



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Healthcare Trust of America		Phone Number: ()	
Address: 201 North Pennsylvania Parkway, Suite 201		City/State: Indianapolis, IN Zip Code: 46280	
2. Applicant/Company Name: LGA Partners		Phone Number: ()	
Address: 1425 Forbes Avenue,		State: Pittsburgh, PA Zip Code: 15219	
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Penn Avenue Place (Highmark offices)			
4. Development Location: Golden Triangle District C			
5. Development Address: 501 Penn Avenue, Pittsburgh, PA 15222			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property: Office (general)
8. Estimated Construction:		Start Date: 2 / 1 / 16	Completion/ Occupancy Date: 8 / 1 / 17 Project Cost: \$ 2.5 million

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): **Office (general)**

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development:
The project involves the repair and replacement of the monumental decorative cornice at Penn Avenue Place, the former Horne's Department Store Building. The scope of work includes the complete removal and replacement of the existing tin cornice at the facility, replacing it in-kind with a cast glass-fiber reinforced plastic assembly, molded from the original profile.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: +/- 700 linear feet sq ft (existing cornice)
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: _____ sq ft
 To be Constructed: +/- 700 linear feet sq ft (replacement cornice)
 Building Footprint: _____ sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	8	130	n/a	n/a
Proposed Addition/Extension			n/a	n/a

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: n/a Proposed: n/a

17. Lot Area: 76,000 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<p><u> 0 </u> New Water Service Connection(s)</p> <p><u> 0 </u> New Sewer Service Connection(s)</p>	<p><u> 0 </u> Termination of Existing Water Service Tap(s)</p> <p><u> 0 </u> Termination of Existing Sewer Service Tap(s)</p>
---	---

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street
 Private Property
 Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



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Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



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DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html

CORNICE RESTORATION
PENN AVENUE PLACE

HEALTHCARE MANAGEMENT OF AMERICA, INC
 501 PENN AVENUE
 PITTSBURGH, PA 15213

OWNER
 HEALTHCARE TRUST OF AMERICA
 201 N. PENNSYLVANIA PARKWAY
 SUITE 201
 INDIANAPOLIS, IN 46280

CONSULTANT
 KEYSTONE STRUCTURAL SOLUTIONS
 8150 PERRY HIGHWAY
 SUITE 302
 PITTSBURGH, PA 15237

CONSULTANT

lga PARTNERS
 1425 Forbes Ave. Suite 400 Pittsburgh, PA 15219
 P 412.243.3400 F 412.224.4747

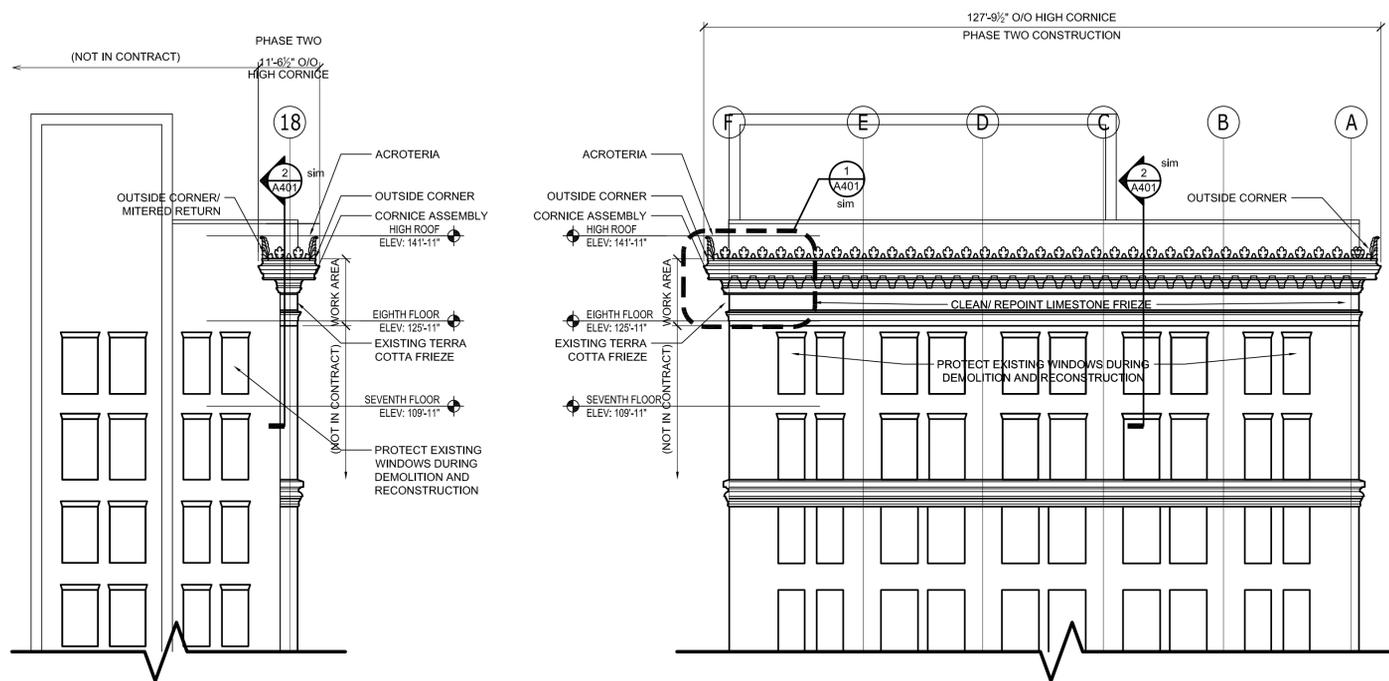
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NO.	DATE	DESCRIPTION

BUILDING ELEVATIONS

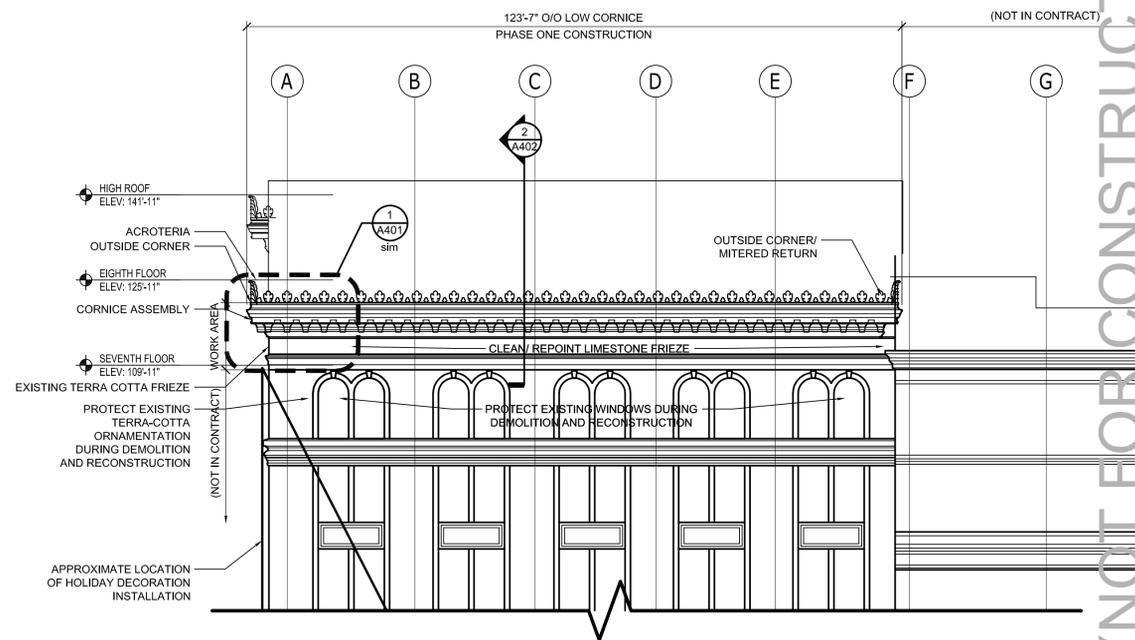
A201

GRAPHIC SCALE: 1/16" = 1'-0"
 0 2' 4' 8' 16' 32' 48'

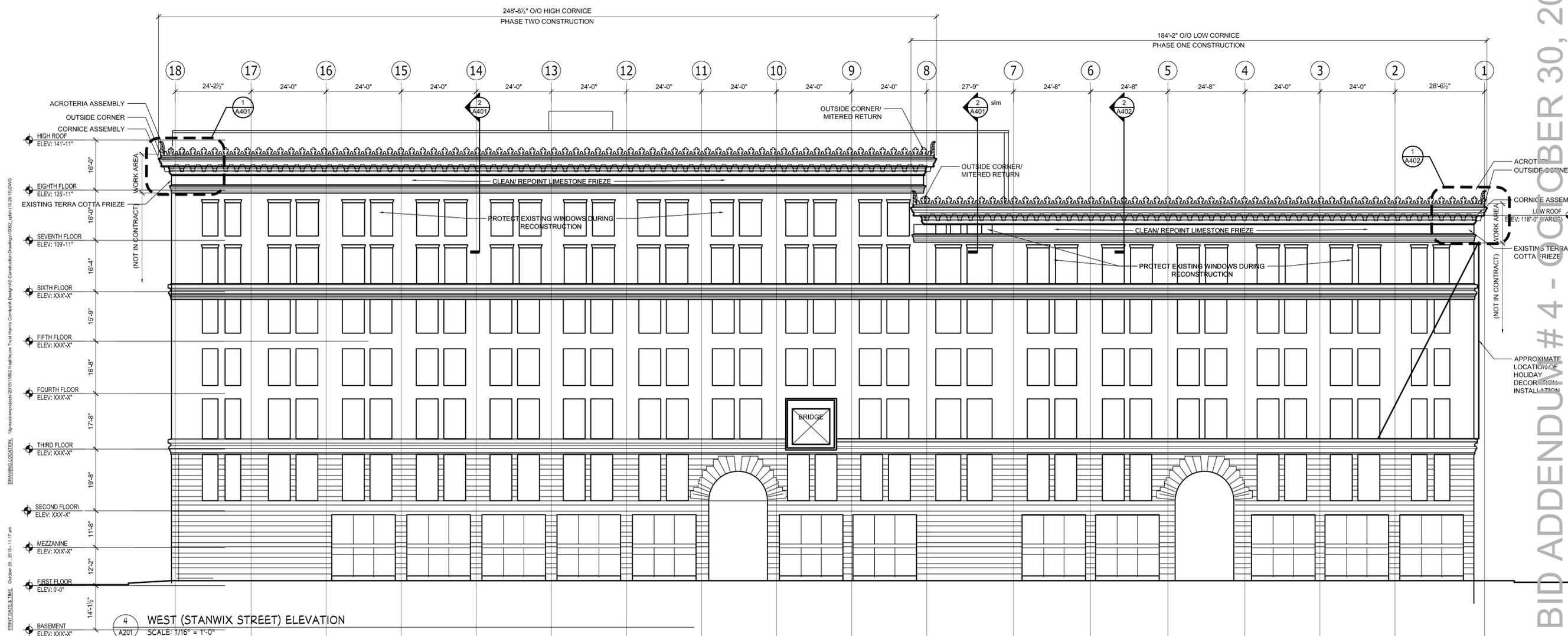


1 EAST (CECIL WAY) ELEVATION
 SCALE: 1/16" = 1'-0"

2 NORTH (FORT DUQUESNE BLVD) ELEVATION
 SCALE: 1/16" = 1'-0"



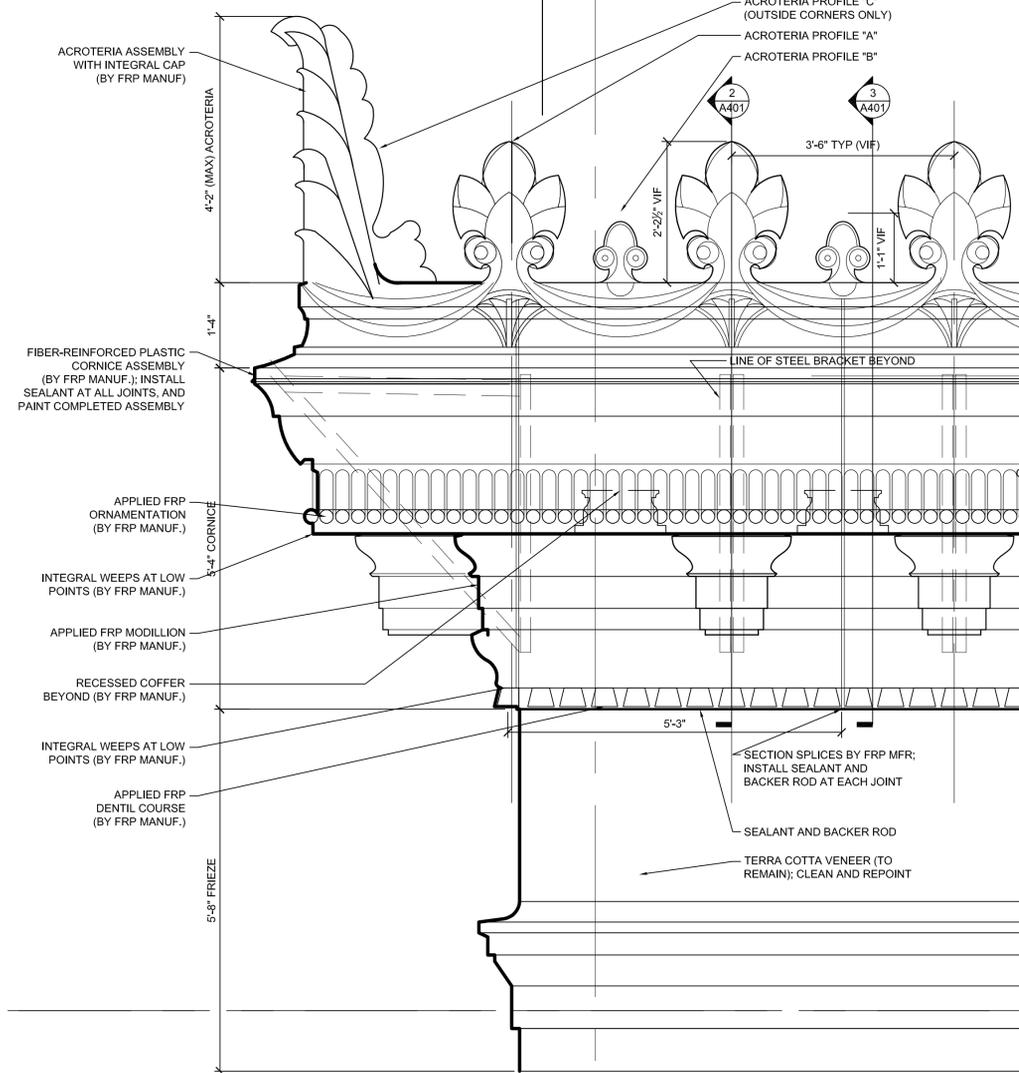
3 SOUTH (PENN AVENUE) ELEVATION
 SCALE: 1/16" = 1'-0"



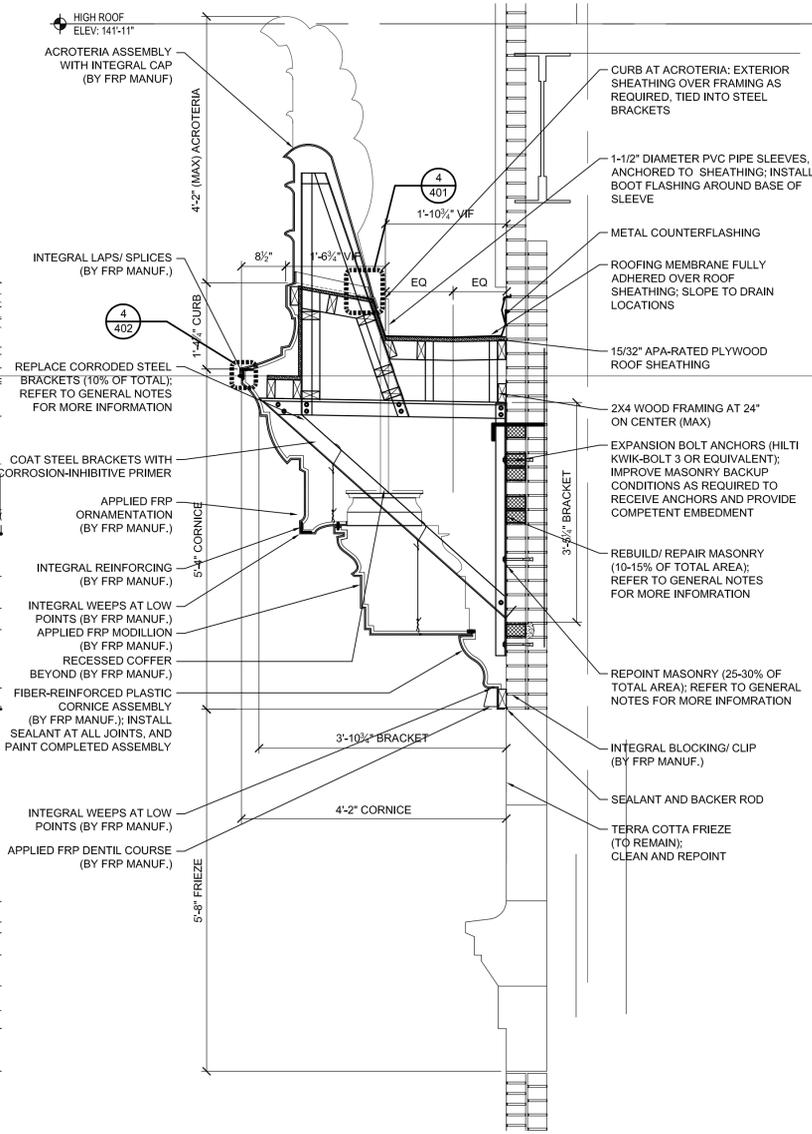
4 WEST (STANWIX STREET) ELEVATION
 SCALE: 1/16" = 1'-0"

BID ADDENDUM # 4 - OCTOBER 30, 2015 (NOT FOR CONSTRUCTION)

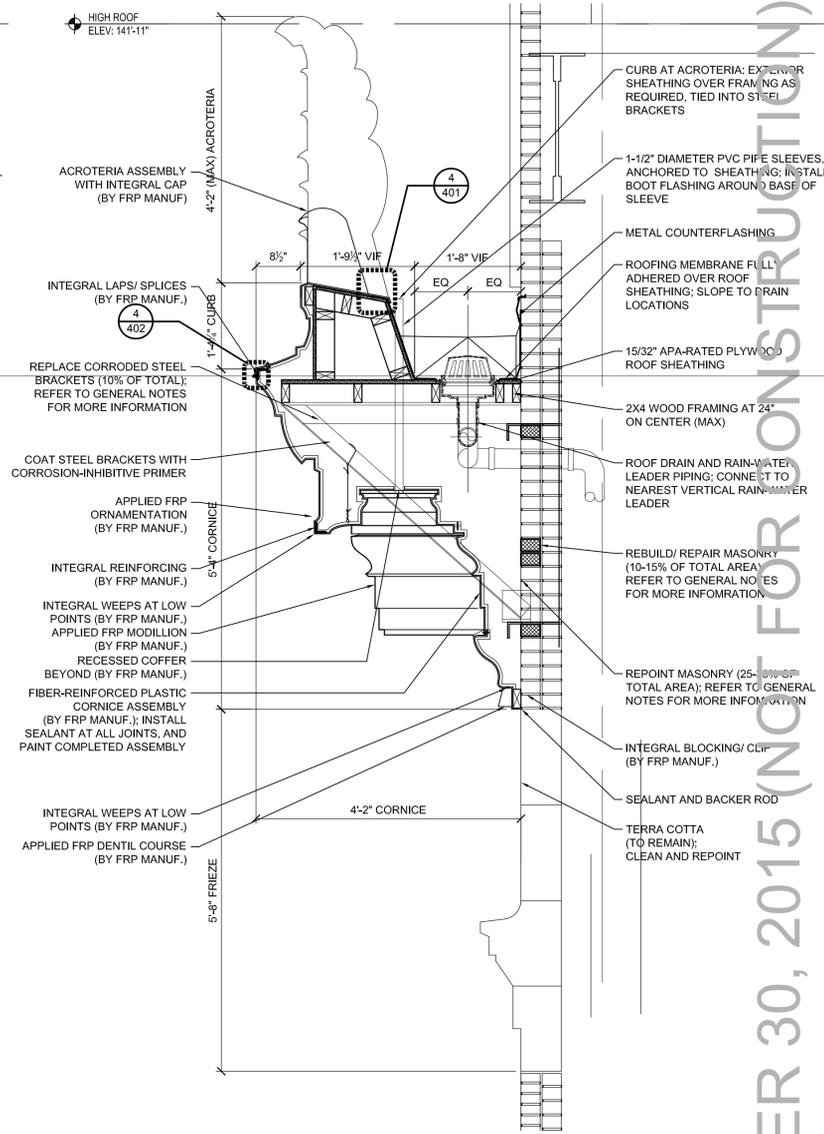
PRINT DATE & TIME: October 29, 2015 - 11:17 AM
 DRAWING LOCATION: I:\projects\15062\Healthcare_Trust_Horn_Cornice_Acrotaria_Design\0502_248x180x15.DWG



