



INDIVIDUAL PROPERTY HISTORIC NOMINATION FORM

HRC Staff Use Only

Date Received:.....
 Parcel No.:
 Ward:
 Zoning Classification:.....
 Bldg. Inspector:.....
 Council District:.....

Fee Schedule

Please make check payable to *Treasurer, City of Pittsburgh*
 Individual Landmark Nomination: \$100.00
 District Nomination: \$250.00

1. HISTORIC NAME OF PROPERTY:

Card Estate Carriage House

2. CURRENT NAME OF PROPERTY:

Card Lane Carriage House

3. LOCATION

a. Street: 7122-7128 Card Lane

b. City, State, Zip Code: Pittsburgh, Pennsylvania 15208

c. Neighborhood: Point Breeze

4. OWNERSHIP

d. Owner(s): David and Aliza Kashi

e. Street: 1500 Valmont Street

f. City, State, Zip Code: Pittsburgh, Pennsylvania 15217 Phone: () -

5. CLASSIFICATION AND USE – Check all that apply

<u>Type</u>	<u>Ownership</u>	<u>Current Use:</u>
<input checked="" type="checkbox"/> Structure	<input type="checkbox"/> Private – home	<u>The property is a four-unit apartment building</u>
<input type="checkbox"/> District	<input checked="" type="checkbox"/> Private – other	_____
<input type="checkbox"/> Site	<input type="checkbox"/> Public – government	_____
<input type="checkbox"/> Object	<input type="checkbox"/> Public - other	_____
	<input type="checkbox"/> Place of religious worship	_____

6. NOMINATED BY:

- a. Name: Marie King, Peter Kaplan and others (please see attached list)
- b. Street: 7119 Card Lane, 125 S. Lang Avenue
- c. City, State, Zip: Pittsburgh, Pennsylvania 15208
- d. Phone: (412) 848-0070 Email: marie.king@gmail.com

7. DESCRIPTION

Provide a narrative description of the structure, district, site, or object. If it has been altered over time, indicate the date(s) and nature of the alteration(s). (Attach additional pages as needed)

If Known:

- a. Year Built: 1893
- b. Architectural Style: Elements of Romanesque Revival and Bungalow styles
- c. Architect/Builder: Henry Shenk, supervising builder

Narrative: Please see attached.

8. HISTORY

Provide a history of the structure, district, site, or object. Include a bibliography of sources consulted. (Attach additional pages as needed.) Include copies of relevant source materials with the nomination form (see Number 11).

Narrative: Please see attached.

9. SIGNIFICANCE

The *Pittsburgh Code of Ordinances, Title 11, Historic Preservation, Chapter 1: Historic Structures, Districts, Sites and Objects* lists ten criteria, at least one of which must be met for Historic Designation. Describe how the structure, district, site, or object meets one or more of these criteria and complete a narrative discussing in detail each area of significance. (Attach additional pages as needed)

The structure, building, site, district, object is significant because of (check all that apply):

- 1. Its location as a site of a significant historic or prehistoric event or activity;
- 2. Its identification with a person or persons who significantly contributed to the cultural, historic, architectural, archaeological, or related aspects of the development of the City of Pittsburgh, State of Pennsylvania, Mid-Atlantic region, or the United States;
- 3. Its exemplification of an architectural type, style or design distinguished by innovation, rarity, uniqueness, or overall quality of design, detail, materials, or craftsmanship;
- 4. Its identification as the work of an architect, designer, engineer, or builder whose individual work is significant in the history or development of the City of Pittsburgh, the State of Pennsylvania, the Mid-Atlantic region, or the United States;
- 5. Its exemplification of important planning and urban design techniques distinguished by innovation, rarity, uniqueness, or overall quality of design or detail;

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6. Its location as a site of an important archaeological resource;
 7. Its association with important cultural or social aspects or events in the history of the City of Pittsburgh, the State of Pennsylvania, the Mid-Atlantic region, or the United States;
 8. Its exemplification of a pattern of neighborhood development or settlement significant to the cultural history or traditions of the City, whose components may lack individual distinction;
 9. Its representation of a cultural, historic, architectural, archaeological, or related theme expressed through distinctive areas, properties, sites, structures, or objects that may or may not be contiguous; or
 10. Its unique location and distinctive physical appearance or presence representing an established and familiar visual feature of a neighborhood, community, or the City of Pittsburgh.

Narrative: Please see attached.

10. INTEGRITY

In addition, the ordinance specifies that “Any area, property, site, structure or object that meets any one or more of the criteria listed above shall also have sufficient integrity of location, design, materials, and workmanship to make it worthy of preservation or restoration”. (Attach additional pages as needed)

Narrative: _____

11. NOTIFICATION/CONSENT OF PROPERTY OWNER(S)

1.3(a)(2) Community information process.

Preceding submission of a nomination form for a District, the Historic Review Commission shall conduct at least one (1) public information meeting within or near the boundaries of the proposed district, which shall include at least one (1) member of the Department of City Planning and one (1) Commission member, to discuss the possible effects of designation. Notice shall be given to the owners of property in the proposed district in accordance with Section 1.3(b) below. The final public information meeting shall be held no more than six months before the nomination form is submitted.

1.3(a)(1)(a) Subsection F.

In the case of a nomination as a Historic District, by community-based organizations or by any individual, but in either event the nomination shall be accompanied by a petition signed by the owners of record of twenty-five (25) percent of the properties within the boundaries of the proposed District.

- Please attach documentation of your efforts to gain property owner’s consent.-

** The nomination of any religious property shall be accompanied by a signed letter of consent from the property’s owner.

12. PHOTO LOGS: *Please Attach*

13. BIBLIOGRAPHY: *Please Attach*

14. NOMINATION FORM PREPARED BY:

a. Name: Marie King and Peter Kaplan

b. Street: 7119 Card Lane, 125 S. Lang Avenue

c. City, State, Zip: Pittsburgh, Pennsylvania 15208

d. Phone: (412) 8480070 Email: marie.king@gmail.com, pghpeter@verizon.net

e. Signature: _____



HISTORIC NOMINATION – INSTRUCTIONS

INSTRUCTIONS FOR FILLING OUT THE NOMINATION FORM

1. Indicate the original name of the property if it is currently known by a different name; e.g. Union Station.
2. Indicate the current name of the property
3. Indicate the street address for the property. For districts, attach a separate sheet listing the street address of each property included in the nomination and a clear street map of the area showing the boundaries of the proposed district.
4. Indicate the owner of the property and his or her mailing address. For districts, attach a separate sheet listing the owner of each property and his or her mailing address.
5. Check the classification as indicated.
 - a. **“Historic Structure”** means anything constructed or erected, the use of which requires directly or indirectly, a permanent location on the land, including walks, fences, signs, steps and sidewalks at which events that made a significant contribution to national, state or local history occurred or which involved a close association with the lives of people of nations, state or local significance; or an outstanding example of a period, style, architectural movement, or method of construction; or one of the last surviving works of a pioneer architect, builder or designer; or one of the last survivors of a particular style or period of construction.
 - b. **“Historic District”** means a defined territorial division of land which shall include more than one (1) contiguous or related parcels of property, specifically identified by separate resolution, at which events occurred that made a significant contribution to national, state, or local history, or which contains more than one historic structure or historic landmarks, or which contains groups, rows or sets of structures or landmarks, or which contains an aggregate example of a period, style, architectural movements or method of construction, providing distinguishing characteristics of the architectural type or architectural period it represents.
 - c. **“Historic Site”** means the location of a significant event, a prehistoric or historic occupation or activity, or a building or structure whether standing, ruined or vanished, where the location itself maintains historical or archaeological value regardless of the value of any existing structures.
 - d. **“Historic Object”** means a material thing of historic significance for functional, aesthetic cultural or scientific reasons that may be, by nature or design, moveable yet related to a specific setting or environment.
6. Indicate the person(s) responsible for the nomination. Please note: According to the Historic Preservation Ordinance:

“Nomination of an area, property, site, or object for consideration and designation as a Historic Structure, Historic District, Historic Site, or Historic Object may be submitted to the Historic Review Commission by any of the following:

- a. The Mayor of the City of Pittsburgh
 - b. A Member of the Historic Review Commission
 - c. A Member of the City Planning Commission
 - d. A Member of the Pittsburgh City Council
 - e. The Owner of Record or any person residing in the City of Pittsburgh for at least one year (for the nomination of a Historic Structure, Site or Object)
 - f. A signed petition of 25% of the owners of record (for the nomination of a Historic District)
7. Write a physical description of the nominated property or district. Include the following information as applicable:
- architectural style(s)
 - arrangement of architectural elements
 - building materials
 - method(s) of construction
 - visual character
 - street pattern
 - density
 - type and arrangement of buildings
 - topography
 - history of the development of the area
8. Provide a narrative history of the structure, district, site, or object. Include the following information when available:
- History of the development of the area;
 - Circumstances which brought the structure, district, site, or object into being;
 - Biographical information on architects, builders, developers, artisans, planners, or others who created or contributed to the structure, district, site, or object;
 - Contextual background on building type(s) and/or style(s);
 - Importance of the structure, district, site, or object in the larger community over the course of its existence.
 - Include a bibliography of all sources consulted at the end. Where historical information is uncertain or disputed, reference sources in the text.
9. Listed below are the categories and criteria for historic designation as set forth in the Pittsburgh Historic Preservation Ordinance. Describe in detail how the structure, district, site, or object meets one or more of the criteria. According to that legislation in Section 1.4 of the Pittsburgh Historic Preservation Ordinance, *Criteria for Designation*, a building must meet at least one of the following criteria in order to be designated:
1. Its location as a site of a significant historic or prehistoric event or activity;
 2. Its identification with a person or persons who significantly contributed to the cultural, historic, architectural, archaeological, or related aspects of the development of the City of Pittsburgh, State of Pennsylvania, Mid-Atlantic region, or the United States;
 3. Its exemplification of an architectural type, style or design distinguished by innovation, rarity, uniqueness, or overall quality of design, detail, materials, or craftsmanship;
 4. Its identification as the work of an architect, designer, engineer, or builder whose individual work is significant in the history or development of the City of Pittsburgh, the State of Pennsylvania, the Mid-Atlantic region, or the United States;

-
5. Its exemplification of important planning and urban design techniques distinguished by innovation, rarity, uniqueness, or overall quality of design or detail;
 6. Its location as a site of an important archaeological resource;
 7. Its association with important cultural or social aspects or events in the history of the City of Pittsburgh, the State of Pennsylvania, the Mid-Atlantic region, or the United States;
 8. Its exemplification of a pattern of neighborhood development or settlement significant to the cultural history or traditions of the City, whose components may lack individual distinction;
 9. Its representation of a cultural, historic, architectural, archaeological, or related theme expressed through distinctive areas, properties, sites, structures, or objects that may or may not be contiguous; or
 10. Its unique location and distinctive physical appearance or presence representing an established and familiar visual feature of a neighborhood, community, or the City of Pittsburgh.
- 10.** In addition, the ordinance specifies that “Any area, property, site, structure or object that meets any one or more of the criteria listed above shall also have sufficient integrity of location, design, materials, and workmanship to make it worthy of preservation or restoration.”
- 11.** The nomination must be accompanied by evidence that the nominator has made a good-faith effort to communicate his or her interest in the historic designation of this landmark or district to the owner(s) of these properties. Describe how this was done, and attach evidence that the owner(s) of the nominated landmark or of the properties within the nominated district have been informed of the nomination. This may include a copy of a notification letter with a mailing list, a letter confirming phone calls, or a petition signed by affected property owners.
- 12.** Clear photographs of the nominated buildings or districts should accompany the nomination form. The applicant shall include photographs of all elevations of an individual building and its setting, or the front elevation of each building in a district. In the case of closely spaced buildings or rowhouses, several buildings may be included in one photograph. Each photograph must be labeled with the street address of the building(s) and the month and year the photograph was taken.
- 13.** Copies of major supporting documents should accompany the nomination form. Such documents may include, but are not limited to:
- historic photographs;
 - historic and contemporary maps;
 - historic or contemporary texts describing the subject property or district;
 - historic or contemporary texts describing people, places, or events that comprise the historic context of the subject property or district.
 - Oversized materials (such as architectural drawings) and materials too fragile to copy may be accepted.

PLEASE NOTE: It is the responsibility of the nominator to provide the Historic Review Commission and its Staff with information sufficient to fairly evaluate the nomination. **Incomplete nomination forms will not be accepted. Fee must be included. Nominations must be submitted in both electronic and hard-copy format.**

CHECKLIST: *Card Lane Carriage House*

- #1-6 Nomination Form:** Address, Ownership, Classification, Nominator Info.
 - #7: Description
 - #8: History
 - #9: Significance
- #10 Integrity**
- #11 Consent of Property Owners**
- #12 Photographs of Property:** numbered and labeled
- #13 List of Supporting Documents**

- Fee**
- Hard-Copy nomination**
- Electronic nomination (Word Format for text).**

Section 6. Nominators

Ken Bailey and Lisa Colautti
7114 Card Lane
Pittsburgh, PA 15208

Susan Barclay
7135 Card Lane
Pittsburgh, PA 15208

Brendan Benson
7118 Card Lane
Pittsburgh, PA 15208

Maureen Girty and Werner Schaefer
7130 Card Lane
Pittsburgh, PA 15208

Peter and Leslie Kaplan
125 South Lang Avenue
Pittsburgh, PA 15208

Marie King
7119 Card Lane
Pittsburgh, PA 15208

Sheila and Keith Morris
7131 Card Lane
Pittsburgh, PA 15208

Diana Roebuck
7134 Card Lane
Pittsburgh, PA 15208

Carly and Chris Thornlow
7127 Card Lane
Pittsburgh, PA 15208

Section 7. Description

The Card Lane Carriage House, erected in 1893, has served two purposes during its 122 year life. A historical account, an 1893 Sanborn Fire Insurance Map¹, and the stable's stonework all suggest that it was originally built as a stable for the substantial stone-clad residence of William Warren Card (1831-1903) in 1893.² Card's residence was one of the later additions to the Penn Avenue millionaire's row, which experienced its flowering in the late nineteenth century and evolved into a pleasant but less exalted in-city suburb after the automobile made it possible for Pittsburgh's elite to live in outlying communities such as Fox Chapel and Sewickley. As the properties of the former millionaires' row were subdivided for new development in the 1920s, the stable was converted into four apartments. The building has remained in multi-family use since its conversion, but its architectural kinship to the Card mansion, which still stands at 7110-7116 Penn Avenue, remains perceptible. Despite recent unsympathetic but reversible changes, the structure also retains the character of its 1920s conversion.

Unfortunately, no photographs could be found of the Carriage House prior to its conversion. However, the diagrams of the building on the 1893 and 1906 Sanborn Maps show that the property has kept its original footprint and form.³ The 1893 Sanborn Map shows a diagram of the building, identified as a two-story stable, as a frame building with a "stone first" floor and a basement. Significantly, the diagram also shows that the western side of the first floor front is open and engaged under the second floor as it is today. The 1906 Sanborn Map shows no change in the building, but adds the notation that the western section of the first floor front is "open".⁴

The Sanborn Maps from 1893 and 1906 show the Carriage House located behind the Card Mansion with a setback from Tuscarora Street, which at that time existed only on paper. Plat maps from 1898, 1904, and 1910 show a driveway connecting the Carriage House with the Card Mansion, and show a forecourt occupying the front of the Carriage House between it and the Tuscarora Street right-of-way.⁵

While the Sanborn and plat maps show the spatial and legal relationships of the Carriage House to the Card Mansion, the stonework of the Carriage House provides its architectural link to the larger building. The first floor stonework of the Carriage House echoes the stone facing that covers the entire Card Mansion. The architectural relationship is especially evident in the stone pillars and capitals that support the front porch, which strongly resemble similar porch pillars of the Card Mansion (photos 12A and 12B).

The present exterior appearance of the Card Lane Carriage House derives primarily from its 1920s conversion to apartments. The building faces Card Lane to the North

¹ See Supporting Documents.

² Meyer, Basil. *The William Warren Card Mansion*. Pittsburgh: The Unity Center, 1977. Print.

³ See Supporting Documents.

⁴ See Supporting Documents.

⁵ See Supporting Documents.

and is set back roughly 25 feet from the street (photo 1). Although there is no documentary evidence to support this, the height of the front porch suggests that the creation of Card Lane caused the level of the land in front of the building to be raised so that the first floor provided less clearance than it had when it was used as a carriage house.

The main roofline is a broad side gable with the ridge running east-west or parallel to Card Lane. At the eastern (left) end of the main roofline, a perpendicular front facing gable sits atop the easternmost bay of the façade. The western bays of the second floor are sheltered by a shed roof with a slope roughly parallel to the main gable end. Shallow ornamental pent roofs shelter the attic windows at each of the gable ends.

The entire first floor and exposed basement level of the Carriage House are clad in alternating broad and narrow bands of stone, which Sanborn maps indicate were part of the original structure (photo 2). The second floor and attic were covered with weathered wooden clapboards. At this writing (June, 2015) the owner is in the process of covering the clapboards with vinyl siding. The clapboards remain intact under the vinyl siding. As of this writing, no siding has been applied to the western side of the building, but its application is likely imminent. A wooden frieze, consisting of flat and convex sections with a dental course in between, separate the first floor stone from the second story clapboards on all four sides of the structure (photo 3).

The most distinctive feature of the Carriage House is its front porch, which is engaged under the second floor and occupies the western (right) bays of the first floor. The porch is upheld by stone columns and capitals which echo the Romanesque Revival style of the Card Mansion. At the porch's western end, there is a low stone wall with the same alternating bands of broad and narrow stone seen on the rest of the first floor (photos 4A, 4B, 4C, and 4D).

The Carriage House has asymmetrical door and window openings on each of its four sides. Most, but not all, of these openings reflect the changes made during the 1920s apartment conversion. The first floor façade has three large wooden casement windows, the largest one in the eastern gable (photo 5) front and two others under the engaged porch (photo 4A). The windows extend from roughly knee nearly to the ceiling. The four apartments are accessed by three doors sheltered by the front porch and clustered near its eastern (left) side. A door on the porch's eastern wall provides access to the first floor unit under the front gable (photo 5). A second door near the eastern corner of the porch gives way to a stair leading to the two second floor apartments, and a third door to the right of the center door is the entrance to the western first floor apartment (photo 4A). Each door has two rectangular panels and an eight-light upper window.

All of the windows of the second floor façade had six-over-one sash until recently. The two windows in the front gable retain this pattern, but the paired windows over the porch have been altered with cheap vinyl replacements with different sash patterns (photo 1).

At the attic level, the gable front has three small windows which together created a faintly Palladian pattern and appear to date from the time of the 1920s conversion (photo 1).

The eastern and western elevations of the Carriage House retain somewhat more integrity than the front and rear elevations of the building. At the center of each side elevation there is a door sheltered by a bracketed pent roof (photo 6). The doors on each of these entrance are the same as the front entrance doors. Above each of the entrance doors is a small second story balcony sheltered with a similar bracketed pent roof (photo 7). The balusters on each balcony have been replaced with simple wood posts. Adjoining the side entrance and the balcony on the eastern elevation are large casement windows similar to those on the front elevation (photo 8). Both the first and second floors each have six-over-one sash windows. At the attic level, there are three small multi-pane windows under the pent roofs on each gable end (photo 9). The eastern elevation also has a chimney with similar stonework to the first floor (photo 7). The eastern elevation has now been covered with vinyl siding, but the wooden clapboards of the gable end remain exposed and intact.

The western elevation has similar fenestration to eastern side of the building, but has a shorter length and fewer windows due to the porch and because it is further above ground due to the east to west slope of the site. The western elevation shares with the other side of the building its centrally located entrance, which sits on a porch, and the small second story balcony. It also has the three windows under the pent roofs at the attic level. All of the windows on the western elevation retain their six-over-one sash. As of this writing, this elevation has no vinyl siding but its application is imminent (photo 10).

The rear elevation retains all eight of its six-over-one sash windows, but several small windows, which appear to be for bathrooms, have been replaced with vinyl windows and reduced in size. The second floor is covered with vinyl siding (photos 11A and 11B).

Although the Card Lane Carriage House has undergone some unfortunate recent changes, it retains its original form and materials from 1893 and its character from its conversion to an apartment building in the 1920s. The recent changes, while regrettable, can be reversed. The wooden clapboards remain intact under the recently applied vinyl siding. The building is a rare surviving outbuilding from the period in which Penn Avenue was one of Pittsburgh's most prestigious addresses, and it also reflects the transition of Penn Avenue and its surroundings from an area of large estates to an in-city suburb for middle class families.

Section 8. History

The Card Lane Carriage House was built in 1893 by William Warren Card. Mr. Card began his career in the railroad industry. As Superintendent of the Steubenville division of the Panhandle Railroad, he gave George Westinghouse the opportunity to test the Westinghouse Air Brake on one of his trains and became one of the first investors in the Westinghouse Air Brake company. W. W. Card was later promoted through the company, eventually becoming the Secretary and then the Second Vice President of Westinghouse Air Brake.⁶ By 1892, he had amassed enough fortune to join his colleagues along "Millionaire Row" on Penn Avenue. He purchased a section of land between South Lang Avenue and Osage Lane from Colonel J. M. Schoonmaker in 1892.⁷ Construction began simultaneously on the mansion and combination stable and carriage house, located at the back of the property in 1893. The same stone was used on both buildings.⁸ Under supervision of the builder Henry Shenk,⁹ whose company was simultaneously in charge of building the superstructure of the Main Carnegie Library and Museum in Oakland,¹⁰ construction was completed in 1894¹¹ and Mr. Card moved into the estate at 7110 Penn Avenue with his second wife Maria Llewellyn Card.

Returning home from the Westinghouse offices in Wilmerding, Mr. Card was fatally struck by a street car in front of his home in April 1903.¹² The estate on Penn Avenue including the Carriage house were left to his widow.¹³ By 1921, the upkeep of the estate was too costly for Mrs. Card,¹⁴ and she sold the property to the developer Martin M. Burke.¹⁵ Mr. Burke held the property for less than a year before passing it on to other developers, including John E. Born.¹⁶ By 1923, the plat map shows that a new street, Card Lane, had been opened where the Tuscarora Street had been platted, and that lots on the street had been subdivided and purchased by multiple owners, although no houses had yet been built.¹⁷ The plat map shows that the Carriage House remained as a stable, but was now owned by C.T. Dunn. Dunn retained ownership of the Carriage House according to the next available plat map of 1939.¹⁸ This map shows that the building is no longer marked as a stable, so the building's conversion to an apartment took place between 1923 and 1939.

⁶ National Iron and Steel Publishing Company, *Steel and Iron*, Vol. 72, 1903, 422. Google Book.

⁷ Deed Book 773, page 450

⁸ Meyer, Basil.

⁹ Building permit 1892

¹⁰ Presentation of the Carnegie Library to the People of Pittsburgh, with a Description of the Dedicatory Exercises, November 5, 1895. *Printed by order of the Corporation of the City of Pittsburgh*. Available: <http://www.carnegielibrary.org/research/pittsburgh/Carnegie/mrac1.html>

¹¹ Meyer, Basil.

¹² Engineers' Society of Western Pennsylvania, *Proceedings of the Engineers' Society of Western Pennsylvania*, Vol. 19, 1903, p. 331-3. Google Book.

¹³ Card Left a Large Estate. *The Pittsburgh Press*, 21 April 1903: 1. Available online:

<https://news.google.com/newspapers?id=FRQbAAAAIBAJ&sjid=oEgEAAAAIBAJ&pg=5990%2C153806>

¹⁴ Meyer, Basil.

¹⁵ Deed book 2065, page 520

¹⁶ Various deed transfers.

¹⁷ See Supporting Documents.

¹⁸ See Supporting Documents.

Although the exact date of the conversion within this 16-year period could not be determined, it is almost certain that the conversion of the Carriage House took place in the mid-to-late 1920s. The 1923 map shows Card Lane opened and with lots in individual ownership, suggesting that development was imminent. The houses of Card Lane, particularly those on the south side of the street adjoining the Carriage House, were built in the Foursquare and Bungalow styles popular in the 1920s. The opening of the street, the elimination of horse transportation, and the separation of the building from the Card Mansion rendered it useless for its original use as a stable by the mid-1920s. Most conclusively, City Directories show people living at the addresses of the Carriage House as early as 1929.¹⁹

Section 9. Statement of Significance

Association with William Warren Card

The Card Lane Carriage House is significant for its association with William Warren Card (1831-1903), who played a prominent role with George Westinghouse in the development and universal adoption of the railroad air brake, which remains the primary method for braking trains today.²⁰ The development of the air brake was the first major product of the Westinghouse Corporation, which grew to become one of Pittsburgh's largest and most recognized companies for over a century. William Warren Card built the Carriage House as an outbuilding for his Penn Avenue residence at the time the house was constructed in 1893.

George Westinghouse invented the air brake in 1869²¹. The air brake's most significant advantage was to enable an engineer to stop all the cars of a train with a single application of the brakes from the engine cab. Up to that point, trains required a brakeman on each car to apply that car's brakes. Despite this obvious advantage, Westinghouse was at first unable to convince railroad owners to adopt the new technology. At that time, William Warren Card was a superintendent on the Panhandle Railway (later absorbed into the Pennsylvania Railroad). Card saw the clear advantages of the air brake and arranged the first test of air brake, which demonstrated to a skeptical industry the advantages of the Westinghouse invention. After this trial stimulated adoption of the air brake, first by the Pennsylvania Railroad and later by all other railroads, Westinghouse hired Card as his general sales agent, and promoted him to Secretary of Westinghouse Airbrake Company in 1881.²² Card was appointed Vice

¹⁹ R.L. Polk and Company, *City Directory of Pittsburgh, 1929*. Pittsburgh: R.L. Polk and Company, 1929, p. 2516.

²⁰ Railway Technical Web Pages, "Air Brakes", Railway-Technical.com

²¹ Westinghouse received patent 88929 for the air brake on April 13, 1869. The company later received many additional patents for refinements and improvements. "George Westinghouse Air Brake: Patents and Inventions" Patent-Invent.com, updated December 2014.

²² A.S., "William Warren Card", *Railway and Locomotive Engineering*, May, 1903, p. 232.

President of the firm in 1902.²³ The air brake was a major step forward in the development of railroads. It improved safety and made longer freight and passenger trains possible. In 1893, Congress made use of air brakes mandatory on all trains in the United States.²⁴

In 1887, growing American and international demand induced Westinghouse to relocate the Air Brake Company from its second location on the North Side to a 500-acre site in the Turtle Creek Valley, approximately 10 miles east of Pittsburgh.²⁵ Here Westinghouse erected a new plant and created a new town, Wilmerding, for his workers. One of the streets in the new community was named Card Avenue in honor of W.W. Card.²⁶

Association with a Rare Extant Building Type

The Carriage House is also significant as one of only two known carriage/stable buildings in Point Breeze that survive from the late nineteenth century, when Penn Avenue was the domain of large estates owned by Pittsburgh's most prominent businessmen. Sanborn Maps from the late nineteenth and early twentieth century show that the Point Breeze neighborhood had a number of carriage house and stable buildings during that period.²⁷ Nearly all of these outbuildings were demolished as automobiles replaced horse-drawn vehicles, and the estates were sold and divided for suburban development, a process which began in earnest during the 1920s. The other remaining carriage/stable structure is the nearby H.J. Heinz Garage/Carriage House, located at 7033-35 Meade Place. Like the Card Lane Carriage House, the Heinz building was long ago converted into apartments.

Association with 20th Century Suburban Development of Point Breeze

The Card Lane Carriage House is a significant reflection of the Point Breeze neighborhood's evolution from the home of Pittsburgh's elite to a middle class in-city suburb. The conversion of the building into apartments in the mid-to-late 1920s reflected the subdivision of large properties into smaller lots for the construction of single family houses and some apartment properties. As the Carriage House was converted to apartments in the mid-to-late 1920s, Card Lane was opened on land formerly owned by W.W. Card and houses were constructed on the newly created street.

²³ Meyer, Basil. Page 3.

²⁴ Wilmerding World Wide, *Wilmerding and the Westinghouse Air Brake Company*. Charleston, S.C.: Arcadia Publishing Company, 2002, p 5.

²⁵ Wilmerding World Wide, *Wilmerding and the Westinghouse Air Brake Company*. Charleston, S.C.: Arcadia Publishing Company, 2002, pp. 6-8.

²⁶ Wilmerding World Wide, *Wilmerding and the Westinghouse Air Brake Company*. Charleston, S.C.: Arcadia Publishing Company, 2002, pp. 90-91.

²⁷ See Supporting Documents.

Section 10. Integrity

As explained in detail in Section 7, the Card Lane Carriage House retains the basic form and materials from its original construction as a stable/carriage house for the Penn Avenue mansion of William Warren Card. The Carriage House also retains nearly all of the exterior features and character from its conversion from a stable to an apartment building in the 1920s. Although the Card Lane Carriage House has undergone an unfortunate application of vinyl siding and replacement of some windows with cheap and inappropriate replacements, these regrettable changes can be reversed. We are seeking historic designation of the Card Lane Carriage House to encourage the reversal of these changes and to prevent further adverse changes in the future.

Section 11. Communication with Property Owner

June 21, 2015 Brendan Benson, resident of Card Lane, informed David Kashi that a group of neighbors was working on nominating his property as a historic property with the Historic Review Commission.

June 23, 2015 The attached letter was sent to David and Aliza Kashi via first class mail and certified mail to both known addresses found on the Allegheny County website.

June 26, 2015 The letter was received at the Kashi residence on Valmont Street. See attached receipt.

7119 Card Lane
Pittsburgh, Pennsylvania 15208

June 23, 2015

By hand-delivery, first class mail and certified mail to both addresses.

David and Aliza Kashi
1500 Valmont Street
Pittsburgh, Pennsylvania 15217

Alternate address
2363 Tilbury Avenue
Pittsburgh, Pennsylvania 15217-2455

Dear Mr. and Mrs. Kashi,

I am writing on behalf of a group of interested Card Lane neighbors to inform you that after significant (and exciting) research into the history of your property on Card Lane, we will be nominating it as a historic landmark with the Historic Review Commission!

Here is a brief summary of the history that we uncovered:

- The Carriage House on Card Lane was built by William Warren Card in 1893 along with his mansion on Penn Avenue as a combination stable and carriage house. Both buildings were constructed from the same stone.
- William Warren Card was a prominent member of the Westinghouse Air Brake company, beginning as one of its first investors and then rising to be Second Vice President before his death in 1903.
- In the mid-1920's, Mr. Card's estate was sold to developers and divided into individual lots. The Carriage House remained, eventually being converted into the multi-family building that it is today sometime between 1925 and 1929.
- The Carriage House on Card Lane is one of only two known surviving stables/carriage houses from the 19th century in Point Breeze.

We would like to invite you to join us in co-nominating the property. More information on the process and what a historic landmark designation could mean for the property is available on the Historic Review Commission's website: <http://pittsburghpa.gov/dcp/boards/historic-review-commission>. Please let us know if you are interested in co-signing the form before Monday June 29th.

Sincerely,

Marie King

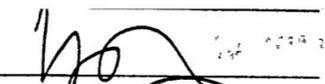


Date: June 26, 2015

Marie King:

The following is in response to your June 26, 2015 request for delivery information on your Certified Mail™ item number 7015064000067407081. The delivery record shows that this item was delivered on June 25, 2015 at 12:27 pm in PITTSBURGH, PA 15217. The scanned image of the recipient information is provided below.

Signature of Recipient :

Signature	X	
Printed Name		KASHI

Address of Recipient :

Delivery Address	1500 VAlmOSt
------------------	--------------

Thank you for selecting the Postal Service for your mailing needs.

If you require additional assistance, please contact your local Post Office or postal representative.

Sincerely,
United States Postal Service

Section 12. Photographs

Note: The following photos were taken over a period in May and June, 2015 when the Card Lane Carriage House was receiving an overlay of vinyl siding and a partial exterior repainting. These transitional photos are intended to show the impact of these inappropriate, but reversible changes to the building.

Photo 1 – Card Lane elevation



Photo 2 – Detail of first floor stonework



Photo 3 – Detail of Frieze



Photo 4A – Porch showing two of three doors and casement windows



Photo 4B – Front porch showing stone balustrade



Photo 4C – Porch detail showing Romanesque style porch pillars and capitals.



4D – Apartment entrances on east side of porch.



Photo 5 - Gable front casement window



Photo 6 – Entrance with pent roof, east elevation.



Photo 7 – Eastern elevation showing second floor balcony, second floor casement window, attic pent, and stone chimney.



Photo 8 – Casement window on first floor of eastern elevation.



Photo 9 – Detail of gable end, east elevation showing pent and windows.



Photo 10 – West elevation



Photo 11 – Rear elevation – overall view



Photo 11B – Rear elevation at southeast corner of building



Photo 12A – Overall front view of the Card Mansion, 7110 Penn Avenue



Photo 12B – Rear porch of Card Mansion



Section 13. Bibliography

Card Left a Large Estate. *The Pittsburgh Press*, 21 April 1903: 1. Available online: <https://news.google.com/newspapers?id=FRQbAAAAIBAJ&sjid=oEgEAAAAIBAJ&pg=5990%2C153806>

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A.S., "William Warren Card", *Railway and Locomotive Engineering*, May, 1903, p. 232.

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Supporting Documents

Plat Map 1890

Building Permit, 1892

Insurance Map 1893

Plat Map 1898

Plat Map 1904

Insurance Map 1906

Plat Map 1910

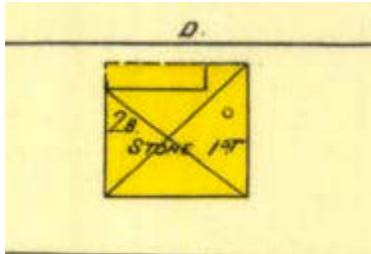
Plat Map 1923

Plat Map 1939

Meyer, Basil. *The William Warren Card Mansion*. Pittsburgh: The Unity Center, 1977. Print.

Insurance Map 1893

Sanborn-Perris Map Co. Insurance Maps of Pittsburg, Pennsylvania. New York: Sanborn-Perris Map Co., 1893. Volume 3, Sheet 90.

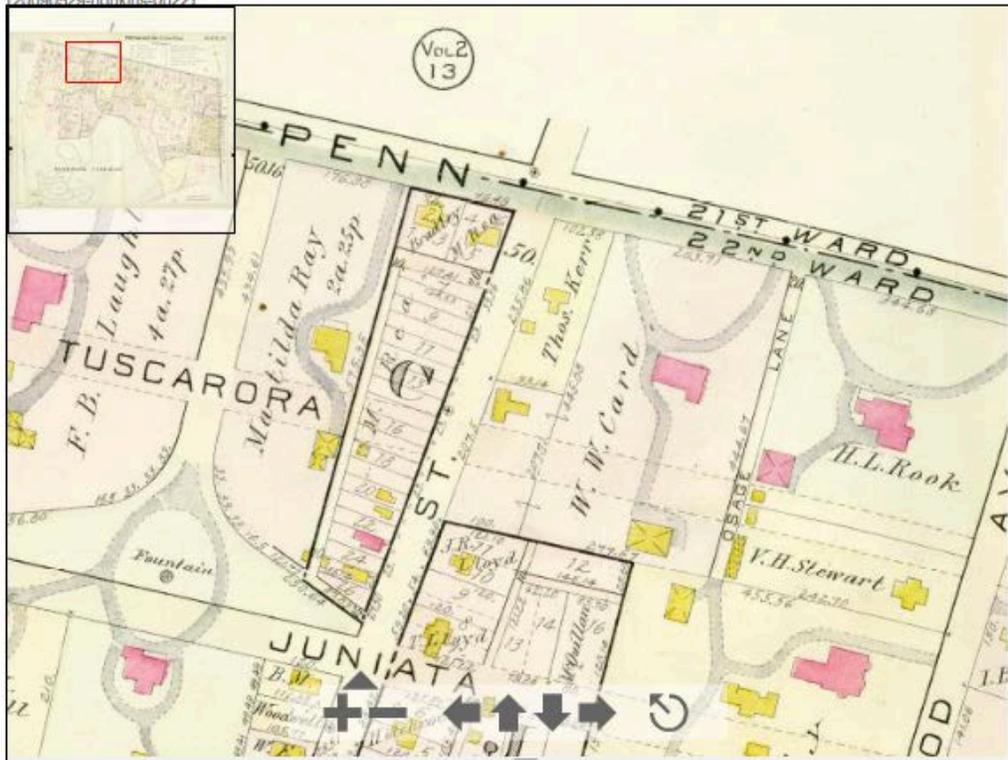


Plat Map 1898

G.M. Hopkins and Company. Real estate plat-book of the city of Pittsburgh, East End: from official records, private plans and actual surveys. Philadelphia: G.M. Hopkins, 1898. Volume 1, Plate 20.

Plate 20

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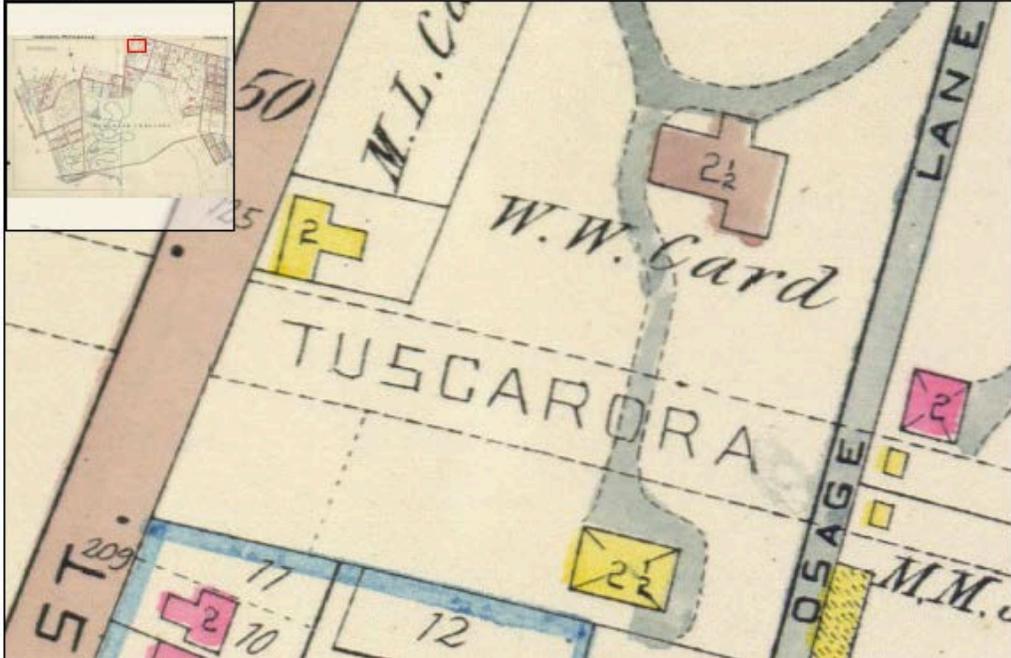


Plat Map 1910

G.M. Hopkins and Company. Atlas of Greater Pittsburgh, Pennsylvania: from official records, private plans and actual surveys. Philadelphia: G.M. Hopkins, 1910. Plate 18.

Plate 18

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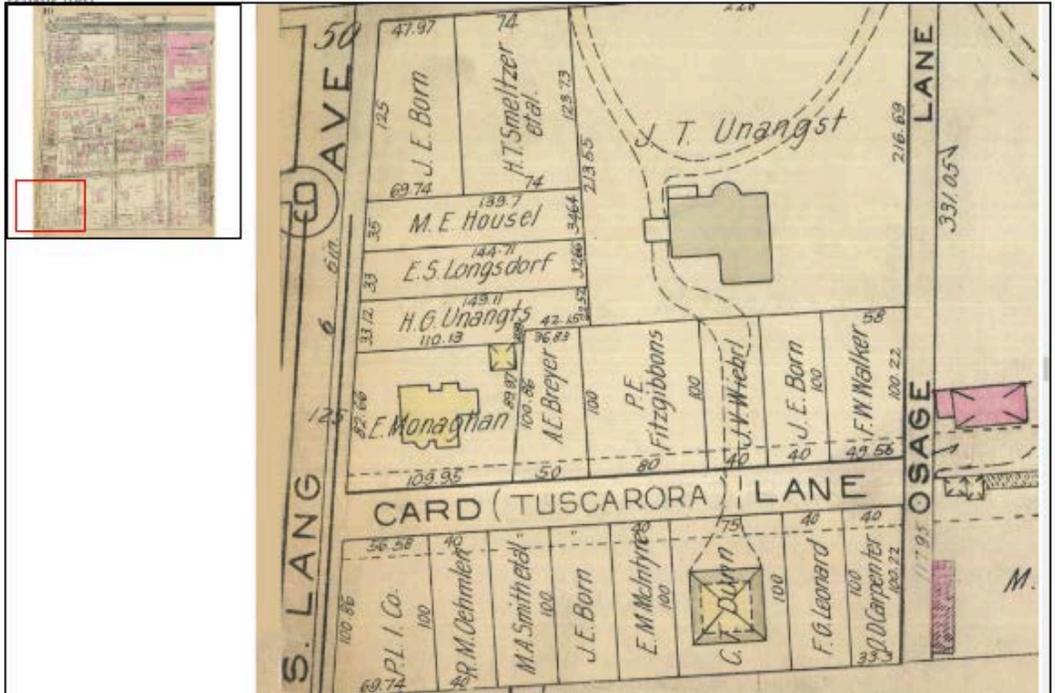


Plat Map, 1923

G.M. Hopkins and Company. Real estate plat-book of the city of Pittsburgh: from official records, private plans and actual surveys. Philadelphia: G.M. Hopkins, 1923. Volume 2, Plate 10A.

Plate 10 A

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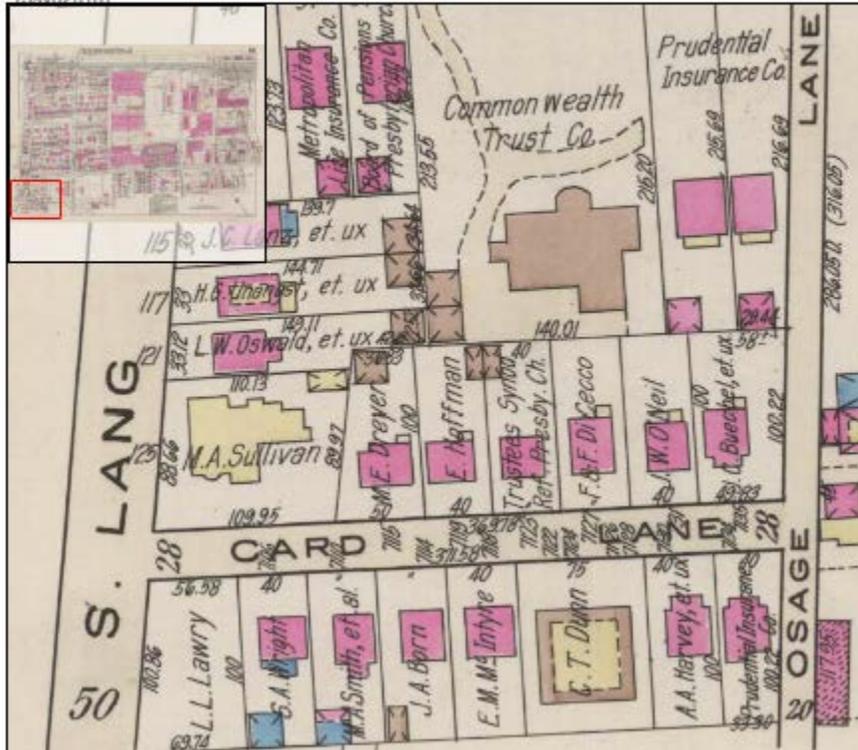


Plat Map, 1939

G.M. Hopkins and Company. Real estate plat-book of the city of Pittsburgh: from official records, private plans and actual surveys. Philadelphia: G.M. Hopkins, 1939. Volume 2, Plate 10.

Plate 10

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THE WILLIAM WARREN CARD MANSION

7110-7116 Penn Avenue
Pittsburgh, Pa., 15208

1893 to 1977

"If you would seek to understand
the personality of our mansion,
study the nature of the man who
built it and died in it, since its
character is an extension of
himself."

-- Basil Meyer

1979

On April 4, 1903, Mr. William Warren Card was returning from Wilmerding where he had been performing his duties as vice-president of Westinghouse Air Brake Company. After alighting from the westbound street car which had stopped in front of his mansion at 7110 Penn Avenue, now owned by Unity Center of Pittsburgh, Inc., he stepped directly into the path of an eastbound street car and was dragged twenty feet before the car could be stopped. Mr. Card was recognized and carried into his home. A number of physicians were in attendance almost immediately. They found that the base of his skull was fractured, along with other injuries, which proved fatal. His wife and daughter were at home when the accident occurred. He died the same day at 1 p.m. having reached the age of 72 years. Funeral services were held at 3 p.m. the following Monday, April 6, 1903 in his home and he was buried in Homewood Cemetery.

Thus ended the brilliant career of one of our great men, so instrumental in the growth and progress of the City of Pittsburgh and the entire United States.

Mr. Card was not a native Pittsburgher but was born in Nelson, Madison County, New York, on September 6, 1831. By the time he was twenty years of age, he decided on a railroad career and took a job in the engineering department of the Panhandle Railway Company, he received a degree in Civil Engineering and after ten years with the "Panhandle", he left to assist with the planning and construction of the Cleveland, Lorraine & Wheeling Railroad (which later became a part of the Baltimore & Ohio Railroad in 1903).

In the year 1859, he returned to the "Panhandle" and became superintendent of the Steubenville Division, which we understand came into Pittsburgh on the South Side along the Ohio and Monongahela Rivers but did not cross the rivers into the triangle.

Mr. George Westinghouse, who was perfecting his unheard of idea of an air brake that could apply the brakes, simultaneously, to every wheel of all the cars and locomotive of a train, was getting nowhere with his experiment because the management of all the railroad companies he had contacted had the same answer for this nebulous idea--"If all the wheels of a train were stopped at one time, the result would be that this would tear up the railroad tracks beyond further usage until repairs were made".

Mr. Westinghouse met Mr. Card and, after explaining his theory of the air brake, Mr. Card arranged to set aside two miles of track along with cars and a locomotive, to further this dream. To continue this adventure, Mr. Card also provided financial assistance.

Needless to say, the experiment was a huge success and the railroads throughout the country beat a path to the door of George Westinghouse. Westinghouse Air Brake Company was formed and Mr. Card was one of the first stockholders.

An interesting sidelight came out because of Williams Card's life-long interest in railroading. In Pittsburgh, the Pennsylvania Railroad ended at the Pennsylvania Station but this area had a large number of small railroads, independently owned. The Pittsburgh & Steubenville Railroad - incorporated in 1854 - was seven miles long. This railroad, along with the Holiday Cove Railroad, the Panhandle and the Steubenville & Indiana Railroad, were corporations in which the

Pennsylvania Railroad had a financial interest of over five million dollars. In bankruptcy proceedings, the Pennsylvania Railroad bought controlling interest in these and other small lines, which became known as the "Panhandle", running one hundred ninety three miles from Pittsburgh to Columbus, Ohio. This railroad was extended in 1868 to St. Louis and became known as the "Pittsburgh, Cincinnati & St. Louis Railroad", but is still referred to by railroad men as the "Panhandle". In 1863, the Pennsylvania Railroad planned a tunnel from the Pennsylvania Station on Eleventh Street to Fourth Avenue, thence across the Monongahela River to connect with its newly acquired "Steubenville Extension" Railroad. The mayor of the City of Pittsburgh objected to this tunnel and brought suit for an injunction which the courts granted. Eventually, the case was heard by the Supreme Court and the Pennsylvania Railroad lost. The basis for the decision was that the railroad was planning to tunnel under an area over which a "place of worship" had its sanctuary. Through a lot of negotiations and the passage of new laws, the tunnel was finally completed and is still in use.

In 1870, William Card was induced to leave the railroading business and accept a position with the Westinghouse Air Brake Company as its sales agent. In 1880, he was elected corporate Secretary and remained in that position until October, 1902, when he was elected vice-president.

He was elected president of Pittsburgh Screw & Bolt Company and was a heavy stockholder in a number of other Westinghouse operations.

William Card married Hattie Dinsmore in Columbus, Ohio, in 1862. They had three children, William Dinsmore Card, Henry Stone Card, and Nellie Card, wife of Daniel Agnew Moore. Mr. and Mrs. Daniel Moore continued to reside in Pittsburgh for many years. Hattie Dinsmore Card, William's first wife, died in 1879.

In 1890, Mr. Card married again. His second wife was Maria Llewellyn of Washington, D.C. One child, a daughter, Ruth, was born in this marriage.

By this time, William Card had amassed a fortune and had promised his new wife that he would build her a mansion in a location and of a size, befitting all the other socially prominent and wealthy families of Pittsburgh.

On March 9, 1892, he purchased property at 7110-7116 Penn Avenue from John M. Shoemaker, an area of approximately 117,035 square feet (263' by 445' - 2.69 acres) at a cost of \$40,000.00. The Card family added to this acreage until, in 1904, they owned all the land bounded by S. Lang Avenue, Penn Avenue (formerly the "Greensburg and Pittsburgh Turnpike") and Osage Lane, to a depth of over 445 feet opposite Penn Avenue. The addition to this property cost another \$20,000.00. This cost of \$60,000.00 did not include the stone mansion, the stone stables and carriage house, but did include a large frame dwelling which stood on the location where the mansion was to be built. To make room for the mansion, Mr. Card had a new foundation prepared and this frame building moved to its present location at 125 S. Lang Avenue.

Mr. Howard Unangst and his twin sister, Helen, the only children of John T. Unangst, who owned the property from 1925 until 1933, still reside there.

In 1893, after the architects had presented drawings for the approval of Mr. and Mrs. Card, construction was started on the stone mansion and suprisingly, at the same time construction was started on the combination stable and carriage house, which contained matching stone materials. By the end of the year, about one-third of both buildings were completed and final construction continued into 1894. Much of the beautiful wood interior was imported from Australia and South America.

It was estimated that Mr. Card had invested more than one hundred fifty thousand dollars in the original construction and Mr. John T. Unangst added an additional one hundred thousand dollars in 1926 and 1927 by constructing a stairwell, four garages and had the stone building sandblasted.

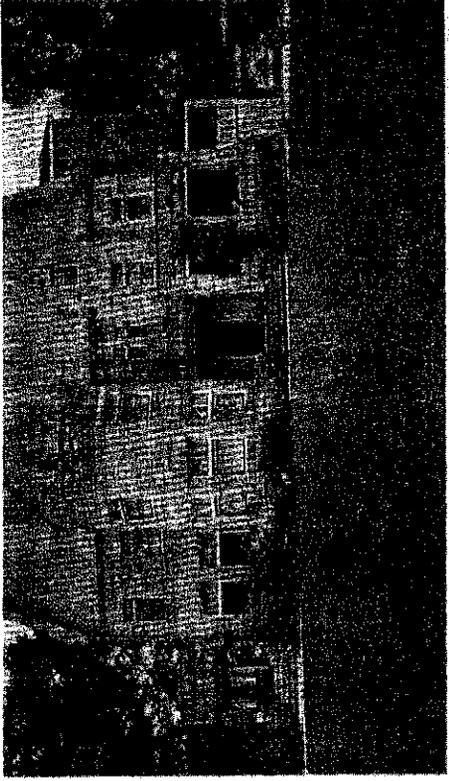
Mr. Card's estate, at the time of his death, exceeded five million dollars.

William Card had expressed to his wife his intention of purchasing the adjoining "Thomas Kerr" property, should it ever be put up for sale. Less than a year and a half after Mr. Card was killed, Mrs. Card bought the section from Mr. Kerr in a deed, dated August 23, 1904, adding the real estate at the corner of S. Lang and Penn Avenues.

William Card and his wife, Maria were both philanthropists, they contributed to numerous charities but his favorite was the "Free Kinder-



Original Estate before additions. 1926



Apartments added & sandblasted. 1931



Original Estate before additions. 1926



House at time of purchase by Unity. 1975

4

garten Association of Pittsburgh", to which he provided substantial sums for their support. The first sale from this large plot of real estate was also philanthropic.

On February 27, 1920, Mrs. Maria Card sold a lot out of the section bordering Lang Avenue-- approximately 110 ft by 85 ft. -- to her companion, Julia C. Harmount, at a price of \$150.00. It is not known whether Julia Harmount was a relative, friend or employee of Mrs. Card but, based on the price Mrs. Card paid for this parcel of property in 1904, the value would have been over \$7,200.00, not injecting a figure for inflation covering the prior sixteen years. We have assumed that Mrs. Card was providing for a close companion who wanted to continue living in Pittsburgh because we find that in 1921, Mrs. Card's address is Cincinnati, Ohio, where she probably moved to be near her daughter, Ruth Card Briggs (Mrs. Templeton Briggs), who resided in Cincinnati at the time.

The mansion at 7110-7116 Penn Avenue remained in the Card family for twenty-nine years. Land speculation, high taxes and cost of maintaining a staff of domestic personnel became too great for even the medium rich. Mrs. Card and her daughter sold it to Mr. Martin M. Burke on December 20, 1921.

After owning the mansion for less than a year, Mr. Burke sold it to James S. Wilson, under a deed, dated May 23, 1922.

Mr. Wilson held the property intact until May 7, 1925, at which time he sold it to Mr. John E. Born for a profit.

