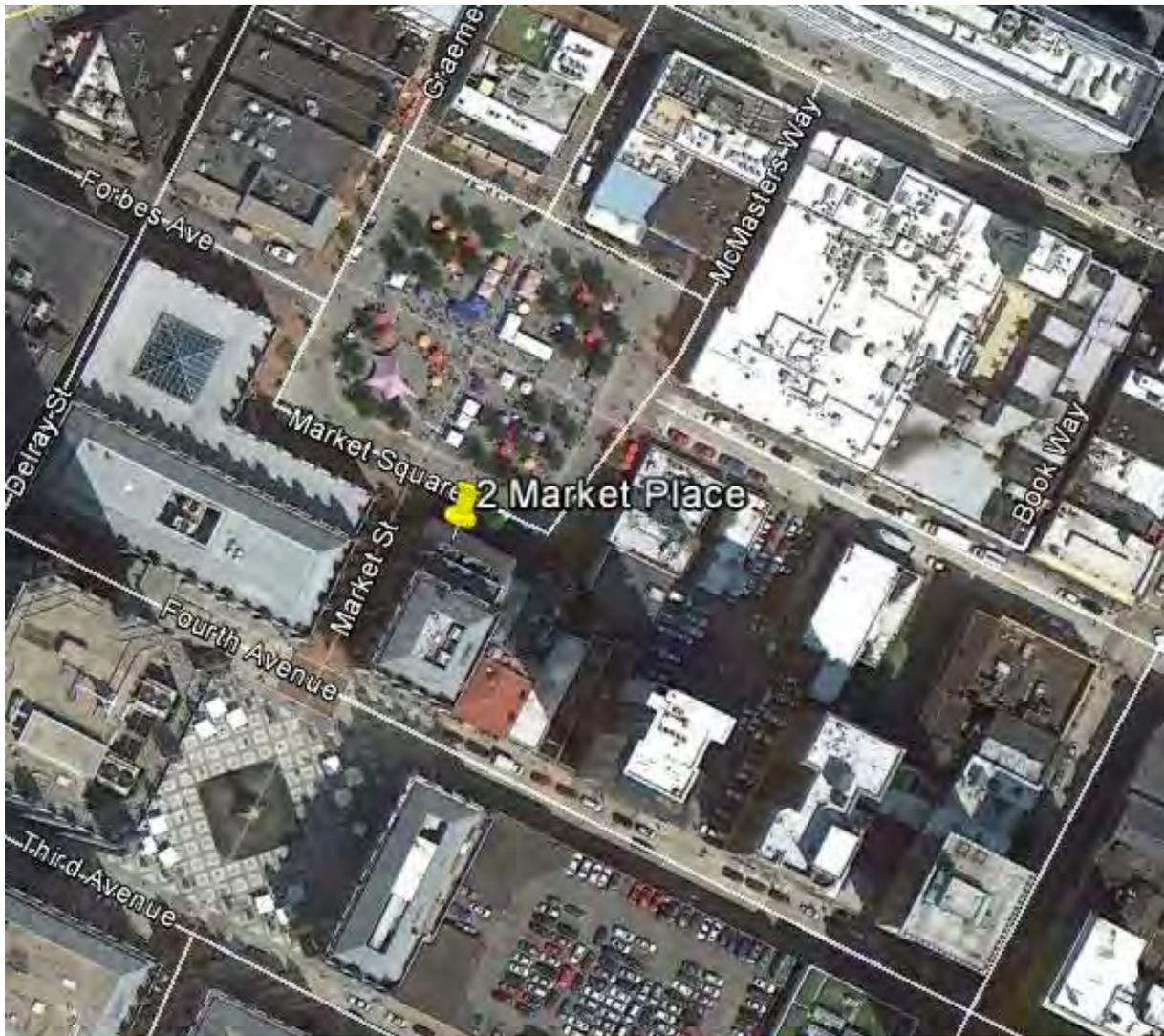


1 PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



2 POST AND FRAMING PLAN
SCALE: 1/4" = 1'-0"

PROPOSED DECK REPLACEMENT FOR:			
JAMIE DIETZ			
1416 SHEFFIELD ST, PITTSBURGH, PA 15212			
PRINT DATE:	SCALE:	SHEET:	
MARCH 9, 2015	AS NOTED	A2	
		RobertBaumbach , Architect BUILDING DESIGN 900 Middle Street Pittsburgh, PA 15212 412.266.4425 bobbaumbach@comcast.net	



Primanti Bros.
2100 Wharton Street, Suite 720
Pittsburgh, PA 15203
Phone 412-325-2455 Fax 412-325-1504

LETTER OF TRANSMITTAL

DATE: 15-Jun-15

Send To

Name : Sarah Quinn
Company : Historic Review Commission
Address: 200 Ross Street, 3rd Floor
City & State: Pittsburgh, PA
Zip Code: 15219-2069
Phone: 814-793-1849

Attention: Sarah Quinn
Job Name: Primanti Bros. Market Square
Regarding: Historical Review Commission Application

Quantity	Sheet No.	Date	Description
1		15-Jun-15	Check No _____ for the amount of \$640.00 for review fee
			- Historical Review Commission Application
			- Drawings
			- Photographs
			- Rendering
			- Site Plan

- | | |
|---|---|
| <input checked="" type="checkbox"/> FOR YOUR USE
<input checked="" type="checkbox"/> FOR YOUR FILE
<input type="checkbox"/> FOR YOUR USE AS REQUESTED | <input type="checkbox"/> REVISE & RESUBMIT
<input type="checkbox"/> BID DUE DATE:
<input type="checkbox"/> REJECTED |
|---|---|

REMARKS:

Regards,
SENDER: Michael P Kratsas
Director of Development and Facilities



TABLE OF CONTENTS

<u>ITEM</u>	<u>PAGE(S)</u>
Sketch Rendering	Title Page
Application	1
Certificate of Appropriateness for Steel Canopy	3
Photos Prior to Steel Canopy	4-5
Existing Photos, Canopy Completed	6-7
Proposed Canopy Retractable Glass Panel	8
Alternate: Canopy Plastic Curtain Enclosure	9
Architectural Plans for Exterior Enclosure	10-17
Landlord Approval Letter	18

PRIMANTI BROS.



MARKET SQUARE



HISTORIC REVIEW COMMISSION OF PITTSBURGH

Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

2 South Market Place

Pittsburgh, PA 15222

OWNER:

NAME: N & P Properties

ADDRESS: 204 5th Avenue, Suite 404

Pittsburgh, PA 15222

PHONE: 412-251-5755

EMAIL: Jen@NicholasandPatrinos.com

REQUIRED ATTACHMENTS:

Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

(See Attached)

SIGNATURES:

OWNER: _____ DATE: 6/15/15

APPLICANT: _____ DATE: 6/15/15

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

Market Square

APPLICANT:

NAME: Primanti Bros.

ADDRESS: 2100 Wharton Street, Suite 720

Pittsburgh, PA 15203

PHONE: 412-325-2455

EMAIL: MikeKratsas@PrimantiBros.com

Detailed Description of the Proposed Project

The project is to benefit and extending the use of the Market Square Primanti Bros. sidewalk café into the off seasons.

The sidewalk canopy seating area is to be enclosed with a proposed retractable wood frame glass panels.

The panels will be detailed the same as the Historical approved and completed celestial transom windows. The transparent area is to be greater than 60%. The design esthetic is in line with the early industrial steel canopy and glass conservations. The enclosure is to set behind the completed canopy steel columns, which is recessed into the steel canopy area.



HISTORIC REVIEW COMMISSION OF PITTSBURGH
CITY OF PITTSBURGH

CERTIFICATE OF APPROPRIATENESS

#14-010

Owner: N & P Properties
Applicant: Primanti Brothers
Building Inspector: Bob Molyneaux
Address of Property: 2 S. Market Place

Issue Date: February 6, 2014
Historic District: Market Square
Ward: 1st
Block and Lot: 1-H-223

In accordance with Section 1.8 of Title Eleven – Historic Code of Ordinances of the City of Pittsburgh, the Historic Review Commission has reviewed the application for new construction, demolition, or exterior alterations submitted by the applicant, and has approved the following:

- Construction of a steel-framed canopy for outdoor seating.
 - Canopy is to have five bays and will span the entire length of the front façade.
 - Materials will include steel framing, decorative metal brackets, and a wood-framed clerestory with tempered glass.
 - Canopy roof material will be composite EPDM rubber product.
- Renovations to ground-floor façade including widening of masonry openings and installation of wooden folding windows on a wooden paneled base.
- This certificate does not include signage.
- This certificate shall be publically visible at the job site.
- All work items must meet zoning and building inspection codes, and all other applicable laws and regulations.

This certificate must be presented to the Zoning Office and the Bureau of Building Inspection in order to obtain a permit.

***This Certificate EXPIRES six (6) months after Issue Date
PLEASE DISPLAY THIS CARD PROMINENTLY***

Staff of the Historic Review Commission

Administrative Approval



R

PRIMANTI BROTHERS BAR & GRILL

SUBWAY

CHARTS

PRIMANTI BROS
OPEN 7 DAYS
10 AM TO 11:00 PM

ATM









Canopy Retractable Glass Panel Enclosure



Alternate: Canopy Plastic Curtain Enclosure



Market Square
Glass Enclosure

Project Number 1426

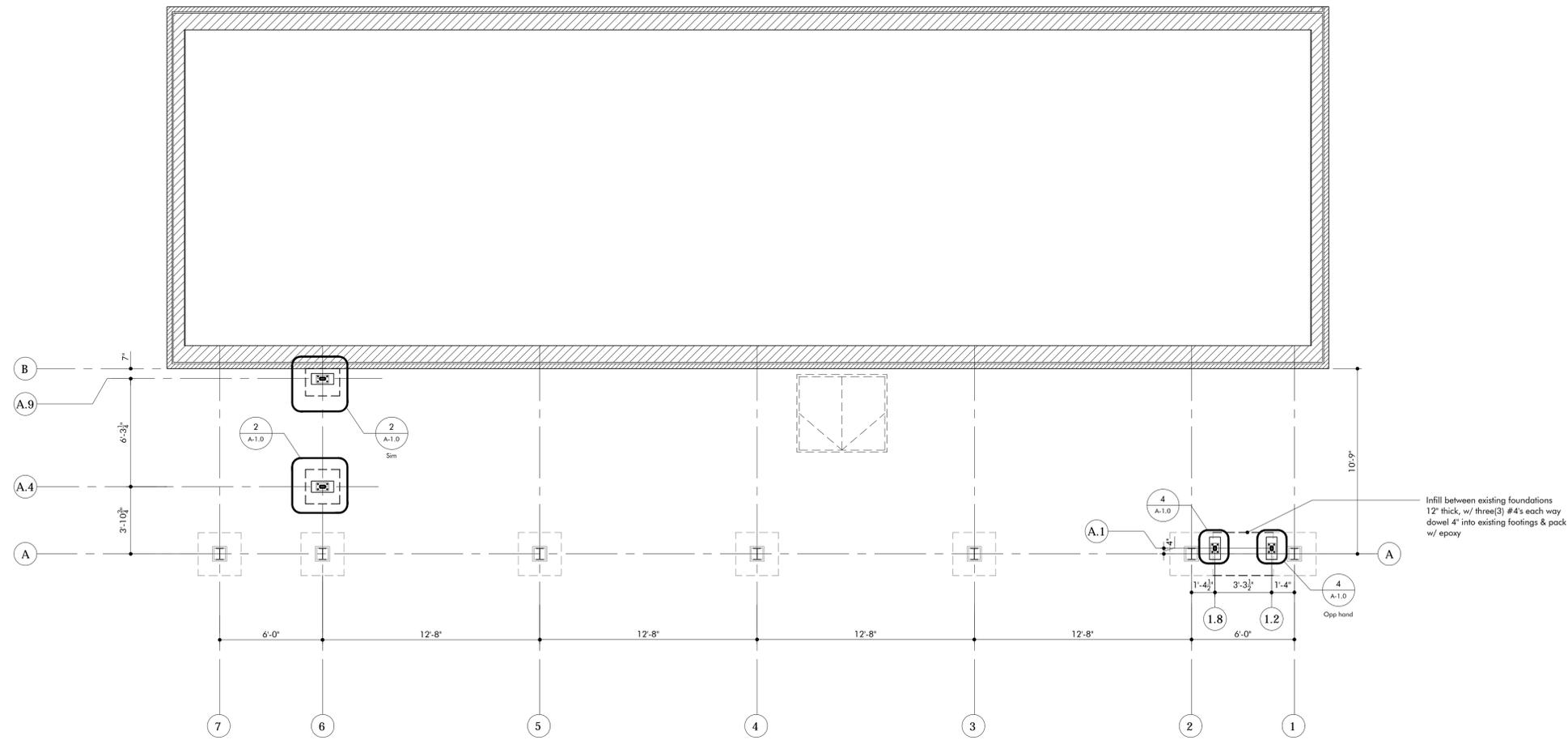
2 South Market Square
Pittsburgh, PA 15222

05.14.2015



Primanti Brothers
Exterior Enclosure
 Market Square
 2 South Market Square
 Pittsburgh, PA 15222

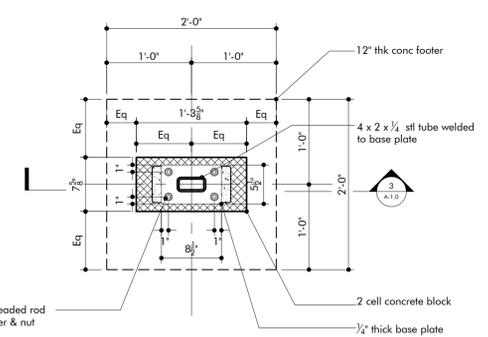
Indovina
 Associates
 Architects
 5880 Elsworth Ave.
 Pittsburgh, PA 15232
 p 412.363.3900
 f 412.363.0483



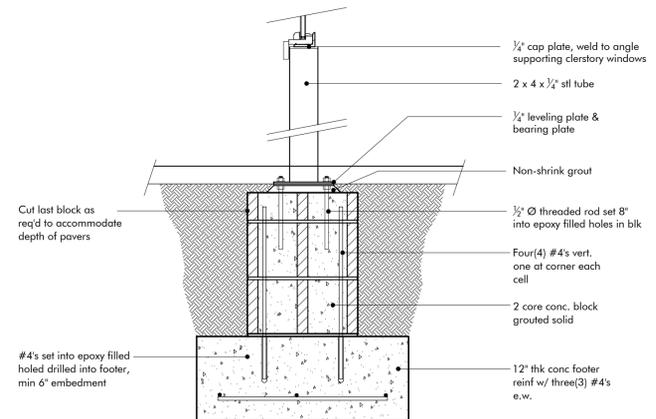
1 Foundation Plan
 1/4" = 1'-0"

All dimensions and existing conditions shall be checked and verified by Contractor at the site. Any discrepancy shall be reported to the Architect in writing.
 © Indovina Associates Architects, L.L.C. 2014

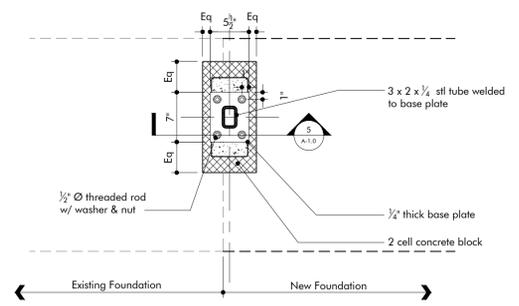
Project Number 14-26
 Date 05.14.2014
 Revisions



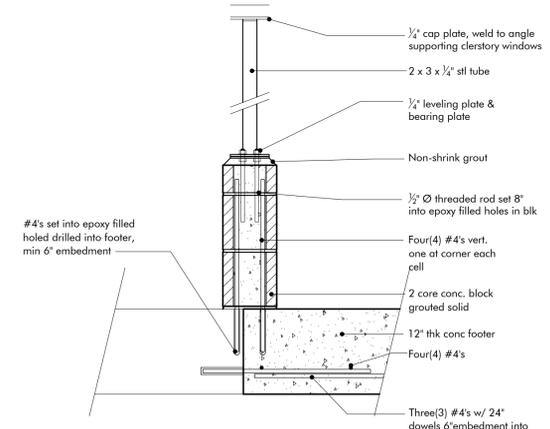
2 Plan Detail
 1" = 1'-0"



3 Section Detail
 1" = 1'-0"



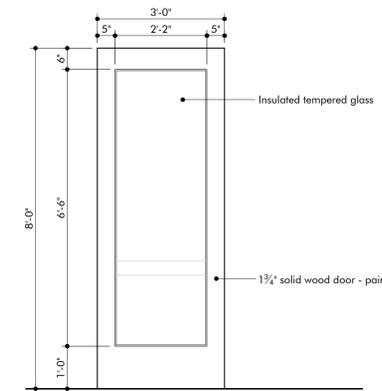
4 Plan Detail
 1" = 1'-0"



5 Section Detail
 1" = 1'-0"

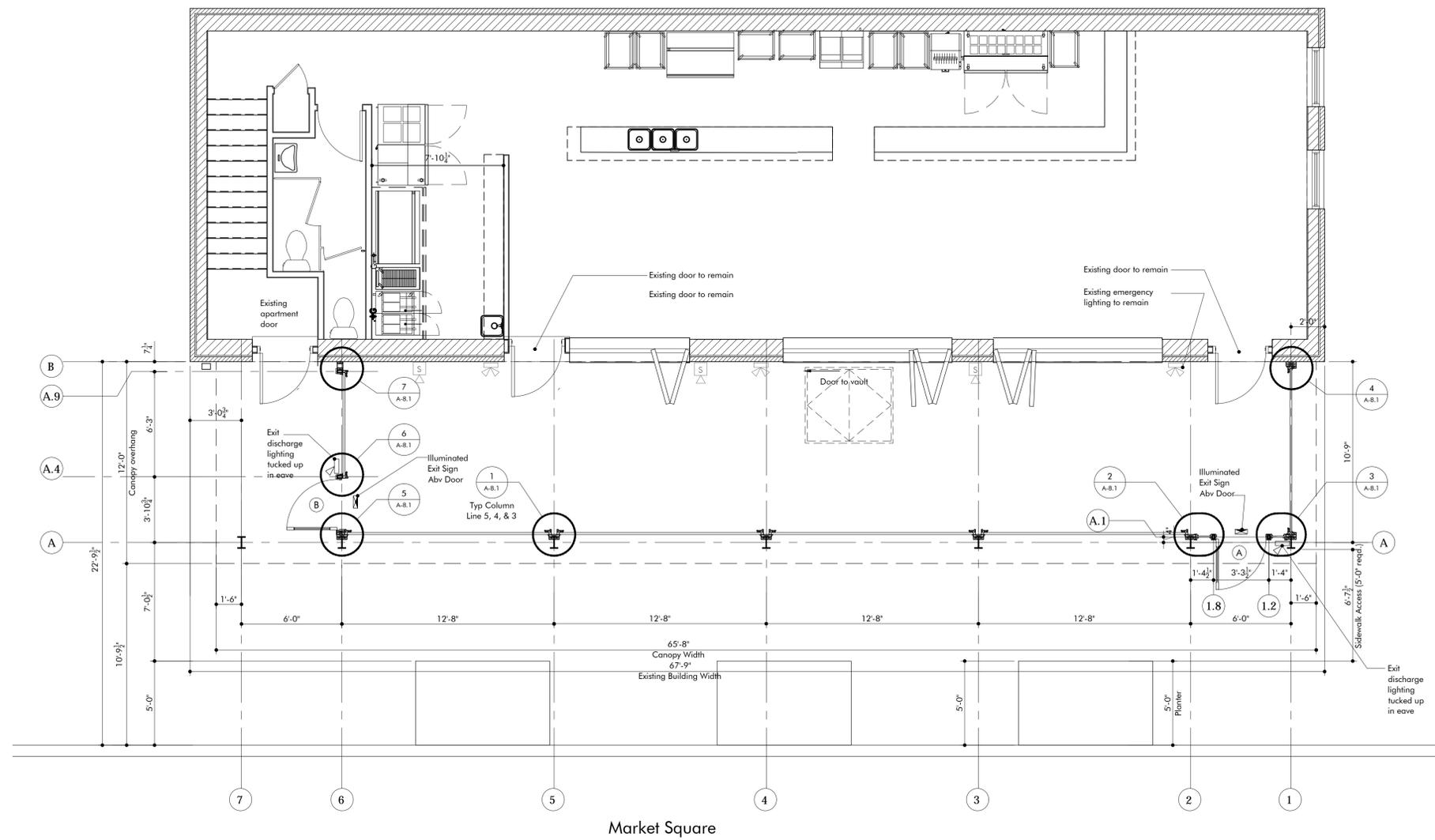
Foundation Plan
 Sheet No.