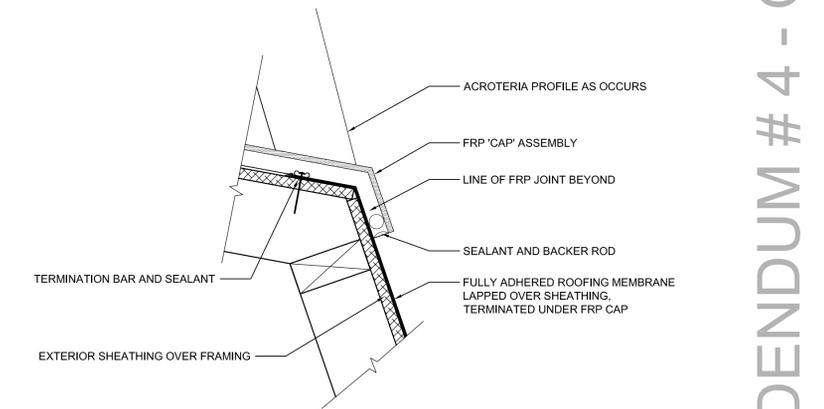
1 CORNICE DETAIL (ELEVATION)
SCALE: 3/4" = 1'-0"



2 CORNICE DETAIL (HIGH)
SCALE: 3/4" = 1'-0"



3 CORNICE DETAIL (HIGH)
SCALE: 3/4" = 1'-0"



4 CAP DETAIL
SCALE: 3" = 1'-0"

CORNICE RESTORATION
PENN AVENUE PLACE

HEALTHCARE MANAGEMENT OF AMERICA, INC
501 PENN AVENUE
PITTSBURGH, PA 15213

OWNER
HEALTHCARE TRUST OF AMERICA
201 N. PENNSYLVANIA PARKWAY SUITE 201
INDIANAPOLIS, IN 46280

CONSULTANT
KEYSTONE STRUCTURAL SOLUTIONS
8150 PERRY HIGHWAY SUITE 302
PITTSBURGH, PA 15237

CONSULTANT

lga PARTNERS
1425 Forbes Ave. Suite 400 Pittsburgh, PA 15219
P 412.243.3430 F 412.224.4747

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NO.	DATE	DESCRIPTION

DATE: 10-08-15
DRAWN BY: SES
PROJECT NO.: 15062
FILE NAME: 15062_sesn (10.28.15).DWG

DETAILS
HIGH ROOF AREA
PHASE TWO

A401

GRAPHIC SCALE: 3/4" = 1'-0"

BID ADDENDUM # 4 - OCTOBER 30, 2015 (NOT FOR CONSTRUCTION)

DRAWING LOCATION: \pgh\new\pgh\0115062\Healthcare Trust\Henn's Cornice\Detail\Design\0902_sesn (10.28.15).DWG
PRINT DATE & TIME: October 29, 2015 - 11:59 am



Legislation Details (With Text)

File #: 2015-2186 **Version:** 2

Type: Ordinance **Status:** Held In Council

File created: 11/2/2015 **In control:** Committee on Hearings

On agenda: 11/2/2015 **Final action:**

Enactment date: **Enactment #:**

Effective date:

Title:

Sponsors: Deborah L. Gross

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
11/10/2015	2	Standing Committee	Held for Public Hearing	Pass
11/10/2015	2	Standing Committee	Read and referred	Pass
11/10/2015	2	Standing Committee	AMENDED	Pass
11/2/2015	1	City Council	Read and referred	

Ordinance amending and supplementing the Pittsburgh Code, Title Nine, Zoning Code, Article V, Use Table, Section 911.02 to update the definition of Bed and Breakfast and Hotel/Motel uses, and to allow for Bed and Breakfast (Limited) and (General) uses in **GI**, **PO**, and **H** zoning districts.

Be it resolved that the Council of the City of Pittsburgh hereby enacts as follows:

Section 1. The Pittsburgh Code, Title Nine, Zoning Code, Article V, Use Regulations, is hereby amended at Chapter 911, Section 911.02, Use Table, as follows:

	R1	R1	R2	R3	RM	ND	LN	ND	UN	HC	GI	UI	PO	H	EM	GT	DR	
	D	A				O	C	I	C						I			

<p>Bed and Breakfast means an occupied dwelling unit in which rooms are let on an overnight basis as the temporary abiding place of persons who have residences elsewhere.</p>																		
<p>Bed and Breakfast (Limited) means a Bed and Breakfast use containing one to three guest rooms.</p>	S	S	S	S	S	P	P	P	P	P		P	<u>A</u>		A	P	P	A.7 ; A.8

Section 2. The Pittsburgh Code, Title Nine, Zoning Code, Article V, Use Regulations, is hereby amended at Chapter 911, Section 911.04.A.8, Use Table, as follows:

(a) In Residential and Grandview Public Realm, **Park** and EMI Districts

Bed and Breakfast (Limited) uses shall be subject to the following standards in all residential, **Park** and Grandview Public Realm zoning districts:

Section 3. The Pittsburgh Code, Title Nine, Zoning Code, Article V, Use Regulations, is hereby amended at Chapter 911, Section 911.04.A.9, Use Table, as follows:

(a) In R2, RM, Grandview Public Realm, **Park** and EMI Zoning Districts.

Bed and Breakfast (General) uses shall be subject to the following standards in the RT, RM, **Park** and Grandview Public Realm Subdistricts:

CONDITIONAL USE # 776 - App # 796

City of Pittsburgh

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

12/1/15

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Yeshivath Achej Tammim of Pittsburgh Phone Number: ()

Address: 2100 Wightman City: Pittsburgh State: PA Zip Code: 15217

2. Applicant/Company Name: David Ton, Esq Phone Number: (412) 361-2381

Address: 1338 N. Shoreline City: Pittsburgh State: PA Zip Code: 15206

Applicant/Contractor ID: (assigned by the City)

3. Development Name:

4. Development Location: 2120 Wightman Street

5. Development Address: 2120 Wightman Street

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:

Present Use of Site: (Select from attached list) 1, 97, & 110

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy #: 68801 Date Issued: 11/24/1995 Existing Use of Property: residential / church school

8. Estimated Construction: Start Date: 5/1/2016 Occupancy Date: 9/1/2016 Project Cost: \$

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Multi-suite Residential (limited) with 1 d.o.

10. Select the Type of Work:
- New Construction, New Renovation, Interior
- New Construction, Renovation, Exterior
- Change in Use Only Renovation, Change in Use

11. Describe the Development: minor rehabilitation of existing building to create one dwelling unit on first floor and four sleeping rooms for multi-suite residential on 2nd and 3rd floors.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: _____ sq ft
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: _____ sq ft
 To be Constructed: _____ sq ft
 Building Footprint: _____ sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	2 1/2		2 1/2	
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

Concrete Block Garage				

16. Number of Dwelling Units:
 Existing to Remain: 1 Proposed: 1 + 4 sleeping rooms

17. Lot Area: 4031 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	1	see attachment
Compact (7 1/4' x 16')		A
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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DEVELOPMENT REVIEW APPLICATION

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For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- | | |
|--|---|
| <u>0</u> New Water Service Connection(s) | <u>0</u> Termination of Existing Water Service Tap(s) |
| <u>0</u> New Sewer Service Connection(s) | <u>0</u> Termination of Existing Sewer Service Tap(s) |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

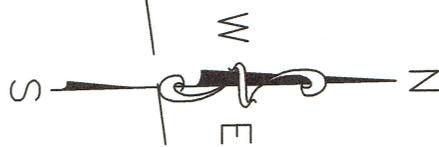
25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:

SURVEY OF PART OF LOT NO. 30
IN SCHENLEY HEIGHTS PLAN OF LOTS
P.B.V. 20 PG. 102

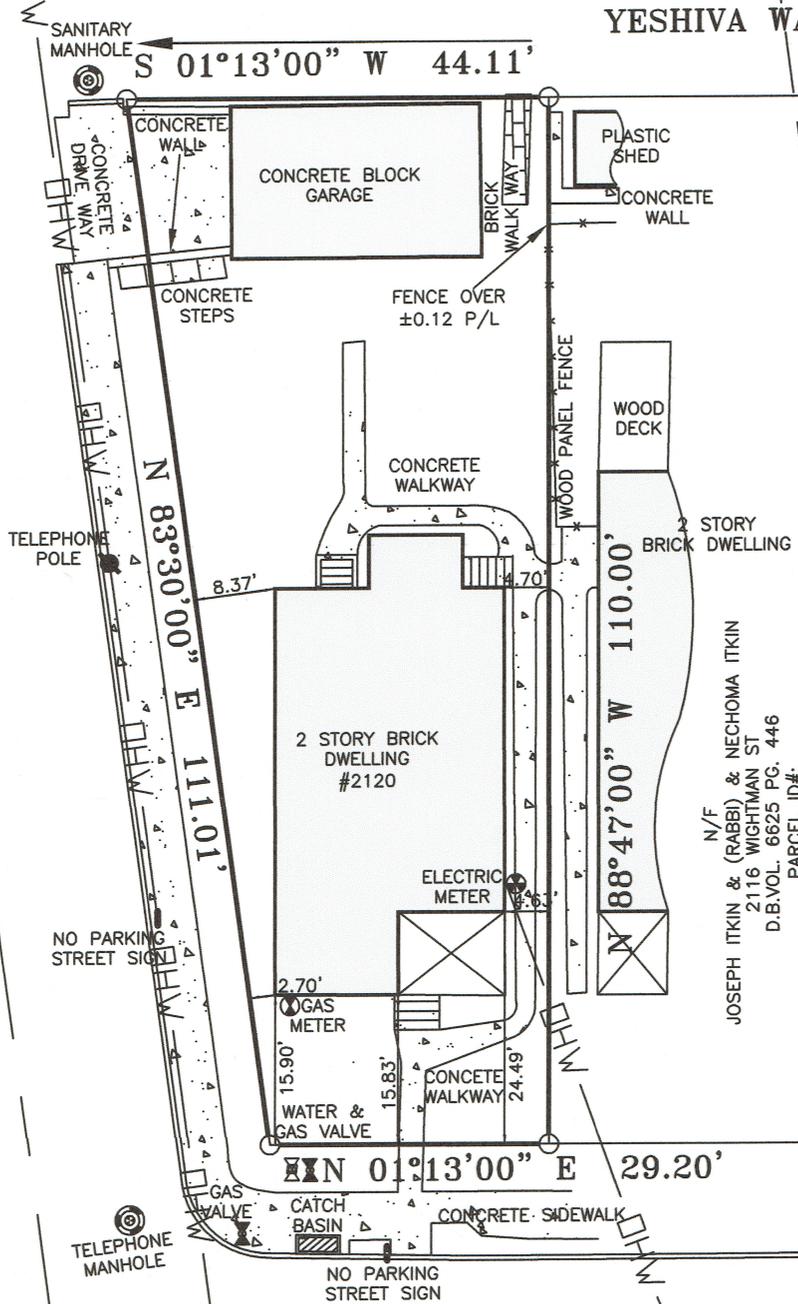


LOT #30

ORIGINAL LOT LINE
COVODE STREET 50' R/W

YESHIVA WAY 15' R/W

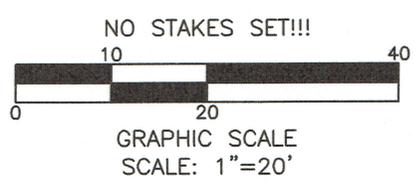
HOBART STREET



THIS AREA OF LOT #29%
VACATED FOR COVODE ROAD
R/W-COURT OF COMMON
PLEAS OF ALLEGHENY COUNTY
PROCEEDINGS NO. 1578
APRIL TERM 1928

N/F
JOSEPH ITKIN & (RABBI) & NECHOMA ITKIN
2116 WIGHTMAN ST
D.B.VOL. 6625 PG. 446
PARCEL ID#: 0087-B-000036-0000-00

IN CONSIDERATION OF THE ACCEPTANCE OF THIS PLAN OF SURVEY, I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF THAT THIS IS A CORRECT PLAN OF SURVEY MADE BY ME UPON THE PREMISES THE 18TH DAY OF NOVEMBER 2015, SHOWING ALL BUILDINGS, FENCES, AND OTHER EASEMENTS OR SERVITUDES APPARENT FROM SAID SURVEY.



DECLARATION IS MADE TO ORIGINAL PURCHASER OF THIS SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.



PLAN MADE FOR:
YESHIVATH ACHEI TMIMIM OF PGH INC

SCALE: 1"=20'	PARCEL ID#: 0087-B-00037-0000-00	DRAWN BY: LG/PM
DATE: 11-18-15	2120 WIGHTMAN ST (PIT14)	FIELDWORK BY: JWC/PM

SITUATE IN THE 14TH WARD OF THE CITY OF PITTSBURGH, COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA

CONVERSE SURVEYING
1901 SLEEPY HOLLOW ROAD, SOUTH PARK, PA 15129-9112

PHONE: 412-831-2114
FAX: 412-831-9817
EMAIL: JAMESWCONVERSE@YAHOO.COM



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Concord Sierra 1100 Hotel Partners, LP		Phone Number: (919) 278-1574	
Address: 11410 Common Oaks Dr. Suite 600	City: Raleigh	State: NC	Zip Code: 27614
2. Applicant/Company Name: Carl Hren/Concord Sierra 1100 Hotel Partners, LP		Phone Number: (919) 278-1574	
Address: 11410 Common Oaks Dr. Suite 600	City: Raleigh	State: NC	Zip Code: 27614
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: AC Hotel Smallman			
4. Development Location: Strip District			
5. Development Address: 1100 Smallman Street, Pittsburgh, PA 15222			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	No Change		
Present Use of Site: (Select from attached list)	81, 106		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: 08 / 01 / 2016	Occupancy Date: 11 / 30 / 2017	Project Cost: \$ N/A

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 68 - Hotel, 105 - Retail (limited)

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: 7-story 133 room hotel with parking below. The hotel will include a mix of king, queen, and accessible guestrooms with various amenities including a fitness center, multiple meeting rooms and dining area with adjacent bar/lounge.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	10,550	sq ft
Existing to be Retained:	0	sq ft
Retained Area to be Renovated:	0	sq ft
To be Constructed:	97,156	sq ft
Building Footprint:	18,021	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	2	34'-6"	7	90
Proposed Addition/Extension			-	-

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: _____

17. Lot Area: 19,998.6 sq ft

18. On Site Parking: yes N/A

	Existing	Proposed
Full (8 1/2' x 19')	40	27
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		4

Off-Street Loading Spaces: N/A

Actual:	1	
Required:	1	

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition
 HVAC (Interior)
 HVAC (Exterior)
 Electrical
 Fire Alarm
 Fire Protection/Sprinklers
 Deck Construction
 Commercial Cooking Hood
 Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing
 New Construction of Plumbing
 No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<p><u> 1 </u> New Water Service Connection(s)</p> <p><u> 2 </u> New Sewer Service Connection(s) (1) storm, (1) sanitary</p>	<p><u> 1 </u> Termination of Existing Water Service Tap(s)</p> <p><u> 1 </u> Termination of Existing Sewer Service Tap(s)</p>
---	---

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
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26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: VP of Construction & Capital Assets -as agent for owner
Concord Sierra 1100 Hotel Partners LP