Mr. Born was, apparently, quite a speculator. He had land development companies operating in

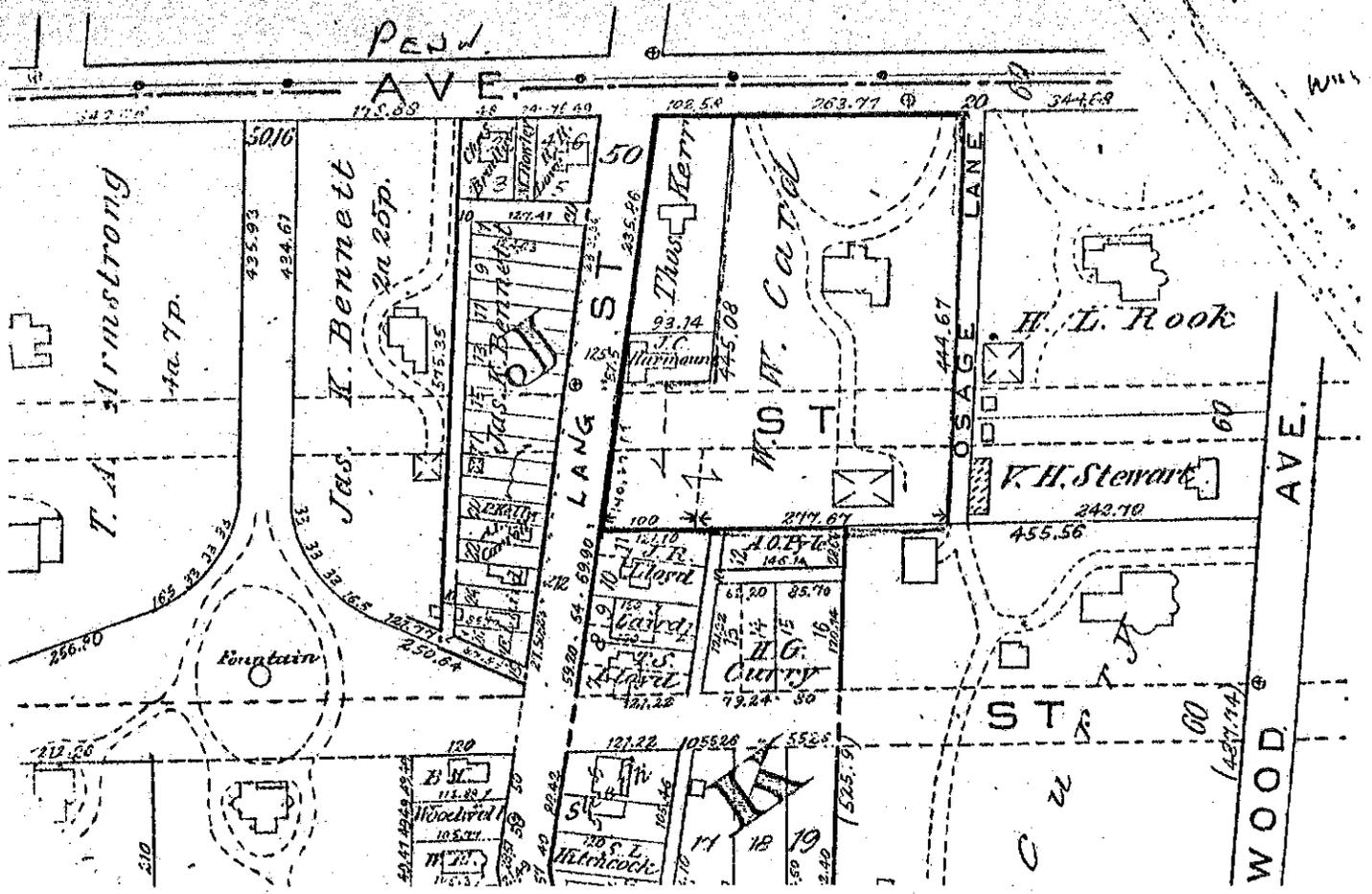
Pittsburgh, Wilkinsburg, West View, Overbook and other areas. He built houses on much of the land formerly own by James Wilson, reducing the size of the mansion property from 152,221 square feet to 47,204 square feet, or by 69%. It was just about this time that liens of more than one hundred thousand dollars were placed against the Card property.

On September 8, 1925, Mr. Born sold the mansion and the remainder of the land to John T. Unangst. It was shortly thereafter that a "dress-up" job was made on the carriage house, converting it into a four-family apartment building. It was also during the next five year period that Mr. Unangst rejuvenated the old buildings and built the new garages.

Mr. Unangst had planned to provide a street-size entrance from Penn Avenue to the mansion and to construct dwellings on each side of the new street but, when presented with these plans, the City of Pittsburgh refused to authorize this development.

The burden of the liens, plus other investments in the property, on top of the refusal of the City to permit additional dwelling expansion, became impossible to carry and, on June 5, 1933, Frank I. Gollmar, Sheriff of Allegheny County, foreclosed. On June 10, 1933, the sheriff sold the mansion and remaining real estate to Commonwealth Trust Company of Pittsburgh.

On December 28, 1944, the property was deeded to Alice J. Gerberding, who almost immediately deeded it to J. Earl Gerberding in a deed, dated January 2, 1945.



Unity Center of Pittsburgh purchased the property for ninety-two thousand dollars and became the new owners on October 6, 1975.

This mansion, with over ninety years of history, has reached its highs as the proud residence of a wealthy family to the other extreme, when it was sold by the sheriff for the payment of debts.

"...and with each ending there is a new beginning. That is the Universal Law at work, for things will not remain static. Divine Mind, which sees the entire scheme, knows when we have outgrown a situation. When it inwardly urges us to move forward, we should do so without fear in any area of life. If we calmly accept Divine Guidance, we may know that every closing door points the way to one that is opening into a new area of growth for us."

* * * * *

Unity Center of Pittsburgh expresses its gratitude to Basil Meyer for his love and effort in researching the history of our property at 7110 Penn Avenue.

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: MUNHALL VENTURES II		Phone Number: (412) 731-0891	
Address: PO BOX 111325 City: PITTSBURGH		State: PA	Zip Code: 15238
2. Applicant/Company Name: ARBYS RESTAURANT GRP.		Phone Number: (440) 552-2856	
Address: 22140 COUNTRY WAY City: STRONGVILLE		State: OH.	Zip Code: 44149
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: ARBY'S RESTAURANT			
4. Development Location: CORNER - BAUM BOULEVARD AND CYPRESS ST			
5. Development Address: 5151 BAUM BOULEVARD			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) N/A			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required: N/A			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction:		Start Date: 8/15/2015	Occupancy Date: 11/15/2015
		Project Cost: \$500,000	
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list): RESTAURANT, FAST FOOD (GENERAL)			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input checked="" type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development: CONSTRUCTION OF A 65 SEAT, 2697 SF ARBY'S RESTAURANT WITH 14 ON-SITE PARKING SPACES, DRIVE THRU WINDOW, 3 ONE WAY CURB CUTS, LANDSCAPING, EXTERIOR PATIO			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: 0 sq ft
 Existing to be Retained: 0 sq ft
 Retained Area to be Renovated: 0 sq ft
 To be Constructed: 2697 sq ft
 Building Footprint: 2697 sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	<u>0</u>	<u>0</u>	<u>1</u>	<u>18'-6"</u>
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units: N/A
 Existing to Remain: _____ Proposed: _____

17. Lot Area: 0.4884 AC sq-ft
21,276 SQFT

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	<u>0</u>	<u>1</u>
Compact (7 1/4' x 16')	<u>0</u>	<u>4</u>
Handicap (13 1/2' x 19')	<u>0</u>	<u>9</u>

Off-Street Loading Spaces: N/A
 Actual: 1
 Required: 1

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- | | | | |
|--------------|---------------------------------|--------------|--|
| <u> 1 </u> | New Water Service Connection(s) | <u> 1 </u> | Termination of Existing Water Service Tap(s) |
| <u> 1 </u> | New Sewer Service Connection(s) | <u> 1 </u> | Termination of Existing Sewer Service Tap(s) |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: *C. Boyd Emmer, agent*

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com

Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

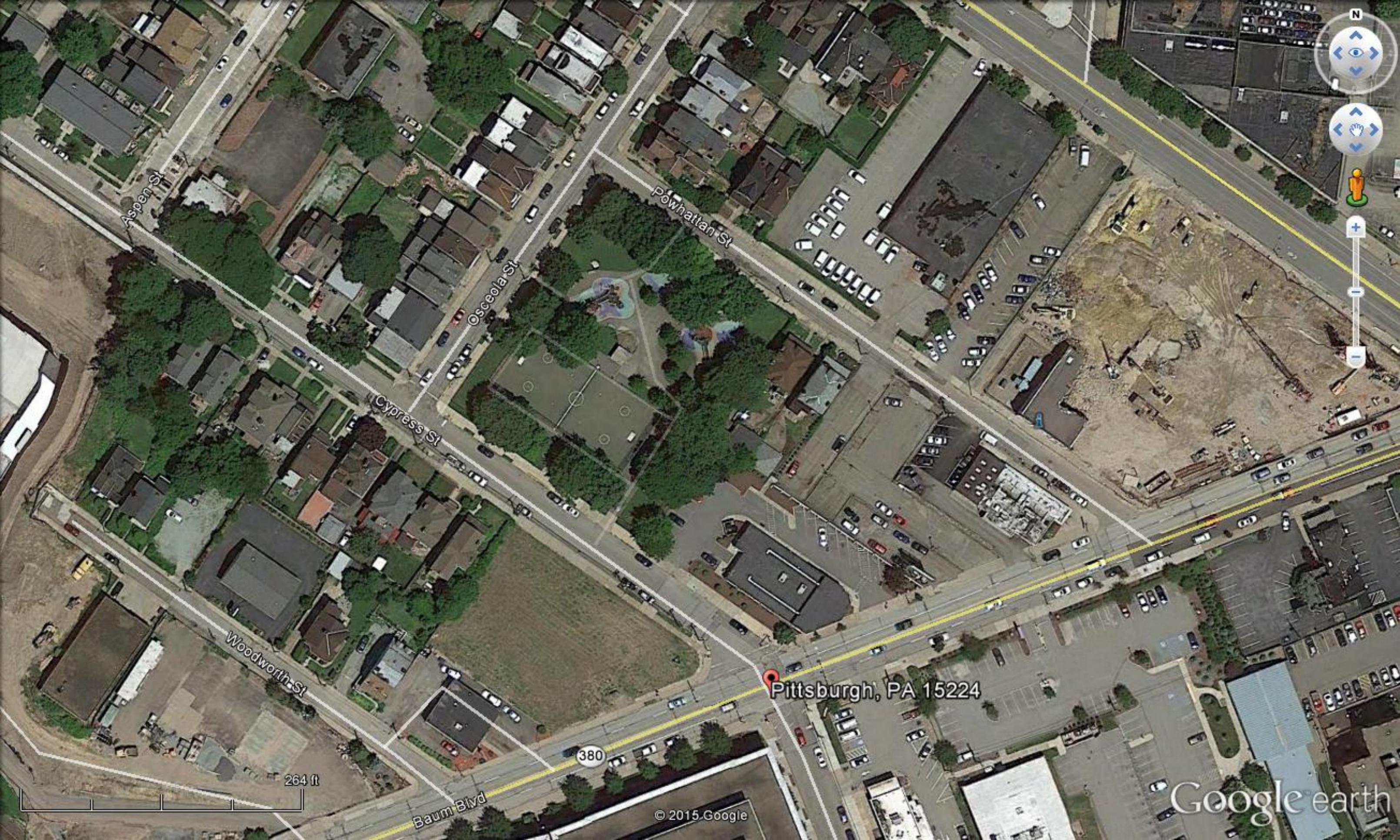
Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



Aspen St

Osceola St

Powhattan St

Cypress St

Woodward St

Baum Blvd

Pittsburgh, PA 15224

380

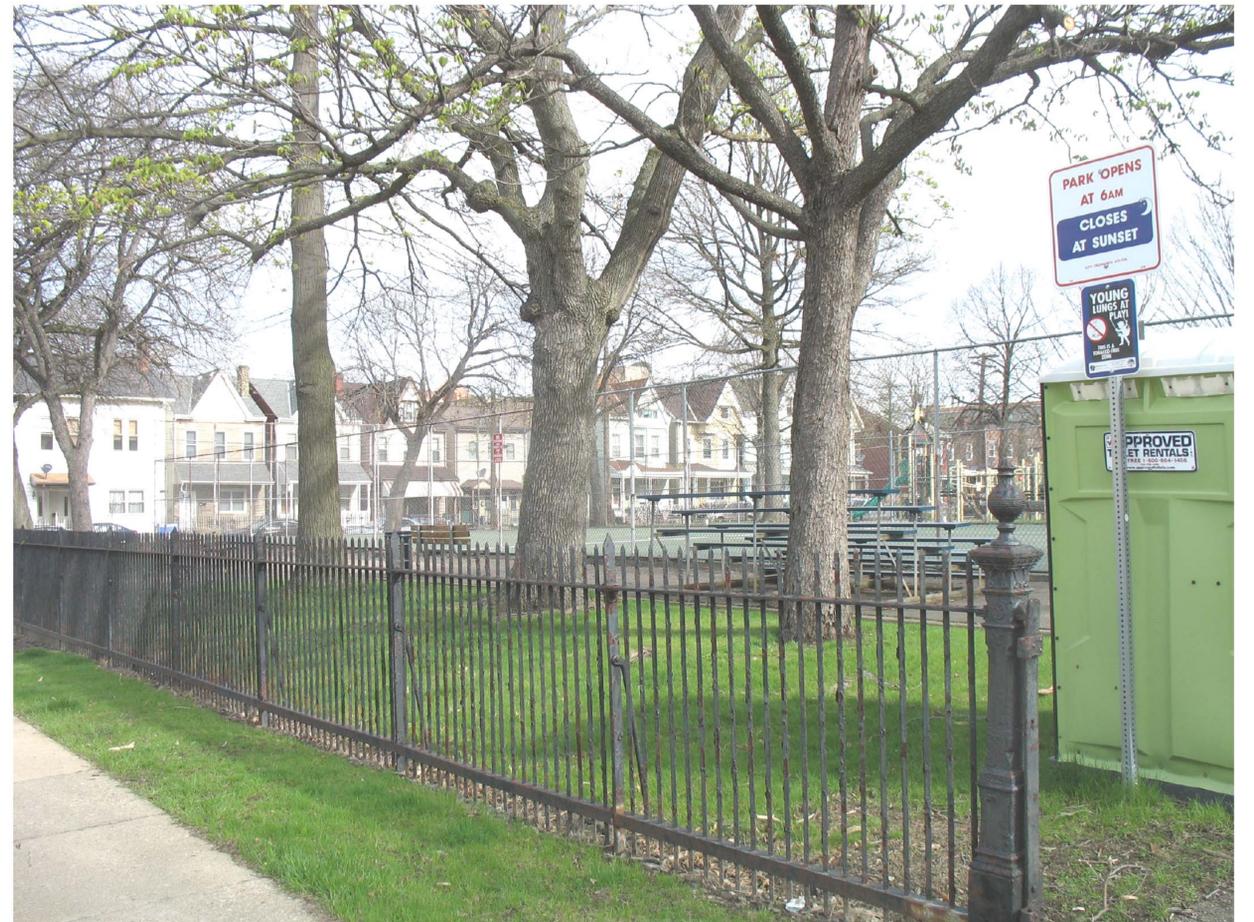
264 ft

© 2015 Google

Google earth







The Munhall Ventures I, L.P., owner of the land shown on the Arby's Restaurant Plan hereby adopts this plan as its plan of lots and irrevocably dedicates all streets and other property identified for dedication on this plan to The City Of Pittsburgh. This adoption and dedication shall be binding upon the partnership and upon its heirs, executors, and assigns.

IN WITNESS OF WHICH, to this we set our hand and seal this ____ day of _____, 20 ____.

ATTEST: Munhall Ventures I, L.P.
By: David E. Brody, Vice President
Munhall Ventures Corporation, General Partner

Notary Public: Munhall Ventures Corporation
General Partner

Before me, the undersigned Notary Public in and for said Commonwealth of Pennsylvania and County of Allegheny, personally appeared the above named David E. Brody, Vice-President of Munhall Ventures I, L.P., General Partner of Munhall Ventures Corporation and acknowledged the foregoing adoption and dedication to be the act of the partnership.

WITNESS MY HAND AND NOTARIAL SEAL this ____ day of _____, 20 ____.

My Commission Expires the ____ day of _____, 20 ____.

Notary Public

We, Munhall Ventures I, L.P., hereby certify that the title to the property contained in the Arby's Restaurant Plan is in the name of Munhall Ventures I, L.P., and is recorded in Deed Book Volume _____ Page _____. I further certify that there is no mortgage, lien, or other encumbrances against this property.

Munhall Ventures I, L.P.
By: David E. Brody, Vice President
Munhall Ventures Corporation, General Partner

Witness: Munhall Ventures Corporation
General Partner

We, Munhall Ventures Corporation, General Partner, David E. Brody, Vice-President, hereby agree to indemnify and save harmless the 8th Ward - City of Pittsburgh, its agents, servants, and/or employees, from any and all liability by reason of the City's reliance upon plans, drawings, specifications, and/or other statements submitted by or through the subdivider rising out of or by reason of damage which may be found to exist to the property or property owners or occupiers other than the subdivider, as a result of the implementation of the proposed subdivision.

Munhall Ventures I, L.P.
By: David E. Brody, Vice President
Munhall Ventures Corporation, General Partner

Witness: Munhall Ventures Corporation
General Partner

I, certify that, to the best of my information, knowledge and belief the survey and plan shown hereon are correct and accurate to the standards required.

Date: John S. Bitting - AGENT
Registration No. SU-034631-E
Fahringer, McCarty, Grey, Inc.

I, certify that this plan meets all engineering and design requirements of the applicable ordinances of the 2nd Ward - City of Pittsburgh, except as departures have been authorized by the appropriate officials of the City.

Date: City Engineer
Registration No. _____

Notice to purchasers and present owners:

The Planning Commission of the City of Pittsburgh hereby gives public notice that in approving this plan for recording, the City of Pittsburgh assumes no obligation to accept the dedication of any streets, land or public facilities and has no obligation to improve or maintain such streets, land or facilities.

Reviewed by the Planning Commission of the City of Pittsburgh this ____ day of _____, 20 ____.

Secretary: Chairperson

Approved by the Council of the City of Pittsburgh by resolution this ____ day of _____, 20 ____.

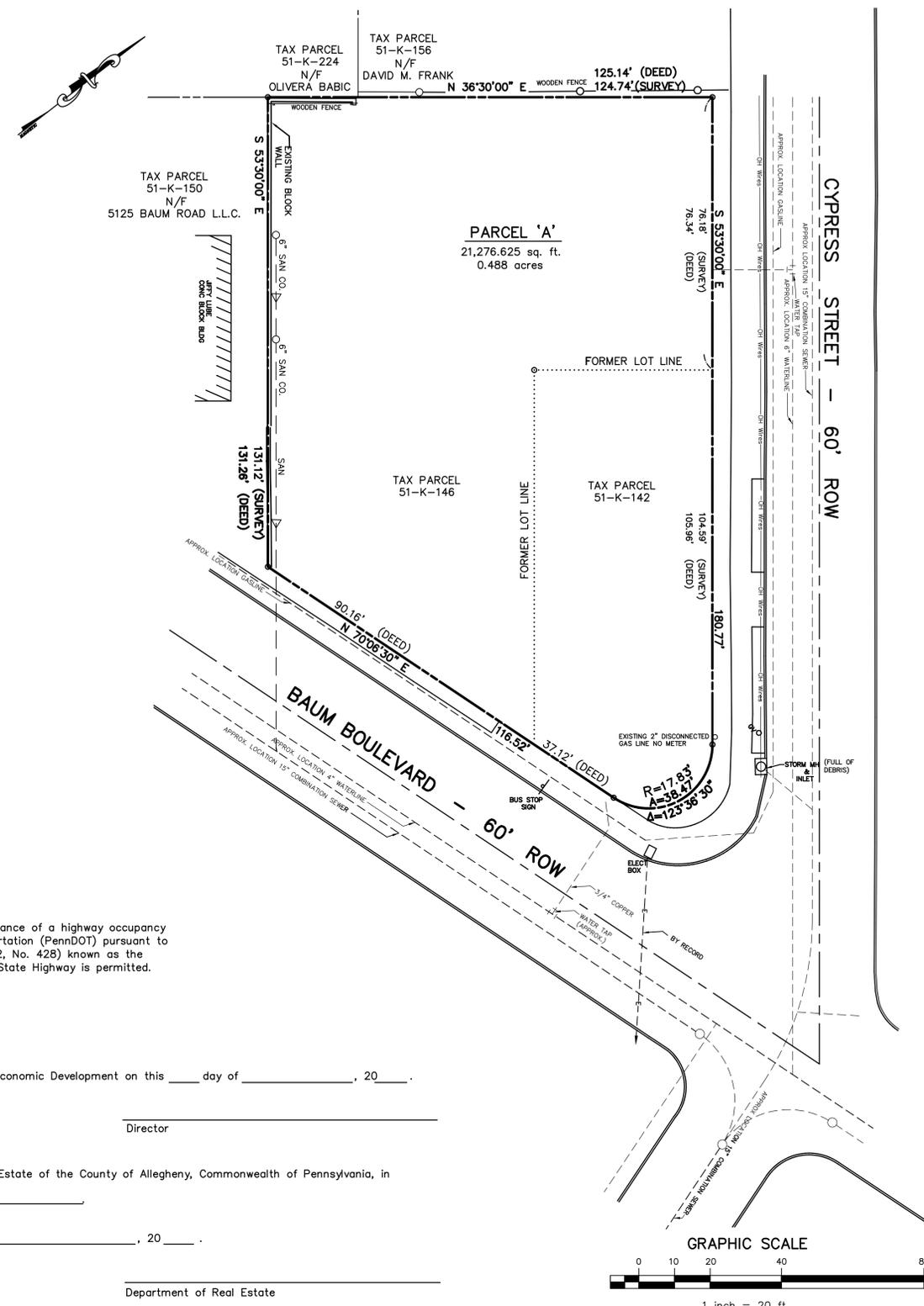
Signed and noted as approved this ____ day of _____, 20 ____.

Secretary: President

The City of Pittsburgh agrees not to issue building permits until the "Planning Module for Land Development" has been approved in accordance with the regulations of the Pennsylvania Department of Environmental Protection.

Date: Authorized City Official

NOTARY, MUNHALL VENTURES I, L.P., SURVEYOR, SURVEYOR, CITY OF PITTSBURGH ENGINEER, CITY OF PITTSBURGH COUNCIL, CITY OF PITTSBURGH PLANNING COMMISSION, ALLEGHENY COUNTY DEPARTMENT OF ECONOMIC DEVELOPMENT, ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE



HIGHWAY OCCUPANCY PERMIT

NOTICE: This Land Development Plan requires issuance of a highway occupancy permit by the Pennsylvania Department of Transportation (PennDOT) pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428) known as the "State Highway Law" before driveway access to a State Highway is permitted.

Reviewed by the Allegheny County Department of Economic Development on this ____ day of _____, 20 ____.

Recorded in the office of the Department of Real Estate of the County of Allegheny, Commonwealth of Pennsylvania, in Plan Book Volume _____ Page(s) _____.

Given under my hand and seal this ____ day of _____, 20 ____.

TOTAL AREA IN THIS PLAN FOR RECORDING = 0.488 ACRES

ARBY'S RESTAURANT GROUP, INC.
22140 COUNTRY WAY STRONGSVILLE, OH 44149

CONSOLIDATION PLAN
BEING A CONSOLIDATION OF TAX PARCEL 51-K-146 AND TAX PARCEL 51-K-142

SITUATE
8TH WARD - CITY OF PITTSBURGH - ALLEGHENY COUNTY, PA.

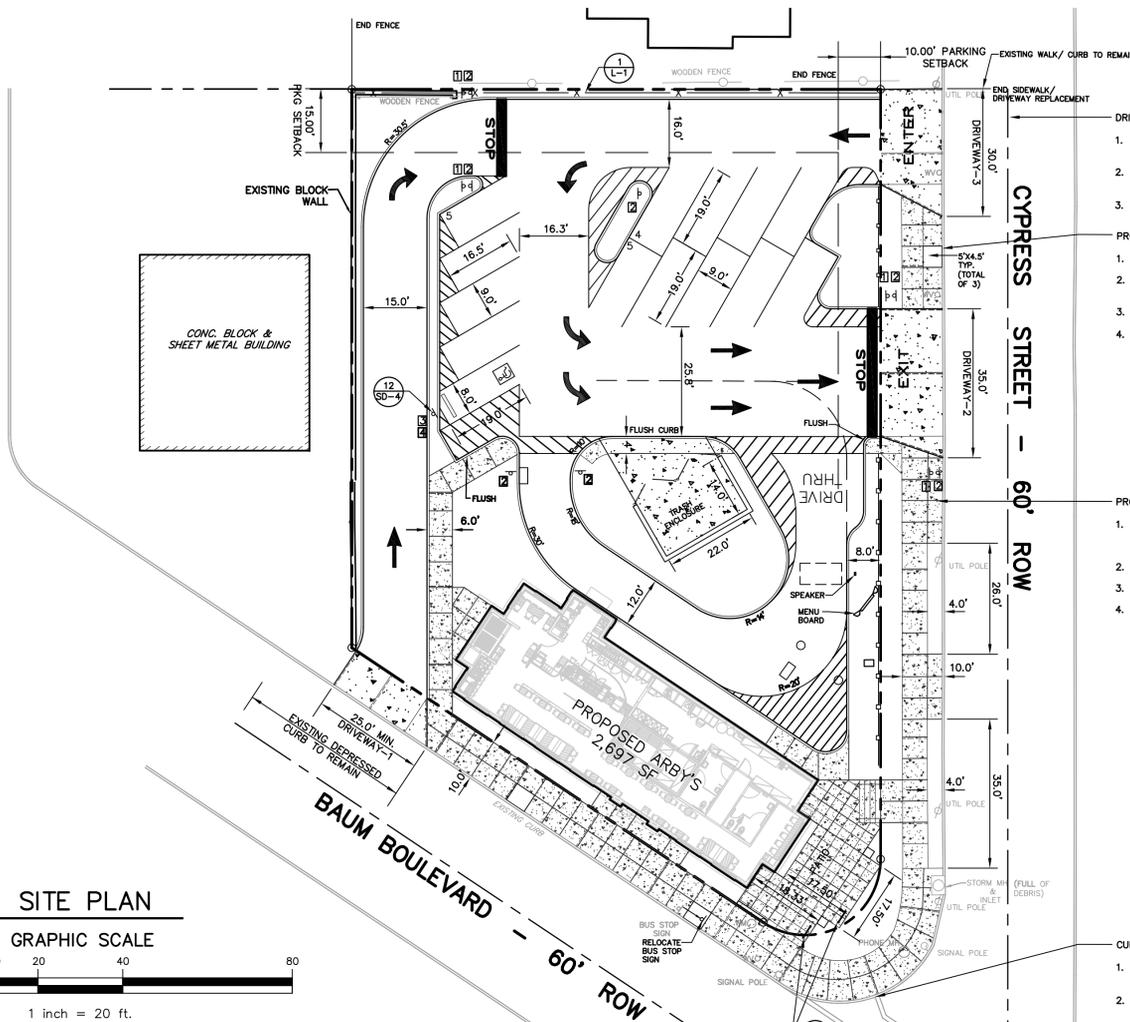
FAHRINGER, McCARTY, GREY, INC.
1610 GOLDEN MILE HIGHWAY
MONROEVILLE, PENNSYLVANIA 15146 (724) 327-0599
JOHN S. BITTING-AGENT-PROFESSIONAL LAND SURVEYOR

SCALE: 1" = 40'
DATE: JUNE 2015
DRAWN BY: JB-SW-RAM
CALC. BY: JB
CHK'D. BY: JSB

JOB NO. 4881
4892 - CONSOLIDATION PLANDWG

CITY OF PITTSBURGH
DEPARTMENT OF CITY PLANNING
APPROVED _____, 20____.
CITY PLANNING COMMISSION
CHAIRMAN
ATTEST:
SECRETARY

WOODWORTH STREET 30' ROW



SITE PLAN
GRAPHIC SCALE
1 inch = 20 ft.

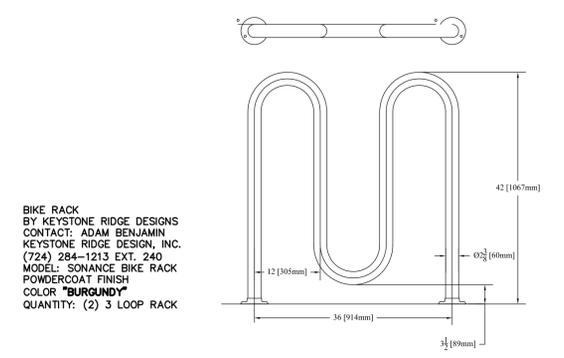
- DRIVEWAY CUT WORK:**
1. SAW CUT (NEAT) ALONG EXISTING CURB LINE, REMOVE EXISTING PAVEMENT, SIDEWALK AND CURBS.
 2. THE EXISTING CONCRETE CURB SHALL REMAIN EXCEPT WHERE DAMAGED OR LESS THAN FULL REVEAL.
 3. SEE SITE DETAIL SHEET (SHEET SD-6) FOR DRIVEWAY DETAIL AND FINISH GRADES.

- PROPOSED STREET TREE PLANTING "PIT":**
1. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. TREE PLANTING PITS SHALL BE INSTALLED PER CITY OF PITTSBURGH STANDARDS AND SPECIFICATIONS.
 2. SEE LANDSCAPE PLAN FOR SPECIES OF TREE TO BE INSTALLED.
 3. TYPICAL FOR ALL TREE PITS PROPOSED/SHOWN ON THIS PLAN.

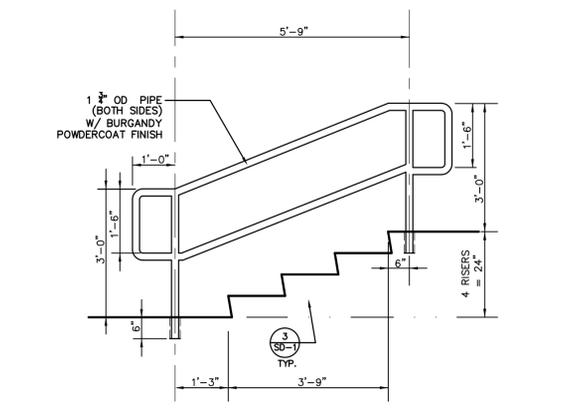
- PROPOSED CONCRETE SIDEWALK:**
1. INSTALL 9.5' WIDE CONCRETE SIDEWALK, EXISTING FULL REVEAL CURB TO REMAIN. REPLACE ALL DAMAGED CURB AND PREVIOUS DRIVEWAY CUTS.
 2. SLOPE NEW SIDEWALK 2% TOWARD CYPRESS STREET AND BAUM BOULEVARD.
 3. SEE SHEET SD-4 FOR ADDITIONAL INFORMATION.
 4. SIDEWALK SHALL MEET CURRENT CITY STANDARDS AND SPECIFICATIONS.

- CURB CUT WORK:**
1. SAW CUT (NEAT) ALONG EXISTING CURB LINE, REMOVE EXISTING CURB CUT, PROTECT EXISTING POLE.
 2. MAXIMUM SLOPE OF CURB CUT 1:12 (4" RISE MAX); MAINTAIN 4FT WIDE RAMP CENTERED ON A LINE RADIAL TO CENTER OF CURB RADIUS; LENGTH 4'-2" FEET.
 3. SEE SITE DETAIL SHEET (SHEET SD-6) FOR CURB CUT DETAIL, PROPOSED CUT TO MEET CURRENT CITY AND ADA STANDARDS AND SPECIFICATIONS.

CROSSWALK- REPAINT EXISTING CROSSWALK AS PER CURRENT CITY STANDARDS



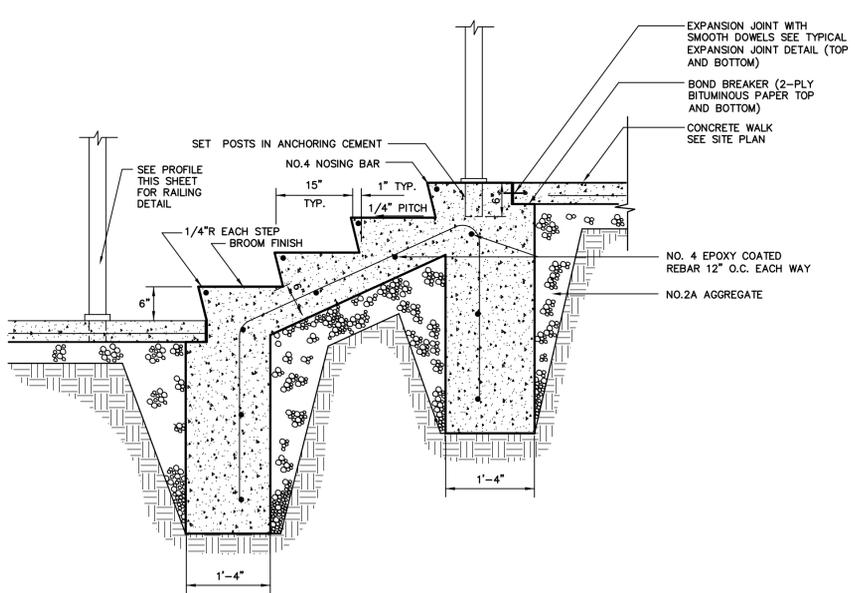
1 BICYCLE RACK "SONANCE"
NO SCALE (TOTAL OF 2) KEYSTONE RIDGE DESIGNS, INC.



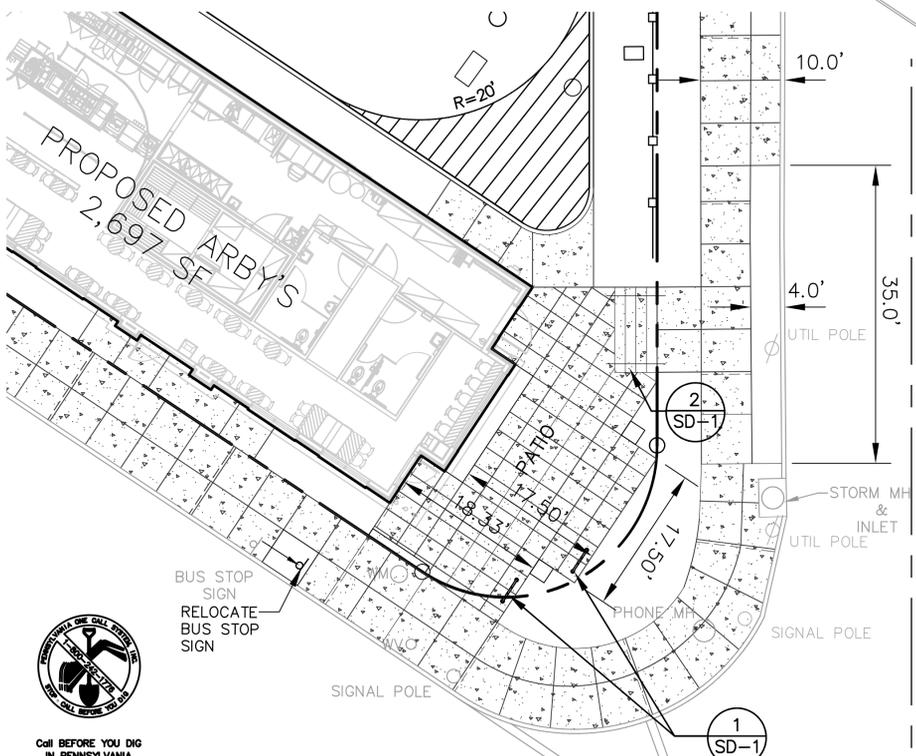
2 STEP PROFILE
NO SCALE

LEGEND

- PROPOSED CURB (6) SD-4
- PROPOSED CONCRETE WALK (4) SD-4 (5) SD-4
- PRIVACY FENCE (1) SD-1
- ORNAMENTAL FENCE (2) SD-1
- PROPOSED TRAFFIC SIGN (13) SD-4 (SEE SCHEDULE SD-1)
- HEAVY DUTY CONCRETE (3) SD-4
- PROPOSED BITUMINOUS PAVING (1) SD-4
- TRASH ENCLOSURE (ARBY'S STANDARD) (SEE ARCHITECTURAL)
- HANDICAP PARKING (8) SD-4
- PROPOSED CONCRETE PATIO (WITH 30"x30" SCORING PATTERN) (4) SD-4
- SIDEWALK PLANTING AREAS



3 CONCRETE STEP-DETAIL
SCALE: 3/4" = 1'-0"



PATIO ENLARGEMENT
SCALE: 1' = 10'

- SITE NOTES:**
1. ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF PITTSBURGH AND ALLEGHENY COUNTY CODES AND STANDARDS. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
 3. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
 4. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTORY OF THE OWNER AND THE CITY OF PITTSBURGH.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS IN ACCORDANCE WITH PA DOT PUBLICATION 203-"WORK ZONE TRAFFIC CONTROL" AND/OR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM PA DOT, THE CITY OF PITTSBURGH, ALLEGHENY COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
 6. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
 7. REFER TO DETAIL SHEETS FOR EROSION AND SEDIMENT CONTROL, STORM DRAINAGE, UTILITY, PAVING, CURBING, SIGNAGE, AND OTHER SITE IMPROVEMENTS AS APPLICABLE.
 8. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH PA DOT PUBLICATION 408 SECTION 961 AND SECTION 962 AND SHALL BE EITHER COLD LAID THERMOPLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
 9. DIRECTIONAL TRAFFIC ARROWS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
 10. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
 11. ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH PENNDOT PUBLICATION 408 AND PENNDOT STANDARD DETAILS (PUB. 72) AS AMENDED UNLESS OTHERWISE SPECIFIED.
 12. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR BUILDING, WALLS, CONCRETE SLABS, AND UTILITY SERVICE POINT CONNECTIONS AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REFERENCE BUILDING CONSTRUCTION PLANS FOR EXACT LOCATIONS OF ALL UTILITY CONNECTIONS TO BUILDINGS, DOOR STEP LOCATIONS, AND RETAINING WALLS.
 14. THE OWNER AT HIS DISCRETION, RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
 15. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
 16. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
 17. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB.
 18. NO PART OF THE LOT IS LOCATED WITHIN ANY FLOOD PLAIN AREAS.
 19. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY CITY OF PITTSBURGH.
 20. BITUMINOUS PAVEMENT MATERIAL AND INSTALLATION SPECIFICATIONS SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408. THE CONTRACTOR SHALL SUBMIT A JOB-MIX FORMULA FOR THE BITUMINOUS PAVEMENT TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO THE PLACEMENT OF BITUMINOUS PAVEMENTS.
 21. FINAL MENU BOARD LOCATION TO BE APPROVED BY ARBY'S CONSTRUCTION MANAGER PRIOR TO INSTALLATION.

SITE DATA

TOTAL SITE AREA 21,297.57 SF=0.489 ACRES
 PROPOSED SITE CONSISTS OF PARCEL 1 (51-K-142) AND PARCEL 2 (51-K-146) IN THE WM. MOONY'S SONS PLAN OF LOTS (P.B.V. 5, PAGE 196). (SEE CONSOLIDATION PLAN)

CURRENT ZONING IS LCN - LOCAL NEIGHBORHOOD COMMERCIAL
 MAX. FLOOR AREA RATIO 2:1
 MAX. LOT COVERAGE 90%
 MIN. FRONT SETBACK 0'
 MIN. REAR SETBACK 20'
 MIN. SIDEYARD SETBACK 0'
 MAX. HEIGHT 45' (3 STORIES)

PARKING:
 PROPOSED PARKING 14 SPACES
 REQUIRED PARKING 14 SPACES (MIN.)

1. (FAST FOOD) REQUIRES 1 SPACE PER 200 SF PLUS 6 QUEUING SPACES MEASURED FROM THE ORDER BOX: 2697 SF/200 SF = 14 SPACES.
2. TOTAL GREEN SPACE = 0.084 AC = 17.2%
3. PROPOSED LOT COVERAGE = 12.7%
4. PROPOSED BUILDING HEIGHT = 18'-6"

TRAFFIC SIGN SCHEDULE

- 1 "STOP" SIGN-TOTAL OF 4
- 2 "DO NOT ENTER" SIGN-TOTAL OF 6
- 3 HANDICAP PARKING TOTAL OF 1
- 4 VAN ACCESSIBLE - TOTAL OF 1

STORE ADDRESS

ARBY'S
 5189 BAUM BOULEVARD
 PITTSBURGH, PA 15224

ARBY'S RESTAURANT GROUP INC. 22140 COUNTRY WAY STRONGSVILLE, OH 44149		SCALE AS NOTED
SITE PLAN ARBY'S RESTAURANT 5189 BAUM BOULEVARD		DATE APR. 20, 2015
CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.		DRAWN BY R/JH / KMZ
FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.		SHEET NUMBER SD-1



Call BEFORE YOU DIG
 IN PENNSYLVANIA
 1-800-242-1776
 PENNSYLVANIA
 ONE CALL SYSTEM, INC.
 PA STATE LAW REQUIRES 3
 WORKING DAYS NOTICE

JOB NO. 4881
 FILE NO. ARBY SITE PLAN

REVISIONS
JUN. 3, 2015
JUL. 7, 2015

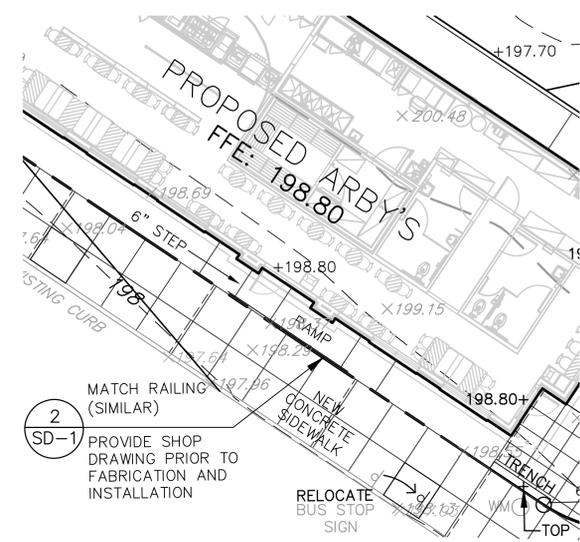
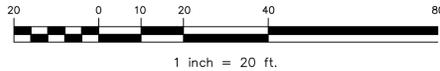
WOODWORTH STREET 30' ROW

CYPRESS STREET - 60' ROW

BAUM BOULEVARD - 60' ROW

GRADING PLAN

GRAPHIC SCALE



MAIN ENTRANCE

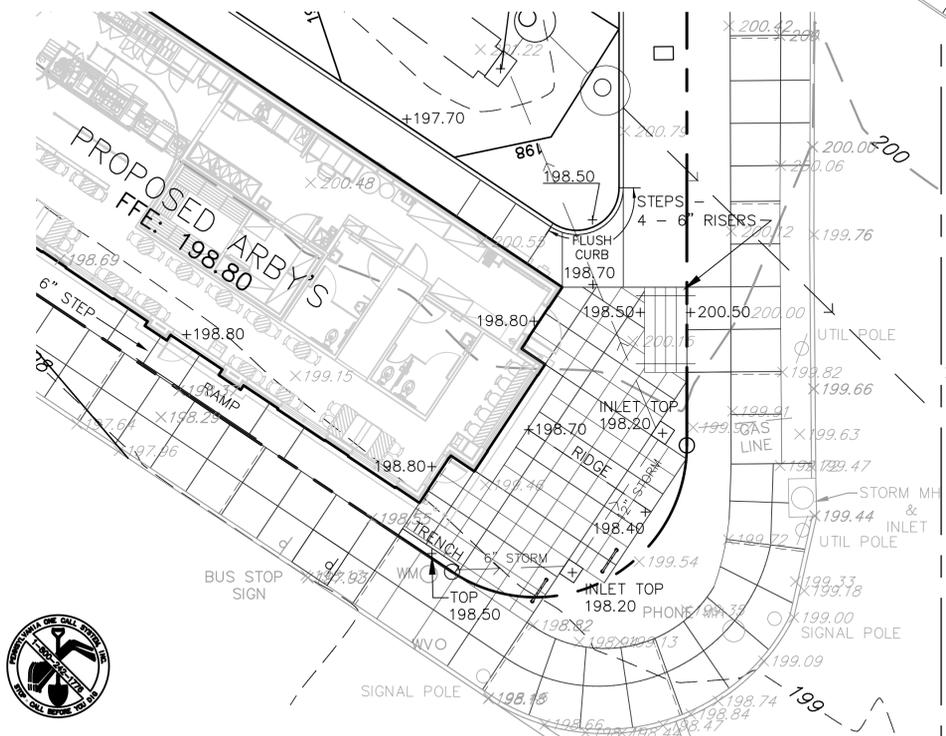
SCALE: 1"=10'

LEGEND

- CONTOUR EXISTING
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING INLET
- EXISTING CURB INLET
- PROPOSED INLETS
- PROPOSED CURB
- PROPOSED CONCRETE WALK
- PRIVATE FENCE
- ORNAMENTAL FENCE
- PROPOSED TRAFFIC SIGN
- PROPOSED CONCRETE PATIO

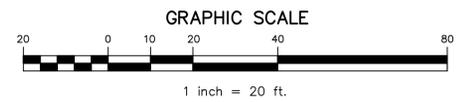
GRADING/ DRAINAGE NOTES

1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY FAHRINGER, MCCARTY, GREY, INC., THE CURRENT REQUIREMENTS OF ALLEGHENY COUNTY & THE CITY OF PITTSBURGH, THE APPLICABLE SECTIONS OF THE PENN. D.O.T. STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS NOTED OTHERWISE.
6. ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
7. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER UPON COMPLETION OF THE PROJECT.
8. ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
9. INSPECT EXISTING OFF-SITE DRAINAGE STRUCTURES. NOTIFY ARBY'S AND THE CONSULTANT IF INLETS ARE FULL OF SILT OR DAMAGED.
10. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
11. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTIVITY, NOTIFY UTILITIES COMPANIES FOR FIELD LOCATIONS OF EXISTING UTILITIES. VERIFY EXISTING CONDITIONS, LOCATE ALL UTILITIES BY DIGGING TEST PITS, AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. NOTIFY THE OWNER IMMEDIATELY OF ANY CONFLICTS WITH EXISTING UTILITIES. IMMEDIATELY AND COMPLETELY REPAIR EXISTING UTILITIES THAT ARE DAMAGED DURING DEMOLITION, EXCAVATION, OR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
12. FURNISH, INSTALL, AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL FACILITIES IN ACCORDANCE WITH THE APPROVED PLANS AND PER COUNTY CONSERVATION DISTRICT AND PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS AND REQUIREMENTS. INSTALL A ROCK CONSTRUCTION ENTRANCE AND KEEP SURFACED STREETS IN A CLEAN CONDITION AT ALL TIMES DURING CONSTRUCTION. ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
13. ALL EXCAVATION IS CONSIDERED UNCLASSIFIED. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE OFFSITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND FOR IMPORTING ANY BORROW MATERIAL NECESSARY TO COMPLETE THE WORK.
14. FURNISH AND INSTALL PENNDOT TYPE "M" FRAMES AND BICYCLE SAFE GRATES ON INLETS WITHIN PAVED AREAS. FURNISH AND INSTALL STANDARD BASE UNITS AS NECESSARY TO ACCOMMODATE PIPE SIZES AND ANGLE OF PIPE ENTRY.
15. INSTALL STORM SEWER MANHOLES IN PAVED AREAS WITH TOP ELEVATIONS FLUSH WITH PAVEMENT. TRAFFIC BEARING RINGS & COVERS ON TO BE PROVIDED ON ALL STORM SEWER MANHOLES. COVERS SHALL BE LABELED "STORM SEWER".
16. ADJUST PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE. ADJUST TOP ELEVATIONS OF EXISTING UTILITY STRUCTURES AND OTHER EXISTING AT-GRADE STRUCTURES TO REMAIN TO PROPOSED FINISHED ELEVATIONS.
17. ADJUST GRADES AS NECESSARY TO ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND TOWARD EXISTING OR PROPOSED STORM SEWER STRUCTURES FOR ALL PAVED AND UNPAVED AREAS. ADJUST GRADES AND INLET TOP ELEVATIONS AS NECESSARY TO PROVIDE POSITIVE DRAINAGE.
18. PLACE 4-INCHES MINIMUM OF TOPSOIL ON ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION UNLESS STONE MULCH IS SPECIFIED.
19. PRIOR TO PAVEMENT CONSTRUCTION VERIFY 2% MAXIMUM SLOPE FOR ALL ADA AREAS. NOTIFY THE OWNER IF SLOPES IN ADA AREAS EXCEED 2%. PROVIDE AN AS-BUILT SURVEY SEALED BY A REGISTERED SURVEYOR OF ALL ADA SPACES AND ROUTES.
20. TRANSITION ALL TEMPORARY PAVING OR GRADE CHANGES IN VEHICULAR OR PEDESTRIAN TRAVEL WAYS TO PROVIDE A SMOOTH TRAVEL WAY AND AVOID TRIP HAZARDS.
21. COLLECT GROUNDWATER SEEPAGE, IF ENCOUNTERED DURING EXCAVATION, VIA UNDERDRAINS AND DISCHARGE TO THE STORM SEWER SYSTEM.
22. OVEREXCAVATE EXISTING FILL MATERIAL CONTAINING ORGANIC MATERIAL AS DIRECTED BY THE GEOTECHNICAL ENGINEER AND REPLACE WITH COMPACTED SUITABLE FILL.
23. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
24. UNLESS OTHERWISE NOTED ON THE DRAWINGS, STORM SEWERS SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) SMOOTH INTERIOR PIPE, CLASS 'S' WITH TYPE 3 JOINTS.
25. UNLESS OTHERWISE NOTED ON THE DRAWINGS, STORM INLETS SHALL BE PENN D.O.T. PRECAST CONC. INLET BOXES WITH TYPE 'M' FRAMES AND GRATES AND ALL GRATES SHALL BE BICYCLE SAFE. INLETS OVER FIVE FEET (5') SHALL HAVE STEPS TWELVE INCHES (12") O.C.
26. TRENCH DRAIN SHALL BE ZURN FLO-THRU "PERMA-TRENCH", 6" WIDE HDPE TRENCH DRAIN SYSTEM, MODEL NUMBER Z-886-CG-E4 AND UTILIZE TRENCH SECTIONS 8614 AND 8615 AS MANUFACTURED BY ZURN INDUSTRIES, 1801 PITTSBURGH AVE., ERIE, PA 16502, 1-877-ZURN-NOW (PHONE), 814-454-7929 (FAX) HTTP://WWW.ZURN.COM/PAGES/PRODUCTDETAILS.ASP?NODEKEY=376078



PATIO ENLARGEMENT

SCALE: 1"=10'



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JOB NO. 4881 FILE NO. ARBY SITE PLAN

REVISIONS	
JUN. 3, 2015	
JUL. 7, 2015	

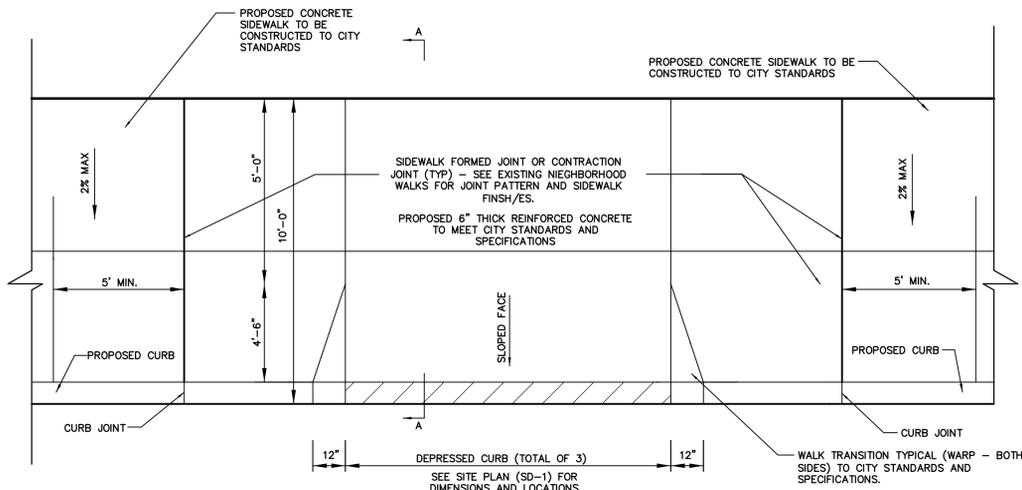
ARBY'S RESTAURANT GROUP INC.
22140 COUNTRY WAY STRONGSVILLE, OH 44149

GRADING PLAN
ARBY'S RESTAURANT
5189 BAUM BOULEVARD

CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.

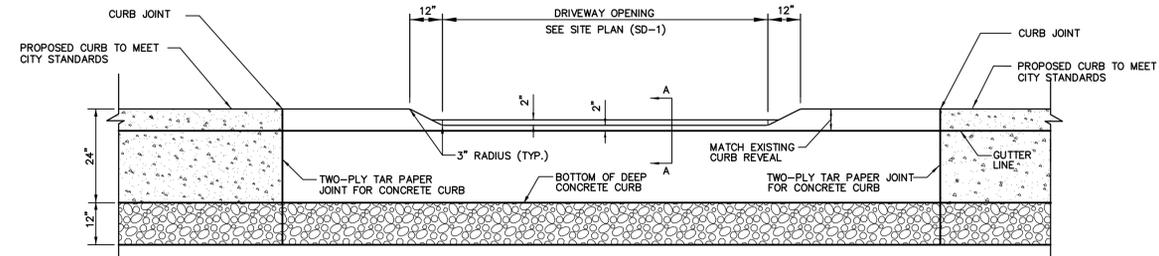
FAHRINGER, McCARTY, GREY, INC.
LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.