A-1.0



- Hardware
- 3 Butt hinges
 - 1 Rim exit device ANSI function 04
 - 1 Surface mounted closer parallel arm application
 - 1 Concealed overhead stop
 - 1 Gasketing
 - 1 Bottom sweep
 - 1 Rain drip cap

2 Door Types A and B
1/4" = 1'-0"



1 Floor Plan
1/4" = 1'-0"

Primanti Brothers
Exterior Enclosure

Market Square
2 South Market Square
Pittsburgh, PA 15222

Indovina Associates Architects
5880 Elsworth Ave.
Pittsburgh, PA 15232
p 412.363.3900
f 412.363.0483



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Project Number 14-26
Date 05.14.2014
Revisions



Floor Plan
Sheet No.
A-1.1

Primanti Brothers Exterior Enclosure

Market Square
2 South Market Square
Pittsburgh, PA 15222

**Indovina
Associates
Architects**
5880 Elsworth Ave.
Pittsburgh, PA 15232
p 412.363.3900
f 412.363.0483



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Project Number 14-26
Date 05.14.2014
Revisions



Note:
All new glazing to be tempered insulated glass
Per Arts Commission enclosure to be greater than 60% transparency

1 North Elevation
1/4" = 1'-0"



Elevations

Sheet No.

A-2.1

Primanti Brothers Exterior Enclosure

Market Square
2 South Market Square
Pittsburgh, PA 15222

**Indovina
Associates
Architects**
5880 Elsworth Ave.
Pittsburgh, PA 15232
p 412.363.3900
f 412.363.0483



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Project Number 14-26
Date 05.14.2014
Revisions

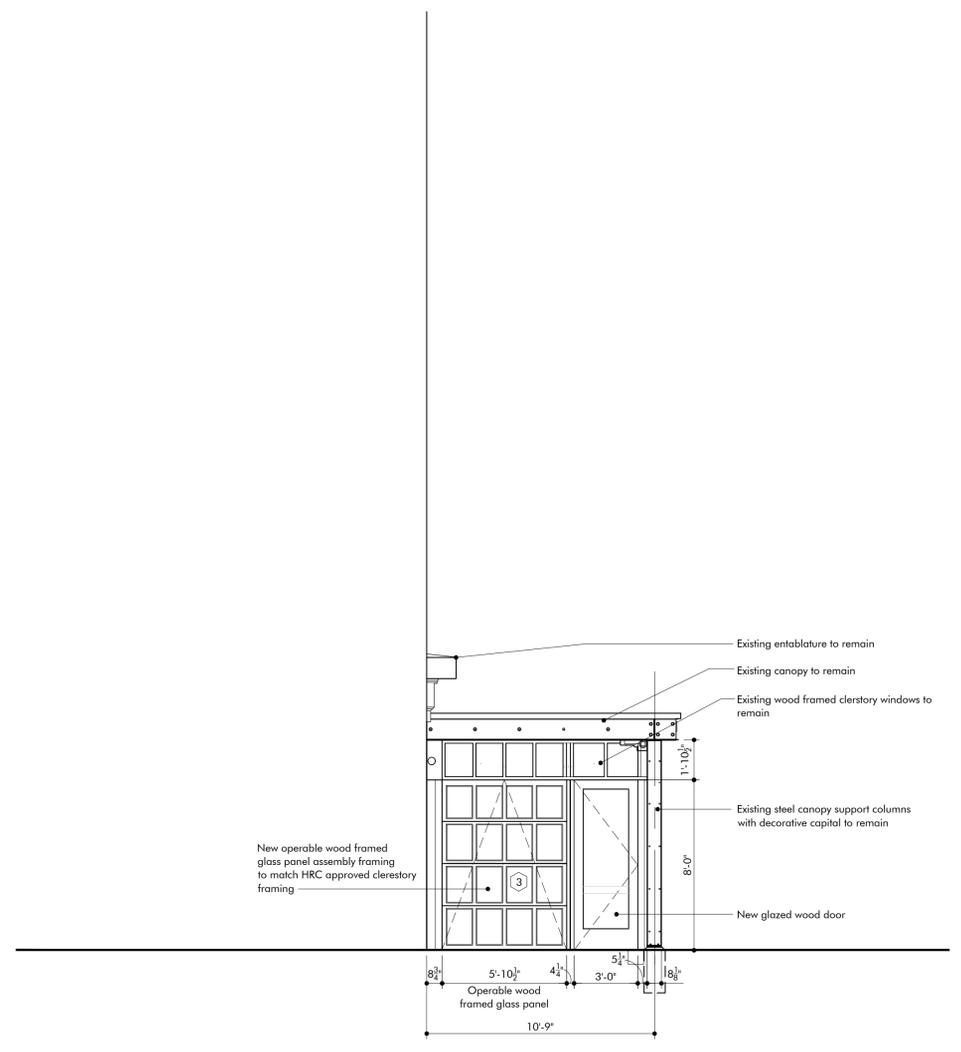
Elevations

Sheet No.

A-2.2

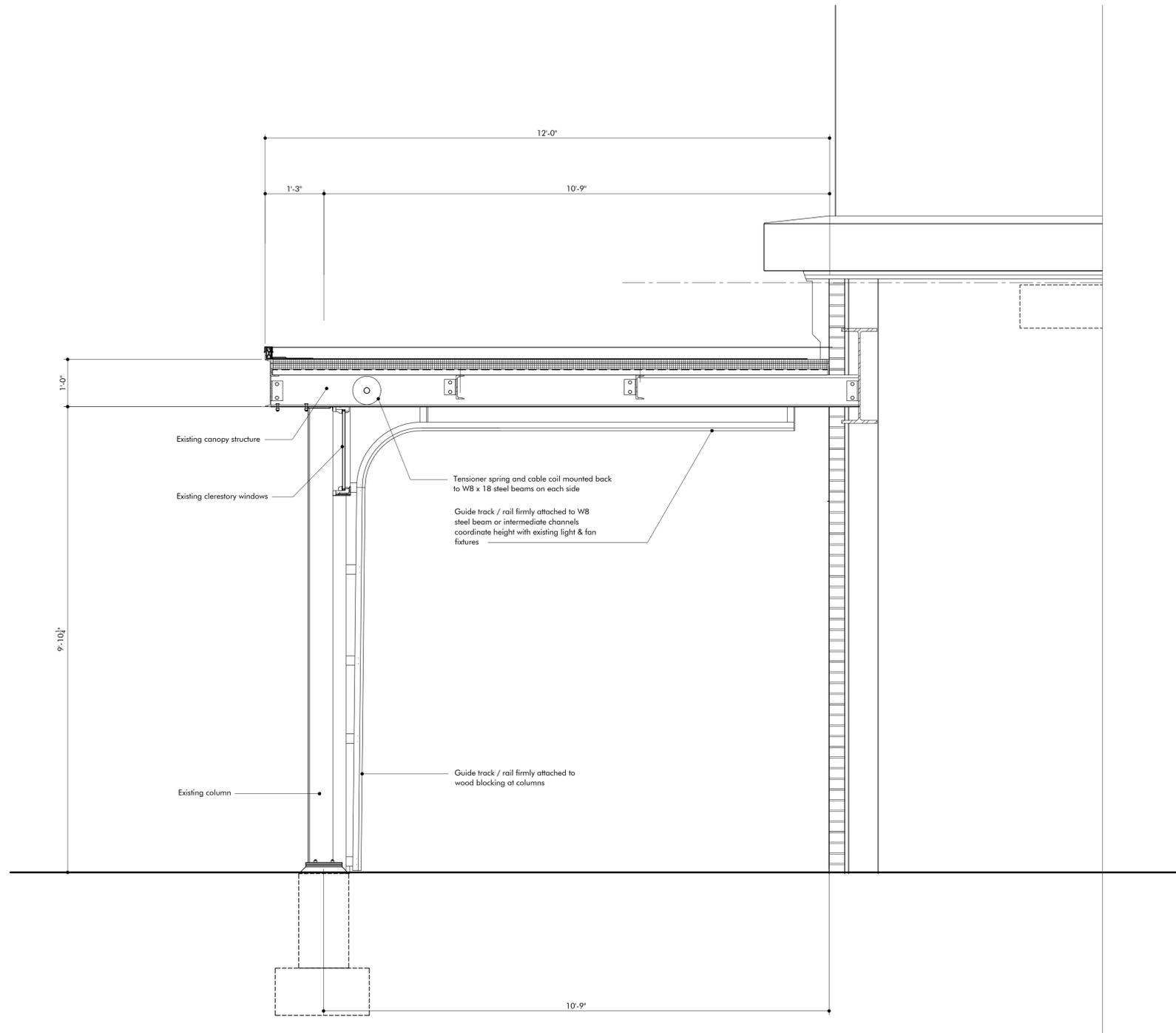


1 West Elevation
1/4" = 1'-0"



2 East Elevation
1/4" = 1'-0"

Note:
All new glazing to be tempered insulated glass
Per Arts Commission enclosure to be greater than 60% transparency



1 Typical Section
3/4" = 1'-0"

Primanti Brothers Exterior Enclosure

Market Square
2 South Market Square
Pittsburgh, PA 15222

**Indovina
Associates
Architects**
5880 Ellsworth Ave.
Pittsburgh, PA 15232
p 412.363.3900
f 412.363.0483



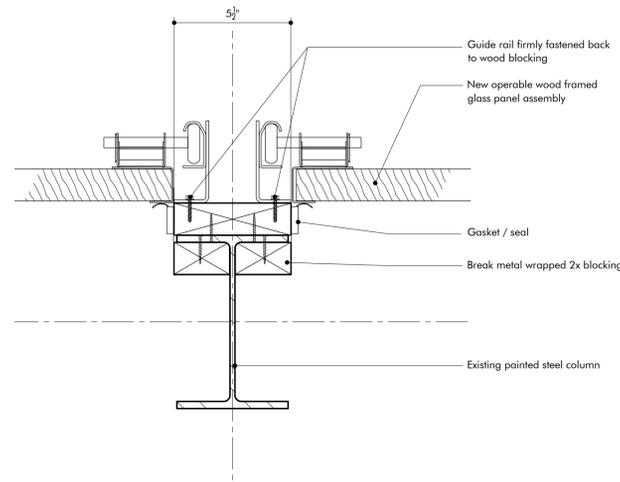
All dimensions and existing conditions shall be checked and verified by Contractor at the site. Any discrepancy shall be reported to the Architect in writing.
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Project Number 14-26
Date 05.14.2014
Revisions

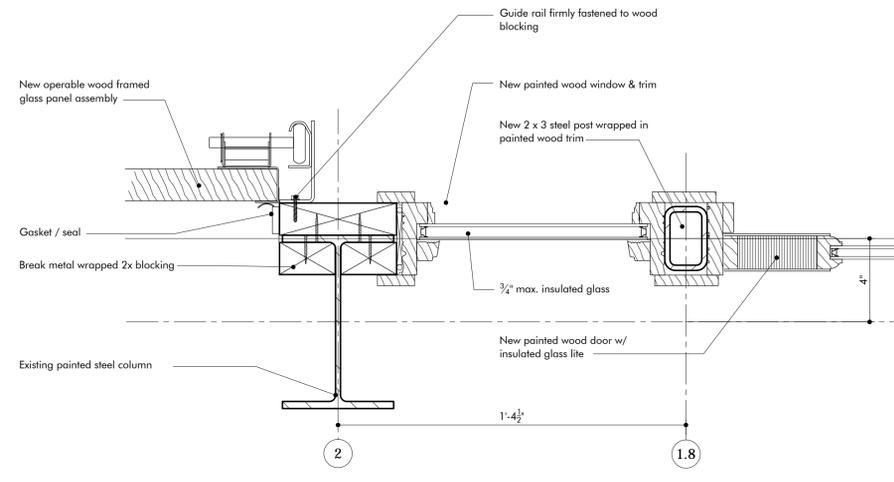
Section

Sheet No.

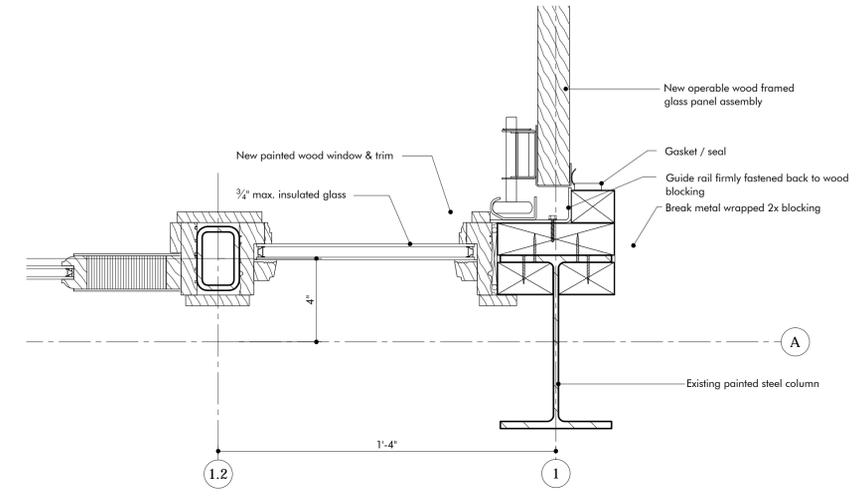
A-7.1



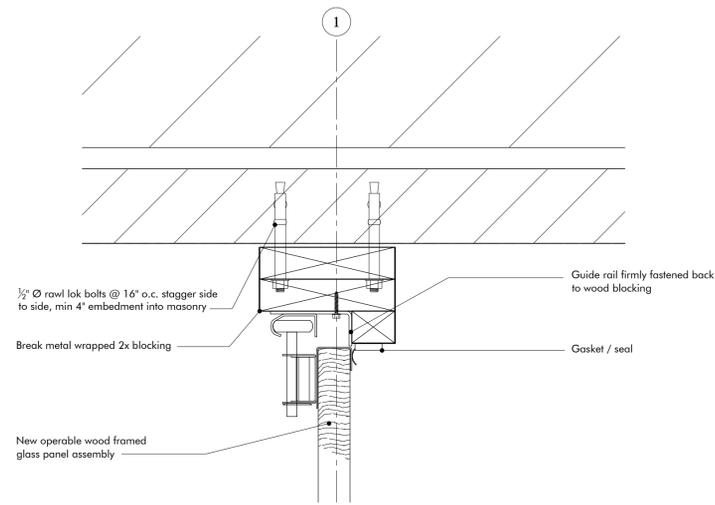
1 Plan Detail
3" = 1'-0"



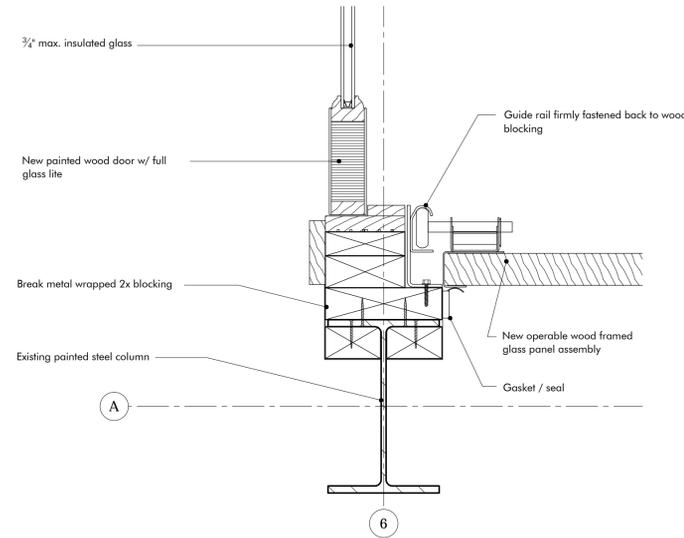
2 Plan Detail
3" = 1'-0"



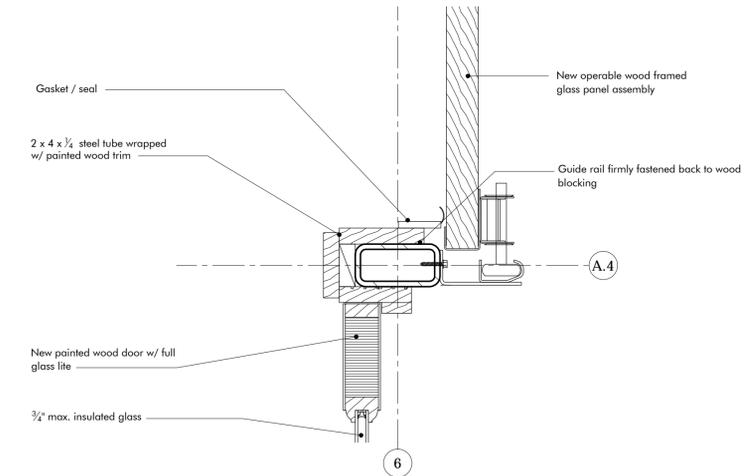
3 Plan Detail
3" = 1'-0"



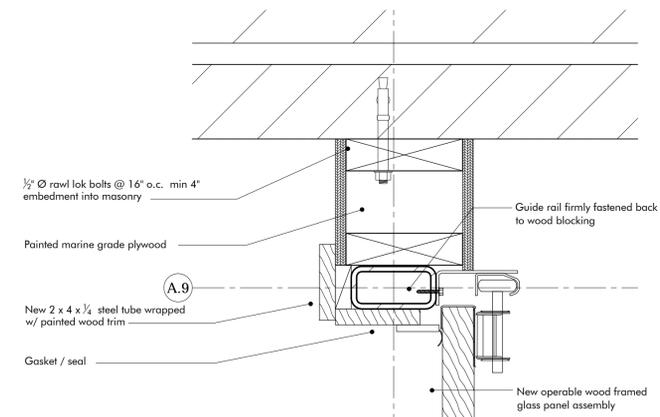
4 Plan Detail
3" = 1'-0"



5 Plan Detail
3" = 1'-0"



6 Plan Detail
3" = 1'-0"



7 Plan Detail
3" = 1'-0"

Primanti Brothers
Exterior Enclosure
Market Square
2 South Market Square
Pittsburgh, PA 15222

Indovina Associates Architects
5880 Elsworth Ave.
Pittsburgh, PA 15232
p 412.363.3900
f 412.363.0483



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Project Number 14-26
Date 05.14.2014
Revisions

Details
Sheet No.
A-8.1

Primanti Brothers
Exterior Enclosure
 Market Square
 2 South Market Square
 Pittsburgh, PA 15222

Indovina
 Associates
 Architects
 5880 Ellsworth Ave.
 Pittsburgh, PA 15232
 p 412.363.3900
 f 412.363.0483



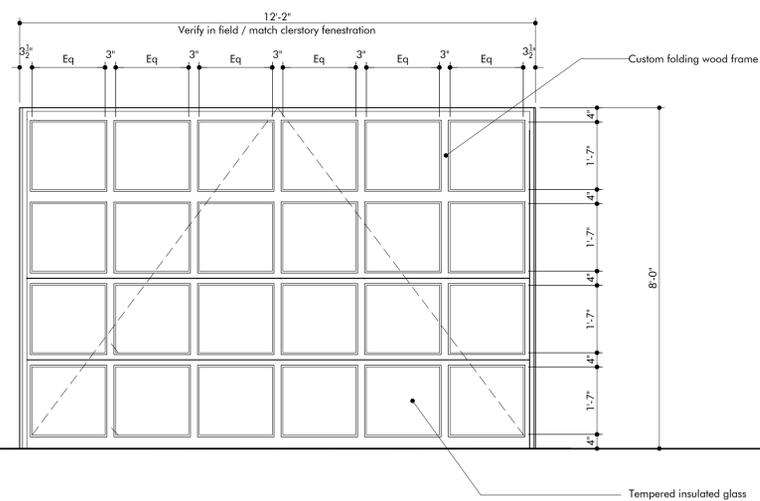
All dimensions and existing conditions shall be checked and verified by Contractor at the site. Any discrepancy shall be reported to the Architect in writing.
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Project Number 14-26
 Date 05.14.2014
 Revisions

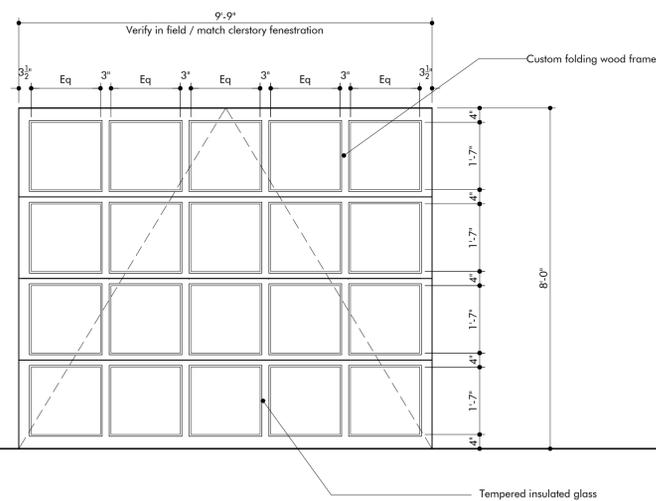
Operable Glass
 Panels

Sheet No.

