



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room
April 6, 2016

AGENDA

(Vacant), *Chairman*
Ernie Hogan, *Acting Chairman*
Raymond Gastil, *Director of Planning*
Erik Harless, *Assistant Chief PLI, Secretary*
Joe Serrao
Carol Peterson
Matthew Falcone

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business-None

New Business

- Approval of the minutes from the March 2016 hearings
- Certificates of Appropriateness Report – March 2016
- Applications for a Certificate of Economic Hardship – None
- Review and approval of HRC Application Requirements sheet

➤ **1:00 PM HEARING & ACTION**

1. Market Square Historic District

100 Fifth Avenue
Pittsburgh Properties, owner
The Yard, applicant
Window replacement

2. Allegheny West Historic District

808 Ridge Avenue
CCAC, owner
Radelet McCarthy Polletta, Inc, applicant
Installation of a railing

3. Allegheny West Historic District

911 Galveston Avenue
Delta Foundation, owner
David Morgan, applicant
Building renovations to remedy after-the-fact work

4. Allegheny West Historic District

831 Western Avenue
Chris Fetter, owner and applicant
Building renovations

5. Deutschtown Historic District

501 Avery Street
N. Davis Enterprises LLC, owner
William G. West, Jr., applicant
Building renovations including window replacement and garage door

6. East Carson Street Historic District

729 E. Carson Street
JGWS, LLC, owner
Robert Eckenrode, applicant
Construction of a rear addition

7. **East Carson Street Historic District**

1719 E. Carson Street
Gregg Carson, owner
Sign Innovation, applicant

Installation of metal awnings

8. **Perry Traditional Academy—Individual Landmark**

3875 Perrysville Avenue
Vidyadhar Patil, owner
Steven Watson, applicant

Relocation of louvers

9. **Mexican War Streets Historic District**

1217 Palo Alto Street
Karin J. Mowl, owner
Robert H. Mowl, applicant

Installation of a railing

➤ **DEMOLITIONS**

➤ **HISTORIC NOMINATIONS**

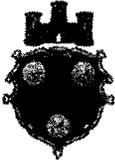
➤ **DIRECTOR'S REPORT**

➤ **ADJOURNMENT**

The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public.

INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

Please contact Sarah Quinn with questions and comments: 412-255-2243
sarah.quinn@pittsburghpa.gov



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 2/11/16

LOT AND BLOCK NUMBER: 1-D-125

WARD: 1st

FEE PAID: 40

DISTRICT: Market Square

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

100 Fifth Avenue

OWNER:

NAME: Pittsburgh Properties

ADDRESS: 33 N 3rd St
 Columbus Ohio 43215

PHONE: 412-471-6868

EMAIL: dbushoff@ccvbc.com

APPLICANT:

NAME: The Yard

ADDRESS: 100 Fifth Avenue, 2nd Floor

PHONE: 412-291-8162

EMAIL: theyardgastropub@gmail.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Replacing windows that look out into Market Square. New windows will open and be more efficient. There will be an internal 42" barrier.

SIGNATURES:

OWNER: [Signature] DATE: 2-8-16

APPLICANT: [Signature] DATE: 1/25/2016



100 Fifth Avenue

© 2016 Google

Google earth

Imagery Date: 9/23/2015 40°26'28.77" N 80°00'09.01" W elev 735 ft eye alt 1368 ft

1993



THE SQUARE

YARD

YARD

NO STOPPING
P

THE GREAT RESTOCKING EVENT

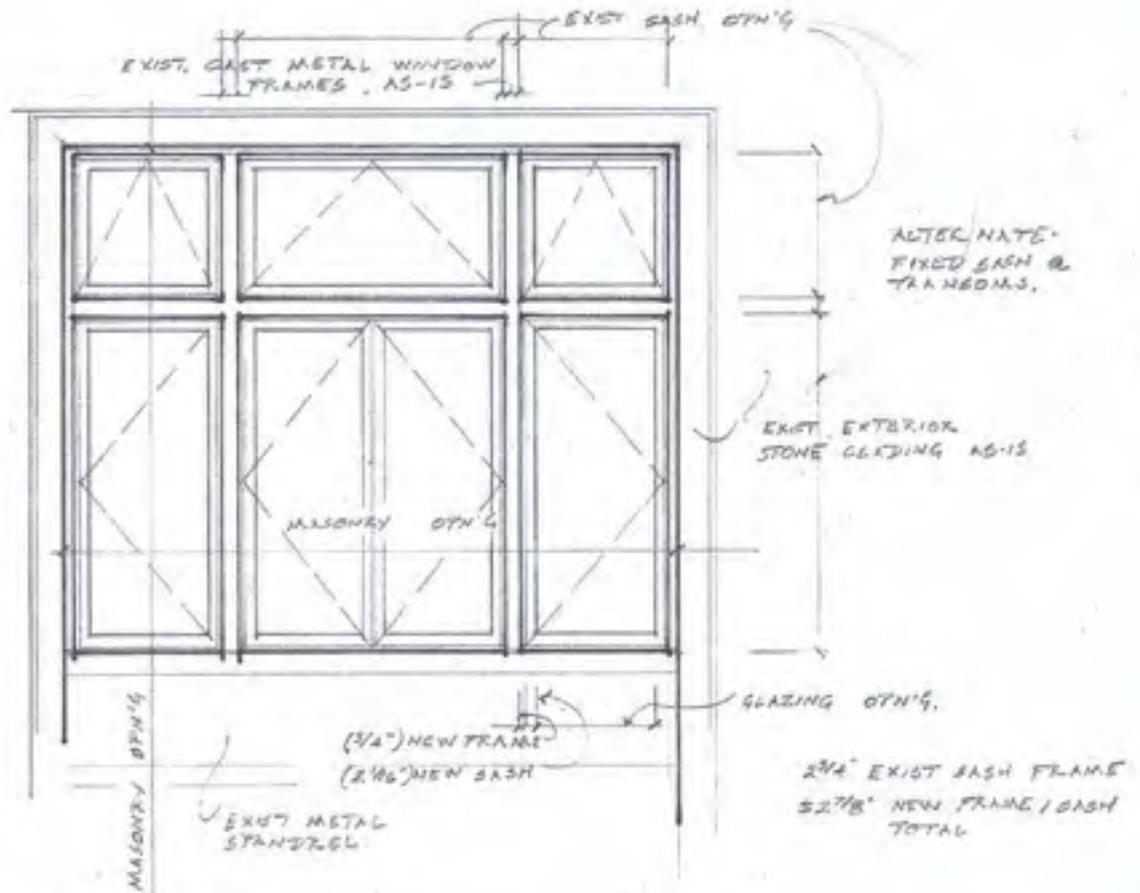


2076 Google



PROPOSED WINDOW SASH
REPLACEMENT THESE WINDOWS.
NEW OPERABLE WINDOWS
MATCH EXIST. EXTERIOR COLOR (BLACK)



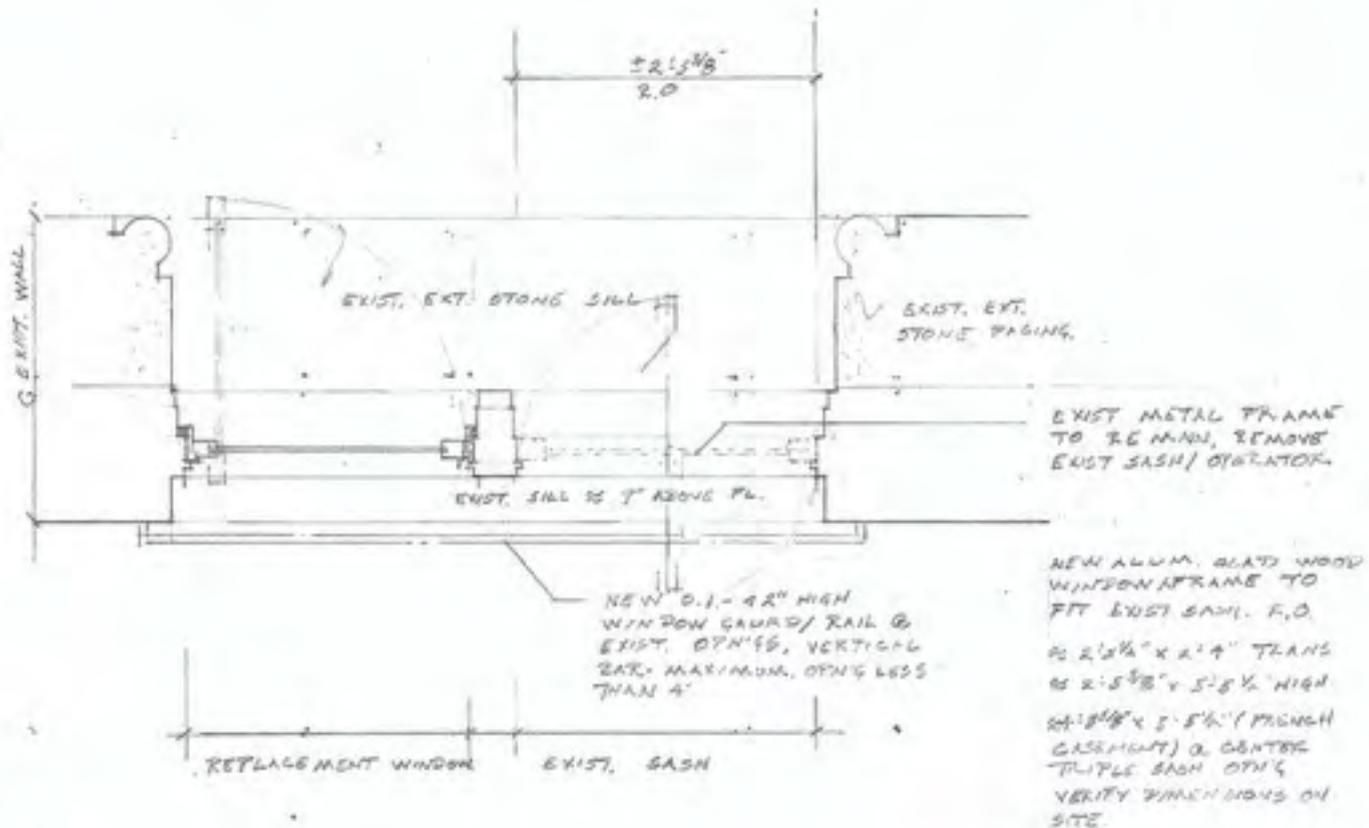


WINDOW SASH REPLACEMENT
 THE YARD
 100 6TH AVE
 GRAEME ST ENTRY



DONALD J. SNAVEC ARCHITECT
 615 WASHINGTON RD-300
 PITTSBURGH PA 15228
 (412) 343-4181

Donald J. Snavec



MARVIN WINDOWS
 R.O. - 2'-5" x 5'-3 1/8" SINGLE CASEMENT
 4'-4 1/4" x 5'-3 1/8" FRENCH CASEMENT

VERIFY DIMENSIONS ON SITE W/ MANUFACTURER'S SIZES

OTHER MANUFACTURER AS CHOSEN BY OWNERS. ALTERNATE CUSTOM SIZE TO SUIT EXIST. SASH. R.O.

1" = 1' 0"



Dall Gun



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FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

808 Ridge Avenue (Jones Hall)
 Pittsburgh PA 15212

OWNER: Community College of Allegheny County
 NAME:

ADDRESS: 800 Allegheny Avenue
 Pittsburgh PA 15233

PHONE: (412) 237-
 EMAIL: jmesser@ccac.edu

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

Allegheny West

APPLICANT:

NAME: Radelet McCarthy Polletta Incorporated

ADDRESS: 100 First Avenue, Suite 300
 Pittsburgh PA 15222

PHONE: (412) 471-4445

EMAIL: jpolletta@radeletmccarthy.com

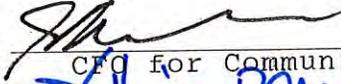
REQUIRED ATTACHMENTS:

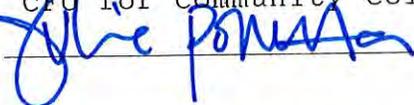
- Drawings Photographs Renderings Site Plan Other

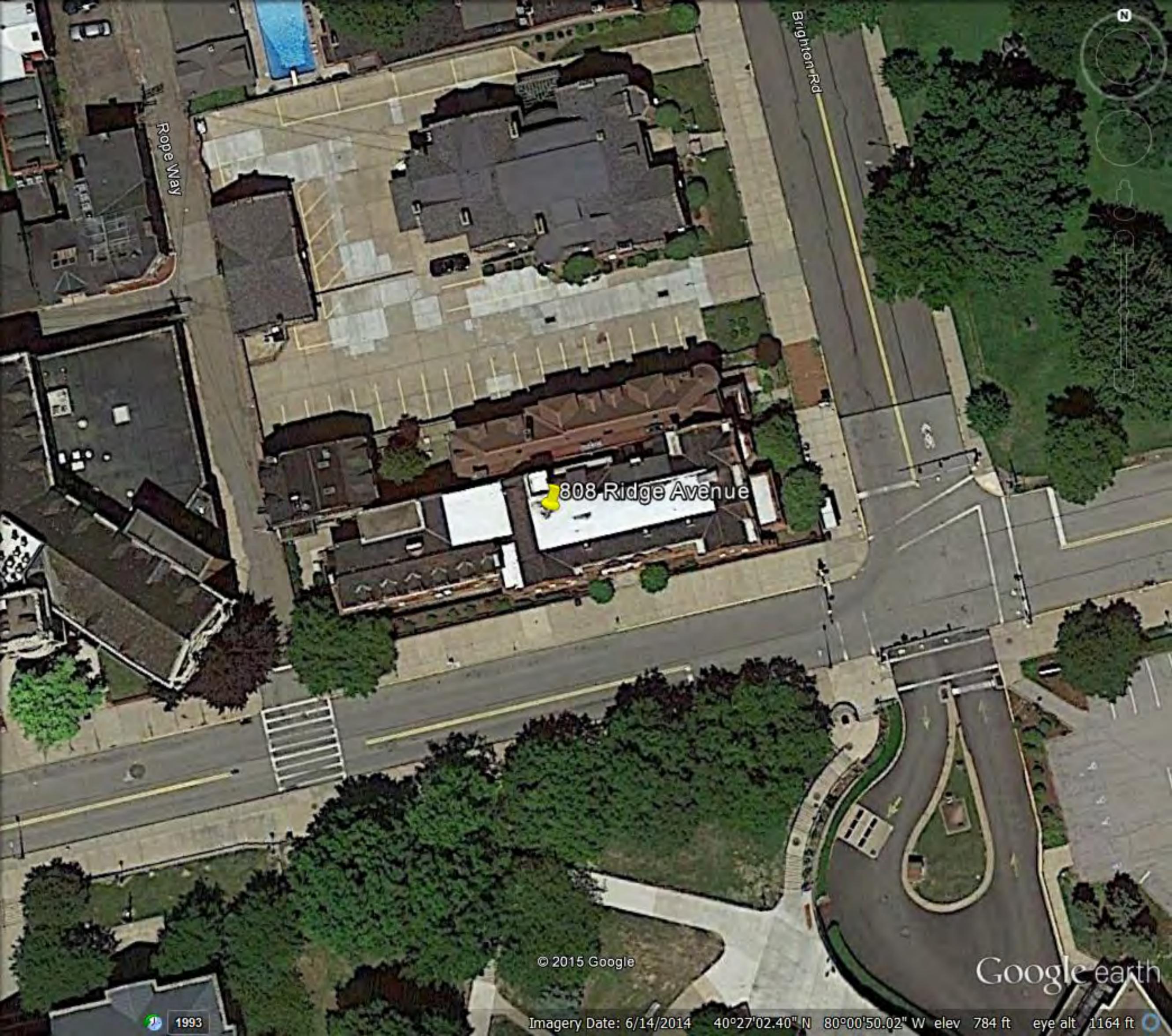
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Include ornamental metal handrail as part of prevoulsly approved work on
 stone steps and add alternate work on cheek walls, curb walls, and door.

SIGNATURES:

OWNER:  J. B. Messer DATE: 3/23/16
 CFO for Community College of Allegheny County

APPLICANT:  DATE: 3/23/16



Rope Way

Brighton Rd

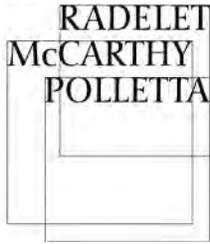
808 Ridge Avenue

© 2015 Google

Google earth

1993

Imagery Date: 6/14/2014 40°27'02.40" N 80°00'50.02" W elev 784 ft eye alt 1164 ft



300 First & Market Building
 100 First Avenue
 Pittsburgh, PA 15222
 T. 412.471.4445 F. 412.471.2881
 www.radeletmccarthy.com

Architects and Interior Designers

Principals
 Kelly W. Brown, AIA, CSI, LEED AP
 Julie C. Polletta, AIA, LEED AP
 David J. Wells, AIA

MEMORANDUM

PROJECT: Repair Main Entrance – Jones Hall, Ridge Avenue
 CCAC Allegheny Campus
 CCAC Project 16-AC-001
 RMP Project 15052

TO: Sharon Spooner Historic Review Commission of Pittsburgh
 Carole Malakoff Allegheny West Civic Council

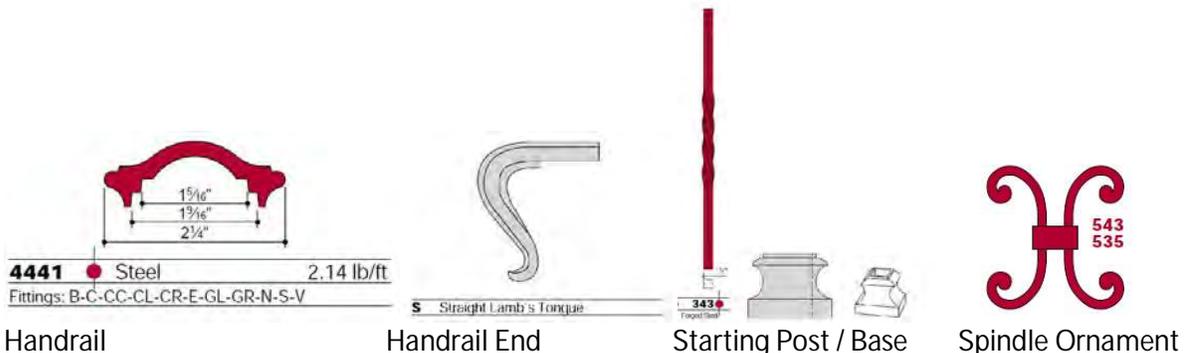
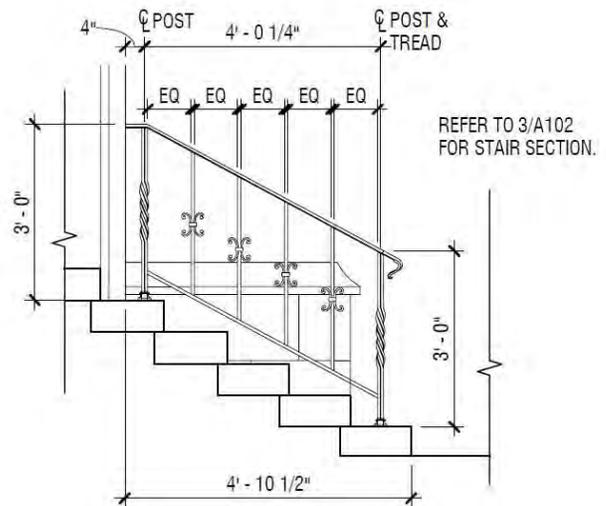
CC: Ray Marks / JB Messer CCAC, Facilities Management

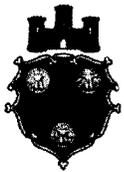
FROM: Julie Polletta Radelet McCarthy Polletta Inc

DATE: March 11, 2016

SUBJECT: Proposed Amendment to Certificate of Appropriateness: New Handrail

The proposed handrail will be located on both sides of the entrance door, and will not extend into the sidewalk or into the top landing (Basis of Design: Julius Blum & Company; Finish: Black).





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City of Pittsburgh, Department of City Planning
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FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

911 Galveston Ave
Pittsburgh, PA 15233

OWNER:

NAME: The Delta Foundation of Pittsburgh

ADDRESS: 911 Galveston Ave
Pittsburgh, PA 15233

PHONE: (412) 246-4451

EMAIL: www.deltafoundation.us

STAFF USE ONLY:

DATE RECEIVED: 2/12/16

LOT AND BLOCK NUMBER: 7-D-151

WARD: 2nd

FEE PAID: 400

DISTRICT:

Allegheny West

APPLICANT:

NAME: David Morgan

ADDRESS: 3308 Perrysville Ave
Pittsburgh, PA 15214

PHONE: (412) 901-7765

EMAIL: morgan412@gmail.com

REQUIRED ATTACHMENTS:

Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SEE ATTACHMENT

SIGNATURES:

OWNER:

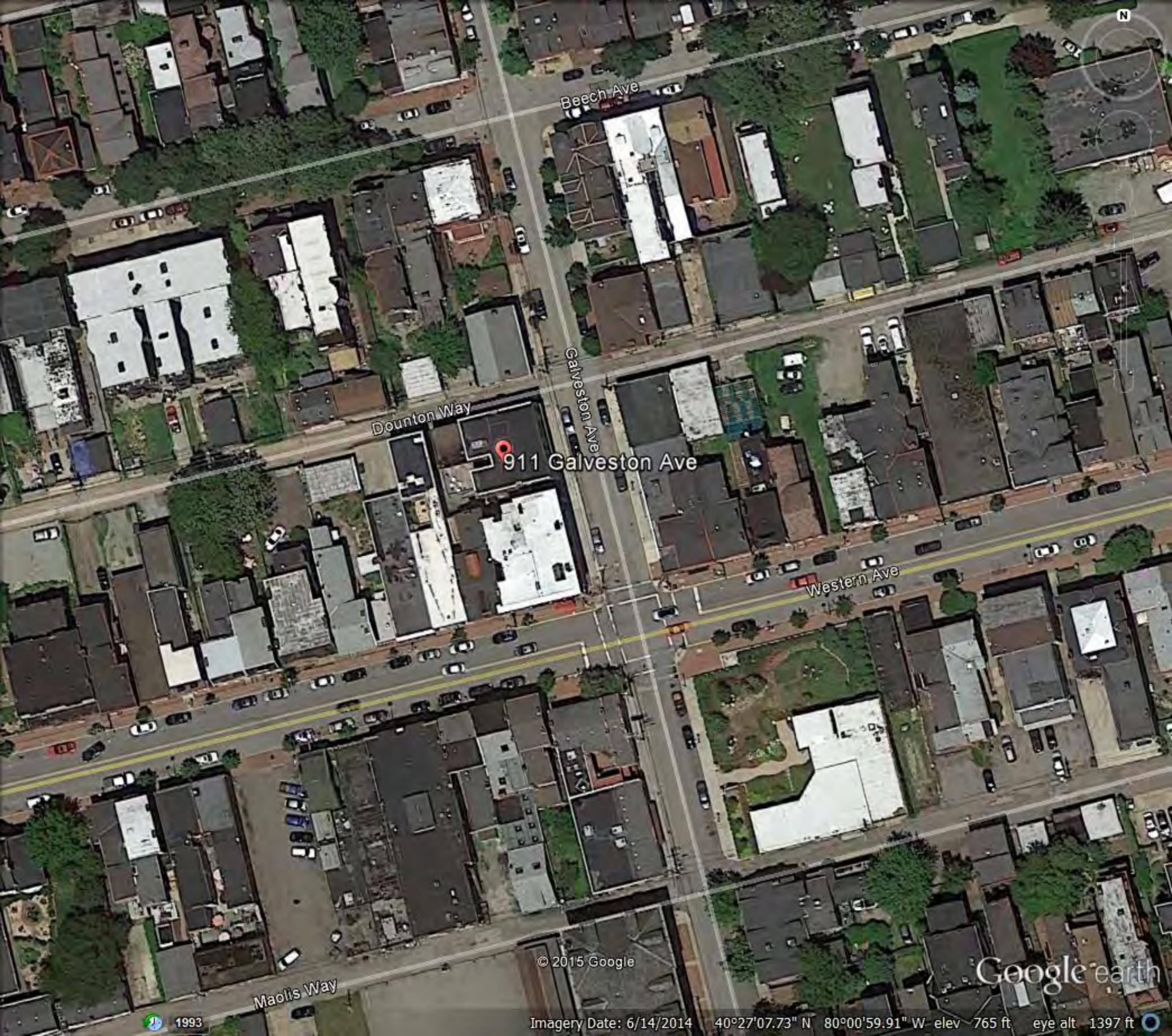
DATE:

2/19/16

APPLICANT:

DATE:

1/20/2015



Beech Ave

Dounton Way

Galveston Ave

911 Galveston Ave

Western Ave

Maolis Way

© 2015 Google

Google earth

1993

Imagery Date: 6/14/2014 40°27'07.73" N 80°00'59.91" W elev 765 ft eye alt 1397 ft

PROJECT DESCRIPTION:

PORTIONS OF THE EXTERIOR RENOVATIONS HAVE BEEN STARTED WITHOUT HISTORIC REVIEW COMMISSION APPROVAL AND WITHOUT A CERTIFICATE OF APPROPRIATENESS. THESE DRAWINGS HAVE BEEN CREATED TO ALLOW FOR HRC REVIEW OF:

- A.** ORIGINAL EXISTING CONDITIONS OF THE BUILDING AS IT EXISTED IN 2012 (PRIOR TO THE CURRENT OWNERSHIP)
- B.** CURRENT EXISTING CONDITIONS OF THE BUILDING IN 2015 AFTER A PORTION OF THE EXTERIOR RENOVATIONS HAVE BEEN STARTED.
- C.** PROPOSED FINAL RENOVATIONS OF THE BUILDING TO BE COMPLETED IN 2016.

THE PROPOSED EXTERIOR RENOVATION OF 911 GALVESTON AVE CONSISTS OF THE FOLLOWING ITEMS:

EXTERIOR DEMOLITION

REMOVAL OF PORTIONS OF EXISTING FRONT AND SIDE FACADE (COMPLETED IN 2015.)

INCLUDING:

GLAZING

WOOD STOREFRONT FRAMING

WOOD AND GLASS TRANSOMS

WOOD AND GLASS HINGED PANELS AT THE LOWER STOREFRONT BULKHEAD

METAL FLAG BRACKETS AT ORIGINAL STOREFRONT SIGNBOARD

SELECT EXISTING WINDOWS

SELECT EXISTING MASONRY INFILL AT EXISTING SIDE OPENINGS

EXISTING WOOD SIDE DOOR AND TRANSOM

EXISTING WOOD PANEL GARAGE DOOR

EXISTING STONE AND CONCRETE SIDEWALK AND STEP ALONG ENTIRE SIDE FACADE

EXISTING WOOD FRAME AND DOOR AT REAR OF SIDE FACADE

EXTERIOR CONSTRUCTION COMPLETED IN 2015

INSTALLATION OF NEW CONSTRUCTION AT FRONT AND SIDE FACADE (COMPLETED IN 2015)

INCLUDING:

NEW WOOD STOREFRONT FRAMING TO APPROXIMATE PROPORTIONS OF ORIGINAL FACADE

NEW GLASS TRANSOMS

NEW WOOD PANELS AT THE LOWER STOREFRONT BULKHEAD TO APPROXIMATE THE

PROPORTIONS OF THE ORIGINAL WOOD AND GLASS HINGED PANELS

NEW VINYL FIXED AND DOUBLE HUNG WINDOWS IN EXISTING ORIGINAL OPENINGS AT SIDE FACADE

NEW FLUSH METAL DOOR, FRAME AND TRANSOM AT ORIGINAL SIDE DOOR

NEW FLUSH METAL GARAGE DOOR AT ORIGINAL GARAGE DOOR

NEW LIGHT FIXTURES AT SIDE FACADE

NEW VENT THROUGH WALL AT SIDE FACADE

NEW FLUSH MOUNTED GARAGE DOOR OPERATER AT SIDE FACADE

NEW CONCRETE SIDEWALK AND STEP ALONG ENTIRE SIDE FACADE

EXTERIOR CONSTRUCTION PROPOSED FOR 2016

INSTALLATION OF NEW CONSTRUCTION AT FRONT AND SIDE FACADE INCLUDING:

NEW WOOD TRIM FRAMING TO MORE ACCURATELY APPROXIMATE THE PROPORTIONS OF ORIGINAL FACADE

REMOVE EXISTING GLASS TRANSOMS AND INSTALL NEW FIXED WOOD TRANSOM SASHES TO

MATCH EXISTING ORIGINAL TRANSOM SASHES

NEW WOOD TRIM AROUND PANELS AT THE LOWER STOREFRONT BULKHEAD TO MORE

ACCURATELY APPROXIMATE THE PROPORTIONS OF THE ORIGINAL WOOD AND GLASS HINGED PANELS

REMOVE VINYL FIXED AND DOUBLE HUNG WINDOWS INSTALLED IN 2015 AND INSTALL NEW

WOOD FIXED AND DOUBLE HUNG WINDOWS IN EXISTING ORIGINAL OPENINGS AT SIDE

FACADE.

