



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <i>Bruce Murray / Craig Munch</i>		Phone Number: (412) <i>681-3924</i>	
Address: <i>3463 Ridgeway</i>	City: <i>Pittsburgh</i>	State: <i>PA</i>	Zip Code: <i>15213</i>
2. Applicant/Company Name:		Phone Number: ()	
Address:	City:	State:	Zip Code:
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: <i>Ridgeway St Consolidation Plan</i>			
4. Development Location: 3 16 <i>6th Ward - P6H</i>			
5. Development Address: <i>3463 Ridgeway St 15213</i>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction: <i>Excavating/Installation</i>	Start Date: <i>4/15/15</i>	Occupancy Date: <i>/ /</i>	Project Cost: \$ <i>5,000</i>
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list):			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New	<input type="checkbox"/> Renovation, Interior		
<input type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior		
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use		
11. Describe the Development: <i>Excavating to install swimming pool 18'x45'x52"</i>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



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LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: _____ sq ft
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: _____ sq ft
 To be Constructed: _____ sq ft
 Building Footprint: Pool 63 sq ft (18' x 45') OVAL POOL

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure				
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: _____

17. Lot Area: 434.81 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s) _____ Termination of Existing Water Service Tap(s)
 _____ New Sewer Service Connection(s) _____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

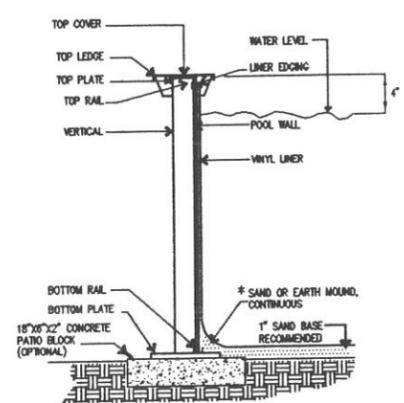
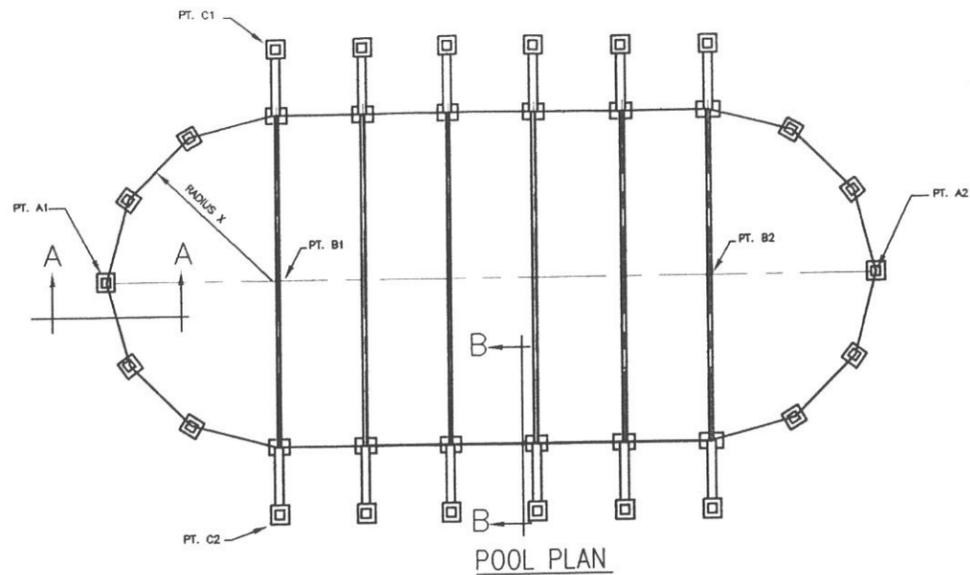
WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

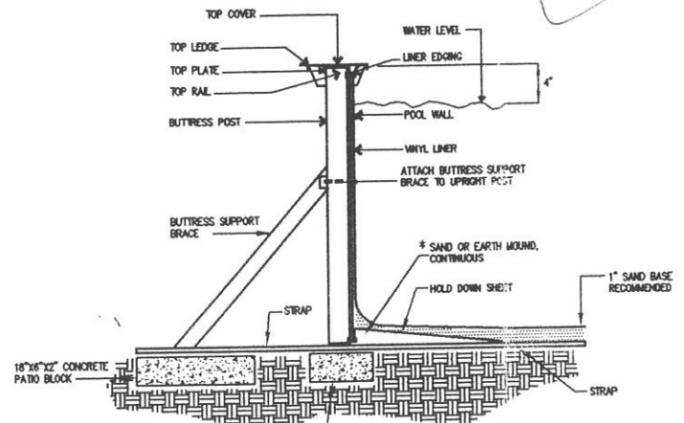
- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: *Bruce Murray / Craig L. Munch*



SECTION A-A (TYPICAL)



SECTION B-B (TYPICAL)

* NOTE: THE SAND OR EARTH MOUND IS AN IMPORTANT FEATURE OF THE POOL INSTALLATION. IT PREVENTS THE WALL FROM UPLIFTING AND THE LINER FROM CREEPING UNDERNEATH THE POOL WALL. THE SAND OR EARTH MOUND IS TO BE REBUILT EVERYTIME THE LINER IS REINSTALLED FOR ANY REASON.

TABULATED DATA

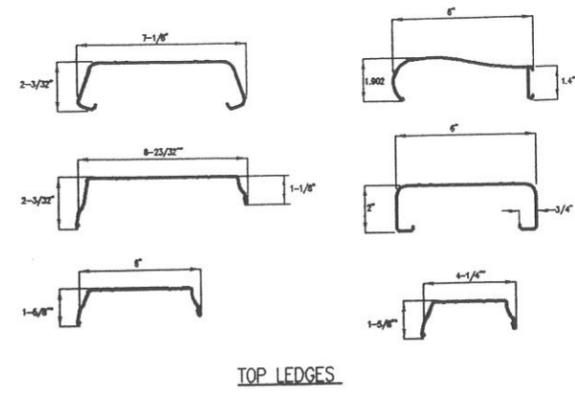
POOL SIZE	DISTANCE: PT.A1-PT.A2	DISTANCE: A1 TO B1 (ALSO RADIUS X)	DISTANCE: PT.B1-PT.B2	DISTANCE: PT.B1-PT.C1	DISTANCE: ACROSS POOL PT.C1-PT.C2	QUANTITY OF:	
						VERTICALS	BUTTRESSES
16 X 10	16'	5'	6'	8'	16'	8	6
18 X 12	18'	6'	6'	9'	18'	8	6
24 X 12	24'	6'	12'	9'	18'	8	10
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WALL HEIGHT	MAXIMUM WATER LEVEL
48 IN.	44 IN.
52 IN.	48 IN.

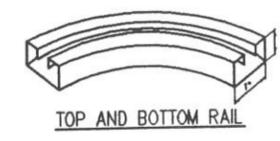
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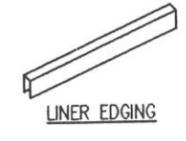
SJ Morrison



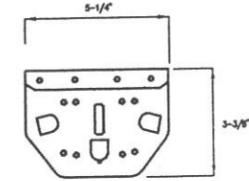
TOP LEDGES



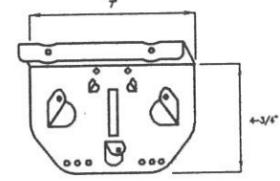
TOP AND BOTTOM RAIL



LINER EDGING



TOP AND BOTTOM PLATES

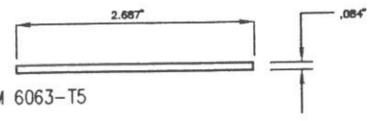


ONE PIECE

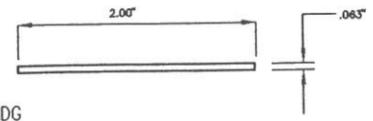


TWO PIECE

TOP COVERS

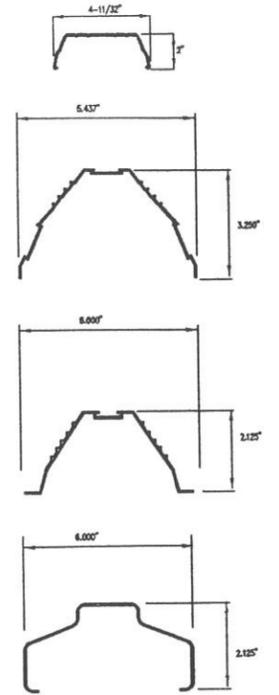


MATERIAL: ALUMINUM 6063-T5

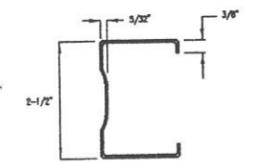


MATERIAL: STEEL HDG

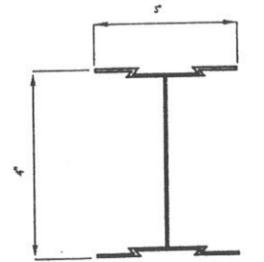
STRAPS



VERTICALS



MATERIAL: STEEL HDG



MATERIAL: ALUMINUM 6063-T5

BUTTRESS POSTS AND BRACES

REV.	DESCRIPTION	DATE:	BY:

SWIM 'N PLAY INC. RAHWAY, NEW JERSEY ABOVE GROUND OVAL POOLS	
FUTURA CONSULTING PROFESSIONAL ENGINEERS AND CONSULTANTS 13 CLYDE ROAD SOMERSET, N.J. 08873	
DRAWN BY: WEW	DATE: 12/5/94
CHECKED BY: SJM	DATE: 12/6/94
DRAWING NO. SNP-002V	REV. 0

3463 Ridgeway
Residential Pool

Custom Soil Resource Report Soil Map

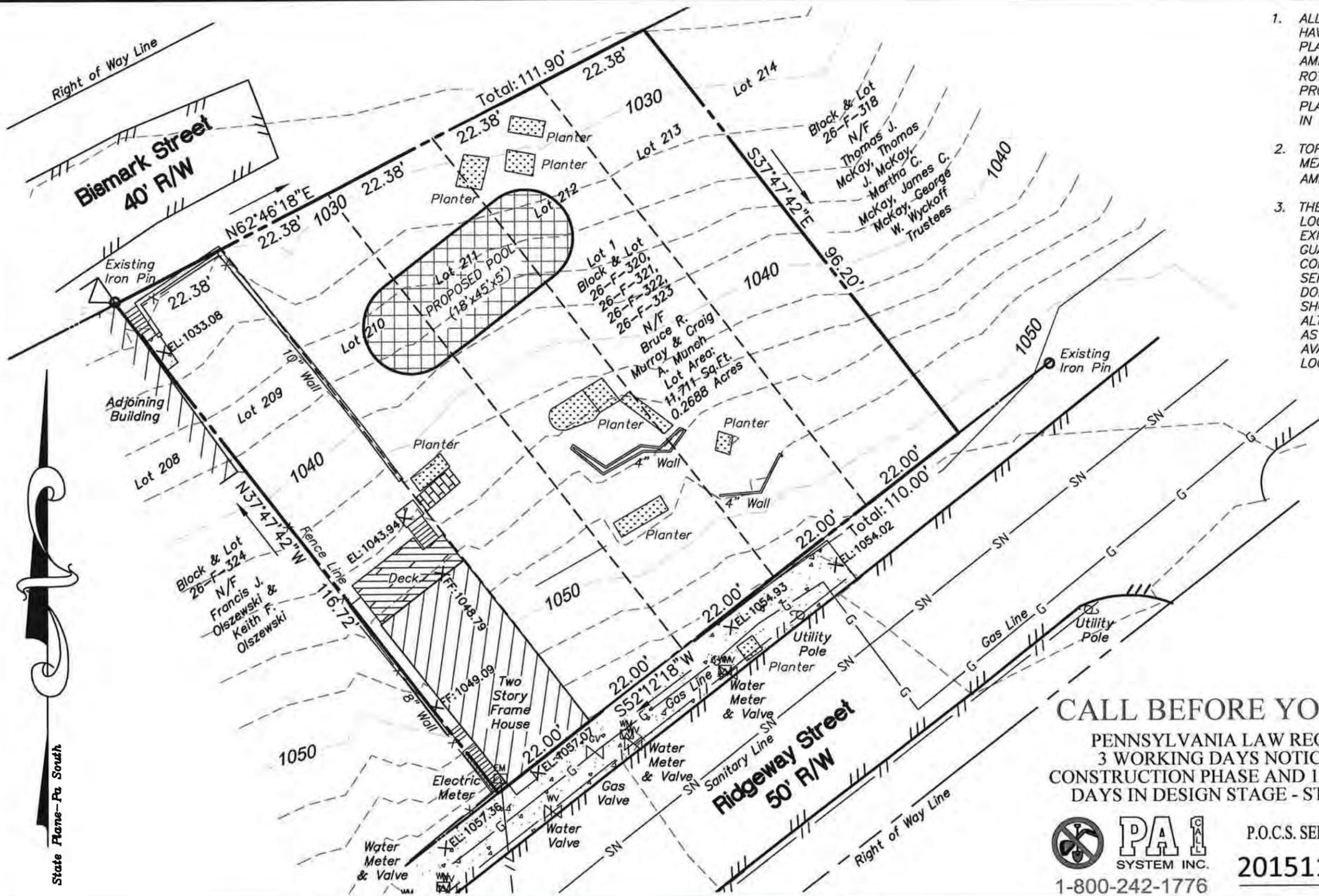


Map Scale: 1:465 if printed on A landscape (11" x 8.5") sheet.



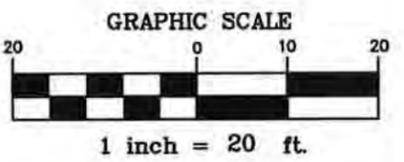
Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84



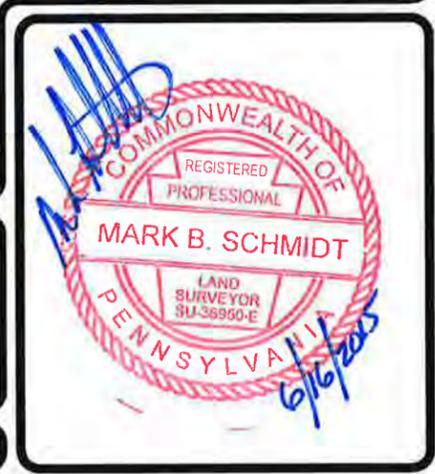


1. ALL DEEDS OR PLAN BEARINGS AND COORDINATES HAVE BEEN ROTATED AND CONVERTED TO PA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NORTH AMERICAN DATUM OF 1983. BEARINGS HAVE BEEN ROTATED 2°12'18" CLOCKWISE FROM THE BEARINGS PROVIDED ON THE RIDGEWAY STREET CONSOLIDATION PLAN OF LOTS, (P.B.VOL. 282, PAGE 184) RECORDED IN ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE.
2. TOPOGRAPHIC MAPPING IS BASED ON FIELD MEASUREMENTS. THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL



PAI SYSTEM INC. P.O.C.S. SERIAL NUMBER
20151103418
 1-800-242-1776



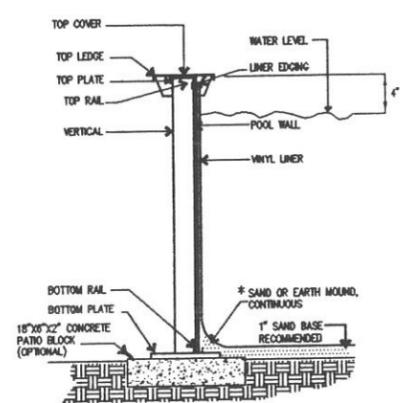
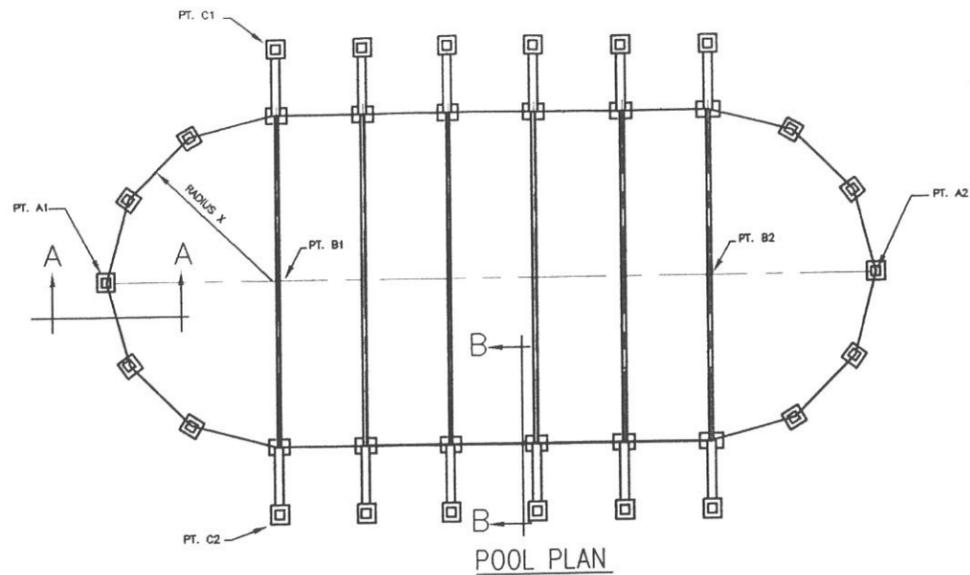
123 RIDGE RD. SUITE B
 VALENCIA, PA 16059
 FAX: (724) 625-4544
 PHONE: (724) 625-4549
 WWW.HAMPTON-TECHNICAL.COM
 E-MAIL: EMAIL@HAMPTON-TECHNICAL.COM



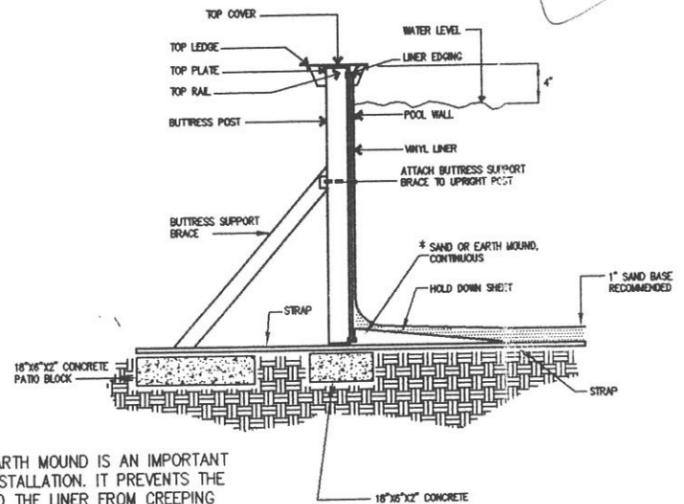
HAMPTON
 TECHNICAL ASSOCIATES, INC.
 ENGINEERING LAND SURVEYORS
 ESTABLISHED 1960

ETNA TECHNICAL CENTER
 35 WILSON STREET, #201
 PITTSBURGH, PA 15223
 FAX: (412) 781-5904
 PHONE: (412) 781-9660
 WWW.HAMPTON-TECHNICAL.COM
 E-MAIL: EMAIL@HAMPTON-TECHNICAL.COM

CLIENT: Bruce R. Murray
 PLAN: Lot 1: Ridgeway Street Consolidation Plan (PBV 282, Pg. 184)
 Block & Lot: 26-F-320, 321, 322, & 323
 LOCATION: 3463 Ridgeway Street, Pittsburgh, Pa, 15213
 6th Ward-City of Pittsburgh, Allegheny County, Pa.



SECTION A-A (TYPICAL)



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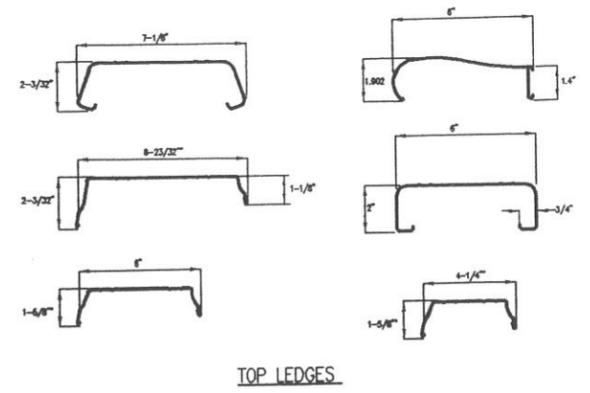
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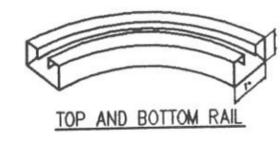
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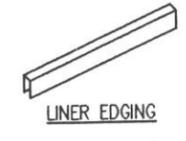
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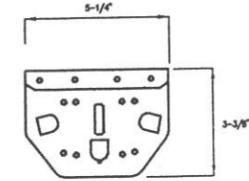
TOP LEDGES



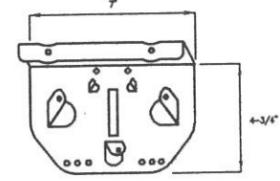
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TOP AND BOTTOM PLATES

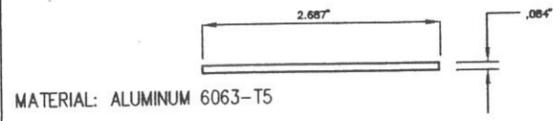


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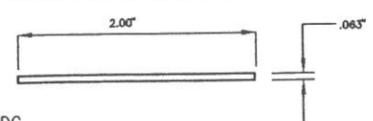


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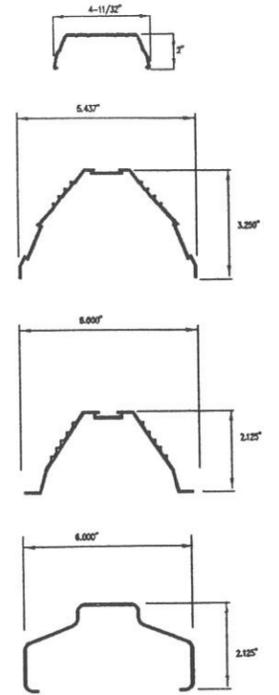


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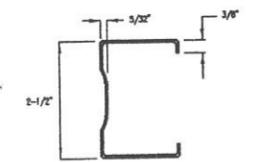


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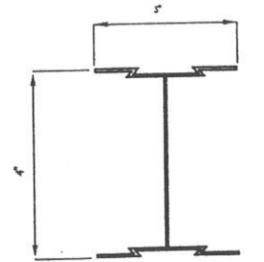
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BUTTRESS POSTS AND BRACES

REV.	DESCRIPTION	DATE:	BY:

SWIM 'N PLAY INC.
RAHWAY, NEW JERSEY
ABOVE GROUND OVAL POOLS

FUTURA CONSULTING
PROFESSIONAL ENGINEERS AND CONSULTANTS
13 CLYDE ROAD
SOMERSET, N.J. 08873

DRAWN BY: WEW	DATE: 12/5/94
CHECKED BY: SJM	DATE: 12/6/94
DRAWING NO. SNP-002V	REV. 0









May 26, 2015

Mr. Bruce Murray
3463 Ridgeway Street
Pittsburgh, PA 15213

Subject: Geotechnical Assessment
Proposed Pool Installation
3463 Ridgeway Street
City of Pittsburgh, Allegheny County, Pennsylvania

Dear Mr. Murray:

KU Resources, Inc. (KU Resources), is pleased to provide this report of our assessment of the geotechnical conditions of your property located at 3463 Ridgeway Street in the 6th ward of the City of Pittsburgh, Pennsylvania. This work was performed pursuant to a request from the City of Pittsburgh, as the property involved lies within a designated steep slope district of the city (>25% slopes).

It is our understanding that you plan on installing a swimming pool, generally 18 feet wide by 45 feet long. This will be positioned immediately to the northeast of the existing residence, with the long axis of the pool parallel with the contour of the slope. Installation of the pool will require creation of a level pad area that will include the pool and surrounding deck/patio area. For evaluation purposes, it is understood that this combined area will be no greater than 30 feet wide.

Topographic mapping performed by Hampton Technical Associates, Inc. has verified that the yard area meets the definition of a "steep" slope. In the pool area, the change in grade over a 30 foot span would be 8 feet (26.7%). Construction would consist of a 4-foot high cut slope on the uphill side of the pool area, as well as the construction of a 4-foot high embankment on the downslope side. If retaining structures are not utilized for aesthetic purposes, slopes should not exceed 2H:1V in configuration.

A Soil Resources Report from the Natural Resources Conservation Service (attached) indicates that the soils on the property are listed as Urban Land – Culleoka Complex, moderately steep. The Culleoka Complex is the native soil in the area, which is comprised of a fine-loamy residuum weathered from sandstone and siltstone. The Urban Land designation indicates that this soil has been modified and added to by human activity, and likely does not retain the properties of a Culleoka soil (a channery silt loam). Indeed, historical imagery from May 26, 1967 indicates the presence of residential structures on each of the former lots that comprise the pool area. Upon demolition, these foundations were likely backfilled with soils from an offsite location, as no Culleoka soil-based borrow areas would have been present on site. Therefore, we do not believe that the slope instability conditions of concern will be present onsite with the limited amount of earthwork required for the pool project.

Given the history of use of the property and the proposed limited construction, it is our belief that the site is suitable for installation of the pool. The shallow excavations proposed will be stable, and the embankment portion of the project should be constructed as an engineers (compacted) fill keyed properly into the underlying soils. During excavation, there may be remnants of the former use of the property as homes, which could include buried foundation walls, debris, etc. You may need to remove or work around any materials or conditions that could be deleterious to the installation of the pool. At the time of construction, I would be happy to inspect the conditions and advise you accordingly.

Limitations in the Use and Interpretations of this Geotechnical Report

KU Resources' professional services were performed, our findings obtained, and our recommendations prepared in accordance with generally accepted engineering principles and practices. This warranty is in lieu of all other warranties, either expressed or implied.

The geotechnical report was prepared for the use of the Owner in the design and development of the subject Site and should be made available to potential contractors and/or the Contractor for information on factual data only. This report should not be used for contractual purposes as a warranty of interpreted subsurface conditions such as those indicated by the interpretive boring and test pit logs, cross-sections, or discussion of subsurface conditions contained herein.

The analyses, conclusions, and recommendations contained in the report are based on Site conditions as they presently exist and assume that the exploratory borings, test pits, and/or probes are representative of the subsurface conditions of the site. If, during construction, subsurface conditions are found which are significantly different from those observed in the exploratory borings and test pits or assumed to exist in the excavations, we should be advised at once so that we can review these conditions and reconsider our recommendations, where necessary. If there is a substantial lapse of time between the submission of this report and the start of work at the site, or if conditions have changed due to natural causes or construction operations at or adjacent to the site, this report should be reviewed to determine the applicability of the conclusions and recommendations considering the changed conditions and time lapse.

The boring logs are our opinion of the subsurface conditions revealed by periodic sampling of the ground as the borings progressed. The soil descriptions and interfaces between strata are interpretive and actual changes may be gradual. The boring logs and related information depict subsurface conditions only at these specific locations and at the particular time designated on the logs. Soil conditions at other locations may differ from conditions occurring at these boring locations. Also, the passage of time may result in a change in the soil conditions at these boring locations.

Groundwater levels often vary seasonally. Groundwater levels reported on the boring logs or in the body of the report are factual data only for the dates shown.

Unanticipated soil conditions are commonly encountered on construction sites and cannot be fully anticipated by merely taking soil samples, borings, or test pits. Such unexpected conditions frequently require that additional expenditures be made to attain a properly constructed project. It is recommended that the Owner consider providing a contingency fund to accommodate such potential extra costs.

KU Resources cannot be responsible for any deviation from the intent of this report including, but not restricted to, any changes to the scheduled time of construction, the nature of the project or the specific construction methods or means indicated in this report; nor can our firm be responsible for any construction activity on sites other than the specific Site referred to in this report.

If you have any questions regarding the contents of this evaluation, please contact our office at your earliest convenience.

Respectfully submitted,



Harold P. McCutcheon, P.E.
Chief Engineer



HPM:cak





**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: **The Buncher Company** Phone Number: (412) 422-9900

Address: 1390 Penn Ave. City: Pittsburgh State: PA Zip Code: 15222

2. Applicant/Company Name: **Riverfront Residences LLC** Phone Number: (216) 475-8900

Address: 5309 Transportation Blvd. Cleveland State: Ohio Zip Code: 44125

Applicant/Contractor ID: (assigned by the City)

3. Development Name: **Riverfront Residences LLC**

4. Development Location: **The Strip District: Corner of 21st Street and Waterfront Place**

5. Development Address: **2001 Waterfront Place, Pittsburgh, PA 15222**

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:

Present Use of Site:
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#:

Date Issued:

Existing Use of Property:

8. Estimated Construction: Start Date: **2 /20/2016** Occupancy Date: **T.B.D.** Project Cost: \$ **T.B.D.**

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **Multi-Family Residential**

10. Select the Type of Work:

- New Construction, New Renovation, Interior
 New Construction, Renovation, Exterior
 Change in Use Only Renovation, Change in Use

11. Describe the Development: ~~400 Unit~~ Multi-family Residential Building **365 units**
~~5 story above 1 story podium~~ **5 story, no podium**

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 1 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed: _____ sq ft
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: _____ sq ft
 To be Constructed: 614,442 sq ft
 Building Footprint: 141,878 sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure			5+1 5	80-85' 61'
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: ~~400~~ 365

17. Lot Area: 190,656 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		458 281
Compact (7 1/4' x 16')		0 172
Handicap (13 1/2' x 19')		11 HC / 2 Van

Off-Street Loading Spaces: N/A 9 hc / 2 van
 Actual: _____
 Required: 5

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> 1 </u> New Water Service Connection(s)	<u> </u> Termination of Existing Water Service Tap(s)
<u> 1 </u> New Sewer Service Connection(s)	<u> </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html

RIVERFRONT LANDING APARTMENTS



CITY OF PITTSBURGH
Planning Commission SUBMISSION
07.14.2015

PROJECT TEAM

OWNER / DEVELOPER

RIVERFRONT RESIDENCES, LLC.
THE NRP GROUP
5309 Transportation Blvd.
Cleveland, OH 44125
t: 216.584.0602
f: 216.584.2571

www.nrpgroup.com

ARCHITECT

J.DAVIS ARCHITECTS
1518 Walnut Street, Suite 1308
Philadelphia, PA 19102
t: 215.545.0121
f: 215.545.0132

www.jdavisarchitects.com

CIVIL ENGINEER / LANDSCAPE ARCHITECT

PVE SHEFFLER, LLC.
Waterfront Corporate Park III, Suite 101
2000 Georgetowne Drive
Sewickley, PA 15143-8780
t: 724.444.1100
f: 724.444.1104

www.pvesheffler.com

GENERAL CONTRACTOR

NRP CONTRACTORS LLC
5309 Transportation Blvd.
Cleveland, OH 44125
t: 216.584.0602
f: 216.584.2571

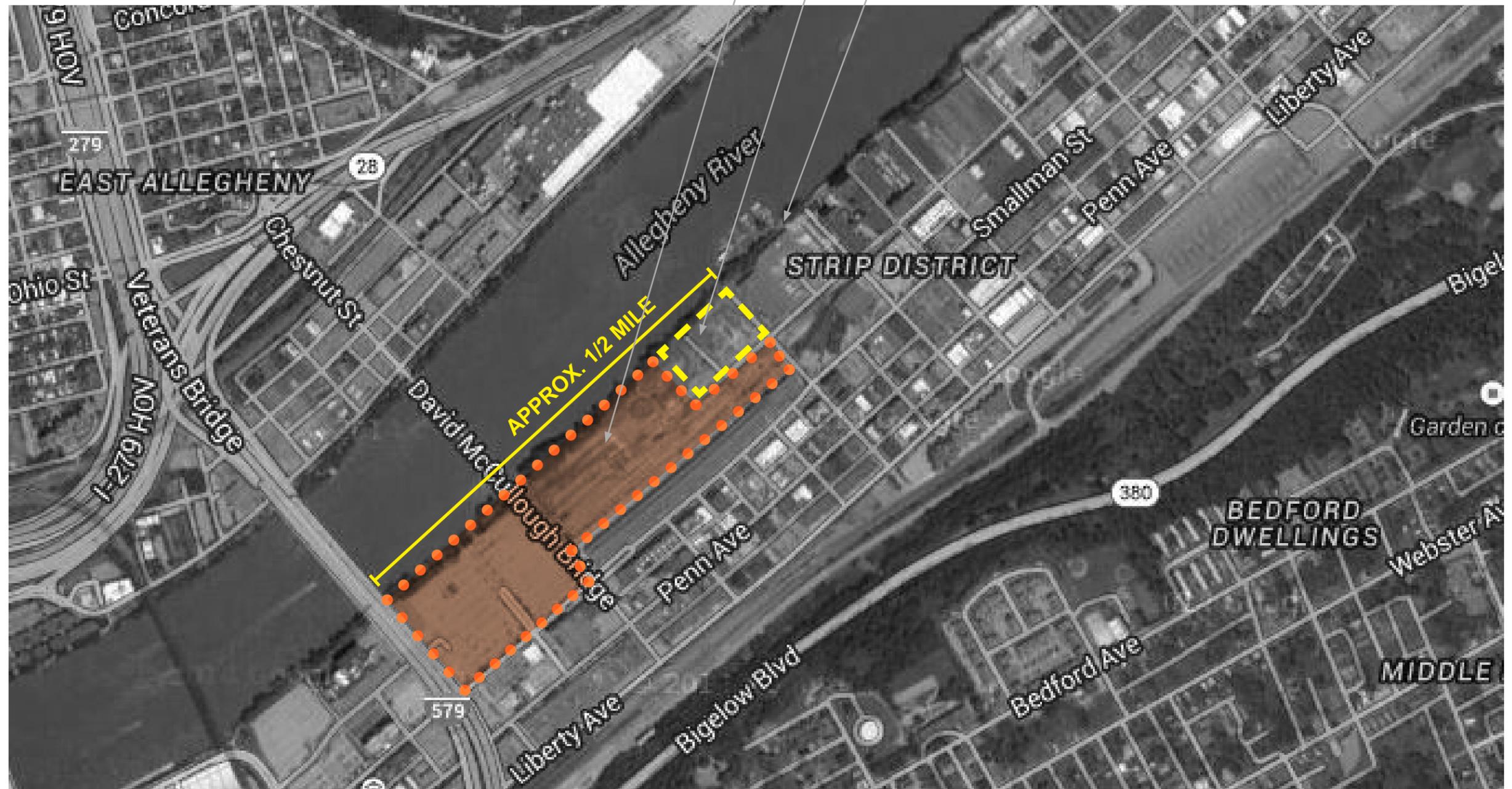
www.nrpgroup.com



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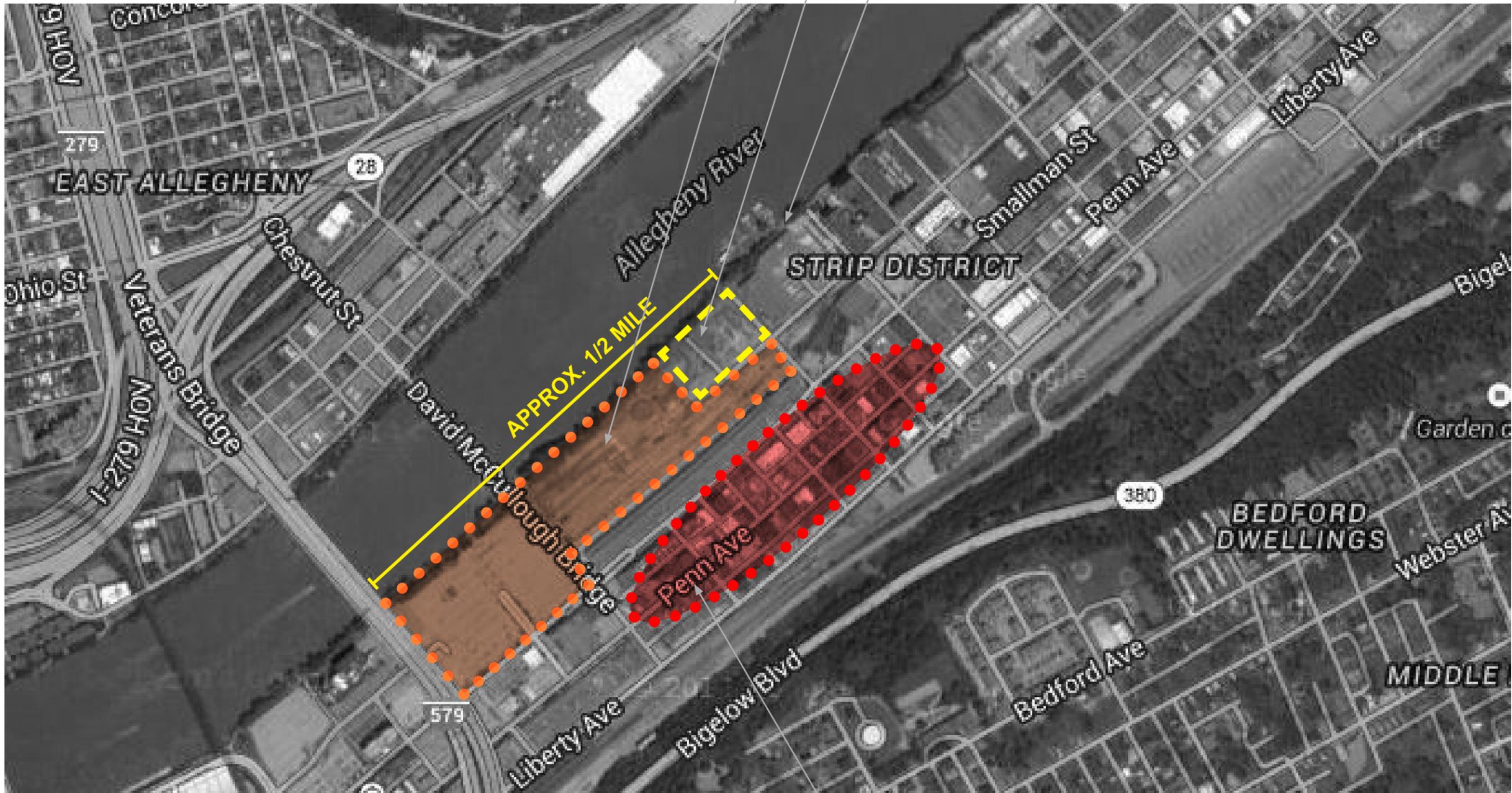
- EXISTING SURFACE PARKING
- RIVERFRONT LANDING RESIDENCES
- RIVERFRONT TRAIL



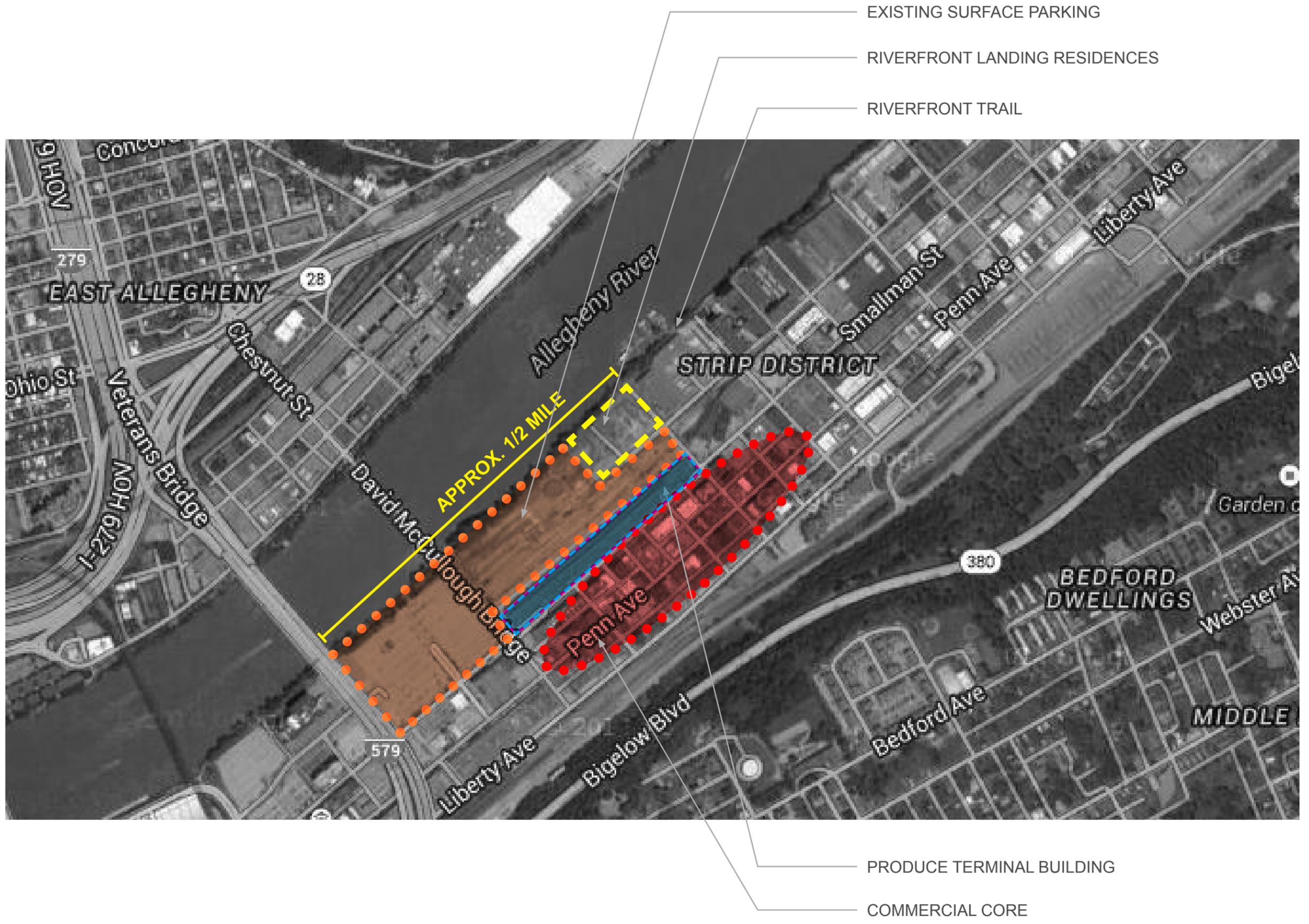
EXISTING SURFACE PARKING

RIVERFRONT LANDING RESIDENCES

RIVERFRONT TRAIL



COMMERCIAL CORE



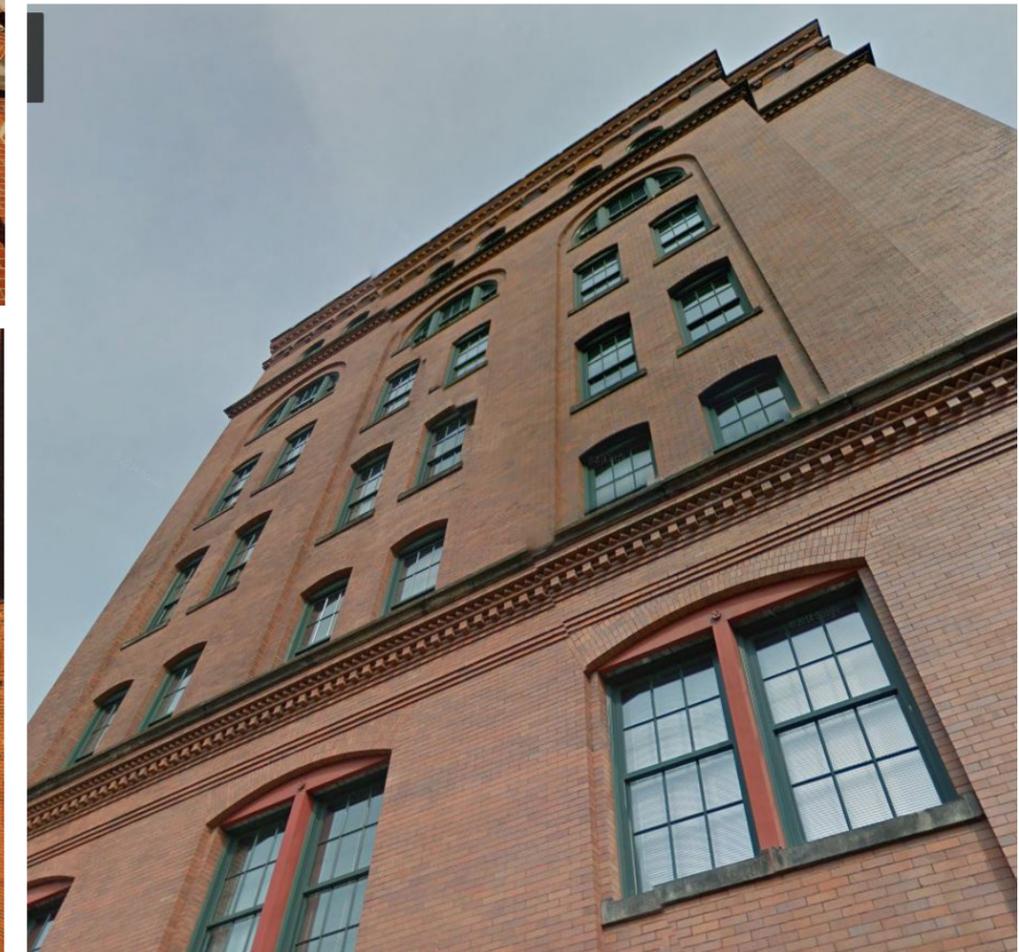




Strong expressions of brick and tower elements anchor the industrial vernacular and rich textures of the Strip District and wider vicinity.

The opposition of red mortar and cast stone lintels give expression and accent to the long and often uninterrupted brick facades.

Elevational shifts in brick detailing helps to create shadow lines and more articulation of scale



SITE ANALYSIS - CONTEXTUAL UNDERSTANDING

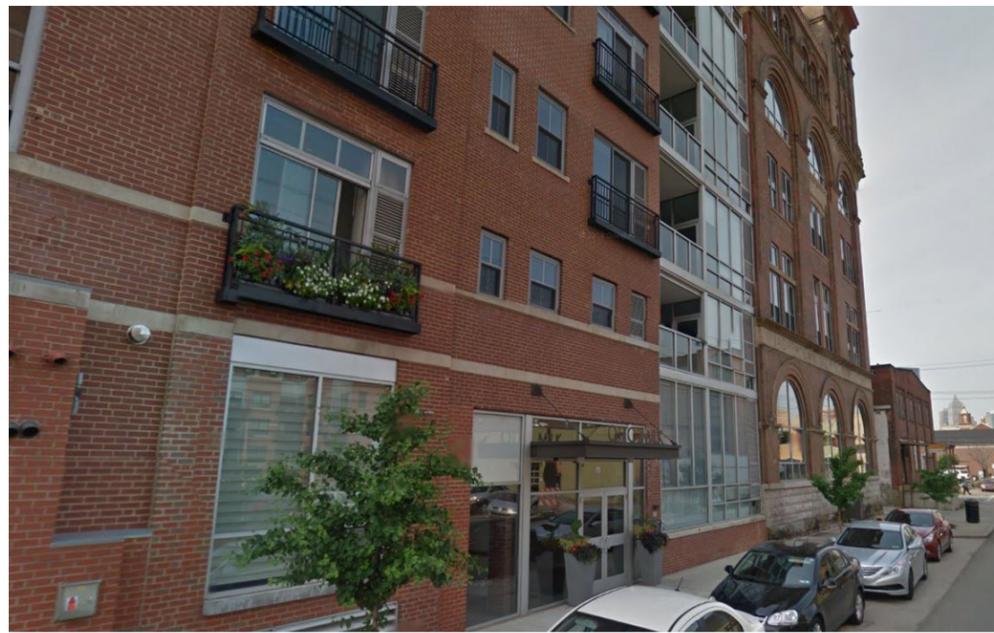


Prevailing use of steel from cable ties, mesh railing and i-beam canopies have populated the streetscapes and buildings, framing entry ways and gateways, stoops and porches.

16th Street Bridge's iconic yellow structure gives identity to the views of downtown Pittsburgh, and Terminal building makes use of narrow loading bays with angled awnings and docks.



SITE ANALYSIS - CONTEXTUAL UNDERSTANDING

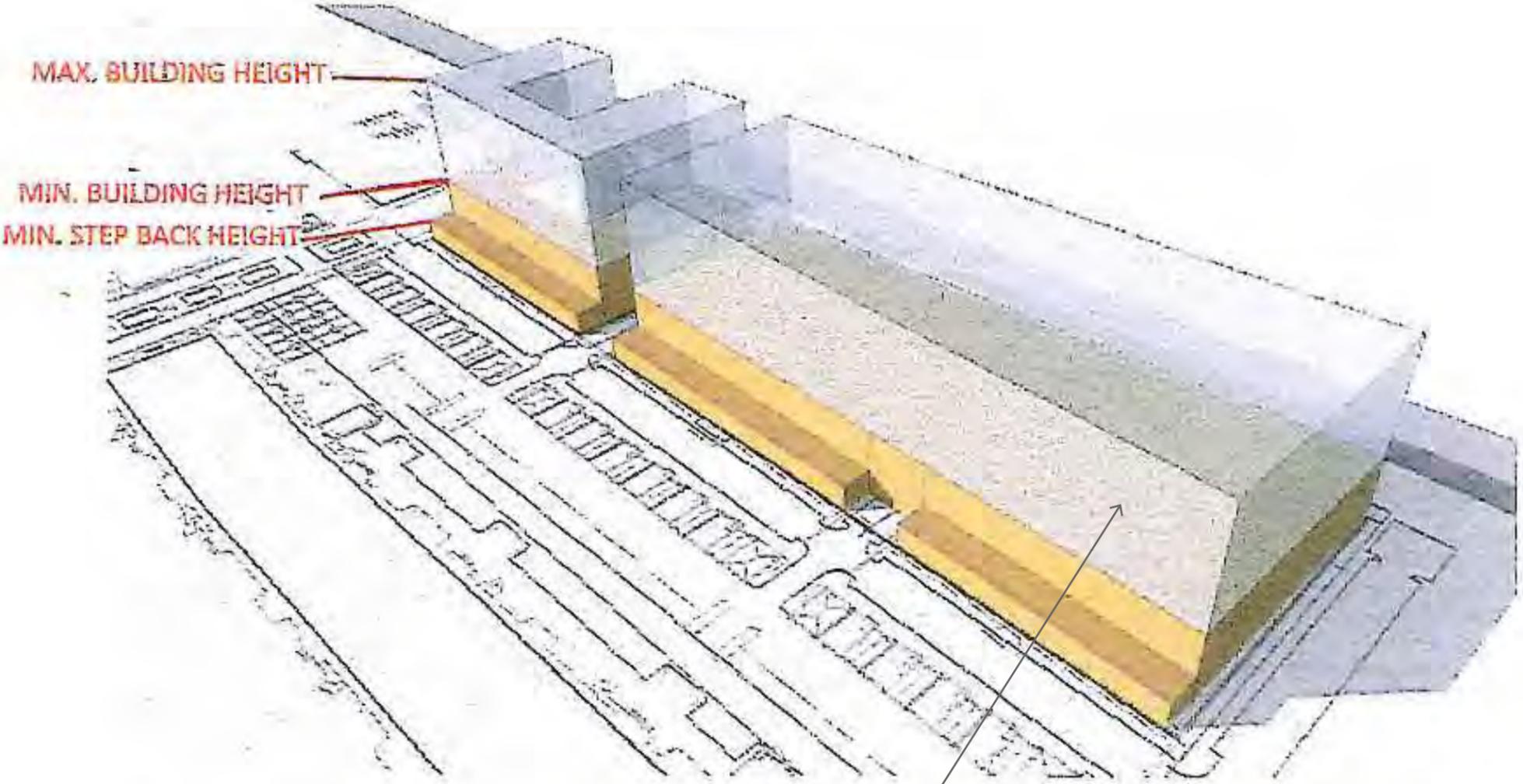


Many of the successful contemporary insertions into the existing urban fabric have taken cues from the historic use of materials, color and grittiness of the Strip District and wider vicinity.



