



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room
July 6, 2016

AGENDA

(Vacant), *Chairman*
Ernie Hogan, *Acting Chairman*
Raymond Gastil, *Director of Planning*
Erik Harless, *Assistant Chief PLI, Secretary*
Joe Serrao
Carol Peterson
Matthew Falcone

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business-None

New Business

- Approval of the minutes from the June 2016 hearing
- Certificates of Appropriateness Report – June 2016
- Applications for a Certificate of Economic Hardship – None

➤ **1:00 PM HEARING & ACTION**

- 1. Allegheny West Historic District**
840 N. Lincoln Avenue
Debra Kelly & Doug Debelak, owners
Jody Schurman, applicant
Construction of new garage
- 2. East Carson Street Historic District**
53 S. 10th Street
Christine Chojnicki, owner
Devin Zugates, applicant
Installation of LED-illuminated signage
- 3. East Carson Street Historic District**
1021 E. Carson Street
Morgan Family Development, owner
Autumn Sun Development Co., LP, applicant
After-the-fact building alterations
- 4. East Carson Street Historic District**
2429 E. Carson Street
Tim Hosni, owner
Steven G. Hawkins, applicant
Façade renovations
- 5. August Wilson House—Individual Landmark**
1727 Bedford Avenue
Daisy Wilson Artist Community, owner
Pfaffmann and Associates, applicant
Building renovations including window replacement
- 6. Firehouse #3—Individual Landmark**
1416 Arch Street
Matthew Grebner, owner
Jake Bier, applicant
Door replacement and alteration of entrance for ADA access
- 7. Immanuel Church—Individual Landmark**
810 Tripoli Street
Homestead Property Ventures, owner
Alterations to after-the-fact building renovations

8. Mexican War Streets Historic District
1209 Palo Alto Street
Rob & Heather Fletcher, owners and applicants
Construction of deck on rear garage

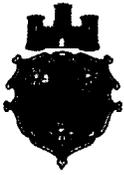
10. Schenley Farms Historic District
4305 Centre Avenue
Xiaonan Huang, owner and applicant
Roof repairs and installation of skylight

9. Mexican War Streets Historic District
1215 Resaca Place
Gary & Martha Lilly, owner
John D. Francona, applicant
Construction of a rear addition

- **DEMOLITIONS**
- **HISTORIC NOMINATIONS**
- **DIRECTOR'S REPORT**
- **ADJOURNMENT**

The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public. INTERPRETERS FOR THE HEARING IMPAIRED WILL BE PROVIDED WITH FOUR DAYS NOTIFICATION BY CONTACTING RICHARD MERITZER AT 412-255-2102.

Please contact Sarah Quinn with questions and comments: 412-255-2243
sarah.quinn@pittsburghpa.gov



Division of Development Administration and Review

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH

Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 6/8/16

LOT AND BLOCK NUMBER: 8-A-98

WARD: 22nd

FEE PAID: yes

DISTRICT:

Allegheny West

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

840 North Lincoln Ave.

OWNER:

NAME: Mrs. Debra Kelly / Mr. Doug Debelak

ADDRESS: 840 North Lincoln Ave.

Pittsburgh, PA 15233

PHONE: 724-316-7213

EMAIL: kellern2001@hotmail.com

APPLICANT:

NAME: Jody Schurman, r.a. w/ Lab|8 Designs

ADDRESS: 55 South 17th St.

Pittsburgh, PA 15203

PHONE: 412-586-7081

EMAIL: jschurman@lab8designs.com

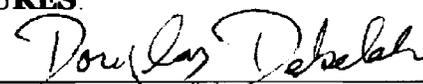
REQUIRED ATTACHMENTS:

- Drawings
- Photographs
- Renderings
- Site Plan
- Other

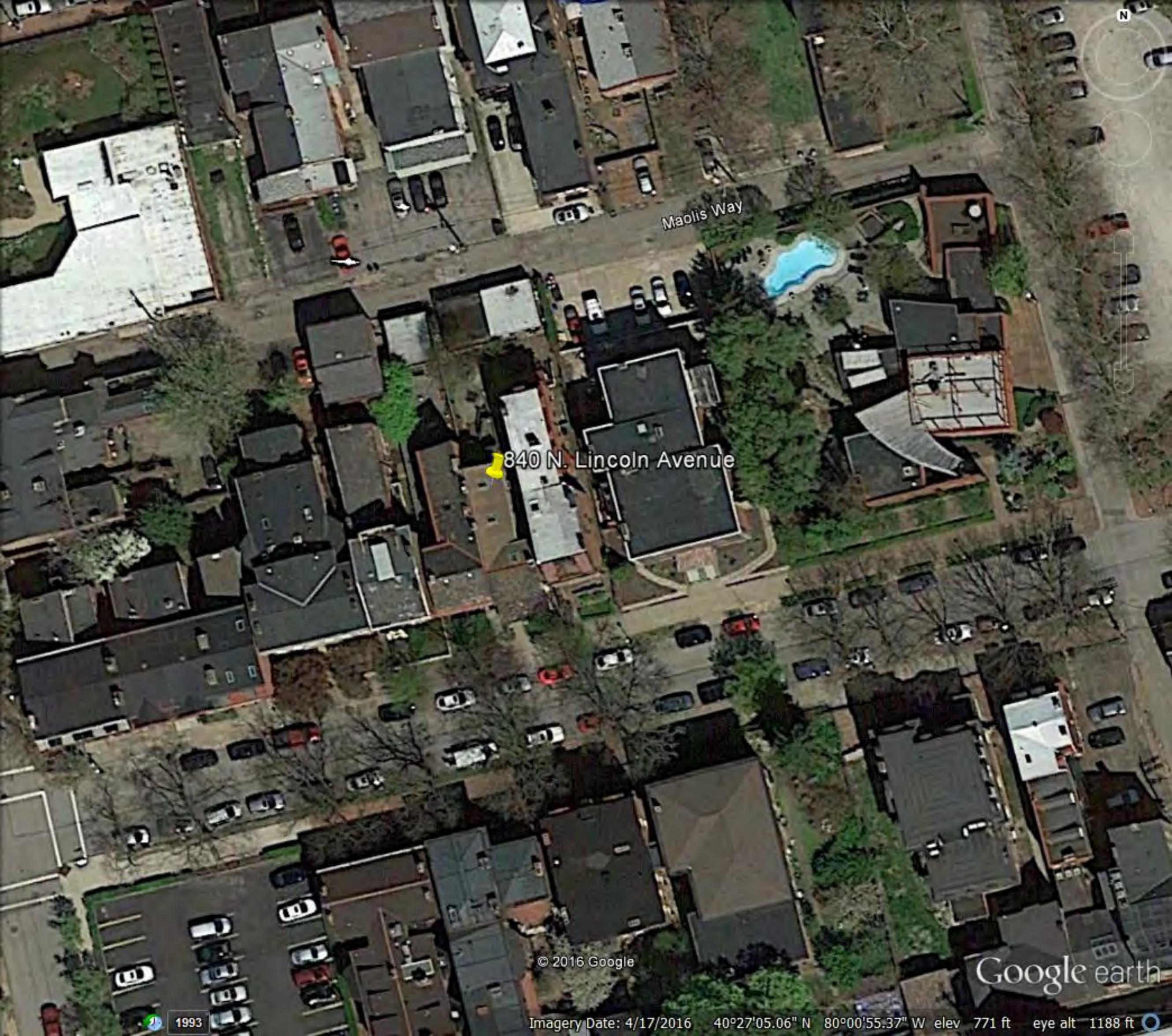
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Replacement of existing 2-car Garage with new, equal sized, Spanish Eclectic Style Garage design, matching front of house.

SIGNATURES:

OWNER:  DATE: June 8, 2016

APPLICANT:  DATE: June 8, 2016



Maolis Way

840 N. Lincoln Avenue

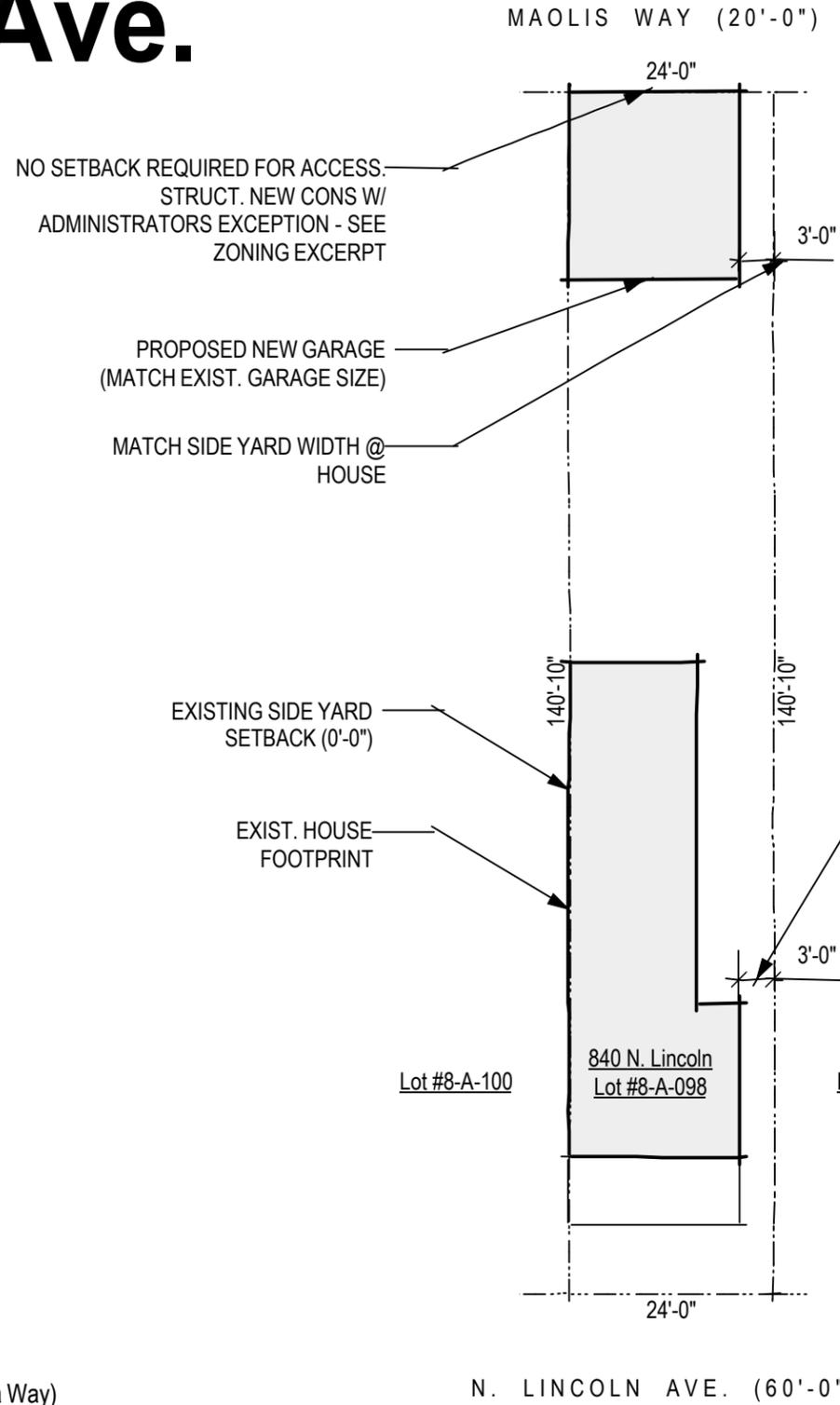
© 2016 Google

Google earth

1993

Imagery Date: 4/17/2016 40°27'05.06" N 80°00'55.37" W elev 771 ft eye alt 1188 ft

Garage Addition to: 840 North Lincoln Ave. Pittsburgh, PA 15233



City of Pittsburgh Zoning Code Excerpt:

925.06.G - Features Allowed within Setbacks by Administrator's Exception
The Zoning Administrator shall be authorized, in accordance with the Administrator Exception procedures of Sec. 922.08, to permit features as per Sec. 925.06.G.1 within setbacks, according to the provisions of Sec. 925.06.G.2 below.

925.06.G.1 - Permitted Features

The following features shall be permitted within setbacks in accordance with the standards of this section:

- (a) Swimming pool and deck in rear yard;
- (b) Garage, carport or parking stalls in rear yard;**
- (c) Storage shed or gazebo in rear yard;
- (d) Open deck no higher than first floor in side or rear yard;
- (e) Air conditioner/condenser in side or rear yard;
- (f) Air conditioner/condenser in front yard no closer to street than existing front porch or stoop;
- (g) Dumpsters.

Lot & Block Information - 8-A-098 (22nd Ward, City of Pittsburgh)

General Information

Project Description: renovations to existing detached Garage to stabilize structure and add gabled roof. Minor perimeter sitework included.

Existing House SF - 3,500sf (No Change)

Existing Garage (detached) - 440gsf (No Change)

General Zoning Information - City of Pittsburgh

Zoning District - R1A-H - Single Unit Attached Residential, High Density

Overlay Districts - Allegheny West Historic District

Requires Plan review and Approval from The Historic Review Commission

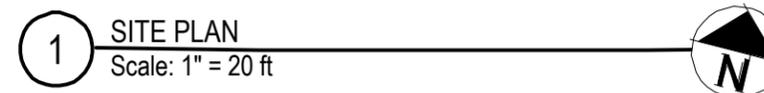
Site Development Standards - R1A-H District

Min. Lot Size	1,800sf (Actual: 3,379sf)
Min. Front Setback	15ft.
Min. Rear Setback	15ft. (2ft. for Accessory Structures when adj. to a Way)
Min. Exterior Sideyard Setback	15ft.
Min. Interior Sideyard Setback	3ft. (Includes Accessory Structures) (Setback of 0'-0" on one side allowed)
Max. Height	40ft. (not to exceed 3 stories)

Parking Requirements: None (Existing Residence)

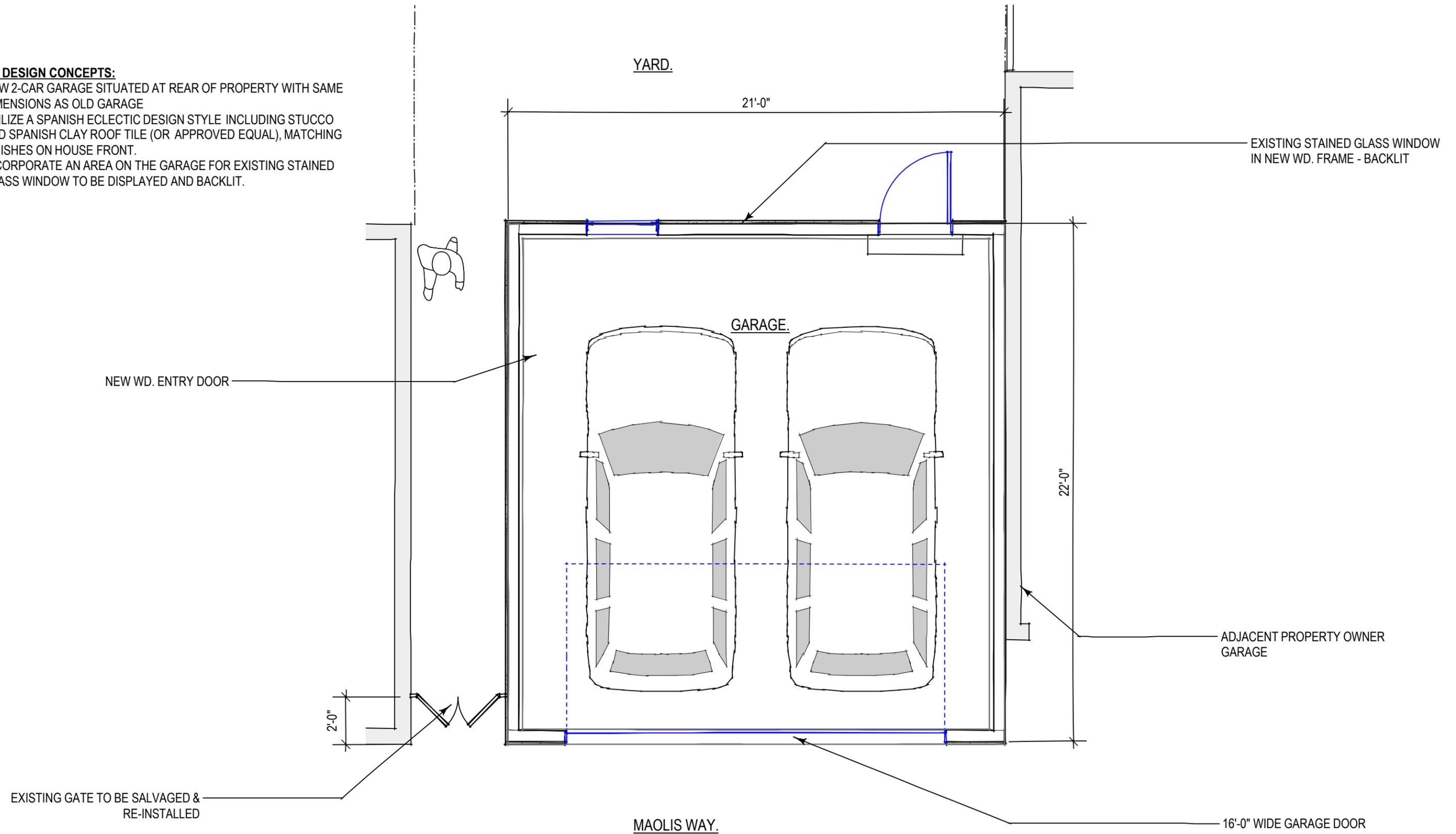


EXISTING GARAGE (MAOLIS WAY)



KEY DESIGN CONCEPTS:

- NEW 2-CAR GARAGE SITUATED AT REAR OF PROPERTY WITH SAME DIMENSIONS AS OLD GARAGE
- UTILIZE A SPANISH ECLECTIC DESIGN STYLE INCLUDING STUCCO AND SPANISH CLAY ROOF TILE (OR APPROVED EQUAL), MATCHING FINISHES ON HOUSE FRONT.
- INCORPORATE AN AREA ON THE GARAGE FOR EXISTING STAINED GLASS WINDOW TO BE DISPLAYED AND BACKLIT.