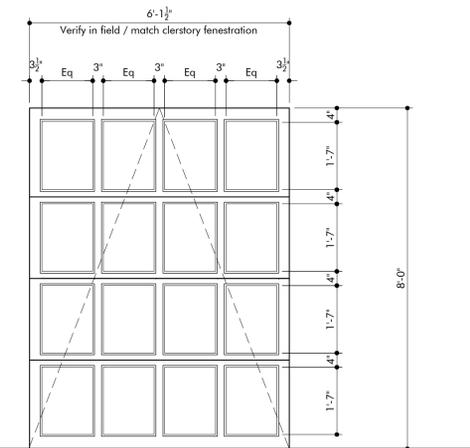
A-9.1



1 Operable Panel 1 (67% Transparent)
 $1/2" = 1'-0"$



2 Operable Panel 2 (66% Transparent)
 $1/2" = 1'-0"$



3 Operable Panel 3 (63% Transparent)
 $1/2" = 1'-0"$

**NICHOLAS & PATRINOS PROPERTIES, LLC
204 FIFTH AVENUE, SUITE 404
PITTSBURGH, PA 15222
(412) 21-5755**

Mr. Michael Kratsas
Primanti Bros.
2100 Wharton Street No. 720
Pittsburgh, PA 15203

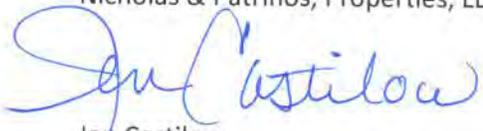
June 15, 2015

Dear Michael,

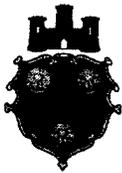
Nicholas & Patrinos Properties approves and is excited about the retractable glass door enclosure for the Market Square Primanti Bros. patio canopy. We believe the enclosure will be an excellent amenity for the building and community, while maintaining the historic significance with detail and architecture. The enclosure will extend the Market SQ commerce into the off seasons and a positive effect for commerce and the City of Pittsburgh.

We are looking forward to fruition of the detailed patio enclosure and its positive affect on the central business district. Please feel free to contact us if we can be of any further assistance.

Sincerely,
Nicholas & Patrinos, Properties, LLC



Jen Castilow
Property Manager



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

DISTRICT:

Oakland Civic Center

ADDRESS OF PROPERTY:

4215 Fifth Avenue
Pittsburgh, PA 15213

OWNER:

NAME: Pittsburgh Athletic Association
Land Company c/o Meyer, Unkovic &
 ADDRESS: 1300 Oliver Building
535 Smithfield Street
Pittsburgh, PA 15222
 Attn: Robert E. Dauer Jr. Esq.
 PHONE: (412) 456-2835
 EMAIL: red@muslaw.com

APPLICANT:

NAME: Oakland Fifth Avenue Hotel Associates LP
 & Scott LLP c/o Concord Hospitality Enterprises
 ADDRESS: Attn: Keith McGraw
409 Broad Street, Suite 203
Sewickley, PA 15153
 PHONE: (412) 749-1114
 EMAIL: sierrakm@aol.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Development of a 10-story building currently planned to contain approximately
175,000 SF for a 170-room hotel, with associated parking, restaurant and other
facilities.

SIGNATURES:

OWNER: Robert E. Dauer Jr. DATE: 6/10/2015
 APPLICANT: Jarvis J. Jarine, as authorized representative DATE: 6/10/2015

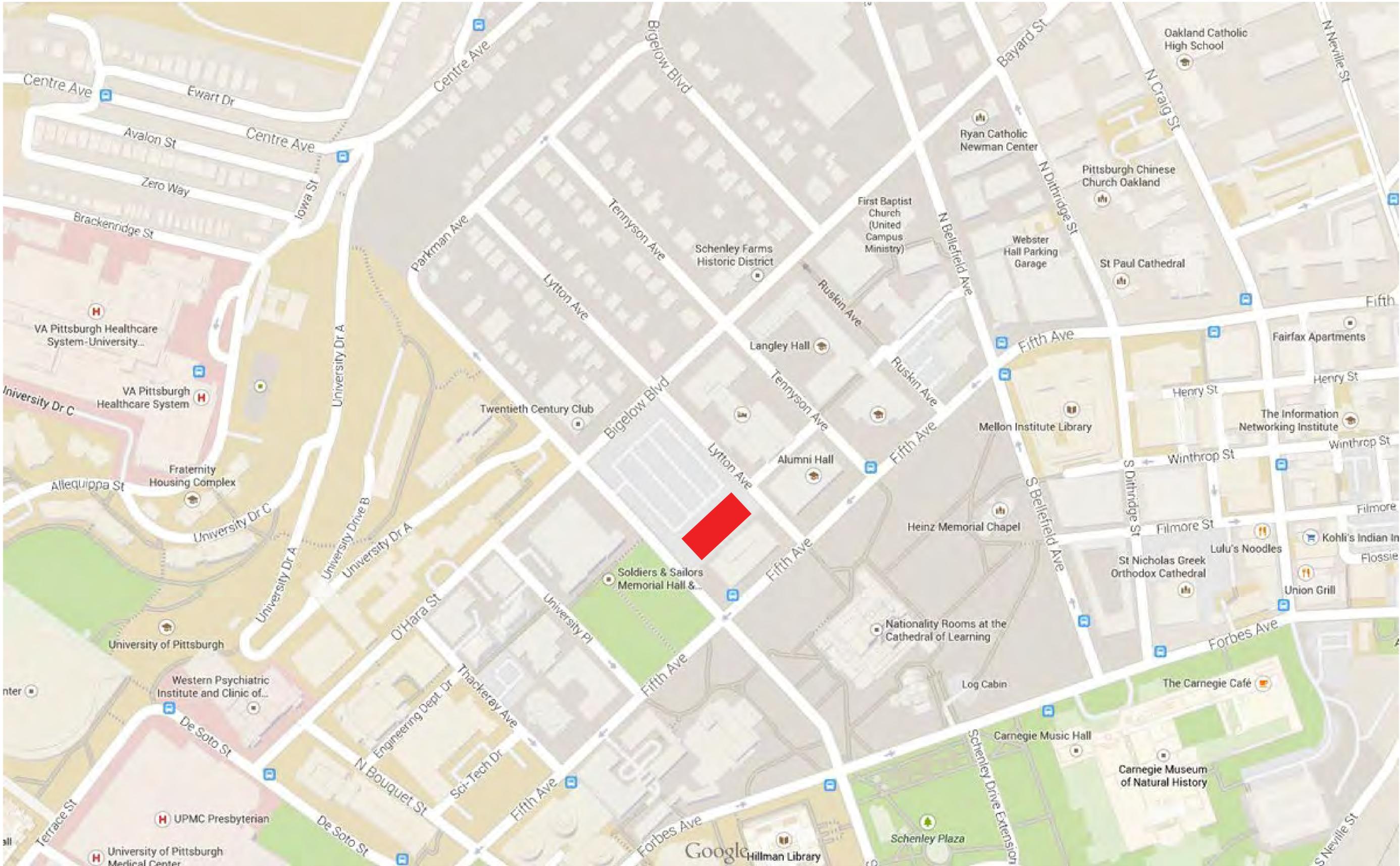




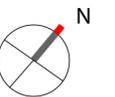
PAA - Hotel Proposed

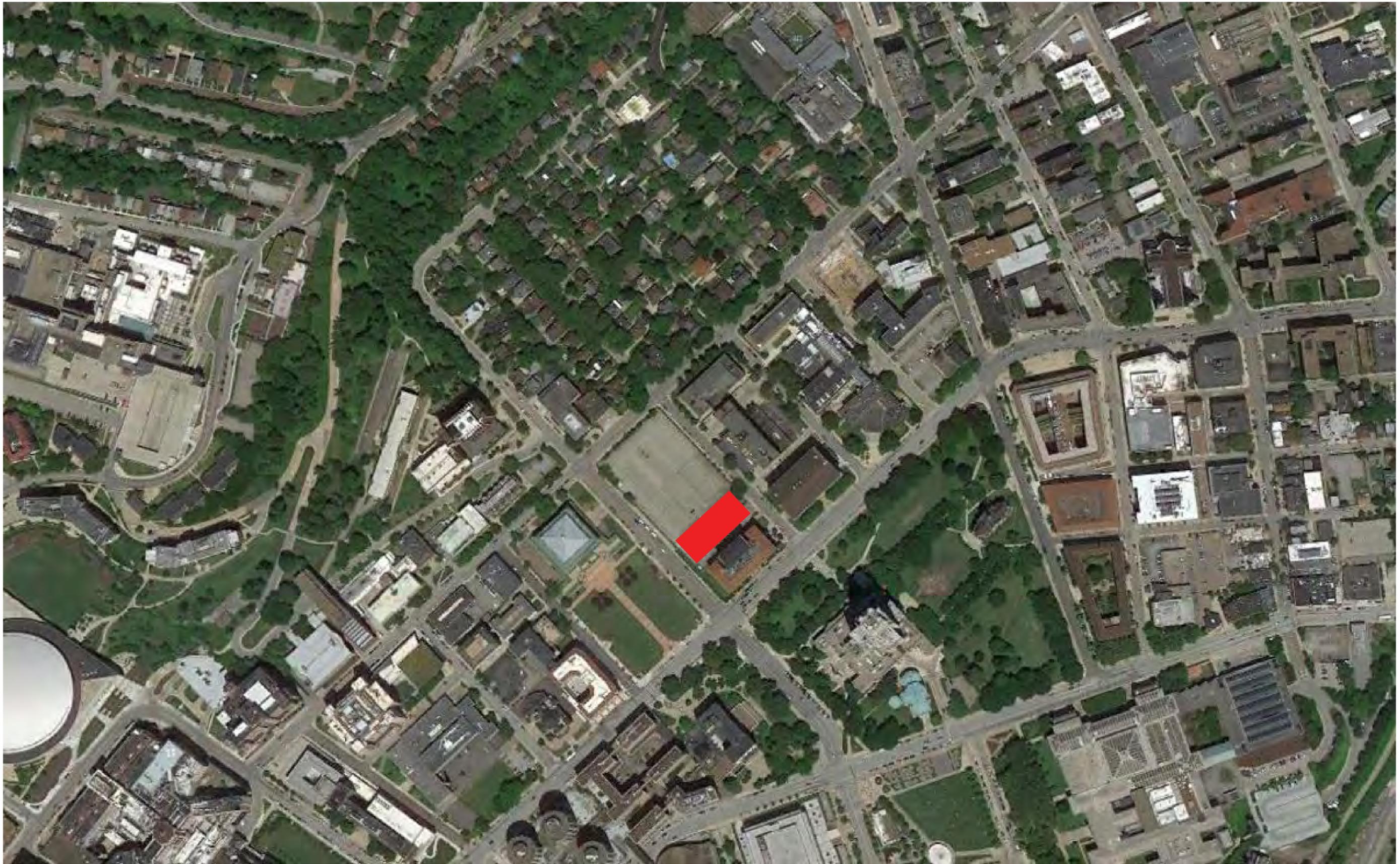
Pittsburgh, PA

Historical Review Submission
Jun 12, 2015

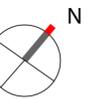


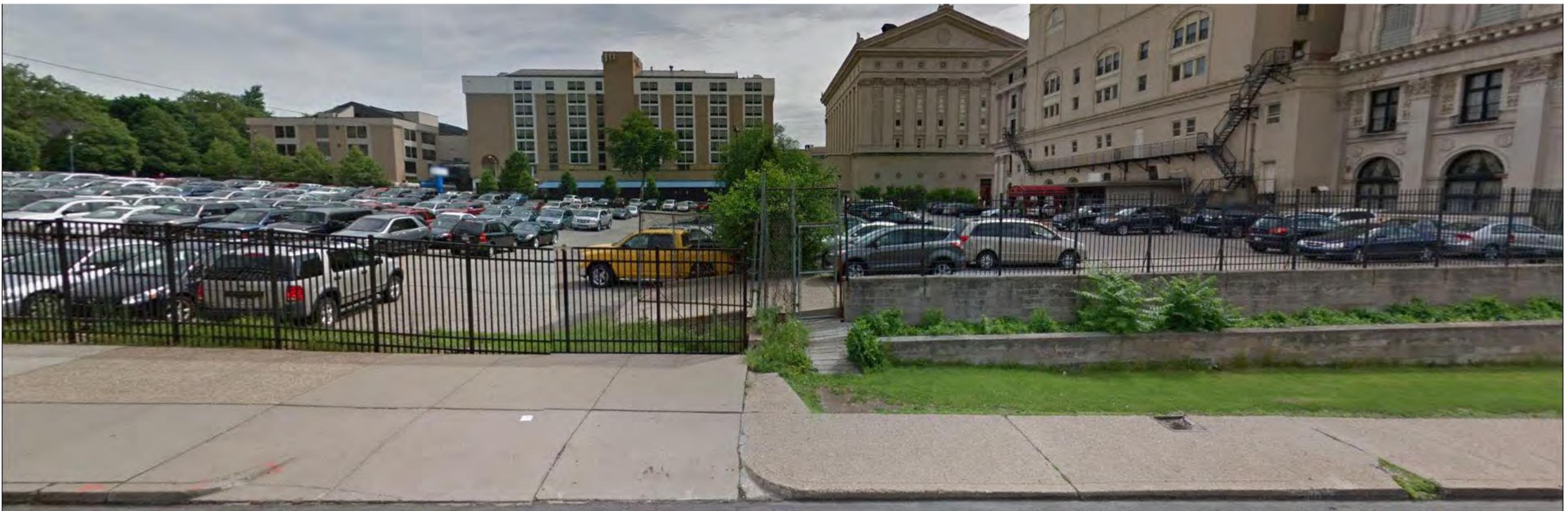
Site Map



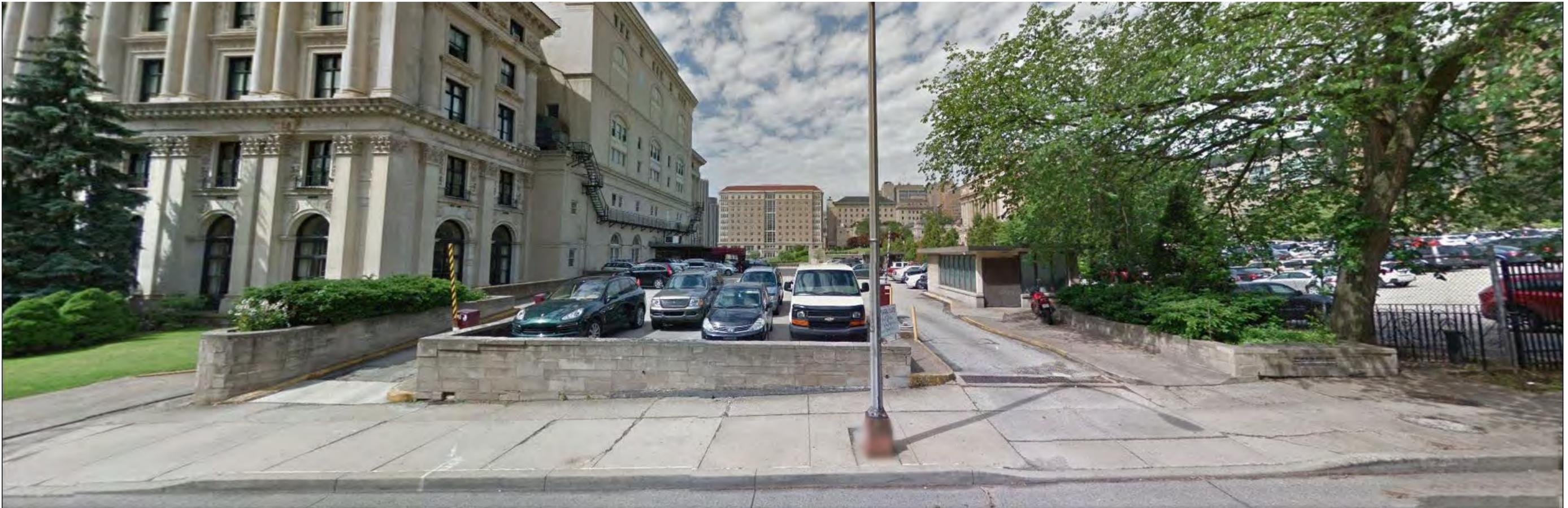
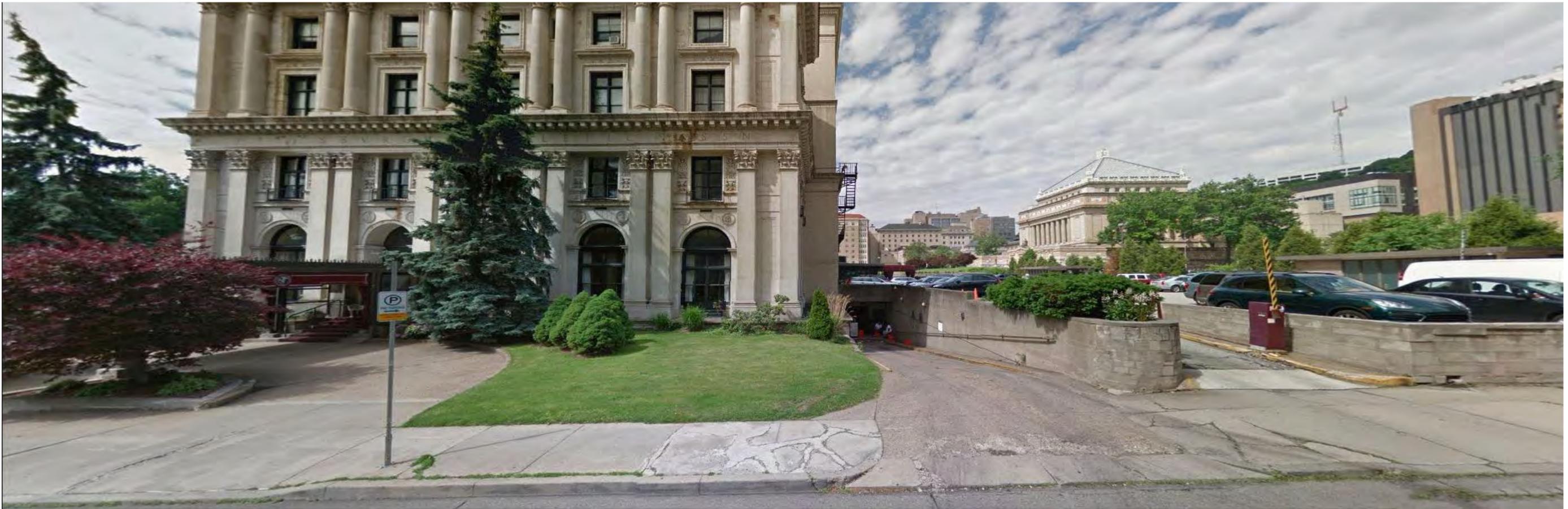


Site Aerial





Existing Site Photographs From Bigelow Blvd.