REMOVE EXISTING ALUMINUM AND GLASS ENTRANCE DOOR, FRAME, TRANSOM AND

SIDELIGHTS AT FIRST FLOOR ENTRANCE.

INSTALL NEW WOOD AND GLASS ENTRANCE DOOR, FRAME SIDELIGHTS AND TRANSOM IN

EXISTING ORIGINAL OPENING AT FIRST FLOOR ENTRANCE.

REPAIR ALL EXISTING WOOD STOREFRONT TRIM AS REQUIRED TO MATCH EXISTING

ORIGINAL (2012) TRIM

PRIME AND PAINT ENTIRE EXISTING WOOD FACADE

PRIME AND PAINT ALL FIRST FLOOR WOOD WINDOWS AT SIDE FACEADE

PRIME AND PAINT METAL DOOR(S) AT SIDE FACADE

INSTALL NEW ADA COMPLIANT RAMP AT FRONT SIDEWALK AS REQUIRED TO COMPLY WITH 2009 IBC

REVISION HISTORY			
REV	DESCRIPTION	DATE	APPROVED

PROJECT DESCRIPTION:

- PORTIONS OF THE EXTERIOR RENOVATIONS HAVE BEEN STARTED WITHOUT HISTORIC REVIEW COMMISSION APPROVAL AND WITHOUT A CERTIFICATE OF APPROPRIATENESS. THESE DRAWINGS HAVE BEEN CREATED TO ALLOW FOR HRC REVIEW OF:
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 - C. PROPOSED FINAL RENOVATIONS OF THE BUILDING TO BE COMPLETED IN 2016.

THE PROPOSED EXTERIOR RENOVATION OF 911 GALVESTON AVE CONSISTS OF THE FOLLOWING ITEMS:

EXTERIOR DEMOLITION
 REMOVAL OF PORTIONS OF EXISTING FRONT AND SIDE FACADE (COMPLETED IN 2015.) INCLUDING:
 GLAZING
 WOOD STOREFRONT FRAMING
 WOOD AND GLASS TRANSOMS
 WOOD AND GLASS HINGED PANELS AT THE LOWER STOREFRONT BULKHEAD
 METAL FLAG BRACKETS AT ORIGINAL STOREFRONT SIGNBOARD
 SELECT EXISTING WINDOWS
 SELECT EXISTING MASONRY INFILL AT EXISTING SIDE OPENINGS
 EXISTING WOOD SIDE DOOR AND TRANSOM
 EXISTING WOOD PANEL GARAGE DOOR
 EXISTING STONE AND CONCRETE SIDEWALK AND STEP ALONG ENTIRE SIDE FACADE
 EXISTING WOOD FRAME AND DOOR AT REAR OF SIDE FACADE

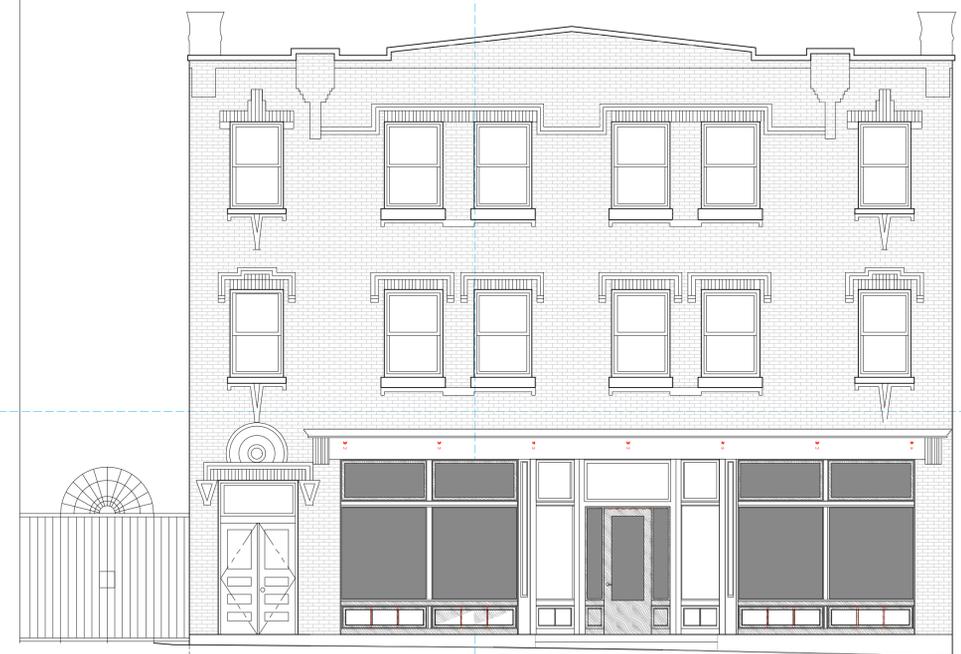
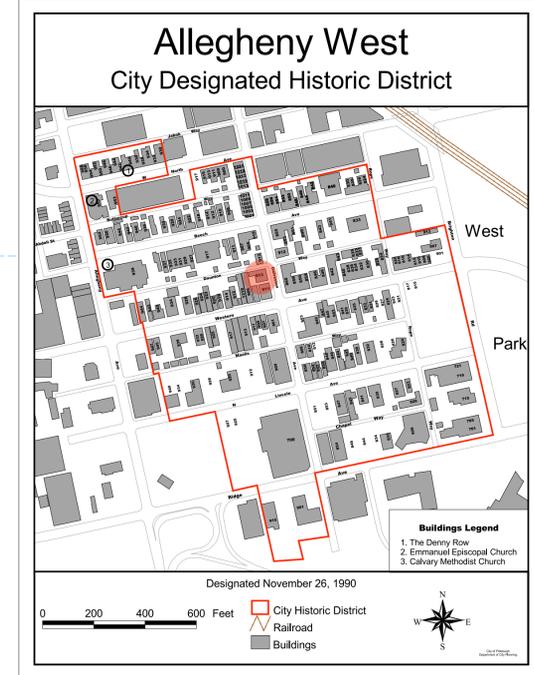
EXTERIOR CONSTRUCTION COMPLETED IN 2015
 INSTALLATION OF NEW CONSTRUCTION AT FRONT AND SIDE FACADE (COMPLETED IN 2015) INCLUDING:
 NEW WOOD STOREFRONT FRAMING TO APPROXIMATE PROPORTIONS OF ORIGINAL FACADE
 NEW GLASS TRANSOMS
 NEW WOOD PANELS AT THE LOWER STOREFRONT BULKHEAD TO APPROXIMATE THE PROPORTIONS OF THE ORIGINAL WOOD AND GLASS HINGED PANELS
 NEW VINYL FIXED AND DOUBLE HUNG WINDOWS IN EXISTING ORIGINAL OPENINGS AT SIDE FACADE
 NEW FLUSH METAL DOOR, FRAME AND TRANSOM AT ORIGINAL SIDE DOOR
 NEW FLUSH METAL GARAGE DOOR AT ORIGINAL GARAGE DOOR
 NEW LIGHT FIXTURES AT SIDE FACADE
 NEW VENT THROUGH WALL AT SIDE FACADE
 NEW FLUSH MOUNTED GARAGE DOOR OPERATOR AT SIDE FACADE
 NEW CONCRETE SIDEWALK AND STEP ALONG ENTIRE SIDE FACADE

EXTERIOR CONSTRUCTION PROPOSED FOR 2016
 INSTALLATION OF NEW CONSTRUCTION AT FRONT AND SIDE FACADE INCLUDING:
 NEW WOOD TRIM FRAMING TO MORE ACCURATELY APPROXIMATE THE PROPORTIONS OF ORIGINAL FACADE
 REMOVE EXISTING GLASS TRANSOMS AND INSTALL NEW FIXED WOOD TRANSOM SASHES TO MATCH EXISTING ORIGINAL TRANSOM SASHES
 NEW WOOD TRIM AROUND PANELS AT THE LOWER STOREFRONT BULKHEAD TO MORE ACCURATELY APPROXIMATE THE PROPORTIONS OF THE ORIGINAL WOOD AND GLASS HINGED PANELS
 REMOVE VINYL FIXED AND DOUBLE HUNG WINDOWS INSTALLED IN 2015 AND INSTALL NEW WOOD FIXED AND DOUBLE HUNG WINDOWS IN EXISTING ORIGINAL OPENINGS AT SIDE FACADE.
 REMOVE EXISTING ALUMINUM AND GLASS ENTRANCE DOOR, FRAME, TRANSOM AND SIDELIGHTS AT FIRST FLOOR ENTRANCE.
 INSTALL NEW WOOD AND GLASS ENTRANCE DOOR, FRAME SIDELIGHTS AND TRANSOM IN EXISTING ORIGINAL OPENING AT FIRST FLOOR ENTRANCE.
 REPAIR ALL EXISTING WOOD STOREFRONT TRIM AS REQUIRED TO MATCH EXISTING ORIGINAL (2012) TRIM
 PRIME AND PAINT ENTIRE EXISTING WOOD FACADE
 PRIME AND PAINT ALL FIRST FLOOR WOOD WINDOWS AT SIDE FACEADE
 PRIME AND PAINT METAL DOOR(S) AT SIDE FACADE

INSTALL NEW ADA COMPLIANT RAMP AT FRONT SIDEWALK AS REQUIRED TO COMPLY WITH 2009 IBC

PROJECT LOCATION:

911 GALVESTON IS LOCATED IN THE ALLEGHENY WEST HISTORIC DISTRICT OF THE CITY OF PITTSBURGH



GALVESTON AVENUE ELEVATION
 Scale: 3/16" = 1'-0"



DOUGHTON WAY ELEVATION
 Scale: 3/16" = 1'-0"

EXTERIOR RENOVATIONS TO EXISTING BUILDING
911 GALVESTON AVENUE
 ALLEGHENY WEST PITTSBURGH, PA 15233

MORGAN ARCHITECTURE + DESIGN
 1234 SARAH ST PITTSBURGH, PA 15203 412.901.7765 MORGAN412@GMAIL.COM

2/17/16 PRELIMINARY **COVER SHEET A-0**



PHOTO 1 (2012)



PHOTO 2 (2015)



GALVESTON AVENUE ELEVATION (2012)
Scale: 1/4" = 1'-0"



GALVESTON AVENUE ELEVATION (COMPLETED IN 2015 AND PROPOSED WORK)
Scale: 1/4" = 1'-0"

- EXISTING ORIGINAL (2012) DH WINDOWS REMAIN
- EXISTING ORIGINAL (2012) DH WINDOWS REMAIN
- EXISTING BRICK MASONRY REMAINS (TYPICAL)
- SEE SHEET A-2 FOR ENLARGED ELEVATIONS
- EXISTING WROUGHT IRON GATE REMAINS
- EXISTING DOORS AND FRAME REMAIN. (SEE PHOTO)

REVISION HISTORY			
REV	DESCRIPTION	DATE	APPROVED

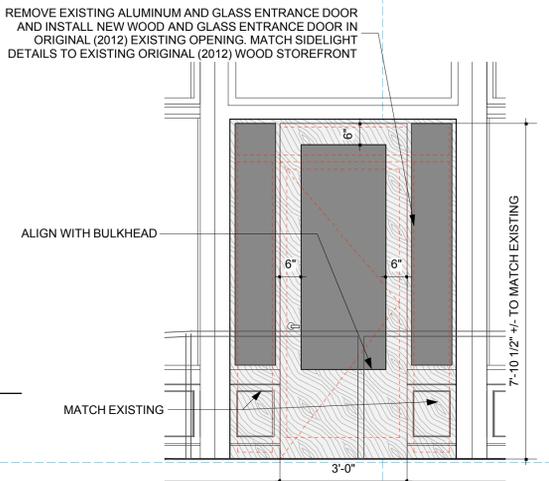
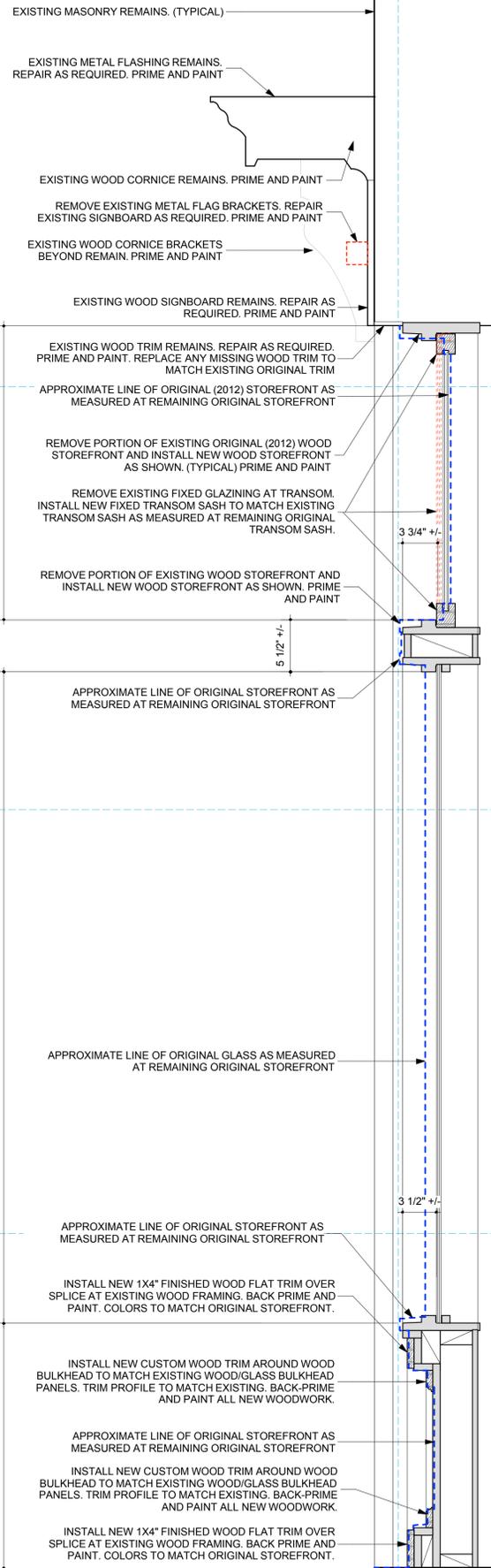


EXTERIOR RENOVATIONS TO EXISTING BUILDING
911 GALVESTON AVENUE
 ALLEGHENY WEST PITTSBURGH, PA 15233

MORGAN ARCHITECTURE + DESIGN
 1234 SARAH ST PITTSBURGH, PA 15203 412.901.7765 MORGAN412@GMAIL.COM

2/17/16 **FRONT ELEVATIONS**
 PRELIMINARY **A-1**

REVISION HISTORY			
REV	DESCRIPTION	DATE	APPROVED



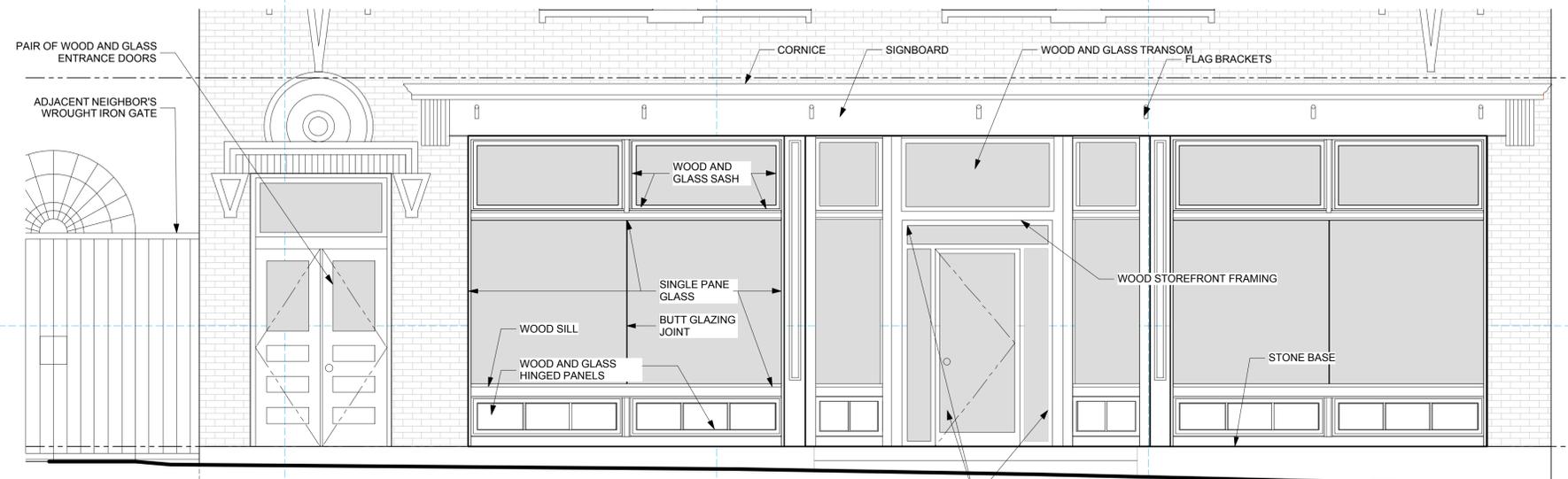
NEW ENTRANCE DOOR
Scale: 1/2" = 1'-0"



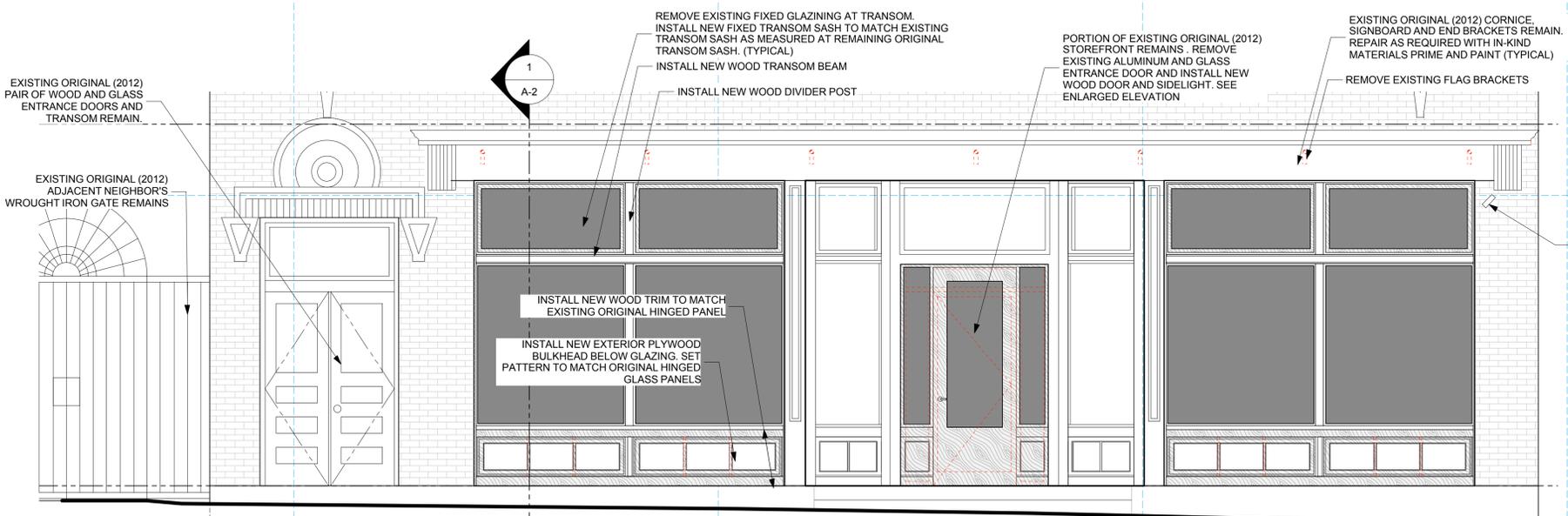
PHOTO 3 (2012)



PHOTO 4 (2015)



ENLARGED GALVESTON AVENUE ELEVATION (2012)
Scale: 3/8" = 1'-0"



ENLARGED GALVESTON AVENUE ELEVATION (COMPLETED AND PROPOSED)
Scale: 3/8" = 1'-0"

SECTION THROUGH EXISTING / PROPOSED STOREFRONT
Scale: 1 1/2" = 1'-0"



EXTERIOR RENOVATIONS TO EXISTING BUILDING
911 GALVESTON AVENUE
ALLEGHENY WEST PITTSBURGH, PA 15233

MORGAN ARCHITECTURE + DESIGN
1234 SARAH ST PITTSBURGH, PA 15203 412.901.7765 MORGAN412@GMAIL.COM

2/17/16 **ENLARGED ELEVATIONS**
PRELIMINARY

A-2

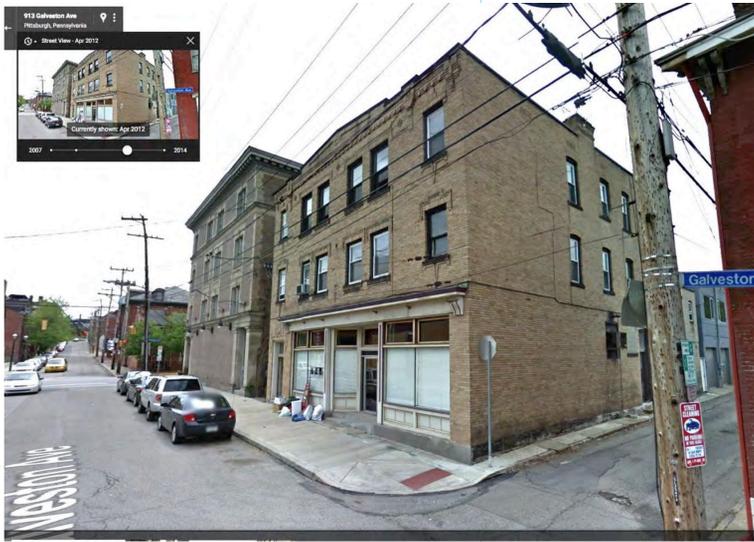


PHOTO 5 (2012)



PHOTO 6 (2012)

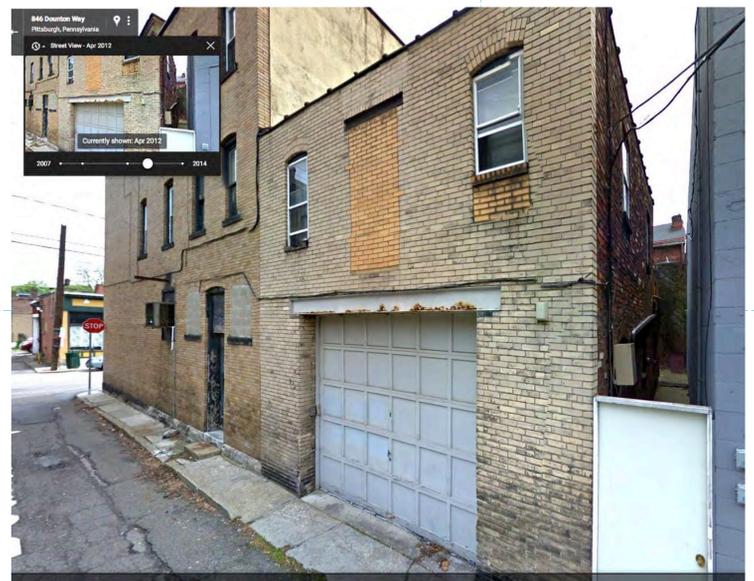


PHOTO 7 (2012)

PHOTOS - 2012



DOWNTON WAY ELEVATION (2012)

Scale: 1/4" = 1'-0"



DOWNTON WAY ELEVATION (PROPOSED)

Scale: 1/4" = 1'-0"

REVISION HISTORY			
REV	DESCRIPTION	DATE	APPROVED

KEYNOTES:



EXTERIOR RENOVATIONS TO EXISTING BUILDING
911 GALVESTON AVENUE
 ALLEGHENY WEST PITTSBURGH, PA 15233

MORGAN ARCHITECTURE + DESIGN
 1234 SARAH ST PITTSBURGH, PA 15203 412.901.7765 MORGAN412@GMAIL.COM

2/17/16

PRELIMINARY

SIDE ELEVATIONS

A-3

REVISION HISTORY			
REV	DESCRIPTION	DATE	APPROVED



PHOTO 8 (2015)

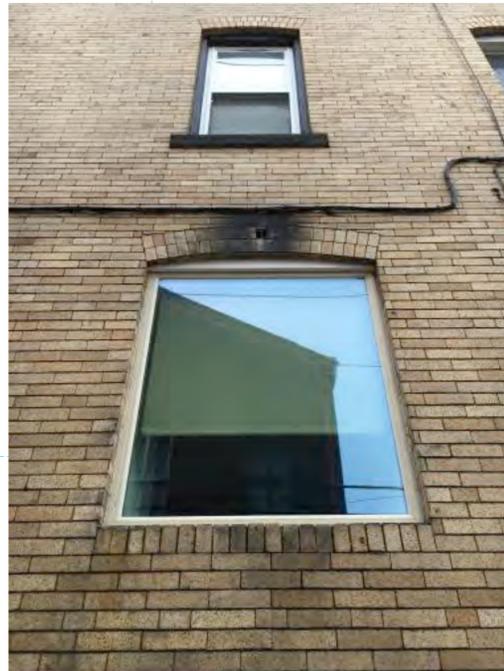


PHOTO 9 (2015)



PHOTO 10 (2015)



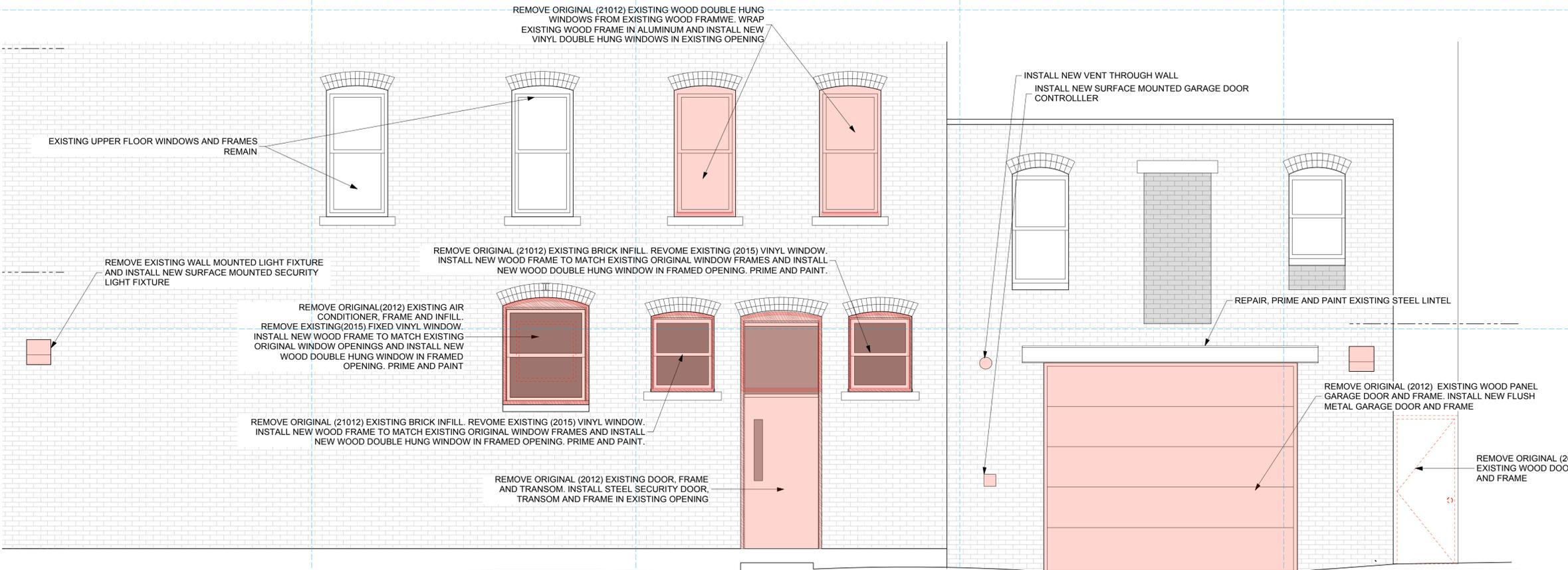
PHOTO 11 (2015)