SITE ANALYSIS - CONTEXTUAL UNDERSTANDING

BUILD TO LINE ON WATERFRONT PLACE:
19' FOR 50% OF PROPERTY LENGTH, AND FOR
MINIMUM OF 2 STORIES OR 24' IN HEIGHT



19' BUILD TO LINE - A MAXIMUM OF 50% OF THE
WATERFRONT PLACE FACADE CAN BE SET BACK AT
19'-0" FROM WATERFRONT PLACE PROPERTY LINE

ZONING ANALYSIS - BUILDING ZONING ENVELOP PER SP-8

1. ENHANCED
STREETScape,
21ST STREET &
WATERFRONT PLACE

2. 19TH STREET PLAZA

3. RIVERFRONT TRAIL
ENHANCEMENT

4. PEDESTRIAN
CONNECTIONS

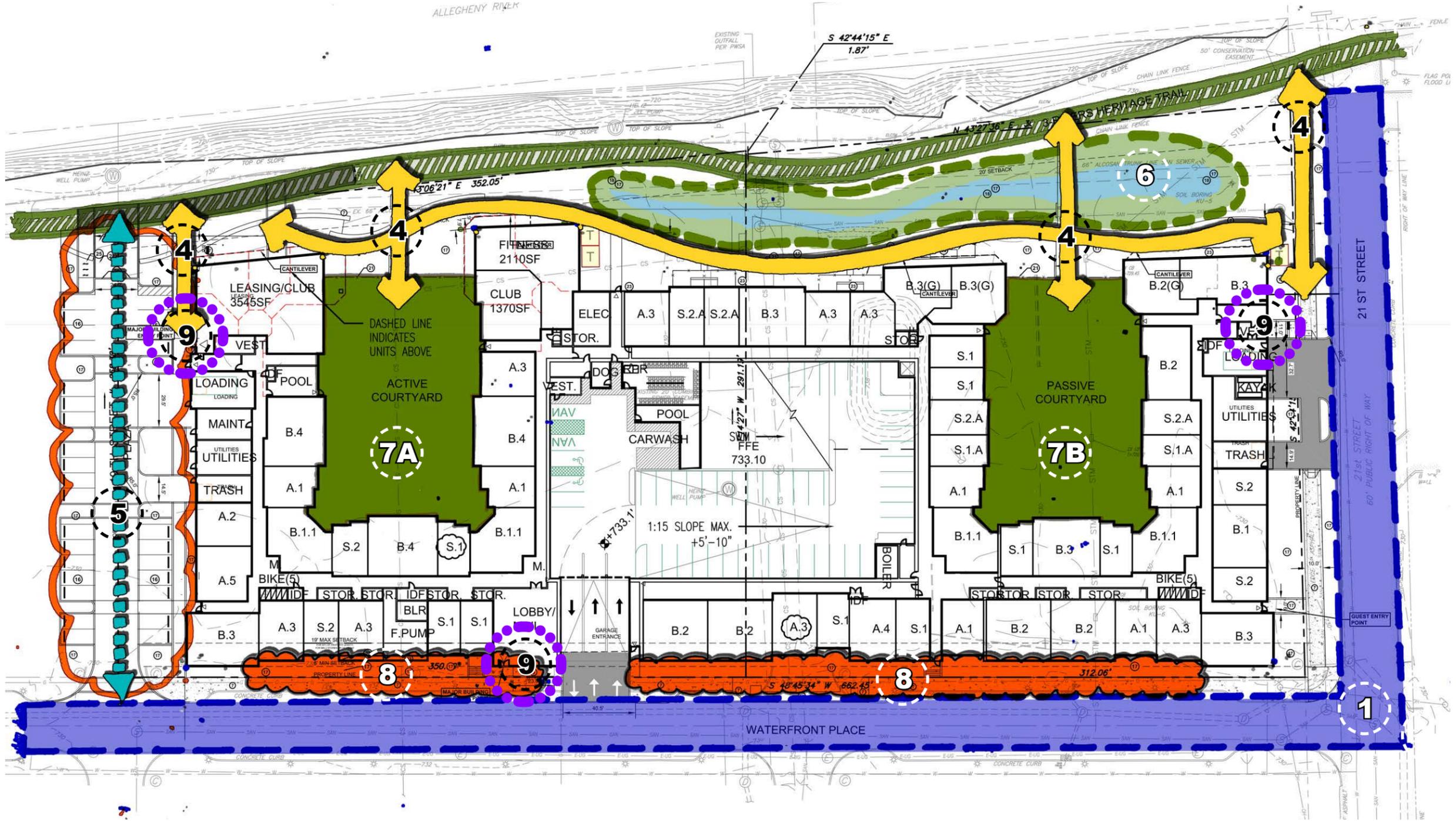
5. DESIGNATED
BICYCLE ACCESS

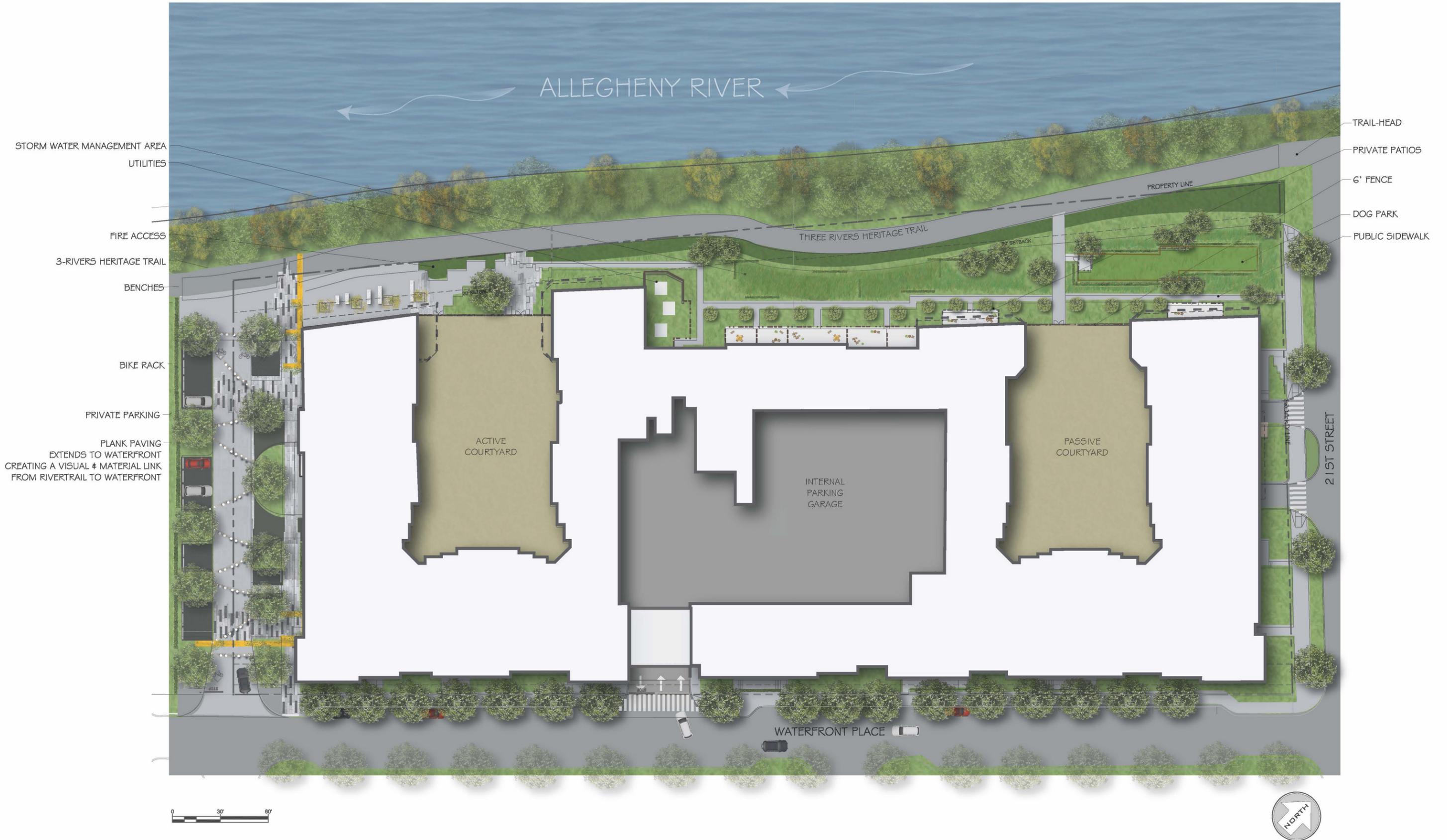
6. RAIN GARDEN FOR
STORMWATER
QUALITY (APPROX.
450' L)

7. INTENSIVE &
EXTENSIVE
COURTYARD
(APPROX. 30,000SF)

8. PRIVATE ACCESS
WITH STOOPS &
PATIOS

9. MAJOR ACCESS
POINTS

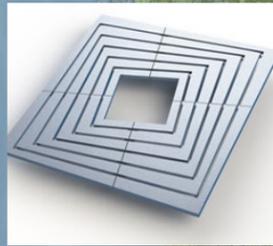




SEAT WALLS



TREE GRATES



RIVERFRONT LANDING APARTMENTS

3-RIVERS HERITAGE TRAIL

ALLEGHENY RIVER

ZERO CURB LINE

BIKE RACKS



BISTRO LIGHTS



PROJECT SIGN

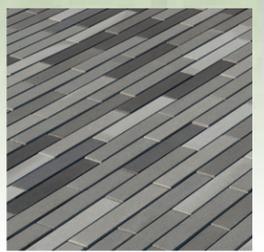
GREEN FORMS FURNISHINGS

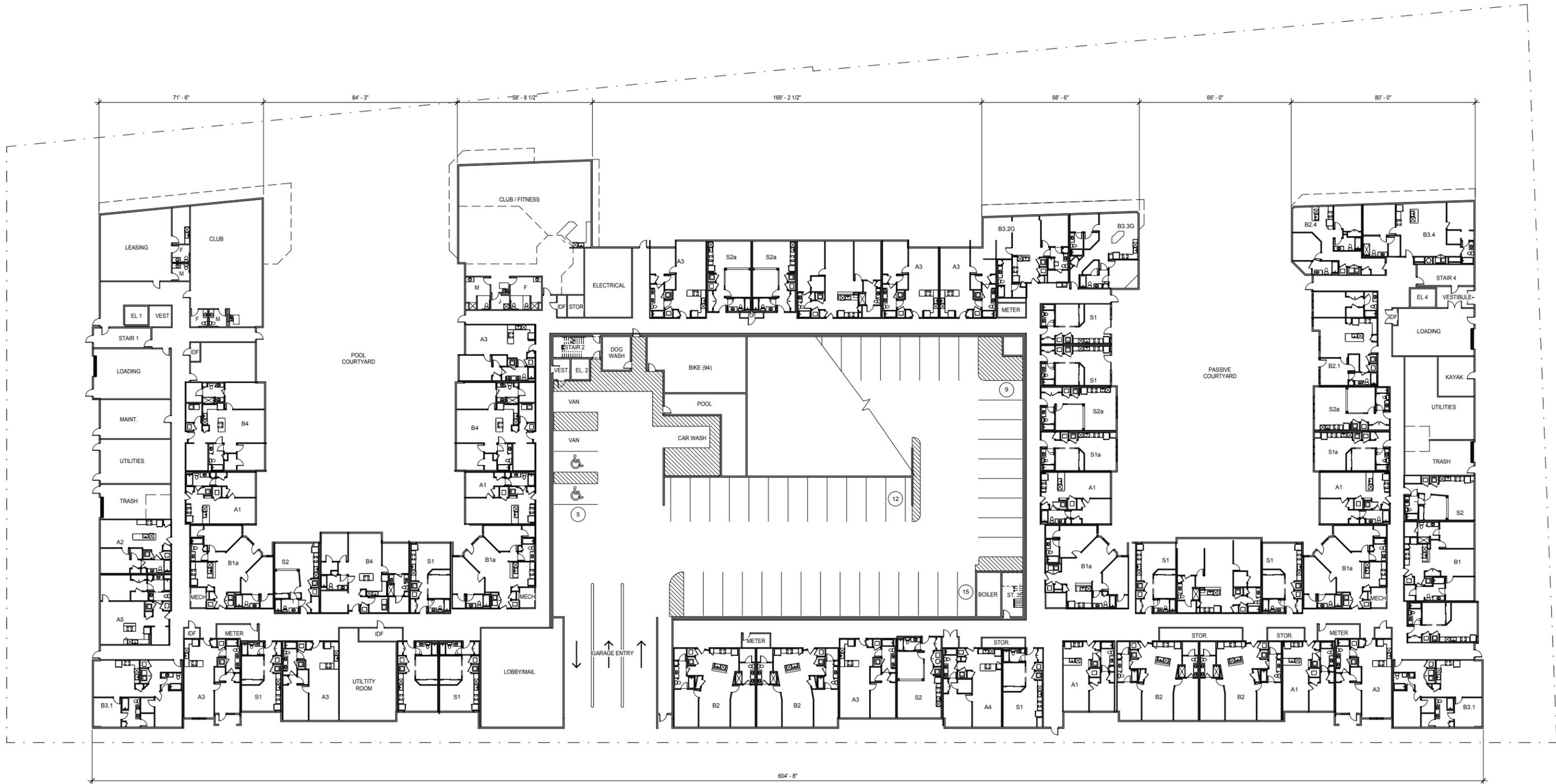


YELLOW I-BEAM TRELLIS

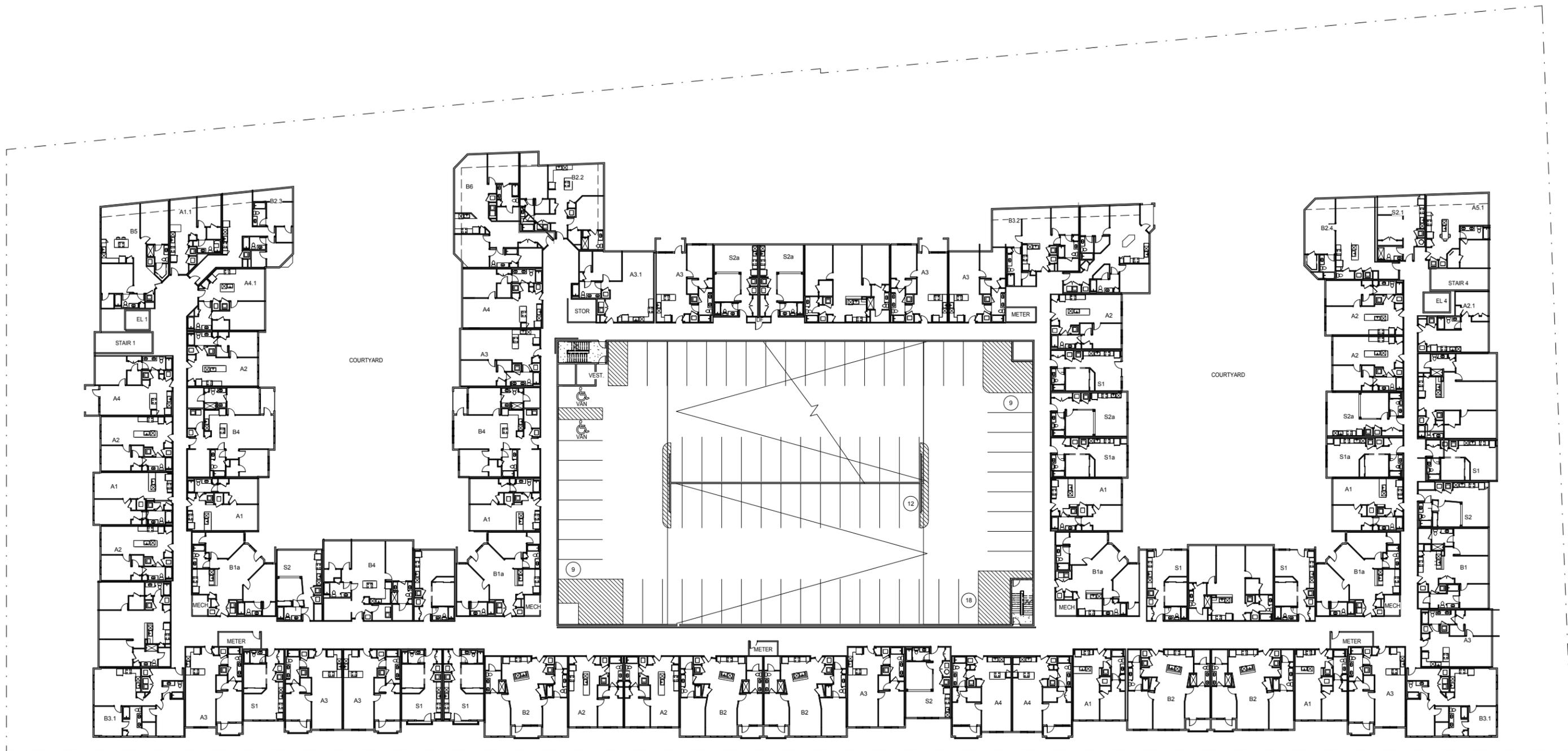


PLANK PAVERS

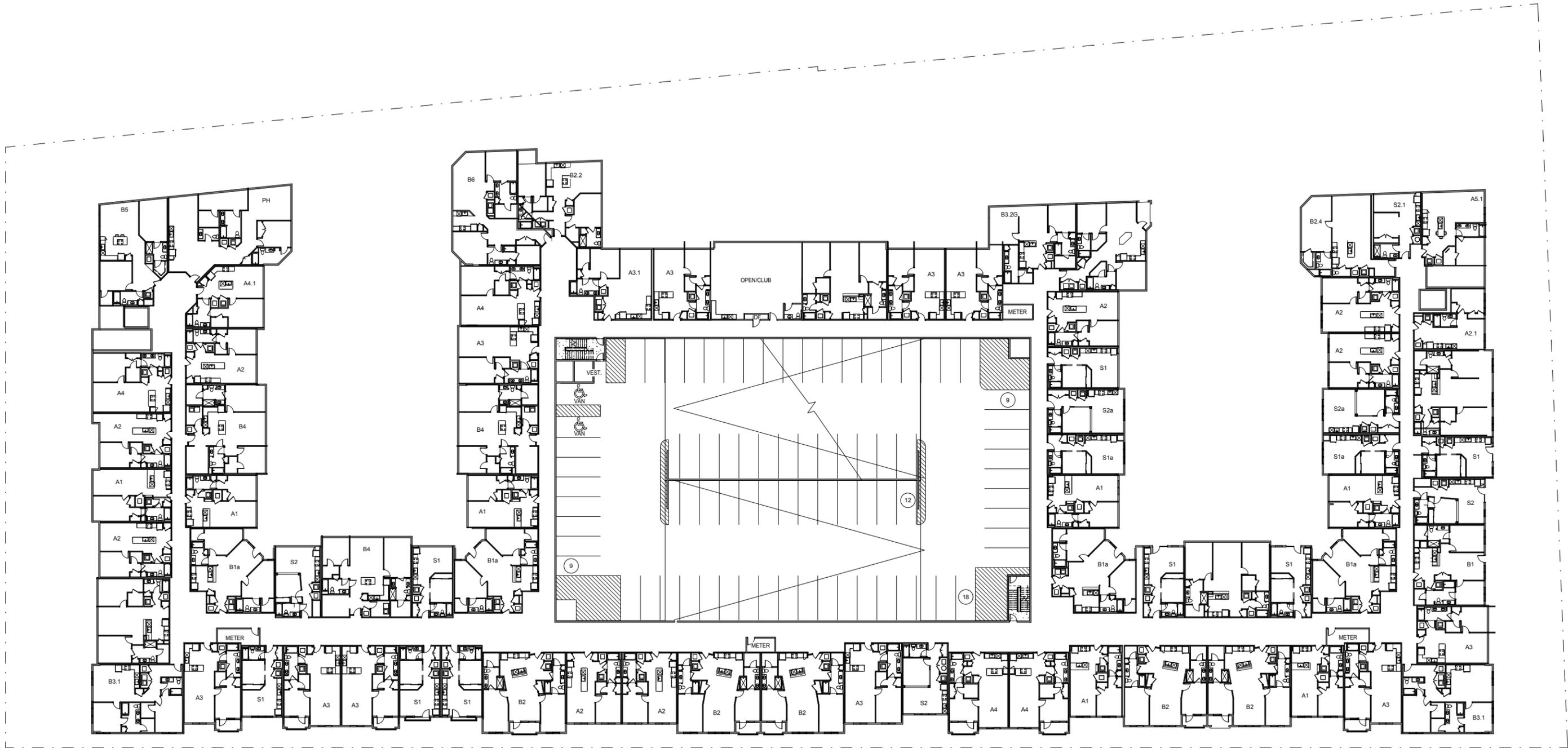




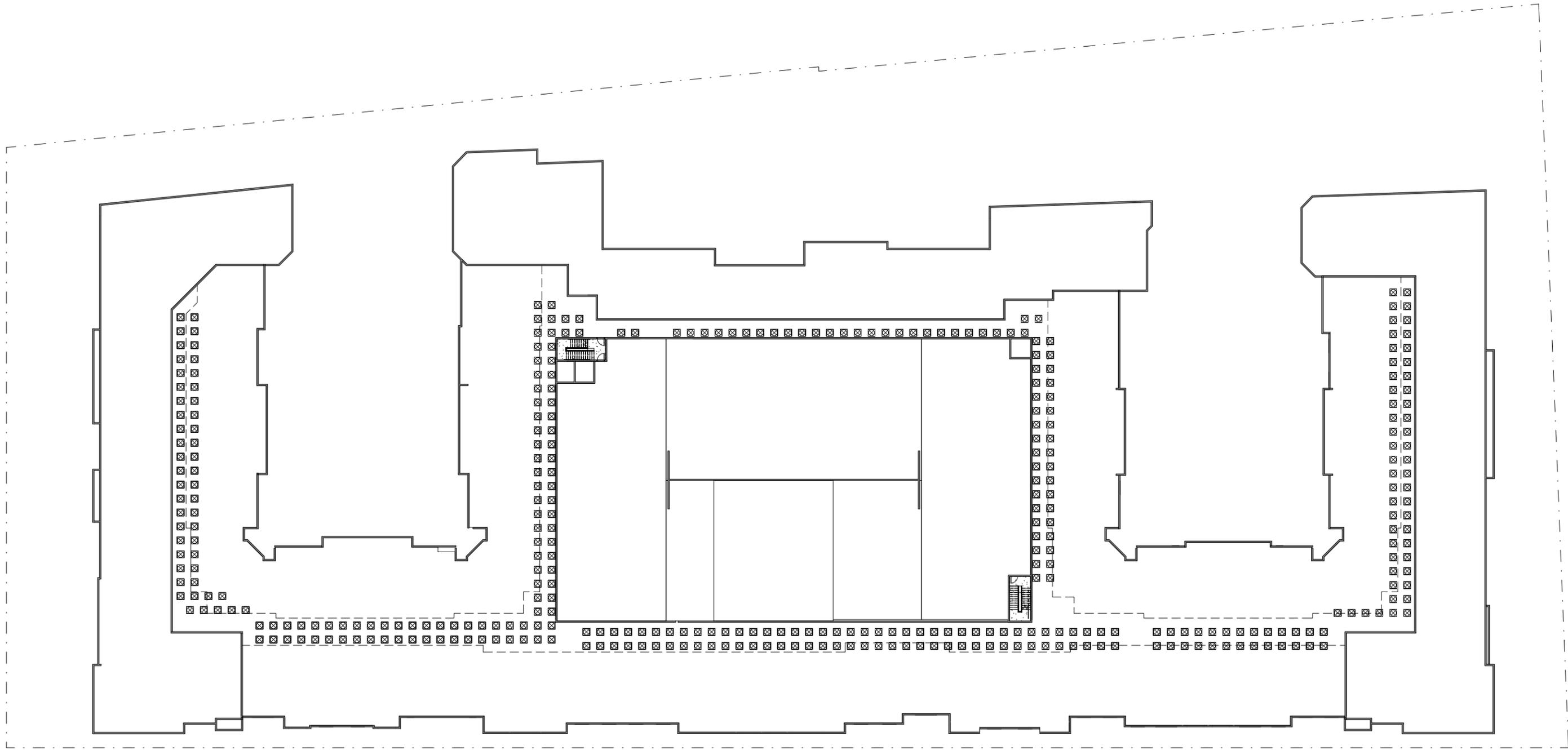
GROUND LEVEL PLAN

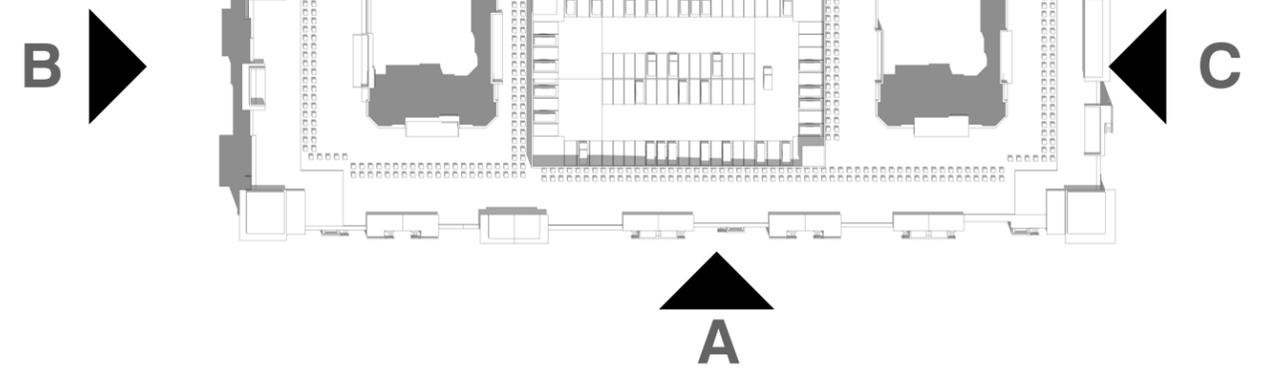


TYPICAL UPPER LEVEL PLAN



5TH LEVEL PLAN





B | 19TH STREET PLAZA ELEVATION

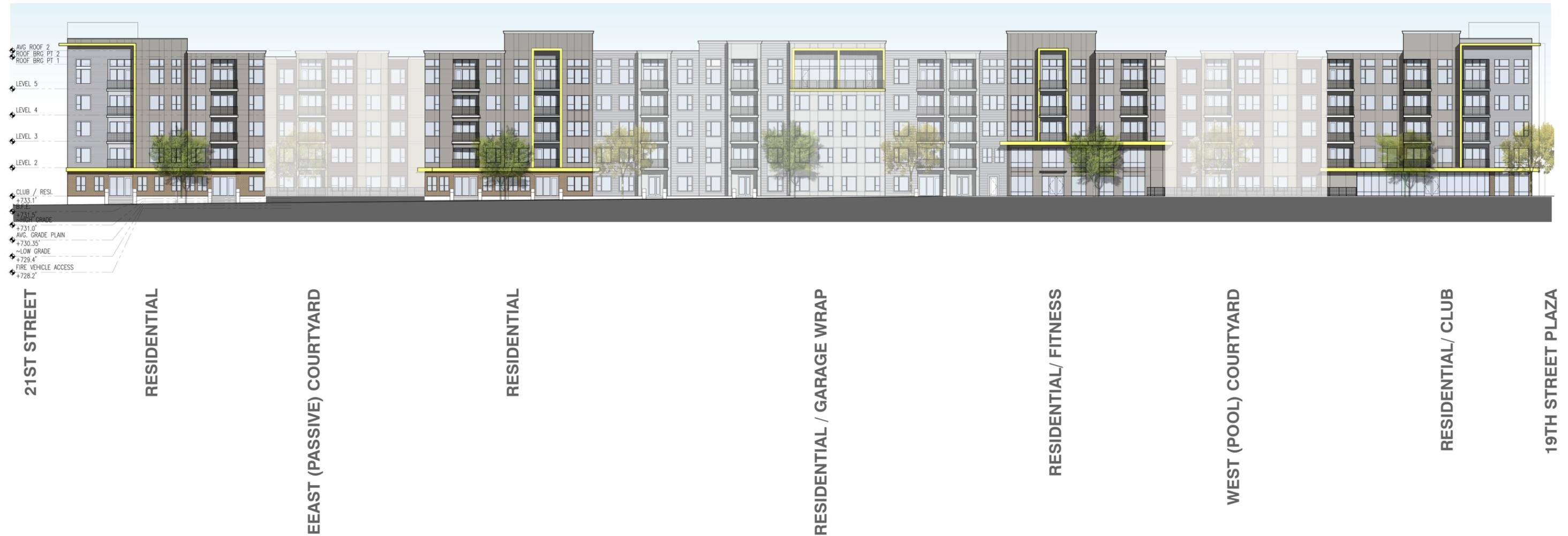
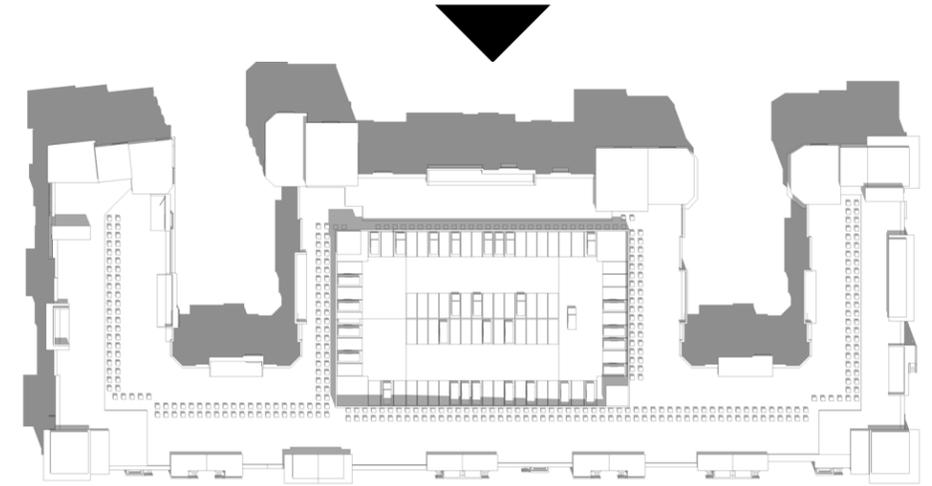


C | 21ST STREET ELEVATION

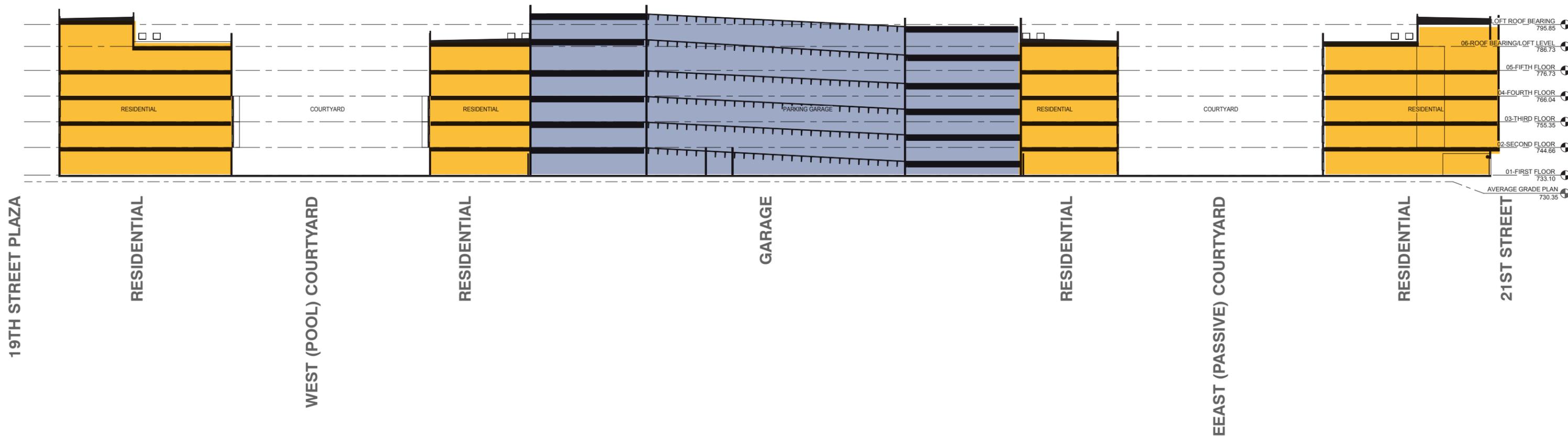
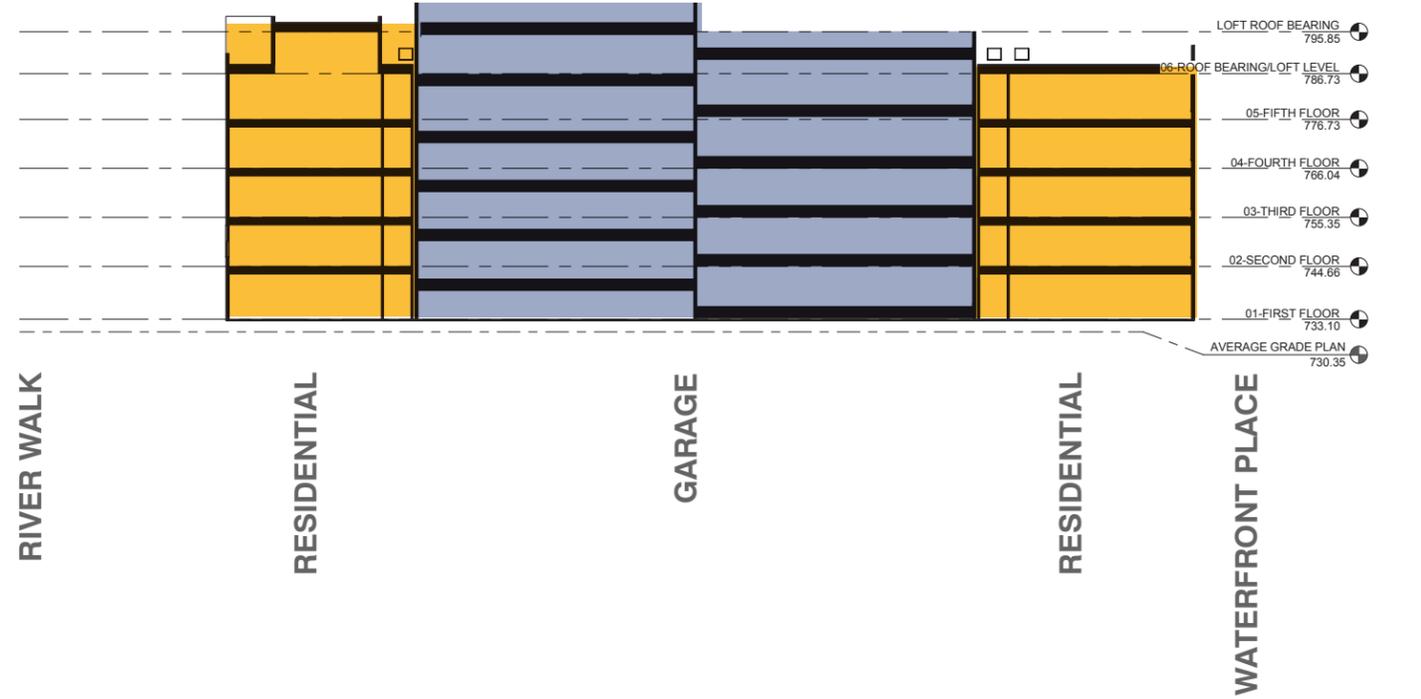
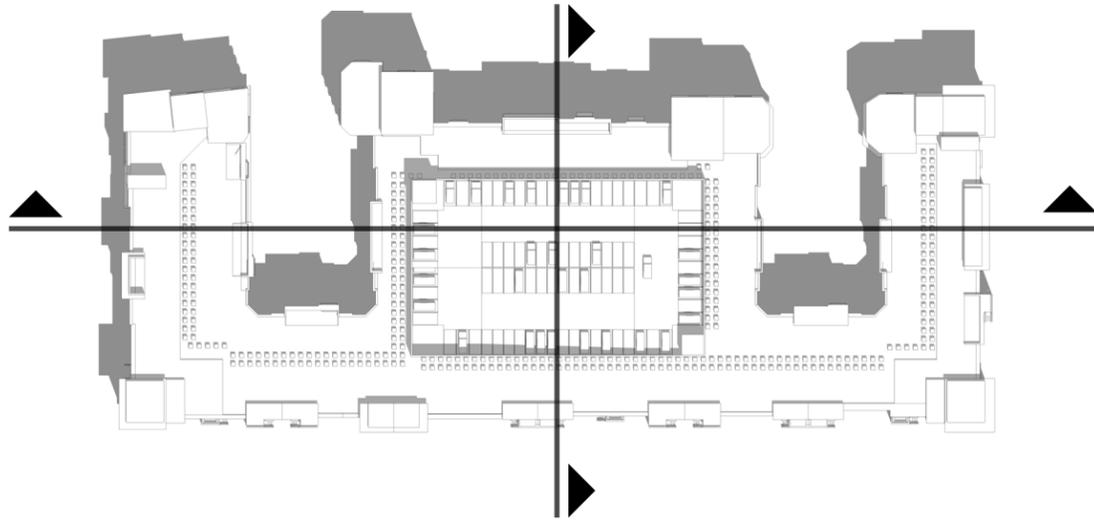


A | WATERFRONT PLACE ELEVATION

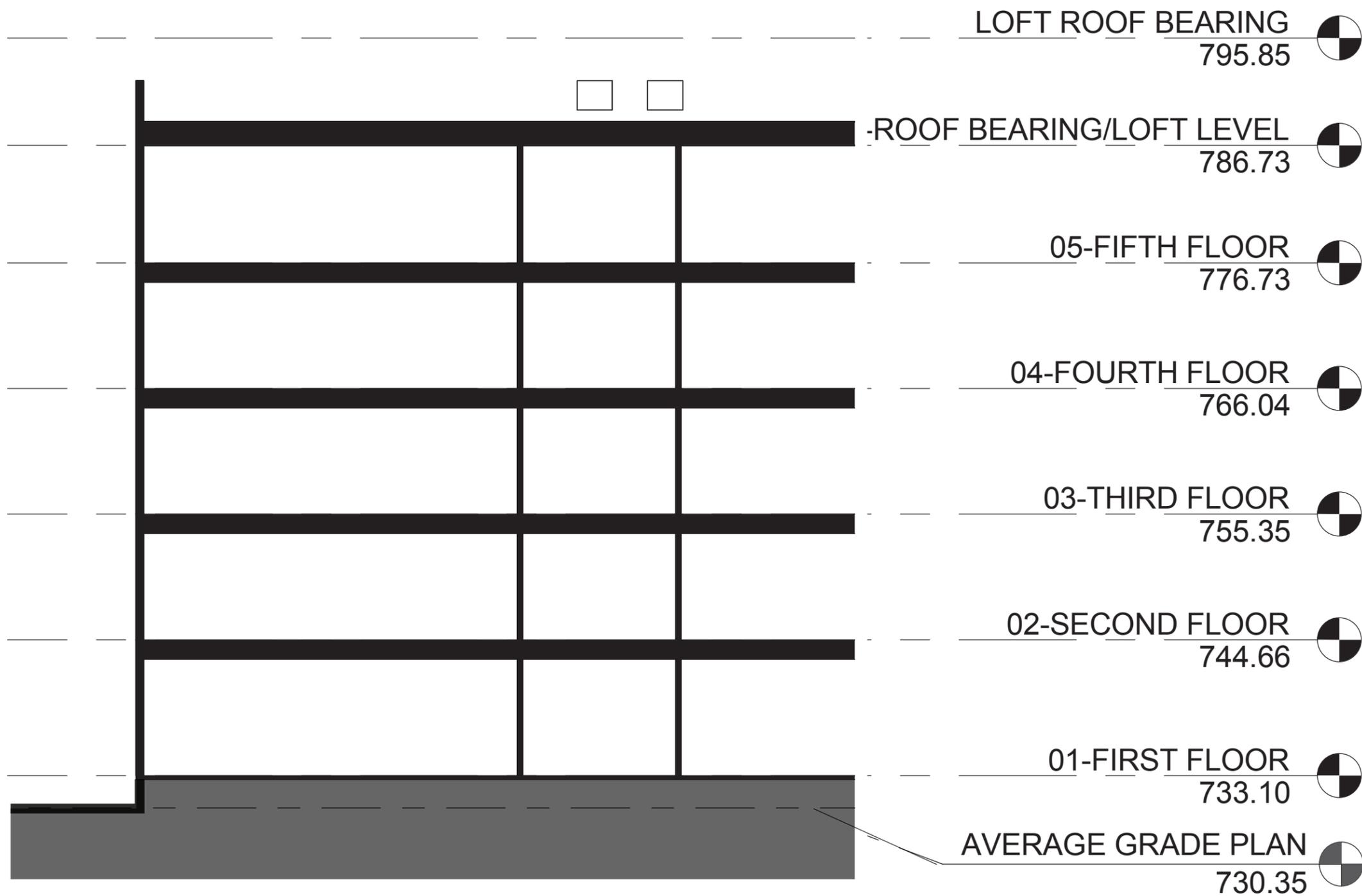
BUILDING ELEVATIONS - STREET VIEWS



BUILDING ELEVATION - RIVER WALK



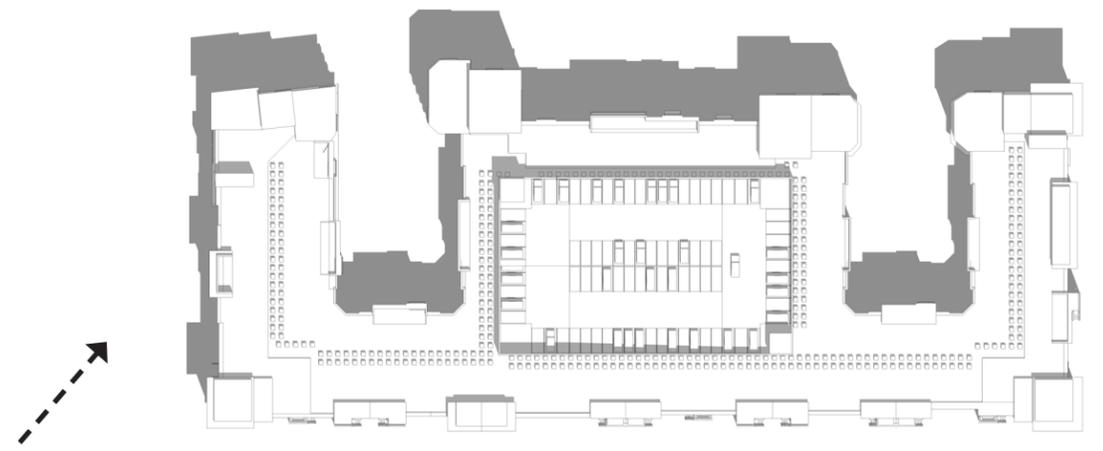
BUILDING SECTIONS



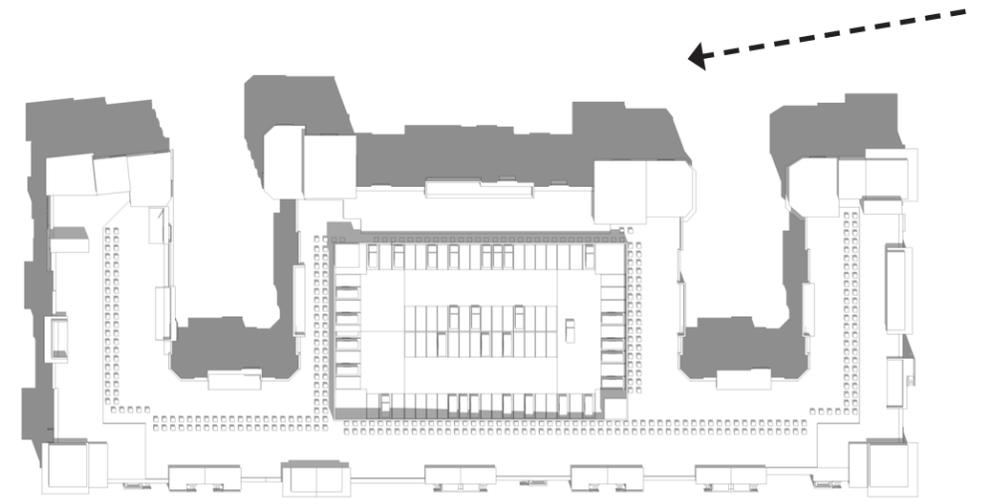
BUILDING ENLARGED SECTION



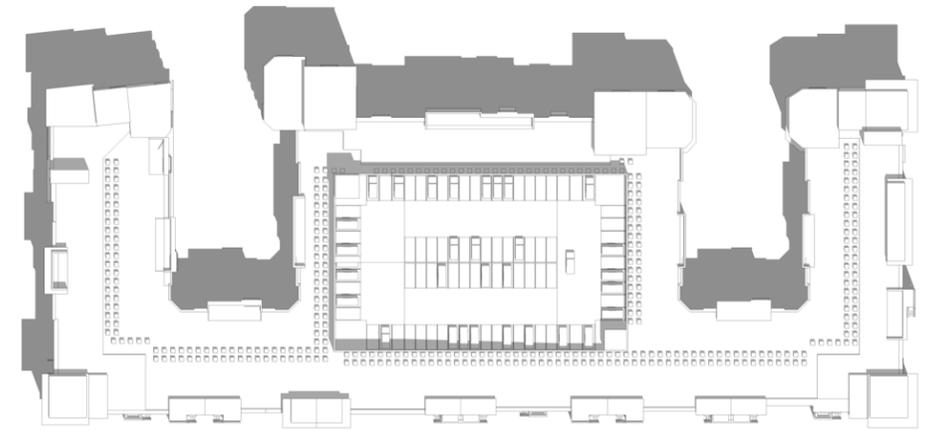
AERIAL VIEW - ALLEGHENY RIVER TOWARDS DOWNTOWN PITTSBURGH *From It*



EYE LEVEL VIEW - 19TH STREET PLAZA/WATERFRONT PLACE CORNER

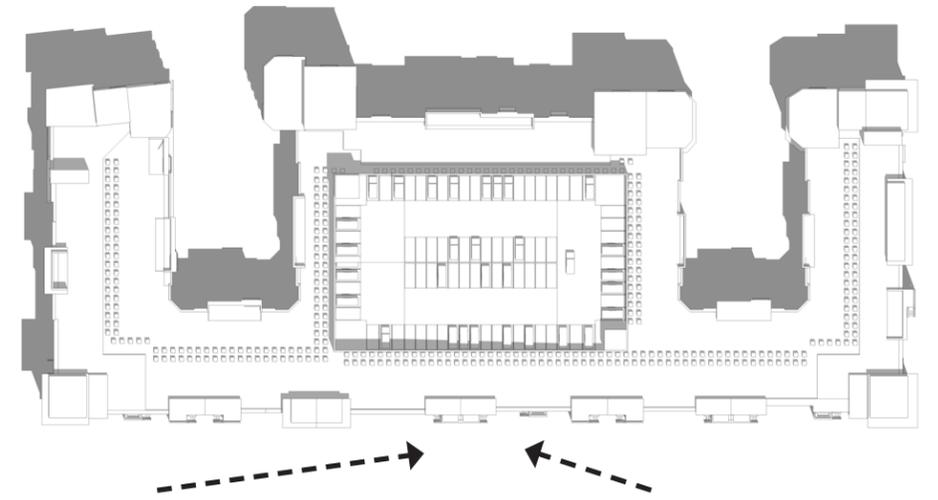


EYE LEVEL VIEW - RIVER WALK FROM 21ST STREET

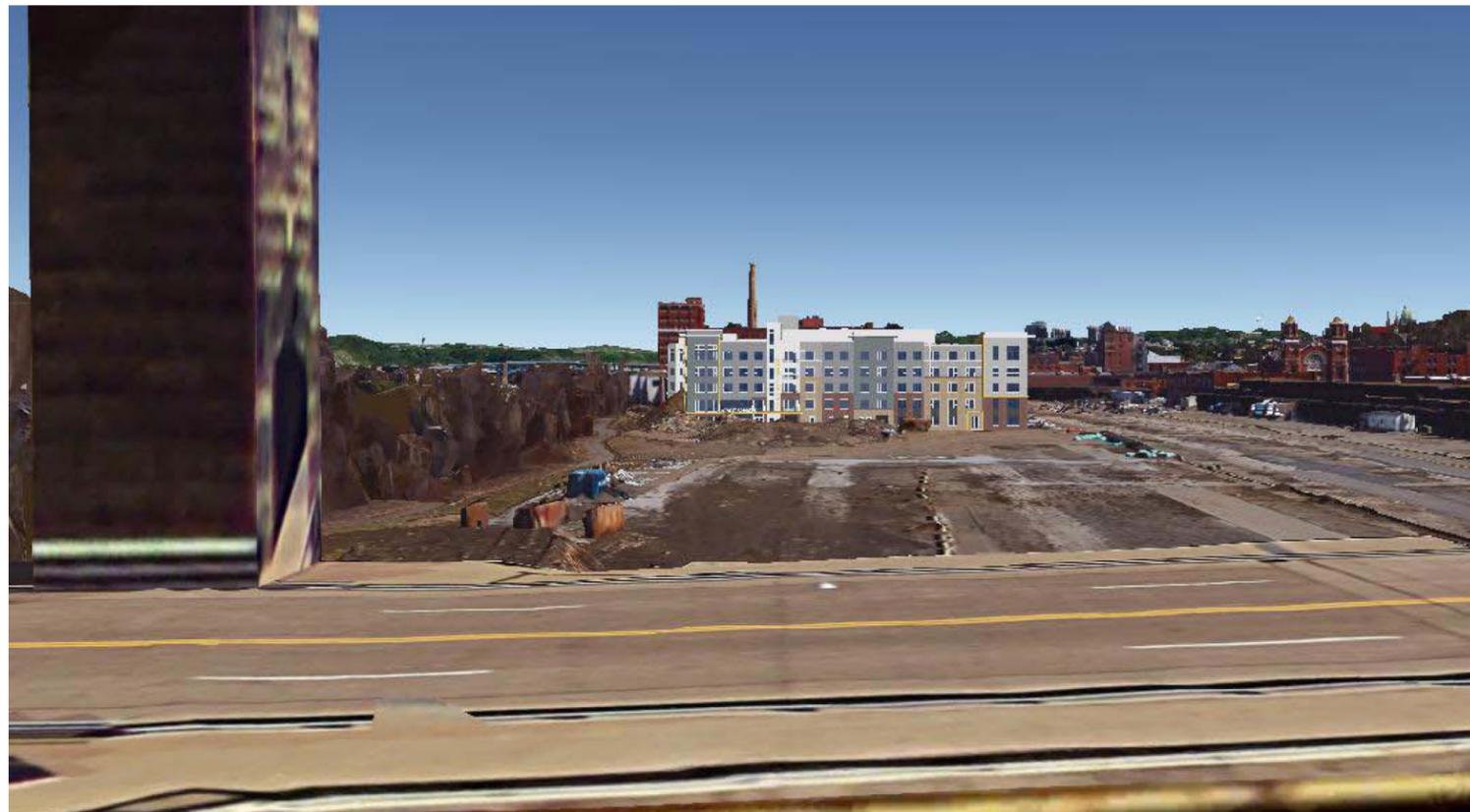


EYE LEVEL VIEW - 19TH STREET PLAZA FROM RIVER WALK





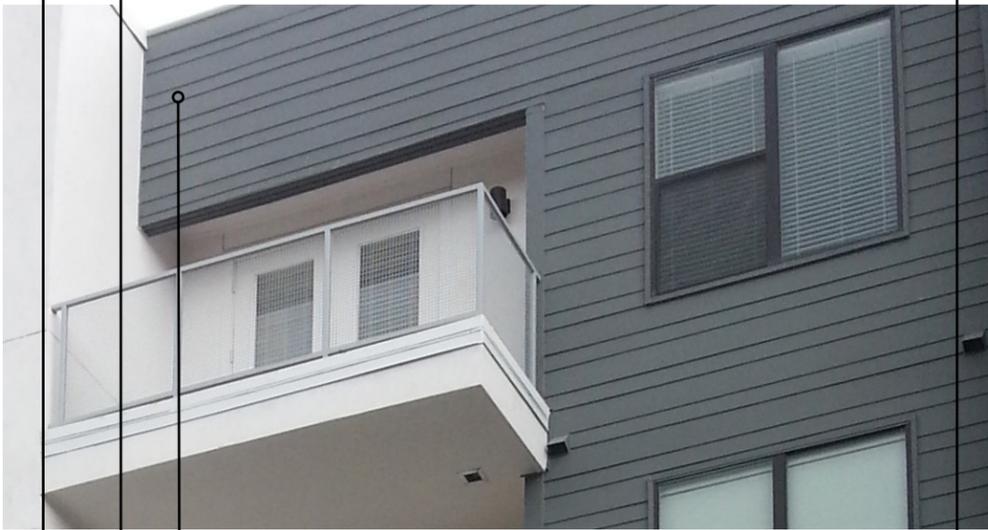
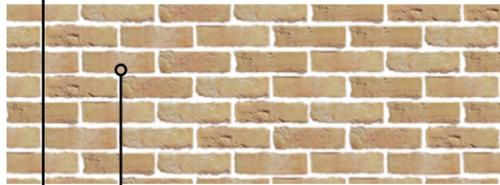
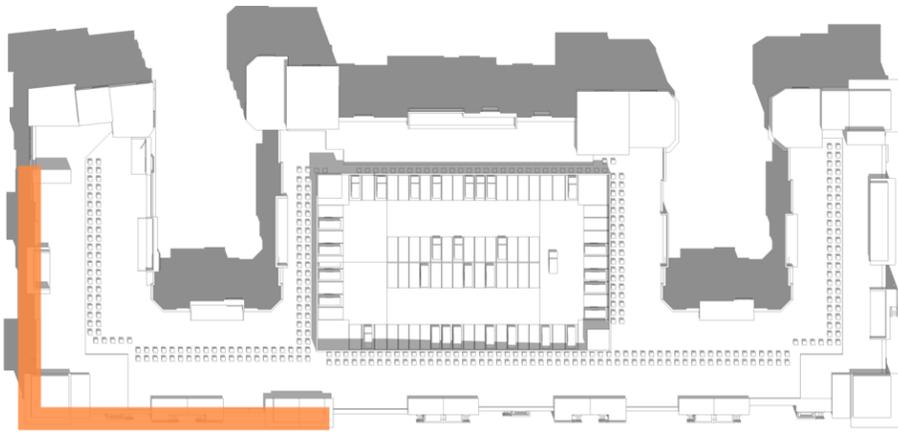
EYE LEVEL VIEWS - WATERFRONT PLACE ENTRANCE



VISUAL IMPACT STUDIES



VISUAL IMPACT STUDIES



ALTERNATING SIDING
BRICK 2
BRICK 1

CORRUGATED METAL CLADDING
FIBER CEMENT PANEL SYSTEM
STEEL I-BEAM ACCENT
BOARD AND BATTEN

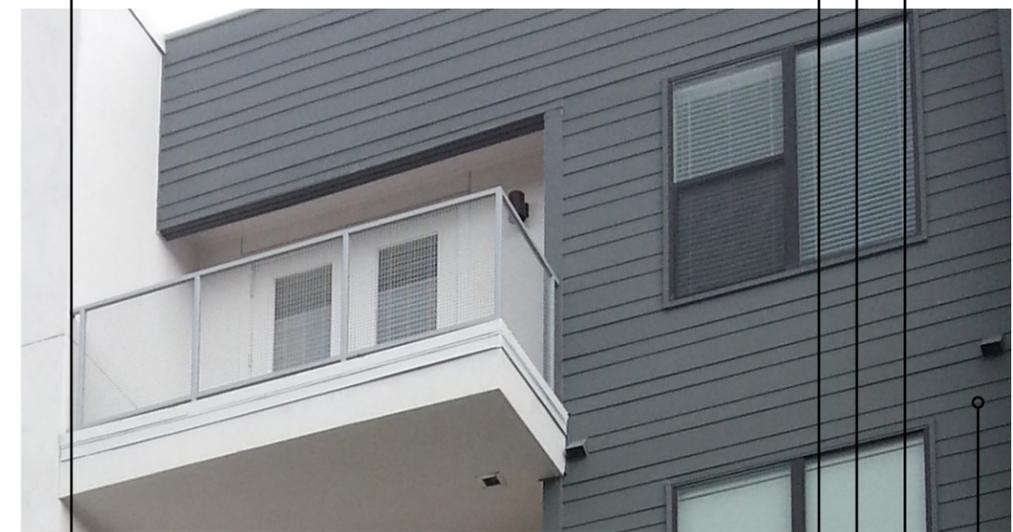
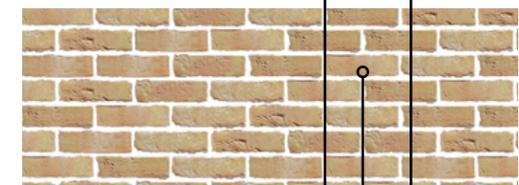
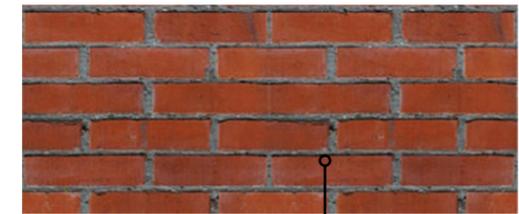
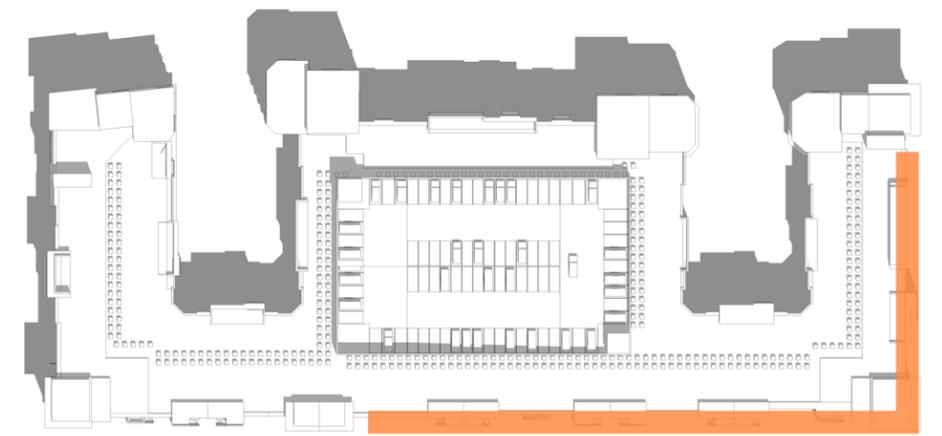
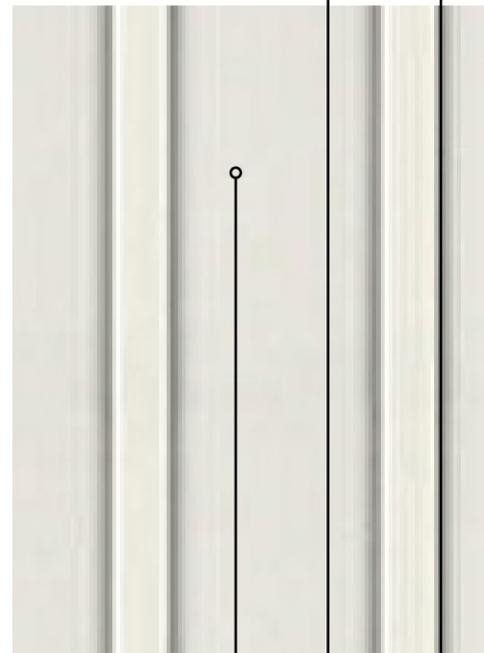
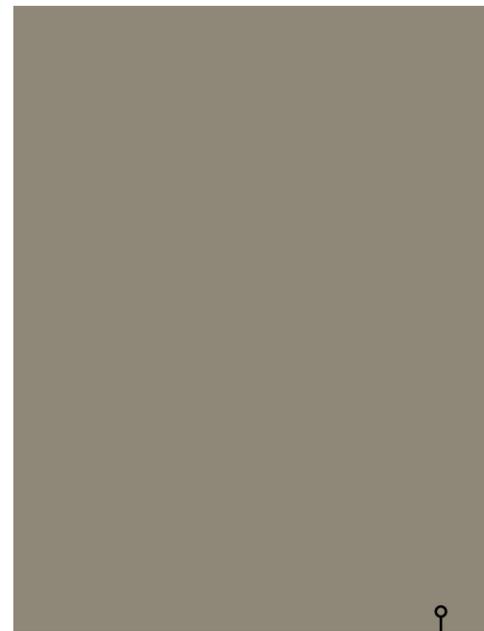


MATERIAL + COLOR SCHEME | STREET FACADE WEST



ACCENT BRICK BANDS AT
STOOP/RESIDENTIAL PORCHES

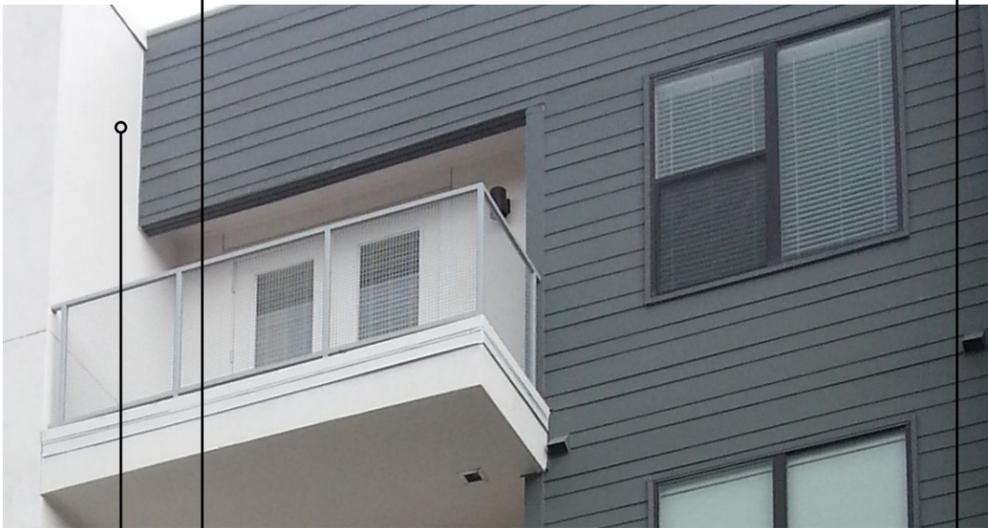
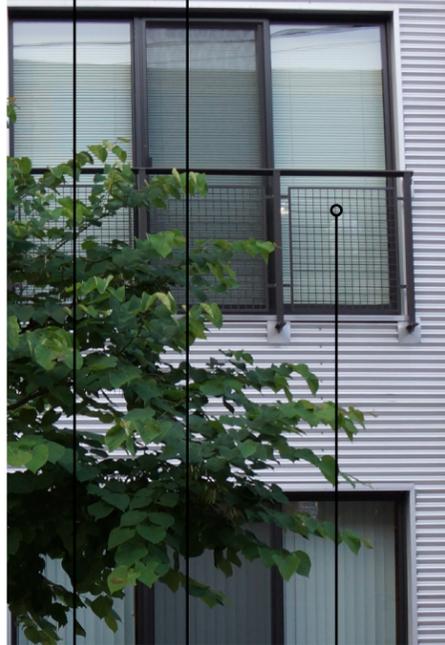
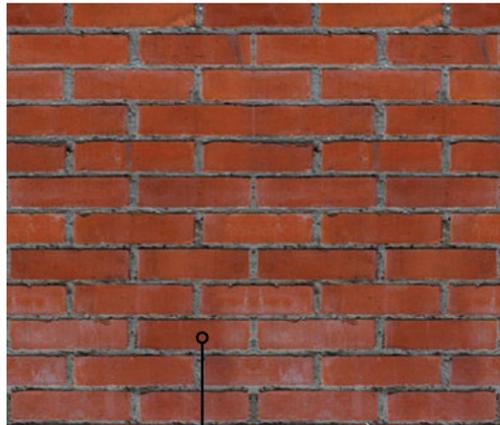
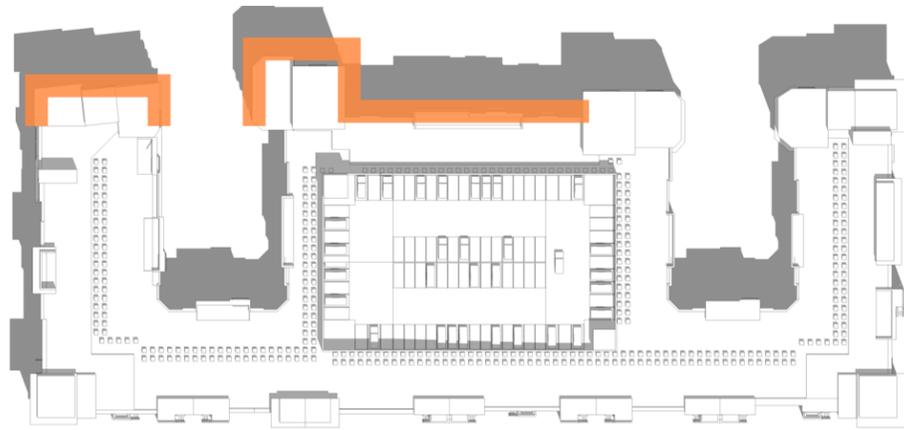
TYPICAL FENESTRATION
DARK GRAY SPANDREL PANEL
CHARCOAL WINDOW FRAME
CAST CONCRETE SILL
DARK GRAY SOLDIER COURSE



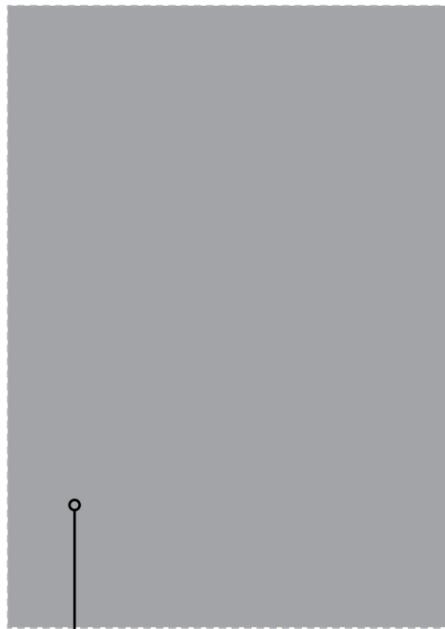
CORRUGATED METAL CLADDING
FIBER CEMENT PANEL SYSTEM
STEEL I-BEAM ACCENT
BOARD AND BATTEN

BRICK 1
BRICK 2
BRICK 2 ACCENT
ALTERNATING SIDING

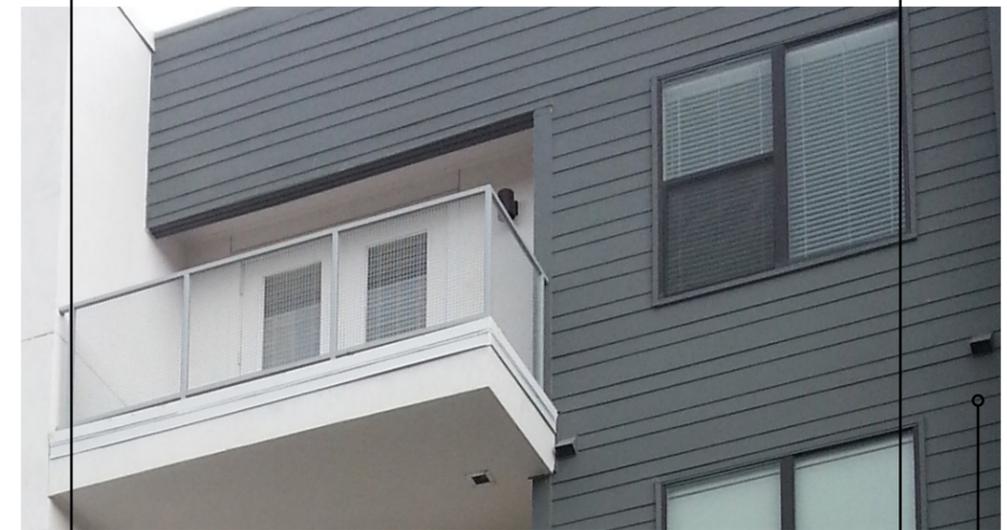
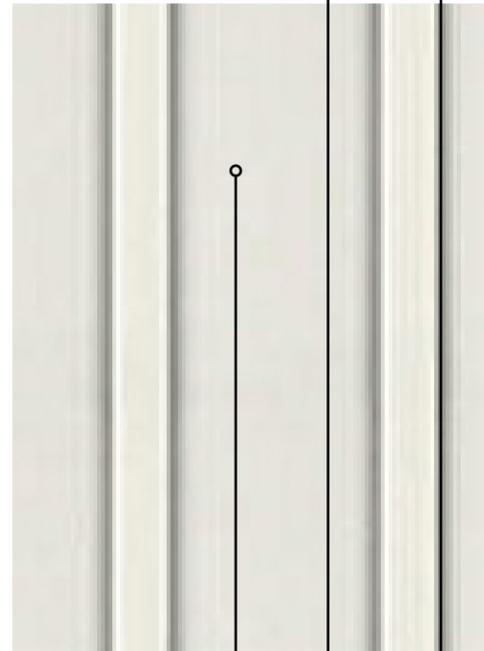
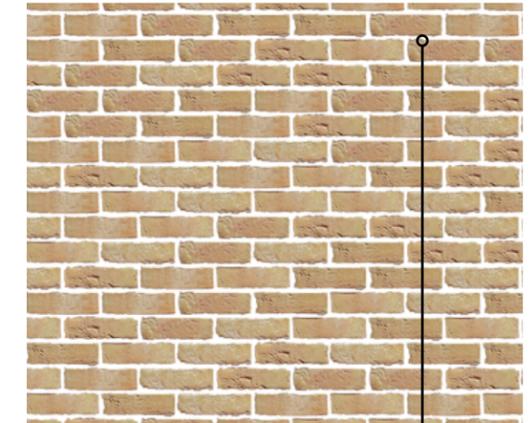
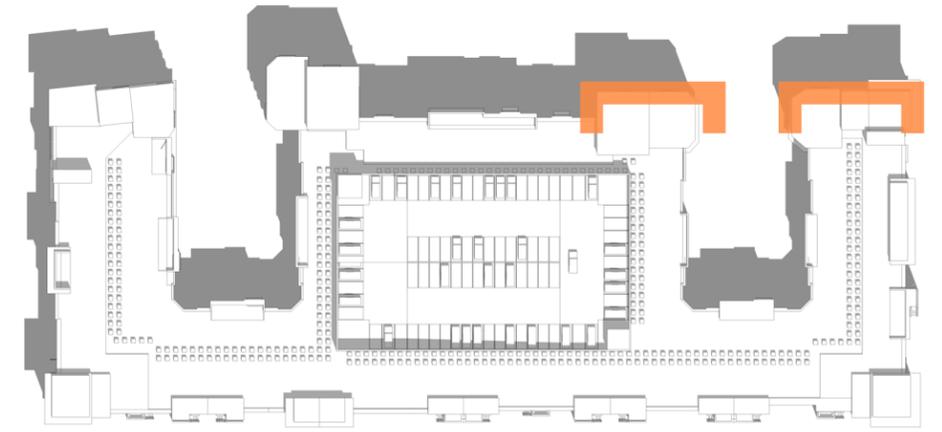
MATERIAL + COLOR SCHEME | STREET FACADE EAST



