



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

ZONING APPLICATION

The Zoning Application **can be** used for the following:

- New Construction of a 1-Family or 2-Family Dwelling;
- Repairs, Alterations, Additions to, and/or Extensions of either a 3-Family or larger Residential Dwelling or a Non-Residential Structure.

PROPERTY OWNER/APPLICANT INFORMATION

Property Owner Name: Pittsburgh Parking Authority		Phone Number: (412) 560-7275	
Address: 232 Boulevard of the Allies	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Company Name: Nathan Contracting LP		Phone Number: (412) 487-7077	
Address: 3996 Mt. Royal Blvd	City: Allison Park	State: PA	Zip Code: 15101
Applicant/Contractor ID:(assigned by the City) 5387			

PROJECT INFORMATION

Address where Work will Occur: 239 3rd Avenue, Pittsburgh, PA 15222

Location of Work: Exterior Facades

If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: _____ Date Issued: _____ Existing Use of Property: Parking Garage

Estimated Construction: Start Date: 4 / 1 / 2016 Occupancy Date: / / Project Cost: \$ 769,650.00

Check the appropriate structure type:

<input type="checkbox"/> Residential, 1-Family Dwelling	<input checked="" type="checkbox"/> Non-Residential
<input type="checkbox"/> Residential, 2-Family Dwelling	
<input type="checkbox"/> Residential, 3-Family or Larger Dwelling	

Select the Type(s) of Work from the following categories:

<input type="checkbox"/> New Construction of:	<input type="checkbox"/> Addition to or <input type="checkbox"/> Extension of:	<input type="checkbox"/> Alteration or <input checked="" type="checkbox"/> Repair Type:
<input type="checkbox"/> 1-Family Dwelling Structure	<input type="checkbox"/> Existing Primary Use Structure	<input type="checkbox"/> Structural, Interior <input checked="" type="checkbox"/> Structural, Exterior
<input type="checkbox"/> 2-Family Dwelling Structure	<input type="checkbox"/> Existing Accessory Structure	<input type="checkbox"/> Aesthetic, Interior <input checked="" type="checkbox"/> Aesthetic, Exterior

New Certificate of Occupancy is Needed No

Describe the Work: Renovations to the exterior of the 3rd Avenue Parking Garage

Provide the Square Footage (sq. ft.) of each of the items listed below, even if the answer is zero:

Lot Area: 43,500	Existing Structure to be Retained: 37,728
Building Footprint: 37,728	Retained Space to be Renovated/Altered: 37,728
Existing Structure to be Razed: 0	New Structure to be Constructed: 0

	EXISTING		PROPOSED	
	Stories	Feet	Stories	Feet
Main Structure	5	56	5	56
Proposed Addition/Extension				
Accessory Structure:				
Accessory Structure:				
Accessory Structure:				

On-Site Parking: New Total Number of Spaces After Work is Complete: _____ N/A

Please check any of the following items that will be part of the proposed work:

<input type="checkbox"/> Demolition	<input type="checkbox"/> Electrical	<input type="checkbox"/> Fire Alarm	<input type="checkbox"/> Fire Protection/Sprinklers
<input type="checkbox"/> HVAC (Interior)	<input type="checkbox"/> HVAC (Exterior)	<input type="checkbox"/> Commercial Cooking Hood	<input checked="" type="checkbox"/> N/A

Please check the following items that pertain to any work proposed on private plumbing: (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No plumbing work is proposed

Applicant will be applying for Visitability Tax Credit? Yes No

Public Parking Authority of Pittsburgh

Third Avenue Parking Garage

Façade Restoration and
Refurbishment

Photographs of Current Façade



Photographs of Current Façade



Photographs of Current Façade



Photographs of Current Façade



Photographs of Current Façade



Photographs of Current Façade



Photographs of Current Façade

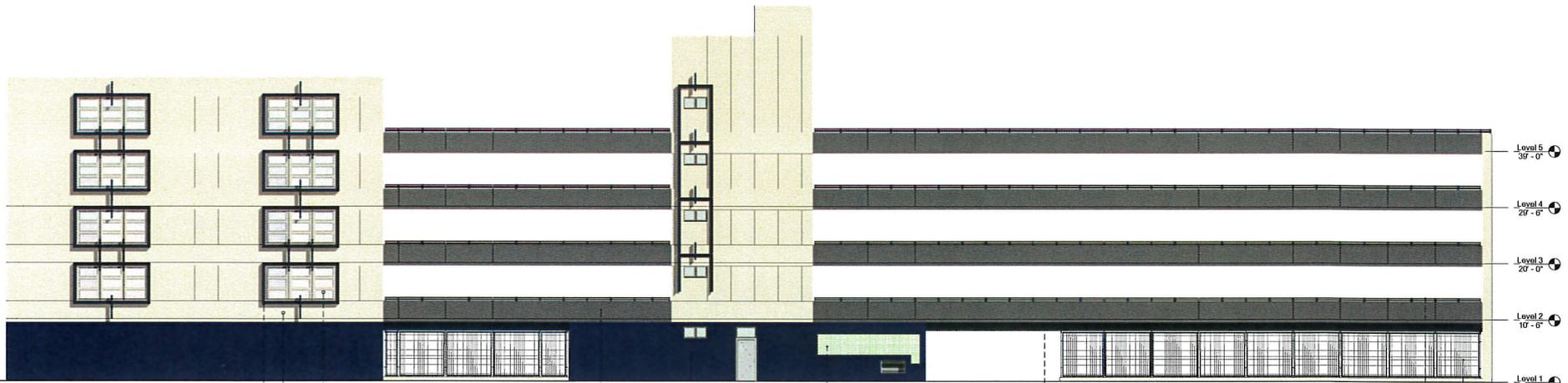


Photographs of Current Façade

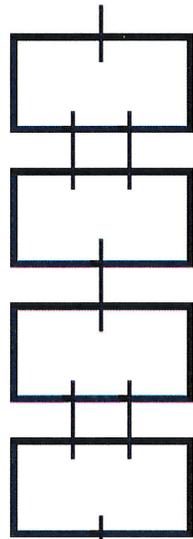


Photographs of Current Façade





① South Elevation - Rendered-Material Board
1/8" = 1'-0"



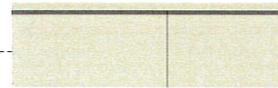
NEW ANODIZED ALUM ASSEMBLY
NAAMM AA-C22A42, (minimum thickness of 0.7 mils), integral color anodized finish as follows:
Color Code: To match the Glazed Block Color Code or as approved by the Owner
Refer to: ALUMINUM ASSEMBLIES 08 41 00-5



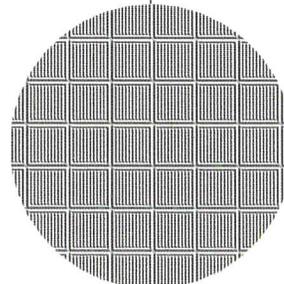
NEW PERFORATED ANODIZED ALUM PANEL
NAAMM AA-C22A42, (minimum thickness of 0.7 mils), integral color anodized finish as follows:
Color: Clear or as approved by the Owner
Refer to: ALUMINUM ASSEMBLIES 08 41 00-5



EXISTING CONCRETE NEW PAINT
Primer/Filler
1. Loxon Acrylic Primer as manufactured by Sherwin Williams, 800-368-2028
Top Coat/Finish Coat
1. Sherwin Williams ConFlex XL as manufactured by Sherwin Williams, 800-368-2028
Color Code: SW 6286 Serious Gray
Refer to: PAINTING - 09 91 00-4



EXISTING CONCRETE NEW PAINT
Primer/Filler
1. Loxon Acrylic Primer as manufactured by Sherwin Williams, 800-368-2028
Top Coat/Finish Coat
1. Sherwin Williams ConFlex XL as manufactured by Sherwin Williams, 800-368-2028
Color Code: SW 7541 Green Ivory
Refer to: PAINTING - 09 91 00-4



NEW GLASS BLOCK
Glass block units: size, color and pattern type to match existing glass block units
Refer to: GLASS UNIT MASONRY - 04 23 00-2



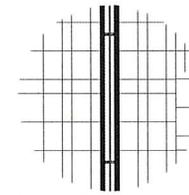
EXISTING BRICK WITH NEW PAINT
Glazed Brick
Primer/Filler/Bonding Coat
UMA Bonding Primer, as manufactured by XIM Products, Inc., 800-292-4469
Top Coat/Finish Coat
Acquaplex WS-1 Series - Semi-Gloss Sheen, as manufactured by PPG Industries, 800-441-9955
Color Code: PPG 1244-7 Firestone Lapis
Refer to: PAINTING - 09 91 00-4



EXISTING STRUCTURAL STEEL WITH NEW PAINT
Structural Steel/Miscellaneous Metals (JMFG) High Performance Coating
1. Primer (bare metal locations same day, as surface preparation) Macropoxy 646, Sherwin Williams
2. High Build Epoxy Macropoxy 646, Sherwin Williams
3. Clear Alphaflex Urethane Finish, Acronex 218163, Sherwin Williams
Color Code: SW 6993 Black of Night
Refer to: PAINTING - 09 91 00-3



NEW ANODIZED ALUM RAIL
NAAMM AA-C22A42, (minimum thickness of 0.7 mils), integral color anodized finish as follows:
Color Code: To match the Glazed Brick Color Code or as approved by the Owner
Refer to: ALUMINUM ASSEMBLIES 08 41 00-5



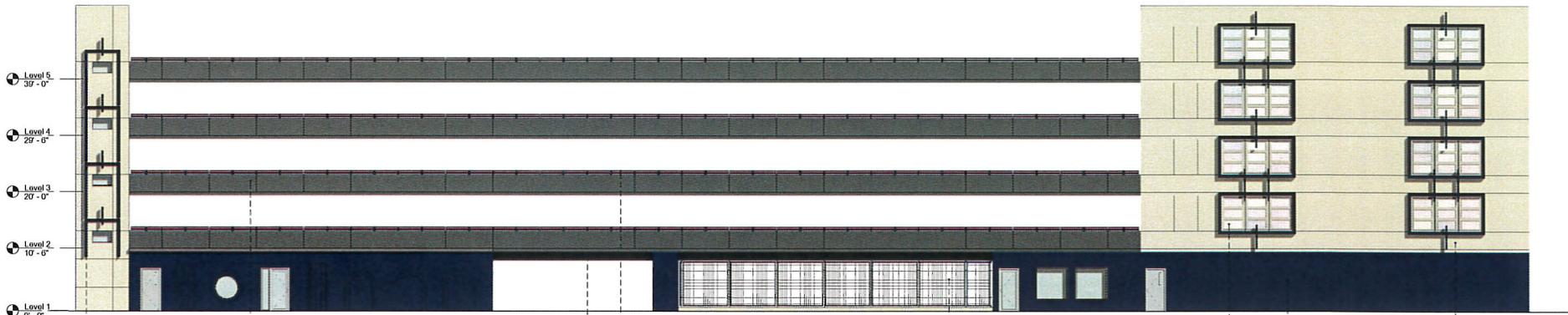
NEW PAINTED STEEL SECURITY SCREEN
4" x 4" (104 mm) steel welded wire mesh with 2"x2" x 1/2" (51 mm) angle frame all four sides
Provide four sleeves along sides for attachments as indicated in drawings
Structural Steel/Miscellaneous Metals (JMFG) High Performance Coating
1. Primer (bare metal locations same day, as surface preparation) Macropoxy 646, Sherwin Williams
2. High Build Epoxy Macropoxy 646, Sherwin Williams
3. Clear Alphaflex Urethane Finish, Acronex 218163, Sherwin Williams
Color Code: SW 6993 Black of Night
Refer to: PAINTING - 09 91 00-3

The intent of this document is for general material and color identification

SOUTH ELEVATION
02/10/16
KGJ

Facade Study of the Third Avenue Parking Garage
Pittsburgh, Pennsylvania
Public Parking Authority of Pittsburgh

DESMAN
Design Management



1 North Elevation - Rendered -Material Board
1/8" = 1'-0"



NEW ANODIZED ALUM ASSEMBLY

NAAMA AAC22A2, (minimum thickness of 0.7 mils), integral color anodized finish as follows:
Color Code: To match the Glazed Brick Color Code or as approved by the Owner
Refer to: ALUMINUM ASSEMBLIES 06 41 00 - 5



EXISTING STRUCTURAL STEEL WITH NEW PAINT

Structural Steel/Miscellaneous Metals (BKD): High Performance Coating
1 Primer (bare metal locations same day as surface preparation) _Macroproy 648, Sherwin Williams
2 High Build Epoxy _Macroproy 648, Sherwin Williams
3 Gloss Aliphatic Urethane Finish _Acron 218 HS, Sherwin Williams
Color Code: SW 6953 Black of Night
Refer to: PAINTING - 09 91 00 - 3



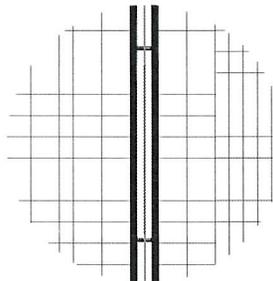
EXISTING CONCRETE NEW PAINT

Primers/Fillers
1 Luxon Acrylic Primer as manufactured by Sherwin Williams, 800-368-2026
Top Coat/Finish Coat
1 Sherwin Williams Corflex XL as manufactured by Sherwin Williams, 800-368-2026
Color Code: SW 6226 Serious Gray
Refer to: PAINTING - 09 91 00 - 4



NEW ANODIZED ALUM RAIL

NAAMA AAC22A2, (minimum thickness of 0.7 mils), integral color anodized finish as follows:
Color Code: To match the Glazed Brick Color Code or as approved by the Owner
Refer to: ALUMINUM ASSEMBLIES 06 41 00 - 5



NEW PAINTED STEEL SECURITY SCREEN

4" x 8" 10ga (min) steel welded wire mesh with 2"x2"x 1/4" (min) angle frame all four sides
Provide four sheets along sides for attachments as indicated in drawings
Structural Steel/Miscellaneous Metals (BKD): High Performance Coating
1 Primer (bare metal locations same day as surface preparation) _Macroproy 648, Sherwin Williams
2 High Build Epoxy _Macroproy 648, Sherwin Williams
3 Gloss Aliphatic Urethane Finish _Acron 218 HS, Sherwin Williams
Color Code: SW 6953 Black of Night
Refer to: PAINTING - 09 91 00 - 3



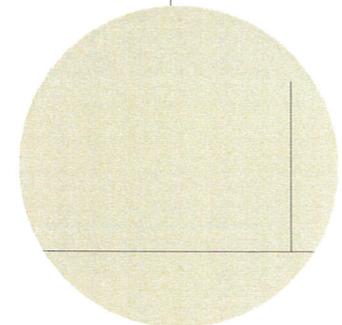
NEW PERFORATED ANODIZED ALUM PANEL

NAAMA AAC22A2, (minimum thickness of 0.7 mils), integral color anodized finish as follows:
Color: Clear or as approved by the Owner
Refer to: ALUMINUM ASSEMBLIES 06 41 00 - 5