PHOTO 12 (2015)



PHOTO 13 (2015)



ENLARGED DOUNTON WAY ELEVATION (PROPOSED)
Scale: 3/8" = 1'-0"



EXTERIOR RENOVATIONS TO EXISTING BUILDING
911 GALVESTON AVENUE
ALLEGHENY WEST PITTSBURGH, PA 15233

MORGAN ARCHITECTURE + DESIGN
1234 SARAH ST PITTSBURGH, PA 15203 412.901.7765 MORGAN412@GMAIL.COM

2/17/16 ENLARGED ELEVATIONS
PRELIMINARY **A-4**

REVISION HISTORY			
REV	DESCRIPTION	DATE	APPROVED

KEYNOTES:



PHOTO 18 (2015)



PHOTO 19 (2015)



PHOTO 22 (2015)



PHOTO 21 (2015)



PHOTO 20 (2015)



PHOTO 14 (2015)



PHOTO 15 (2015)



PHOTO 16 (2015)



PHOTO 17 (2015)



EXTERIOR RENOVATIONS TO EXISTING BUILDING
911 GALVESTON AVENUE
 ALLEGHENY WEST PITTSBURGH, PA 15233

MORGAN ARCHITECTURE + DESIGN
 1234 SARAH ST PITTSBURGH, PA 15203 412.901.7765 MORGAN412@GMAIL.COM

2/17/16

2015 PHOTOS

PRELIMINARY

A-5

1

2

3

4

5

6

REVISION HISTORY			
REV	DESCRIPTION	DATE	APPROVED

KEYNOTES:



PHOTO 26 (2012)



PHOTO 25 (2008)



PHOTO 28 (2012)

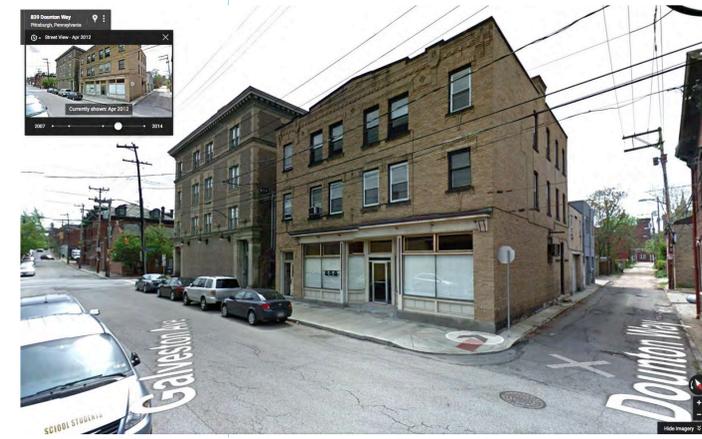


PHOTO 24 (2012)



PHOTO 27 (2012)



PHOTO 23 (2012)



EXTERIOR RENOVATIONS TO EXISTING BUILDING
911 GALVESTON AVENUE
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2/17/16

2012 PHOTOS

PRELIMINARY

A-6



PHOTO 29

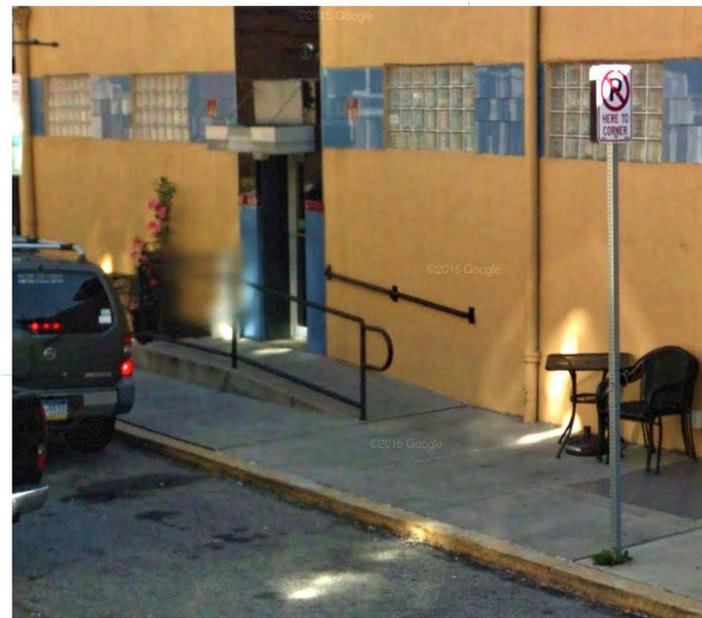
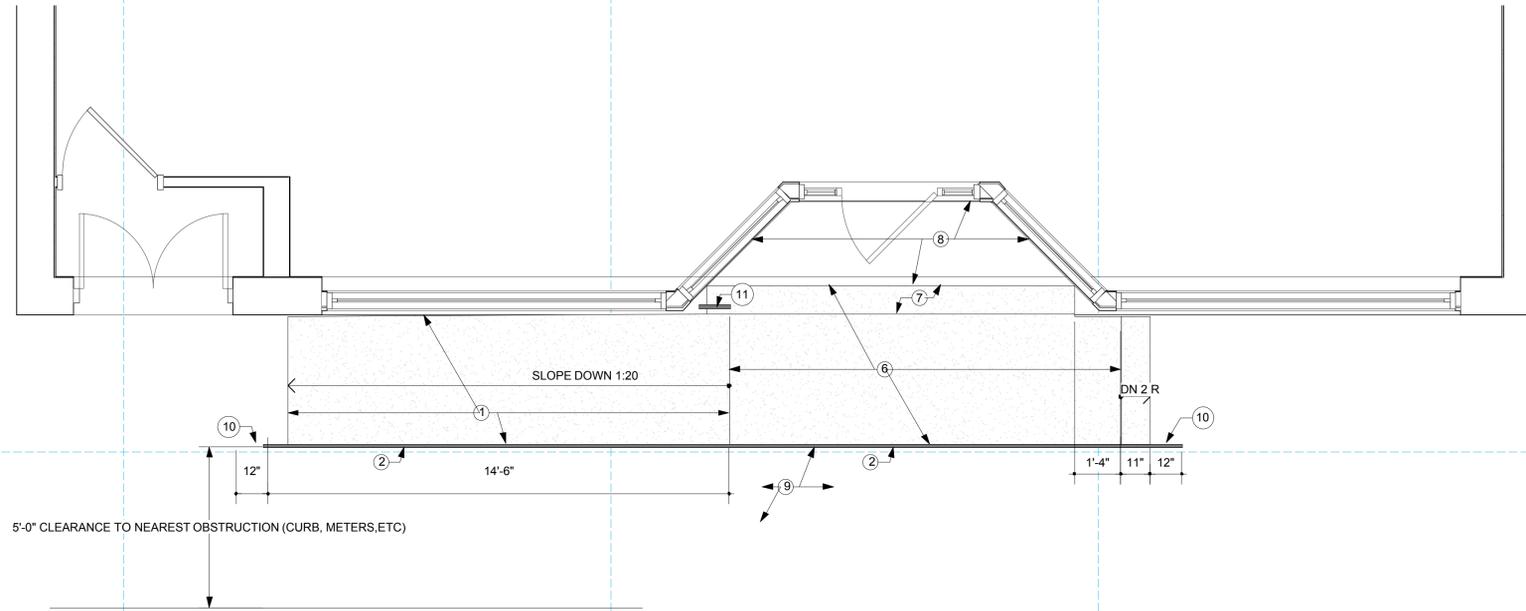
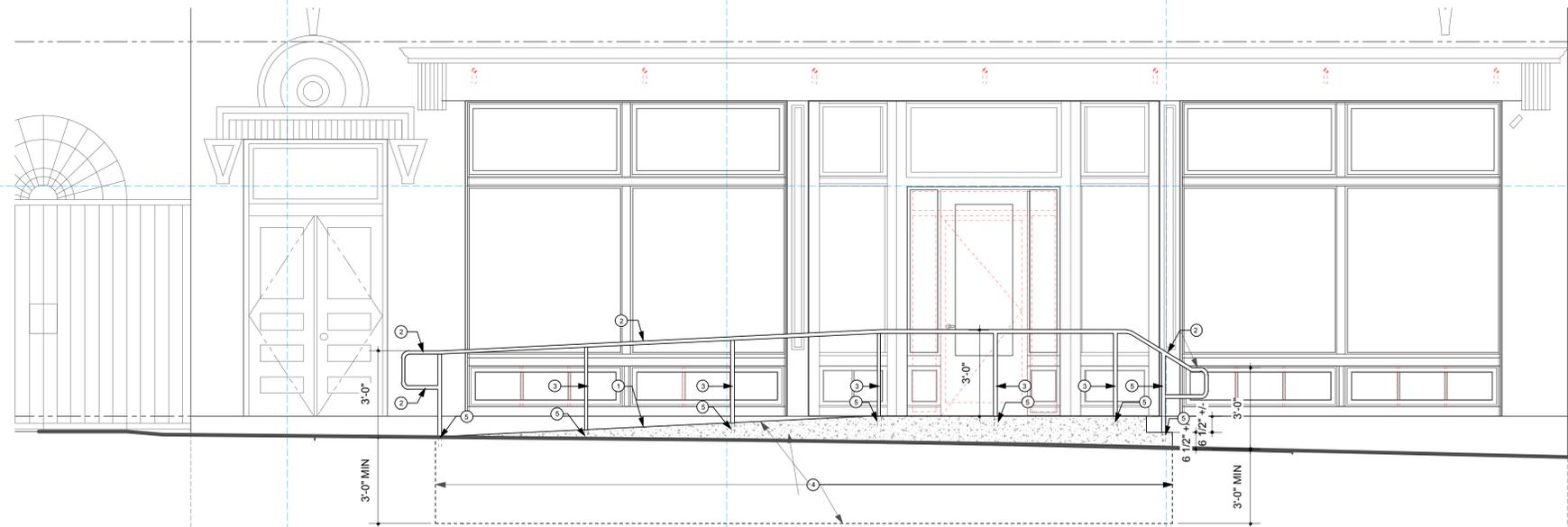


PHOTO 30



PARTIAL FIRST FLOOR PLAN AT RAMP
Scale: 3/8" = 1'-0"



ENLARGED ELEVATION AT RAILING
Scale: 3/8" = 1'-0"

REVISION HISTORY			
REV	DESCRIPTION	DATE	APPROVED

KEYNOTES:

- ① INSTALL NEW CONCRETE SLOPED SLAB
SLOPE = 1:20 MAX.
FINISH = BROOM FINISH
- ② 1 1/2" DIAMETER GALVANIZED STEEL PIPE RAILING, PRIME AND PAINT WITH 2 COATS. PIPE RAIL SHALL BE CONTINUOUS ALONG ENTIRE LENGTH OF RAIL
- ③ 1 1/2" DIAMETER GALVANIZED STEEL PIPE POST, PRIME AND PAINT WITH 2 COATS. SPACE EVENLY - NOT TO EXCEED 5'-0"
- ④ 12" THICK REINFORCED CONCRETE END WALL, EXTEND WALL TO 36" MINIMUM BELOW EXISTING GRADE
- ⑤ INSET NEW PIPE COLUMN 4" INTO CONCRETE SLAB, FILL AROUND COLUMN WITH N.S. GROUT, MAINTAIN 3" MINIMUM CLEARANCE TO CENTERLINE OF PIPE, (TYPICAL)
- ⑥ INSTALL NEW LEVEL CONCRETE SLAB (PITCH 1/4" PER FOOT TOWARDS STREET) ALIGN WITH EXISTING FIRST FLOOR LEVEL
- ⑦ REMOVE EXISTING STONE STEP AND INSTALL NEW CONCRETE SLAB OVER TOP
- ⑧ EXISTING TERRAZZO SLAB REMAINS
- ⑨ EXISTING CONCRETE SIDEWALK REMAINS, MAINTAIN 5'-0" MINIMUM CLEARANCE TO CURB
- ⑩ EXTEND PIPE RAIL 12" PAST CHANGE IN SLAB SLOPE
- ⑪ INSTALL PIPE RAIL BARRIER AT CHANGE OF SLOPE

EXTERIOR RENOVATIONS TO EXISTING BUILDING
911 GALVESTON AVENUE
ALLEGHENY WEST PITTSBURGH, PA 15233

MORGAN ARCHITECTURE + DESIGN
1234 SARAH ST PITTSBURGH, PA 15203 412.901.7765 MORGAN412@GMAIL.COM

2/17/16

PRELIMINARY

ADA RAMP
A-7



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 3/28/16

LOT AND BLOCK NUMBER: 8-A-50

WARD: 22nd

FEE PAID: yes

DISTRICT: ALLEGHENY WEST

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

831 WESTERN AVE.
PITTSBURGH, 15233

OWNER:

NAME: CHRIS FETTER

ADDRESS: 831 WESTERN AVE.
PGH, PA 15233

PHONE: (412) 979-3122

EMAIL: fetterstudios@gmail.com

APPLICANT:

NAME: SAME

ADDRESS: _____

PHONE: _____

EMAIL: _____

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

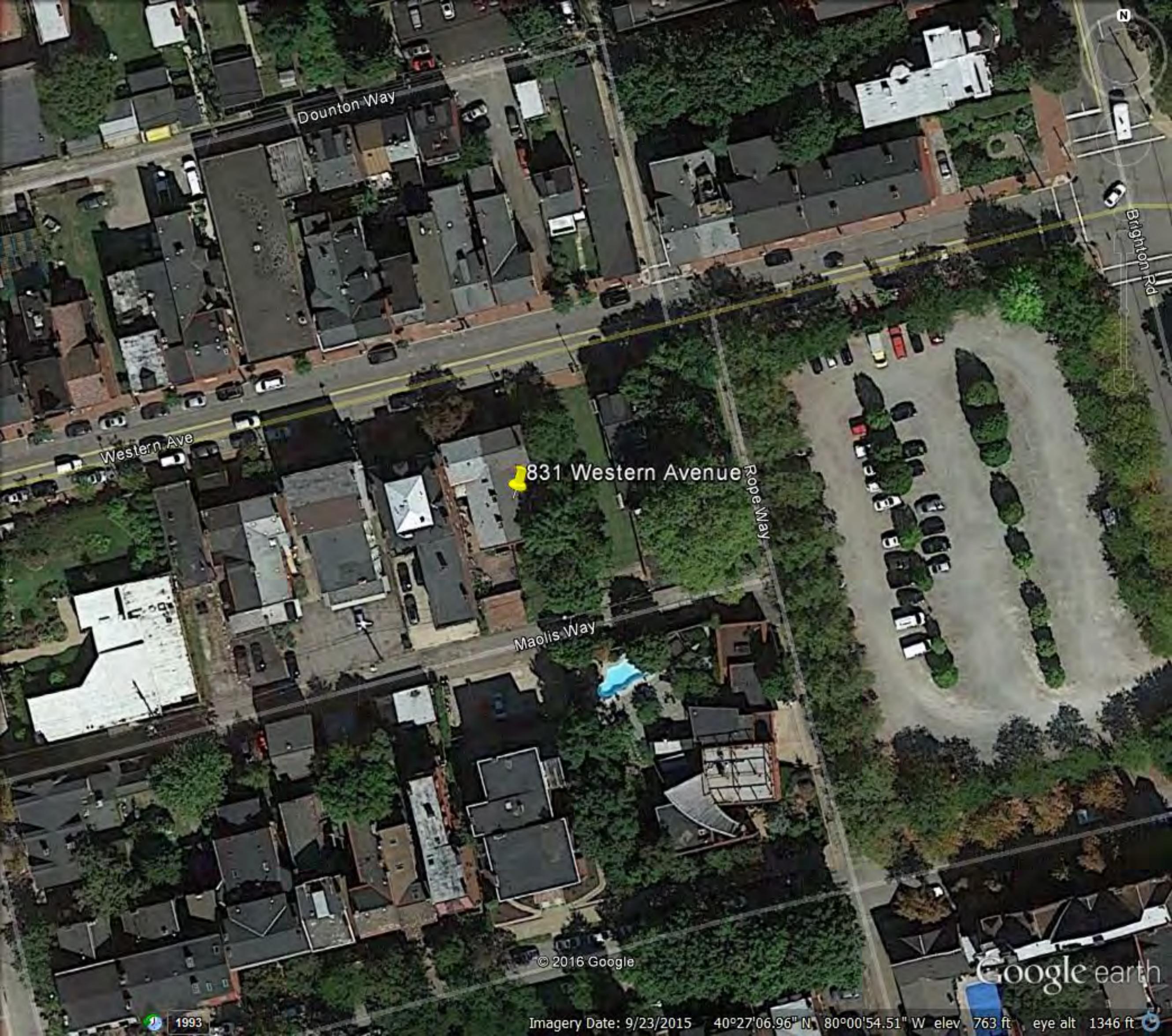
DETAILED DESCRIPTION OF PROPOSED PROJECT:

See enclosed

SIGNATURES:

OWNER: Christopher F. Fetter DATE: March 16, 2016

APPLICANT: _____ DATE: _____



Dounton Way

Western Ave

831 Western Avenue

Rope Way

Maolis Way

Brighton Rd

© 2016 Google

Google earth

1993

Imagery Date: 9/23/2015 40°27'06.96" N 80°00'54.51" W elev 763 ft eye alt 1346 ft

831 Western Avenue Streetface Improvement List

- Remove cinder block porch (Fig.1)
- Relocate the original stone stoop (Fig.2) from side to front entrance to match the stoop at 833 (Fig.3)
- Strip paint from brick and foundation
- Re-point brick with mortar to match 833 (Fig.4)
- Re-point foundation
- Remove boards nailed over original soffit between decorative brackets at eaves (Fig.5)
- Replace windows - four lite, double hung, all wood, true divided lite (Fig.6) - note: original sashes indicate a center mullion (Fig.7)
- Replace headers above 1st floor windows made to match 2nd floor headers or approximate (Fig.8 & 9)
- Recreate decorative overhang above entry with brackets and moulding to match 833 (Fig.10)
- Replace stone threshold (Fig.11)
- Replace basement windows with wood windows to match
- Paint all trim
- Paint entry door
- Using original cast iron fence between 831 & 833 as inspiration (Fig.12) create new iron fencing along left side of property (Fig.13) - from sidewalk to a point even with the front plane of the building - constructed with elements similar to the original (Fig.14)



831 Western Ave.

833 Western Ave.



Fig. 1 - Cinder Block Porch



Fig. 2 - Original Stoop 831 Western



Fig.3 - Front Stoop 833 Western



Fig.4 - Mortar 833 Western



Fig.5 - Soffit



Fig.6 - Four Lite Windows



Fig.7 - Original Sash



Fig.8 - Upper Story Headers (left) First Floor Header (right)

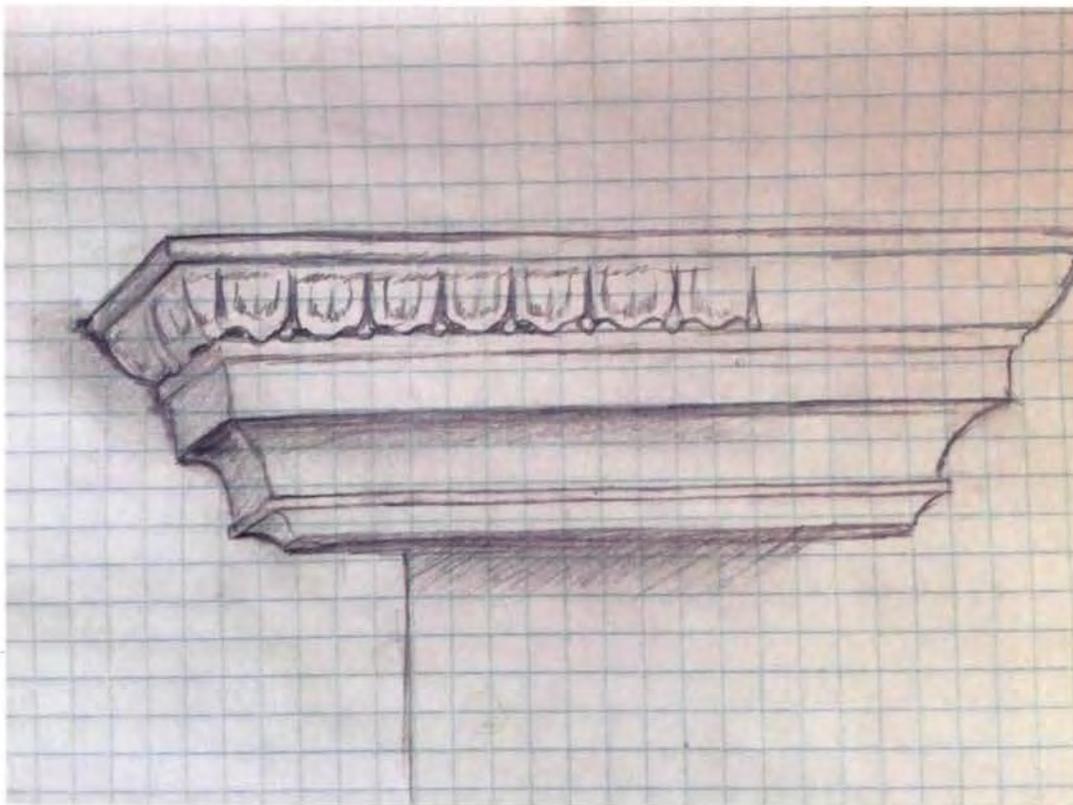


Fig.9 - Possible first floor header (would not include center cartouche)