Existing Site Photographs From Lytton St.



Site View



Bigelow Blvd. Perspective



Lytton St. Perspective



Existing View from Bigelow Blvd.



Proposed View from Bigelow Blvd.



Existing View from Cathedral of Learning.



Proposed View from Cathedral of Learning.



Existing View from Bigelow Blvd.



Proposed View from Bigelow Blvd.



Existing View from Lytton Ave.



Proposed View from Lytton Ave.



Existing View from Lytton Ave.



Proposed View from Lytton Ave.



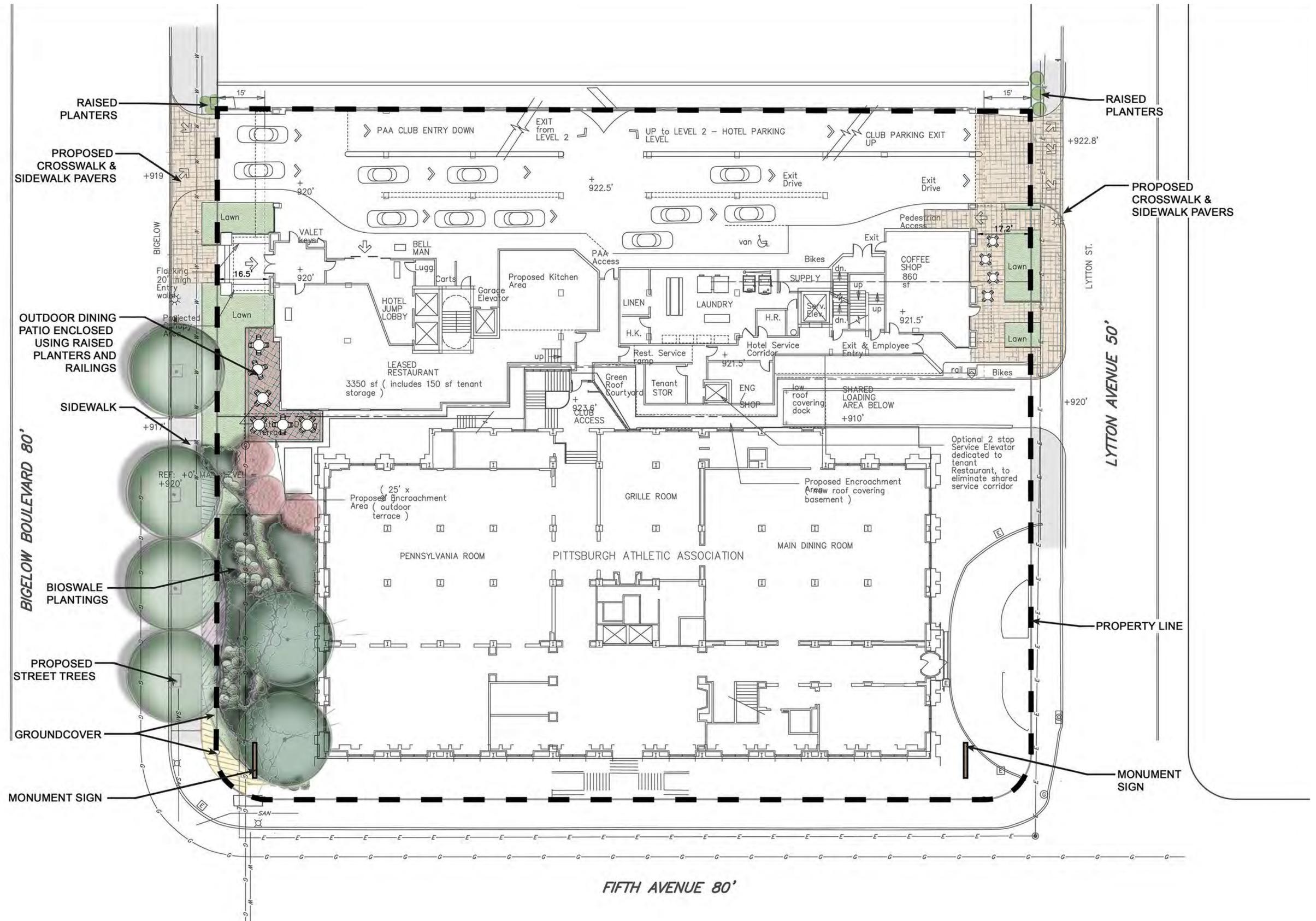
Existing View from Lytton Ave.



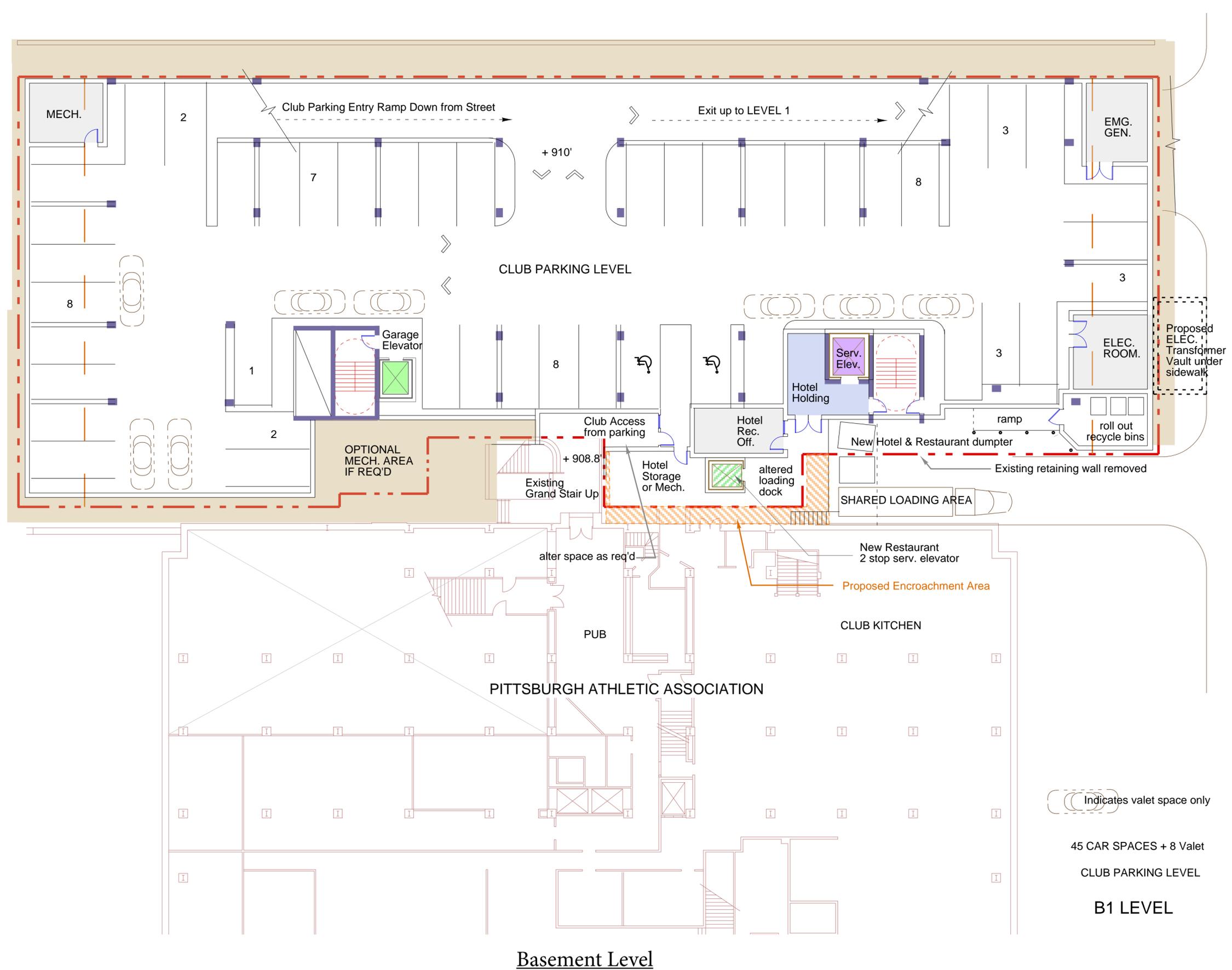
Proposed View from Lytton Ave.



NORTH



Conceptual Streetscape Design

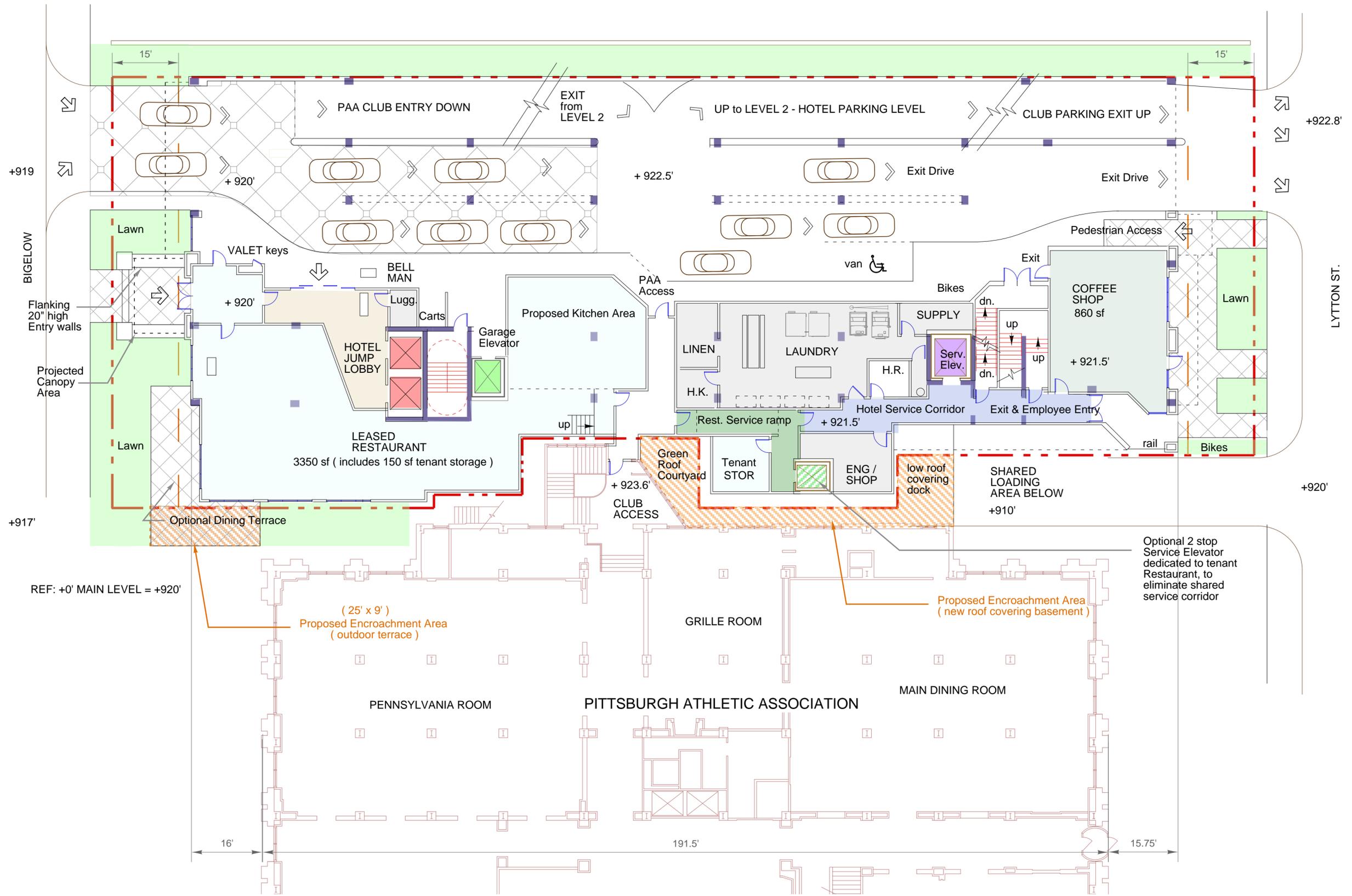


Indicates valet space only

45 CAR SPACES + 8 Valet

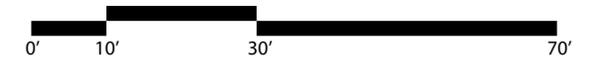
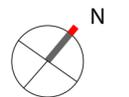
CLUB PARKING LEVEL

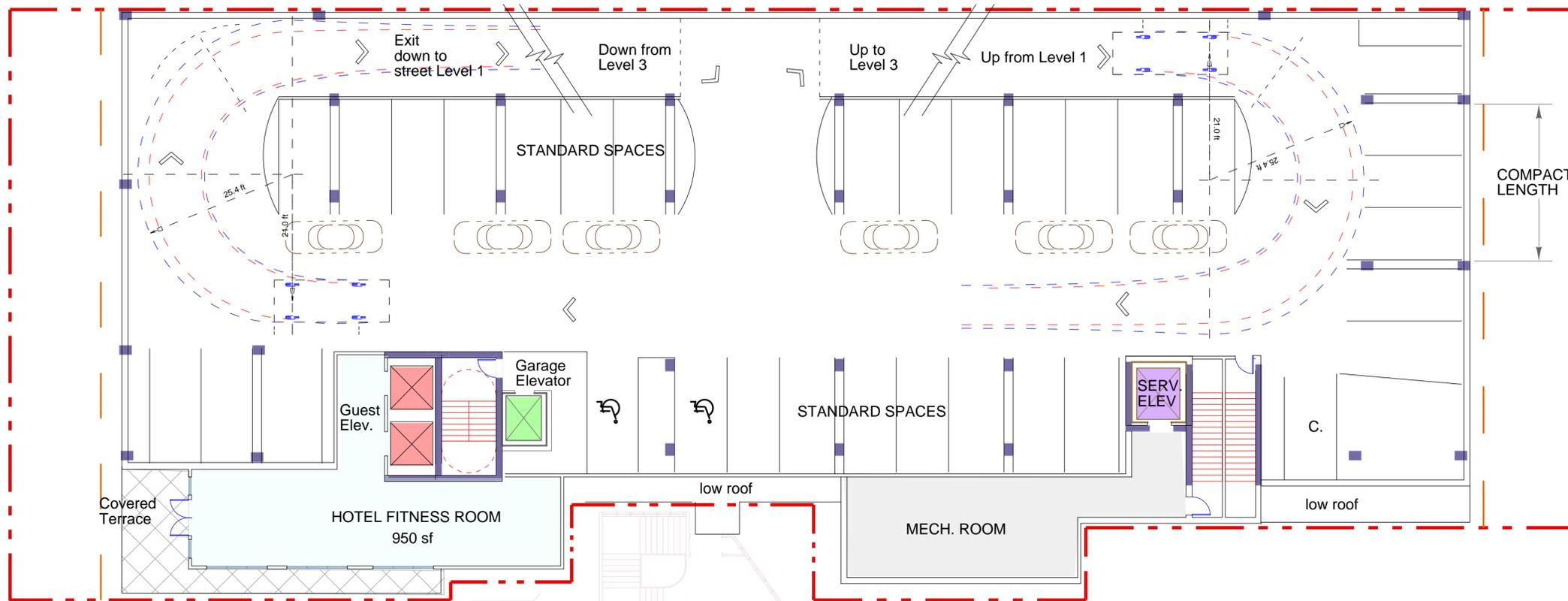
B1 LEVEL



LEVEL 1

Level 1

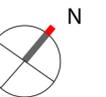


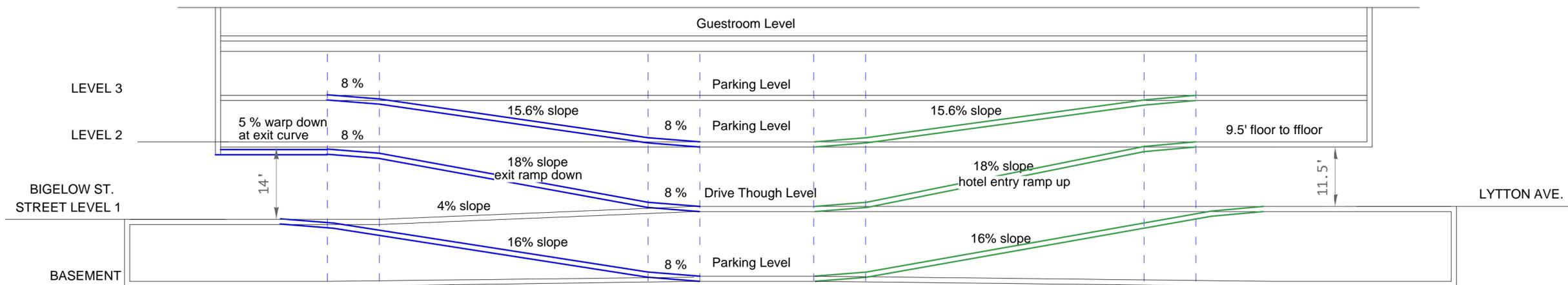
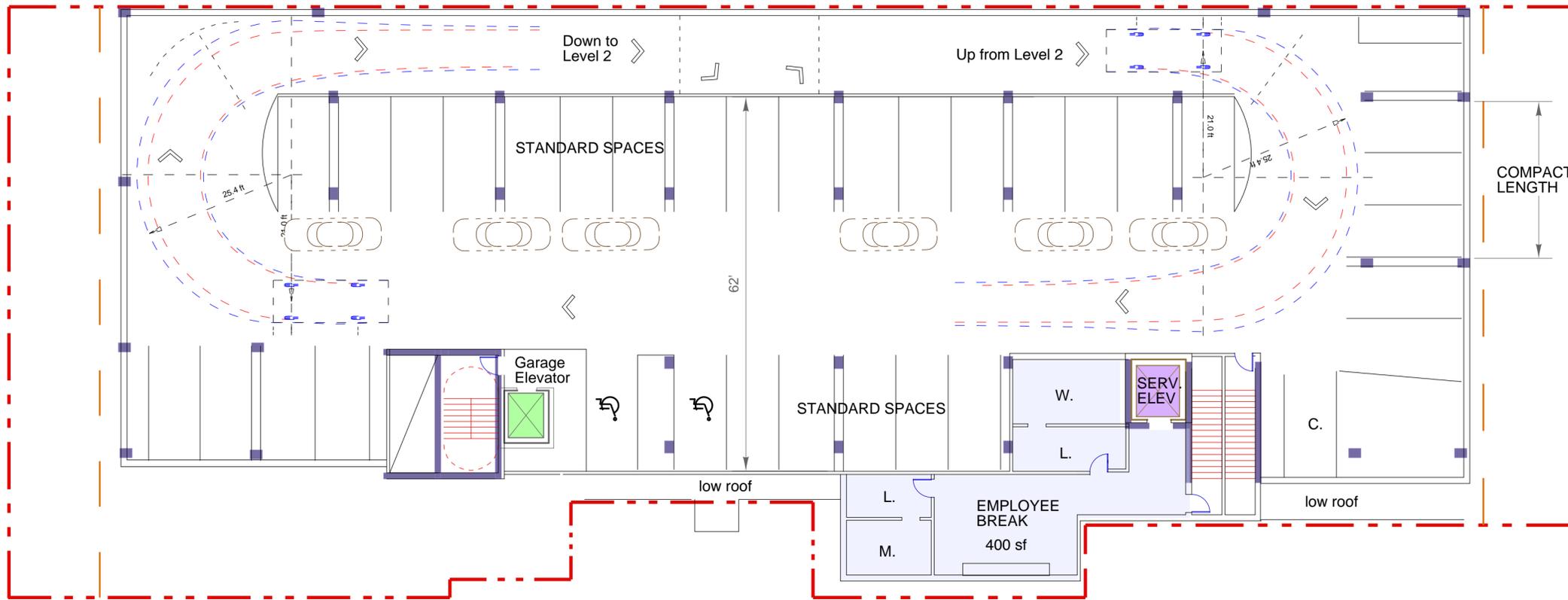