EXISTING BRICK WITH NEW PAINT

Glazed Brick
Primers/Fillers/Bonding Coat
1 Luxon Acrylic Primer, as manufactured by XIM Products, Inc., 800-252-8469
Top Coat/Finish Coat
1 Aquapon WB 90-1 Series - Semi-Gloss Sheen, as manufactured by PPG Industries, 800-441-9695
Color Code: PPG 12417 Florence Light
Refer to: PAINTING - 09 91 00 - 4



EXISTING CONCRETE NEW PAINT

Primers/Fillers
1 Luxon Acrylic Primer as manufactured by Sherwin Williams, 800-368-2026
Top Coat/Finish Coat
1 Sherwin Williams Corflex XL, as manufactured by Sherwin Williams, 800-368-2026
Color Code: SW 7541 Green Ivory
Refer to: PAINTING - 09 91 00 - 4

The intent of this document is for general material and color identification

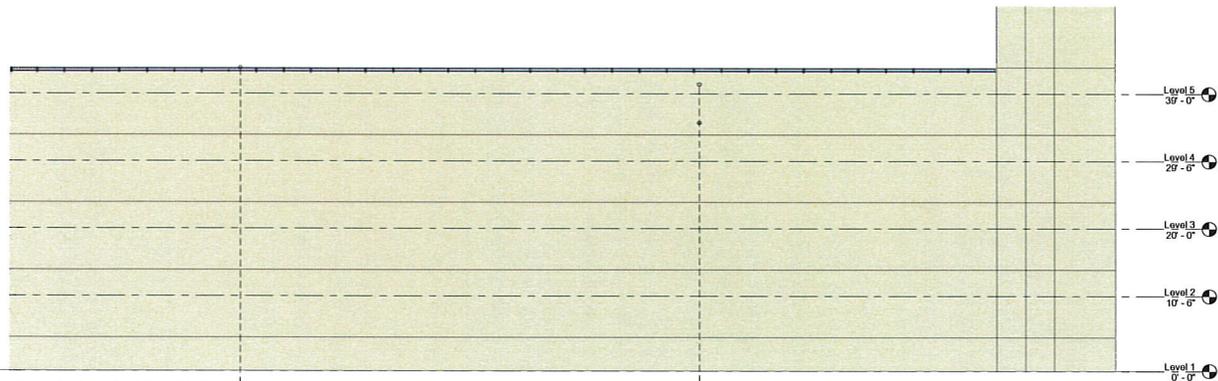
NORTH ELEVATION

02/10/16

KGJ

Facade Study of the Third Avenue Parking Garage Pittsburgh, Pennsylvania Public Parking Authority of Pittsburgh

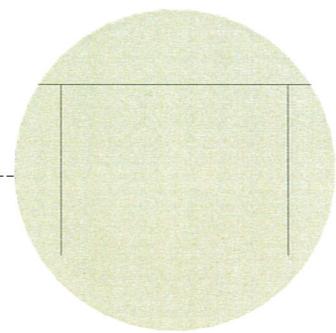
DESMAN
Design Management



① Eastern Elevation-Rendered -Material Board
1/8" = 1'-0"



NEW ANODIZED ALUM. RAIL
NAAMM AA-C23242, (minimum thickness of 0.7 mils), integral color anodized finish as follows
Color Code: To match the Grated Brick Color Code or as approved by the Owner.
Refer to: ALUMINUM ASSEMBLIES 06-41-00-5



EXISTING CONCRETE AND CMU INFILL NEW PAINT
Primer/Filler
1. Lozon Acrylic Primer as manufactured by Sherwin Williams, 800-368-2026
Top Coat/Finish Coat
1. Sherwin Williams Co/Flex XL as manufactured by Sherwin Williams, 800-368-2026
Color Code: 217 7541 Cream Ivory
Refer to PAINTING - 09 91 00 - 4

The intent of this document is for general material and color identification

EAST ELEVATION
02/10/16
KGJ

Facade Study of the Third Avenue Parking Garage
Pittsburgh, Pennsylvania
Public Parking Authority of Pittsburgh



**REPAIR AND PREVENTATIVE MAINTENANCE
OF THE
THIRD AVENUE PARKING GARAGE
PITTSBURGH, PA**



ISSUE

NO.	DESCRIPTION	DATE

DETAILS

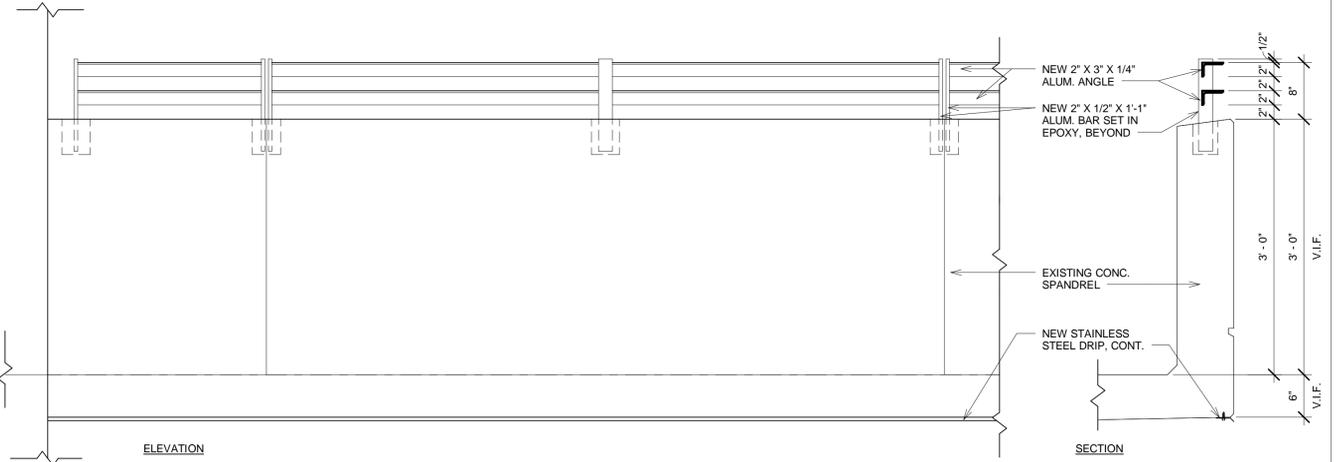
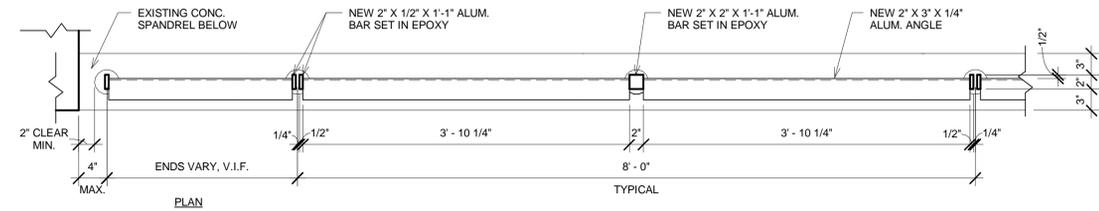
DRAWING NO:
A2.02

SCALE: 1" = 1'-0"

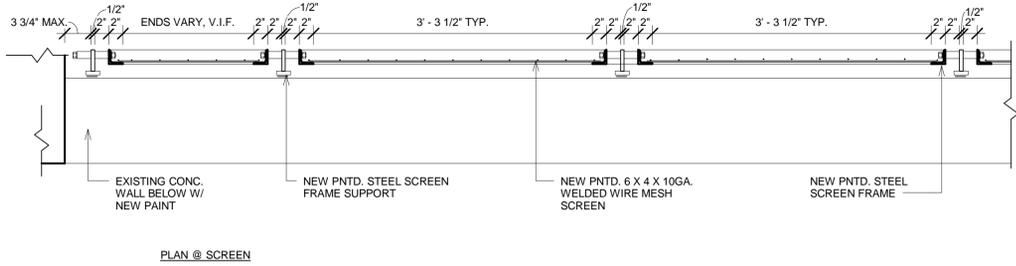
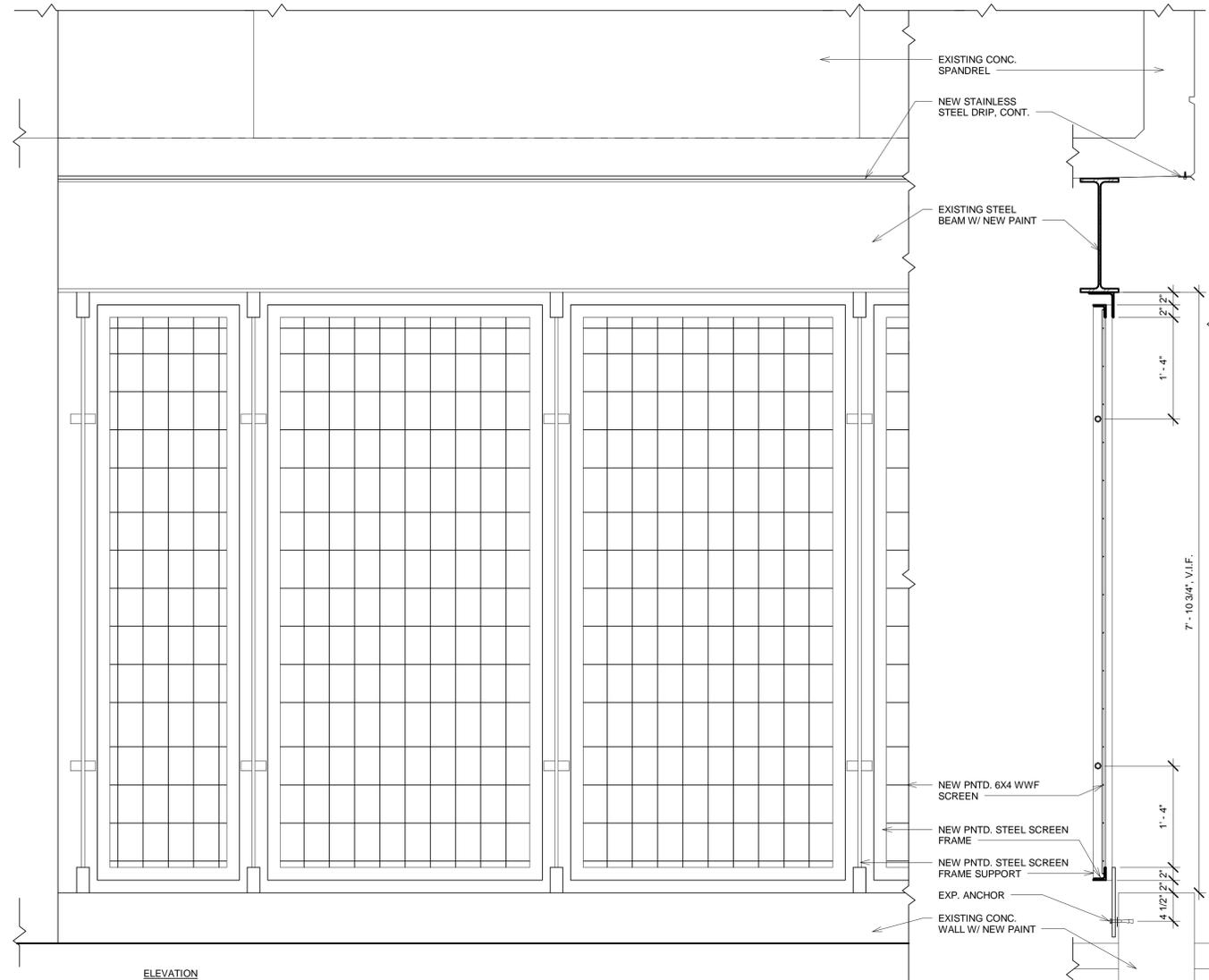
DATE: MAY 26, 2015

PROJECT NO: 51-15101

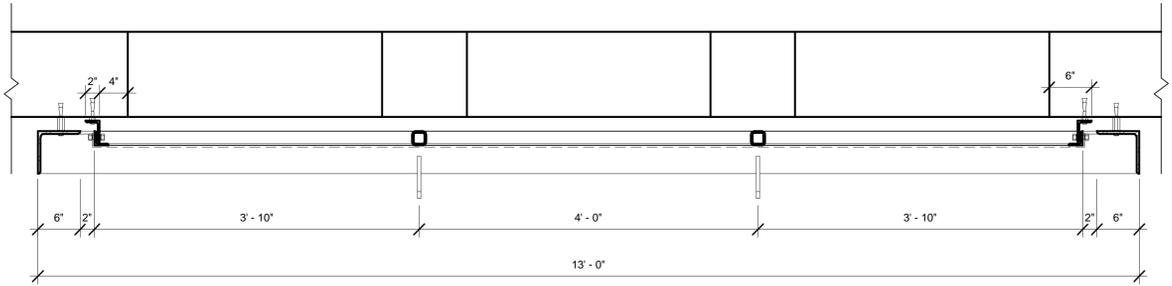
DES.	DRWN.	CHK'D.
Designer	DRW	Checker



1 SPANDREL RAIL DETAIL - BASE
1" = 1'-0"



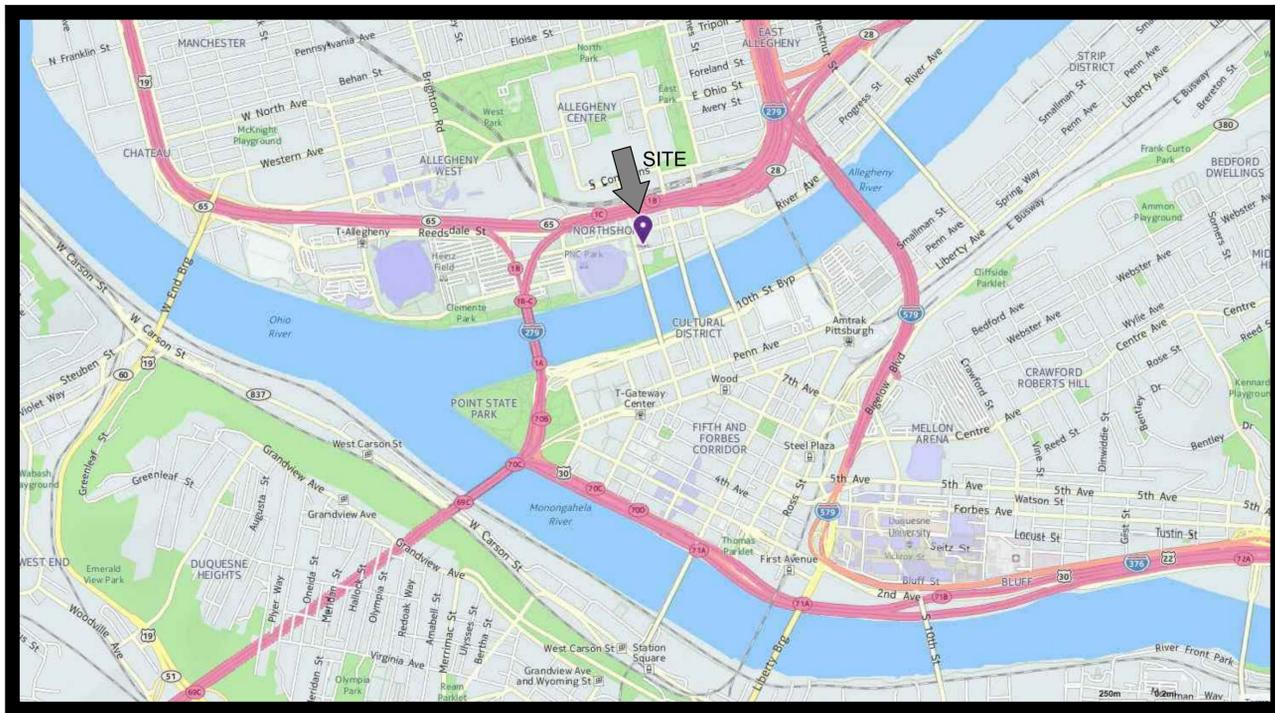
2 SECURITY SCREEN DETAIL
1" = 1'-0"