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



smallman street

pittsburgh, pennsylvania

planning commission briefing

november 24, 2015



contents

aerial view

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concept site plan

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parking requirement summary

transportation impact study

ground level plan

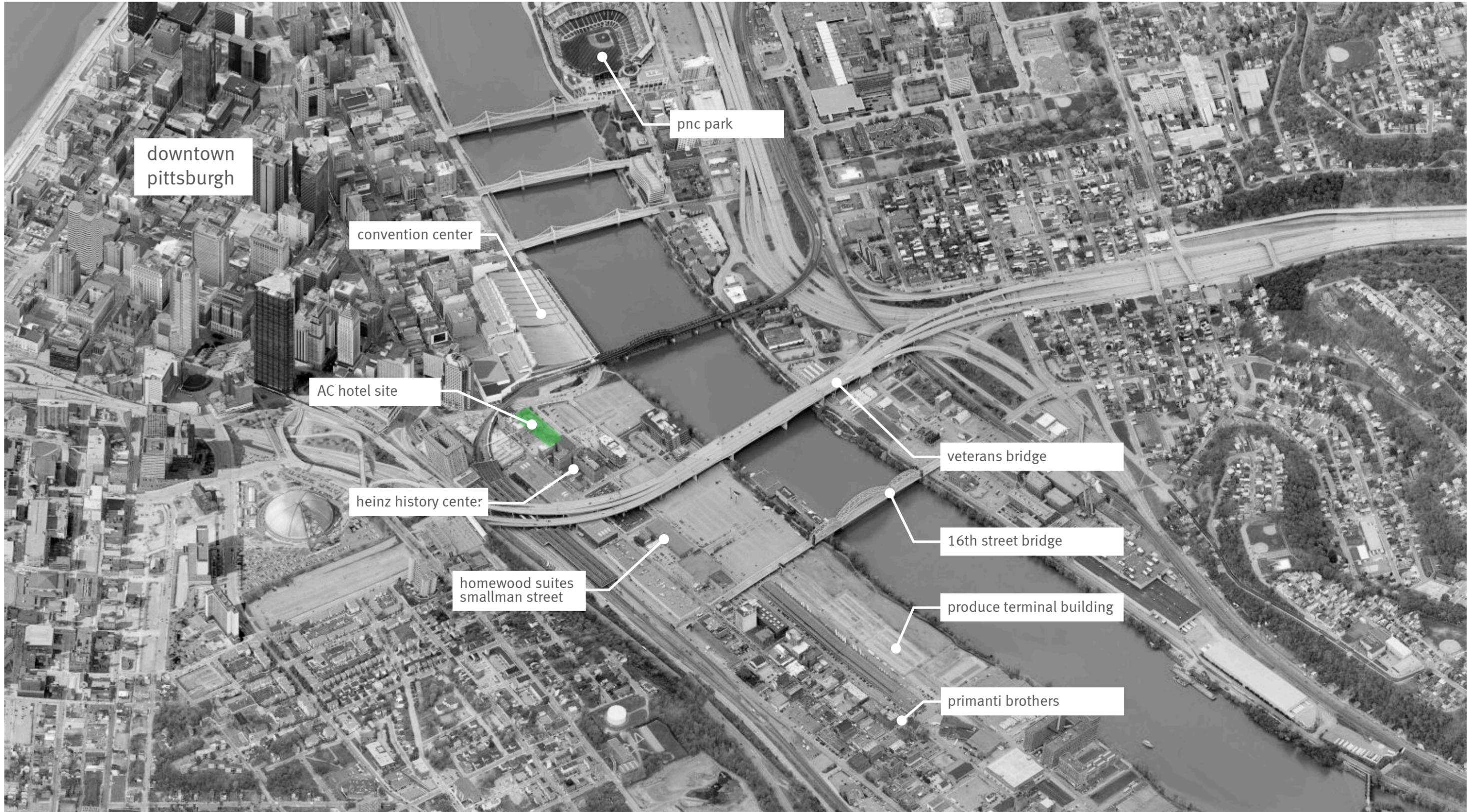
exterior elevations

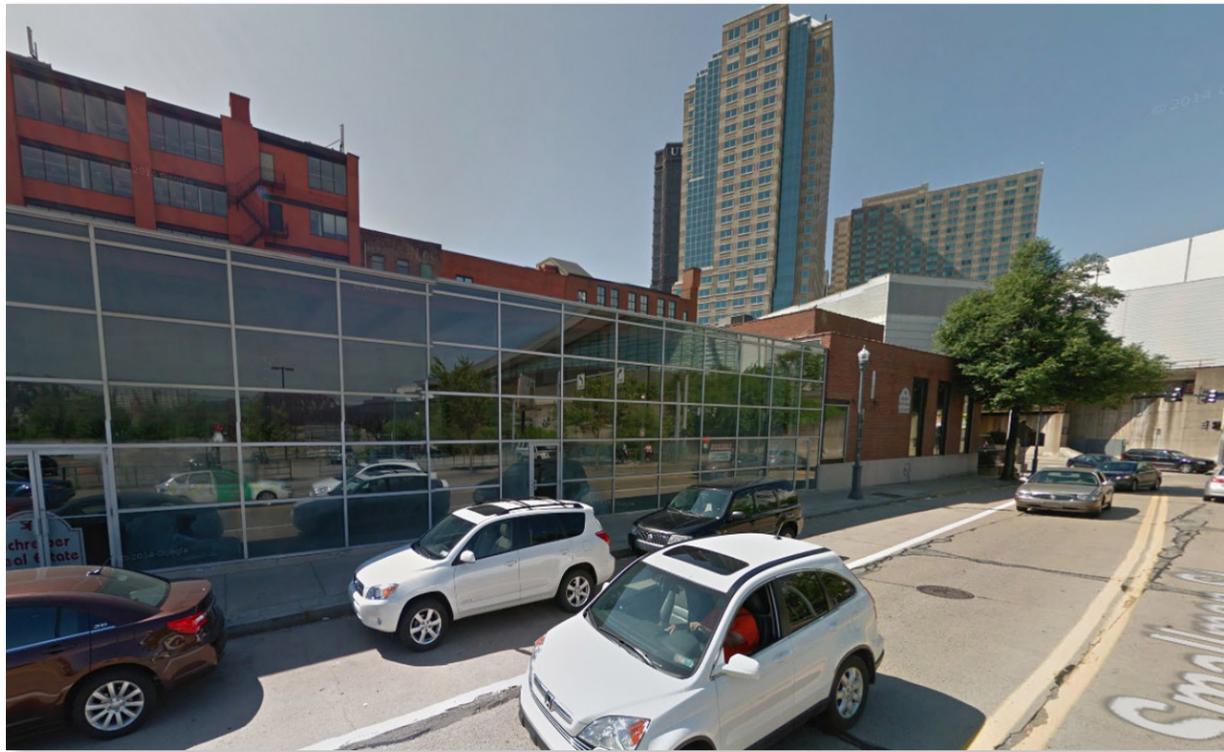
streetscape improvements

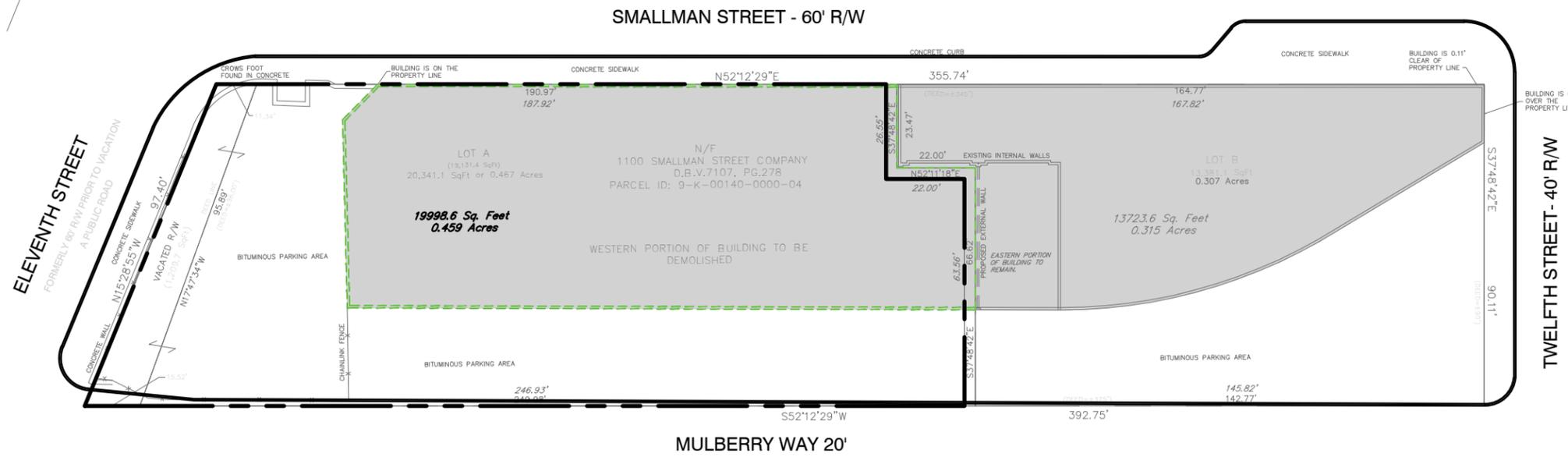
exterior finishes

material selections

3D renderings

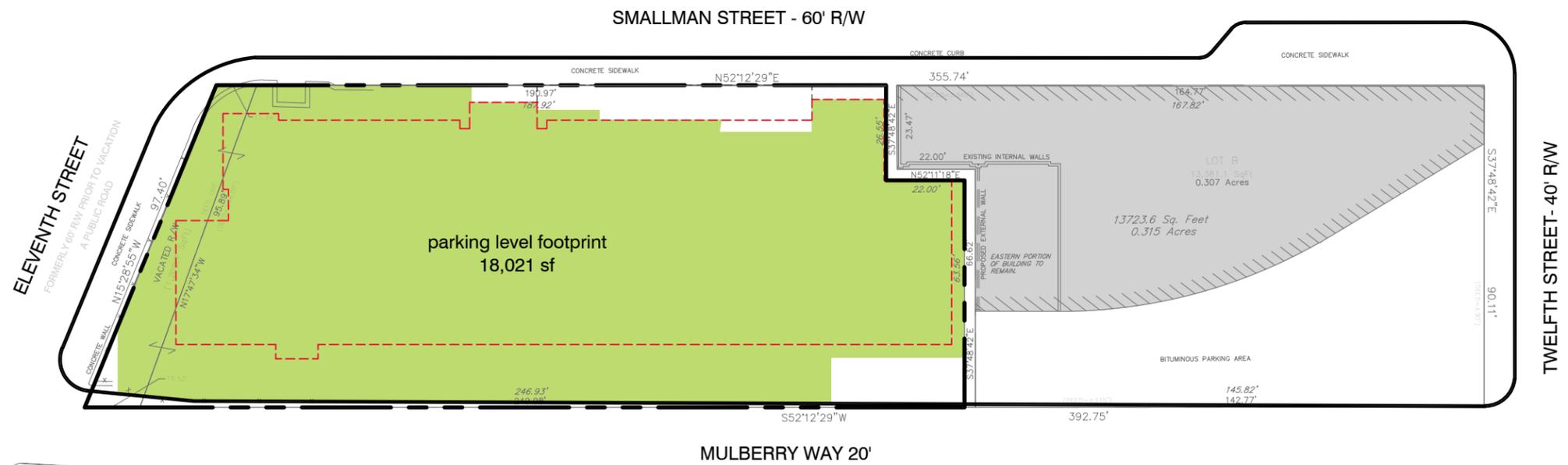






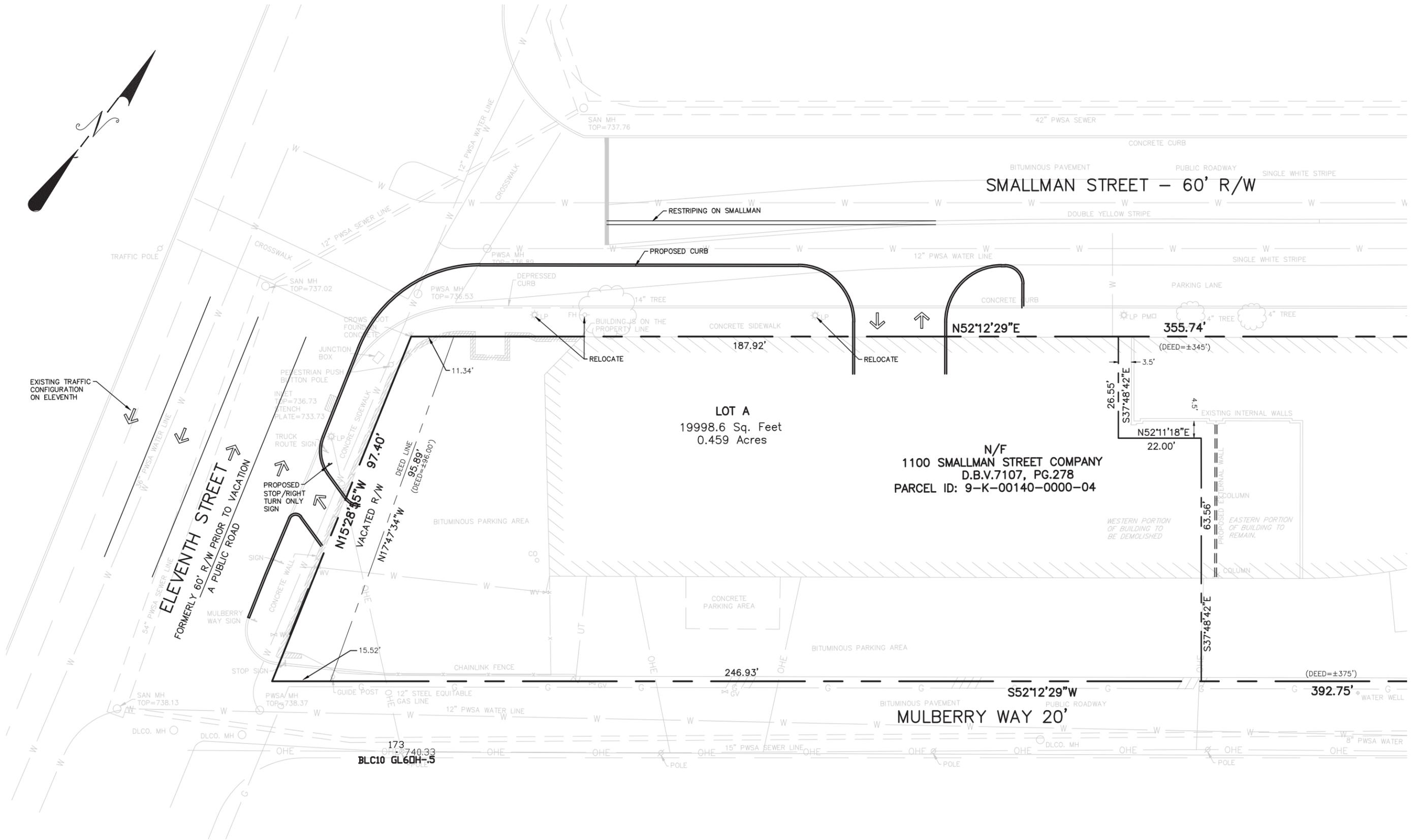
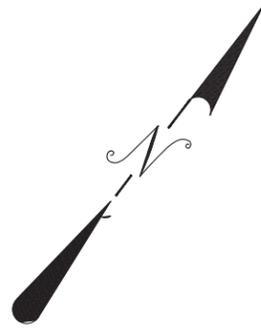
existing site plan

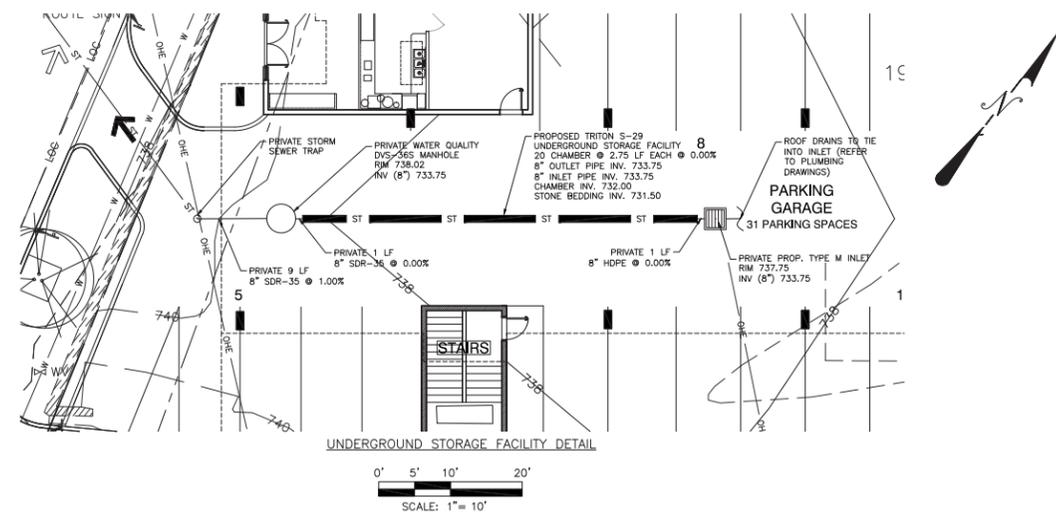
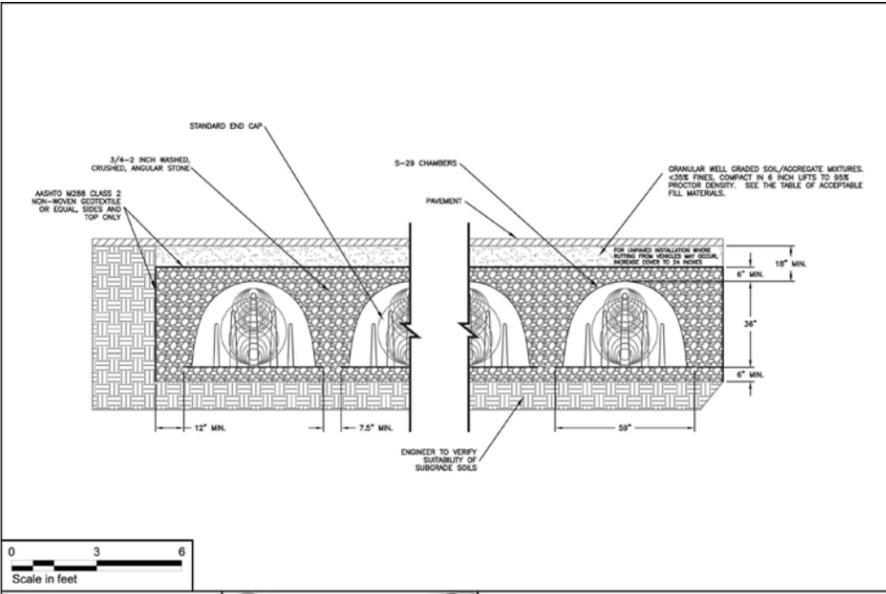
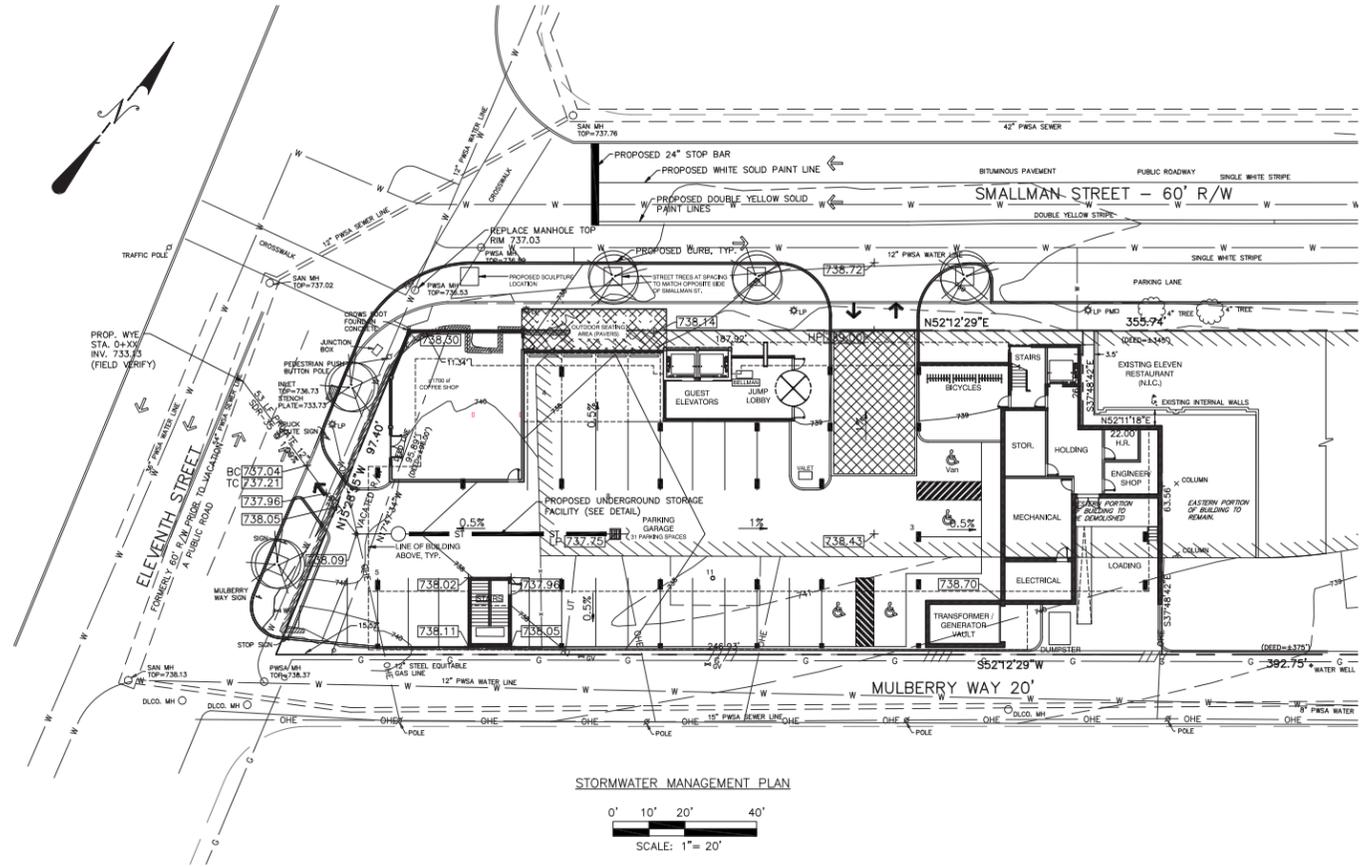
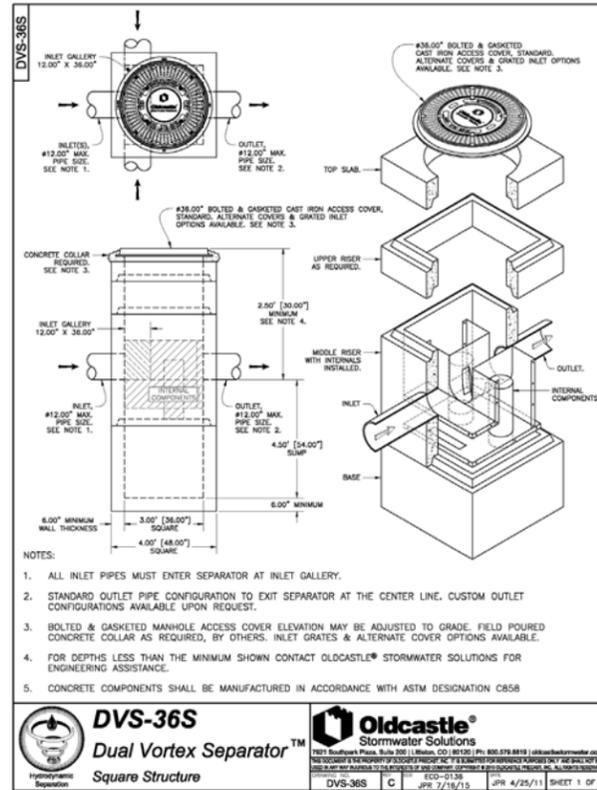
- legend**
- existing building
 - demolition (proposed)



proposed site plan

- legend**
- existing building to remain
 - proposed new building (ground floor parking)
 - line of new building above (second floor above)





LEGEND

SAN - SANITARY	— G — GAS LINE
ST - STORM	— W — WATER LINE
MH - MANHOLE	— T — SUBSURFACE TELEPHONE LINE
TOP - TOP OF CASTING	— E — SUBSURFACE ELECTRIC LINE
INV - INVERT / FLOW LINE	— OH — OVERHEAD WIRES
WV - WATER VALVE	— — — EXISTING CONTOURS
GV - GAS VALVE	— — — EXISTING INLET
GM - GAS METER	— — — EXISTING MANHOLE
EM - ELECTRIC METER	— — — EXISTING SEWER
S.R. - STATE ROUTE	— X — X — FENCE
T.E.L. - TELEPHONE	
RCP - REINFORCED CONCRETE PIPE	
CPP - CORRUGATED PLASTIC PIPE	

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY CHANGES IN DESIGN PLANS UNLESS WRITTEN CONSENT IS GIVEN BY THE ENGINEER. THE CONTRACTOR AND/OR THE OWNER WILL BE HELD RESPONSIBLE FOR ANY FIELD MODIFICATIONS MADE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND NECESSARY APPROVALS BY PERMITTING AGENCIES.

THE LOCATION OF EXISTING UTILITIES WERE TAKEN FROM RECORDS AND MARKING PROVIDED BY OTHERS AND OBSERVED EVIDENCE. THE LOCATIONS SHOWN MAY BE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS, SIZES AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CARE TO AVOID DAMAGE TO ALL EXISTING UTILITIES.

MORRIS KNOWLES & ASSOCIATES, INC.
EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR MANIPULATED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT PERMISSION AND CONSENT OF MORRIS KNOWLES & ASSOCIATES, INC.