Ramps 13' wide - typical
 Indicates valet space only
 33 CAR SPACES
 + 6 valet

LEVEL 2

Level 2

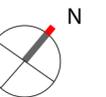


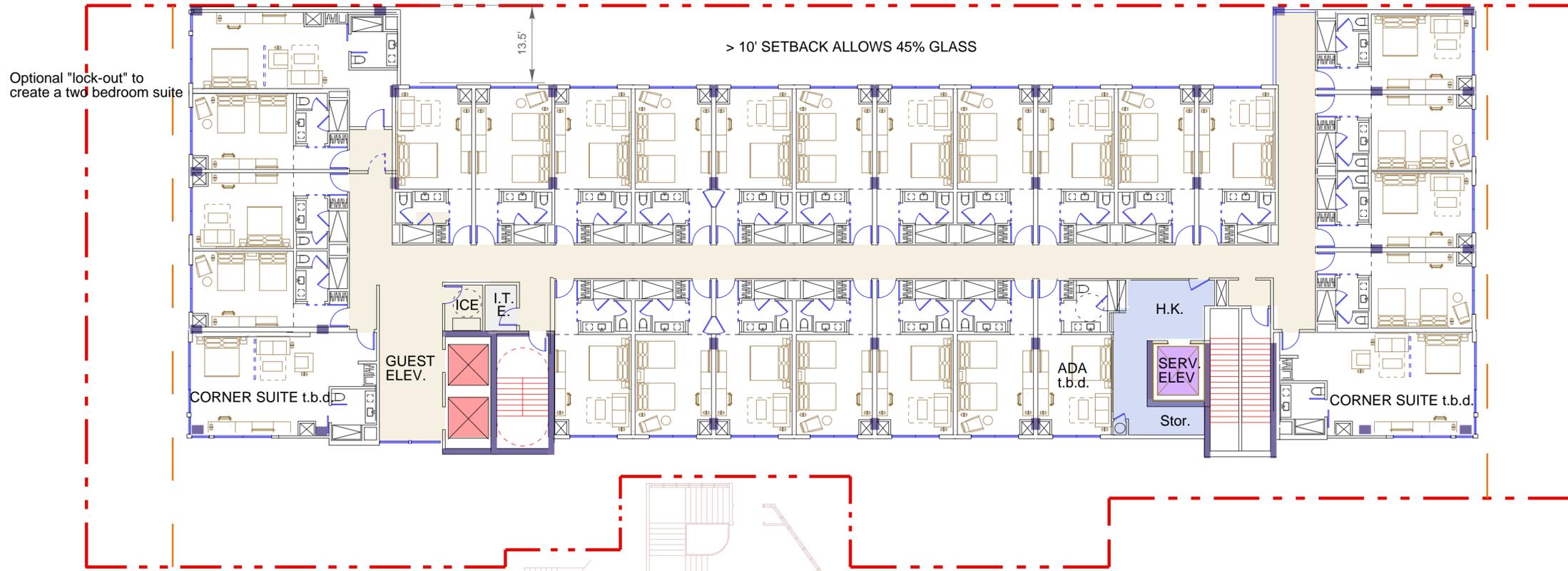


SECTION AT PARKING RAMPS

Indicates valet space only
35 CAR SPACES

Level 3





BUILDING DATA:

Level	SF Hotel	Keys	SF Garage	# of cars	+ # of valet only
B1	2,400	-	*** 16,200	45	8 ramp sf excluded this level
1	* 4,400	-	Δ 10,600	1	Δ Includes all drive under areas
2	3,400	stair / elev.	16,000	32	6
3	2,300	stair / elev.	15,800	35	6
4	14,800	28	-	-	
5	14,800	28	-	-	
6	14,800	28	-	-	
7	14,800	28	-	-	
8	14,800	28	-	-	
9	14,800	28	-	-	
10	** 13,400				
Totals	114,700	168	58,600	113	20

683 sf / Key Total h/c gross building + garage = 173,300

- * Does not include Restaurant or Coffee Shop sf areas
- ** Does not include 1,500 sf exterior upper terraces / balconies
- *** Does not includes ramps, which are included in Level 1 above

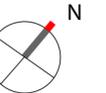
GUESTROOM DATA:

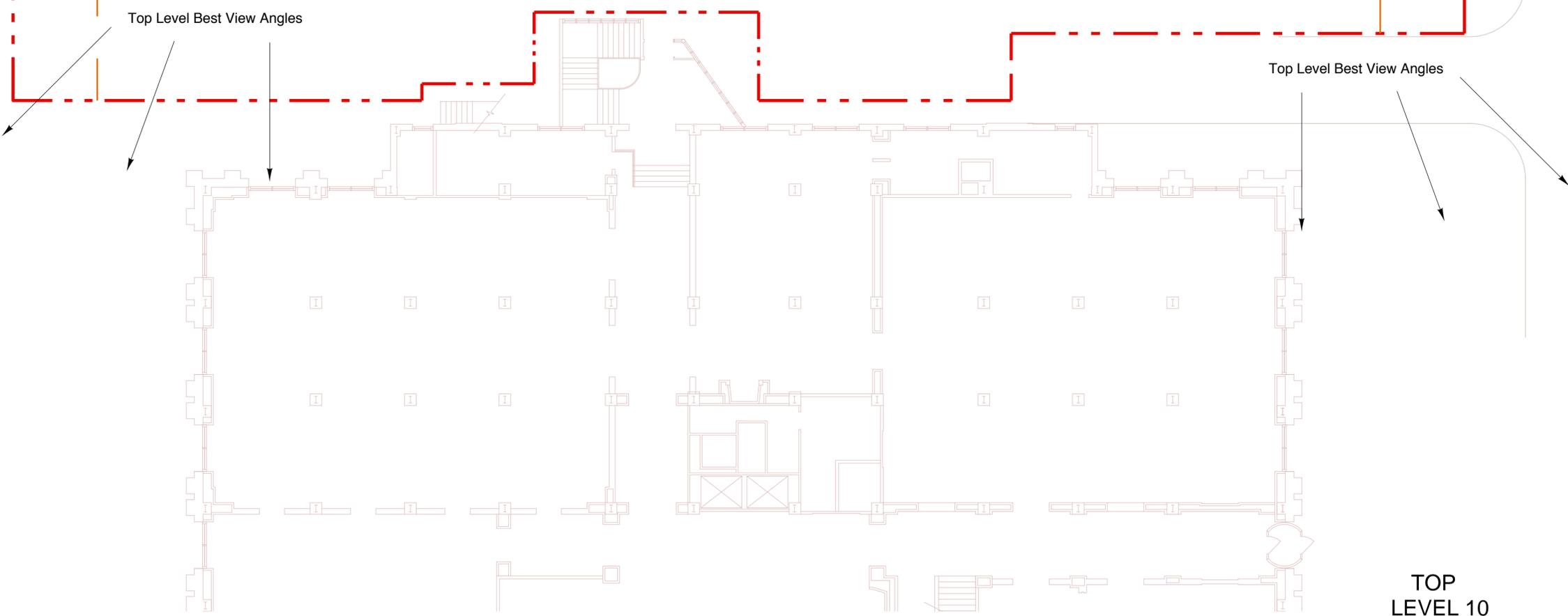
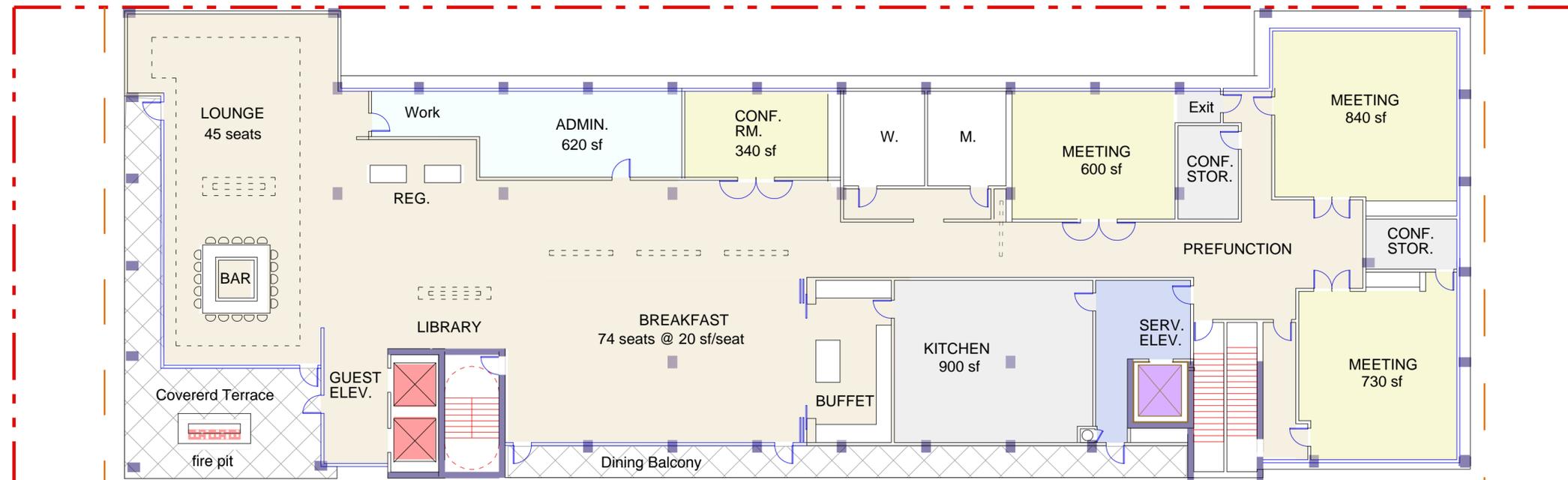
2 CORNER SUITES / level
 12 DQ'S / level
 14 KINGS / level

TYPICAL LEVELS 4 - 9

Typical Levels (4-9)

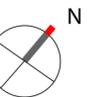
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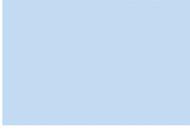


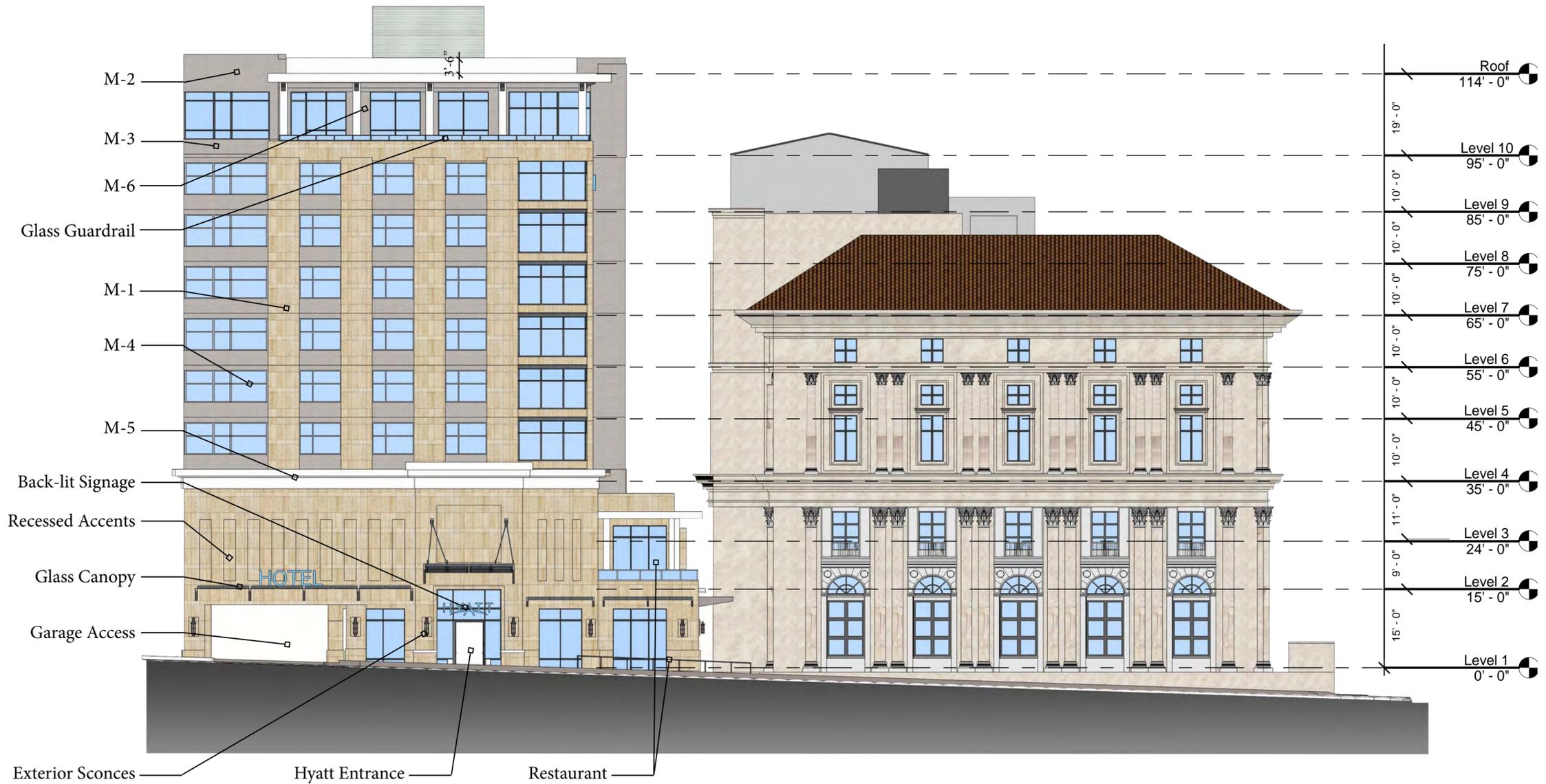
Terrace Level

TOP LEVEL 10



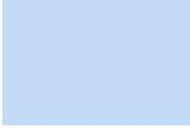
Material Legend

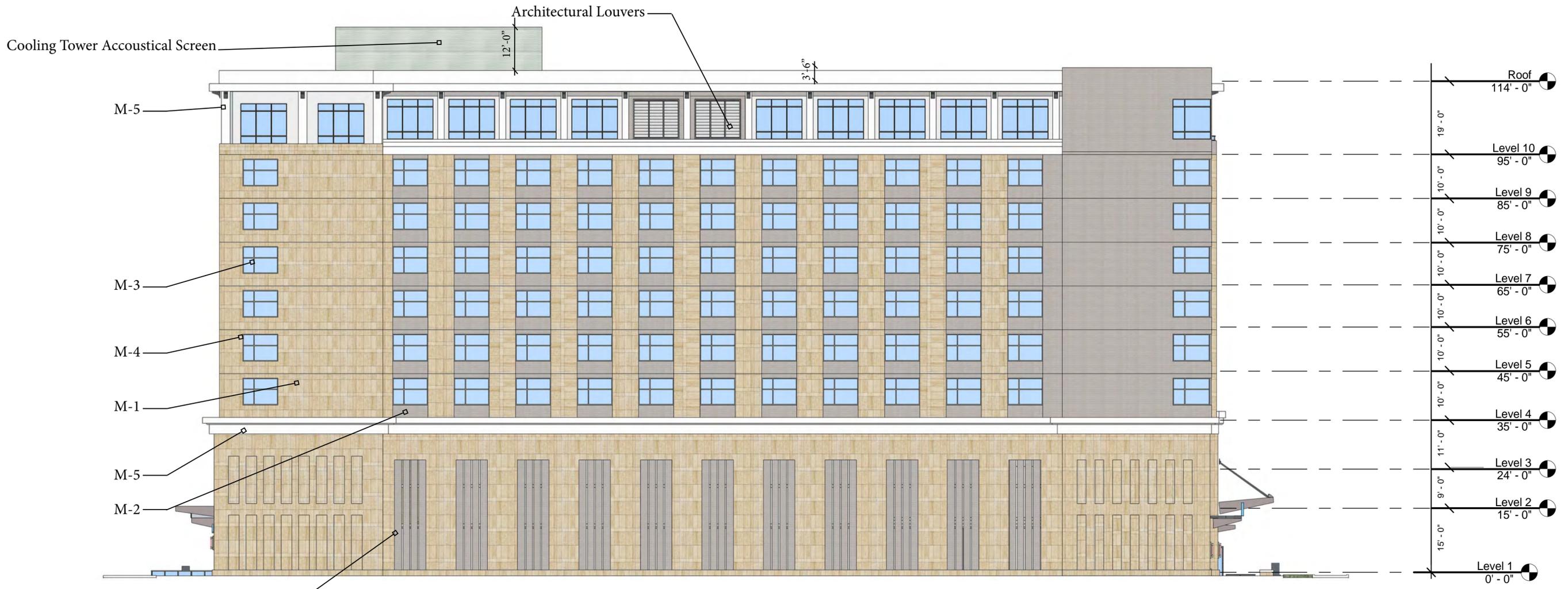
M-1	M-2	M-3	M-4	M-5	M-6
					
Product: Arriscraft Color: Oak Ridge Finish: Sandblasted & Rocked	Product: Calstar Brick Color: Hearthstone Finish: Smooth	Product: Double Glazing Finish: Low -E coating	Product : Aluminum Framing Color: Dark Bronze	Product : Arriscraft ARRIS. cast Color: Limestone Finish: Smooth Note: Exterior Columns & Profiles	Product : Arriscraft Color: Montecito Finish: Smooth Note: Terrace Level Facade