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Planning Commission Review Drawings for:
 Exterior Shell Renovation
First National Bank
 100 Federal Street
 Zoning-District DR-C
 Pittsburgh, Pa



SITE LOCATION MAP
 Scale: Not to Scale

List of Documents:
 Architectural Drawings
 Cover Sheet

Site Plan

Context

Proposed Exterior
 Elevations

Exterior Perspective Views
 (Proposed)

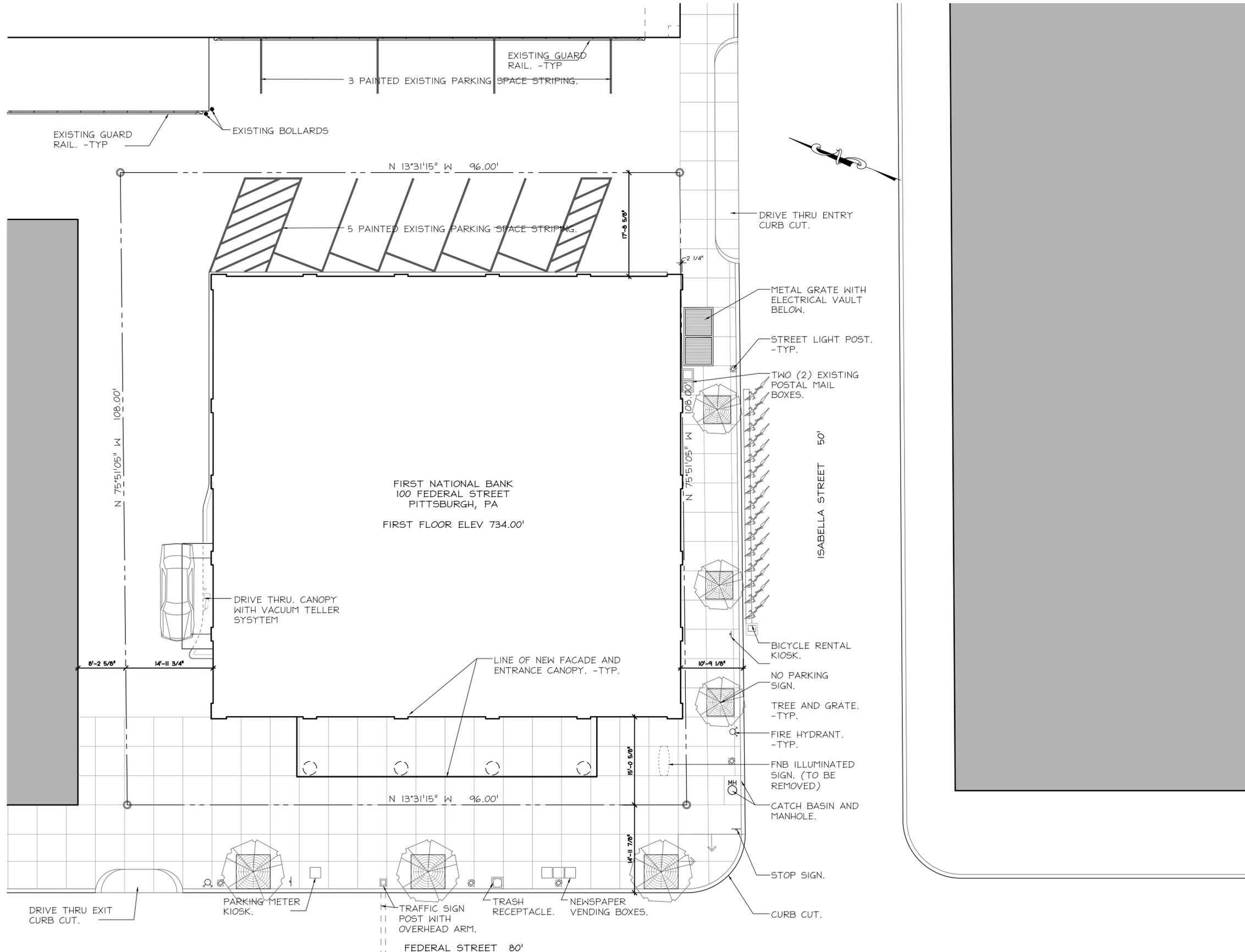
Sustainability Comparison

Visibility Impact Study
 and Roof Plan

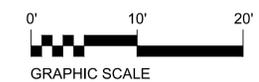
Project Description:

Exterior shell renovation of existing granite panel and stone masonry building. Scope of work to include the following:

1. Demolition of existing building facade including windows.
2. New exterior wall construction consisting of cast stone, brick masonry, and window system. New facade wall to include upgraded insulation.
3. Reroofing of existing building including upgraded roof insulation and overflow drains.
4. Removal of existing rooftop condenser units. New rooftop HVAC units to be installed as part on complete HVAC system re-design.



1 SITE PLAN
SCALE: 1/8"=1'-0"



Design 3 Architecture	
300 Oxford Drive Suite 120 Monroeville, PA 15146	TEL (412) 373-2220 FAX (412) 373-4571 www.d3a.com
Project: First National Bank Facade 100 Federal Street Pittsburgh, PA	
Title: Site Plan	
No. 2014-10.10E	2
Date: 03/01/16	Revised:

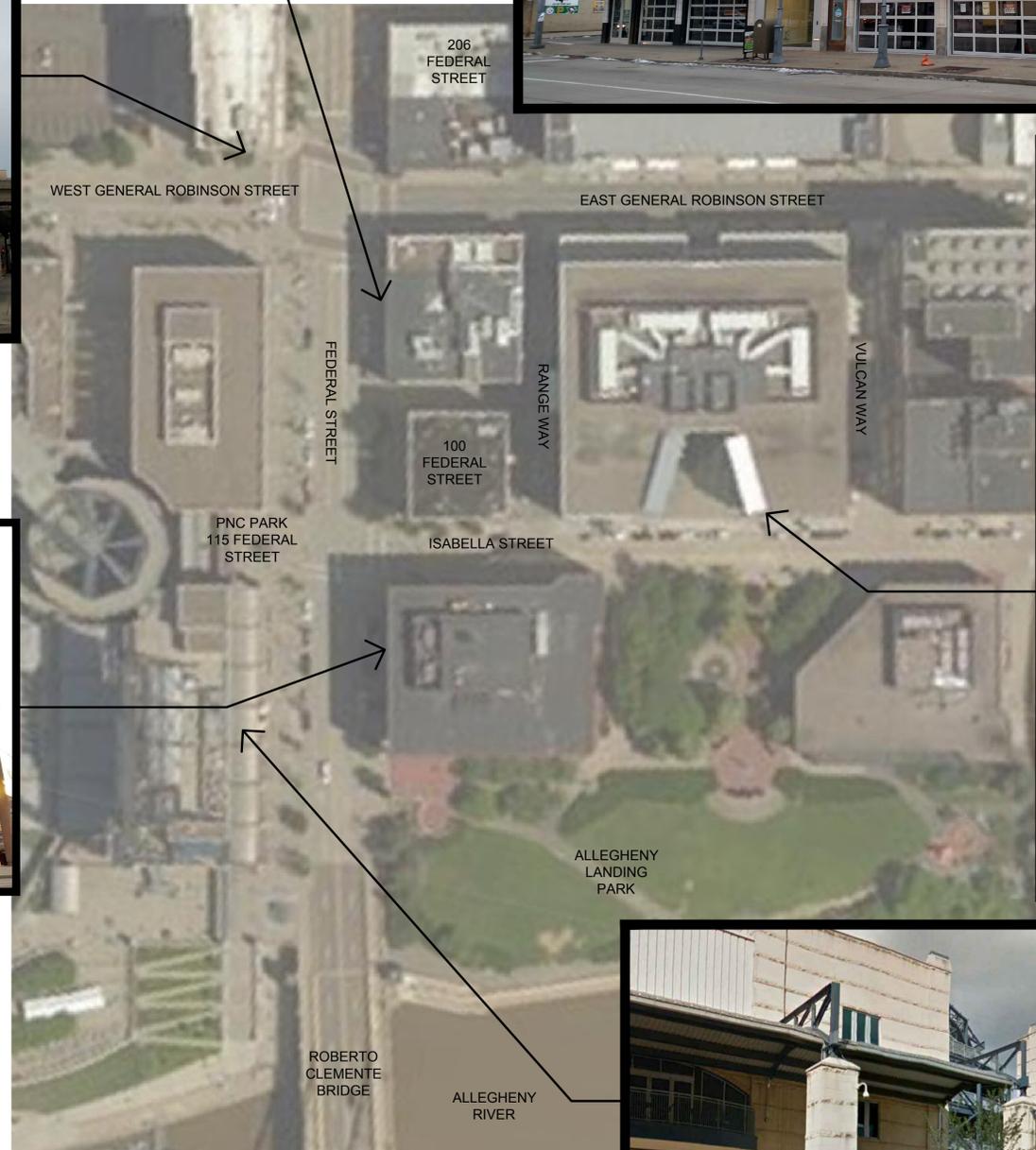
DATE: 2/29/2016 10:11 AM
MOD. BY: JFARRISH
DWG. NAME: H:\2013 PROJECTS\2013-10 FNB NORTH SIDE\2013-10.10E PLAN COMM REVIEW\2013-10.10E C101A1T



228 FEDERAL STREET



140 FEDERAL STREET



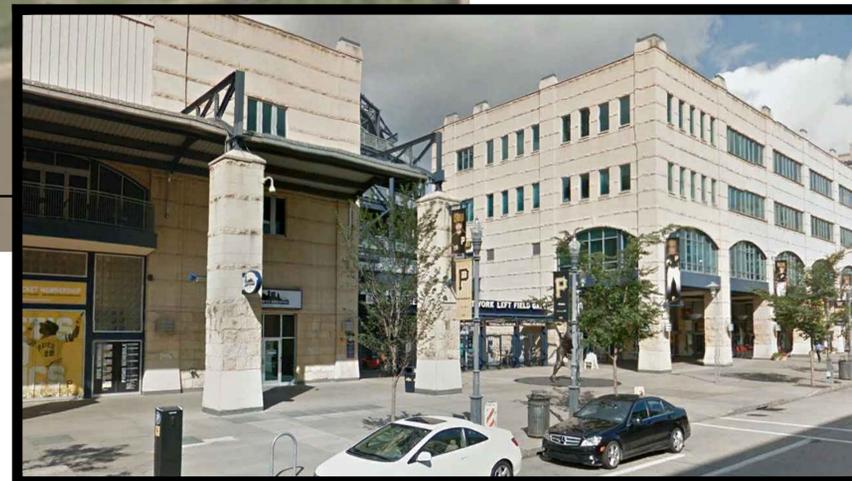
AERIAL SITE LOCATION VIEW
SCALE: NTS



ONE NORTH SHORE CENTER

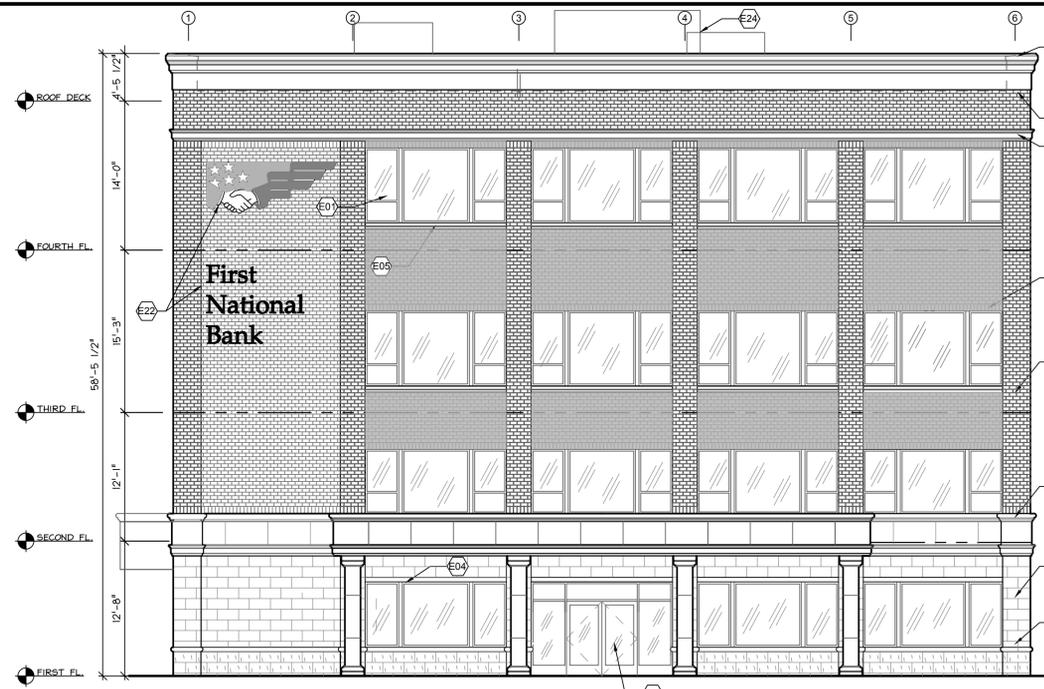


130 FEDERAL STREET

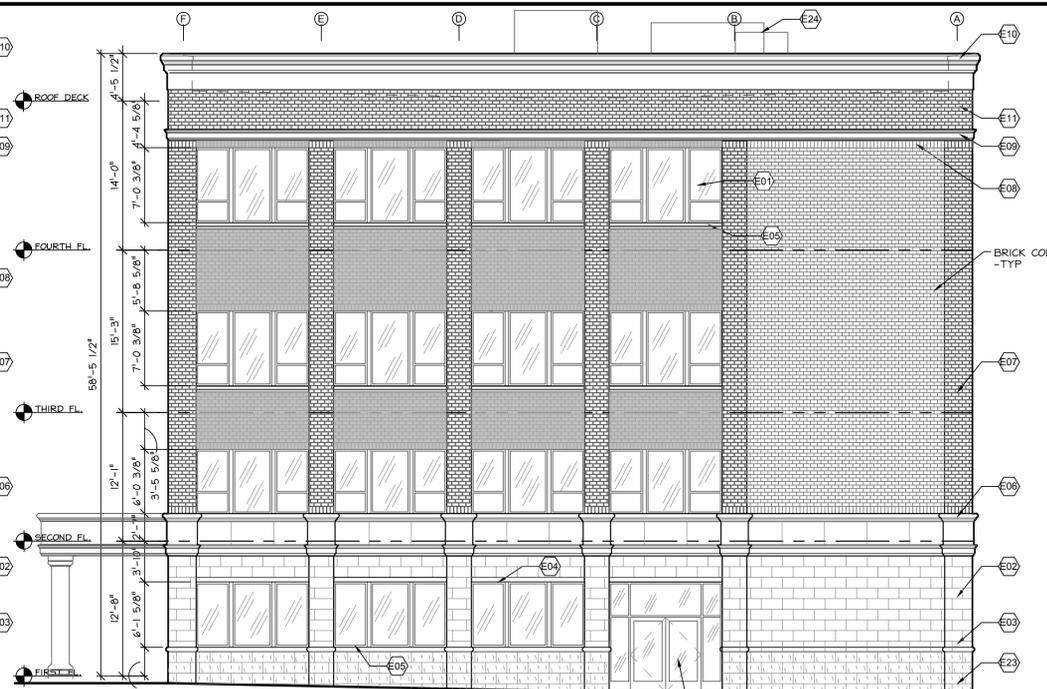


PNC PARK

<p>Design 3 Architecture</p> <p>300 Oxford Drive Suite 120 Monroeville, PA 15146</p> <p>TEL (412) 373-2220 FAX (412) 373-4571 www.d3a.com</p>	
<p>Project: First National Bank Facade 100 Federal Street Pittsburgh, PA</p>	
<p>Title: Context</p>	
<p>No. 2014-10.10E Date: 03/01/16</p>	<p>3</p>