DESIGNED BY: BSM
REVIEWED BY: MMZ
DRAWN BY: R/L
DATE: NOVEMBER 2015
PROJ. NO.: 1849.01
DRAWING NO.: 26337

DATE: _____
DESCRIPTION: _____
DATE: _____
DESCRIPTION: _____
DATE: _____
DESCRIPTION: _____
DATE: _____
DESCRIPTION: _____

SCALE: AS NOTED

Morris Knowles & Associates, Inc.
A Hammel Green Company
Consulting Engineers and Land Surveyors
Delaware, Pa. 19026
Tel: (731) 468-8840

AC HOTEL
prepared for
CONCORD SIERRA 1100 HOTEL PARTNERS, LP
CITY OF PITTSBURGH, ALLEGHENY COUNTY, PENNSYLVANIA
STORMWATER MANAGEMENT PLAN

DRAWING NO. D-26337
SHEET NO. SWM-1

**TABLE 2
PARKING CALCULATION SUMMARY
Smallman Street AC Hotel Development Traffic and Parking Study
City of Pittsburgh, Allegheny County, Pennsylvania**

Development Components	Size	Automobile Parking Requirements For Non-Exempt Zones: City of Pittsburgh Zoning Code ⁽¹⁾			Bicycle Parking Demand: City of Pittsburgh Zoning Code ⁽¹⁾				Total Number of Automobile Parking Spaces Required with Maximum Bicycle Reductions ⁽⁶⁾ For Non-Exempt Zones	Total Number of Bicycle Parking Spaces Required with Maximum Bicycle Reductions For Non-Exempt Zones
		Minimum Requirements without Bicycle Reductions For Non-Exempt Zones			Required Minimum Bicycle Parking ⁽²⁾		Maximum Reduction of Automobile Parking Spaces Due to Implementation of Bicycle Spaces ⁽³⁾ For Non-Exempt Zones			
		Off-Street Automobile Parking Rate	Required Number of Automobile Spaces	Required Number of Reserved Spaces for Persons with Disabilities ⁽⁴⁾	Bicycle Parking Rate	Required Number of Bicycle Spaces	Maximum Bicycle Parking Reduction Rate	Maximum Reduction ⁽⁵⁾		
Hotel	133 Rooms	0.62 Spaces per Room	82	4	2 bicycle spaces for 21 to 80 employees	2	30% of required number automobile spaces, not including spaces reserved for persons with disabilities	24	58	24
Coffee Shop	1,700 SF	1 Space per 125 SF above first 2,400 SF	0	0	0 bicycle spaces required between 0 and 6,000 SF	0		0	0	0
TOTAL, if Site were in Non-Exempt Zone			82	4	--	2	--	24	58	24
TOTAL, Required for Site in GT Zone			0	4	--	2	--	--	4, ADA Only	2

(1) Based on the City of Pittsburgh Urban Zoning Code, Chapter 914: Parking Loading and Access. Parking spaces determined based on results of the parking requirement study.

(2) Bicycle parking requirements are detailed in Section 914.05D of the City of Pittsburgh Urban Zoning Code.

(3) Section 914.05E of the City of Pittsburgh Urban Zoning Code indicates that the reduction in the number of automobile parking spaces shall be reduced by no more than one (1) space for each Bicycle Parking Space (minimum reduction), but by no more than thirty (30) percent of the total required spaces (maximum reduction), not including spaces reserved for persons with disabilities.

(4) Parking spaces reserved for persons with disabilities shall be counted toward fulfilling overall off-street parking standards. The number of spaces reserved for persons with disabilities is detailed in Section 914.06.A of the City of Pittsburgh Urban Zoning Code. At least one (1) of these spaces must be van accessible.

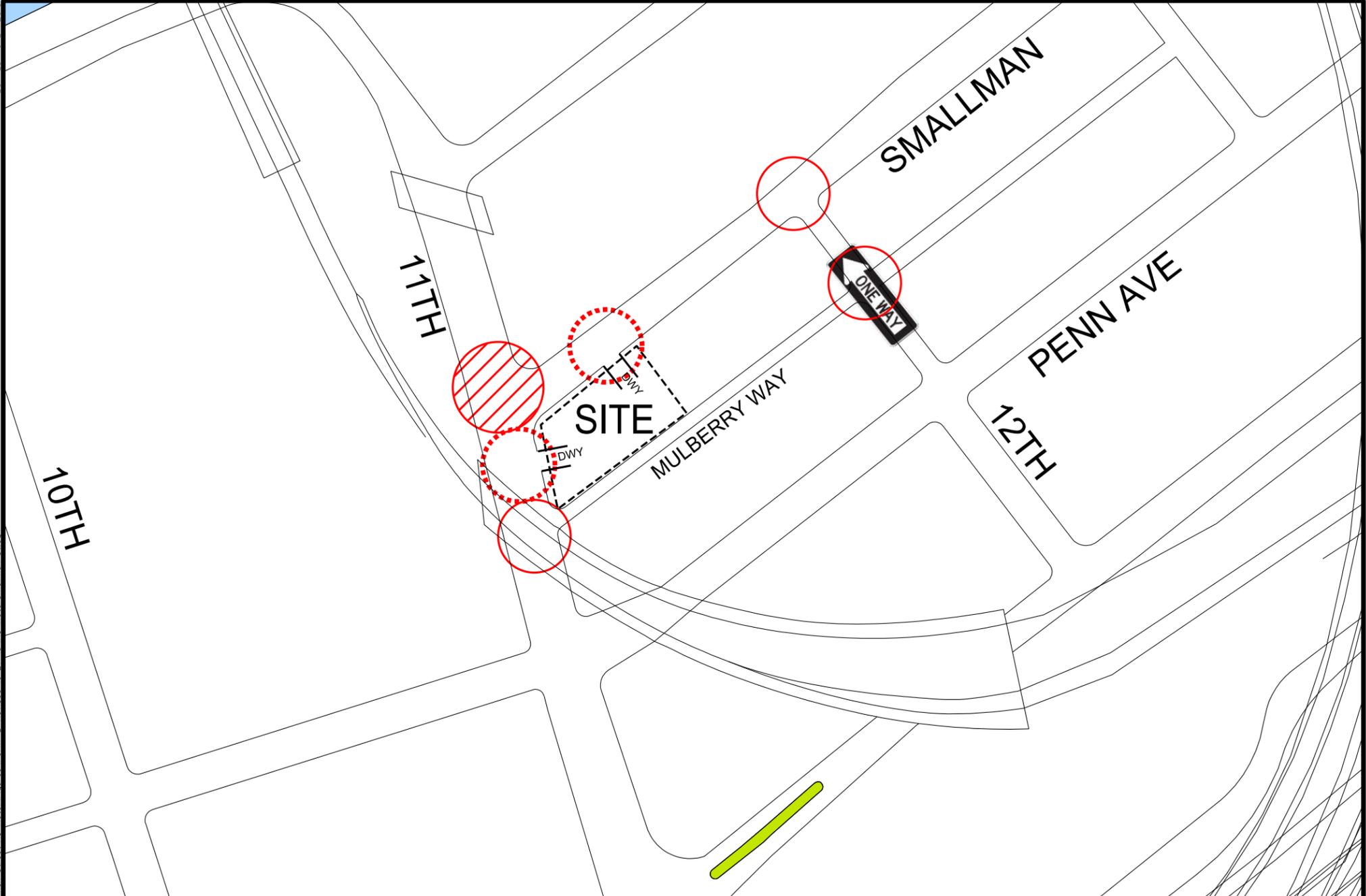
(5) Maximum bicycle reduction = [(82 spaces - 4 handicapped spaces) x 0.30] = 24 spaces

(6) Total number of automobile spaces required with maximum bicycle reductions for the proposed development = (82 total spaces - 24 bicycle spaces) = 58 spaces. It should be noted that of the 58 spaces, 4 spaces must be reserved for persons with disabilities.

Source: Analysis by Trans Associates.

PLOTTED: 10/27/2015

FILE NAME: P:\SIERRA\15165 - Smallman Street AC Hotel\Figures\Firm_B_Revised_10-27-15\AC_Hotel_Smallman_St.dgn



- Legend:
- Signalized Study Intersection
 - Unsignalized Study Intersection
 - Proposed Study Intersection

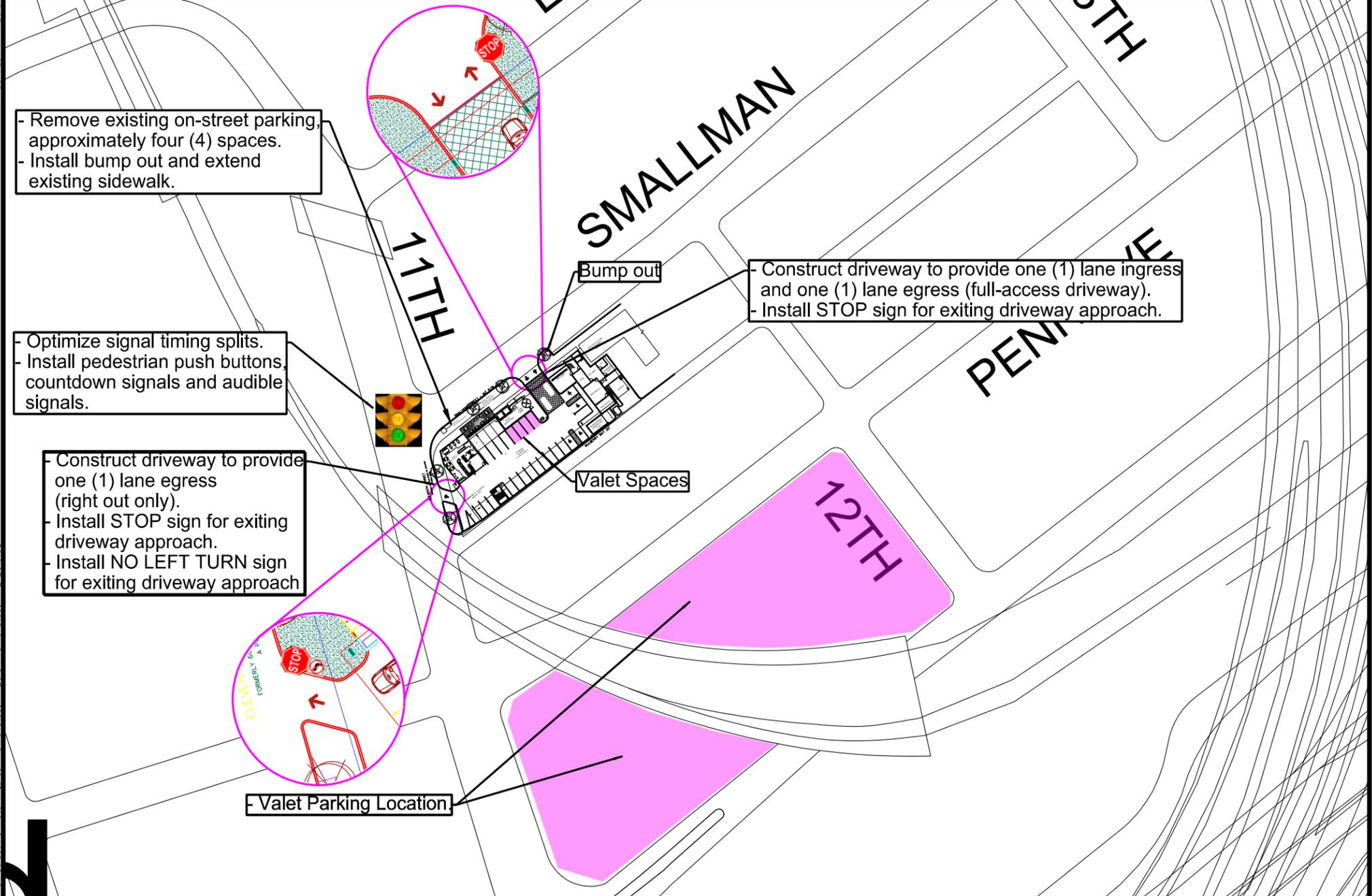
SCALE: N.T.S.

Trans Associates
 Transportation Solutions for Today and Tomorrow
 Twin Towers Suite 400 / 4955 Steubenville Pike
 Pittsburgh, Pennsylvania 15205 / (412) 490-0630

PROJECT NO.	sierr00-15165
PROJECT:	Smallman Street AC Hotel Transportation Impact Study
TITLE:	Site Location and Study Intersections

FIGURE	2
D.B.	CAD
C.B.	CAJ
REV.	

PLOTTED: 11/17/2015



FILE NAME: P:\SIERR00\15165 - Smallman Street AC Hotel\Figures\Traffic Study 11-2-2015.dgn

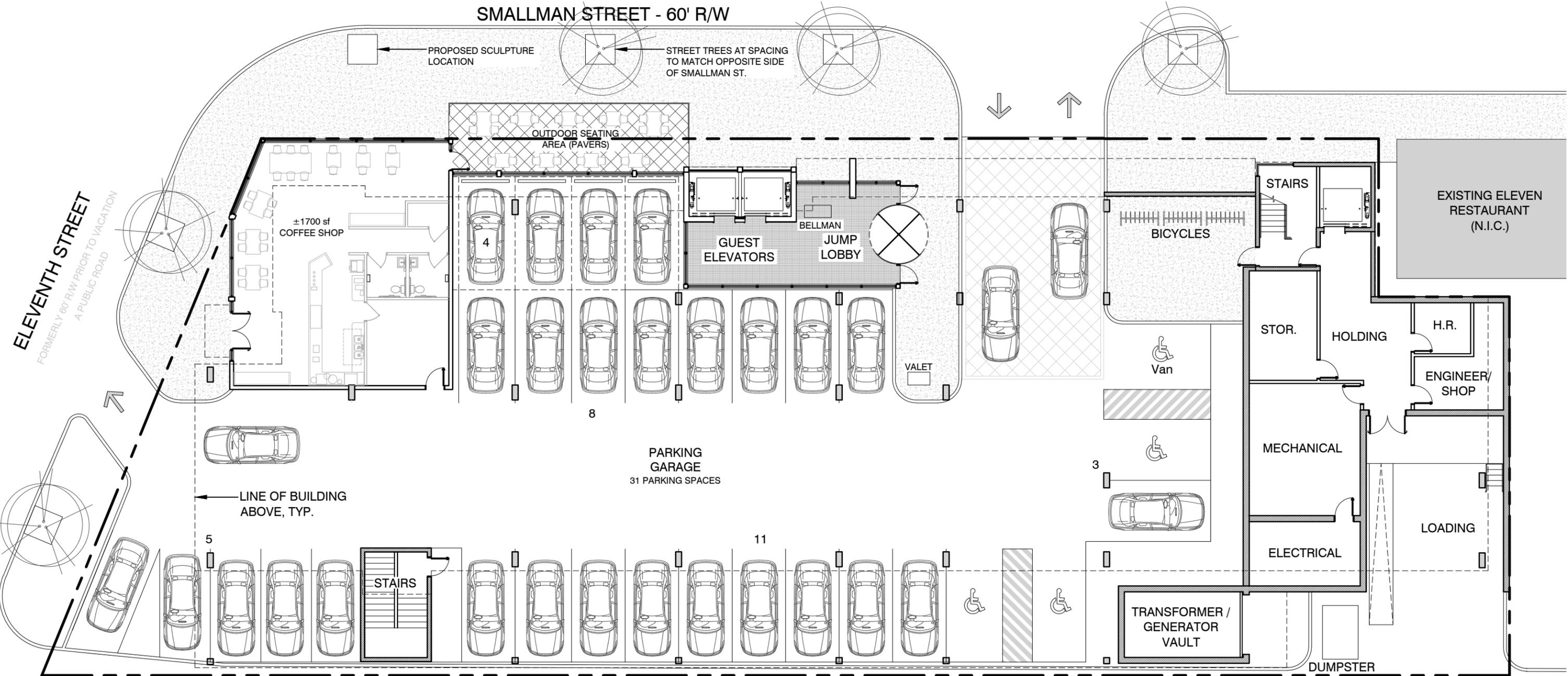
- Remove existing on-street parking, approximately four (4) spaces.
- Install bump out and extend existing sidewalk.

- Optimize signal timing splits.
- Install pedestrian push buttons, countdown signals and audible signals.

- Construct driveway to provide one (1) lane egress (right out only).
- Install STOP sign for exiting driveway approach.
- Install NO LEFT TURN sign for exiting driveway approach.

- Construct driveway to provide one (1) lane ingress and one (1) lane egress (full-access driveway).
- Install STOP sign for exiting driveway approach.

 SCALE: N.T.S.	 Transportation Solutions for Today and Tomorrow Twin Towers Suite 400 / 4955 Steubenville Pike Pittsburgh, Pennsylvania 15205 / (412) 490-0630	PROJECT NO. SIERR00 - 15165	FIGURE
		PROJECT: Smallman Street AC Hotel Transportation Impact Study	3
		TITLE: Recommended Improvements	D.B. <u>MDS</u> C.B. <u>CAJ</u> REV. _____



GUESTROOM UNIT MATRIX						
GEN 1 - AC HOTELS by MARRIOTT (132 ROOMS)						
GUESTROOM TYPE	KINGS		D/D	ACCESSIBLE		TOTAL
	KING STANDARD	KING ALTERNATE	DB/D STANDARD	KING ACCESSIBLE	DB/D ACCESSIBLE	
GARAGE	-	-	-	-	-	0
SECOND	11	1	12	1	-	25
THIRD	12	1	13	1	-	27
FOURTH	12	1	13	1	-	27
FIFTH	12	1	13	1	-	27
SIXTH	12	1	13	1	-	27
SEVENTH (LOBBY)	-	-	-	-	-	0
TOTAL	59	5	64	5	0	133
RATIO	44.4%	3.8%	48%	3.8%	0%	

project data

description 7 story hotel with parking garage below

zoning Golden Triangle; GT-B District

lot size 19,998 s.f. (0.46 acres)

building height 90'-0" (74'-0" To 7th Floor)

floors 7 floors

off street parking 31 Spaces, Valet

bicycle parking 25 Spaces (Covered)

square footages	s.f.	floor to floor
garage	17,900	14'-0"
second floor	13,369	10'-0"
third floor	13,205	10'-0"
fourth floor	13,205	10'-0"
fifth floor	13,205	10'-0"
sixth floor	13,205	10'-0"
seventh floor	13,067	10'-0"
total s.f.	97,156	



sustainability

This project is providing multiple design elements, construction practices and building operation plans to accomplish LEED certification. Some of these features include:

- Enhance the surrounding area's site connectivity due to the proximity to public transit and being within walking distance to many different services
- Building system's design to maximize energy conservation and water use reduction
- Evaluate site run-off and storm water management to reduce and improve quality
- Awareness of the impact of Light Pollution and Heat Island Effect
- Incorporate natural daylight and open views; all public spaces will have open views and strategic space planning to maximize day lighting
- Plan to propose project exterior and interior material selections to maximize recycled content
- Low VOC paints, coatings, and product adhesive selections will be specified to enhance Indoor Air Quality
- Implementation of an on-site recycling plan for construction activity as well as post-construction as part of the project's future operations
- Restrict the use of tobacco products on site during construction and post-construction



accessibility

The project will be designed to meet compliance with the current Americans with Disabilities Act (ADA). The project team will utilize the standards outlined in the 2010 ADA Standards for Accessible Design (ADA), ICC/ANSI A117.1-2003 (ANSI), and 2009 International Building Code (IBC) – Chapter 11 ACCESSIBILITY. Some of these features include:

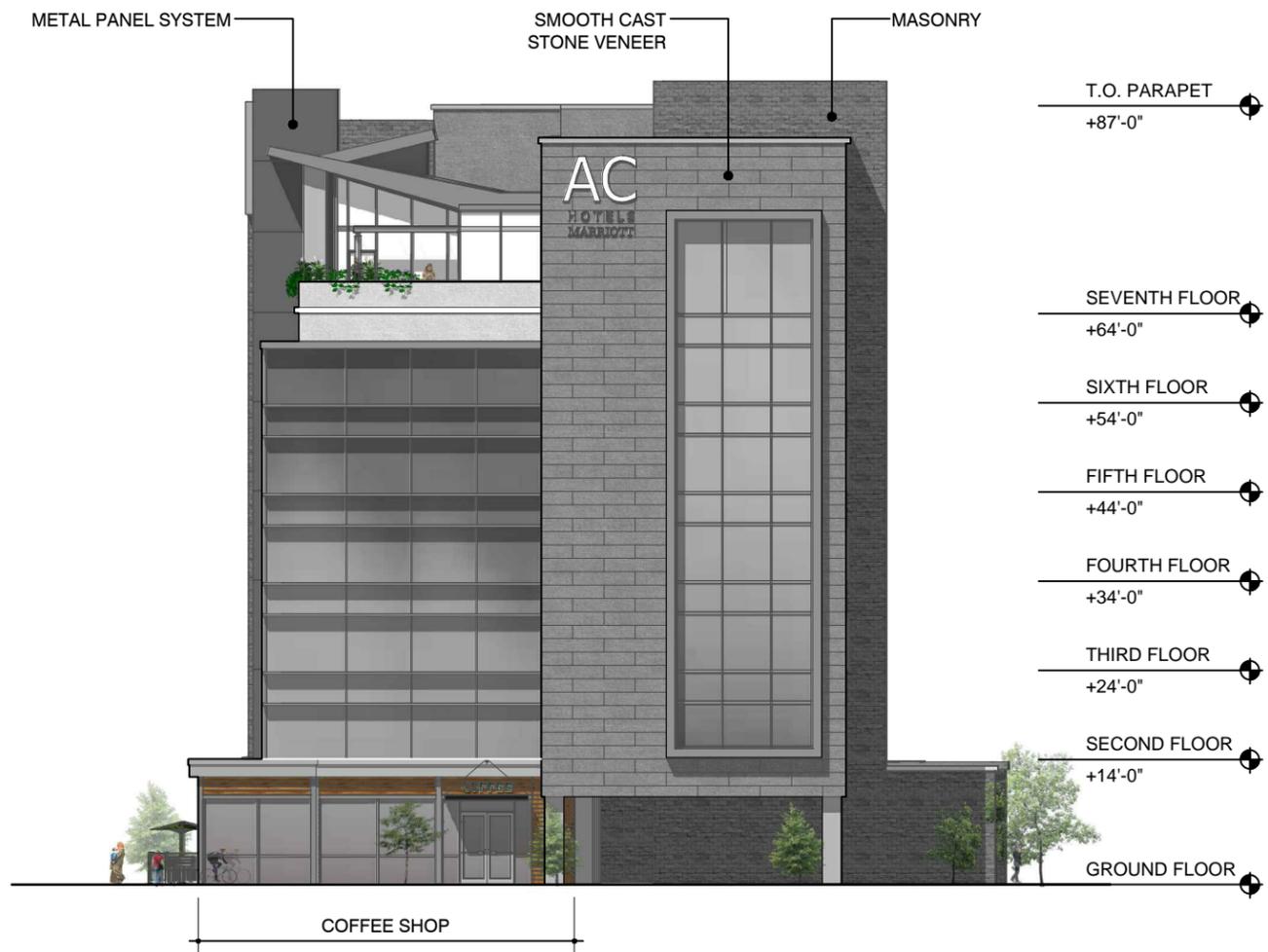
- Introduction of on-site accessible parking
- Maintaining connectivity to existing context through accessible routes to and within the proposed facility
- The public and common use areas will be designed to be readily accessible to and useable by persons with disabilities
- Incorporating the required amount of the accessible units, including hearing impaired devices, with the required wheelchair maneuvering clearances and bathroom attributes to fulfill requirements