- BRICK 1
- ALTERNATING SIDING
- MESH BALCONY / CHARCOAL GLAZING FRAME
- CORRUGATED METAL CLADDING
- FIBER CEMENT PANEL SYSTEM
- STEEL I-BEAM ACCENT



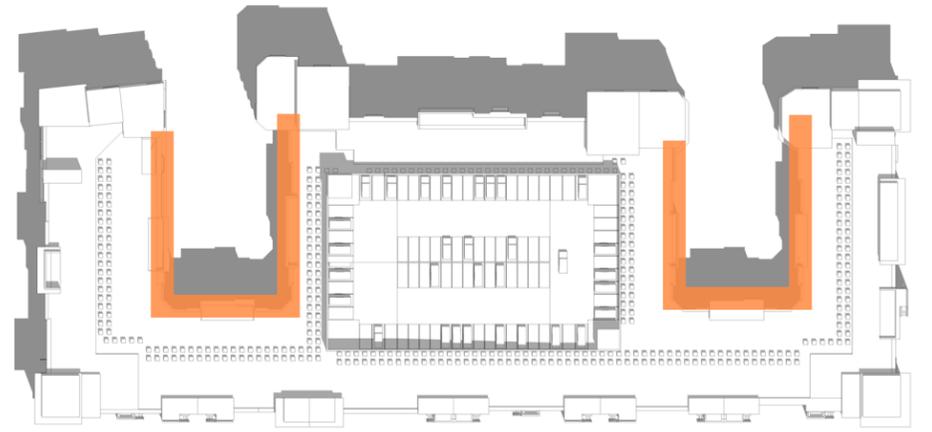
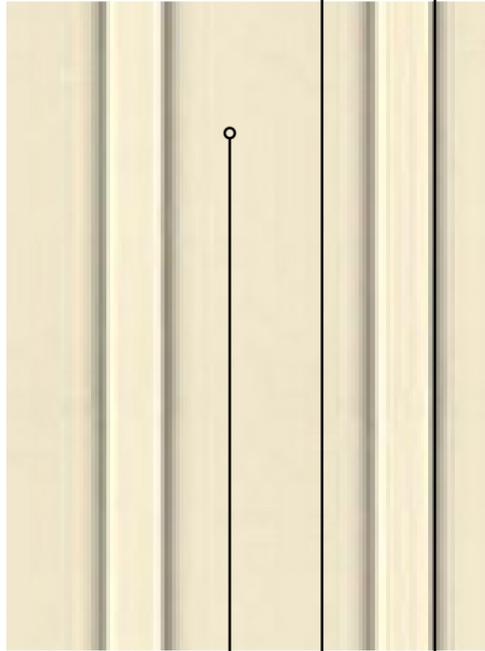
MATERIAL + COLOR SCHEME | RIVER WALK WEST



CORRUGATED METAL CLADDING
 FIBER CEMENT PANEL SYSTEM
 STEEL I-BEAM ACCENT
 BOARD AND BATTEN

BRICK 1
 ALTERNATING
 SIDING

MATERIAL + COLOR SCHEME | RIVER WALK EAST



FIBER CEMENT PANEL SYSTEM

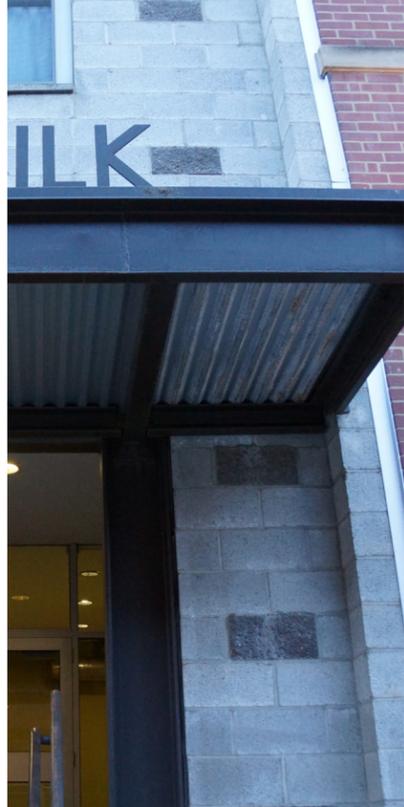
BALCONY RAILING

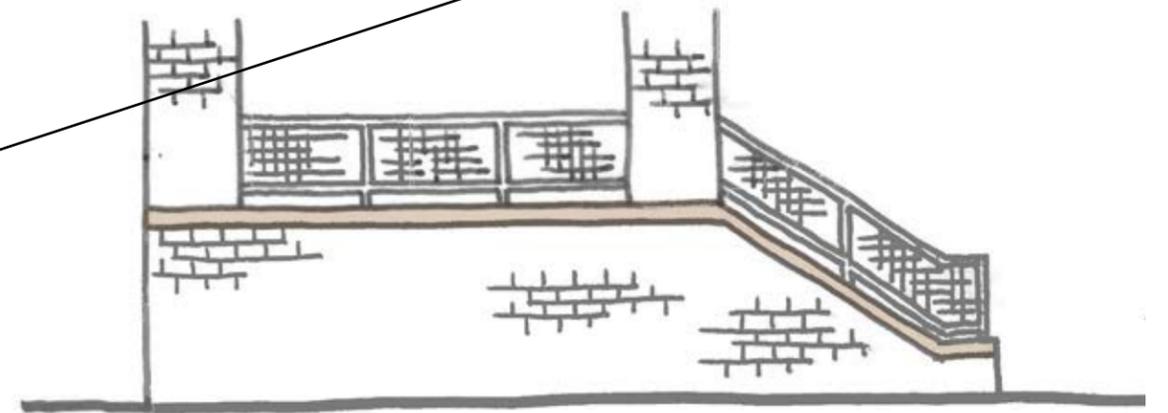
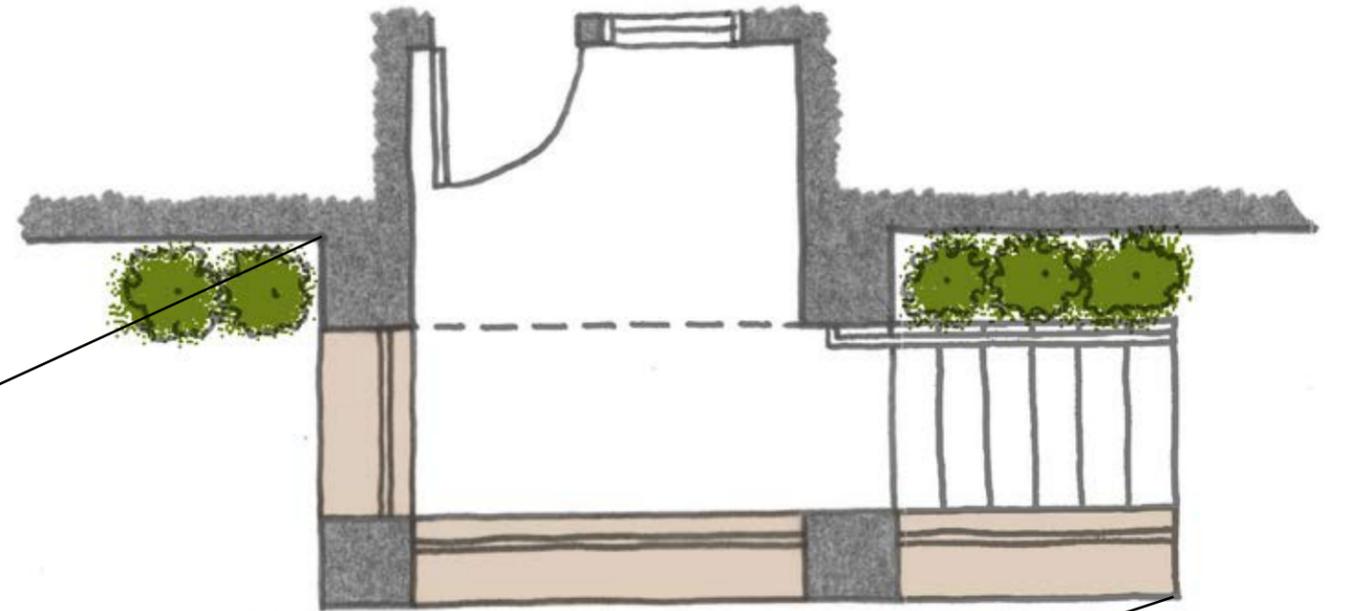
BOARD AND BATTEN

LAP SIDING

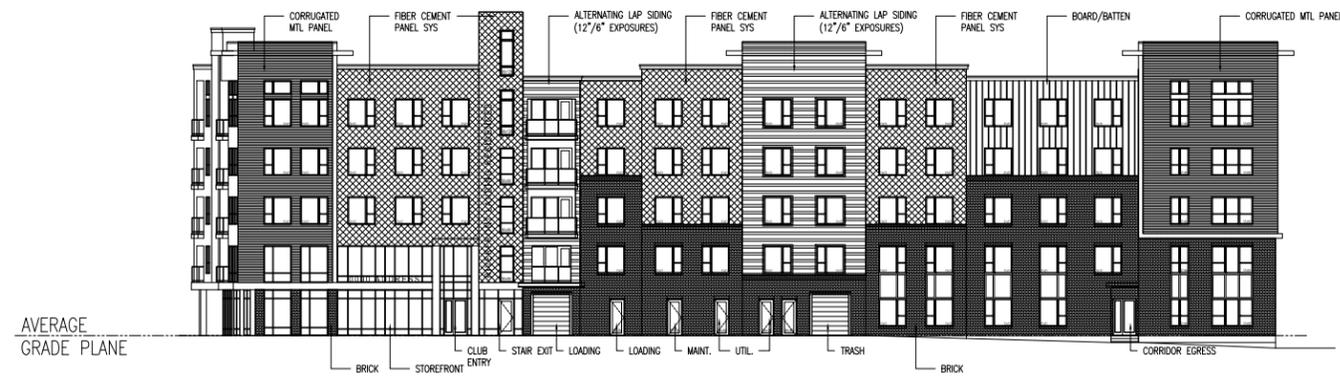
MATERIAL + COLOR SCHEME | COURTYARDS







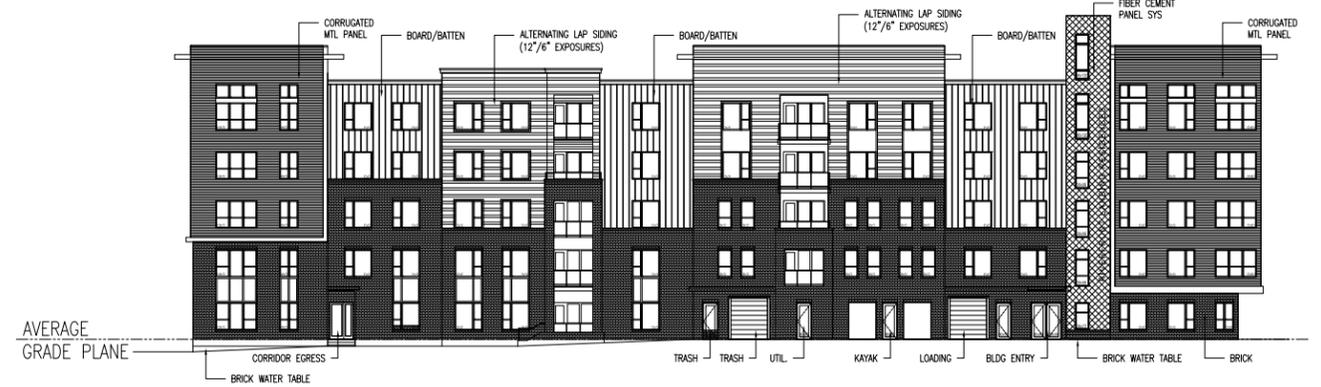
ENLARGED ELEVATION | TYPICAL RESIDENTIAL STOOP



AVERAGE GRADE PLANE

STREETFRONT MATERIAL	AREA (SQ.FT.)	%
CORRUGATED METAL PANEL:	2227 SQ. FT.	19
FIBER CEMENT PANEL:	2900 SQ. FT.	25
ALTERNATING LAP SIDING:	1856 SQ. FT.	16
BOARD/ BATTEN:	563 SQ. FT.	05
BRICK:	3961 SQ. FT.	35
TOTAL:	11507 SF	100

3 | 19TH ST PLAZA FACADE



AVERAGE GRADE PLANE

STREETFRONT MATERIAL	AREA (SQ.FT.)	%
CORRUGATED METAL PANEL:	2306 SQ. FT.	18
FIBER CEMENT PANEL:	514 SQ. FT.	04
ALTERNATING LAP SIDING:	2157 SQ. FT.	17
BOARD/ BATTEN:	1845 SQ. FT.	16
BRICK:	5673 SQ. FT.	45
TOTAL:	12495 SF	100

2 | 21ST STREET FACADE

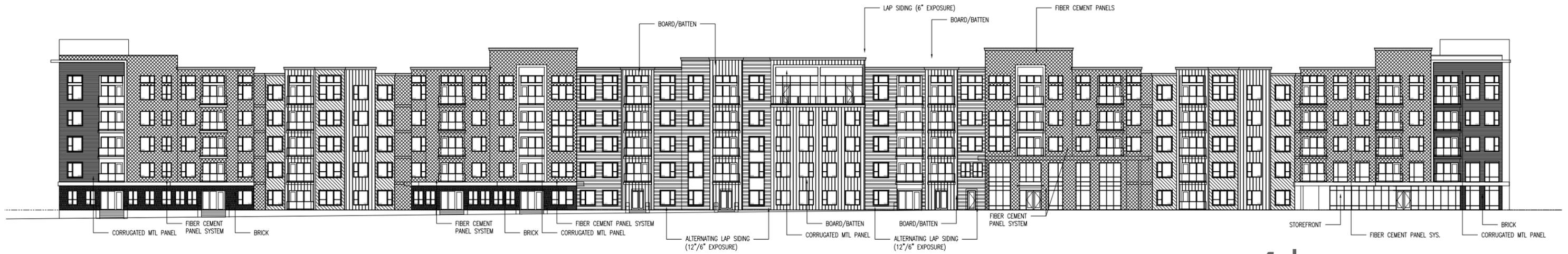


AVERAGE GRADE PLANE

STREETFRONT MATERIAL	AREA (SQ.FT.)	%
CORRUGATED METAL PANEL:	4043 SQ. FT.	13
FIBER CEMENT PANEL:	3646 SQ. FT.	12
ALTERNATING LAP SIDING:	5077 SQ. FT.	17
BOARD/ BATTEN:	4515 SQ. FT.	15
BRICK:	12791 SQ. FT.	43
TOTAL:	30072 SF	100

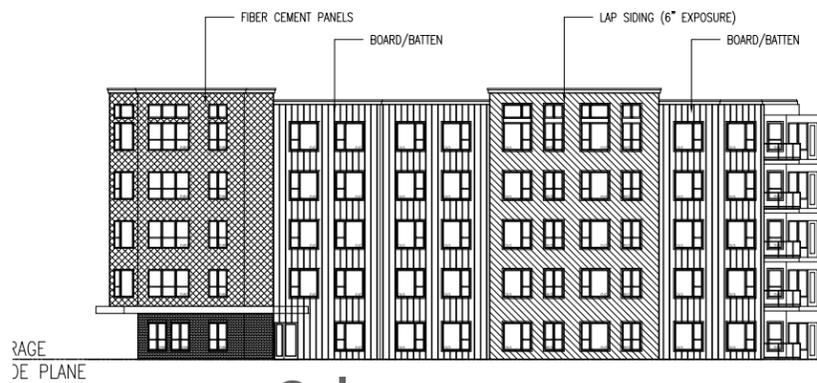
1 | WATERFRONT PLACE FACADE

MATERIAL CALCULATIONS - STREET ELEVATIONS



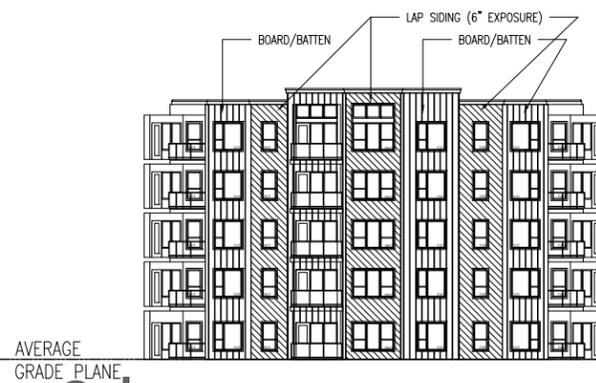
4 | RIVER WALK FACADE

STREETFRONT MATERIAL	AREA (SQ.FT.)	%
CORRUGATED METAL PANEL:	1604 SQ. FT.	05
FIBER CEMENT PANEL:	12889 SQ. FT.	42
ALTERNATING LAP SIDING:	4912 SQ. FT.	16
STANDARD LAP SIDING:	3217 SQ. FT.	11
BOARD/ BATTEN:	6757 SQ. FT.	22
BRICK:	1464 SQ. FT.	04
TOTAL:	30843 SF	100



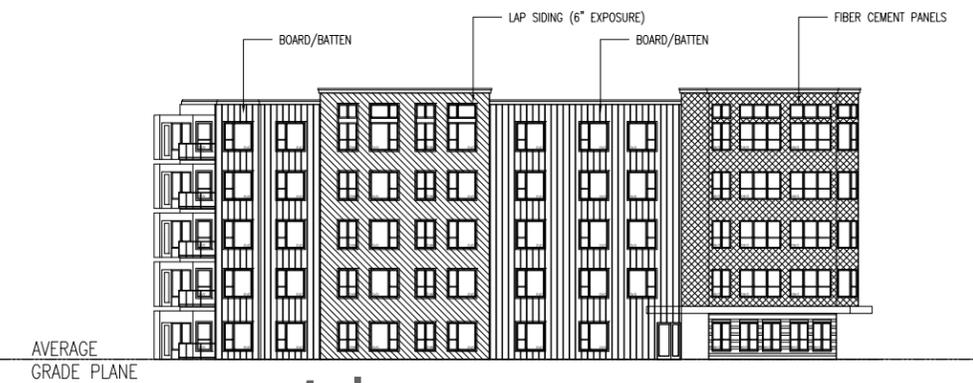
3 | COURTYARD EAST FACADE

STREETFRONT MATERIAL	AREA (SQ.FT.)	%
CORRUGATED METAL PANEL:	0	0
FIBER CEMENT PANEL:	1203 SQ. FT.	20
ALTERNATING LAP SIDING:	0	0
STANDARD LAP SIDING:	1471 SQ. FT.	25
BOARD/ BATTEN:	3188 SQ. FT.	52
BRICK:	225 SQ. FT.	03
TOTAL:	6087 SF	100



2 | COURTYARD SOUTH FACADE

STREETFRONT MATERIAL	AREA (SQ.FT.)	%
CORRUGATED METAL PANEL:	1604 SQ. FT.	05
FIBER CEMENT PANEL:	12889 SQ. FT.	42
ALTERNATING LAP SIDING:	4912 SQ. FT.	16
STANDARD LAP SIDING:	3217 SQ. FT.	11
BOARD/ BATTEN:	6757 SQ. FT.	22
BRICK:	1464 SQ. FT.	04
TOTAL:	30843 SF	100



1 | COURTYARD WEST FACADE

STREETFRONT MATERIAL	AREA (SQ.FT.)	%
CORRUGATED METAL PANEL:	1604 SQ. FT.	05
FIBER CEMENT PANEL:	12889 SQ. FT.	42
ALTERNATING LAP SIDING:	4912 SQ. FT.	16
STANDARD LAP SIDING:	3217 SQ. FT.	11
BOARD/ BATTEN:	6757 SQ. FT.	22
BRICK:	1464 SQ. FT.	04
TOTAL:	30843 SF	100

MATERIAL CALCULATIONS - RIVER WALK ELEVATIONS

UPPER (STREETFRONT)	AREA (SQ.FT.)	%
UPPER TOTAL AREA:	11552 SQ. FT.	100
WALL AREA:	8683 SQ. FT.	76.5
GLASS AREA:	2682 SQ. FT.	23.5



LOWER (STREETFRONT)	AREA (SQ.FT.)	%
LOWER TOTAL AREA:	#####	100
WALL AREA:	804 SQ. FT.	70
GLASS AREA:	340 SQ. FT.	30

FENESTRATION CALCULATIONS (21ST STREET)
SCALE: 1" = 20'

3

UPPER (STREETFRONT)	AREA (SQ.FT.)	%
UPPER TOTAL AREA:	11194 SQ. FT.	100
WALL AREA:	8092 SQ. FT.	72.6
GLASS AREA:	3102 SQ. FT.	27.7

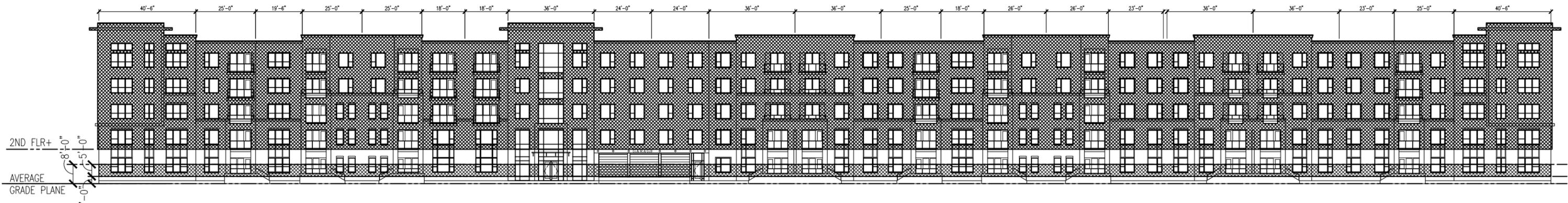


LOWER (STREETFRONT)	AREA (SQ.FT.)	%
LOWER TOTAL AREA:	1116 SQ. FT.	100
WALL AREA:	753 SQ. FT.	67.5
GLASS AREA:	363 SQ. FT.	32.5

FENESTRATION CALCULATIONS (19TH STREET)
SCALE: 1" = 20'

2

UPPER (STREETFRONT)	AREA (SQ.FT.)	%
UPPER TOTAL AREA:	28674 SQ. FT.	100
WALL AREA:	19719 SQ. FT.	69
GLASS AREA:	8955 SQ. FT.	31



LOWER (STREETFRONT)	AREA (SQ.FT.)	%
LOWER TOTAL AREA:	3035 SQ. FT.	100
WALL AREA:	1914 SQ. FT.	63
GLASS AREA:	1121 SQ. FT.	37

FENESTRATION CALCULATIONS (WATERFRONT PLACE)
SCALE: 1" = 20'-0"

1

FENESTRATION / TRANSPARENCY CALCULATIONS



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name:		Phone Number: ()	
Address:	City:	State:	Zip Code:
2. Applicant/Company Name: <i>Oxford Dev. Company</i>		Phone Number: <i>(412) 261-1500</i>	
Address: <i>301 Grant St</i>	City: <i>Pittsburgh</i>	State: <i>PA</i>	Zip Code: <i>15219</i>
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: <i>Emerald on Centre</i>			
4. Development Location: <i>Corner of Centre Ave + Commercial St</i>			
5. Development Address: <i>5739 Centre Ave.</i>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)		<i>106</i>	
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction:	Start Date: <i>9/7/15</i>	Occupancy Date: <i>12/5/16</i>	Project Cost: \$ <i>20,000,000</i>
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list):			
10. Select the Type of Work:			
<input checked="" type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development:			
<i>Construction of 167,070 SF multi-unit building w/ garage parking</i>			
<i>148 units 113 integral parking spaces</i>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 1 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	_____	sq ft
Existing to be Retained:	<u>0</u>	sq ft
Retained Area to be Renovated:	<u>0</u>	sq ft
To be Constructed:	_____	sq ft
Building Footprint:	<u>32,640</u>	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	<u>2</u>		<u>6</u>	<u>75'-85'</u>
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				

16. Number of Dwelling Units:
 Existing to Remain: NA Proposed: 148

17. Lot Area: 33,615 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: 1
 Required: _____
113 total Sizes to be determined

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> 1 </u> New Water Service Connection(s)	<u> </u> Termination of Existing Water Service Tap(s)
<u> 1 </u> New Sewer Service Connection(s)	<u> </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: 



**CITY OF PITTSBURGH
PLANNING COMMISSION PRESENTATION 2015-07-14**

The Emerald on Centre
OXFORD DEVELOPMENT COMPANY | WTW ARCHITECTS

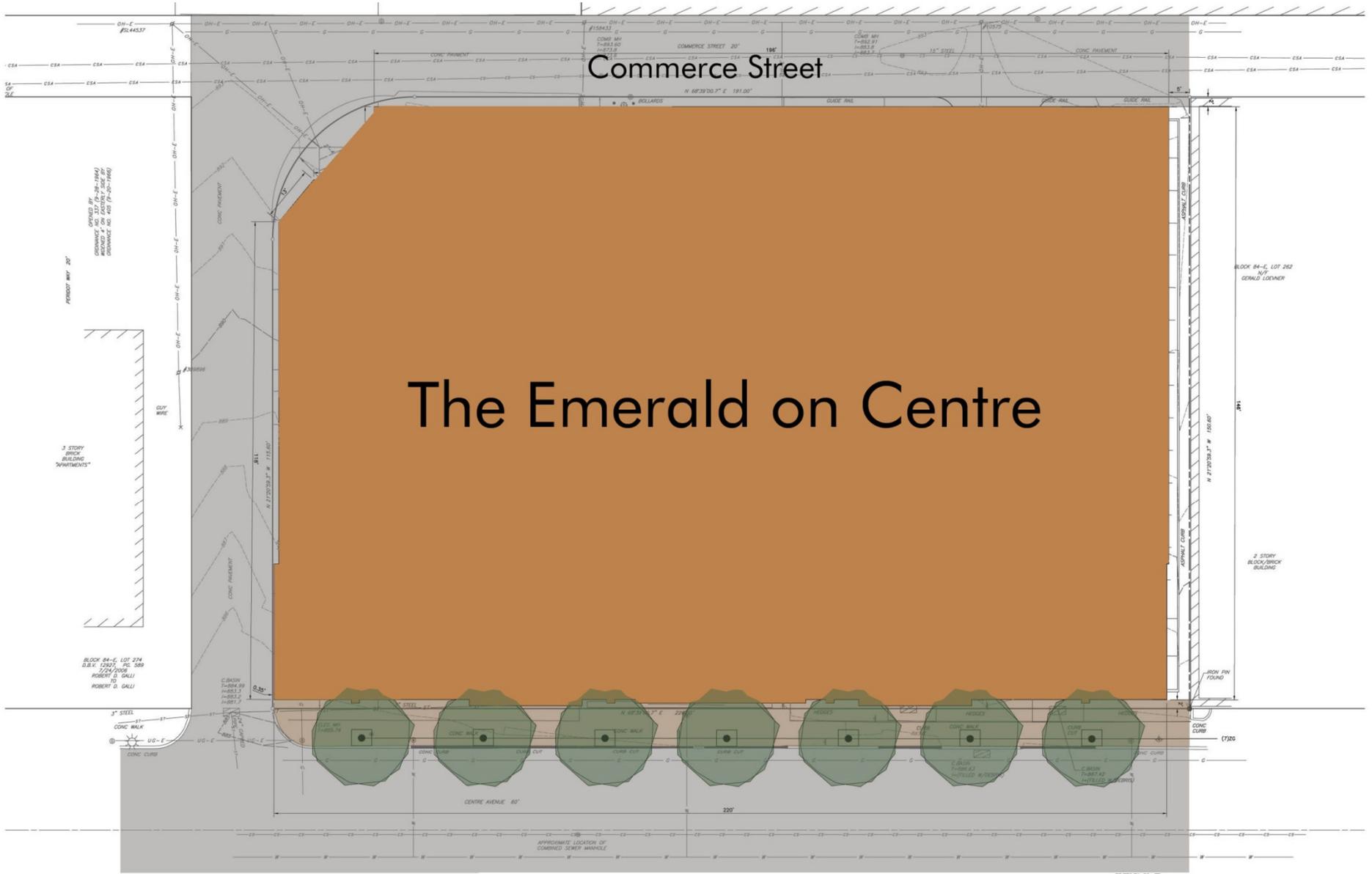


PROJECT LOCATION – 5739 CENTRE AVENUE



Introduction

- 172-unit, multi-family housing at 5739 Centre Avenue
- Approximately 190,000 square feet
- Below-building parking of 150 spaces
- Height approximately 75' above Centre Avenue
- Ground floor amenity spaces with auxiliary rental space
- Exterior of brick veneer, cast stone, and metal siding



The Emerald on Centre

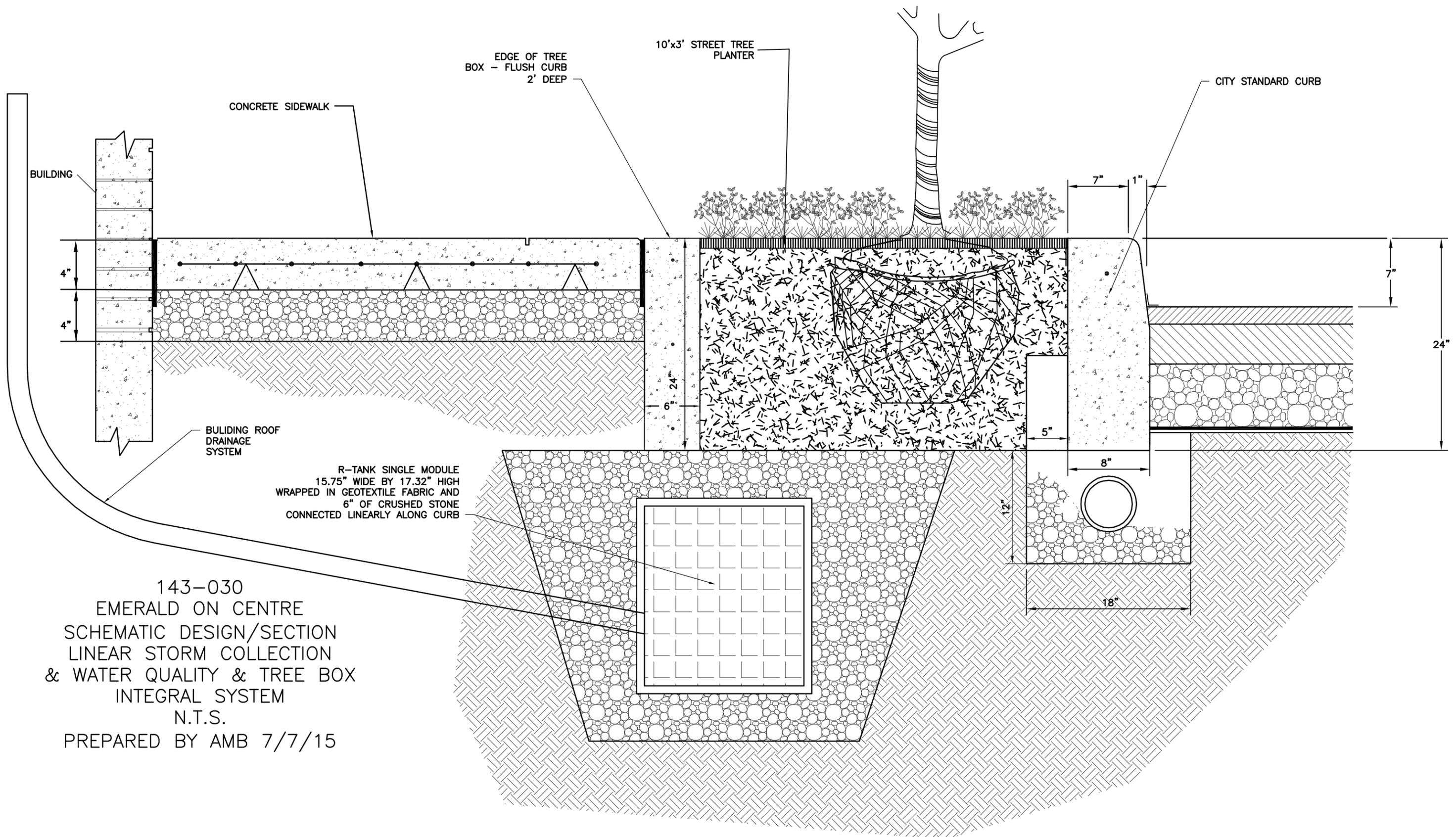
SCALE IN FEET
0 10 20

Centre Avenue SITE PLAN

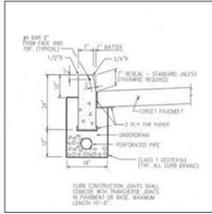
PLANT SCHEDULE

TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE
	ZS	7	ZELKOVA SERRATA 'GREEN VASE' / 'SAMPLER' ZELKOVA	B & B	2.5' CAL.

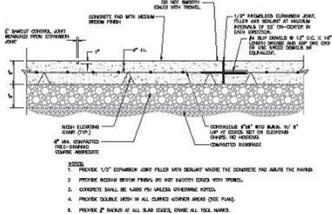
31,772.71 SQ. FT.
0.729 ACRES



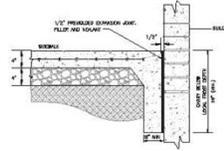
143-030
 EMERALD ON CENTRE
 SCHEMATIC DESIGN/SECTION
 LINEAR STORM COLLECTION
 & WATER QUALITY & TREE BOX
 INTEGRAL SYSTEM
 N.T.S.
 PREPARED BY AMB 7/7/15



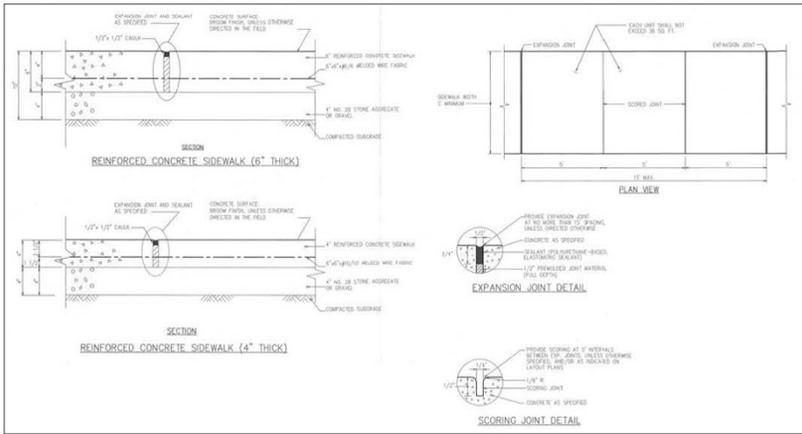
DETAIL 201
CITY OF PITTSBURGH CONCRETE DEEP CURB (7\"/>



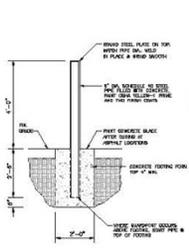
DETAIL 202
CONCRETE PAD
S.S.E.



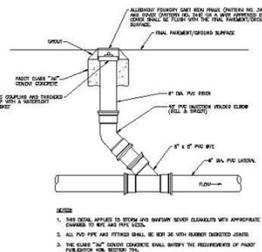
DETAIL 203
TYPICAL SIDEWALK ADJUSTING BUILDING
S.S.E.



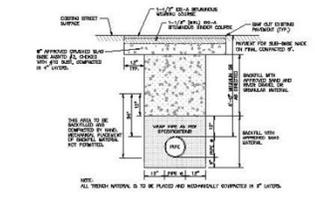
DETAIL 204
CITY OF PITTSBURGH REINFORCED CONCRETE SIDEWALK
S.S.E.



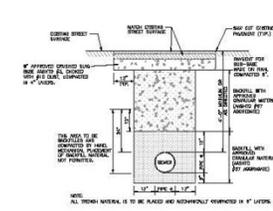
DETAIL 500
12\"/>



DETAIL 501
STORM AND SANITARY SEWER CLEANOUT
S.S.E.



DETAIL 502
12\"/>



DETAIL 503
12\"/>



1000 WEST STREET
PITTSBURGH, PA 15203
TEL: 724.782.8000



1000 WEST STREET
PITTSBURGH, PA 15203
TEL: 724.782.8000

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THE EMERALD

Oxford Development
3700 North Ave.
Pgh., Pa. 15206

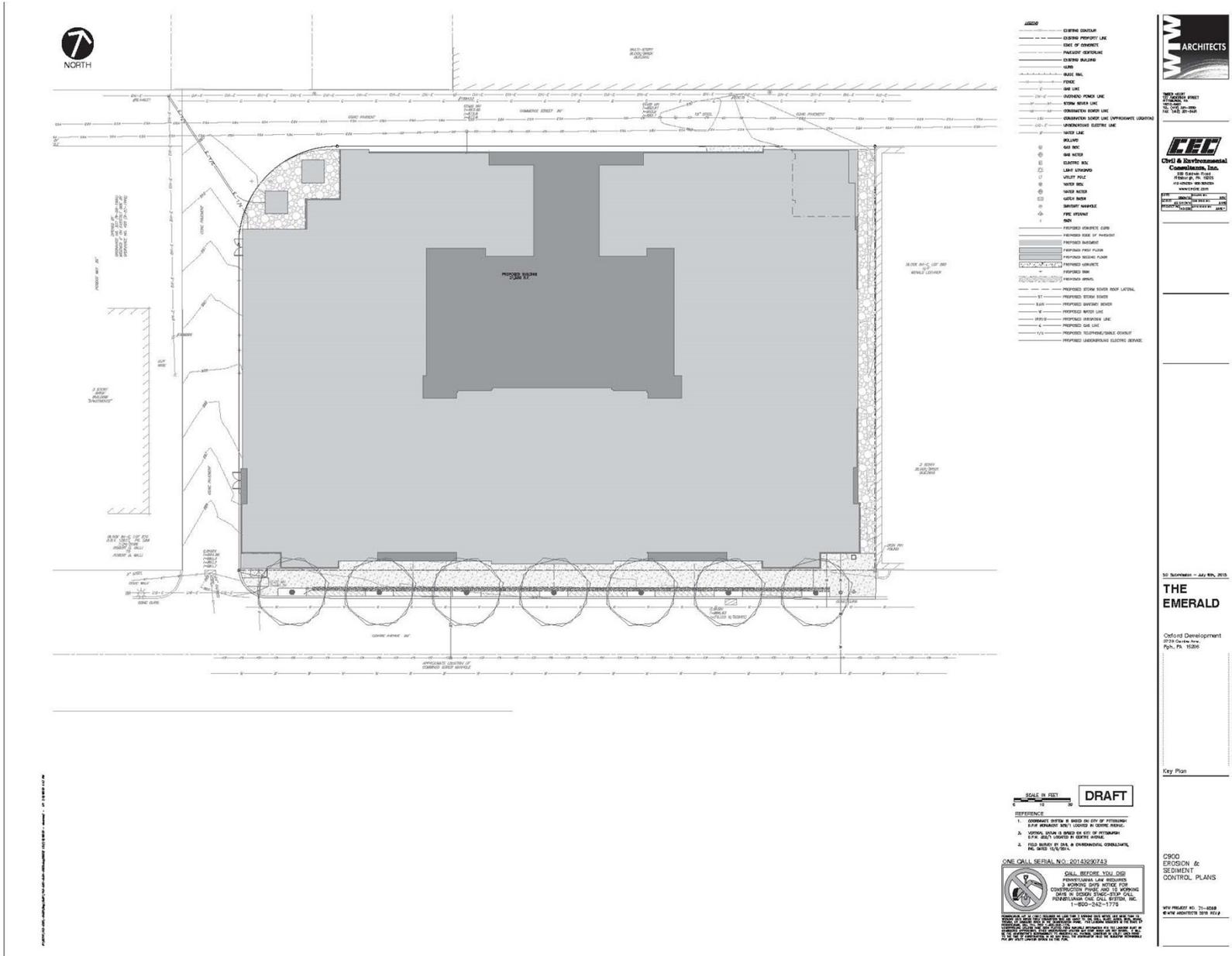
Key Plan

DRAFT

C800 DETAILS

WV PROJECT NO. 15-003
© WV ARCHITECTS 2015 S.S.E.

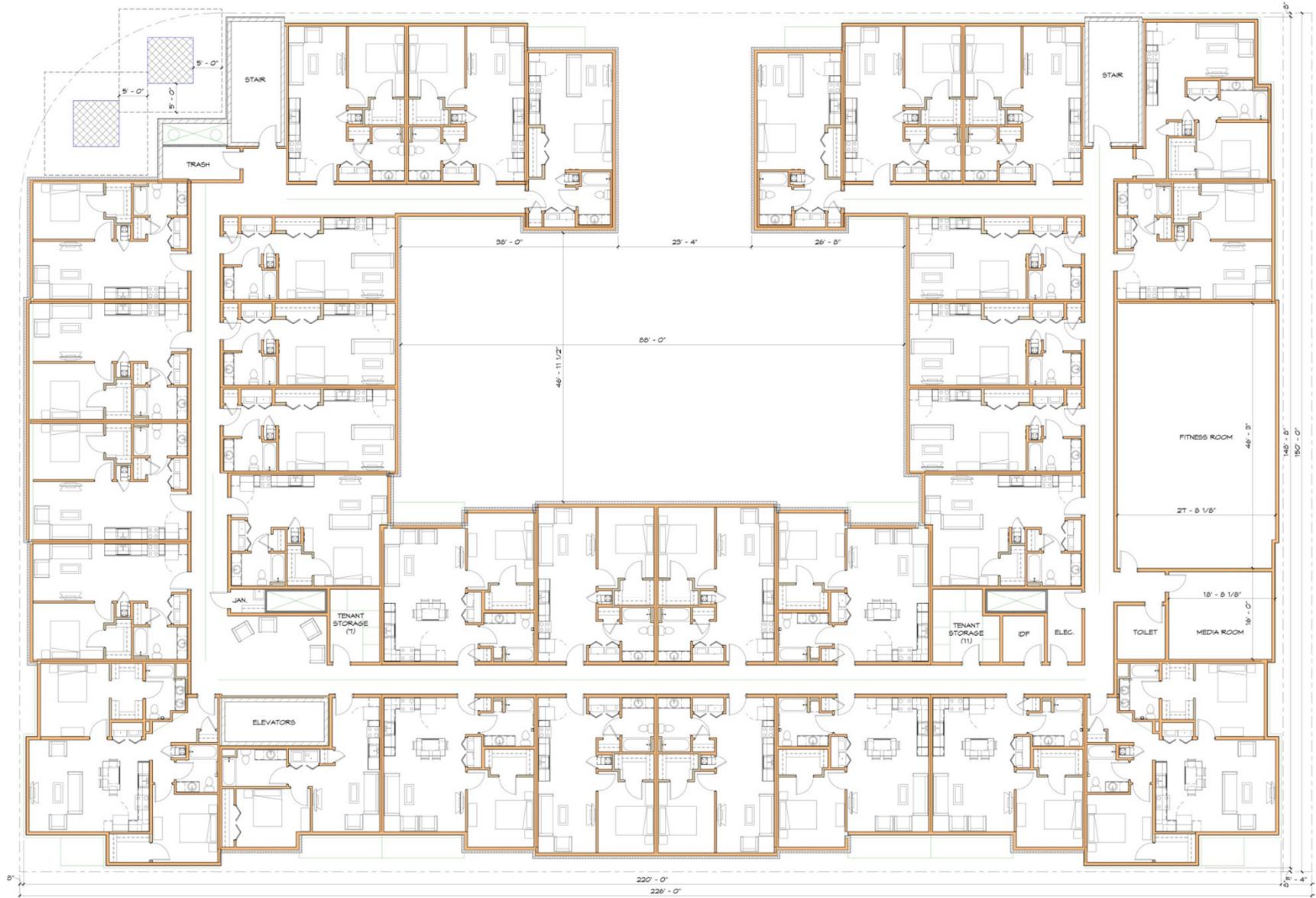
SITE DETAILS



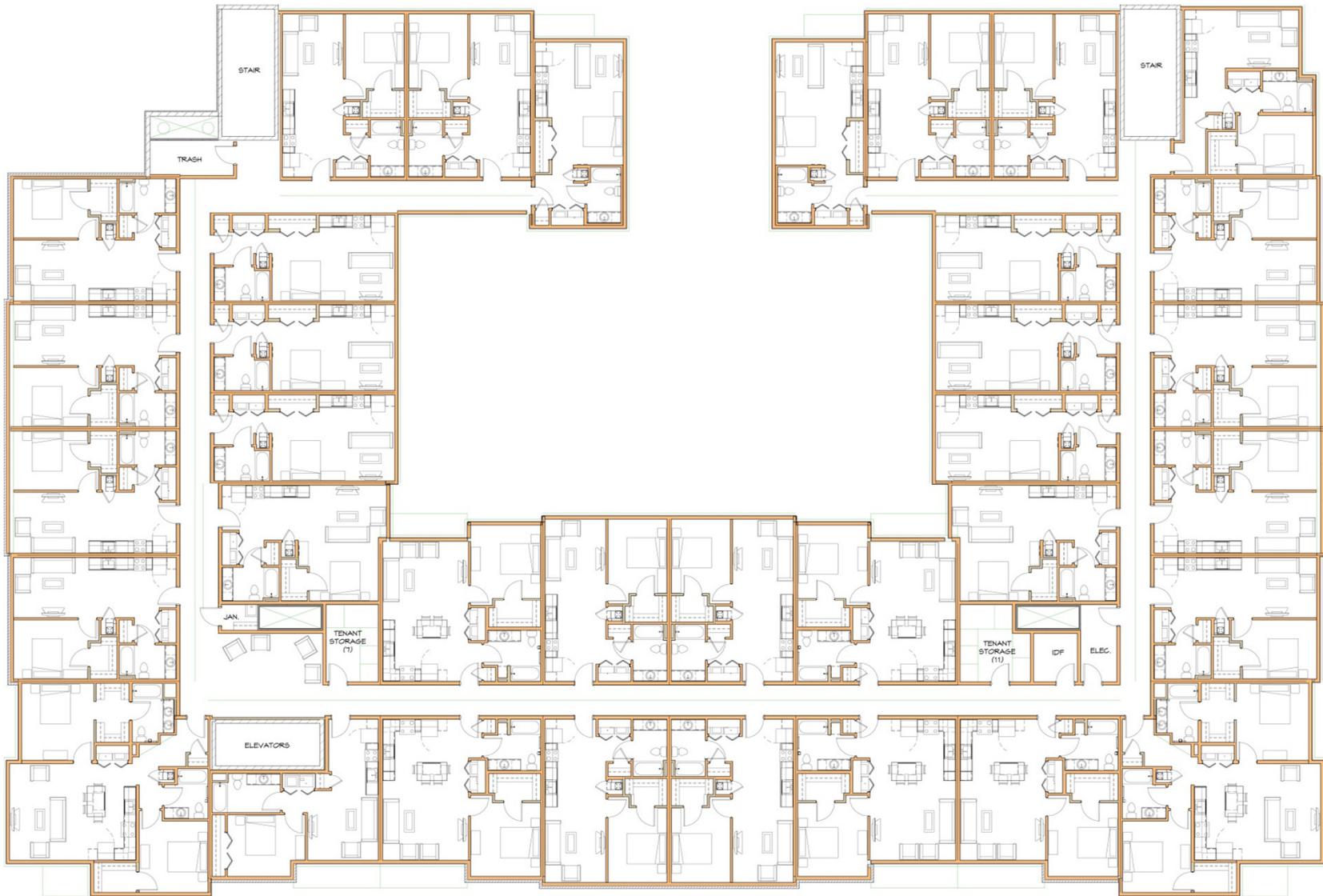
EROSION AND SEDIMENTATION CONTROL PLAN



GROUND LEVEL FLOOR PLAN (Centre Avenue)



SECOND LEVEL FLOOR PLAN (Courtyard)



TYPICAL LEVEL FLOOR PLAN



SOUTH ELEVATION (Centre Avenue)



BUILDING AMENITIES

RENTAL SPACE

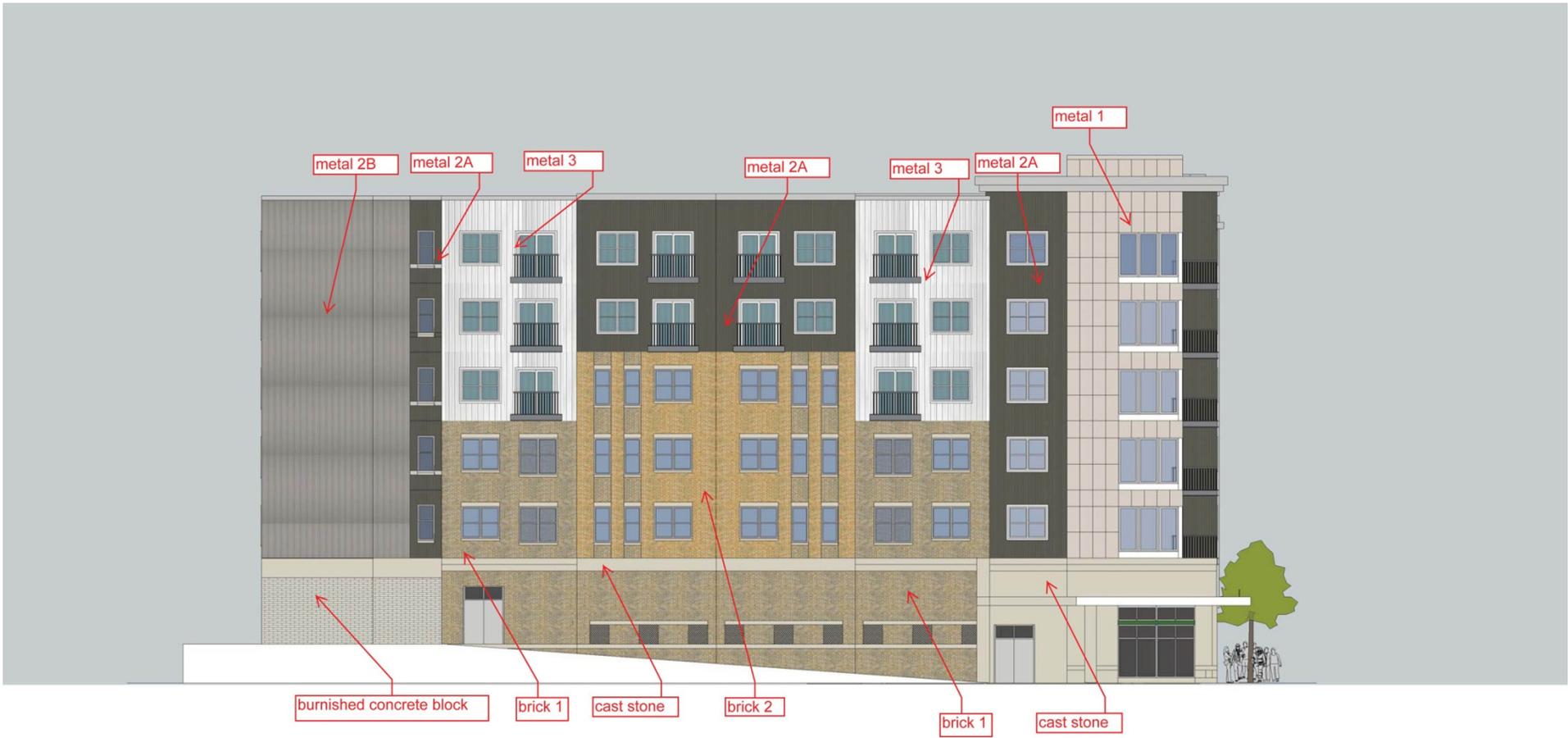
SOUTH ELEVATION (Centre Avenue)



PEDESTRIAN ENHANCEMENT (Centre Avenue)



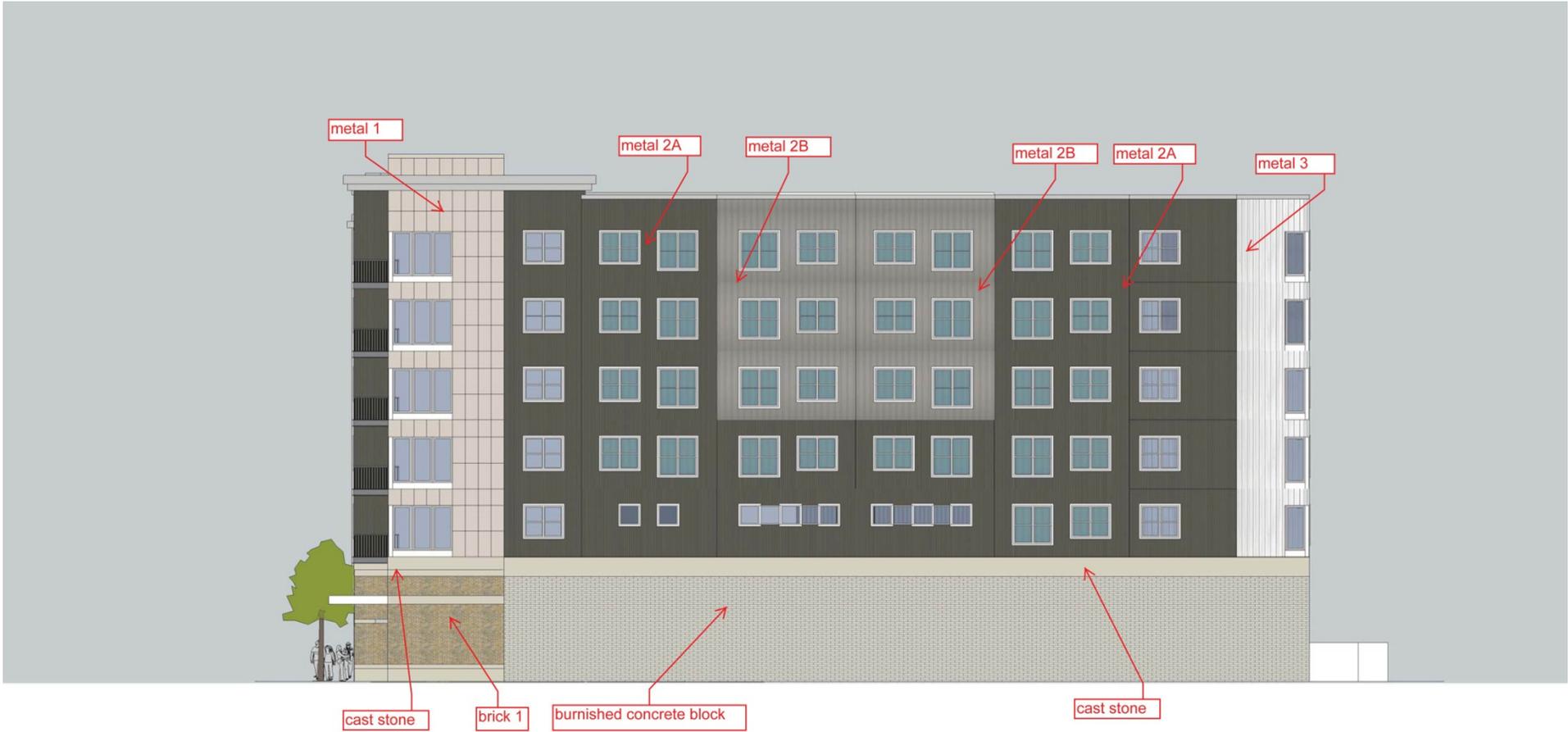
SOUTH ELEVATION (Centre Avenue)



WEST ELEVATION



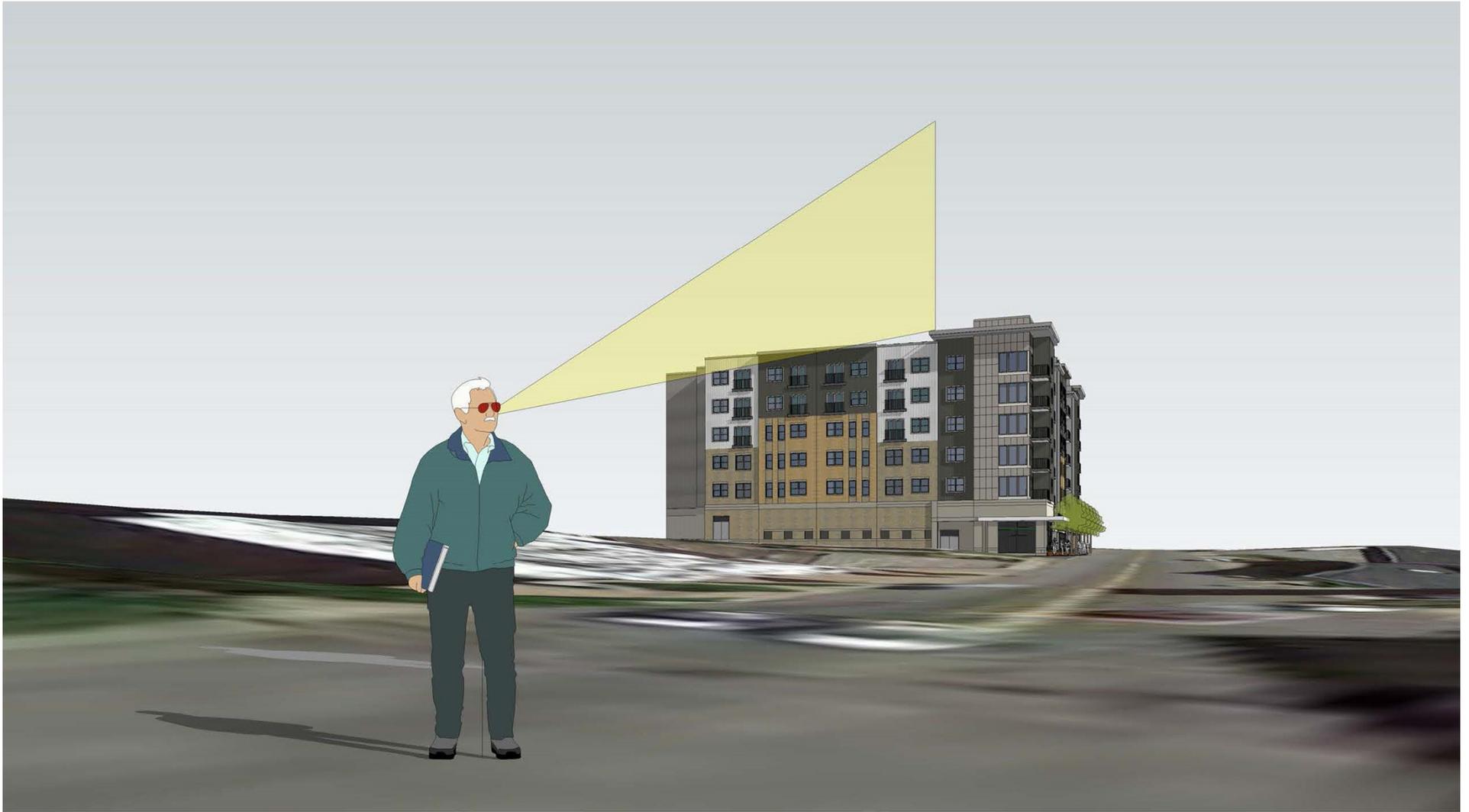
NORTH ELEVATION



EAST ELEVATION



ROOFTOP EQUIPMENT STUDY



VIEW LOOKING EAST FROM CENTRE AND NEGLEY AVENUES



VIEW LOOKING WEST ON CENTRE AVENUE



VIEW FROM BAUM AND NEGLEY AVENUES



VIEW LOOKING EAST ALONG CENTRE AVENUE



VIEW LOOKING WEST ALONG CENTRE AVENUE

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: MUNHALL VENTURES II		Phone Number: (412) 731-0891	
Address: PO BOX 111325 City: PITTSBURGH		State: PA	Zip Code: 15238
2. Applicant/Company Name: ARBYS RESTAURANT GRP.		Phone Number: (440) 552-2856	
Address: 22140 COUNTRY WAY City: STRONGVILLE		State: OH.	Zip Code: 44149
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: ARBY'S RESTAURANT			
4. Development Location: CORNER - BAUM BOULEVARD AND CYPRESS ST			
5. Development Address: 5151 BAUM BOULEVARD			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) N/A			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required: N/A			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction:		Start Date: 8/15/2015	Occupancy Date: 11/15/2015
		Project Cost: \$500,000	
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): RESTAURANT, FAST FOOD (GENERAL)			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input checked="" type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development: CONSTRUCTION OF A 65 SEAT, 2697 SF ARBY'S RESTAURANT WITH 14 ON-SITE PARKING SPACES, DRIVE THRU WINDOW, 3 ONE WAY CURB CUTS, LANDSCAPING, EXTERIOR PATIO			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: 0 sq ft
 Existing to be Retained: 0 sq ft
 Retained Area to be Renovated: 0 sq ft
 To be Constructed: 2697 sq ft
 Building Footprint: 2697 sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	0	0	1	18'-6"
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units: N/A
 Existing to Remain: _____ Proposed: _____

17. Lot Area: 0.4884 AC sq-ft
21,276 SQFT

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	0	1
Compact (7 1/4' x 16')	0	4
Handicap (13 1/2' x 19')	0	9

Off-Street Loading Spaces: N/A
 Actual: 1
 Required: 1

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- | | | | |
|--------------|---------------------------------|--------------|--|
| <u> 1 </u> | New Water Service Connection(s) | <u> 1 </u> | Termination of Existing Water Service Tap(s) |
| <u> 1 </u> | New Sewer Service Connection(s) | <u> 1 </u> | Termination of Existing Sewer Service Tap(s) |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: *C. Boyd Emmer, agent*

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com

Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

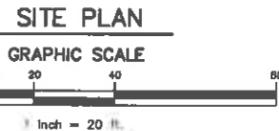
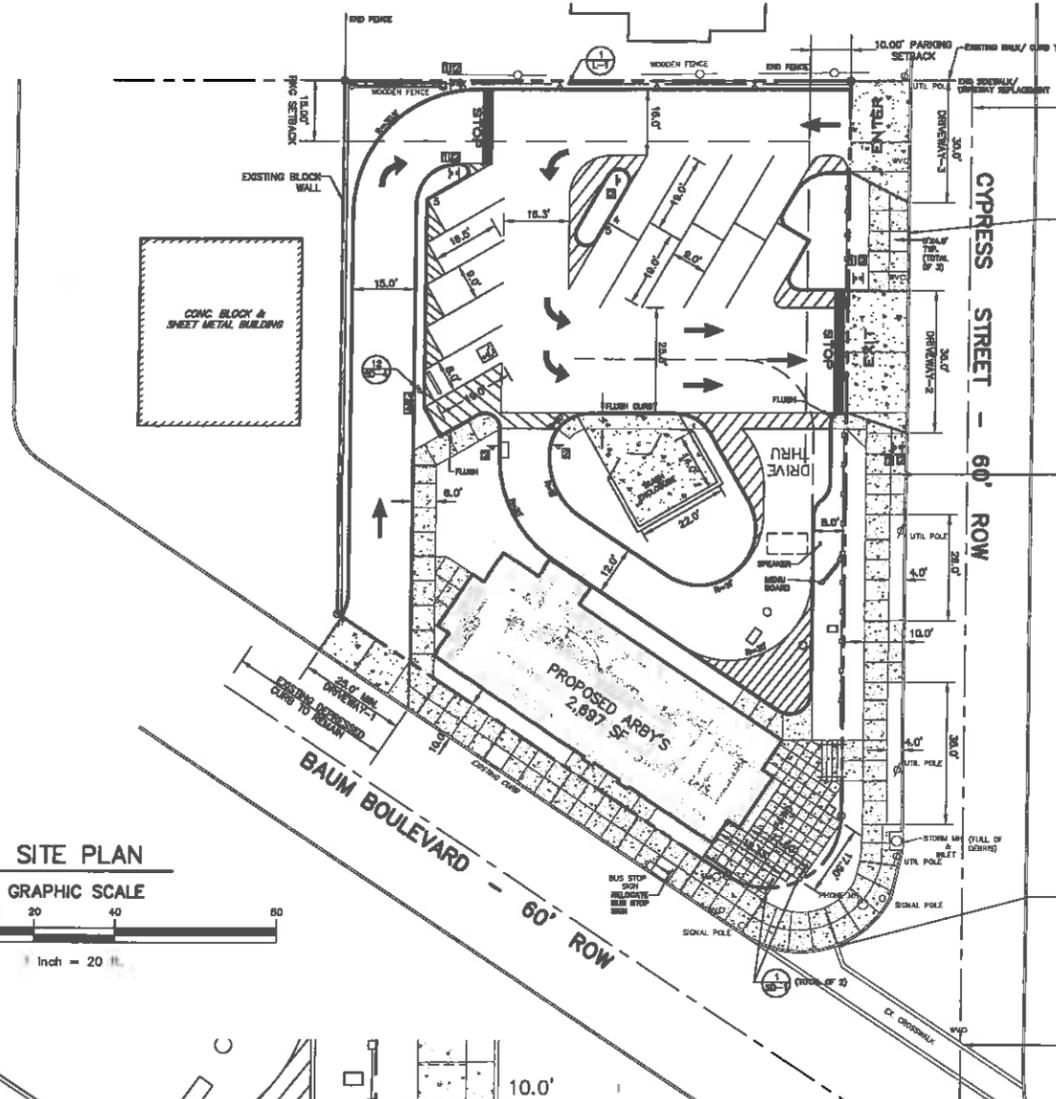
Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html

WOODWORTH STREET 30' ROW



SITE PLAN
GRAPHIC SCALE
1 Inch = 20 Ft.