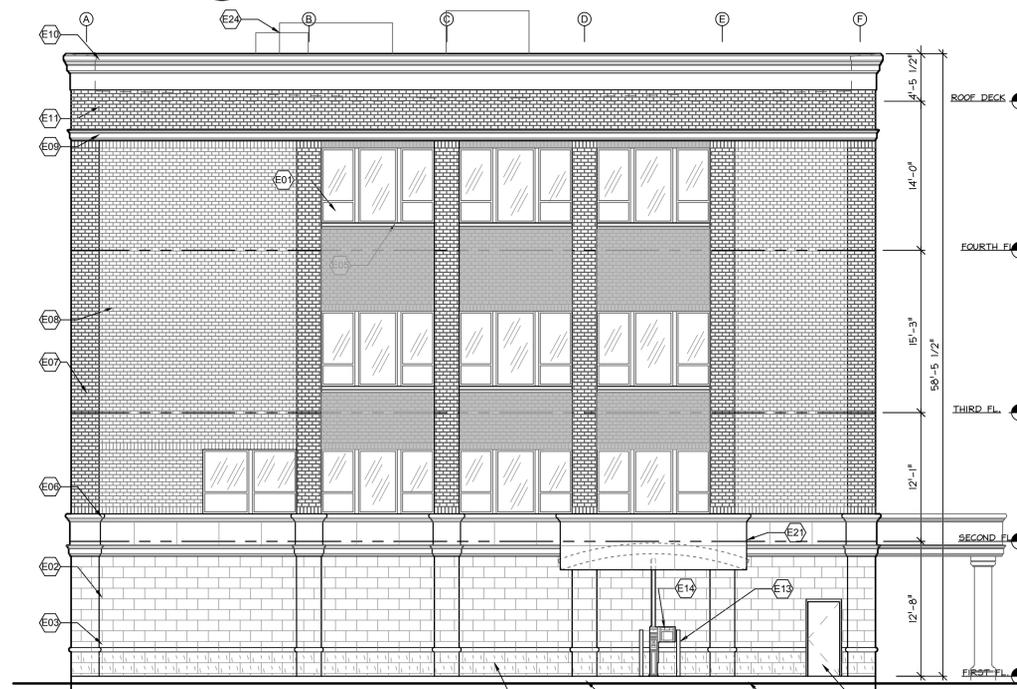
A FEDERAL STREET ELEVATION
SCALE: 1/8"=1'-0"



B ISABELLA STREET ELEVATION
SCALE: 1/8"=1'-0"



C REAR ELEVATION
SCALE: 1/8"=1'-0"



D DRIVE THRU ELEVATION
SCALE: 1/8"=1'-0"

KEYED ELEVATION NOTES

- E01. NEW INSULATED WINDOWS. -TYP. (SEE SCHEDULE)
- E02. NEW PRECAST STONE WATER TABLE.
- E03. NEW PRECAST STONE TRIM.
- E04. NEW PRECAST STONE WINDOW HEAD TRIM.
- E05. NEW PRECAST STONE WINDOW SILL.
- E06. NEW PRECAST STONE BAND TRIM.
- E07. NEW BRICK VENEER.
- E08. NEW BRICK SOLDIER COURSE.
- E09. NEW PRECAST STONE CORNICE TRIM.
- E10. NEW PRECAST STONE COPING.
- E11. NEW BRICK FIELD.
- E12. NEW ALUMINUM AND GLASS ENTRY SYSTEM. (SEE SCHEDULE)
- E13. NEW BOLLARD.
- E14. NEW VACUUM TUBE DRIVE THRU SYSTEM WITH TWO WAY CUSTOMER CAMERA AND DISPLAY UNIT.
- E15. NOT USED
- E16. NEW H.M. INSULATED METAL DOOR AND FRAME. (SEE SCHEDULE)
- E17. EXISTING SIDEWALK/PAVING.
- E18. EXISTING CONCRETE CURB.
- E19. NEW H.M. INSULATED METAL DOOR AND FRAME. PROVIDE NEW STEEL LINTEL. (SEE SCHEDULE)
- E20. MODIFY PAVING AS REQUIRED TO ACCOMMODATE POSITIVE DRAINAGE AWAY FROM DOOR THRESHOLD.
- E21. EXISTING DRIVE THRU CANOPY FRAMING TO RETAIN. RE-WRAP WITH METAL FRAMING AND EIFS FINISH TO MATCH PRECAST STONE FIELD AND TRIM BEYOND.
- E22. FNB SIGN PACKAGE.
- E23. ROCK FACED PRECAST STONE VENEER.
- E24. ROOF TOP HVAC EQUIPMENT BEYOND. -TYP.

Design 3 Architecture

300 Oxford Drive
Suite 120
Monroeville, PA 15146
TEL (412) 373-2220
FAX (412) 373-4571
www.d3a.com

Project:
First National Bank Facade
100 Federal Street
Pittsburgh, PA

Title:
Proposed Exterior Elevation

No. 2014-10.10E
Date: 03/01/16
Revised:

DATE: 2/29/2016 2:55 PM
MOD. BY: JPARRISH
DWG. NAME: 11/2013 PROJECTS2013-10 FNB NORTH SIDE/2013-10.10E PLAN COMM REVIEW/2013-10.10E A201.ALT



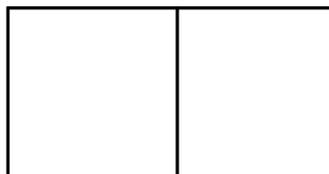
EXISTING PERSPECTIVE VIEW
SCALE: NTS



PROPOSED PERSPECTIVE VIEW
SCALE: NTS



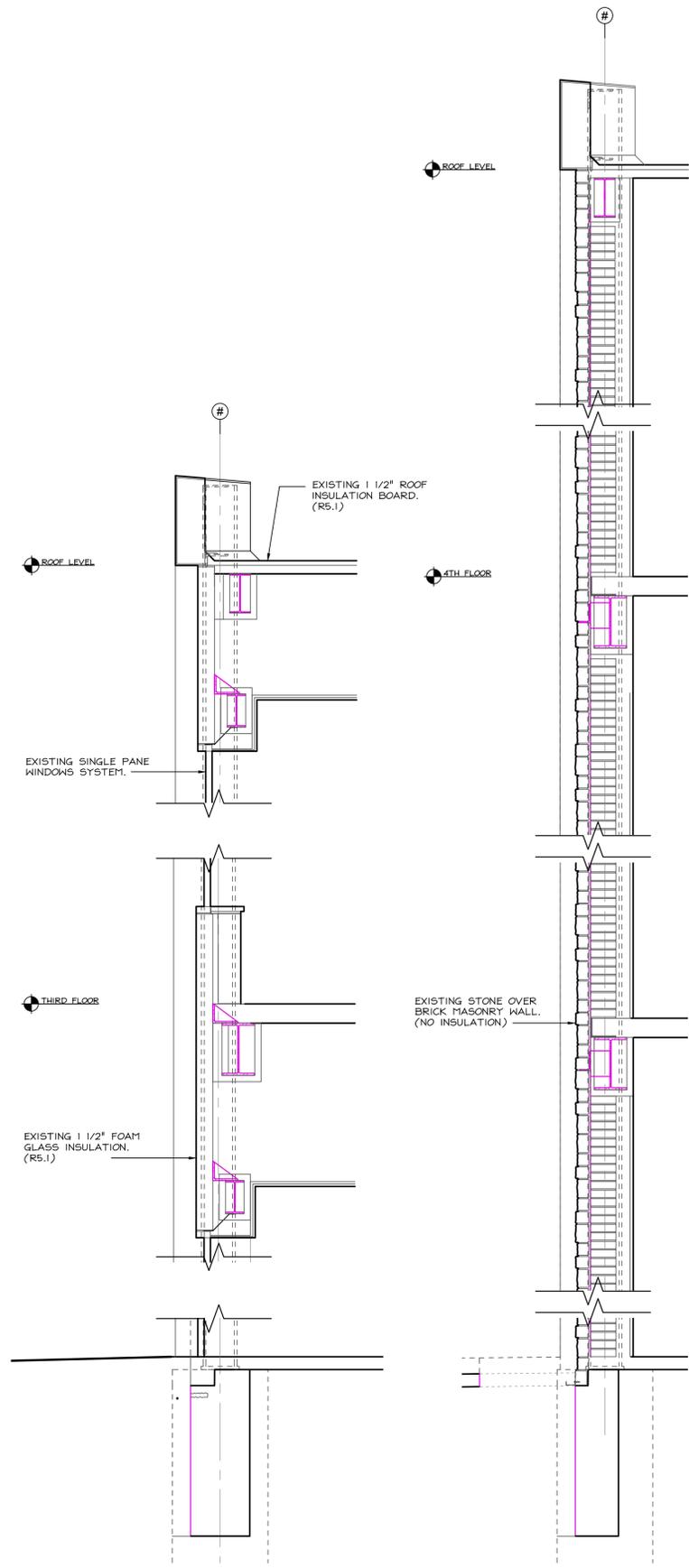
PROPOSED CANOPY VIEW
SCALE: NTS



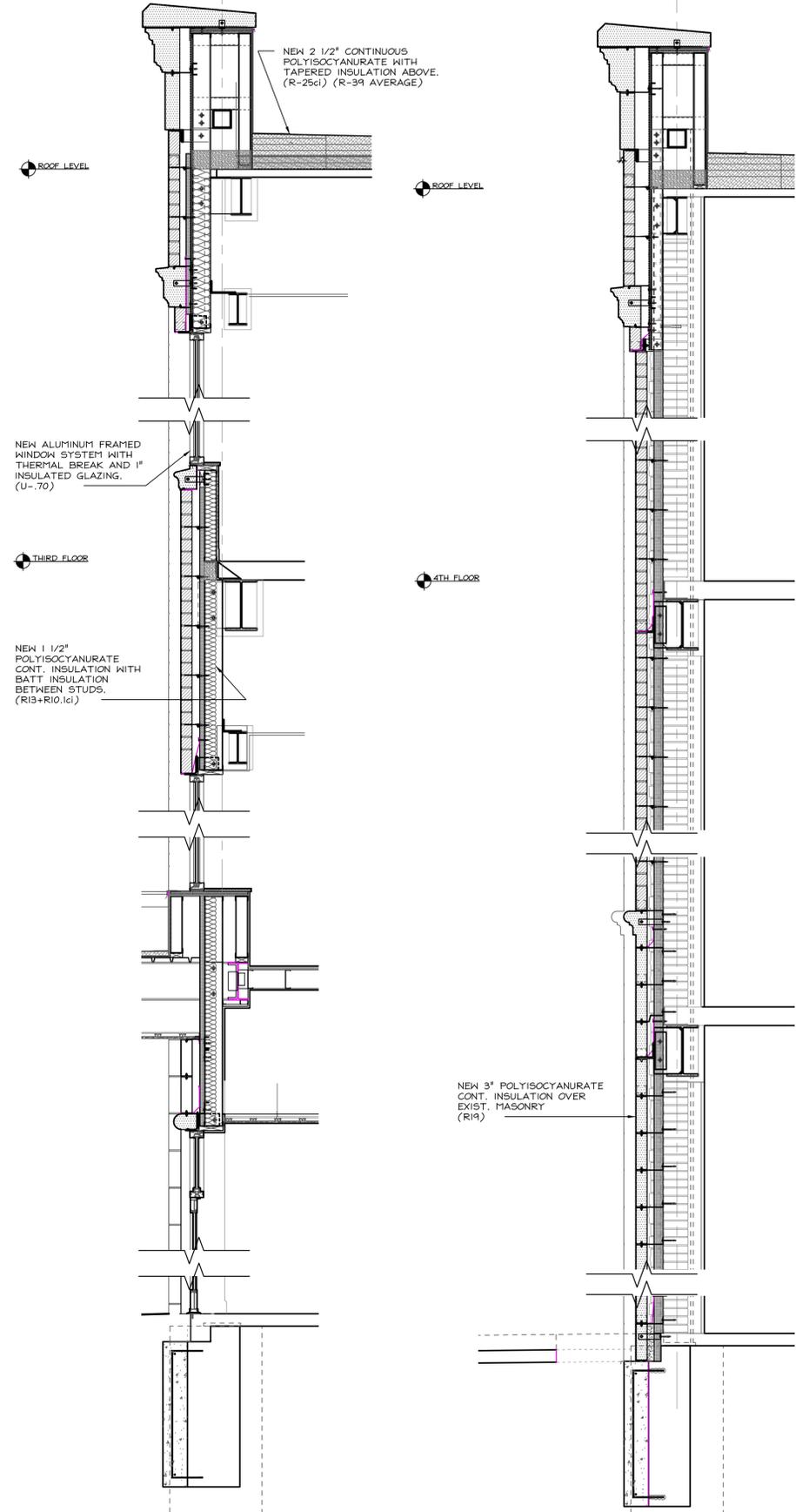
Design 3 Architecture
 300 Oxford Drive
 Suite 120
 Monroeville, PA 15146
 TEL (412) 373-2220
 FAX (412) 373-4571
 www.d3a.com

Project:
 First National Bank Facade
 100 Federal Street
 Pittsburgh, PA

Title:
 Exterior Perspective Views (Proposed)
 No. 2014-10.10E
 Date: 03/01/16
 Revised:



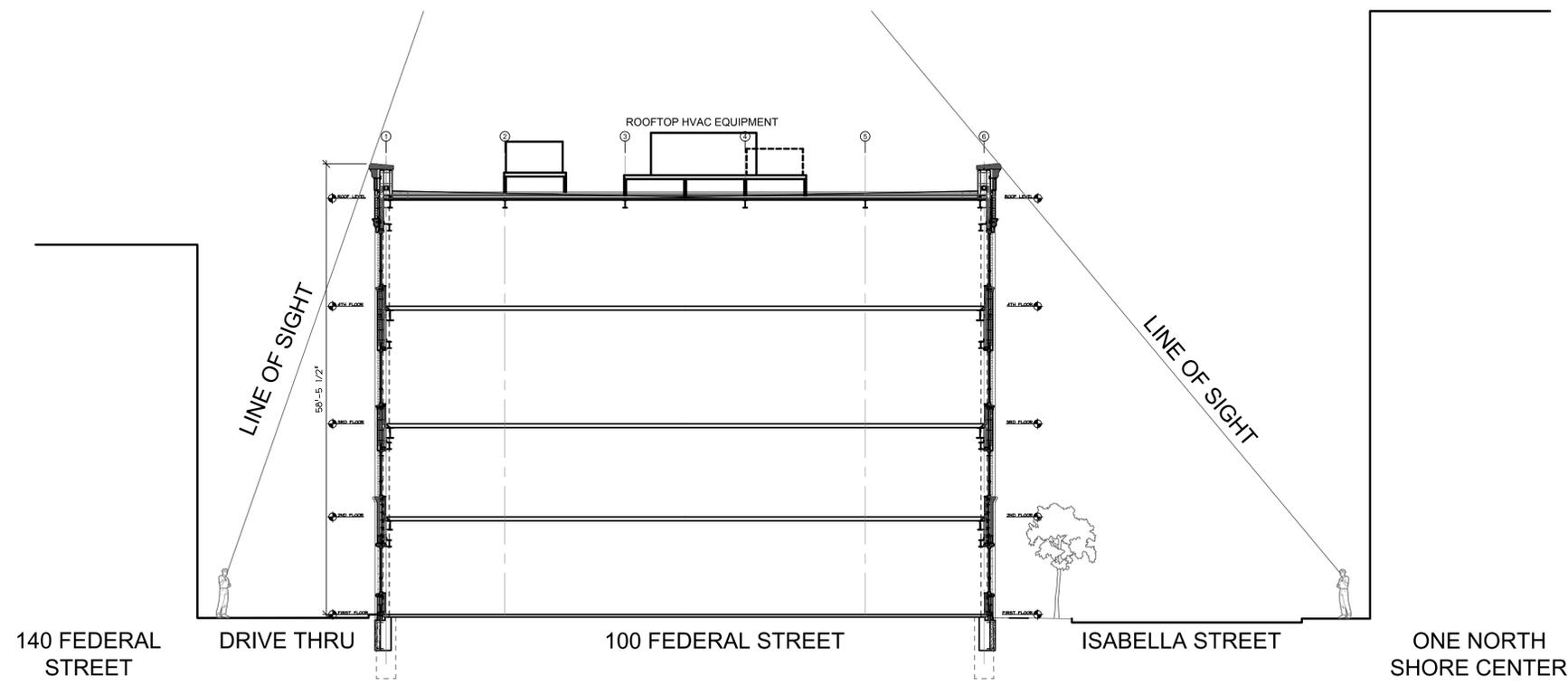
1 EXISTING CONDITIONS
SCALE: 1/2"=1'-0"



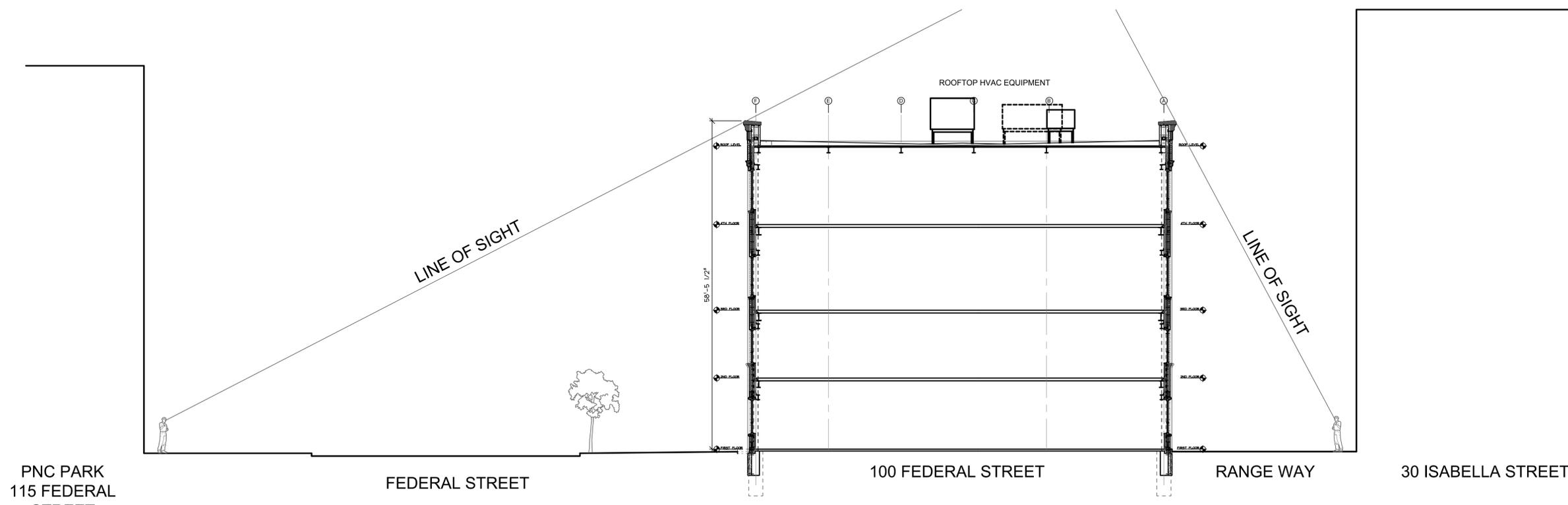
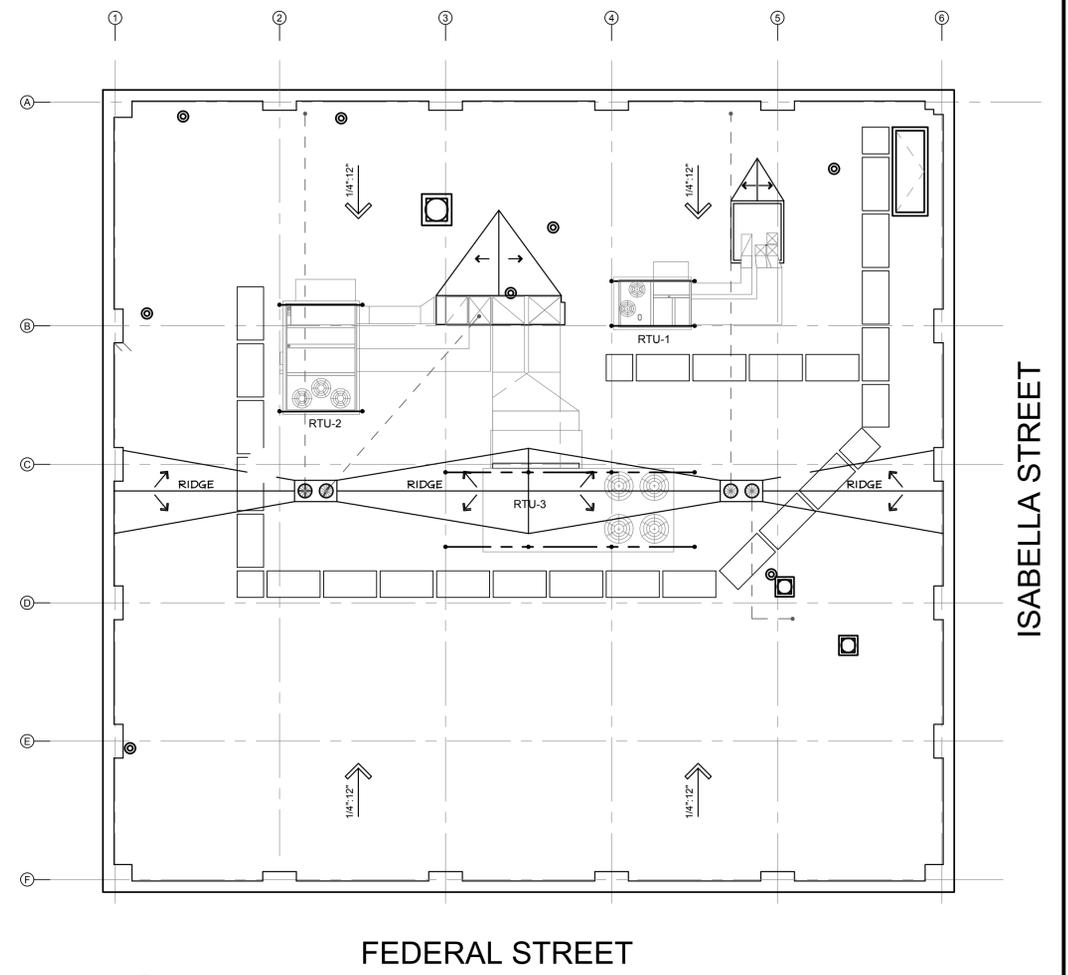
2 NEW WORK CONDITIONS
SCALE: 1/2"=1'-0"

Design 3 Architecture	
300 Oxford Drive Suite 120 Monroeville, PA 15146	TEL (412) 373-2220 FAX (412) 373-4571 www.d3a.com
Project: First National Bank Facade 100 Federal Street Pittsburgh, PA	
Title: Sustainability Comparison	
No. 2014-10.10E	Date: 03/01/16
Revised:	

DATE: 2/29/2016 10:17 PM
MOD. BY: AVILSON
DWG. NAME: 11/2013 PROJECTS2013-10 FNB NORTH SIDE 2013-10.10E PLAN COMM REVIEW 2013-10.10E A301
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SIGHT LINE STUDY AT ISABELLA STREET
SCALE: 1"=10'-0"



SIGHT LINE STUDY AT FEDERAL STREET
SCALE: 1"=10'-0"

<p>Design 3 Architecture</p> <p>300 Oxford Drive Suite 120 Monroeville, PA 15146</p> <p>TEL (412) 373-2220 FAX (412) 373-4571 www.d3a.com</p>	
<p>Project: First National Bank Facade 100 Federal Street Pittsburgh, PA</p>	
<p>Title: Visibility Impact Study and Roof Plan</p>	
<p>No. 2014-10.10E Date: 03/01/16</p>	
<p>Revised:</p>	



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: First National Bank - Kevin Carhart		Phone Number: (412) 359-2552	
Address: 55 Wyoming St.	City: Pittsburgh	State: PA	Zip Code: 15211
2. Applicant/Company Name: Design 3 Architecture PC Anthony R. Scruppi, AIA		Phone Number: (412) 373-2220	
Address: 300 Oxford Dr, 120	City: Monroeville	State: PA	Zip Code: 15146
Applicant/Contractor ID: (assigned by the City)			
3. Development Name:			
4. Development Location: 100 Federal Street, Pittsburgh, PA 15212			
5. Development Address: 100 Federal Street, Pittsburgh, PA 15212			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) N/A			
Proposed Zoning District:	DR-C		
Present Use of Site: (Select from attached list)	Bank (First Floor) & Office (Upper Floors)		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: 24861	Date Issued: September 08, 1969	Existing Use of Property: Financial Institution	
8. Estimated Construction:	Start Date: 04/-- /2016	Occupancy Date: / / Occupied	Project Cost: \$5 million (estimate)

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Bank, Office, Retail/Restaurant (Limited)

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: Facade renovation of existing four-story building. Scope includes removal of existing rubble stone masonry and granite panel/window system. New construction to include new brick shelf at foundation and exterior wall construction including insulation and face brick with new insulated window system. Interior renovations are part of a separate construction phase.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	N/A	sq ft
Existing to be Retained:	N/A	sq ft
Retained Area to be Renovated:	N/A	sq ft
To be Constructed:	612	sq ft NEW FRONT ENTRY PORTICO
Building Footprint:	6,000	sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	4	56'		
Proposed Addition/Extension			0	

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: N/A

17. Lot Area: 10,368 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')	8	0
Compact (7 1/4' x 16')	0	0
Handicap (13 1/2' x 19')	0	0

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> 0 </u> New Water Service Connection(s)	<u> 0 </u> Termination of Existing Water Service Tap(s)
<u> 0 </u> New Sewer Service Connection(s)	<u> 0 </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <i>EDWARD J LESOON JR</i>		Phone Number: (412) <i>441 1160</i>	
Address: <i>6025 BROAD</i> City: <i>SP</i> <i>Pgh</i>		State: <i>PA</i>	Zip Code: <i>15206</i>
2. Applicant/Company Name: <i>SAME</i>		Phone Number: ()	
Address:	City:	State:	Zip Code:
Applicant/Contractor ID:(assigned by the City) <i>Edward J. Lesoon Jr</i>			
3. Development Name:			
4. Development Location: <i>EAST Liberty</i>			
5. Development Address: <i>208-218 N. Highland Ave 15206</i>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: <i>/ /</i>	Occupancy Date: <i>/ /</i>	Project Cost: \$
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list):			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New		<input type="checkbox"/> Renovation, Interior	
<input type="checkbox"/> New Construction,		<input type="checkbox"/> Renovation, Exterior	
<input type="checkbox"/> Change in Use Only		<input type="checkbox"/> Renovation, Change in Use	
11. Describe the Development: <i>NEW FACADES ON THREE STORE FRONTS</i> <i>5 APARTMENTS ON 2ND & 3RD FLOOR</i> <i>RESTAURANT ON 1ST FLOOR</i>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: - 0 - sq ft
 Existing to be Retained: 4400 sq ft
 Retained Area to be Renovated: 4400 sq ft
 To be Constructed: _____ sq ft
 Building Footprint: _____ sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	3 (+basement) approx. 36' ?			
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: 5

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: 11
 Required: 5 (1 per apartment) + 6 (restaurant) = 11

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood (Sign)

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s) _____ Termination of Existing Water Service Tap(s)
_____ New Sewer Service Connection(s) _____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