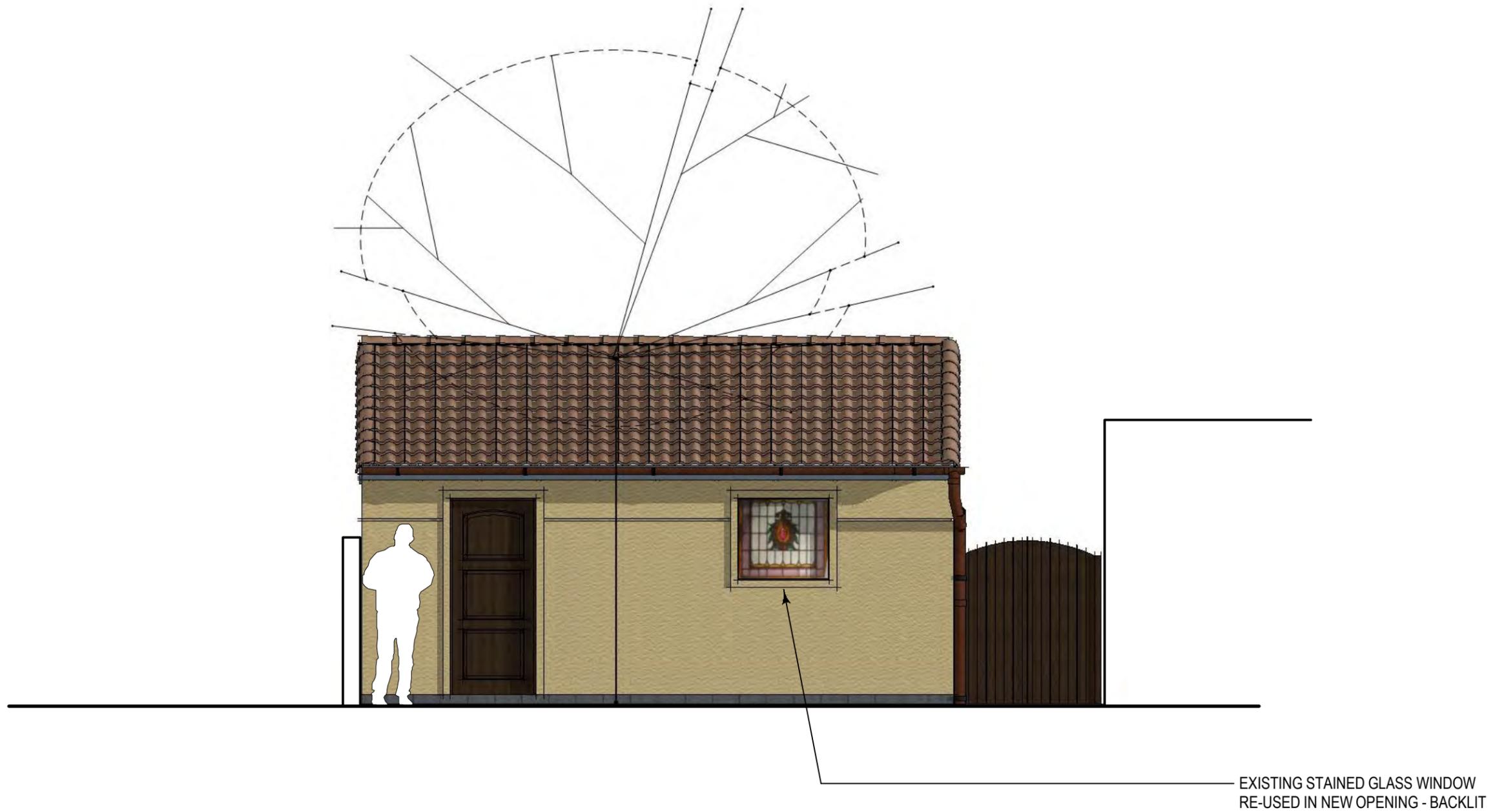
1 GARAGE PLAN
Scale: 1/4" = 1'-0"



○ FRONT VIEW
Scale: 1/4"=1'-0"



○ SIDE VIEW
Scale: 1/4"=1'-0"



REAR VIEW
Scale: 1/4"=1'-0"



EXISTING GARAGE - VIEW FROM ALLEY



EXISTING GARAGE - VIEW FROM ALLEY



Bingham St

53 S. 10th Street

© 2016 Google

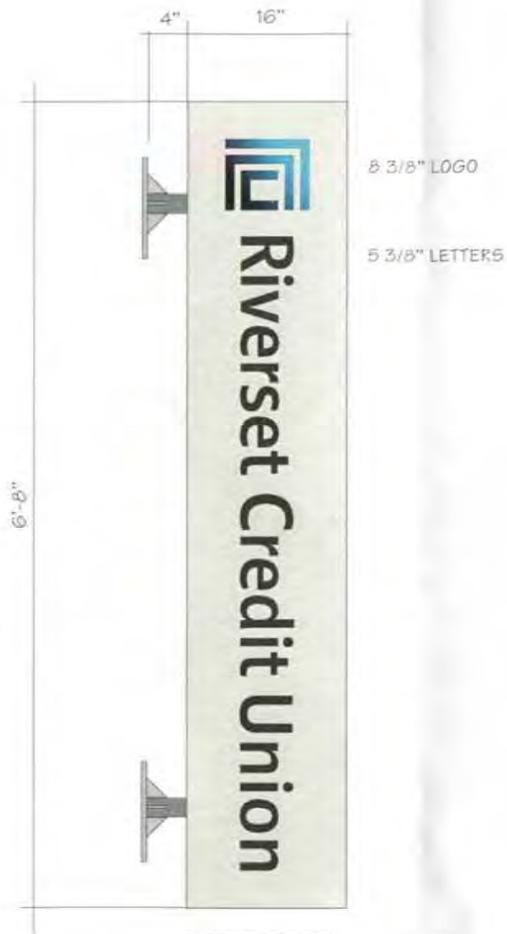
Google earth

1995

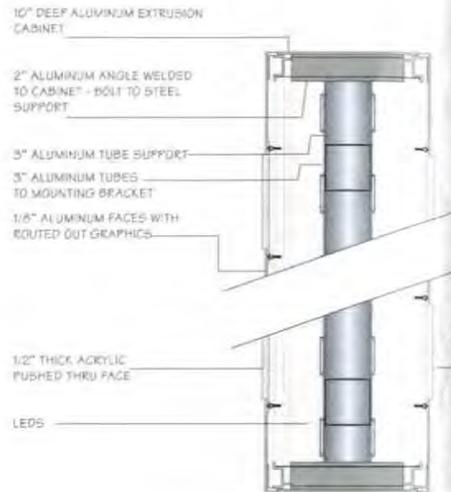
Imagery Date: 4/17/2016 40°25'44.96" N 79°59'17.27" W elev 755 ft eye alt 1177 ft



Riverset Credit Union



SIGN ELEVATION
SCALE: 1" = 1'-0"



PUSHED THRU LETTER
WITH FLANGE

ONE D/F PROJECTION MOUNTED SIGN CONSISTING OF A 10" DEEP ALUMINUM EXTRUSION CABINET WITH (2) 1/8" ALUMINUM FACES. ALUMINUM FACES TO HAVE ROUTED OUT SECTIONS FOR 1/2" THICK ACRYLIC PUSH-THROUGH GRAPHICS. SIGN TO ILLUMINATE WITH LEDS. CABINET TO HAVE (2) 3" ALUMINUM TUBES THAT ARE WELDED TO A 3" ALUMINUM SUPPORT TUBE. MOUNTING PLATE TO BE 1/2" ALUMINUM WITH 3/8" GUSSETS. SIGN TO MOUNT TO WALL WITH APPROPRIATE FASTENERS/ANCHORS.

BACKGROUND - WHITE
RIVERSET LOGO - BLUE GRADIENT
LETTERS - DARK GRAY
MOUNTING BRACKETS - DARK GRAY

Client Information:
RIVERSET CREDIT UNION
83 S. 10TH STREET
PITTSBURGH, PA 15203

Order # PROPOSAL

File: DWG-HOUSE1

RiversetCreditUnion

Date: 4/11/2016

Designer: GJB

Scale: AS NOTED

Rev. 1/Date: 4/20/2016

Rev. 2/Date:

Rev. 3/Date:

Rev. 4/Date:

General Sign Specifications

Interior Exterior

Single Face Double Face

Non-Illuminated

Illuminated

120 volts _____ Amps

277 volts _____ Amps

_____ Amps

Designer Approval _____

Sales Approval _____

Proofed _____

CAUTION

Advance Sign Company prepared these design specifications for your approval. Please review all details with extreme care. Once signed specifications are approved, Advance will not be responsible for any errors (spacing, size, dimensions, colors, letters, etc.).

This is an original unapproved drawing created by Advance Sign Company. It is intended for your personal use. In connection with a project being drawn for you by Advance Sign Company it is not to be drawn, to anyone outside your organization, nor is it to be used, reproduced, copied or modified in any fashion without the express written consent of Advance Sign Company.

Note:
Colors shown are not an exact representation of actual colors.

Sheet 6 of 7



1010 Saw Mill Run Blvd., Pittsburgh, PA 15226
412.481.6990 Fax 412.481.7020 advance@gsca.com



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: 6/22/16

LOT AND BLOCK NUMBER: 3-G-134

WARD: 17th

FEE PAID: yes

DISTRICT: E. Carson St

FEE SCHEDULE:

See attached. Please make check payable to:

*Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1021 E. Carson Street
Pittsburgh 15203

OWNER:

NAME: Morgan Family Development, LP
 ADDRESS: 6 Parklea Drive
Monroeville, PA 15146
 PHONE: 412-350-9276
 EMAIL: luke.c22013@gmail.com

APPLICANT:

NAME: Autumn Sun Development Company, LP
 ADDRESS: 6 Parklea Drive
Monroeville, PA 15146
 PHONE: same
 EMAIL: same

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

OWNER:  DATE: 6/21/16
 APPLICANT: _____ DATE: _____



1021 E. Carson Street

© 2016 Google

Google earth

1995

Imagery Date: 4/17/2016 40°25'43.73" N 79°59'15.06" W elev 755 ft eye alt 1145 ft



1019



NO PARKING

1025
LUGAN
LUGAN

157925



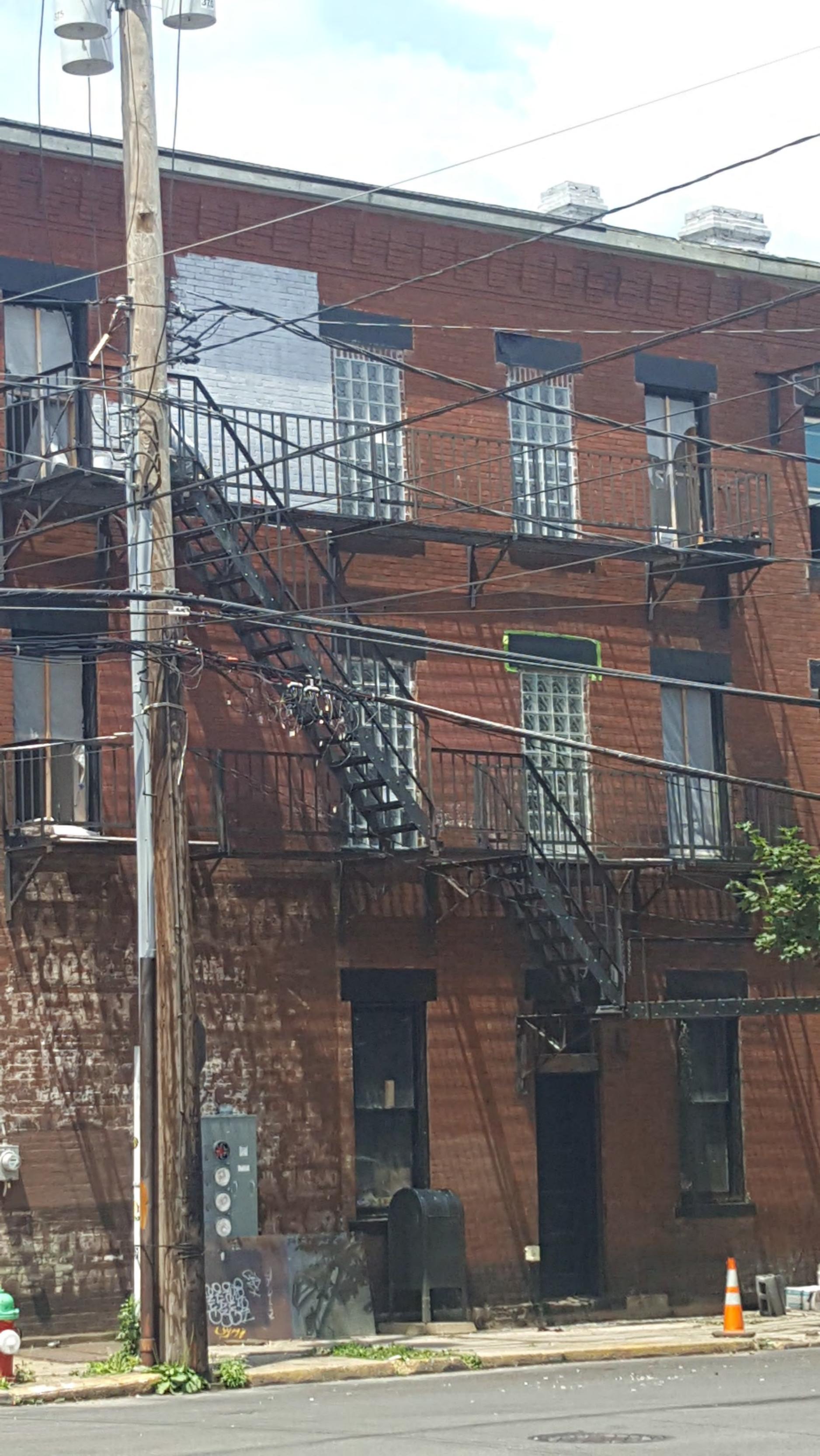


52

US
MAIL

STORAGE
BOX





MOOD
EYES
COOL
1977

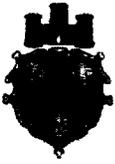
MOOD
EYES
COOL
1977



NO STOPPING
OR PARKING

For Lease
DIVIROTTO
REAL ESTATE
412-621-6401
Tony Pivrotto





Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

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FEE SCHEDULE:

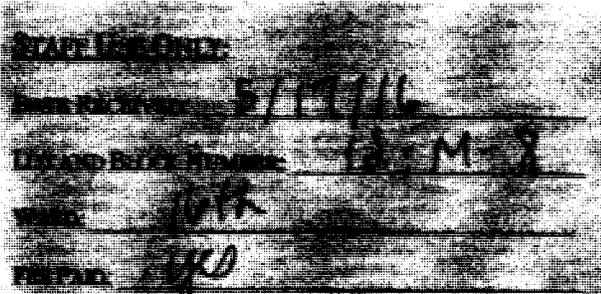
See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

2429 E. CARSON STREET
PITTSBURGH, PA 15203

OWNER:

NAME: TIM HOSNI
 ADDRESS: P.O. Box 42323
PITTSBURGH, PA 15203
 PHONE: 412-736-3036
 EMAIL: TIM @ h2.COM



DISTRICT:

EAST CARSON ST. HISTORIC DISTRICT

APPLICANT:

NAME: STEVEN G. HAWKINS / ARCHITECTS
 ADDRESS: 2041 WIGHTMAN STREET
PITTSBURGH, PA 15217
 PHONE: 412-521-9399
 EMAIL: SGHARCHT @ aol.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

EXTERIOR RENOVATIONS TO FRONT + SIDE ELEVATIONS INCLUDING NEW BLACK STEEL SASH FIXED WINDOWS IN EXIST. MASONRY OPENINGS AS WELL AS NEW CUSTOM STEEL DOOR IN EXPANDED MASONRY OPENING, WITH NEW STEEL SASH SIDELITE AND TRANSOM WINDOWS, ON FRONT ELEVATION.

SIGNATURES:

OWNER: [Signature] DATE: 5/17/16

APPLICANT: [Signature] DATE: 5.17.16



2429 E. Carson Street

E Carson St

© 2016 Google

Google earth

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Imagery Date: 4/17/2016 40°25'41.01" N 79°58'11.01" W elev 752 ft eye alt 1295 ft



STEVEN G. HAWKINS / ARCHITECTS
 2041 Wightman Street / Pittsburgh, PA 15217
 412-521-9399 fax 412-521-8580

SHOWROOM 21
 2429 E. CARSON ST.
 EXIST. BUILDING PHOTOGRAPHS

PROJECT NO. 15-21
 SHEET NO. A2
 DATE 05-13-16

STEVEN G. HAWKINS / ARCHITECTS ©2016

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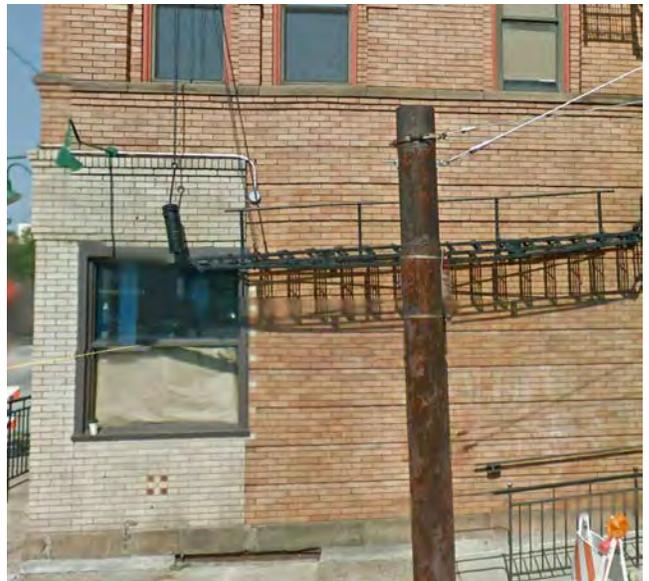
1 FRONT ELEVATION
 A2 scale: NTS



2 PARTIAL FRONT ELEVATION
 A2 scale: NTS



3 BUILDING AXONOMETRIC
 A2 scale: NTS



4 PARTIAL SIDE ELEVATION
 A2 scale: NTS



SHOWROOM 24

TENANT CONVERSION TO RETAIL CLOTHING STORE

PREPARED FOR THE HISTORIC REVIEW COMMISSION OF PITTSBURGH

2429 EAST CARSON ST.
CITY OF PITTSBURGH

BUILDING ELEVATIONS
SIGNAGE DETAIL
SITE PLAN

©2016
STEVEN G. HAWKINS / ARCHITECTS
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NO. ISSUED/REVISION DATE

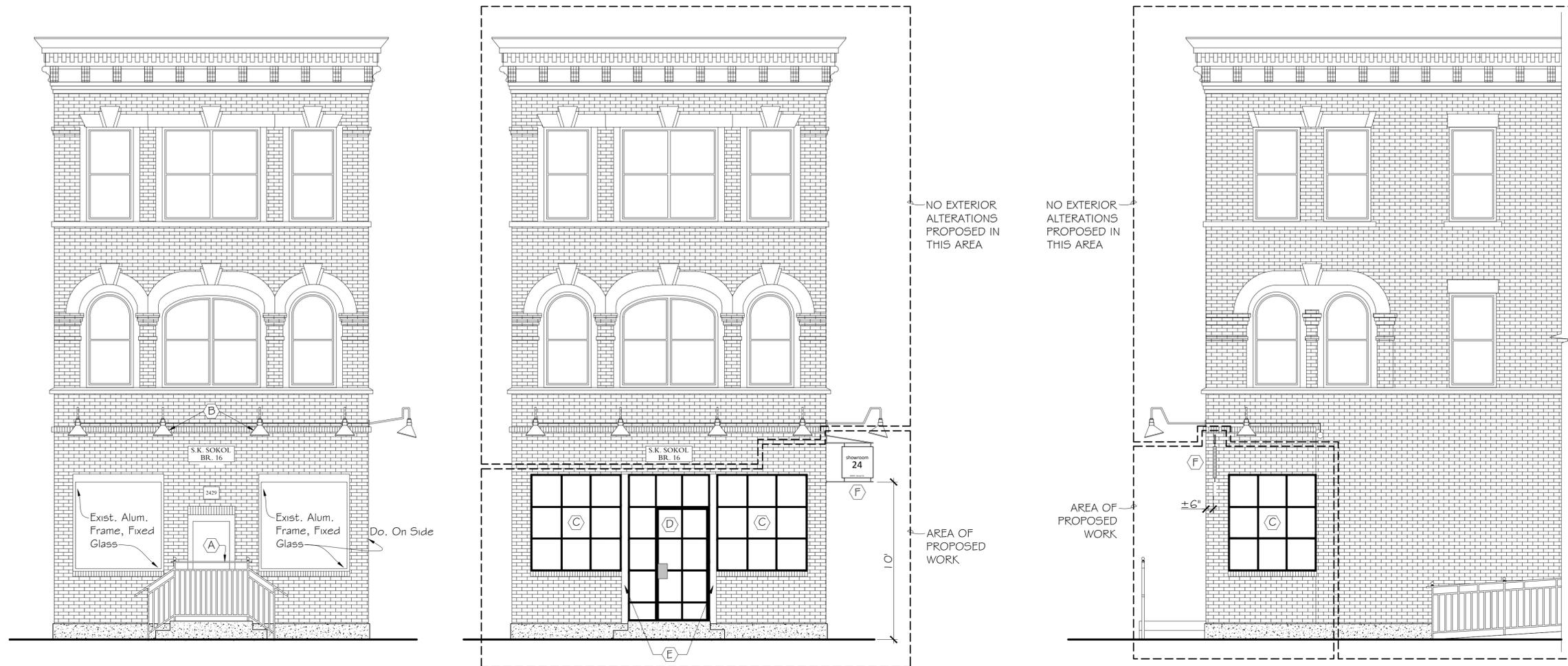
PRINTED:

DATE:
05.13.16

PROJECT NO.
15.21

SHEET NO.

A1



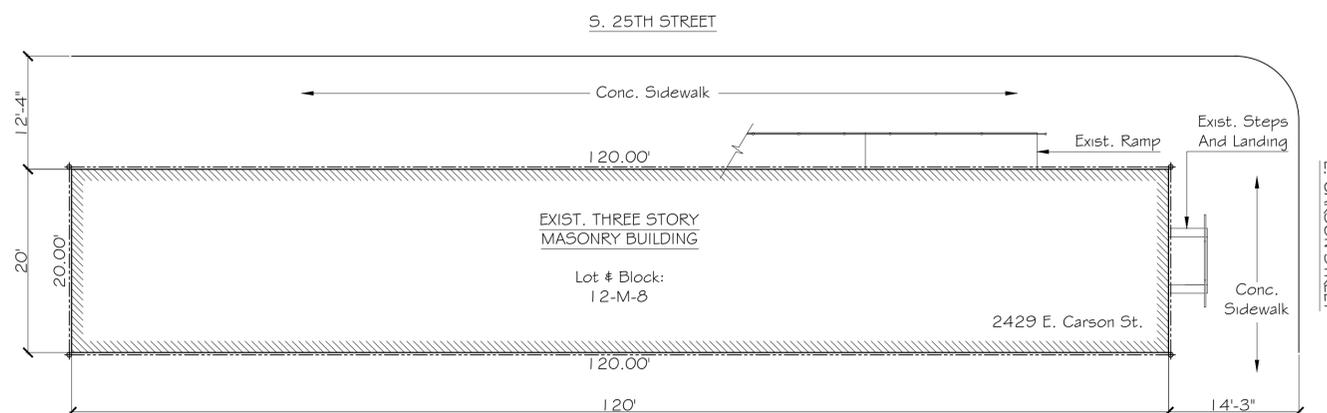
1 EXISTING FRONT ELEVATION
AI scale: 1/4" = 1'-0"

2 PROPOSED FRONT ELEVATION
AI scale: 1/4" = 1'-0"

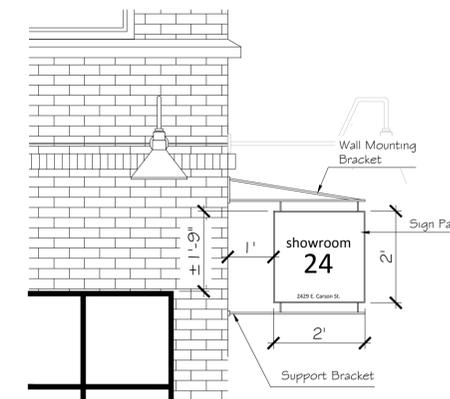
3 PROPOSED PARTIAL SIDE ELEVATION
AI scale: 1/4" = 1'-0"

NOTES:

- (A) Exist. Railing To Remain; Paint Black.
- (B) Exist. Light Fixtures To Remain; Paint Black
- (C) New Steel Sash Fixed Window In Exist. Masonry Opening. A#5 Windows, Series 500 Hot Rolled Billet Steel Muntins With Insulated Glazing. Color: Black.
- (D) New Custom 3/3 x 7/2 Steel Door in Expanded Masonry Opening With New Steel Sash Sidelite And Transom Opening Windows To Match Muntin Pattern Of Windows (C).
- (E) New Steel Tube Columns, Painted Black.
- (F) Proposed New Signage.