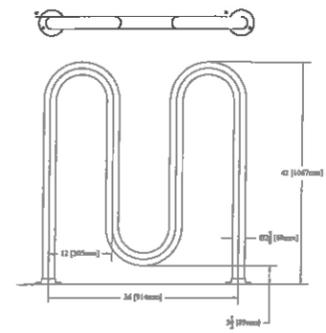
- DRIVEWAY CUT WORK:**
1. SAW CUT (HEAT) ALONG EXISTING CURB LINE, REMOVE EXISTING PAVEMENT, SIDEWALK AND CURBS.
 2. THE EXISTING CONCRETE CURB SHALL REMAIN EXCEPT WHERE DAMAGED OR LESS THAN FULL REVEAL.
 3. SEE SITE DETAIL SHEET (SHEET SD-5) FOR DRIVEWAY DETAIL AND FINISH GUIDES.
- PROPOSED STREET TREE PLANTING "T1":**
1. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. TREE PLANTING PITY SHALL BE INSTALLED PER CITY OF PITTSBURGH STANDARDS AND SPECIFICATIONS.
 2. SEE LANDSCAPE PLAN FOR SPECIES OF TREE TO BE INSTALLED.
 3. TYPICAL FOR ALL TREE PITYS PROPOSED/SHOWN ON THIS PLAN.

- PROPOSED CONCRETE SIDEWALK:**
1. INSTALL 8.5" WIDE CONCRETE SIDEWALK, EXISTING FULL REVEAL CURB TO REMAIN. REPLACE ALL DAMAGED CURB AND PREVIOUS DRIVEWAY CUTS.
 2. SLOPE NEW SIDEWALK SEE TOWARD CYPRESS STREET AND BAUM BOULEVARD. INFORMATION.
 3. SEE SHEET SD-4 FOR ADDITIONAL INFORMATION.
 4. SIDEWALK SHALL MEET CURRENT CITY STANDARDS AND SPECIFICATIONS.

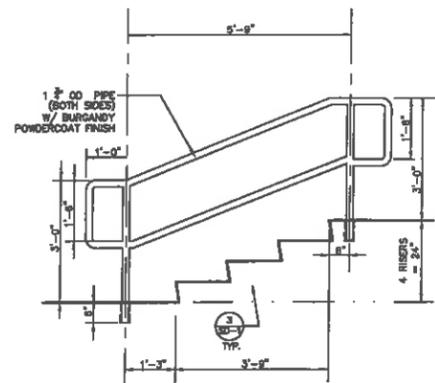
- CURB CUT WORK:**
1. SAW CUT (HEAT) ALONG EXISTING CURB LINE, REMOVE EXISTING CURB CUT, PROTECT EXISTING POLE.
 2. MAXIMUM SLOPE OF CURB CUT 1:12 (4" RISE MAX) MAINTAIN 4FT WIDE RAMP CENTERED ON A LINE RADIAL TO CENTER OF CURB RADIUS. LENGTH 45'-2" FEET.
 3. SEE SITE DETAIL SHEET (SHEET SD-6) FOR CURB CUT DETAIL, PROPOSED CUT TO MEET CURRENT CITY AND ADA STANDARDS AND SPECIFICATIONS.

CROSSWALK- REPAINT EXISTING CROSSWALK AS PER CURRENT CITY STANDARDS

BIKE RACK
BY KEYSTONE RIDGE DESIGNS
CONTACT: ADAM BENJAMIN
KEYSTONE RIDGE DESIGN, INC.
(724) 284-1213 EXT. 240
MODEL: SONANCE BIKE RACK
POWDERCOAT FINISH
COLOR "BURGUNDY"
QUANTITY: (2) 3 LOOP RACK



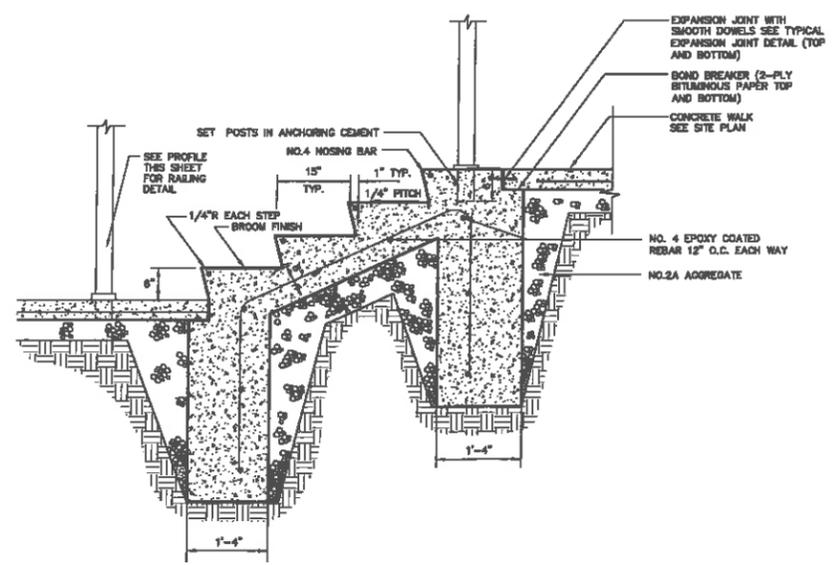
1 BICYCLE RACK "SONANCE"
SD-1 NO SCALE (TOTAL OF 2) KEYSTONE RIDGE DESIGNS, INC.



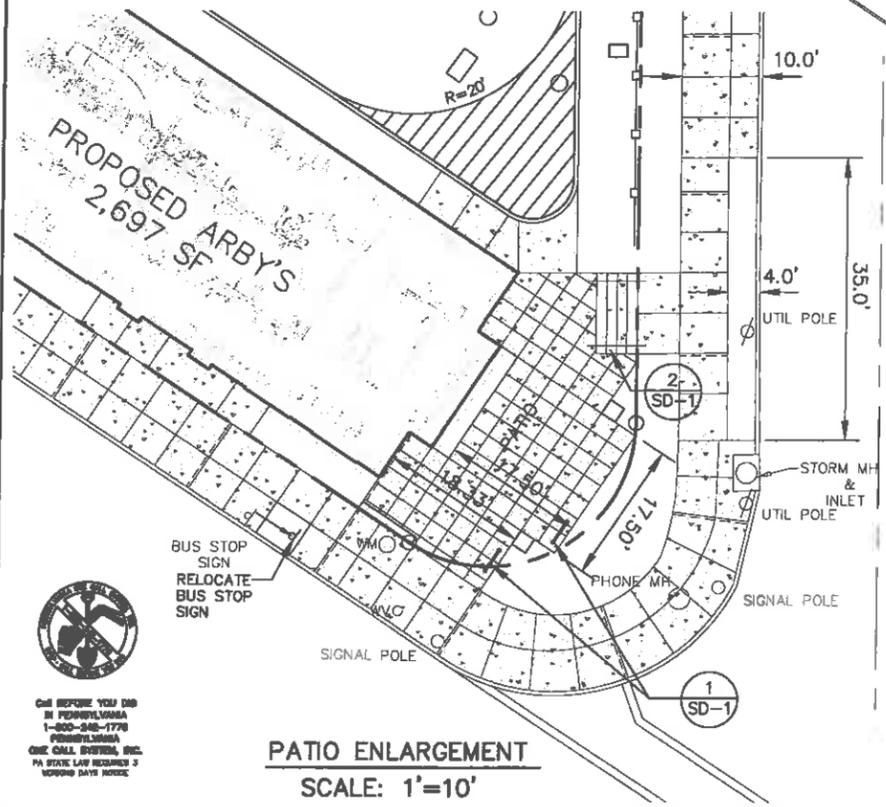
2 STEP PROFILE
SD-1 NO SCALE

LEGEND

- PROPOSED CURB (6)
- PROPOSED CONCRETE WALK (4, 5)
- SCORE LINE EXPANSION JOINT
- PRIVACY FENCE (1)
- ORNAMENTAL FENCE (2)
- PROPOSED TRAFFIC SIGN (SEE SCHEDULE SD-1)
- HEAVY DUTY CONCRETE (3)
- PROPOSED BITUMINOUS PAVING (1)
- TRASH ENCLOSURE ARBY'S STANDARD (SEE ARCHITECTURAL)
- HANDICAP PARKING (8)
- PROPOSED CONCRETE PATIO (WITH 30°/30° SCORING PATTERN) (4)
- SIDEWALK PLANTING AREAS



3 CONCRETE STEP DETAIL
SD-1 SCALE: 3/4" = 1'-0"



PATIO ENLARGEMENT
SCALE: 1"=10'

- SITE NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF PITTSBURGH AND ALLEGHENY COUNTY CODES AND STANDARDS. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
 3. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BEGINS.
 4. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DESTRUCTION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTORY OF THE OWNER AND THE CITY OF PITTSBURGH.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARBERS, SIGNS, LIGHTS, FENCES AND UNIFORMS TO BE CONTROLLED BY ACCORDANCE WITH PA DOT PUBLICATION 203-"WORK ZONE TRAFFIC CONTROL" AND FOR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS NOTED APPROVAL FROM PA DOT, THE CITY OF PITTSBURGH, ALLEGHENY COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
 6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
 7. REFER TO DETAIL SHEETS FOR EROSION AND SEDIMENT CONTROL, STORM DRAINAGE, UTILITY, PAVING, CURBS, SIGNAGE, AND OTHER SITE IMPROVEMENTS AS APPLICABLE.
 8. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH PA DOT PUBLICATION 408 SECTION 091 AND SECTION 092 AND SHALL BE EITHER COLD LAD THERMOPLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
 9. DIRECTIONAL TRAFFIC ARROWS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
 10. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
 11. ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH PENN DOT PUBLICATION 408 AND FEDERAL STANDARD DETAILS (PLN 72) AS AMENDED UNLESS OTHERWISE SPECIFIED.
 12. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR BUILDING WALLS, CONCRETE SLABS, AND UTILITY SERVICE POINT CONNECTIONS AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REFERENCE BUILDING CONSTRUCTION PLANS FOR EXACT LOCATIONS OF ALL UTILITY CONNECTIONS TO BUILDINGS, DOOR STEP LOCATIONS, AND RETAINING WALLS.
 14. THE OWNER AT HIS DISCRETION, RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
 15. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
 16. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
 17. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB.
 18. NO PART OF THE LOT IS LOCATED WITHIN ANY FLOOD PLAIN AREAS.
 19. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY CITY OF PITTSBURGH.
 20. BITUMINOUS PAVEMENT MATERIAL AND INSTALLATION SPECIFICATIONS SHALL BE IN ACCORDANCE WITH PENN DOT PUBLICATION 408. THE CONTRACTOR SHALL SUBMIT A JOB-MIX FORMULA FOR THE BITUMINOUS PAVEMENT TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO THE PLACEMENT OF BITUMINOUS PAVEMENTS.
 21. FINAL MENU BOARD LOCATION TO BE APPROVED BY ARBY'S CONSTRUCTION MANAGER PRIOR TO INSTALLATION.

SITE DATA

TOTAL SITE AREA	21,297.57 SF=0.489 ACRES
PROPOSED SITE CONSISTS OF PARCEL 1 (51-K-142) AND PARCEL 2 (51-K-148) IN THE WM. MOONY'S SONS PLAN OF LOTS (P.B.V. 5, PAGE 198). (SEE CONSOLIDATION PLAN)	
CURRENT ZONING IS LCN - LOCAL NEIGHBORHOOD COMMERCIAL	
MAX. FLOOR AREA RATIO	2:1
MAX. LOT COVERAGE	90%
MIN. FRONT SETBACK	0'
MIN. REAR SETBACK	30'
MIN. SIDEYARD SETBACK	0'
MAX. HEIGHT	45' (3 STORIES)
PARKING:	
PROPOSED PARKING	14 SPACES
REQUIRED PARKING	14 SPACES (MIN.)
1. (FAST FOOD) REQUIRES 1 SPACE PER 200 SF PLUS 6 QUEUING SPACES MEASURED FROM THE ORDER BOX: 2697 SF/200 SF = 14 SPACES.	
2. TOTAL GREEN SPACE = 0.084 AC = 17.2%	
3. PROPOSED LOT COVERAGE = 12.7%	
4. PROPOSED BUILDING HEIGHT = 18'-6"	

TRAFFIC SIGN SCHEDULE

STOP SIGN-TOTAL OF 4	1
DO NOT ENTER SIGN-TOTAL OF 6	1
HANDICAP PARKING TOTAL OF 1	1
VAN ACCESSIBLE - TOTAL OF 1	1

STORE ADDRESS
ARBY'S
5189 BAUM BOULEVARD
PITTSBURGH, PA 15224

Call BEFORE YOU DIG
IN PENNSYLVANIA
1-800-348-1779
PENNSYLVANIA
ONE CALL SYSTEM, INC.
PA STATE LAW REQUIRES 3
WORKING DAYS NOTICE

	ARBY'S RESTAURANT GROUP INC. 2810 COUNTRY WAY STRONGSBURG, OH 44136		SCALE AS NOTED
	SITE PLAN ARBY'S RESTAURANT 5189 BAUM BOULEVARD		DATE APR. 20, 2018
	CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.		DRAWN BY R.J.H. / K.M.Z.
	FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.		SHEET NUMBER SD-1

The Munhall Ventures I, L.P., owner of the land shown on the Arby's Restaurant Plan hereby adopts this plan as its plan of lots and irrevocably dedicates all streets and other property identified for dedication on this plan to the City of Pittsburgh. This adoption and dedication shall be binding upon the partnership and upon its heirs, executors, and assigns.

IN WITNESS OF WHICH, to this we set our hand and seal this _____ day of _____, 20____.

ATTEST: _____
 Munhall Ventures I, L.P.
 By: David E. Brody, Vice President
 Munhall Ventures Corporation, General Partner

Notary Public _____
 Munhall Ventures Corporation
 General Partner

Before me, the undersigned Notary Public in and for said Commonwealth of Pennsylvania and County of Allegheny, personally appeared the above named David E. Brody, Vice-President of Munhall Ventures I, L.P., General Partner of Munhall Ventures Corporation and acknowledged the foregoing adoption and dedication to be the act of the partnership.

WITNESS MY HAND AND NOTARIAL SEAL this _____ day of _____, 20____.

My Commission Expires the _____ day of _____, 20____.

 Notary Public

We, Munhall Ventures I, L.P., hereby certify that the title to the property contained in the Arby's Restaurant Plan is in the name of Munhall Ventures I, L.P., and is recorded in Deed Book Volume _____ Page _____ I further certify that there is no mortgage, lien, or other encumbrances against this property.

 Witness
 Munhall Ventures I, L.P.
 By: David E. Brody, Vice President
 Munhall Ventures Corporation, General Partner

 Witness
 Munhall Ventures Corporation
 General Partner

We, Munhall Ventures Corporation, General Partner, David E. Brody, Vice-President, hereby agree to indemnify and save harmless the 8th Ward - City of Pittsburgh, its agents, servants, and/or employees, from any and all liability by reason of the City's reliance upon plans, drawings, specifications, and/or other statements submitted by or through the subdivider arising out of or by reason of damage which may be found to exist to the property or property owners or occupants other than the subdivider, as a result of the implementation of the proposed subdivision.

 Witness
 Munhall Ventures I, L.P.
 By: David E. Brody, Vice President
 Munhall Ventures Corporation, General Partner

 Witness
 Munhall Ventures Corporation
 General Partner

I, certify that, to the best of my information, knowledge and belief the survey and plan shown hereon are correct and accurate to the standards required.

Date _____
 John S. Bitting - AGENT
 Registration No. SU-034831-E
 Fahringer, McCarty, Grey, Inc.

I, certify that this plan meets all engineering and design requirements of the applicable ordinances of the 2nd Ward - City of Pittsburgh, except as departures have been authorized by the appropriate officials of the City.

Date _____
 City Engineer
 Registration No. _____

Notice to purchasers and present owners:
 The Planning Commission of the City of Pittsburgh hereby gives public notice that in approving this plan for recording, the City of Pittsburgh assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Reviewed by the Planning Commission of the City of Pittsburgh this _____ day of _____, 20____.

Secretary _____
 Chairperson

Approved by the Council of the City of Pittsburgh by resolution this _____ day of _____, 20____.

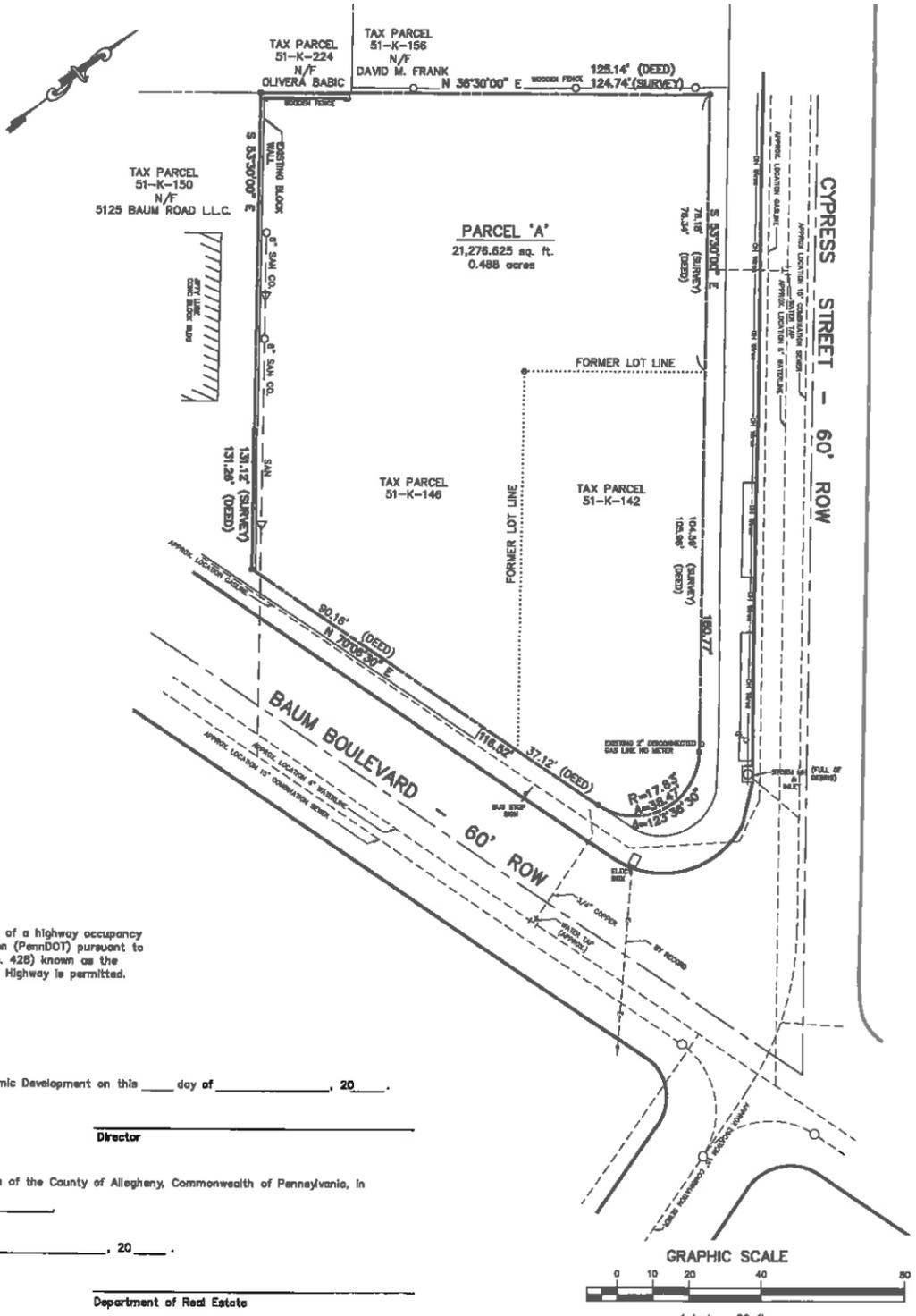
Signed and noted as approved this _____ day of _____, 20____.

Secretary _____
 President

The City of Pittsburgh agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

Date _____
 Authorized City Official

NOTARY
 MUNHALL VENTURES I, L.P.
 SURVEYOR
 SURVEYOR
 CITY OF PITTSBURGH ENGINEER
 CITY OF PITTSBURGH COUNCIL
 CITY OF PITTSBURGH PLANNING COMMISSION
 ALLEGHENY COUNTY DEPARTMENT OF ECONOMIC DEVELOPMENT
 ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE



HIGHWAY OCCUPANCY PERMIT
 NOTICE: This Land Development Plan requires issuance of a highway occupancy permit by the Pennsylvania Department of Transportation (PennDOT) pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428) known as the "State Highway Law" before driveway access to a State Highway is permitted.

Reviewed by the Allegheny County Department of Economic Development on this _____ day of _____, 20____.

 Director

Recorded in the office of the Department of Real Estate of the County of Allegheny, Commonwealth of Pennsylvania, in Plan Book Volume _____ Page(s) _____.

Given under my hand and seal this _____ day of _____, 20____.

 Department of Real Estate

TOTAL AREA IN THIS PLAN FOR RECORDING = 0.488 ACRES

ARBY'S RESTAURANT GROUP, INC.	
22140 COUNTRY WAY	STRONGSVILLE, OH 44149
CONSOLIDATION PLAN	
BEING A CONSOLIDATION OF TAX PARCEL 51-K-146 AND TAX PARCEL 51-K-142	
SITUATE 8TH WARD - CITY OF PITTSBURGH - ALLEGHENY COUNTY, PA.	
FAHRINGER, McCARTY, GREY, INC. 1610 GOLDEN MILE HIGHWAY MONROEVILLE, PENNSYLVANIA 15146 (724) 327-0599 JOHN S. BITTING-AGENT-PROFESSIONAL LAND SURVEYOR	
SCALE: 1" = 40'	DATE: JUNE 2015
DRAWN BY: JB-SW-RAM	REVISIONS
CALC. BY: JB	
CHK'D. BY: JSB	

CITY OF PITTSBURGH
 DEPARTMENT OF CITY PLANNING

APPROVED _____, 20____.

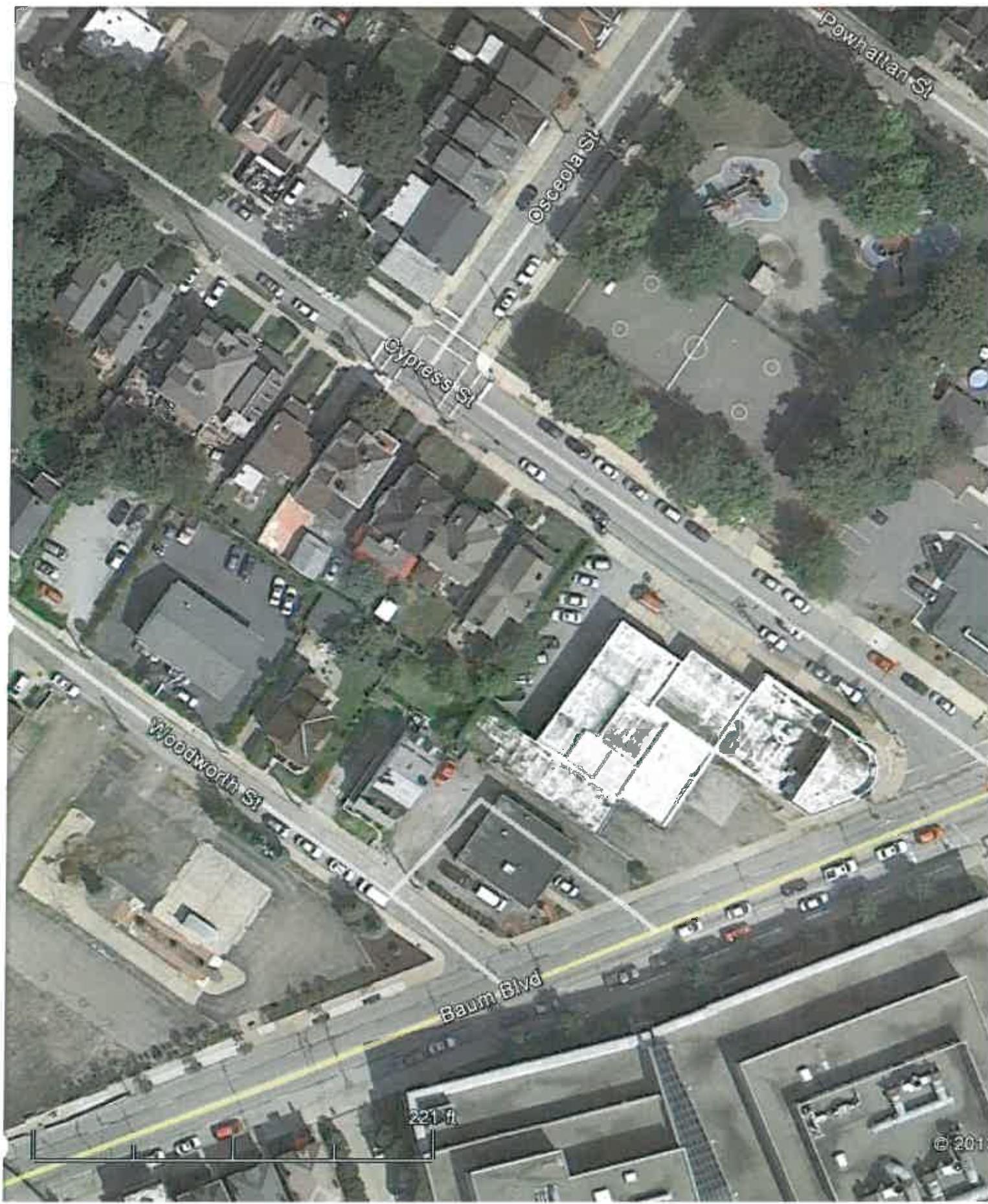
CITY PLANNING COMMISSION

CHAIRMAN _____

ATTEST: _____

SECRETARY _____

Photographs – 2013
(showing previous structures)



Powhattan St

Osceola St

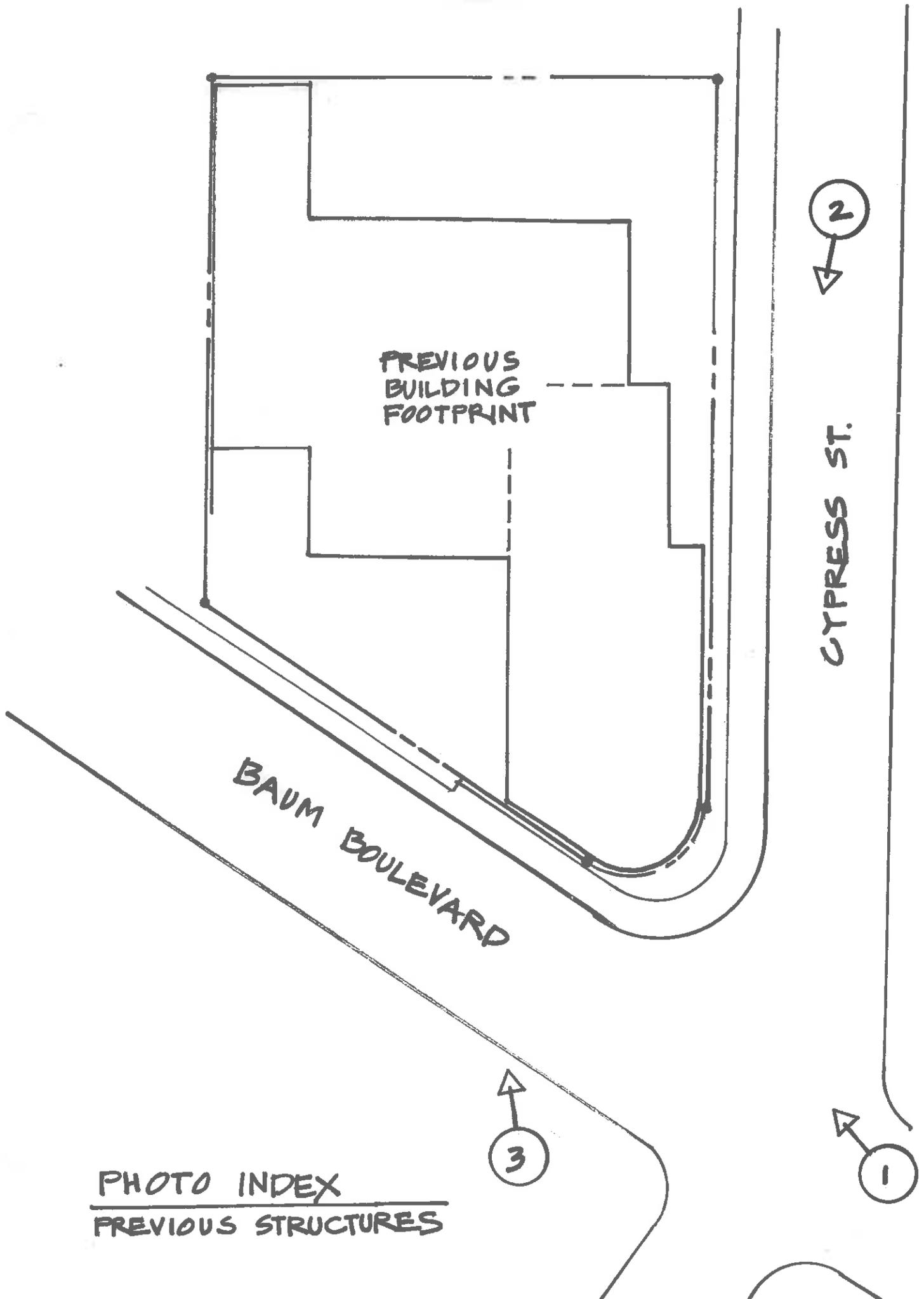
Cypress St

Woodward St

Baum Blvd

221 ft

© 201



PREVIOUS
BUILDING
FOOTPRINT

BAUM BOULEVARD



CYPRESS ST.



PHOTO INDEX
PREVIOUS STRUCTURES



Google earth

feet
meters





Google earth



2



Google earth



3

Photographs – Current
(showing subject property and neighborhood)



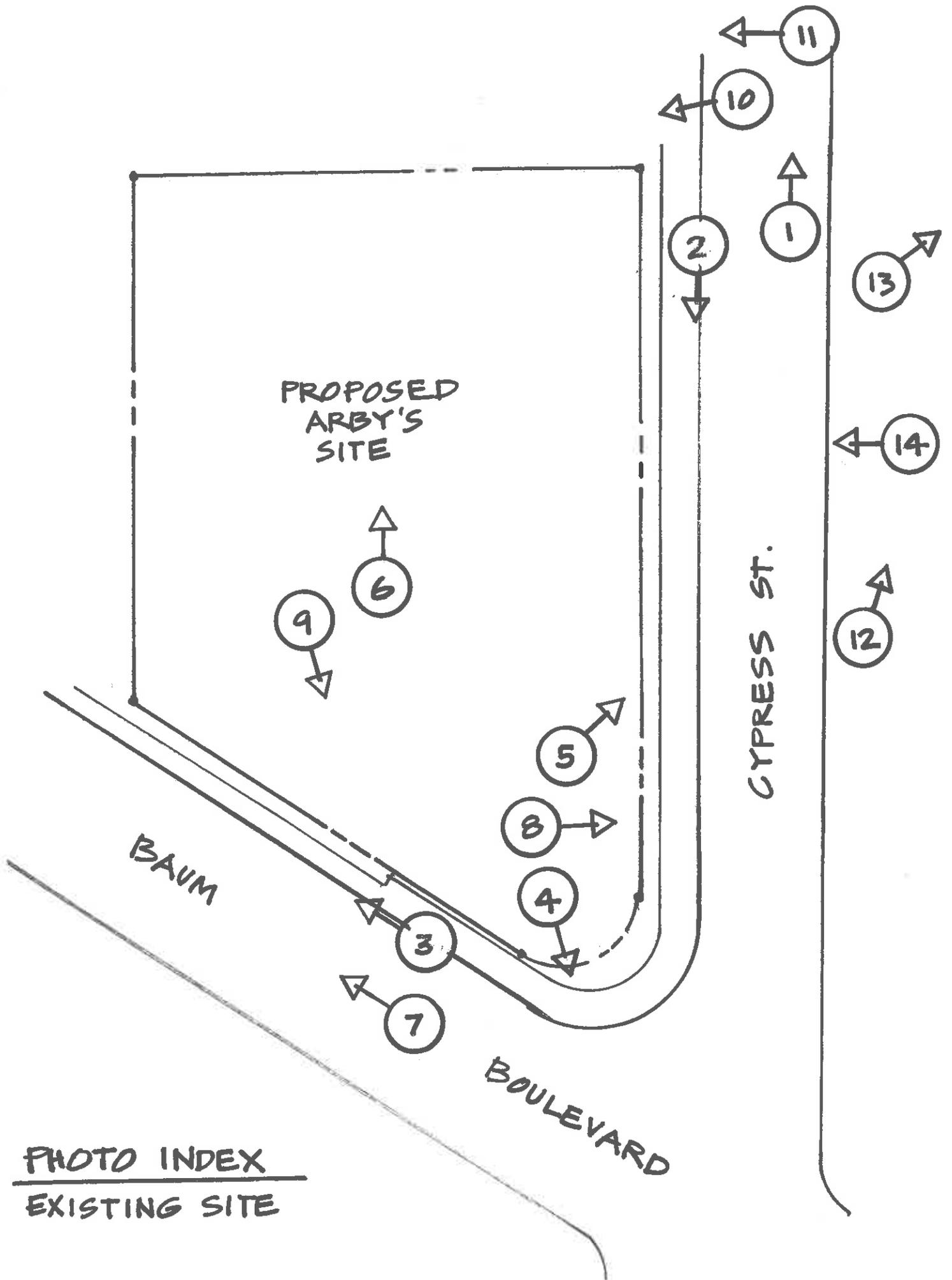


PHOTO INDEX
EXISTING SITE



1

2



3



4

8



7



6



5







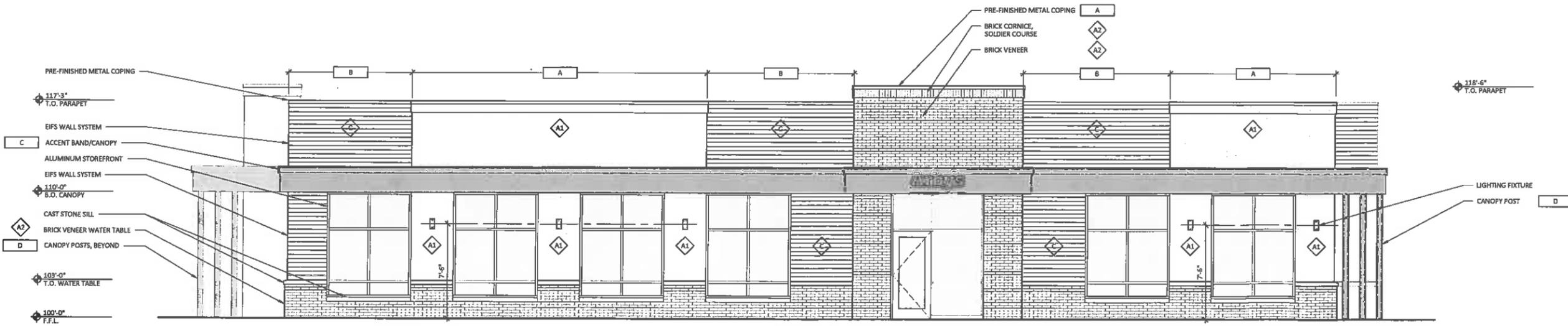
13



14



1 FRONT ELEVATION
A2.1 1/4" = 1'-0"



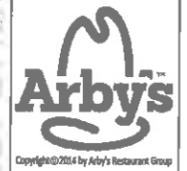
2 SIDE ELEVATION
A2.1 1/4" = 1'-0"

FINISH SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	DRYVIT	#910 CHINA WHITE SANDBLAST TEXTURE	EIFS WALL SYSTEM
A2	COUNTY MATERIALS	HERITAGE COLLECTION WHITE NF	SMOOTH
B	COUNTY MATERIALS	HERITAGE COLLECTION SABLE NF	SMOOTH
C	DRYVIT	PAINT "G"	V-GROOVE EIFS REVEAL, 4" O.C. REFER TO DETAIL
D	SHERWIN WILLIAMS	PRIMER: LOXON ACRYLIC MASONRY PRIMER, A-24-300 FINISH: DTM ACRYLIC GLOSS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
E	NOT USED	---	---
F	SHERWIN WILLIAMS	#SW 7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	#SW 2808 ROCKWOOD DARK BROWN	SATIN FINISH
H	JAMES HARDIE	ARTISAN LAP SIDING - SMOOTH IRON GRAY	5/8" THICK 7 1/4" WIDTH (6" EXPOSURE)
J	IPE WOOD RAINSCREEN	---	PROVIDE UV SEALER
K	SHERWIN WILLIAMS	#SW 2123 WHITE	SATIN FINISH
METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR70/TE7	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR70/TE7	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICTED CANOPY/BAND	PRODUCT CODE: 9940-3019R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRICTED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---
<ol style="list-style-type: none"> PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS. REFER TO SPECIFICATIONS ON SHEET SP-2. REFER TO SHEET AS.2 FOR TEMPERED GLASS LOCATIONS. ALUMINUM STOREFRONT TO BE DARK BRONZE. ALL GLAZING TO BE 1" INSULATED GLAZING. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER. 			

red
architecture + planning
855 grandview ave.
suite 295
columbus, ohio 43215
tel: 614.487.8770
fax: 614.487.8777

NOT FOR CONSTRUCTION, FOR REFERENCE ONLY

PROPRIETARY INFORMATION NOTICE:
THESE ARCHITECTURAL DOCUMENTS MAY REQUIRE REVIEWERS TO CONFORM TO LOCAL, STATE AND FEDERAL CODES, ORDINANCES OR OTHER CONDITIONS. THE DESIGN CONCEPTS ENCLOSED IN THESE DOCUMENTS ARE SPECIFICALLY FOR THIS PROJECT. INFORMATION CONTAINED HEREIN REMAINS THE SOLE PROPERTY OF ARBY'S RESTAURANT GROUP, IS CONFIDENTIAL AND PROPRIETARY AND IS NOT TO BE COPIED, REPRODUCED, COPIED OR OTHERWISE TRANSMITTED TO OTHER PARTIES IN ANY FORM OR MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF ARBY'S RESTAURANT GROUP.



ARBY'S RESTAURANT GROUP
INSPIRE FRONT-LINE 2700
1234 MAIN STREET
CITY, STATE ZIP

PROJECT NUMBER:
ARG098

ISSUE	DATE
PROTOTYPE SET	DEC 15, 2014

EXTERIOR ELEVATIONS

SHEET:

A2.1

NOT FOR CONSTRUCTION, FOR REFERENCE ONLY

PROPRIETARY INFORMATION NOTICE:
 THESE PHOTOGRAPHIC DOCUMENTS ARE
 BEING REVISED TO CONFORM TO LOCAL,
 STATE AND FEDERAL CODES, ORDINANCES
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 AND IS NOT TO BE COPIED, REPRODUCED,
 DISCLOSED OR OTHERWISE TRANSMITTED TO
 OTHER PARTIES IN ANY FORM WHATSOEVER
 WITHOUT THE EXPRESS WRITTEN CONSENT
 OF ARBY'S RESTAURANT GROUP.



ARBY'S RESTAURANT GROUP
 INSPIRE FRONT-LINE 2700
 1234 MAIN STREET
 CITY, STATE ZIP

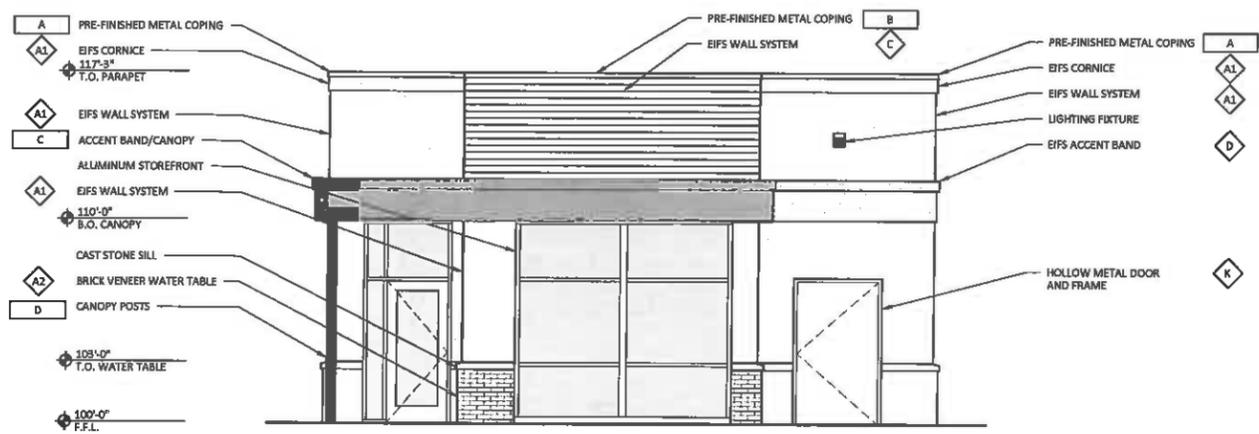
PROJECT NUMBER:
ARG098

ISSUE	DATE
PROTOTYPE SET	DEC 15, 2014

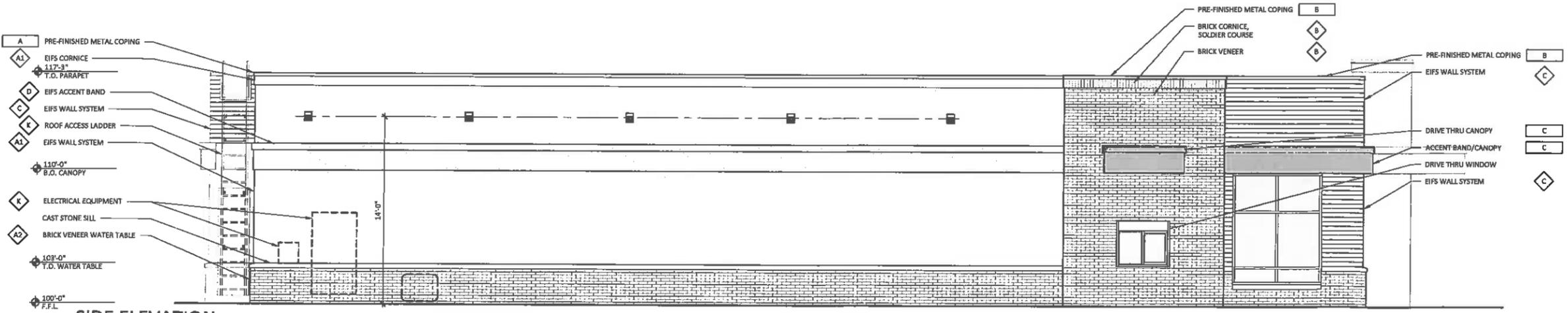
EXTERIOR
 ELEVATIONS

SHEET:

A2.2



1 REAR ELEVATION
 A2.2 1/4" = 1'-0"



2 SIDE ELEVATION
 A2.2 1/4" = 1'-0"



- Inspire 2000 / 3000
- Baum Blvd. & Cypress Street (East bound view)
- 2015 prototype modified to lay parallel to Baum Blvd

Conceptual Rendering



FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
	DRYVIT	#310 CHINA WHITE SANDBLAST TEXTURE	EIFS WALL SYSTEM
	COUNTY MATERIALS	HERITAGE COLLECTION WHITE NF	SMOOTH
	COUNTY MATERIALS	HERITAGE COLLECTION SABLE NF	SMOOTH
	DRYVIT	PAINT "G"	V-GROOVE EIFS REVEAL, 4" O.C. REFER TO DETAIL _____
	SHERWIN WILLIAMS	PRIMER: LOXON ACRYLIC MASONRY PRIMER, A-24-300 FINISH: DTM ACRYLIC GLOSS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
	NOT USED	---	---
	SHERWIN WILLIAMS	#SW 7024 FUNCTIONAL GRAY	SATIN FINISH
	SHERWIN WILLIAMS	#SW 2808 ROCKWOOD DARK BROWN	SATIN FINISH
	JAMES HARDIE	ARTISAN LAP SIDING - SMOOTH IRON GRAY	5/8" THICK 7 1/4" WIDTH (6" EXPOSURE)
	IPE WOOD RAINSCREEN	---	PROVIDE UV SEALER
	SHERWIN WILLIAMS	#SW 2123 WHITE	SATIN FINISH
METALS			
	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
	PRE-FABRICTED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
	PRE-FABRICTED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---
<ol style="list-style-type: none"> 1. PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. 2. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY. 3. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS , SILLS, ETC. 4. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES. 5. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS. REFER TO SPECIFICATIONS ON SHEET SP-2. 6. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS. 7. ALUMINUM STOREFRONT TO BE DARK BRONZE. 8. ALL GLAZING TO BE 1" INSULATED GLAZING. 9. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS. 10. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDER SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER. 			



2 East Crafton Avenue
Pittsburgh, PA 15205
Ph 412-921-3303
Fax 412-921-2609

David E. Wooster and Associates, Inc.
Straightforward & Unwavering

March 23, 2015

Ms. Amanda Purcell, P.E.
Project Manager - Traffic Division
Department of Public Works
Bureau of Transportation and Engineering
Room 301 City-County Building
Pittsburgh, PA 15219

Reference: Proposed Arby's Restaurant Development at the corner of Baum Boulevard and Cypress Street, City of Pittsburgh, Bloomfield Neighborhood. Response to City of Pittsburgh Comments dated February 13, 2015)

Dear Ms. Purcell:

David E. Wooster and Associates, Inc. is in receipt of review comments prepared by the City of Pittsburgh Planning Department received February 13, 2015 regarding the site plan for the proposed Arby's development located at the corner Baum Boulevard and Cypress Street. The purpose of this correspondence is to provide you with our understanding and responses to those comments.

1. Provide an estimated percentage of trips to the development that are anticipated to be made by either cycling or pedestrians.

Response: Wooster calculated the anticipated trip generation of the proposed 2,697 square foot Arby's restaurant using The Institute of Transportation Engineers' (ITE) *Trip-Generation*, 9th Edition, 2012. Specifically, Land Use Code 934, *Fast-Food Restaurant with Drive-Through Window*, was used to estimate the trip generation characteristics of the proposed development. The percentage of customers that will walk versus drive to the site is also included. This percentage was estimated based on market data from similar fast food restaurants in urban locations. These values are summarized in **Table 1**.

Table 1 – Estimated Trip Generation

LAND USE	FORECASTED TRIP GENERATION (In / Out)		
	ADT	AM Peak Hour	PM Peak Hour
Land Use Code #934 Fast-Food Restaurant with Drive-Through Window	1,338 (669 / 669)	122 (62 / 60)	88 (46 / 42)
Pedestrian Trip Totals		49 (40%)	35 (40%)
Pass-by Trip Totals		49% ITE Table 36 (18/18)	50% ITE Table 27 (14/13)
Primary Trip Totals		37 (19/18)	26 (13/13)

2. Show driveway dimensions on the site plan and discuss sight distance both required and available at each driveway. Note that the maximum curb cut width is 36 feet. Confirm this is not exceeded.

Response: Corner sight distance requirements were calculated for the proposed intersections of Baum Boulevard and Cypress Street with the proposed Site Driveways. The sight distance criteria also conforms to PennDOT Title 67, Chapter 441, Access To And Occupancy Of Highways by Driveways and Local Roads. Minimum sight distance requirements were based on the posted speed limit.

Baum Boulevard and Site Driveway (Entrance Only)

Sight distance values for a vehicle traveling northbound and southbound along Baum Boulevard, approaching a vehicle positioned to make a left turn at the site driveway is greater than 500 feet for the northbound and southbound approach. The minimum required is 242 feet.

Therefore, the available sight distance for a vehicle approaching a left turning vehicle at the sight driveway is adequate under proposed conditions.

Cypress Street and Site Driveway (Entrance Only)

There are no posted speed limit signs along Cypress Street within the vicinity of the proposed site driveways. Therefore based on an assumed design speed for a residential roadway, the minimum required sight distance is based on a design speed of 30 mph for traffic traveling northwest and southeast along Cypress Street. The minimum acceptable sight distance approaching a left turning vehicle is 196 feet.

Field measurements yielded available sight distance equal to and greater than 200 feet approaching a left turning vehicle under existing conditions. Therefore, the available sight distance is adequate under proposed conditions.

Cypress Street and Site Driveway (Exit Only)

Based on the design speed limit of 30 mph for traffic traveling northwest and southeast along Cypress Street, the minimum acceptable sight distance looking left and right is 196 feet.

Field measurements yielded available sight distance of approximately 190 feet looking right under existing conditions. This is the distance between the driveway and Baum Boulevard. The sight distance actually extends through the intersection to meet the minimum sight distance criteria. Currently Residential Permit Parking is allowed along this side of Cypress Street adjacent to property frontage (Permit Area "H" - 1 Hour Parking between the hours of 7AM to 7PM). In order to maintain the sight distance looking right, it is recommended to restrict parking between Baum Boulevard and the proposed site driveway. Posting of No-Parking signs along this section is recommended to be installed. It was estimated that approximately three (3) parking spaces would be lost.

Field measurements yielded available sight distance of approximately 210 feet looking left under existing conditions. Therefore, the available sight distance looking left is adequate under proposed conditions.

A copy of the Sight Distance Measurement Figures and a Site Plan with the proposed driveway widths have been included at the end of this letter report.

3. Discuss pedestrian circulation of the site.

Response: Pedestrian circulation for walk-in traffic will be directly from Baum Boulevard. This will provide direct pedestrian access with no conflict with vehicles. Bike facilities will also be included in the overall site development and landscaping plan. A sidewalk entrance is located along the front of the facility

Ms. Amanda Purcell, P.E.
March 23, 2015
Page 4

directly off of Baum Boulevard. The rear entrance for patrons parking on-site include sidewalk access along Cypress Street and the proposed entrance driveway. Pedestrian crosswalks and sidewalk ramps to conform with ADA requirements are also proposed for seamless access to the back entrance.

Also included for your review are the latest AutoTurn design templates created for the drive-through area and truck deliveries.

We trust this information is submitted in proper form. If you have any questions or require anything additional, please advise me.

Yours truly,



Michael A. Andrewsh P.E.
Project Manager

MAA/ma

cc: Patrick Roberts - City of Pittsburgh, DCP
Kate Rakus - City of Pittsburgh, DCP
Paul W. Quinn, Arby's Restaurant Group

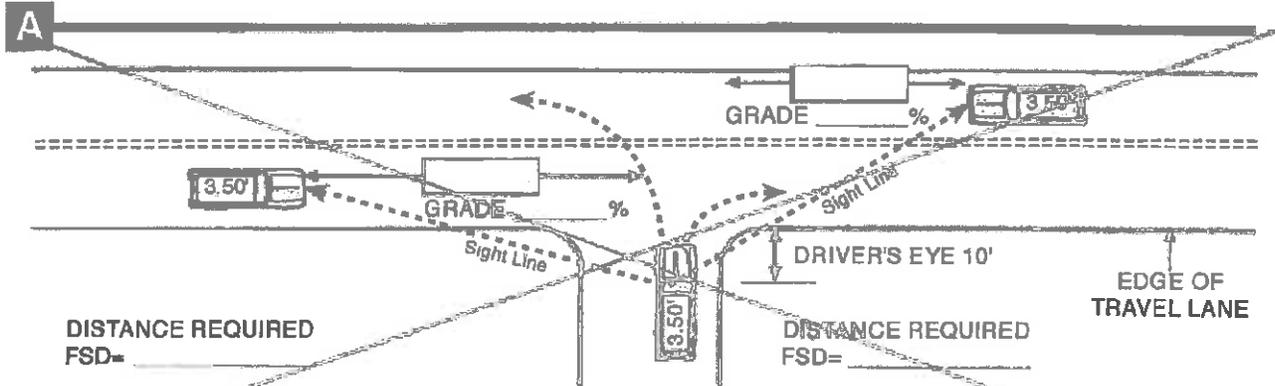
Enclosures – AutoTurn Figures

File: 2952 03232015 ArbysBaumBlvdReponse_ltr

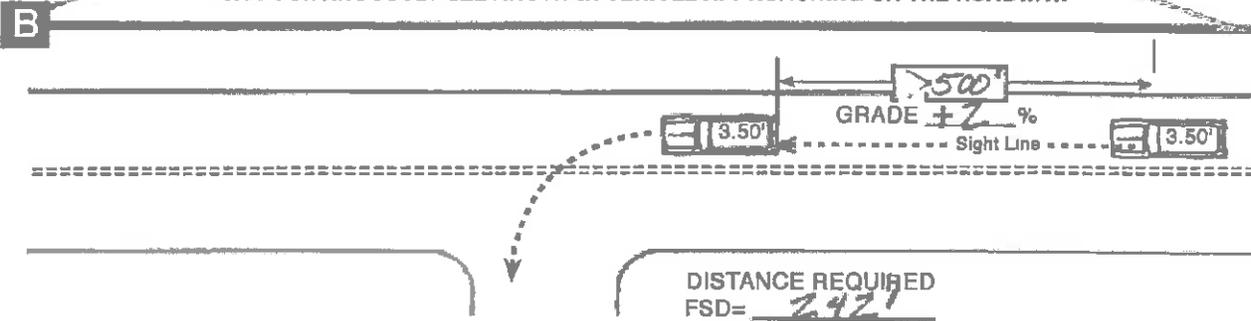
**BANM BLVD & SITE DRIVEWAY
ENTRANCE ONLY**

DRIVEWAY SIGHT DISTANCE MEASUREMENTS
(FOR LOCAL ROADS, USE PENNDOT PUB 70)

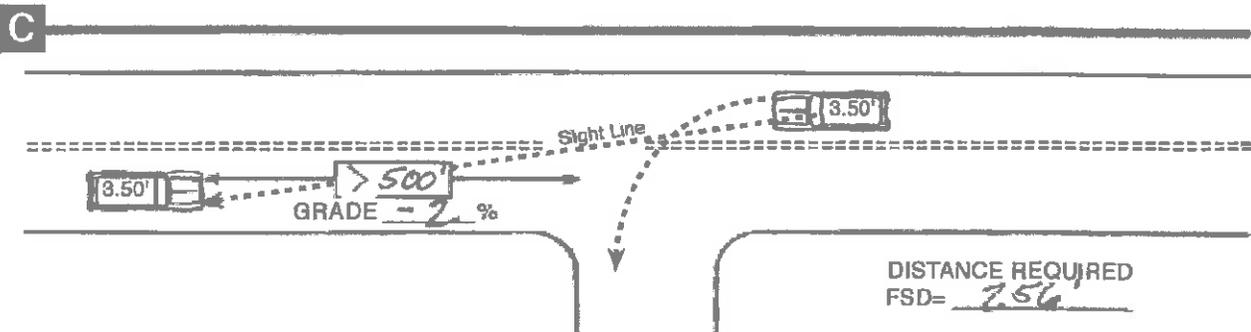
APPLICANT ARBY'S APPLICATION NO. _____
 S.R. 0400 SEG. 0060 OFFSET 100 LEGAL SPEED LIMIT 35 MPH
 MEASURED BY _____ DATE 3/12/2005
 FOR DEPARTMENT USE ONLY: Safe-Running Speed _____ 85th Percentile Speed _____



THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER AT A DRIVEWAY LOCATION CAN CONTINUOUSLY SEE ANOTHER VEHICLE APPROACHING ON THE ROADWAY.



THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER ON THE ROADWAY CAN CONTINUOUSLY SEE THE REAR OF A VEHICLE WHICH IS LOCATED IN THE DRIVER'S TRAVEL LANE AND WHICH IS POSITIONED TO MAKE A LEFT TURN INTO A DRIVEWAY.



THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER OF A VEHICLE INTENDING TO MAKE A LEFT TURN INTO A DRIVEWAY CAN CONTINUOUSLY SEE A VEHICLE APPROACHING FROM THE OPPOSITE DIRECTION.

CYPRESS ST & ENTRANCE ONLY SITE DR.

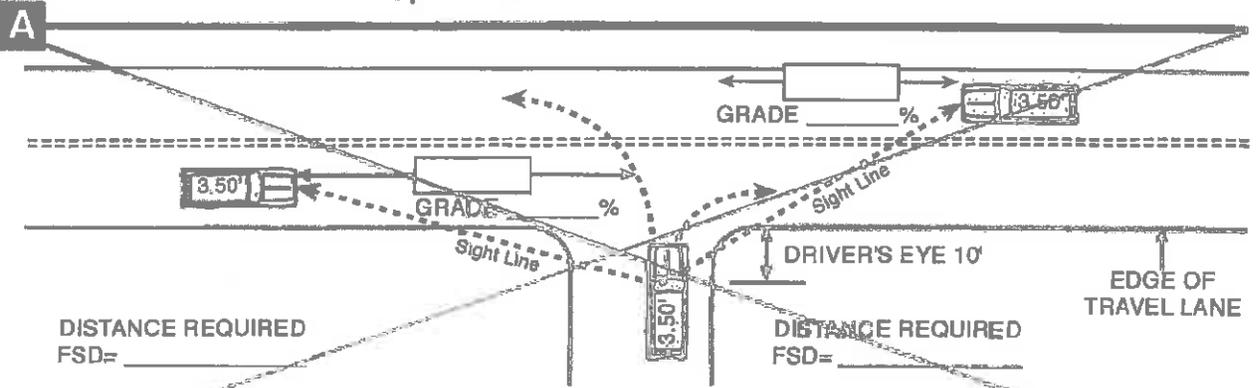
DRIVEWAY SIGHT DISTANCE MEASUREMENTS
(FOR LOCAL ROADS, USE PENNDOT PUB 70)

APPLICANT ARBY'S APPLICATION NO. _____

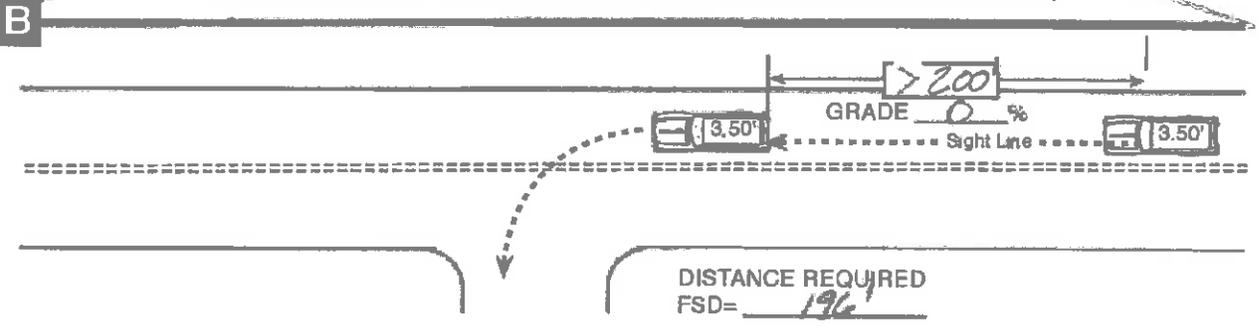
S.R. _____ SEG. _____ OFFSET _____ LEGAL SPEED LIMIT NO POSTING

MEASURED BY _____ DATE 3/13/2015

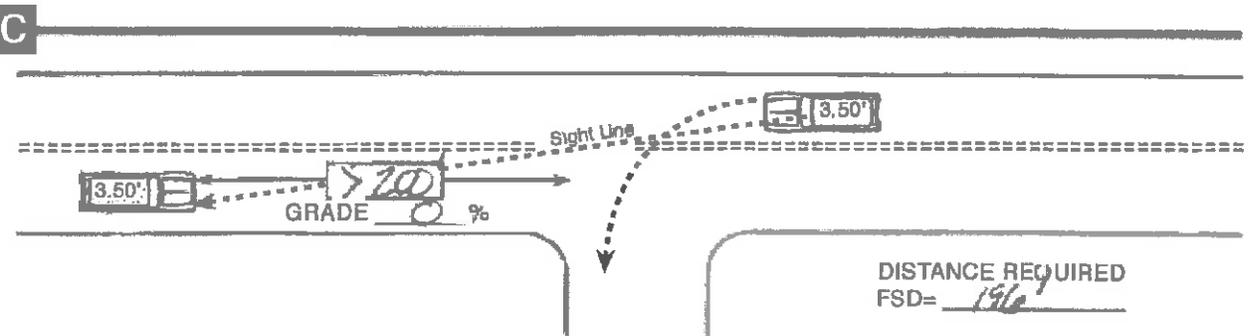
FOR DEPARTMENT USE ONLY: Safe-Running Speed 30 MPH 85th Percentile Speed _____
ASSUMED



THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER AT A DRIVEWAY LOCATION CAN CONTINUOUSLY SEE ANOTHER VEHICLE APPROACHING ON THE ROADWAY.



THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER ON THE ROADWAY CAN CONTINUOUSLY SEE THE REAR OF A VEHICLE WHICH IS LOCATED IN THE DRIVER'S TRAVEL LANE AND WHICH IS POSITIONED TO MAKE A LEFT TURN INTO A DRIVEWAY.



THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER OF A VEHICLE INTENDING TO MAKE A LEFT TURN INTO A DRIVEWAY CAN CONTINUOUSLY SEE A VEHICLE APPROACHING FROM THE OPPOSITE DIRECTION.

FORMULA SIGHT DISTANCE TABLE

Speed (V) (Miles Per Hour)	Average Grade (G) (Percent)										
	Use plus grades when approaching vehicle is travelling upgrade.										
	0.0	+1.0	+2.0	+3.0	+4.0	+5.0	+6.0	+7.0	+8.0	+9.0	+10.0
25	147	145	144	143	142	140	139	138	137	136	135
30	196	194	191	189	187	185	183	182	180	178	177
35	249	245	242	239	236	233	231	228	226	224	221
40	314	309	304	299	295	291	287	284	280	277	274
45	383	376	370	364	358	353	348	343	339	334	330
50	462	453	444	436	429	422	415	409	403	397	392
55	538	527	517	508	499	490	482	475	468	461	454
	Use negative grades when approaching vehicle is travelling downgrade.										
	0.0	-1.0	-2.0	-3.0	-4.0	-5.0	-6.0	-7.0	-8.0	-9.0	-10.0
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40	314	319	325	331	338	345	352	360	369	379	389
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55	538	550	562	576	590	606	622	641	661	682	706



CITY OF PITTSBURGH

Department of Public Works

William Peduto, Mayor

Michael Gable, Director

RECEIVED

February 13, 2015

FEB 17 2015

David E. Wooster and Assoc
Client # 2952

Mr. Michael A. Andrewsh, P.E.
Project Manager
D.E. Wooster and Associates, Inc
2 East Crafton Avenue
Pittsburgh, PA 15205

Re: Proposed Arby's Restaurant Development

Dear Mr. Andrewsh:

The City of Pittsburgh, Department of Public Works, has reviewed your traffic statement for the proposed Baum Blvd Arby's in the Bloomfield neighborhood. We provide the following comments.

1. Provide an estimated percentage of trips to the development that are anticipated to be made by either cycling or pedestrians.
2. Show driveway dimensions on the site plan and discuss sight distance both required and available at each driveway. Note that the maximum curb cut width is 36 feet. Confirm this is not exceeded.
3. Discuss pedestrian circulation of the site.

Please provide a revised traffic statement addressing these comments. If you have any questions regarding this matter, feel free to contact me via email at amanda.broadwater@pittsburghpa.gov or at 412-255-8846.

Sincerely,

Amanda Purcell, P.E.
Municipal Traffic Engineer

AP/dr

cc: Patrick Roberts, Planning/ Kate Rakus, Zoning/ File

HEADQUARTERS
Room 301 City-County Building
414 Grant Street Pittsburgh, PA 15219
412-255-8850 Fax: 412-255-8847

**BUREAU OF TRANSPORTATION AND
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Ph 412-921-3303
Fax 412-921-2609

David E. Wooster and Associates, Inc.
Straightforward & Unwavering

January 5, 2015

Ms. Amanda Purcell, P.E.
Project Manager - Traffic Division
Department of Public Works
Bureau of Transportation and Engineering
Room 301 City-County Building
Pittsburgh, PA 15219

Reference: Proposed Arby's Restaurant Development at the corner of Baum Boulevard and Cypress Street, City of Pittsburgh, Bloomfield Neighborhood

Dear Ms. Purcell:

As requested, David E. Wooster and Associates, Inc. (Wooster) has prepared a preliminary summary relative to trip generation anticipated as part of the proposed Arby's Restaurant to be located with the City of Pittsburgh's Bloomfield Neighborhood. The purpose of this correspondence is to summarize these findings.

The subject site is located on the northwest corner at the signalized intersection of Baum Boulevard (SR 0400(PA-380)) and Cypress Street (City Street). Access to the site will be provided via three (3) proposed site driveways. One is planned along the northern side of Baum Boulevard and two separate site driveways along Cypress Street. The two driveways along Cypress Street will be designed as a single entrance only driveway and a single exit only driveway. The site driveway along Baum Boulevard will be a single entrance only driveway. The most recent site plan is included as an attachment to this letter.

Wooster calculated the anticipated trip generation of the proposed 2,697 square foot Arby's restaurant using The Institute of Transportation Engineers' (ITE) *Trip-Generation*, 9th Edition, 2012. Specifically, Land Use Code 934, *Fast-Food Restaurant with Drive-Through Window*, was used to estimate the trip generation characteristics of the proposed development. These values are summarized in **Table 1**. The trip generation calculations summarized in **Table 1** are included as an attachment to this letter.

As can be seen in Table 1, the proposed Arby's Restaurant is anticipated to generate a moderate number of trips during either the AM or PM peak hour.

Table 1 – Estimated Trip Generation

LAND USE	FORECASTED TRIP GENERATION (In / Out)		
	ADT	AM Peak Hour	PM Peak Hour
Land Use Code #934 Fast-Food Restaurant with Drive-Through Window	1,338 (669 / 669)	122 (62 / 60)	88 (46 / 42)
Pass-by Trip Totals		49% ITE Table 59 (30/29)	50% ITE Table 44 (23/21)
Primary Trip Totals		63 (32/31)	44 (23/21)

ITE provides pass-by trip reduction rates of 49% and 50% for Land Use Code 934, *Fast-Food Restaurant with Drive-Through Window*. Therefore, a portion of the trips associated with the proposed restaurant development are existing, diverted trips rather than new trips. Also in our discussions a portion of the trips could be related to patrons walking to and from the site.

The proposed development is a low volume traffic generator and will not negatively impact the existing traffic conditions at and around the site development area.

The internal site circulation for the drive-through and access for delivery trucks were also discussed at our meeting with the City Planning Department. Further evaluation of the minimum six (6) vehicle queuing for the drive-through is required to meet the City's planning and design requirements. A revised site circulation plan is required by the developer.

Driveway curb cuts and sidewalk ramp criteria along Baum Boulevard and Cypress Street are to meet or exceed the latest City of Pittsburgh Design Standards.

We trust this information is submitted in proper form. If you have any questions or require anything additional, please advise me.

Ms. Amanda Purcell, P.E.
January 5, 2015
Page 3

Yours truly,

A handwritten signature in black ink that reads "Michael A. Andrewsh". The signature is written in a cursive style with a large initial "M".

Michael A. Andrewsh P.E.
Project Manager

MAA/ma

cc: Patrick Roberts - City of Pittsburgh, DCP
Kate Rakus - City of Pittsburgh, DCP
Paul W. Quinn, Arby's Restaurant Group

Enclosures – Preliminary Site Plan
Trip Generation Calculations, LUC 934

File: 2952 01062015 ArbysBaumBlvdTripGen_itr

TRIP GENERATION

David E. Wooster and Associates, Inc.
 2 East Crafton Avenue
 Pittsburgh, PA 15205

County :
 Municipality :
 Client Code:

Allegheny
City of Pittsburgh
2952

Land Use Code: 934
 Description: Fast-Food Restaurant with Drive-Through Window

SF Gross Floor Area: 2697
 X = 1,000 Square Feet Gross Floor Area

Page: 1912 ADT

Equation: Not Given Average Rate = 496.12

T = 1,338 ADT
 50% entering = 669
 50% exiting = 669

Page: 1913 AM Peak Hour (adjacent street between 7 and 9 a.m.)

Equation: Not Given Average Rate = 45.42

T = 122 AM Peak
 51% entering = 62
 49% exiting = 60

Table 5.23	
Primary	Pass-by (49%)
32	30
31	29

Page: 1914 PM Peak Hour (adjacent street between 4 and 6 p.m.)

Equation: Not Given Average Rate = 32.65

T = 88 PM Peak
 52% entering = 46
 48% exiting = 42

Table 5.24	
Primary	Pass-by (50%)
23	23
21	21

Page: 1918 Saturday (peak hour of generator)

Equation: Not Given Average Rate = 59

T = 159 SAT Peak
 51% entering = 81
 49% exiting = 78

Table 5.24	
Primary	Pass-by (40%)*
49	32
47	31

* PM peak hour minus 10%



CITY OF PITTSBURGH

Department of Public Works

William Peduto, Mayor

Michael Gable, Director

RECEIVED

February 13, 2015

FEB 17 2015

David E. Wooster and Assoc
Client # 7952

Mr. Michael A. Andrewsh, P.E.
Project Manager
D.E. Wooster and Associates, Inc
2 East Crafton Avenue
Pittsburgh, PA 15205

Re: Proposed Arby's Restaurant Development

Dear Mr. Andrewsh:

The City of Pittsburgh, Department of Public Works, has reviewed your traffic statement for the proposed Baum Blvd Arby's in the Bloomfield neighborhood. We provide the following comments.

1. Provide an estimated percentage of trips to the development that are anticipated to be made by either cycling or pedestrians.
2. Show driveway dimensions on the site plan and discuss sight distance both required and available at each driveway. Note that the maximum curb cut width is 36 feet. Confirm this is not exceeded.
3. Discuss pedestrian circulation of the site.

Please provide a revised traffic statement addressing these comments. If you have any questions regarding this matter, feel free to contact me via email at amanda.broadwater@pittsburghpa.gov or at 412-255-8846.

Sincerely,

Amanda Purcell, P.E.
Municipal Traffic Engineer

AP/dr

cc: Patrick Roberts, Planning/ Kate Rakus, Zoning/ File

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David E. Wooster and Associates, Inc.
Straightforward & Unwavering

March 23, 2015

Ms. Amanda Purcell, P.E.
Project Manager - Traffic Division
Department of Public Works
Bureau of Transportation and Engineering
Room 301 City-County Building
Pittsburgh, PA 15219

Reference: Proposed Arby's Restaurant Development at the corner of Baum Boulevard and Cypress Street, City of Pittsburgh, Bloomfield Neighborhood. Response to City of Pittsburgh Comments dated February 13, 2015)

Dear Ms. Purcell:

David E. Wooster and Associates, Inc. is in receipt of review comments prepared by the City of Pittsburgh Planning Department received February 13, 2015 regarding the site plan for the proposed Arby's development located at the corner Baum Boulevard and Cypress Street. The purpose of this correspondence is to provide you with our understanding and responses to those comments.

1. Provide an estimated percentage of trips to the development that are anticipated to be made by either cycling or pedestrians.

Response: Wooster calculated the anticipated trip generation of the proposed 2,697 square foot Arby's restaurant using The Institute of Transportation Engineers' (ITE) *Trip-Generation*, 9th Edition, 2012. Specifically, Land Use Code 934, *Fast-Food Restaurant with Drive-Through Window*, was used to estimate the trip generation characteristics of the proposed development. The percentage of customers that will walk verse drive to the site is also included. This percentage was estimated based on market data from similar fast food restaurants in urban locations. These values are summarized in **Table 1**.

Table 1 – Estimated Trip Generation

LAND USE	FORECASTED TRIP GENERATION (In / Out)		
	ADT	AM Peak Hour	PM Peak Hour
Land Use Code #934 Fast-Food Restaurant with Drive-Through Window	1,338 (669 / 669)	122 (62 / 60)	88 (46 / 42)
Pedestrian Trip Totals		49 (40%)	35 (40%)
Pass-by Trip Totals		49% ITE Table 36 (18/18)	50% ITE Table 27 (14/13)
Primary Trip Totals		37 (19/18)	26 (13/13)

2. Show driveway dimensions on the site plan and discuss sight distance both required and available at each driveway. Note that the maximum curb cut width is 36 feet. Confirm this is not exceeded.

Response: Corner sight distance requirements were calculated for the proposed intersections of Baum Boulevard and Cypress Street with the proposed Site Driveways. The sight distance criteria also conforms to PennDOT Title 67, Chapter 441, Access To And Occupancy Of Highways by Driveways and Local Roads. Minimum sight distance requirements were based on the posted speed limit.

Baum Boulevard and Site Driveway (Entrance Only)

Sight distance values for a vehicle traveling northbound and southbound along Baum Boulevard, approaching a vehicle positioned to make a left turn at the site driveway is greater than 500 feet for the northbound and southbound approach. The minimum required is 242 feet.

Therefore, the available sight distance for a vehicle approaching a left turning vehicle at the sight driveway is adequate under proposed conditions.

Cypress Street and Site Driveway (Entrance Only)

There are no posted speed limit signs along Cypress Street within the vicinity of the proposed site driveways. Therefore based on an assumed design speed for a residential roadway, the minimum required sight distance is based on a design speed of 30 mph for traffic traveling northwest and southeast along Cypress Street. The minimum acceptable sight distance approaching a left turning vehicle is 196 feet.

Field measurements yielded available sight distance equal to and greater than 200 feet approaching a left turning vehicle under existing conditions. Therefore, the available sight distance is adequate under proposed conditions.

Cypress Street and Site Driveway (Exit Only)

Based on the design speed limit of 30 mph for traffic traveling northwest and southeast along Cypress Street, the minimum acceptable sight distance looking left and right is 196 feet.

Field measurements yielded available sight distance of approximately 190 feet looking right under existing conditions. This is the distance between the driveway and Baum Boulevard. The sight distance actually extends through the intersection to meet the minimum sight distance criteria. Currently Residential Permit Parking is allowed along this side of Cypress Street adjacent to property frontage (Permit Area "H" - 1 Hour Parking between the hours of 7AM to 7PM). In order to maintain the sight distance looking right, it is recommended to restrict parking between Baum Boulevard and the proposed site driveway. Posting of No-Parking signs along this section is recommended to be installed. It was estimated that approximately three (3) parking spaces would be lost.

Field measurements yielded available sight distance of approximately 210 feet looking left under existing conditions. Therefore, the available sight distance looking left is adequate under proposed conditions.

A copy of the Sight Distance Measurement Figures and a Site Plan with the proposed driveway widths have been included at the end of this letter report.

3. Discuss pedestrian circulation of the site.

Response: Pedestrian circulation for walk-in traffic will be directly from Baum Boulevard. This will provide direct pedestrian access with no conflict with vehicles. Bike facilities will also be included in the overall site development and landscaping plan. A sidewalk entrance is located along the front of the facility

Ms. Amanda Purcell, P.E.
March 23, 2015
Page 4

directly off of Baum Boulevard. The rear entrance for patrons parking on-site include sidewalk access along Cypress Street and the proposed entrance driveway. Pedestrian crosswalks and sidewalk ramps to conform with ADA requirements are also proposed for seamless access to the back entrance.

Also included for your review are the latest AutoTurn design templates created for the drive-through area and truck deliveries.

We trust this information is submitted in proper form. If you have any questions or require anything additional, please advise me.

Yours truly,



Michael A. Andrewsh P.E.
Project Manager

MAA/ma

cc: Patrick Roberts - City of Pittsburgh, DCP
Kate Rakus - City of Pittsburgh, DCP
Paul W. Quinn, Arby's Restaurant Group

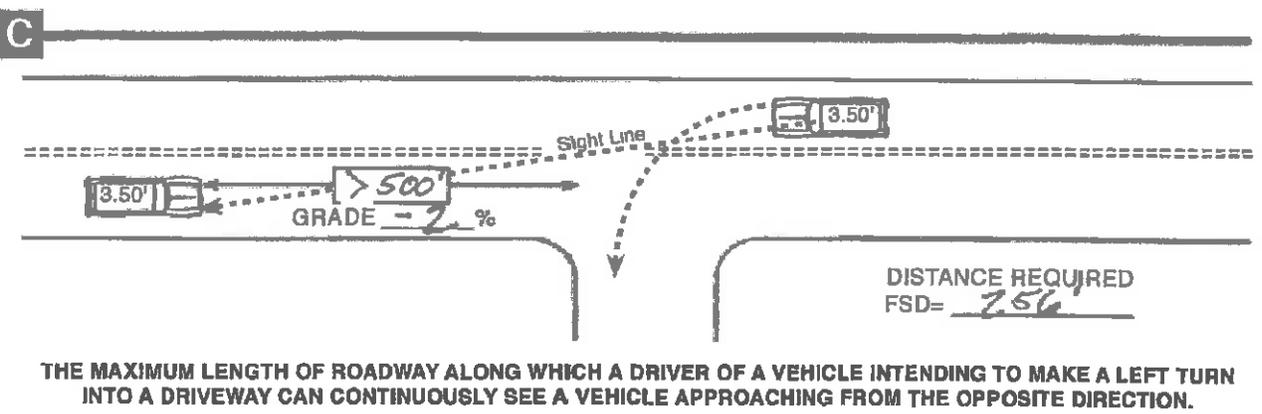
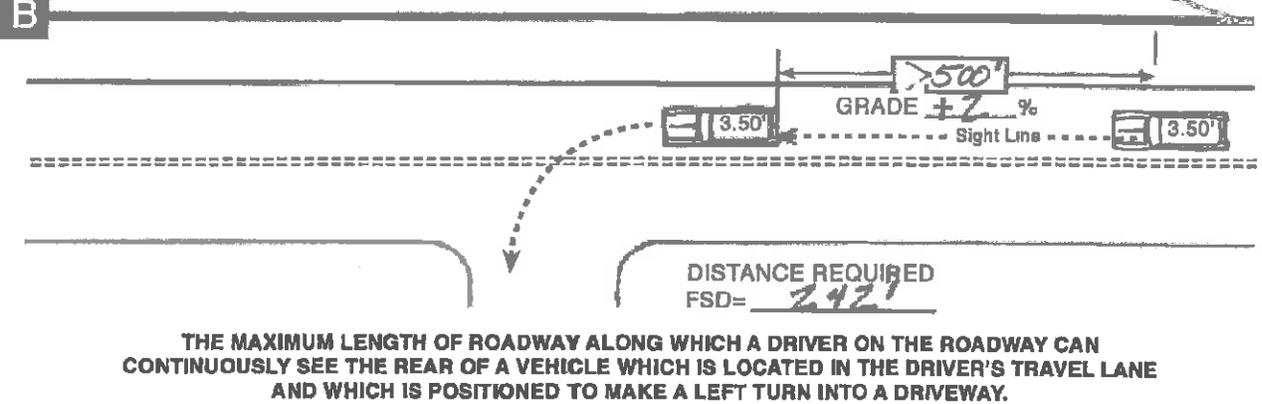
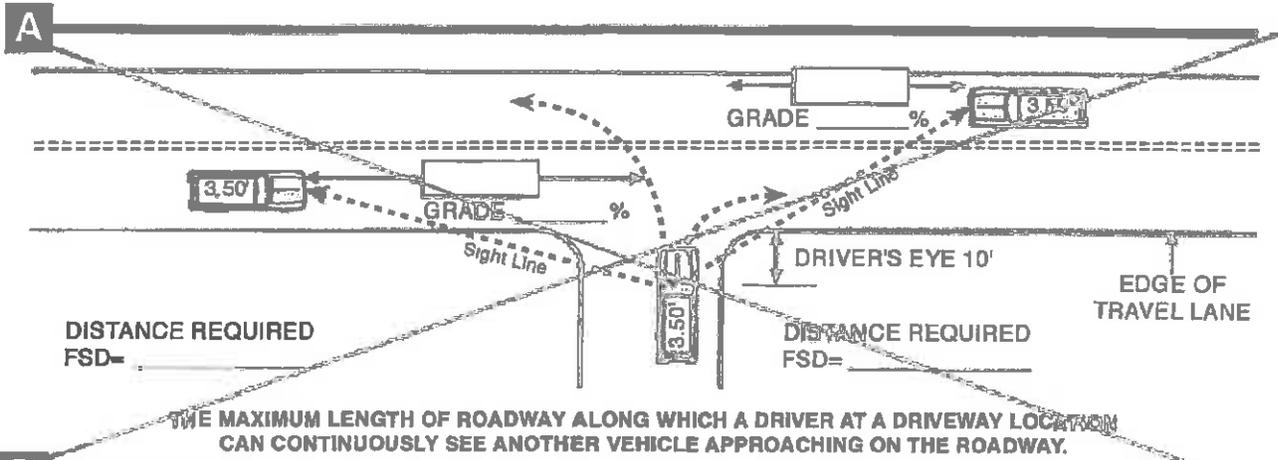
Enclosures – AutoTurn Figures

File: 2952 03232015 ArbysBaumBlvdReponse_ltr

**BAUM BLVD # SITE DRIVEWAY
ENTRANCE ONLY**

**DRIVEWAY SIGHT DISTANCE MEASUREMENTS
(FOR LOCAL ROADS, USE PENNDOT PUB 70)**

APPLICANT ARBY'S APPLICATION NO. _____
 S.R. 0400 SEG. 0060 OFFSET 100 LEGAL SPEED LIMIT 35 MPA
 MEASURED BY _____ DATE 3/12/2005
 FOR DEPARTMENT USE ONLY: Safe-Running Speed _____ 85th Percentile Speed _____



CYPRESS ST & ENTRANCE ONLY SITE DR.

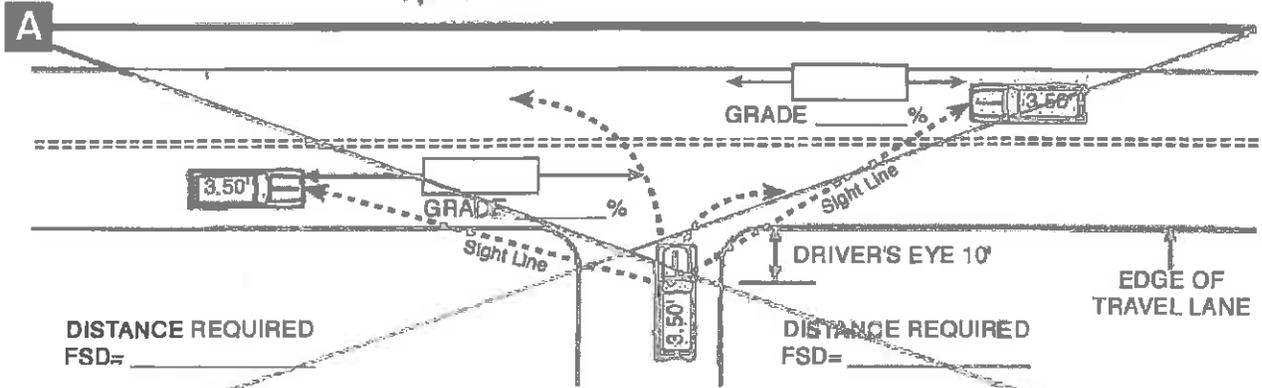
DRIVEWAY SIGHT DISTANCE MEASUREMENTS (FOR LOCAL ROADS, USE PENNDOT PUB 70)

APPLICANT ARBY'S APPLICATION NO. _____

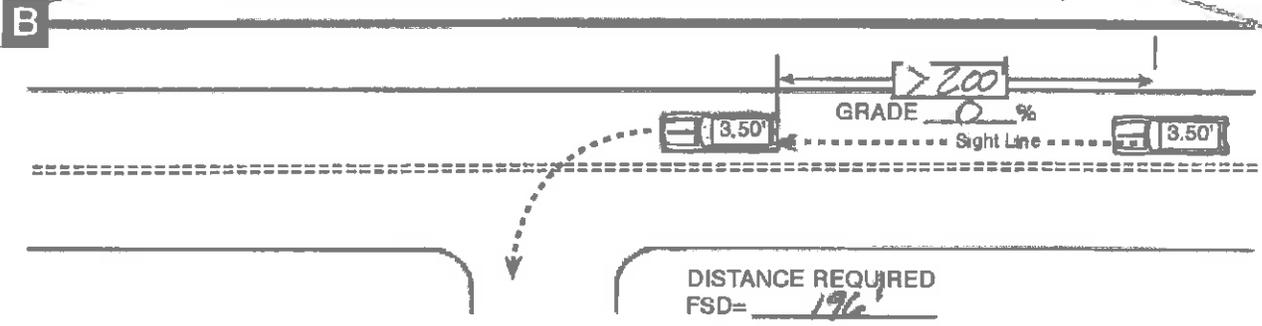
S.R. _____ SEG. _____ OFFSET _____ LEGAL SPEED LIMIT NO POSTING

MEASURED BY _____ DATE 3/13/2015

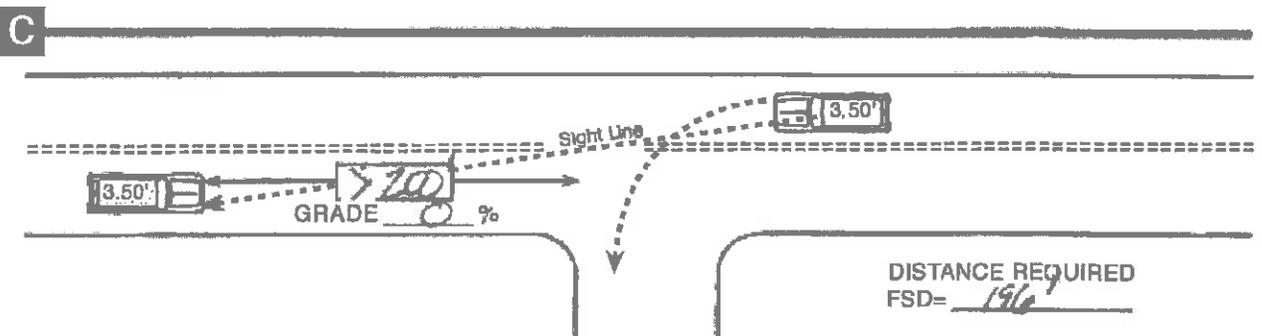
FOR DEPARTMENT USE ONLY: Safe-Running Speed 30 MPH 85th Percentile Speed _____
ASSUMED



THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER AT A DRIVEWAY LOCATION CAN CONTINUOUSLY SEE ANOTHER VEHICLE APPROACHING ON THE ROADWAY,



THE MAXIMUM LENGTH OF ROADWAY ALONG WHICH A DRIVER ON THE ROADWAY CAN CONTINUOUSLY SEE THE REAR OF A VEHICLE WHICH IS LOCATED IN THE DRIVER'S TRAVEL LANE AND WHICH IS POSITIONED TO MAKE A LEFT TURN INTO A DRIVEWAY.



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FORMULA SIGHT DISTANCE TABLE

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50	462	471	481	492	504	517	531	546	563	581	600
55	538	550	562	576	590	606	622	641	661	682	706

boyd ernzer

From: Michael Andrewsh <mandrewsh@dewooster.com>
Sent: Friday, June 12, 2015 10:46 AM
To: boyd ernzer (bernzer@fmginc.us); Quinn, Paul
Subject: FW: FW: tough one--- will call you this morning

From: Broadwater, Amanda [<mailto:amanda.broadwater@pittsburghpa.gov>]
Sent: Friday, June 12, 2015 10:40 AM
To: Michael Andrewsh; Kate Rakus; Patrick Roberts
Subject: Re: FW: tough one--- will call you this morning

Mike,

this is not only an access issue but also a site plan issue. the goal is to have an urban design which requires building frontage along the main street.

I would not support a full access driveway onto Baum Blvd for this development parcel. however, i would not prohibit driveways for the length of Baum boulevard. Each parcel must have access to a public way, and each must be treated individually. the safest egress for the Arby's parcel is onto Cypress where drivers can reach the signalized intersection.

Patrick and Kate can add to this as they like. site plan approvals ultimately come from Planning.

Amanda Purcell, P.E.
Municipal Traffic Engineer
City of Pittsburgh, Department of Public Works
414 Grant Street
Pittsburgh, PA 15219
Phone: 412-255-8846
Fax: 412-255-8847

On Fri, Jun 12, 2015 at 10:29 AM, Michael Andrewsh <mandrewsh@dewooster.com> wrote:

Amanda,

The Arby' group attended another BCC meeting with Janet Scullion on the Arby's location at Cypress and Baum. There were about 4 people in the neighborhood that want an access out onto Baum. I couldn't be more clear that another egress on Baum was not acceptable. Not only would the City not allow it but that access is better served to the existing signal at Cypress for egress movements. That the benefit of a corner property with a signal should apply access management practices and limit any additional curb cuts along Baum. Apparently they will not recommend the project if an egress onto Baum is not provided. We have a BCI meeting in two weeks. Can I bring to the table that the City is in agreement with the access configuration as is and that and egress will not be allowed.

Michael A. Andrewsh, P.E.



David E. Wooster and Associates, Inc.

Straightforward & Unwavering

2 East Crafton Avenue
Pittsburgh, PA 15205-2804
Tel - 412.921.3303
Fax - 412.921.2609

From: William R. Sittig, Jr. [mailto:wsittig@scwlaw.com]
Sent: Friday, June 12, 2015 10:04 AM
To: Quinn, Paul; boyd ernzer (bernzer@fmginc.us); Michael Andrewsh
Subject: FW: tough one--- will call you this morning

Paul,

I spoke with Janet about her message below. The Cypress Street neighbors want the primary access moved to Baum despite our repeated representations that the City will not permit a full access driveway. The neighbors keep pointing to UPMC's access to the Luna garage. They all know that the Luna garage access is not comparable because it has its own traffic signal. Attached is the sheet from UPMC's master plan showing the approved access.

Janet said we need to ask the City again for a full access drive onto Baum. In response to that demand, we need to obtain a definitive statement from the City that under no circumstance will the City allow a full access driveway on Baum-for this or any other project. My suggestion is for Mike to reach out to Amanda Broadwater and request, based on the demands of the Cypress Street residents, to install a full access driveway on Baum. If possible, we need to obtain Amanda's response in advance of the BCI meeting next week because Janet indicated that BCI is likely to make the same demand.

We also need to file for a fence height variance. Boyd can either file it directly with the Zoning Office or I can file it if the proposed fence plan is provided.

We have some work to do to limit opposition to the Cypress Street neighbors but I still believe we can get there.

Bill

From: JanetScullion@aol.com [mailto:JanetScullion@aol.com]

Sent: Friday, June 12, 2015 6:21 AM

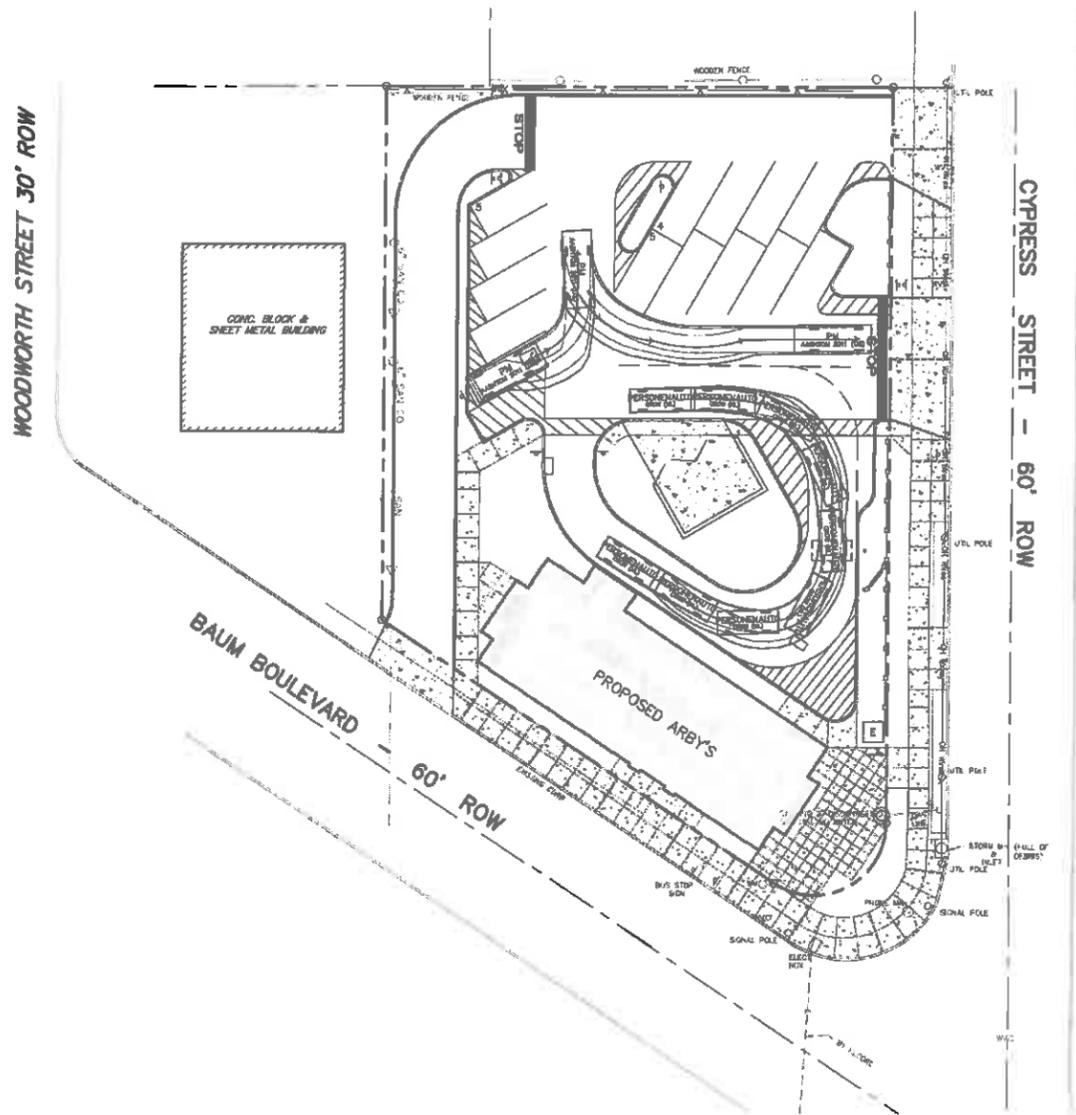
To: William R. Sittig, Jr.

Subject: tough one--- will call you this morning

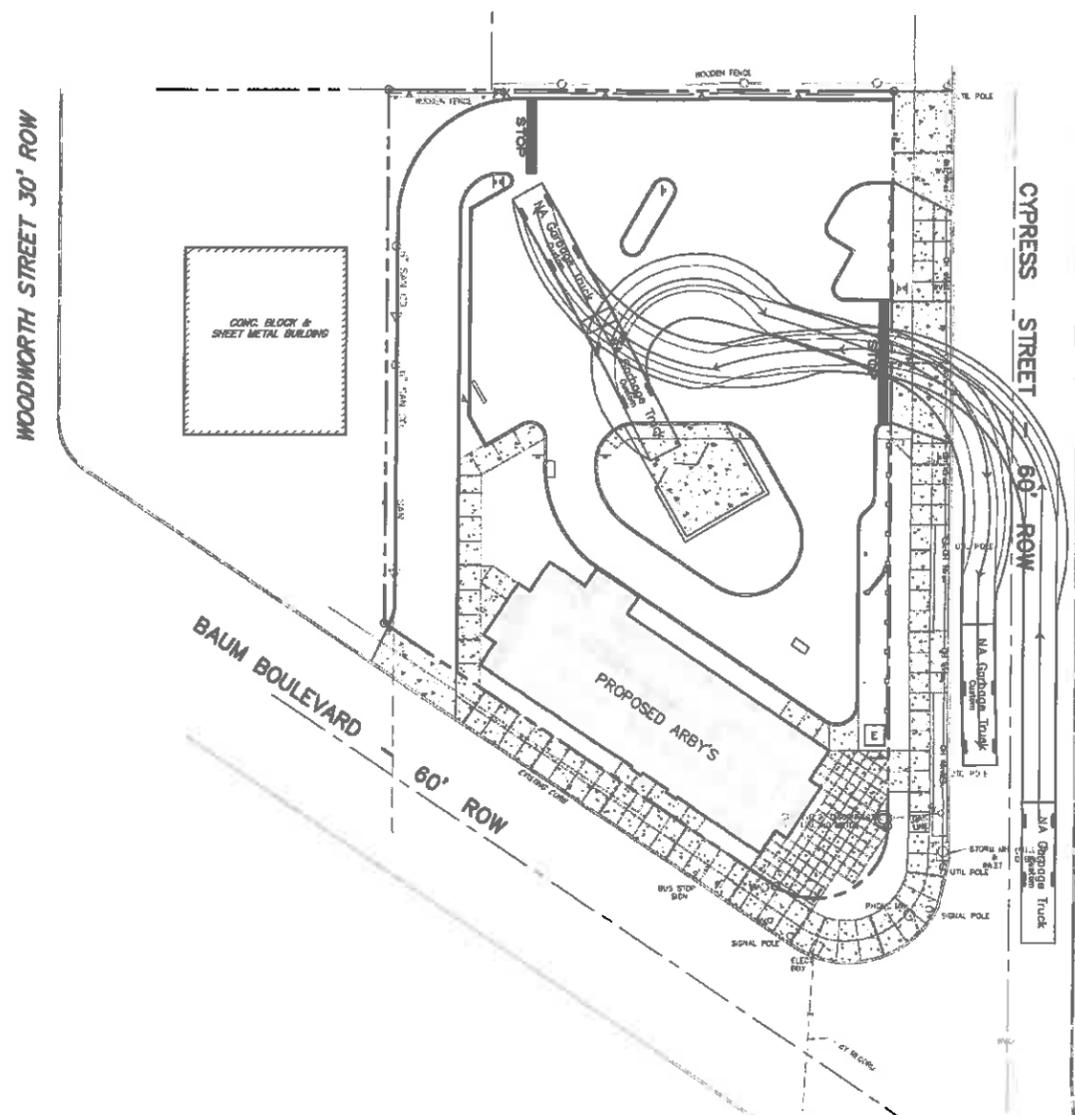
Need two driveways, just like Luna garage out on Baum, with right turn only, or the project won't fly. Too much spillage out into the neighborhood Janet



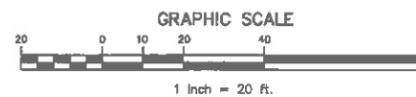
Arby's Restaurant
 5151 Baum Boulevard
 July 2015



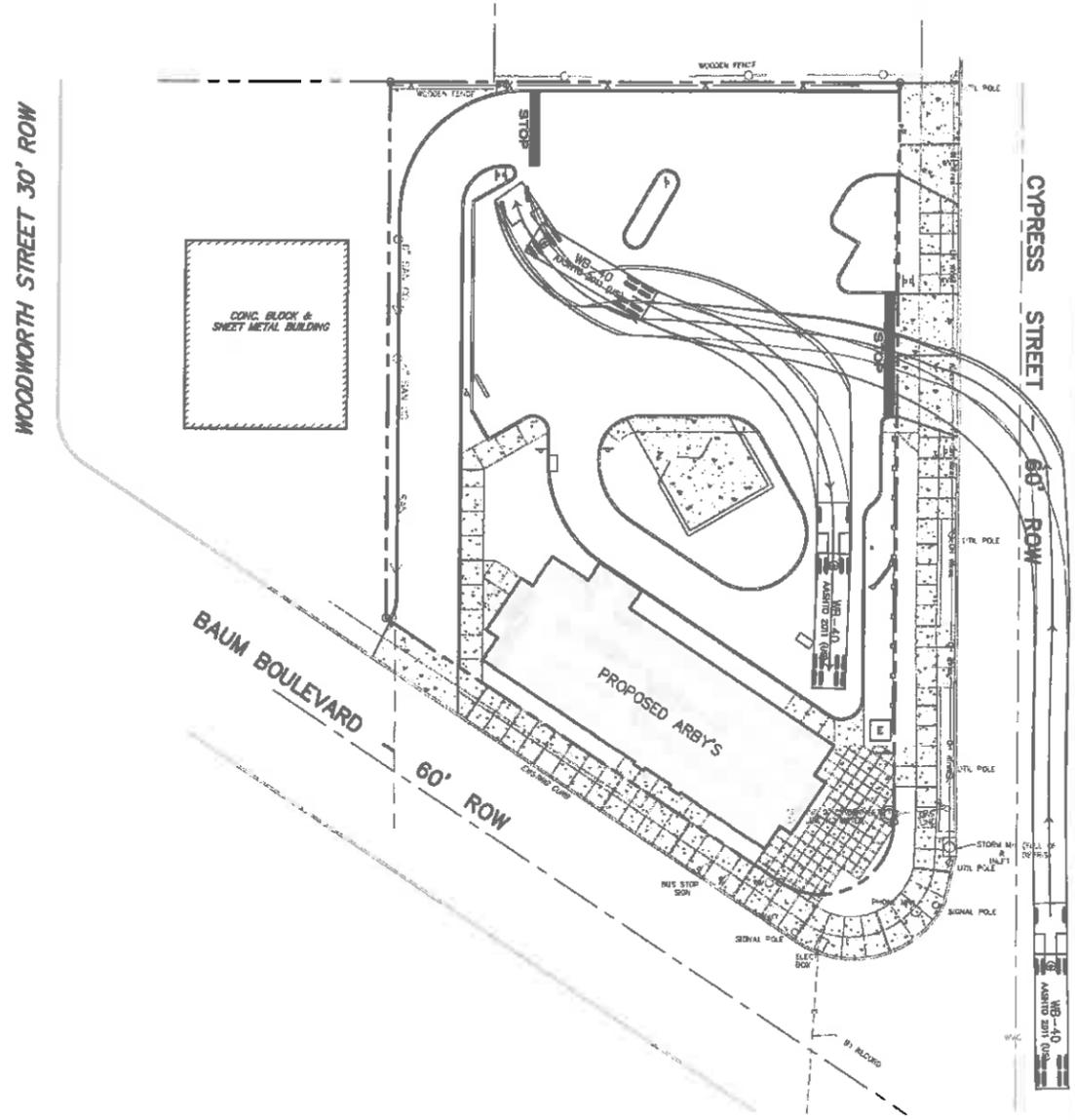
DRIVE THRU
STACKING



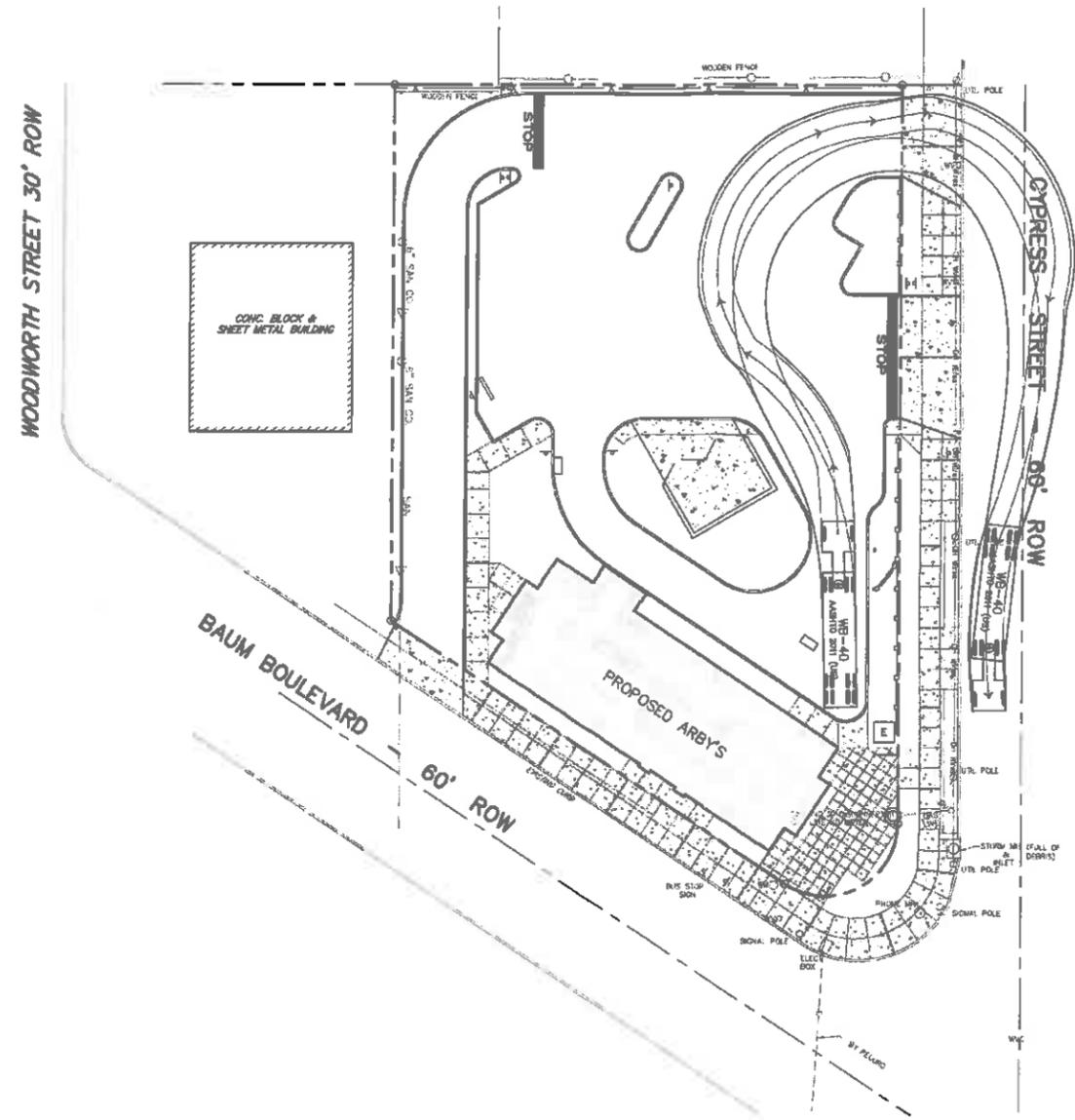
GARBAGE TRUCK



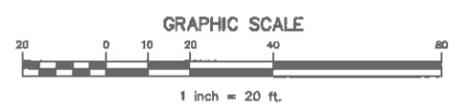
REVISIONS _____ _____ _____	ARBY'S RESTAURANT GROUP INC. <small>22140 COUNTRY WAY STRONGSVILLE, OH 44148</small>		SCALE 1"=20'
	AUTOTURN - DRIVE THRU STACKING AUTOTURN - GARBAGE TRUCK		DATE APR. 20, 2015
	ARBY'S RESTAURANT 5151 BAUM BOULEVARD		DRAWN BY R.J.H / K.M.Z
	CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA. FAHRINGER, McCARTY, GREY, INC. <small>LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.</small>		SHEET NUMBER AT-1



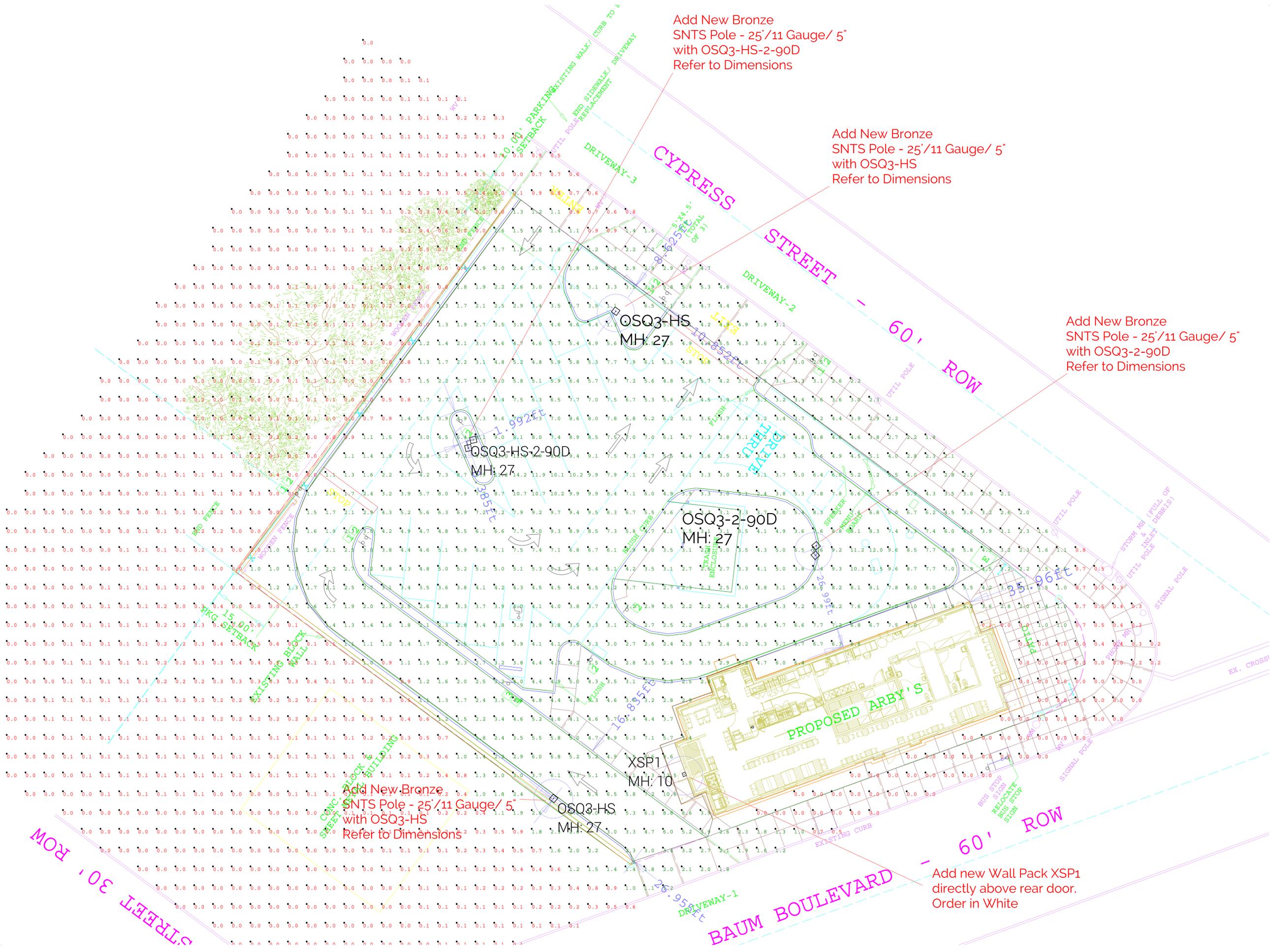
ENTERING



LEAVING



JOB NO. 4881 REF. 2011.0312.000	ARBY'S RESTAURANT GROUP INC. 22140 COUNTRY WAY STRONGSVILLE, OH 44148		SCALE 1"=20'
	AUTOTURN - WB-40 ARBY'S RESTAURANT 5151 BAUM BOULEVARD		DATE APR. 20, 2015
	CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.		DRAWN BY R.J.H. / K.M.Z.
	FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.		SHEET NUMBER AT-2



Add New Bronze
SNTS Pole - 25'/11 Gauge/ 5"
with OSQ3-HS-2-90D
Refer to Dimensions

Add New Bronze
SNTS Pole - 25'/11 Gauge/ 5"
with OSQ3-HS
Refer to Dimensions

Add New Bronze
SNTS Pole - 25'/11 Gauge/ 5"
with OSQ3-2-90D
Refer to Dimensions

Add New Bronze
SNTS Pole - 25'/11 Gauge/ 5"
with OSQ3-HS
Refer to Dimensions

Add new Wall Pack XSP1
directly above rear door.
Order in White

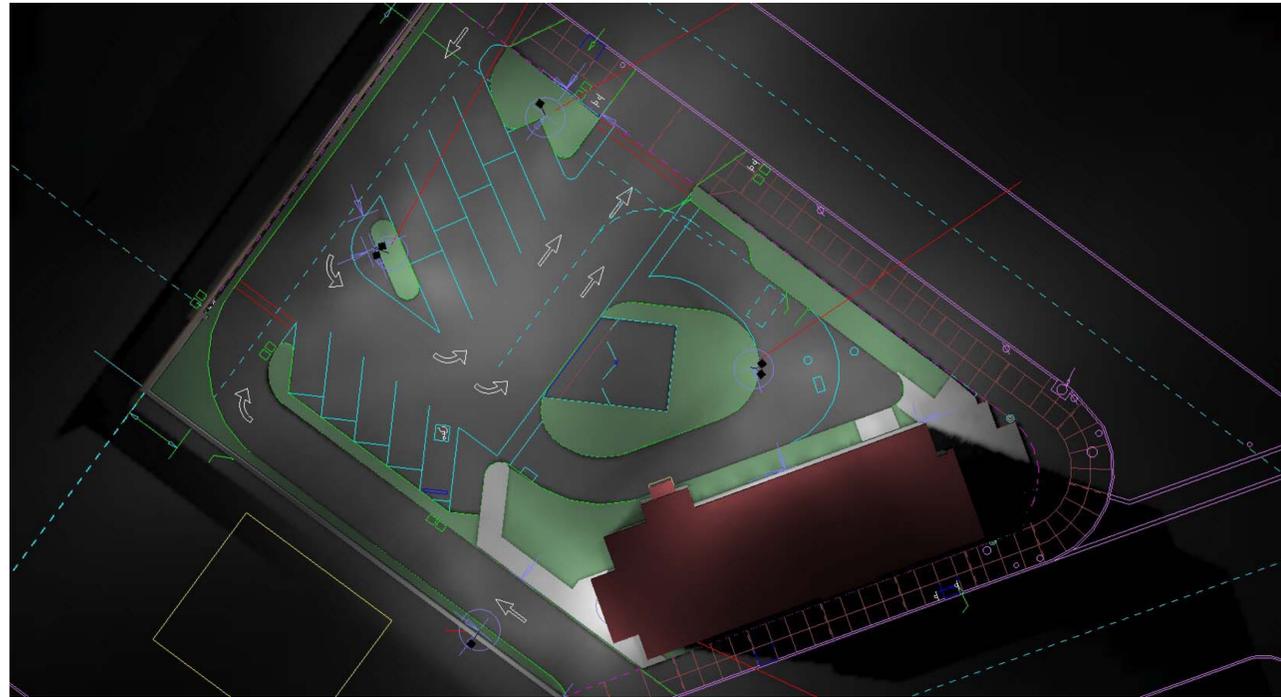


REV.	DATE	DESCRIPTION
#	6/02/2014	DESCRIPTION

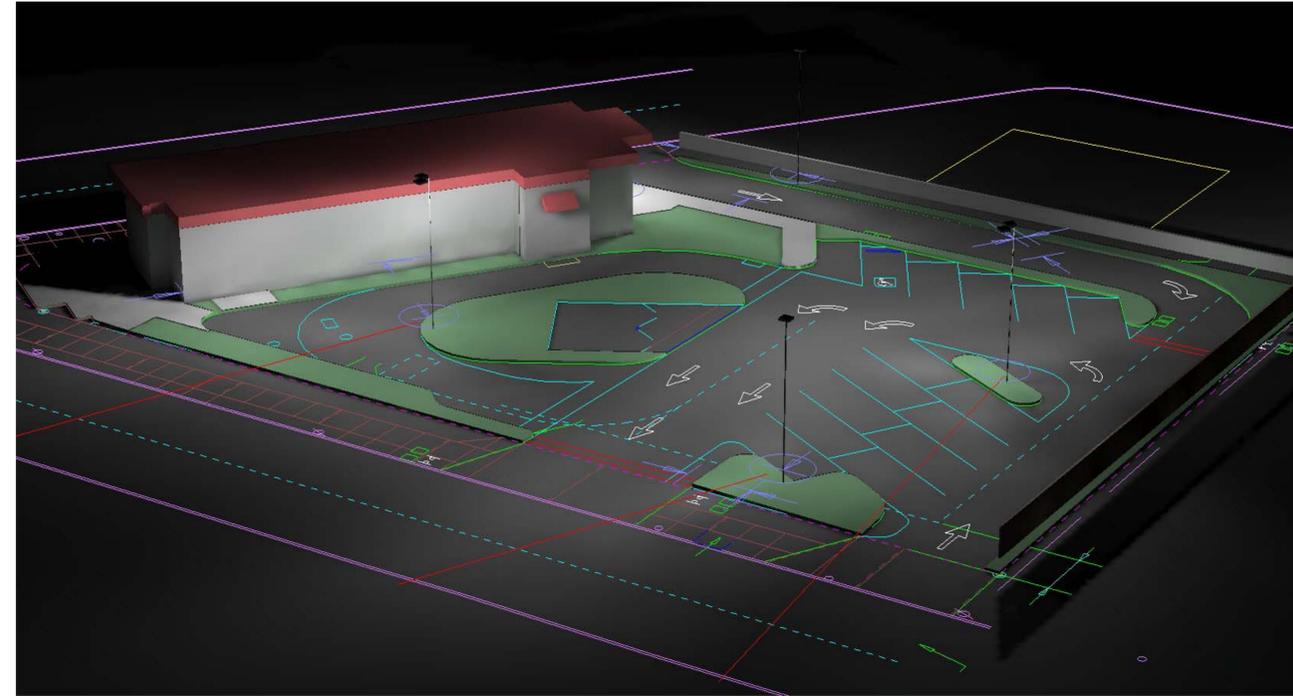
DRAWN BY : JRR
CHECK BY : ELH
DATE : 05.27.15
SCALE : 1" = 12'

9261 JORDAN AVE.
CHATSWORTH, CA 91311
800 - 284 - 2024





Proposed Design - Plan View



Proposed Design - Side View

General Notes:

- + Contractor to re-route all exposed conduit through building so as to conceal
- + Contractor responsible to verify information in this document prior to installation
- + When new pole is specified all existing poles need to be re-painted to match
- + Calculations are based on the IES files supplied by the manufactures

FIXTURE SCHEDULE

Symbol	Qty	Label	Description	Manufacturer	Catalog Number	Total Lamp Lumens	LF	Lum. Watts	Total Watts
+	1	XSP1	25W LED Wall Pack - 4K	Cree Inc	XSPW-A-0-3-F-G-U-Z	N.A.	0.900	24.4	24.4
◇	1	OSQ3-2-90D	(2) OSQ A DA 3ME S-223W 40K UL BZ	Cree Inc	OSQ A DA 3ME S-223W 40K UL BZ	N.A.	0.900	220.02	440.04
+	2	OSQ3-HS	OSQ A xx 3ME S 40K-UL w_ OSQ-BLSLF CONFIGURED FROM OSQ A xx 3ME S 40K-UL w_ OSQ-BLSLF C	Cree Inc	OSQ A xx 3ME S 40K-UL w_ OSQ-BLSLF C	N.A.	1.000	223	446
◇	1	OSQ3-HS-2-90D	OSQ A xx 3ME S 40K-UL w_ OSQ-BLSLF CONFIGURED FROM OSQ A xx 3ME S 40K-UL w_ OSQ-BLSLF C	Cree Inc	OSQ A xx 3ME S 40K-UL w_ OSQ-BLSLF C	N.A.	1.000	223	446

LPD Area Summary	
Total Watts	1356.44

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Arby's Parking Lot	Illuminance	Fc	4.72	14.2	0.5	9.44	28.40





CITY OF PITTSBURGH
 DEPARTMENT OF CITY PLANNING
 ZONING • DEVELOPMENT REVIEW
 200 ROSS STREET • THIRD FLOOR
 PITTSBURGH • PENNSYLVANIA • 15219

ZONE CHANGE PETITION

Address

CARNEGIE MELLON UNIV., 5000 FORBES AVE

Owner:

CARNEGIE MELLON UNIVERSITY

Address:

5000 FORBES AVE, 15213

Phone:

412.268.5259

Applicant / Agent:

BOB REPPE

Address:

Phone:

412.266.6905

Property owners or representatives of property described who join this petition.