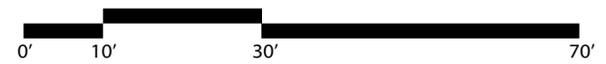
Bigelow Blvd. Elevation



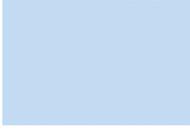
Material Legend					
M-1	M-2	M-3	M-4	M-5	M-6
					
Product: Arriscraft Color: Oak Ridge Finish: Sandblasted & Rocked	Product: Calstar Brick Color: Hearthstone Finish: Smooth	Product: Double Glazing Finish: Low -E coating	Product : Aluminum Framing Color: Dark Bronze	Product : Arriscraft ARRIS. cast Color: Limestone Finish: Smooth Note: Exterior Columns & Profiles	Product : Arriscraft Color: Montecito Finish: Smooth Note: Terrace Level Facade

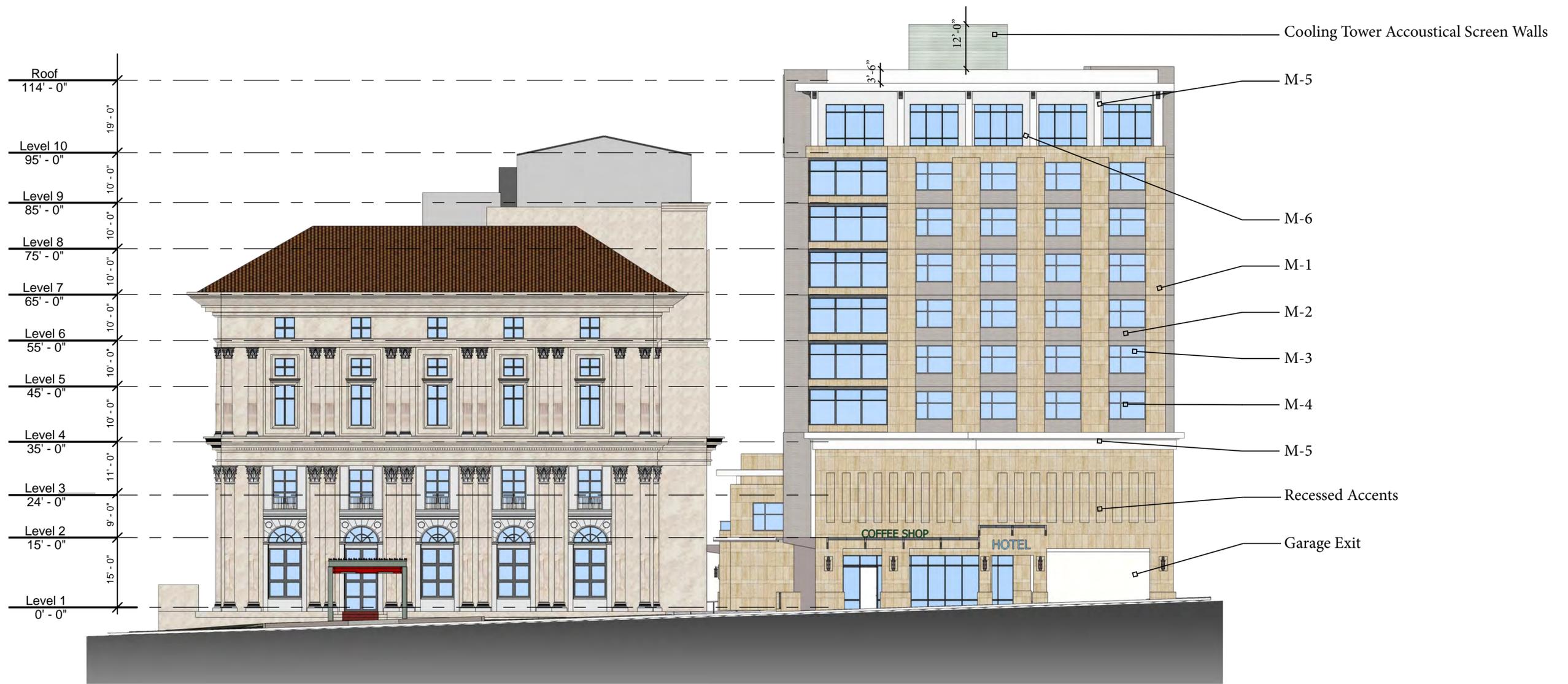


Architectural Louvers Parking Lot Elevation



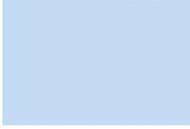
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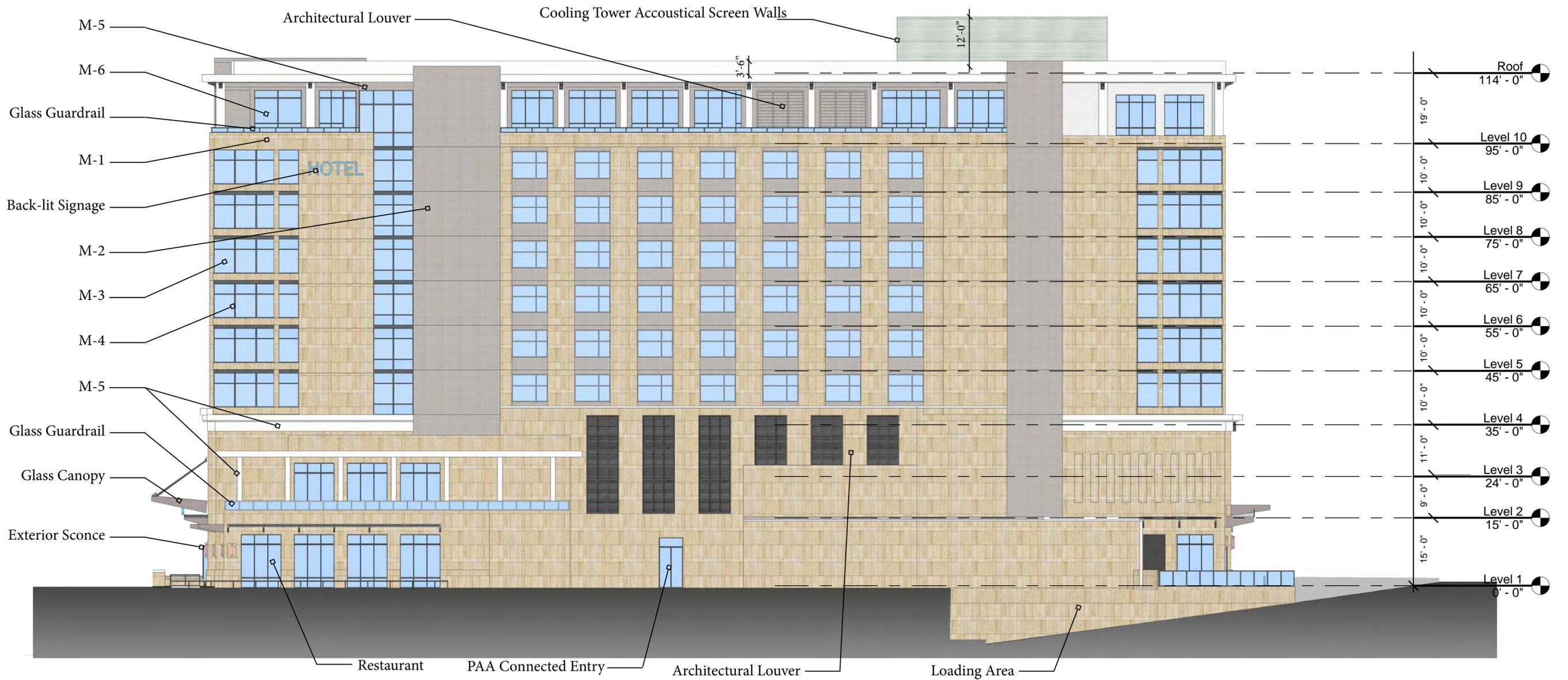
M-1	M-2	M-3	M-4	M-5	M-6
					
Product: Arriscraft Color: Oak Ridge Finish: Sandblasted & Rocked	Product: Calstar Brick Color: Hearthstone Finish: Smooth	Product: Double Glazing Finish: Low -E coating	Product : Aluminum Framing Color: Dark Bronze	Product : Arriscraft ARRIS. cast Color: Limestone Finish: Smooth Note: Exterior Columns & Profiles	Product : Arriscraft Color: Montecito Finish: Smooth Note: Terrace Level Facade



Lytton Ave. Elevation

Material Legend

M-1	M-2	M-3	M-4	M-5	M-6
					
Product: Arriscraft Color: Oak Ridge Finish: Sandblasted & Rocked	Product: Calstar Brick Color: Hearthstone Finish: Smooth	Product: Double Glazing Finish: Low -E coating	Product : Aluminum Framing Color: Dark Bronze	Product : Arriscraft ARRIS. cast Color: Limestone Finish: Smooth Note: Exterior Columns & Profiles	Product : Arriscraft Color: Montecito Finish: Smooth Note: Terrace Level Facade



PAA Elevation



Proposed Material Photographs & Patterns

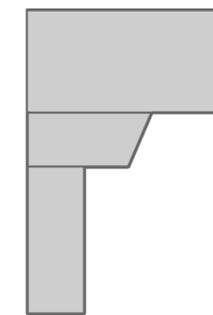
Proposed Pattern

Arriscraft

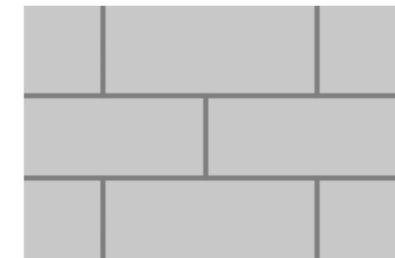
M-1



M-5



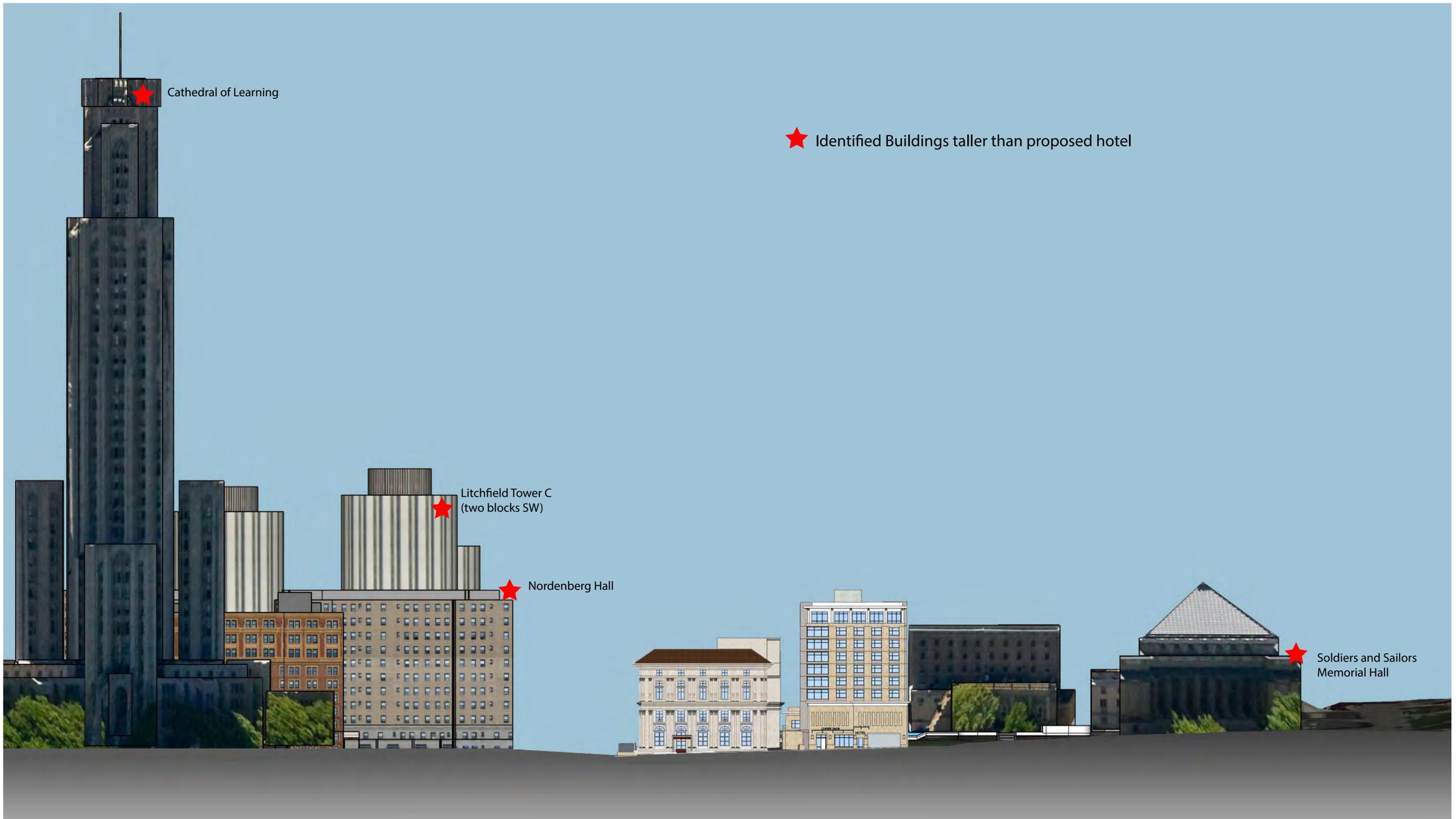
M-6



Calstar Brick

M-2





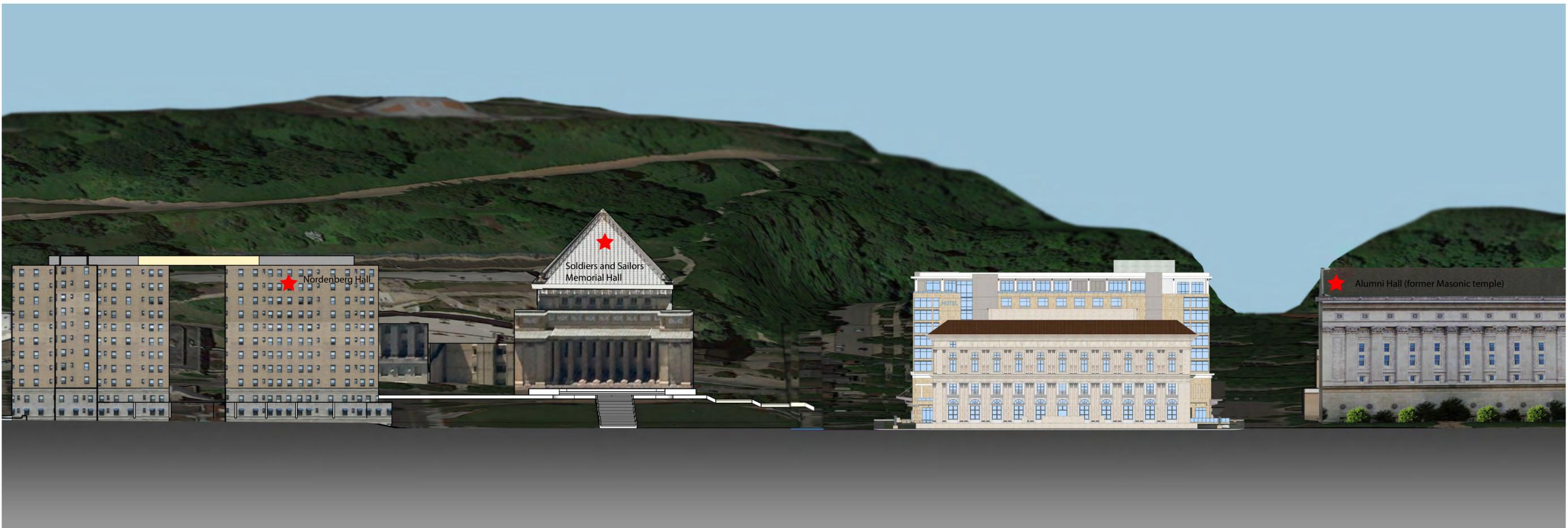
Context Elevation Diagram Looking West



Context Elevation Looking East



Context Elevation Looking South



Context Elevation Looking North



Bigelow Blvd towards Fifth St.



Lytton St. Towards Fifth



Restaurant View



Coffee Shop View



Sidewalk view of Restaurant on Bigelow Blvd.



Aerial view of Restaurant on Bigelow Blvd.



Sidewalk view of Coffee House on Lytton Ave.



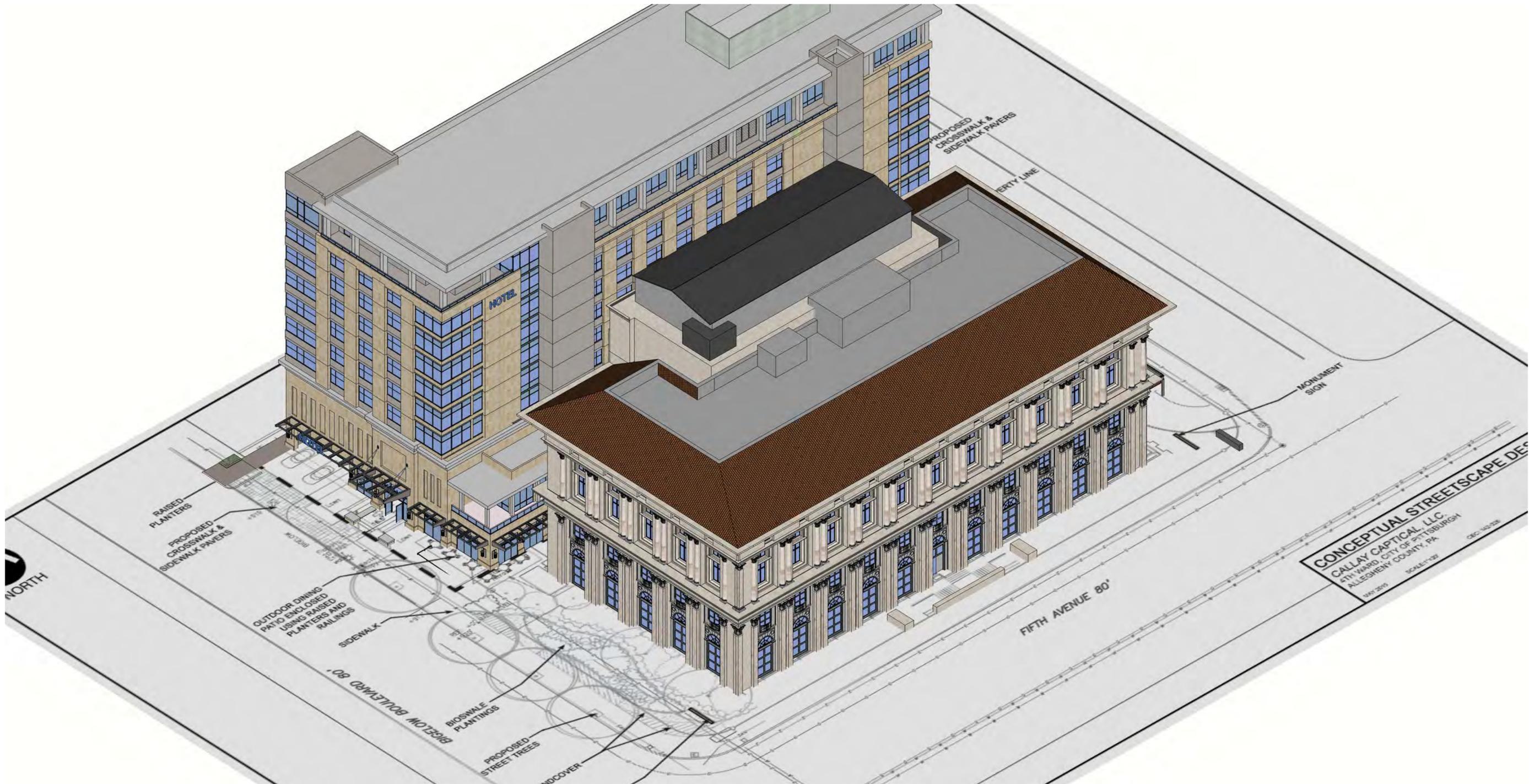
Aerial view of Coffee House on Lytton Ave.