SCALE	1"=20'
DATE	APR. 20, 2015
DRAWN BY	RJH / KMZ
SHEET NUMBER	SD-2



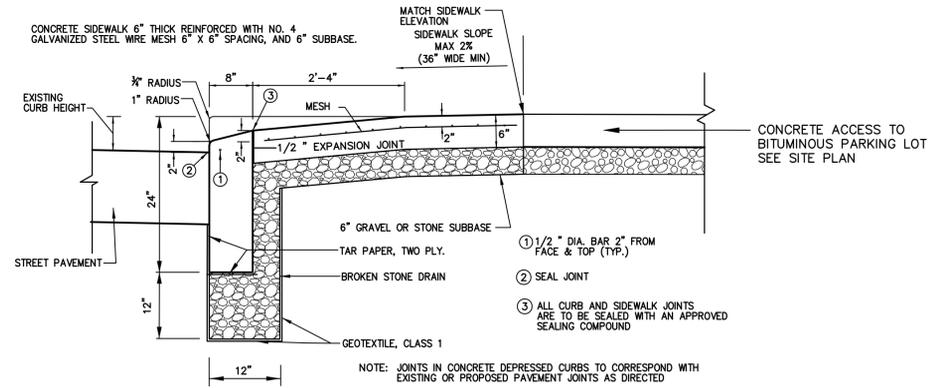
1 CONCRETE DRIVEWAY ENTRANCE - PLAN VIEW

SD-6 NO SCALE



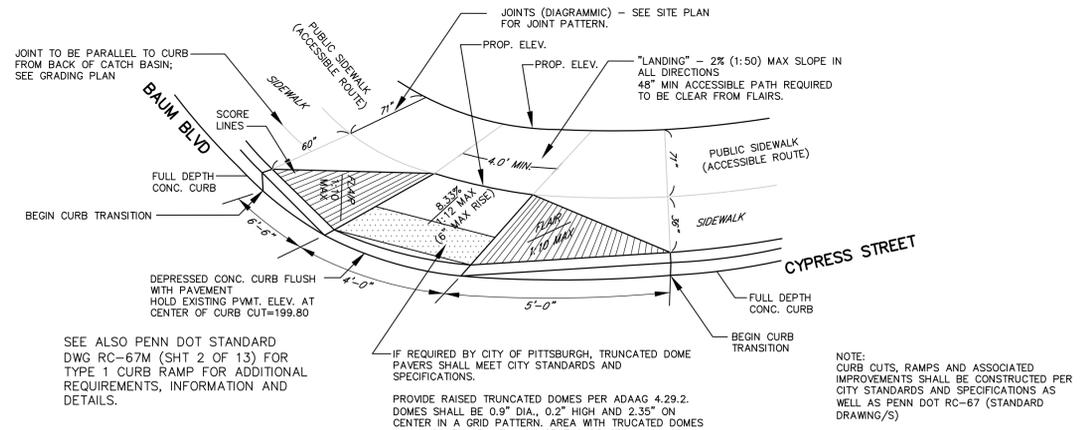
2 CONCRETE DRIVEWAY ENTRANCE - SECTION/ELEVATION VIEW

SD-6 NO SCALE



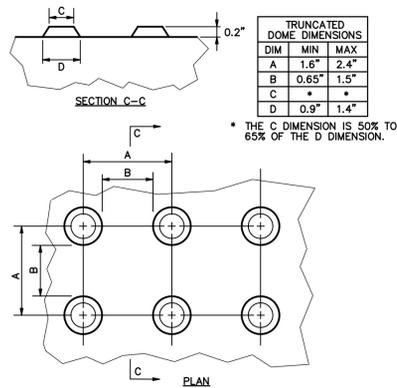
3 CONCRETE DRIVEWAY ENTRANCE - SECTION AT SIDEWALK

SD-6 NO SCALE



4 ACCESSIBLE RAMP AT BAUM BOULEVARD AND CYPRESS STREET

SD-6 NO SCALE

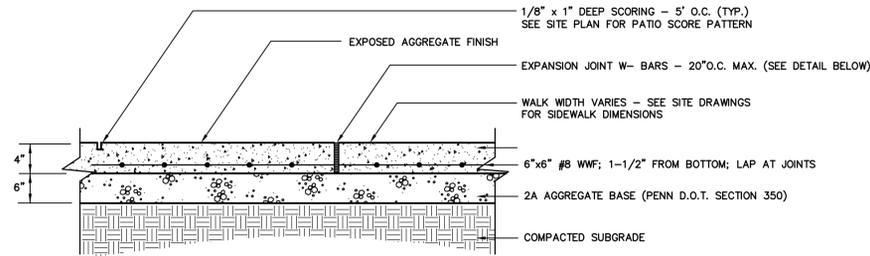


DETECTABLE WARNING SURFACE TRUNCATED DOME DETAIL

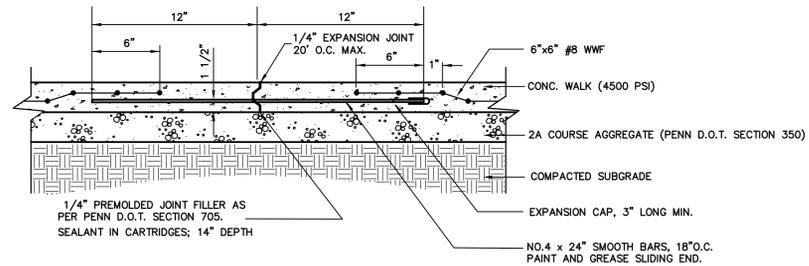
4A SD-6

NO SCALE AS PER PENN D.O.T. RC-67 (IF REQUIRED BY CITY)

- PROPOSED SIDEWALK CONCRETE WORK:
- INSTALL SIDEWALK CONCRETE BETWEEN CURB AND FACE OF BUILDING; SLOPE 2% TOWARD STREET. SEE ARCHITECTURAL PLANS FOR CONCRETE, CONCRETE MATERIAL/FINISHES, BUILDING JOINT MATERIAL AND ASSOCIATED WORK.



CONCRETE WALK

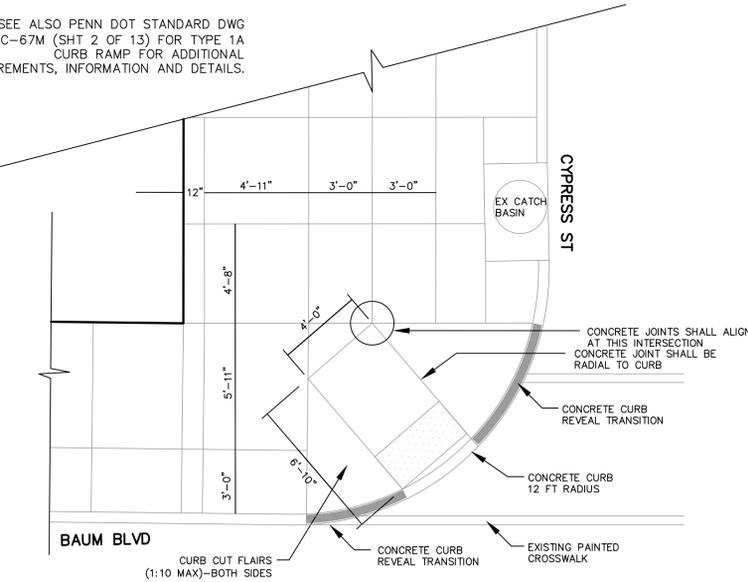


EXPANSION JOINT

5 CONCRETE WALK DETAIL

SD-6 NO SCALE

SEE ALSO PENN DOT STANDARD DWG RC-67M (SHT 2 OF 13) FOR TYPE 1A CURB RAMP FOR ADDITIONAL REQUIREMENTS, INFORMATION AND DETAILS.



- NOTES REGARDING WORK WITHIN PUBLIC RIGHT OF WAY:**
- ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS SHALL COMPLY WITH STANDARDS, SPECIFICATIONS AND DETAILS OF THE CITY OF PITTSBURGH, CITY DEPARTMENTS HAVING JURISDICTION AND THE PA DOT MATERIAL AND CONSTRUCTION SPECIFICATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FROM THE DEPARTMENT OF PUBLIC WORKS INCLUDING BUT NOT LIMITED TO SIDEWALK REPLACEMENT, UTILITY TRENCH PAVEMENT REPAIR, CURB CUTS, DRIVEWAY CUT, CURBS AND PAVEMENT WITHIN THE STREET RIGHT OF WAY.
 - THE EXISTING TRAFFIC CONTROL, LOADING AND PARKING SIGNS SHALL BE RE-INSTALLED UPON COMPLETION OF WORK COMPLETED IN THE PUBLIC RIGHT OF WAY. CONTRACTOR SHALL COORDINATE SIGN INSTALLATION WITH THE DEPARTMENT OF PUBLIC WORKS.
 - CONTRACTOR SHALL COORDINATE THE REQUIRED INSPECTIONS WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO THE START OF THE INSTALLATION OF THE PROPOSED IMPROVEMENTS.
 - SEE THE CITY OF PITTSBURGH, DEPARTMENT OF PUBLIC WORKS, RIGHT OF WAY PROCEDURES MANUAL (VERSION: JANUARY 2015) FOR ADDITIONAL REQUIREMENTS AND INFORMATION.

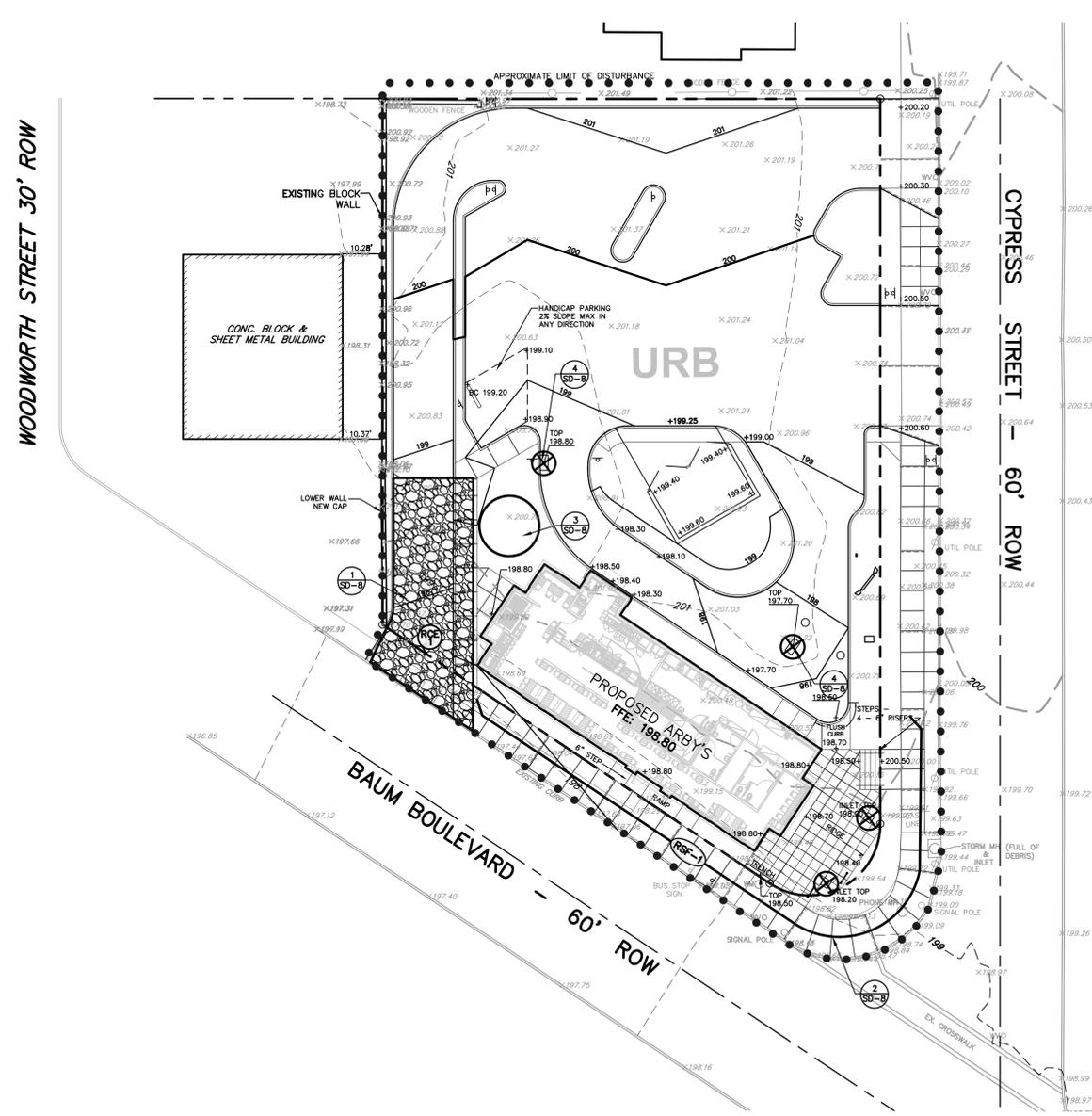
JOB NO. 4881 FILE NO. ARBY SITE PLAN	ARBY'S RESTAURANT GROUP INC.		SCALE 1"=20'
	22140 COUNTRY WAY STRONGSVILLE, OH 44149		DATE APR. 20, 2015
	SITE DETAILS - R.O.W. ARBY'S RESTAURANT 5151 BAUM BOULEVARD		DRAWN BY KMZ
	CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.		SHEET NUMBER SD-6
FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.			

SOIL EROSION SEDIMENT CONTROL NOTES

GENERAL

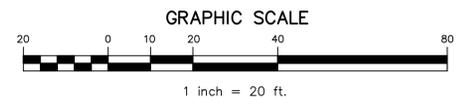
1. AN NPDES PERMIT IS NOT REQUIRED FOR THIS PROJECT WHICH DISTURBS LESS THAN 1 ACRE.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS BY ARBY'S FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
3. CONTRACTOR SHALL REFER TO THE EROSION AND SEDIMENTATION DETAILS (SD-8), AS PREPARED BY FAHRINGER, MCCARTY, GREY, INC. FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
4. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH FAHRINGER, MCCARTY, GREY, INC. PRIOR TO MOBILIZATION ONTO THE SITE.
5. ESTIMATED PROJECT START AND FINISH DATES ARE SPRING OF 2016 AND SUMMER OF 2016 FOR THE COMPLETION OF THE EROSION & SEDIMENTATION CONTROLS, GRADING, E&S AND POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S, UTILITY INSTALLATION, PAVING, LANDSCAPING AND THE CONSTRUCTION OF THE NEW ARBY'S BUILDING.
6. IF FOR ANY REASON THE PROJECT IS TEMPORARILY SUSPENDED, THE CONTRACTOR SHALL INSURE THAT ALL EROSION AND SEDIMENTATION CONTROL MEASURES ARE FUNCTIONING AND PROPERLY MAINTAINED DURING THIS PERIOD.
7. IF AT ANY TIME DURING THE PROJECT, THE JOB IS SUSPENDED OR SHUT DOWN, ALL DISTURBED AREAS ARE TO BE SEEDED IMMEDIATELY WITH THE TEMPORARY SEEDING MIXTURE.
8. PRIOR TO COMMENCING EARTHWORK IN ANY GIVEN AREA, THAT AREA MUST BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL CONSTRUCTION DEBRIS, AND ASPHALT UNLESS OTHERWISE NOTED.
9. IF DISTURBED AREAS REMAIN IDLE, UNWORKED OR ARE AT FINAL GRADE, THEY MUST BE SEEDED WITH THE TEMPORARY SEEDING MIXTURE IMMEDIATELY.
10. THE FALL CUTOFF DATE FOR SEEDING IS OCTOBER 15TH. AFTER OCTOBER 15TH ALL AREAS REQUIRING SEEDING ARE TO BE MULCHED. SEEDING MAY COMMENCE AGAIN ON MARCH 15TH.
11. A SEEDING CONTRACTOR SHALL BE DESIGNATED TO HYDROSEED OR MULCH ALL AREAS AT FINAL GRADE WITH THE REQUIRED SEEDING OR MULCHING MIXTURES. ALL AREAS BROUGHT TO FINAL GRADE MUST BE SEEDED WITH PERMANENT SEED MIXTURE WITHIN 7 DAYS. THE SEEDING CONTRACTOR SHALL BE SCHEDULED THROUGHOUT THE DURATION OF THE PROJECT.
12. IN ORDER TO PROMOTE EARLY STABILIZATION OF THE LAWN AREAS WITHIN THE PROJECT AREA, THE SITE CONTRACTOR SHALL ALLOW FOR THE SEEDING CONTRACTOR TO INSTALL SEEDING MIXTURES, EROSION CONTROL BLANKET AND/OR MULCH AS INDICATED ON THE PLAN, THROUGHOUT THE DURATION OF THE PROJECT OR WHAT CAN BE ACCOMPLISHED BY THE END OF THE DAY.
13. ALL AREAS THAT ARE ROUGH GRADED IN THE LOCATION OF LAWN AREAS ARE TO BE SEEDED WITH THE TEMPORARY SEEDING MIXTURE WITHIN 7 DAYS UNLESS OTHERWISE NOTED.
14. ALL DISTURBED AREAS, SLOPES AND CHANNELS ARE TO BE STABILIZED UPON REACHING FINAL GRADE.
15. ALL AREAS INCLUDING 3:1 SLOPES OR STEEPER BROUGHT TO FINAL GRADE SHALL BE SEEDED WITH THE PERMANENT SEEDING MIXTURE WITHIN SEVEN (7) DAYS UNLESS OTHERWISE NOTED ON THE PLAN.
16. INLET PROTECTION IS REQUIRED ON INLETS AT LOW POINTS AND ON INLETS THAT DO NOT HAVE THE TOP OF THE INLET LOCATED AT LEAST SIX (6) INCHES ABOVE THE GROUND SURFACE. SEE E & S PLAN.
17. ALL STORM PIPES, SANITARY LINES AND WATERLINES ARE TO BE INSTALLED AS PER THE UTILITY LINE TRENCHING SPECIFICATIONS LOCATED ON THE PLAN DETAILS.
18. THE CONTRACTOR IS TO DETERMINE THE LOCATIONS OF THE FILTER BAGS FOR PUMPED WATER IN THE FIELD WHEN THEY ARE UTILIZED. THEY MUST BE DESIGNED AND CONSTRUCTED AS PER THE FILTER BAG DETAIL LOCATED ON THE DETAIL SHEET OF THE PLANS.
19. EQUIPMENT SHALL NOT LEAVE THE SITE UNTIL THOROUGHLY CLEANED OF MUD AND DEBRIS.
20. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED OR OTHERWISE NOTED IN THIS SCHEDULE.
21. IF AN OFF-SITE SPOIL OR BORROW AREA IS REQUIRED TO COMPLETE THE PROJECT, THE CONTRACTOR SHALL LOCATE AND UTILIZE A SITE THAT IS ALREADY PERMITTED FOR EARTHWORK ACTIVITIES. THE CONTRACTOR SHALL NOT COMMENCE ANY EARTHWORK THAT IS NOT SHOWN ON THE PLANS WITHOUT THE WRITTEN APPROVAL OF THE SITE ENGINEER AND THE ALLEGHENY COUNTY CONSERVATION DISTRICT.
22. ANY CHANGES TO EROSION AND SEDIMENTATION CONTROL MEASURES AND/OR THEIR POINTS OF DISCHARGE MUST BE APPROVED BY THE ALLEGHENY COUNTY CONSERVATION DISTRICT.
23. ALL EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE INSTALLED IN THE LOCATIONS NOTED ON THE PLANS AND INSTALLED AS PER THE SPECIFICATIONS LOCATED ON THE E & S DETAIL SHEETS AND IN THE PLAN NARRATIVE.
24. ALL QUESTIONS REGARDING EROSION CONTROL ARE TO BE DIRECTED TO EITHER FAHRINGER, MCCARTY, GREY, INC. OR THE ALLEGHENY COUNTY CONSERVATION DISTRICT.
25. ALL AREAS OF VEGETATION SURFACE STABILIZATION, WHETHER TEMPORARY OR PERMANENT, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM 70% PERENNIAL VEGETATIVE COVER IS OBTAINED.
26. FILTER FABRIC FENCING TO BE REMOVED AFTER BUILDING CONSTRUCTION HAS STARTED AND IMMEDIATELY PRIOR TO NEW SIDEWALK CONSTRUCTION.

1 CONSTRUCTION SEQUENCE-GENERAL
SD-9



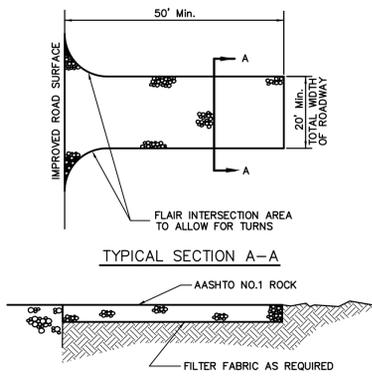
E&S LEGEND

- URB SOIL SYMBOL
- LIMIT OF DISTURBANCE
- ⊗ INLET PROTECTION
- RSF-1 REINFORCED FILTER FENCE
- ROCK CONSTRUCTION ENTRANCE
- URB URBAN LAND--RAINSBORO COMPLEX, GENTLY SLOPING



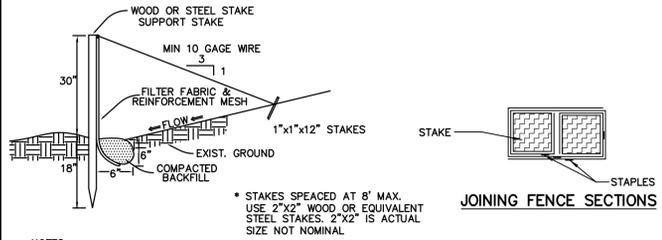
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JOB NO. 4881 FILE NO. ARBY SITE PLAN	ARBY'S RESTAURANT GROUP INC. 22140 COUNTRY WAY STRONGSVILLE, OH 44149		SCALE 1"=20'
	SOIL EROSION AND SEDIMENT CONTROL PLAN		DATE APR. 20, 2015
	ARBY'S RESTAURANT 5189 BAUM BOULEVARD		DRAWN BY RJH / KMZ
	CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.		SHEET NUMBER SD-9
REVISIONS JUN. 3, 2015 JUL. 7, 2015		FAHRINGER, MCCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.	



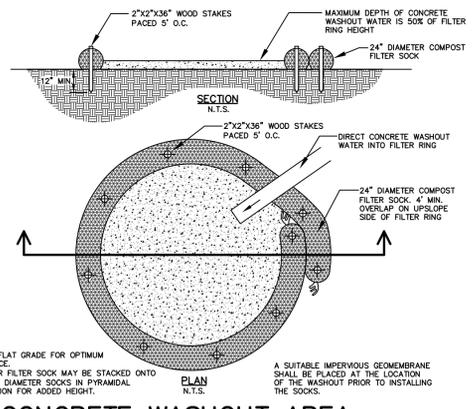
- NOTE:**
- ROCK CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED TO THE MINIMUM WIDTH, LENGTH AND THICKNESS. DIMENSIONS AS SHOWN ABOVE.
 - ROCK SHALL BE AASHTO NO. 1 AS SPECIFIED IN SECTION 703.2 OF THE PENN D.O.T. PUBLICATION 408.
 - THE CONSTRUCTION ENTRANCE SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

1 ROCK CONSTRUCTION ENTRANCE
SD-8 NO SCALE TEMPORARY BMP

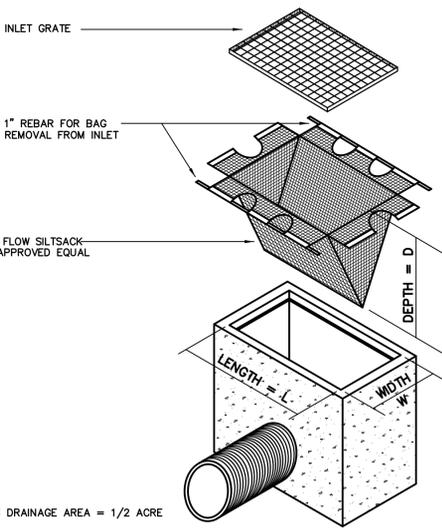
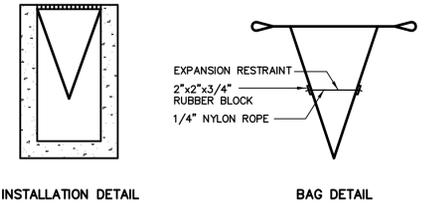


- NOTES:**
- FILTER FABRIC FENCE MUST BE INSTALLED AT EXISTING LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION MUST BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO ALLOW FOR POOLING OF WATER.
 - A 6" DEEP TRENCH SHOULD BE EXCAVATED, MINIMIZING THE DISTURBANCE ON THE DOWNSLOPE SIDE. THE BOTTOM OF THE TRENCH SHOULD BE AT LEVEL GRADE. MAXIMUM DEVIATION FROM LEVEL GRADE SHOULD BE 1% AND NOT EXTEND FOR MORE THAN 25 FEET.
 - SUPPORT STAKES SHOULD BE DRIVEN 18" BELOW THE EXISTING GROUND SURFACE AT 8 FOOT (MAX.) INTERVALS.
 - FILTER FABRIC SHOULD BE STRECHED AND FASTENED TO THE UPSLOPE SIDE OF THE SUPPORT STAKES. WHEREVER REINFORCED FABRIC FENCE IS INSTALLED, THE REINFORCEMENT MESH SHOULD BE FASTENED TO THE STAKES PRIOR TO THE FABRIC
 - AT FABRIC ENDS, BOTH ENDS SHOULD BE WRAPPED AROUND THE SUPPORT STAKE AND STAPLED. IF THE FABRIC COMES ALREADY ATTACHED TO THE STAKES, THE END STAKES SHOULD BE HELD TOGETHER WHILE THE FABRIC IS WRAPPED AROUND THE STAKES AT LEAST ONE REVOLUTION PRIOR TO DRIVING THE STAKES.
 - THE BOTTOM OF THE FENCE SHOULD BE ANCHORED BY PLACING THE FABRIC IN THE BOTTOM OF THE TRENCH, AND BACKFILLING AND COMPACTING THE FILL MATERIAL IN THE TRENCH.
 - FILTER FABRIC FENCE SHOULD BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION.
 - FILTER FABRIC FENCE ALIGNMENT SHOULD BE AT LEAST 8' FROM THE TOE OF FILL SLOPES.

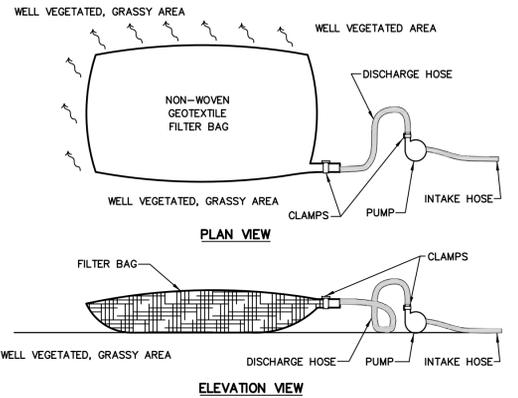
2 FILTER FABRIC FENCE - 30" REINFORCED
SD-8 NO SCALE TEMPORARY BMP



3 CONCRETE WASHOUT AREA
SD-8 NO SCALE TEMPORARY BMP

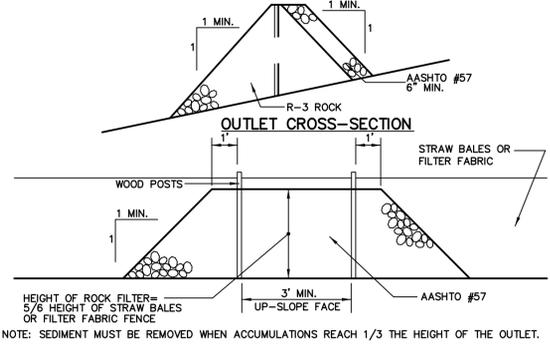


4 INLET PROTECTION
SD-8 NO SCALE TEMPORARY BMP



- FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
- BAGS SHALL BE LOCATED IN A WELL VEGETATED (GRASSY) AREA. AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
- THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.
- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.
- SILT AND SEDIMENT COLLECTED IN THE FILTER BAGS SHALL BE SPREAD ON A FLAT AREA ABOVE A WORKING BMP TO DRY OUT AND BE MIXED WITH SOIL DURING EARTHWORK OPERATIONS.

5 PUMPED WATER FILTER BAG (IF NEEDED)
SD-8 NO SCALE TEMPORARY BMP



6 ROCK FILTER OUTLETS (IF NEEDED)
SD-8 NO SCALE

- INSTALLATION:**
- A TRENCH SHALL BE PLOWED OR OTHERWISE EXCAVATED TO THE REQUIRED DEPTH WITH LITTLE, IF ANY, DISTURBANCE TO THE DOWNSLOPE SIDE OF THE TRENCH. THE BOTTOM OF THE TRENCH AND THE FENCE TOP SHALL BE PLACED ON A LEVEL GRADE. WHEN IT IS NECESSARY TO CROSS SMALL DEPRESSIONS, THE TRENCH BOTTOM AND THE FENCE TOP EDGE MAY DEVIATE SLIGHTLY FROM THE LEVEL GRADE. GRADES IN SUCH SECTIONS SHALL NOT EXCEED ONE PERCENT (1%), NOR SHALL THE DEVIATION EXTEND FOR MORE THAN 25 FEET.
 - SUPPORT STAKES SHALL BE DRIVEN TO THE REQUIRED DEPTH BELOW THE EXISTING GROUND SURFACE, AT SPECIFIED INTERVALS.
 - STRETCH AND FASTEN FABRIC TO THE UPSLOPE SIDE OF THE SUPPORT STAKES (IF A REINFORCED SECTION, FASTEN REINFORCEMENT MESH PRIOR TO FASTENING THE FABRIC).
 - WHERE ENDS OF FABRIC COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
 - THE TOE ANCHOR SHALL BE BACKFILLED AND COMPACTED TO A DENSITY EQUAL TO SURROUNDING SOILS.
 - IF CONSTRUCTING A REINFORCED SECTION, ATTACH GUY WIRES TO SUPPORT STAKES. PROVISIONS SHOULD BE MADE FOR EASY LOOSENING AND REMOVAL OF THE GUY WIRES TO ALLOW FOR ACCESS TO PERFORM MAINTENANCE WORK.
- MAINTENANCE:**
- THE FENCE INSTALLATION SHOULD BE INSPECTED AFTER EVERY PRECIPITATION EVENT. ANY NECESSARY REPAIRS SHALL BE MADE IMMEDIATELY.
 - ACCUMULATED SEDIMENTS SHALL BE REMOVED AS REQUIRED TO KEEP THE FENCE FUNCTIONAL. IN ALL CASES REMOVE DEPOSITS WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.
 - ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEE DETAIL 3/C-8.
 - ADHERE TO ANY MANUFACTURER'S RECOMMENDATIONS FOR REPLACING FILTER FABRIC FENCE DUE TO WEATHERING.

7 FILTER FABRIC INSTALLATION
SD-8 NO SCALE

D= TRENCH DEPTH TO PIPE INVERT

SPACING (L) AND MATERIALS FOR TRENCH PLUGS		
SLOPE %	L FEET	PLUG MATERIAL
0 - 5	-	NONE
5 - 15	500	EARTH FILLED SACKS
15 - 25	300	EARTH FILLED SACKS
25 - 35	200	EARTH FILLED SACKS
35 - 100	100	EARTH FILLED SACKS
OVER 100	50	CEMENT FILLED BAGS (WETTED)

SECTION VIEW

ELEVATION

TOP OF TRENCH

PIPE INVERT

8 TRENCH PLUG
SD-8 NO SCALE

- MAINTENANCE PROGRAM:**
- MAINTENANCE OF TEMPORARY CONTROLS:**
- TEMPORARY MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD AS OUTLINED IN THE "MAINTENANCE SCHEDULE" SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND NARRATIVE.
- IT SHALL BE THE RESPONSIBILITY OF THE PROJECT MANAGER (OR SOMEONE DESIGNATED BY HIM/HER) TO PERFORM A WEEKLY CHECK (AND A CHECK AFTER EVERY RUNOFF EVENT) OF ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES TO ENSURE THAT THEY ARE WORKING PROPERLY. THIS CHECK SHALL INCLUDE, BUT NOT BE LIMITED TO:
- INSPECTION OF FILTER FABRIC FENCE, REPAIR AS NEEDED.
NOTE: ANY SECTION THAT HAS BEEN UNDERCUT OR OVERTOPPED MUST BE REPLACED WITH A ROCK FILTER OUTLET AS DETAILED.
 - INSPECTION OF ALL INLET PROTECTION.
 - INSPECTION OF ALL SLOPES FOR SIGNS OF EROSION AND/OR SEDIMENTATION.
 - INSPECTION OF ROCK CONSTRUCTION ENTRANCE. THICKNESS SHALL BE CONSTANTLY MAINTAINED BY ADDING NECESSARY ROCK. SEDIMENT DEPOSITED ON ROADWAYS SHALL BE SWEEPED AND NOT WASHED AT THE END OF EACH DAY'S CONSTRUCTION.

ALL MAINTENANCE CHECKS SHALL OCCUR WEEKLY AND DURING OR IMMEDIATELY AFTER ANY RUNOFF EVENT. A COMPLETE MAINTENANCE CHECKLIST IS INCLUDED ON THIS DRAWING TO BE USED WHERE APPLICABLE.

AN ADEQUATE SUPPLY OF ADDITIONAL EROSION AND SEDIMENT CONTROL MATERIALS (INCLUDING FILTER FENCE, EROSION NETTING, PLASTIC COVERING, WIRE MESH, SAND AND BURLAP, SAND BAGS, GRAVEL), SHALL BE STOCKPILED ON-SITE TO BE USED IN EVENT OF EMERGENCY REPAIRS OF EXISTING SOIL EROSION AND SEDIMENTATION CONTROLS.

IF A PROBLEM WITH A CONTROL MEASURE IS ENCOUNTERED, IT IS TO BE CORRECTED IMMEDIATELY. SHOULD ANY MAJOR PROBLEMS ARISE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR/PROJECT OWNER TO REPORT THESE IMMEDIATELY TO THE LANDSCAPE ARCHITECT AND ALLEGHENY CONSERVATION DISTRICT.

- MAINTENANCE OF PERMANENT CONTROLS:**
- PERMANENT CONTROL FACILITIES WILL BE MAINTAINED BY THE OWNER.
- AN INSPECTION OF ALL STORMWATER FACILITIES AND ALL BMP'S SHALL BE CONDUCTED ON AN ANNUAL BASIS AND AFTER EACH MAJOR STORM EVENT (> 1 INCH RAINFALL DEPTH). THIS CHECK IS TO INCLUDE, BUT NOT BE LIMITED TO:
- INSPECTION OF ALL STORM INLETS/SUMPS, MANHOLES AND STORM SEWER PIPES: VIEW ALL INLET BOXES AND MANHOLES FOR DEBRIS.

- CLEANING FREQUENCY AND ULTIMATE DISPOSAL OF WASTE:**
- EROSION CONTROL CLEANING SCHEDULE:**
- FILTER FABRIC FENCE ----- 9" OR DEEPER (SEE INSTALLATION STANDARDS)
- INLET PROTECTION ----- 3" DEPTH AROUND FILTER FENCE OR SILT SACK IS HALF FULL
- ROCK FILTER OUTLETS ----- 1/3 HEIGHT OF THE OUTLET
- EROSION CONTROL TIME SCHEDULE:**
- MAINTENANCE OF TEMPORARY AND PERMANENT CONTROLS SHALL BE ACCOMPLISHED WITHIN THE FOLLOWING TIME FRAME (WEATHER PERMITTING). ALL CONTROLS ARE TO BE INSPECTED AFTER EVERY RUNOFF EVENT:
- FILTER FABRIC FENCE ----- 1 DAY
- INLET PROTECTION ----- 1 DAY
- ROCK FILTER OUTLETS ----- 1 DAY
- INLETS/SUMPS ----- 2 TIMES A YEAR
- MANHOLES ----- 2 TIMES A YEAR
- STORM SEWER PIPES ----- 2 TIMES A YEAR
- SILT AND SEDIMENT REMOVED FROM ALL CONTROL MEASURES INCLUDING FILTER BAGS SHALL BE MIXED WITH SOIL DURING THE EARTHWORK PROCESS AND PROPERLY DISPOSED OF ON THE SITE.

MAINTENANCE OF ALL TEMPORARY EROSION CONTROL FACILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR THE DURATION OF ALL SITE CONSTRUCTION. MAINTENANCE OF ALL PERMANENT CONTROLS WILL BE THE RESPONSIBILITY OF THE OWNER. A DATED WRITTEN RECORD/REPORT OF ALL INSPECTIONS MUST BE KEPT ON-SITE.

MAINTENANCE CHECKLIST:

CONTROL MEASURES	PROBLEMS TO LOOK FOR	POSSIBLE REMEDIES
ROCK CONSTRUCTION ENTRANCE	LOSS OF STONE; EXCESS MUD	ADD STONE; REMOVE MUD
VEGETATION	RILLS OR GULLIES FORMING	FILL RILLS AND REGRADE GULLIED SLOPES
	BARE SOIL PATCHES	RESEED, FERTILIZE, AND MULCH BARE AREAS
FILTER FENCE	SEDIMENT AT TOE-OF-SLOPE	CHECK FOR TOE-OF-SLOPE DIVERSION AND INSTALL IF NEEDED
	UNDERCUTTING OF FENCE	REPLACE FENCE SECTION, REPAIR UNDERCUT
	FENCE COLLAPSING	CHECK FENCE POST SIZE AND SPACING. GAUGE OF WIRE MESH, AND FABRIC STRENGTH. CHECK DRAINAGE AREA, SLOPE LENGTH, AND GRADIENT BEHIND BARRIER. CORRECT SUBSTANDARD CONDITION.
	TORN FABRIC	REPLACE WITH CONTINUOUS PIECE OF FABRIC FROM POST TO POST. SECURELY ANCHOR WITH PROPER STAPLES.
INLET PROTECTION	FLOODING AROUND OR BELOW INLET	REMOVE ACCUMULATED SEDIMENT; OR CONVERT SEDIMENT BARRIER TO AN EXCAVATED SEDIMENT TRAP; OR ROUTE RUNOFF TO A MORE SUITABLE BMP.

NOTE:

THE SITE SHALL BE KEPT CLEAN OF ANY CONSTRUCTION DEBRIS ON A DAILY BASIS. ALL FOREIGN DEBRIS SHALL BE REMOVED AND DISPOSED OF PROPERLY IN ACCORDANCE WITH MUNICIPAL AND COUNTY REGULATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR WEEKLY INSPECTIONS OF ALL SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES AFTER THE WORK IS CONSIDERED COMPLETED, BUT NOT YET STABILIZED. INSPECTIONS SHALL ALSO BE MADE IMMEDIATELY AFTER EACH RUNOFF EVENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ALL NECESSARY REPAIRS TO EROSION FACILITIES AND TO CLEAN THEM AS SPECIFIED ON THE CONTROL DOCUMENTS. THIS RESPONSIBILITY SHALL CONTINUE UNTIL THE SITE IS DEEMED STABLE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LAWRENCE CONSERVATION DISTRICT.

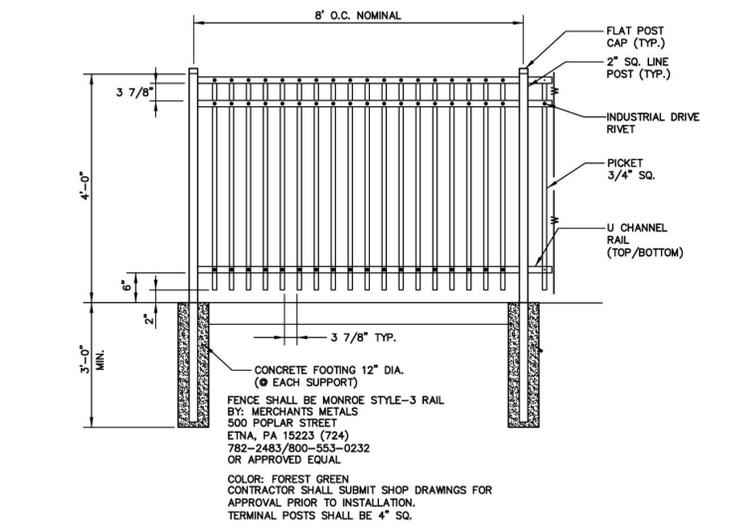
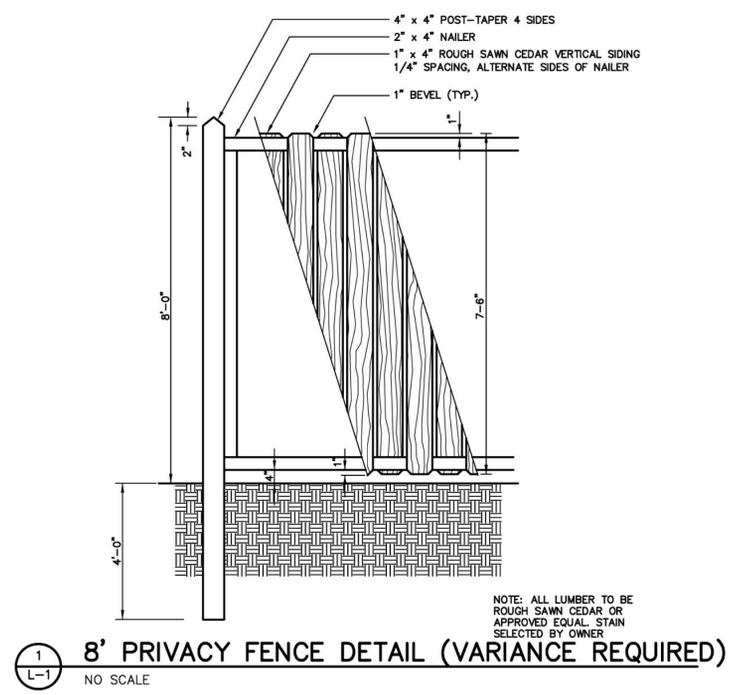
ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED. ALL AREAS OF VEGETATIVE SURFACE STABILIZATION, IS TO BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF 70% PERENNIAL VEGETATIVE COVERAGE IS OBTAINED.

SEDIMENT REMOVED FROM EROSION CONTROL FACILITIES SHALL BE INCORPORATED INTO SITE GRADING MATERIALS DURING CONSTRUCTION, OR SPREAD OVER ALREADY DISTURBED PORTIONS OF THE SITE AFTER CONSTRUCTION IS COMPLETED, BUT THE UNIFORM RATE OF PERENNIAL VEGETATIVE COVER HAS NOT YET REACHED (70%). SILT FENCE SHALL BE INSTALLED ON THE DOWNHILL PERIMETER OF THE SPREAD AREA WHICH SHALL BE IMMEDIATELY SEEDED WITH TEMPORARY SEEDING.

9 MAINTENANCE PROGRAM
SD-8

JOB NO. 4881 FILE NO. 4881 SITE PLAN	ARBY'S RESTAURANT GROUP INC. 22140 COUNTRY WAY STRONGSVILLE, OH 44149		SCALE 1"=20'
	EROSION AND SEDIMENTATION CONTROL DETAILS ARBY'S RESTAURANT 5151 BAUM BOULEVARD CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.		DATE APR. 20, 2015
REVISIONS	FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.		DRAWN BY KMZ
			SHEET NUMBER SD-8

WOODWORTH STREET 30' ROW



LANDSCAPING NOTES:

PLANTS:
PLANTS SHALL CONFORM TO VARIETIES SPECIFIED IN THE PLANT LIST. PLANTS SHALL BE TRUE TO BOTANICAL NAMES, STANDARDS OF SIZE, CULTURE, QUALITY FOR HIGHEST GRADES AND STANDARDS AS ADOPTED IN AMERICAN STANDARD FOR NURSERY STOCK. PLANTS SHALL HAVE NORMAL GROWTH, BE FRESHLY DUG, NURSERY-GROWN, SOUND, HEALTHY AND FREE OF DISEASE, INSECTS AND LARVA. DELIVER WITH FEDERAL AND STATE CERTIFICATES OF INSPECTION ATTACHED. SHRUBS SHALL MEET REQUIREMENTS FOR SPREAD OR HEIGHT AS STATED IN THE PLANT LIST. MEASUREMENT FOR HEIGHT SHALL BE TAKEN FROM GROUND LEVEL TO AVERAGE HEIGHT OF TOP OF SHRUB, NOT LONGEST BRANCH. SIDE BRANCHES SHALL BE GENEROUS AND WELL-TWIGGED. THE PLANT AS A WHOLE SHALL BE WELL-BUSHED TO THE GROUND.

TOPSOIL MIX:
FOR BACKFILLING DECIDUOUS PLANT PITS, MIX 4 PARTS BY VOLUME OF TOPSOIL AND 1 PART OF DECOMPOSED MUSHROOM, CATTLE OR STABLE MANURE. FOR BACKFILLING EVERGREEN PLANTS PITS, MIX 4 PARTS BY VOLUME OF TOPSOIL AND 1 PART PEAT HUMUS. TOPSOIL SHALL NOT CONTAIN MIXTURES OF SUBSOIL AND SHALL BE CLEAN AND REASONABLY FREE FROM CLAY LUMPS WHICH MIGHT BE HINDRANCES TO PLANTING OPERATION.

FERTILIZERS:
FOR TREES AND SHRUBS, INCORPORATE FIVE (5) LBS. OF 6-10-4 FOR EACH CUBIC YARD OF BACKFILL. COMMERCIAL FERTILIZER SHALL BE STANDARD PRODUCTS COMPLYING WITH APPLICABLE LAWS.

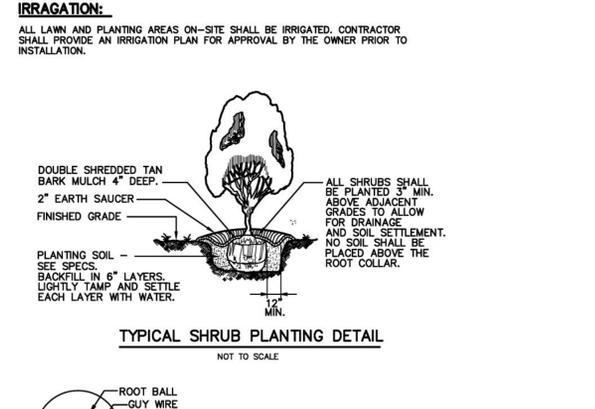
GUARANTEE:
THE LIFE AND SATISFACTORY CONDITION OF ALL TREES AND SHRUBS, EXCEPT THOSE AFFECTED BY VANDALISM, DESTRUCTION BY WILDFIRE OR NATURAL ELEMENTS, SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OR SUBSTANTIAL COMPLETION.

PLANTED AREAS:
ALL PLANTED AREAS SHALL RECEIVE A 3\"/>

SEEDING AREAS:
ALL DISTURBED AREAS NOT RECEIVING PLANTINGS SHALL BE SEEDED WITH SPECIFIED SEED MIX. SEE EROSION CONTROL DRAWINGS FOR SPECIFICATIONS.

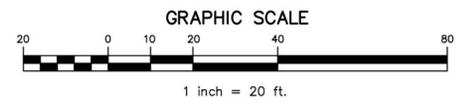
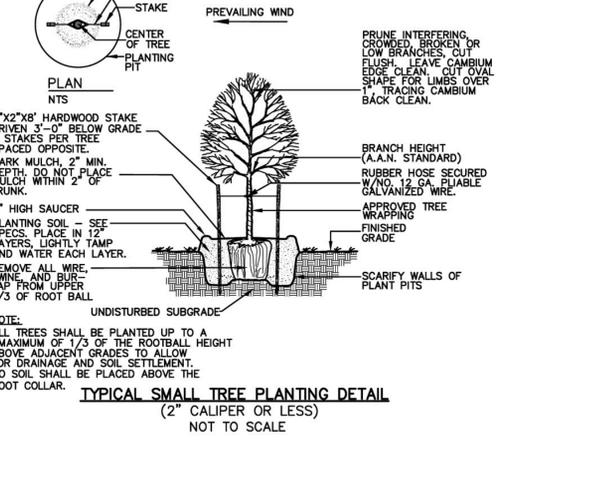
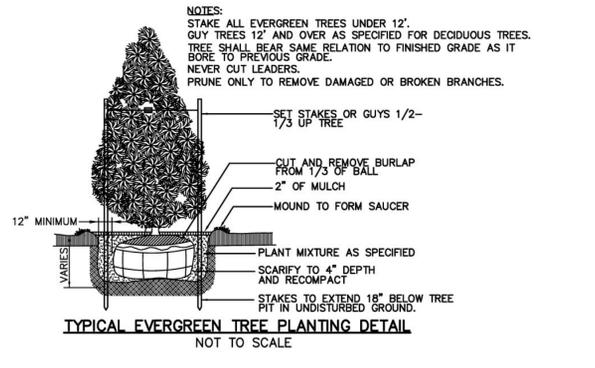
MISC:

- PRIOR TO PLANTING, IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO DETERMINE THE LOCATIONS OF ALL UTILITIES.
- PRIOR TO SPREADING TOPSOIL, THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL BUILDING DEBRIS, ROCK, MORTAR, ETC. FROM PLANTING BEDS, ISLANDS AND LAWN AREAS.
- ALL PLANTING ISLANDS TO RECEIVE A MINIMUM OF 6\"/>
- REMOVE ALL ASPHALT PAVING WITHIN PLANTING ISLANDS TO WITHIN 6\"/>
- ALL PLANT BEDS TO RECEIVE 5\"/>
- TOPSOIL SHALL BE PLACED AT A MINIMUM DEPTH OF 6\"/>
- A 6\"/>



PLANT LIST

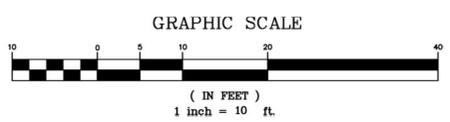
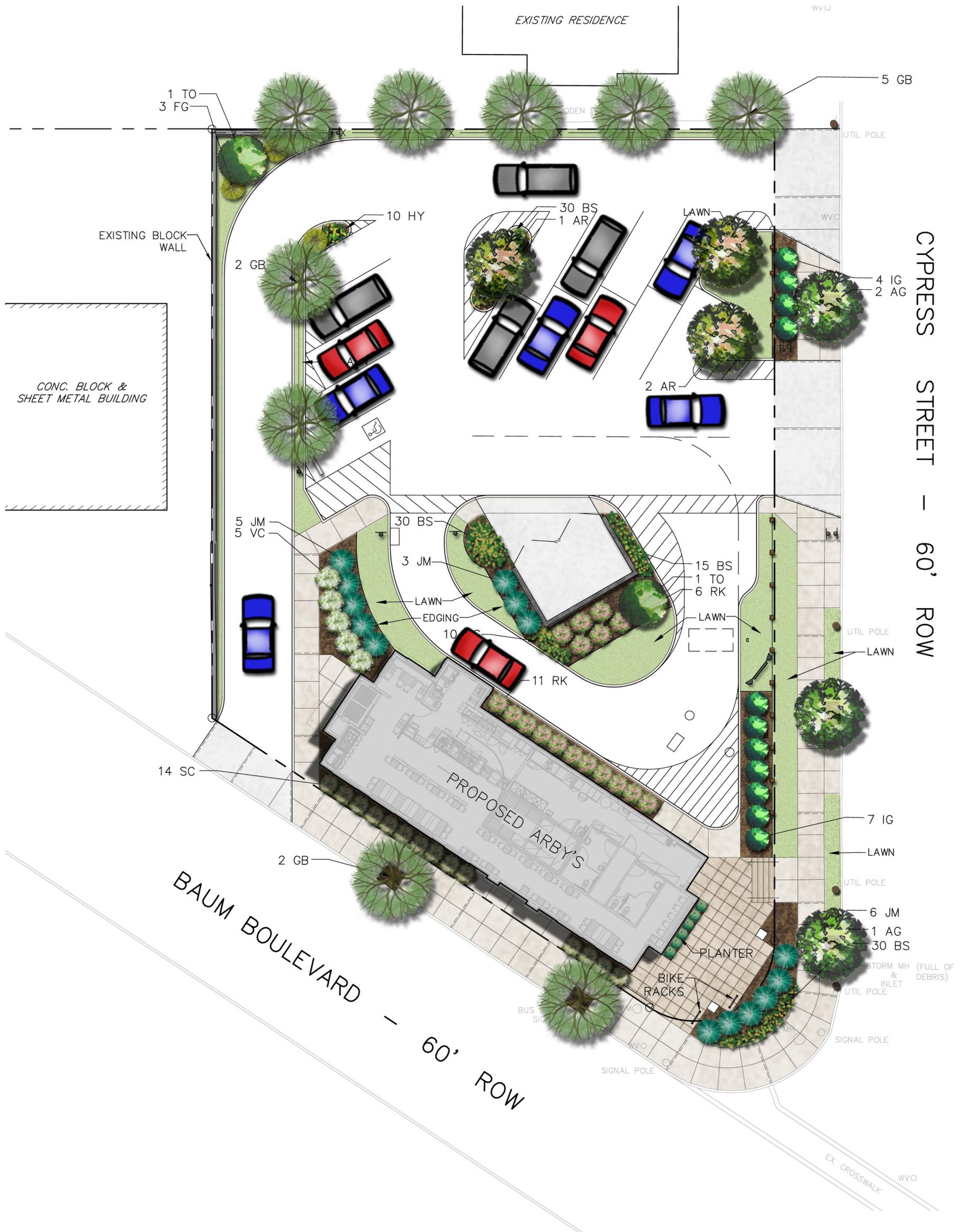
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	REMARKS																																																										
TREES:																																																															
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THIS PLAN FOR LANDSCAPE PURPOSES ONLY !

NOTE: PLANT COUNTS GIVEN ON THE LANDSCAPE DRAWINGS AND SUMMARIZED ON THE PLANT SCHEDULE ARE FOR THE CONVENIENCE OF APPROPRIATE REVIEW AGENCIES AND CONTRACTOR/SUBCONTRACTOR ONLY. ALL PLANTING INDICATED ON EITHER THE PLANT SCHEDULE OR LANDSCAPE PLAN SHALL BE REQUIRED. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE APPROPRIATE PARTY FOR CLARIFICATION.

JOB NO. 4881 FILE NO. ARBY SITE PLAN	ARBY'S RESTAURANT GROUP INC. 22140 COUNTRY WAY STRONGSVILLE, OH 44149	SCALE 1"=20'
	LANDSCAPE PLAN ARBY'S RESTAURANT 5189 BAUM BOULEVARD	DATE APR. 20, 2015
	CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.	DRAWN BY RJH / KMZ
	FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.	SHEET NUMBER L-1



Fahring, McCarty, Grey, Inc.