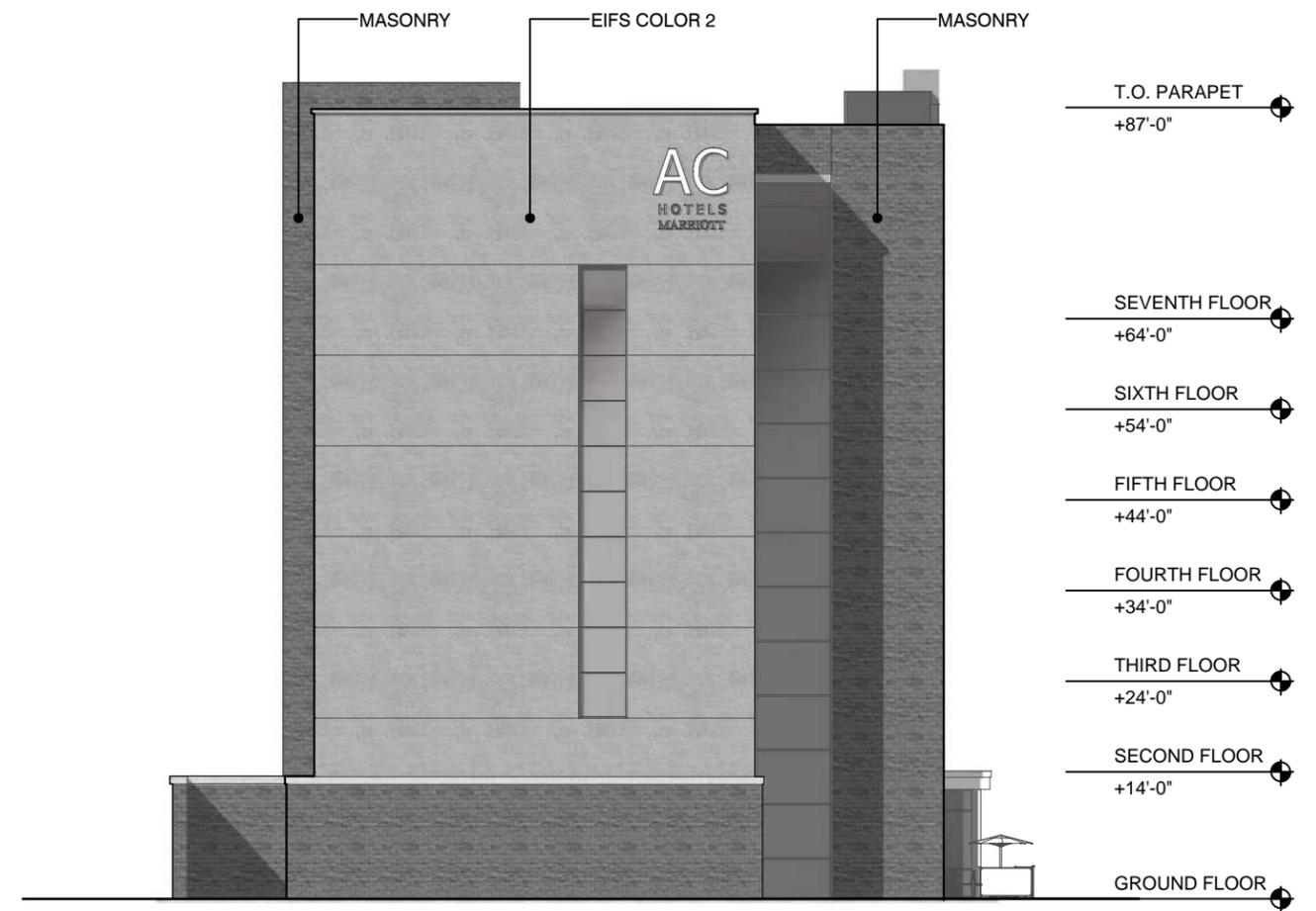
west elevation - smallman street



east elevation - mulberry way



south elevation - eleventh street



north elevation



smooth cast stone veneer



smooth cast stone veneer



EIFS



EIFS color #1



EIFS color #2



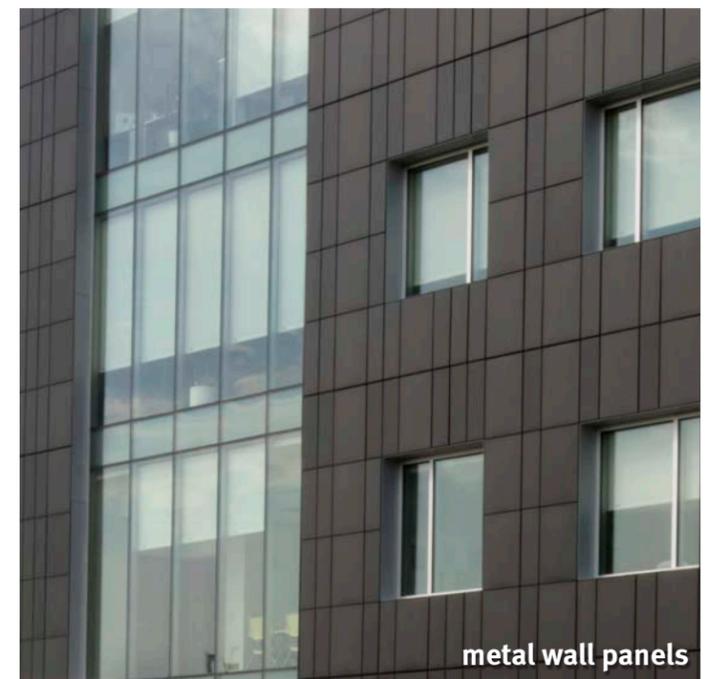
"wood look" fiber cement panels



aluminum storefront color



metal wall panel color



metal wall panels





meyers+associates
ARCHITECTURE



AC hotel | perspective rendering





**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: CD/Park7 Pittsburgh Owner, LLC		Phone Number: (212) 481-1820	
Address: 461 Park Ave S <small>City: New York</small>		State: NY	Zip Code: 10016
2. Applicant/Company Name: Park7 Group		Phone Number: (212) 481-1820	
Address: 461 Park Ave S <small>City: New York</small>		State: NY	Zip Code: 10016
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: Empire			
4. Development Location: Corner of Centre Ave from N. Dithridge to N. Craig			
5. Development Address: See attached sheet. New address will be required.			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) N/A			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required: All properties are to be demolished			
Certificate of Occupancy#:	N/A	Date Issued:	N/A
		Existing Use of Property: Office, parking and residential	
8. Estimated Construction:	Start Date: 6 / 1 / 2016	Occupancy Date: 6 / 1 / 2018	Project Cost: \$ 85 million

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 15, 87, 106

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: New 17-story mixed use development. Four levels of structured parking, retail on three levels, 14 levels of residential units

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential 1 Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	<u>all existing bldgs</u>	sq ft
Existing to be Retained:	<u>0</u>	sq ft
Retained Area to be Renovated:	<u>0</u>	sq ft
To be Constructed:	<u>577,854</u>	sq ft
Building Footprint:	<u>45,590</u>	sq ft

15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	varies	varies	17	169'-10"
Proposed Addition/Extension			n/a	

Provide Accessory Structure Type(s) and Height(s):

n/a			

16. Number of Dwelling Units:
 Existing to Remain: 0 Proposed: 326

17. Lot Area: 52,253 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')	35	279
Compact (7 1/4' x 16')	0	163
Handicap (13 1/2' x 19')	2	12

Off-Street Loading Spaces: N/A
 Actual: 3
 Required: 5

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> 2-4 </u> New Water Service Connection(s)	<u> T.B.D. </u> - Termination of Existing Water Service Tap(s)
<u> 1 </u> New Sewer Service Connection(s)	<u> several of each </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html

City of Pittsburgh Planning Commission 11-24-15



Address: 4505-4512 Centre Ave, 273-275 Craig St & 272 N. Dithridge St.

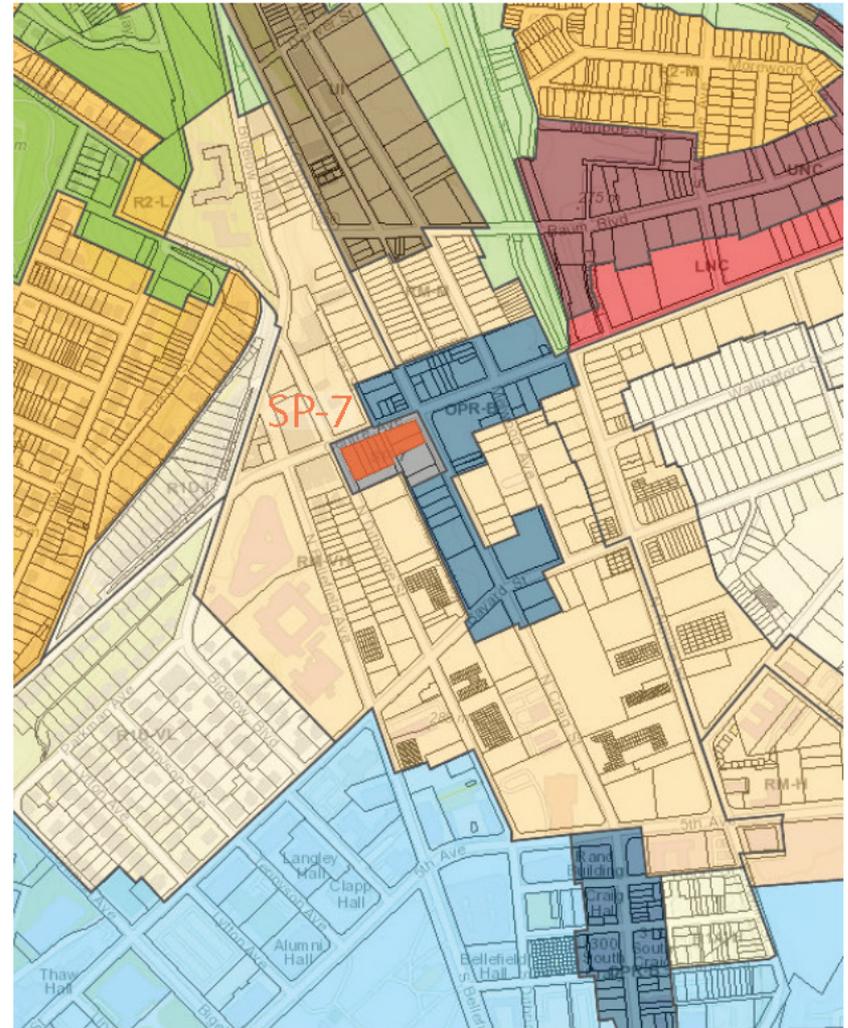
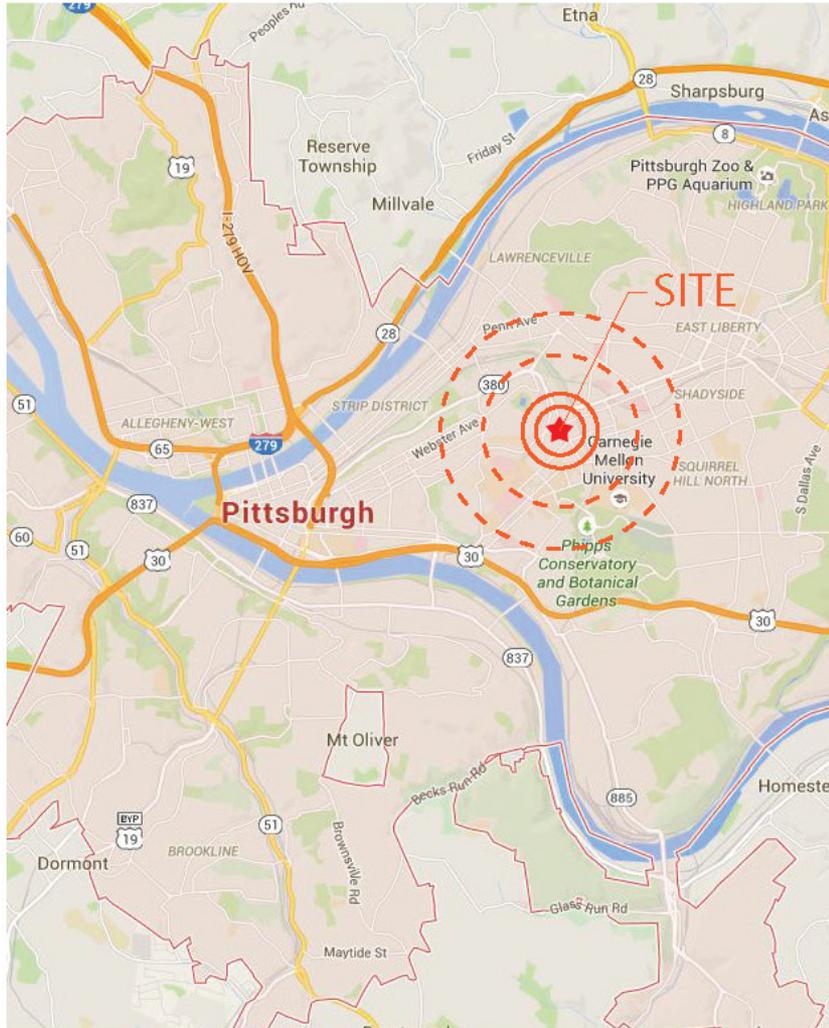
Zoning District: Special Plan District SP-7

Project Description: The proposed 17 story mixed use building will have 326 apartment units with one, two and three bedroom options available. The building includes approximately 9,500 sf of ground level retail space fronting along Centre Avenue, and 12,000 sf. of amenities/fitness space for tenants to enjoy. A series of stepping terraces at the retail / restaurant spaces along Centre Ave will help to enhance and activate the site and surrounding community.

COMPARISON TABLE

	Chelsea Project (2008)	Park7 Project (2015)
Number of Units	336	326
Number of Parking Spaces	411	438
Gross Floor Area	591,888 sq. Ft.	587,133 sq. Ft.
Building Footprint	48,952	45,382 sq. Ft
Height	156-191 Ft. (avg. 175)	145-174 Ft. (avg. 159)

Location Map



Context Images

1
CENTRE AVE. LOOKING SOUTH AT SITE. EXISTING BUILDINGS TO BE DEMOLISHED.

2
VIEW LOOKING EAST ON CENTRE AVE. (SITE ON RIGHT)

3
VIEW LOOKING AWAY FROM THE SITE TOWARD THE WEST ON CENTRE AVE.

4
VIEW LOOKING TOWARD THE SOUTH ON N. DITHRIDGE ST.

5
VIEW FROM N. DITHRIDGE ST. LOOKING EAST AT SITE.

6
VIEW LOOKING AT THE ADJACENT SITE TO THE WEST OF THE SITE.

7
VIEW LOOKING AT THE APPROXIMATE CORNER OF THE SITE AND THE NEIGHBORING PROPERTY TO THE SOUTH. (HOME TO BE DEMOLISHED, ADJACENT BUILDING TO REMAIN.)

8
VIEW LOOKING NORTH ON N. DITHRIDGE ST. (SITE ON RIGHT)

9
VIEW LOOKING NORTH ON N. CRAIG ST. (CORNER OF SITE ON LEFT)

10
VIEW LOOKING AT APPROXIMATE PROPERTY CORNER FROM N. CRAIG ST. (SITE TO THE RIGHT)

11
VIEW LOOKING FROM THE SITE TO THE EAST.

12
VIEW LOOKING TO THE EAST ON CENTRE AVE.

13
VIEW LOOKING TOWARD THE SITE SOUTH ON N. CRAIG ST.

14
VIEW LOOKING TOWARD THE WEST ON CENTRE AVE. (SITE ON LEFT)

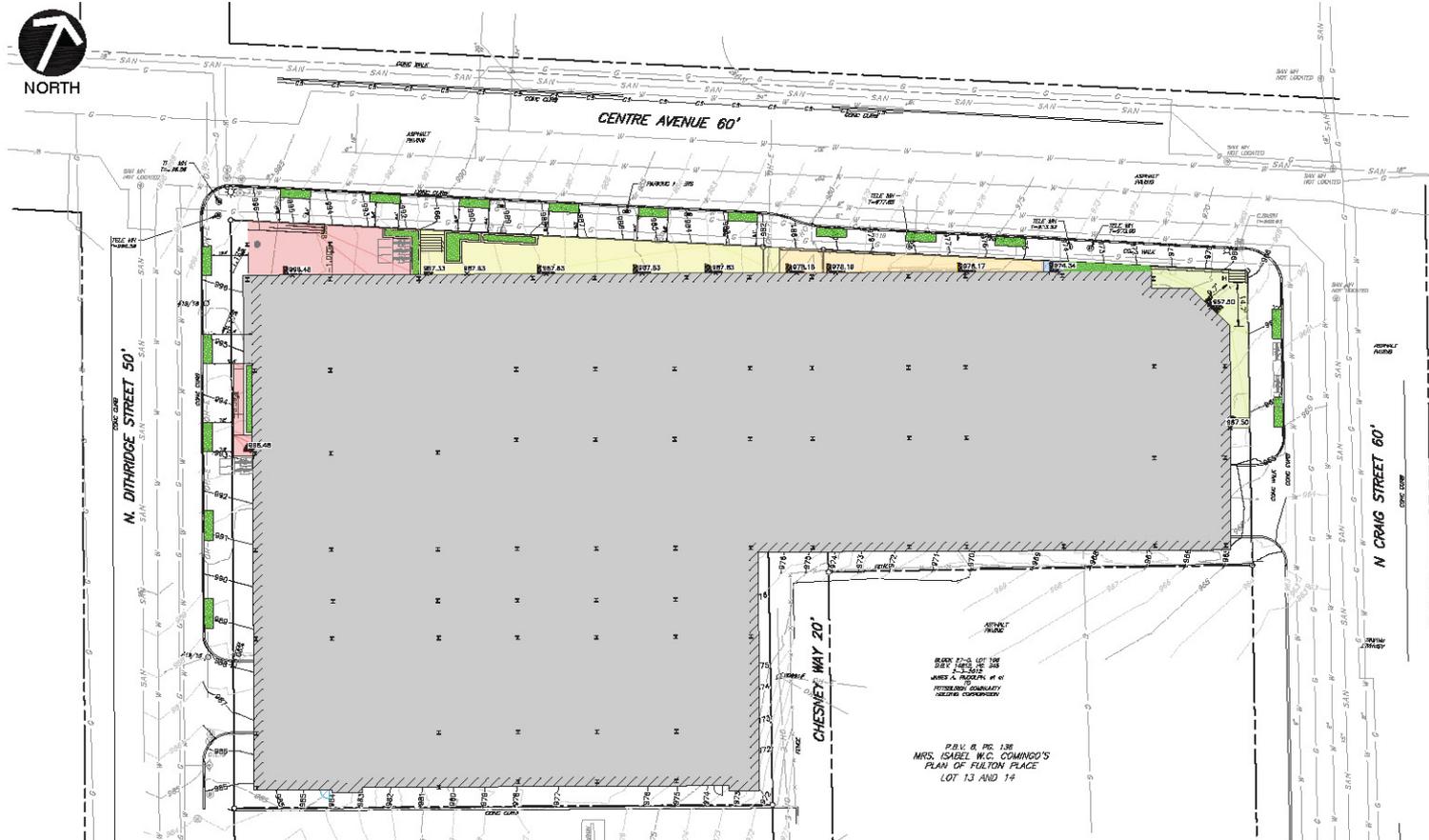
15
VIEW FROM THE SITE LOOKING NORTH DOWN DOLLAR ST.

SITE CONTEXT IMAGES
PARK7 GROUP
PARK7 APARTMENTS
CITY OF PITTSBURGH
AUG. 21, 2015 SCALE: 1"=50' CEC: 143-452
Civil & Environmental Consultants, Inc.

SCALE IN FEET
0 50 100

CEC

Site Plan & Accessibility



- Proposed ADA-compliant ramps will be installed at street crossings on the public sidewalks surrounding the property where feasible, given the existing conditions.
- Doorways and public spaces which enter at-grade along Centre Avenue will be fully-accessible from the street.
- 7 accessible units are provided with an additional 9 that can be converted.
- 12 spaces are reserved for person with disabilities including 2 van accessible spots.