Fig.10 - Decorative Overhang



Fig.11 - Threshold

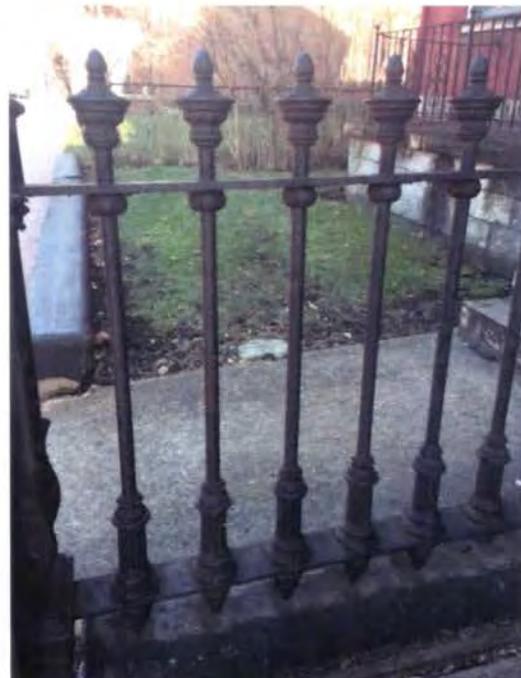


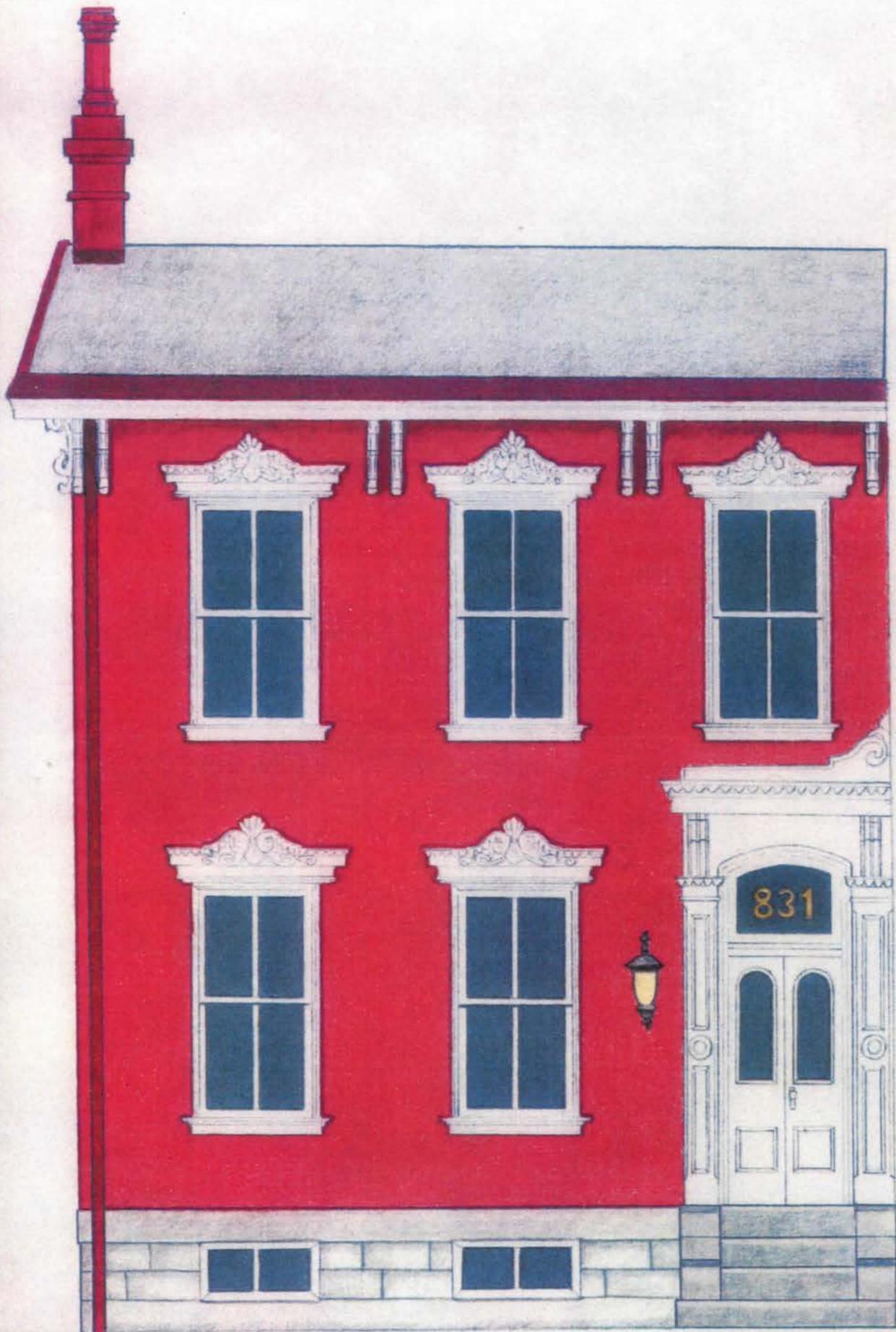
Fig.12 - Original Cast Iron Fence



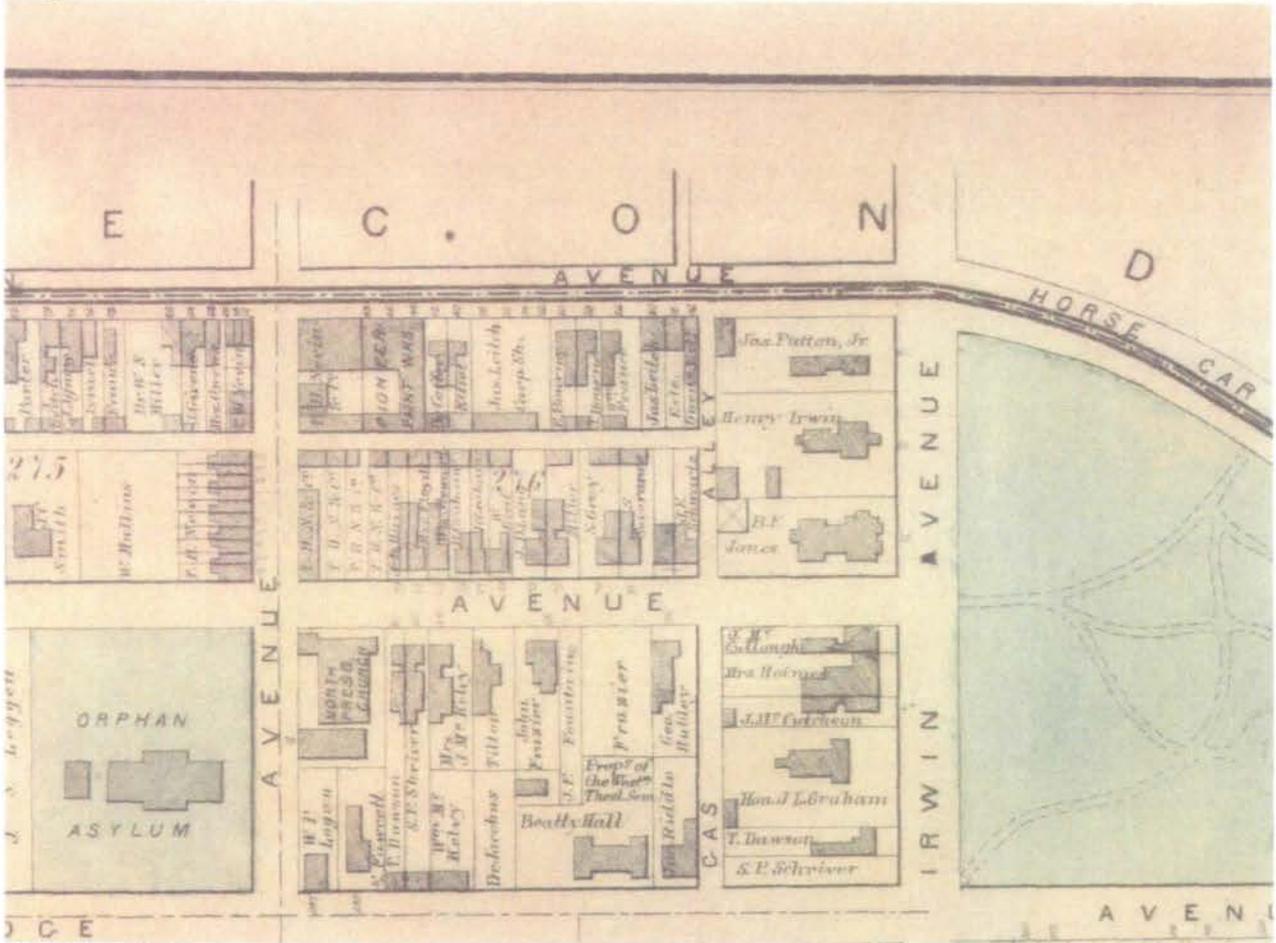
Fig.13 - New Fence Site



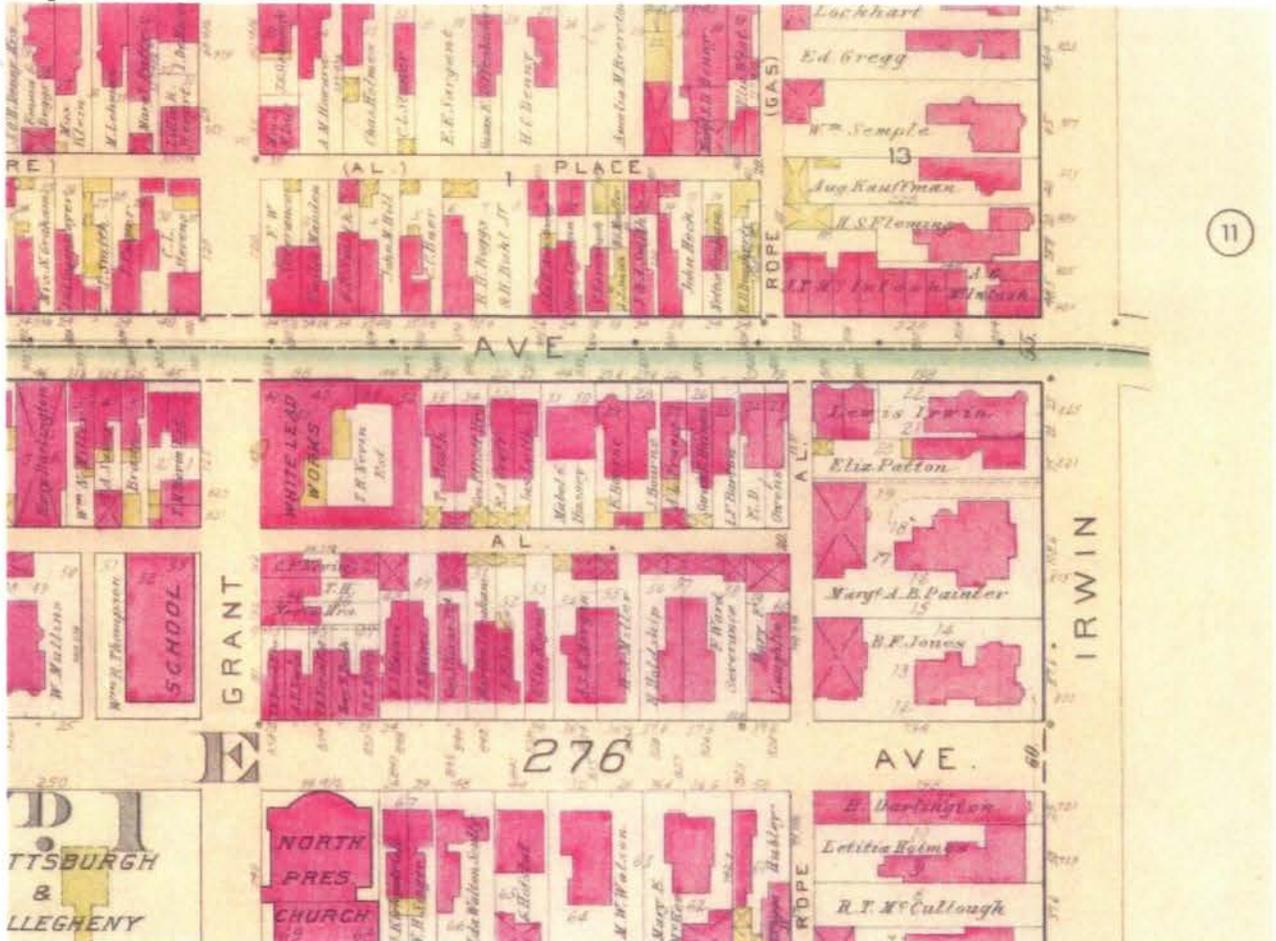
Fig.14 - Decorative Cast Iron Elements

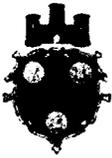


Hopkins 1872



Hopkins 1901





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 2/18/16

LOT AND BLOCK NUMBER: 8-0-172

WARD: 23rd.

FEE PAID: yes

DISTRICT:
City of Pittsburgh - Deutschtown

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

501 Avery Street
Pittsburgh, PA 15212

OWNER:

NAME: N. Davis Enterprises LLC
 ADDRESS: 400 Island Avenue
McKees Rocks, PA 15136
 PHONE: 412-787-0720
 EMAIL: morgan@mpcci.net

APPLICANT:

NAME: William G. West Jr
 ADDRESS: 406 10th Street
Dakmont PA 15139
 PHONE: 412-999-3035
 EMAIL: wgwest@castledev.com

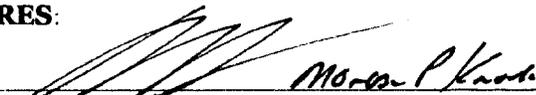
REQUIRED ATTACHMENTS:

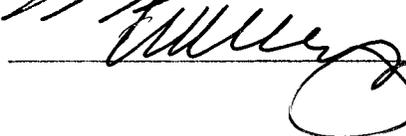
- Drawings Photographs Renderings Site Plan Other

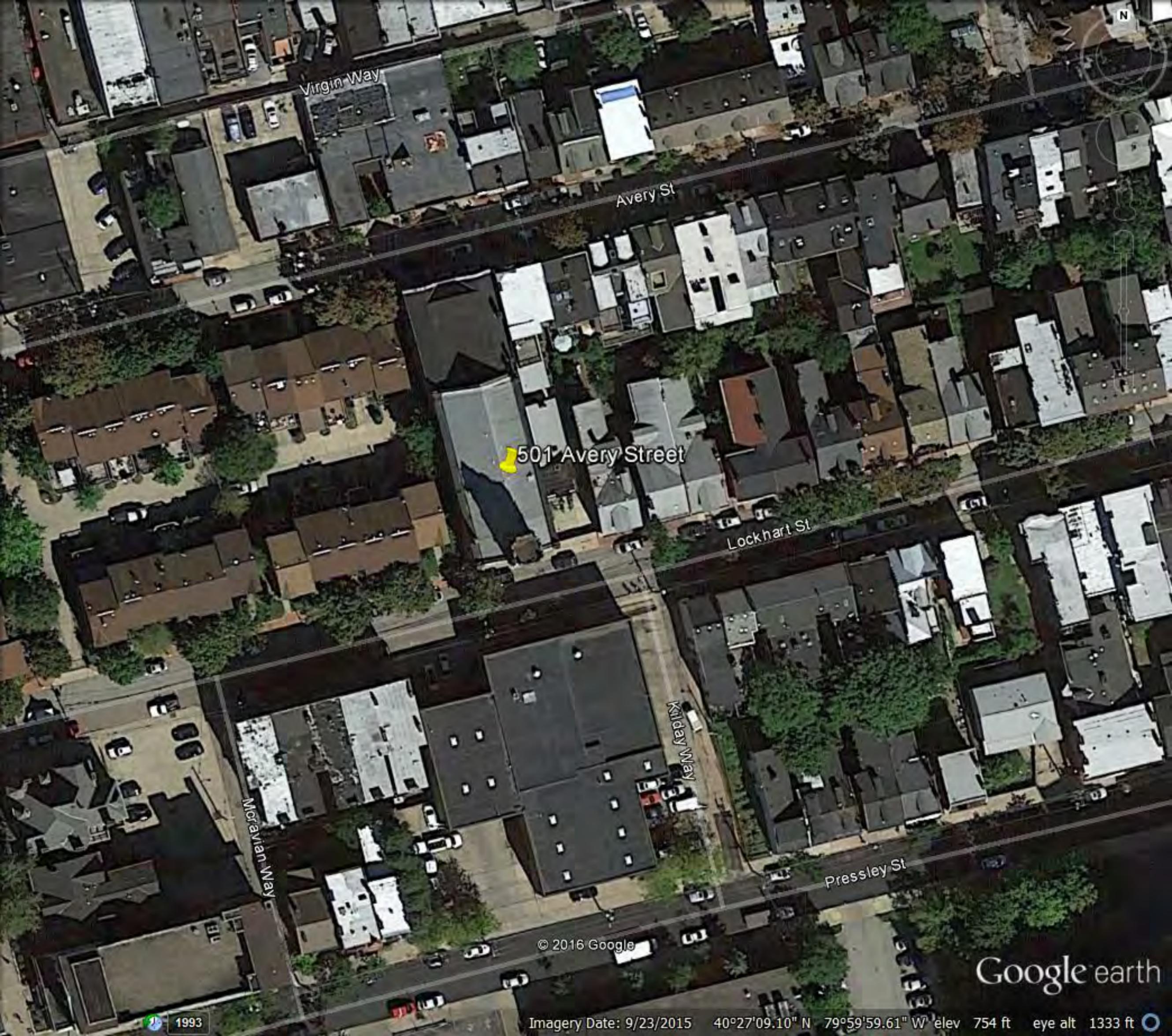
DETAILED DESCRIPTION OF PROPOSED PROJECT:

See Attached Description

SIGNATURES:

OWNER:  DATE: 3/16/2016

APPLICANT:  DATE: 3/18/2016



Virgin Way

Avery St

501 Avery Street

Lockhart St

Moravian Way

Kilday Way

Pressley St

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1993

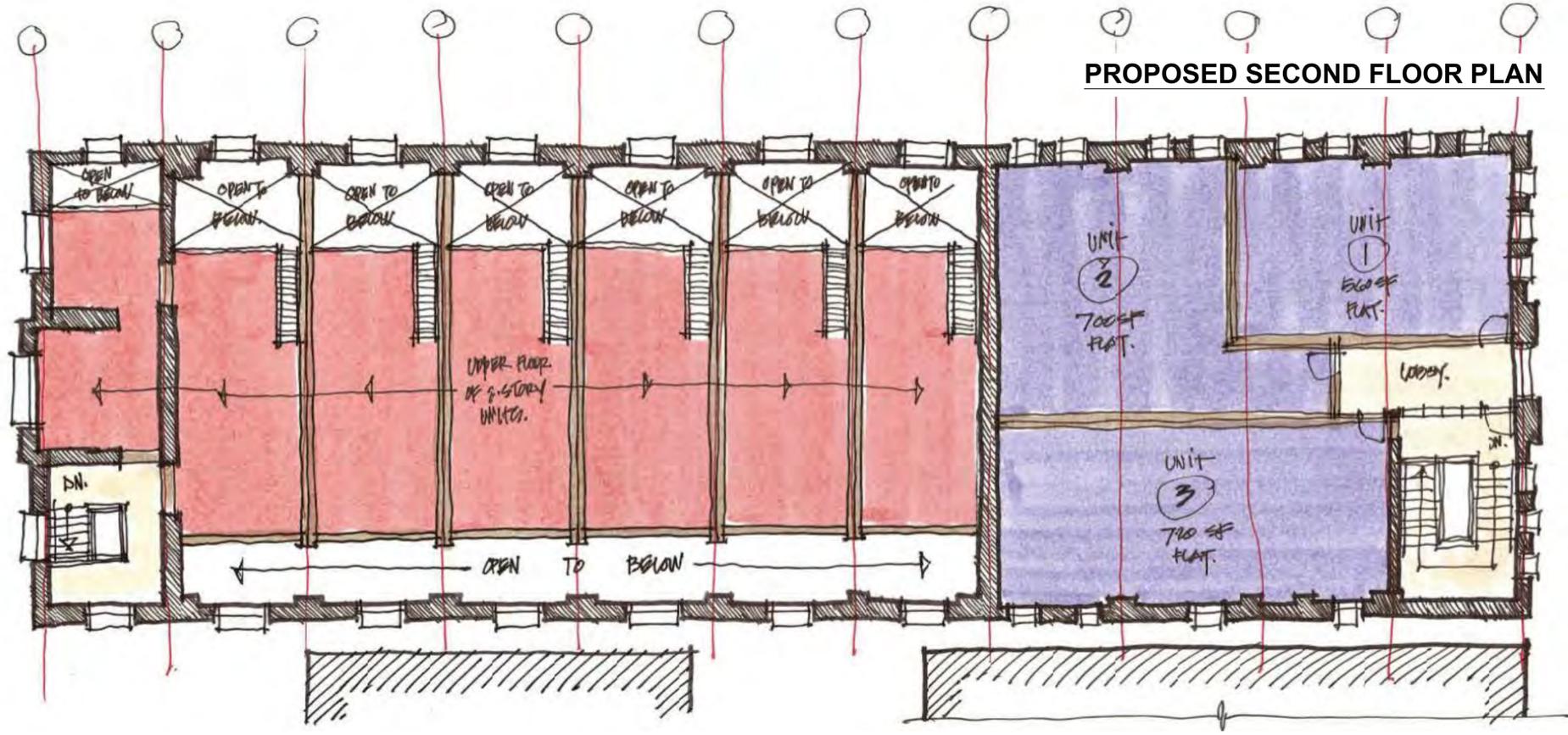
Imagery Date: 9/23/2015 40°27'09.10" N 79°59'59.61" W elev 754 ft eye alt 1333 ft

HISTORIC REVIEW COMMISSION OF PITTSBURGH
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS
DETAILED DESCRIPTION OF PROPOSED PROJECT

The Applicant intends to pursue Adaptive Reuse of a former church, (St. Peter's Evangelical and Reformed Church) located at 501 Avery Street into 12 rental apartments in accordance with the Design Guidelines of the Deutschtown Historic District with the exception of two issues. Therefore, the applicant requests the Commission's approval of the following:

1. The conversion of the lower level into an internal parking garage to be accessed via a door to be constructed in the southwest corner of the Lockhart Street façade of the structure. This will allow the Applicant to meet the parking requirements of the Zoning Ordinance, and not compound an existing serious parking problem in the neighborhood.
2. There are 14 stained glass windows, 7 on each side of the church building. Of those, 10 have operative tilt in panels in the lower 10% or so of the window structure to allow air flow into the building. All of these panels will need to be repaired to operate properly and provide a proper thermal barrier and a safe and secure façade. At that time the Applicant wishes to replace that small amount of stained glass with vision glass panels and use the existing glass panels as necessary to repair and refurbish the remaining windows in the structure.

PROPOSED SECOND FLOOR PLAN



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EXISTING LOCKHART STREET ELEVATION

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Sheet No.

A3

GRAPHIC SCALE: 1/8" = 1'-0"



Project # 16007

Date MARCH 18, 2016

St. Peter's Evangelical & Reform Church - Adaptive Reuse

500 Lockhart Street Pittsburgh, PA

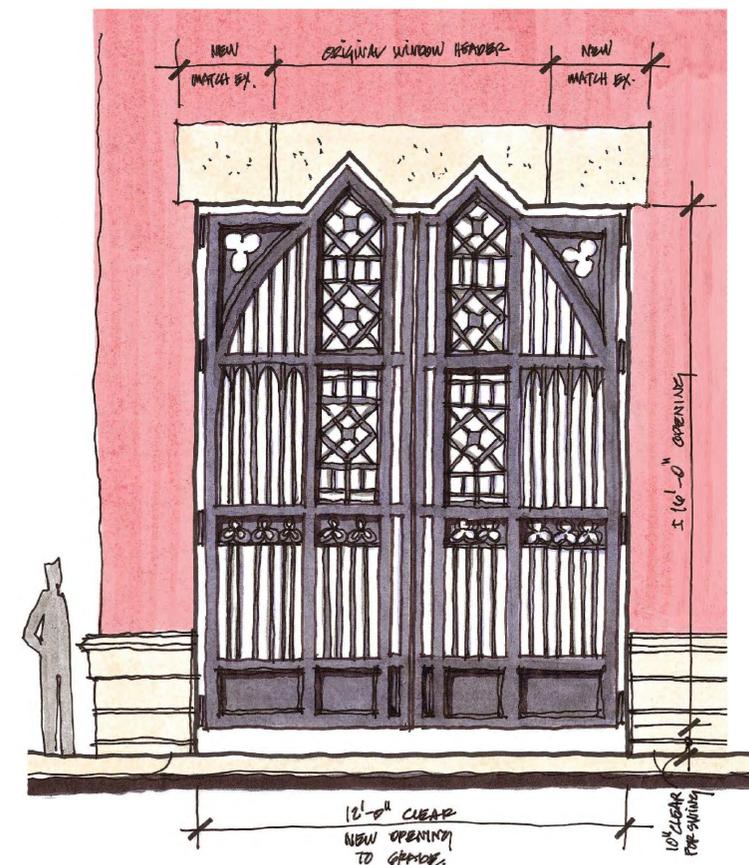
lga PARTNERS

1425 Forbes Ave. Suite 400 Pittsburgh, PA 15219

P 412.243.3430 F 412.224.4747



PROPOSED LOCKHART STREET ELEVATION



PROPOSED OPENING & GATE



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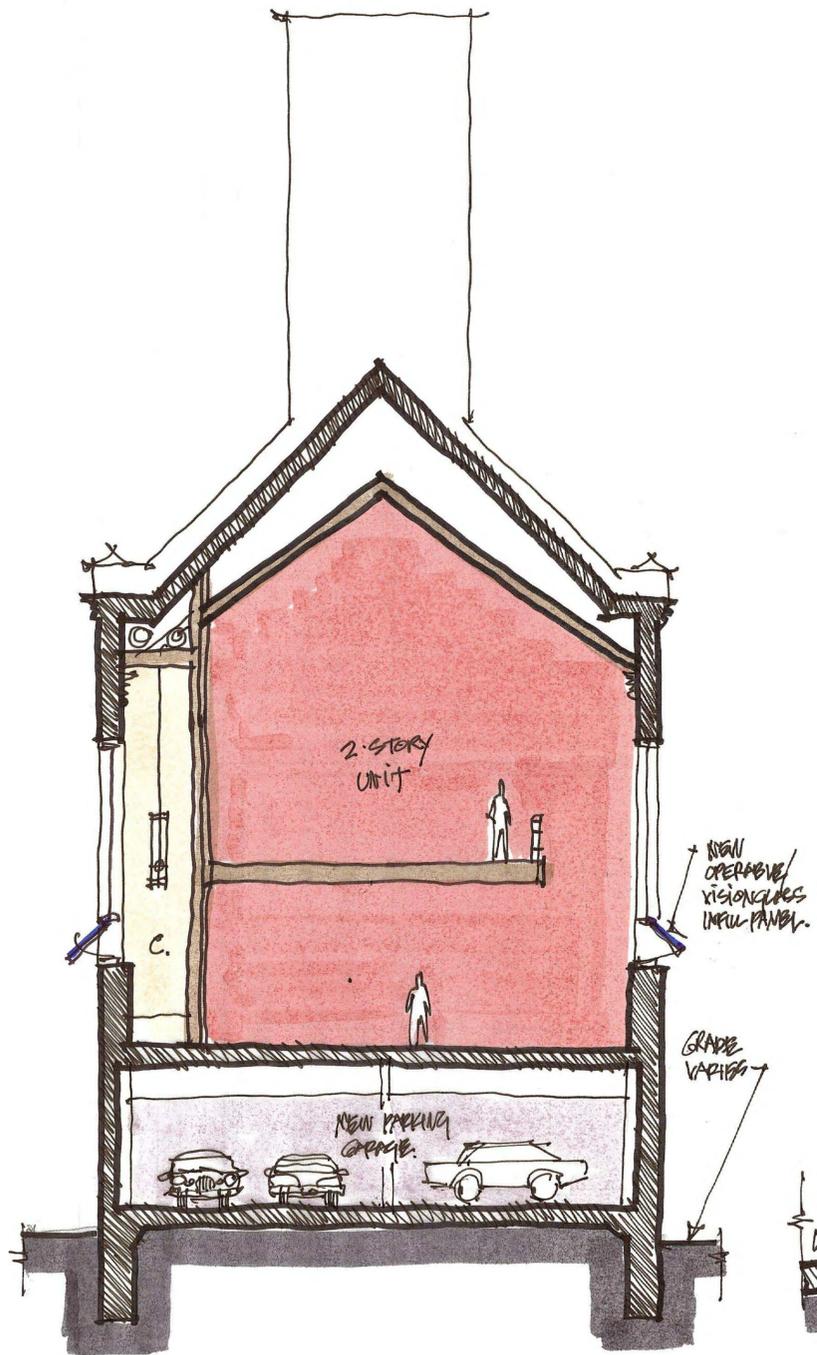
Sheet No.

A4

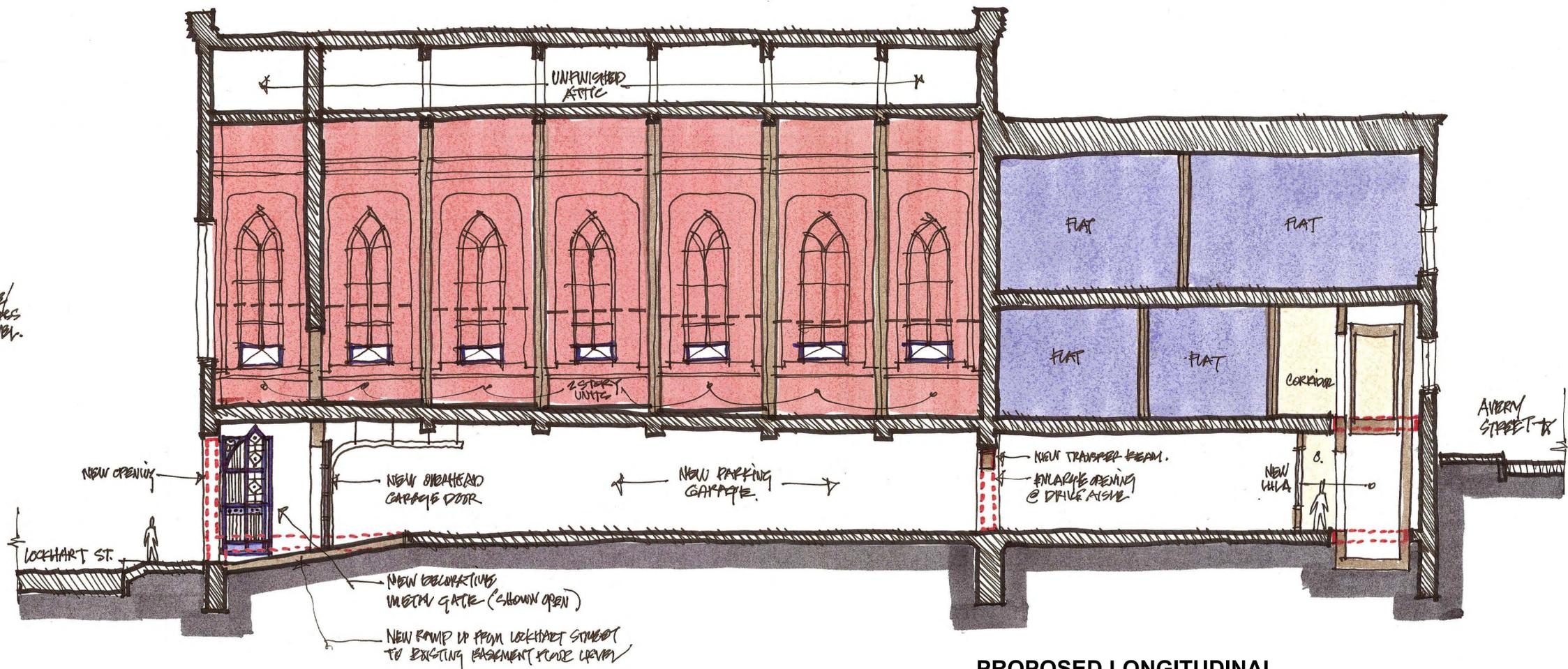
Project # 16007
Date MARCH 18, 2016

St. Peter's Evangelical & Reform Church - Adaptive Reuse
500 Lockhart Street Pittsburgh, PA

lga PARTNERS
1425 Forbes Ave. Suite 400 Pittsburgh, PA 15219
P 412.243.3430 F 412.224.4747



PROPOSED TRANSVERSE BUILDING SECTION



PROPOSED LONGITUDINAL BUILDING SECTION

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Sheet No.