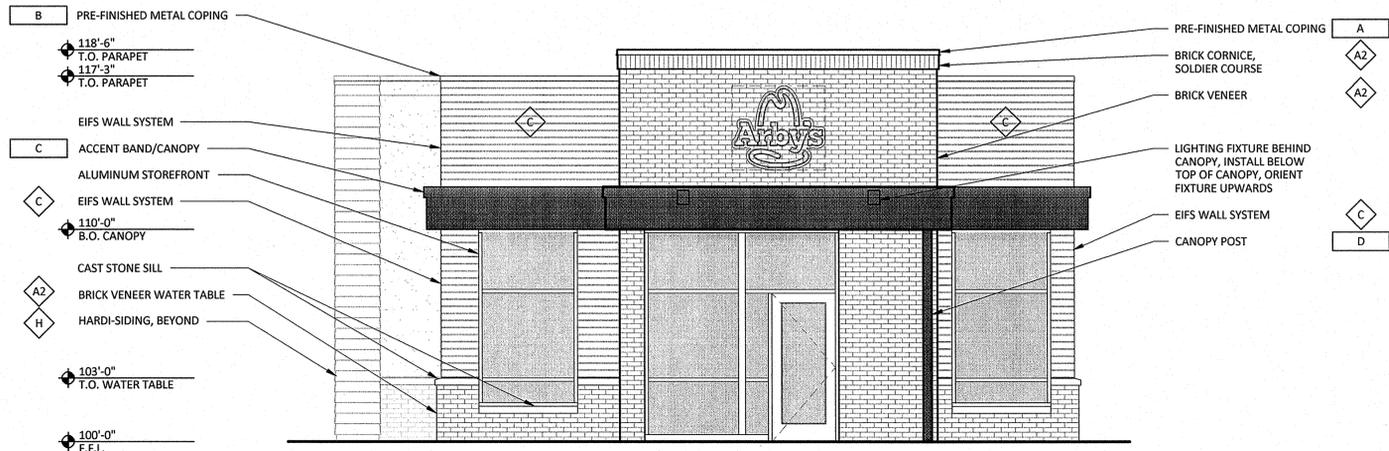
Arby's Restaurant
 5151 Baum Boulevard
 July 2015



Conceptual Rendering

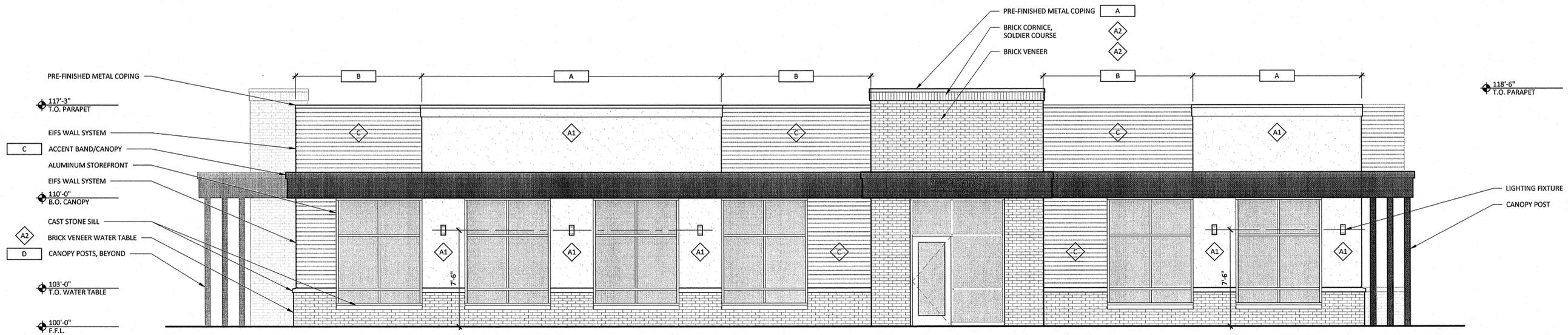
- Inspire 2000 / 3000
- Baum Blvd. & Cypress Street (East bound view)
- 2015 prototype modified to lay parallel to Baum Blvd.





1 FRONT ELEVATION
A2.1 1/4" = 1'-0"

MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	DRYVIT	#310 CHINA WHITE SANDBLAST TEXTURE	EIFS WALL SYSTEM
A2	COUNTY MATERIALS	HERITAGE COLLECTION WHITE NF	SMOOTH
B	COUNTY MATERIALS	HERITAGE COLLECTION SABLE NF	SMOOTH
C	DRYVIT	PAINT "G"	V-GROOVE EIFS REVEAL, 4" O.C. REFER TO DETAIL.
D	SHERWIN WILLIAMS	PRIMER: LOXON ACRYLIC MASONRY PRIMER, A-24-300 FINISH: DTM ACRYLIC GLOSS, B66R38	TINT PRIMER TO SW P2 USE AT LEAST (2) TWO COATS OF FINISH
E	NOT USED	---	---
F	SHERWIN WILLIAMS	#SW 7024 FUNCTIONAL GRAY	SATIN FINISH
G	SHERWIN WILLIAMS	#SW 2808 ROCKWOOD DARK BROWN	SATIN FINISH
H	JAMES HARDIE	ARTISAN LAP SIDING - SMOOTH IRON GRAY	5/8" THICK 7 1/4" WIDTH (6" EXPOSURE)
J	IPE WOOD RAINSCREEN	---	PROVIDE UV SEALER
K	SHERWIN WILLIAMS	#SW 2123 WHITE	SATIN FINISH
METALS			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING REGAL WHITE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING DARK BRONZE/ DURO-LAST #SR70/TE87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICTED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRICTED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---
<ol style="list-style-type: none"> PAINT ALL EXPOSED METERS, SERVICE ENTRANCES, GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS. REFER TO SPECIFICATIONS ON SHEET SP-2. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS. ALUMINUM STOREFRONT TO BE DARK BRONZE. ALL GLAZING TO BE 1" INSULATED GLAZING. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER. 			



2 SIDE ELEVATION
A2.1 1/4" = 1'-0"

PROPRIETARY INFORMATION NOTICE:
THESE PROTOTYPICAL DOCUMENTS MAY REQUIRE REVISIONS TO CONFORM TO LOCAL, STATE, AND FEDERAL CODES, ORDINANCES OR OTHER CONDITIONS. THE DESIGN CONCEPTS EMBODIED IN THESE DOCUMENTS ARE SPECIFICALLY FOR THIS PROJECT. INFORMATION CONTAINED HEREIN REMAINS THE SOLE PROPERTY OF ARBY'S RESTAURANT GROUP. IS CONFIDENTIAL AND PROPRIETARY AND IS NOT TO BE COPIED, REPRODUCED, DISCLOSED OR OTHERWISE TRANSFERRED TO OTHER PARTIES IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF ARBY'S RESTAURANT GROUP.



ARBY'S RESTAURANT GROUP
INSPIRE FRONT-LINE 2700
1234 MAIN STREET
CITY, STATE ZIP

PROJECT NUMBER:
ARG098

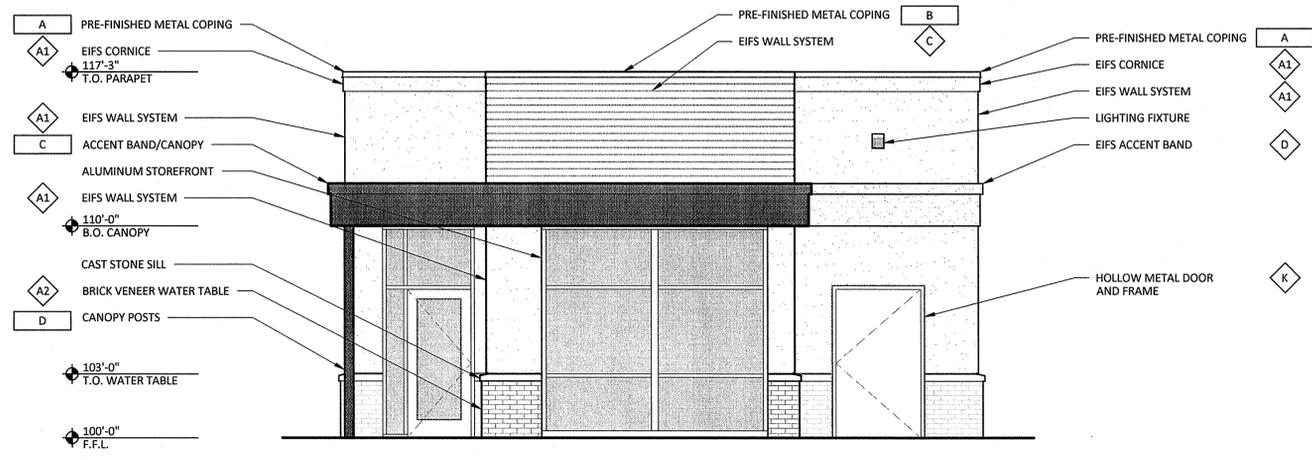
ISSUE DATE
PROTOTYPE SET DEC 15, 2014

EXTERIOR ELEVATIONS

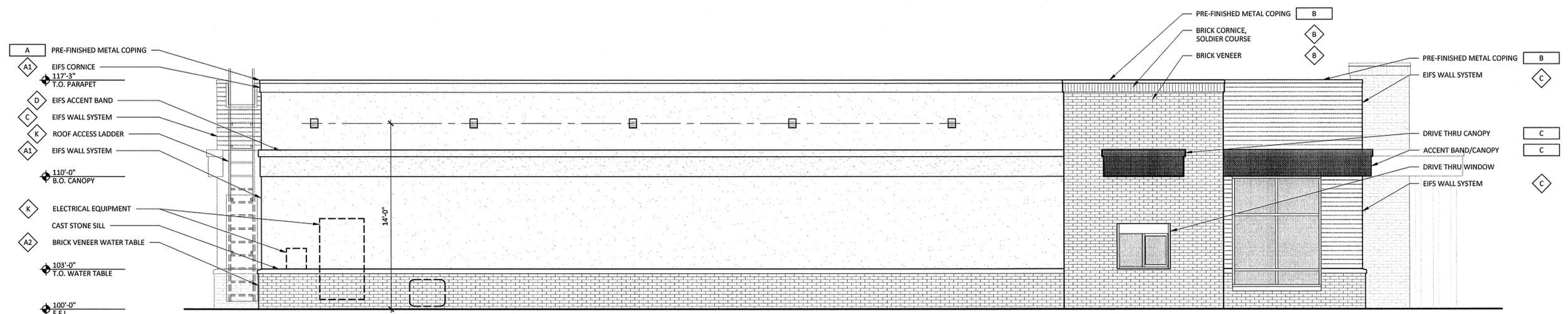
SHEET:

A2.1

NOT FOR CONSTRUCTION, FOR REFERENCE ONLY



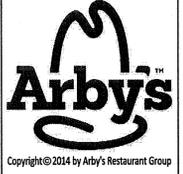
1
 A2.2 REAR ELEVATION
 1/4" = 1'-0"



2
 A2.2 SIDE ELEVATION
 1/4" = 1'-0"

NOT FOR CONSTRUCTION, FOR REFERENCE ONLY

PROPRIETARY INFORMATION NOTICE:
 THESE PROTOTYPICAL DOCUMENTS MAY REQUIRE REVISIONS TO CONFORM TO LOCAL, STATE, AND FEDERAL CODES, ORDINANCES OR OTHER CONDITIONS. THE DESIGN CONCEPTS EMBODIED IN THESE DOCUMENTS ARE SPECIFICALLY FOR THIS PROJECT. INFORMATION CONTAINED HEREIN REMAINS THE SOLE PROPERTY OF ARBY'S RESTAURANT GROUP. IT IS CONFIDENTIAL AND PROPRIETARY AND IS NOT TO BE COPIED, REPRODUCED, DISCLOSED OR OTHERWISE TRANSFERRED TO OTHER PARTIES IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF ARBY'S RESTAURANT GROUP.



ARBY'S RESTAURANT GROUP
 INSPIRE FRONT-LINE 2700
 1234 MAIN STREET
 CITY, STATE ZIP

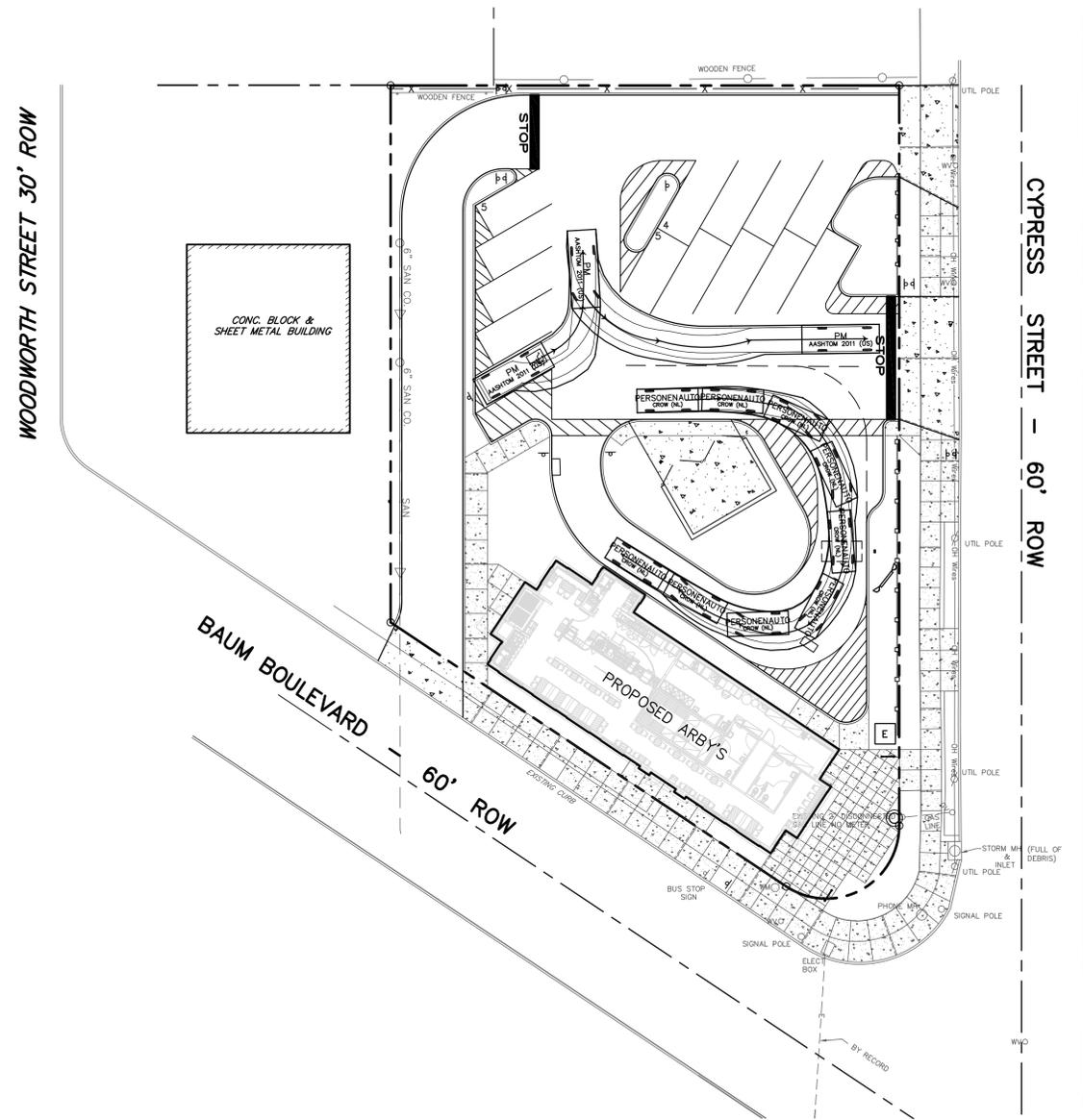
PROJECT NUMBER:
 ARG098

ISSUE	DATE
PROTOTYPE SET	DEC 15, 2014

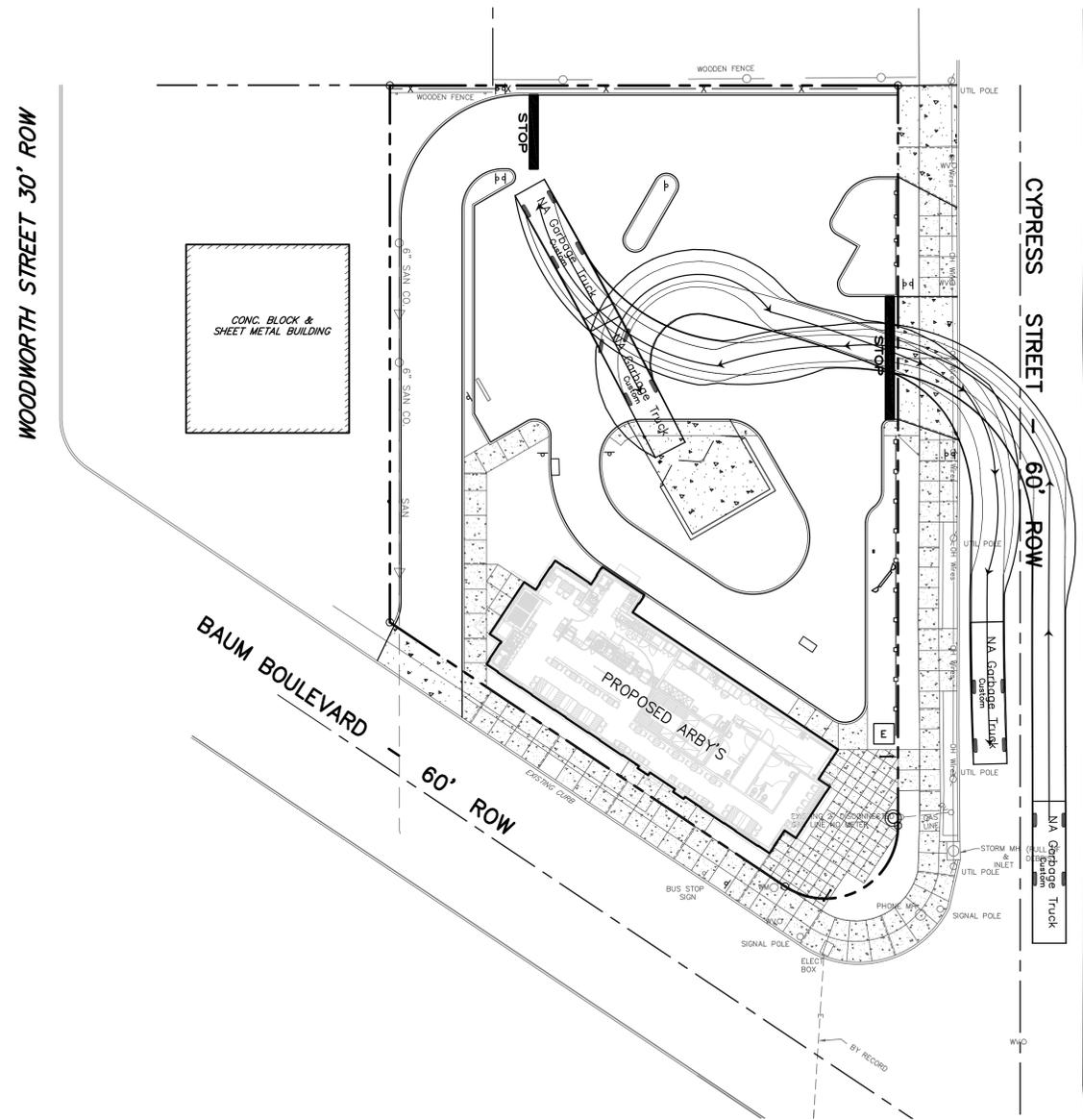
EXTERIOR ELEVATIONS

SHEET:

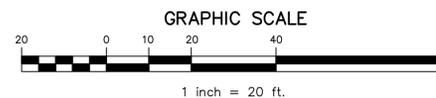
A2.2



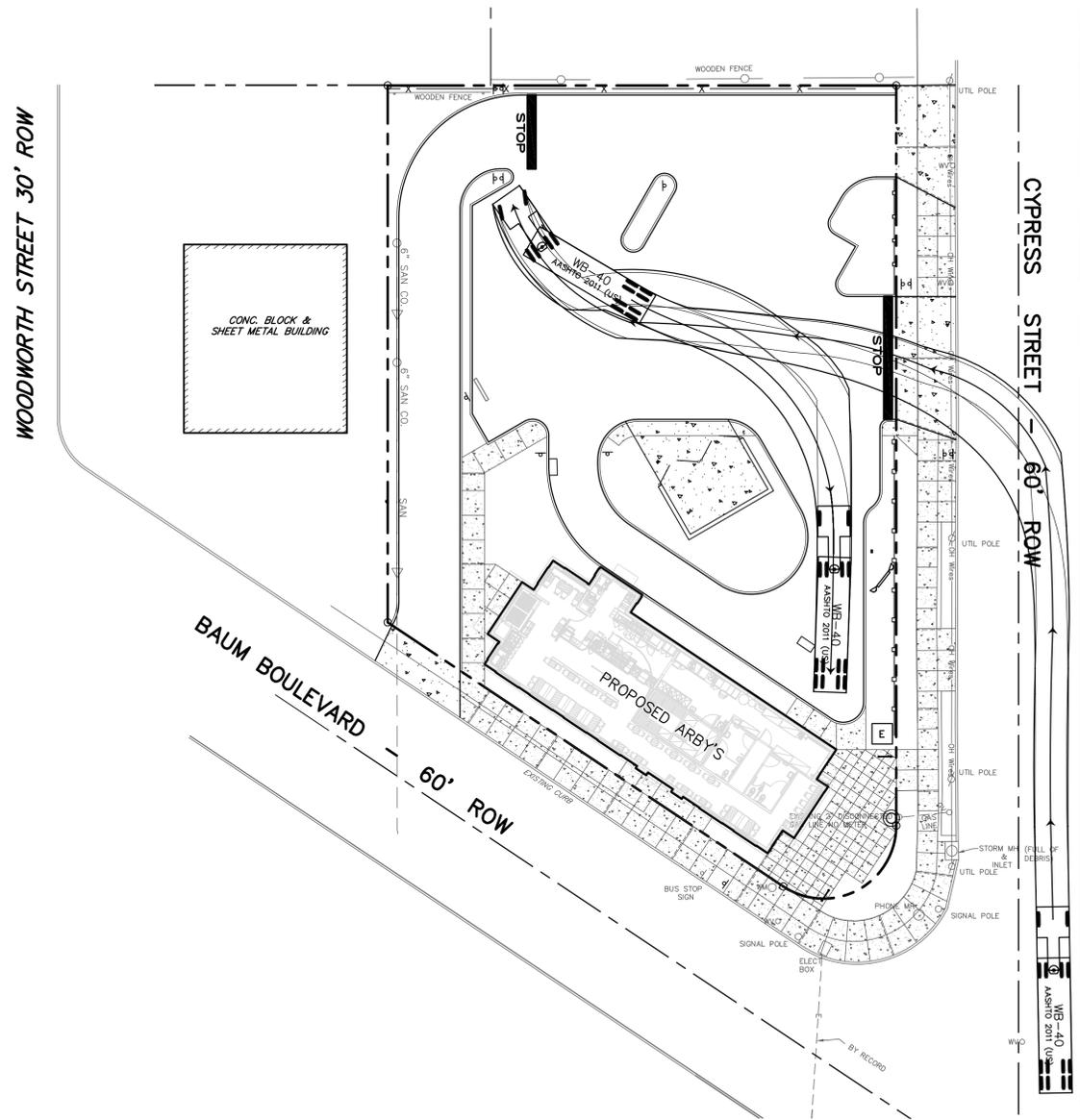
DRIVE THRU
STACKING



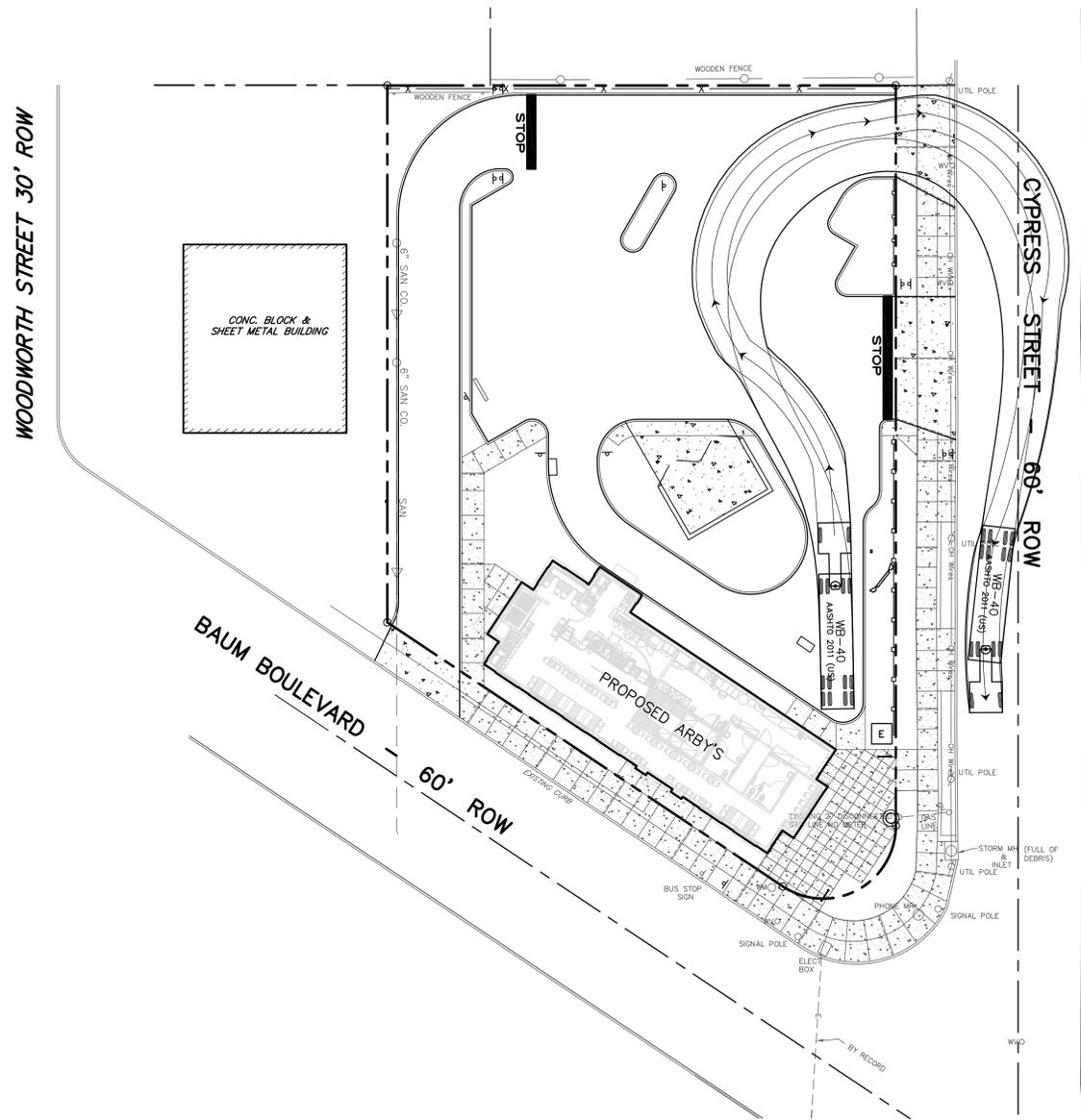
GARBAGE TRUCK



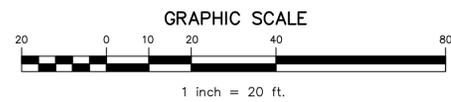
JOB NO. 4881 FILE NO. 4881 SITE PLAN		ARBY'S RESTAURANT GROUP INC. 22140 COUNTRY WAY STRONGSVILLE, OH 44149	SCALE 1"=20'
	REVISIONS JUN. 3, 2015	AUTOTURN - DRIVE THRU STACKING AUTOTURN - GARBAGE TRUCK ARBY'S RESTAURANT 5189 BAUM BOULEVARD	DATE APR. 9, 2015
		CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.	DRAWN BY RJH / KMZ
		FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.	SHEET NUMBER AT-1



ENTERING



LEAVING



JOB NO. 4881 FILE NO. ARBY SITE PLAN		ARBY'S RESTAURANT GROUP INC. 22140 COUNTRY WAY STRONGSVILLE, OH 44149		SCALE 1"=20'
	REVISIONS JUN. 3, 2015	AUTOTURN - WB-40 ARBY'S RESTAURANT 5189 BAUM BOULEVARD		DATE APR. 9, 2015
		CITY OF PITTSBURGH 8TH WARD ALLEGHENY COUNTY, PA.		DRAWN BY RJH / KMZ
		FAHRINGER, McCARTY, GREY, INC. LANDSCAPE ARCHITECTS AND ENGINEERS MONROEVILLE, PA.		SHEET NUMBER AT-2



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

PDP 15-150
Date Filed:

9/18/15

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: RLJ Lodging Trust		Phone Number: (301)280-7777	
Address: 3 Bethesda Metro CIR., Ste. 1000	City: Bethesda	State: MD	Zip Code: 20814
2. Applicant/Company Name: Shamrock Bldg. Services		Phone Number: (412)279-2800	
Address: 535 Forest Ave.	City: Carnegie	State: PA	Zip Code: 15106
Applicant/Contractor ID:(assigned by the City) SN 00460			
3. Development Name: Renaissance			
4. Development Location: corner of 6th Street and Ft. Duquesne Blvd.			
5. Development Address: 107 6th Street			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	GT-C2		
Present Use of Site: (Select from attached list)	68 Hotel		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property: Hotel	
8. Estimated Construction:	Start Date: 10 / / 15	Occupancy Date: 12 / / 15	Project Cost: \$56,000.00

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 68

10. Select the Type of Work:

<input type="checkbox"/> New Construction, New	<input type="checkbox"/> Renovation, Interior
<input checked="" type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use

11. Describe the Development: Install 1 - set of 4' high channel letters above 40' reading Renaissance

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: _____ sq ft
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: _____ sq ft
 To be Constructed: _____ sq ft
 Building Footprint: 277,200 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	14	140		
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: N/A sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> 0 </u> New Water Service Connection(s)	<u> 0 </u> Termination of Existing Water Service Tap(s)
<u> 0 </u> New Sewer Service Connection(s)	<u> 0 </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:

RENAISSANCE

Renaissance Hotel
107 6th Street
Pittsburgh, PA 15222

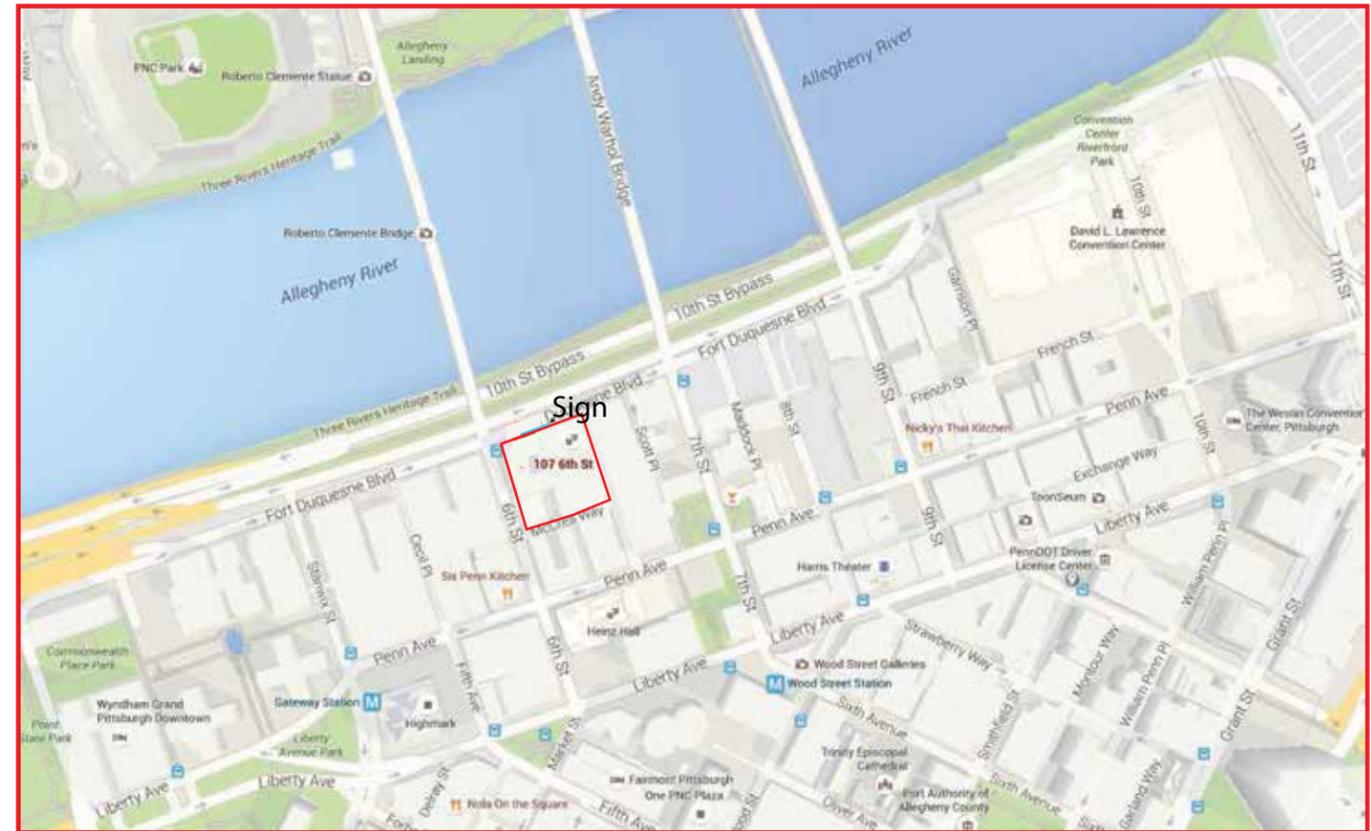
September 17, 2015
October 15, 2015_Revision 2
November 4, 2015_Revision 3



919.03.M - Business Signs and Identification Signs
 919.03.M.7 - GT and DR Zoning Districts

In the GT and DR Zoning District

(c) Only the name of the building or business shall be mounted higher than (40) feet above the grade and may face in all directions but shall not be roof mounted nor project above the roof peek or parapet wall, shall not exceed in face area **forty (40) square feet or two (2) percent of exposed facade area whichever is larger**, shall be limited to four (4) per building, shall include no motion or animation, shall not exceed a luminance of two thousand five hundred (2,500) nits during daylight hours between sunrise and sunset, shall not exceed a luminance of two hundred fifty (250) nits at all other times, shall permit electronic illumination with no motion or animation, and shall be subject to design and review and approval by the City Planning Commission. All applications shall include certification that the sign will comply with luminance level standards at the time of application and must certify again that the sign is operating in compliance with the standards prior to issuance on an occupancy permit.



Sign Color

White acrylic
 Silver Returns

Sign Illumination

Night time illumination is 232.74 nits
 Not illuminated during daytime

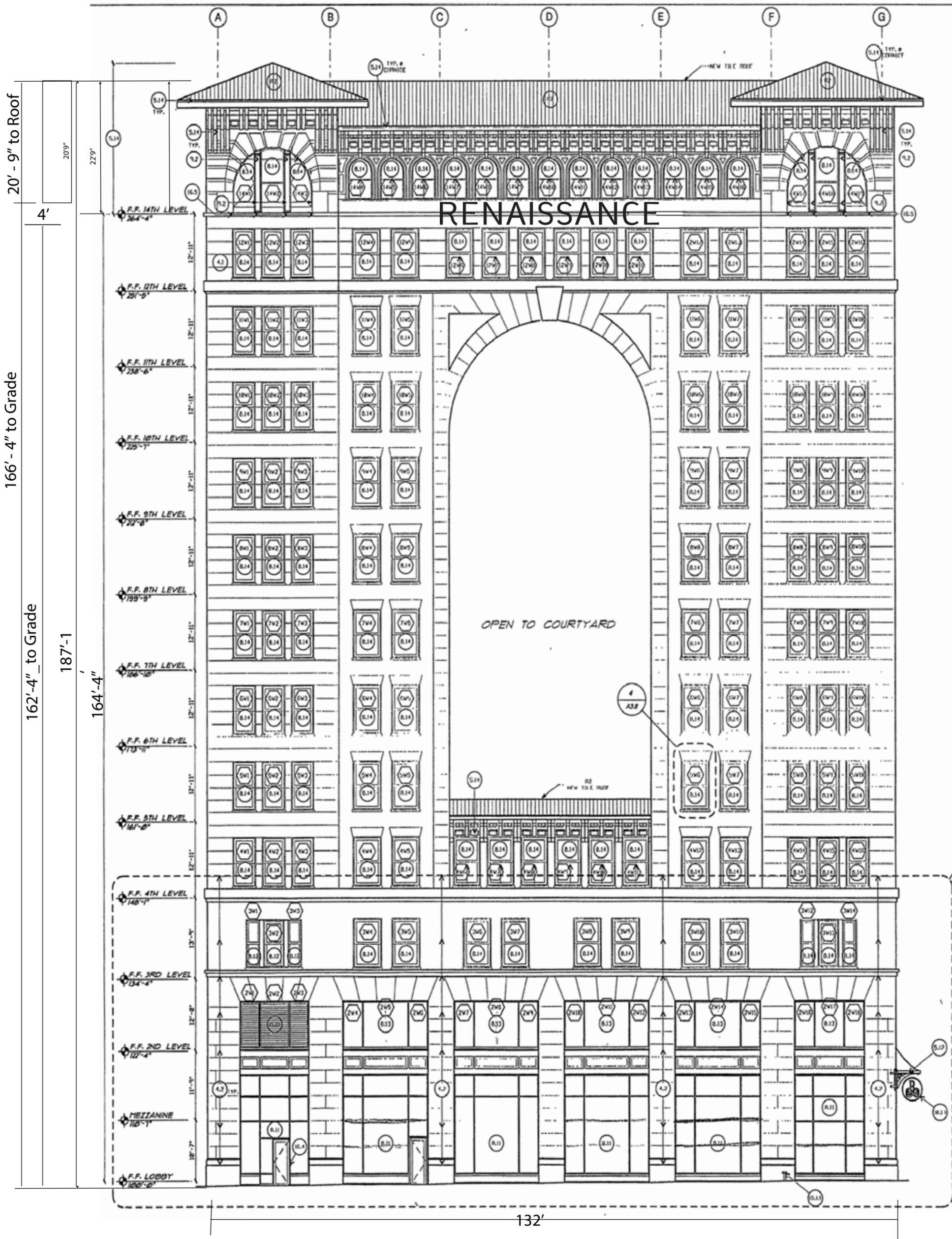
North Facade

24,684 sf
 2% of facade = 493.68sf
 Sign - 149.125 sf



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Facing Fort Duquesne Boulevard
 24,684 sf
 2% of facade = 493.68
 Sign - 149.125sf

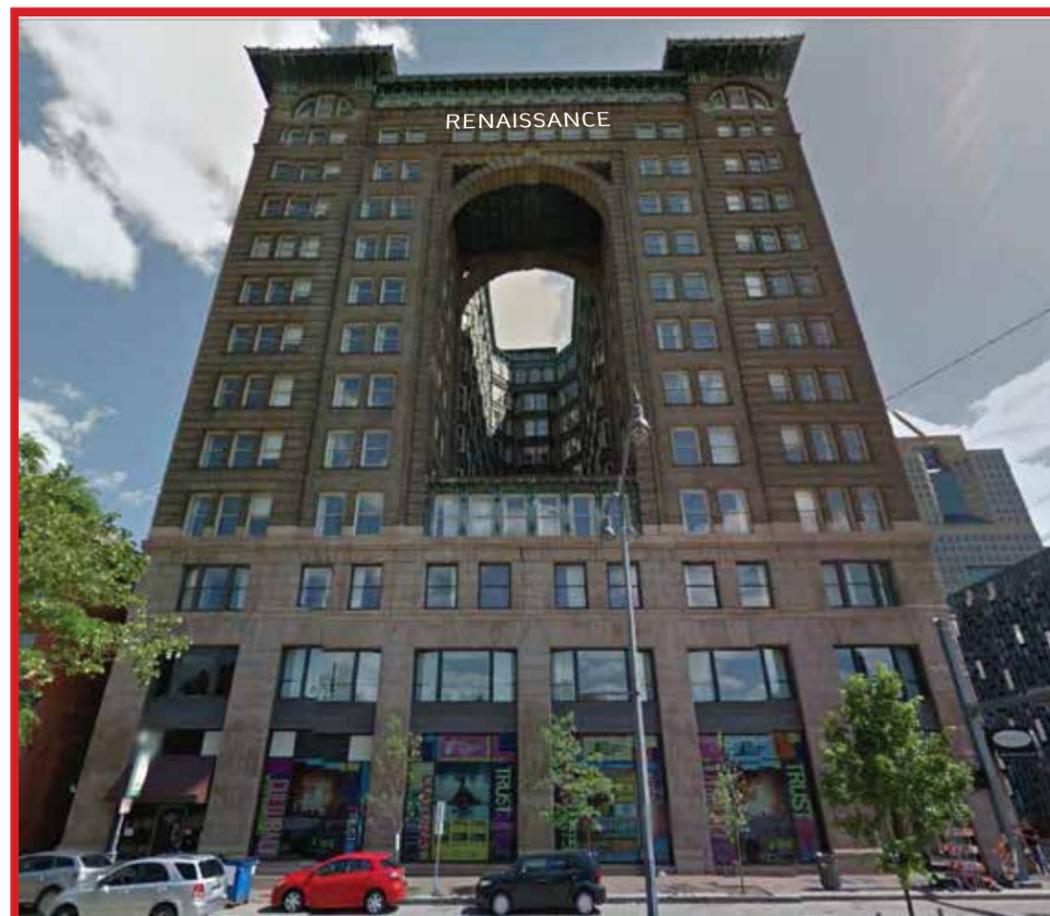
Sign Color
 White acrylic

Sign Illumination
 Night time illumination 232.74 nits



RENAISSANCE

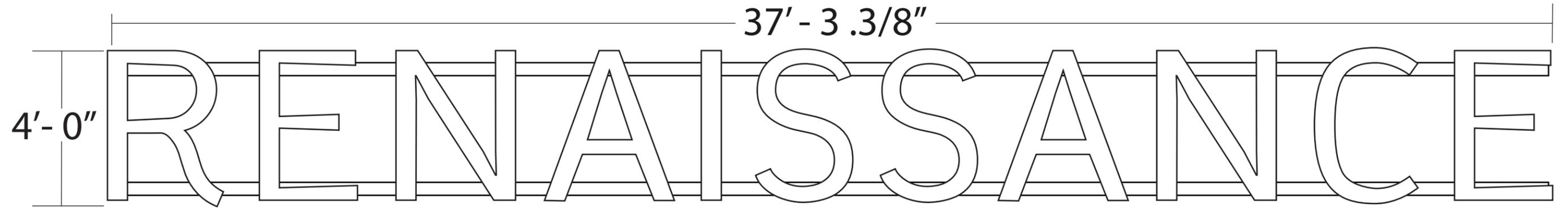
4'-0" 37' - 3.3/8"
 RENAISSANCE



RENAISSANCE

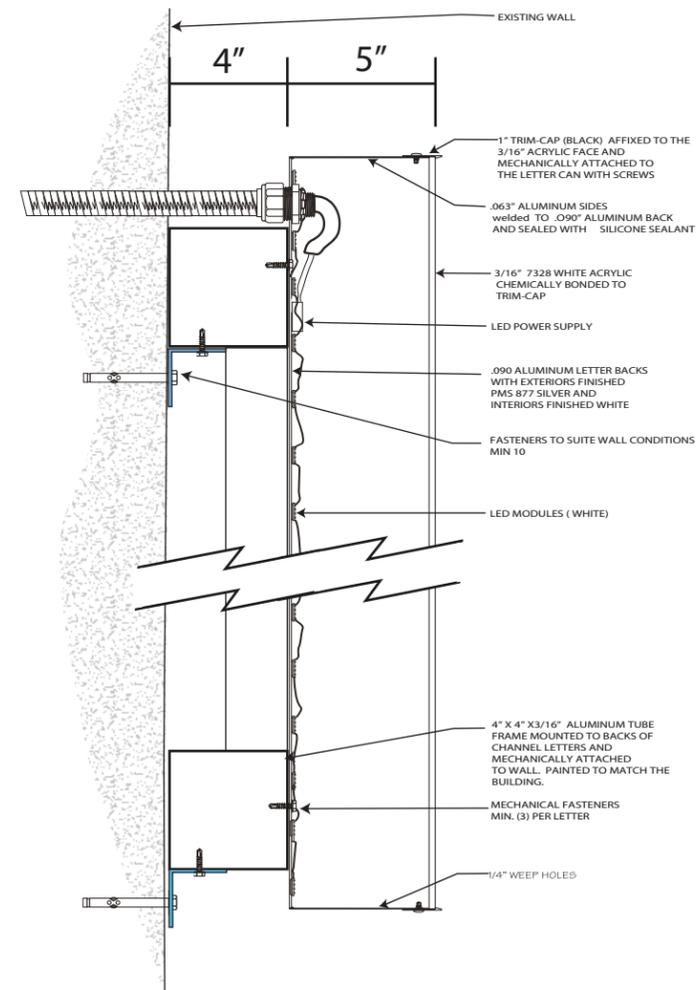
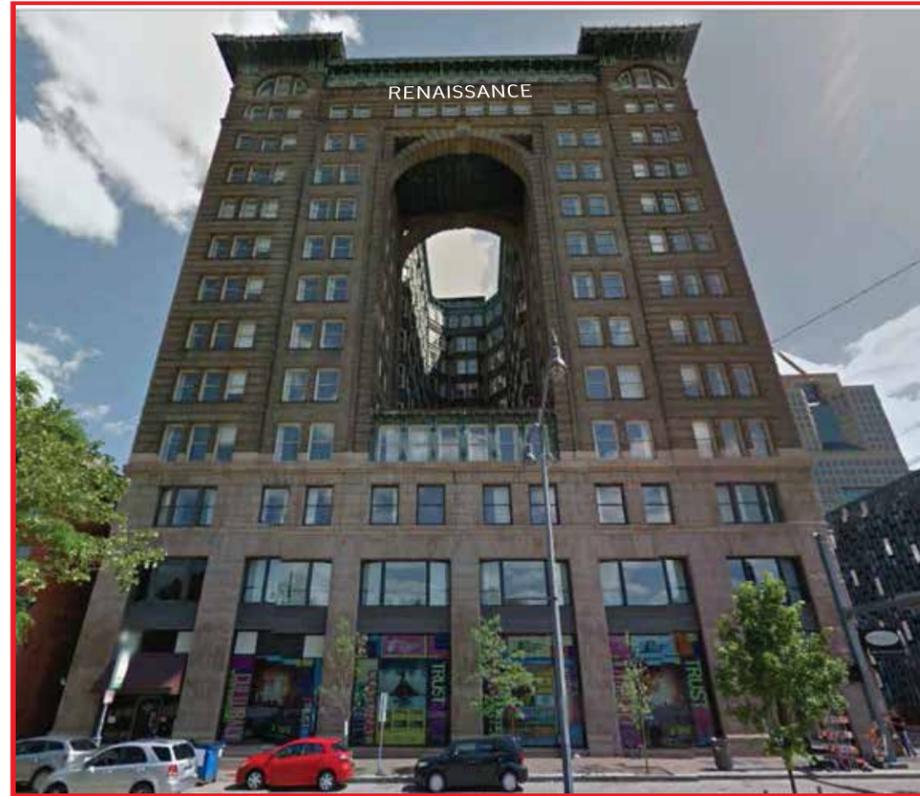
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SCALE 3/8" = 1.0'

FACE: 3/16" WHITE ACRYLIC (7328)
 RETURN COLOR & TRIM CAP: PMS 877 SILVER
 ILLUMINATION: WHITE LED



PRIMARY ELECTRIC TO SIGN WITHIN 10
 BY OTHERS

CIRCUITS REQUIRED

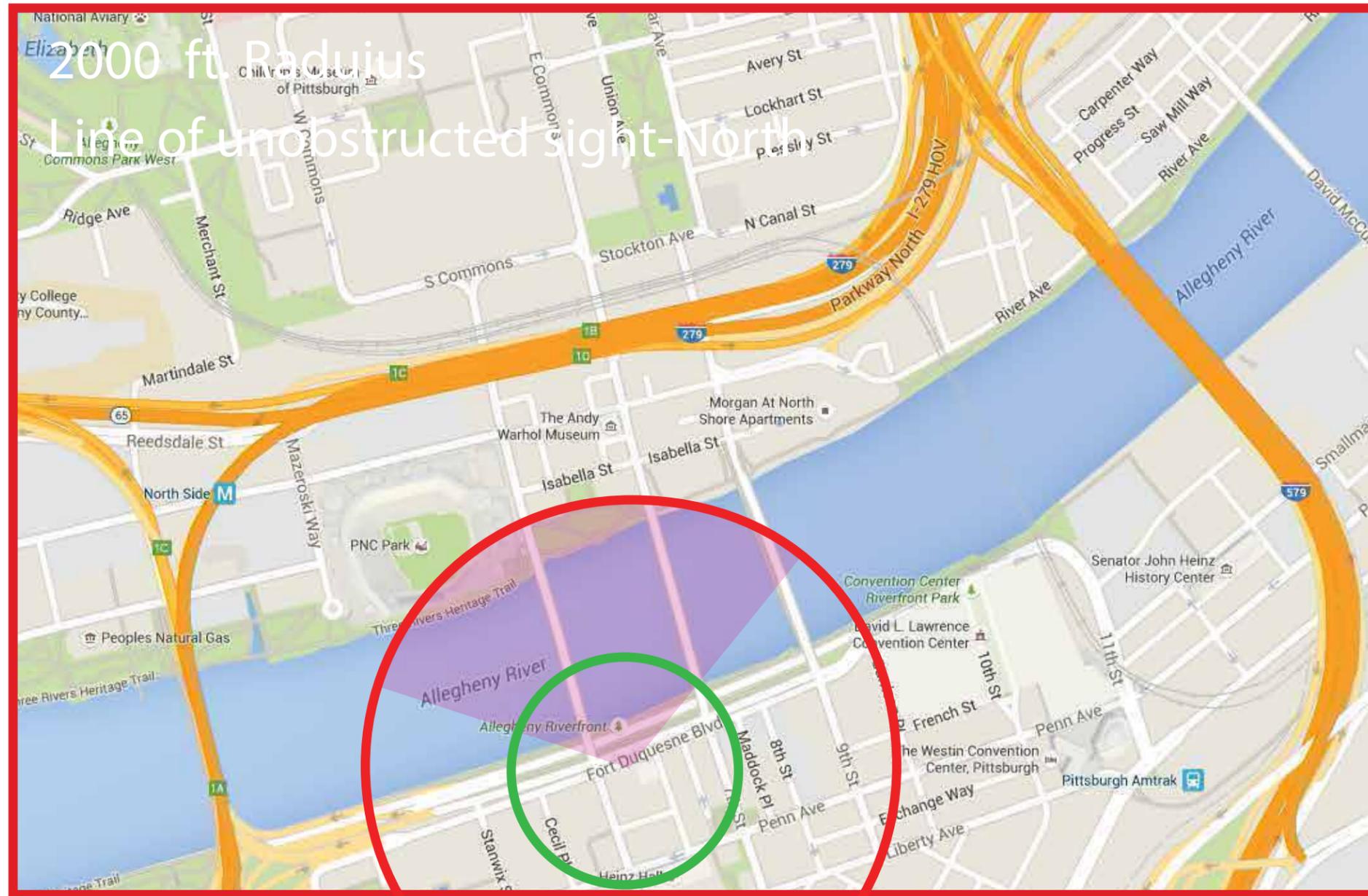
ONE (1) 20 AMP, 120 VOLT
 DEDICATED CIRCUIT

SIGN INSTALLATION TO BE IN COMPLIANCE WITH
 ARTICLE 600 OF THE NATIONAL ELECTRIC CODE

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Line of Unobstructed Sight From North Elevation

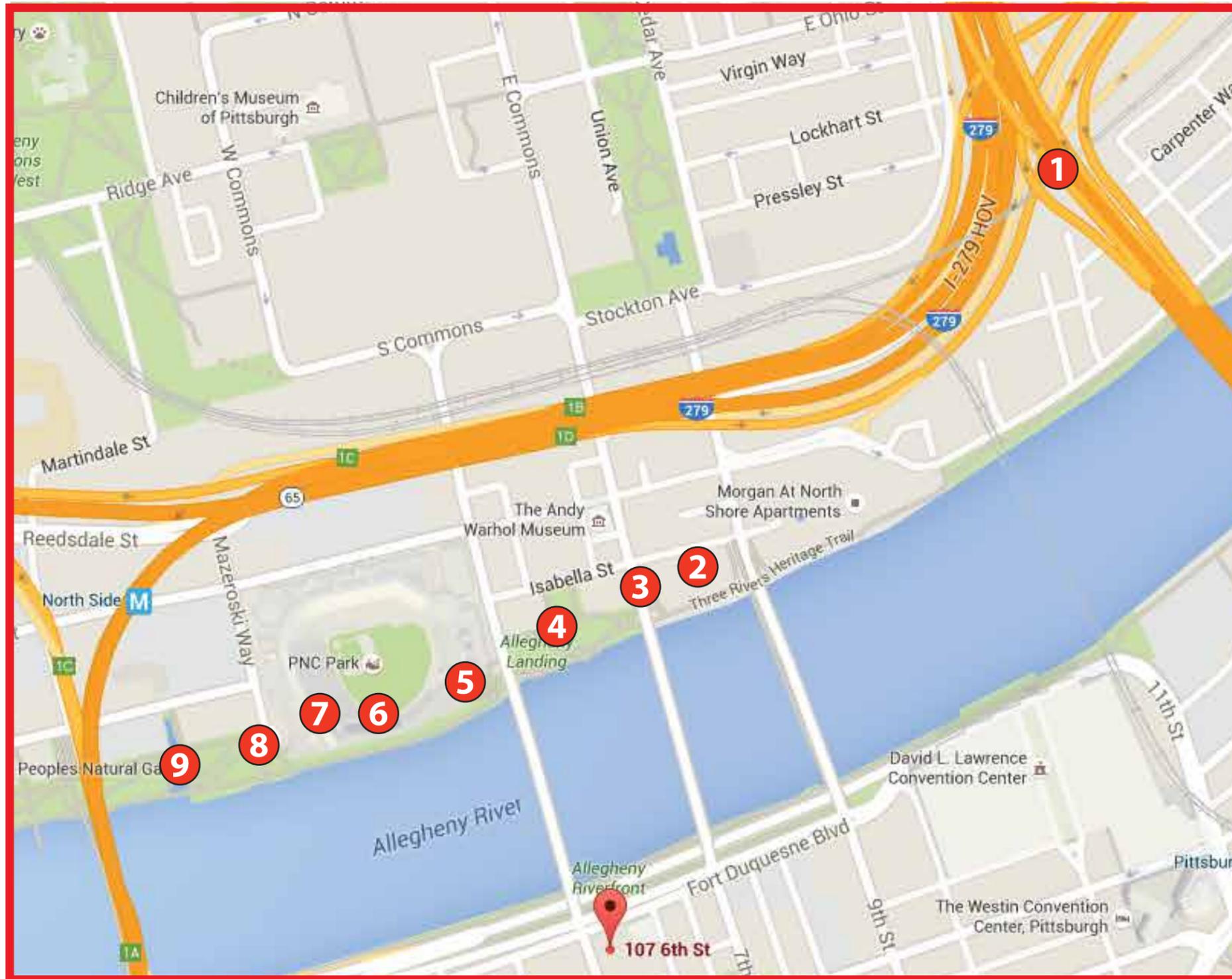


Line of unobstructed sight areas for "RENAISSANCE"
The dark shaded areas indicate where the signs cannot be seen.
4' letter height readable to 2000'.
NOTE: All distances and areas are approximate.