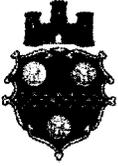


Dimensioned Sidewalk on Bigelow Blvd.



Dimensioned Sidewalk on Lytton Ave.





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 6/12/15

LOT AND BLOCK NUMBER: 9-N-111

WARD: 2nd

FEE PAID: yo

DISTRICT: PENN AVE THEATRE

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

942 PENN AVE
PAH. PD.

OWNER: SPENNO MERCATO, LLC &

NAME: AMINI HOLDINGS

ADDRESS: SUITE 500, 3 PPA PLAZA

PAH. PD. 15202

PHONE: 412 916 1902

EMAIL: tsarto@gemhold.com

APPLICANT:

NAME: SIPP TERE SKRINEETS LLC

ADDRESS: P.O. BOX 332

NORTH LIMA - OH. 44152

PHONE: 724 544 8160

EMAIL: ddsarch@yahoo.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

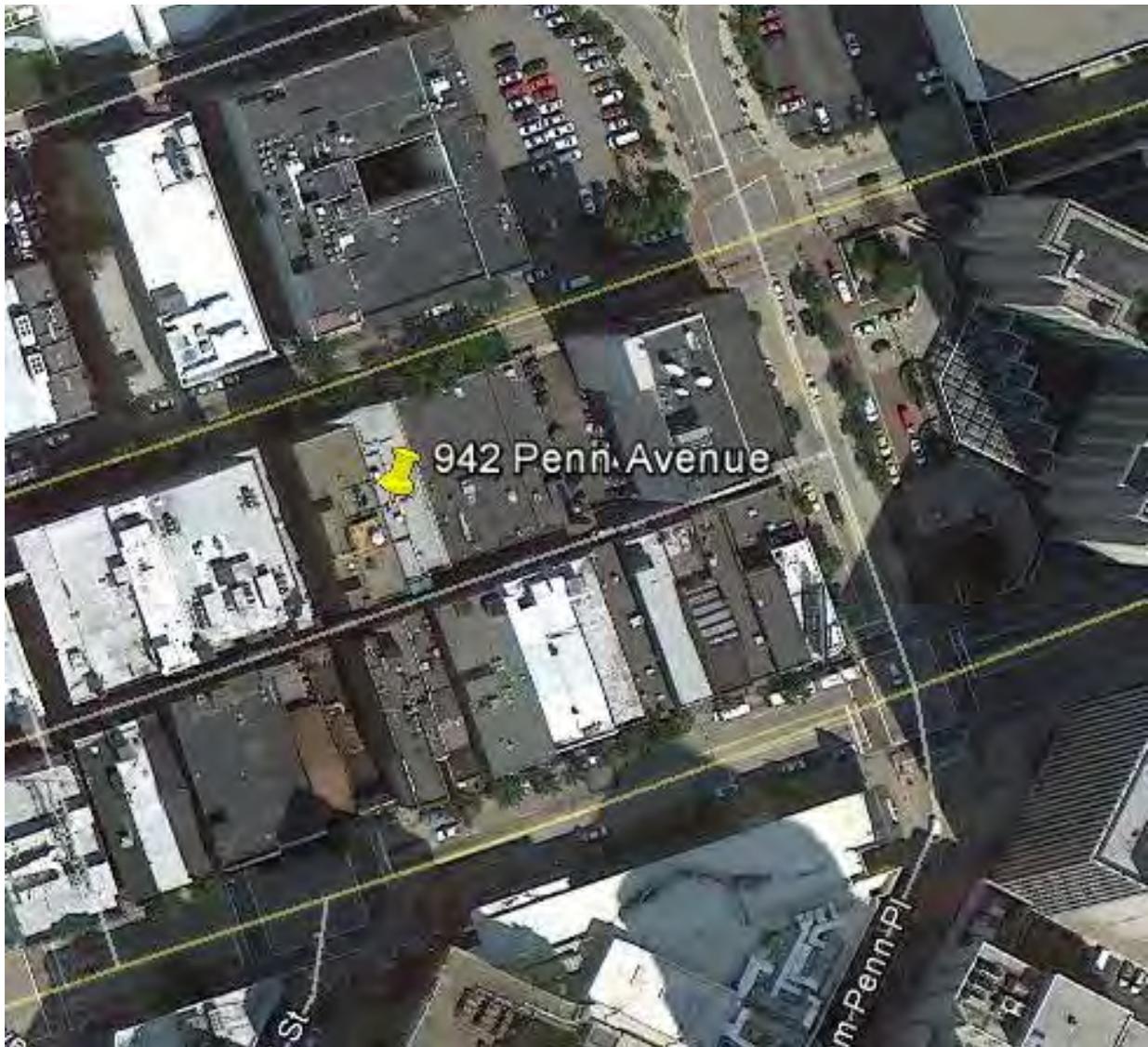
DETAILED DESCRIPTION OF PROPOSED PROJECT:

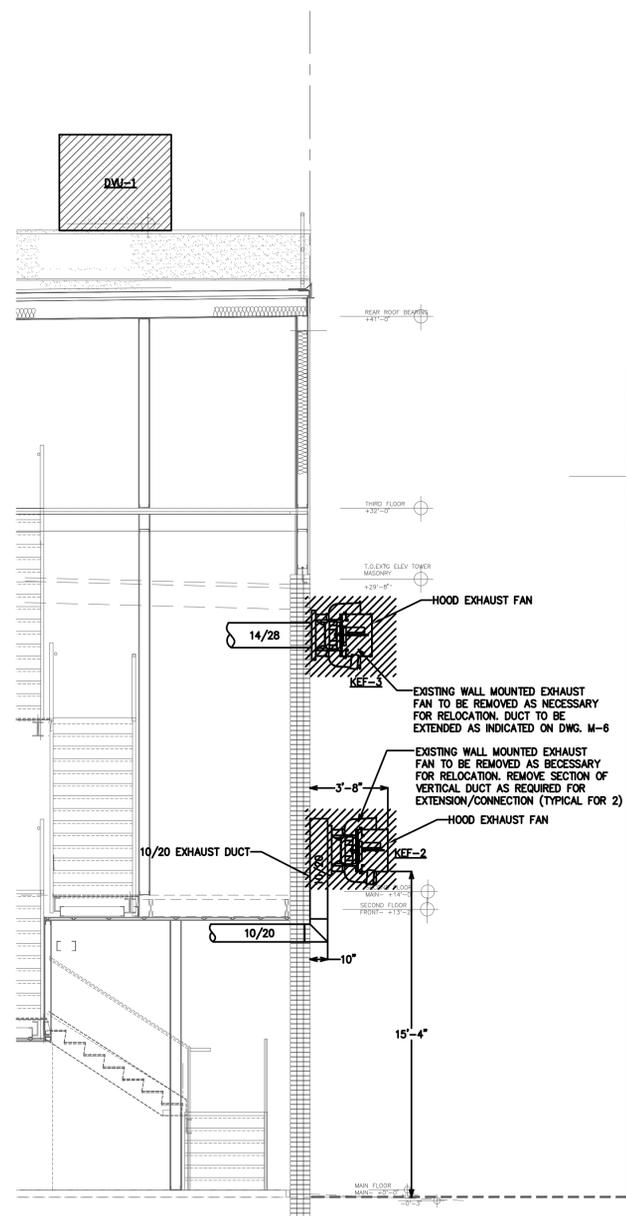
Extension of existing exhaust fans

SIGNATURES:

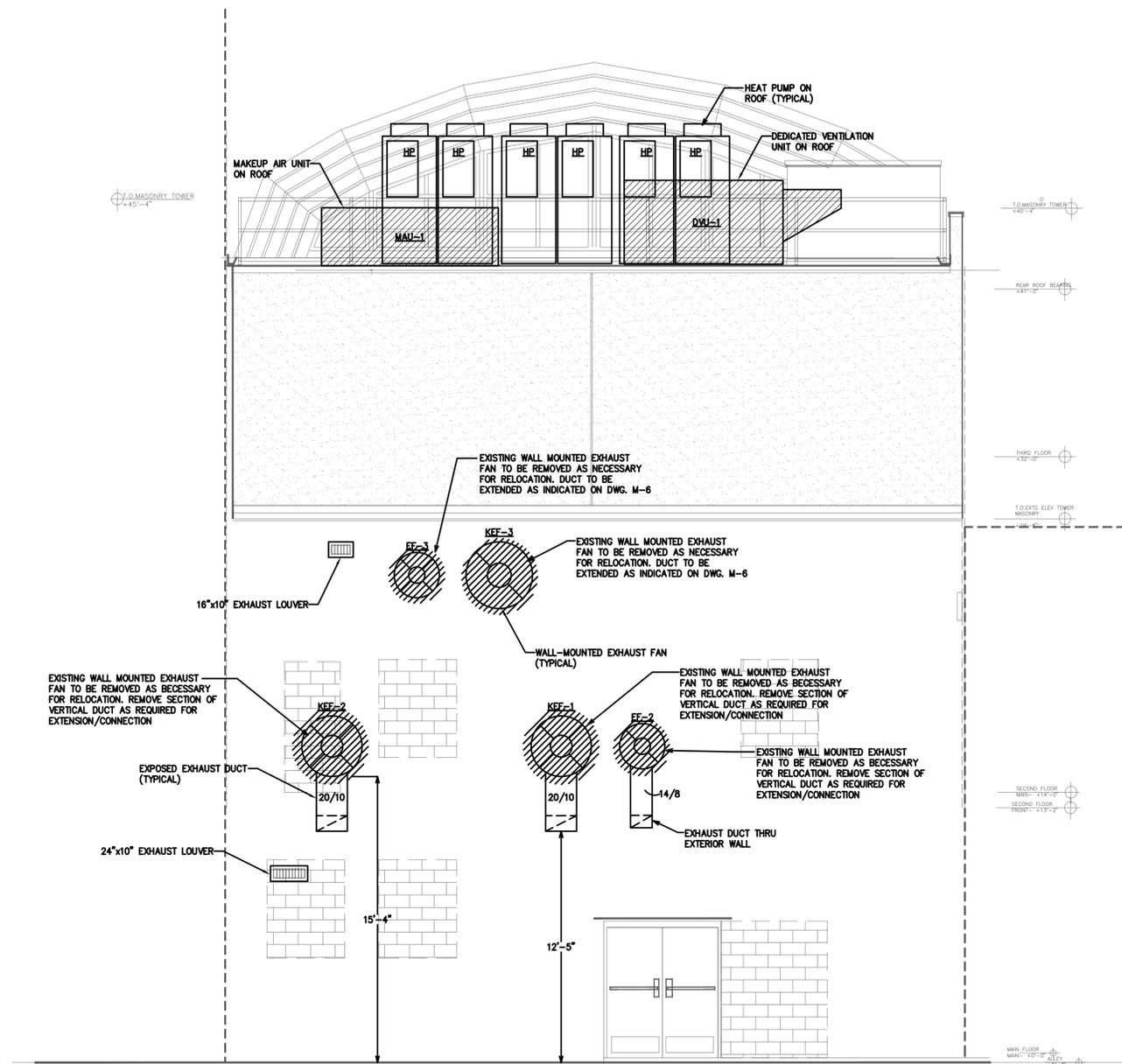
OWNER: [Signature] DATE: June 11, 2015

APPLICANT: [Signature] DATE: June 11, 2015





MECHANICAL SECTION (DEMOLITION)
SCALE: 1/4"=1'-0"



MECHANICAL ELEVATION (DEMOLITION)
SCALE: 1/4"=1'-0"

EXHAUST FAN SCHEDULE (EXISTING)					
MARK	EF-2	EF-3	KEF-1	KEF-2	KEF-3
MFG.	GREENHECK	GREENHECK	CAPTIVEARE	CAPTIVEARE	CAPTIVEARE
MODEL	GB-091	GB-091	NCA16NPFA	NCA16NPFA	NCA24NPFA
SERVICE	DISHWASHER HOOD	DISHWASHER HOOD	HOOD #1	HOOD #2	HOOD #3
CFM	500	500	2100	2100	4850
S.P.	0.375"	0.375"	1.25"	1.25"	1.50"
RPM	1050	1050	1183	1183	1060
WATTS/H.P.	1/4 HP	1/4 HP	1.5 HP	1.5 HP	3.0 HP
VOLTAGE	120/1/60	120/1/60	208/3/60	208/3/60	208/3/60
SWITCH	WI DISHWASHER	WI DISHWASHER	@ HOOD	@ HOOD	@ HOOD
CURB	---	---	---	---	---
WEIGHT	35 Lbs.	35 Lbs.	159 Lbs.	144 Lbs.	274 Lbs.
REMARKS	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED

KITCHEN EXHAUST FAN NOTES:

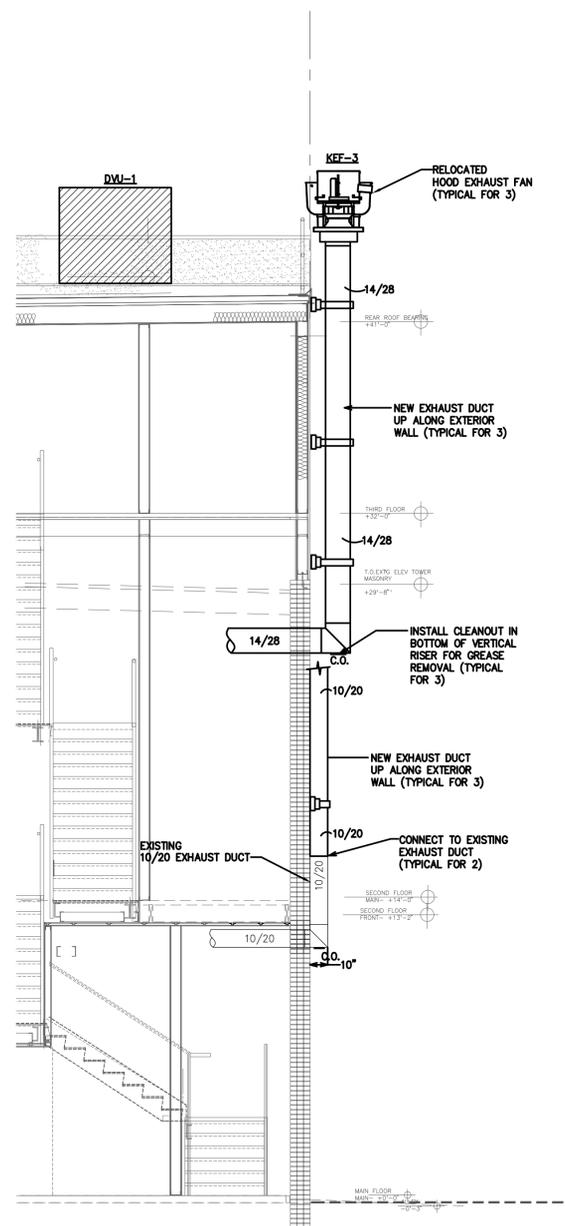
- CONTRACTOR TO ADJUST FAN MOTORS, BELTS, SHEAVES, ETC. AS REQUIRED TO PROVIDE REVISED AIR FLOW INDICATED.
- ALL EXHAUST DUCTWORK FROM HOOD IS TO BE WELDED BLACK IRON SLOPED TOWARDS HOOD FOR GREASE DRAINAGE.
- CONTRACTOR TO MAINTAIN 18" CLEARANCE TO ALL COMBUSTIBLES WITH HOOD EXHAUST DUCT OR WRAP DUCT WITH FIRE RATED INSULATION PER NFPA REQUIREMENTS.
- KITCHEN EXHAUST FANS TO BE LOCATED AS REQUIRED TO MAINTAIN MINIMUM OF 10'-0" FROM ALL AIR INTAKES.



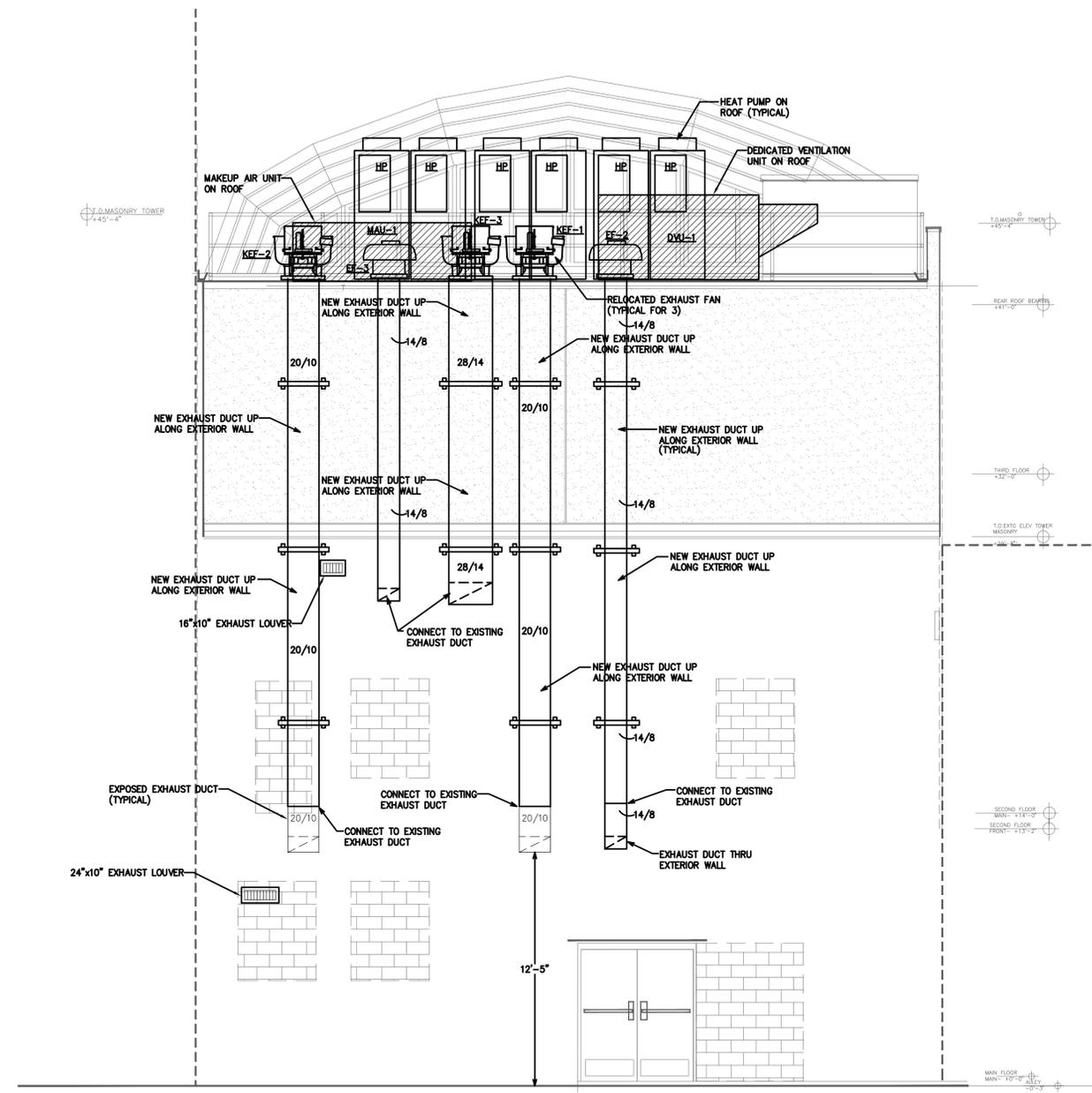
ALL COPYRIGHTS RESERVED

DRAWING TITLE
 MECHANICAL SECTIONS/
 ELEVATIONS

DRAWING NUMBER
 M-5



MECHANICAL SECTION (NEW)
SCALE: 1/4"=1'-0"



MECHANICAL ELEVATION (NEW)
SCALE: 1/4"=1'-0"

EXHAUST FAN SCHEDULE (REVISED)					
MARK	EF-2	EF-3	KEF-1	KEF-2	KEF-3
MFG.	GREENHECK	GREENHECK	CAPTIVEARE	CAPTIVEARE	CAPTIVEARE
MODEL	GB-091	GB-091	NCA16NPFA	NCA16NPFA	NCA24NPFA
SERVICE	DISHWASHER HOOD	DISHWASHER HOOD	HOOD #1	HOOD #2	HOOD #3
CFM	500	500	2100	2100	4850
S.P.	0.375"	0.375"	1.50"	1.50"	1.75"
RPM	1050	1050	1255	1255	1147
WATTS/H.P.	1/4 HP	1/4 HP	1.5 HP	1.5 HP	3.0 HP
VOLTAGE	120/1/60	120/1/60	208/3/60	208/3/60	208/3/60
SWITCH	W/ DISHWASHER	W/ DISHWASHER	@ HOOD	@ HOOD	@ HOOD
CURB	---	---	---	---	---
WEIGHT	35 Lbs.	35 Lbs.	159 Lbs.	144 Lbs.	274 Lbs.
REMARKS	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED	WALL MOUNTED

- KITCHEN EXHAUST FAN NOTES:**
- CONTRACTOR TO ADJUST FAN MOTORS, BELTS, SHEAVES, ETC. AS REQUIRED TO PROVIDE REVISED AIR FLOW INDICATED.
 - ALL EXHAUST DUCTWORK FROM HOOD IS TO BE WELDED BLACK IRON SLOPED TOWARDS HOOD FOR GREASE DRAINAGE.
 - CONTRACTOR TO MAINTAIN 18" CLEARANCE TO ALL COMBUSTIBLES WITH HOOD EXHAUST DUCT OR WRAP DUCT WITH FIRE RATED INSULATION PER NFPA REQUIREMENTS.
 - KITCHEN EXHAUST FANS TO BE LOCATED AS REQUIRED TO MAINTAIN MINIMUM OF 10'-0" FROM ALL AIR INTAKES.
 - CONTRACTOR TO INSTALL DUST SUPPORTS EVERY 8'-0" MINIMUM FOR VERTICAL DUCT RISERS ON EXTERIOR WALL. INSTALL SUPPORT PLATFORM FROM EXTERIOR WALL FOR ALL EXHAUST FANS.