Perspectives



Centre and Dithridge Perspective

Perspectives



Centre and N. Craig Perspective

Perspectives



Perspectives



Dithridge Perspective



N. Craig Perspective

Context Images



NAME: FAIRFAX APARTMENTS
STORIES: 10F



NAME: BELLEFIELD PLACE
STORIES: 11F



NAME: CATHEDRAL OF
LEARNING
STORIES: 42F



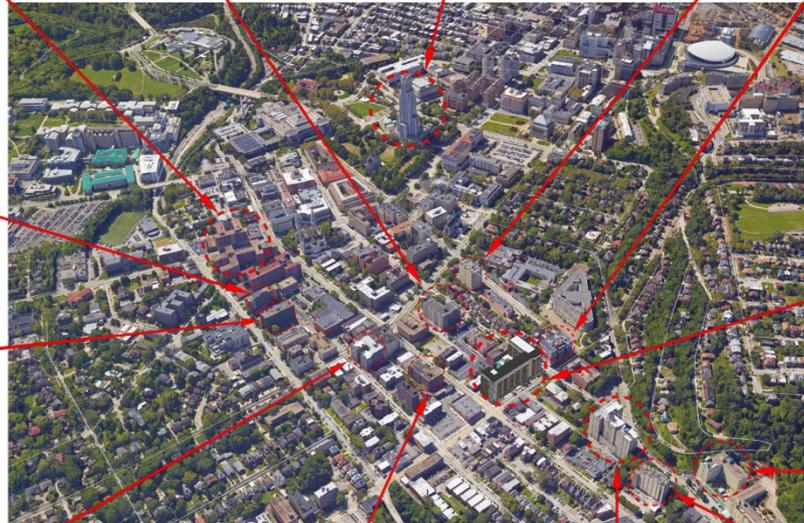
STORIES: 13F



NAME: BELLEFIELD
STORIES: 9F



NAME: NEVILLE HOUSE
STORIES: 10F



NAME: PARK 7 PITTSBURGH
STORIES: 17F



STORIES: 9F



NAME: RESIDENCE
STORIES: 17F



NAME: KING EDWARD BEAUTY SALON
STORIES: 9F



STORIES: 9F

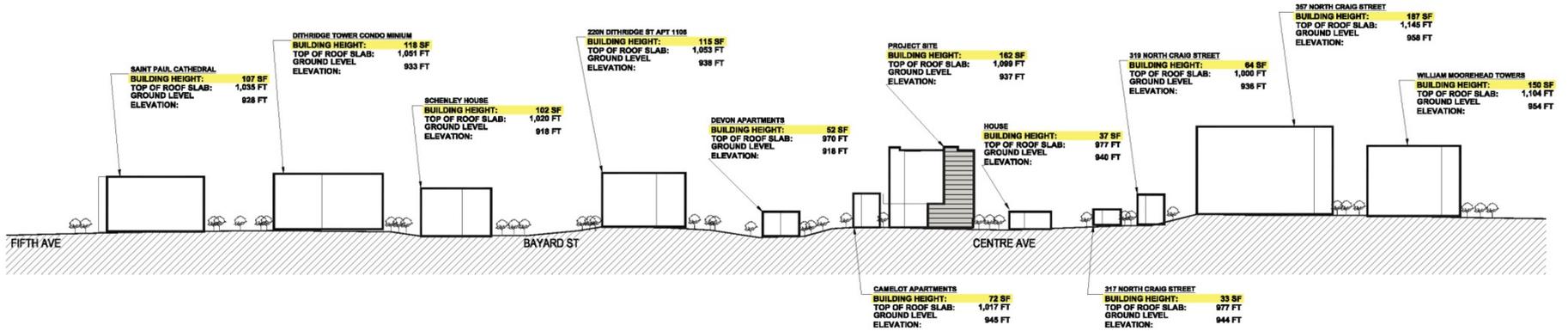


STORIES: 15F

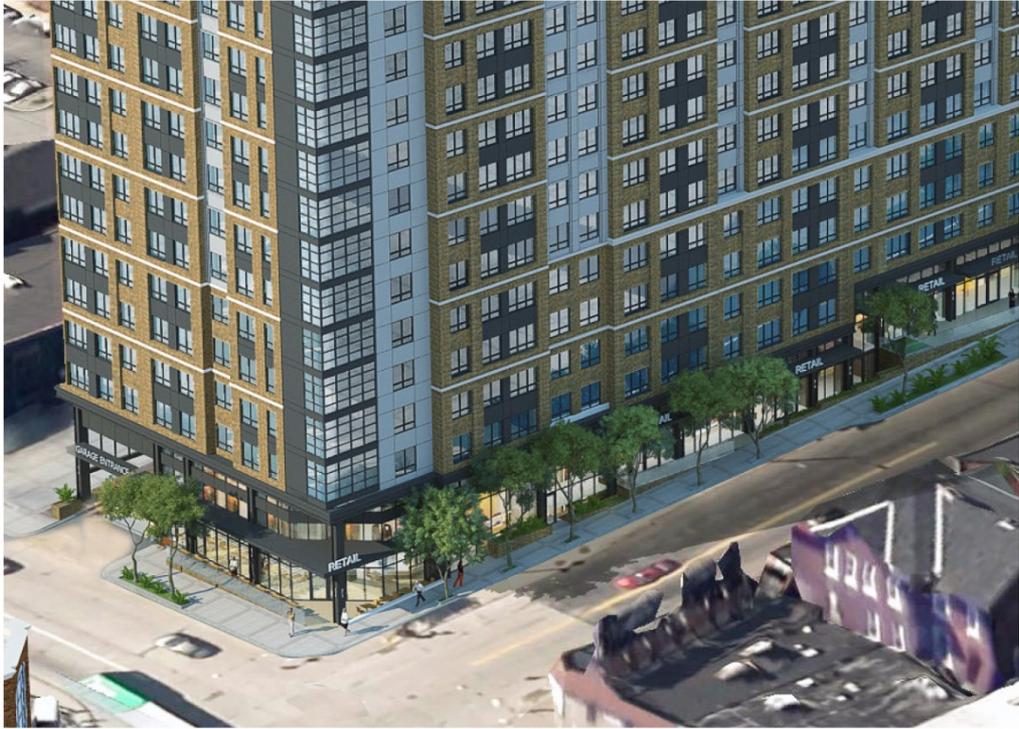


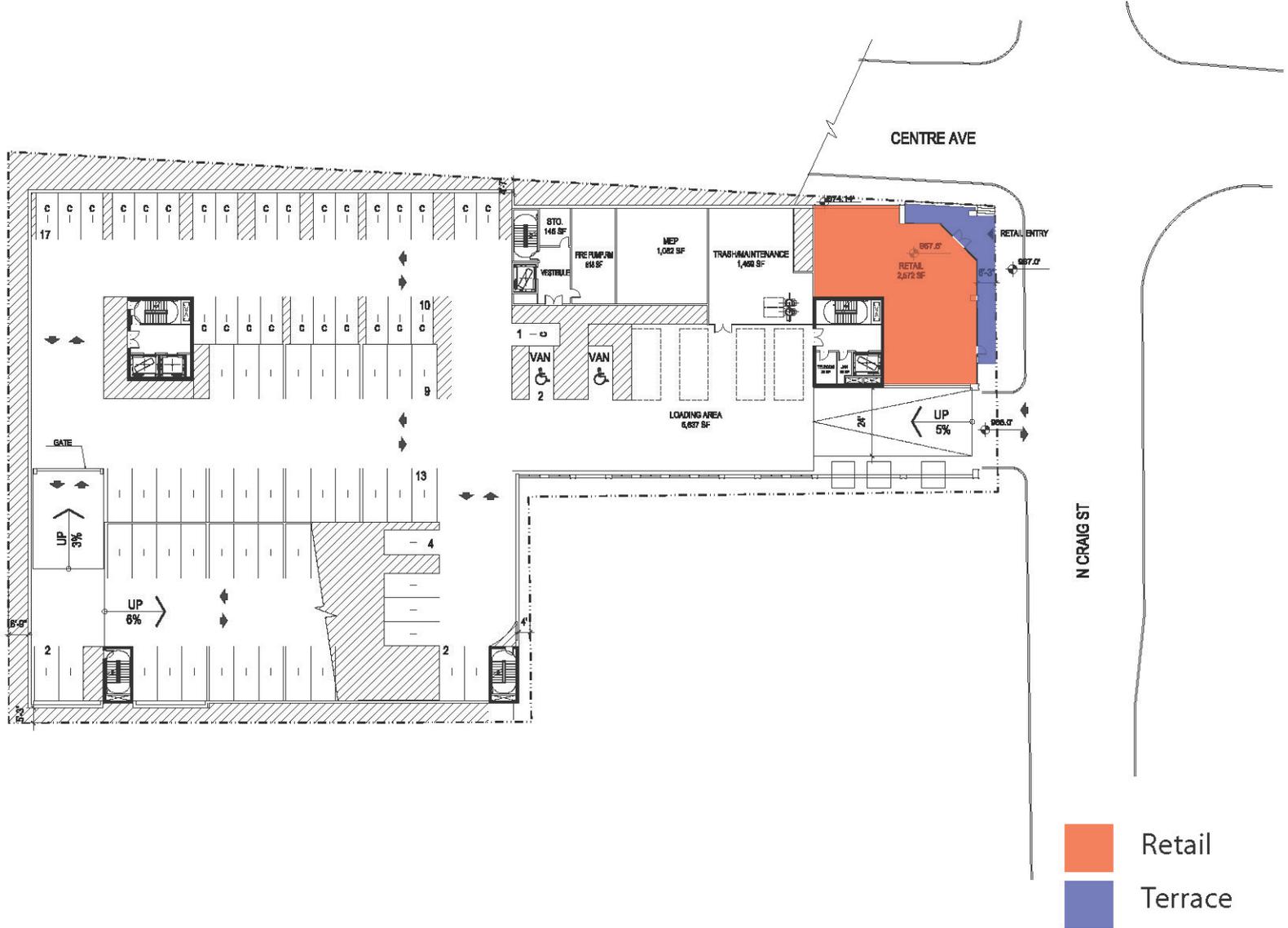
STORIES: 13F

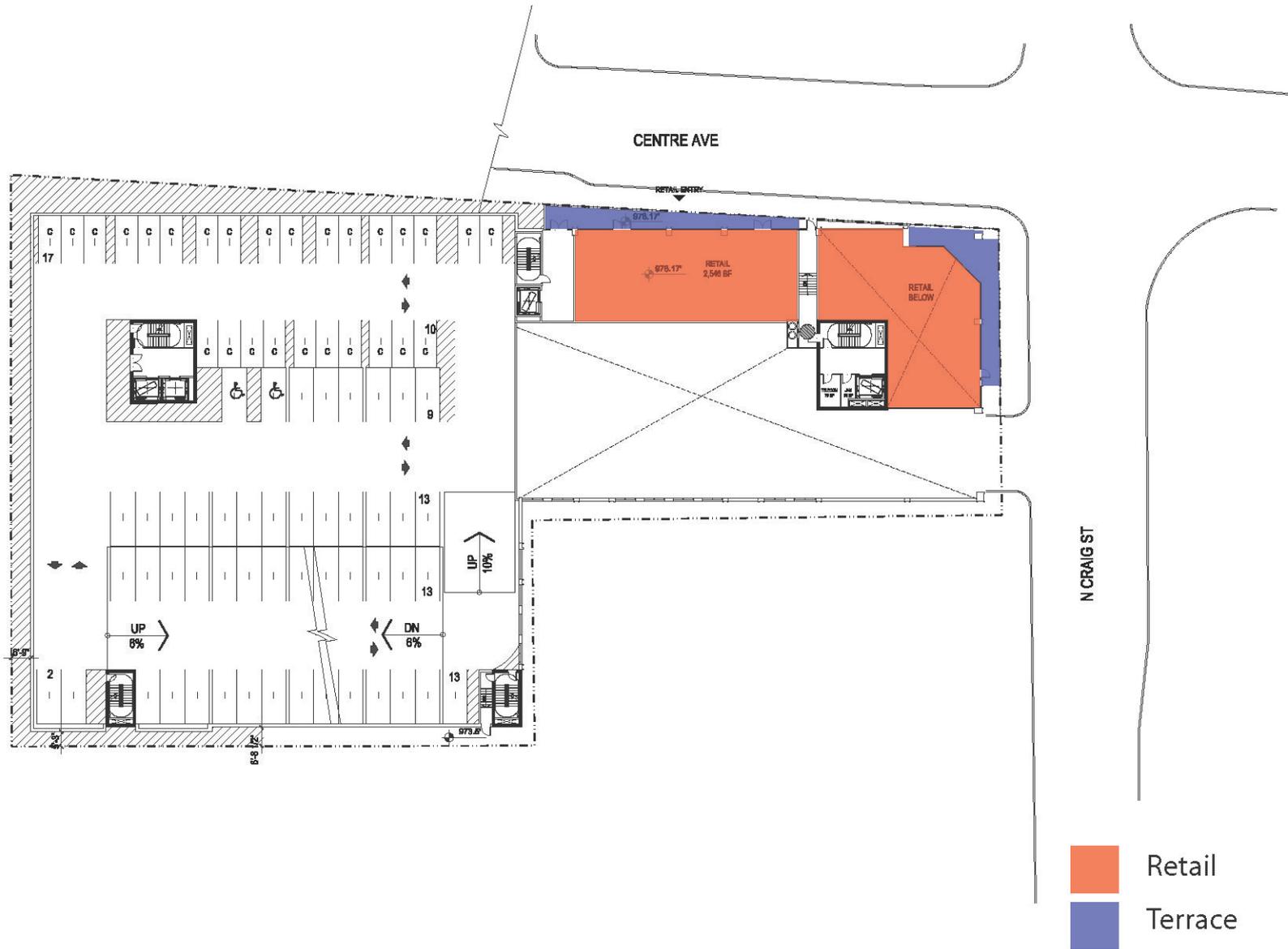
Context Section

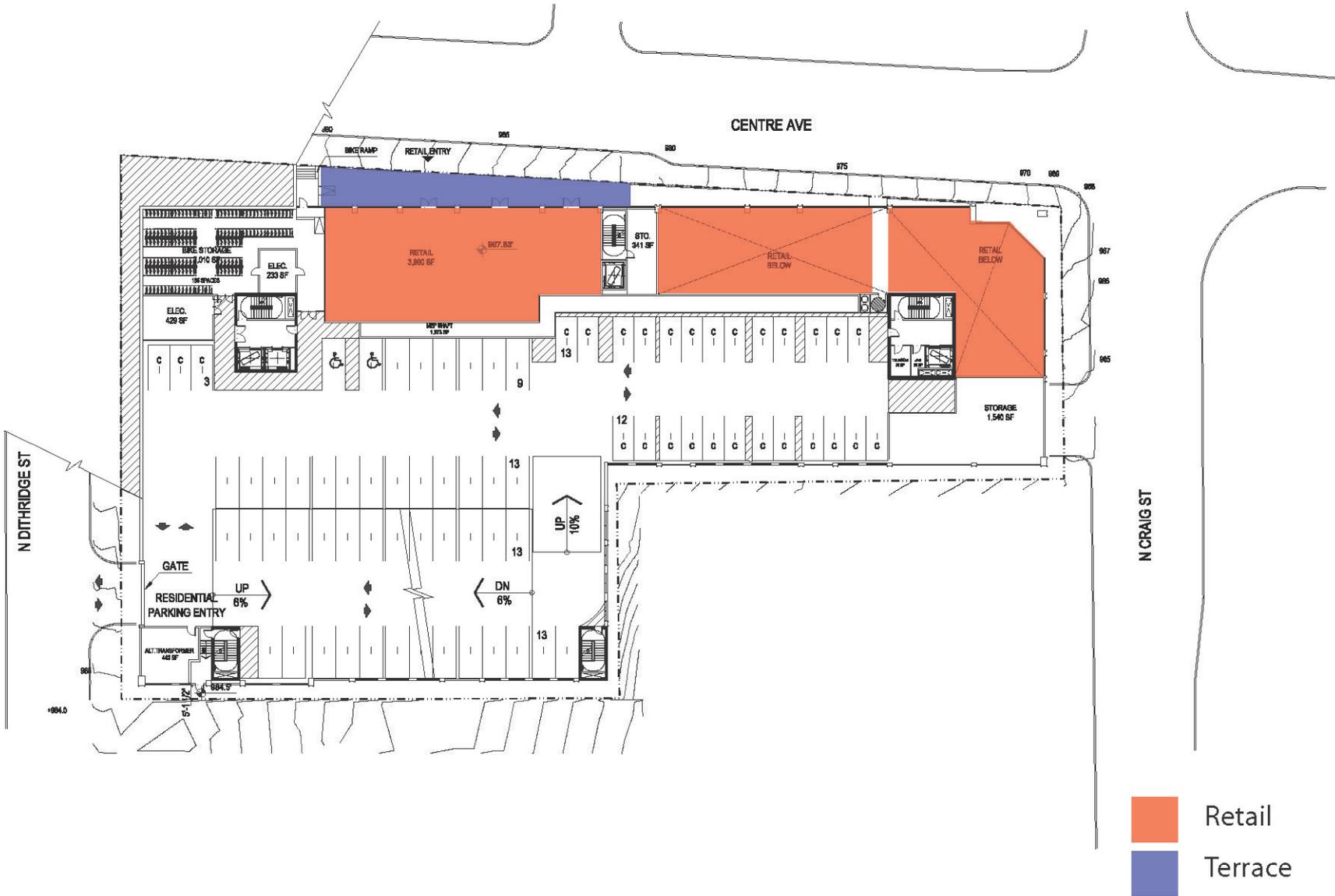


Retail Perspective





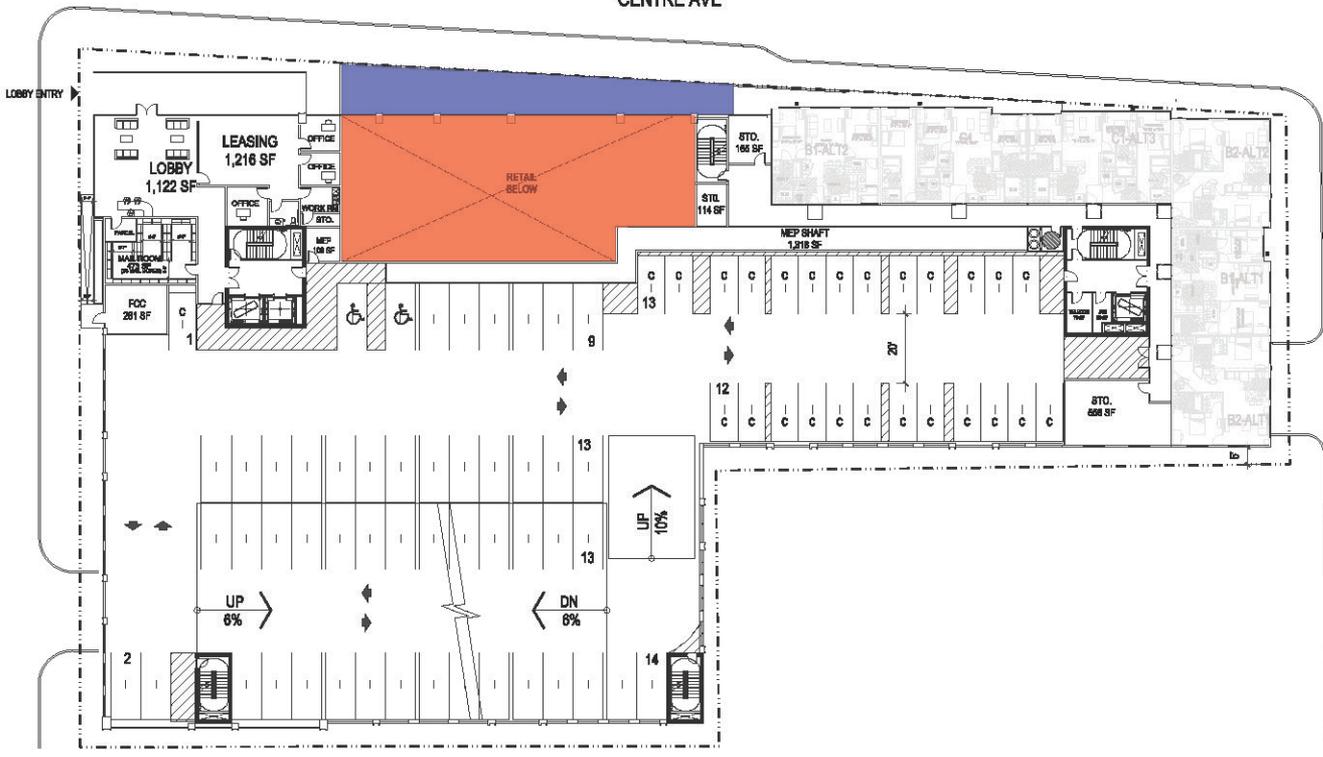




N DITHRIDGE ST

CENTRE AVE

N CRAIG ST



- Retail
- Terrace



Corner of Centre Ave and N. Craig St.



Centre Ave Retail



Bike Entrance



N. Craig St. Garage and Retail



Residential Lobby at N. Dithridge and Centre Ave



Corner of Centre Ave and N. Craig St. Retail Entry

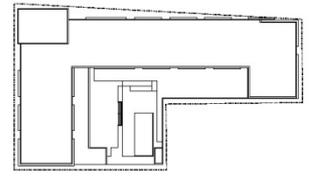
Landscape Plan



Elevations - Dithridge St.