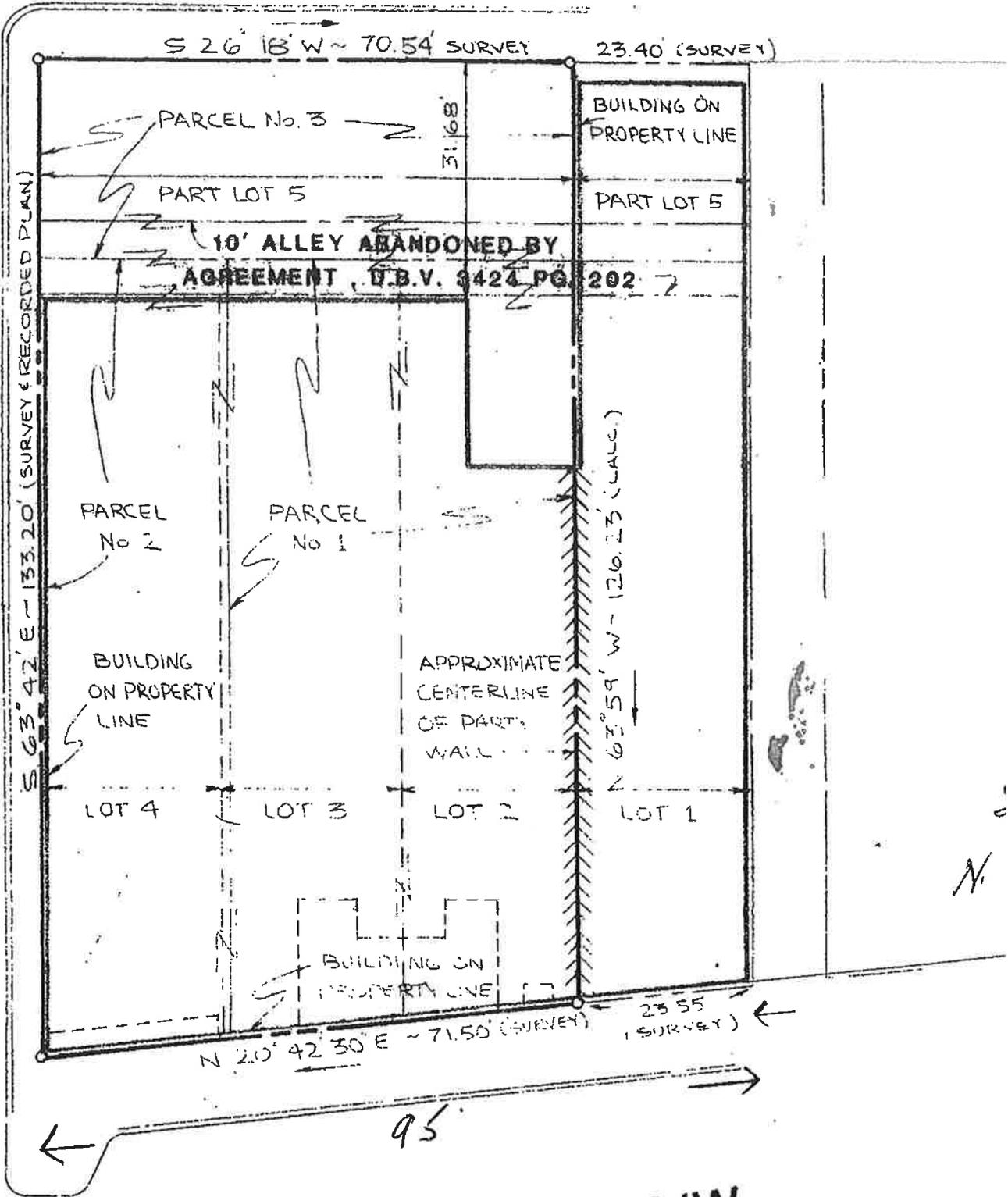
- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____

133'

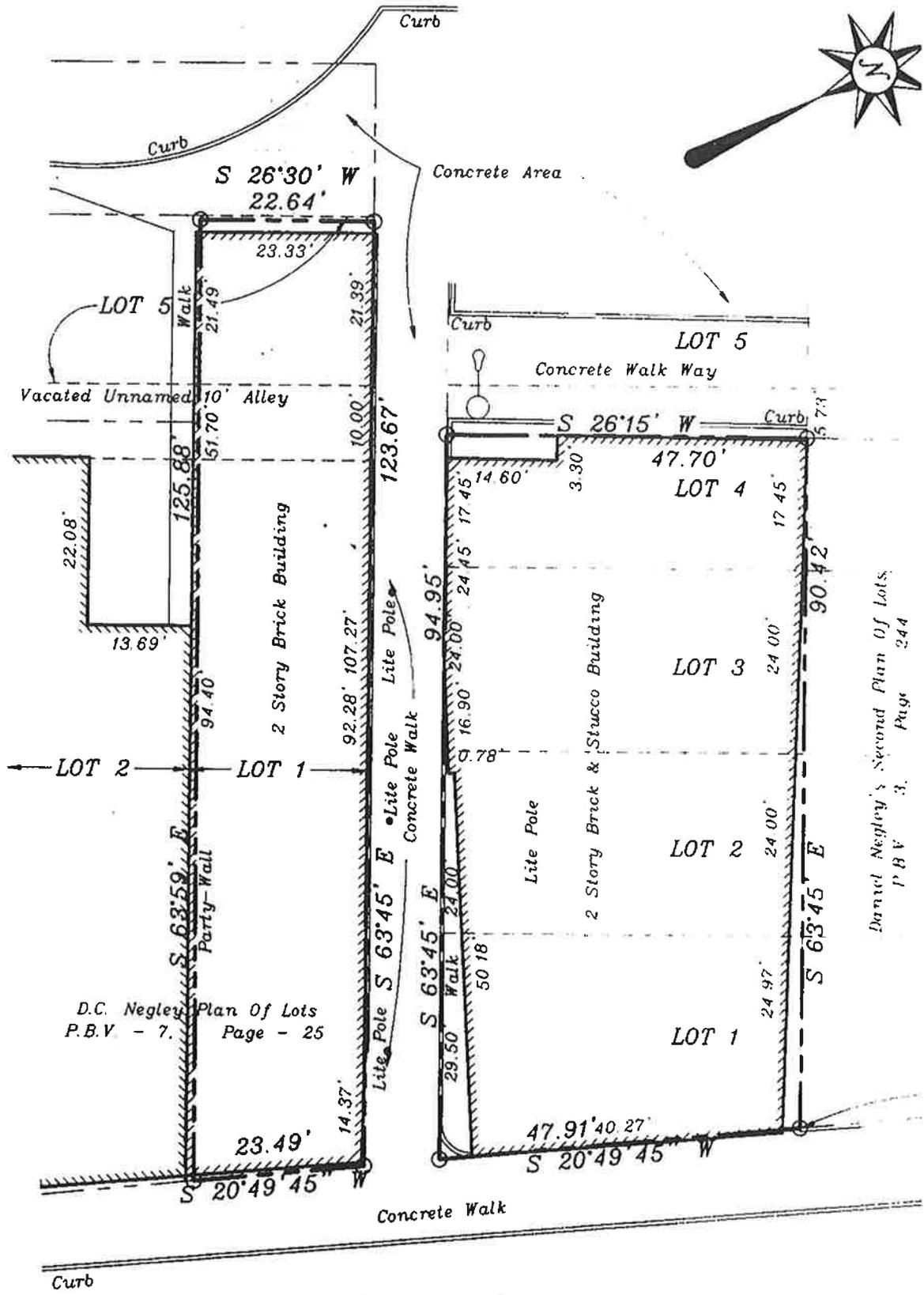
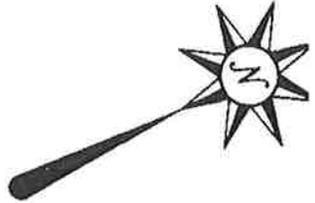
HARVARD STREET 30' R/W



NORTH HIGHLAND 60' R/W

153'

←



Now Or Formerly Francis O'hara Moreland

D.C. Negley Plan Of Lots
P.B.V - 7. Page - 25

Daniel Negley's Second Plan Of Lots.
P.B.V - 3. Page 244

NORTH HIGHLAND AVENUE -

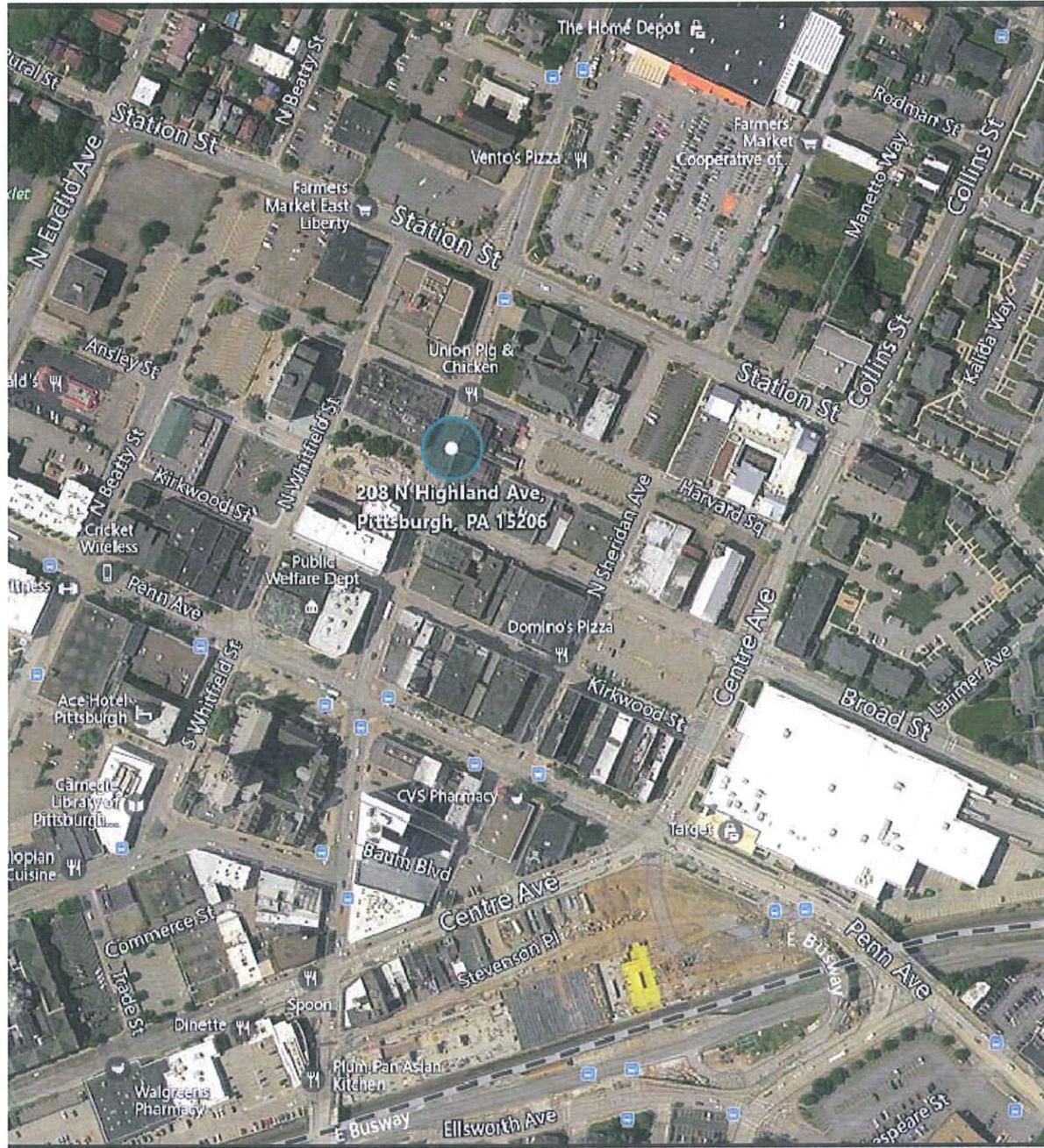
Blacktop Surface

INTRODUCTORY INFORMATION

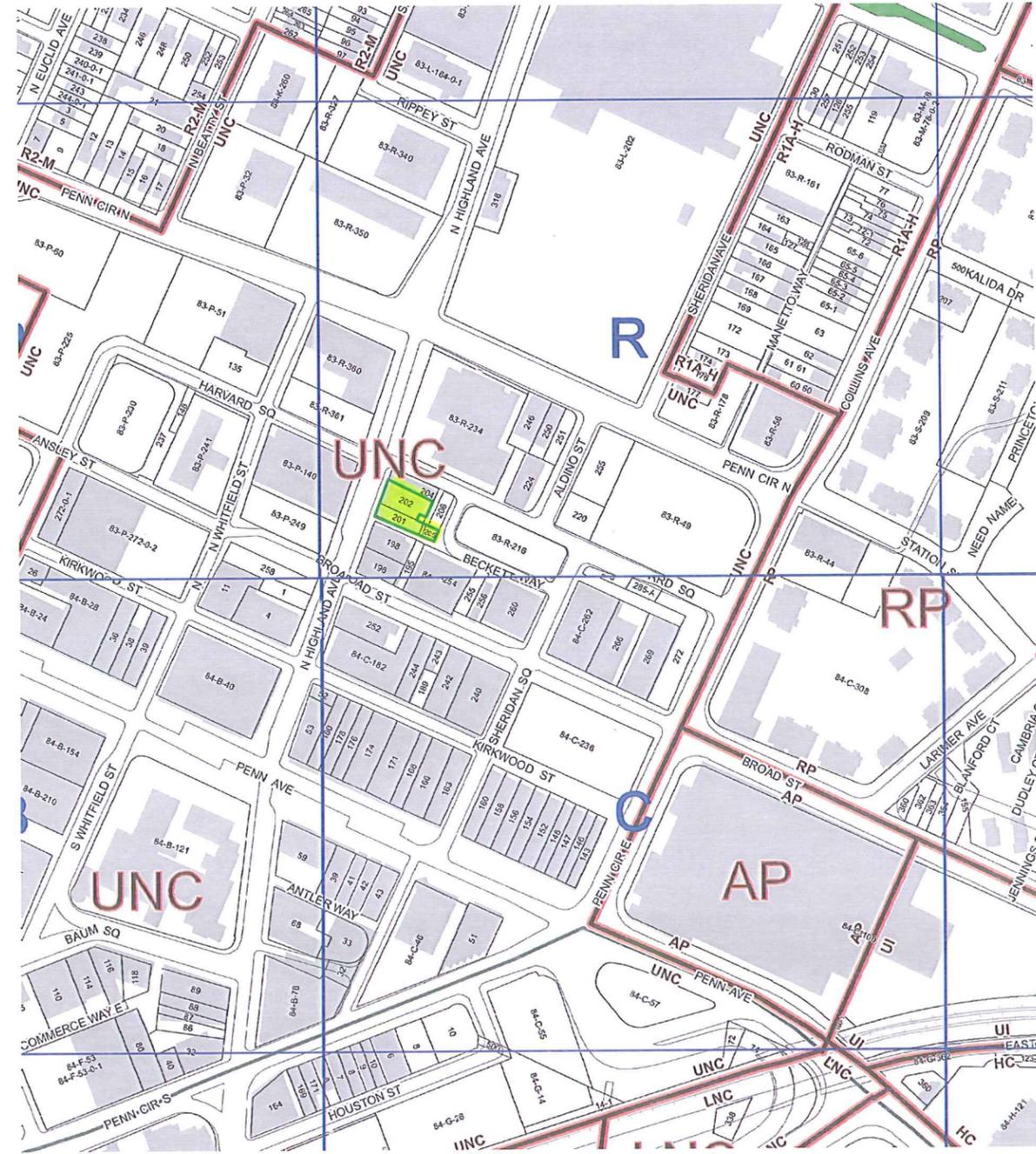
Location: **208-218 North Highland Ave.**
Pittsburgh, PA 15206

Zoning District: **UNC – Urban Neighborhood Commercial**

Description: Property is an existing three-story mixed use building, with three separate retail areas denoted with street-level storefronts with windows and separate entrances. Parking for up to 9 cars is located at the rear of the building. The parking area accommodates the (5) residential units and the commercial uses of the building. Special exception has been granted for the proposed restaurant use, finding it to be consistent with the UNC neighborhood and the uses in the surrounding area. The proposed new façade design is traditional and respectful to historical proportions and context, and includes new brick, dark aluminum framed windows and storefronts, stone sills, and traditional crown cornice at the façade parapet.