Owner's Name	Property
CARNEGIE MELLON UNIV.	see attached
CENTRAL CATHOLIC	see attached

If additional space is required, list on a separate sheet and attach.

Block & Lot:

see attached

Ward:

14

Sq. ft. of site:

410,250 +/-

or, number of acres:

9.5

Existing Zoning

RIA-VH, RM-H, RM-VH

Proposed Zoning:

EMI

Present use of site:

INSTITUTIONAL USES - Heavy SI: Central Catholic + PARKING
 VACANT - former Dearden Center (4721 FIFTH)

Proposed use & improvements: (attach map of proposed zone change area)

EXISTING INST. USES (INCL. CENTRAL CATHOLIC) TO REMAIN.
 VACANT PROPERTY REDEVELOPED AS INSTITUTIONAL USE
 PER AMENDED 2012 I.M.P.

(if additional space is required, attach a separate sheet)

The proposed Zone Change is appropriate and desirable and that this use will not be detrimental to the immediate neighborhood because:

EXISTING USES TO REMAIN - NOW PART OF CMU MASTER PLAN AREA, - PERMIT REDEVELOPMENT OF VACANT SPACE

The proposed application will comply with the conditions specified in the Code by:

FULLY IN ACCORDANCE WITH CMU 2012 MASTER PLAN (AMENDED)

NOTICE TO ANYONE WHO JOINS THIS PETITION:

Despite any statements of proposed use made above, enactment of this ordinance will permit involved property to be used for any of the uses listed in the classification table of the Zoning Ordinance.

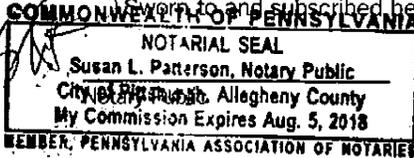
STATEMENT OF TRUTH

COMMONWEALTH OF PENNSYLVANIA, COUNTY OF ALLEGHENY

Deponent, being duly sworn, says that they are the:

- Owner of record of the property for which this application is made, and that all the statements and data furnished with this application is true and correct.
Authorized agent for the owner of record of the property for which this application is made and as such has express authority to bind such owner to all terms and conditions of any Occupancy permit issued pursuant to this application, and that all the statements and data furnished with this application are true and correct.

Sworn to and subscribed before me this 2nd day of July 2015.



Applicant (signature)

Applicant (printed)

Assoc Vice President, Carnegie Mellon

RECORD OF ACTIONS (to be completed by City Planning)

Form fields for Address, Check #, Date Filed, Land Use #, Zoning District, Zone Change #, and Proposed Zoning.

Planning Commission recommendation section with checkboxes for Approved/Denied and a Date of Action field.

City Council action section with checkboxes for Approved/Denied and a Date of Action field.

The proposed Zone Change is appropriate and desirable and that this use will not be detrimental to the immediate neighborhood because:

EXISTING USES TO REMAIN - NOW PART OF CMU MASTER PLAN AREA - PERMIT REDEVELOPMENT OF VACANT SPACE

The proposed application will comply with the conditions specified in the Code by:

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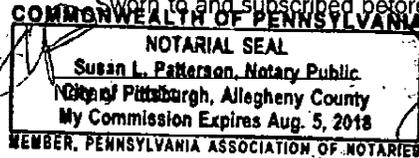
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Sworn to and subscribed before me this 2ND day of July 2015.



Applicant (signature)

JAMES T LEEPER
Applicant (printed)
VICE Chairman, Central Catholic
Board of Directors

RECORD OF ACTIONS (to be completed by City Planning)

Address Check # PAID \$

Date Filed _____ Land Use # _____

Zoning District _____ Zone Change # _____

Proposed Zoning _____

Planning Commission recommendation

Approved Denied DATE OF ACTION

City Council action

Approved Denied DATE OF ACTION

Carnegie Mellon University

Campus Design and Facility Development

Properties to Rezone

(see attached maps)

From R1A-VH to EMI

52-J-177, 181, 191, 316, 317, 320, 322 & 325

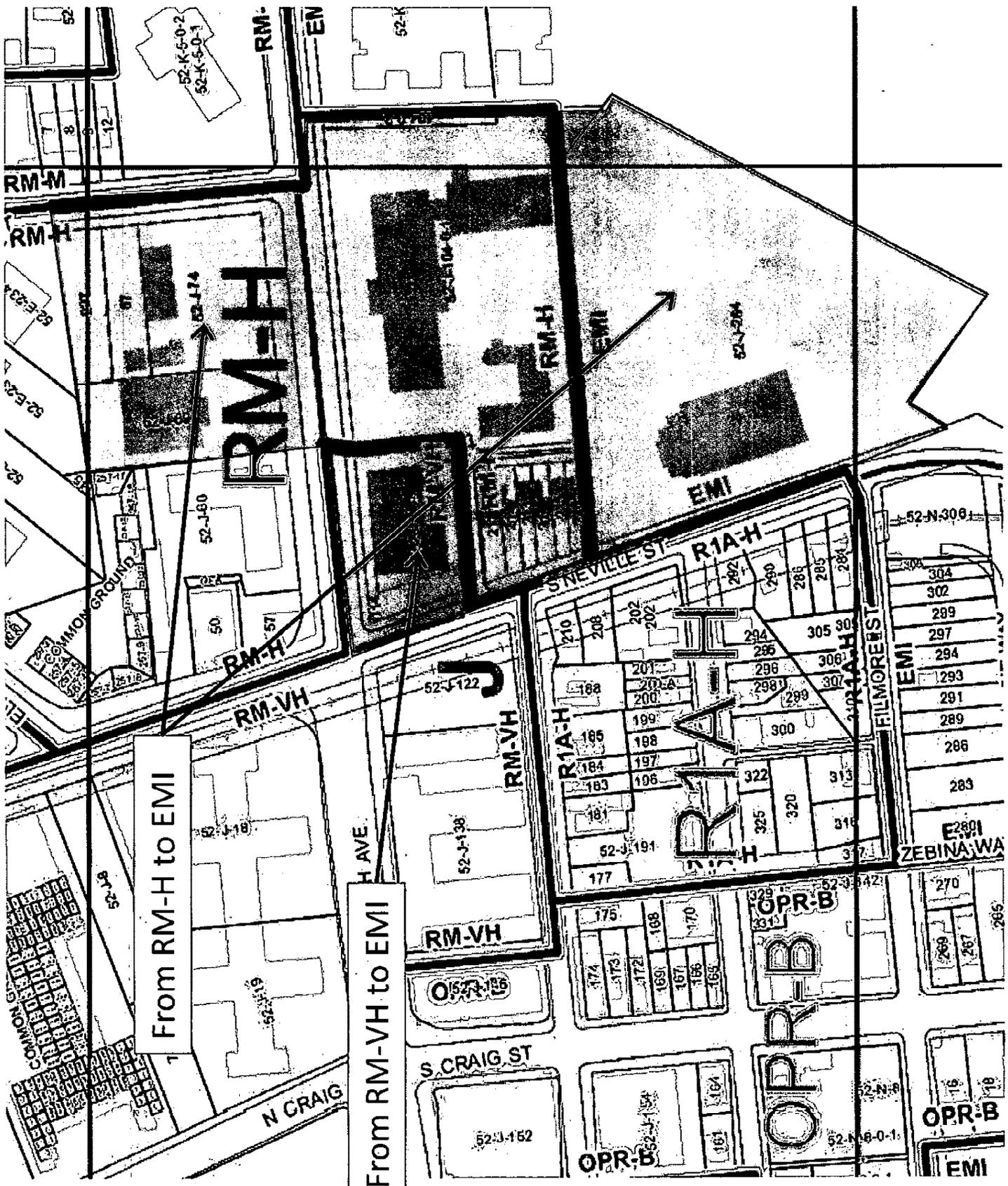
From RM-H to EMI

52-E-227

52-J-69, 74, 87, 104, 211, 212, 213, 214, 215, 216, 217 & 264

From RM-VH to EMI

52-J-114 & 116



From RM-H to EMI

From RM-VH to EMI

RM-H

EMI

R1A-H

RM-VH

OPR-B

S CRAIG ST

OPR-B

OPR-B

OPR-B

EMI

ZEBINA WA

FILMORE ST

S NEVILLE ST

RM-VH

RM-H

52-J-160

52-J-122

52-J-138

52-J-162

R1A-H

52-N-308

52-J-174

52-J-118

52-J-125

52-J-125

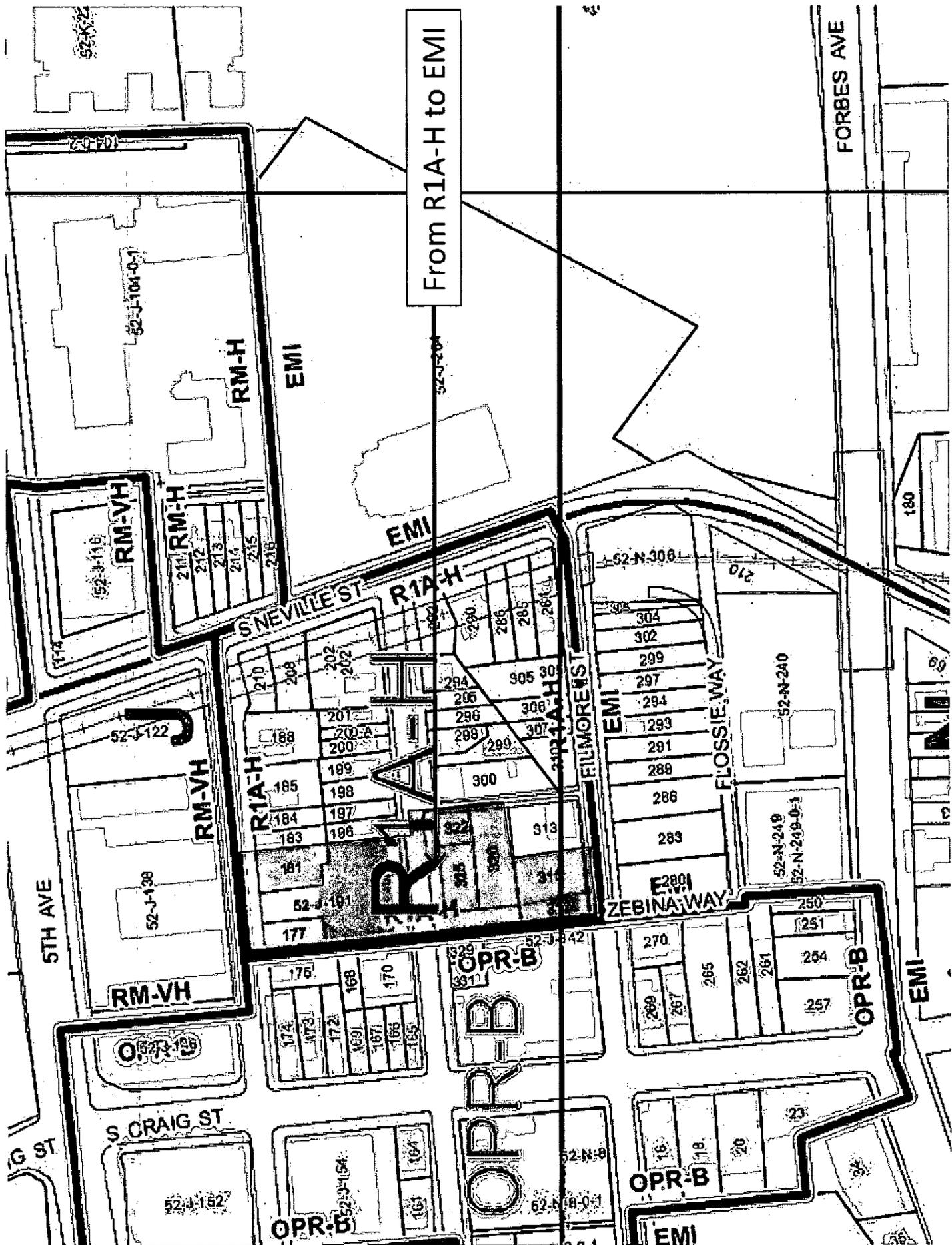
50

57

52-J-174

From R1A-H to EMI

FORBES AVE



5TH AVE

S NEVILLE ST

S CRAIG ST

FILMORE ST

FLOSSIE WAY

ZEBINA WAY

RM-VH

RM-H

RM-H

RM-VH

RM-VH

OPR-B

OPR-B

OPR-B

OPR-B

OPR-B

OPR-B

EMI

EMI

R1A-H

R1A-H

EMI

EMI

EMI

52-J-101

52-J-104-0-1

52-J-110

52-J-122

52-J-138

52-J-191

52-J-196

52-J-152

52-N-154

52-J-842

52-N-8

52-N-8-0-1

52-N-308

52-N-240

52-N-249
52-N-249-0-1

E2801

52-K-22

180

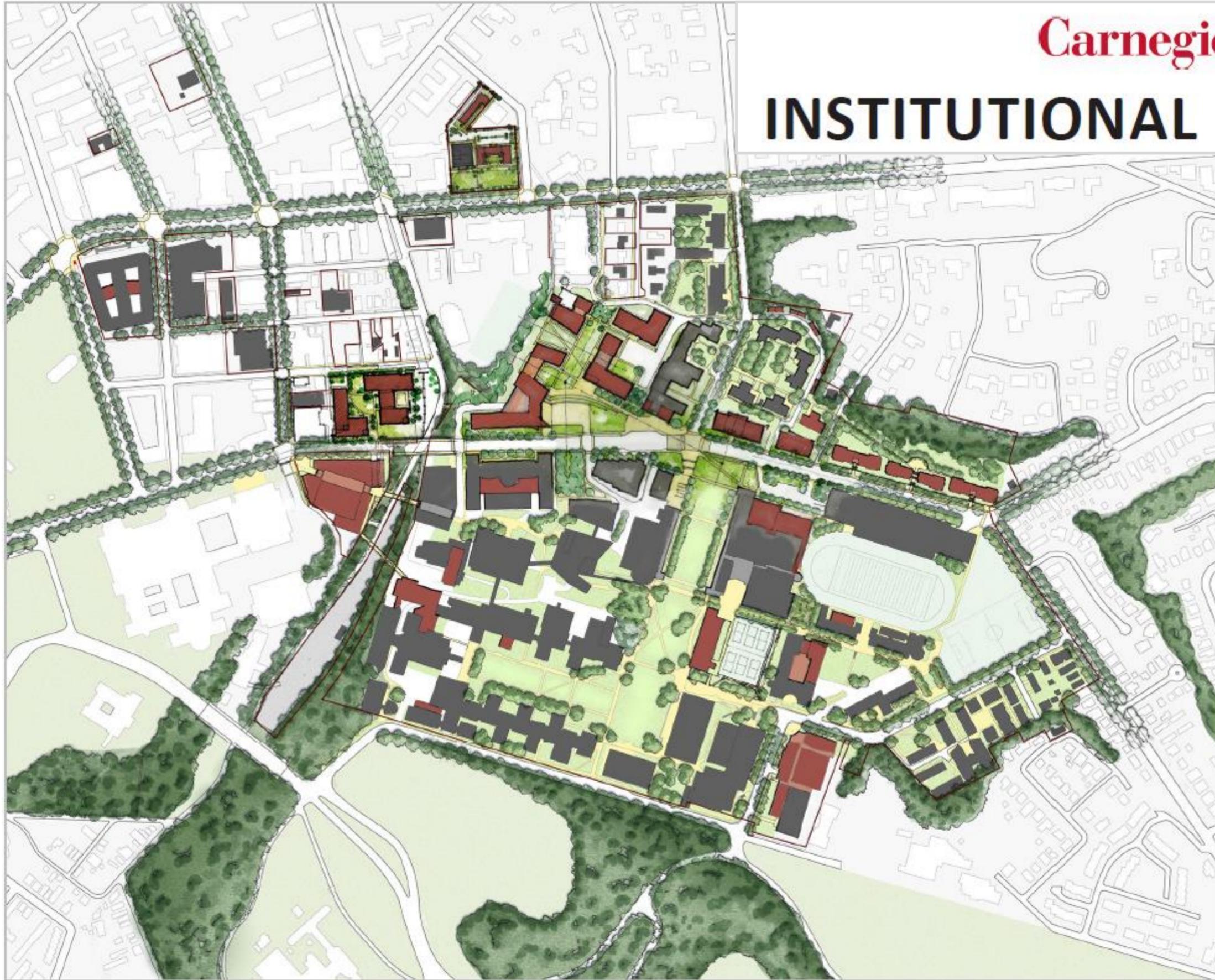
69

35

56

Carnegie Mellon University

INSTITUTIONAL MASTER PLAN

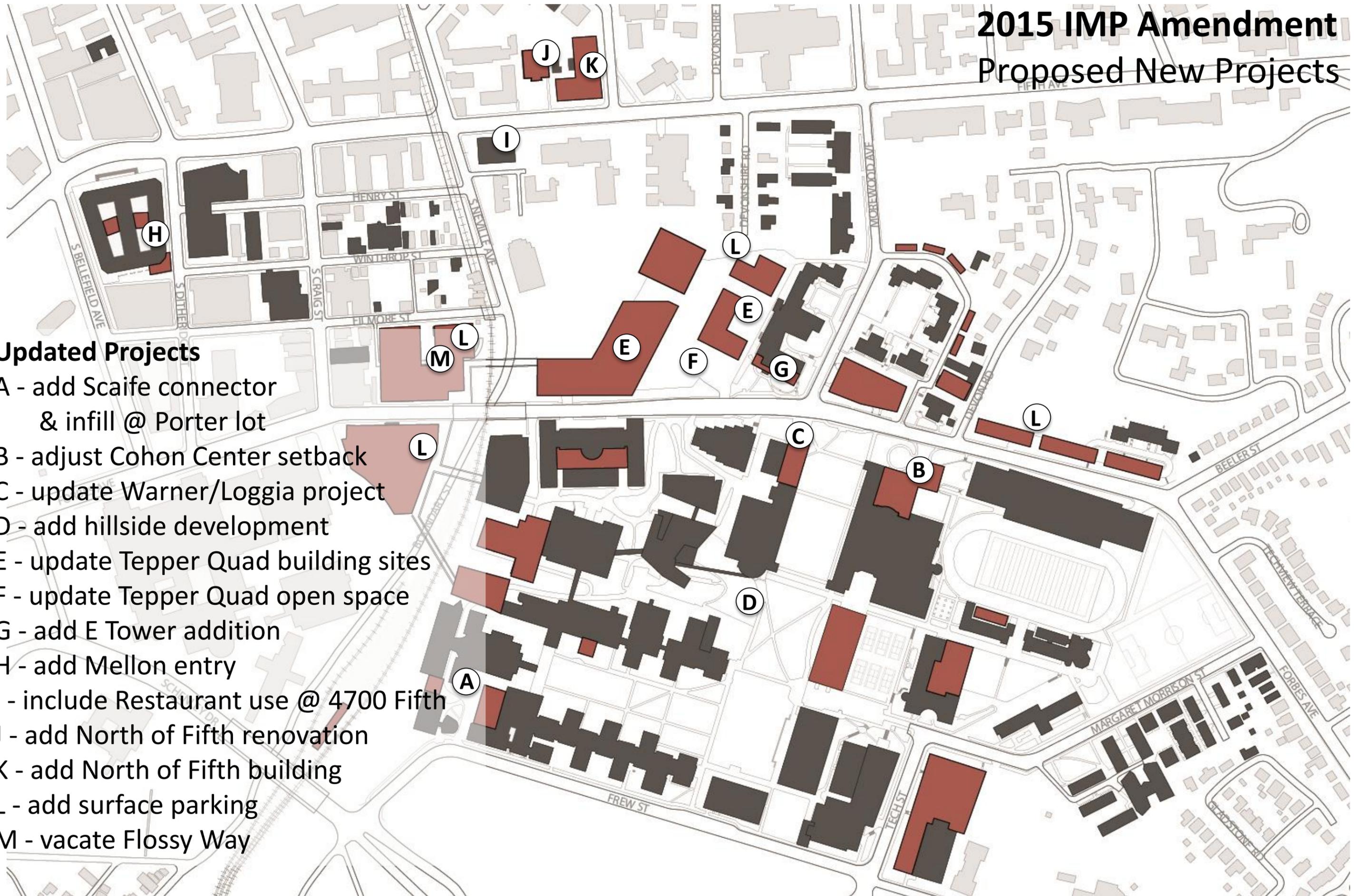


Amended 2015

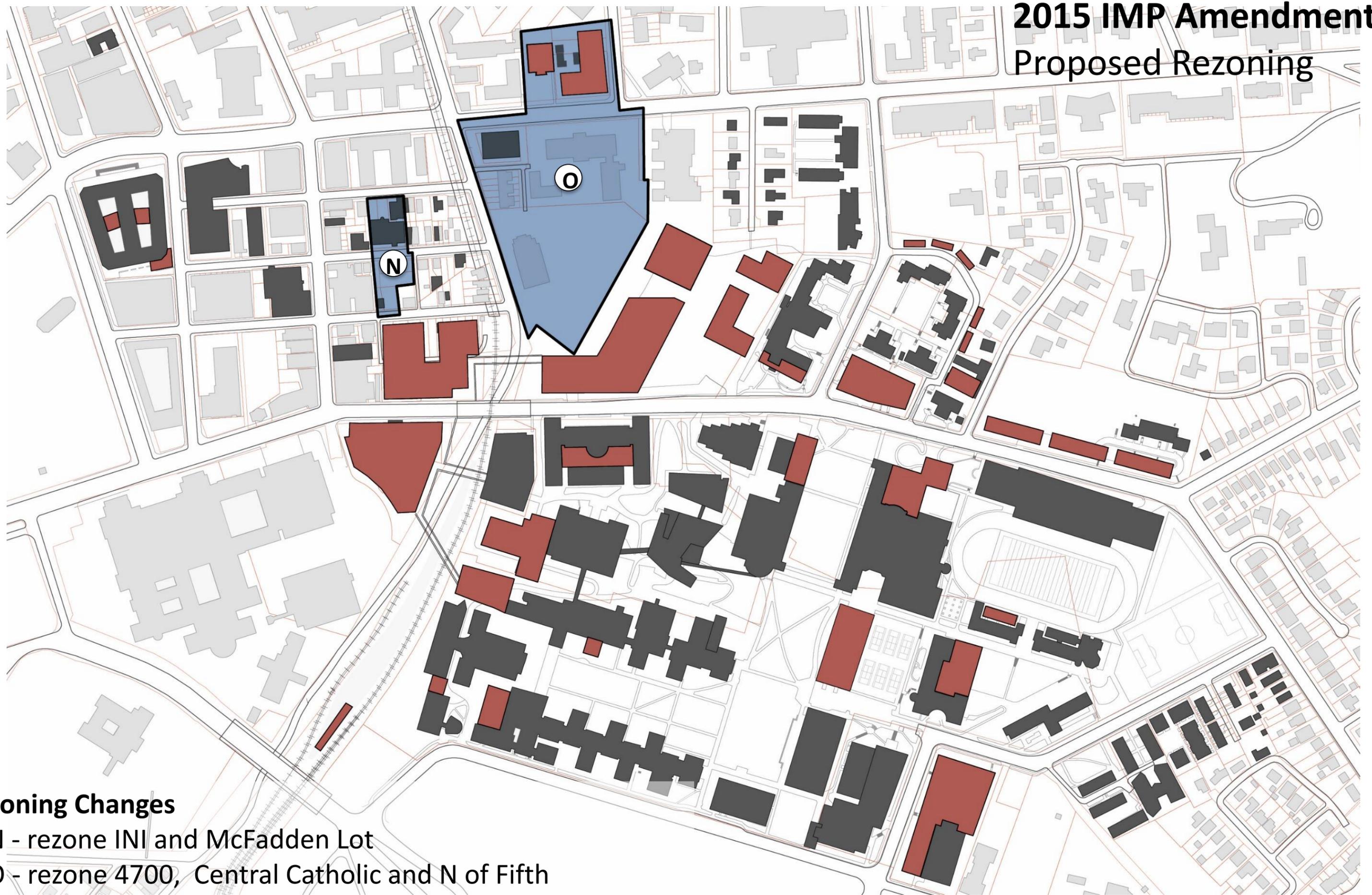
2015 IMP Amendment Proposed New Projects

Updated Projects

- A - add Scaife connector & infill @ Porter lot
- B - adjust Cohon Center setback
- C - update Warner/Loggia project
- D - add hillside development
- E - update Tepper Quad building sites
- F - update Tepper Quad open space
- G - add E Tower addition
- H - add Mellon entry
- I - include Restaurant use @ 4700 Fifth
- J - add North of Fifth renovation
- K - add North of Fifth building
- L - add surface parking
- M - vacate Flossy Way



2015 IMP Amendment Proposed Rezoning

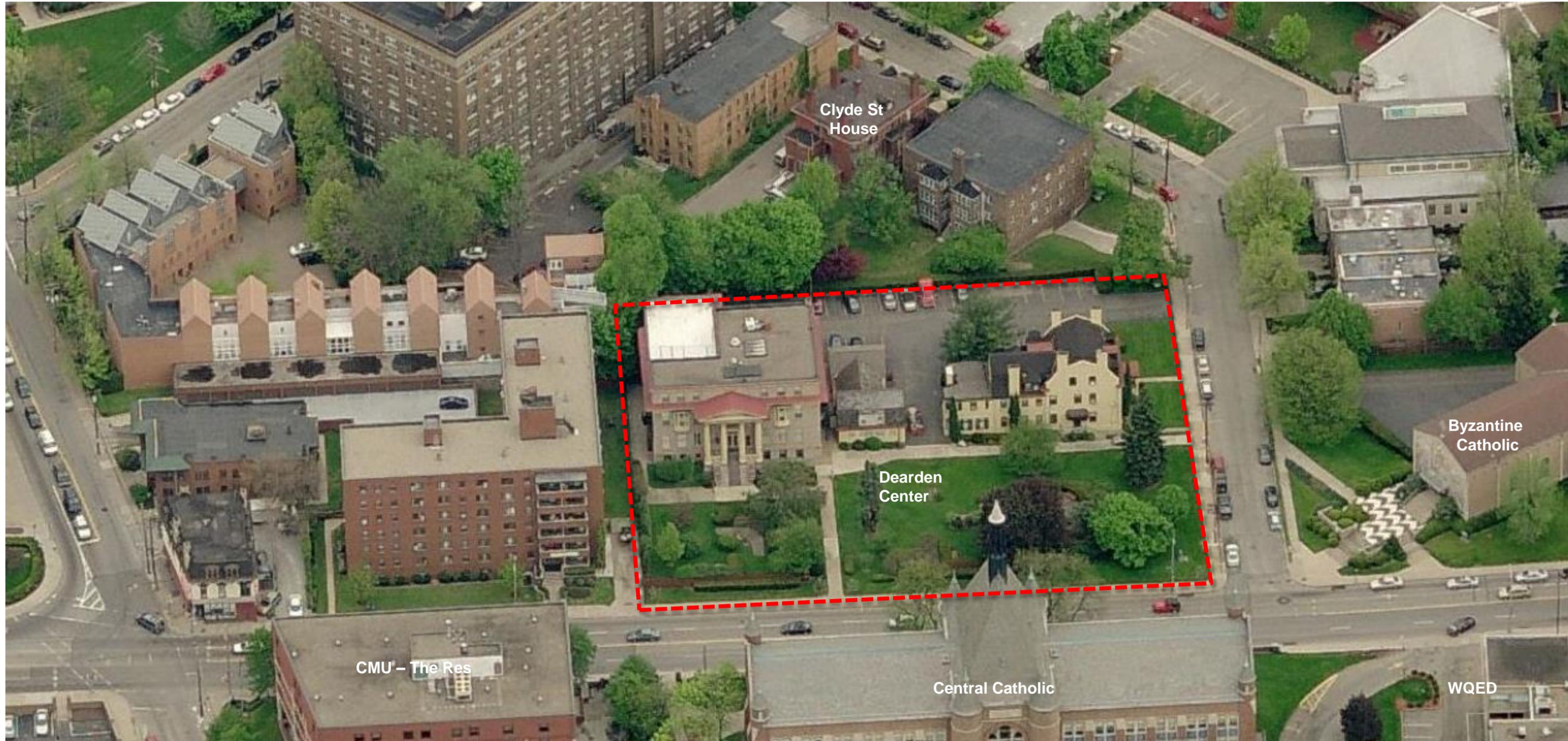


Zoning Changes

- N - rezone INI and McFadden Lot
- O - rezone 4700, Central Catholic and N of Fifth

Site

- Acquired from the Pittsburgh Diocese in 2012
- Clyde Street House, renovated summer 2014, not included



Adaptive re-use

- Mix of renovation and new construction is appropriate
- Dearden Center is a candidate for repurposing within the existing envelope



Redevelopment

- Smaller structures on the site are in poor condition and have limited potential for re-use
- Redevelopment creates an opportunity for new facilities







DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: CARNEGIE MELLON Phone Number: (412 268-5259

Address: 5000 FORBES City: PITTSBURGH State: PA Zip Code: 15213

2. Applicant/Company Name: BOB PATTE Phone Number: (412 266-6905

Address: City: State: Zip Code:

Applicant/Contractor ID:(assigned by the City)

3. Development Name: TEPPER BUILDING 4 QUAD

4. Development Location: EXISTING MOREWOOD PARKING LOT

5. Development Address: 4765 FORBES AVE

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District: N/A

Present Use of Site:
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: Date Issued: Existing Use of Property:

8. Estimated Construction: Start Date: 10/1/2015 Occupancy Date: 2/1/2018 Project Cost: \$ 201M

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): EDUCATIONAL CLASSROOM (GEN) + ACCESSORY SUPPORT

10. Select the Type of Work:

- New Construction, New Renovation, Interior
 New Construction, Renovation, Exterior
 Change in Use Only Renovation, Change in Use

11. Describe the Development:

CONSTRUCTION OF NEW 5-STORY BUILDING TO HOUSE TEPPER SCHOOL OF BUSINESS + UNDERGROUND PARKING + SUPPORT INCL. ~~OFFICE~~ DINING + FITNESS CEN.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: 0 sq ft
 Existing to be Retained: 0 sq ft
 Retained Area to be Renovated: 0 sq ft
 To be Constructed: 300,000 sq ft
 Building Footprint: 100,000 sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	-	-	5	75
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 345,000 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	297	127 + 200 (unpaved)
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')	7	7

Off-Street Loading Spaces: N/A
 Actual: 4
 Required: 3 (+ off-site warehouse for shipping/receiving)

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> 1 </u> New Water Service Connection(s)	<u> 0 </u> Termination of Existing Water Service Tap(s)
<u> 1 </u> New Sewer Service Connection(s)	<u> 0 </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

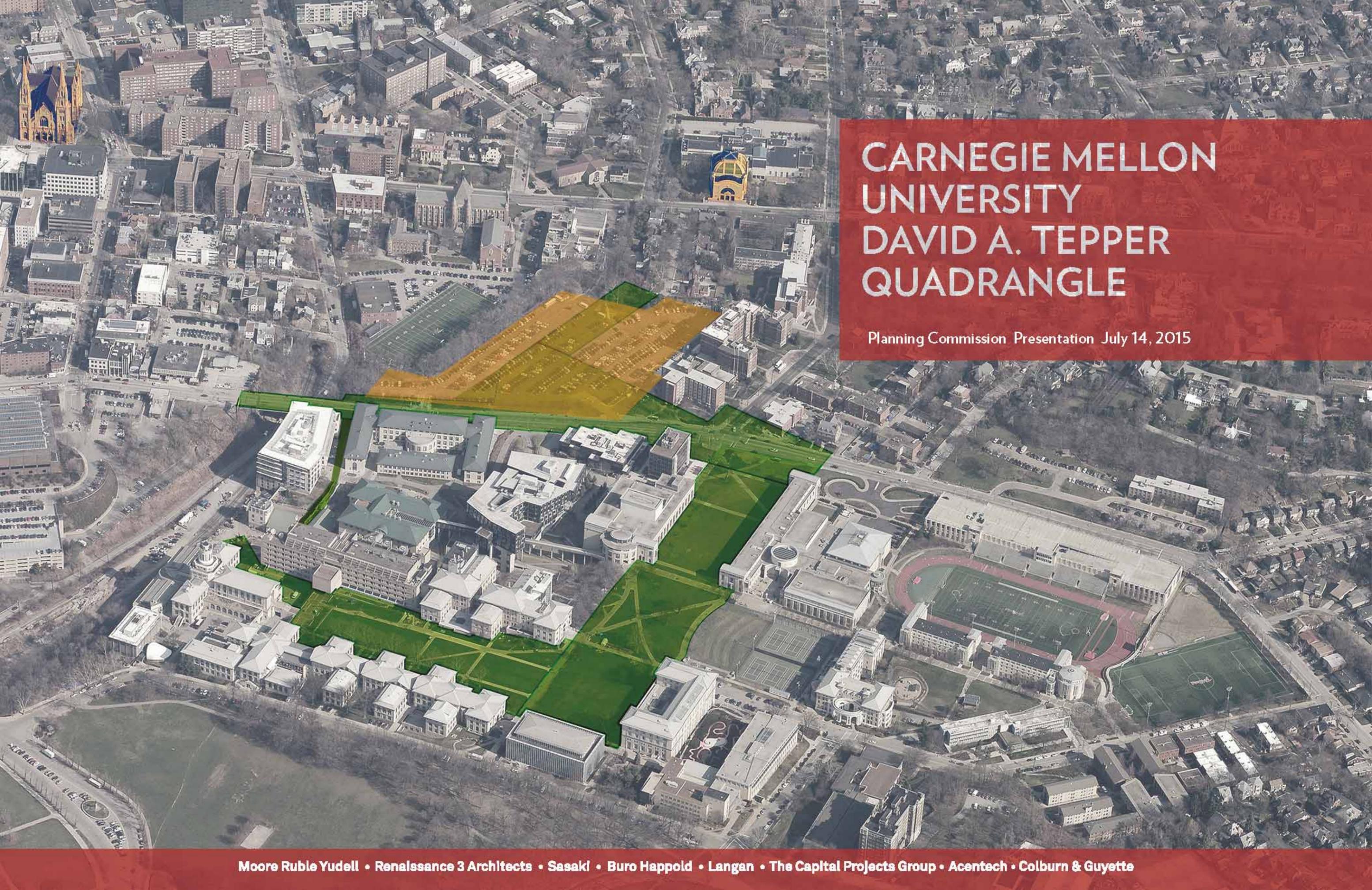
WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



CARNEGIE MELLON UNIVERSITY DAVID A. TEPPER QUADRANGLE

Planning Commission Presentation July 14, 2015



Craig Street

S. Neville Street

Fifth Avenue

Morewood Avenue

Forbes Avenue

INCLUSIVE HUB

- **Tepper School of Business**
- **Dining**
- **Fitness**
- **Auditorium**
- **Welcome Center**
- **Entrepreneurship Center**
- **TEL Center / Eberly / Simon Initiative**
- **Alumni, Business Community, Satellite Campuses**

Zoning Criteria from Master Plan

3.5.7 North Campus

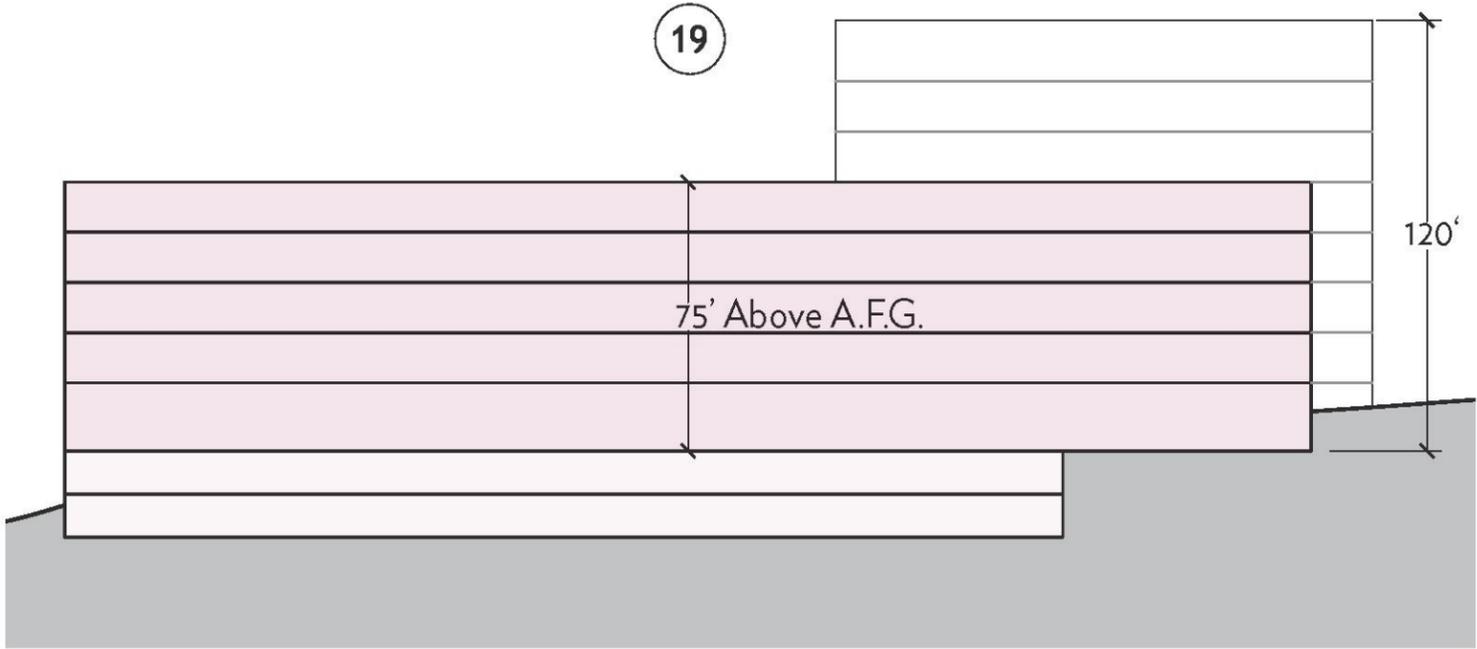
18. North of Forbes Development Site

DESCRIPTION	New mixed use building with up to 500 underground parking spaces
USES	Office and research for corporate partners, hotel, academic, ground floor retail on Forbes, parking
SQUARE FEET	385,000 gsf
HEIGHT	6 stories (90 ft) first 25 ft from Forbes Ave; 4 stories (50 ft) first 50 ft on Filmore St frontage 10 stories (150 ft) beyond setbacks
SETBACK	North and East: 15 ft from property line South and West: 5 ft from property line <i>Note: Residential Compatibility Standards apply</i>

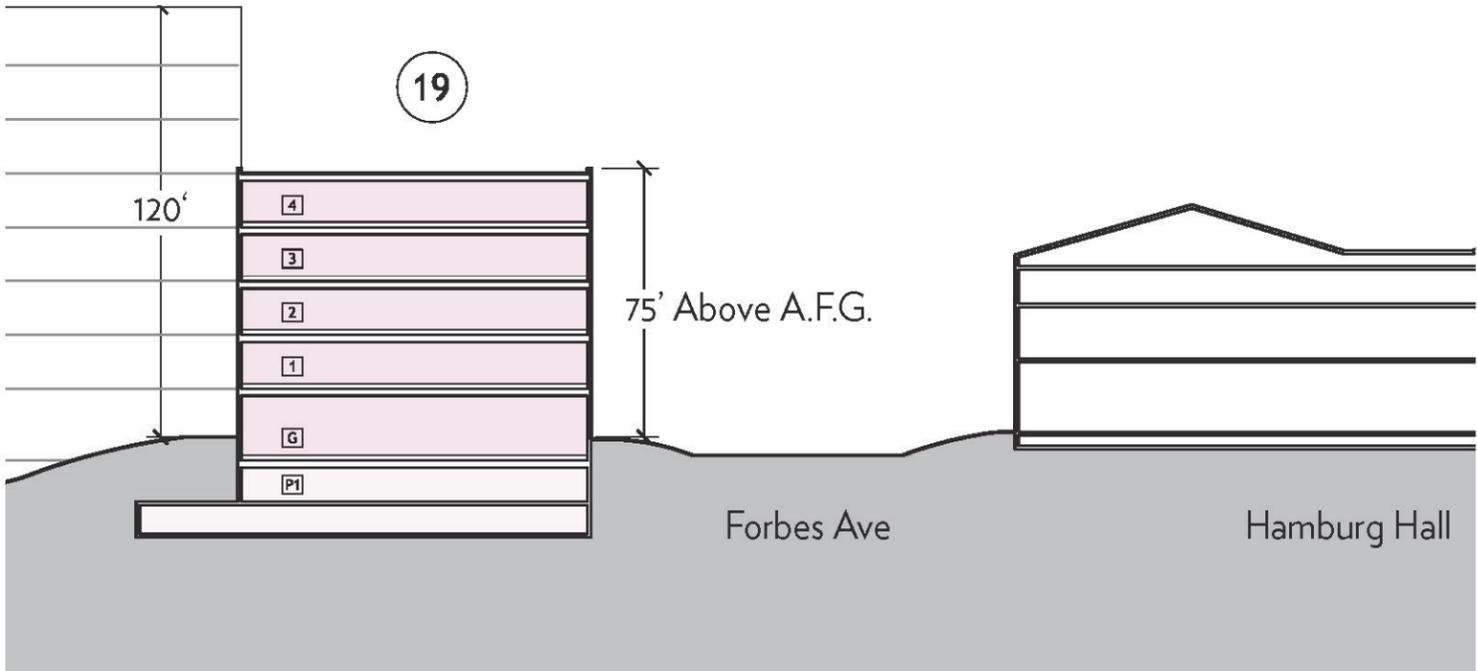
19. New Academic Building

DESCRIPTION	New academic/research building with up to 250 underground parking spaces
USES	Academic, research, support, parking
SQUARE FEET	400,000 gsf
HEIGHT	5 stories (75 ft) on Forbes frontage 8 stories (120 ft) on North Campus Green
SETBACK	North: 25 ft from Site 20 South: match Hamburg setback on Forbes East and West: match Hamburg side on Forbes; 5 ft from top of slope

Zoning Criteria from Master Plan

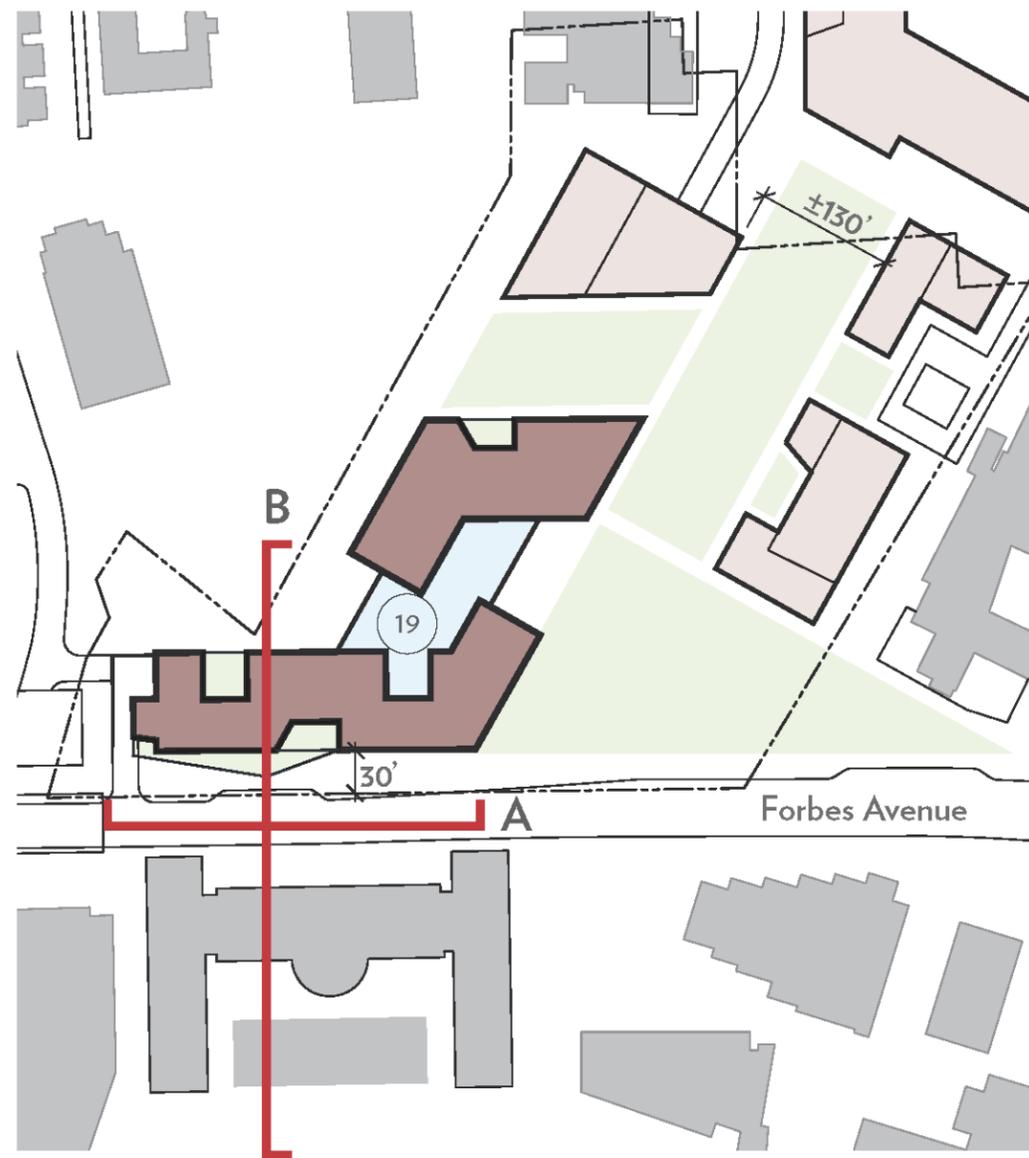


Elevation A IMP 2012 Appendix G

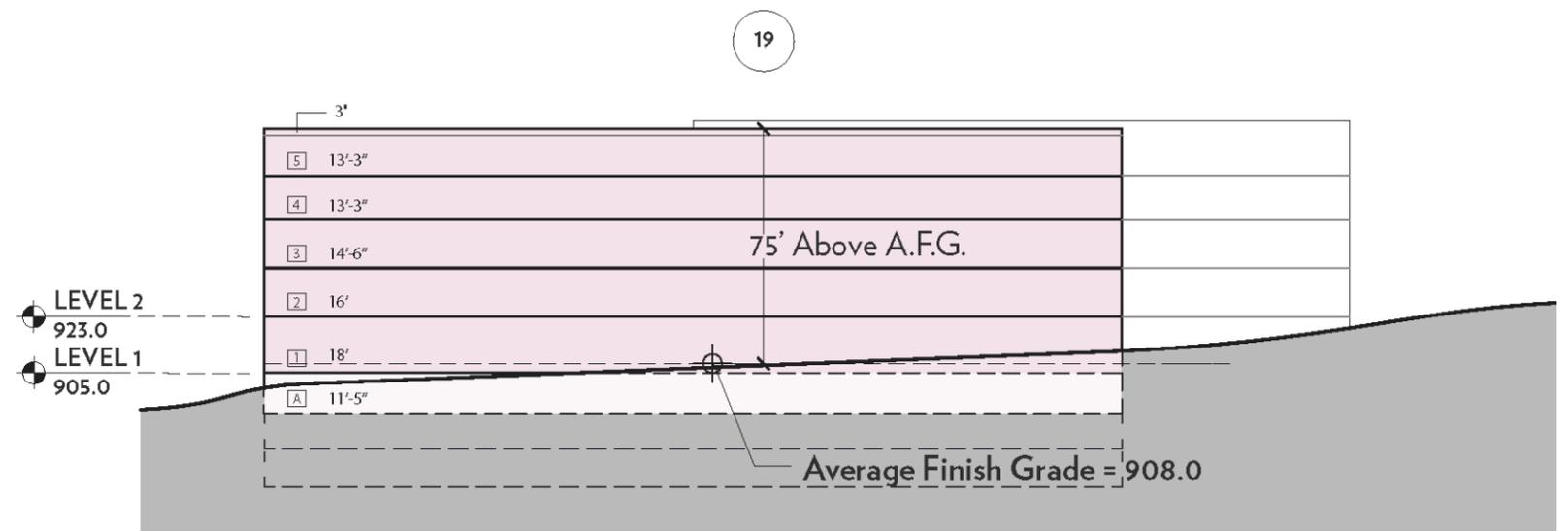


Section B IMP 2012 Appendix G

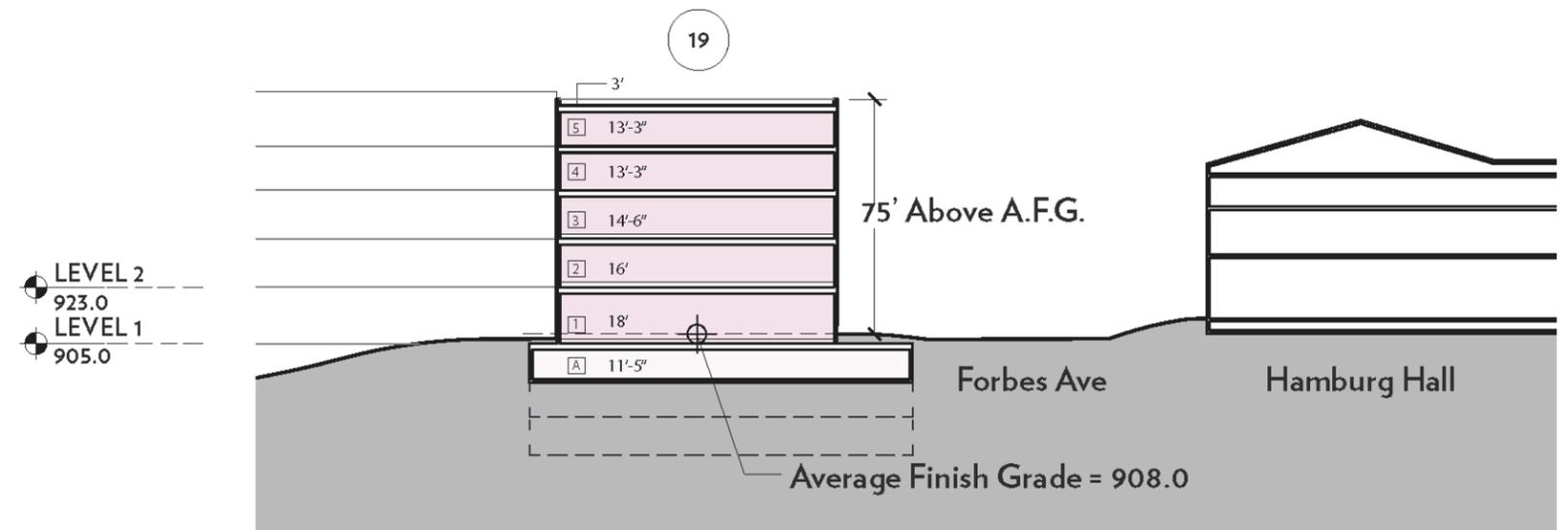
Zoning Master Plan Analysis



Site Plan



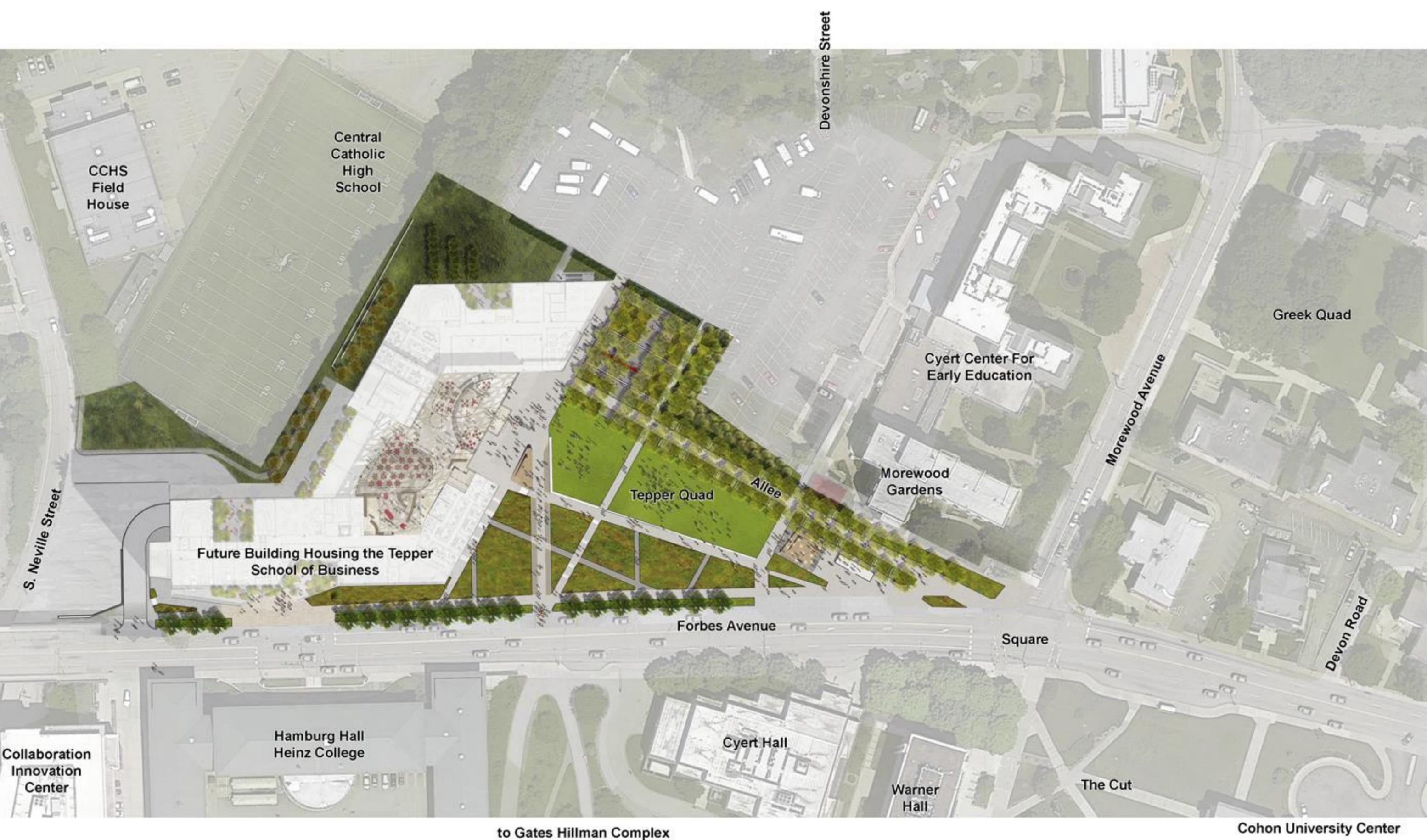
5-Story Elevation A



5-Story Section B







to Gates Hillman Complex

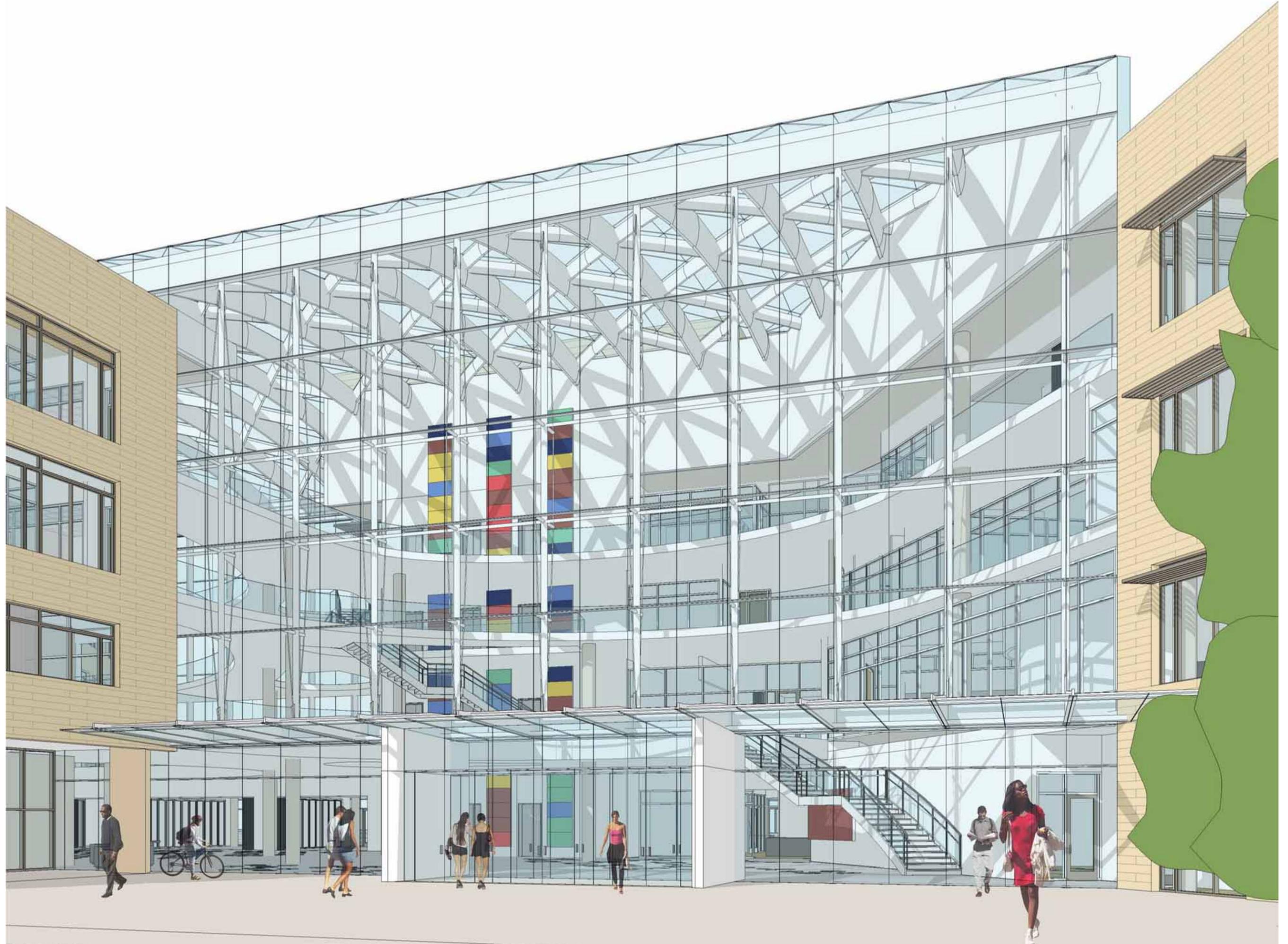
Cohon University Center

Tepper Quad:
*Universal Accessibility
and Circulation*











Atrium at Entry



Undergraduate Commons and Entrepreneurship

APPROXIMATE LOCATION
OF FUTURE BUILDING

NORTH RAMP
290' RAMP LENGTH
25' RAMP RISE
9% RAMP SLOPE WITH
4.5% BLENDS AT ENDS

FORBES RAMP
109' RAMP LENGTH
9' RAMP RISE
9.25% RAMP SLOPE WITH
4.63% BLENDS AT ENDS

+916.0

MOREWOOD PARKING
OPT. 1 - 278 STALLS

+891.0

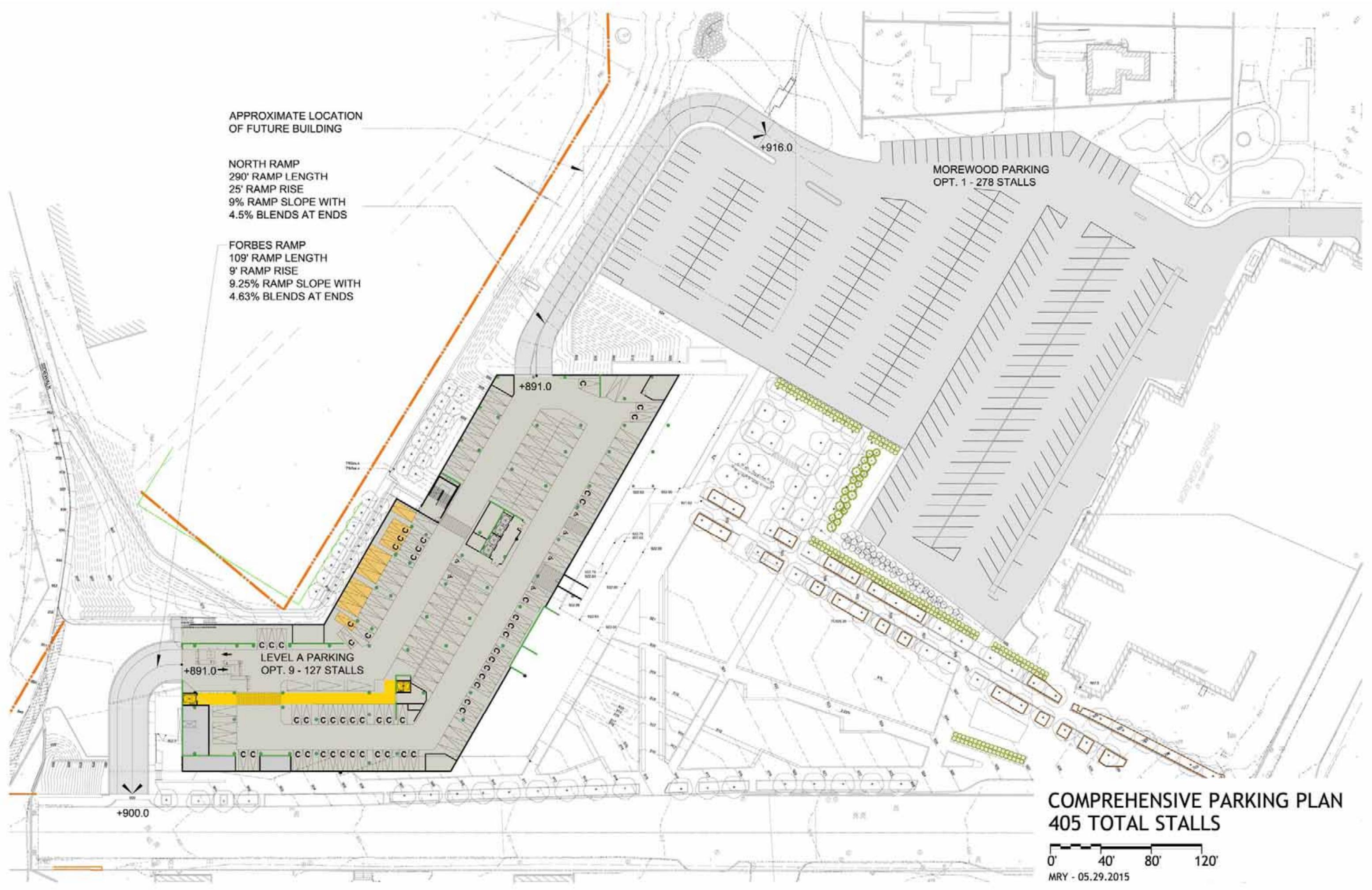
+891.0
LEVEL A PARKING
OPT. 9 - 127 STALLS