- Unobstructed line of sight from the North
- Readable distance for logo @ 2000 ft.
- Maximum Impact for logo @ 480 ft.

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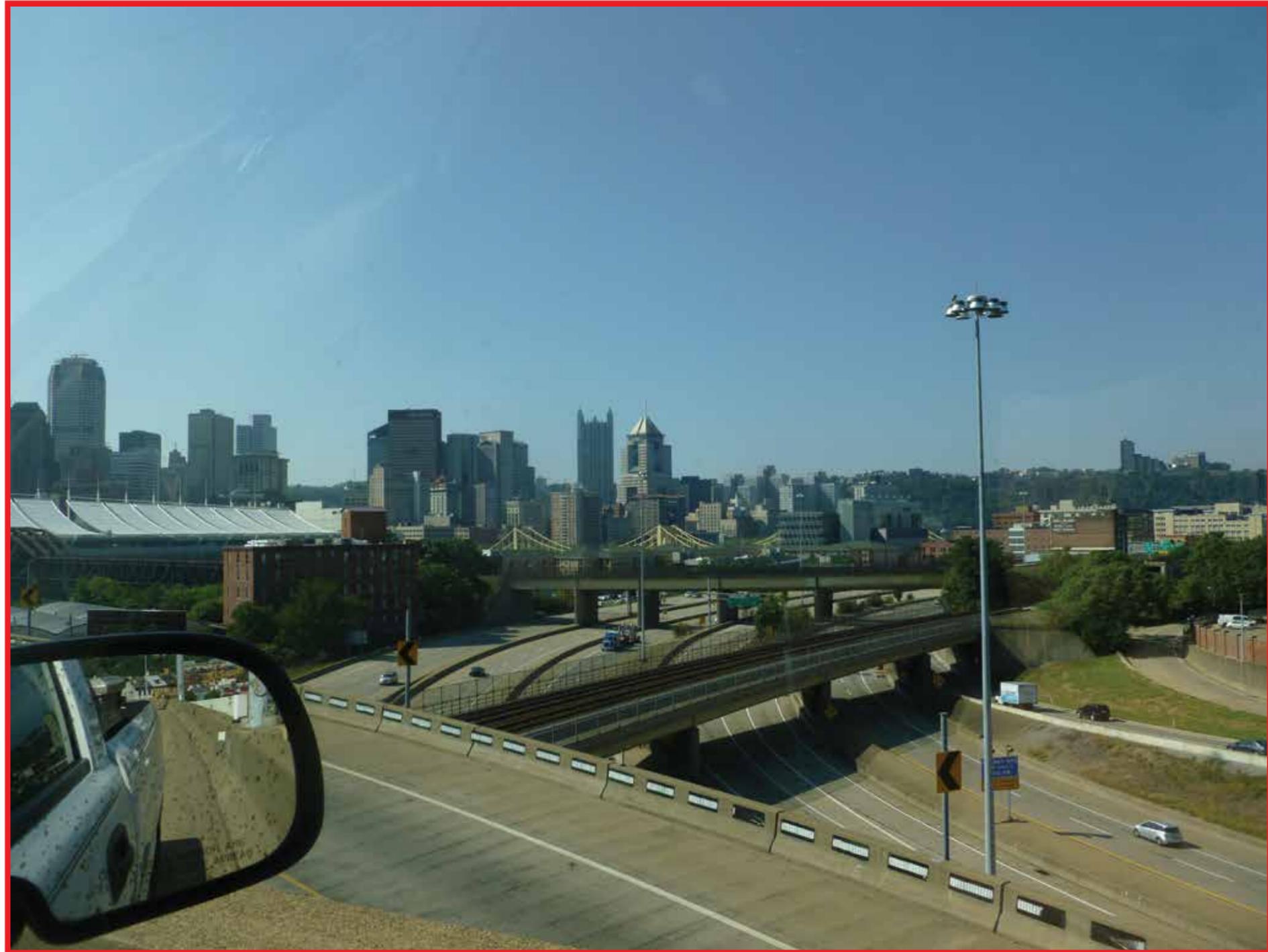




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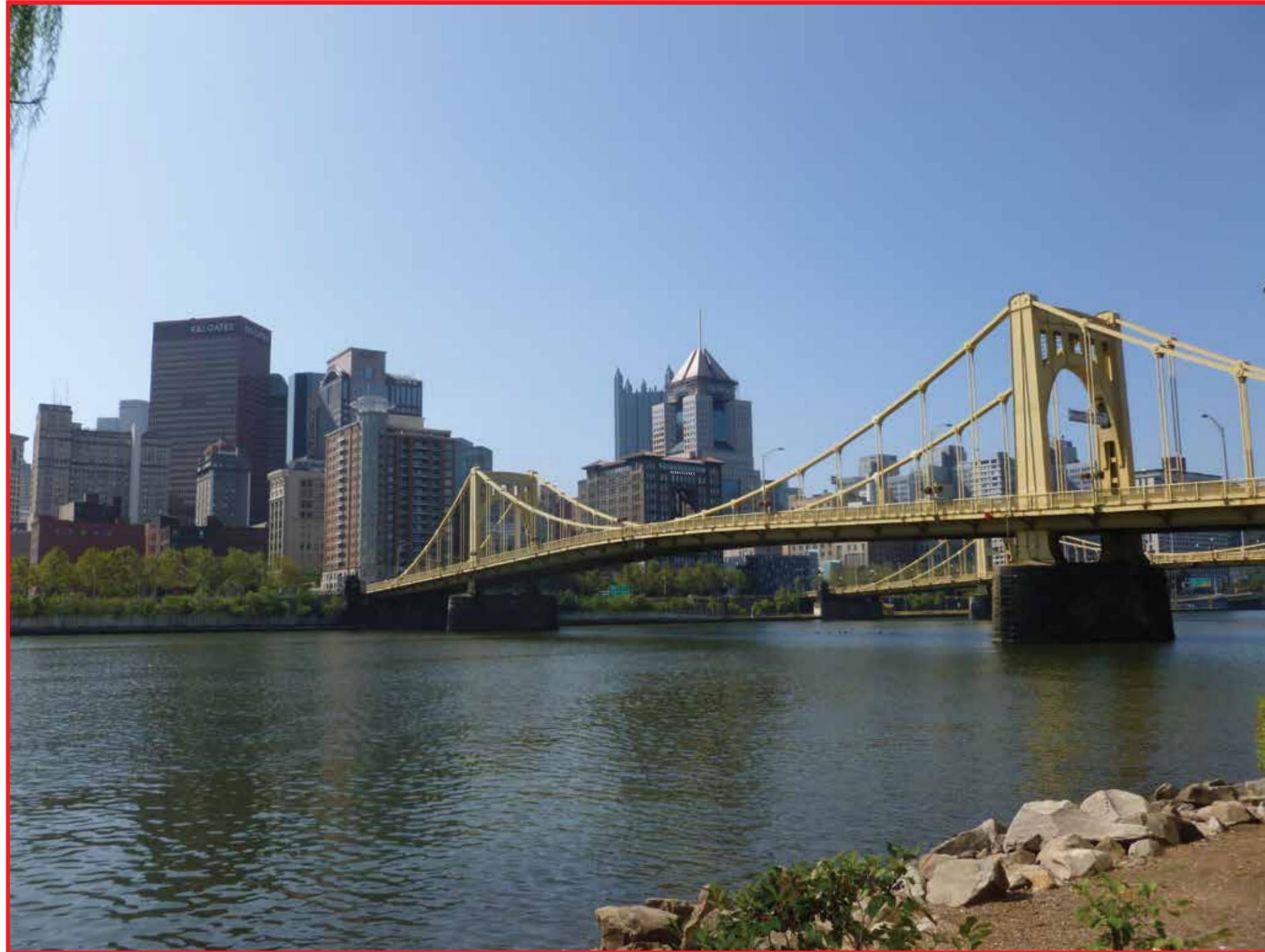
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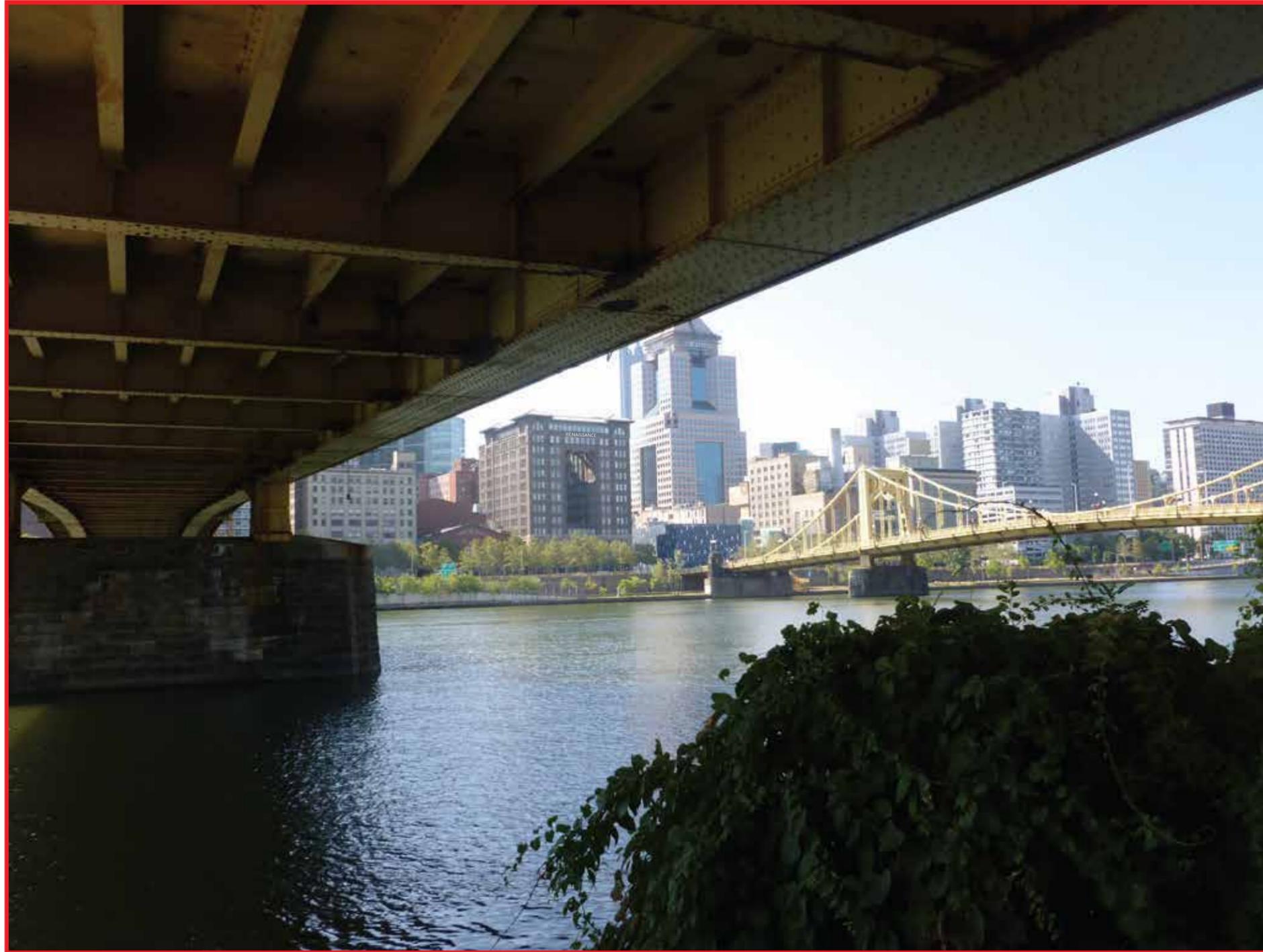
2



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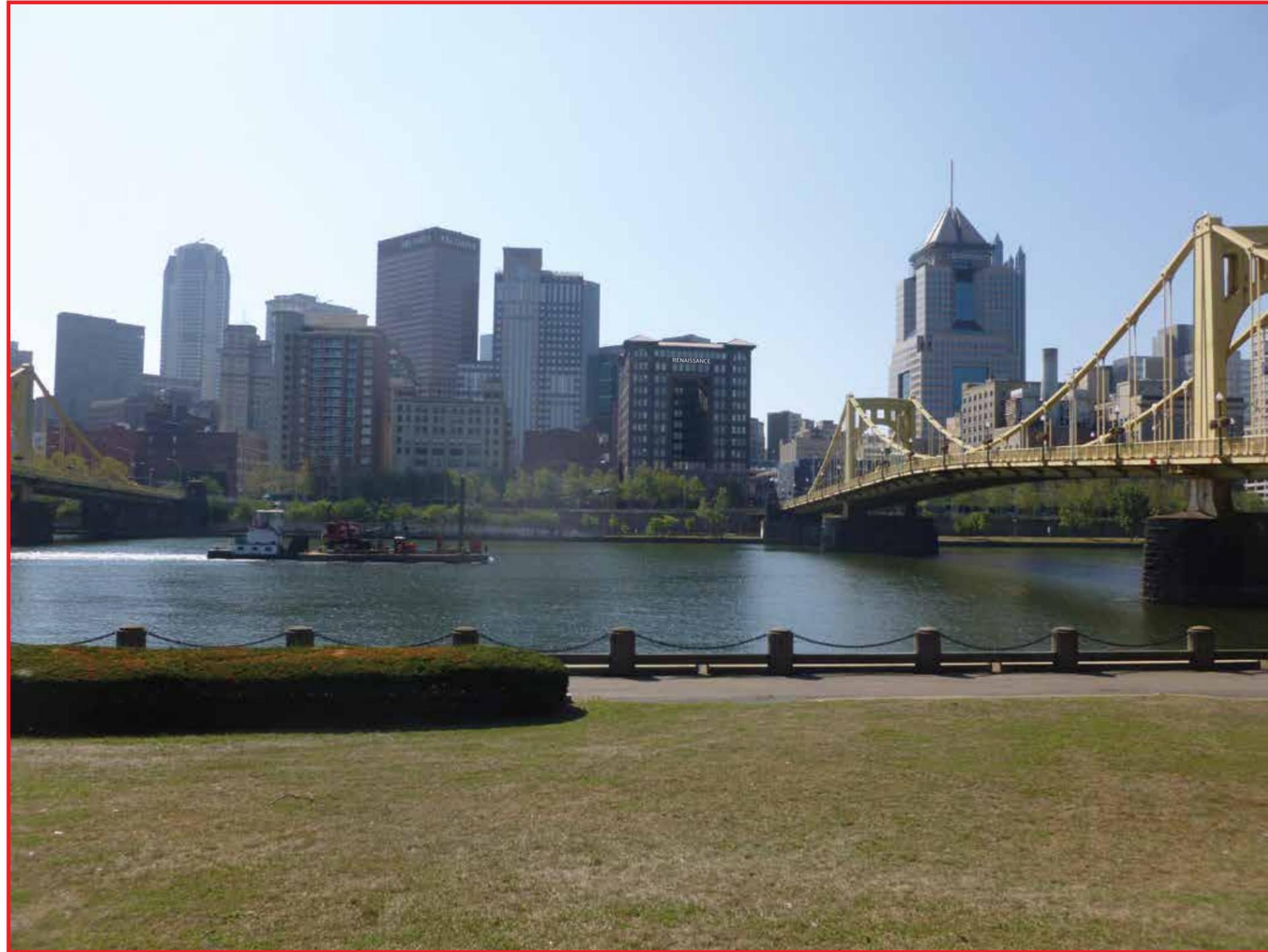
3



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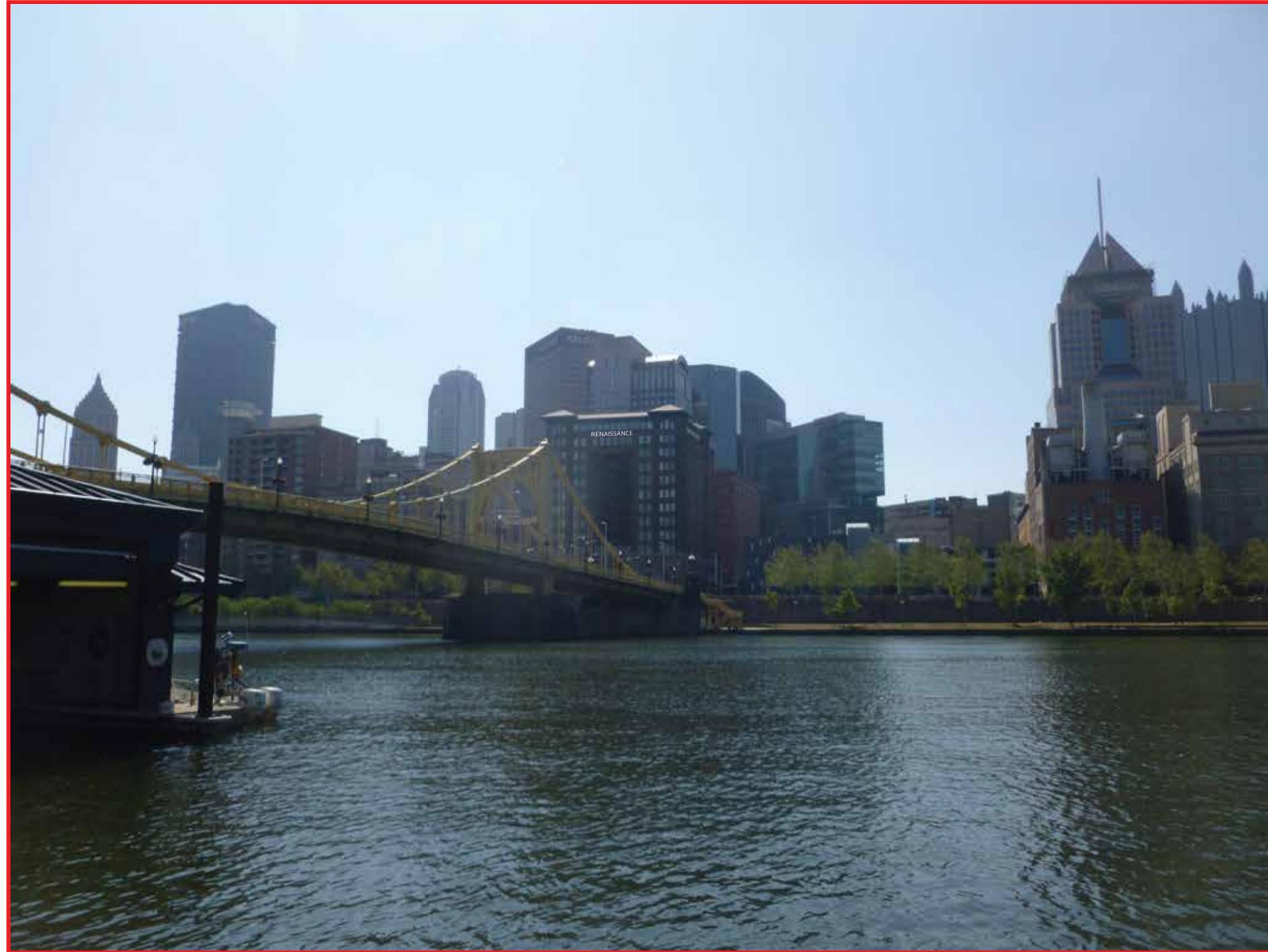
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5



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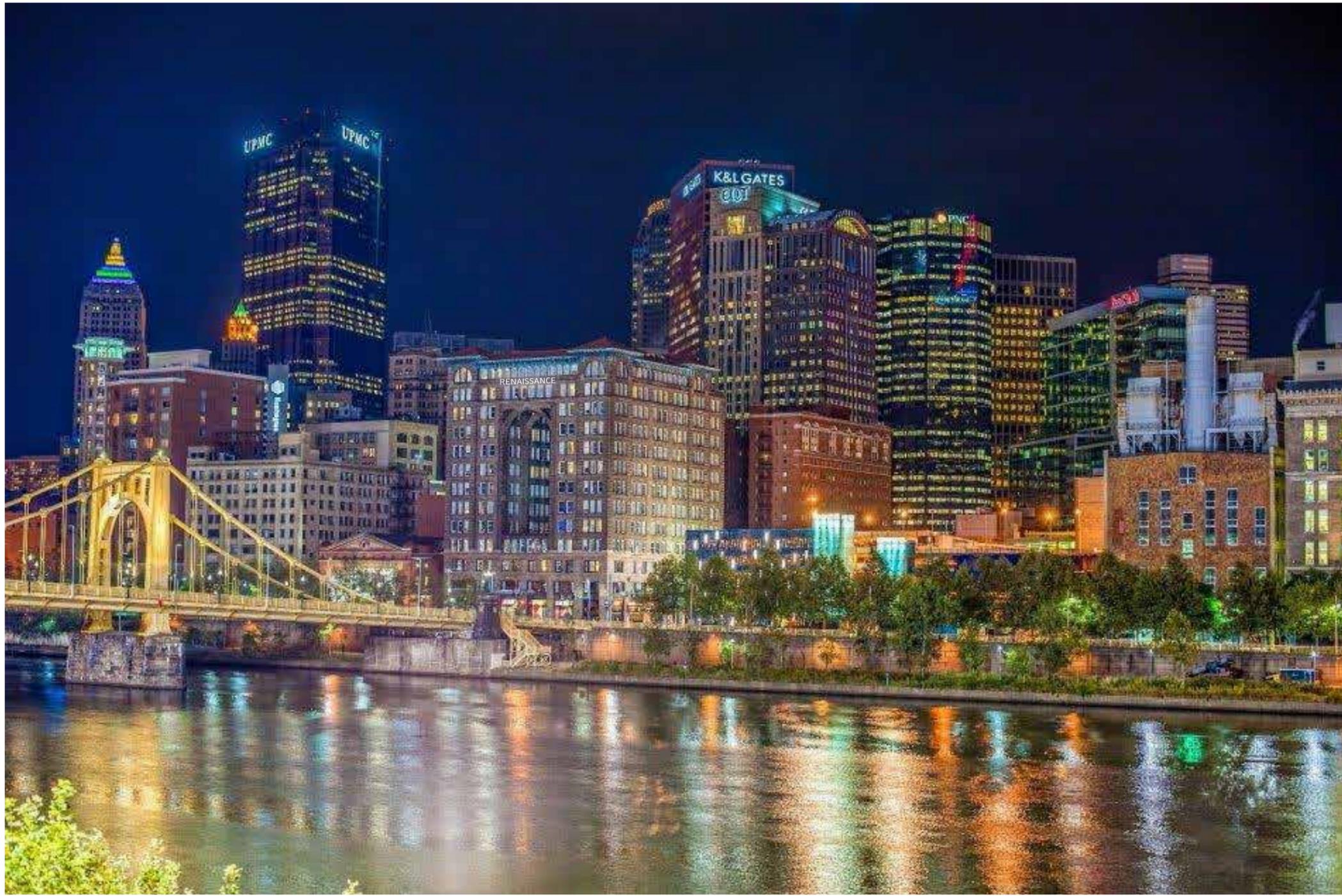




6
DAY

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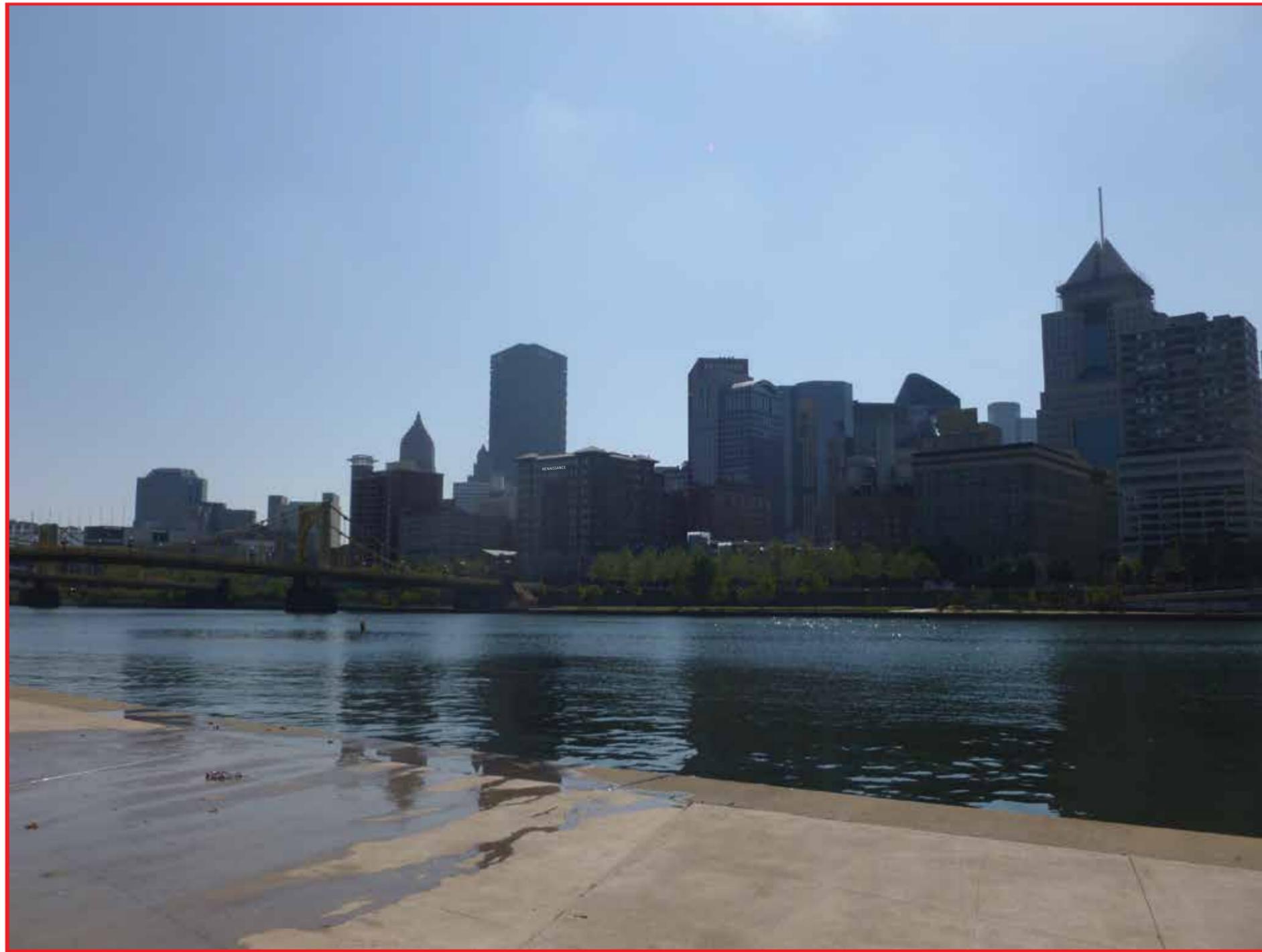


6
NIGHT

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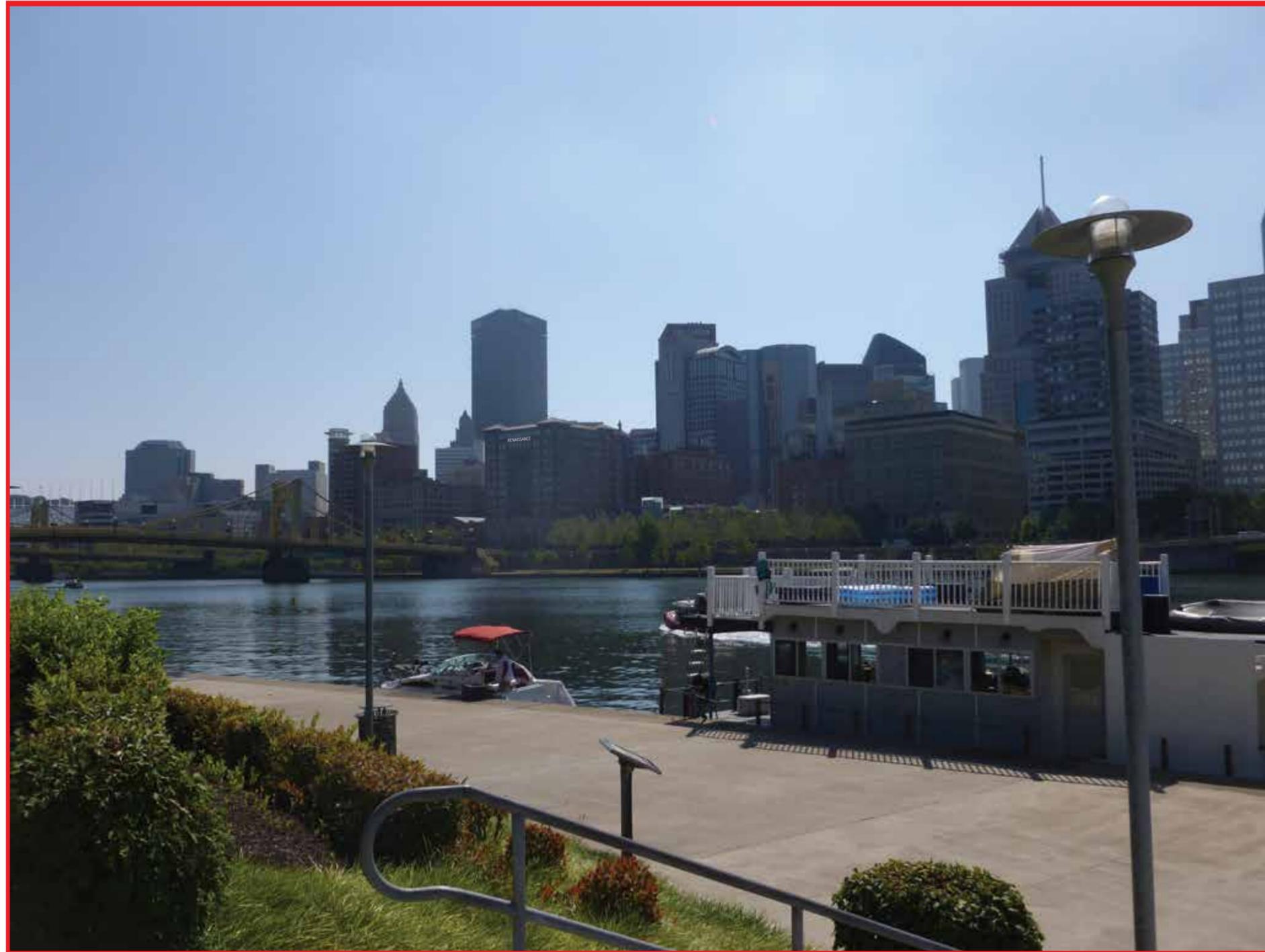
7



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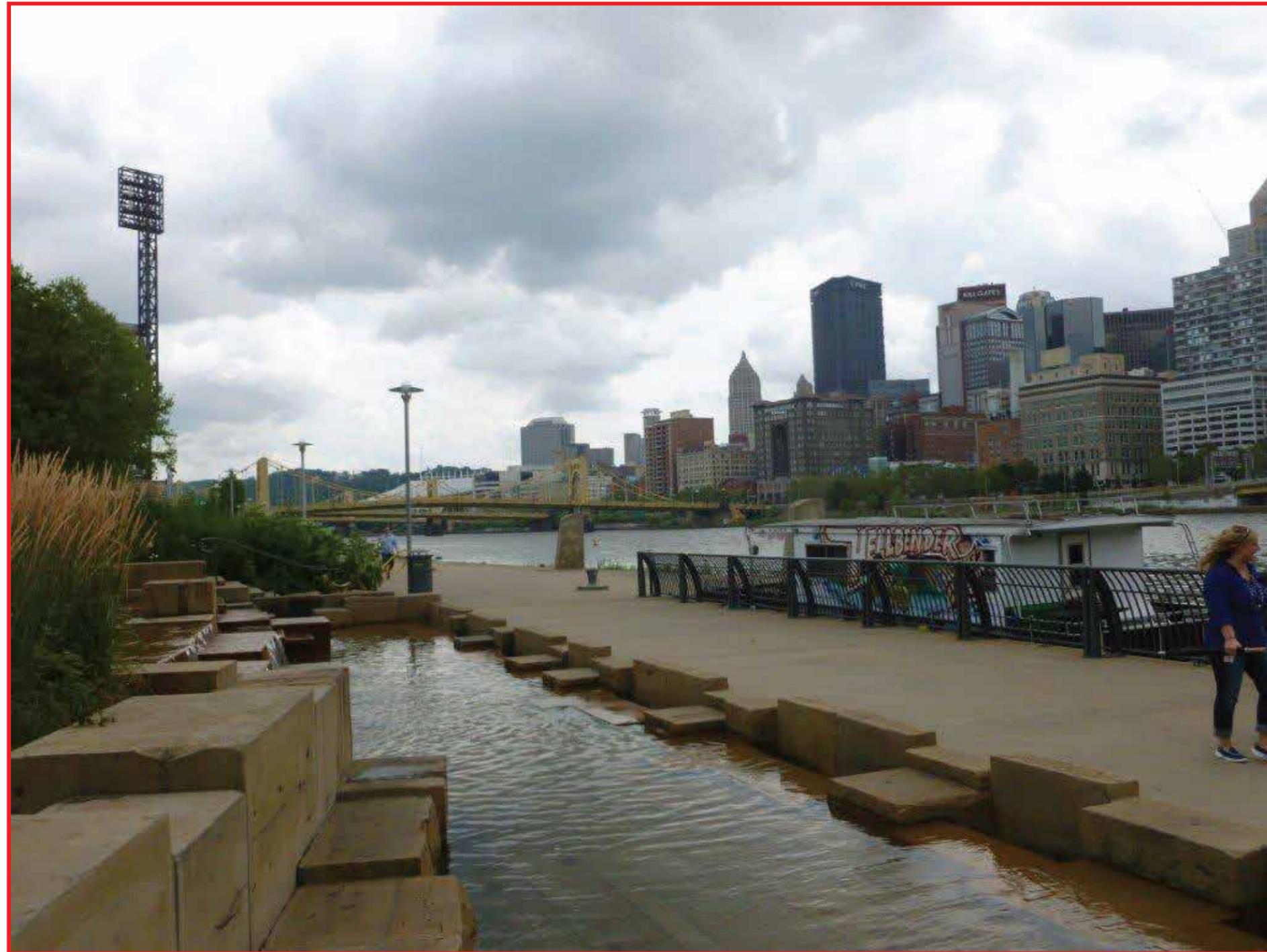
8



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9



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**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Alphabet City, LLC		Phone Number: (412) 657-1229	
Address: 6019 Grafton St City: Pittsburgh		State: PA	Zip Code: 15206
2. Applicant/Company Name: Morgan Architecture + Design, LLC		Phone Number: (412) 901-7765	
Address: 3308 Perrysville Ave City: Pittsburgh		State: PA	Zip Code: 15214
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: 5900 Penn Avenue			
4. Development Location: East Liberty			
5. Development Address: 5900 Penn Avenue Pittsburgh, PA 15206			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	UNC		
Present Use of Site: (Select from attached list)	Office		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 1/ 1 /16	Occupancy Date: 11/ 1 / 16	Project Cost: \$

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list):

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development:

Renovation of existing two story building for use as 1st floor retail and 2nd floor office space

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	<u>0</u>	sq ft
Existing to be Retained:	<u>52,000</u>	sq ft
Retained Area to be Renovated:	<u>52,000</u>	sq ft
To be Constructed:	<u>0</u>	sq ft
Building Footprint:	<u>26,000</u>	sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	2	40 +/-	2	40 +/-
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 52,000 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<p><u> 2 </u> New Water Service Connection(s)</p> <p><u> </u> New Sewer Service Connection(s)</p>	<p><u> 2 </u> Termination of Existing Water Service Tap(s)</p> <p><u> </u> Termination of Existing Sewer Service Tap(s)</p>
--	--

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management
Permit Office**

611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

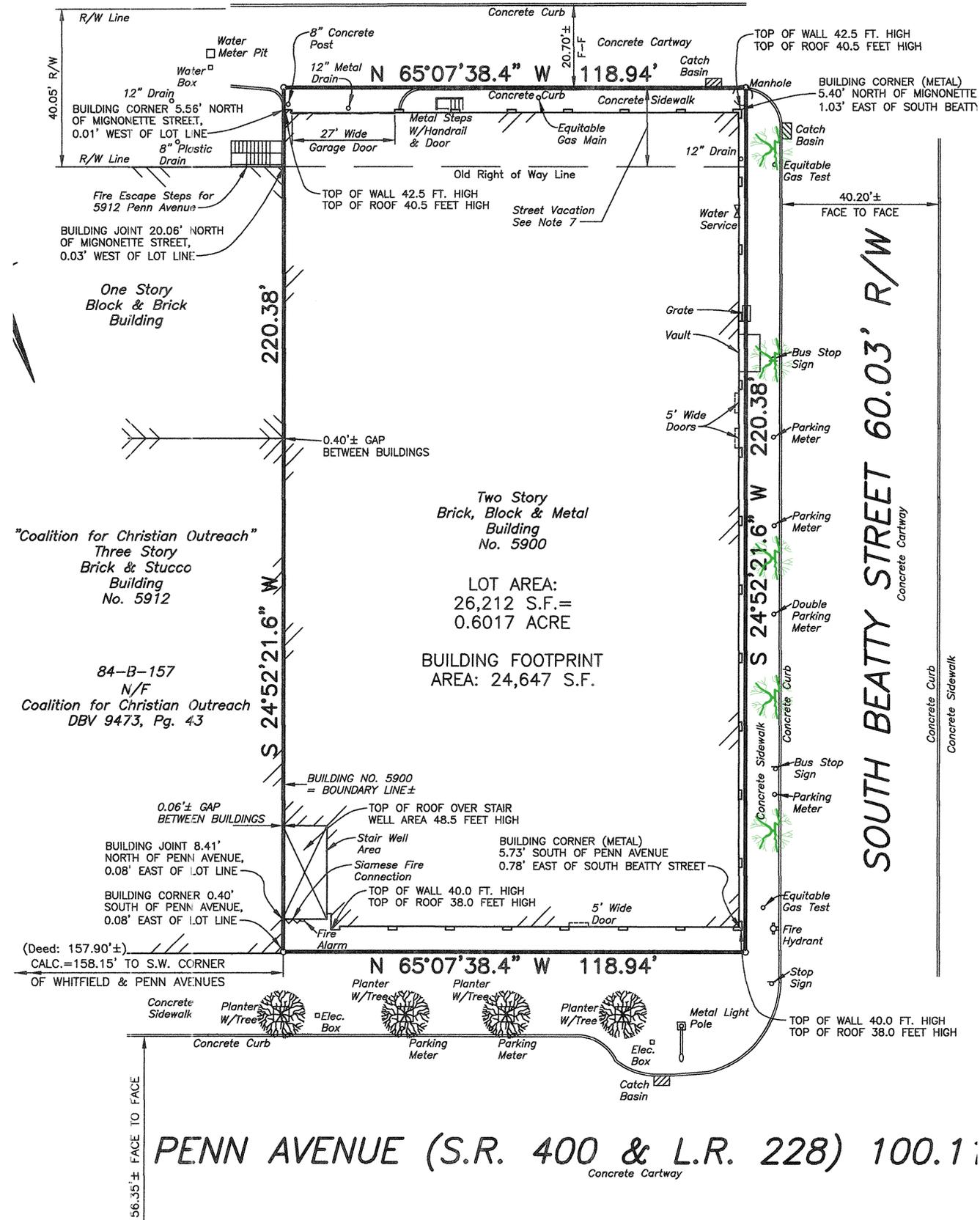
Allegheny County Health Department (ACHD)

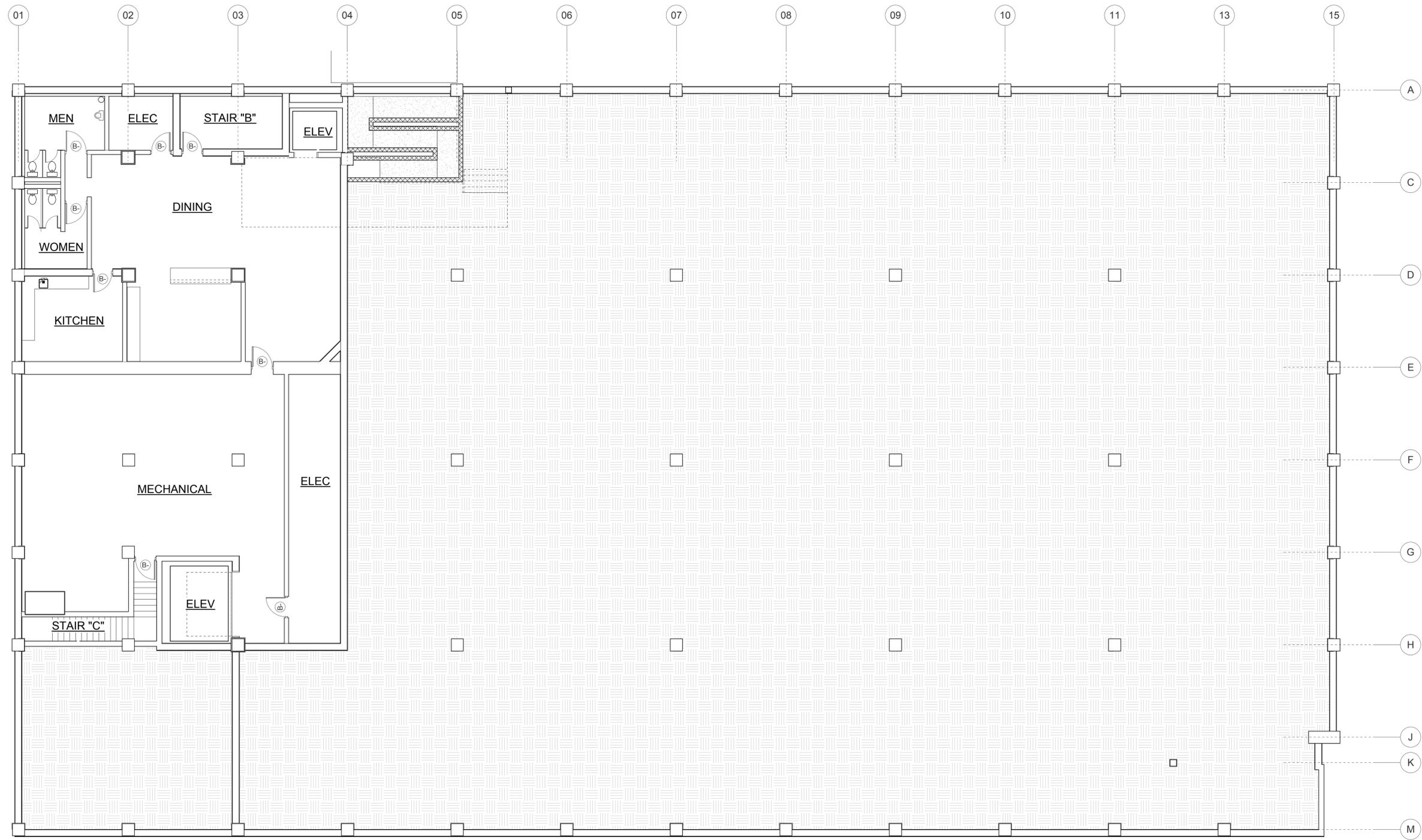
Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html

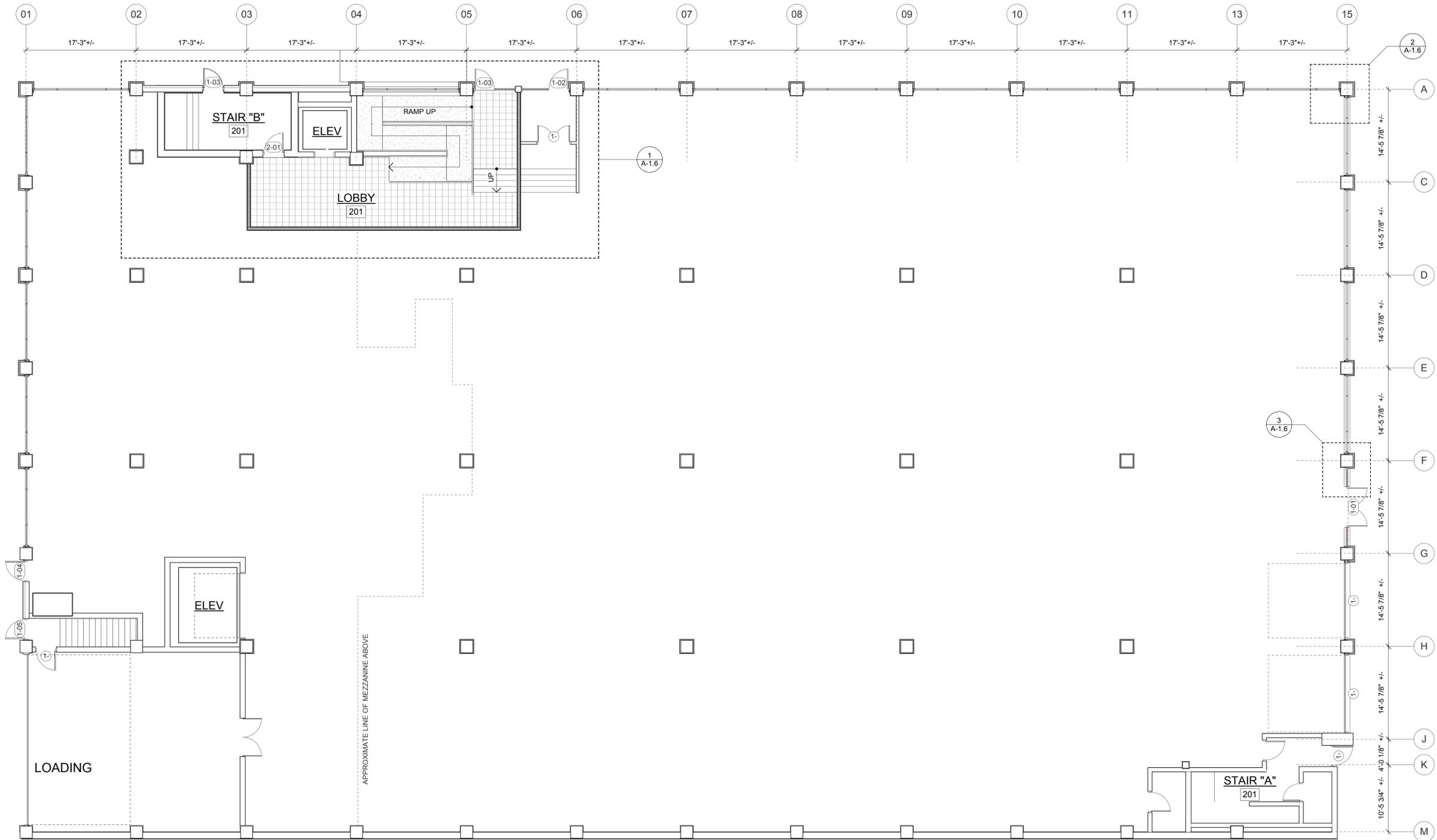
MIGNONETTE STREET 20.025' R/W





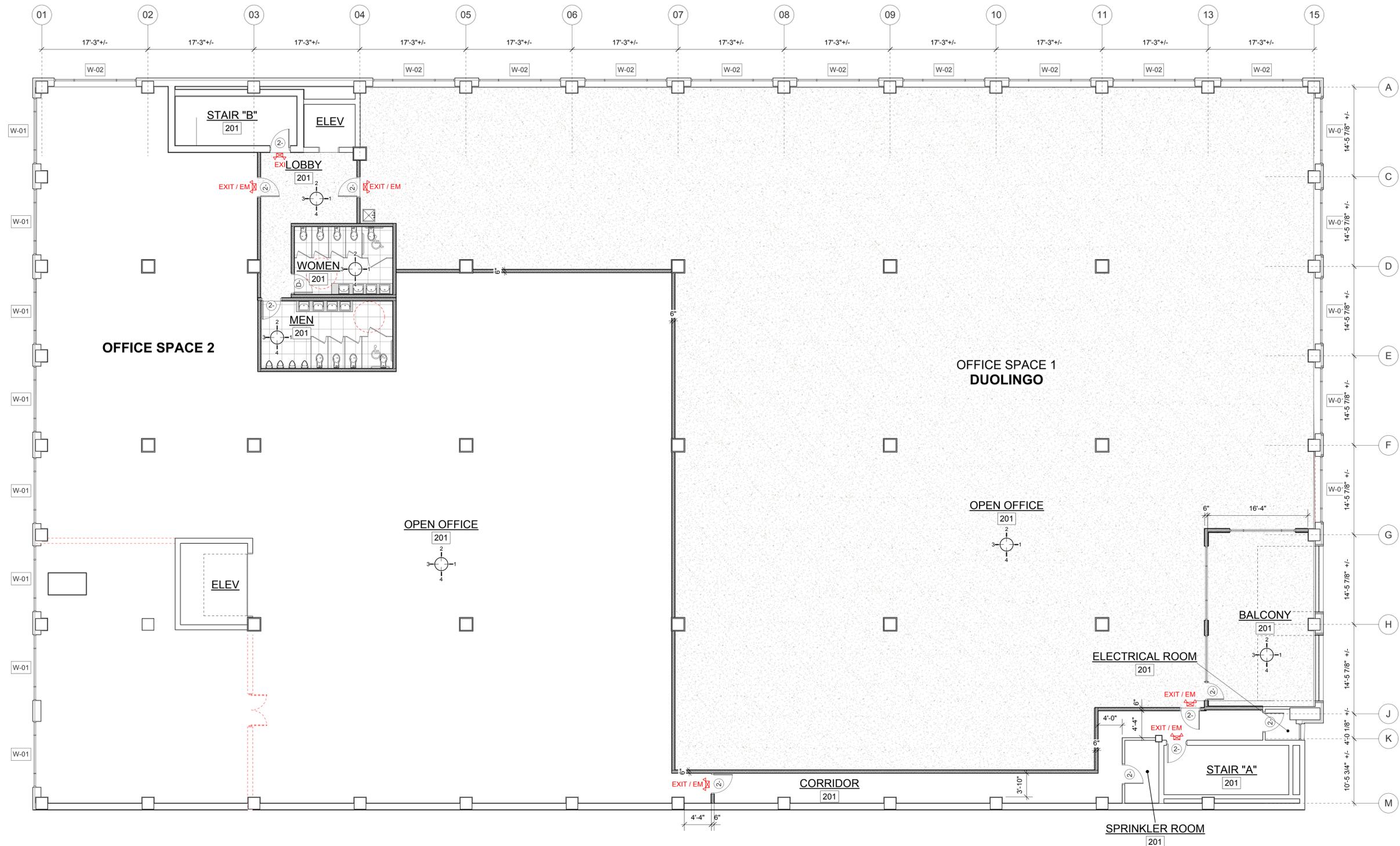
B BASEMENT FLOOR PLAN
Scale: 1/8" = 1'-0"