A5

GRAPHIC SCALE: 1/8" = 1'-0"



Project # 16007

Date MARCH 18, 2016

St. Peter's Evangelical & Reform Church - Adaptive Reuse
 500 Lockhart Street Pittsburgh, PA

lga PARTNERS
 1425 Forbes Ave. Suite 400 Pittsburgh, PA 15219
 P 412.243.3430 F 412.224.4747



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 3/14/16

LOT AND BLOCK NUMBER: 3-F-16

WARD: 17th

FEE PAID: Yes

DISTRICT:

East Carson Street

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

729 East Carson Street
Pittsburgh, PA 15203

OWNER:

NAME: JGS, LLC

ADDRESS: P.O. Box 13444

Pgh, PA 15243

PHONE: 412-287-5712

EMAIL: BNLY80Y2@AOL.COM

APPLICANT:

NAME: Robert Eckevode

ADDRESS: P.O. Box 13444

Pgh, PA 15243

PHONE: 412-287-5712

EMAIL: BNLY80Y2@AOL.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Putting Addition on Back of House

SIGNATURES:

OWNER: JGS LLC DATE: 3-14-16

APPLICANT: Robert Eckevode DATE: 3-14-16



S 8th St

729 E Carson Street

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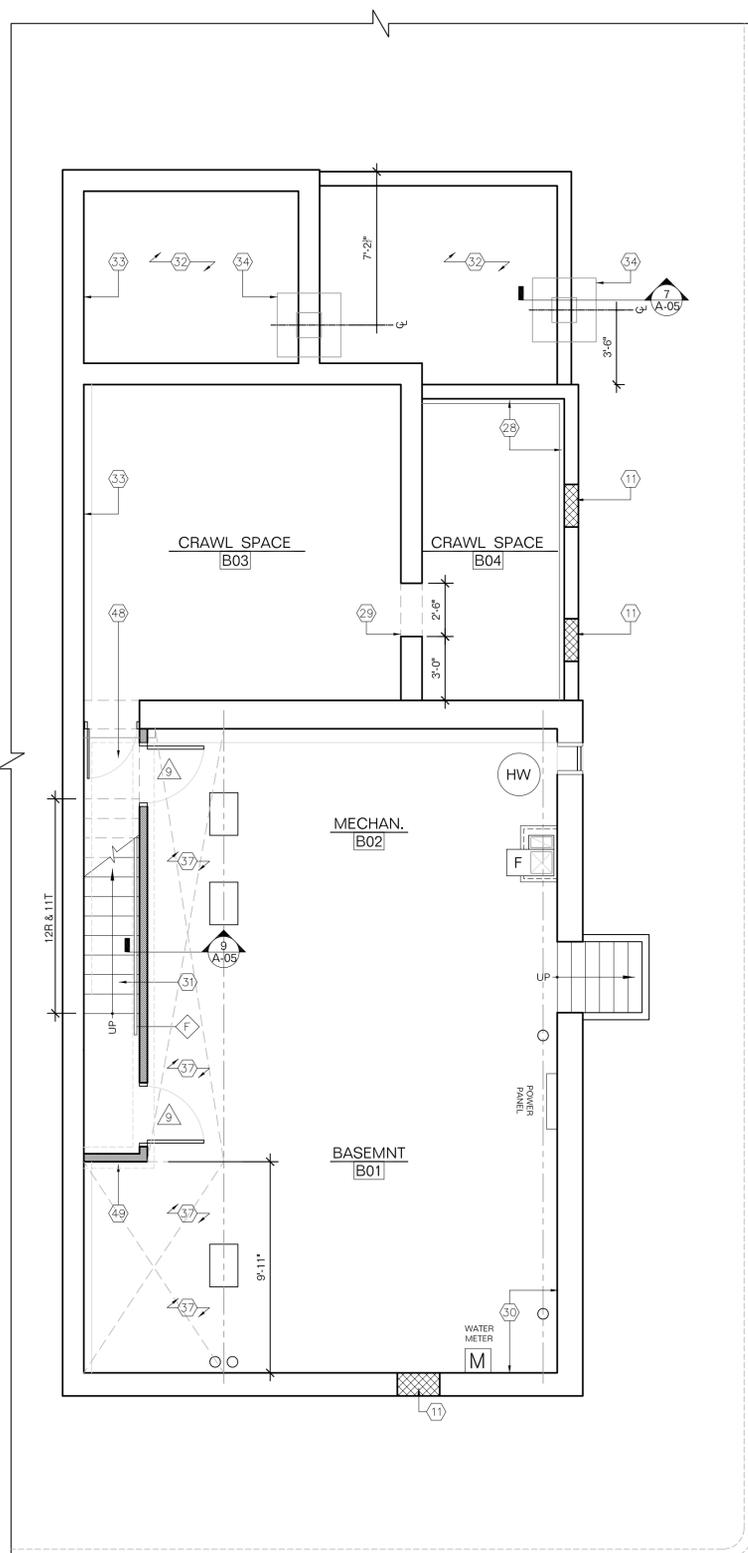
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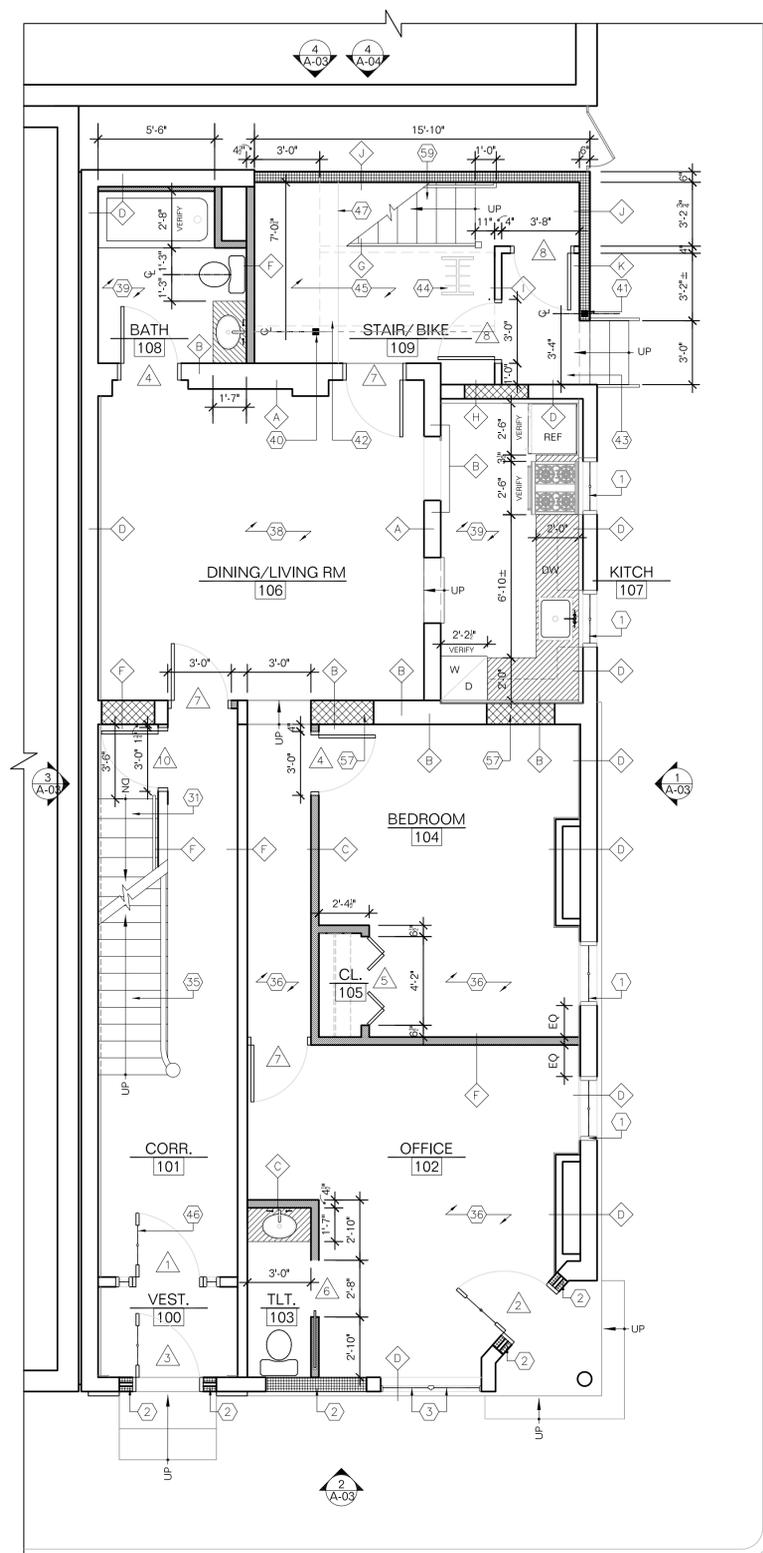
Imagery Date: 9/23/2015 40°25'43.52" N 79°59'27.98" W elev 741 ft eye alt 1120 ft







1 BASEMENT LEVEL ARCHITECTURAL PLAN
A-01 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR ARCHITECTURAL PLAN
A-01 SCALE: 1/4" = 1'-0"

Architectural Keynotes

- New thermos-pane double hung vinyl clad windows throughout. Contractor to field verify sizes of all new windows.
- Typical wood stud infill panel with R-15 batt insulation and interior 1/2" gypsum wall board. Exterior panel to be either painted plywood panel with perimeter wood trim or hardi-board panel with trim. Wall beyond window openings to be 1 1/2" x 2" wood studs at 16" on center with 2" rigid urethane insulation and 1/2" gypsum wall board.
- New thermos-pane vinyl clad fixed pane windows to fit in existing window frame.
- Scrape and paint all existing exterior wood work. Typical. Color per Owner.
- Aluminum gutter and downspout beyond.
- New 5/8" plywood on new roof trusses and framing beyond. 30# building felt paper with new 25 year asphalt shingles. Vinyl fascia.
- Aluminum gutter and downspout.
- Sloping aluminum gutter.
- 10 foot length of roof ridge vent.
- Asphalt shingled roof cricket. See Roof Framing Plan Drawing 3/A-04.
- Infill openings with 8" wide brick masonry.
- Concrete steps. See Detail 10/A-04.
- New concrete footing and pedestal. See Detail "B" - Drawing 7/A-05.
- Vinyl siding.
- Existing foundation.
- 4"x 4" Schedule 40 Steel Column with 4 1/2" x 8" steel base and top plates.
- New paralam beam. See Detail "E" - Drawing 1/A-05. Minimum bearing of 8" on existing 8" brick wall.
- Paralam beam to sit on shorter beam below. See Detail "G" - Drawing 12/A-05.
- Exterior stair light.
- Remove existing 8" brick masonry this area only in order to simplify new wood stud wall framing.
- Line of brick wall on opposite side of building.
- Space between both buildings.
- Aluminum attic vent.
- Existing brick wall.
- Adjacent building line.
- Existing mansard roof.
- Aluminum flashing and counter flashing at roof and existing masonry wall.
- Install 2" thick rigid urethane insulation around perimeter foundation wall. Remove existing flooring and install R-10 batt insulation between existing floor joist an install new 3/4" T&G Plywood flooring in this area.
- Provide access opening in foundation wall below existing doorway below.
- Install R-19 batt insulation between floor joists and at top of foundation at perimeter wall.
- New wooden stair with handrails. Maximum 8" riser height and minimum 8" tread width. Contractor to verify stair height floor to floor.
- Existing 4" concrete slab on fill above in these two areas.
- Existing foundations.
- New 3' x 3' x 12" concrete footing with 12" x 12" concrete pedestal pier. See Detail "B" - Drawing 7/A-05.
- Existing stair and railing to remain. Refinish.
- Remove existing tin ceiling and install 1 layer of 5/8" firecode X gypsum board. One hour fire rated.
- Install one layer of 5/8" firecode X gypsum board to underside of existing floor joists in this area to protect lobby floor above. Install one layer of 5/8" firecode X gypsum board between floor joists above beam to make continuous one hour fire barrier protection for stair lobby above. One hour fire rated assembly.
- Remove existing 1" plaster/lath ceiling. Install one layer of 5/8" firecode X gypsum board. One hour fire rated.
- Ceiling to have one layer of 5/8" firecode X gypsum board See Floor Assembly Detail Drawing 11/A-04.
- New 5 1/2" x 5 1/2" paralam column. See Detail "B" - Drawing 7/A-05.
- New 5 1/2" x 5 1/2" paralam column in 6" stud wall. See Detail "B" - Drawing 7/A-05.
- Line of paralam beam above. Cover beam and underside of floor joists with two layer of 5/8" firecode X gypsum board.
- Two layers of 5/8" firecode X gypsum board and hardi board finish on this outside ceiling area above and stair landing above. Install R-32 batt insulation between floor joists above.
- Bike rack for four bikes. Expansion anchor to concrete floor.
- Two layers of 5/8" firecode X gypsum board installed under stair run and landing for one hour fire protection.
- Existing door, frame, transom, and sidelights to remain. Refinish or paint with new finish.
- Install concrete patch above demolished brick wall. Tie into existing adjacent concrete slab with 8" long #3 re-bar at 18" on center embedded a minimum of 3" into adjacent slab. Install 6 x 6 welded wire fabric in new 4" thick concrete slab.
- 30" x 36" one hour fire rated metal access door to crawl space beyond. Contractor to verify existing opening size.
- Concrete haunch footing below new stud wall. See Detail "A" Drawing 9/A-05.
- Cut off edge of existing concrete footing if it interferes with the new step and landing at bottom of the stair.
- 1/4" T&G plywood flooring for all new floors.
- One layer 5/8" gypsum board on 3rd floor ceiling throughout except as noted at stairs.
- One layer of 1/2" gypsum board to finish under all new and existing stairs and landings.
- Install R-34 fiberglass insulation between floor joists in these void spaces.
- Install R-34 fiberglass batt insulation between existing ceiling rafters of existing roof trusses and install 1/2" gypsum board.
- Install R-34 fiberglass insulation in new attic above 3rd floor ceiling and install 1/2" gypsum board.
- 8" concrete block infill for these openings. Take block to foundation below.
- New wooden stairway with handrail.
- New wooden stairway. See Stair Details at Drawings 6/A-05 and 11/A-05.
- New wooden handrail at existing steps.

Wall Types

- Existing 8" brick masonry and plaster. Remove wall paper, patch, and paint. See Wall Type Detail 5/A-04.
- 1/2" gypsum wall board over 3/4" wood furring at 16" on center. Wood stud infill as shown between 8" brick masonry wall.
- 2 x 4 wood studs at 16" on center with 1/2" gypsum board each side.
- 1 1/2" x 2" wood studs at 16" on center with 2" rigid urethane insulation and 1/2" gypsum wall board.
- NOT USED.
- 2 x 4 wood studs at 16" on center with 5/8" firecode X gypsum board each side. Insulate wall with 4" batt insulation. One hour fire rated wall. Note: Double stud wall at existing old stair. See Wall Type Detail 6/A-04.
- 2 x 4 wood studs at 16" on center with two layers of 5/8" firecode X gypsum board to block off first stair run. One hour fire rated.
- 8" masonry infill at old doorway. See Wall Type Detail 7/A-04.
- 2 x 4 wood stud at 16" on center with 3 1/2" R-15 high density batt insulation, 5/8" firecode X gypsum board inside and 5/8" non-combustible plywood outside with Tyvek house wrap and hardi board panels outside. One hour fire rated. See Wall Type Detail 11/A-04.
- 2 x 6 wooden studs at 16" on center with 5 1/2" R-19 batt insulation, 5/8" firecode X gypsum board inside and 5/8" non-combustible plywood, Tyvek wrap and vinyl siding outside. One hour fire rating. See Wall Type Detail 8/A-04.
- 2 x 6 wood studs at 16" on center with 5/8" non-combustible plywood on each side and hardi board panels at inside and vinyl siding outside.
- 2 x 6 wood studs at 16" on center with 5/8" non-combustible plywood outside and two layers of 30# felt paper on 5/8" non-combustible plywood. 5 1/2" R-19 batt insulation and 5/8" fire code X gypsum board inside. One hour fire rated. See Wall Type Detail 10/A-04.
- Install 3 1/2" R-15 batt insulation between existing wood studs and 1/2" gypsum board inside.
- 1/2" gypsum board installed on each side of existing wood studs.

Door Types / Hardware Schedule

Door Mark Number	Door Type	Frame Type	Door Size	Door Notes	Door Hinges	Door Hardware	Fire Rating
A	Wood	Wood	3-0 x 6-8	Existing to Remain	1 1/2" Pair	Lockset & Deadbolt	None
B	Alum. Insulated	Wood	3-0 x 6-8	Half-ite Glass (Entry)	1 1/2" Pair	Lockset & Deadbolt	None
C	Alum. Insulated	Wood	3-0 x 6-8	Recessed Panels	1 1/2" Pair	Lockset & Deadbolt	None
D	Masonry	Wood	2-8 x 6-8	Hollow Core	1 1/2" Pair	Privacy Lockset	None
E	Masonry	Wood	2 at 2-8 x 6-8	Bi-Fold Pair	1 1/2" Pair	Knobs	None
F	Masonry	Steel	2-8 x 6-8	Pocket Door	1 1/2" Pair	Lockset & Deadbolt	75 Hour
G	Steel	Steel	2-8 x 6-8	Insulated	1 1/2" Pair	Lockset & Deadbolt	75 Hour
H	Steel	Steel	2-8 x 6-8	Insulated	1 1/2" Pair	Latchset	75 Hour
I	Wood	Steel	2-8 x 6-8	Hollow Core	1 1/2" Pair	Lockset	None
J	Masonry	Wood	2 at 2-8 x 6-8	Bi-Fold Pair	1 1/2" Pair	Knobs	None
K	Masonry	Wood	2 at 1-4 x 6-8	Bi-Fold Pair	1 1/2" Pair	Knobs	None
L	Masonry	Wood	2 at 2-8 x 6-8	Sliding Doors	None	Recessed Pull	None
M	Masonry	Wood	2-8 x 6-8	Hollow Core	1 1/2" Pair	Latchset	None
N	Masonry	Wood	2-8 x 6-8	Hollow Core	1 1/2" Pair	Privacy Lockset	None

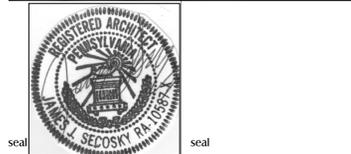
Note: Door Numbers 7, 8, and 9 at Restrooms and Number 3 shall have automatic doors.

Architectural Legend

- New Full Height Wall to be Constructed. Refer to Wall Type Notes for Additional Information.
- New Full Height Wall to be Constructed. Refer to Wall Type Notes for Additional Information.
- New Full Height Wall to be Constructed. Refer to Wall Type Notes for Additional Information.
- New Window to be Installed. Refer to Elevations and Keynotes for Additional Information.
- New Millwork to be Installed. Refer to Keynotes for Additional Information.
- New Single Acting Door to be Installed. Refer to Keynotes and Door/Hardware Schedule for Additional Information.
- New Bi-Fold Door to be Installed. Refer to Keynotes and Door/Hardware Schedule for Additional Information.

revisions

no.	date	note

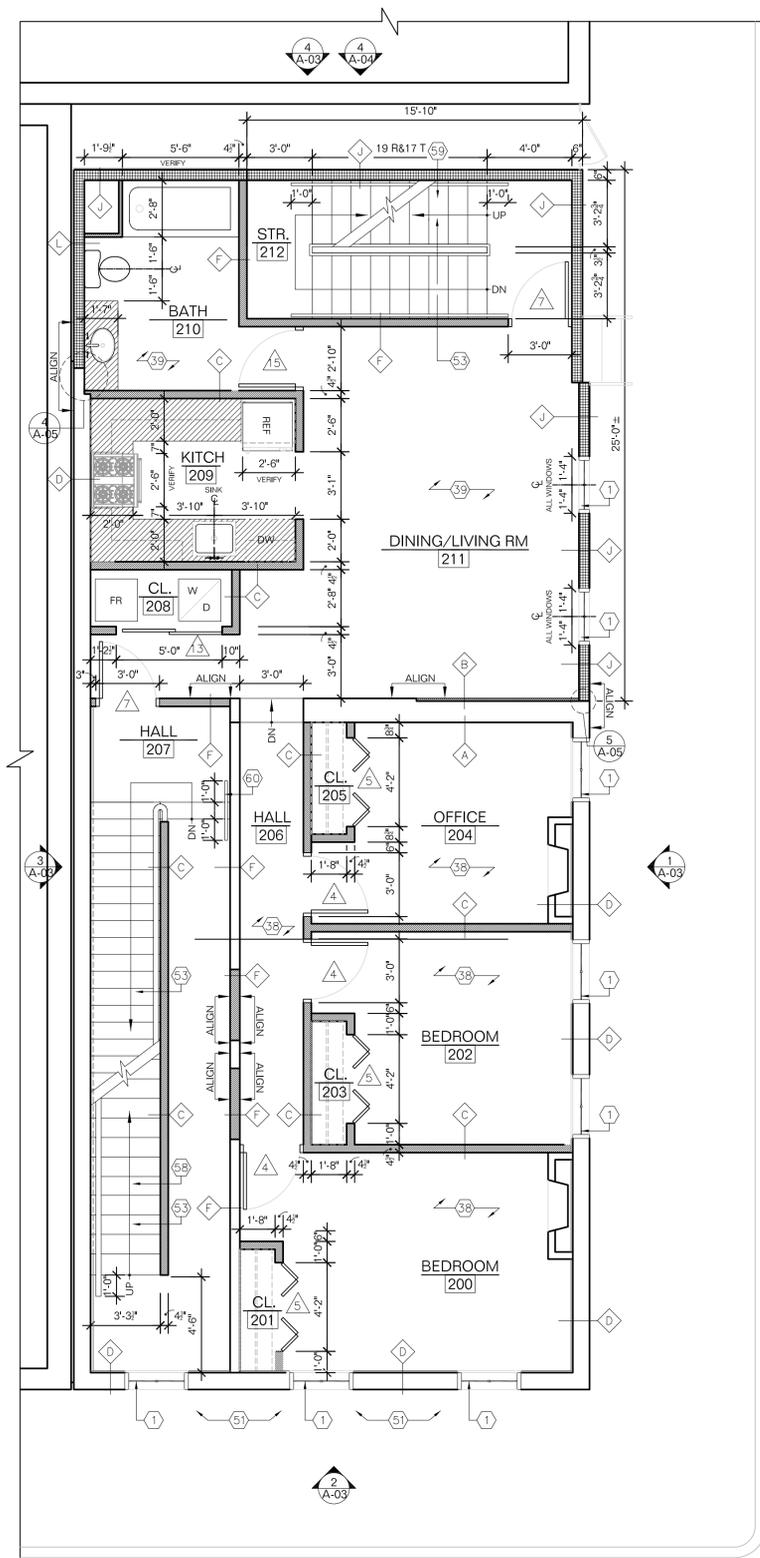


Rehabilitation of Existing Retail / Residential Building
729 East Carson Street
Pittsburgh, Pennsylvania
15203

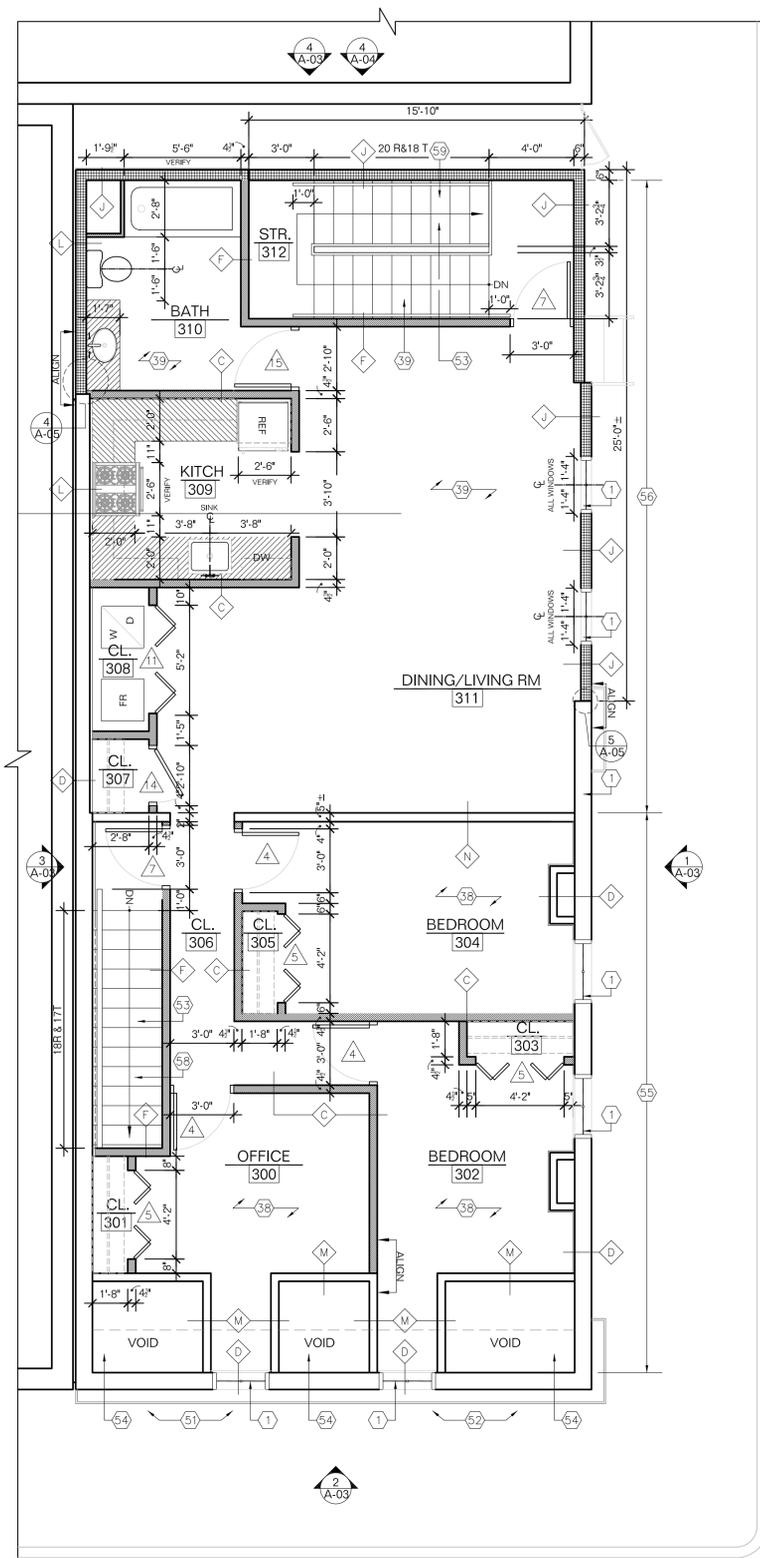
scale As Noted
date January 29, 2016
drawn by LAP
approved by JAS
project number F0259

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drawing title **Basement and First Floor Architectural Plans** drawing no. **A-01**



2 SECOND FLOOR ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

Architectural Keynotes

- New thermos-pane double hung vinyl clad windows throughout. Contractor to field verify sizes of all new windows.
- Typical wood stud infill panel with R-15 batt insulation and interior 1/2" gypsum wall board. Exterior panel to be either painted plywood panel with perimeter wood trim or hard-board panel with trim. Wall beyond window openings to be 1 1/2" x 2" wood studs at 16" on center with 2" rigid urethane insulation and 1/2" gypsum wall board.
- New thermos-pane vinyl clad fixed pane windows to fit in existing window frame.
- Scrape and paint all existing exterior wood work. Typical. Color per Owner.
- Aluminum gutter and downspout beyond.
- New 3/8" plywood on new roof trusses and framing beyond. 30# building felt paper with new 25 year asphalt shingles. Vinyl fascia.
- Aluminum gutter and downspout.
- Sloping aluminum gutter.
- 10 foot length of roof ridge vent.
- Asphalt shingled roof cricket. See Roof Framing Plan Drawing 3/A-04.
- Infill openings with 8" wide brick masonry.
- Concrete steps. See Detail 10/A-04.
- New concrete footing and pedestal. See Detail "B" - Drawing 7/A-05.
- Vinyl siding.
- Existing foundation.
- 4"x 4" Schedule 40 Steel Column with 4 1/2" x 8" steel base and top plates.
- New parاللam beam. See Detail "E" - Drawing 1/A-05. Minimum bearing of 8" on existing 8" brick wall.
- Parاللam beam to sit on shorter beam below. See Detail "G" - Drawing 12/A-05.
- Exterior stair light.
- Remove existing 8" brick masonry this area only in order to simplify new wood stud wall framing.
- Line of brick wall on opposite side of building.
- Space between both buildings.
- Aluminum attic vent.
- Existing brick wall.
- Adjacent building line.
- Existing mansard roof.
- Aluminum flashing and counter flashing at roof and existing masonry wall.
- Install 2" thick rigid urethane insulation around perimeter foundation wall. Remove existing flooring and install R-10 batt insulation between existing floor joist an install new 3/4" T&G Plywood flooring in this area.
- Provide access opening in foundation wall below existing doorway below.
- Install R-19 batt insulation between floor joists and at top of foundation at perimeter wall.
- New wooden stair with handrails. Maximum 8" riser height and minimum 8" tread width. Contractor to verify stair height floor to floor.
- Existing 4" concrete slab on fill above in these two areas.
- Existing foundations.
- New 3' x 3' x 12" concrete footing with 12" x 12" concrete pedestal pier. See Detail "B" - Drawing 7/A-05.
- Existing stair and railing to remain. Refinish.
- Remove existing tin ceiling and install 1 layer of 5/8" firecode X gypsum board. One hour fire rated.
- Install one layer of 5/8" firecode X gypsum board to underside of existing floor joists in this area to protect lobby floor above. Install one layer of 5/8" firecode X gypsum board between floor joists above beam to make continuous one hour fire barrier protection for stair lobby above. One hour fire rated assembly.
- Remove existing 1" plaster/lath ceiling. Install one layer of 5/8" firecode X gypsum board. One hour fire rated.
- Ceiling to have one layer of 5/8" firecode X gypsum board See Floor Assembly Detail Drawing 11/A-04.
- New 5 1/2" x 5 1/2" parاللam column. See Detail "B" - Drawing 7/A-05.
- New 5 1/2" x 5 1/2" parاللam column in 6" stud wall. See Detail "B" - Drawing 7/A-05.
- Line of parاللam beam above. Cover beam and underside of floor joists with two layer of 5/8" firecode X gypsum board.
- Two layers of 5/8" firecode X gypsum board and hardboard finish on this outside ceiling area above and stair landing above. Install R-32 batt insulation between floor joists above.
- Bike rack for four bikes. Expansion anchor to concrete floor.
- Two layers of 5/8" firecode X gypsum board installed under stair run and landing for one hour fire protection.
- Existing door, frame, transom, and sidelights to remain. Refinish or paint with new finish.
- Install concrete patch above demolished brick wall. Tie into existing adjacent concrete slab with 8" long #3 re-bar at 18" on center embedded a minimum of 3" into adjacent slab. Install 6 x 6 welded wire fabric in new 4" thick concrete slab.
- 30" x 36" one hour fire rated metal access door to crawl space beyond. Contractor to verify existing opening size.
- Concrete haunch footing below new stud wall. See Detail "A" Drawing 9/A-05.
- Cut off edge of existing concrete footing if it interferes with the new step and landing at bottom of the stair.
- 1/2" T&G plywood flooring for all new floors.
- One layer 5/8" gypsum board on 3rd floor ceiling throughout except as noted at stairs.
- One layer of 1/2" gypsum board to finish under all new and existing stairs and landings.
- Install R-34 fiberglass insulation between floor joists in these void spaces.
- Install R-34 fiberglass batt insulation between existing ceiling rafters of existing roof trusses and install 1/2" gypsum board.
- Install R-34 fiberglass insulation in new attic above 3rd floor ceiling and install 1/2" gypsum board.
- 8" concrete block infill for these openings. Take block to foundation below.
- New wooden stairway with handrail.
- New wooden stairway. See Stair Details at Drawings 6/A-05 and 11/A-05.
- New wooden handrail at existing steps.