+900.0

COMPREHENSIVE PARKING PLAN
405 TOTAL STALLS

0' 40' 80' 120'

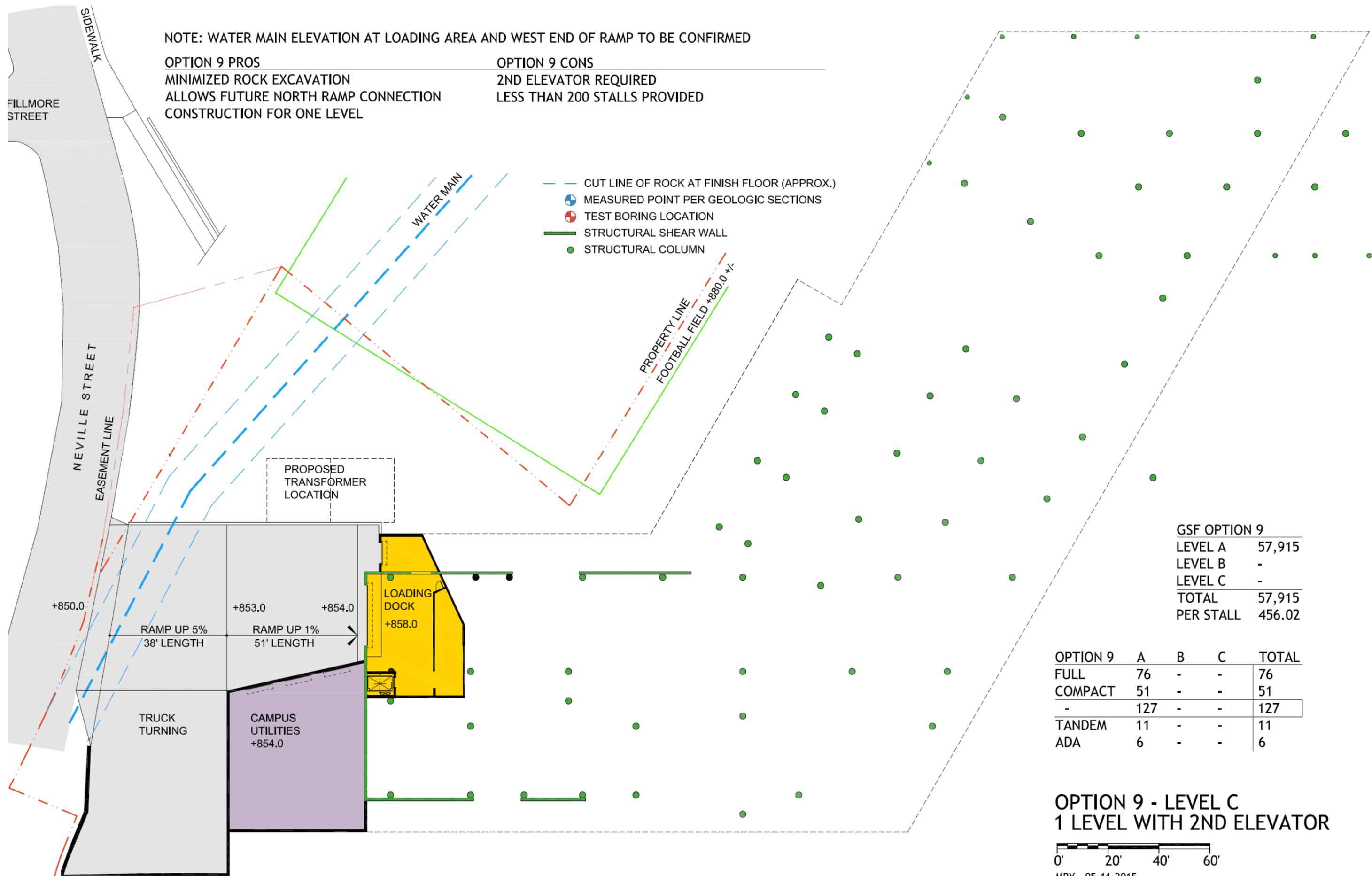
MRY - 05.29.2015



NOTE: WATER MAIN ELEVATION AT LOADING AREA AND WEST END OF RAMP TO BE CONFIRMED

OPTION 9 PROS
 MINIMIZED ROCK EXCAVATION
 ALLOWS FUTURE NORTH RAMP CONNECTION
 CONSTRUCTION FOR ONE LEVEL

OPTION 9 CONS
 2ND ELEVATOR REQUIRED
 LESS THAN 200 STALLS PROVIDED



GSF OPTION 9

LEVEL A	57,915
LEVEL B	-
LEVEL C	-
TOTAL	57,915
PER STALL	456.02

OPTION 9	A	B	C	TOTAL
FULL	76	-	-	76
COMPACT	51	-	-	51
-	127	-	-	127
TANDEM	11	-	-	11
ADA	6	-	-	6

OPTION 9 - LEVEL C
1 LEVEL WITH 2ND ELEVATOR

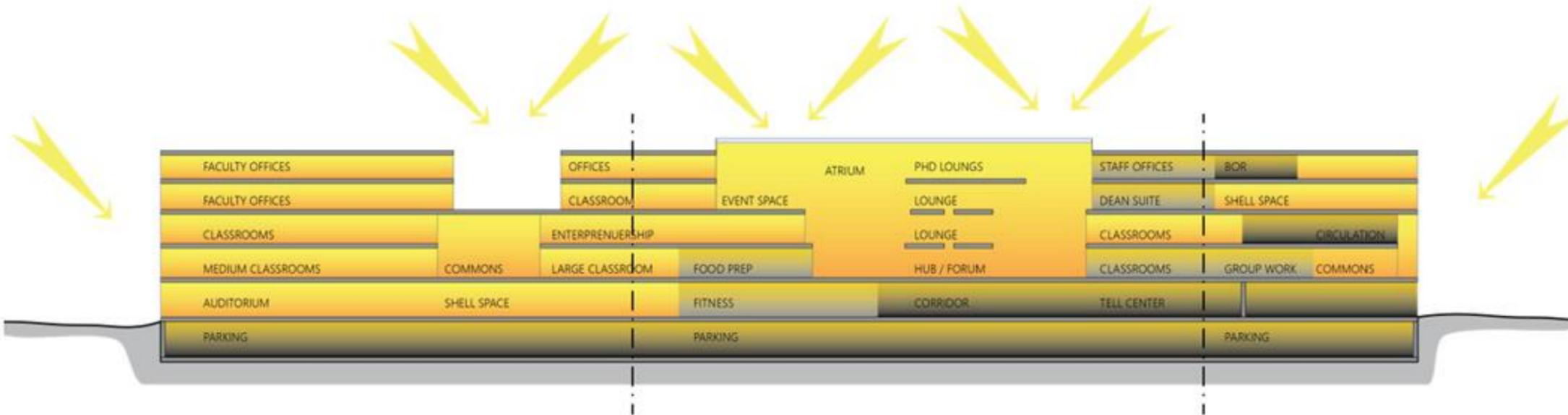
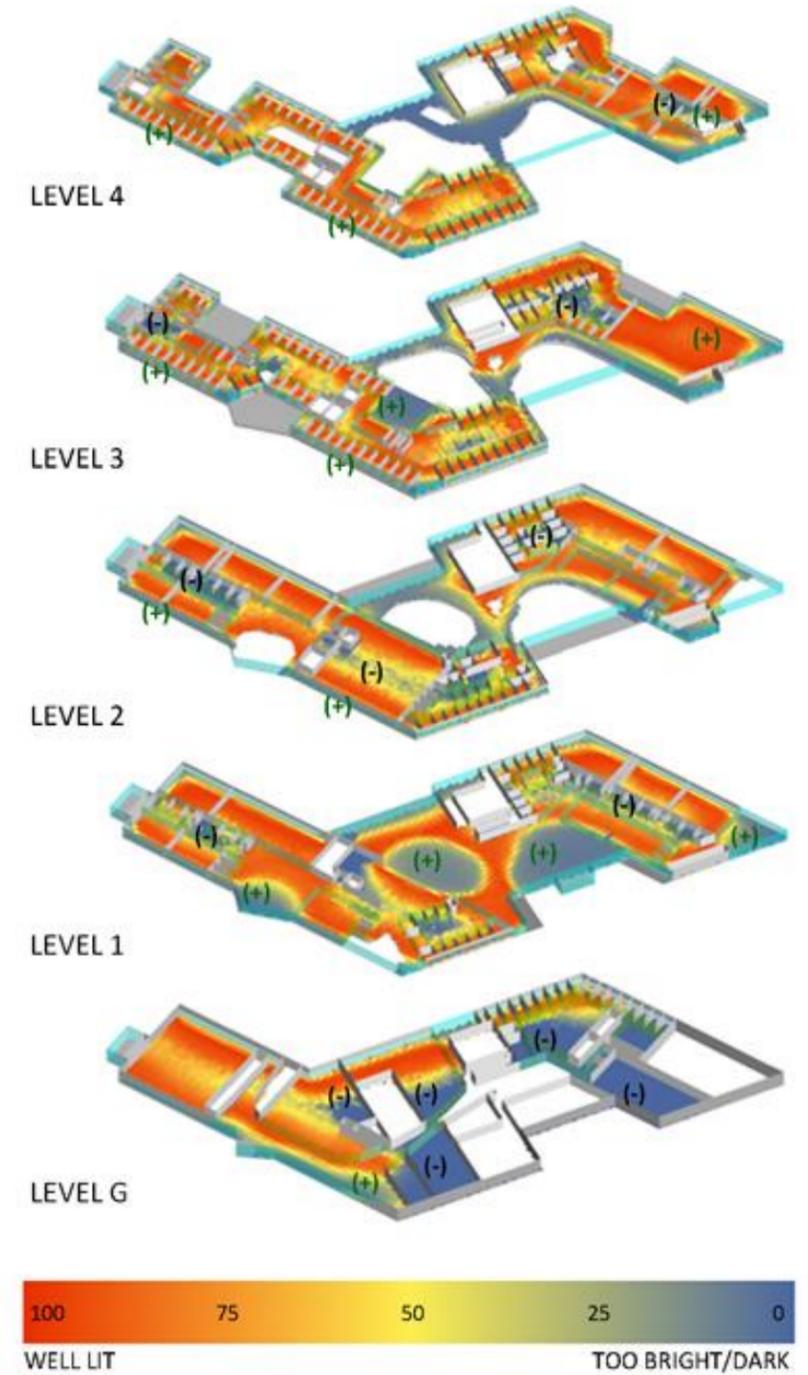
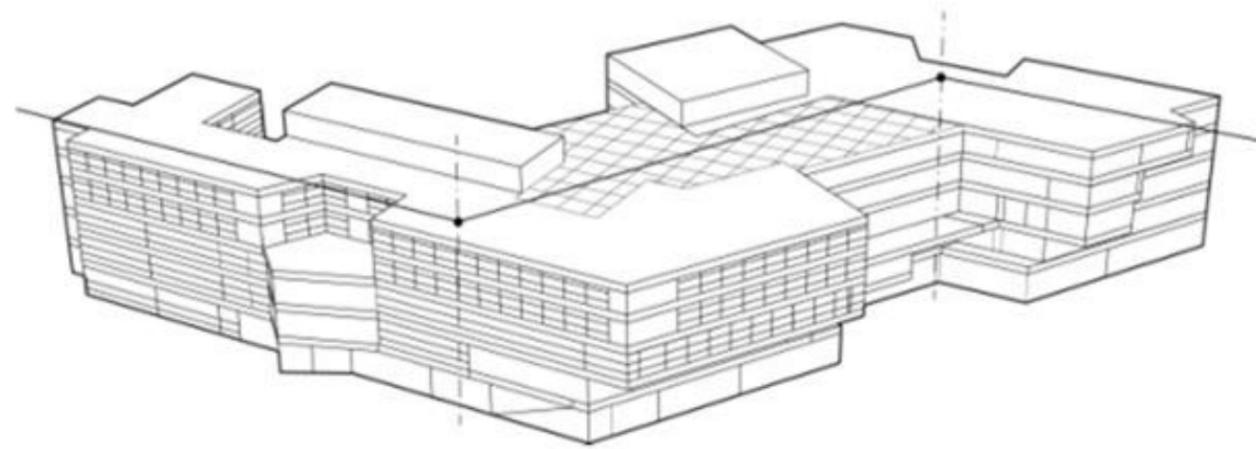


MRY - 05.11.2015

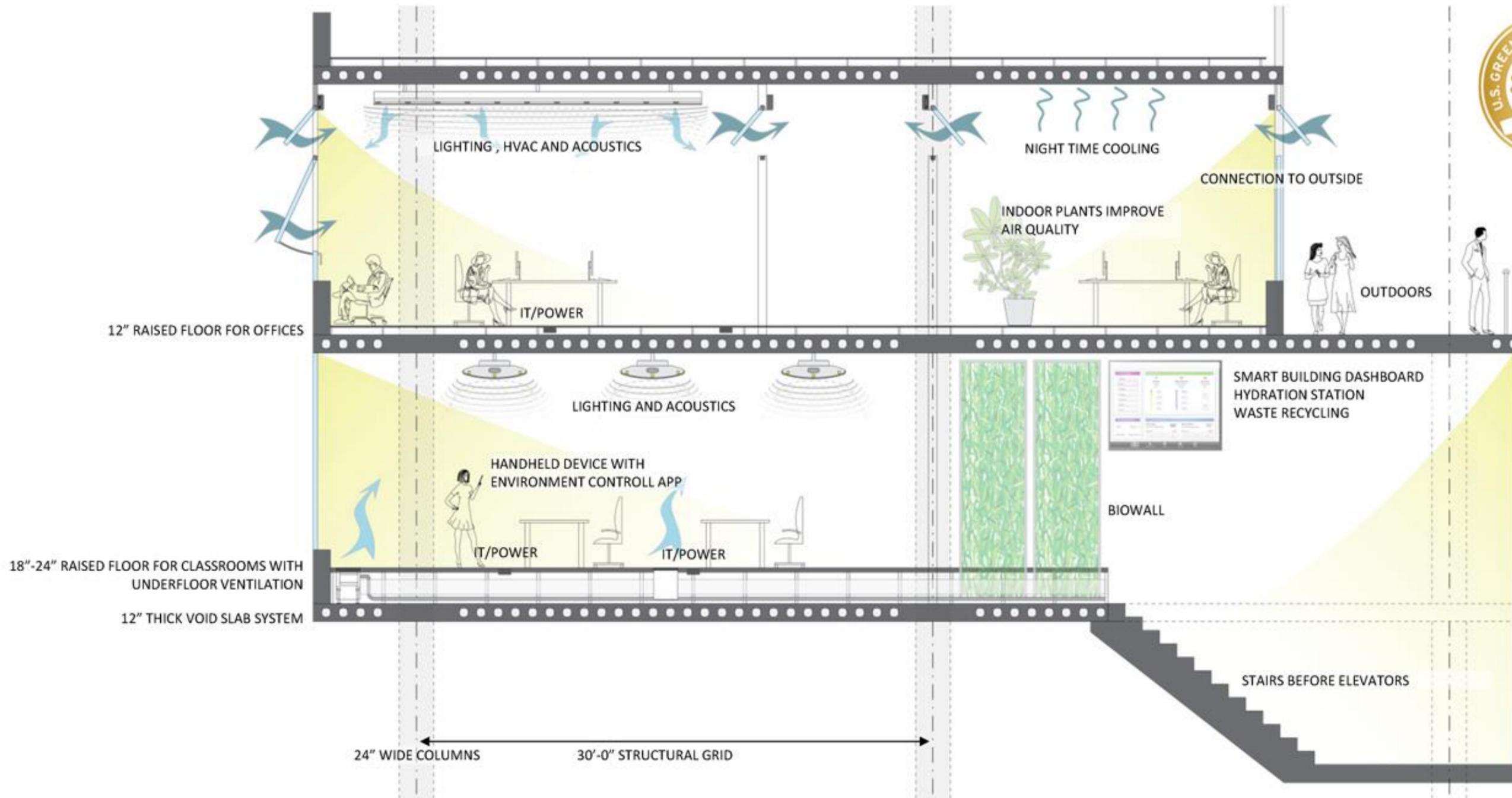
DAYLIGHT STRATEGY

LEGEND:

- DAYLIGHT WHILE THE SUN SHINES
- PARTIAL DAYLIGHT WHILE THE SUN SHINES
- ELECTRICAL LIGHTING REQUIRED AT ALL TIMES



FLEXIBILITY AND ADAPTABILITY



October 20, 2014

JUN 2014 SEP 2014 JAN 2015 JUL 2015 JAN 2016 JUL 2016 JAN 2017 JUL 2017 JAN 2018 JUL 2018

PROJECT SCHEDULE

Program Validation

Schematic Design

Schematic Design
Tepper School/University Review
City & Local Agency Review

Design Development

Design Development
Tepper School/University Review
City & Local Agency Review

Construction Documents

Early Below Grade Package
Construction Documents
Tepper School/University Review
City & Local Agency Review/Permitting

Site Development

Construction

Commissioning & Occupancy

Cost & VE Review Integrated Cost Management Through DD

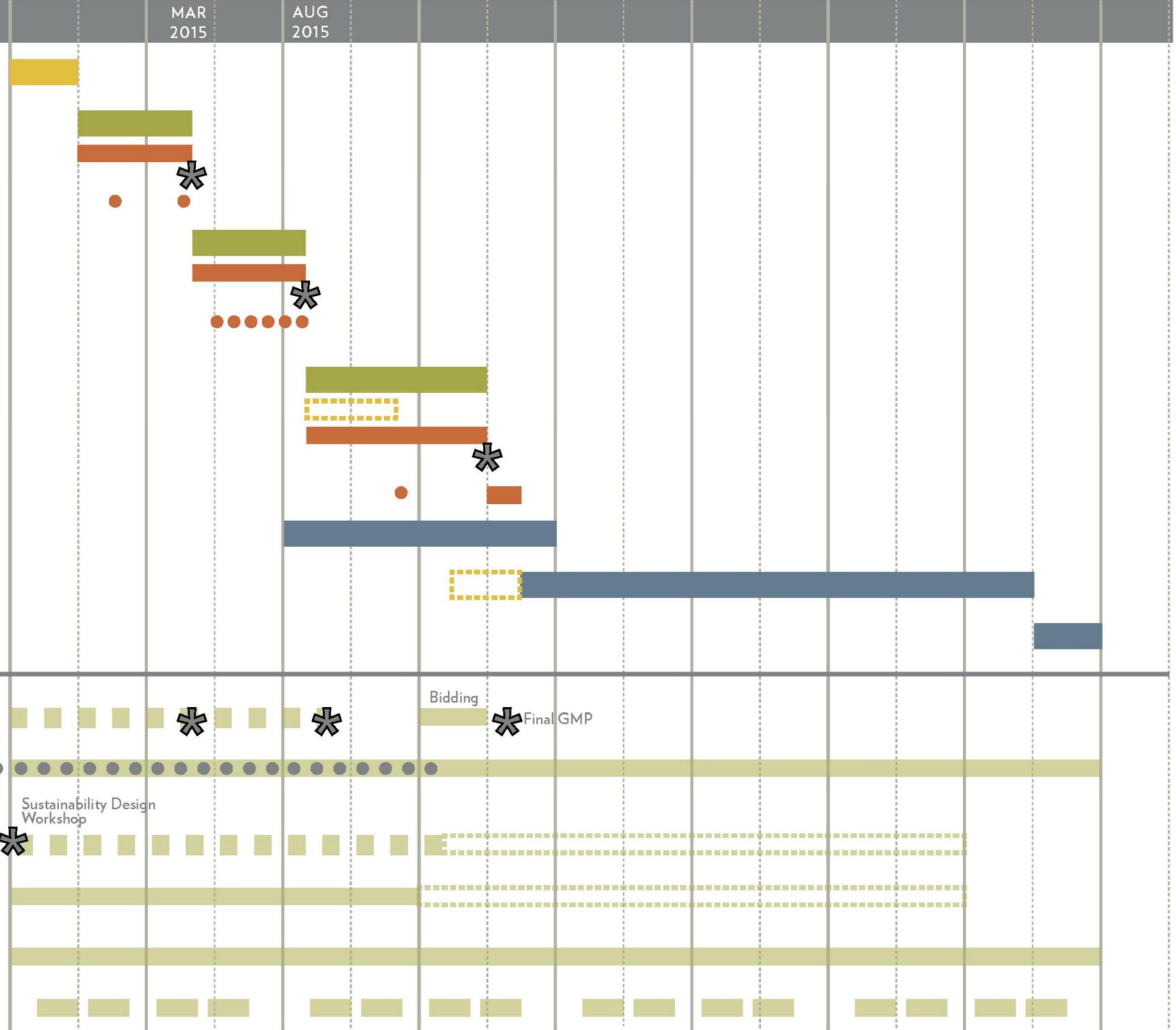
Tepper School/University Stakeholder Participation & Work Sessions

High Performance/Sustainable Design Integration

Art Integration/Community Engagement/Donor Fundraising

Quality Assurance/Quality Control

Academic Calendar





OPTION B

DATE OF ACKNOWLEDGMENT _____

ACKNOWLEDGED BY _____

Signs By Sam MUST HAVE SIGNED APPROVAL to begin Production

PLEASE CHECK ALL SPELLING, COPY, COLORS PRIOR TO APPROVAL



Signs By Sam
 106 Elizabeth Way, Ellwood City Pennsylvania
 724-752-3711 Fax 724-752-0778

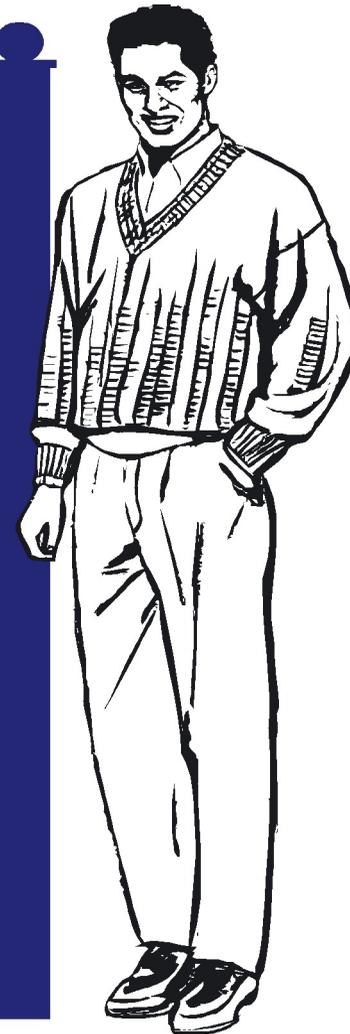
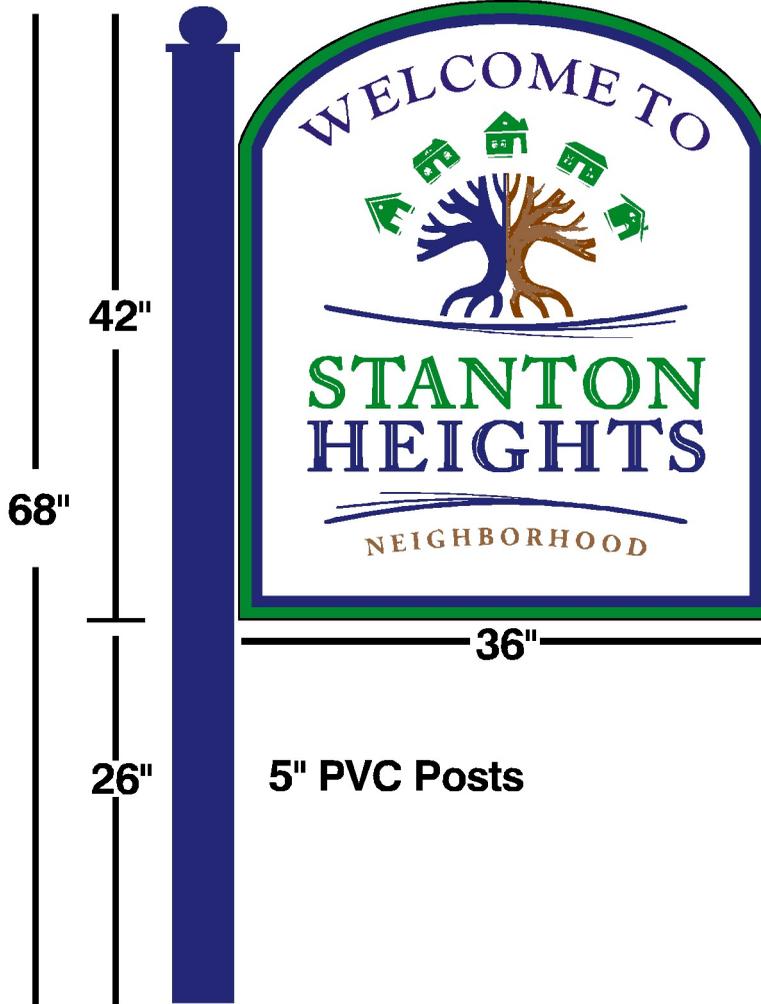
CUSTOMER:
 Lisa Geiger Shulman
 Stanton Hts.

DATE: 4/6/15
 Revised w/Posts color
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PO#

ART WORK AND DESIGNS ARE THE PROPERTY OF SIGNS BY SAM
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Elevation specs
are approx.
within a few inches
due to terrain



DATE OF ACKNOWLEDGMENT _____

ACKNOWLEDGED BY _____

Signs By Sam MUST HAVE SIGNED APPROVAL to begin Production

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106 Elizabeth Way, Ellwood City Pennsylvania
724-752-3711 Fax 724-752-0778

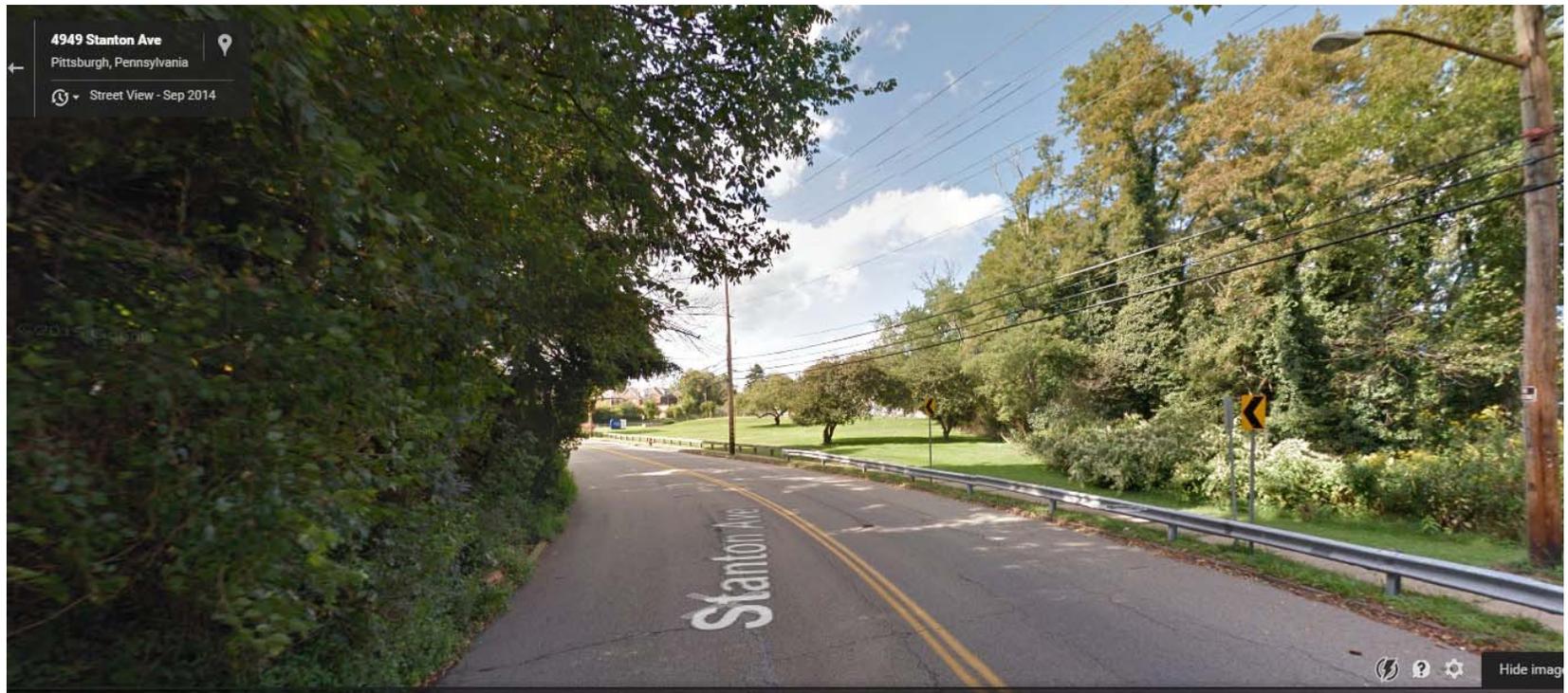
CUSTOMER:
Lisa Geiger Shulman
Stanton Hts.

DATE: 4/6/15
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4949 Stanton Ave
Pittsburgh, Pennsylvania
Street View - Sep 2014



Hide image

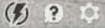


Back to Map



Google

← 4905 Stanton Ave
Pittsburgh, Pennsylvania
↻ Street View - Aug 2014



Hide imagery ▾



Back to Map



↻ Sunnyside Elementary School



Add a photo

Google



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

#15-101
FLDP

Date Filed:

6/9/15

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Urban Redevelopment Authority of Pittsburgh Phone Number: () (412) 255-6600

Address: 200 Ross St.	City: Pittsburgh	State: PA	Zip Code: 15219
-----------------------	------------------	-----------	-----------------

2. Applicant/Company Name: J.C. Bar Development LLC Phone Number: () (412) 562-8362

Address: 415 Fallowfield Rd.	City: Camp Hill	State: PA	Zip Code: 17011
------------------------------	-----------------	-----------	-----------------

Applicant/Contractor ID:(assigned by the City)

3. Development Name: CVS Pharmacy - Summerset at Frick Park

4. Development Location: Browns Hill Rd. & Parkview Blvd. Tax Parcel: 88-R-110

5. Development Address: Parkview Blvd., Pittsburgh PA 15217

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:	RP - Residential Planned Unit Development
---------------------------	---

Present Use of Site: (Select from attached list)	Vacant
---	--------

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#:	Date Issued:	Existing Use of Property:
----------------------------	--------------	---------------------------

8. Estimated Construction: Start Date: 8/31/2015 Occupancy Date: 3/15/2016 Project Cost: \$ 1,500,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Retail Sales & Services (General)

10. Select the Type of Work:

- | | |
|---|--|
| <input checked="" type="checkbox"/> New Construction, New | <input type="checkbox"/> Renovation, Interior |
| <input type="checkbox"/> New Construction, | <input type="checkbox"/> Renovation, Exterior |
| <input type="checkbox"/> Change in Use Only | <input type="checkbox"/> Renovation, Change in Use |

11. Describe the Development:

The proposed development is for the construction of a new CVS retail pharmacy

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 1 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: 0 sq ft
 Existing to be Retained: 0 sq ft
 Retained Area to be Renovated: 0 sq ft
 To be Constructed: 11,945 sq ft
 Building Footprint: 11,945 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	n/a	n/a	1	20
Proposed Addition/Extension			n/a	n/a

Provide Accessory Structure Type(s) and Height(s):

Dumpster Enclosure		6		
Trash Compactor		6		

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 89,298 (2.05 acres) sq ft

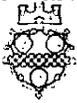
18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	0	50
Compact (7 1/4' x 16')	0	0
Handicap (13 1/2' x 19')	0	4

Off-Street Loading Spaces: N/A
 Actual: 1
 Required: 1

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u>1</u> New Water Service Connection(s)	<u>0</u> Termination of Existing Water Service Tap(s)
<u>1</u> New Sewer Service Connection(s)	<u>0</u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

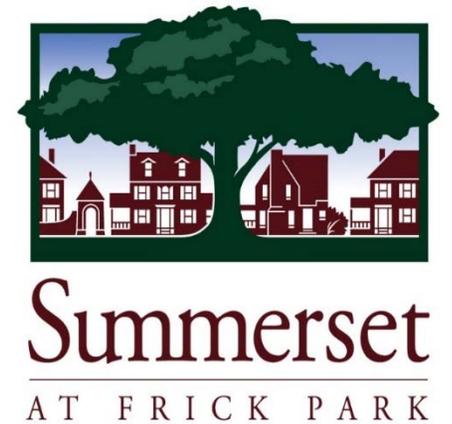
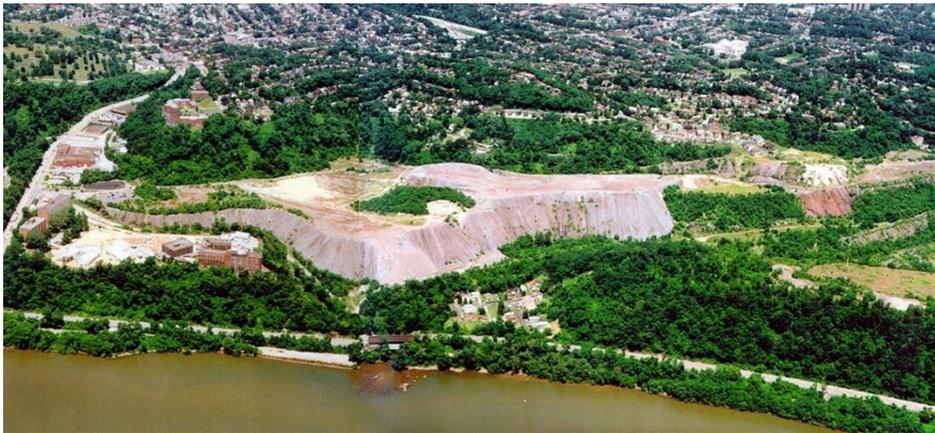
26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____

Nine Mile Run/Summerset at Frick Park

Final Development Plan #10 – Amendment 2

June 30, 2015



- URA Acquired 238 acre site in 1996
- Master Plan approved and site rezoned to RP- 1997
 - 710 Units
 - 105 acres of Frick Park added
 - Completed in three phases
 - Community input through Nine Mile Task Force
 - Phase 1 completed
 - Phase 2 infrastructure completed and 80% of housing units completed, apartments completed
- Master Plan modified by Final Development Plans 10 times
- Last presentation in 2012 for FDP #10 Amendment 1 for Gateway apartments
- Prior approval on this site was for up to 30,000 square feet, two stories retail and commercial use
- Nine Mile Run Task Force presentation of proposed design June 24, 2015

Summerset at Frick Park – Overview

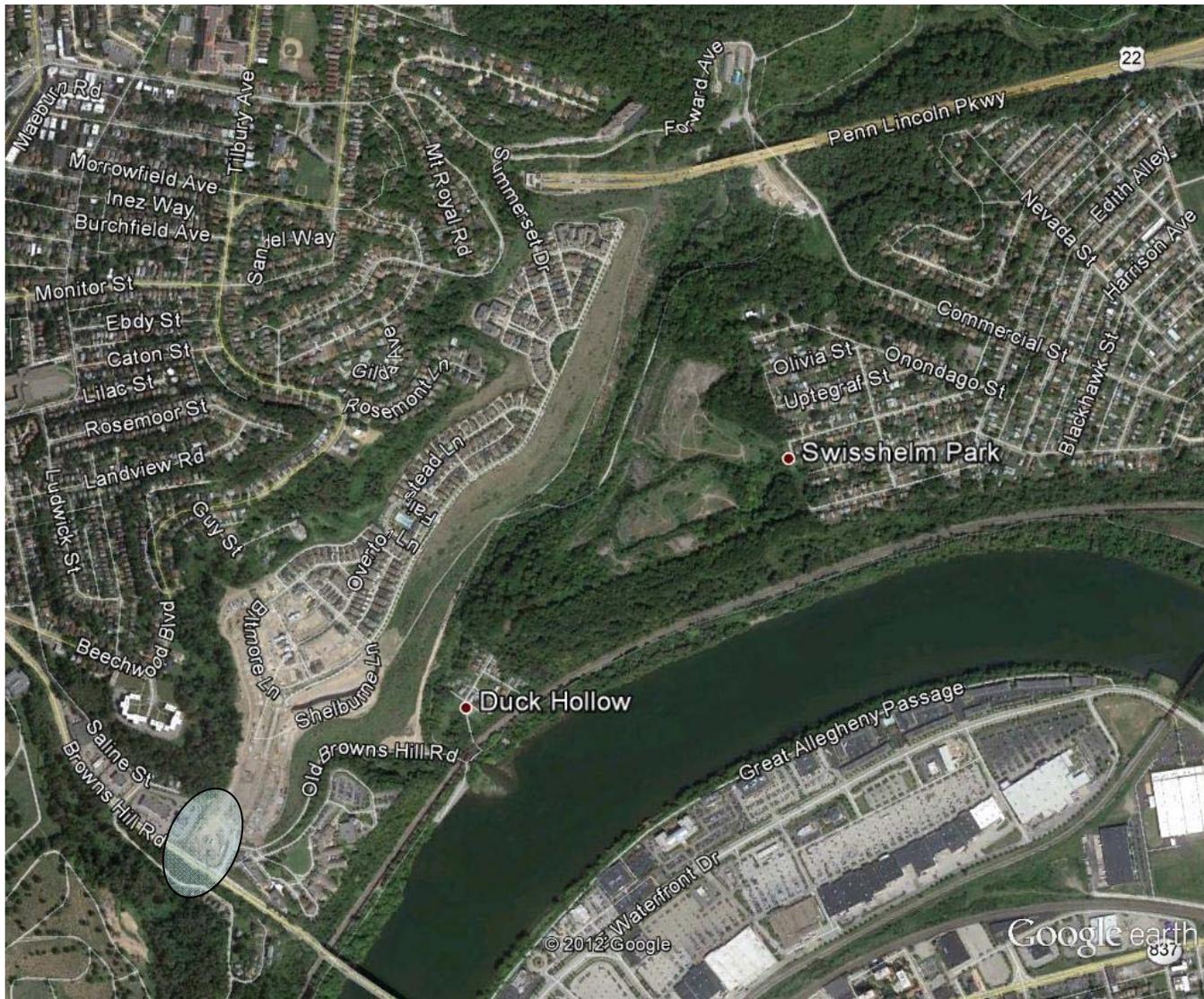
Who's Who:

- URA – Owner of property and Seller
- Summerset Land Development Associates - Developer
 - Looney Ricks Kiss – Town Architect
- BT Parkview LLC – Buyer
- CVS – Tenant
 - JC Bar Developer for CVS
 - Eads Group – Consultant to CVS
 - NORR – architect for CVS
 - LaQuatra Bonci – Landscape Architect
 - Trans Associates – parking and traffic

Project Features:

- 11,945 square feet
- 54 parking spaces including handicap spaces
- Drive-thru pharmacy
- Extensive landscaping consistent with Summerset standards
- Pedestrian and Accessible access points
- Bicycle parking
- Unique building design consistent with Summerset standards

Summerset at Frick Park – Overview



Summerset at Frick Park - location



 Summerset Land Development Associates

 LaQuatra Bonci Associates

January 2009

Master Plan

Summerset AT FRICK PARK

Summerset at Frick Park – Master Plan



 Summerset Land Development Associates
 LaQuarra Bonci Associates

January 2009

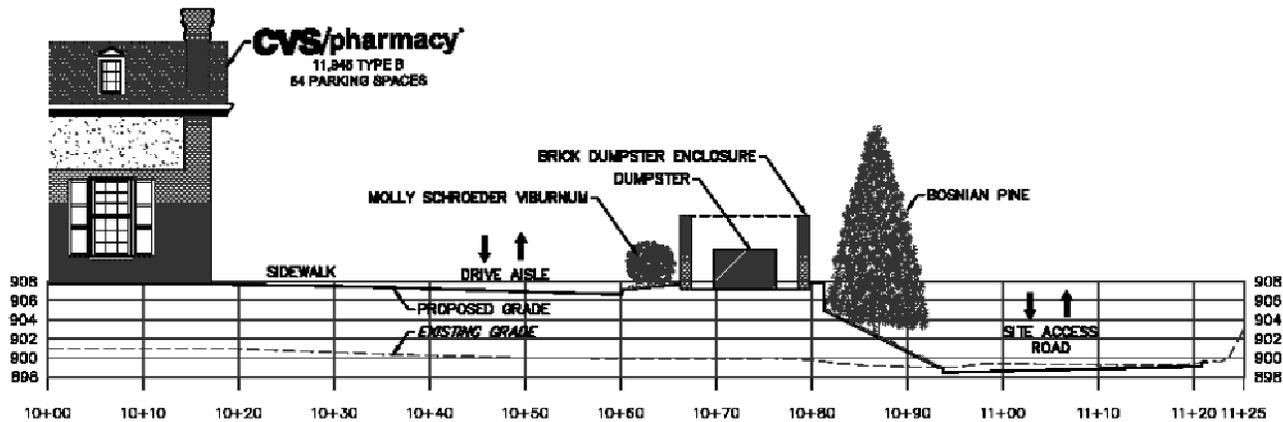
Ph 2B Parcel Plan

SUMMERSSET AT FRICK PARK

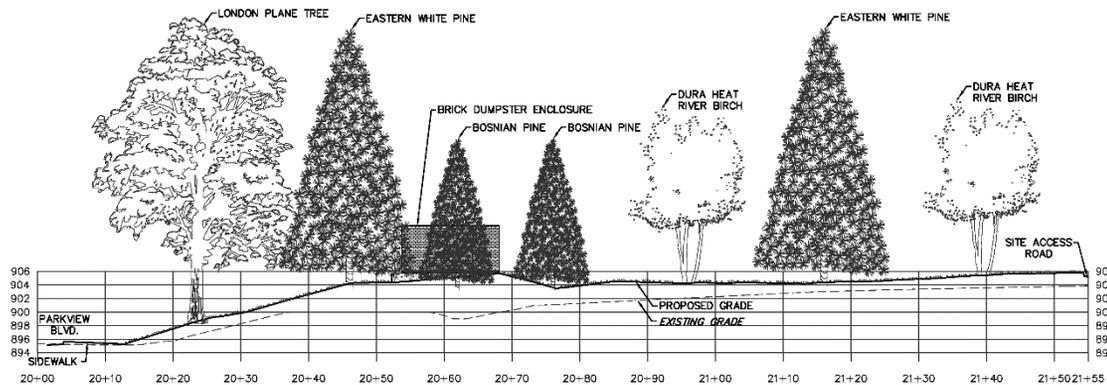
Summerset at Frick Park – Proposed Phase 2B Plan



Summerset at Frick Park – Context



SECTION VIEW 1
HORIZONTAL SCALE: 1"=10' VERTICAL SCALE: 1"=10'



SECTION VIEW 2
HORIZONTAL SCALE: 1"=10' VERTICAL SCALE: 1"=10'

Summerset at Frick Park – Screening at Apartments



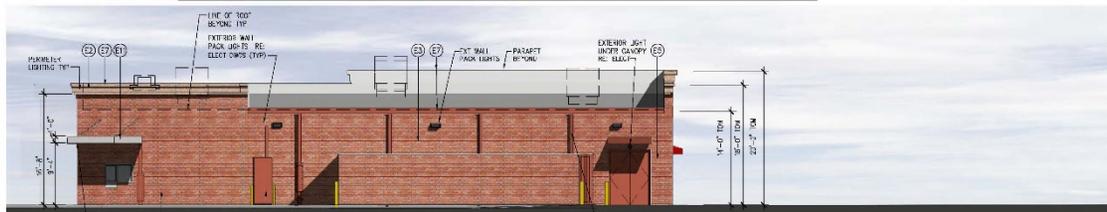
LEFT SIDE ELEVATION
SCALE: 1/8"



FRONT ELEVATION
SCALE: 1/8"



RIGHT SIDE ELEVATION
SCALE: 1/8"



REAR ELEVATION
SCALE: 1/8"

NORR
ARCHITECTS ENGINEERS PLANNERS
150 W. Jefferson Ave.
Suite 1300
Detroit, MI 48226
www.norr.com

EXTERIOR FINISH SCHEDULE			
NO.	MATERIAL / DESCRIPTION / MFR. / STYLE / CAT. NO.	COLOR	NOTES
1	EPS / DEFS	NO. 1 CEILING SYSTEM 1/2" STUCCO / JOISTSPAN L.S.	NO. 101 EPS PER MANUF. SPECIFICATIONS
2	EPS	NO. 1 CEILING SYSTEM 1/2" STUCCO / JOISTSPAN L.S.	CONCRETE
3	STRUCTURAL BRICK	CALESTAR	LIGHT RED NO. 101 ENVIROCODE W/RTAR CORE
4	STRUCTURAL BRICK ADJUNT	CALESTAR	BLACK NO. 101 ENVIROCODE W/RTAR HATCHWOOD YELLOW
5	PAINT	BENJAMIN MOORE INTERIOR EXT. ENIGMAE B022 OR B025	STYLA-30 SICOMA CLAY YELLOW 1/2" FOR ALL 1/8" BOLLARDS
6	PREPARED METAL CLADDING		COLOR TO MATCH EPS CORE
7	ALUM. S. DRUMHEAD		CLAY ANOXID
8	ALUM. AUTOMATIC DOOR	STANLEY DYNAMIC 5000 BOSTON SHOWWORKS, INC.	CLEAR ANOXID MILKON 4000 CLAY RED SUPPLIED & INSTALLED BY GC
9	WIRE AWNING		GLASS & CLEAR ANOXID
10	ALUMINUM CANOPY	NAVES ARCHITECTURAL CANOPES	GLASS & CLEAR ANOXID

NOTE: SHOWS UNDER SEPARATE PERMIT. REFER TO APPROPRIATE SOURCE FOR SPECIFICATIONS FOR SIZES AND LOCATIONS OF SIGNS. EXTERIOR SIGNAGE TO BE EXPANDED AS REQUIRED.

LEGEND

1/8" ON SIGNS EPS COLOR TO MATCH THE BUILDING EPS COLOR. (NO) - NO. EXTERIOR FINISH SCHEDULE

CVS/pharmacy



JANUARY 28th, 2015

Summerset at Frick Park – CVS Prototype



Summerset at Frick Park – Rendering

CVS Building– Sustainability Features

- Led lighting is used for all exterior lighting fixtures. Energy efficient and long lasting. Better light distribution and lighting control.
- The building itself follows the IECC 2012 for energy efficiency.
- All glass will be the Low E coated/solar ban 60.
- All windows have daylighting controls for lighting fixtures.
- All clear windows will have sun shades that are automated for operation to open and close based on daylighting.
- The building will have an Energy Management System. This controls the HVAC, refrigeration units, and all interior and exterior lighting.
- Roof membrane is TPO (thermoplastic Olefin) and white in color to help with heat reflection.
- The roof top units will follow “CEE tier 2 requirements.”

Summerset at Frick Park – Sustainability

TABLE 3
PARKING REQUIREMENT BASED ON CITY OF PITTSBURGH ZONING CODE
 Proposed Squirrel Hill CVS Pharmacy Development
 City of Pittsburgh, Allegheny County, Pennsylvania

	Development Component	Size	Automobile Parking Requirement: City of Pittsburgh Zoning Code ⁽¹⁾			Bicycle Parking Requirement: City of Pittsburgh Zoning Code ⁽¹⁾				Total Number of Automobile Parking Spaces Required with maximum Bicycle Reductions
			Minimum Requirements without Bicycle Reductions			Required Minimum Bicycle Parking ⁽²⁾		Maximum Reduction of Automobile Parking Spaces Due to Implementation of Bicycle Spaces ⁽³⁾		
			Off-Street Automobile Parking Rate	Required Number of Automobile Spaces	Required Number of Reserved Spaces for Persons with Disabilities ⁽⁴⁾	Bicycle Parking Rate	Minimum Required Number of Bicycle Spaces	Maximum Bicycle Parking Reduction Rate	Maximum Reduction	
<i>Minimum Parking Required</i>	Pharmacy with Drive-Thru	11,945 GSF	1 space per 500 GSF above first 2,400 GSF	14	1	1 space for developments between 6,001 - 20,000 GSF	1	30% of required number automobile spaces, not including spaces reserved for persons with disabilities	4	10
<i>Maximum Parking Permitted</i>	Pharmacy with Drive-Thru	11,945 GSF	1 space per 175 GSF	55	3	1 space for developments between 6,001 - 20,000 GSF	1	n/a	n/a	n/a

- (1) Based on the City of Pittsburgh Urban Zoning Code, Chapter 914: Parking Loading and Access. As per Section 914.03.C, floor area is allowed to be calculated based on 80% of the total GSF.
- (2) Bicycle parking requirements are detailed in Section 914.05D of the City of Pittsburgh Urban Zoning Code.
- (3) Section 914.05E of the City of Pittsburgh Urban Zoning Code indicates that the reduction in the number of automobile parking spaces shall be reduced by no more than one (1) space for each Bicycle Parking Space (minimum reduction), but by no more than thirty (30) percent of the total required spaces (maximum reduction), not including spaces reserved for persons with disabilities.
- (4) Parking spaces reserved for persons with disabilities shall be counted toward fulfilling overall off-street parking standards. The number of spaces reserved for persons with disabilities is detailed in Section 914.06.A of the City of Pittsburgh Urban Zoning Code. One in every 6 ADA spaces must be van accessible.

Source: Analysis by Trans Associates.

Summerset at Frick Park – Parking Requirements

TABLE 4
TRIP GENERATION SUMMARY
Proposed Squirrel Hill CVS Pharmacy Development
City of Pittsburgh, Allegheny County, Pennsylvania

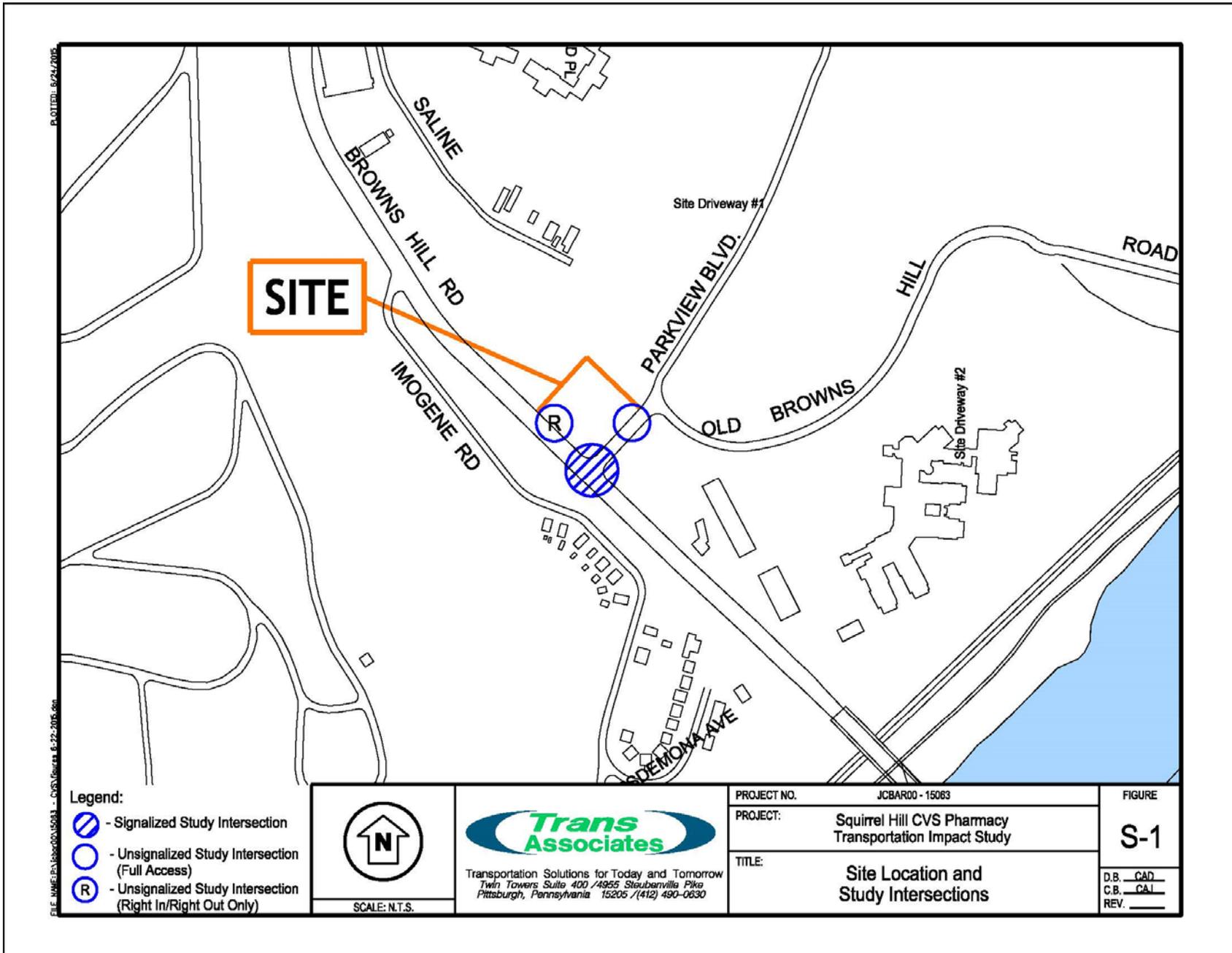
Development Component	Size	ITE Land Use Code	Trip Type ⁽²⁾	Trip Generation ⁽¹⁾									
				A.M. Peak Hour			P.M. Peak Hour			Saturday Peak Hour			
				Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total	
Pharmacy with Drive-Thru	11,945	GSF	881	Primary	13	12	25	30	30	60	29	30	59
				Pass-By ⁽²⁾	8	8	16	29	29	58	19	20	39
				Total	21	20	41	59	59	118	48	50	98

(1) Total number of vehicle trips generated determined through the use of methodologies presented in *Trip Generation, Ninth Edition* published by the Institute of Transportation Engineers (ITE).