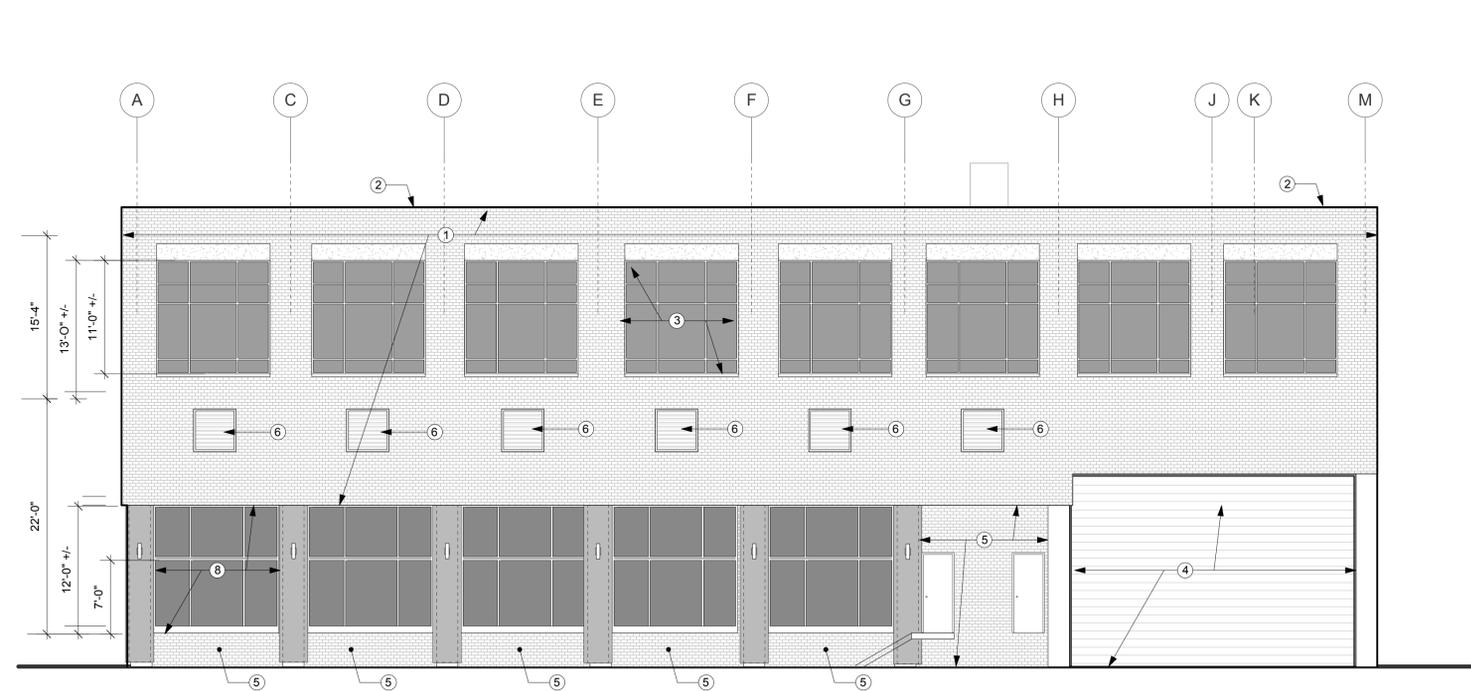
1 FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"



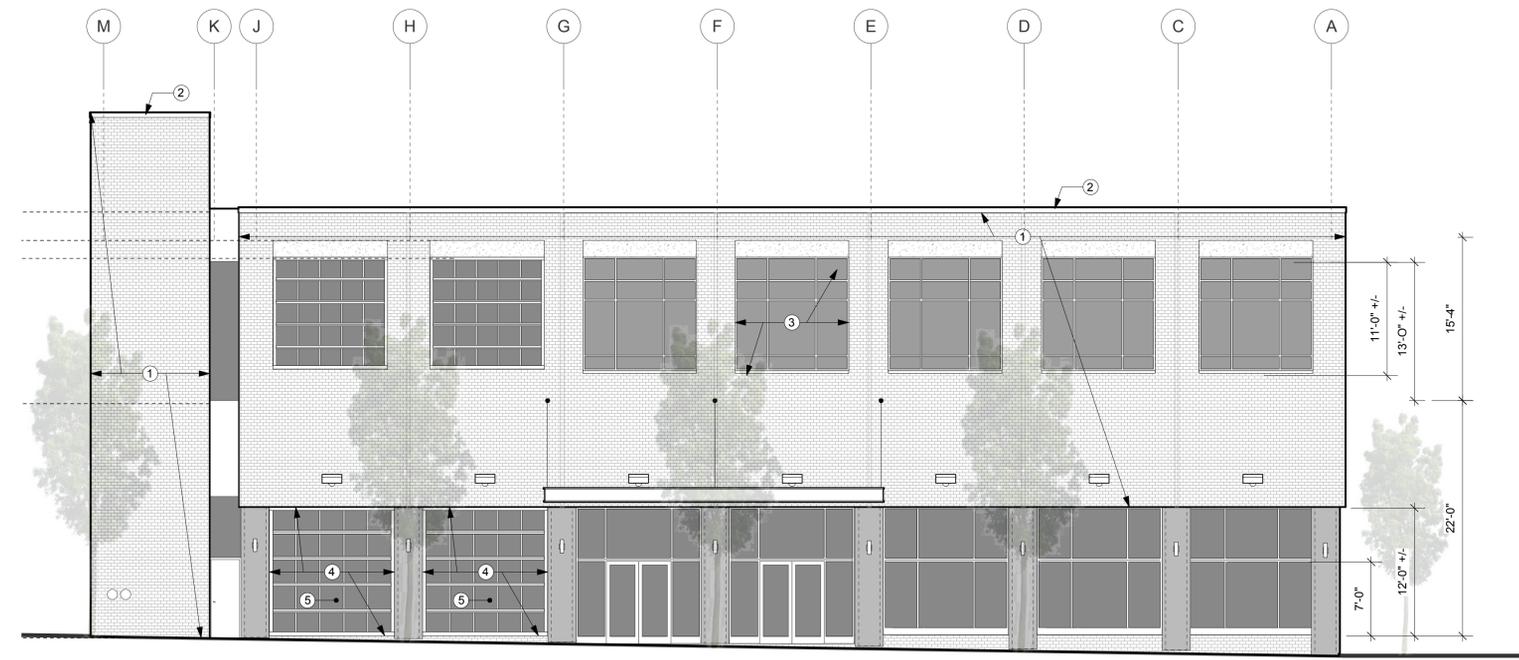


2 SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"

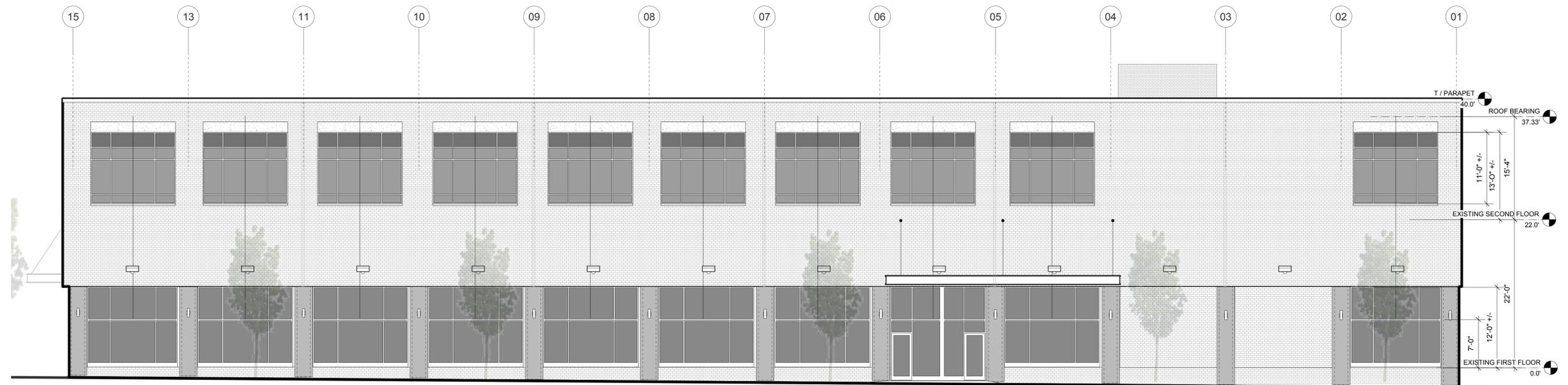




3 MIGNONEETE STREET ELEVATION
Scale: 1/8" = 1'-0"



2 PENN AVENUE ELEVATION
Scale: 1/8" = 1'-0"



1 SOUTH BEATTY STREET ELEVATION
Scale: 1/8" = 1'-0"

KEYNOTES:

- ① EXISTING MASONRY WALL REMAINS. PRIME AND PAINT TO COVER EXISTING MURAL
- ② REMOVE EXISTING ALUMINUM COPING AND INSTALL NEW ALUMINUM COPING, (TYPICAL)
- ③ REMOVE PORTION OF EXISTING BRICK AND CMU WALL TO CREATE NEW OPENING FOR WINDOW. REMOVE BRICKS WITH SAW-CUT EDGES AND INSTALL SALVAGED BRICK TO CREATE FINISHED OPENING. (TYPICAL AT ALL NEW SECOND FLOOR WINDOWS.)
- ④ REMOVE EXISTING MASONRY INFILL PANELS (TYPICAL AT ALL NEW STOREFRONT OPENINGS)
- ⑤ INSTALL NEW CLEAR ANODIZED ALUMINUM AND GLASS OVERHEAD DOOR AND TRACK.









**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: 422 First Avenue LP		Phone Number: (412) 983-1771	
Address: 700 River Ave, Suite 337	City: Pittsburgh	State: Pa	Zip Code: 15212
2. Applicant/Company Name: Indovina Associates Architects, LLC		Phone Number: (412) 363-3800	
Address: 5880 Ellsworth Ave	City: Pittsburgh	State: Pa	Zip Code: 15232
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: 1st Avenue Lofts			
4. Development Location: Golden Triangle District C			
5. Development Address: 422 First Avenue			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 12/01 /2015	Occupancy Date: 03/01 /2017	Project Cost: \$ 3,100,000.00

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list):

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: [Renovation of existing 8 story brick and concrete structure from an office / warehouse use to 35 apartments at floor 2 thru 8, enlargement of existing elevator penthouses into gym and roof deck serving apartments, development of two first floor spaces into vanilla boxes, intent is to lease the first floor spaces out for Restaurant\(Limited\) or Office \(Limited\) Project will be seeking historic tax credits](#)

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	0	sq ft
Existing to be Retained:	38,999	sq ft
Retained Area to be Renovated:	38,999	sq ft
To be Constructed:	1,053	sq ft
Building Footprint:	4,805	sq ft

15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	8, w/ elev. penthouses	106'-4"	9	116'-11"
Proposed Addition/Extension			1	10'-7"

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 35

17. Lot Area: 4,805 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: One
 Required: One

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition
 HVAC (Interior)
 HVAC (Exterior)
 Electrical
 Fire Alarm
 Fire Protection/Sprinklers
 Deck Construction
 Commercial Cooking Hood
 Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing
 New Construction of Plumbing
 No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<p><u> 1 </u> New Water Service Connection(s)</p> <p><u> 0 </u> New Sewer Service Connection(s)</p>	<p><u> 0 </u> Termination of Existing Water Service Tap(s)</p> <p><u> 0 </u> Termination of Existing Sewer Service Tap(s)</p>
---	---

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES
 NO
 [This is still being determined](#)

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street
 Private Property
 Not Applicable
 Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way. Possible addition of 2 post mounted lights for sidewalk

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
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39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
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44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

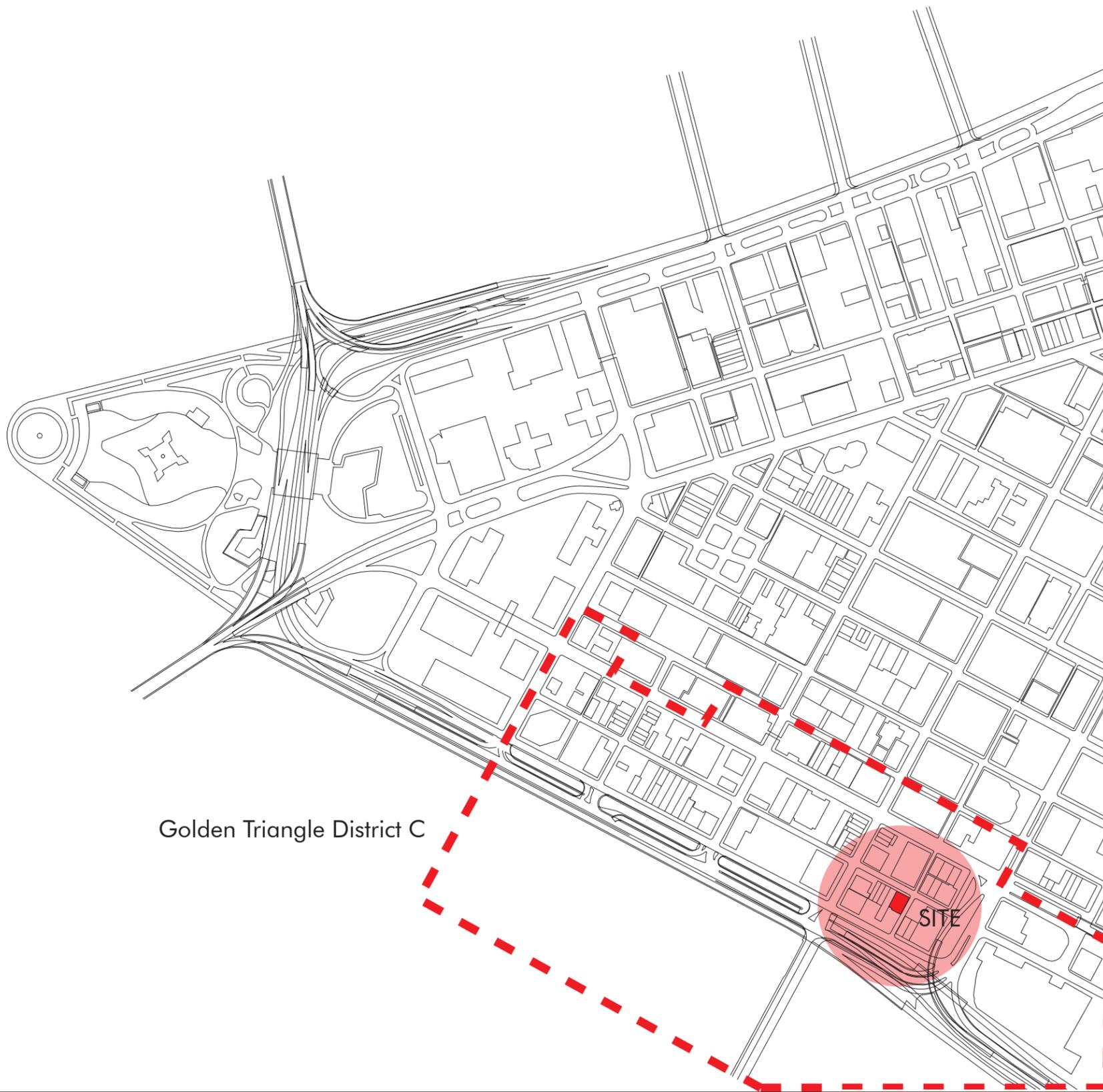
Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html

1st Avenue Lofts

422 First Avenue, Pittsburgh PA, 15212
Golden Triangle District C

City of Pittsburgh Planning Commission Submission

Renovation of existing 8 story brick and concrete structure from an office/warehouse use to 35 apartments at floor 2 thru 8, enlargement of existing elevator penthouses into gym and roof deck serving apartments, development of two first floor spaces into vanilla boxes, intent is to lease the first floor spaces out for Restaurant(Limited) or Office (Limited) Project will be seeking historic tax credits.Z



Golden Triangle District C

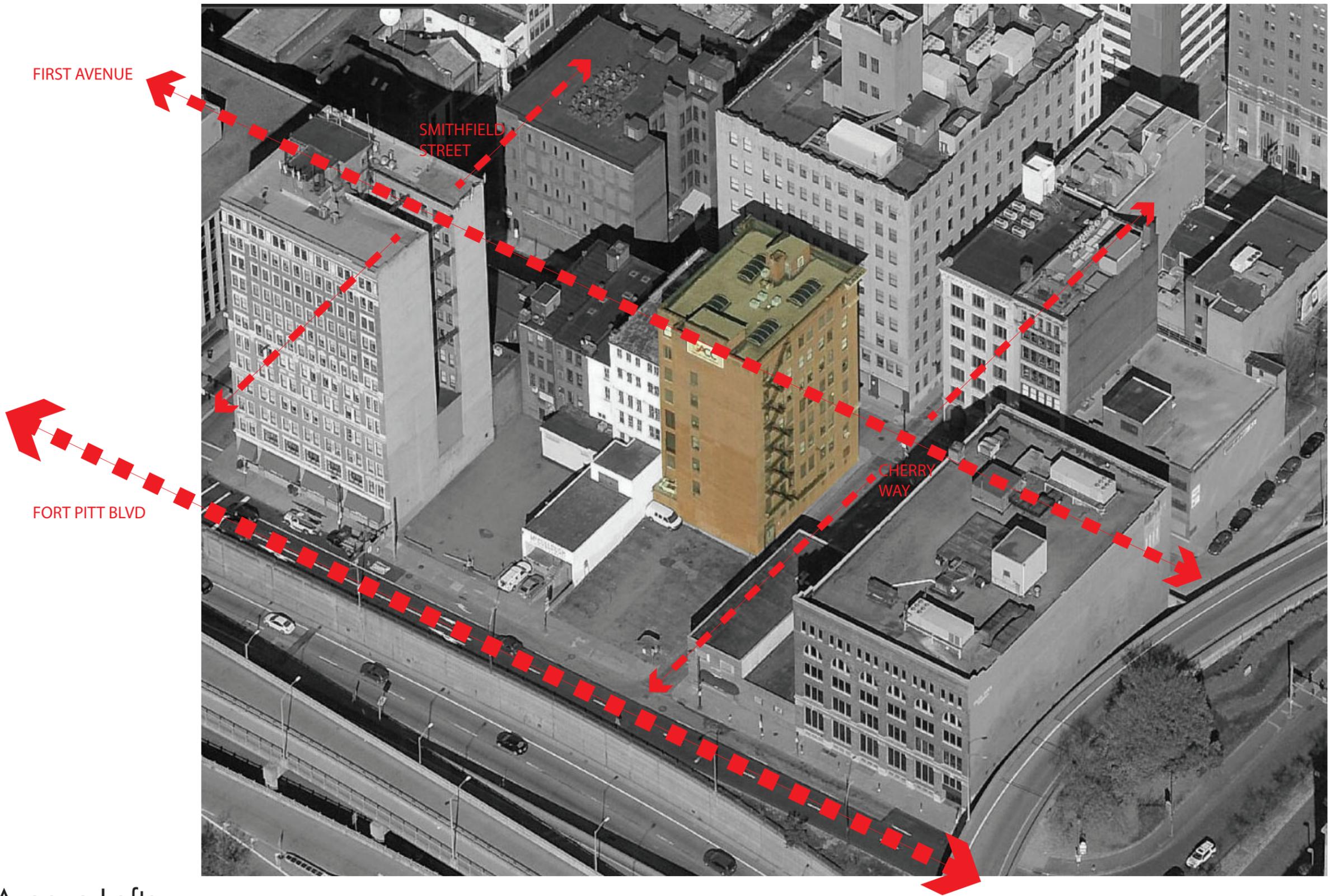
SITE

1st Avenue Lofts

422 First Avenue, Pittsburgh PA, 15212
422 First Avenue LP

City of Pittsburgh Planning Commission Submission





1st Avenue Lofts

Site Context: Existing Aerial View

City of Pittsburgh Planning Commission Submission



1st Avenue Lofts

Site Context: First Avenue

City of Pittsburgh Planning Commission Submission



1st Avenue Lofts

Site Context: Cherry Way

City of Pittsburgh Planning Commission Submission



1st Avenue Lofts

Site Context: Fort Pitt Blvd

City of Pittsburgh Planning Commission Submission



1st Avenue Lofts

Site Context: Smithfield Street

City of Pittsburgh Planning Commission Submission

Empty Lot,
433 Fort Pitt Blvd., 1-M-45

CHERRY WAY

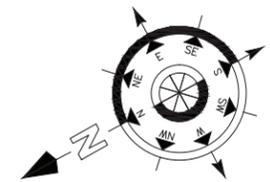
93'-1"

10'-0" WIDE LOADING DRIVE

60'-0"

- Restaurant
- Residential
- Business Office
- ADA Ramp/Rear Entrance
- Shared Entry

Existing surface
parking lot
1-M-42



FIRST AVENUE

Existing Building
1-M-150

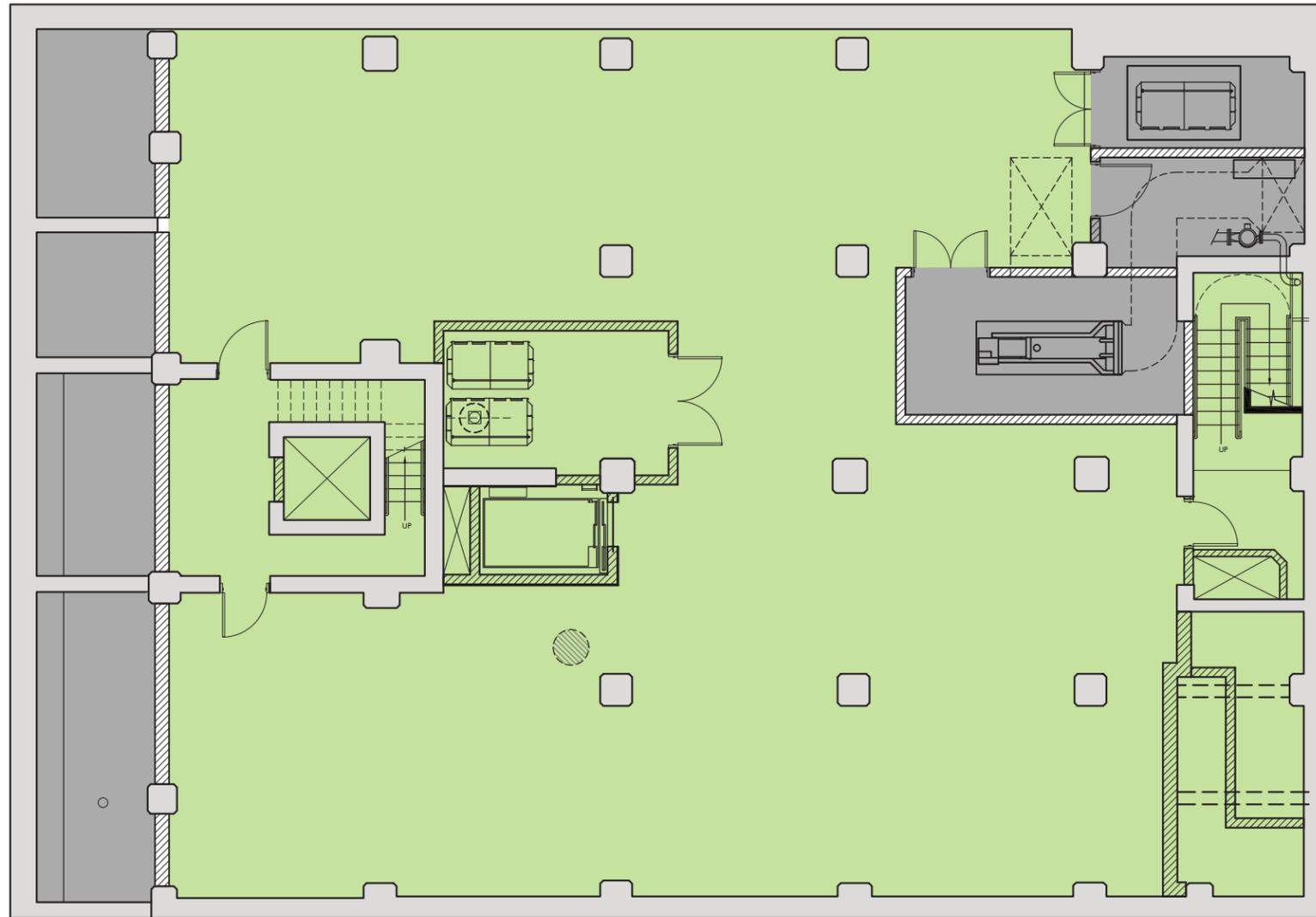
Existing Building,
416 First Avenue, 1-M-41

1st Avenue Lofts

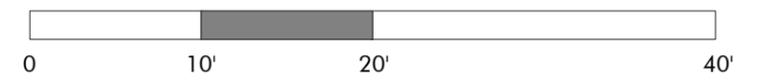
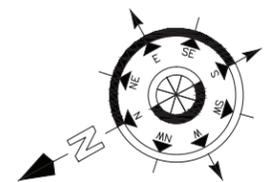
Site Plan @ Ground Level

City of Pittsburgh Planning Commission Submission





Storage
Utility

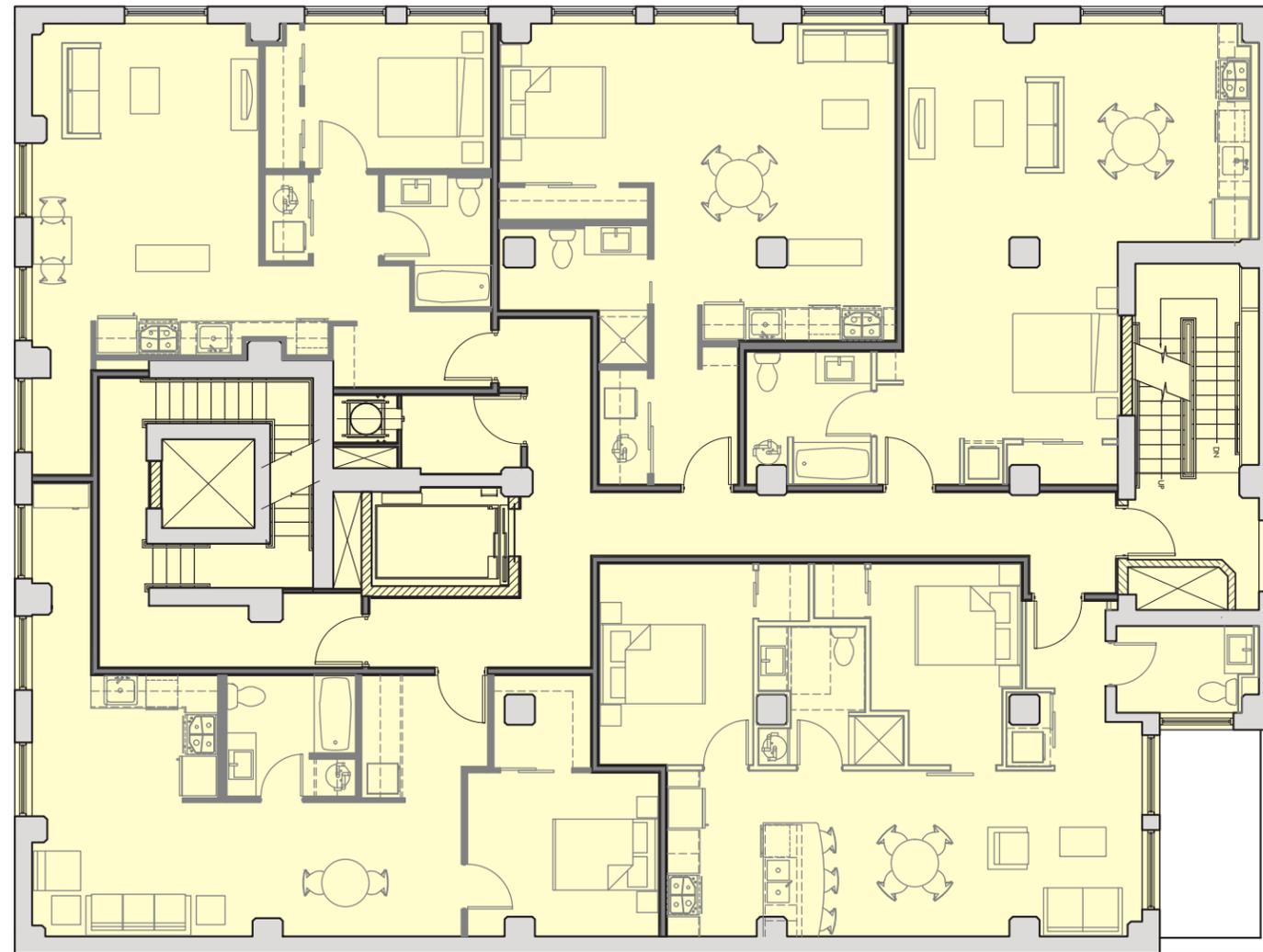


1st Avenue Lofts

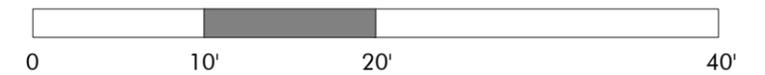
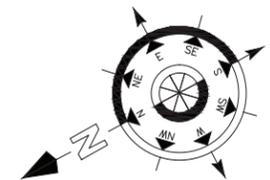
Basement Level

City of Pittsburgh Planning Commission Submission





 Residential

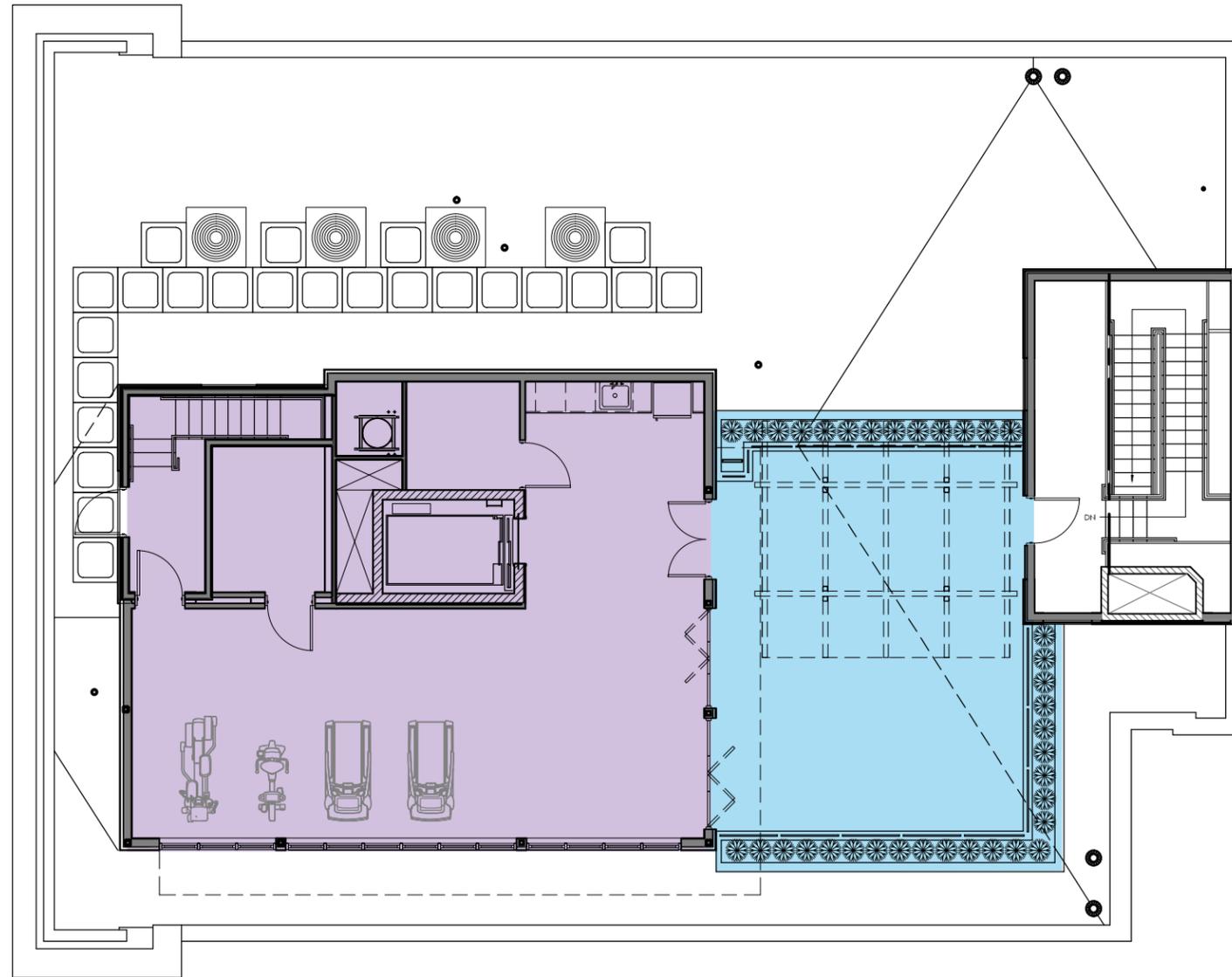


1st Avenue Lofts

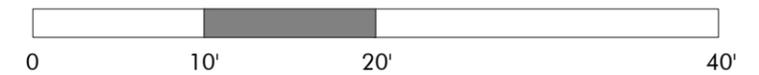
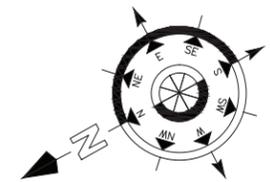
Typical Residential Level Plan: Floors 2-8

City of Pittsburgh Planning Commission Submission





- Fitness Center
- Exterior Deck w/ Pergola



1st Avenue Lofts

Penthouse Level

City of Pittsburgh Planning Commission Submission





1st Avenue Lofts

North Elevation

City of Pittsburgh Planning Commission Submission



1st Avenue Lofts

South Elevation

City of Pittsburgh Planning Commission Submission

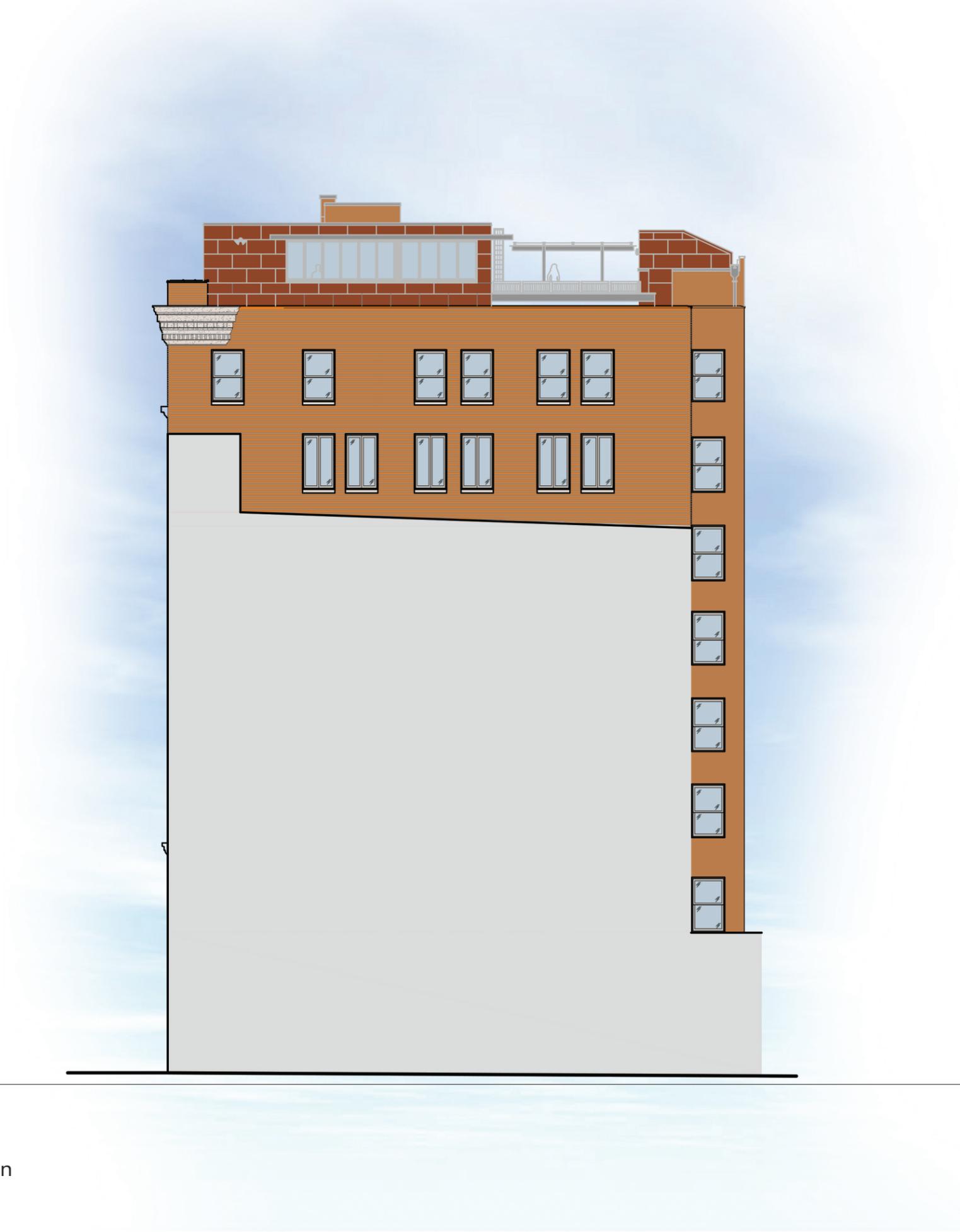




1st Avenue Lofts

East Elevation

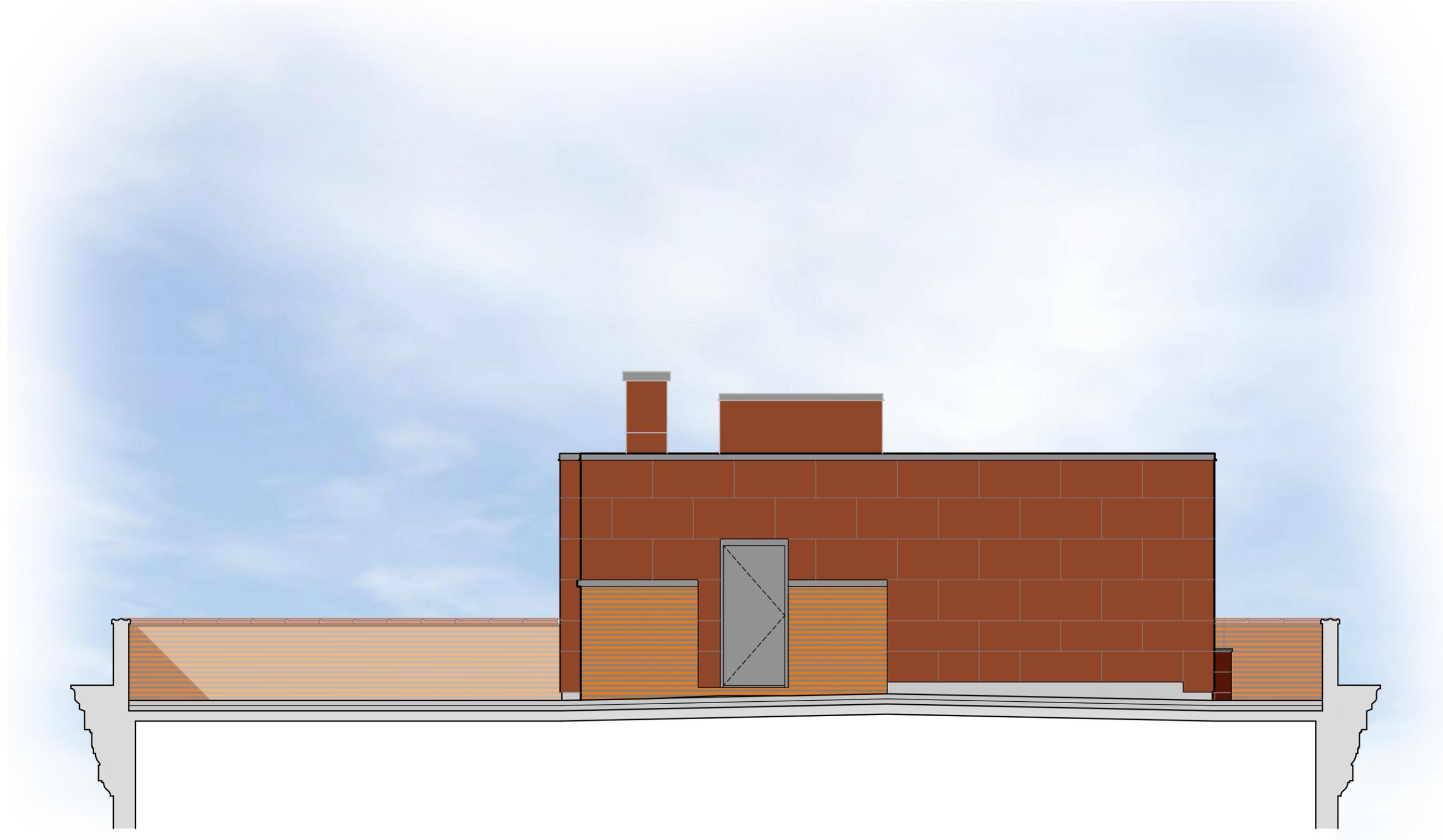
City of Pittsburgh Planning Commission Submission



1st Avenue Lofts

West Elevation

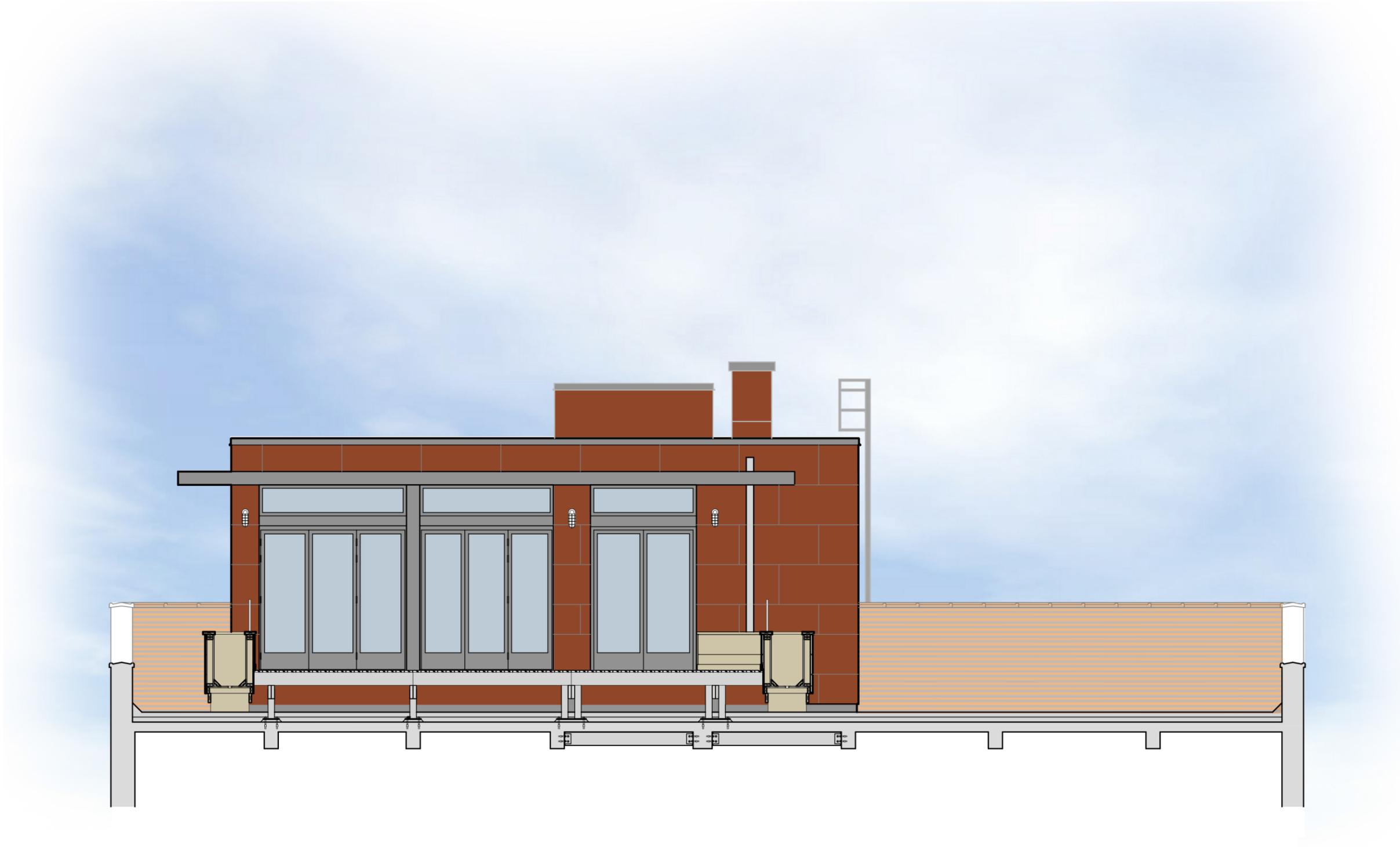
City of Pittsburgh Planning Commission Submission



1st Avenue Lofts

Penthouse: North Elevation

City of Pittsburgh Planning Commission Submission

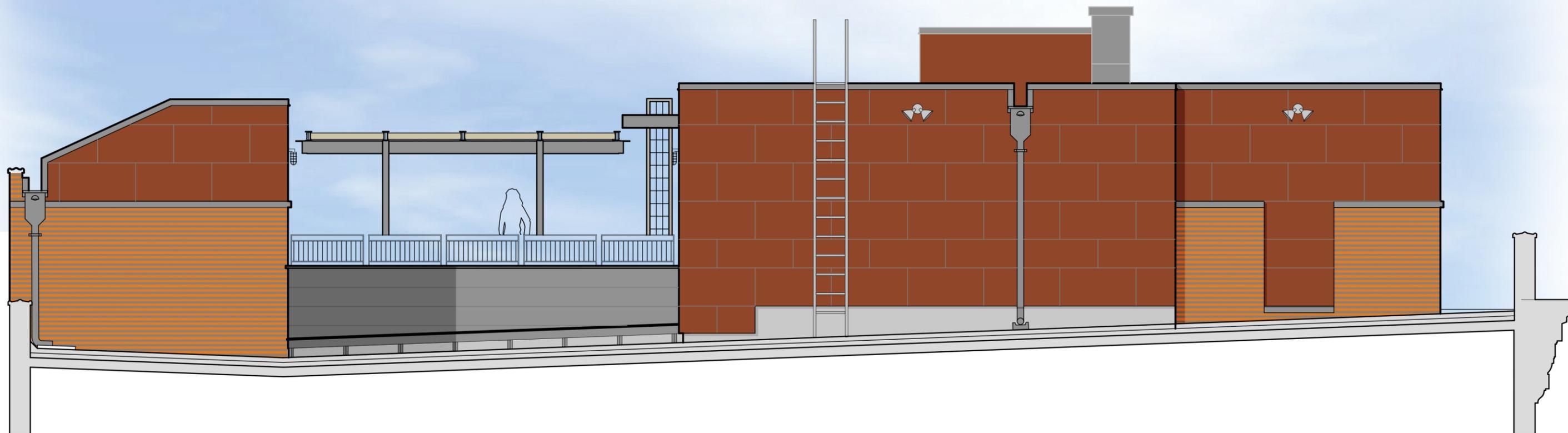


1st Avenue Lofts

Penthouse: South Elevation

City of Pittsburgh Planning Commission Submission





1st Avenue Lofts

Penthouse: East Elevation

City of Pittsburgh Planning Commission Submission



1st Avenue Lofts

Penthouse: West Elevation

City of Pittsburgh Planning Commission Submission



1st Avenue Lofts

Proposed View from First Avenue

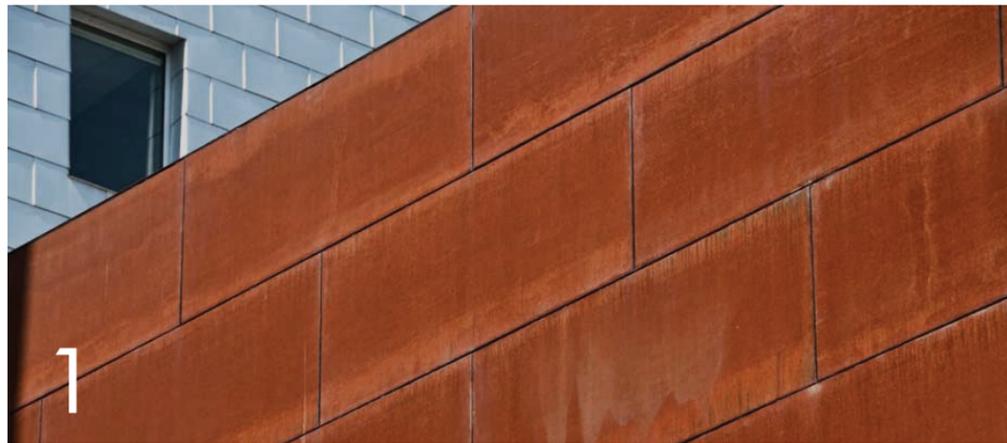
City of Pittsburgh Planning Commission Submission



1st Avenue Lofts

Proposed View at Penthouse

City of Pittsburgh Planning Commission Submission



1
CORTEN STEEL PANELS



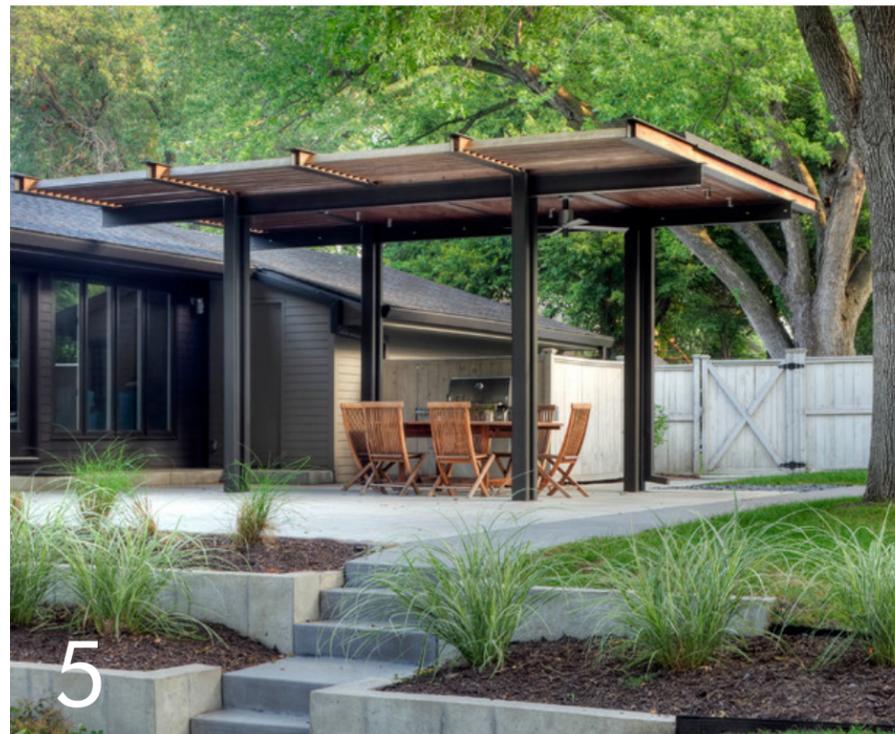
2
ALUMINIM DECKING



FIBER CEMENT COMPOSITE PANELS FOR PLANTERS



NANAWALL



GALVANIZED STEEL & WOOD PERGOLA



1st Avenue Lofts

Material Palette- Penthouse: Corten Steel

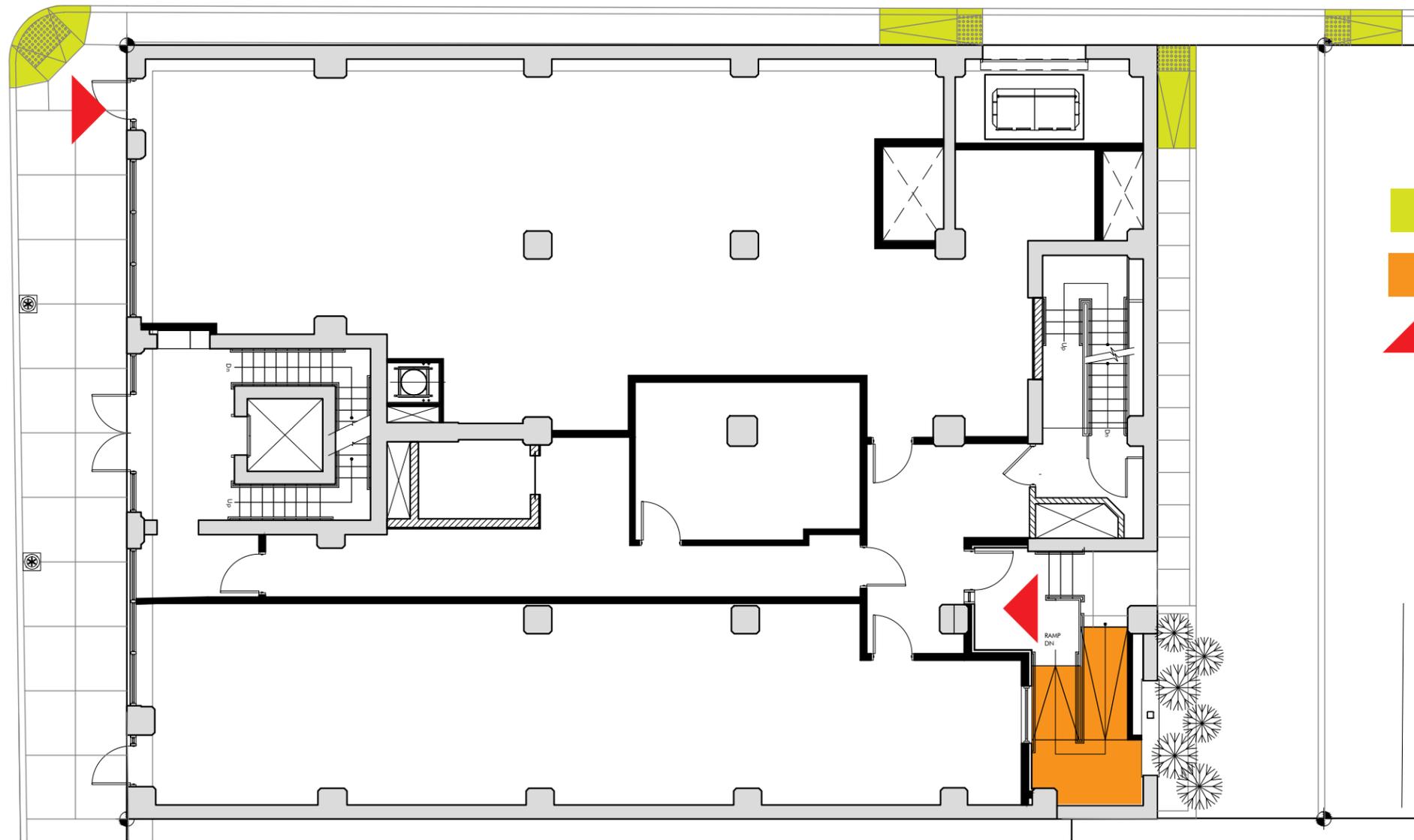
City of Pittsburgh Planning Commission Submission