Wall Types

- Existing 8" brick masonry and plaster. Remove wall paper, patch, and paint. See Wall Type Detail 5/A-04.
- 1/2" gypsum wall board over 3/4" wood furring at 16" on center. Wood stud infill as shown between 8" brick masonry wall.
- 2 x 4 wood studs at 16" on center with 5/8" gypsum board each side.
- 1 1/2" x 2" wood studs at 16" on center with 2" rigid urethane insulation and 1/2" gypsum wall board.
- NOT USED.
- 2 x 4 wood studs at 16" on center with 5/8" firecode X gypsum board each side. Insulate wall with 4" batt insulation. One hour fire rated wall. Note: Double stud wall at existing old stair. See Wall Type Detail 6/A-04.
- 2 x 4 wood studs at 16" on center with two layers of 5/8" firecode X gypsum board to block off first stair run. One hour fire rated.
- 8" masonry infill at old doorway. See Wall Type Detail 7/A-04.
- 2 x 4 wood stud at 16" on center with 3 1/2" R-15 high density batt insulation, 5/8" firecode X gypsum board inside and 5/8" non-combustible plywood outside with Tyvek house wrap and hardboard panels outside. One hour fire rated. See Wall Type Detail 11/A-04.
- 2 x 6 wooden studs at 16" on center with 5 1/2" R-19 batt insulation, 5/8" firecode X gypsum board inside and 5/8" non-combustible plywood, Tyvek wrap and vinyl siding outside. One hour fire rating. See Wall Type Detail 8/A-04.
- 2 x 6 wood studs at 16" on center with 5/8" non-combustible plywood on each side and hardboard panels at inside and vinyl siding outside.
- 2 x 6 wood studs at 16" on center with 5/8" non-combustible plywood outside and two layers of 30# felt paper on 5/8" non-combustible plywood. 5 1/2" R-19 batt insulation and 5/8" fire code X gypsum board inside. One hour fire rated. See Wall Type Detail 10/A-04.
- Install 3 1/2" R-15 batt insulation between existing wood studs and 1/2" gypsum board inside.
- 1/2" gypsum board installed on each side of existing wood studs.

Door Types / Hardware Schedule

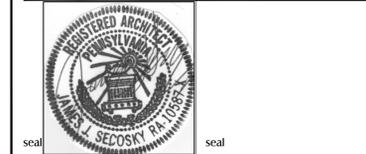
Door Number	Door Type	Frame Type	Door Size	Door Notes	Door Hinges	Door Hardware	Fire Rating
1	Wood	Wood	3-0 x 6-8	Existing to Remain	1 1/2" Pair 5K Butts	Lockset & Deadbolt	None
2	Alum. Insulated	Wood	3-0 x 6-8	Half-Inch Glass (Entry)	1 1/2" Pair 5K Butts	Lockset & Deadbolt	None
3	Alum. Insulated	Wood	3-0 x 6-8	Recessed Panels	1 1/2" Pair 5K Butts	Lockset & Deadbolt	None
4	Masonry	Wood	2-8 x 6-8	Hollow Core	1 1/2" Pair 3K Butts	Privacy Lockset	None
5	Masonry	Wood	2 at 2-8 x 6-8	Bl-Fold Pair	1 1/2" Pair 3K Butts	Knobs	None
6	Masonry	Wood	2-8 x 6-8	Pocket Door OH Track	None	Recessed Pull	None
7	Wood	Steel	2-8 x 6-8	Solid Core	1 1/2" Pair 5K Butts	Lockset & Deadbolt	.75 Hour
8	Steel	Steel	2-8 x 6-8	Insulated	1 1/2" Pair 5K Butts	Lockset & Deadbolt	.75 Hour
9	Steel	Steel	2-8 x 6-8	Insulated	1 1/2" Pair 5K Butts	Latcheset	.75 Hour
10	Wood	Steel	2-8 x 6-8	Hollow Core	1 1/2" Pair 5K Butts	Lockset	None
11	Masonry	Wood	2 at 2-8 x 6-8	Bl-Fold Pair	1 1/2" Pair 3K Butts	Knobs	None
12	Masonry	Wood	2 at 1-4 x 6-8	Bl-Fold Pair	1 1/2" Pair 3K Butts	Knobs	None
13	Masonry	Wood	2 at 2-8 x 6-8	Sliding Doors OH Track	None	Recessed Pull	None
14	Masonry	Wood	2-8 x 6-8	Hollow Core	1 1/2" Pair 5K Butts	Latcheset	None
15	Masonry	Wood	2-8 x 6-8	Hollow Core	1 1/2" Pair 5K Butts	Lockset	None

Architectural Legend

- New Full Height Wall to be Constructed. Refer to Wall Type Notes for Additional Information.
- New Full Height Wall to be Constructed. Refer to Wall Type Notes for Additional Information.
- New Full Height Wall to be Constructed. Refer to Wall Type Notes for Additional Information.
- New Window to be Installed. Refer to Elevations and Keynotes for Additional Information.
- New Millwork to be Installed. Refer to Keynotes for Additional Information.
- New Single Acting Door to be Installed. Refer to Keynotes and Door/Hardware Schedule for Additional Information.
- New Bl-Fold Door to be Installed. Refer to Keynotes and Door/Hardware Schedule for Additional Information.

revisions

no.	date	note



Rehabilitation of Existing Retail / Residential Building
729 East Carson Street
Pittsburgh, Pennsylvania
15203

scale As Noted
date January 29, 2016
drawn by LAP
approved by JAS
project number F0259

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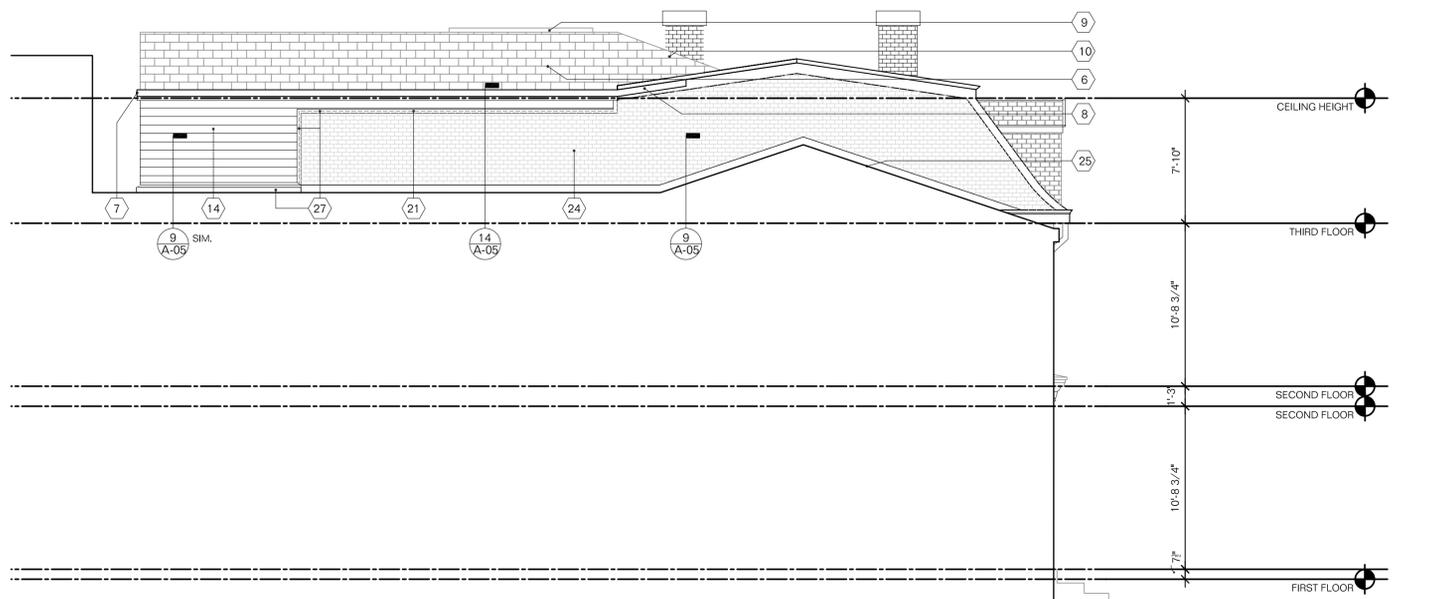
drawing title drawing no.
Second and Third Floor Architectural Plans A-02



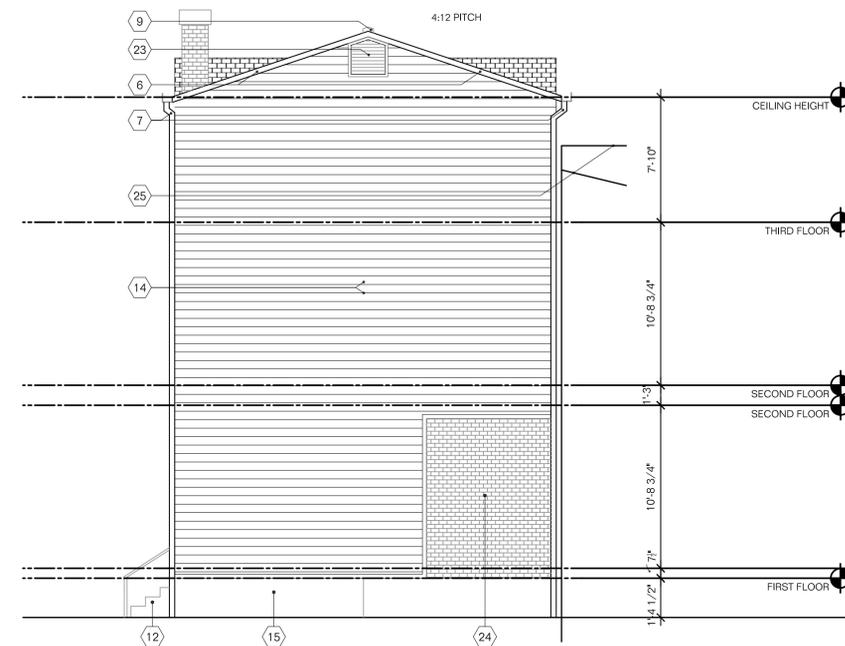
1 SIDE ELEVATION - EXTERIOR VIEW FROM EIGHTH STREET
A-03 SCALE: 3/16" = 1'-0"



2 FRONT ELEVATION - EXTERIOR VIEW FROM EAST CARSON STREET
A-03 SCALE: 3/16" = 1'-0"



3 SIDE ELEVATION - EXTERIOR VIEW TOWARD EIGHTH STREET
A-03 SCALE: 3/16" = 1'-0"



4 REAR ELEVATION - EXTERIOR VIEW TOWARD EAST CARSON STREET
A-03 SCALE: 3/16" = 1'-0"

Architectural Keynotes

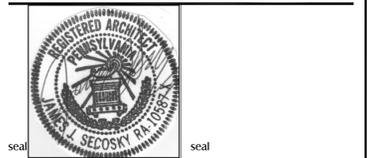
- 1 New thermo-pane double hung vinyl clad windows throughout. Contractor to field verify sizes of all new windows.
- 2 Typical wood stud infill panel with R-15 batt insulation and interior 1/2" gypsum wall board. Exterior panel to be either painted plywood panel with perimeter wood trim or hardi-board panel with trim. Wall beyond window openings to be 1 1/2" x 2" wood studs at 16" on center with 2" rigid urethane insulation and 1/2" gypsum wall board.
- 3 New thermo-pane vinyl clad fixed pane windows to fit in existing window frame.
- 4 Scrape and paint all existing exterior wood work. Typical. Color per Owner.
- 5 Aluminum gutter and downspout beyond.
- 6 New 3/4" plywood on new roof trusses and framing beyond. 30# building felt paper with new 25 year asphalt shingles. Vinyl fascia.
- 7 Aluminum gutter and downspout.
- 8 Sloping aluminum gutter.
- 9 10 foot length of roof ridge vent.
- 10 Asphalt shingled roof cricket. See Roof Framing Plan 3/A-04.
- 11 Infill openings with 8" wide brick masonry.
- 12 Concrete steps. See Detail 10/A-04.
- 13 New concrete footing and pedestal. See Detail 7/A-05.
- 14 Vinyl siding.
- 15 Existing foundation.
- 16 4" x 4" Schedule 40 Steel Column with 4 1/2" x 8" steel base and top plates.
- 17 New paralam beam. See Plan Detail "E" - Drawing 1/A-05 for size. Minimum bearing of 8" on existing 8" brick wall.
- 18 Paralam beam to sit on shorter beam below. See Detail 12/A-05 for size.
- 19 Exterior stair light.
- 20 Remove existing 8" brick masonry this area only in order to simplify new wood stud wall framing.
- 21 Line of brick wall on opposite side of building.
- 22 Space between both buildings.
- 23 Aluminum attic vent.
- 24 Existing brick wall.
- 25 Adjacent building line
- 26 Existing mansard roof.
- 27 Aluminum flashing and counter flashing at roof and existing masonry wall.

consultants

key plan

revisions

no.	date	note

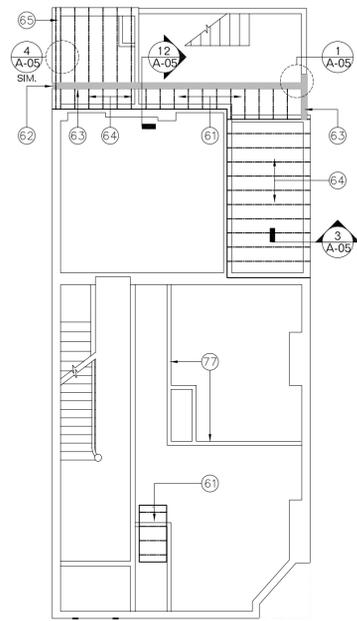


Rehabilitation of Existing
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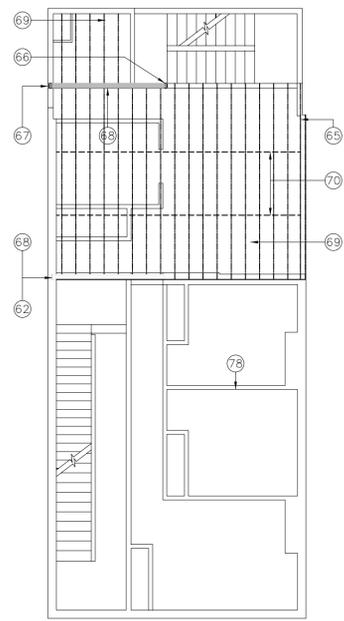
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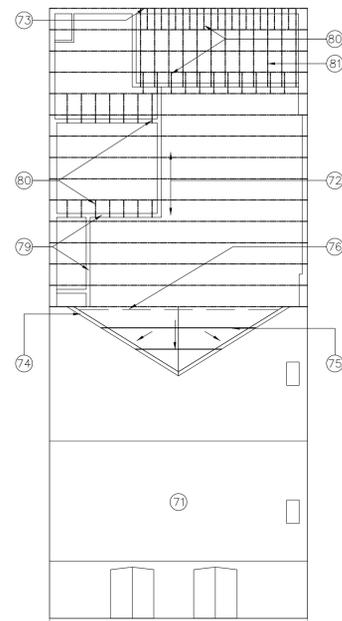
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A-03



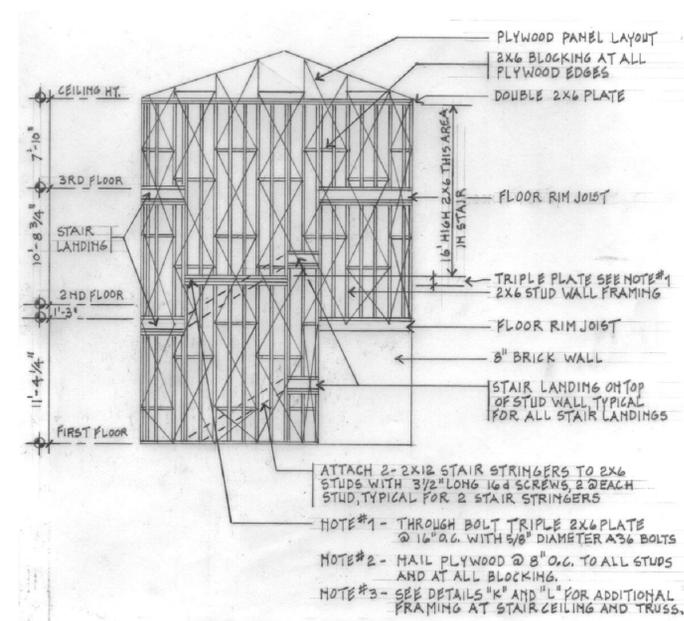
1 2ND FLOOR FRAMING PLAN
A-04 SCALE: 1/8" = 1'-0"



2 3RD FLOOR FRAMING PLAN
A-04 SCALE: 1/8" = 1'-0"

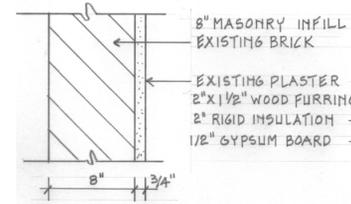


3 ROOF FRAMING PLAN
A-04 SCALE: 1/8" = 1'-0"

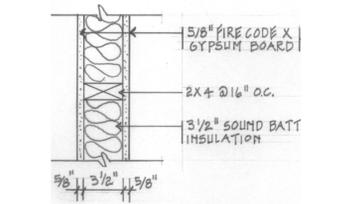


4 STUD WALL FRAMING AT NORTH ELEVATION
A-04 SCALE: 1/8" = 1'-0"

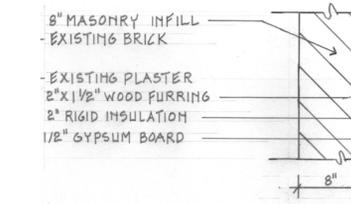
- ### Framing Keynotes
- 61 2 x 10's at 16" on center with joist hangers at first floor opening.
 - 62 Pocket beam into brick wall. Minimum 4" bearing.
 - 63 5 1/2" x 12" parallam beam. Minimum 4" bearing on brick wall.
 - 64 2" x 10" at 16" on center. Insulate between floor joists at exterior rim joists with R-19 batt insulation.
 - 65 Double floor joists spaced 5 1/2" out to support 6" stud wall above. Insulate cavity between with batt insulation.
 - 66 3 1/2" x 5 1/2" parallam column. Center on column below. See Detail "F" - Drawing 2/A-05 for post to beam connections.
 - 67 3 1/2" x 5 1/2" parallam column to sit on end of parallam beam below.
 - 68 3 1/2" x 12" parallam beam.
 - 69 2 x 12's at 12" on center.
 - 70 2 x 12 solid wood bridging.
 - 71 Existing mansard roof.
 - 72 Roof trusses at 24" on center. Install 2x bracing per roof truss manufacturer. Truss pitch 4:12. Cover new roof with 3/8" plywood and install galvanized Z clips at seam mid-spans.
 - 73 Gable and truss.
 - 74 2 x 6 plate, nail to roof as base nailer for cricket rafters.
 - 75 2 x 6 double sloping roof rafters to form roof cricket. Provide 2 x 4 vertical supports to existing roof rafters as required for cricket framing support.
 - 76 2x nailer, nail to top chord of truss for plywood support for roof cricket.
 - 77 First floor outline below.
 - 78 Second floor outline below.
 - 79 Stud walls below.
 - 80 2 x 6 blocking at 16" on center. See Drawing Detail 12/A-04.
 - 81 2 x 6's at 16" on center stair ceiling framing. See Drawing Detail 13/A-04.



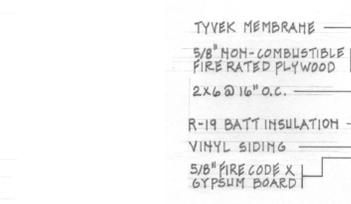
5 WALL TYPE "A"
A-04 SCALE: 1-1/2" = 1'-0" 2 HOUR FIRE RATED



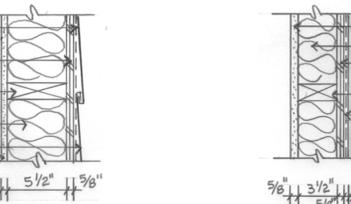
6 WALL TYPE "F" - UL NO. 305
A-04 SCALE: 1-1/2" = 1'-0" 1 HOUR FIRE RATED



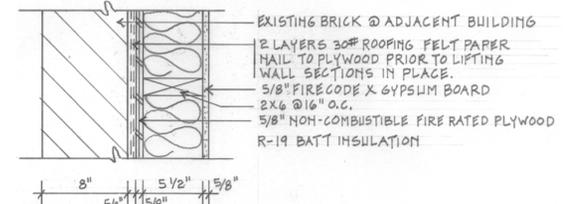
7 WALL TYPE "H"
A-04 SCALE: 1-1/2" = 1'-0" 2 HOUR FIRE RATED



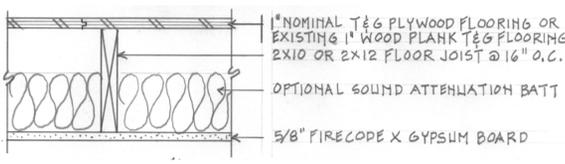
8 WALL TYPE "J" - UL NO. V311 (SIM)
A-04 SCALE: 1-1/2" = 1'-0" 1 HOUR FIRE PROTECTED BOTH SIDES



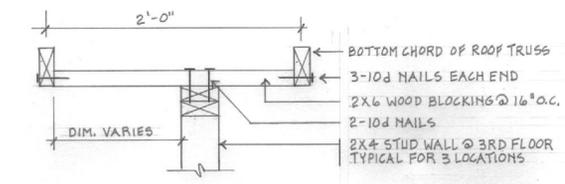
9 WALL TYPE "I"
A-04 SCALE: 1-1/2" = 1'-0" 1 HOUR FIRE PROTECTED BOTH SIDES



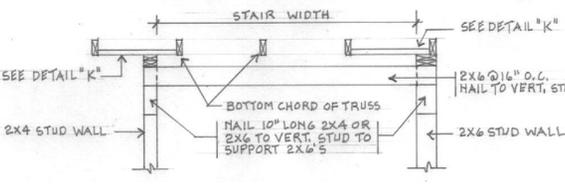
10 WALL TYPE "L"
A-04 SCALE: 1-1/2" = 1'-0" 1 HOUR FIRE PROTECTED BOTH SIDES



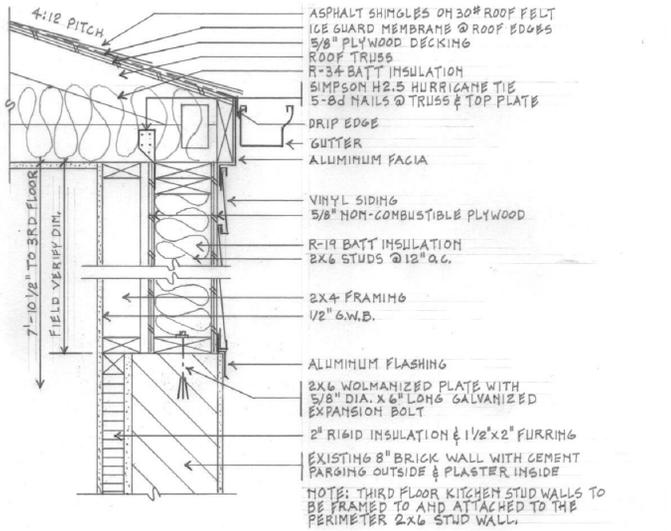
11 FLOOR ASSEMBLY (TYPICAL) - UL NO. 501
A-04 SCALE: 1-1/2" = 1'-0" 1 HOUR FIRE RATED



12 FRAMING DETAIL "K" AT ROOF TRUSS
A-04 SCALE: 1-1/2" = 1'-0"



13 FRAMING DETAIL "L" AT STAIR CEILING
A-04 SCALE: 1/2" = 1'-0"

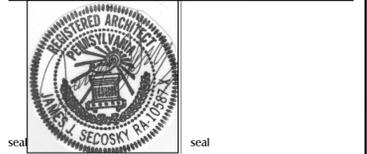


14 WALL SECTION "J" AT ROOF
A-05 SCALE: 1-1/2" = 1'-0"

- ### Wall Types
- Ⓐ Existing 8" brick masonry and plaster. Remove wall paper, patch, and paint. See Wall Type Detail 5/A-04.
 - Ⓑ 1/2" gypsum wall board over 3/4" wood furring at 16" on center. Wood stud infill as shown between 8" brick masonry wall.
 - Ⓒ 2 x 4 wood studs at 16" on center with 1/2" gypsum board each side.
 - Ⓓ 1 1/2" x 2" wood studs at 16" on center with 2" rigid urethane insulation and 1/2" gypsum wall board.
 - Ⓔ NOT USED.
 - Ⓕ 2 x 4 wood studs at 16" on center with 5/8" firecode X gypsum board each side. Insulate wall with 4" batt insulation. One hour fire rated wall. Note: Double stud wall at existing old stair. See Wall Type Detail 6/A-04.
 - Ⓖ 2 x 4 wood studs at 16" on center with two layers of 5/8" firecode X gypsum board to block off first stair run. One hour fire rated.
 - Ⓗ 8" masonry infill at old doorway. See Wall Type Detail 7/A-04.
 - Ⓙ 2 x 4 wood stud at 16" on center with 3 1/2" R-15 high density batt insulation, 5/8" firecode X gypsum board inside and 5/8" non-combustible plywood outside with Tyvek house wrap and hardboard panels outside. One hour fire rated. See Wall Type Detail 11/A-04.
 - Ⓛ 2 x 6 wooden studs at 16" on center with 5 1/2" R-19 batt insulation, 5/8" firecode X gypsum board inside and 1/2" non-combustible plywood, Tyvek wrap and vinyl siding outside. One hour fire rating. See Wall Type Detail 8/A-04.
 - Ⓜ 2 x 6 wood studs at 16" on center with 5/8" non-combustible plywood on each side and hardboard panels at inside and vinyl siding outside.
 - Ⓨ 2 x 6 wood studs at 16" on center with 5/8" non-combustible plywood outside and two layers of 30# felt paper on 5/8" non-combustible plywood. 5/8" R-19 batt insulation and 5/8" fire code X gypsum board inside. One hour fire rated. See Wall Type Detail 10/A-04.
 - Ⓩ Install 3 1/2" R-15 batt insulation between existing wood studs and 1/2" gypsum board inside.
 - ⓐ 1/2" gypsum board installed on each side of existing wood studs.