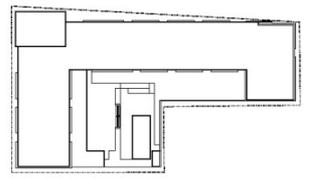
- 1  MASONRY
- 2  FIBER CEMENT PANEL
- 3  FIBER CEMENT PANEL
- 4  ALUMINUM WINDOW
- 5  METAL PANEL
- 6  METAL CANOPY
- 7  METAL SCREENING
- 8  STOREFRONT WINDOW
- 9  WINDOW WALL
- 10  SPLIT FACE CMU



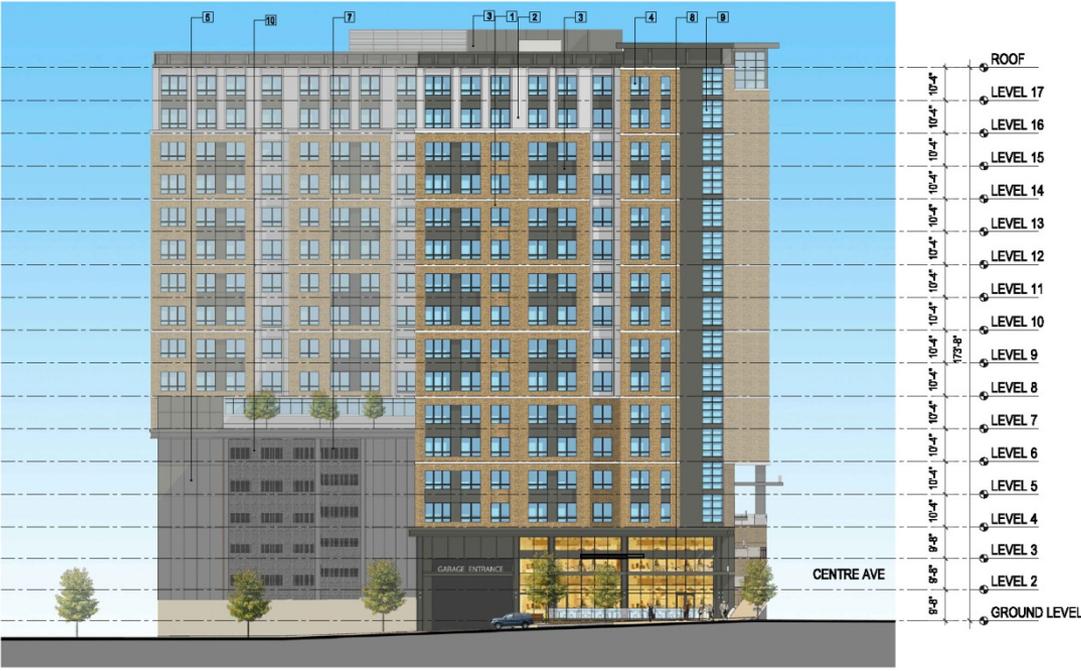
Elevation - Centre Ave



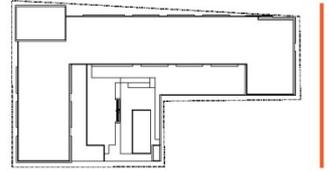
- 1  MASONRY
- 2  FIBER CEMENT PANEL
- 3  FIBER CEMENT PANEL
- 4  ALUMINUM WINDOW
- 5  METAL PANEL
- 6  METAL CANOPY
- 7  METAL SCREENING
- 8  STOREFRONT WINDOW
- 9  WINDOW WALL
- 10  SPLIT FACE CMU



Elevation - Craig St.



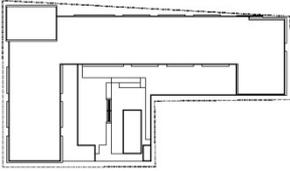
- 1  MASONRY
- 2  FIBER CEMENT PANEL
- 3  FIBER CEMENT PANEL
- 4  ALUMINUM WINDOW
- 5  METAL PANEL
- 6  METAL CANOPY
- 7  METAL SCREENING
- 8  STOREFRONT WINDOW
- 9  WINDOW WALL
- 10  SPLIT FACE CMU



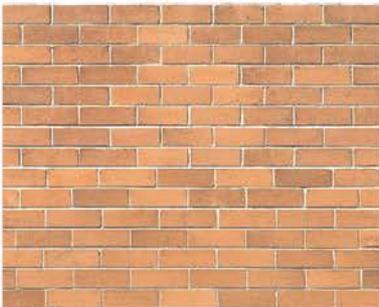
Elevation - South



- 1  MASONRY
- 2  FIBER CEMENT PANEL
- 3  FIBER CEMENT PANEL
- 4  ALUMINUM WINDOW
- 5  METAL PANEL
- 6  METAL CANOPY
- 7  METAL SCREENING
- 8  STOREFRONT WINDOW
- 9  WINDOW WALL
- 10  SPLIT FACE CMU



Building Materials



MASONRY



WINDOW WALL



ALUMINUM WINDOW / PANELS



SPLIT FACE CMU



FIBER CEMENT PANEL



METAL SCREENING



MECHANICAL LOUVERS

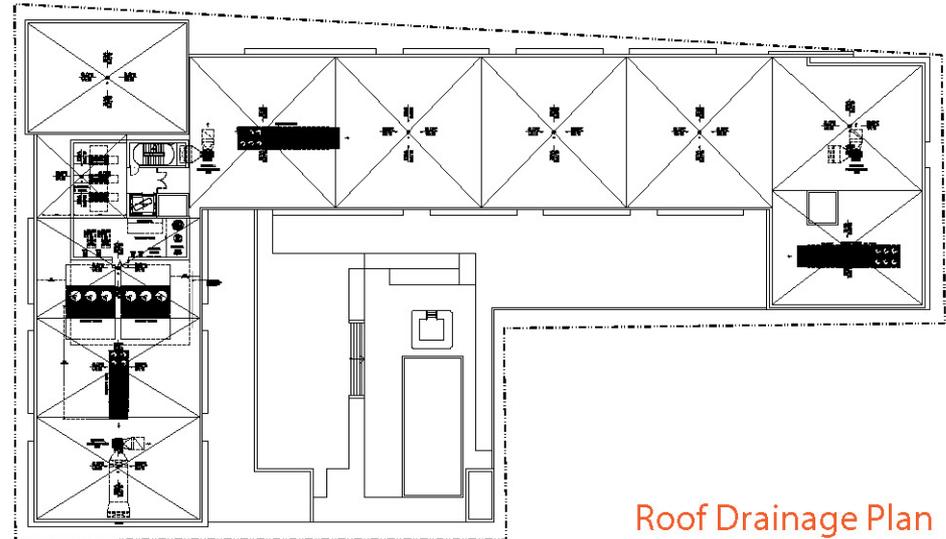


METAL PANEL

Stormwater Management & Sustainability

- The vast majority of the site stormwater runoff is from the building roof.
- The roof drain collection system will convey runoff to a detention tank or tanks beneath the building and/or on the pool deck.
- The detention tank will control stormwater discharge rates in accordance with city stormwater requirements.
- The detention tank will also hold the 2-year volume increase to meet PADEP volume control requirements; this may be utilized for irrigation of perimeter and pool deck landscaped areas if feasible.
- Remaining site sidewalk runoff is to be conveyed through a StormCeptor Water Quality Structure located in the sidewalk along North Craig Street.
- The ultimate stormwater discharge is to a combined sewer on North Craig Street.

- Electric vehicle charging stations.
- TPO Light colored roof with a high solar reflectance.
- Percentage of local and recycled materials.
- Low emitting paint.
- Low flow fixtures and energy star appliances.
- Water source heat pumps heating and cooling system.
- Bike Parking
- Energy efficient windows.
- LED lighting.



Roof Drainage Plan

**TABLE 1
PARKING REQUIREMENT SUMMARY
Park 7 Apartment Development Traffic and Parking Study
City of Pittsburgh, Allegheny County, Pennsylvania**

Development Components	Size	Automobile Parking Demand: City of Pittsburgh Zoning Code ⁽¹⁾			Bicycle Parking Demand: City of Pittsburgh Zoning Code ⁽¹⁾				Total Number of Automobile Parking Spaces Required with Maximum Bicycle Reductions ⁽⁶⁾	Total Number of Bicycle Parking Spaces Required with Maximum Bicycle Reductions
		Minimum Requirements without Bicycle Reductions			Required Minimum Bicycle Parking ⁽²⁾		Maximum Reduction of Automobile Parking Spaces Due to Implementation of Bicycle Spaces ⁽³⁾			
		Off-Street Automobile Parking Rate	Required Number of Automobile Spaces	Required Number of Reserved Spaces for Persons with Disabilities ⁽⁴⁾	Bicycle Parking Rate	Required Number of Bicycle Spaces	Maximum Bicycle Parking Reduction Rate	Maximum Reduction ⁽⁵⁾		
Apartments	326 units	1 space per unit	326	8	1 bicycle space per every 3 dwelling units	109	30% of required number automobile spaces, not including spaces reserved for persons with disabilities	96	230	109 ⁽⁷⁾
Retail	9,578 SF	1 per 500 SF above first 2,400 SF ⁽⁸⁾	11	1	1 bicycle space between 6,001 to 20,000 SF	1		3	8	3
Park 7 Apartment Development Parking Requirement Summary			337	9	--	110	--	99	238	112

(1) Based on the City of Pittsburgh Urban Zoning Code, Chapter 914: Parking Loading and Access. Parking spaces determined based on results of the parking Demand Study.

(2) Bicycle parking requirements are detailed in Section 914.05D of the City of Pittsburgh Urban Zoning Code.

(3) Section 914.05E of the City of Pittsburgh Urban Zoning Code indicates that the reduction in the number of automobile parking spaces shall be reduced by no more than one (1) space for each Bicycle Parking Space (minimum reduction), but by no more than thirty (30) percent of the total required spaces (maximum reduction), not including spaces reserved for persons with disabilities.

(4) Parking spaces reserved for persons with disabilities shall be counted toward fulfilling overall off-street parking standards. The number of spaces reserved for persons with disabilities is detailed in Section 914.06.A of the City of Pittsburgh Urban Zoning Code. At least one (1) of these spaces must be van accessible.

(5) Maximum bicycle reduction = [(326 spaces - 8 handicapped spaces) x 0.30] = 96 spaces

(6) Total number of automobile spaces required with maximum bicycle reductions for the proposed apartments = (326 total spaces - 96 bicycle spaces) = 230 spaces. It should be noted that of the 230 spaces, 8 spaces must be reserved for persons with disabilities.

(7) Maximum parking reduction for bicycle parking is 96 spaces; however, 109 bicycle spaces are required.

(8) Calculated using floor area at 80% of GSF.

Source: Analysis by Trans Associates.

File - oecind014261/Copy of Park 7 Study FINAL Tables 09-11-2015

TABLE 2
PARKING ASSIGNMENT SUMMARY
Park 7 Apartment Development Traffic and Parking Study
City of Pittsburgh, Allegheny County, Pennsylvania

Parking Spaces		Number of Allocated Spaces		
		Standard Spaces ⁽⁴⁾	ADA Spaces	TOTAL
Total On-Site Parking Spaces to be Provided ⁽¹⁾	Level 1	56	2	58
	Level 2	74	2	76
	Level 3	73	2	75
	Level 4	74	2	76
	Level 5	76	2	78
	Level 6	73	2	75
	Total, Supply	426	12	438
Minimum Required Parking Spaces Per City Zoning Code With Maximum Bicycle Parking Reduction ⁽²⁾	Apartments	222	8	230
	Retail	7	1	8
	Total, Min. Required	229	9	238
Parking Space Surplus (Supply vs. Minimum Required Demand)		197	3	200
Maximum Permitted Parking Spaces ⁽³⁾ Per City Zoning Code	Apartments	639	13	652
	Retail	52	3	55
	Total, Max. Permitted	691	16	707

(1) As shown in Figures 2A through 2F.

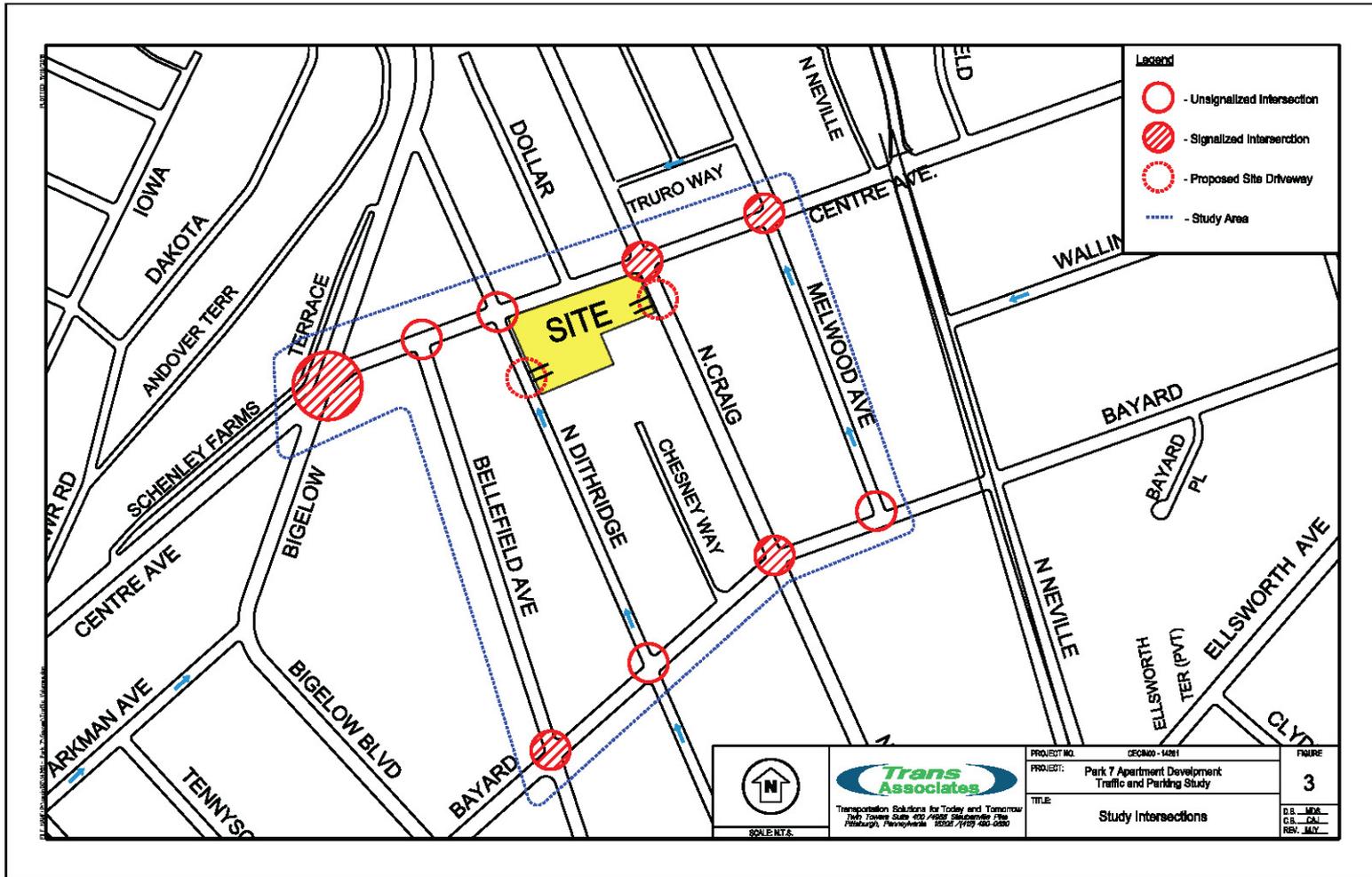
(2) From Table 2.

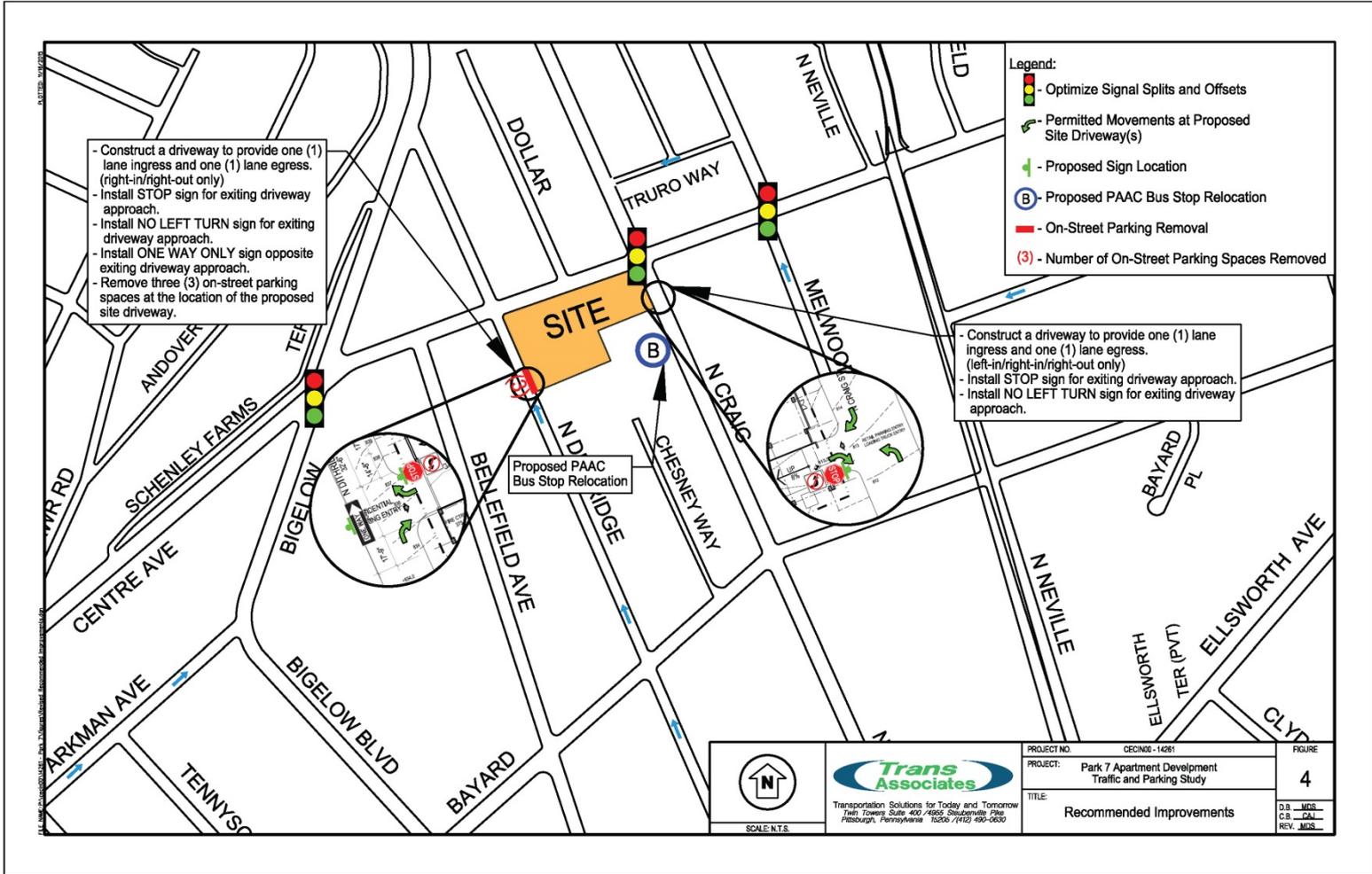
(3) Per the City of Pittsburgh Zoning Code Chapter 914, the maximum off-street parking allowed for multi-unit residential is 2 spaces per unit. The maximum off-street parking allowed for retail is 1 space per 175 s.f.

(4) Includes both standard spaces and compact spaces.

Source: Analysis by Trans Associates.

File - cecin00/14261/Copy of Park 7 Study FINAL Tables 09-11-2015





Thank You





Legislation Details (With Text)

File #: 2015-2063 **Version:** 1

Type: Ordinance **Status:** In Standing Committee

File created: 9/28/2015 **In control:** Commission - Planning Commission

On agenda: 9/29/2015 **Final action:**

Enactment date: **Enactment #:**

Effective date:

Title: Ordinance supplementing the Pittsburgh Code of Ordinances, Title Nine - Zoning, Chapter 922 Development Review Procedures, Sections 922.10.E.2, 922.11.B.3 and 922.11.C.2 with a new subsection, "Affordable Housing Impact Statements."

Sponsors: Reverend Ricky V. Burgess, R. Daniel Lavelle

Indexes:

Code sections:

Attachments:

Date	Ver.	Action By	Action	Result
10/7/2015	1	Standing Committee	Referred for Report and Recommendation	
10/7/2015	1	Standing Committee	Referred for Report and Recommendation	Pass
9/29/2015	1	City Council	Read and referred	

Ordinance supplementing the Pittsburgh Code of Ordinances, Title Nine - Zoning, Chapter 922 Development Review Procedures, Sections 922.10.E.2, 922.11.B.3 and 922.11.C.2 with a new subsection, "Affordable Housing Impact Statements."