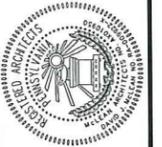


LOCATION PLAN - AERIAL
SCALE: NOT TO SCALE



LOCATION PLAN - ZONING
SCALE: NOT TO SCALE

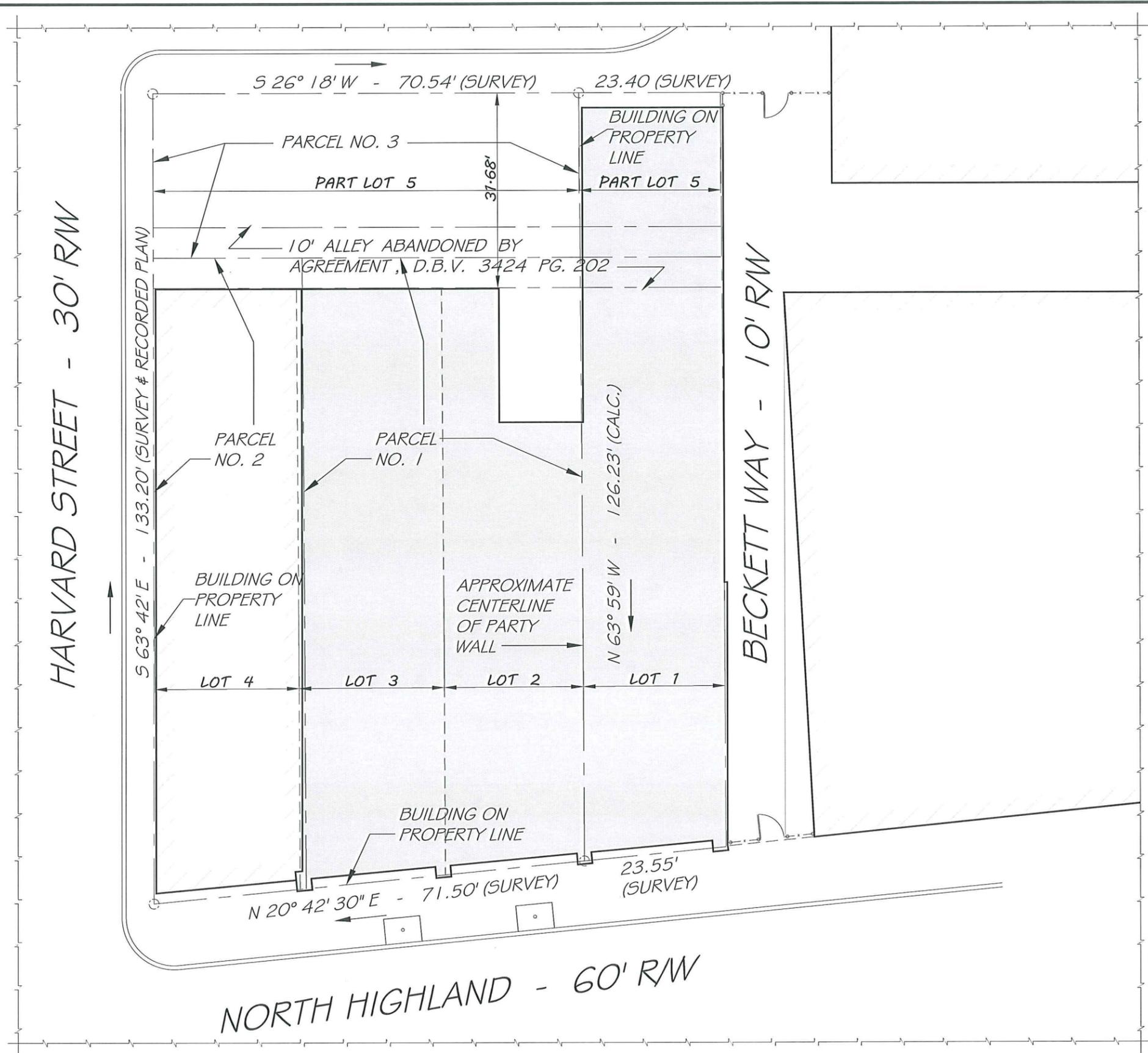
ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.



Improvements
to
208-218 North Highland Avenue
Pittsburgh, PA 15206

McLean Architects 809 Bingham St., Pittsburgh, PA 15203 412-381-3300 Fax: 412-381-2530 E-mail: mclean@mcleanarchitects.net	SITE PLAN DRAWN BY: CAD DATE: 2/26/16	PROJECT NO.: MA1914 NTS REVISION:
	LOCATION PLAN	APPROVED BY:

DRAWING NO.
1



EXISTING PLAN OF PROPERTY
SCALE: 1/8" = 1'-0"

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.



EXISTING PLAN OF PROPERTY

McLean Architects
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mclean@mcleanarchitects.net

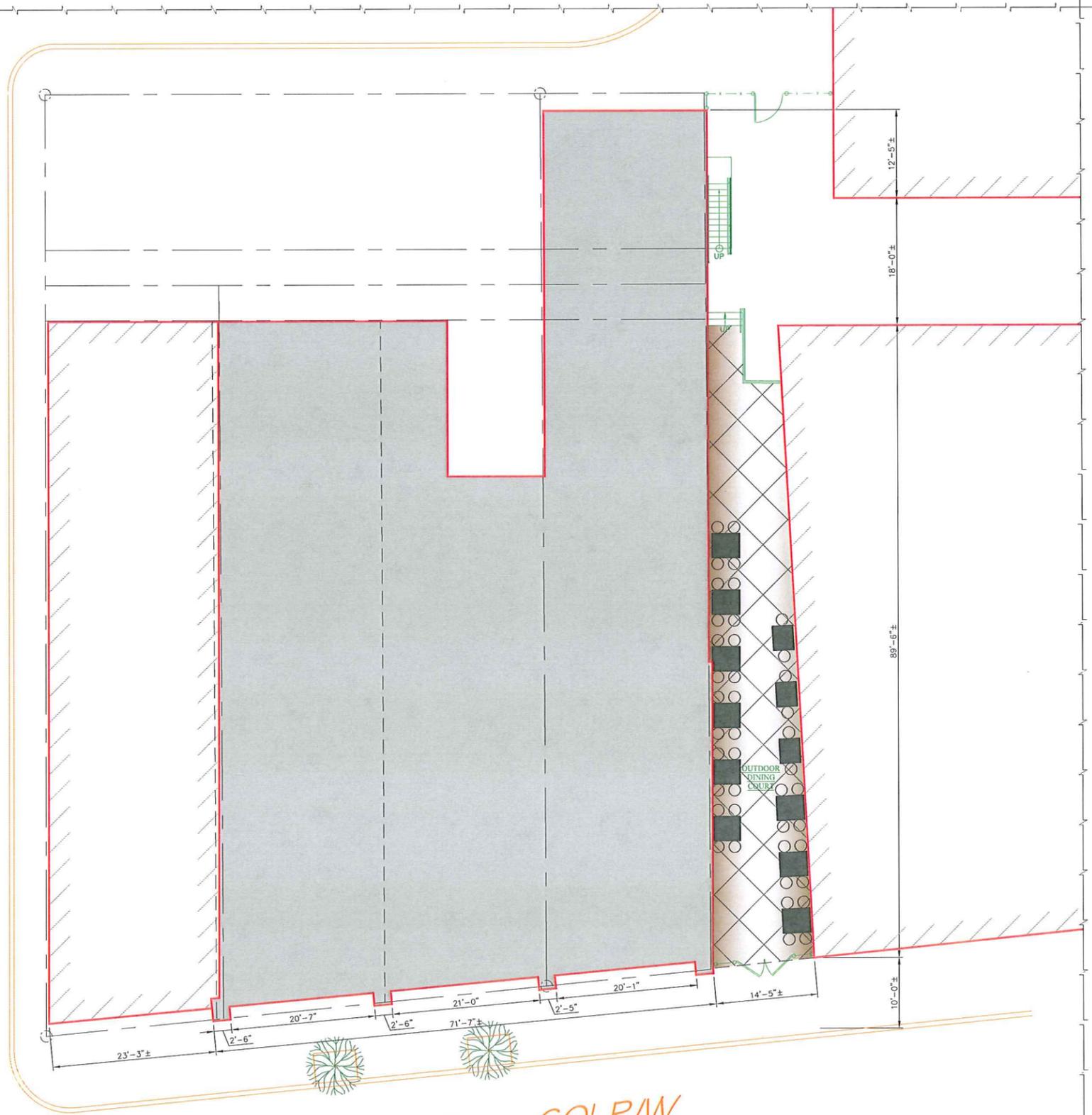
SITE PLAN	
DRAWN BY: CAD	SCALE: 1/8" = 1'-0"
DATE: 2/26/16	REVISED:
	APPROVED BY:

Improvements

to
208-218 North Highland Avenue
Pittsburgh, PA 15206

HARVARD STREET - 30' RW

NORTH HIGHLAND - 60' RW



SITE PLAN
SCALE: 1/8" = 1'-0"

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.



Improvements
to
208-218 North Highland Avenue
Pittsburgh, PA 15206

SITE PLAN

McLean Architects
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mclan@mcleanarchitects.net

SITE PLAN
DRAWN BY: CAD SCALE: 1/8" = 1'-0"
DATE: 2/28/16 REVISED: 3/11/14
APPROVED BY:

DRAWING NO.

3

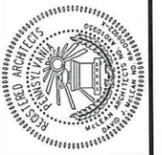


VIEW FROM SOUTHWEST (NORTH HIGHLAND AVE. AT BROAD ST.)
SCALE: NOT TO SCALE



VIEW FROM NORTHWEST (NORTH HIGHLAND AVE. AT HARVARD SQ.)
SCALE: NOT TO SCALE

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.



Improvements
to
208-218 North Highland Avenue
Pittsburgh, PA 15206

PHOTOS OF SURROUNDING CONTEXT

EXTERIOR PHOTOS	DATE	SCALE	NTS
DRAWN BY: CAD	2/26/16		
DATE		REVISIONS	APPROVED BY:

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mcleam@mcleanarchitects.net

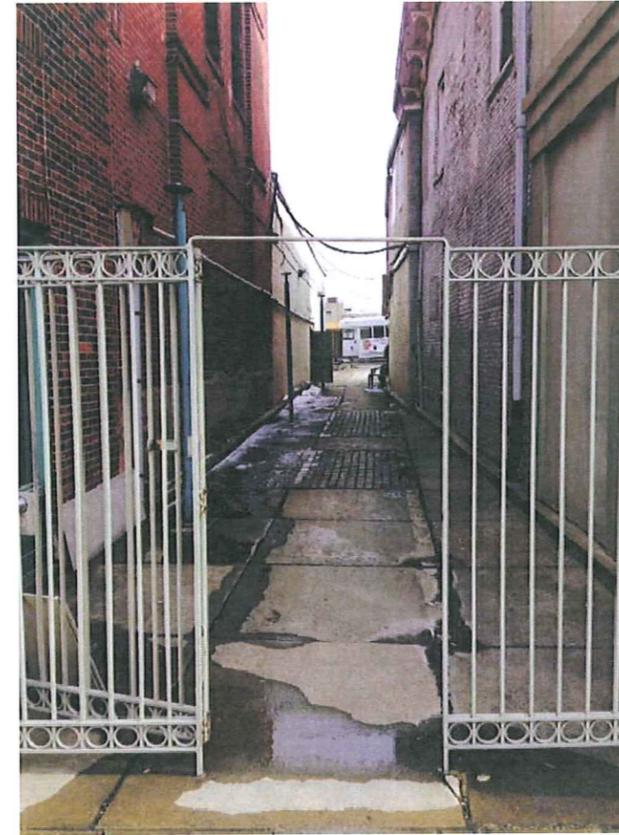
McLean Architects

DRAWING NO.

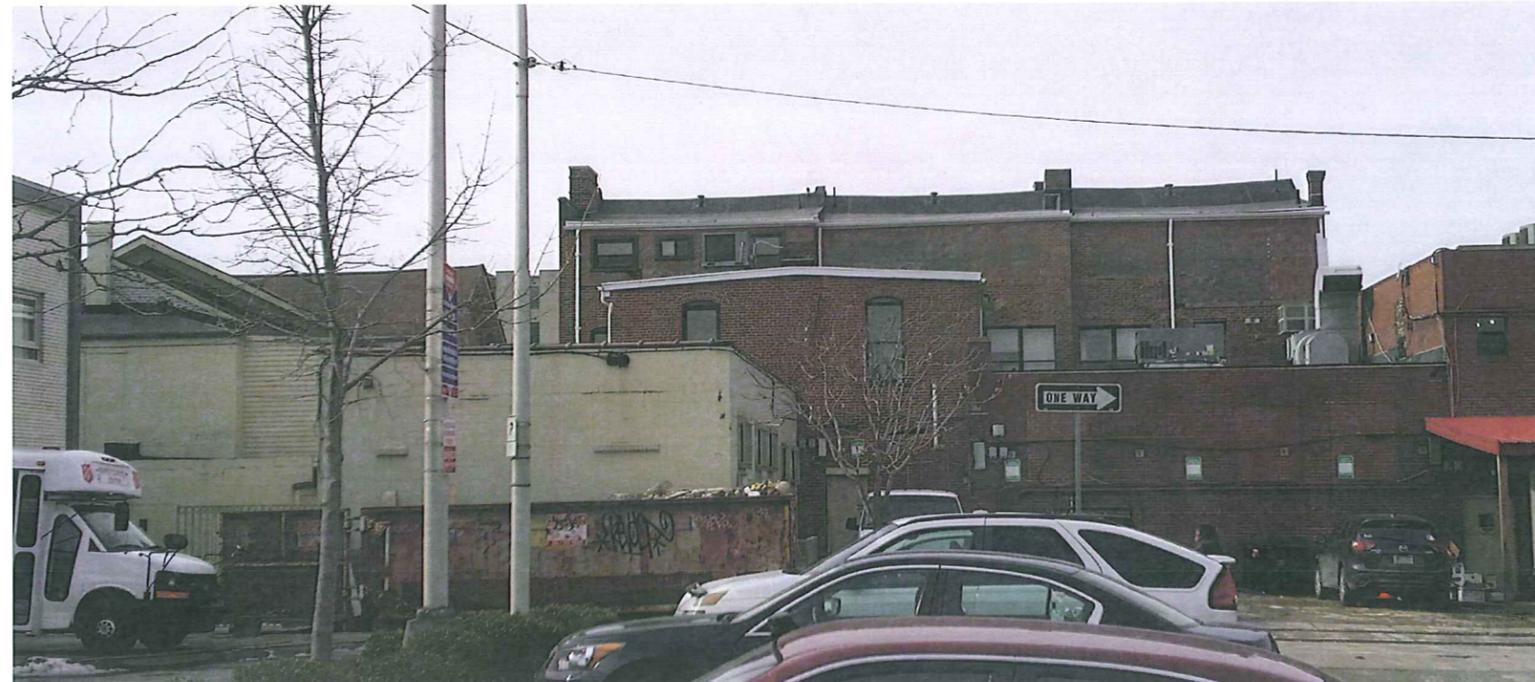
4



VIEW FROM SOUTHEAST (NORTH HIGHLAND AVE. AT BROAD ST.)
SCALE: NOT TO SCALE



VIEW FROM NORTH HIGHLAND AVE. INTO BECKETT WAY COURT
SCALE: NOT TO SCALE



VIEW FROM EAST (REAR ELEVATION)
SCALE: NOT TO SCALE

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.