4 SITE PLAN
AI scale: 1" = 10'-0"



- NOTES:
- 1. Metal Brackets And Sign Frame To Be Black.
 - 2. Sign Panel To Be Medium Steel Gray, With Black Text.

5 SIGN DETAIL
AI scale: 1/2" = 1'-0"



Series 500

Heavy Duty Windows/Doors

A&S Steel Heavy Intermediates are so flexible in design and manufacture that they are constantly specified for doors as well as windows both indoors and out. A popular use of this unit is for terrace doors in luxury buildings. The look of Series 500 windows is complimented by the Series 500 door. All A&S Windows are solid welded construction. This provides for a stronger and more lasting window or door while providing elegance for the most sophisticated client.



Terrace Doors



Specifications

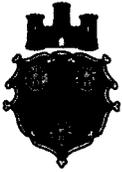
All commercial projected sash shall be manufactured by A&S Window Associates, Inc. New York City

All members shall be made from new billet steel and shall be hot rolled steel bars with a minimum thickness of 1/8" and a depth of 1 3/8" for frame members and 1 1/2" for ventilator sections. All joints shall be mortised, and tenoned and rivoted or welded. Muntin inter-sections shall be permanently interlocked by A&S' locked bar process. Double flat contact weathering shall be provided on all four sides of the ventilator. Ventilators shall be balanced on two 1" x 3/16" steel arms riveted to frame and ventilator. Rivet holes in arms shall have brass bushings. Uniform tension to hold ventilators in an open position shall be obtained by two sliding friction shoes of forged or stamped brass, securely riveted to a steel leaf spring designed to proper compression properties. The sides of the frame shall act as guides for the sliding friction shoe.

Construction:
Frame and ventilator corners shall be mitered and welded. All welds to be ground smooth on all exposed and contact surfaces. When specified, muntin bars shall be accurately coped and welded into place. Windows, mullions and covers to be given one factory applied dip coat of manufacturer's rust inhibitive gray primer. Hot dip galvanizing and factory finishes are available.

A&S Window Associates
88-19 76th Avenue
Glendale, N.Y. 11385

Tel. 718.275.7900
Fax. 718.997.7683



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
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HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1727 Bedford Avenue

Pittsburgh, PA 15219

OWNER:

NAME: Daisy Wilson Artist Community, Inc.

ADDRESS: c/o Paul A. Ellis, Jr. Esq.

1621 Bedford Avenue, Pittsburgh, PA 15219

PHONE: 412-512-4457

EMAIL: paellisjresq@aol.com

STAFF USE ONLY:

DATE RECEIVED: 6/17/16

LOT AND BLOCK NUMBER: 9-5-36

WARD: 3rd

FEE PAID: yes

DISTRICT:

Individually listed

APPLICANT:

NAME: Pfaffman + Associates

ADDRESS: 223 Fourth Avenue, Suite 800

Pittsburgh, PA 15222

PHONE: 412-471-2470

EMAIL: dori@pfaffmann.com

REQUIRED ATTACHMENTS:

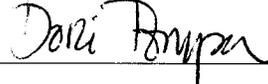
- Drawings Photographs Renderings Site Plan Other

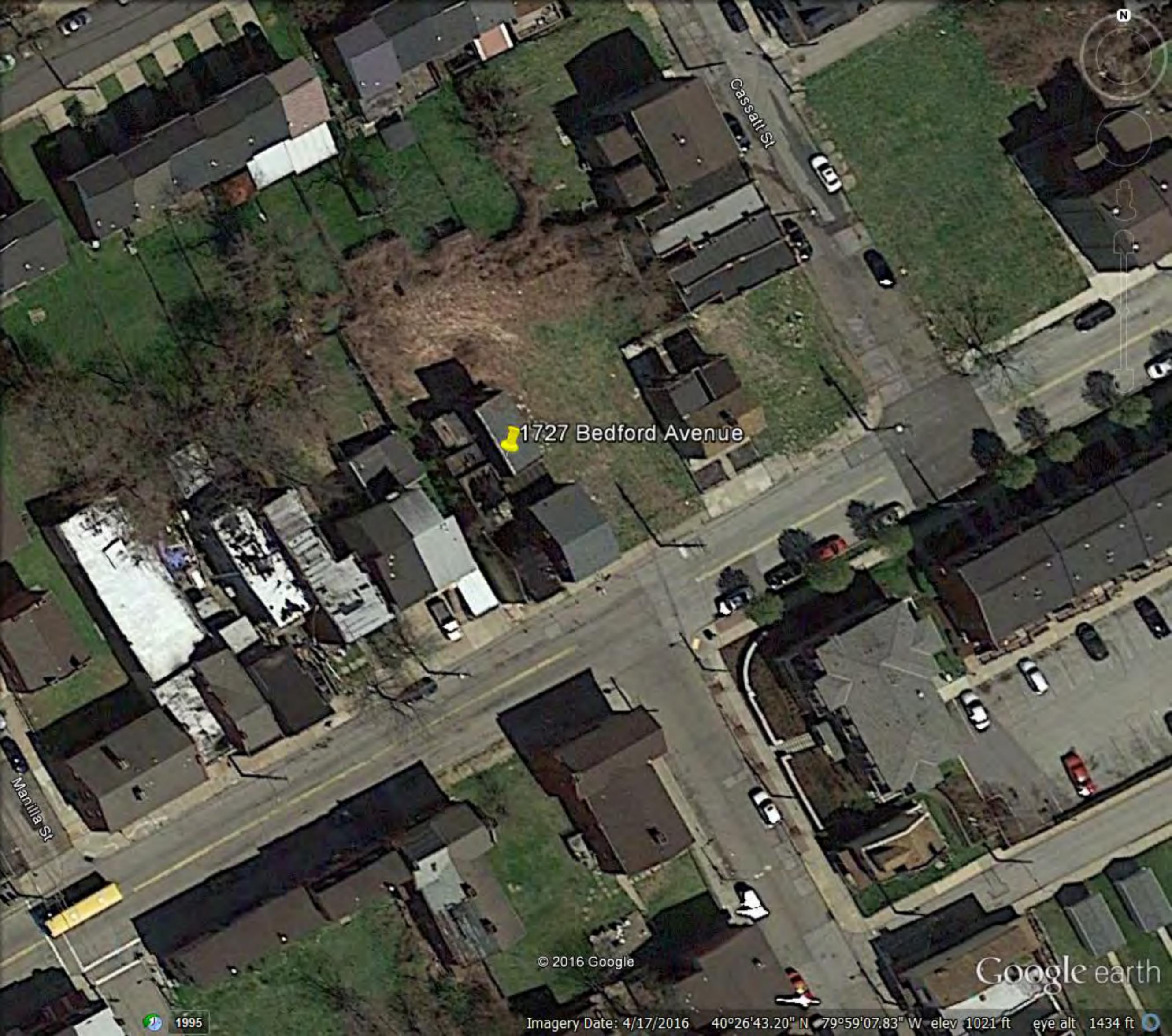
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Restore wood trim elements (brackets, box gutter, window hoods, storefront, window heads); new wood windows; new slate roofs; new, enlarged ADA entrance at connector; new code-compliant rear stairs (switch location of basement window and door); reconstruct upper story of west walls and add structural ties; all new work to match historic details or be based on historic documentation.

SIGNATURES:

OWNER:  DATE: 17 June 2016

APPLICANT:  DATE: 17 June 2016



1727 Bedford Avenue



© 2016 Google

Google earth

1995

Imagery Date: 4/17/2016 40°26'43.20" N 79°59'07.83" W elev 1021 ft eye alt 1434 ft

Continued Restoration of the Exterior of the Childhood Home of August Wilson

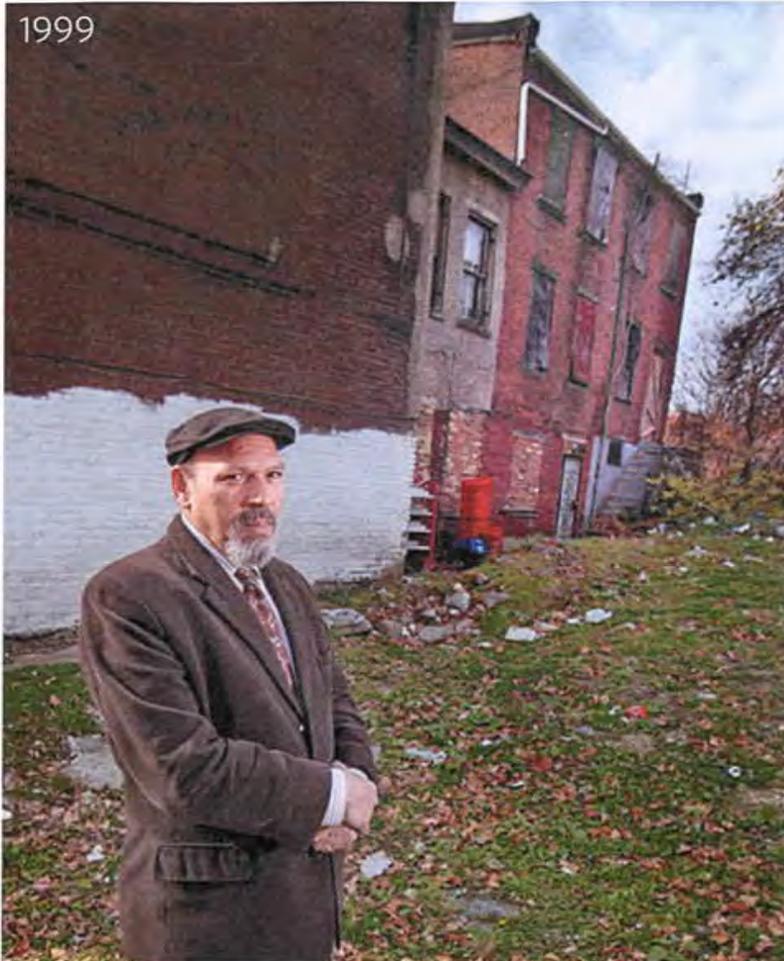
Historic Review Commission
July 2016



The Daisy Wilson Artist Community, Inc.

PFAFFMANN + ASSOCIATES

1999



The late Pulitzer Prize winning playwright August Wilson shown in front of his childhood home in November 1999. Wilson and his siblings were raised by their mother, Daisy, in the rear portion of the building. Wilson lived in the house from his birth in 1945 until just before his 13th birthday in 1958 (Bill Wade, *Pittsburgh Post Gazette*).

Cover images (left to right): Completed front facade (January 2015); front facade (2007); August Wilson in front of his home, November 1999 (Bill Wade, *Pittsburgh Post Gazette*); view of the front facade in 1937 (University of Pittsburgh Archives); front facade (October 2013); Daisy Wilson—August Wilson's mother and namesake of the nonprofit now caring for the property (WQED).

The Daisy Wilson Artist Community, Inc., seeks HRC approval to expand the scope of exterior restoration work currently being completed under HRC Certificate of Appropriateness #13-146.

Property	August Wilson's Childhood Home 1727 Bedford Avenue, Pittsburgh, PA 15219
Owner	The Daisy Wilson Artist Community, Inc. Paul A. Ellis, Jr., Esq., Board President 1621 Bedford Avenue, Pittsburgh, PA 15219
Submitted by	Dori Tompa Pfaffmann + Associates 412-471-2470 dori@pfaffmann.com



Wilson's childhood home was honored with a State Historical Marker in May 2007.



These photos were taken in 2008 for PHMC's Historic Resource Survey Form. This view shows the front and east facades of 1727 Bedford Avenue. The rear apartment was home to August Wilson from 1945 to 1957.



East facade. Although windows have been boarded up to stabilize the building, brick is missing above one window and the facade is beginning to deteriorate—caused largely by a stolen downspout and water subsequently running down the face of the building.



Kitchen in the former August Wilson home, first floor. The beaded board ceiling and window trim remain.



Until Wilson was seven, the family lived on one floor and used an outhouse in the backyard. In the early 1950s, they doubled their living space after the upstairs apartment was vacated. This view shows the north room on the top floor, which served as Daisy Wilson's bedroom.



The exterior of the building was made weather tight in 2011.



This stabilization work included a new gutter and downspout to direct water away from the building. Loose bricks were removed and salvaged for later reuse.



View of the interior of Daisy Wilson's former bedroom, showing interior stabilization work. Temporary shoring and temporary exterior wall cladding were installed (to be removed after permanent masonry repairs are completed).



Temporary shoring in the top floor, in the room above the kitchen.

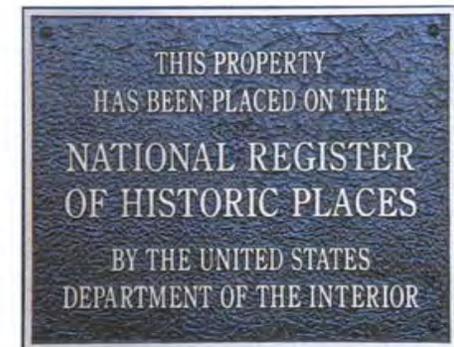


In 2013, funding that was targeted to restore the rear portion of the building where Wilson had lived was redirected to the front facade after the century-old wood lintel over the storefront failed. This caused the brick facade of the upper two stories to crack and deflect down and out—threatening to collapse onto the sidewalk.



View of the severely deteriorated condition of the wood lintel shown during its removal in 2014.

The property was successfully listed on the National Register of Historic Places in 2013.



Successful Restoration of Upper Stories of Front Facade—2014-15

Before



Front facade, October 2013, showing mid-twentieth century wire-cut brick on the upper stories.

After



Front facade, January 2015, showing new brick and a new steel lintel over the storefront. The original signboard, windows and other wood elements have been placed in storage for future restoration/reconstruction.



Deterioration of the adjacent building—formerly the historic Butera family's watch and shoe repair business—resulted in condemnation and demolition in April 2016.

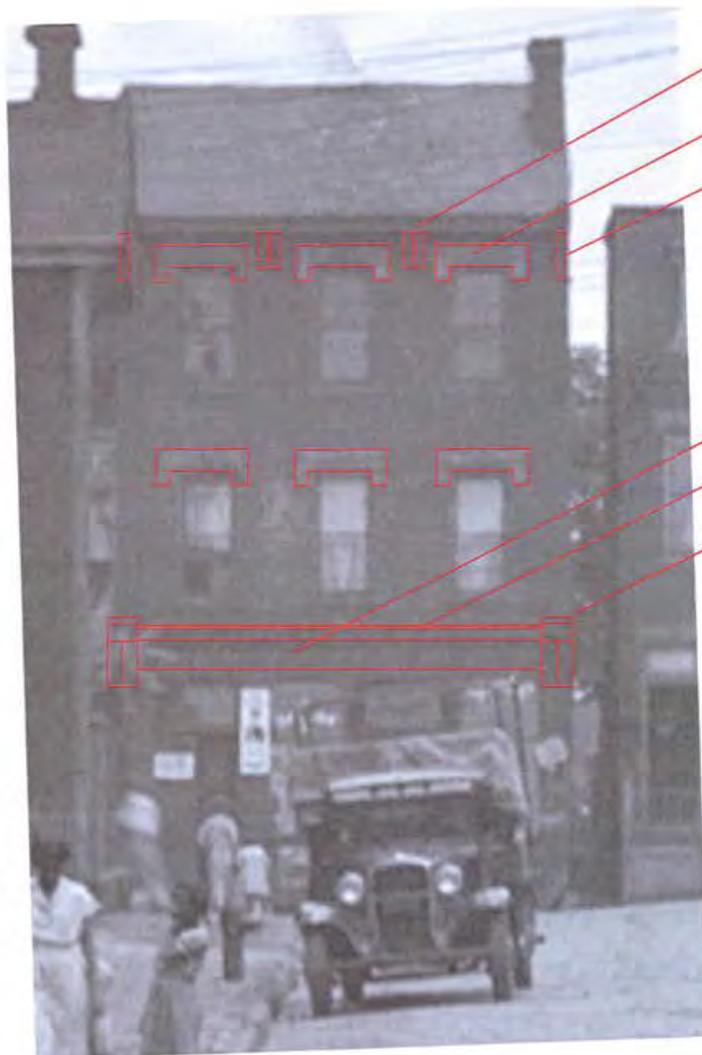
Summary of Work Previously Approved Under COA #13-146



- Reconstruct exterior walls of 1841 portion of building, which housed the Wilson Family
- Stabilize masonry walls as needed
- Reconstruct chimneys
- Reconstruct front facade (upper stories, storefront)
- Remove paint from masonry
- Repoint masonry
- Repair/reconstruct deteriorated wood trim

In spring 2016 work began to reconstruct the exterior walls of the rear portion of the building.

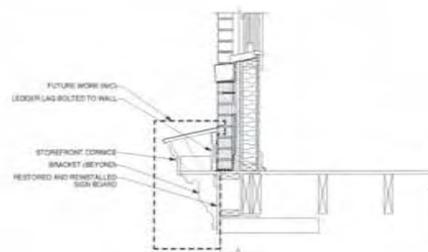
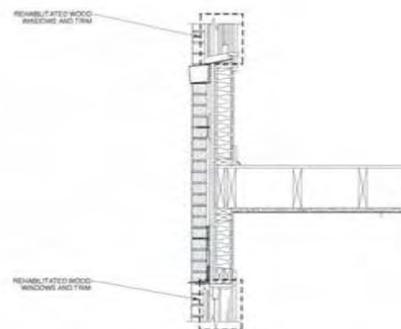
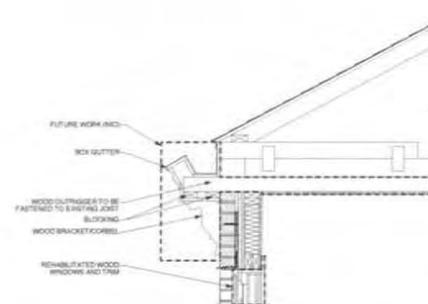
Historic Documentation



Smaller paired brackets
Window hood
Large bracket

Signboard
Storefront cornice
Large bracket

1937 photograph, showing that the ca. 1890 front facade originally contained a box gutter, window hoods, brackets and a storefront cornice and signboard.



9 REFERENCE - Section: Front Wall, Floors 2-3 (Future Work)
Scale: 1" = 1'-0"

Drawings have been created to restore the box gutter (top) and storefront cornice and signboard (bottom).

Historic Documentation



Historic door and window trim has been retained and stored on-site. These elements will be restored when possible and replaced in-kind if restoration is not feasible.



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1416 ARCH STREET
PGH., PA 15212

OWNER:

NAME: MATTHEW GREBNER
 ADDRESS: 1741 HUNNEL ST.
PGH., PA 15212
 PHONE: (412) 231-8598
 EMAIL: MATTHEW@GREBNER.ORG

STAFF USE ONLY:

DATE RECEIVED: 6/17/16
 LOT AND BLOCK NUMBER: 23-F-406
 WARD: 25th
 FEE PAID: Yes
 DISTRICT: INDIVIDUAL
~~MEXAGAN WAR STREETS~~

APPLICANT:

NAME: JAKE BIER
 ADDRESS: 1416 ARCH STREET
PGH. PA 15212
 PHONE: (941) 223-4490
 EMAIL: JAKE@WARSTREETSBEWERY.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

INTERIOR TENANT FITOUT, PLUS EXTERIOR RENOVATION TO THE EXISTING
OVERHEAD DOORS, PLUS RENOVATION OF THE EXISTING ENTRANCE TO
PROVIDE AN ACCESSIBLE ENTRY.