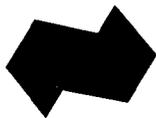
ALL COPYRIGHTS RESERVED

DRAWING TITLE
MECHANICAL SECTIONS/
ELEVATIONS

DRAWING NUMBER
M-6

NO.	REVISION	DATE





April 29, 2015

Ms. Barbara Brown
 4255 Parkman Avenue
 Pittsburgh, PA 15213

Re: Wall Reinforcement

Dear Ms. Brown:

This letter comes as a proposal to reinforce your backyard wall. The work will be performed by Fmg Construction Services, LLC and its subcontractors in association with KU Resources. The details of the work are as follows:

- To construct a MASS footer and wall system to hold back a failing stone wall. The mass wall is to be 6'-6" high by 3' thick setting on a 9' wide by 1' thick footing with a 2' (depth) x 1' (thick) keyway in line with the face of mass wall. At the top of the mass wall, a 1' (thick) x 6'6" (high) concrete wall is to be CIP to hold back the remaining portion of the stone wall. The total wall length is 60" and the total height is 13' consisting of 6'-6" (high) x 3' (thick) then 6'-6"H x 1"T.
- Reinforcing consists of #8 dowels from bottom of footing to the top of wall 6" OC one row back face. Two rows of #4 vertical rebar from top of footing to the top of 3' wall and 1' (thick) wall 12" OC. All horizontal bar in wall to be #4 bar at 12" OC and all continues bar in footing to be #3 bar at 12" OC. Keyway dowels to be #4 at the 12" OC.
- All concrete is to be 4500 PSI, testing and inspections to be provided by general contractor.
- A weep hold system will be constructed after footing is poured, consisting of a 4" perforated gathering pipe at the stone wall face, in cased in crushed stone. One-inch PVC piping will be doweled into the collection pipe and run out to the face of concrete wall at 48" intervals.
- Removal of the existing wood decking, existing concrete patio and concrete planter, excavation of a new footer for the new wall, and disposal of excess soil and all debris.

PRICE \$115,000

Additionally, we are presenting the following options related to the decorative finish on the new all:

1. The use of rough cut hemlock lumber standing vertically or horizontally. This will give the effect of a rail road tie wall (horizontal) or wood piling/wood fence look (vertical). After the forms are stripped off, tie holes patched and cured for a minimum of 28 days. An acid stain by Butterfield Colors (Balkin Amber) can be applied to wall face for coloring then antique with a black water based stain and then sealed with either a high gloss or mat finish concrete sealer. (Please ADD **\$5,200.00** if you select this finish to the total.)
2. After the wall is cast, stripped out and cured for 28 days, a spray on overlay with integral color can be applied. This will give the wall a stucco type finish. (Please ADD **\$7,500.00** if you select this finish to the total.)

There are other, more expensive, forming options if neither of the two proposed options are acceptable.

Given the upfront cost we will be expending, we are asking for \$40,000 at contract approval, \$40,000 once the concrete wall is in place, and then \$35,000 plus the finishing cost upon contract completion.

The work can be scheduled for next month if we obtain your approval shortly.

The work will be performed in accordance with the attached terms and conditions.

Very truly yours,



Harold P. McCutcheon, PE
Senior Project Manager



Mark Urbassik, PE
Principal

HPM/MU:sja

Approval: 



http://www.greenstreak.com/subpacks/Form_Liner_Catalog_0209.pdf

I'm going to price you for No.439 and No 462. We can color these stones with different colors. If there is nothing in the catalog of liners that the customer would like, we can hand carve the stone to replicate other stone in the surrounding area as well as color.

I'm also attaching several pictures of some stone carving we just finished at the Latrobe Historical Building. This stone work is 100% done by hand.

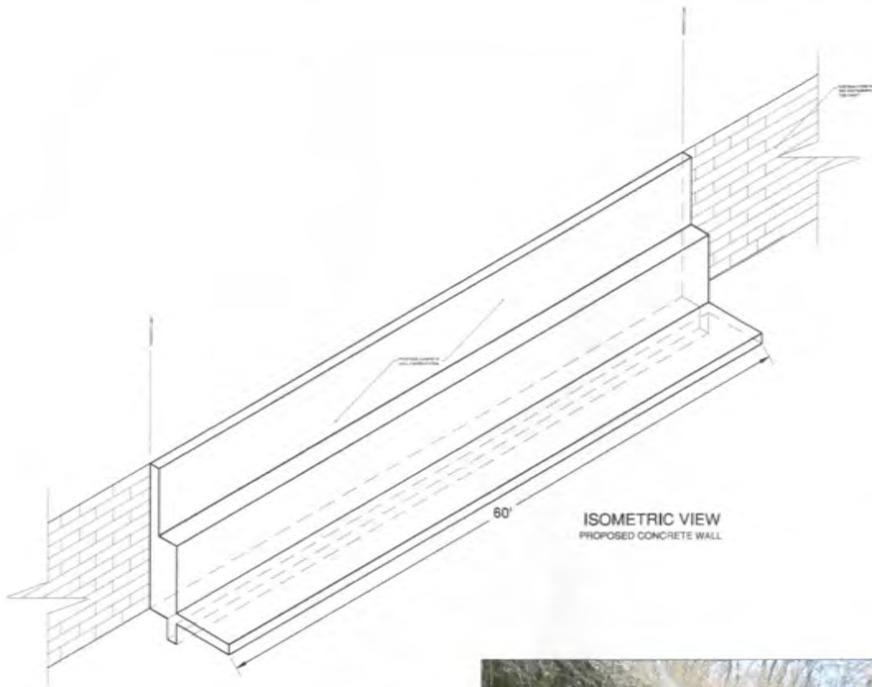
The stone carving is on the left, the actual stone we replicated is on the right



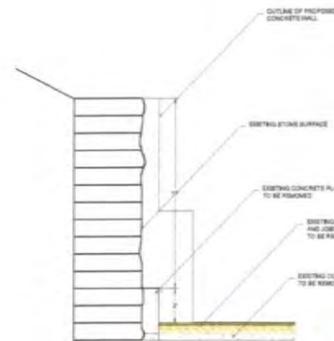
I will be using the hand carved stone finish to replicate the original finish and design of the wall.

Barbara Brown
5/14/15

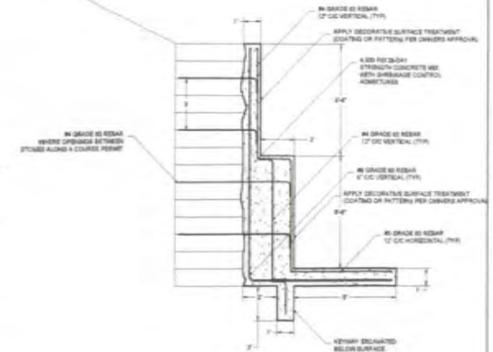
Front of building



ISOMETRIC VIEW
PROPOSED CONCRETE WALL



EXISTING WALL AND PATIO ARRANGEMENT
INCLUDING ITEMS REQUIRING DEMOLITION



TYPICAL SECTION
PROPOSED CONCRETE WALL ARRANGEMENT



IMAGE OF EXISTING WALL SURFACE

DRAFT

REFERENCE
LIST REFERENCE DOCUMENTS HERE.

NO.	REVISION DESCRIPTION	DATE	APPROVED
CHECKED BY:			APPROVED BY:

PREPARED BY: **ED Resources, Inc.**
22 South Liberty Street
Duquesne, PA 15110
412.488.9000
www.edresources.com 412.488.9000 Fax

PREPARED FOR:
BARBARA BROWN
PITTSBURGH, PENNSYLVANIA

PROJECT:
4255 PARKMAN AVENUE
CITY OF PITTSBURGH
ALLEGHENY COUNTY, PENNSYLVANIA

DRAWING TITLE:
PROPOSED RETAINING WALL
CONFIGURATION

SHEET NO.

-

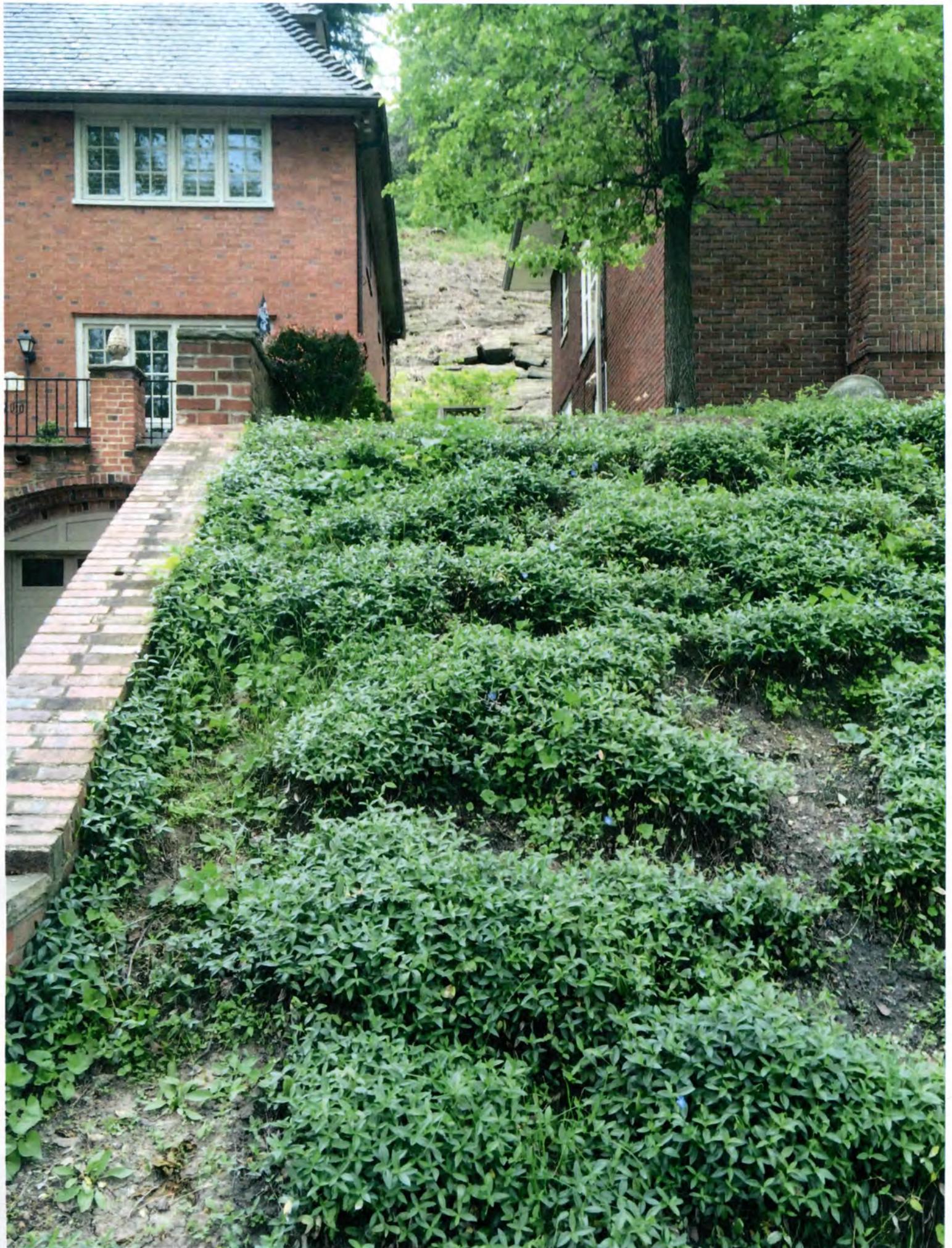








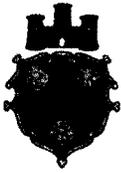












HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1224 Monterey St.
Pittsburgh, PA 15212

OWNER: Monterey Street Project LLC
NAME: Richard Craig Worl
ADDRESS: 1228 Monterey St.
Pittsburgh, PA 15212
PHONE: 412-992-0009
EMAIL: rcworl@aol.com

STAFF USE ONLY:

DATE RECEIVED: 5/11/15
LOT AND BLOCK NUMBER: 23-J-265
WARD: 22nd
FEE PAID: yes

DISTRICT:

Mexican War Streets

APPLICANT: Monterey Street Project LLC
NAME: Richard Craig Worl
ADDRESS: 1228 Monterey St.
Pittsburgh, PA 15212
PHONE: 412-992-0009
EMAIL: rcworl@aol.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

The 1970's infill house, approved ^{for renovation} by HRC on 3/17/15, # 15-033
was demolished under permit # 15-D-00067, 4/15/2015. The
(owner)

SIGNATURES:

OWNER: [Signature] **DATE:** 5/8/15
APPLICANT: [Signature] **DATE:** 5/8/15

building was in structural failure, due to missing roof (over 20 years)
Demolition continued with the demo inspector approving.

I wish to continue building the structure that was
Approved by the HRC on 3/4/15. The plans have
been approved by the city engineer. Let this
statement represent my language needed to continue on the
project at 1224 Monterey St.

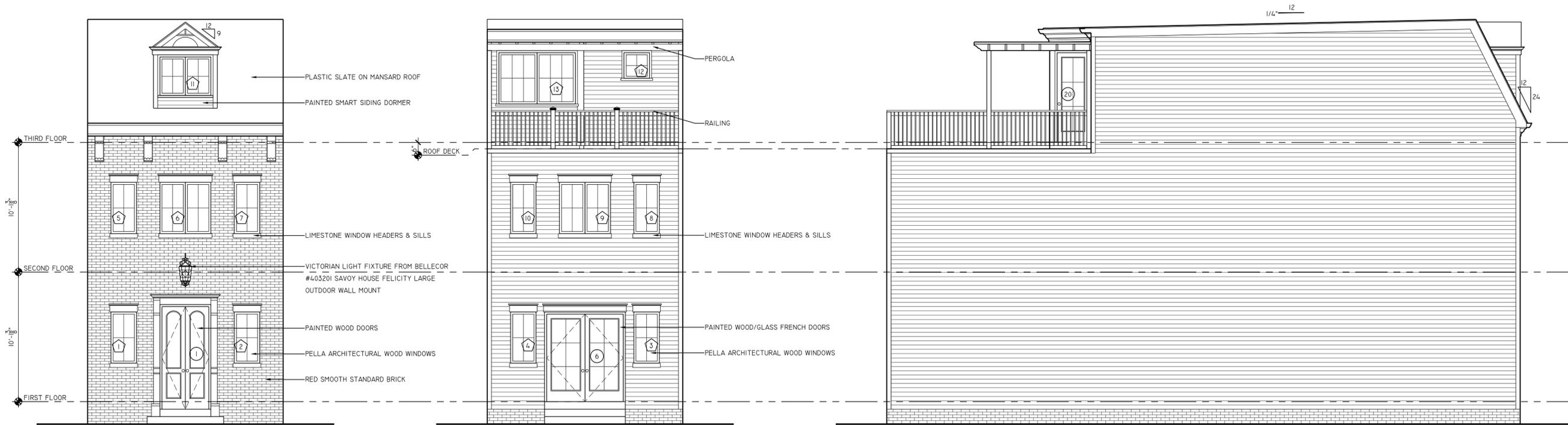
I want to build the house approved by HRC and the city
engineer ASAP!



1224 Monterey Street

Mimosa Way

Monterey St



1 FRONT ELEVATION
A-2 SCALE: 1/4" = 1'-0"

2 REAR ELEVATION
A-2 SCALE: 1/4" = 1'-0"

3 SIDE ELEVATION
A-2 SCALE: 1/4" = 1'-0"



4 FRONT ELEVATION - STREET VIEW
A-2 SCALE: 1/4" = 1'-0"

PAINT COLOR PALETTE SELECTION:
VALSPAR'S VICTORIAN HISTORICAL COLLECTION.
ANTE MERIDIAN 5005-1B, SPRING SPIRITS 5003-1C,
WOODLAWN JUNIPER 5001-4B, WAVES CREST 5005-1A.

SUSAN WARNER
A r c h i t e c t
431 MAPLE AVENUE, PH. 412-979-4450
PITTSBURGH, PA 15218 FAX 412-247-7669



DATE: JUNE 5, 2015
SCALE: 1/4" = 1'-0"
CHECKED BY: ARC

R. CRAIG WORL
1224 MONTEREY STREET PITTSBURGH, PA 15212
EXTERIOR ELEVATIONS

A-2

1224 Monterey Street

Materials List

FRONT

Pella Architectural Wood Windows

Ecostar Designer Series Slate (roof)

Hardie Siding (under dormer)

Limestone Window Headers & Sills

Victorian Light Fixture (Bellacor)

Custom Wood Painted Front Door

Standard Used Smooth Red Brick

BACK

Pella Architectural Wood Windows

Key Link Railing (Strasburg)

Painted Wood Deck Floor and Pergola

Limestone Window Headers & Sills

Painted Wood/Glass French Doors