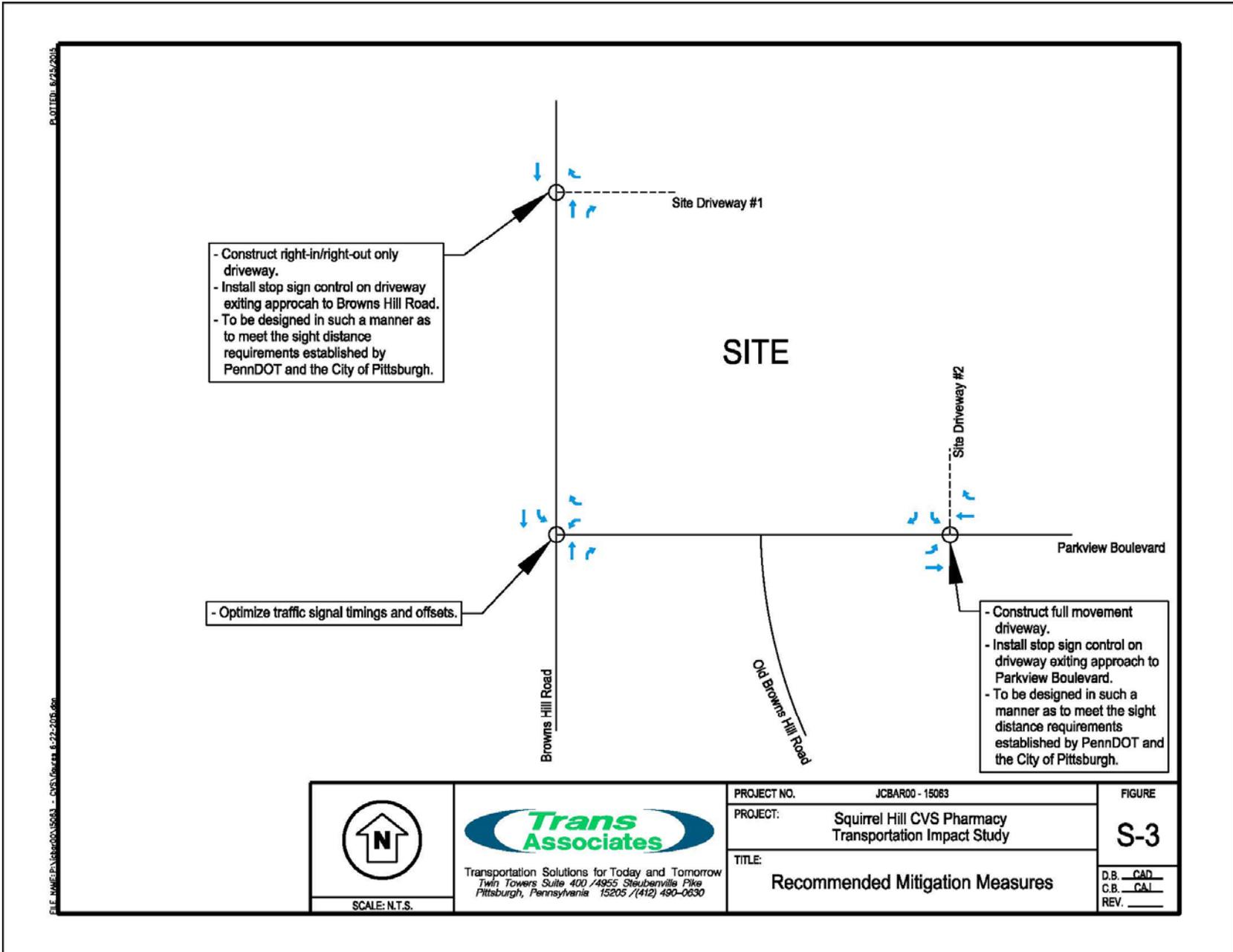
(2) Pass-by and Internal trips were calculated based on the methodologies presented in Trip Generation Handbook, Third Edition, published by the Institute of Transportation Engineers (ITE).

Source: Analysis by Trans Associates.

Summerset at Frick Park – Trip Generation



Summerset at Frick Park – Traffic Study Intersections



Summerset at Frick Park – Traffic Recommendations



Summerset at Frick Park – Rendering



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <u>HILLEL ACADEMY OF PITTSBURGH</u>		Phone Number: (<u>412</u>) <u>521-8181</u>	
Address: <u>5685 BEDFORD ST.</u>	City: <u>PITTSBURGH</u>	State: <u>PA</u>	Zip Code: <u>15217</u>
2. Applicant/Company Name: <u>JOEL P. ANDERSON</u>		Phone Number: (<u>412</u>) <u>288-4196</u>	
Address: <u>229 5th AVE</u>	City: <u>PITTSBURGH</u>	State: <u>PA</u>	Zip Code: <u>15222</u>
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: <u>HILLEL ACADEMY OF PITTSBURGH SCIENCE LAB & GYMNASIUM ADDITION</u>			
4. Development Location: <u>SCHUBBEL HILL</u>			
5. Development Address: <u>5685 BEDFORD ST.</u>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)		<u>EDUCATIONAL CLASSROOM SPACE (LIMITED)</u>	
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
<u>70404</u>	<u>10/18/95</u>	<u>SCHOOL</u>	
8. Estimated Construction:	Start Date: / /	Occupancy Date: / /	Project Cost: \$
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): <u>EDUCATIONAL CLASSROOM SPACE</u>			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New	<input checked="" type="checkbox"/> Renovation, Interior		
<input checked="" type="checkbox"/> New Construction,	<input type="checkbox"/> Renovation, Exterior		
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use		
11. Describe the Development: <u>SECOND STORY SCIENCE LAB & GYMNASIUM ADDITION TO AN EXISTING</u> <u>31,500 SF SCHOOL.</u>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: — sq ft
 Existing to be Retained: 31,514 sq ft
 Retained Area to be Renovated: 2,274 sq ft
 To be Constructed: 5,771 sq ft
 Building Footprint: 18,579 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	2	33'-4"	2nd story rooftop	40'-0" above grade
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: N/A

17. Lot Area: 29,074 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	14	22
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')	2	2

Off-Street Loading Spaces: N/A
 Actual: 1
 Required: 1

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- | | |
|--|---|
| <u> 0 </u> New Water Service Connection(s) | <u> 0 </u> Termination of Existing Water Service Tap(s) |
| <u> 0 </u> New Sewer Service Connection(s) | <u> 0 </u> Termination of Existing Sewer Service Tap(s) |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



**DEPARTMENT OF CITY PLANNING
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200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

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DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com

Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

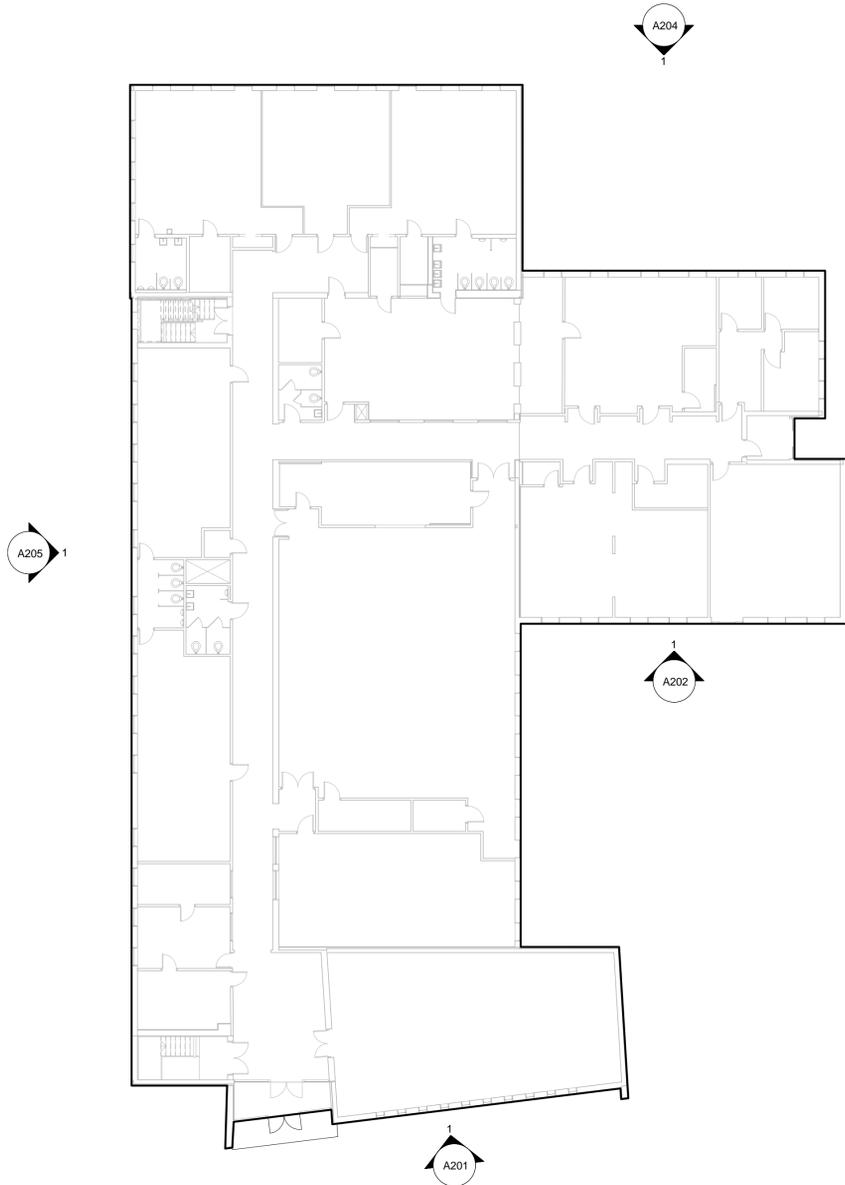
Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

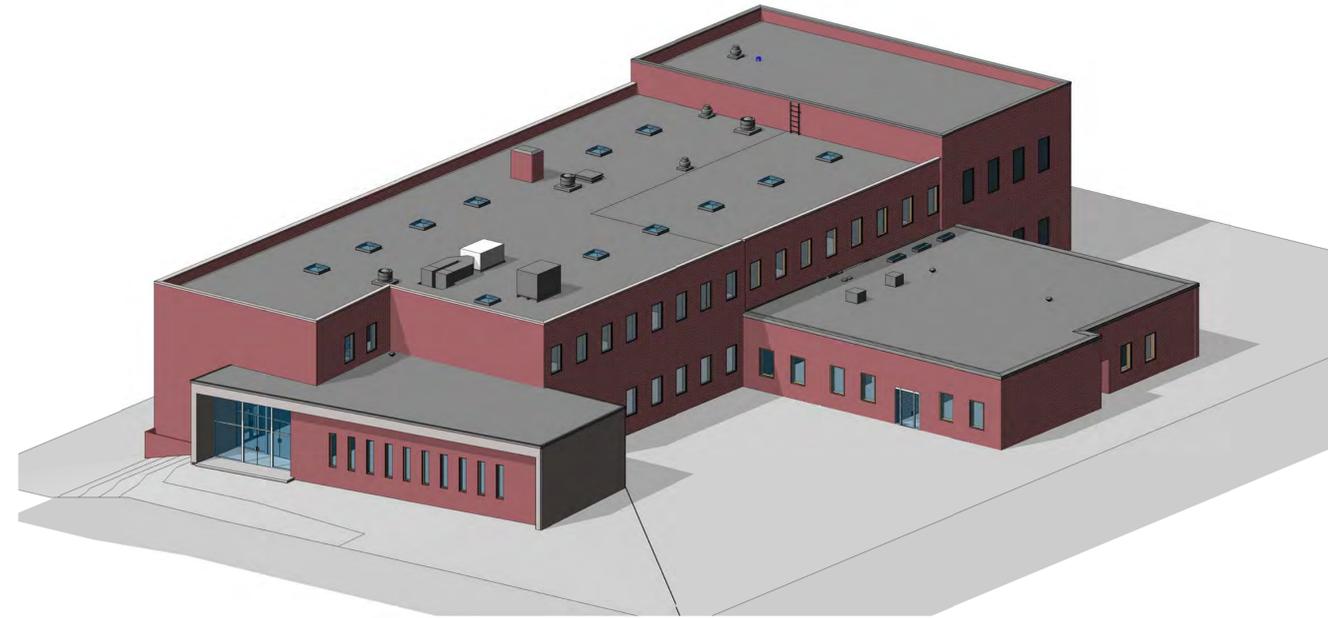
Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



① ELEVATION REFERENCE PLAN
1/16" = 1'-0"



② EXISTING AERIAL VIEW



③ PROPOSED AERIAL VIEW

REVISIONS		
NO.	DESCRIPTION	DATE

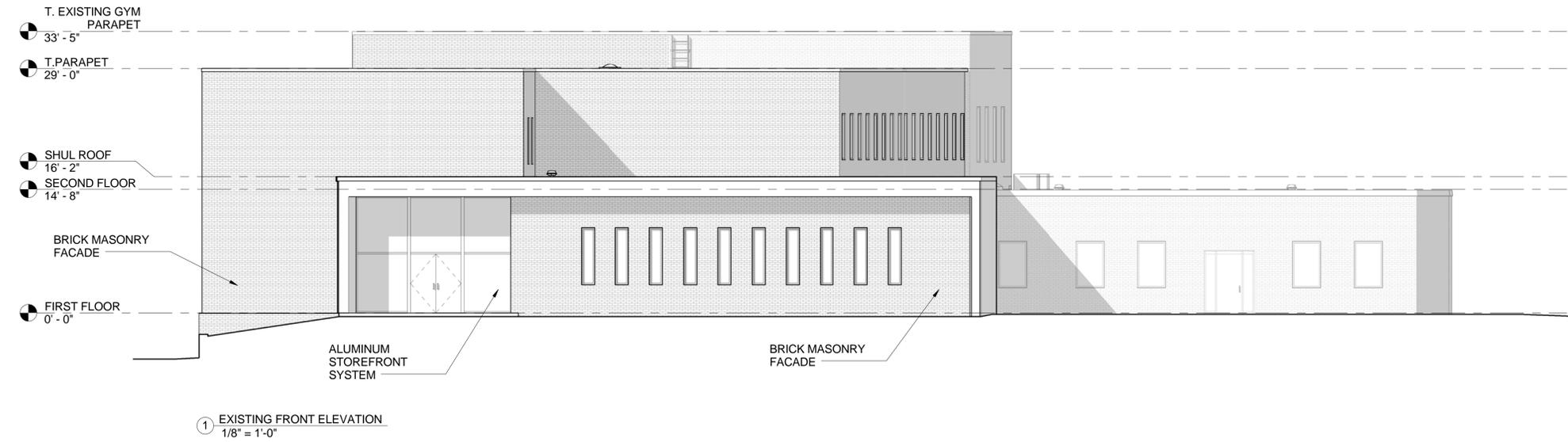
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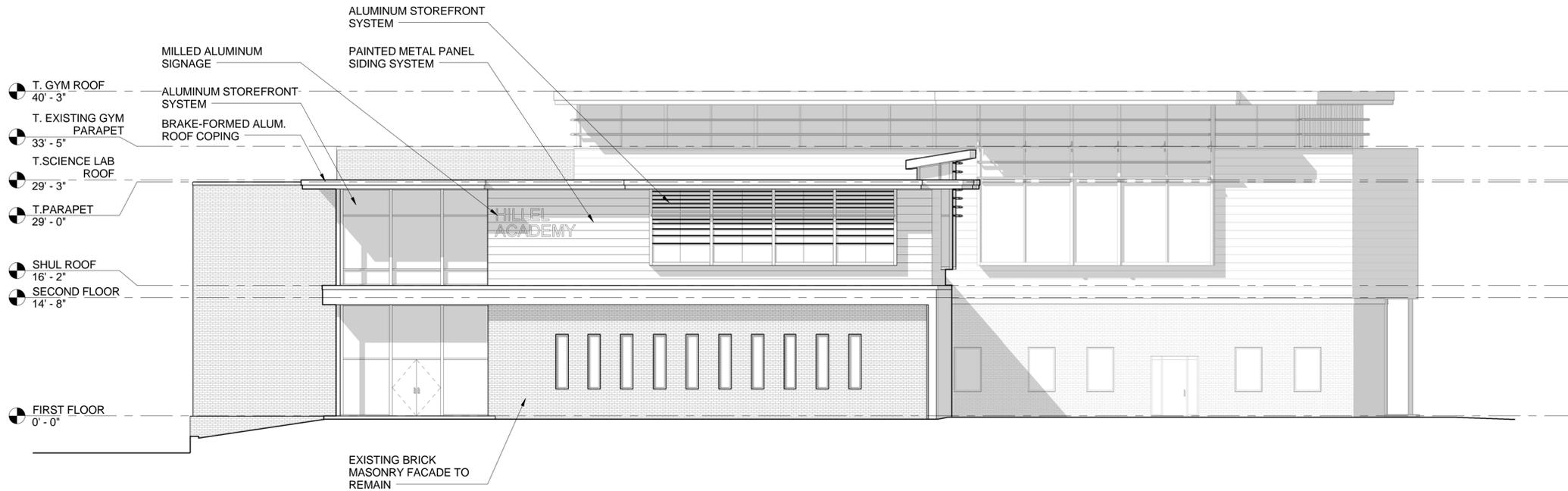
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ZONING DOCUMENTS	
JUNE 24, 2015	
TITLE KEY PLAN AND AERIAL VIEWS	
DRAWING A200	



① EXISTING FRONT ELEVATION
1/8" = 1'-0"



② PROPOSED FRONT ELEVATION
1/8" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE

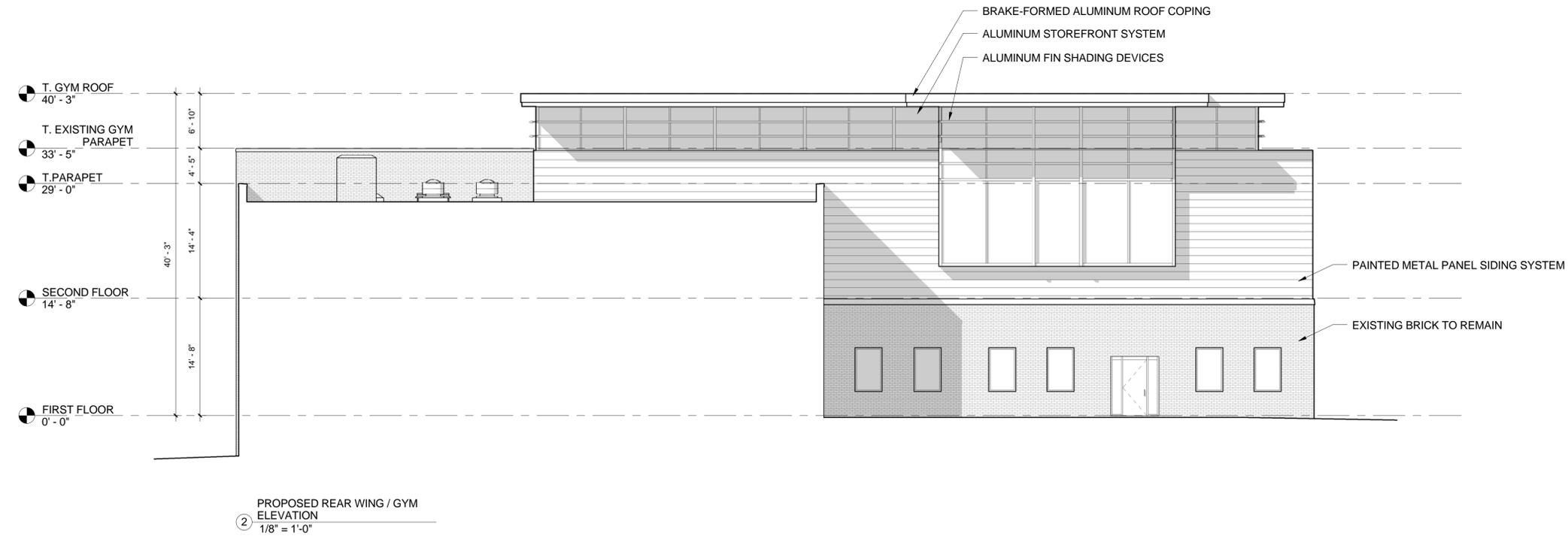
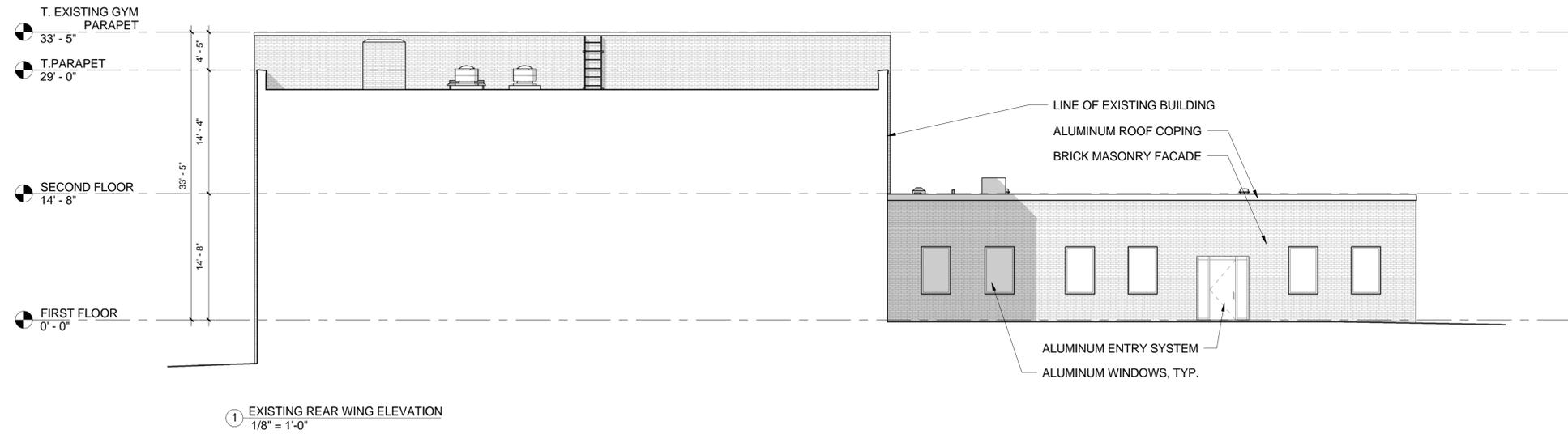
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ZONING DOCUMENTS
JUNE 24, 2015
TITLE ELEVATIONS
DRAWING A201



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NO.	DESCRIPTION	DATE

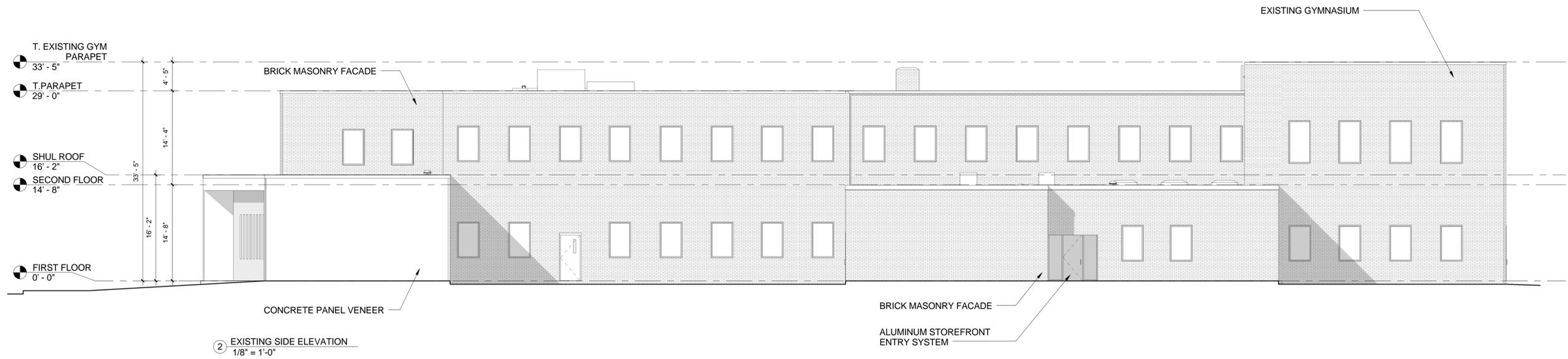
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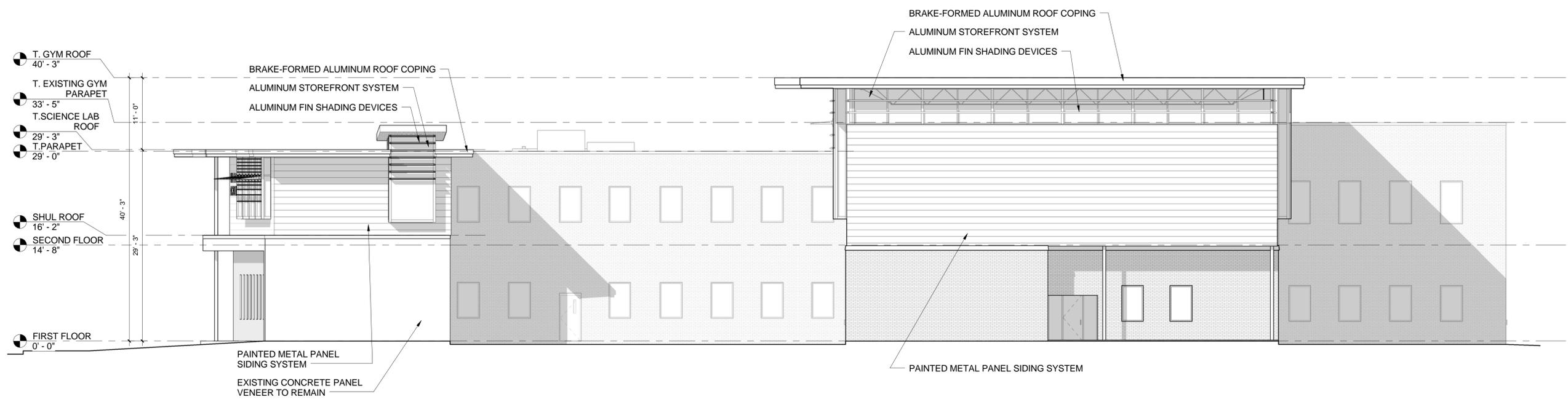
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ZONING DOCUMENTS
JUNE 24, 2015
TITLE ELEVATIONS
DRAWING A202



② EXISTING SIDE ELEVATION
1/8" = 1'-0"



① PROPOSED SIDE ELEVATION
1/8" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE

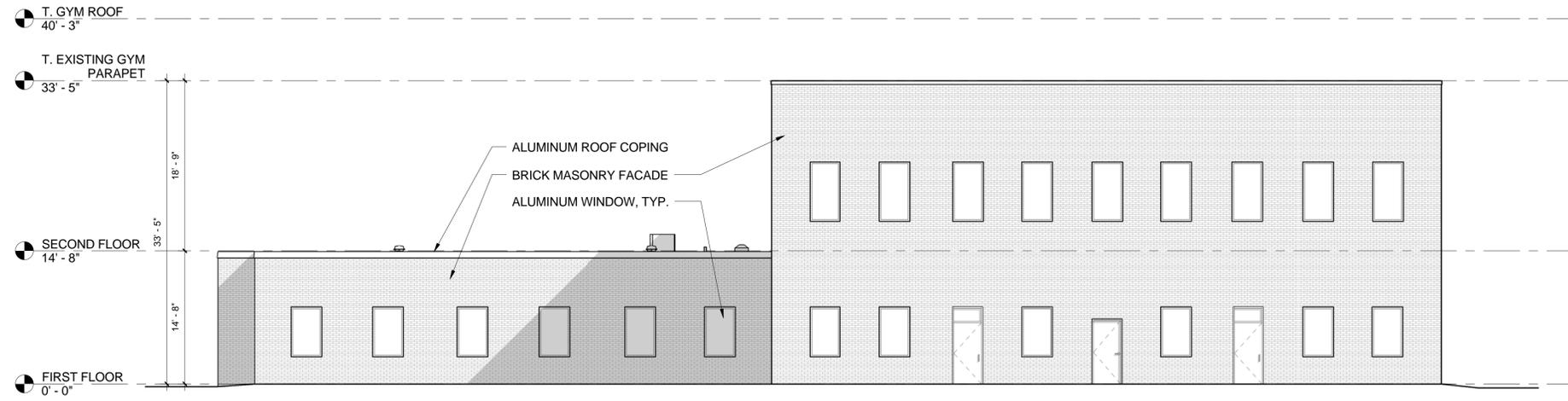
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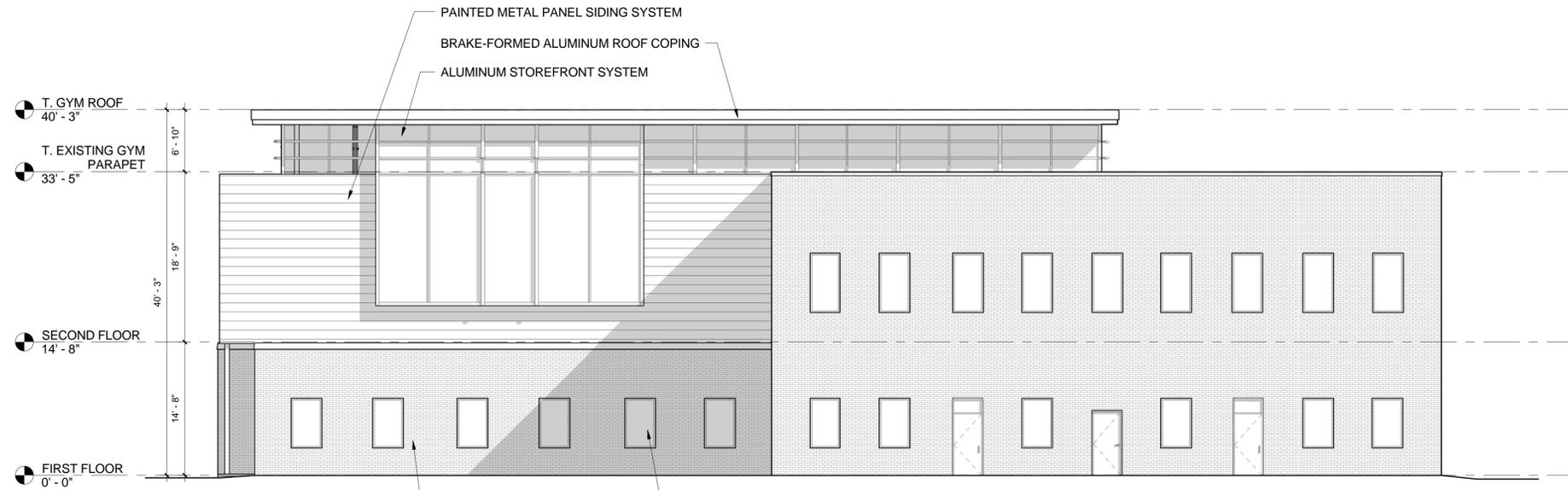
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ZONING DOCUMENTS
JUNE 24, 2015
TITLE ELEVATIONS
DRAWING A203



① EXISTING REAR ELEVATION
1/8" = 1'-0"



② PROPOSED REAR ELEVATION
1/8" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE

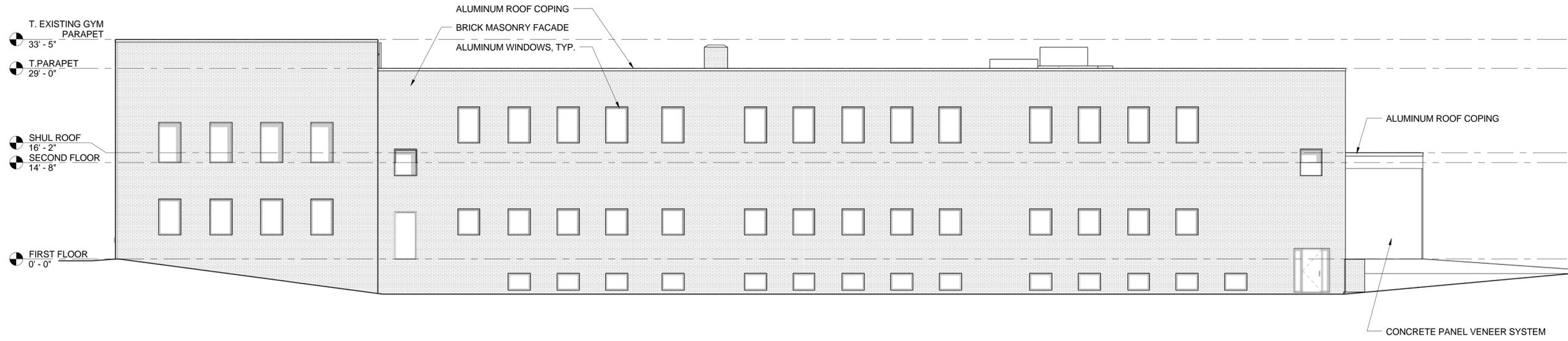
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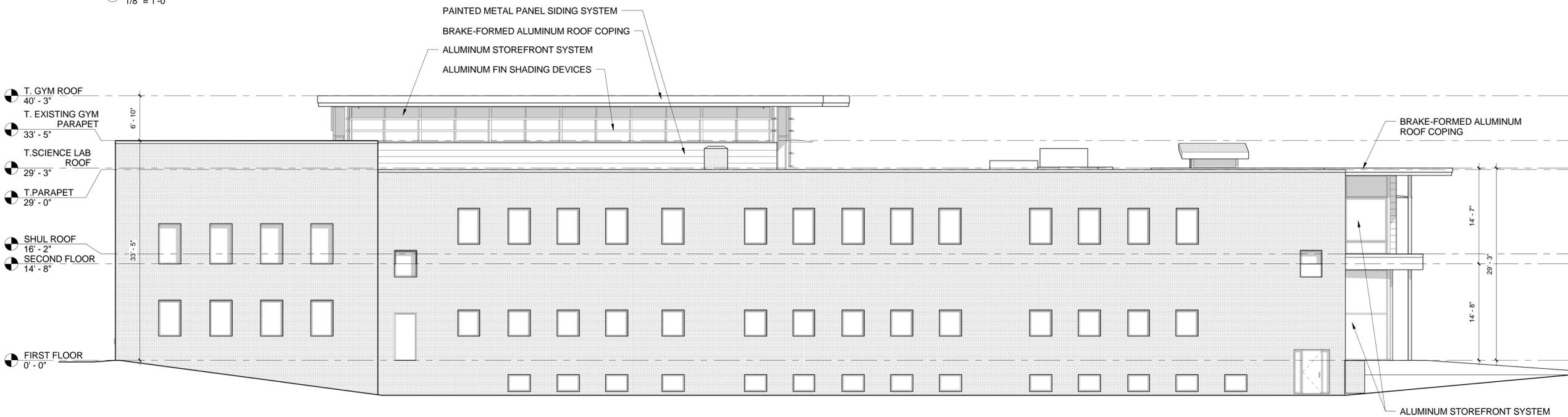
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ZONING DOCUMENTS
JUNE 24, 2015
TITLE ELEVATIONS
DRAWING A204



① EXISTING SIDE ELEVATION
1/8" = 1'-0"



② SIDE 2 ELEVATION - PROPOSED
1/8" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	DATE

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ZONING DOCUMENTS
JUNE 24, 2015
TITLE ELEVATIONS
DRAWING A205

HILLEL ACADEMY
MAIN SCHOOL
ADDITION

5685 BEACON STREET
PITTSBURGH, PA

DRAWING NOTES A001

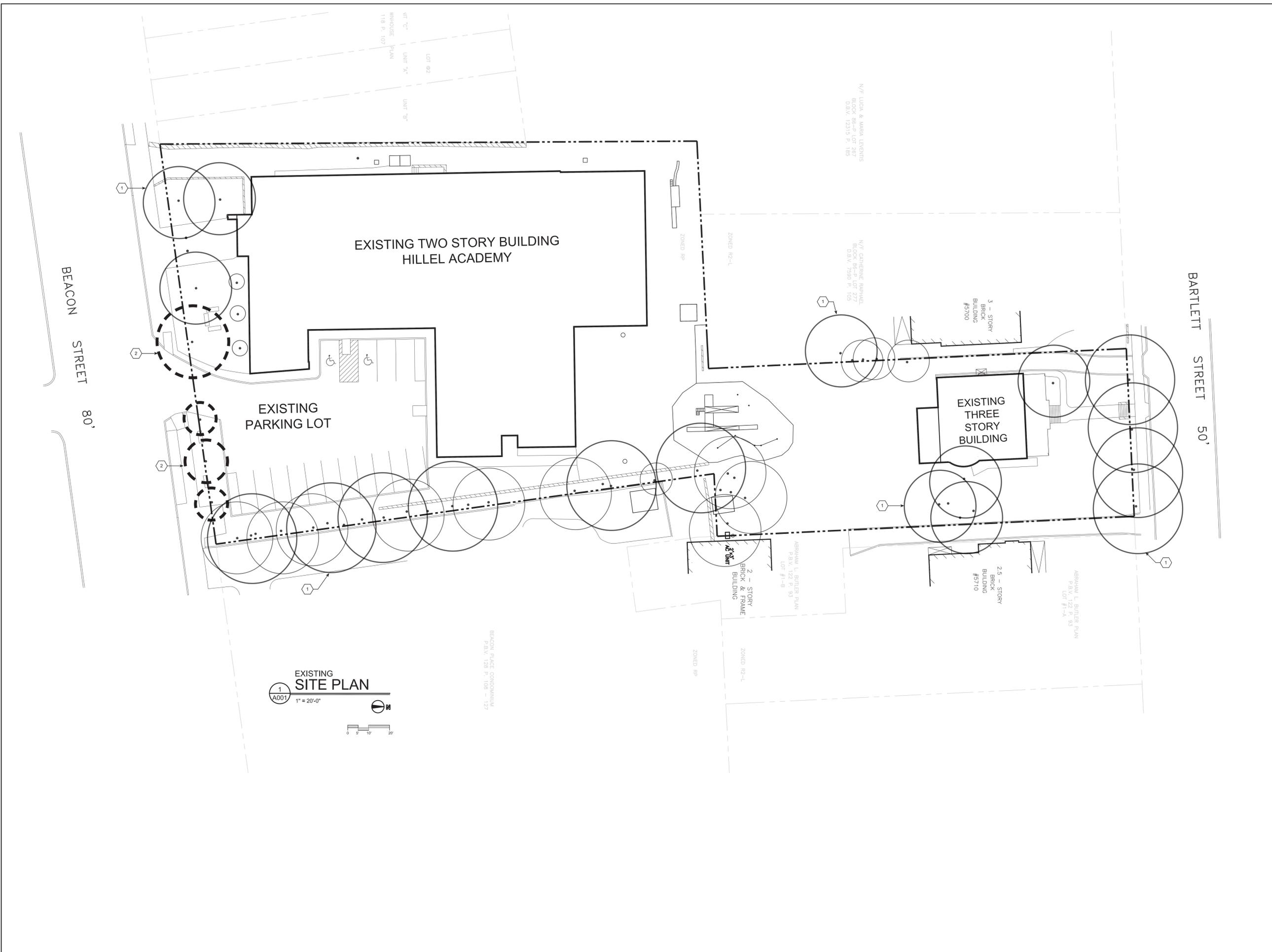
GENERAL NOTES:

A. Survey prepared by KAG Engineering, Inc.

DRAWING NOTES:

1. Existing trees to remain, typ.
2. Existing tree to be demolished, shown dashed, typ.

END OF DRAWING NOTES A001



EXISTING
SITE PLAN
1" = 20'-0"
A001

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ZONING APPLICATION	
APRIL 16, 2015	
HILLEL ACADEMY	
EXISTING SITE PLAN	DRAWING A001

HILLEL ACADEMY
MAIN SCHOOL
ADDITION

5685 BEACON STREET
PITTSBURGH, PA

DRAWING NOTES A002

GENERAL NOTES:

A. Survey prepared by KAG Engineering, Inc.

DRAWING NOTES:

1. Existing 6' chain link fence to remain.
2. Existing 14' chain link fence to remain.
3. Existing 6' wood stockade fence to remain.
4. Demolish wooden split rail fence, shown dashed.
5. Demolish chain link operable gate, shown dashed.
6. Existing building-mounted site lighting fixture to remain.
7. Demolish chain link dumpster enclosure, shown dashed.
8. Existing 10' chain link fence to remain.
9. Existing 3' concrete site wall to remain.
10. Existing 4' chain link fence to remain.
11. Demolish 6' chain link fence, shown dashed.
12. Building-mounted site lighting fixture to be demolished.

END OF DRAWING NOTES A002

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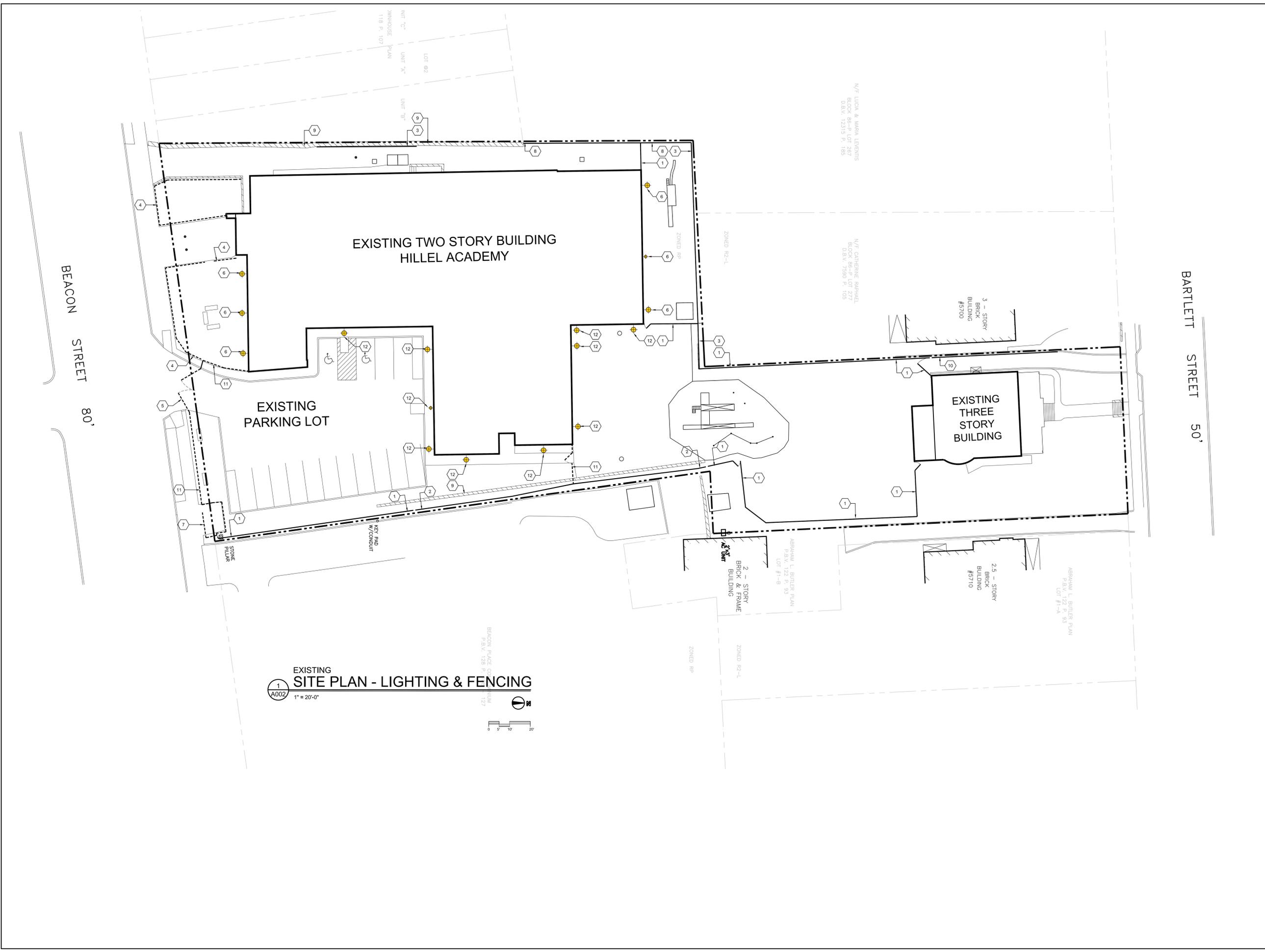
ZONING APPLICATION

APRIL 16, 2015

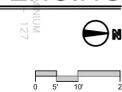
HILLEL ACADEMY

EXISTING
SITE PLAN
LIGHTING & FENCING

DRAWING
A002



EXISTING
SITE PLAN - LIGHTING & FENCING
A002
1" = 20'-0"



HILLEL ACADEMY
MAIN SCHOOL
ADDITION

5685 BEACON STREET
PITTSBURGH, PA

DRAWING NOTES A003

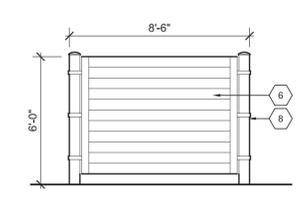
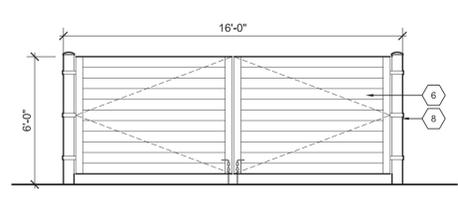
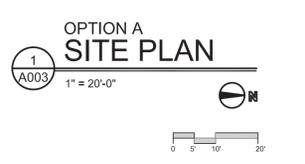
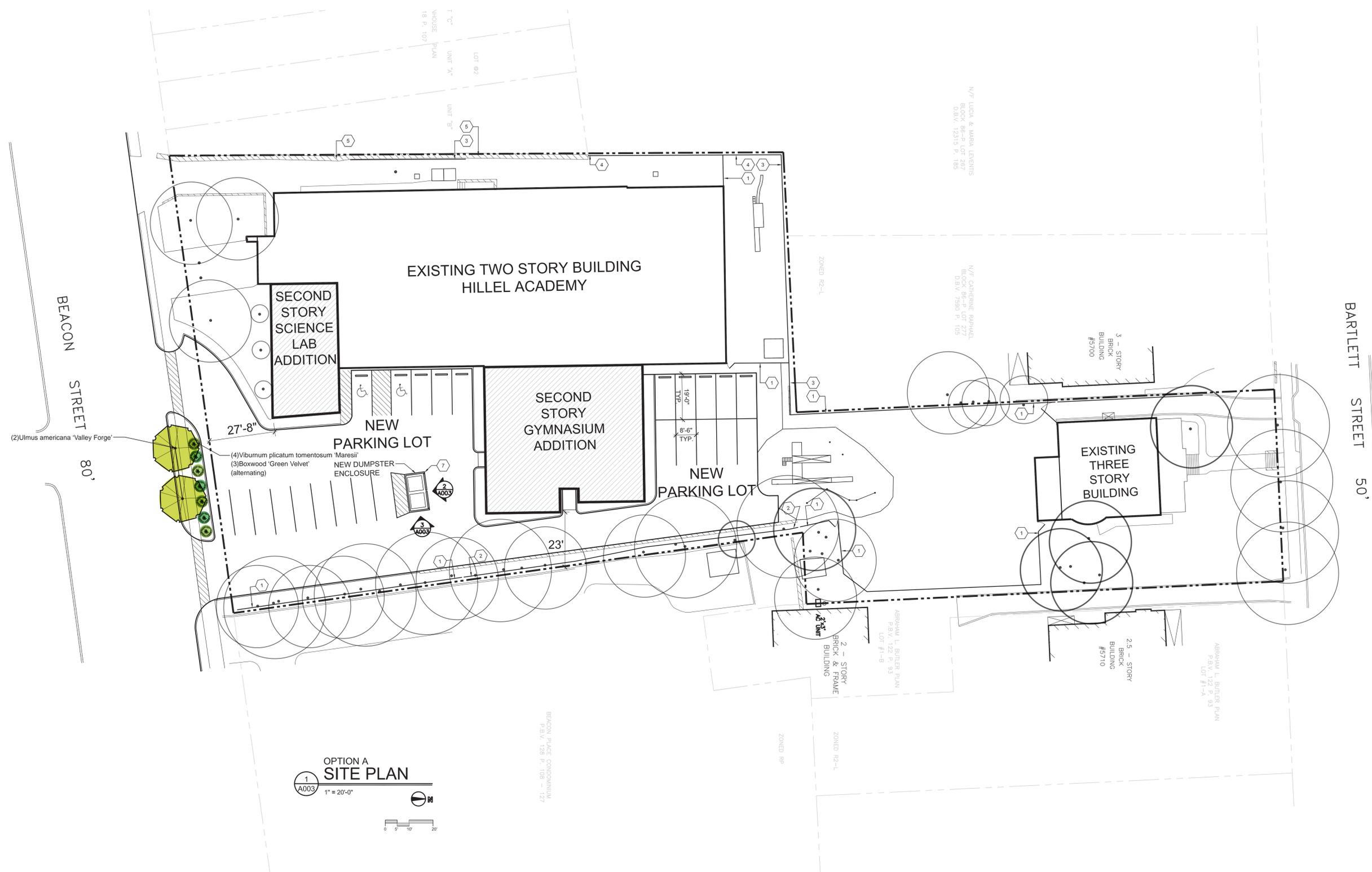
GENERAL NOTES:

A. Survey prepared by KAG Engineering, Inc.

DRAWING NOTES:

1. Existing 6' chain link fence.
2. Existing 14' chain link fence.
3. Existing 6' wood stockade fence.
4. Existing 10' chain link fence.
5. Existing 3' concrete site wall.
6. Corrugated siding to match new addition.
7. New dumpster enclosure.
8. Galvanized steel corner post.

END OF DRAWING NOTES A003



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ZONING APPLICATION

APRIL 16, 2015

HILLEL ACADEMY

PROPOSED SITE PLAN	DRAWING A003
-----------------------	-----------------

HILLEL ACADEMY
MAIN SCHOOL
ADDITION

5685 BEACON STREET
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DRAWING NOTES A004

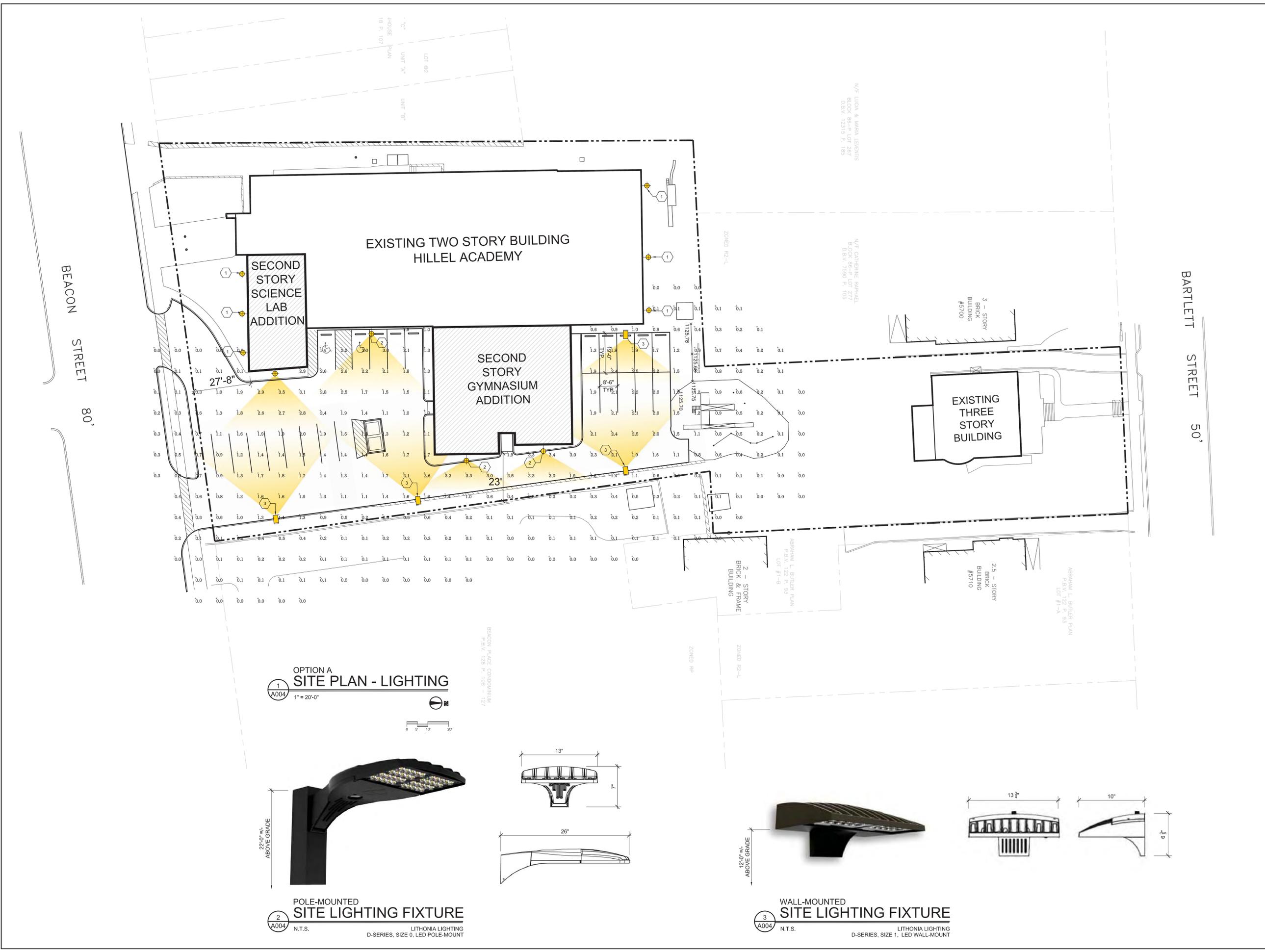
GENERAL NOTES:

A. Survey prepared by KAG Engineering, Inc.

DRAWING NOTES:

- Existing building-mounted site lighting fixture.
- New building-mounted site lighting fixture.
- New pole-mounted site lighting fixture.

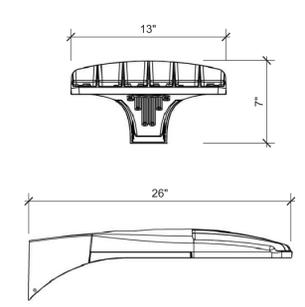
END OF DRAWING NOTES A004



OPTION A
SITE PLAN - LIGHTING
A004 1" = 20'-0"



POLE-MOUNTED
SITE LIGHTING FIXTURE
A004 2 N.T.S. LITHONIA LIGHTING D-SERIES, SIZE 0, LED POLE-MOUNT



WALL-MOUNTED
SITE LIGHTING FIXTURE
A004 3 N.T.S. LITHONIA LIGHTING D-SERIES, SIZE 1, LED WALL-MOUNT

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PROPOSED SITE PLAN - LIGHTING	DRAWING A004

HILLEL ACADEMY
MAIN SCHOOL
ADDITION

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ZONING APPLICATION

APRIL 16, 2015

HILLEL ACADEMY

VIEW FROM
BEACON ST

DRAWING
A 005

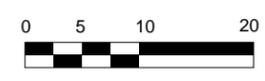
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A005 VIEW FROM BEACON STREET

Hillel Academy of Pittsburgh EXISTING



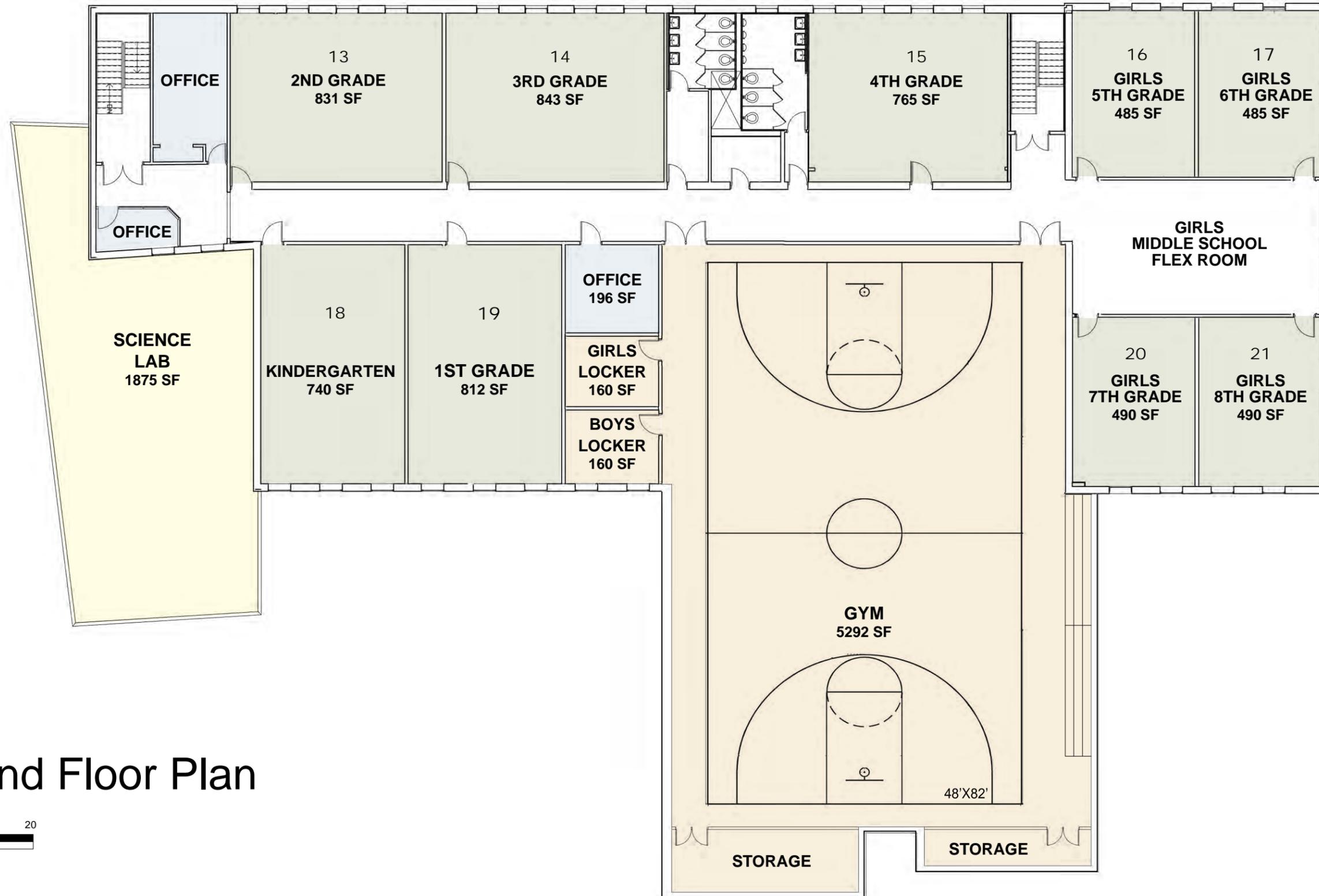
- LEGEND:**
- Classrooms
 - Administration
 - Gym
 - Science Lab

Second Floor Plan



07-03-2014

Hillel Academy of Pittsburgh PROPOSED



- LEGEND:**
- Classrooms
 - Administration
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 - Science Lab

Second Floor Plan



07-03-2014

PLANNING COMMISSION

HOTEL INDIGO EAST LIBERTY 123 N HIGHLAND AVE. PITTSBURGH, PA 15206 JUNE 29,2015

The harmonious integration of four buildings has been successfully achieved in the Governor's Hotel Indigo. It unites distinctive and very different architectures in a seamless way, creating one unique structure that adds dramatic flair to East Liberty and summons remembrances of the neighborhood's rich history.

Maximum advantage is made of the stark, vertical Hotel Indigo sign and specially tinted glass on both old new sections of the composition. Those are the two features that are designed to capture one's attention and invite closer examination.

Exterior artwork that was proposed does not add value to the design, as the focus is intended to be on the architectural elegance of the old Governor's building.

The old and the new work together in striking fashion. In showcasing original architecture as well as some original windows tasteful terrazzo flooring, a sleek glass canopy and dramatic indoor art, Governor's Hotel Indigo is a physical homage to the historic area where it reside.

HOTEL INDIGO EAST LIBERTY
123 N HIGHLAND AVE. PITTSBURGH, PA 15206



The Hotel Indigo East Liberty is a boutique hotel that is part of the Intercontinental Hotels Group, and proposed for East Liberty site by the developer/owner “Governor’s Hotel Company, LLC” Was created from three adjacent long-vacant structures.

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KIRKWOOD STREET

N HIGHLAND AVENUE

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The East Liberty site approximately 27,000 SF bounded by Highland Avenue, Broad Street, Whitfield Street and Kirkwood Street, is a UNIQUE site in the core of the original commercial district of the neighborhood. It incorporates three existing buildings into the overall design.

The 6-story Governor's Hotel on the corner of Whitfield and Kirkwood Street, the 3-story red brick building at 116 Whitfield Street, and the 4-story Consad building will undergo major renovations. A major court with new addition also was constructed at the corner of Highland Avenue and Broad Street. A new arrival and departure court with canopy was constructed in place of a demolished building on the northwest corner of the site, along Broad Street. The new Hotel Indigo is approximately 103,000 SF.



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The basement consists of services, utility and storage space. The First floor contains a grand foyer, the hotel lobby, managements offices and restaurant – Wallace Tap Room.

The second through sixth floors contain 135 hotel rooms and common areas of stairs, corridors, elevators, lobbies and vending.

The room mix includes seven different types with two different kinds of ADA suites.

The exterior material proposed are brick – (three colors to match existing), glass and metal framing, metal louvers, oversized ground-face concrete masonry units (to replicate stone), and EIFS.



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The site design includes a canopy-covered driveway, outdoor terrace, street trees and landscaped island; then continues across Broad Street a new Indigo in area of the former plaza.



Signage is proposed as two-sided, large scale at the corner of Highland Avenue and Kirkwood Street and a top the renovated Governor's wing.



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Hotel Indigo is a fabulous job with the design of integrating four buildings into one.

Hotel Indigo around the world reflects the culture of its neighborhood and offers guest a “unique local experience”.