SIGNATURES:

OWNER:  DATE: JUNE 17, 2016
 APPLICANT:  DATE: JUNE 17, 2016



1416 Arch Street

Arch St

Fireman Way

Veto St

Sampsonia St

© 2016 Google

Google earth

1993

Imagery Date: 4/17/2016 40°27'28.18" N 80°00'33.30" W elev 817 ft eye alt 1178 ft



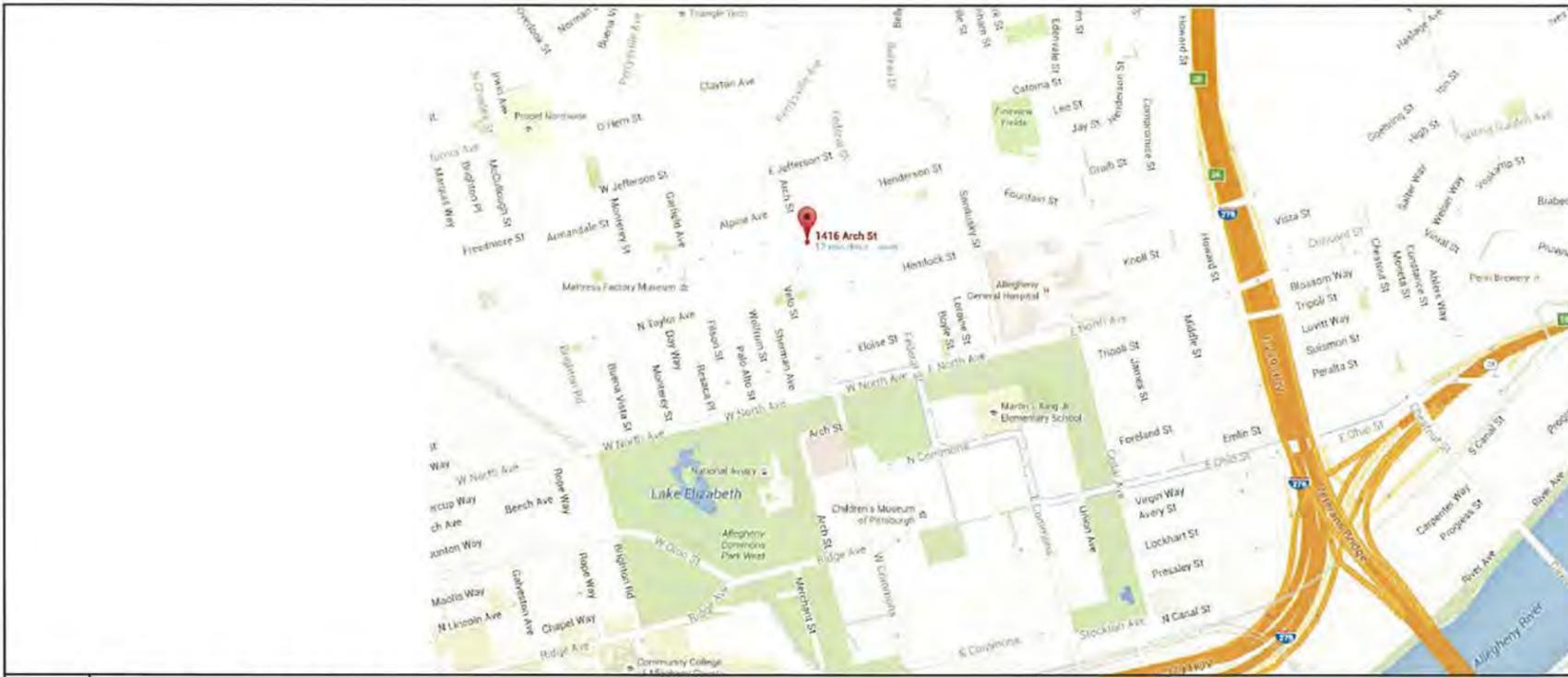
WAR STREETS BREWERY - TENANT FITOUT

1416 ARCH STREET - PITTSBURGH, PA, 15212

KSBA Architects

3485 BUTLER STREET - PITTSBURGH, PA 15201 - 412-252-1500 - WWW.KSBA.COM

2016 - JUNE - 17



- EXISTING CONSTRUCTION TYPE: III-B
- BUILDING IS NON-SPRINKLERED
- EXISTING BUILDING OCCUPANCY: F-2
THIS TENANT OCCUPANCY:
- BREWERY: F-2 (MEETS EXISTING)
- BAR AREA: A-2 (NEED TO ADDRESS)

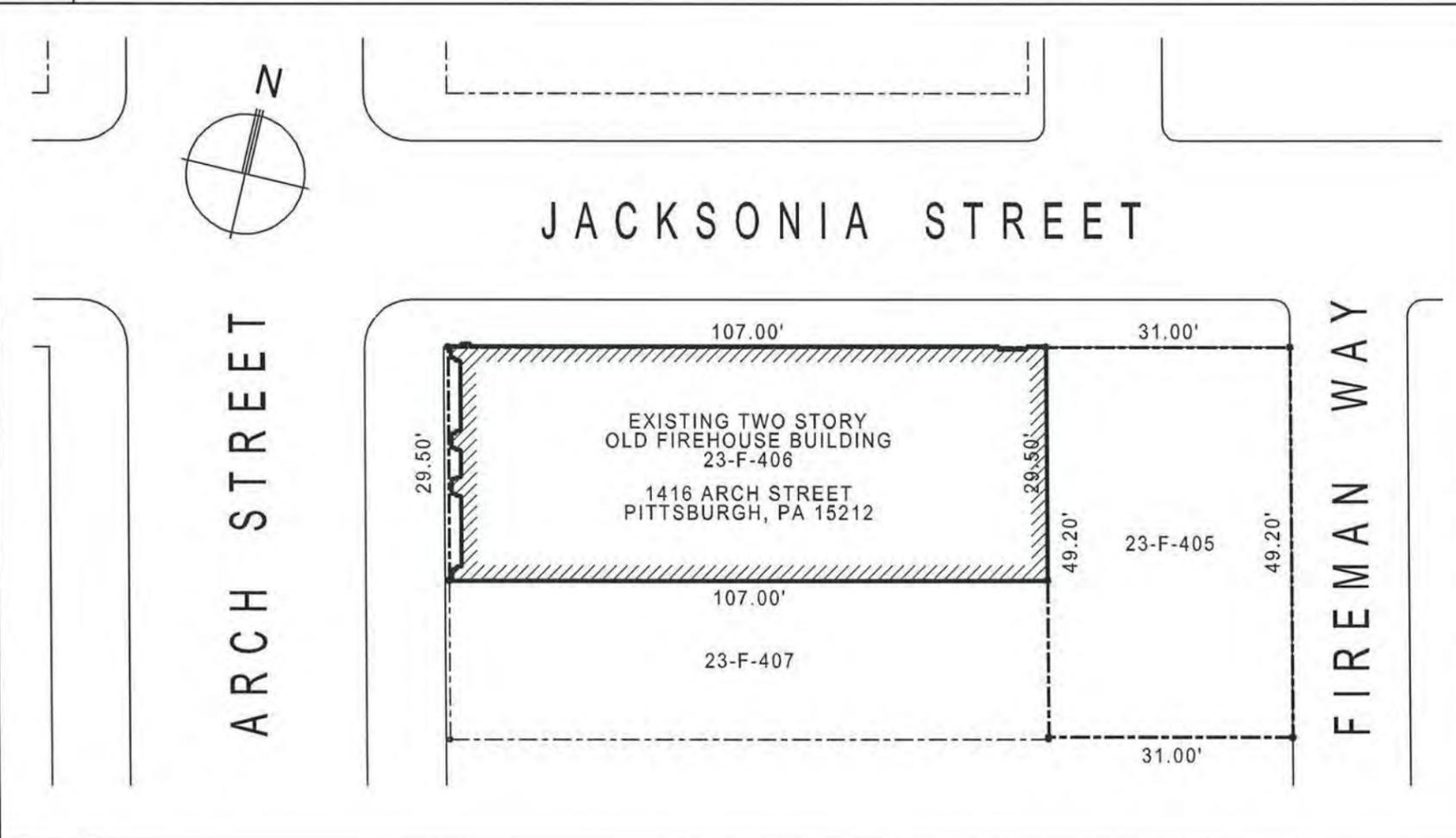
- OCCUPANT LOAD (FIRST FLOOR):
- F-2 OCC: 595 sf / 100 sf = 6
- A-2 OCC: 1,080 sf / 15 sf = 72
TOTAL OCCUPANT LOAD 1st FL. = 78

- TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES:
- BETWEEN F-2 AND A-2 - 1 HR.
SEE FLOOR PLAN & BUILDING SECTION FOR NEW RATED ASSEMBLIES.

- TABLE 2902.1 - MINIMUM PLUMBING FIXTURES REQUIRED:
- F-2 OCC: 1 TLT / 100 OCCUPANTS
- A-2 OCC: 1 TLT / 40 M & 1 TLT / 40 F
- ONE LAVATORY PER 100 TOTAL
- 2 TLTS AND 2 LAVS PROVIDED.
- ONE SERVICE SINK REQUIRED.

- SECTION 1109.2: ALL TOILET ROOMS ARE TO BE ACCESSIBLE

2 LOCATION MAP



1 PLOT PLAN

CODE SUMMARY

- C1.1 PLOT PLAN & CODES
- A1.1 EXIST. 1ST FLOOR
- A1.2 EXIST. BSMT. & 2ND FLOORS
- A1.3 NEW FIRST FLOOR PLAN
- A2.1 EXISTING ELEVATIONS

DRAWING LIST

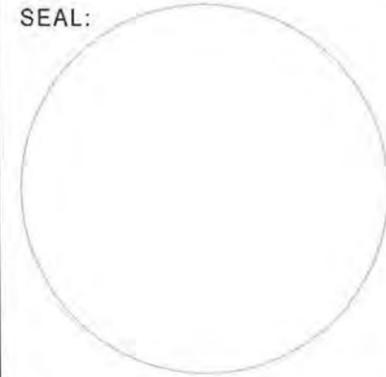


3485 Butler Street,
Pittsburgh, PA 15201

(412) 252-1500
www.ksba.com

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SEAL:



PROJECT:

**WAR STREETS
BREWERY**

1416 ARCH STREET,
PITTSBURGH, PA 15212

DATE / REVISIONS:

PERMIT SET: 2016-APRIL-15

HISTORIC REVIEW: 2016-JUNE-17

PROJECT #: P97700.00

DRAWING #:

C1.1



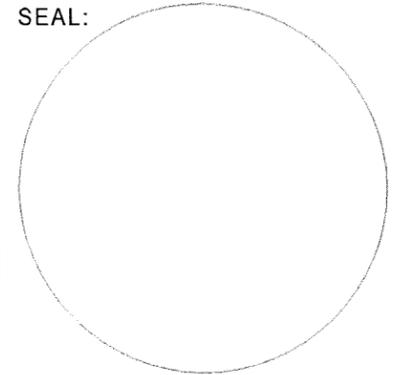
KSBA Architects

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Pittsburgh, PA 15201

(412) 252-1500
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SEAL:



PROJECT:

WAR STREETS BREWERY

1416 ARCH STREET,
PITTSBURGH, PA 15212

DATE / REVISIONS:

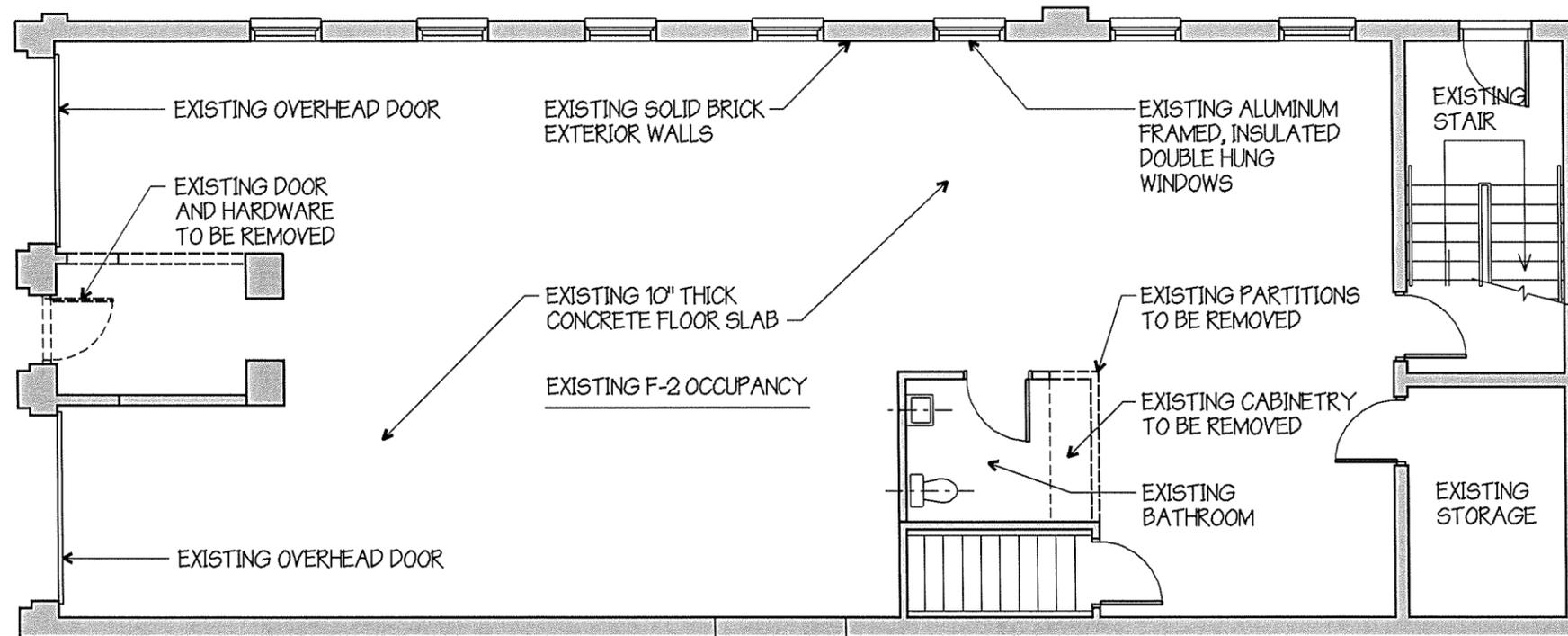
PERMIT SET: 2016-APRIL-15

HISTORIC REVIEW: 2016-JUNE-17

PROJECT #: P97700.00

DRAWING #:

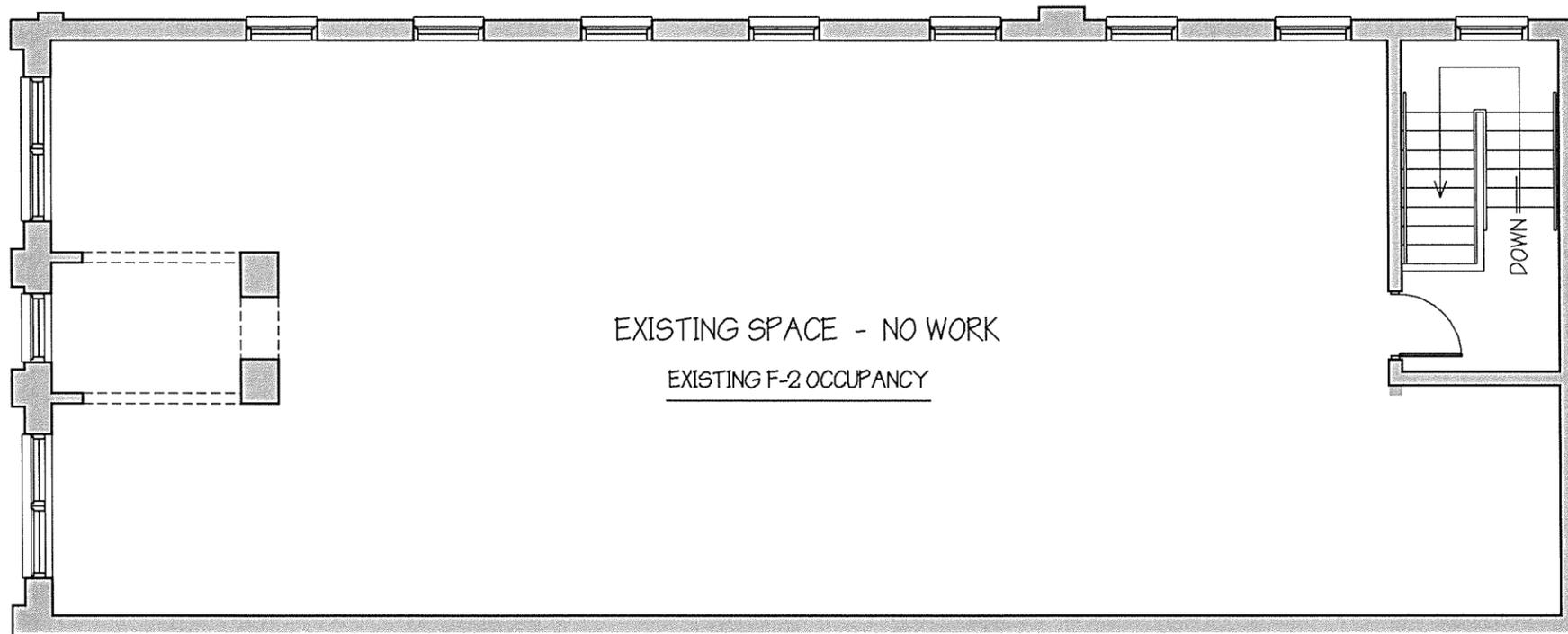
A1.1



1

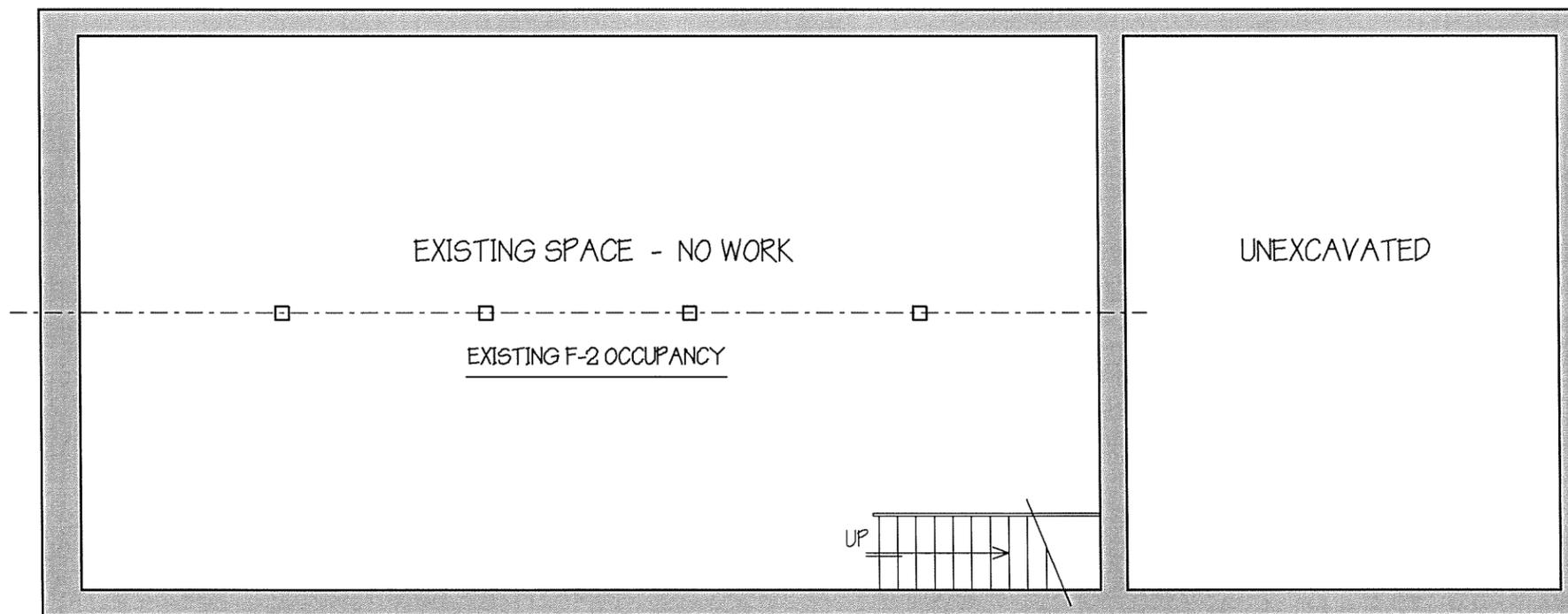
FIRST FLOOR EXISTING and DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



2 SECOND FLOOR EXISTING PLAN

SCALE: 1/8" = 1'-0"



1 BASEMENT EXISTING PLAN

SCALE: 1/8" = 1'-0"



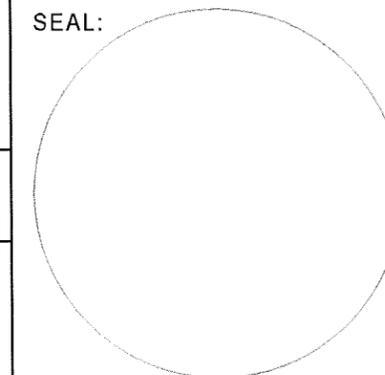
KSBA Architects

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www.ksba.com

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SEAL:



PROJECT:

**WAR STREETS
BREWERY**

1416 ARCH STREET,
PITTSBURGH, PA 15212

DATE / REVISIONS:

PERMIT SET: 2016-APRIL-15

HISTORIC REVIEW: 2016-JUNE-17

PROJECT #: P97700.00

DRAWING #:

A1.2

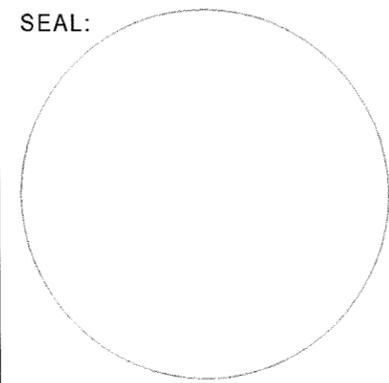


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PROJECT:

WAR STREETS BREWERY

1416 ARCH STREET,
PITTSBURGH, PA 15212

DATE / REVISIONS:

PERMIT SET: 2016-APRIL-15

HISTORIC REVIEW: 2016-JUNE-17

PROJECT #: P97700.00

DRAWING #:

A1.3

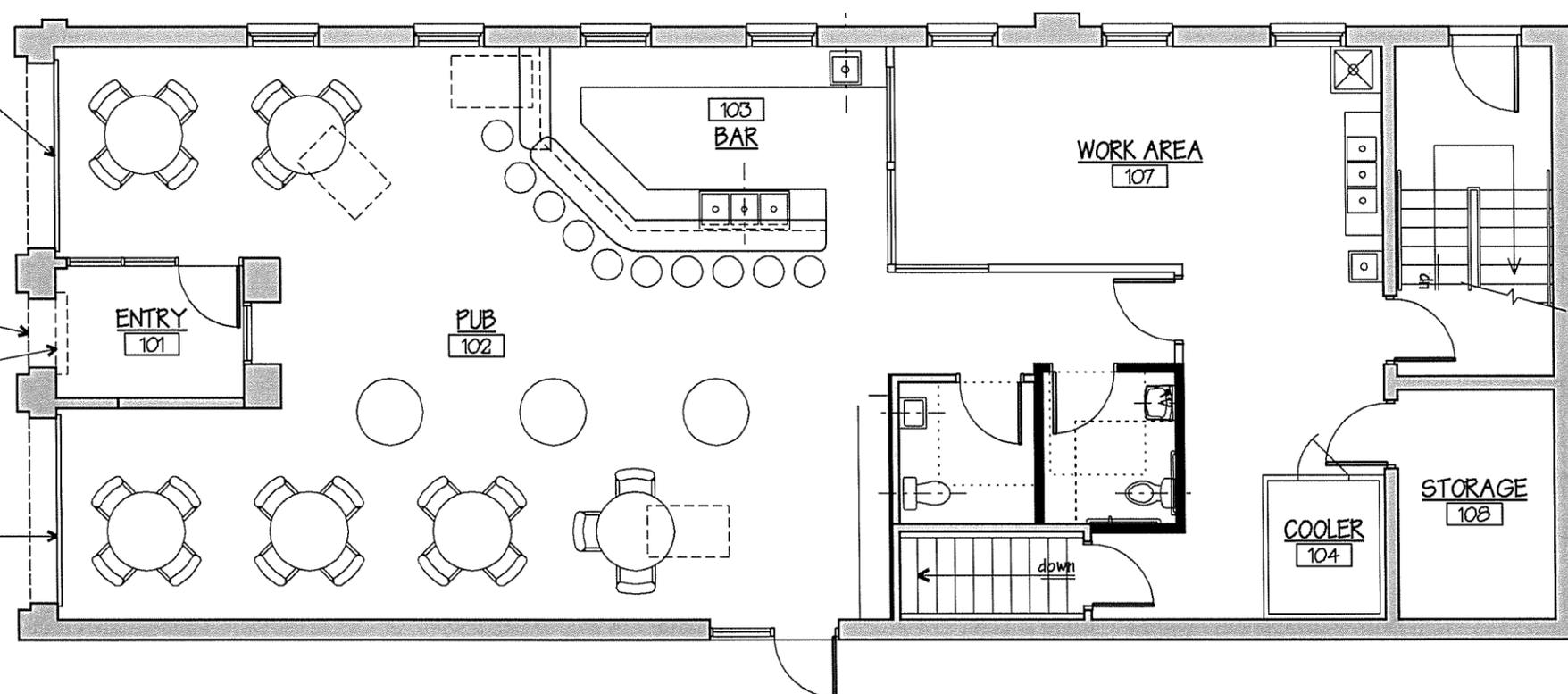
EXISTING OVERHEAD DOORS
SCOPE OF WORK TO BE:

- REMOVE PLYWOOD PROTECTION BOARDS.
- REMOVE THE TWO ROWS OF PLYWOOD INFILL WHERE THE WINDOWS WERE LOCATED.
- PATCH AND REPAIR ANY DAMAGED WOOD.
- INSTALL NEW SAFETY GLASS PANELS IN THE ORIGINAL GLASS OPENINGS.
- PRIME AND PAINT THE DOORS.

SEE THE ELEVATION FOR THE NEW WORK OVER THE EXISTING ENTRY.

NEW OVERHEAD ROLL DOWN SECURITY DOOR.

SEE SCOPE ABOVE FOR THIS DOOR



1 FIRST FLOOR NEW WORK PLAN

SCALE: 1/8" = 1'-0"



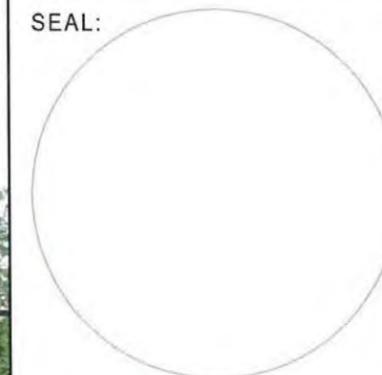
KSBA Architects

3485 Butler Street,
Pittsburgh, PA 15201

(412) 252-1500
www.ksba.com

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SEAL:



PROJECT:

WAR STREETS BREWERY

1416 ARCH STREET,
PITTSBURGH, PA 15212

DATE / REVISIONS:

PERMIT SET: 2016-APRIL-15

HISTORIC REVIEW: 2016-JUNE-17

PROJECT #: P97700.00

DRAWING #:

A2.1

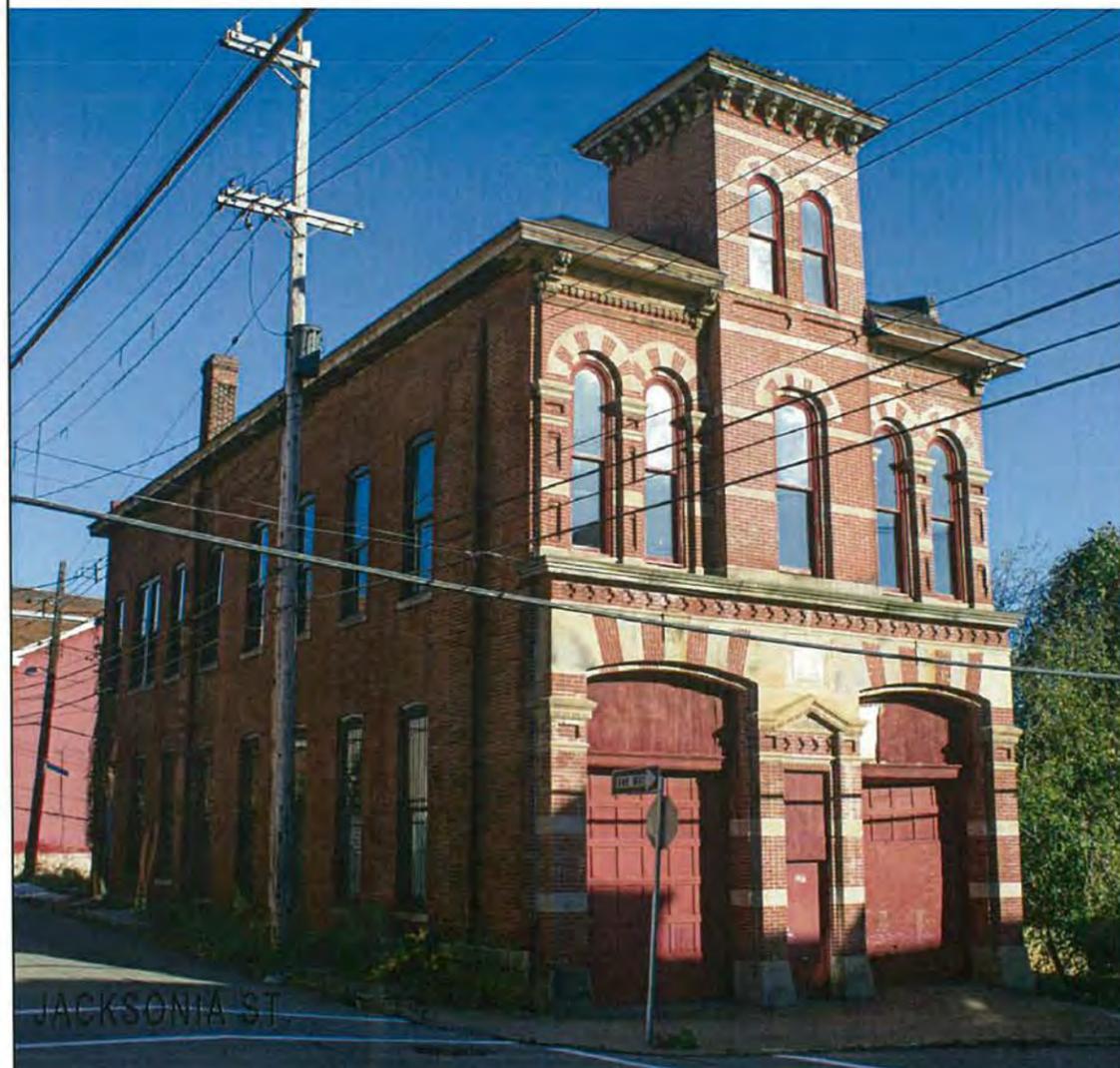
EXISTING ENTRANCE
SCOPE OF WORK TO BE:

- REMOVE PLYWOOD PROTECTION BOARDS.
- REMOVE THE EXISTING DOOR AND HARDWARE.
- PATCH AND REPAIR ANY DAMAGED WOOD.
- INSTALL NEW SAFETY GLASS PANELS IN THE ORIGINAL GLASS OPENINGS.
- PATCH AND REPAIR THE EXISTING WOOD PANELS
- PRIME AND PAINT ALL WOOD FRAMES.

SEE THE FLOOR PLAN FOR THE NEW
CONFIGURATION OF THE ENTRY.

EXISTING OVERHEAD DOORS
SCOPE OF WORK TO BE:

- REMOVE PLYWOOD PROTECTION BOARDS.
- REMOVE THE TWO ROWS OF PLYWOOD INFILL WHERE THE WINDOWS WERE LOCATED.
- PATCH AND REPAIR ANY DAMAGED WOOD.
- INSTALL NEW SAFETY GLASS PANELS IN THE ORIGINAL GLASS OPENINGS.
- PRIME AND PAINT THE DOORS.



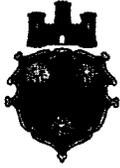
JACKSONIA ST



ARCH STREET

1 | EXISTING EXTERIOR

SCALE: NONE



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: June 9, 2015

LOT AND BLOCK NUMBER: 24-J-229-1

WARD: 23 rd

FEE PAID: yes

DISTRICT:

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

810 TRIPOLI ST

Individual

OWNER:

NAME: HOMESTEAD PROPERTY VENTURES

ADDRESS: 5889 AYLESBORO AVE

PITTSBURGH, PA 15217

PHONE: 412 427 7539

EMAIL: gkparker@outlook.com

APPLICANT:

NAME: same

ADDRESS: |

|

PHONE: |

EMAIL: |

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

SIGNATURES:

OWNER: [Signature] DATE: 5/27/15

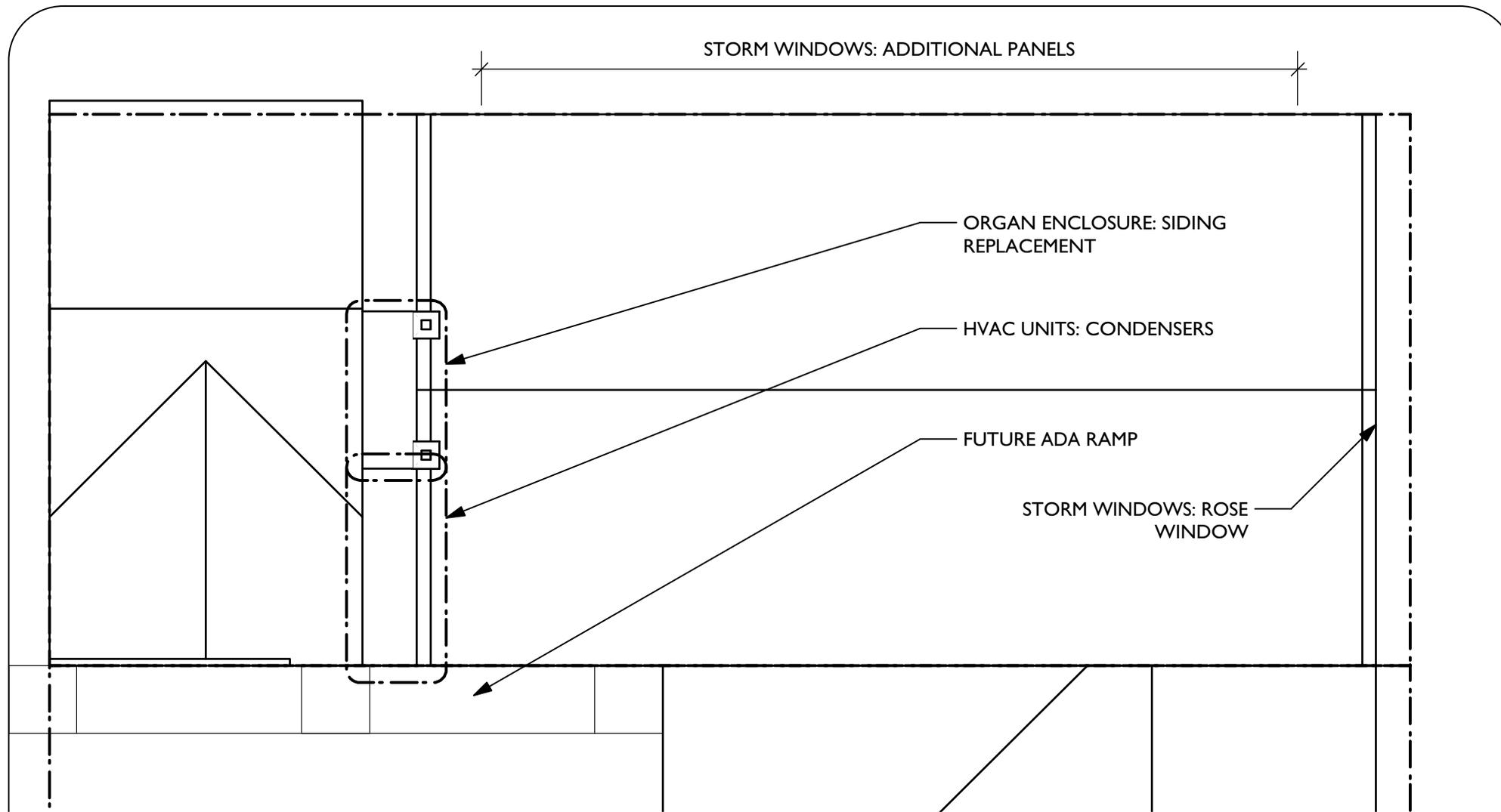
APPLICANT: [Signature] DATE: 5/27/15



TRIPOLI STREET

TURTLE WAY

MADISON STREET



Plan: Roof
 Scale: 3/32" = 1'-0"

Green Design
 Historic Preservation
 Urban Living

Jason M. Roth ARCHITECT

233 Amber Street
 Pittsburgh, PA 15206
 412-951-7495
 jasonmroth@mac.com

Neu Kirche
 Exterior Improvements
 1000 Madison Street
 Pittsburgh, PA 15201

June 1, 2016 1612



ORGAN ENCLOSURE: EXISTING
INSULBRICK

1 Photo: Organ Enclosure, Existing
NTS

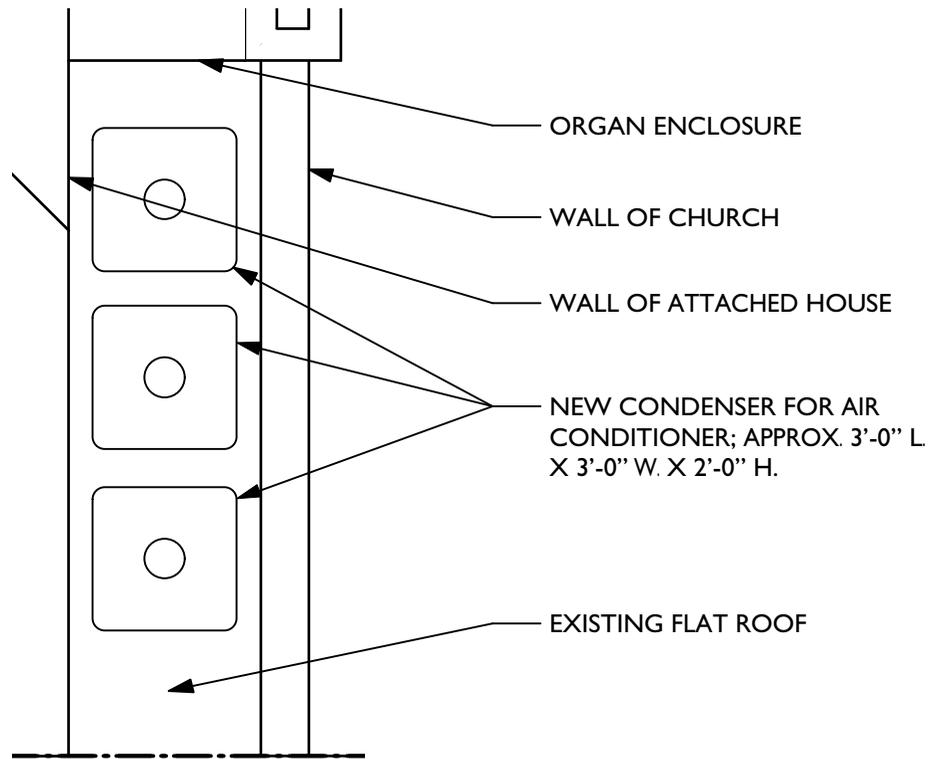


ORGAN ENCLOSURE: NEW
WOOD OR FIBER CEMENT
CLAPBOARD SIDING, COLOR
TBD

2 Photoillustration: Proposed Siding
NTS

Green Design
Historic Preservation
Urban Living
Jason M. Roth ARCHITECT
233 Amber Street
Pittsburgh, PA 15206
412-951-7495
jasonmroth@mac.com

Neu Kirche
Exterior Improvements
1000 Madison Street
Pittsburgh, PA 15201



1 Plan: HVAC Units
Scale: 1/4" = 1'-0"



HVAC UNIT

2 Photoillustration: View from Alley
NTS

Green Design
Historic Preservation
Urban Living

Jason M. Roth ARCHITECT

233 Amber Street
Pittsburgh, PA 15206
412-951-7495
jasonmroth@mac.com



Neu Kirche
Exterior Improvements
1000 Madison Street
Pittsburgh, PA 15201

June 1, 2016 1612



EXISTING, FAILING ROSE WINDOW COVER

WINDOWS TO RECEIVE NEW STORMS SIMILAR TO EXIST. SIDE WINDOWS

EXIST. STORM WINDOWS TO RECEIVE ADDITIONAL PANEL



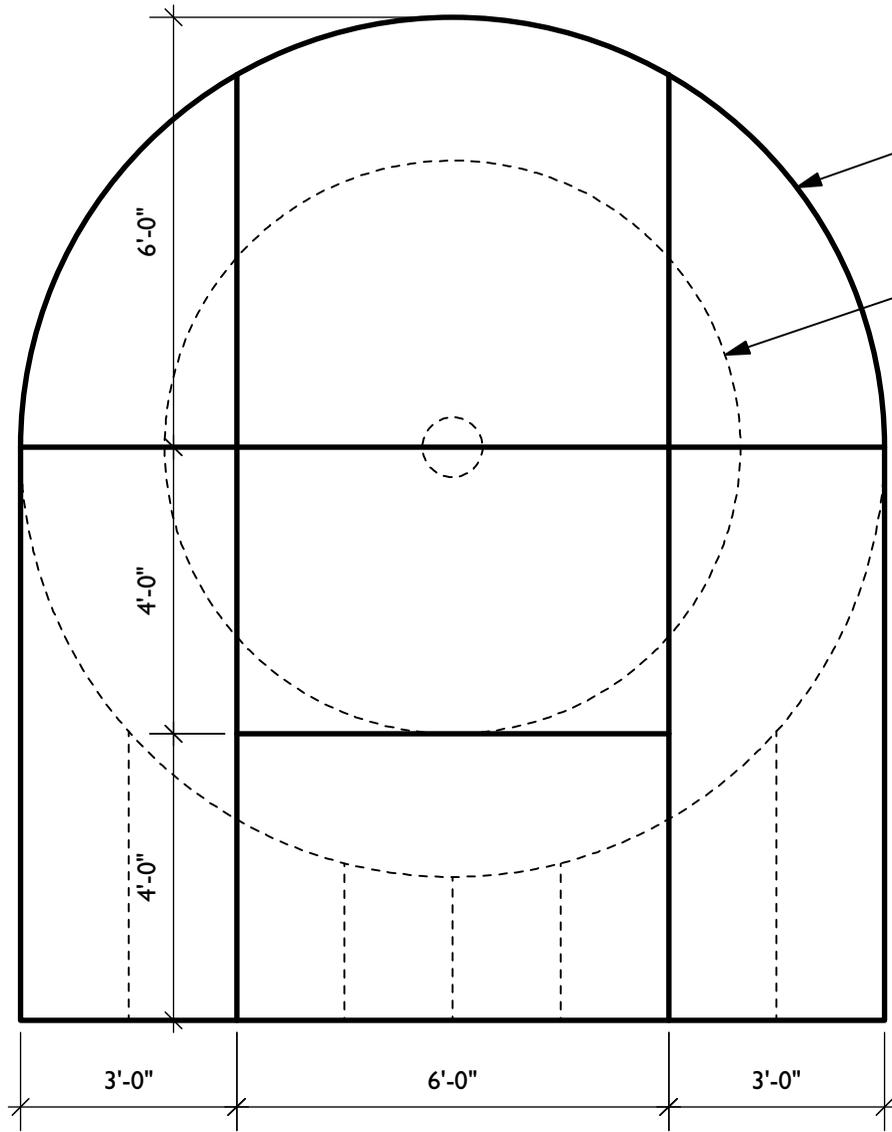
"MISSING" PANE TO BE INFILLED

1 Photo: Southwest Corner, Existing
NTS

2 Photo: Side Window
NTS

Green Design
Historic Preservation
Urban Living
Jason M. Roth ARCHITECT
233 Amber Street
Pittsburgh, PA 15206
412-951-7495
jasonmroth@mac.com