WHEREAS, A City For All Agenda strives to make Pittsburgh a livable and affordable city for all residents; and

WHEREAS, A City For All Agenda includes affordable housing for all Pittsburgh families; and

WHEREAS, the cost of housing is out of reach for tens of thousands of Pittsburgh families; and

WHEREAS, an estimated 8,000-12,000 new housing units are proposed to be built in the City of Pittsburgh, none of which will be affordable for low income families; and

WHEREAS, according to the Housing Alliance of Pennsylvania, Pittsburgh needs 21,580 housing units that are both affordable and available for households living on extremely low incomes; and

WHEREAS, the failure of the local housing market to meet this demand makes housing in this City increasingly unaffordable for low income families; and

WHEREAS, Council desires a mechanism to track the impacts of development upon the creation of or preservation of affordable housing; and

WHEREAS, one tool used in other cities is an Affordable Housing Impact Statement; and

WHEREAS, cities such as Austin, Texas and San Diego, California have had an Affordable Housing Impact Statement (AHIS) policy for several years; and

WHEREAS, those cities have found the policy to be helpful in empowering policymakers with meaningful information, and sometimes incentivizing developers and stakeholders to alter their plans to include more affordable housing; and

WHEREAS, Council desires, on a consistent, ongoing basis, to track the impacts of development on the affordable housing stock of the City of Pittsburgh.

Be it resolved that the Council of the City of Pittsburgh hereby enacts as follows:

Section 1. - The Pittsburgh Code of Ordinances, Title Nine - Zoning, Chapter 922 Development Review Procedures, Sections 922.10.E.2, 922.11.B.3 and 922.11.C.2 are hereby supplemented as follows:

922.10. - Project Development Plans.

This section sets out the required review and approval procedures for Project Development Plans, which are required for development in the Golden Triangle (GT), Downtown Riverfront (DR), and Public Realm (PR) zoning districts.

922.10.A Purpose

The Project Development Plan review procedures of this section are intended to provide a vehicle for evaluating individual development proposals within the broader context of development and plans for areas of regional significance, including the Golden Triangle and Downtown Riverfront areas. It is further the intent of these review and approval procedures to afford maximum design flexibility for individual development projects, consistent with planning objectives for the Golden Triangle, Downtown Riverfront, and Public Realm areas.

922.10.B Applicability

In each GT, DR and Public Realm district, every new or changed use of land, and every structure hereafter erected, enlarged demolished or externally altered, except structures involving external alterations not in excess of fifty thousand dollars (\$50,000.00), shall, in addition to conforming to any and all regulations pertaining thereto that are specifically set forth in this Zoning Code, be in accord with a Project Development Plan approved by the Commission.

922.10.C Application

All applicants for Project Development Plan approval shall first file an application with the Zoning Administrator, along with a nonrefundable fee that has been established to defray the cost of processing development applications. No application shall be processed until the Zoning Administrator determines that the application is complete and the required fee has been paid.

922.10.D Preliminary Review

922.10.D.1 Procedure

As a part of the preliminary review, the Zoning Administrator shall prescribe the required form and content of the final Project Development Plan application, which may be submitted in schematic or preliminary form and which may include a site plan; building elevations; building and site perspective drawings; information on building size, height, proposed uses, traffic generation characteristics and other plans and information sufficient to illustrate the proposed development and its relation to adjacent buildings, streets and open spaces.

922.10.D.2 Development on sites of three (3) or more acres

Any development of a building or buildings that require Project Development Plan review on a site of three (3) or more acres is required to submit a Master Development Plan prior to the application for individual building or buildings review.

A complete application for a Master Development Plan shall be submitted to the Zoning Administrator in a form established by the Zoning Administrator. Upon determining that the Master Development Plan application is complete, the Zoning Administrator shall schedule a review by the Planning Commission.

The Planning Commission shall approve a Master Development Plan application only if it finds that the proposal meets all of the following criteria:

- (a) That the proposed development shall create an efficient, functional and attractive urban area which incorporates a high level of amenities;
- (b) That the proposed development shall create a favorable environmental, social and economic impact on the City;
- (c) That the proposed development shall not be injurious to other property in the immediate vicinity, nor substantially diminish or impair property values within adjacent zoning districts;
- (d) That adequate utilities, road, drainage and other necessary facilities have been or shall be provided;
- (e) That adequate measures have been or shall be taken to provide ingress and egress designated so as to minimize traffic congestion in the public streets; and
- (f) That the proposed development complies with plans and policy documents adopted from time to time by the City.

922.10.E Final Review

922.10.E.1 Action by the Planning Commission

The Zoning Administrator shall schedule a review by the Planning Commission when all the requirements established during the preliminary review have been fulfilled. The Planning Commission shall review the Project Development Plan application and act to approve, approve with conditions, or deny the application. The Planning Commission shall approve a Project Development Plan if it finds that the plan complies with the review criteria of [Sec. 922.10.E.2](#) [<https://www.municode.com/library/>](https://www.municode.com/library/) and if the proposal complies with all applicable Zoning Code

requirements and adopted plans and policy documents, including all applicable standards of the GT, DR and Public Realm zoning districts. The Planning Commission shall deny approval of a Project Development Plan if it finds that the plan is not in conformance with this Zoning Code or with adopted plans and policy documents. In acting upon a Project Development Plan, the Planning Commission shall include a description of specific site improvements and development characteristics upon which its approval is conditioned. Such conditions shall be binding upon the applicant.

(a) Notice Requirement for Gaming Enterprise Developments

(1) Notice, Hearing and Action

Upon determining that a Project Development Plan that is specific to a gaming Enterprise is complete, the Zoning Administrator shall schedule a public hearing before the Planning Commission, notify the applicant of the hearing date and give at least twenty-one (21) days notice of the hearing by posting in accordance with the notice requirements of [Section 922.01.C.2 <https://www.municode.com/library/>](#) and by mail in accordance with the notice requirements of [Section 922.01.C.1 <https://www.municode.com/library/>](#) to all property owners within a one hundred fifty-foot radius of the subject property. The Planning Commission shall hold a public hearing on the Project Development Plan application specific for Gaming Enterprises. After the public hearing, the Commission shall act to approve, approve with conditions or deny the application within forty-five (45) days of the public hearing.

922.10.E.2 Review Criteria

In reviewing applications for Project Development Plan approval, the Planning Commission shall consider the extent to which the Project Development Plan addresses the following criteria. The Planning Commission shall not approve any Project Development Plan that, in the determination of the Planning Commission, does not adequately address one (1) or more of these criteria in accordance with objectives contained in general or site specific policy documents adopted by the Planning Commission.

- (a) The proposed development must include retail facilities, where such facilities would maintain and continue the existing retail patterns;
- (b) The proposed development must address compatibility with any existing residential area, including provision for maintenance of residential uses in existing residential areas;
- (c) The proposed development must make provision for adequate parking, considering available transit alternatives and support services, and make provision for adequate vehicle access and loading areas in relation to street capacity, functional classification, and land use patterns, such that any vehicular access points do not create congestion on public streets or create hazardous conditions for pedestrians;
- (d) The proposed development must adequately address traffic generation characteristics in relation to street capacity, intersection classification, and existing and projected traffic volumes and address reasonable alternatives that would enable increased traffic to be directed away from congested areas;
- (e) The proposed development must adequately address pedestrian traffic generation, proposed pedestrian circulation facilities and patterns, including, but not limited to, provision for adequate

sidewalk capacity on and off site, provision for appropriate pedestrian safety on and off site, and provision for pedestrian circulation patterns which do not substantially alter existing patterns and which enhance desired patterns where possible;

(f) The proposed development must adequately address access to public transportation facilities, including, but not limited to, provision for safe pedestrian access to and from transit stops, and pedestrian circulation patterns which encourage the use of public transit, and the provision of on site facilities for alternative means of transportation such as bicycles or van pools;

(g) The proposed development must adequately address the preservation of historic structures and significant features of existing buildings, including, if applicable, the retention and reuse of structures which are locally or federally designated historic structures; retention and reuse of significant structures, provided that such preservation requirements may be waived if the applicant shows that use of such structure is no longer economically or physically viable; and retention and reuse of structures which contribute to the character of an historically significant area;

(h) The proposed development must adequately address architectural relationships with surrounding buildings, including, but not limited to, provision for appropriate building siting, massing, facade treatment, materials, proportion, and scale;

(i) The proposed development must adequately address microclimate effects of proposed development, including, but not limited to, wind velocities, sun reflectance and sun access to streets, existing buildings, and public and private open space;

(j) The proposed development must adequately address protection of views and view corridors, including, if applicable, important views along major public streets, views from surrounding private properties, and views to and from significant public places, such as parks, open spaces, or riverfronts;

(k) The proposed development must adequately address the location, development and functions of open space, including, but not limited to, provision for additional open space where necessary for light and air to adjacent properties, provision for additional open space where desirable to lessen pedestrian impacts and increase safety, or maintenance of existing open spaces which serve these same purposes;

(l) The proposed development must address the project's compatibility and conformance with any overall master plans or comprehensive plans approved by the City Planning Commission and designated by the Department of City Planning, which address Downtown area development;

(m) If the proposed application includes a building(s) that exceeds fifty thousand (50,000) square feet of building footprint, the proposed development must adequately address large footprint building criteria of Section 922.04.E.6.

(n) The proposed development must adequately address housing impact of the development on the surrounding community by providing an impact statement or analysis which shall include, but is not limited to, information regarding the types of housing proposed, the targeted market demographics, affordable dwelling units within the development and within the market, and number of dwelling units proposed to be

demolished. For proposed developments without a housing component, the applicant shall provide a statement or analysis which shall include, but is not limited to, anticipated housing demand and affordability level of housing needed to serve new demand

922.10.F Amendments

The procedure for amending an approved Project Development Plan shall be the same as required for a new plan under this section, provided that the Zoning Administrator may approve minor amendments to approved Project Development Plans without the refile of a new application. Nothing shall preclude the Zoning Administrator from approving minor amendments.

922.10.G Occupancy Permits

The Zoning Administrator shall not authorize zoning approval of an application for a Certificate of Occupancy for a development subject to Project Development Plan requirements until the Planning Commission has approved the Project Development Plan.

(Ord. 19-2004, § 1L, eff. 11-8-04; Ord. 42-2005, §§ 32-34, eff. 12-30-05)

- **922.11. - Planned Developments.**

This section sets out the required review and approval procedures for Specially Planned (SP) Developments and Planned Unit Developments (PUDs).

922.11.A Method of Adoption

SP or PUD zoning districts may be established only in accordance with the Zoning Map Amendment procedures of [Sec. 922.05 <https://www.municode.com/library/pa/pittsburgh/codes/code_of_ordinances?nodeId=PIZO_CO_TITNINEZOCO_ARTVIIREEN_CH922DEREPR_922.05ZOMATEAM>](https://www.municode.com/library/pa/pittsburgh/codes/code_of_ordinances?nodeId=PIZO_CO_TITNINEZOCO_ARTVIIREEN_CH922DEREPR_922.05ZOMATEAM) and the review and approval procedures of this section, which shall be carried out concurrently with the Zoning Map Amendment process.

922.11.B Preliminary Development Plan

922.11.B.1 Application

A complete application for Preliminary Land Development Plan approval shall be submitted to the Zoning Administrator in a form established by the Zoning Administrator, along with a nonrefundable fee that has been established to defray the cost of processing development applications. No application shall be processed until the Zoning Administrator determines that the application is complete and the required fee has been paid. Application for SP or PUD rezoning shall be submitted at the time of application for a certificate of occupancy.

922.11.B.2 Hearing and Action by the Planning Commission

The Planning Commission shall hold a public hearing on the application for Preliminary Development Plan Approval concurrently with the public hearing on the rezoning application. After the public hearing, the Planning Commission shall recommend approval, approval with conditions, or denial of the application and transmit an accurate written summary of the proceedings to the City Council.

922.11.B.3 Review Criteria

The Planning Commission shall recommend approval of the Preliminary Land Development Plan application only if it finds that the proposal meets all of the following criteria:

- (a) That the proposed district shall create an efficient, functional and attractive urban area which incorporates a high level of amenities;
- (b) That the proposed district shall protect and preserve the natural environment;
- (c) That the proposed district shall create a favorable environmental, social and economic impact on the City;
- (d) That the establishment, maintenance, location and operation of the proposed district shall not be detrimental to or endanger the public health, safety, morals, comfort or general welfare;
- (e) That the proposed district shall not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes permitted, nor substantially diminish or impair property values within adjacent zoning districts;
- (f) That the establishment of the proposed district shall not impede the normal and orderly development and improvement of property for uses permitted in the adjacent districts;
- (g) That adequate utilities, access road, drainage and other necessary facilities have been or shall be provided;
- (h) That adequate measures have been or shall be taken to provide ingress and egress designated so as to minimize traffic congestion in the public streets; and
- (i) That the proposed development complies with plans and policy documents adopted from time to time by the City.

(i) The proposed development must adequately address housing impact of the development on the surrounding community by providing an impact statement or analysis which shall include, but is not limited to, information regarding the types of housing proposed, the targeted market demographics, affordable dwelling units within the development and within the market, and number of dwelling units proposed to be demolished. For proposed developments without a housing component, the applicant shall provide a statement or analysis which shall include, but is not limited to, anticipated housing demand and affordability level of housing needed to serve new demand

922.11.B.4 Conditions of Approval

The Planning Commission may recommend approval with conditions if such conditions, when met, would have the effect of bringing the proposal into full compliance with the review criteria of [Sec. 922.11.B.3 <https://www.municode.com/library/>](https://www.municode.com/library/).

922.11.B.5 Hearing and Action by City Council

The City Council shall hold a public hearing on the Zoning Map Amendment application. After the public hearing, the City Council shall act to approve, approve with conditions, approve in part, deny, or deny in part the application. The Zoning Map Amendment shall not become effective nor shall it be entered upon the Zoning District Map until the Planning Commission has approved a Final Land

Development Plan and an Improvement subdivision site plan has been duly recorded.

922.11.B.6 Amendments

The procedure for amending an approved Preliminary Land Development Plan shall be the same as required for a new Preliminary Land Development Plan under [Section 922.11.B.2](#) [<https://www.municode.com/library/>](https://www.municode.com/library/).

922.11.B.7 Notice

A public hearing shall be scheduled, and notice shall be required when ten (10) years or more have elapsed from the approval date of the most recently amended Preliminary Land Development Plan for an existing SP or PUD district. The Zoning Administrator shall give at least twenty-one (21) days public notice of the Planning Commission hearing by posting in accordance with the notice requirements of [Chapter 922.01.C.2](#) [<https://www.municode.com/library/>](https://www.municode.com/library/) and by mail in accordance with the notice requirements of [Chapter 922.01.C.1](#) [<https://www.municode.com/library/>](https://www.municode.com/library/) to all property owners within a one hundred fifty (150) foot radius of the subject property.

922.11.C Final Land Development Plans

922.11.C.1 Application

After City Council approval of the Zoning Map Amendment, the applicant shall submit a Final Land Development Plan to the Zoning Administrator who shall forward the application to the Planning Commission for review. At the time of Final Land Development submittal, the applicant shall also submit the Improvement Subdivision Site Plan for the Planning Commission's review. For an SP District, there shall be no minimum acreage required for a Final Land Development Plan application.

922.11.C.2 Review and Action by the Planning Commission

The Planning Commission shall review the Final Land Development Plan and Improvement subdivision site plan and evaluate whether the plans comply with the approved Preliminary Land Development Plan. The Planning Commission shall review the Final Land Development Plan and Improvement subdivision site plan to determine if the application addresses the following criteria. The Planning Commission shall deny approval of a Final Land Development Plan application if it finds that the plan does not comply with the following criteria.

- (a) The proposed development must comply with an approved Preliminary Land Development Plan for the Planned Development;
- (b) The proposed development must include retail facilities, where such facilities would maintain and continue the existing retail patterns;
- (c) The proposed development must address compatibility with any existing residential area, including provision for maintenance of residential uses;
- (d) The proposed development must adequately address parking, considering the demand analysis required in the Preliminary Plan Development Plan, and must make provisions for adequate vehicle access and loading facilities;
- (e) The proposed development must adequately address traffic generation characteristics and address reasonable alternatives that would mitigate increased traffic congestion;

- (f) The proposed development must adequately address pedestrian traffic and patterns, including, but not limited to, sidewalk capacity, pedestrian safety and access to transit;
- (g) The proposed development must adequately address access to public transportation facilities, including, but not limited to access to transit stops, encouragement of transit use and provisions for alternate forms of transportation;
- (h) The proposed development must adequately address architectural relationships with surrounding buildings, including, but not limited to, building siting, massing, facade treatment, materials, proportions and scale;
- (i) The proposed development must adequately address microclimate effects, including, but not limited to, wind velocities, sun reflectance and sun access to existing buildings and streets;
- (j) The proposed development must address the project's compatibility and conformance with the Zoning Code and any plans and policies approved by the Planning Commission;
- (k) If the proposed application includes a building(s) that exceeds 50,000 square feet of building footprint, the proposed development must adequately address large footprint building criteria of Section 922.04.E.6.

(l) The proposed development must adequately address housing impact of the development on the surrounding community by providing an impact statement or analysis which shall include, but is not limited to, information regarding the types of housing proposed, the targeted market demographics, affordable dwelling units within the development and within the market, and number of dwelling units proposed to be demolished. For proposed developments without a housing component, the applicant shall provide a statement or analysis which shall include, but is not limited to, anticipated housing demand and affordability level of housing needed to serve new demand

922.11.C.3 Effect of Final Land Development Approval

After a Final Land Development Plan has been approved by the Planning Commission and the Improvement subdivision site plan has been recorded, the applicant may submit a Certificate of Occupancy application and construction drawings for a project development to the Zoning Administrator. If the development is determined by the Zoning Administrator to be in substantial compliance with the Final Land Development Plan, the Zoning Administrator shall approve the Certificate of Occupancy application and building permit application. No Certificate of Occupancy application or building permit application shall be approved if the project is determined not to be in substantial compliance with the approved Final Land Development Plan. If the project development is determined not to be in substantial compliance with the Final Land Development Plan, the applicant may request approval of Land Development Plan amendment, in accordance with [Sec. 922.11.C.4](#) <<https://www.municode.com/library/>>.

922.11.C.4 Amendments

The procedure for amending an approved Final Land Development Plan shall be the same as required for approval of the original Final Land Development Plan, except that the Zoning Administrator may approve an occupancy permit application for a project in an SP or PUD District if the Planning Director determines that the proposed project represents only a minor amendment to an approved

Final Land Development Plan. A minor amendment, for the purpose of this provision, shall be one (1) that meets all of the following conditions:

- (a) Involves no change in use;
- (b) Increases development intensity or residential density by no more than ten (10) percent;
- (c) Increases the height of any structure by no more than ten (10) percent; and
- (d) Places no structure closer to the perimeter of the planned development site than shown on the approved Final Land Development Plan.

922.11.C.5 Lapse of Approval

If an applicant submits an application to the Zoning Administrator for approval of a Certificate of Occupancy application more than seven (7) years after the date of approval of the Final Land Development Plan, the Planning Commission may require that the planning studies conducted for the land development plan be updated, and that additional planning studies be conducted to determine the current impact of the proposed development on the remainder of the planned development and on the City. The Planning Commission shall evaluate the development's impacts in terms of the review criteria of [Sec. 922.11.B.3](#)

https://www.municode.com/library/pa/pittsburgh/codes/code_of_ordinances?

and may require the applicant to submit a Land Development Plan amendment, in accordance with [Sec. 922.11.C.4](#) https://www.municode.com/library/pa/pittsburgh/codes/code_of_ordinances?nodeId=PIZOCA_TITNINEZOCO_ARTVIIREEN_CH922DEREPR_922.11PLDE_922.11.

922.11.C.6 Notice Requirement for Gaming Enterprise Developments

- (a) Notice, Hearing and Action

Upon determining that a Final Land Development Plan that is specific to a gaming Enterprise is complete, the Zoning Administrator shall schedule a public hearing before the Planning Commission, notify the applicant of the hearing date and give at least twenty-one (21) days notice of the hearing by posting in accordance with the notice requirements of [Section 922.01.C.2](#)

<https://www.municode.com/library/> and by mail in accordance with the notice requirements of [Section 922.01.C.1](#) https://www.municode.com/library/pa/pittsburgh/codes/code_of_ordinances?nodeId=PIZOCA_TITNINEZOCO_ARTVIIREEN_CH922DEREPR_922.01GEREALPR_922.01.

to all property owners within a one hundred fifty-foot radius of the subject property. The Planning Commission shall hold a public hearing on the Final Land Development Plan application specific for Gaming Enterprises. After the public hearing, the Commission shall act to approve, approve with conditions or deny the application within forty-five (45) days of the public hearing.

922.11.D Land Development Reports for SP Districts

For SP Districts, every two (2) years, beginning from the date of approval of the first Final Land Development Plan, the applicant shall submit to the Planning Commission a Land Development Report. The Planning Commission may approve the Land Development Report, approve the report with amendments, or, in the event that a Land Development Report is not submitted, the Planning Commission may approve a report prepared by the Zoning Administrator. The approval of a land development report shall amend the land development plan to the extent specified in the land development report.

(Ord. 42-2005, §§ 35-38, eff. 12-30-05; Ord. No. 33-2009, § 1, eff. 12-11-09; Ord. No. 1-2015, § 1.G., eff. 2-10

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