consultants
key plan

revisions	no.	date	note

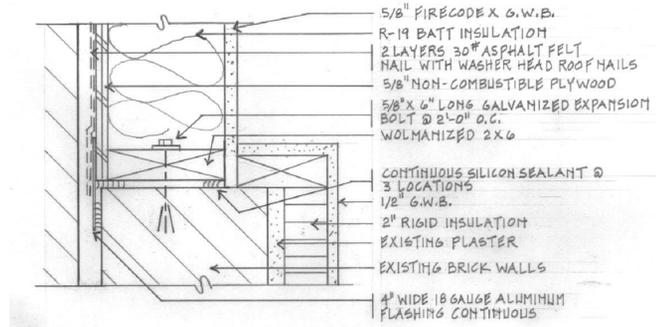
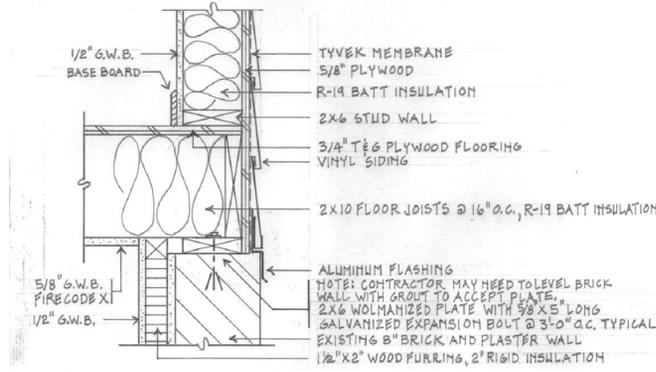
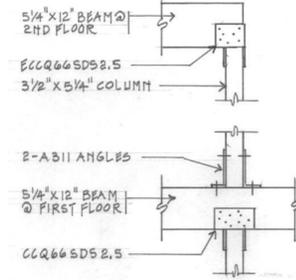
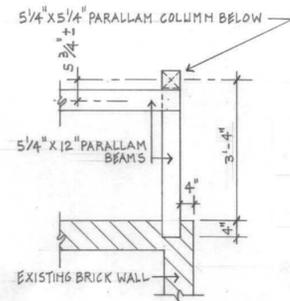


Rehabilitation of Existing Retail / Residential Building
729 East Carson Street
Pittsburgh, Pennsylvania 15203

scale As Noted
date January 29, 2016
drawn by LAP
approved by JAS
project number F0259

JASATA
DESIGN & CONSTRUCTION INC.
502 North Main Street
Sharpsburg, PA 15215
phone 412.901.4404 fax 724.519.7916 email jasecosky@gmail.com

Framing Plans, Wall Types, Sections and Details **A-04**

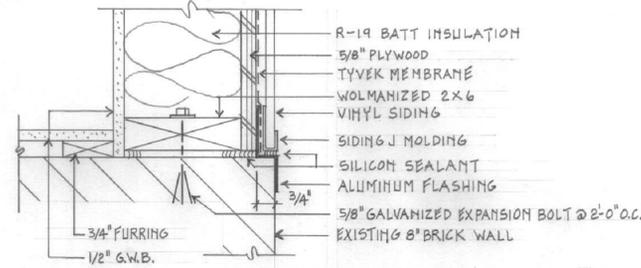


1 DETAIL "E" PLAN AT BEAMS
A-05 SCALE: 1/2" = 1'-0"

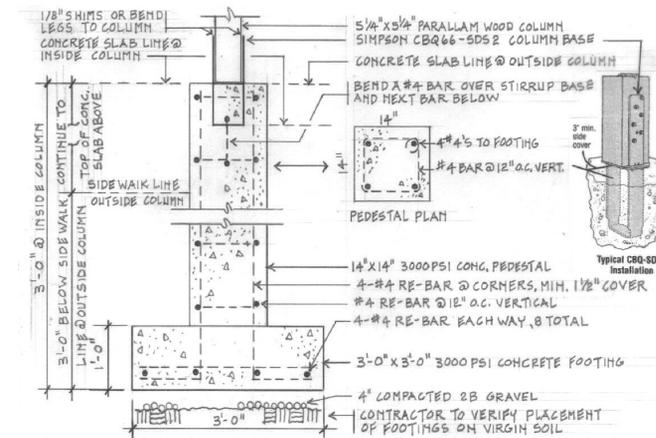
2 DETAIL "F" SIMPSON CONS.
A-05 SCALE: 1/2" = 1'-0" AT BEAMS AND COLUMNS

3 DETAIL "D" AT EXTERIOR WALL
A-05 SCALE: 1-1/2" = 1'-0"

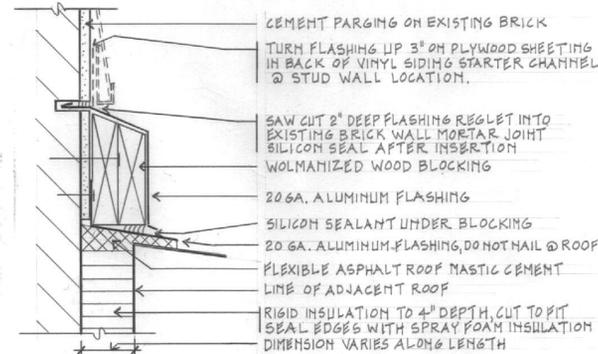
4 PLAN DETAIL "H" AT STUD / BRICK WALL
A-05 SCALE: 3" = 1'-0" NOTE: SIMILAR DETAIL WHERE STUD WALL IS BUILT ON TOP OF EXISTING BRICK WALL



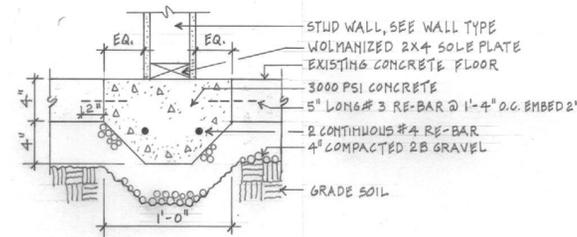
5 PLAN DETAIL "C" AT BRICK / STUD WALL
A-05 SCALE: 3" = 1'-0" NOTE: SIMILAR DETAIL WHERE STUD WALL MEETS CONCRETE SLAB AT NEW STAIR



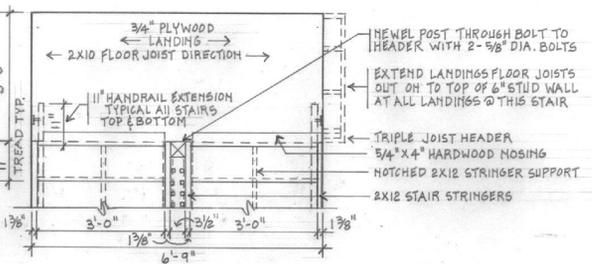
7 DETAIL "B" AT PEDESTAL FOUNDATION
A-05 SCALE: 3/4" = 1'-0" NOTE: SIMPSON STRONG TIE DETAIL NOT TO SCALE



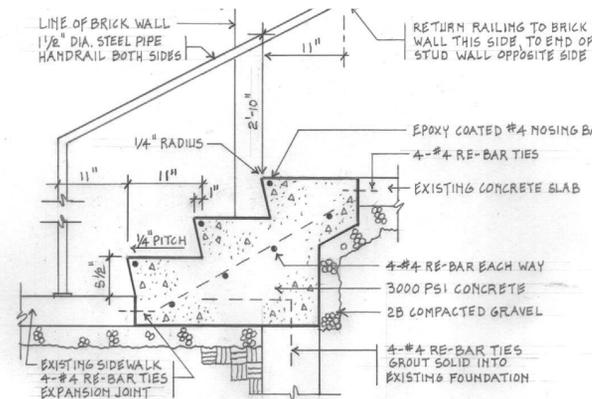
8 DETAIL "I" FLASHING AT ADJACENT ROOF
A-05 SCALE: 3" = 1'-0"



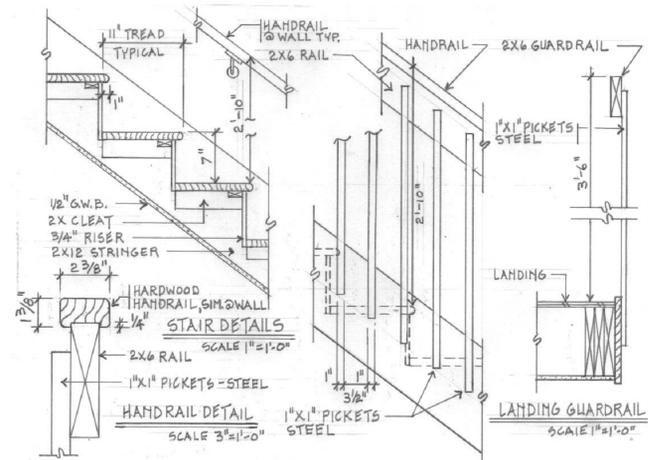
9 DETAIL "A" AT HAUNCH FOOTING
A-05 SCALE: 1-1/2" = 1'-0"



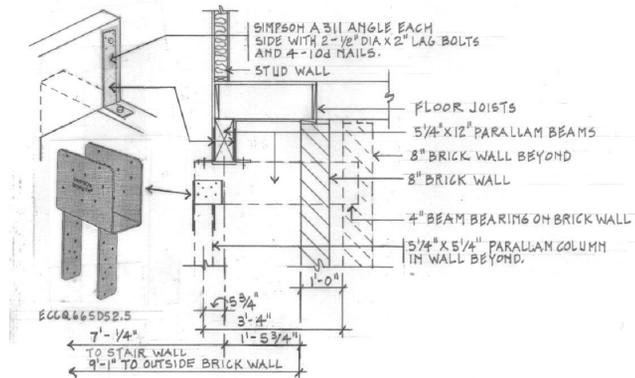
6 DETAIL - STAIR PLAN AT INTERMEDIATE LANDING
A-05 SCALE: 1/2" = 1'-0"



10 DETAIL - SECTION AT EXTERIOR STEPS
A-04 SCALE: 1" = 1'-0" 3 EQUAL HEIGHT RISERS, 7" HIGH MAXIMUM



11 STAIR DETAILS AT RISERS, HANDRAILS, AND GUARDRAILS
A-04 SCALE: AS NOTED

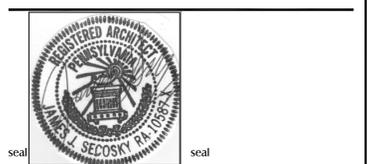


12 DETAIL "G" AT STAIR BEAM
A-05 SCALE: 1/2" = 1'-0" NOTE: SIMPSON STRONG TIE DETAILS NOT TO SCALE

consultants

key plan

revisions	no.	date	note

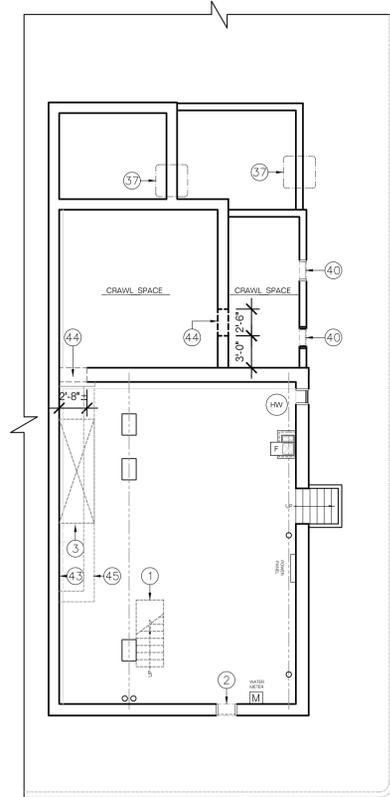


Rehabilitation of Existing Retail / Residential Building
729 East Carson Street
Pittsburgh, Pennsylvania 15203

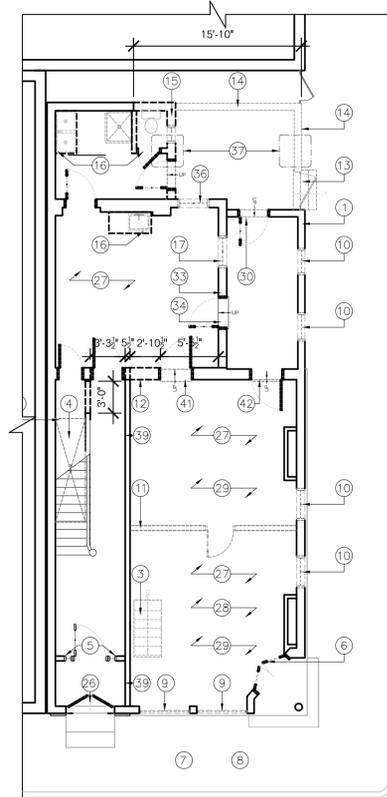
scale As Noted
date January 29, 2016
drawn by LAP
approved by JAS
project number F0259

JASATA
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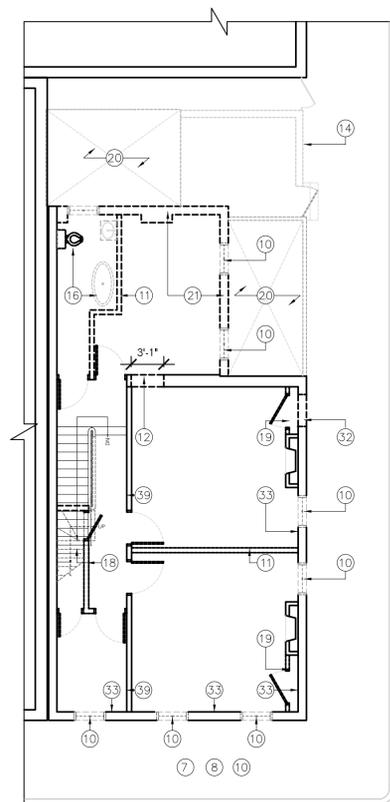
drawing title **Sections and Details** drawing no. **A-05**



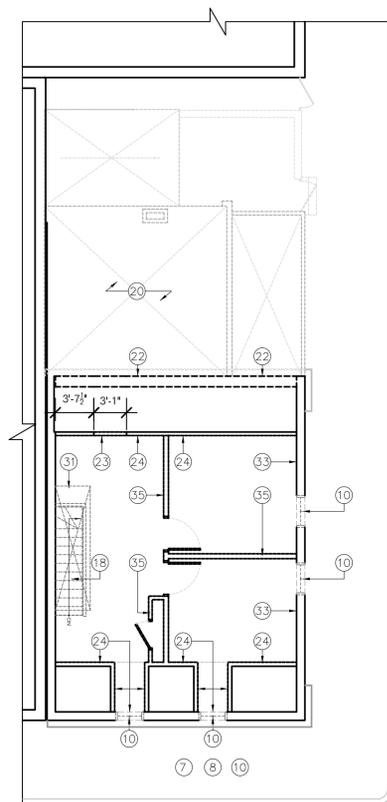
1 BASEMENT DEMOLITION PLAN
D-01 SCALE: 1/8" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
D-01 SCALE: 1/8" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN
D-01 SCALE: 1/8" = 1'-0"



4 THIRD FLOOR DEMOLITION PLAN
D-01 SCALE: 1/8" = 1'-0"

Demolition Keynotes

GENERAL NOTE: The sequence of demolition must be planned and coordinated with the renovation work. Logical sequence mandates that the demolition contractor have the electrical, security, and plumbing work either temporarily removed, or relocated in order to complete the demolition work. Key note enumeration does not suggest any preferred sequence of demolition but simply identify the intentions of the Owner and the Architect.

- 1 Remove existing stair and trap door to basement.
- 2 Remove screened vent at sidewalk.
- 3 Remove existing closet floor framing for new basement stair. Contractor to verify length of demolition for new stair.
- 4 Remove wood paneled wall for new door.
- 5 Keep existing door and side lights.
- 6 Remove double doors and transom glass window above.
- 7 Remove all interior doors and frames unless noted.
- 8 Remove all existing floor finishes throughout.
- 9 Remove windows and transom glass windows above.
- 10 Remove all exterior windows and frames, typical.
- 11 Remove existing wall.
- 12 Remove existing brick wall for new opening.
- 13 Remove concrete steps.
- 14 Remove existing 8" concrete block wall to concrete slab floor.
- 15 Remove brick masonry wall to 4" below concrete slab floor.
- 16 Remove all plumbing fixtures, typical. Cut and cap plumbing lines.
- 17 Remove interior window and frame.
- 18 Remove existing steps and surrounding walls.
- 19 Remove existing closet.
- 20 Remove existing roof and ceilings below.
- 21 Remove existing masonry wall and chimney this floor.
- 22 Remove existing sloping area of mansard roof. Interior load bearing interior stud wall to remain.
- 23 Remove existing studs for new opening. Frame new jambs and install double 2 x 12 structural header over new opening.
- 24 Remove existing plaster and lathe at interior faces of existing roof support walls. Existing wood wall studs and framing to remain.
- 25 Remove plaster and lath on existing ceiling.
- 26 Remove existing double doors and hinges and glazing in transom above. Existing door framing to remain.
- 27 Remove existing wood panel wainscot at all walls this area.
- 28 Remove existing shelving and millwork at this area.
- 29 Remove existing ceiling mounted light fixtures this area.
- 30 Remove existing door and frame.
- 31 Remove existing floor framing for new stair to third floor.
- 32 Remove existing masonry wall for new window opening. Match new sill height and window opening size to match window openings in new second floor addition. Install a 4"x3"x5/16" steel angle lintel for each brick width to support brick masonry above.
- 33 Remove interior plaster and lathe at existing exterior perimeter walls.
- 34 Remove existing doors, frames, and glass transoms above.
- 35 Remove interior stud walls as shown.
- 36 Remove window, window frame, and brick masonry below for new door.
- 37 Remove existing concrete slab (3' x 3') and expose existing foundation and footing for Architect's inspection. Note: New footing and foundation for new columns may be necessary. See plan for exact location of concrete removal.
- 38 Remove existing stair.
- 39 Keep these stud walls. Remove existing lath and plaster.
- 40 Remove existing grills and frames.
- 41 Remove existing door, frame, and steps.
- 42 Remove existing door, frame, glass transom, and sloped tread at opening.
- 43 Remove portion of existing footing to allow for new stairs and landing.
- 44 Provide access opening in existing foundation wall. See architectural plan Drawing 1/A-01 for additional information.
- 45 Remove existing concrete floor slab this area for new concrete footing. See Architectural Plan Drawing 1/A-01 for additional information.

Demolition Symbol Legend

	Existing Construction to Remain.
	Existing Construction to be Removed. Refer to Keynotes for additional information.
	Existing Pane Glass Window to be Removed. Refer to Keynotes for additional information.
	Existing Stairs to be Removed. Refer to Keynotes for additional information.
	Existing Door to remain.
	Existing Door to be Removed. Refer to Keynotes for additional information.

Architectural Drawing Legend

Architectural	ISSUED	REVISION
D-01 BASEMENT, 1ST, 2ND, 3RD FLOOR DEMOLITION PLANS	•	
A-01 BASEMENT & 1ST FLOOR ARCHITECTURAL PLANS	•	
A-02 2ND & 3RD FLOOR ARCHITECTURAL PLANS	•	
A-03 EXTERIOR ELEVATIONS	•	
A-04 FRAMING PLANS, WALL TYPES, AND DETAILS	•	
A-05 DETAILS	•	

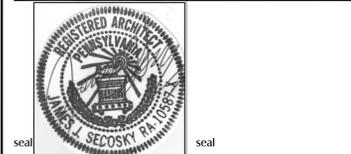


consultants

key plan

revisions

no.	date	note

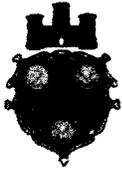


Rehabilitation of Existing Retail / Residential Building
729 East Carson Street
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scale As Noted
date January 29, 2016
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502 North Main Street
Sharpsburg, PA 15215
phone 412.901.4404 fax 724.519.7916 email jasecosky@gmail.com

drawing title **Basement, First, Second and Third Floor Demolition Plans** drawing no. **D-01**



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH

Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1719 E. CARSON STREET
PITTSBURGH, PA 15213

OWNER:

NAME: GREGG CARSON LLC
 ADDRESS: PO BOX 143
ALLISON PARK, PA 15101
 PHONE: 724-443-7779
 EMAIL: laura.emilianas@gmail.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Rustic Steel Awnings - over entry ways of storefront. Will tie in
Rustic custom built atmosphere from inside to the outside of the building.

SIGNATURES:

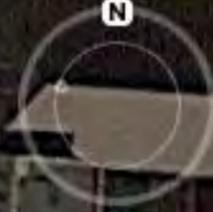
OWNER:  DATE: 2/25/16
 APPLICANT:  DATE: 2/25/16

STAFF USE ONLY:

DATE RECEIVED: 3/16/16
 LOT AND BLOCK NUMBER: 12-6-313
 WARD: 17th
 FEE PAID: 400
 DISTRICT: E Carson St

APPLICANT:

NAME: SIGN INNOVATION (CHAD MELBERG)
 ADDRESS: 50 HALSTEAD BLVD. SUITE 17
ZELLENOPLE, PA 16063
 PHONE: (724) 452-8699
 EMAIL: CHAD@SIGNINNOVATION.COM



Wrights Way

S 18th St

1719 E Carson Street



© 2016 Google

Google earth

Carey Way

1995

Imagery Date: 9/23/2015 40°25'43.95" N 79°58'51.87" W elev 756 ft eye alt 1192 ft

TRES | RÍOS

MEXICAN KITCHEN Y TEQUILA BAR



514 German Street
Harmony, PA 16037

Tel 724.452.8699
Fax 724.452.8629

www.signinnovation.com



Ray Roccon, President
Ray@SignInnovation.com

Chad Melberg, Sales
Chad@SignInnovation.com

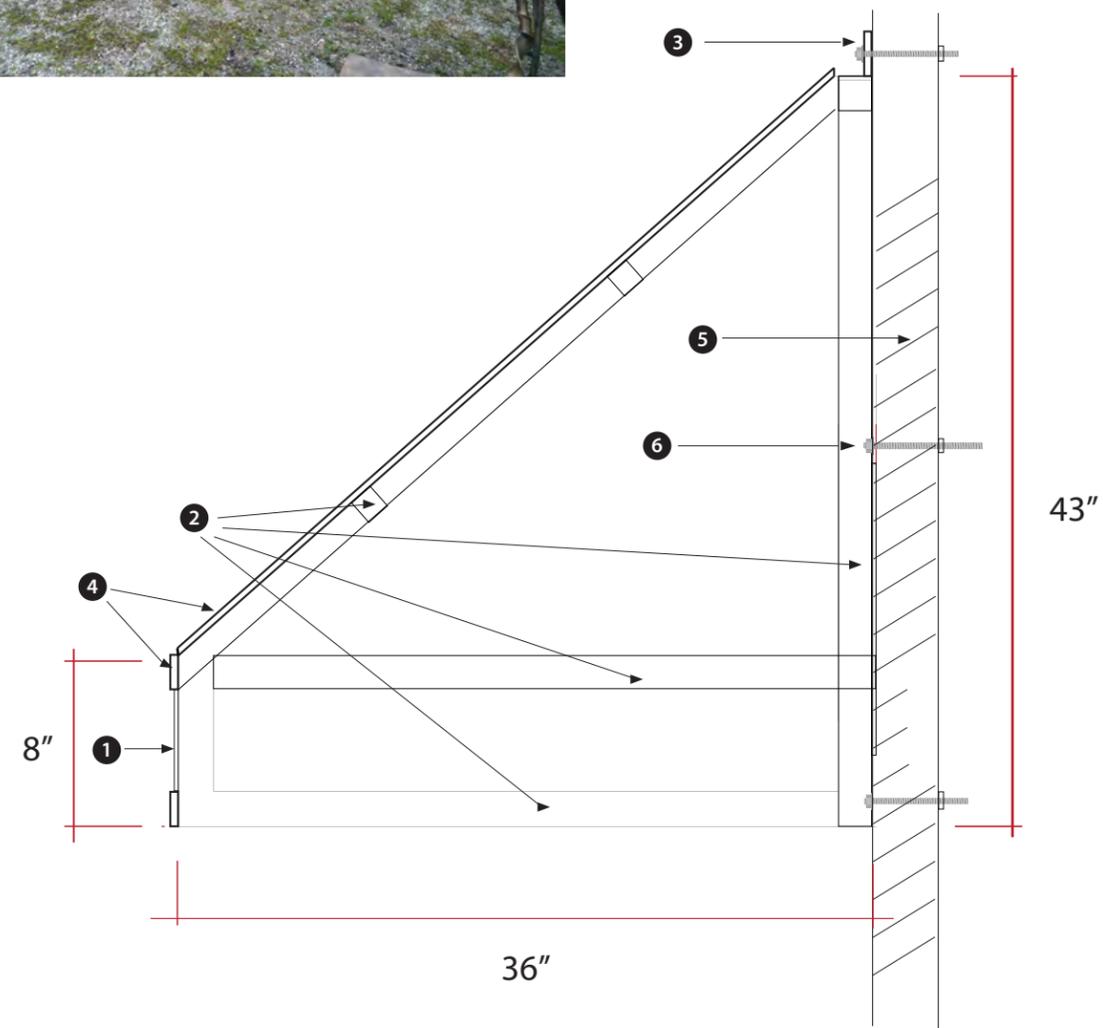


- 1 Cover Page
- 2 Storefront Signage
- 3 Exterior Blade
- 4 Interior Luchador Logo
- 5 Exterior Awning
- 6 Storefront Rendering (Sign/Awning)
- 7 Blade Photo Rendering
- 8 Interior Halo Logo Rendering



Tres Rios - Mexican Kitchen Y Tequila Bar

1719 East Carson St.
Pittsburgh, PA. 15203



NUMBER KEY

- 1 16 Gauge Steel Skin
- 2 1.5" 14 Gauge Steel Tube Frame
- 3 1/4" Steel Mounting Plates
- 4 1.5" x 1.4" Steel Accent Plating
- 5 Existing Brick Wall
- 6 Fastners Bolted Thru Wall

COLORS



514 German Street
Harmony, PA 16037

Tel 724.452.8699
Fax 724.452.8629

www.signinnovation.com

Ray Roccon, President
Ray@SignInnovation.com

Chad Melberg, Sales
Chad@SignInnovation.com

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Tres Rios - Mexican Kitchen Y Tequila Bar

1719 East Carson St.
Pittsburgh, PA. 15203



Wall to Wall Design



Exposed Neon Channel Letter but w/ Clear Faces



(2) Customer Supplied Awnings as shown in photo to the left. Steel Awnings with rusted patina look.