Neu Kirche
Exterior Improvements
1000 Madison Street
Pittsburgh, PA 15201



ALUMINUM FRAME FOR STORM WINDOW, COLOR TO BE BRONZE

APPROXIMATE OUTLINE OF ORIGINAL WOOD MULLIONS TO BE RESTORED



1 Elevation: Storm, Rose Window
Scale: 3/8" = 1'-0"

2 Photo: Rose Window, Exist.
NTS

Green Design
Historic Preservation
Urban Living

Jason M. Roth ARCHITECT

233 Amber Street
Pittsburgh, PA 15206
412-951-7495
jasonmroth@mac.com

Neu Kirche
Exterior Improvements
1000 Madison Street
Pittsburgh, PA 15201



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1209 Palo Alto St.
Pittsburgh PA 15212

OWNER:

NAME: Rob & Heather Fletcher
 ADDRESS: 1209 Palo Alto St.
Pittsburgh PA 15212
 PHONE: 814-673-3148
 EMAIL: heather.r.stone@gmail.com

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

Mexican War Streets

APPLICANT:

NAME: Same
 ADDRESS: same
 PHONE: same
 EMAIL: same

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

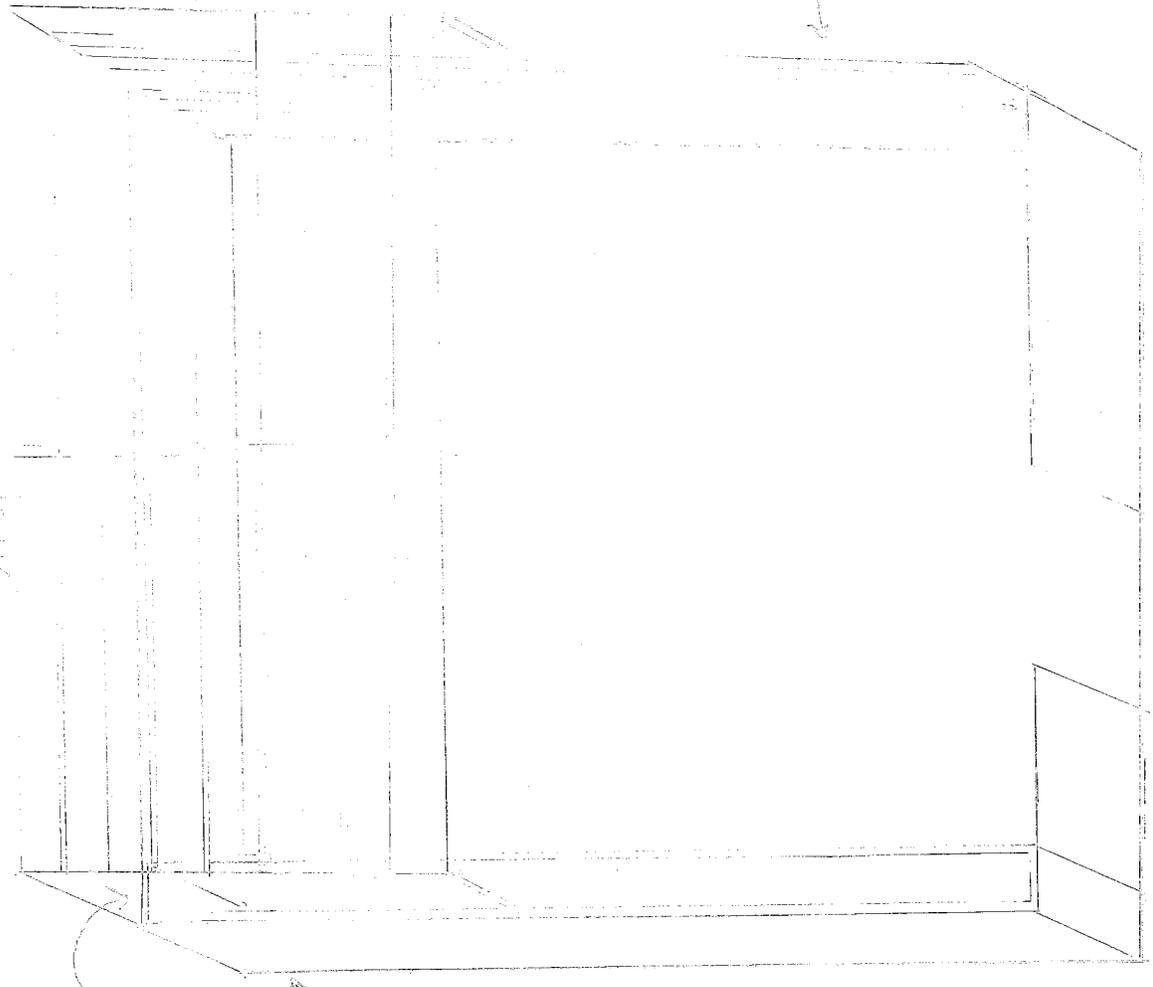
DETAILED DESCRIPTION OF PROPOSED PROJECT:

See attachment

SIGNATURES:

OWNER: Heather S Fletcher DATE: May 6, 2016
 APPLICANT: Heather S Fletcher DATE: May 6, 2016

After



- Wood or cast iron siding along back of front facing wall

- Plaster is placed to run length of wall

- Height will be same as roof is along floor
- Most of wall which will be finished with natural color

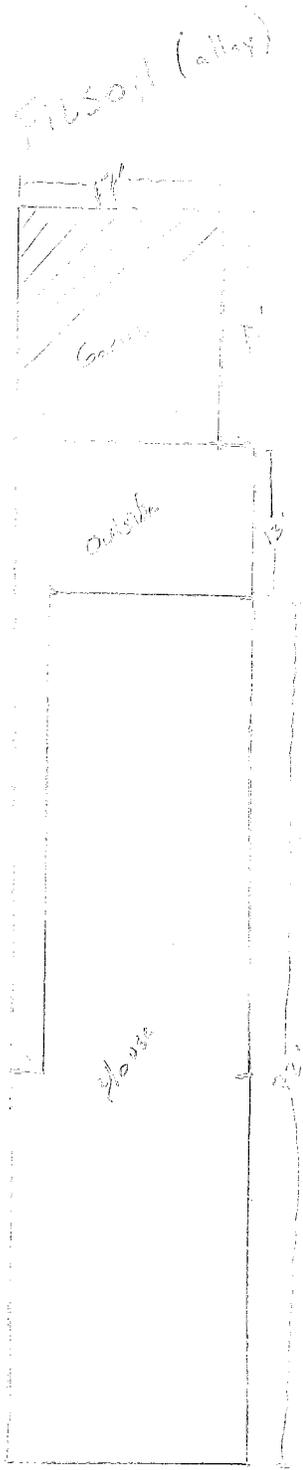
- Plaster will cover part of ground which is to be finished
- Approx 1/2" from back of floor to wall
- Wood will be finished

- Framing will be 1/2" x 4" or 1" x 4"
- Length of siding will be 1/2" of natural color

- Cast iron siding which will be used for front facing facing house

House

Proposed Deck
on top of
garage



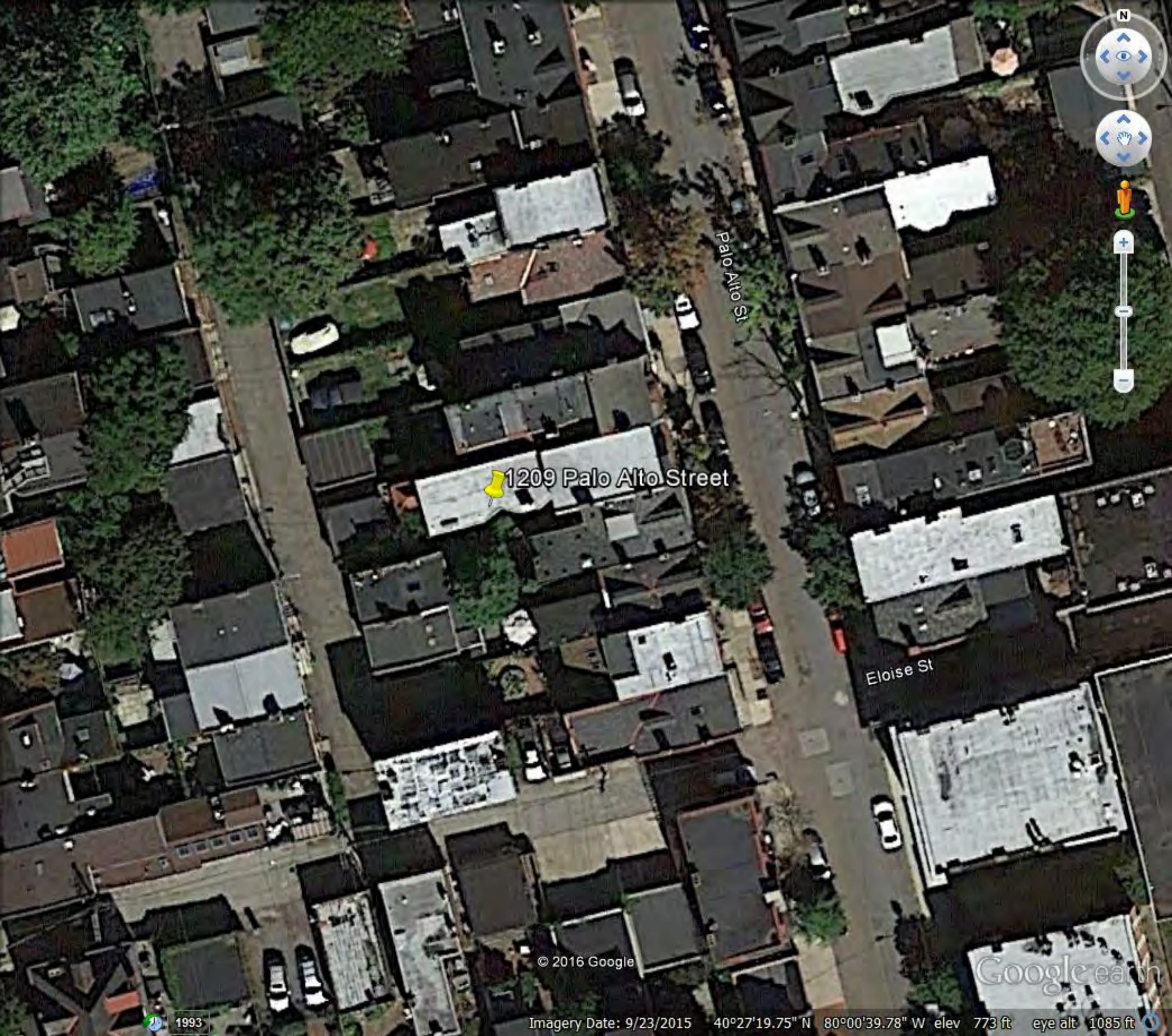
20' 10' 10' 20'

Attachment to Application for a Certificate of Appropriateness
1209 Palo Alto Street
Pittsburgh, PA 15212
May 10, 2016

The owners and applicants, Heather and Rob Fletcher, propose to expand their current deck to the top of the adjacent one-story garage.

The property currently includes a small deck which sits in the 13 feet between the house and the garage. The current deck is composed of wood and beadboard, with wrought iron railings and canvas awnings. The owners propose to add a small set of stairs to the current deck and add an expansion of the deck which will sit on top of the garage. As shown in the attached drawing, the expansion will reflect the style and details of the current deck and will be composed of the same materials (i.e., wood, beadboard and wrought iron). The deck will be stained a natural color and any painted elements will be tan or black to match the current exterior of the home.

Through the use of the previously-listed materials and paint colors, the deck will be visually compatible with the surrounding properties. As evidenced from the attached pictures, the property does not contain character defining elements which would be obscured or destroyed by the expanded deck. It is the opinion of the owners that the deck will improve the aesthetics of the view from the alley through the use of the character-appropriate materials and visible vegetation.



1209 Palo Alto Street

Eloise St

Palo Alto St

© 2016 Google

Google earth

1993

Imagery Date: 9/23/2015 40°27'19.75" N 80°00'39.78" W elev 773 ft eye alt 1085 ft

Attachment to Application for a Certificate of Appropriateness
1209 Palo Alto Street
Pittsburgh, PA 15212
May 10, 2016

The owners and applicants, Heather and Rob Fletcher, propose to expand their current deck to the top of the adjacent one-story garage.

The property currently includes a small deck which sits in the 13 feet between the house and the garage. The current deck is composed of wood and beadboard, with wrought iron railings and canvas awnings. The owners propose to add a small set of stairs to the current deck and add an expansion of the deck which will sit on top of the garage. As shown in the attached drawing, the expansion will reflect the style and details of the current deck and will be composed of the same materials (i.e., wood, beadboard and wrought iron). The deck will be stained a natural color and any painted elements will be tan or black to match the current exterior of the home.

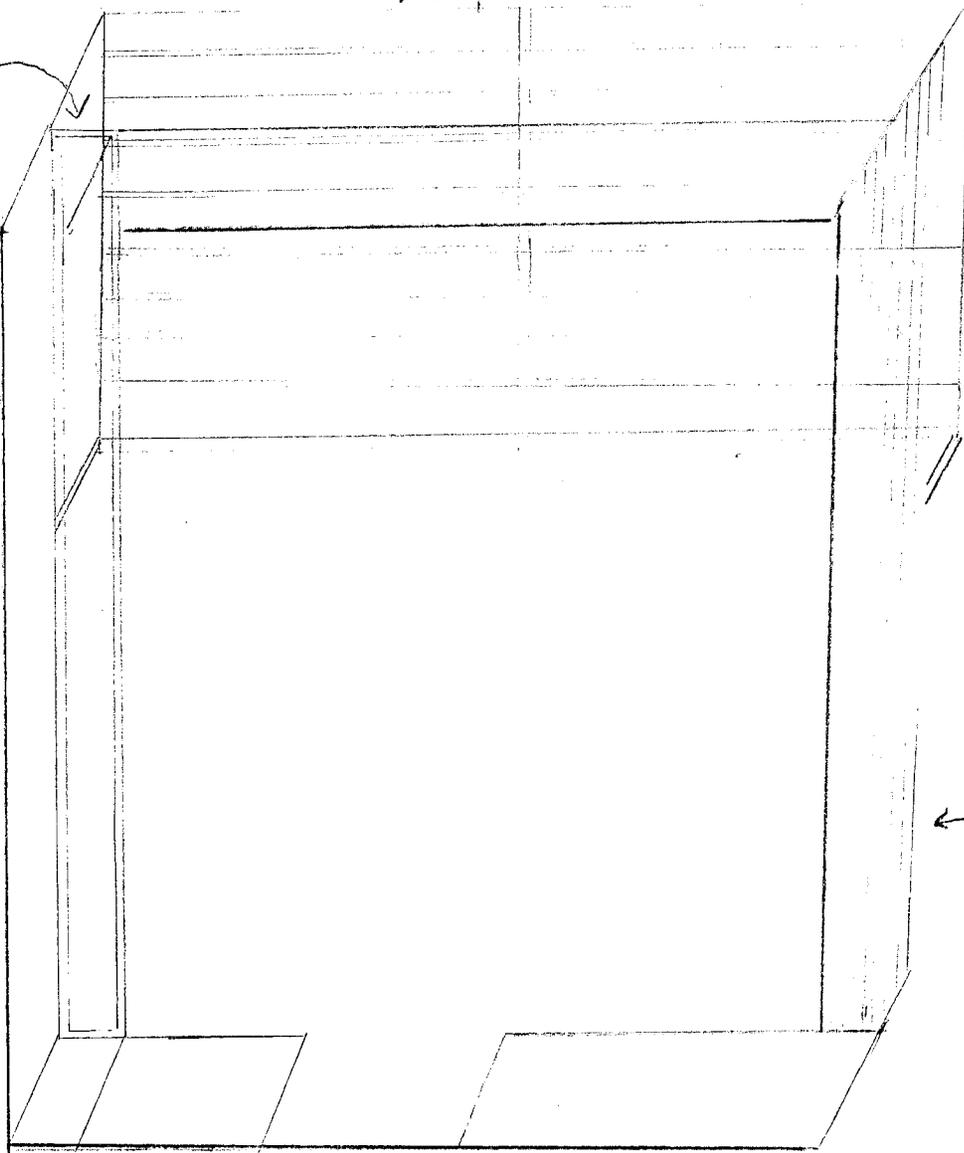
Through the use of the previously-listed materials and paint colors, the deck will be visually compatible with the surrounding properties. As evidenced from the attached pictures, the property does not contain character defining elements which would be obscured or destroyed by the expanded deck. It is the opinion of the owners that the deck will improve the aesthetics of the view from the alley through the use of the character-appropriate materials and visible vegetation.

- Wood or cast iron railings along back of deck facing alley

- Flower box planned to run length of side wall

- Height will be same as railings along front

- Made of wood which will be treated with natural color



- Pergola will cover part of planned deck to provide shade

- Approx 9 ft from back of deck to middle

- Wood w/ natural color

- Privacy wall (~6 ft) will run length of side wall.