1st Avenue Lofts

Alternative Transportation/Parking

City of Pittsburgh Planning Commission Submission

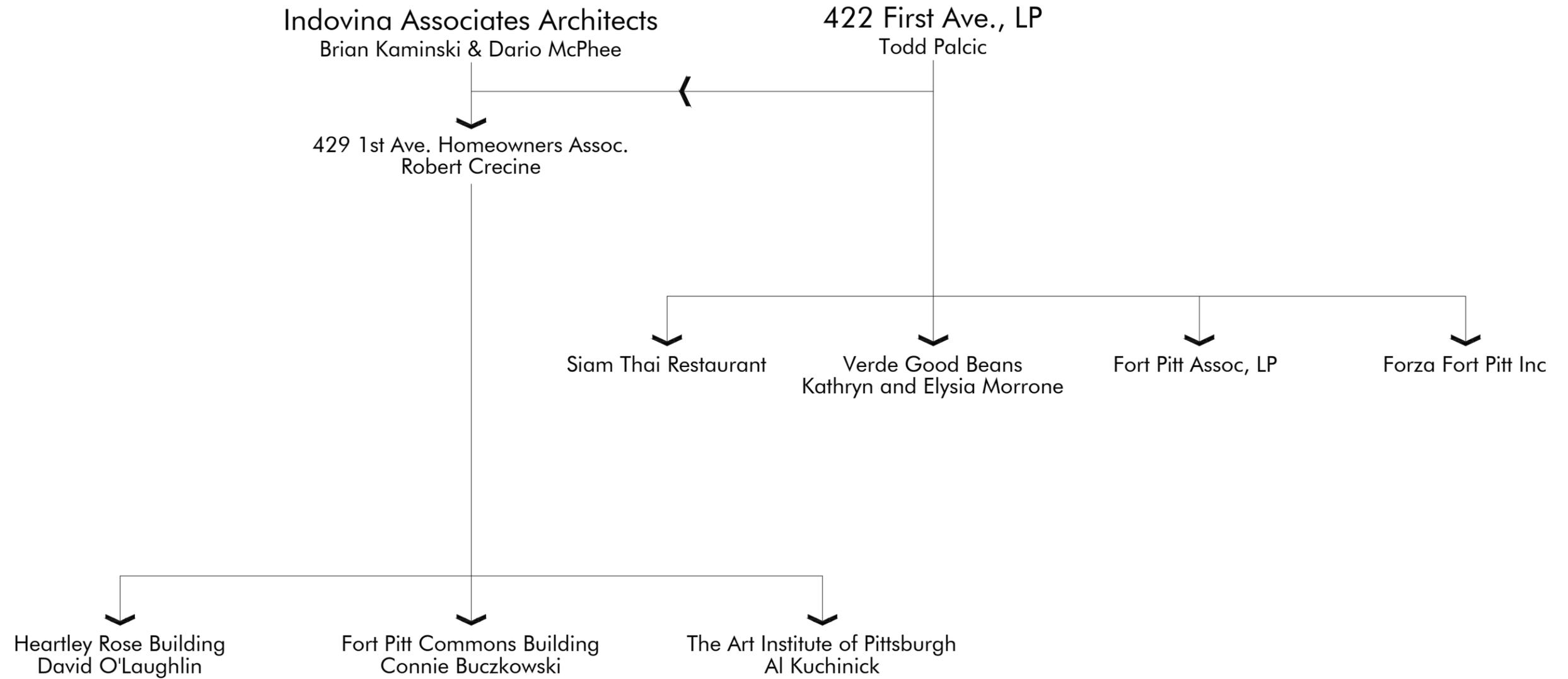


1st Avenue Lofts

Accessibility & Universal Design

City of Pittsburgh Planning Commission Submission

Community Process Summary



1st Avenue Lofts

Community Process

City of Pittsburgh Planning Commission Submission

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <i>Baum Boulevard Investor LP</i>		Phone Number: <i>574 370-5568</i>	
Address: <i>507 Mortimer</i>	City: <i>Sturgis, MI 49091</i>	State: <i>Michigan</i>	Zip Code: <i>49091</i>
2. Applicant/Company Name: <i>Baum Boulevard Investor LP</i>		Phone Number: <i>(574) 370-5568</i>	
Address: <i>507 Mortimer</i>	City: <i>Sturgis, MI 49091</i>	State: <i>Michigan</i>	Zip Code: <i>49091</i>
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: <i>Offices at Baum + Roup</i>			
4. Development Location: <i>Baum and Fairmount</i>			
5. Development Address: <i>5631 Baum Blvd</i>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: <i>12-B-2769</i>	Date Issued: <i>5/2/2013</i>	Existing Use of Property: <i>Grocery, Office, Cafe, parking</i>	
<i>12-B-01409</i>			
8. Estimated Construction:	Start Date: <i>3/1/16</i>	Occupancy Date: <i>9/1/17</i>	Project Cost: \$ <i>CM</i>

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): *82 office (general)*

10. Select the Type of Work:

<input checked="" type="checkbox"/> New Construction, New	<input checked="" type="checkbox"/> Renovation, Interior
<input type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use

11. Describe the Development: *Three part expansion + a rebuild to include 1 floor rebuild of office overlooking Friendship park; two levels of office over the Aldi's space (Roup + Baum) + An addition on the corner of Fairmount + Baum for office -*

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 3 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: 0 sq ft
 Existing to be Retained: 56,387 sq ft
 Retained Area to be Renovated: 13,674 sq ft
 To be Constructed: 57,611 sq ft
 Building Footprint: 40,725 sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	5	77		
Proposed Addition/Extension			5	72

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 46,551 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	Existing total =	
Compact (7 1/4' x 16')	118 garage +	
Handicap (13 1/2' x 19')	6 surface = 124	

Off-Street Loading Spaces: N/A
 Actual: 2
 Required: 3

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- | | |
|--|---|
| <u>0</u> New Water Service Connection(s) | <u>0</u> Termination of Existing Water Service Tap(s) |
| <u>0</u> New Sewer Service Connection(s) | <u>0</u> Termination of Existing Sewer Service Tap(s) |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

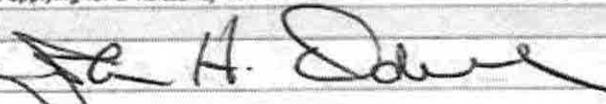
- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: 



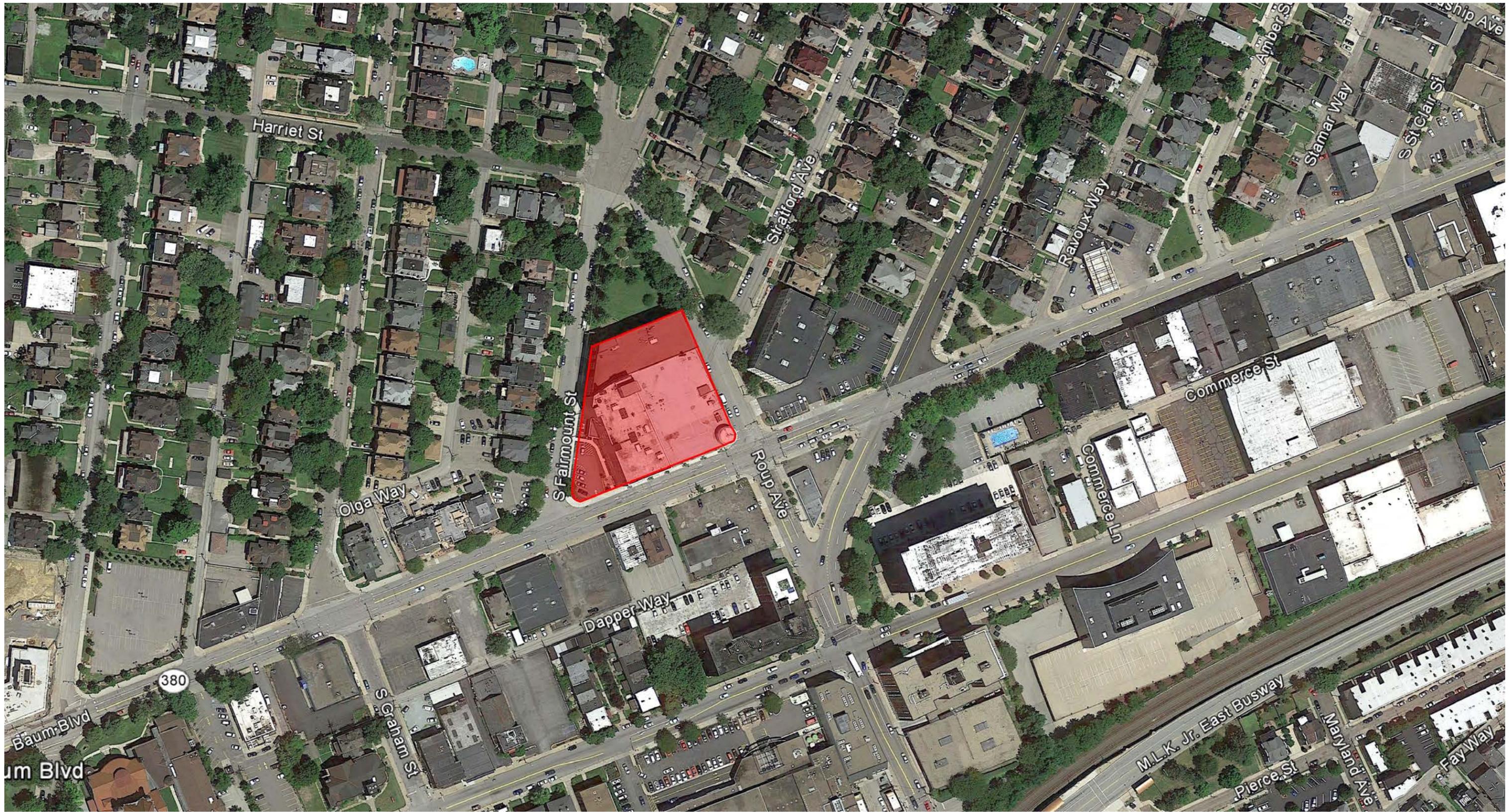
Offices at Baum

Expansion Building

5631 Baum Boulevard
Pittsburgh, Pennsylvania 15213
October 20, 2015

 **DESMONE ARCHITECTS**
ONE DOUGHBOY SQUARE
3400 BUTLER STREET
PITTSBURGH, PENNSYLVANIA 15201
TEL: 412.683.3230
www.desmone.com

Ellen A. Levin, RA
Architecture.Design.Planning.Consulting



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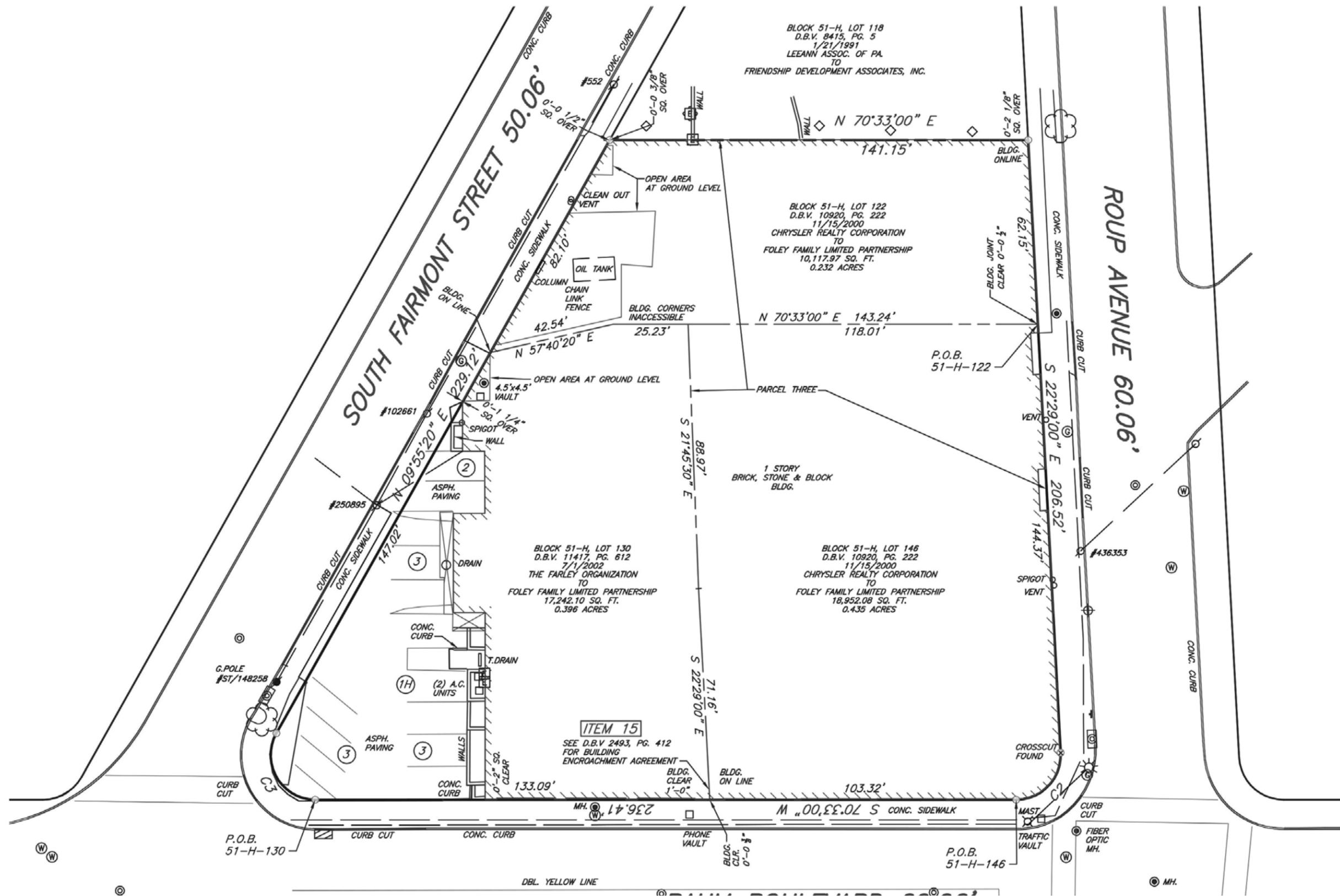
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Offices at Baum

Satellite Photo

5631 BAUM BOULEVARD
PITTSBURGH, PENNSYLVANIA 15213



APPLICABLE SITE DEVELOPMENT STANDARDS:

Zoning Classification: LNC (Local Neighborhood Commercial)

Maximum FAR:

Permitted = 4.22:1 (w/Special Exception)

Proposed = 4.62:1 (w/Special Exception)

Maximum Lot Coverage:

Permitted = 90%

Proposed = 87.9%

Maximum Height:

Permitted = 45 ft (Not to exceed 3 stories)

Proposed = 72 ft (5 stories)

Parking:

Required = 92 spaces w/out bicycle reduction
(65 spaces w/reduction)

Proposed = 65 spaces (with special exception for offsite parking)

Required Bicycle Parking for Reduction = 27 spaces

Proposed Bicycle Parking = 27 spaces

SITE DATA:

Areas:

Site Acreage: 1.064 Acres (46,330 sqft.)

First Floor:

Office 2,827 gsf. (existing)

500 gsf. (new)

Restaurant 2,388 gsf. (existing)

Grocery 14,133 gsf. (existing)

Second Floor:

Office 8,254 gsf. (existing)

4,409 gsf. (new)

Third Floor:

Office 8,302 gsf. (existing)

13,271 gsf. (new)

Fourth Floor:

Office 18,471 gsf. (existing)

20,605 gsf. (new)

Fifth Floor:

Office 8,822 gsf. (existing)

27,658 gsf. (new)

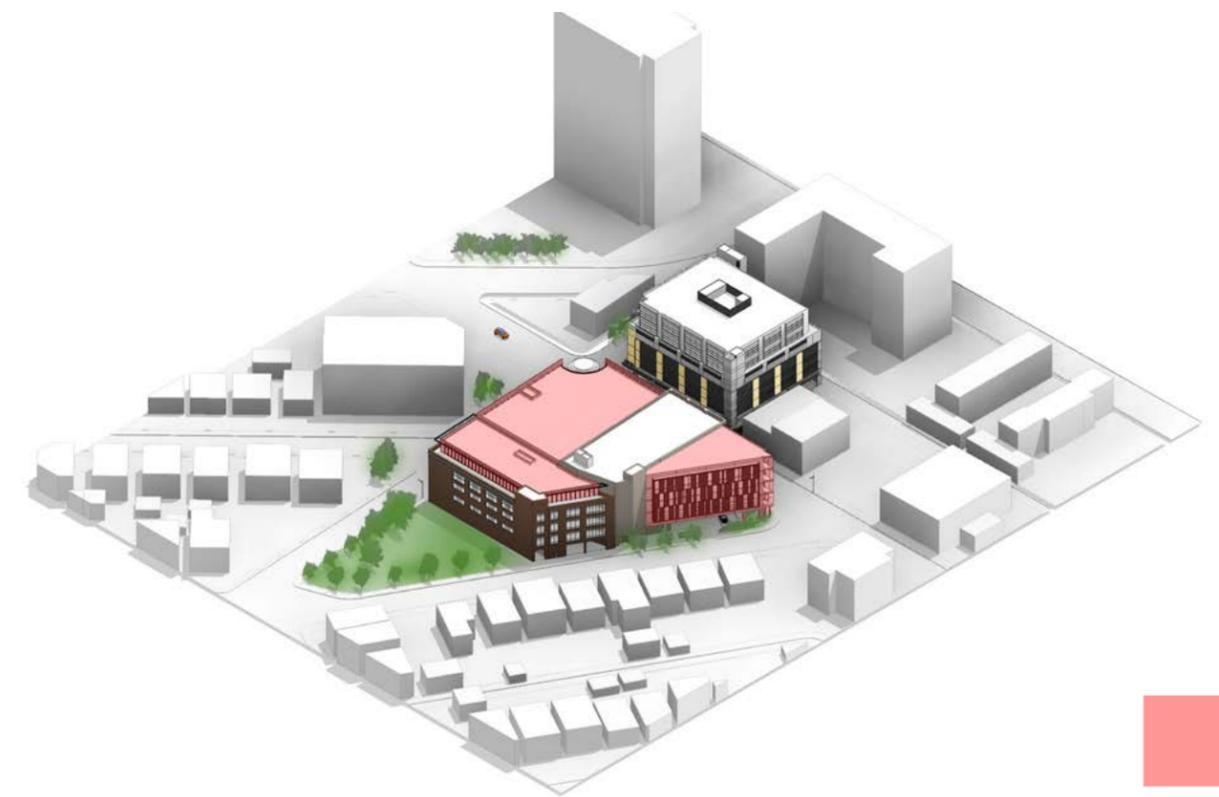
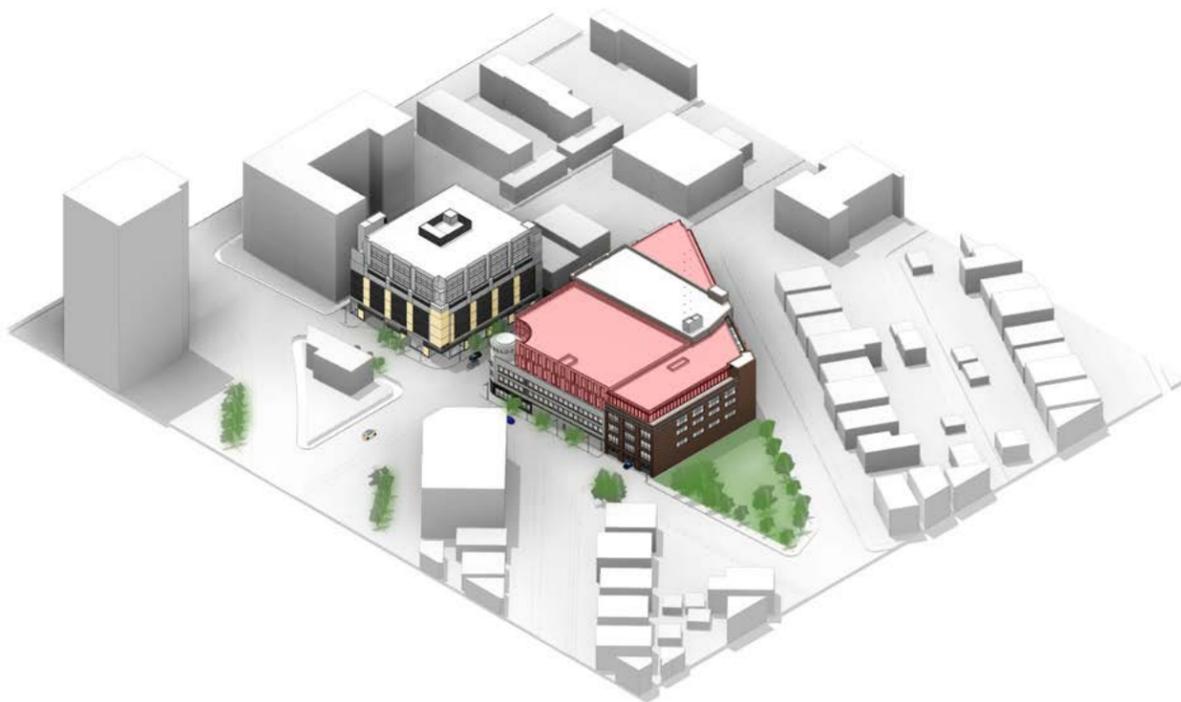
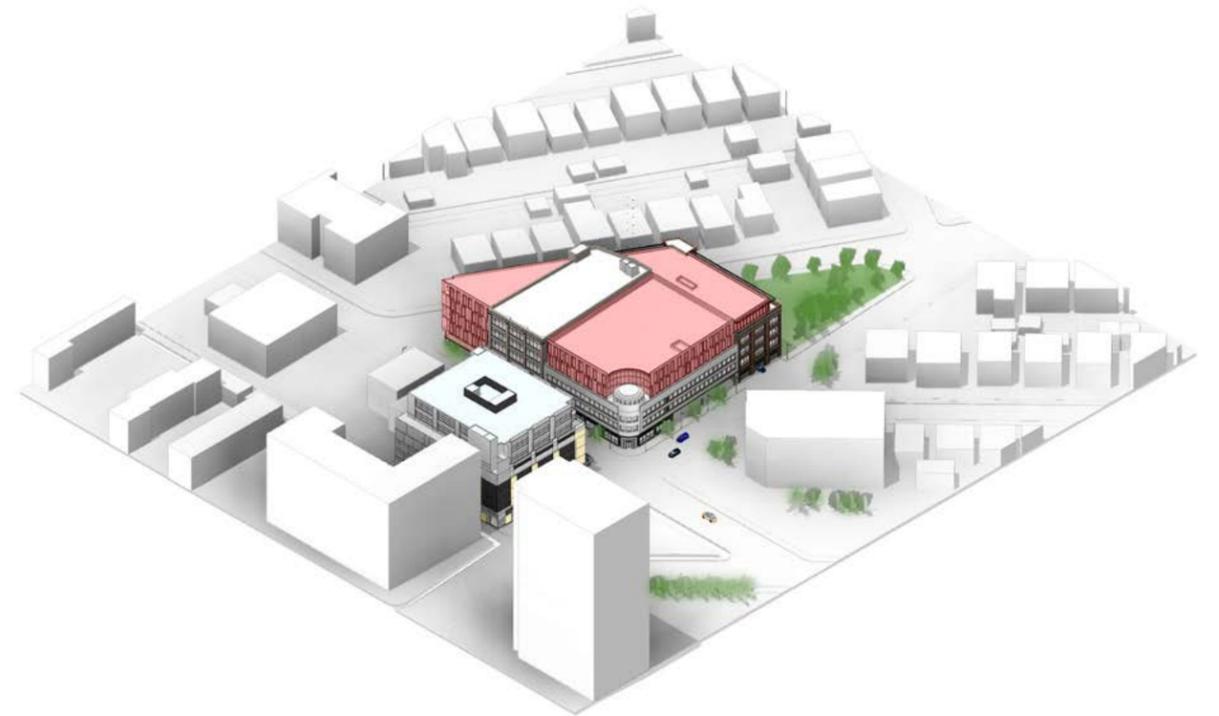
Totals:

-Existing sf: 156,387 gsf.

-New sf: 58,111 gsf. (Addition)

214,498 gsf. (total gsf.)





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Axonometric Views

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Offices at Baum

Aerial Perspectives

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Line Rendering From Baum Blvd.

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PITTSBURGH, PENNSYLVANIA 15213



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Offices at Baum

View of Expansion Along Roup Ave.

5631 BAUM BOULEVARD
PITTSBURGH, PENNSYLVANIA 15213



View Key



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 TEL: 412.683.3230
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Offices at Baum

Night View of along Baum Blvd.

5631 BAUM BOULEVARD
 PITTSBURGH, PENNSYLVANIA 15213



View Key



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Offices at Baum

Night View of along Baum Blvd.

5631 BAUM BOULEVARD
 PITTSBURGH, PENNSYLVANIA 15213



View Key



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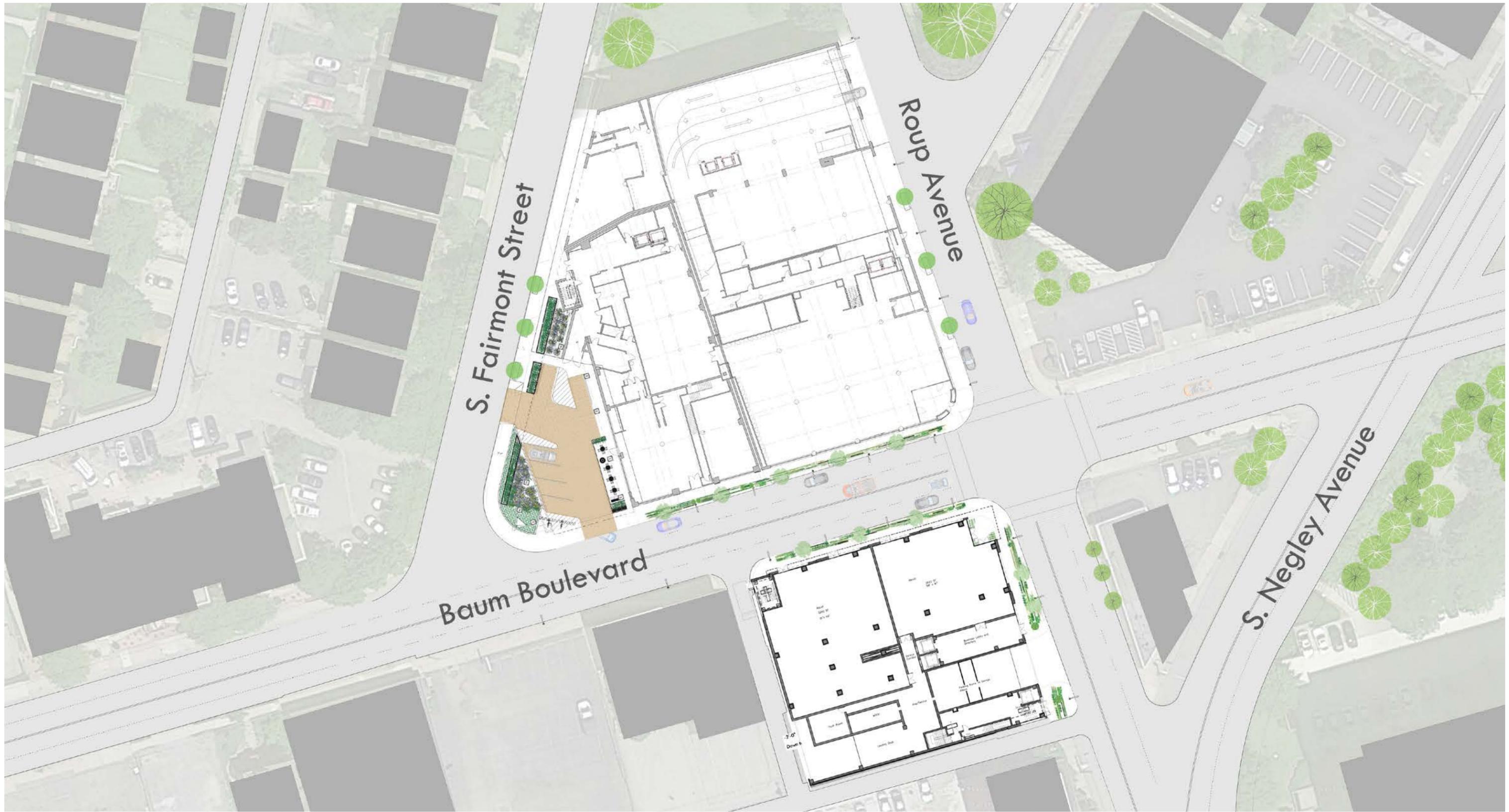
Ellen A. Levin, RA
 Architecture. Design. Planning. Consulting



Offices at Baum

View From S. Fairmount St. and Baum Blvd.

5631 BAUM BOULEVARD
 PITTSBURGH, PENNSYLVANIA 15213



DESMONE ARCHITECTS

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Overall Site Plan

5631 BAUM BOULEVARD
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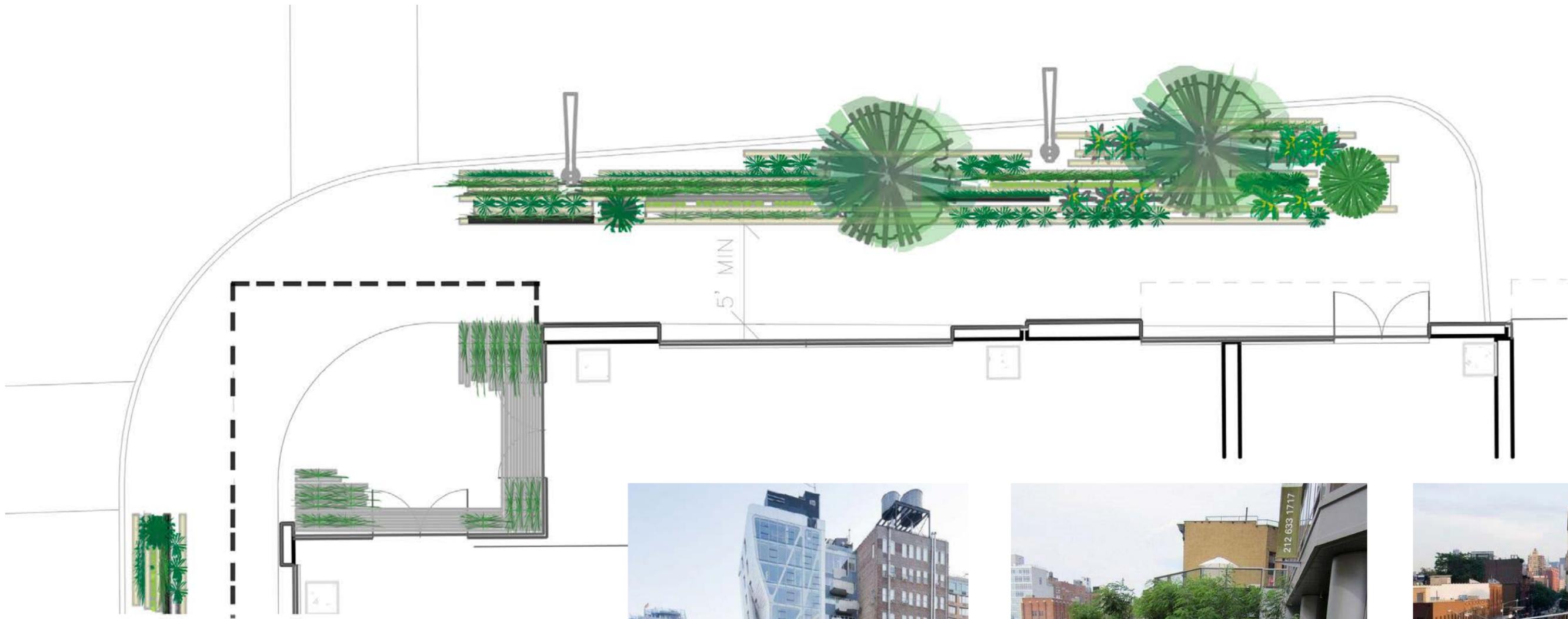
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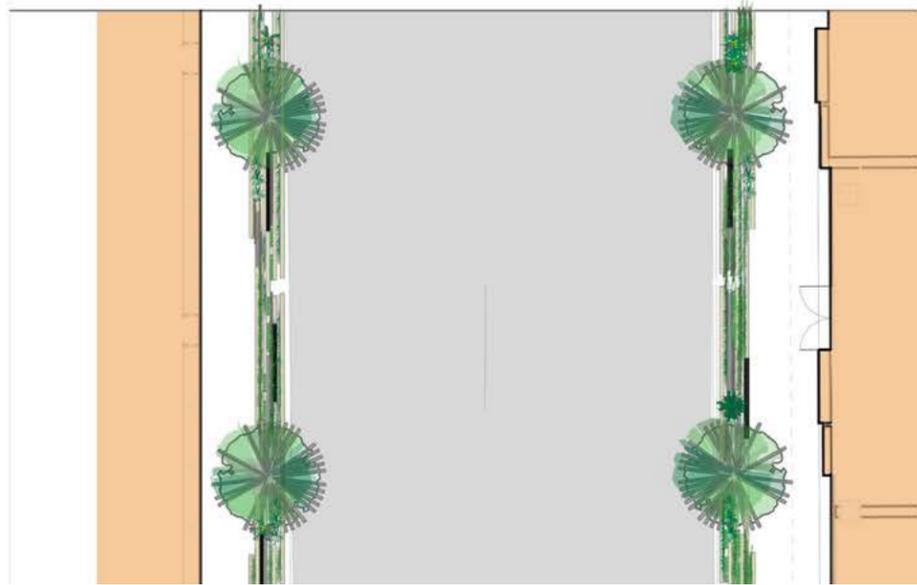
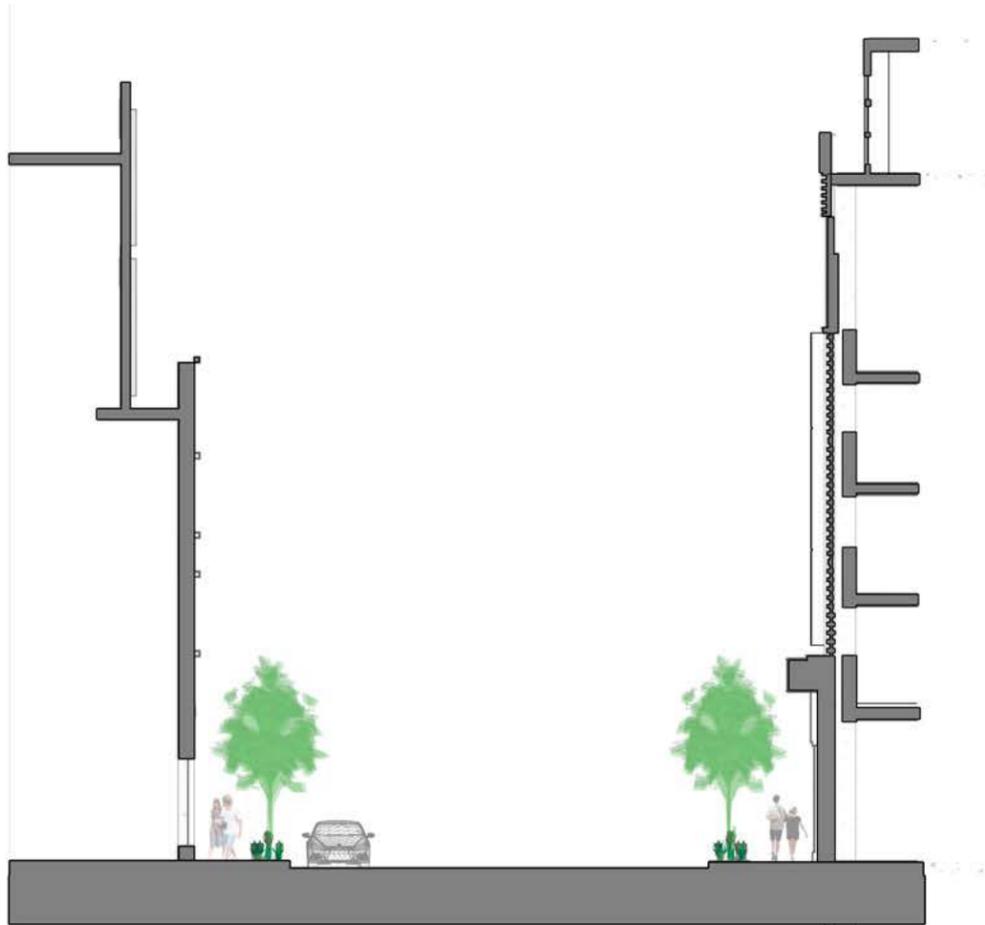
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14
View of the Piazza

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Images of the High Line Park, New York, NY
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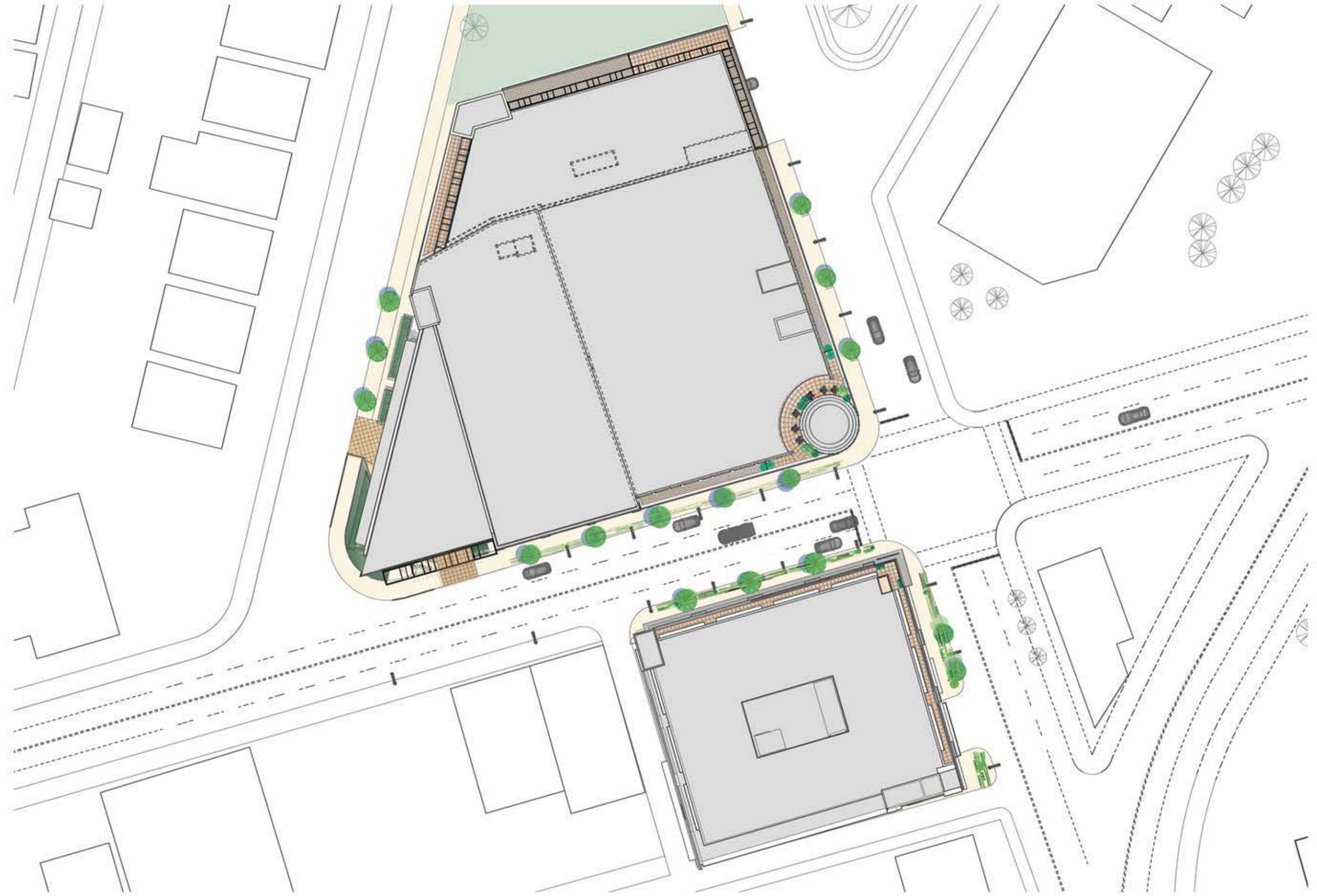
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Streetscape Section

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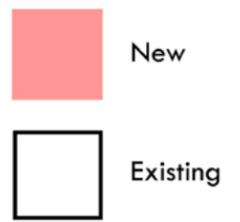
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17
Roof Plan

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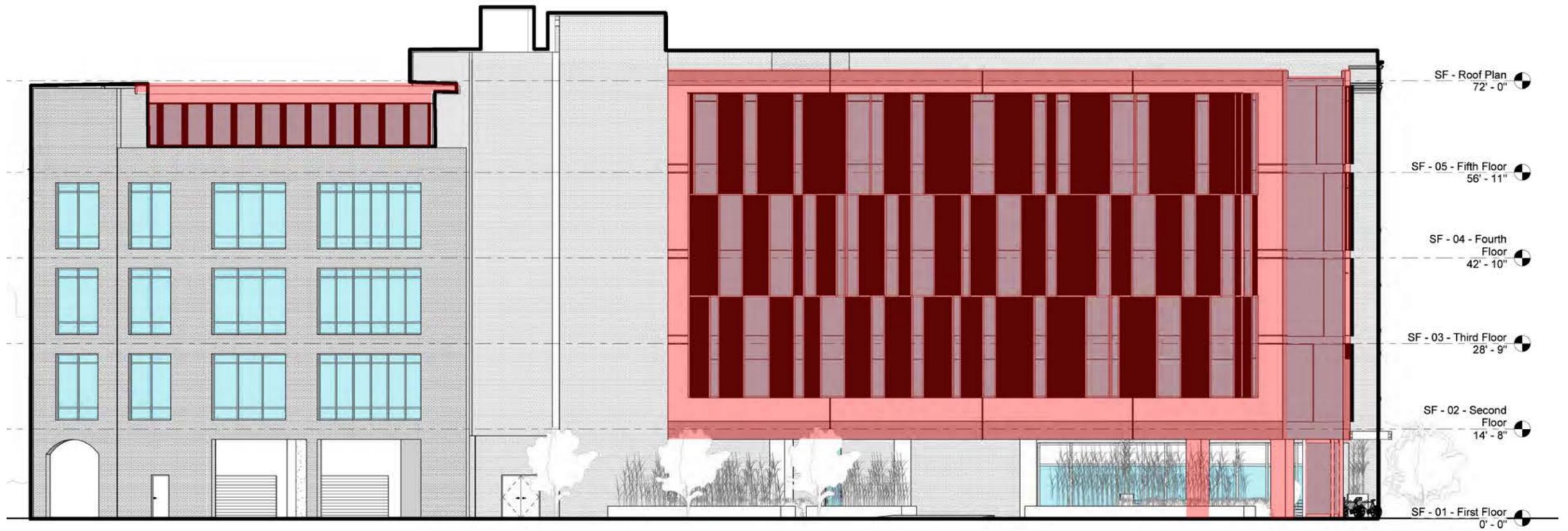




New



Existing



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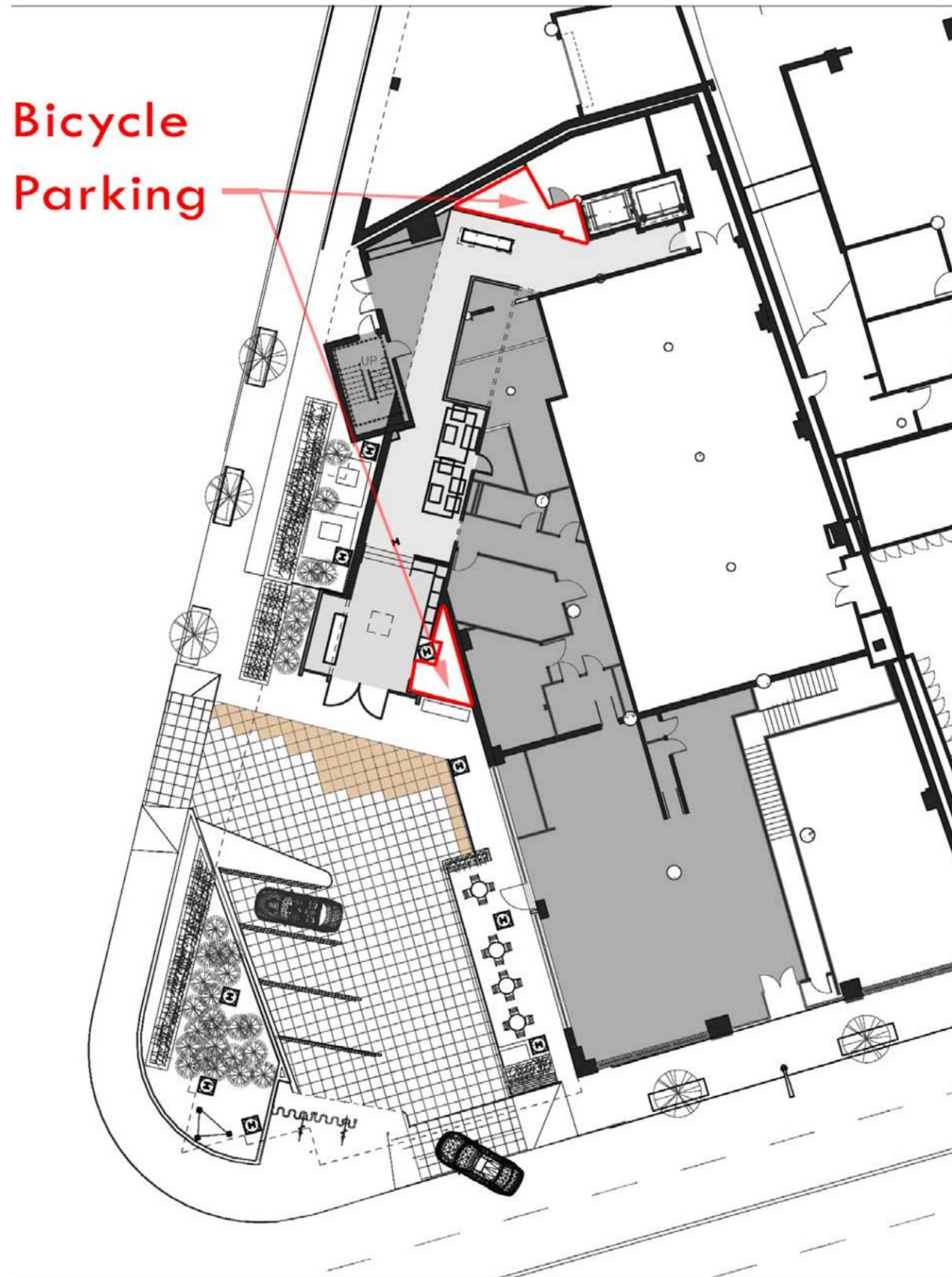
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Expansion Building Elevations (South, West)

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Bicycle Parking ²⁰

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**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Baum Corner Investors, LP Phone Number: 574 370-5568

Address: 567 Mariner City: Sturgis State: Michigan Zip Code: 49091

2. Applicant/Company Name: Baum Corner Invest, LP Phone Number: 574 370-5568

Address: 567 Mariner City: Sturgis State: MI Zip Code: 49091

Applicant/Contractor ID: (assigned by the City)

3. Development Name: offices at Baum Mixed-Use Corner

4. Development Location: Baum + Ross

5. Development Address: 5620 Baum Blvd

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:

Present Use of Site:
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: _____ Date Issued: _____ Existing Use of Property: _____

8. Estimated Construction: Start Date: 3/1/16 Occupancy Date: 9/1/17 Project Cost: \$9.5M

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 106 retail sales + services (general), 82 office (general), 101 restaurant (limited), 85 parking, commercial (general)

10. Select the Type of Work:
- New Construction, New
 - New Construction, Interior
 - New Construction, Exterior
 - Change in Use Only
 - Renovation, Change in Use

11. Describe the Development: Mixed use corner development with ground floor retail on Baum, 4 floors of parking accessed from Ross, and 2 floors of office with lobby on Ross

12. Is a Land Operations Permit needed? YES

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 1 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: 3550 sq ft
 Existing to be Retained: 0 sq ft
 Retained Area to be Renovated: 0 sq ft
 To be Constructed: 115,765 sq ft
 Building Footprint: 17,380 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure			7	92
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 0

17. Lot Area: 17,946 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		79
Compact (7 1/4' x 16')		56
Handicap (13 1/2' x 19')		5 (Included 1 Van)
Off-Street Loading Spaces: <input type="checkbox"/> N/A		<u>1240</u>
Actual:	<u>1</u>	
Required:	<u>2</u>	

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> 1 </u> New Water Service Connection(s)	<u> 1 </u> Termination of Existing Water Service Tap(s)
<u> 1 </u> New Sewer Service Connection(s)	<u> 1 </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

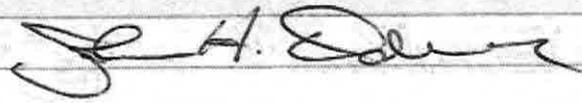
- Public Property, Existing City Street
- Private Property
- Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: 



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Mixed Use Corner

5620 Baum Boulevard
Pittsburgh, Pennsylvania 15213
October 20, 2015

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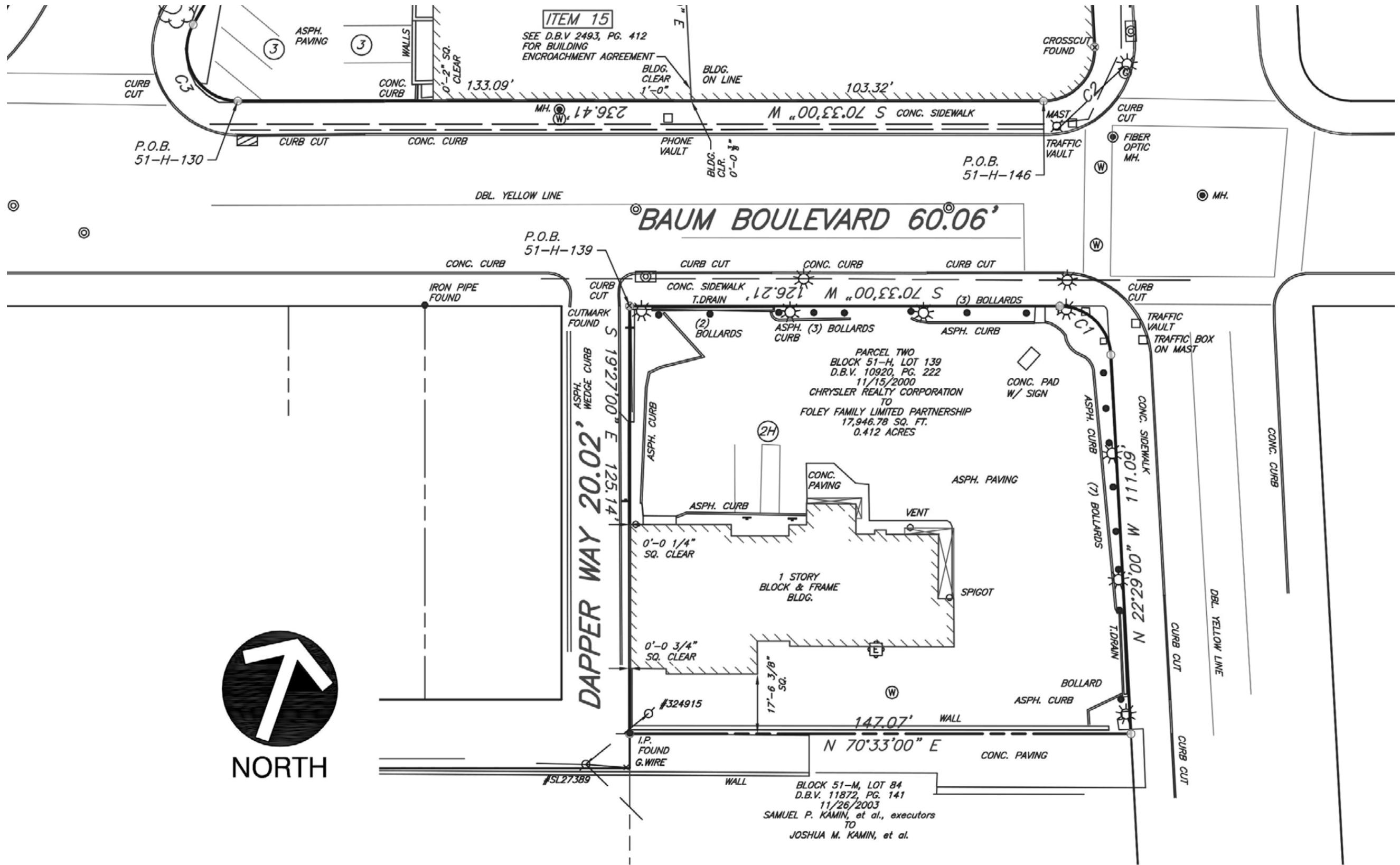
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Satellite Photo

5620 BAUM BOULEVARD
PITTSBURGH, PENNSYLVANIA 15213



APPLICABLE SITE DEVELOPMENT STANDARDS:

Zoning Classification: UNC (Urban Neighborhood Commercial)

Maximum FAR:

Permitted = 4.8:1 (w/LEED Bonus)

Proposed = 2.56:1 (w/LEED Bonus)

Maximum Height:

Allowed = 85 ft, 6 Stories w/Special Exception

Proposed = 92 ft, 7 Stories

Parking

Required = 143 spaces w/out bicycle reduction

(92 spaces for off-site parking for Baum

Expansion, 51 spaces for new office and commercial on-site)

Proposed = 178 spaces

Required Bicycle Parking Req. for Reduction = 12 spaces

Proposed Bicycle Parking = 12 spaces

Loading

Required = 2

Proposed = 2

SITE DATA:

Areas:

Site Acreage: .41 Acres (17,947 sqft.)