Photo Rendering



514 German Street
Harmony, PA 16037

Tel 724.452.8699
Fax 724.452.8629

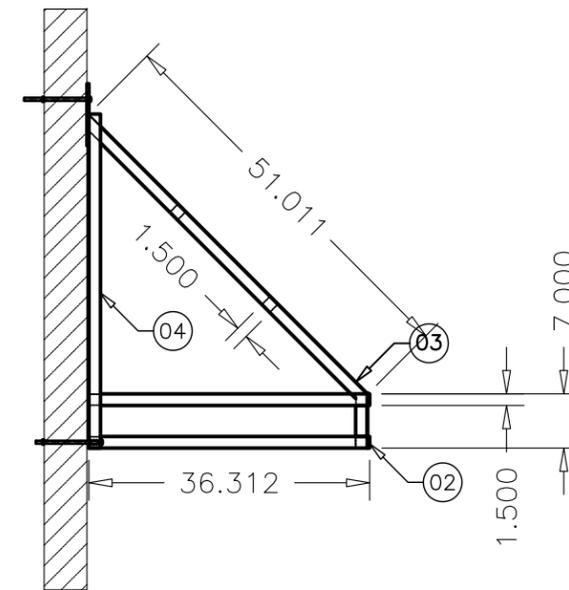
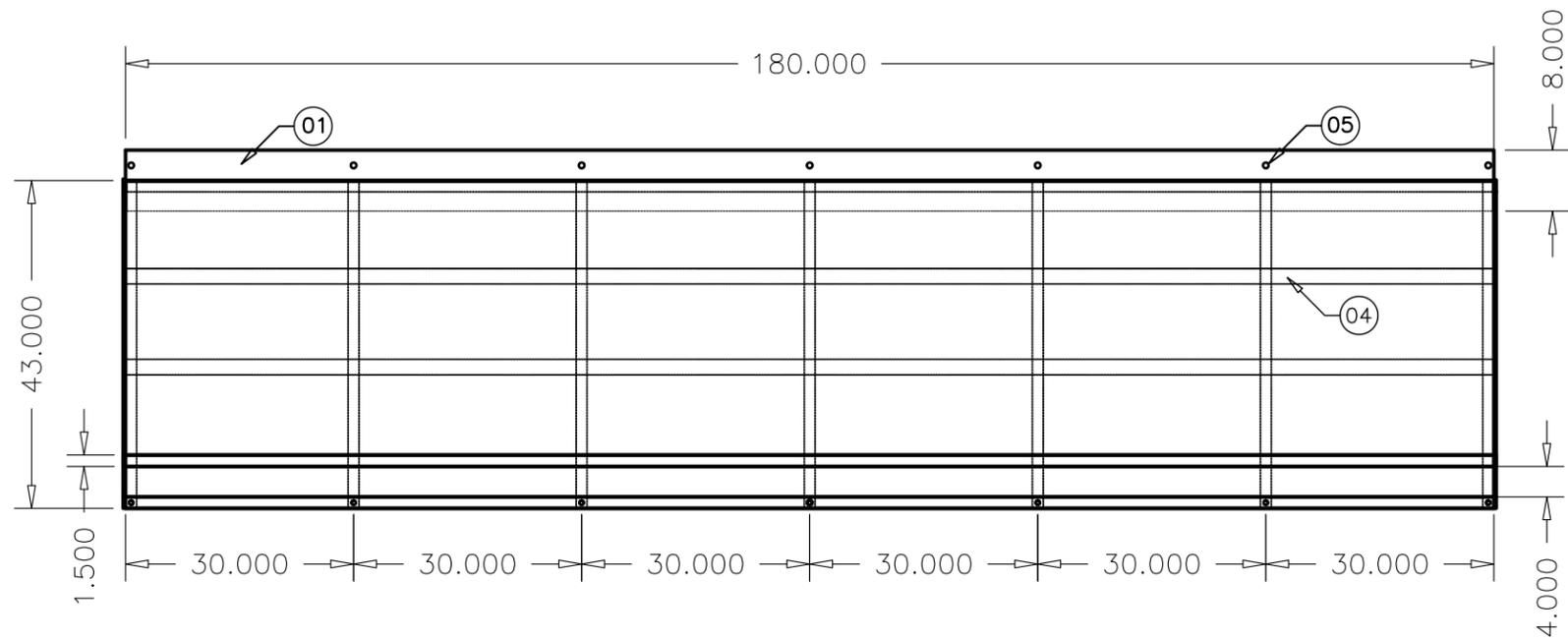
www.signinnovation.com

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Tres Rios - Mexican Kitchen Y Tequila Bar
1719 East Carson St.
Pittsburgh, PA. 15203



ITEM	DESCRIPTION	# REQ'D PER UNIT	MATERIAL	THK'NS/ SECTION	FINISH
01	8" x 15'	1	Steel Plate Header	.250	PER D.I. DWG
02	1.5''x Various Size	Multiple	Steel Plate Trim	.250	PER D.I. DWG
03	14 Gauge Steel	Multiple	Steel Sheeting	.0625	PER D.I. DWG
04	1.5" Sq. 16ga. Tube	Multiple	Steel Tube Frame	.078125	PER D.I. DWG
05	Steel Hex Bolts	14	Approx. 9" x .375"	Per Eng.	PER D.I. DWG

2

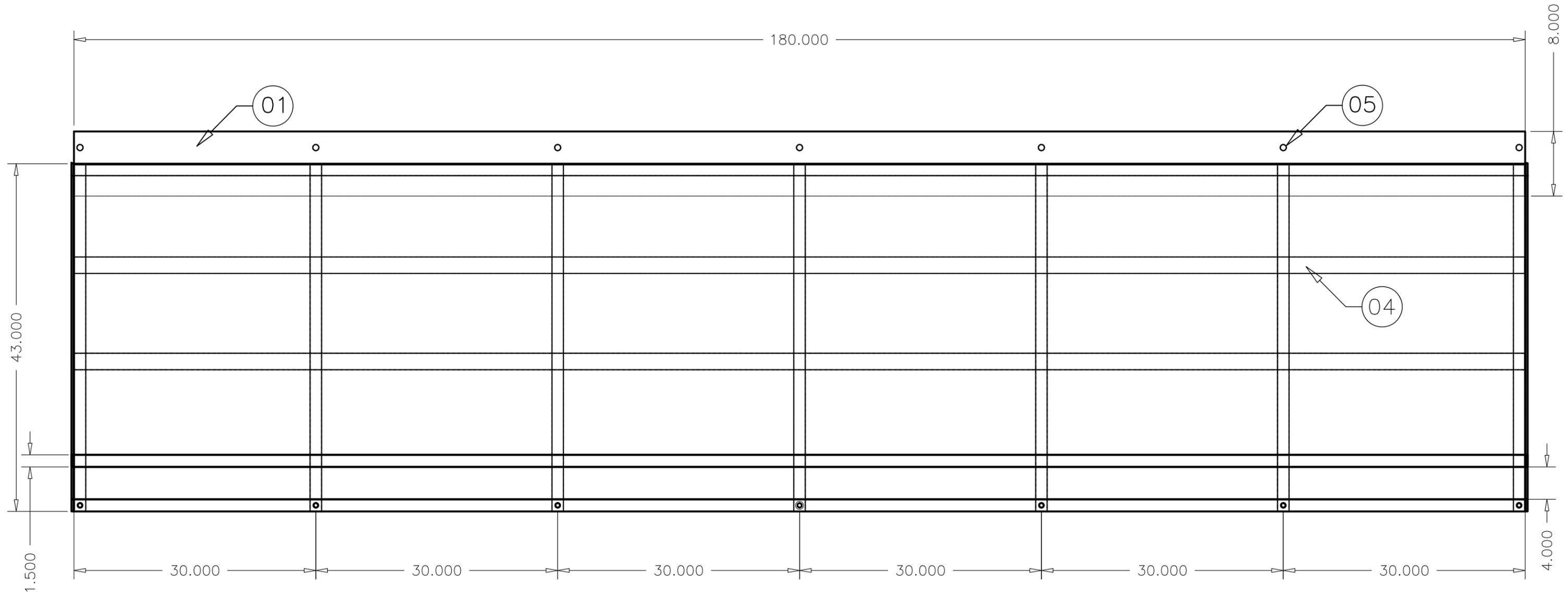
SCALE ≈

REVISION	00	CEM	02/23/16	ORIGINAL ISSUE
REVISION	XX	INTL	DATE	DESCRIPTION

THIS IS AN ORIGINAL UNPUBLISHED DESIGN CREATED BY SIGNINNOVATION. IT IS SUBMITTED TO OUR CLIENT FOR USE IN CONNECTION WITH A PROJECT BEING PLANNED BY SIGNINNOVATION. ALL PARTS OF THIS DRAWING & DESIGN, EXCEPT REGISTERED TRADEMARKS, REMAIN THE PROPERTY OF SIGNINNOVATION & ARE NOT TO BE COPIED OR REPRODUCED OR SHARED WITH ANY THIRD PARTY WITHOUT EXPRESS WRITTEN CONSENT OF SIGNINNOVATION.

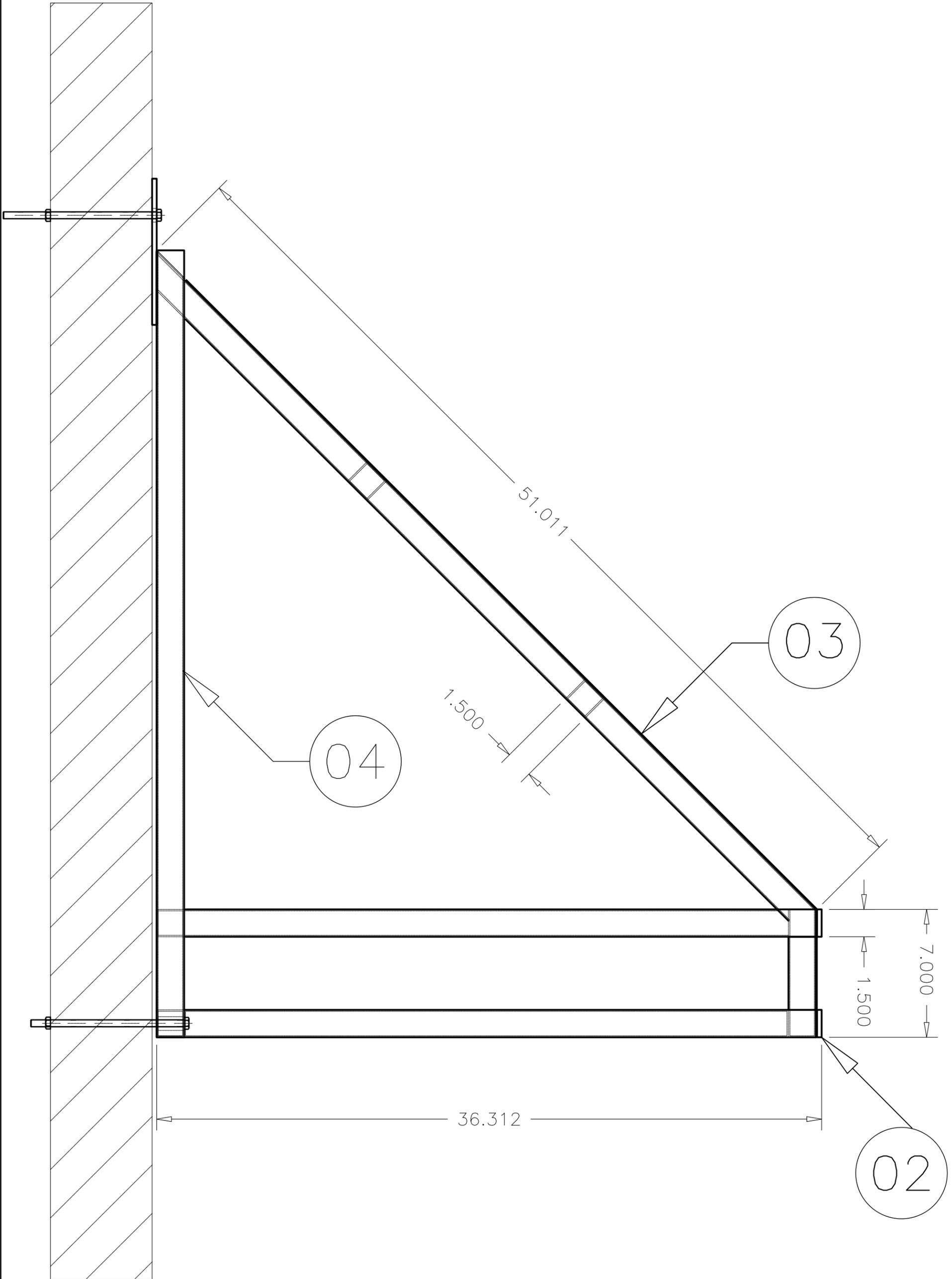


TITLE: STEEL AWNINGS	
CLIENT: TRES RIOS	
LOCATION: 1719 E. CARSON ST. PITTSBURGH, PA 15203	
PATH: TBD	
DRN BY: MELBERG	SIZE B SHEET 1 OF 3



SCALE ≈ :

REVISION	00	CEM	02/23/16	ORIGINAL ISSUE
REVISION	XX	INTL	DATE	DESCRIPTION
ZOOM VIEW AWNING FRONT VIEW – SHEET				
LOCATION: 1719 E. CARSON ST. PITTSBURGH, PA 15203				
DRN BY: MELBERG		SIZE	SHEET 2 OF 3	



REVISION	00	CEM	02/23/16	ORIGINAL ISSUE
REVISION	XX	INTL	DATE	DESCRIPTION
ZOOM VIEW AWNING SIDE VIEW – SHEET				
LOCATION: 1719 E. CARSON ST. PITTSBURGH, PA 15203				
DRN BY:	MELBERG			SIZE _ SHEET 3 OF 3

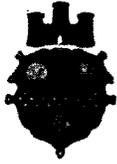












Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 3/15/16

LOT AND BLOCK NUMBER: 115-H-110

WARD: 26th

FEE PAID: yes

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

3875 Perrysville Avenue

Pittsburgh, PA 15214

DISTRICT:

City of Pittsburgh

OWNER:

NAME: Vidyadhar Patil

ADDRESS: 1305 Muriel Street
Pittsburgh, PA 15203

PHONE: 412-529-4313

EMAIL: vpatil1@pghboe.net

APPLICANT:

NAME: Steven Watson, AIA

ADDRESS: IKM Inc., One PPG Place
Pittsburgh, PA

PHONE: 412-281-1337

EMAIL: watson48@gmail.com

REQUIRED ATTACHMENTS:

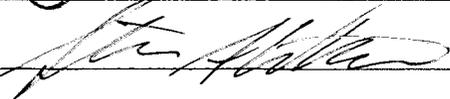
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Move the location of two existing exterior air intake louvers.

SIGNATURES:

OWNER:  DATE: 3/14/16

APPLICANT:  DATE: 3/14/16



3875 Perrysville Avenue

Semicir St

Mairdale Ave

Perrysville Ave

Bjou Way

Ackley St

Campus Way

Baytree St

East St

19

Hemphill St

Defoe St

Wales Way

© 2016 Google

Google earth

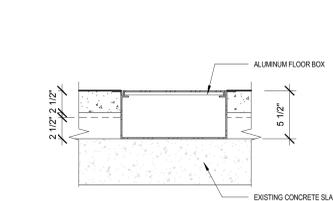
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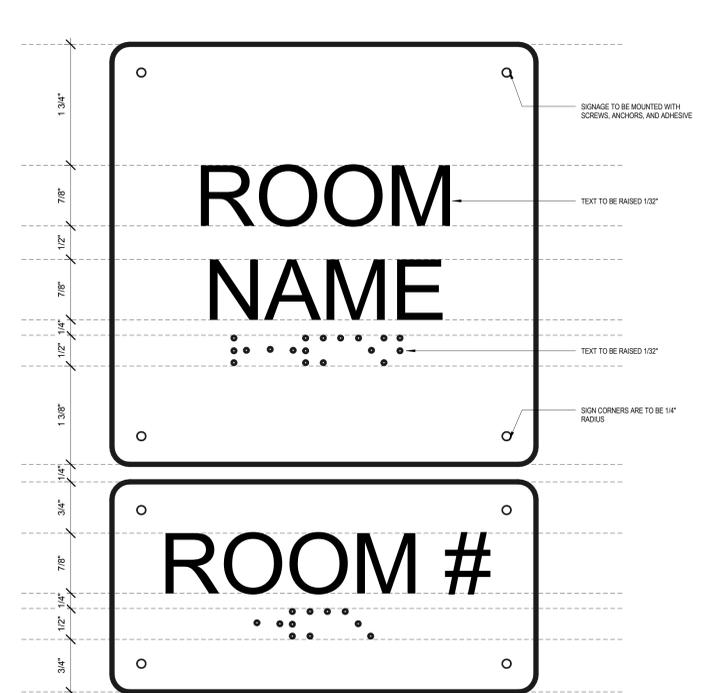




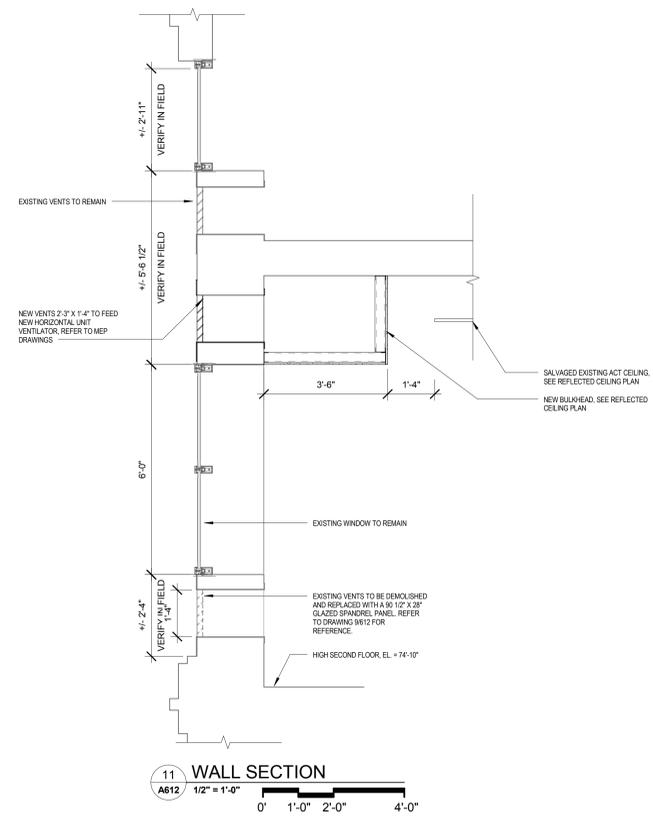
DOOR SCHEDULE															
DOOR #	ROOM NAME	ACTIVE	DOOR				FRAMES				DETAILS		HARDWARE SET	NOTES	
			HEIGHT	THICKNESS	TYPE	MATERIAL	GLAZING	TYPE	MATERIAL	DEPTH	FINISH	HEAD			JAMB
200C	CORRIDOR	PR	3'-0"	7'-0"	1 3/4"	A	WD		F3	5 3/4"			5	1.0	
289	CHEMICAL LAB 1		3'-0"	7'-0"	1 1/2"	C	WD		F1	5 3/4"			5	4.0	
289A1	CHEMICAL STORAGE		3'-0"	7'-0"	1 1/2"	D	WD		F1	5 3/4"			5	45 MIN.	DOOR TO BE VENTED
289A2	CHEMICAL STORAGE		3'-0"	7'-0"	1 1/2"	D	WD		F1	5 3/4"			5	45 MIN.	DOOR TO BE VENTED
289A3	CHEMICAL STORAGE		3'-0"	7'-0"	1 1/2"	D	WD		F1	5 3/4"			5	45 MIN.	DOOR TO BE VENTED
289A4	CHEMICAL STORAGE		3'-0"	7'-0"	1 1/2"	D	WD		F1	5 3/4"			5	45 MIN.	DOOR TO BE VENTED
289X	CHEMICAL LAB 1		8'-0"	7'-0"	1 3/4"	E	WD						3	4	5.0
270	CHEMISTRY LAB 2		3'-0"	7'-0"	1 1/2"	C	WD		F1	5 3/4"			5	4.0	
270A	CHEMISTRY PRP 2	PR	2'-6"	7'-2"	1 3/4"	B	WD		F2	5 3/4"			5	2.0	
270X	CHEMISTRY LAB 2		8'-0"	7'-0"	1 3/4"	E	WD						3	4	5.0



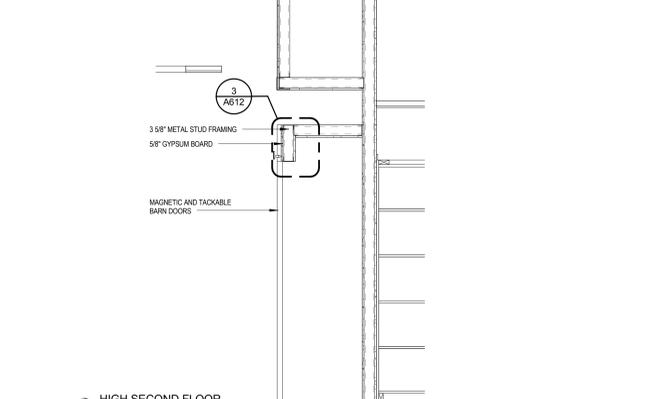
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1/8" = 1'-0"



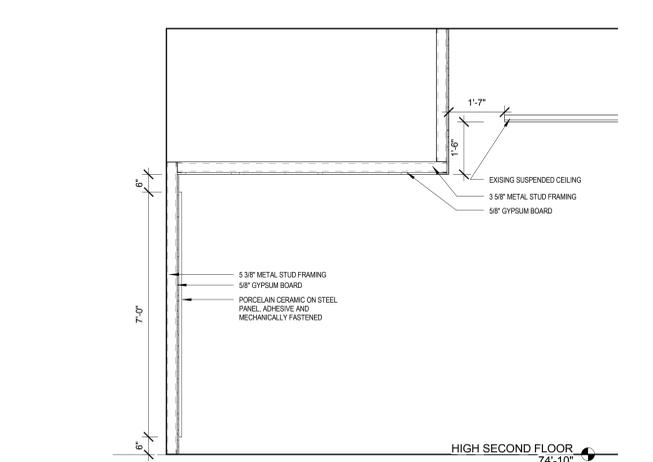
8 SIGNAGE
1/2" = 1'-0"



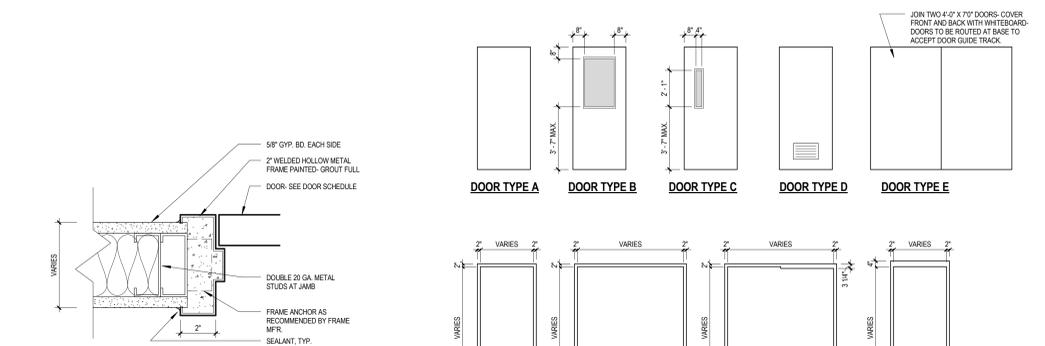
11 WALL SECTION
1/2" = 1'-0"



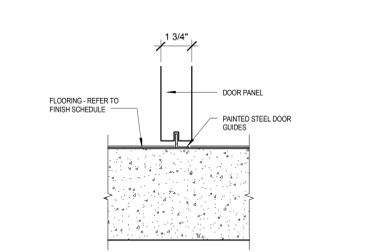
12 WALL SECTION
1/2" = 1'-0"



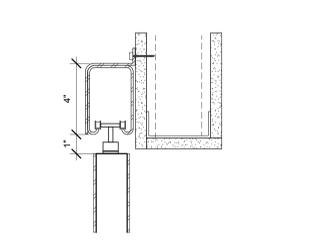
13 WALL SECTION
1/2" = 1'-0"



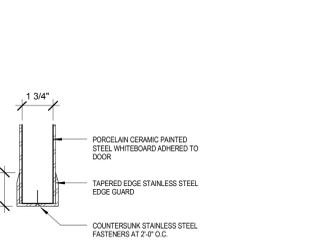
1 HM DOOR JAMB
3/8" = 1'-0"



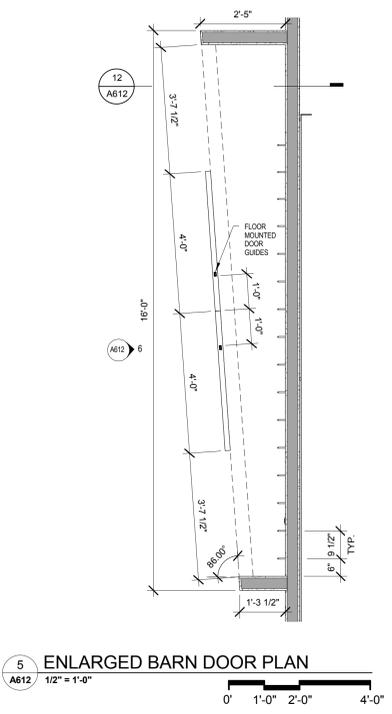
2 BARN DOOR FLOOR TRACK DETAIL
3/8" = 1'-0"



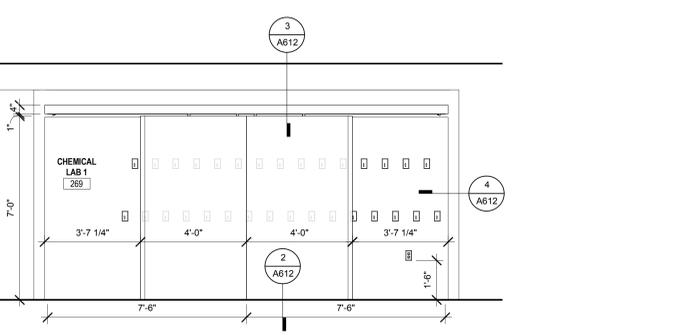
3 BARN DOOR HEAD DETAIL
3/8" = 1'-0"



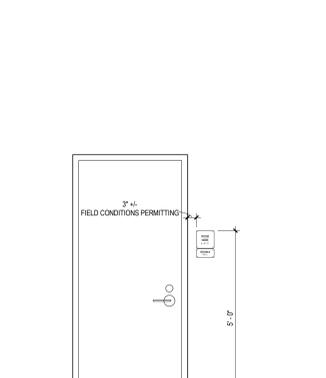
4 BARN DOOR TRIM DETAIL
3/8" = 1'-0"



5 ENLARGED BARN DOOR PLAN
1/2" = 1'-0"



6 BARN DOOR
3/8" = 1'-0"



7 TYP. SIGNAGE ELEVATION
1/2" = 1'-0"



No.	Date	Description



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 3/11/16

LOT AND BLOCK NUMBER: 23-K-108

WARD: 2nd

FEE PAID: yes

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

DISTRICT:

ADDRESS OF PROPERTY:

1217 PALO ALTO ST.
PGH, PA 15212

Mexican War Streets

OWNER:

NAME: KARIN J. Mowl

ADDRESS: 120 w. Hutchinson
PGH, PA 15218

PHONE: 412-242-6695

EMAIL: _____

APPLICANT:

NAME: ROBERT H. Mowl

ADDRESS: 1009 S. Braddock #1
PGH, PA 15218

PHONE: 412-728-7392

EMAIL: RMOWL@Hotmail.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Handrail for 4 front steps of Building. Height of handrail is 36" from top of

riser. ATTACHED to each stair tread & Building with 3 1/2" flanged concrete screws.
MATERIALS USED - 1 1/4" O.D. IRON PIPE - Painted Black

SIGNATURES:

OWNER: *Karin Mowl* DATE: 3/9/16

APPLICANT: *RM* DATE: 3/9/16



Filson St

Greeves Way

1217 Palo Alto Street

Resaca Pl

Eloise St

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Google earth

1993

Imagery Date: 9/23/2015 40°27'20.33" N 80°00'39.62" W elev 775 ft eye alt 1225 ft