- Wood w/ natural color

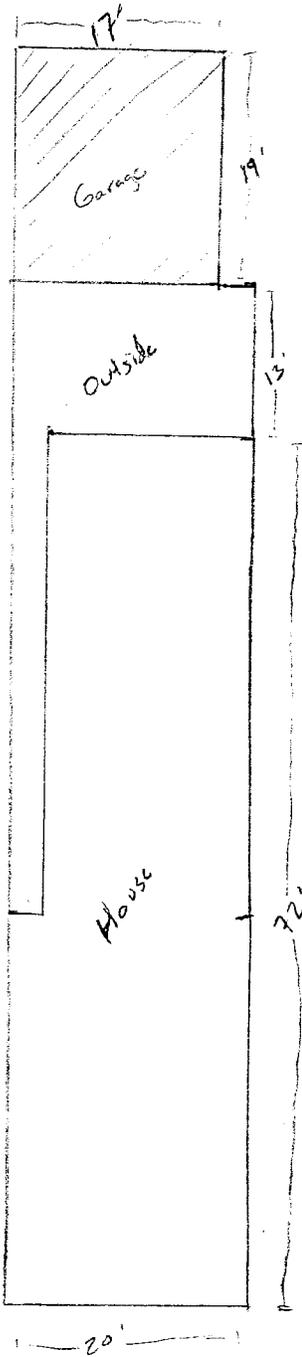
- Cast iron railings (black) will be used for front railing facing house

House

1 inch = 16 feet

Proposed Deck
on top of
garage

FILSON (alley)



PALO ALTO ST











Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1215 RESACA PLACE
 PITTSBURGH, PA 15212

STAFF USE ONLY:

DATE RECEIVED: 6/13/16
 LOT AND BLOCK NUMBER: 23-J-234.
 WARD: 2nd
 FEE PAID: yes
DISTRICT:

MEXICAN WAR STREETS

OWNER:

NAME: GARY & MARTHA LILLY
 ADDRESS: 1215 RESACA PLACE
PITTSBURGH, PA 15212
 PHONE: 724-699-0985
 EMAIL: gdilly1@verizon.net

APPLICANT:

NAME: JOHN D FRANCONA
 ADDRESS: 1234 RESACA PLACE
PITTSBURGH, PA 15212
 PHONE: 412-596-3477
 EMAIL: john@johnfrancona.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

ELEVATED SECOND STORY ADDITION AT THE REAR OF THE EXISTING HOUSE

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: John D Francona DATE: 6.13.2016



Day Way

Filson St

1215 Resaca Place

Resaca Pl

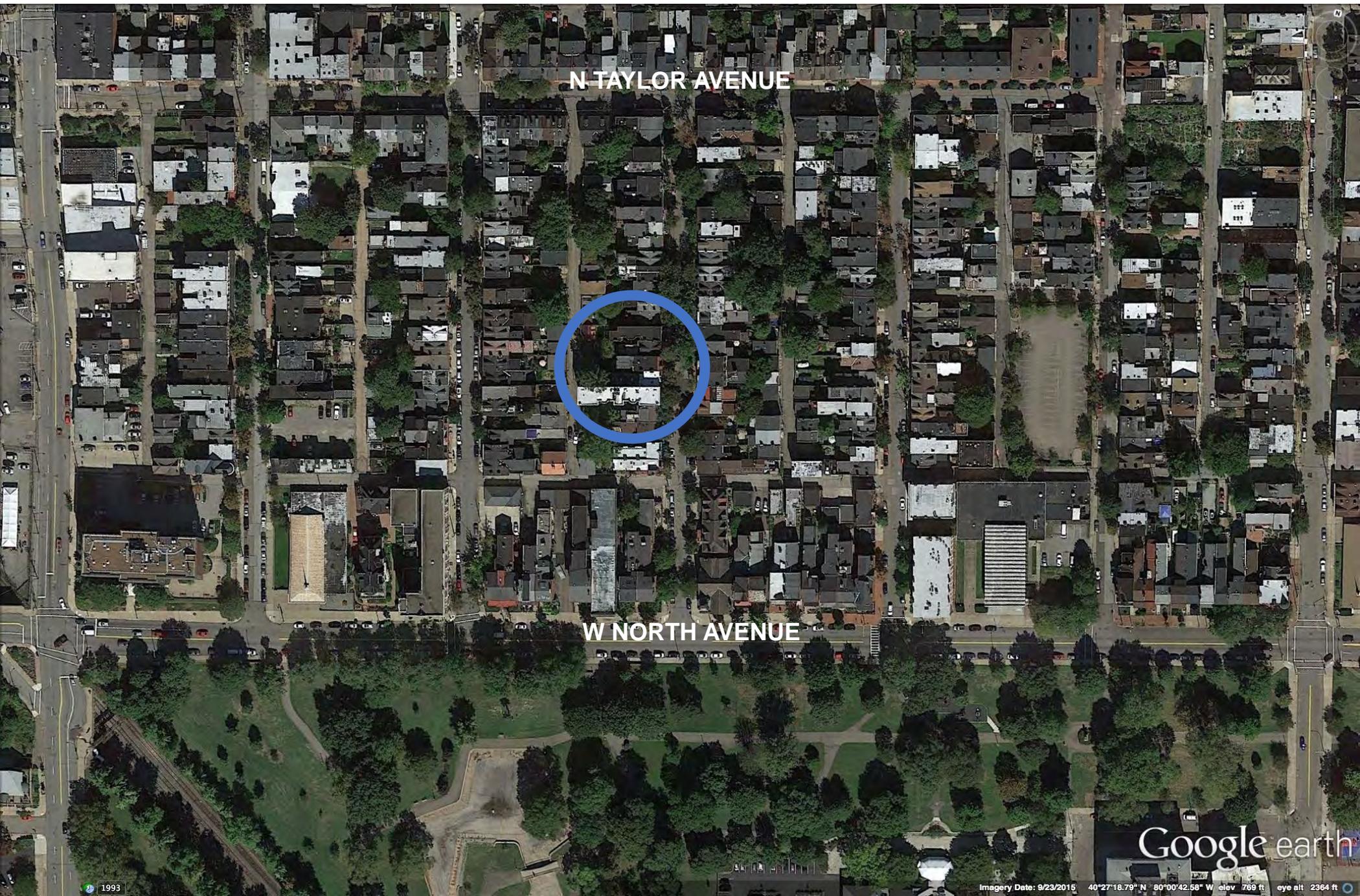
© 2016 Google

Google earth

1993

Imagery Date: 4/17/2016 40°27'19.77" N 80°00'43.41" W elev 772 ft eye alt 1127 ft