First Floor:

Retail Sales 4,743 gsf.

Restaurant 2,368 gsf.

Sixth Floor:

Office 13,207 gsf.

Seventh Floor:

Office 13,207 gsf.

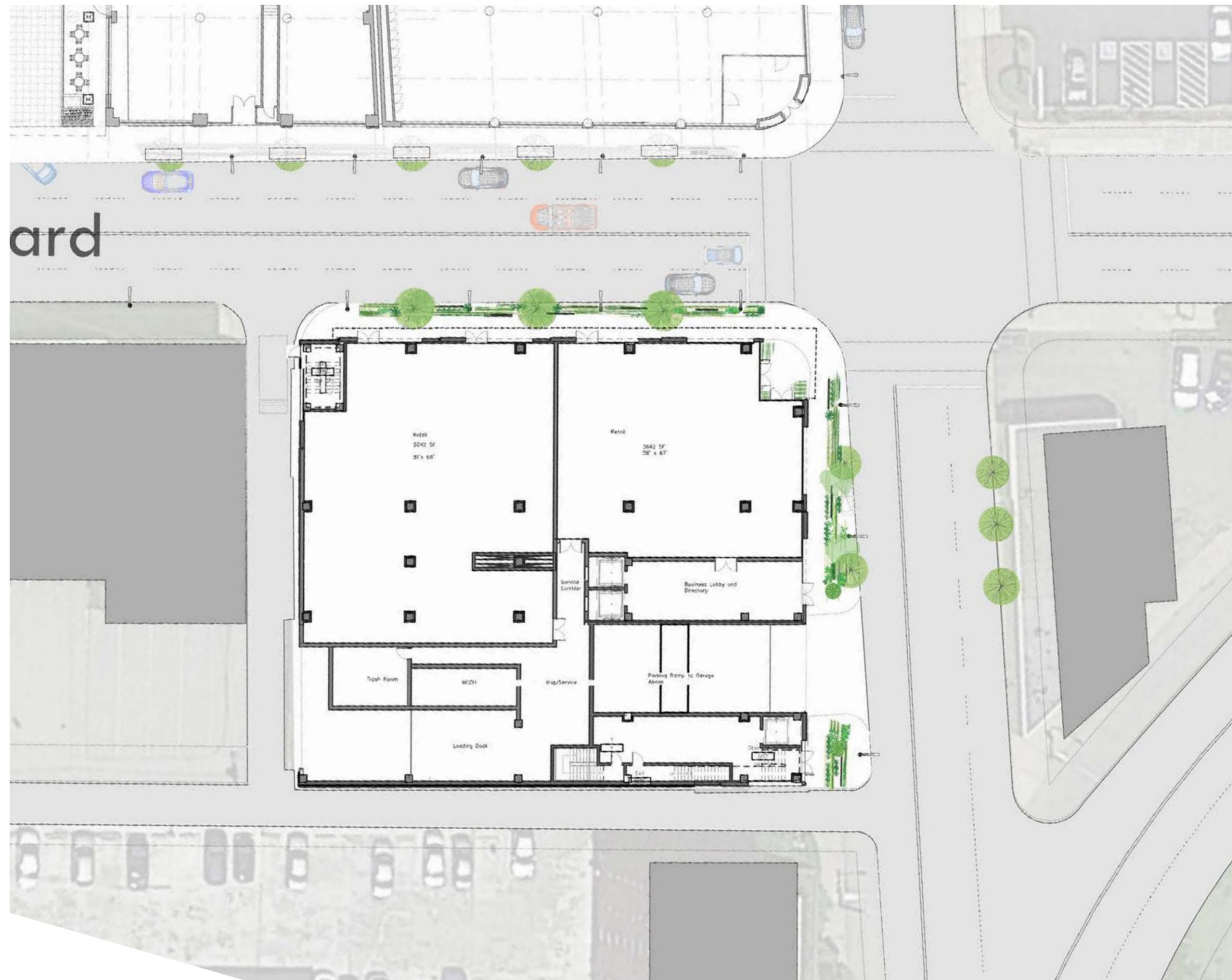
Totals:

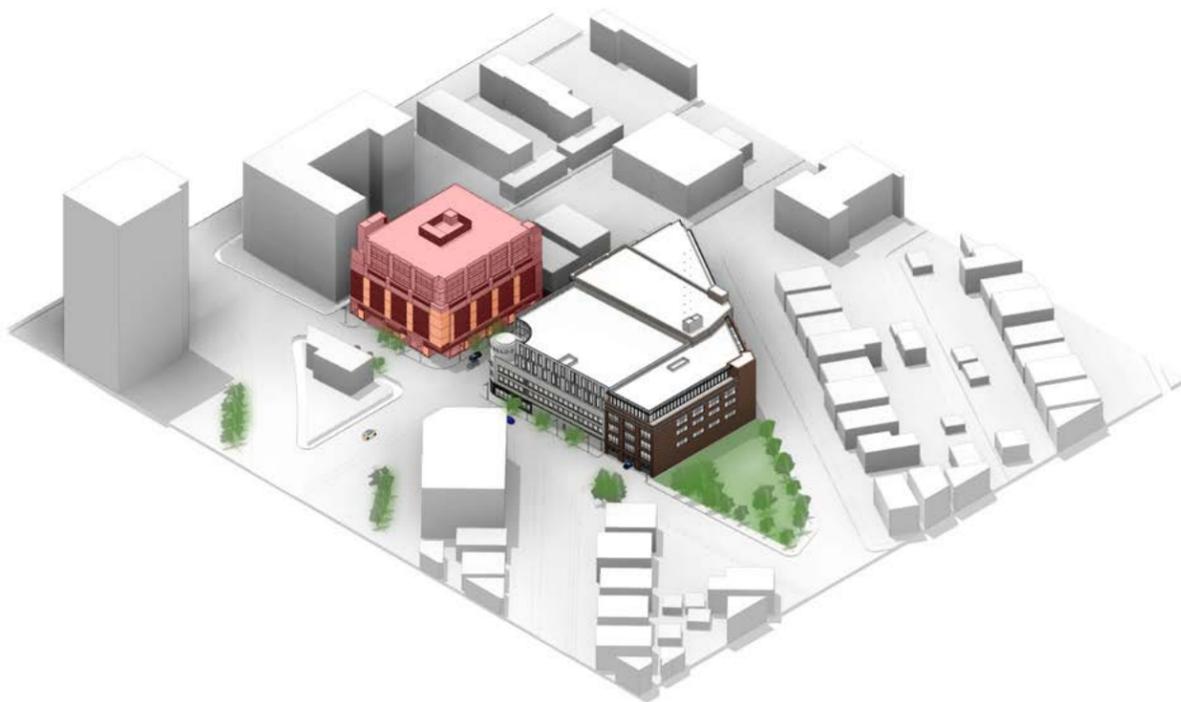
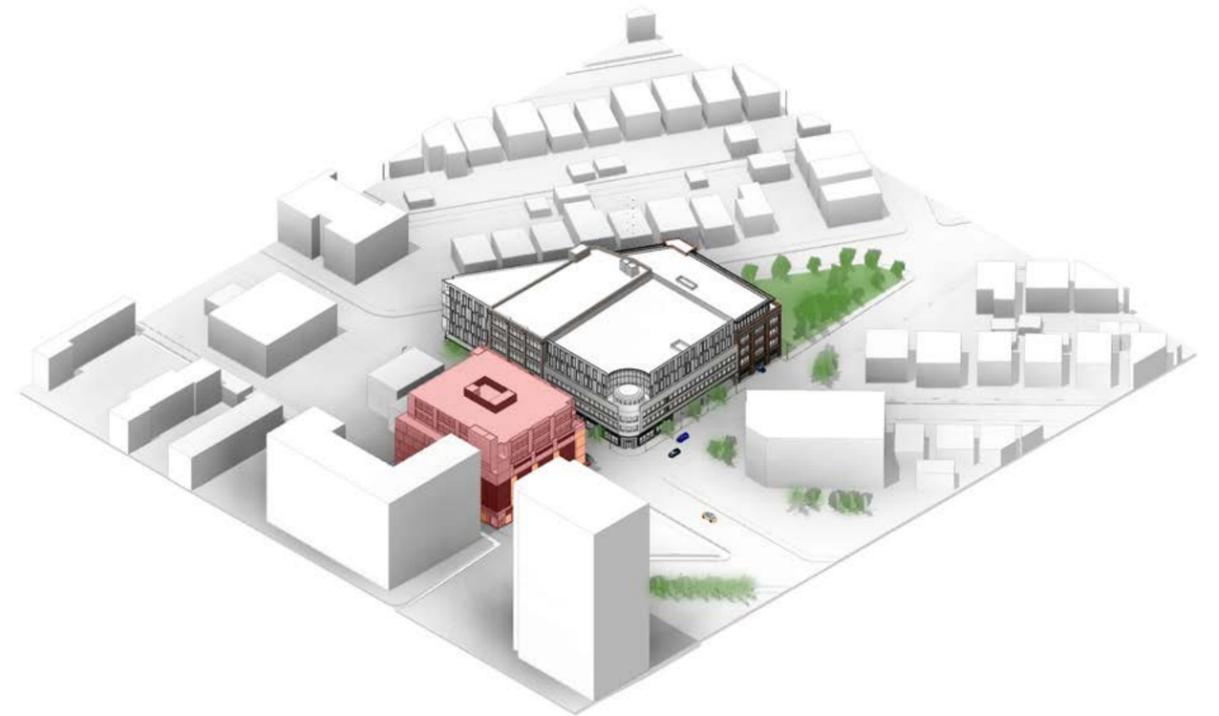
Office 26,414 gsf.

Retail Sales 8,811 gsf.

Restaurant 2,368 gsf.

Total New sf: 37,593 gsf.





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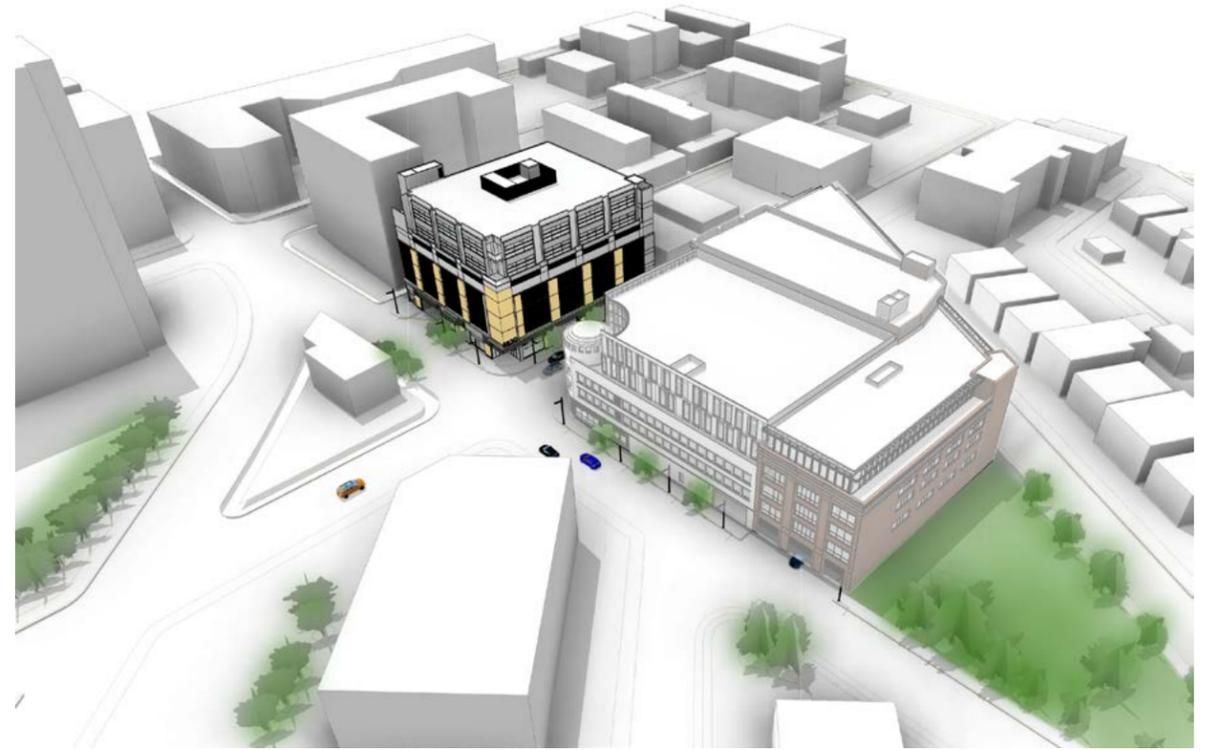
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Axonometric Views

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Aerial Perspectives

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Corner of Baum Blvd. and Roup Ave.

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View of Garage from Baum Blvd.

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Line Rendering From Baum Blvd. ⁹

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View of Expansion Along Roup Ave.

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View Key



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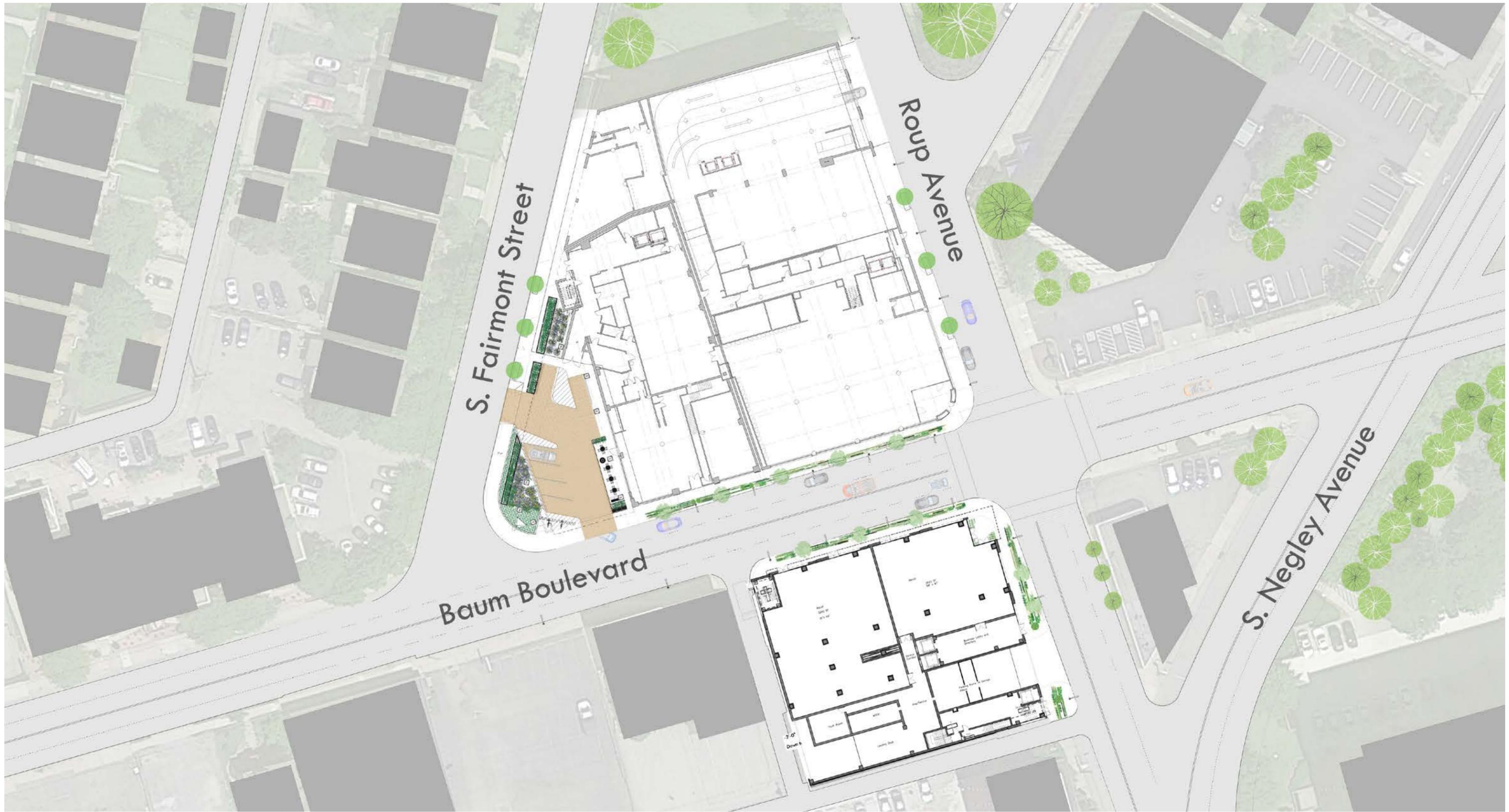
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Night View of along Baum Blvd.

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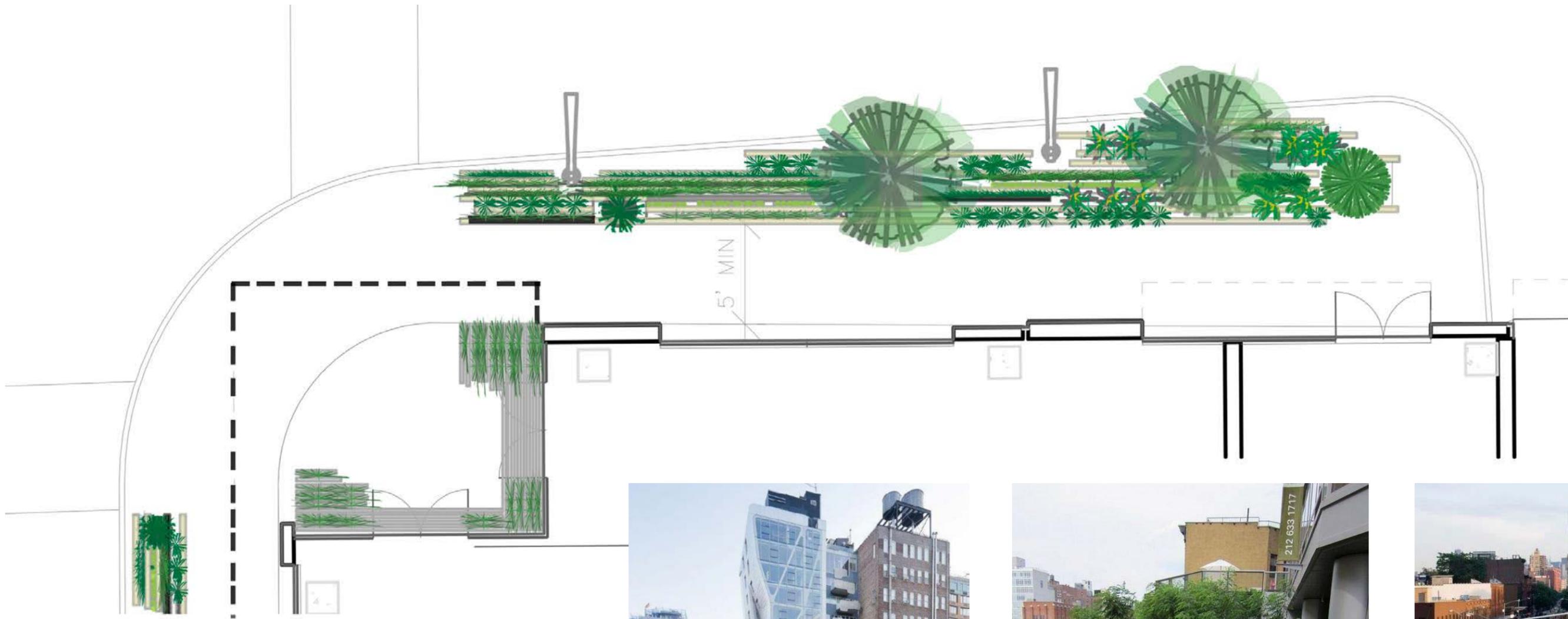
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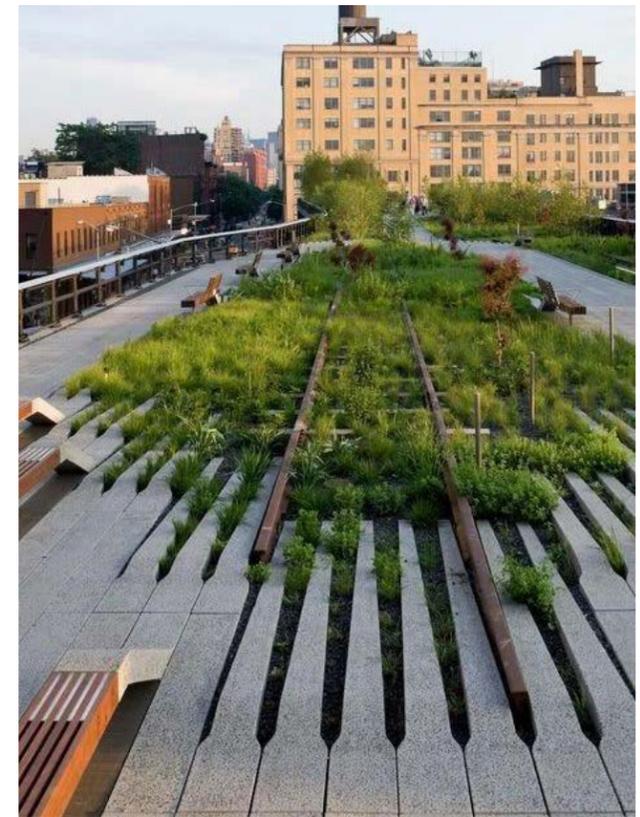


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Images of the High Line Park, New York, NY
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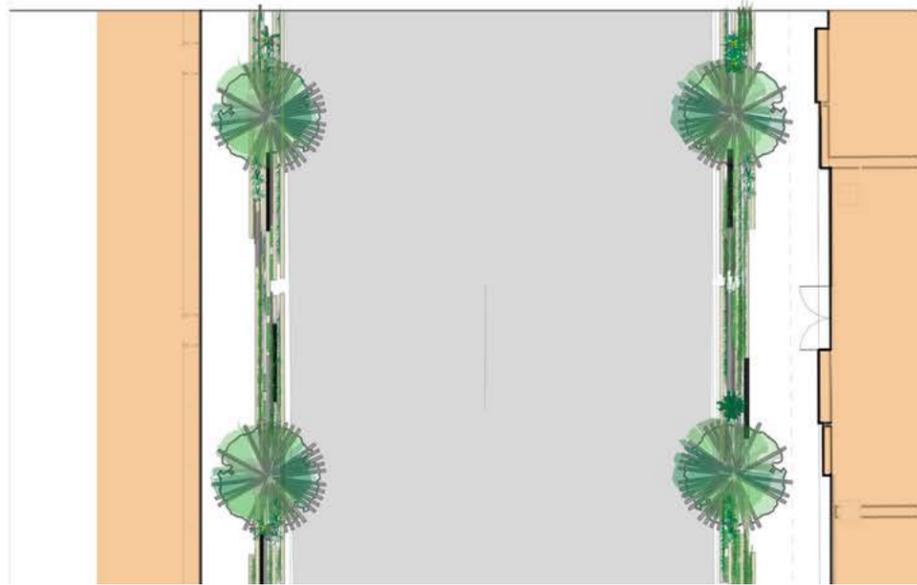
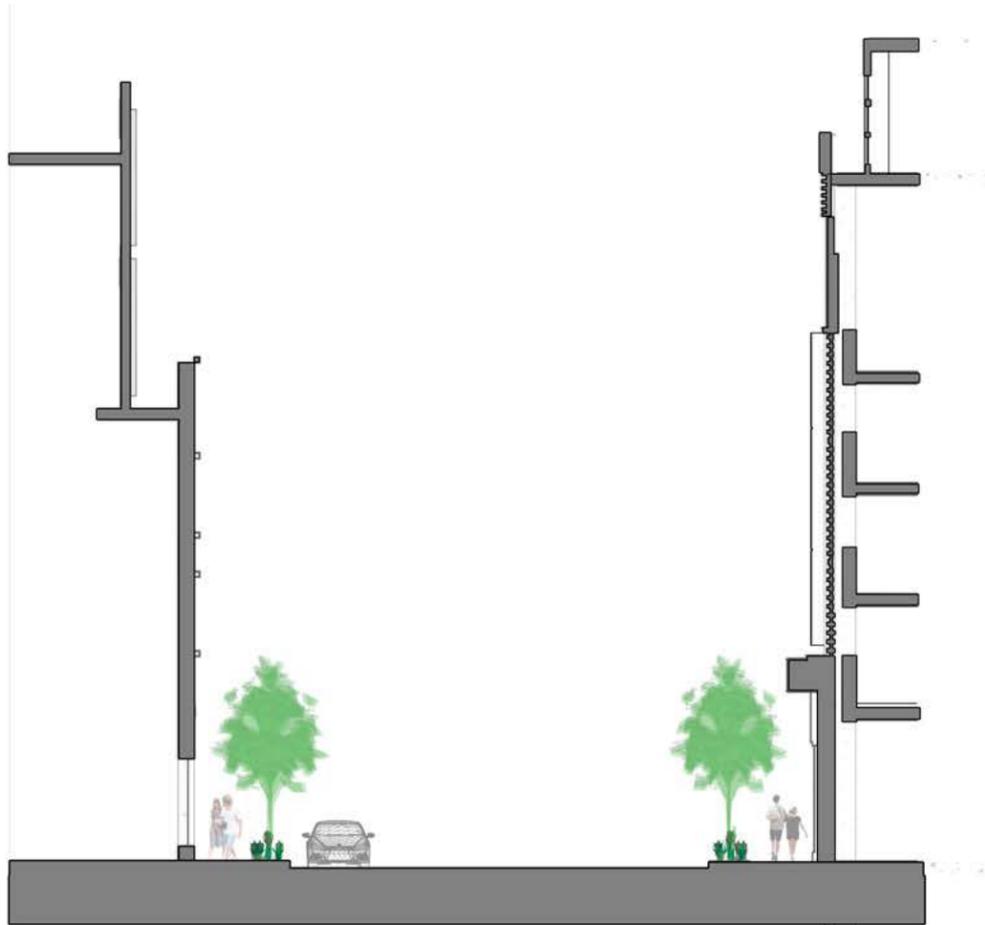
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Streetscape Details

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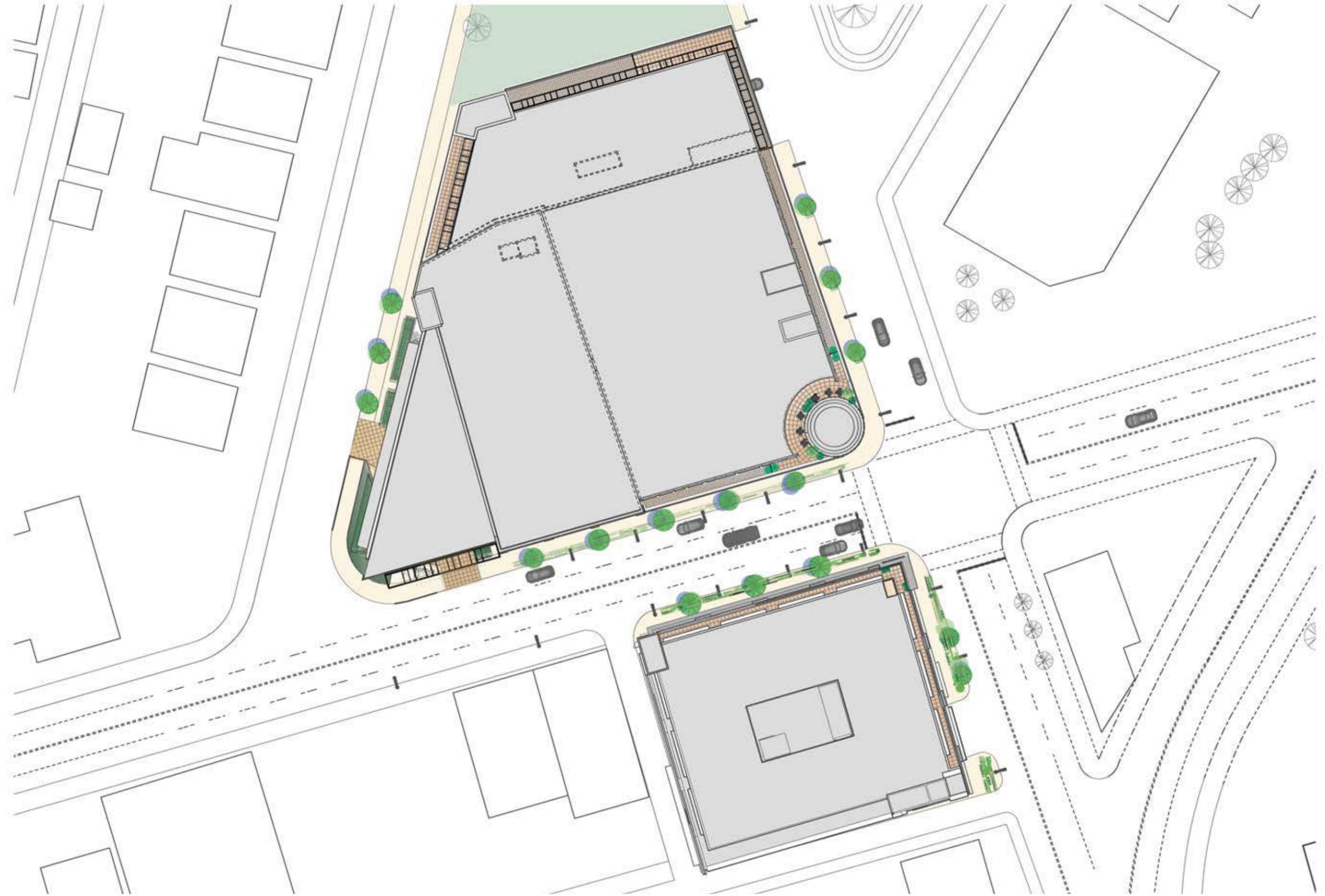
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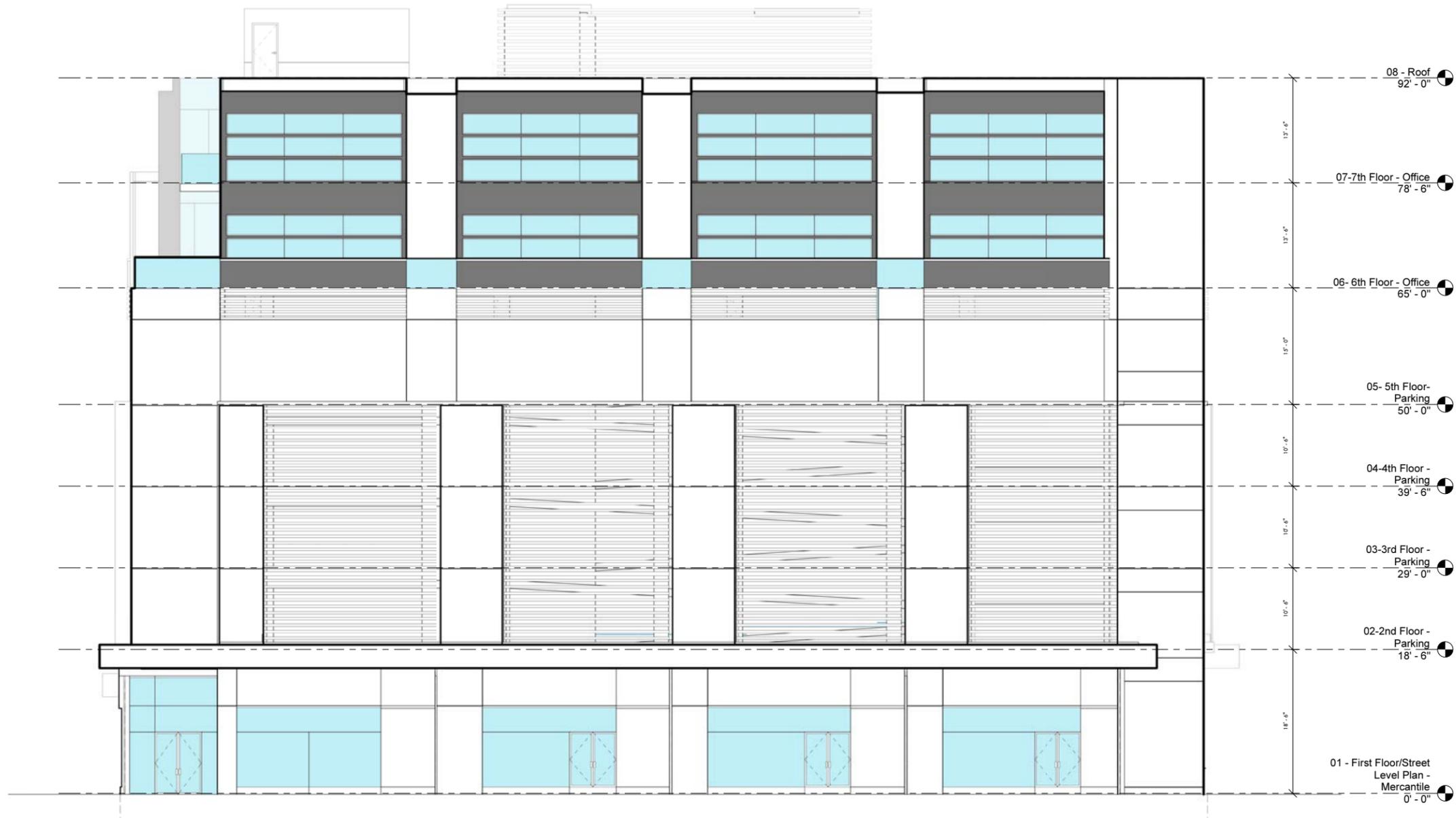
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Roof Plan

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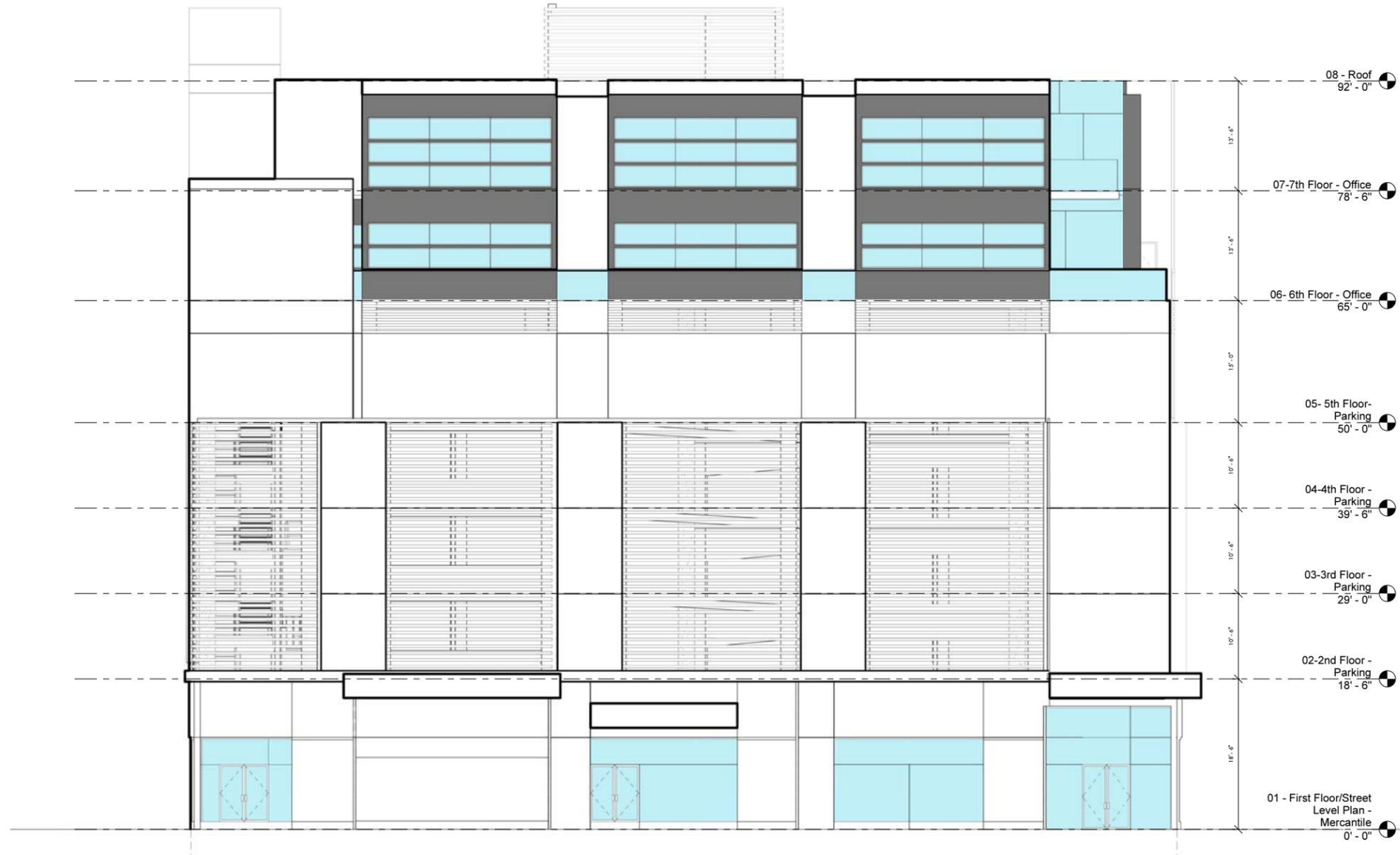
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North Elevation

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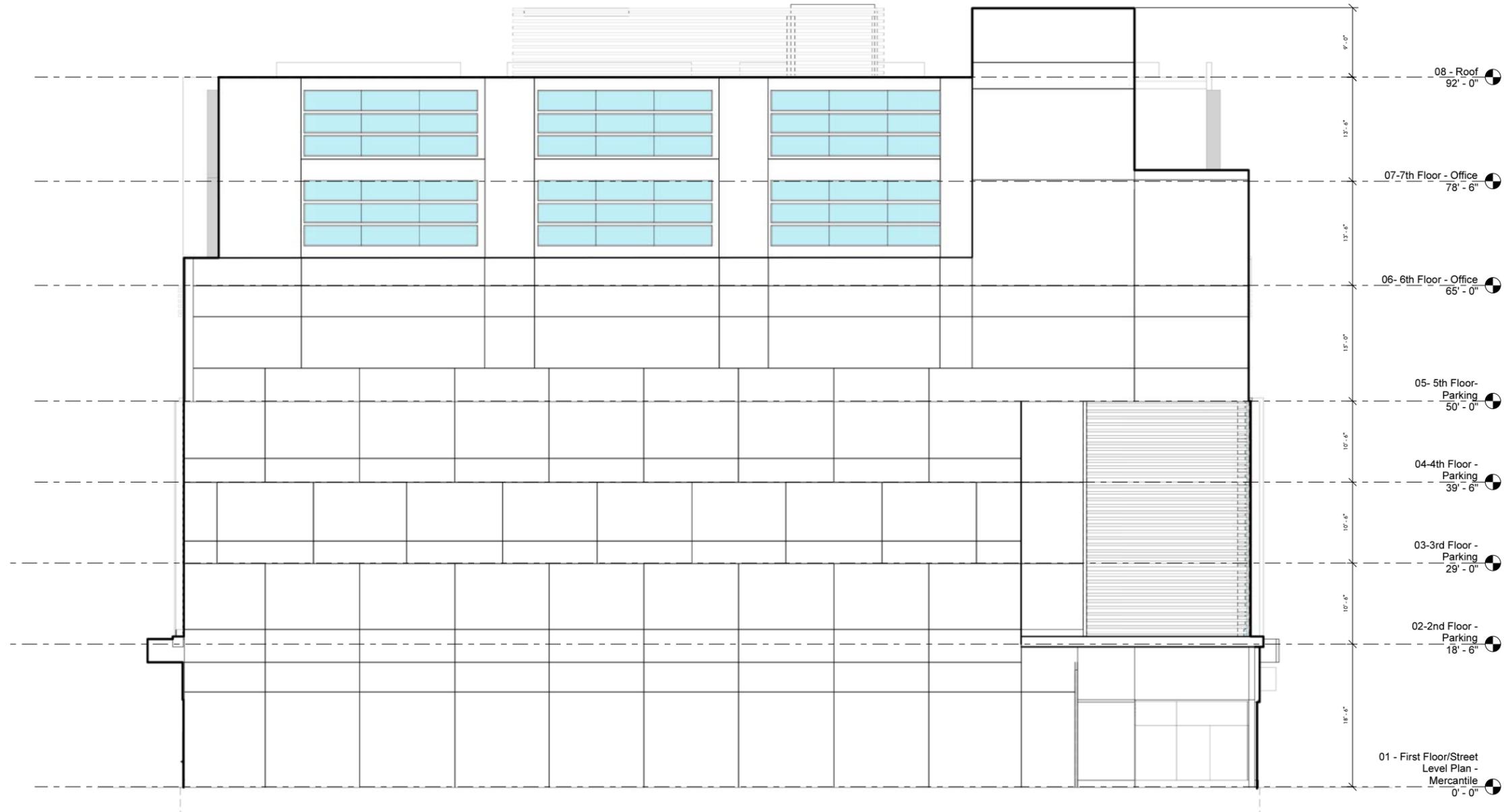
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East Elevation

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South Elevation

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West Elevation

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View 1



View 2



View 3

View 4



View 5



View Legend





View 6



View 7



View 8

View 9



View 10



View Legend



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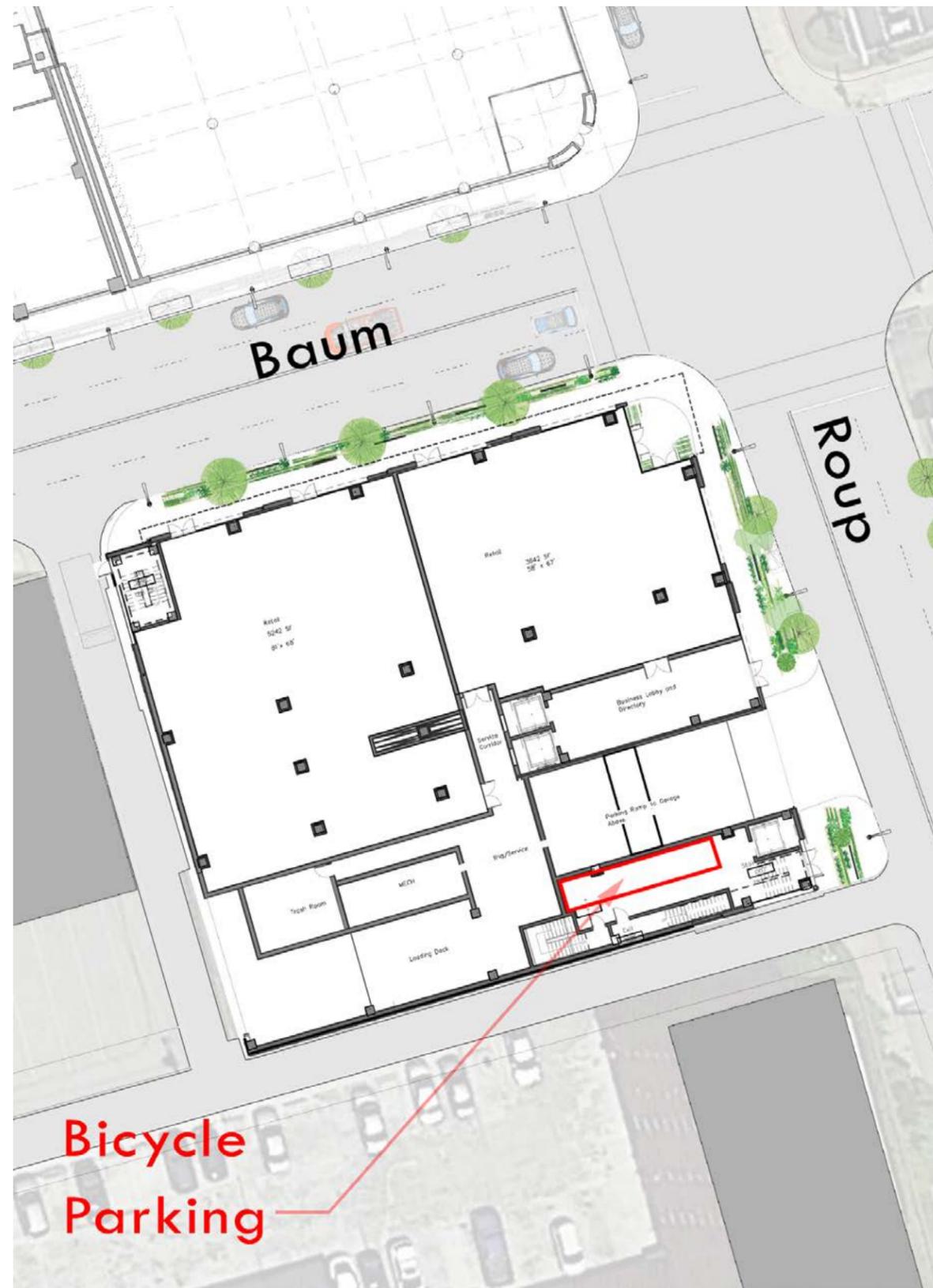
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Existing Site Context

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**Bicycle
Parking**



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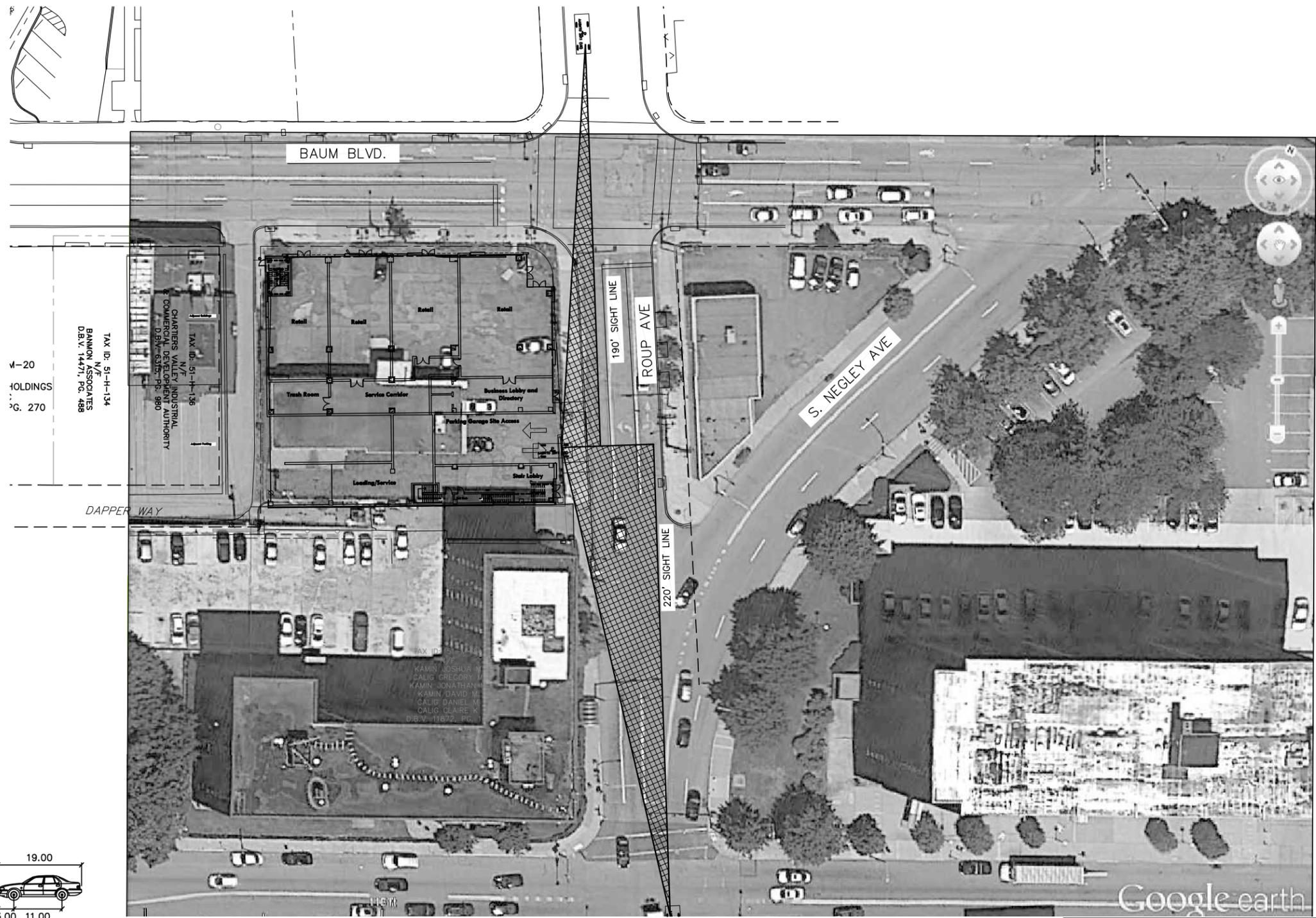
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Bicycle Parking ²²

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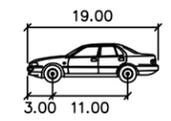
4-20
HOLDINGS
G. 270

TAX ID: 51-H-134
N/E
BANKM ASSOCIATES
DIST. 1471, PG. 488

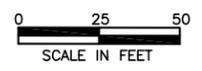
TAX ID: 51-H-136
CHARTERS VALLEY INDUSTRIAL
COMMERCIAL DEVELOPMENT AUTHORITY
D.B.V. 6315, PG. 980

DAPPER WAY

TAX ID:
KAMIN JOSHUA M
CALIG GREGORY F
KAMIN JONATHAN
KAMIN DAVID M
CALIG DANIEL M
CALIG CLAIRE K
D.B.V. 11672, PG.



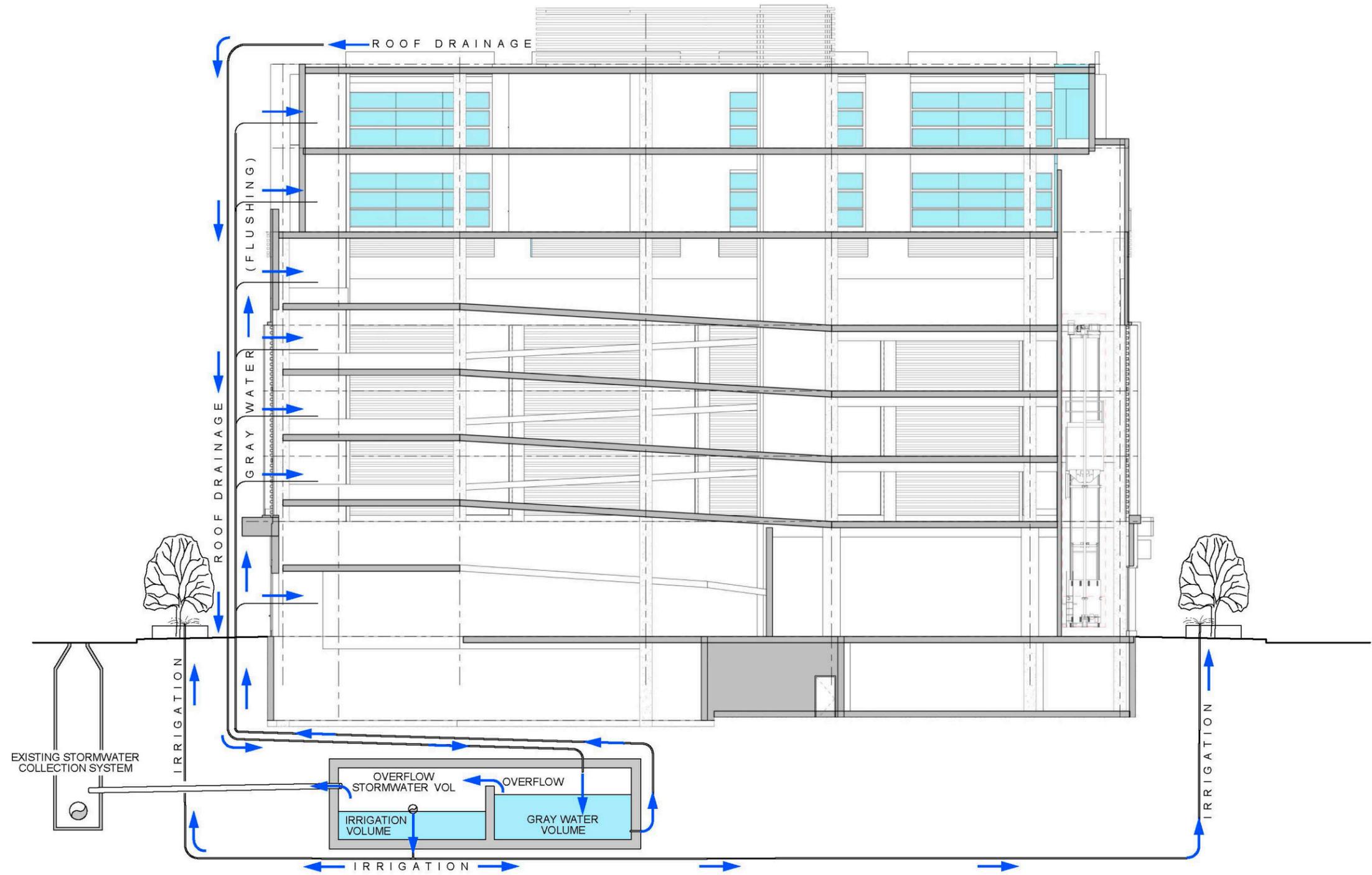
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Lock to Lock Time	: 6.0
Steering Angle	: 31.6



David E. Wooster and Associates, Inc.
2 East Crafton Avenue
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