1215 RESACA PLACE

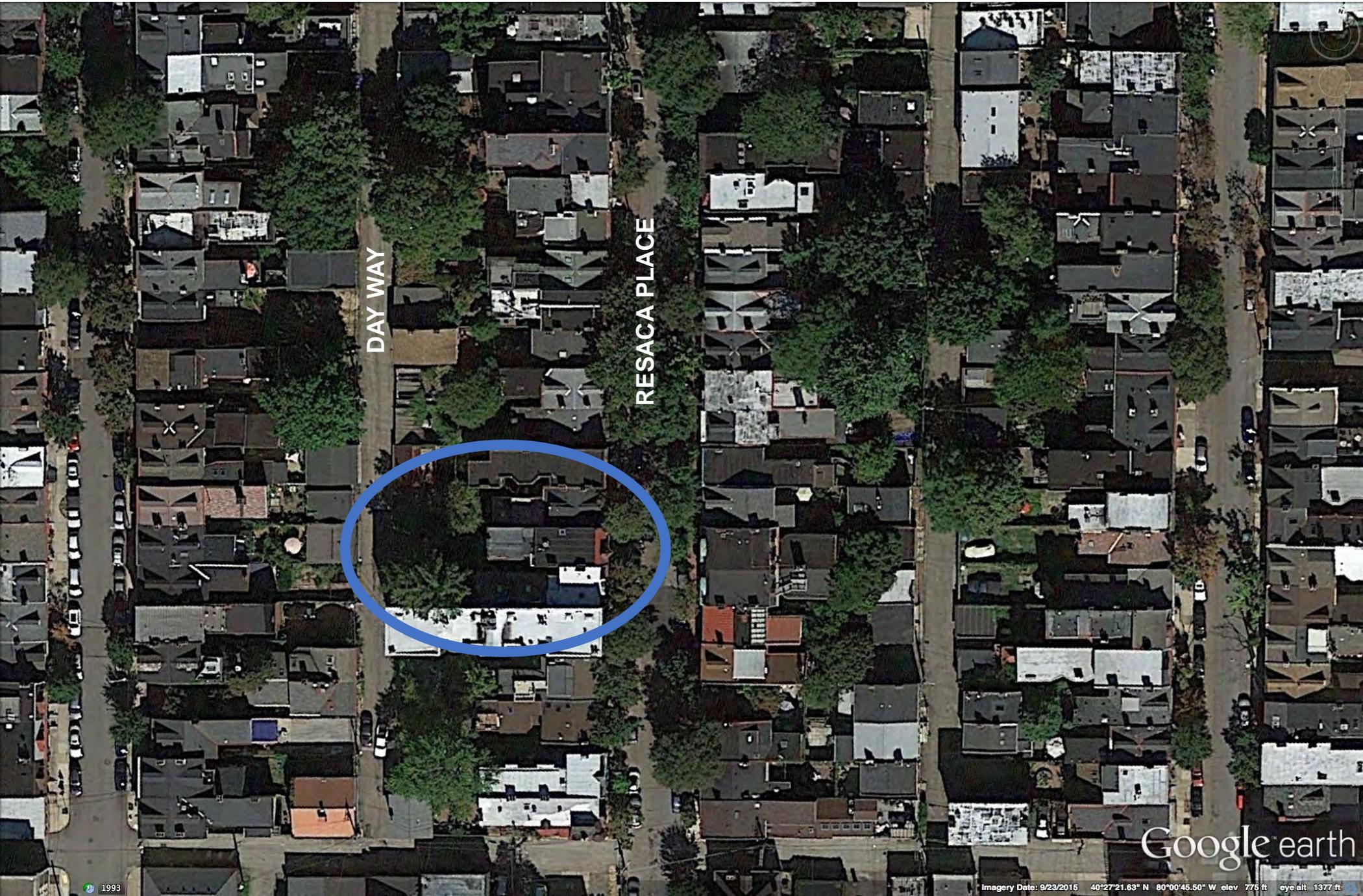


N TAYLOR AVENUE

W NORTH AVENUE

Google earth

1215 RESACA PLACE



DAY WAY

RESACA PLACE

Google earth



RESACA VIEW FROM SOUTH



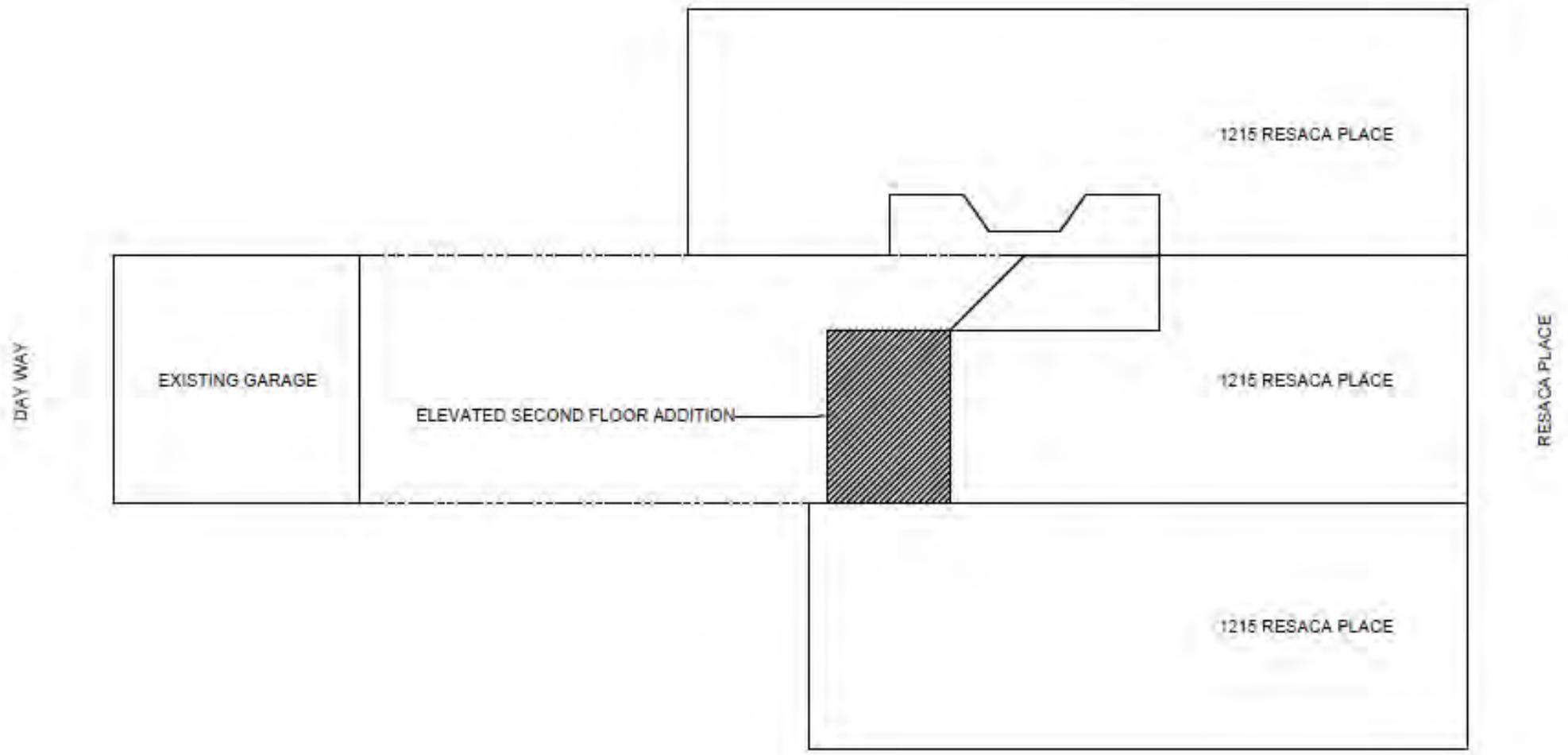
DAY WAY VIEW FROM NORTH



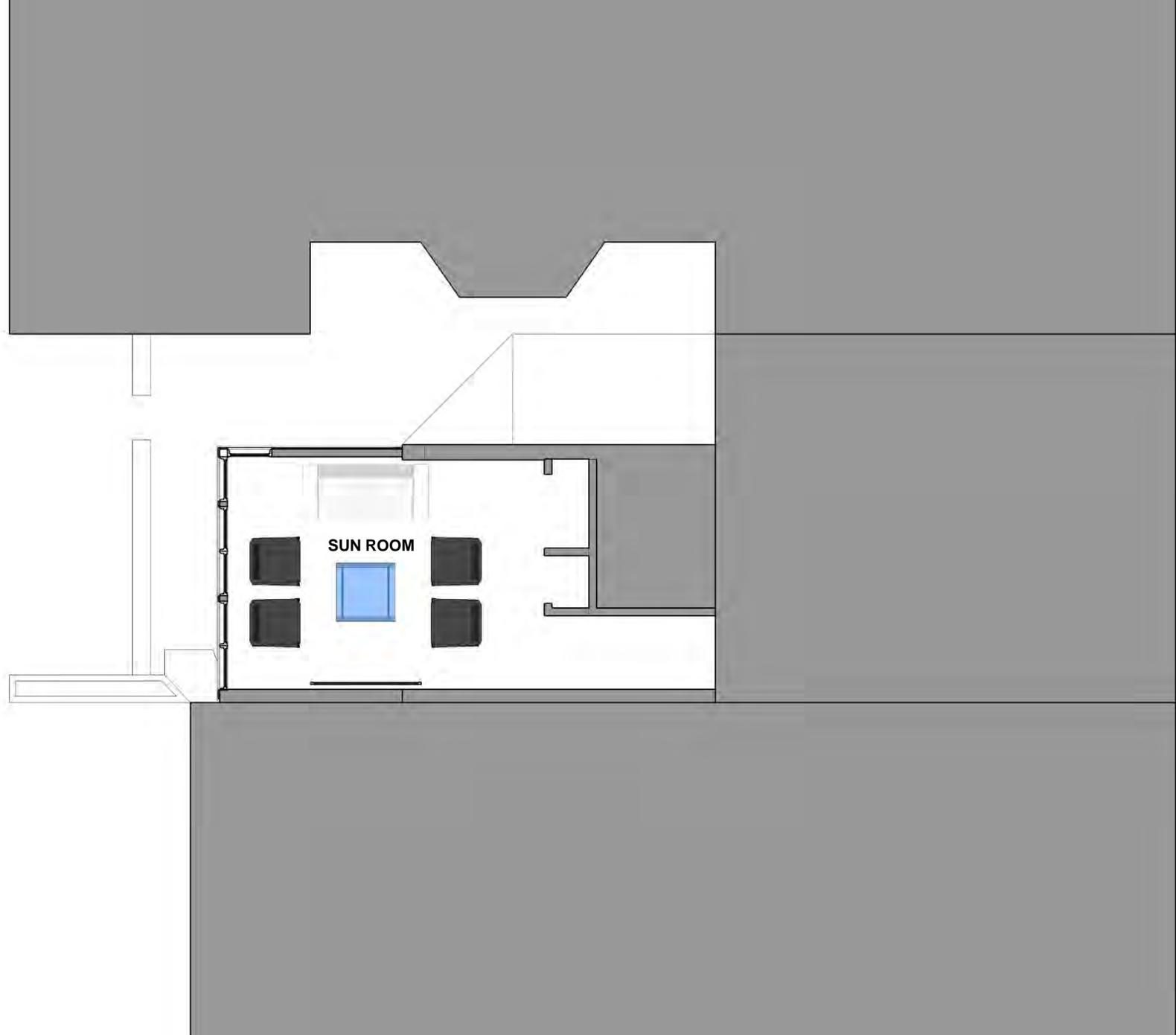
DAY WAY VIEW FROM SOUTH



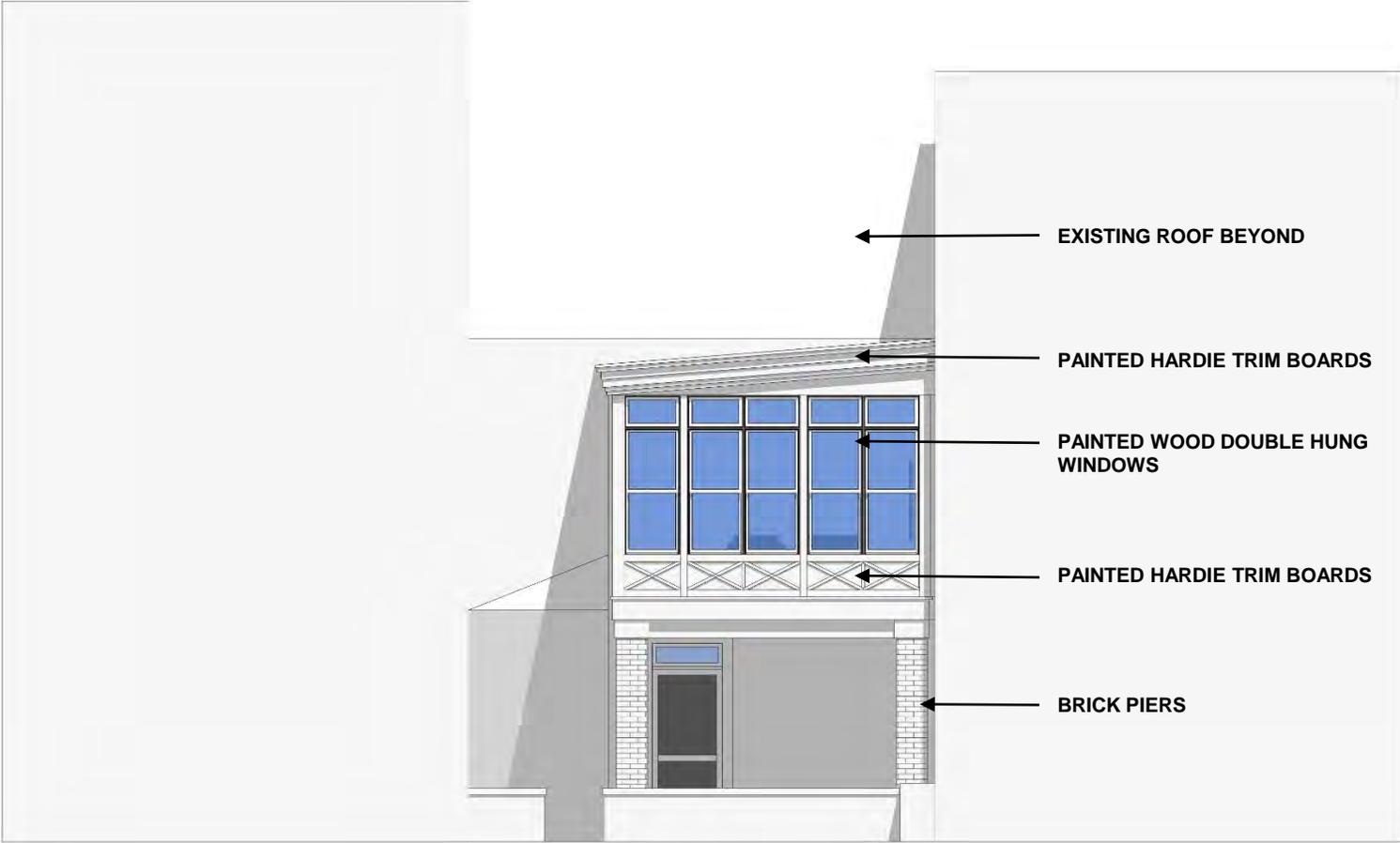
DAY WAY - REAR ELEVATION



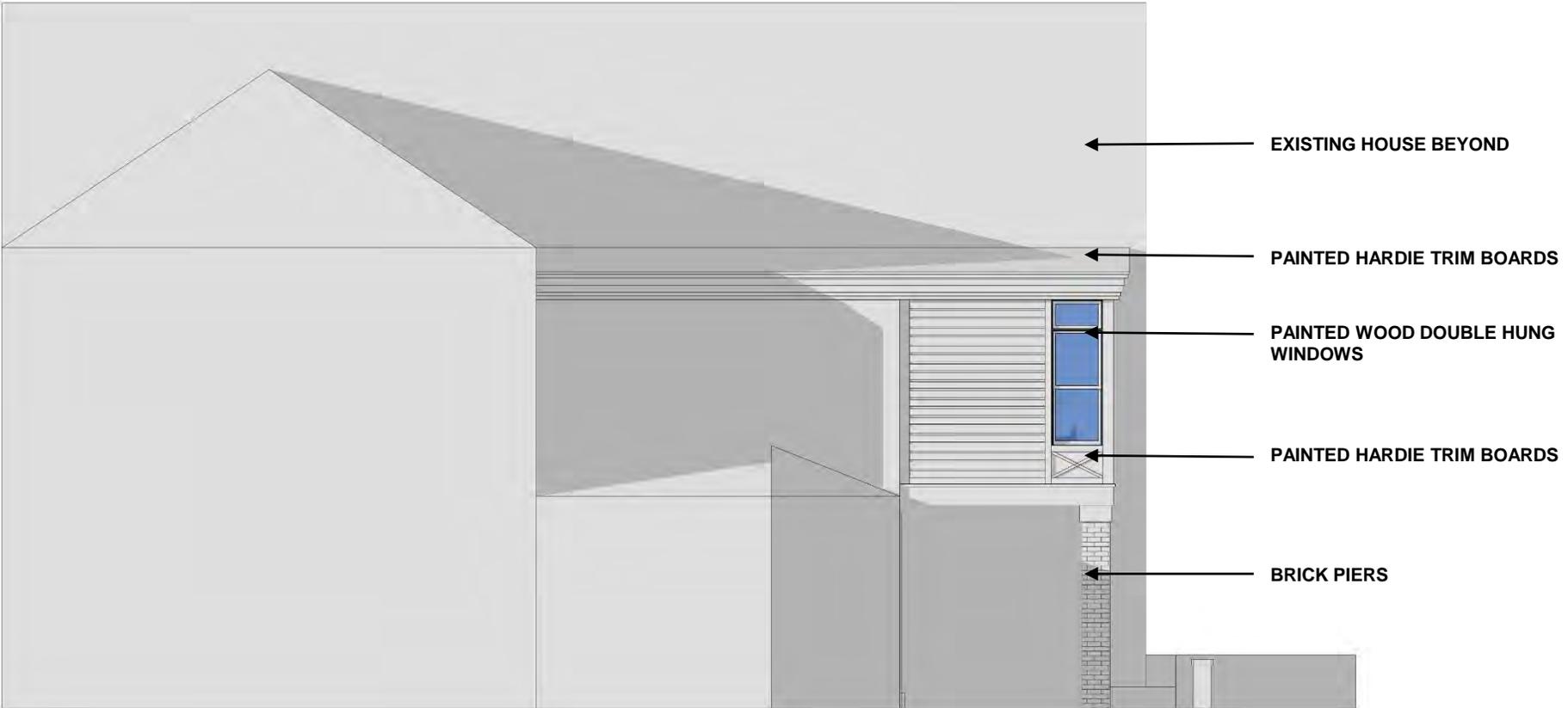
SITE PLAN



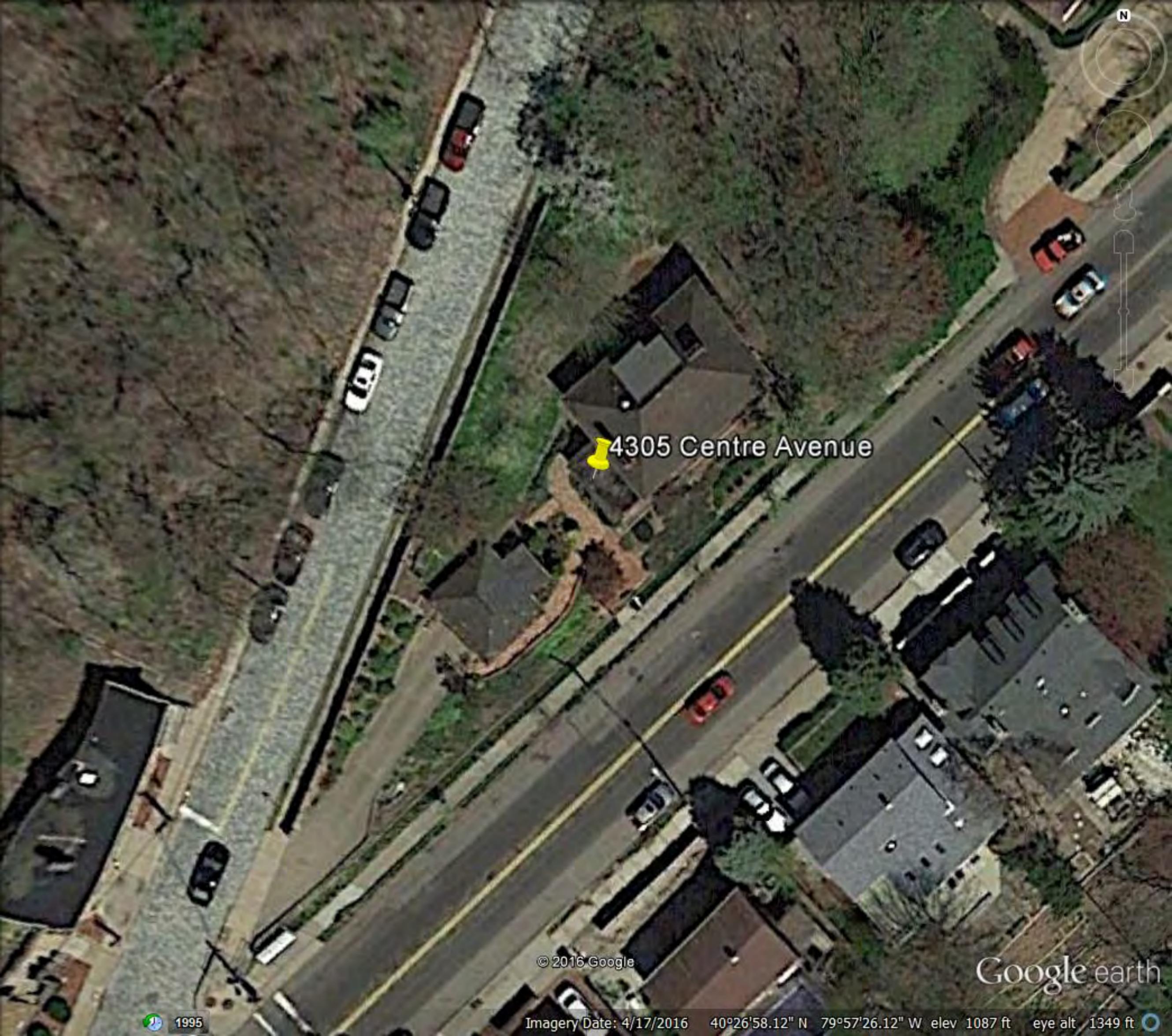
SECOND FLOOR PLAN



DAY WAY – REAR ELEVATION



SIDE ELEVATION



4305 Centre Avenue

© 2016 Google

Google earth

1995

Imagery Date: 4/17/2016 40°26'58.12" N 79°57'26.12" W elev 1087 ft eye alt 1349 ft



Division of Development Administration and Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

STAFF LEVEL REVIEW and FEES – Project adheres to historic guidelines

Type of Project	Residential Fees	Commercial Fees
In-kind repairs	\$25	\$5 per linear foot of the façade (minimum \$50)
In-kind restoration		
Mechanical and HVAC		
Commercial awnings		
Signage		
Painting	No Fee	

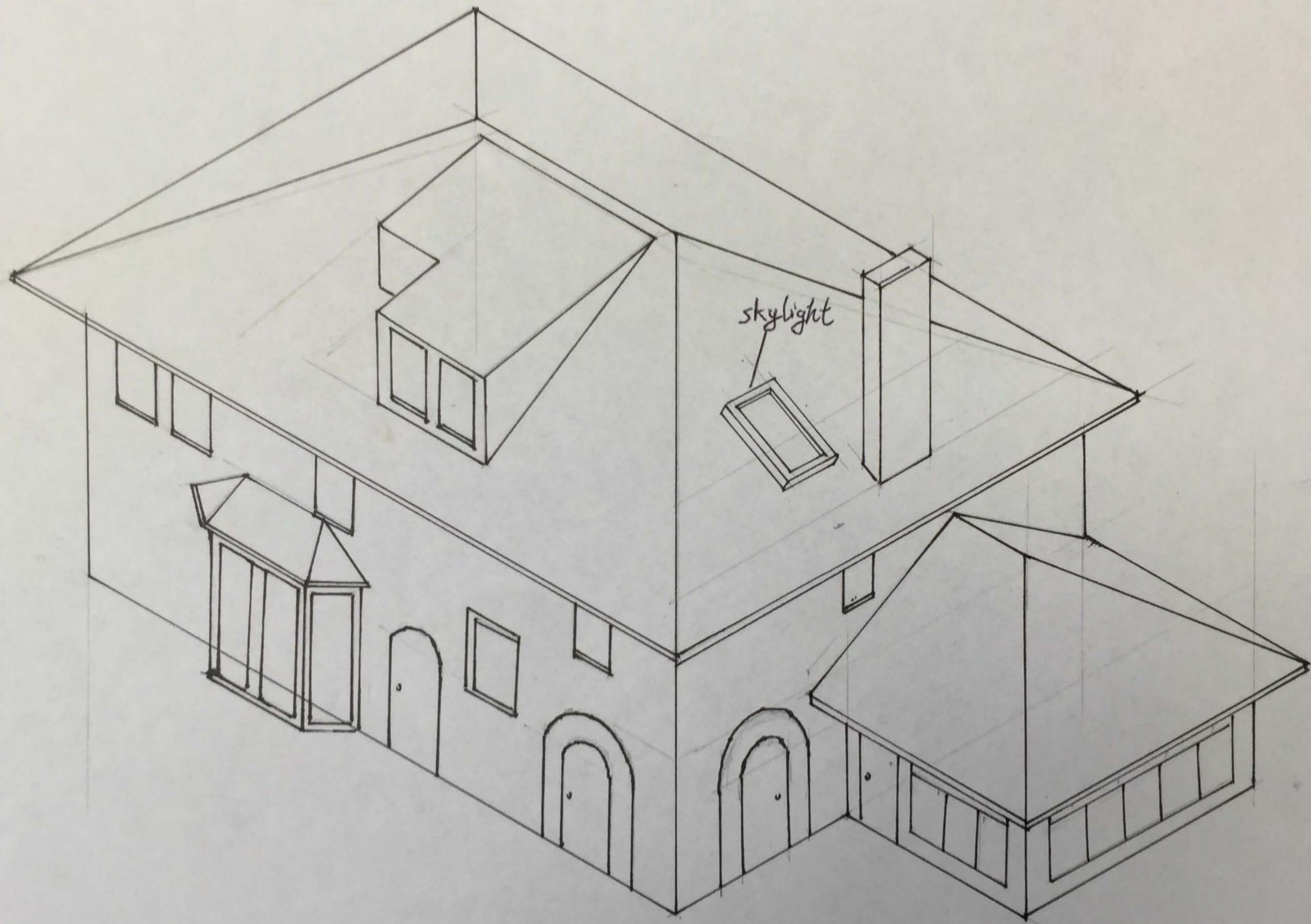
HISTORIC REVIEW COMMISSION LEVEL REVIEW AND FEES – Project does not adhere to historic guidelines and changes in materials

Type of Project	Residential Fees	Commercial Fees
Awnings	\$100	\$10 per linear foot of the façade (minimum \$150)
Fencing		
Painting		
Restoration		
Replacement		
Change in materials		
Change in fenestration		
Mechanical and HVAC		
New construction		
Signage		

****All demolitions and historic nominations require full HRC review. Fees vary for demolitions (\$100 or \$400) and for historic nominations (\$100 or \$250) depending on type.****

* Residential review is for single-family homes, and structures originally built as houses with four units or less. Properties with more than four units and apartment buildings are considered commercial buildings.

* Applicants do not pay for both the Staff Review and the full HRC review for any single project. Fees are non-refundable.



skylight

PROPOSAL

D & M REMODELERS
 35 Denny Estates
 Pittsburgh, PA 15238
 412-889-7474 • 724-275-0192
 PA 042323

Page No. 1 of 1 Pages
 DESCRIPTION OF JOB

ARCHITECT	DATE OF FORM		
JOB	HUANG		
ADDRESS	4305 CENTRE AVE		
CITY	PGH	EST	119 15213
PHONE	412-378-8415	DATE	6/14/16

PROPOSAL SUBMITTED TO:

XIAONAN
~~SHAN~~ HUANG
 4305 CENTRE AVE
 PGH PA 15213

WE HEREBY SUBMIT SPECIFICATIONS AND ESTIMATES FOR:

MAIN ROOF ON LEFT SIDE OF HOME OPEN UP A 2'x4' AREA OF ROOF, FRAME IN OPENING WITH 2"x6" LUMBER, THEN INSTALL ONE BRONZE FINISH VELUX VENTED SKYLIGHT, INSTALL WATER AND ICE SHIELD PROTECTION AND VELUX FLASHING KIT, FINISH WITH INSTALLING SLATE IN SKYLIGHT AREA, SLATE WILL MATCH EXISTING ROOF SLATE. INTERIOR OF SKYLIGHT INSTALL 1/2" DRYWALL, TAPE AND SKIM FINISH, NEW DRYWALL AREA WILL BE PRIMED. PRICE INCLUDES LABOR AND MATERIAL, DAILY CLEAN UP, HAUL ALL DEBRIS.
 ACTUAL SIZE OF SKYLIGHT IS 21 1/2" x 38 3/8"

We hereby propose to furnish material and labor, complete in accordance with above specifications, for the sum of TWENTY EIGHT HUNDRED & SEVENTY FIVE dollars (\$ 2,875.00)

with payment to be made as follows:

All material is guaranteed to be as specified. All work is to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from specifications involving extra costs will be executed upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon, strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Worker's Compensation Insurance.

Authorized Signature

[Handwritten Signature]

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature

[Handwritten Signature]

06/17/2016

PROPOSAL

D & M REMODELERS

35 Denny Estates

Pittsburgh, PA 15238

412-889-7474 • 724-275-0192

PA 042303

PROPOSAL SUBMITTED TO:

XIAONAN

~~SEAN~~ HUANG

4305 CENTRE AVE

PCN PA 15213

Page No. 1 of 1 Pages

DESCRIPTION OF JOB

ARCHITECT	DATE OF PLAN		
JOB	HUANG		
ADDRESS	4305 CENTRE AVE		
CITY	STATE	ZIP	
PCN	PA	15213	
PHONE	DATE		
412-378-8415	6/14/16		

WE HEREBY SUBMIT SPECIFICATIONS AND ESTIMATES FOR:

MAIN ROOF OF HOME AND GARAGE, CONTRACTOR TO GO OVER ENTIRE ROOF REPLACE APPROXIMATELY 40 TO 60 OF 7 1/2" INCH SLATE REPLACING ALL MISSING, CRACKED AND BROKEN SLATE, USING HOMEOWNERS SLATE.
 CAULK AND RESEAL ALL FLASHINGS WHERE NECESSARY.
 PRICE INCLUDES ALL LABOR AND MATERIAL, DAILY CLEAN UP, HAUL ALL DEBRIS.

We hereby propose to furnish material and labor, complete in accordance with above specifications, for the

sum of THIRTY FOUR HUNDRED Dollars (\$ 3,400.00)

with payment to be made as follows: _____

All material is guaranteed to be as specified. All work is to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from specifications involving extra costs will be executed upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon, strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Worker's Compensation Insurance.

Authorized Signature Xiaonan Huang

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: 06/17/2016

Signature Xiaonan Huang

Signature _____



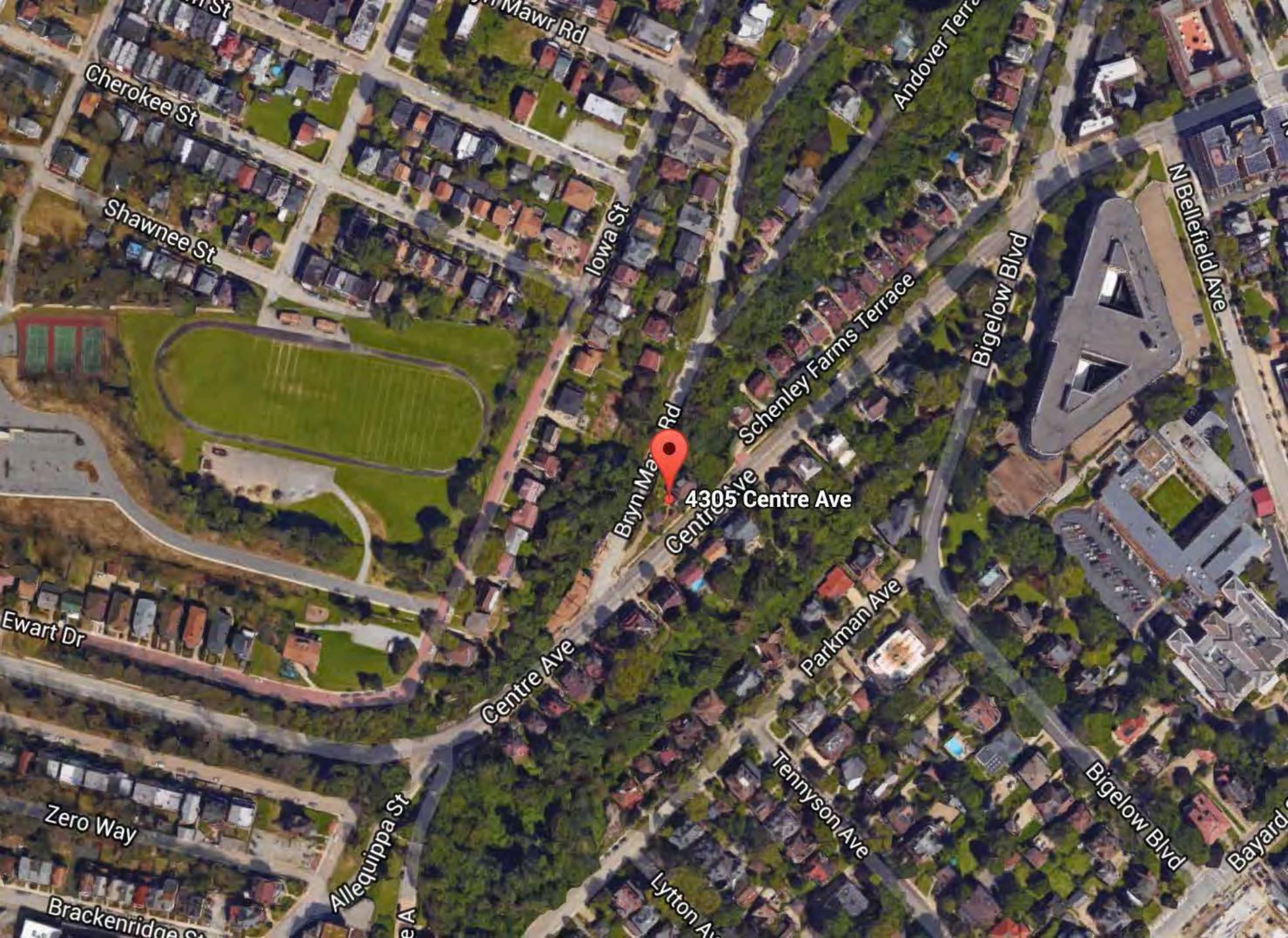












4305 Centre Ave

Cherokee St

Shawnee St

Centre Ave

Iowa St

Bryn Mawr Rd

Centre Ave

Schenley Farms Terrace

Parkman Ave

Tennyson Ave

Lytton Ave

Andover Terrace

Bigelow Blvd

N Bellefield Ave

Bigelow Blvd

Bayard

Ewart Dr

Zero Way

Brackenridge St

Allequippa St

Bryn Mawr Rd

Bryn Mawr Rd



4305 Centre Ave

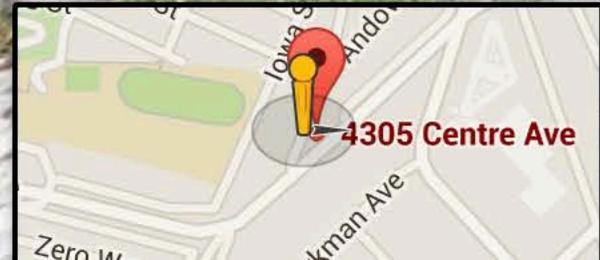
Centre Ave

Centre Ave

Bryn Mawr Rd
Pittsburgh, Pennsylvania



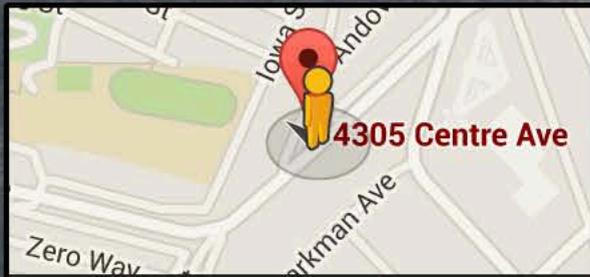
Street View - Aug 2015



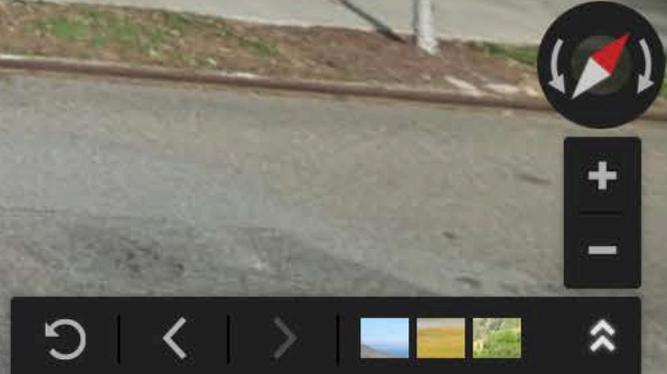
Google



← Centre Ave
Pittsburgh, Pennsylvania
⌵ Street View - Dec 2015



Google



Centre Ave
Pittsburgh, Pennsylvania



Street View - Dec 2015



Google