Improvements
to
208-218 North Highland Avenue
Pittsburgh, PA 15206



PHOTOS OF SURROUNDING CONTEXT

EXTERIOR PHOTOS	
DRAWN BY: CAD	SCALE: NTS
DATE: 2/26/16	REVISION:
APPROVED BY:	

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mcleam@mcleanarchitects.net

DRAWING NO.

5

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.

Improvements
to
208-218 North Highland Avenue
Pittsburgh, PA 15206



ELEVATIONS VISIBLE FROM STREET

BUILDING ELEVATIONS			
DRAWN BY:	CAD SCALE:	DATE:	APPROVED BY:
2/24/16	1/4" = 1'-0"	2/24/16	

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mclean@mcleanarchitects.net

DRAWING NO.
6

TOP OF PARAPET
ELEV.+ 31'-8"±

THIRD FL.
ELEV.+ 28'-0"±

SECOND FL.
ELEV.+ 17'-0"±

MEZZANINE FL.
ELEV.+ 8'-0"±

FIRST FL.
ELEV.+ 0'-0"



FRONT ELEVATION (NORTH HIGHLAND AVENUE)
SCALE: 1/4" = 1'-0"

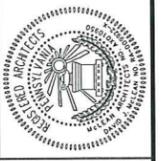


SIDE ELEVATION (BECKETT WAY)
SCALE: 1/4" = 1'-0"



PERSPECTIVE VIEW FROM SOUTHWEST (NORTH HIGHLAND AVE.)
 SCALE: NOT TO SCALE

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.



Improvements
 to
 208-218 North Highland Avenue
 Pittsburgh, PA 15206

PERSPECTIVE	
DRAWN BY: CAD	SCALE: NTS
DATE: 2/26/16	REVISION:
APPROVED BY:	

PERSPECTIVE VIEW
McLean Architects, LLC
 809 Bingham St., Pittsburgh, PA 15203
 412-381-3300 Fax: 412-381-2530
 E-mail: mclean@mcleanarchitects.net

DRAWING NO.
7

SUSTAINABILITY & STORMWATER MANAGEMENT SUMMARY

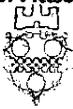
- NO ADDITIONS OR EXPANSIONS OF EXISTING BUILDING AREAS ARE PROPOSED.
- ALL EXISTING ROOF SYSTEMS REMAIN.
- NO ADDITIONAL HARD SURFACE AREAS ADDED TO SITE.
- NO ADDITIONAL RUN-OFF OF STORMWATER.
- NEW FAÇADE MATERIALS ARE SELECTED AND DESIGNED FOR SUSTAINABILITY AND PERMANANCE.

ACCESSIBILITY & UNIVERSAL DESIGN SUMMARY

- ALL HIGHLAND AVE. ENTRANCES (208-218) WILL BE FLUSH AT THRESHOLDS AND ACCESSIBLE.
- THE MAIN PUBLIC ENTRANCE TO THE OUTDOOR DINING COURT WILL BE FLUSH AT THRESHOLD AND FULLY ACCESSIBLE.
- THE DINING COURT WILL BE LEVEL – WITH SLOPE FOR DRAINAGE ONLY, RESURFACED WITH EXPOSED AGGREGATE CONCRETE.
- INTERIOR WORK FOR THE RESTAURANT SPACE (208) WILL INCLUDE FULLY ACCESSIBLE RESTROOMS.

COMMUNITY PROCESS SUMMARY

- ZONING APPROVAL WAS GRANTED ON SEPTEMBER 17, 2015.
- CONCURRENT WITH ZONING APPROVAL, THE PROPOSED IMPROVEMENTS WERE REVIEWED AND SUPPORTED BY THE BAUM-CENTER INITIATIVE.
- DEPARTMENT OF CITY PLANNING STAFF REVIEWED THE FAÇADE DESIGN ON FEBRUARY 8, 2016 AND FOUND IT ADDRESSES URBAN DESIGN TARGETS IN THAT IT KEEPS TRADITIONAL MATERIALS AND COORDINATES WITH THE NEIGHBORHOOD CHARACTER.



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Pittsburgh Gateways	Phone Number: (412) 802-0988
---	--------------------------------

Address: 1435 Bedford Ave	City: Pittsburgh	State: Pennsylvania	Zip Code: 15219
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2. Applicant/Company Name: Renaissance 3 Architects	Phone Number: (412) 431-2480
---	--------------------------------

Address: 48 S. 14th St.	City: Pittsburgh	State: Pennsylvania	Zip Code: 15203
-------------------------	------------------	---------------------	-----------------

Applicant/Contractor ID:(assigned by the City)

3. Development Name: Pitt Energy Innovation Center

4. Development Location:

5. Development Address: 1435 Bedford Ave, Pittsburgh, Pennsylvania 15219

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:

Present Use of Site:
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: 14-OCC-00697	Date Issued: 11/14/2014	Existing Use of Property: B
---	-------------------------	-----------------------------

8. Estimated Construction:	Start Date: / /	Occupancy Date: / /	Project Cost: \$ 7.7 mil
----------------------------	-----------------	---------------------	--------------------------

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list):

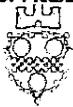
10. Select the Type of Work:

- New Construction, New Renovation, Interior and roof top hvac
- New Construction, Renovation, Exterior
- Change in Use Only Renovation, Change in Use

11. Describe the Development: Exterior and roof mounted exhaust stacks required for dilution and expulsion of gases from specialized research labs.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	0	sq ft
Existing to be Retained:	60,000	sq ft
Retained Area to be Renovated:	15,000	sq ft
To be Constructed:	0	sq ft
Building Footprint:	22,000	sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	5	55		
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: _____

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s) _____ Termination of Existing Water Service Tap(s)
 _____ New Sewer Service Connection(s) _____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

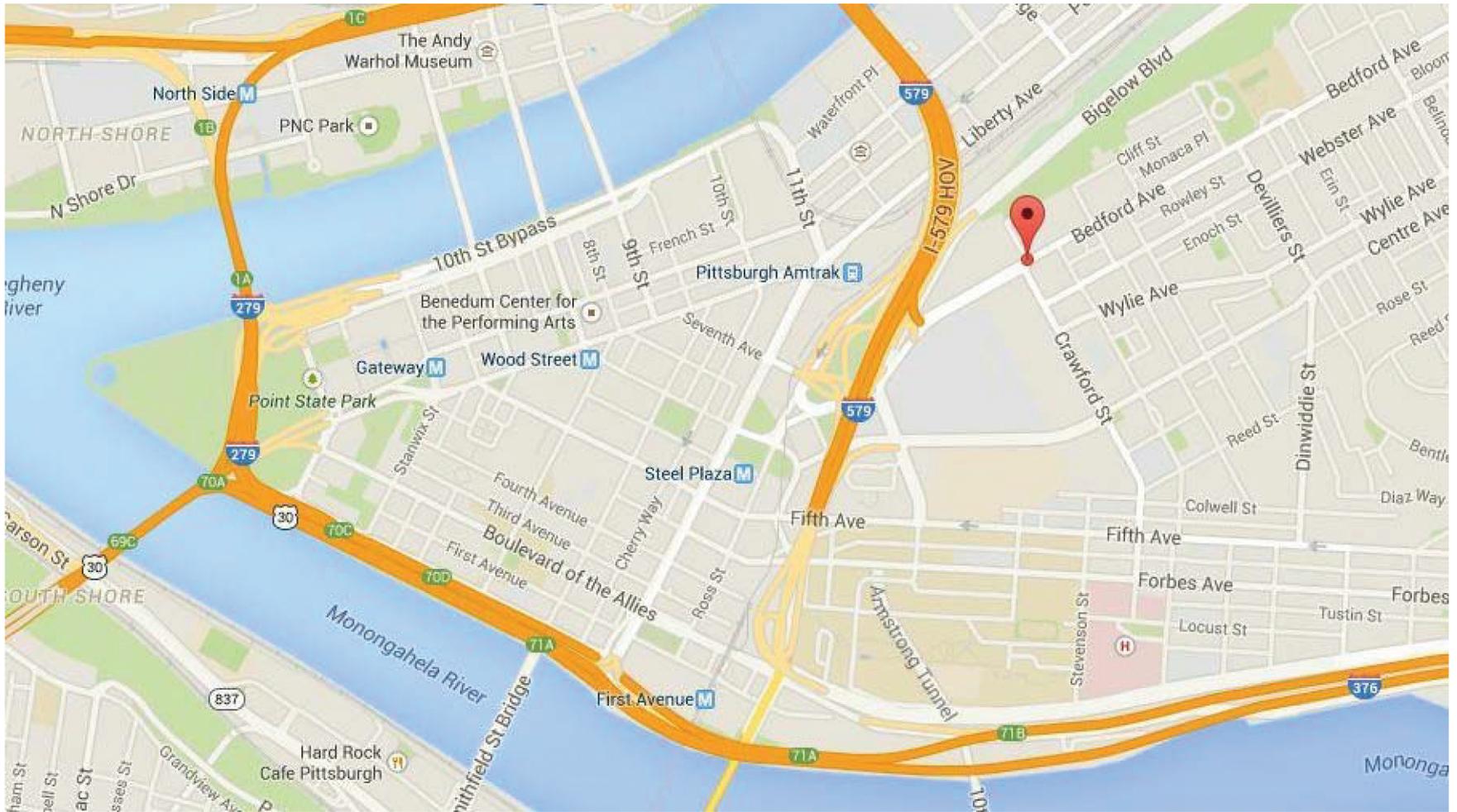
WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

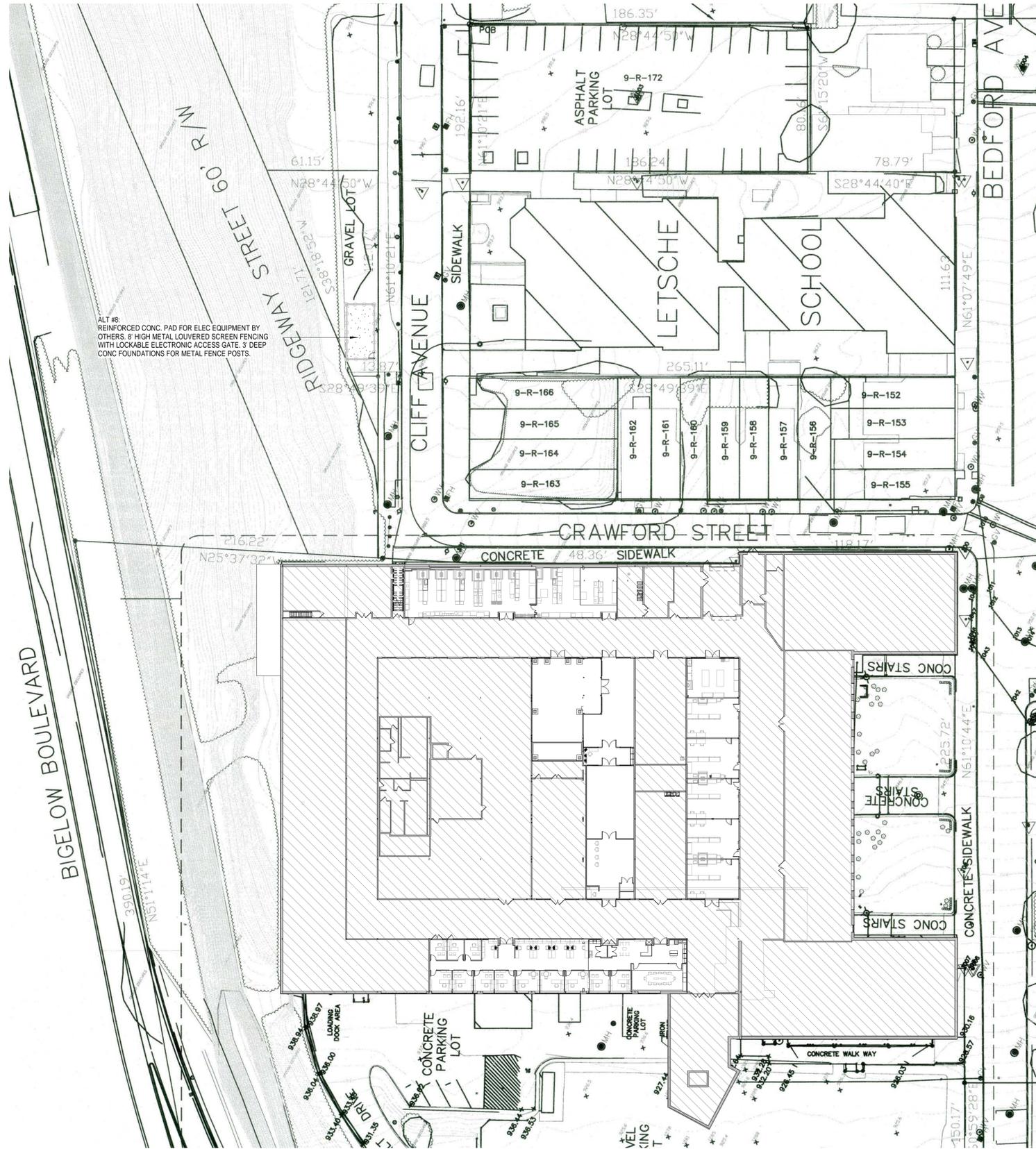
Applicant Signature: _____



1

Location Map
NOT TO SCALE





1 First Floor Plan(1)
1/32" = 1'-0"



Renaissance 3 Architects, P.C.
48 South 14th Street
Pittsburgh, PA 15203
Phone: 412-431-2480
Fax: 412-431-2670
www.r3a.com
Architecture
Engineering
Interiors
Development Management

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Pittsburgh Gateways

Energy Innovation Center - University of Pittsburgh, Swanson School of Engineering

1435 Bedford Avenue
Pittsburgh, PA 15219

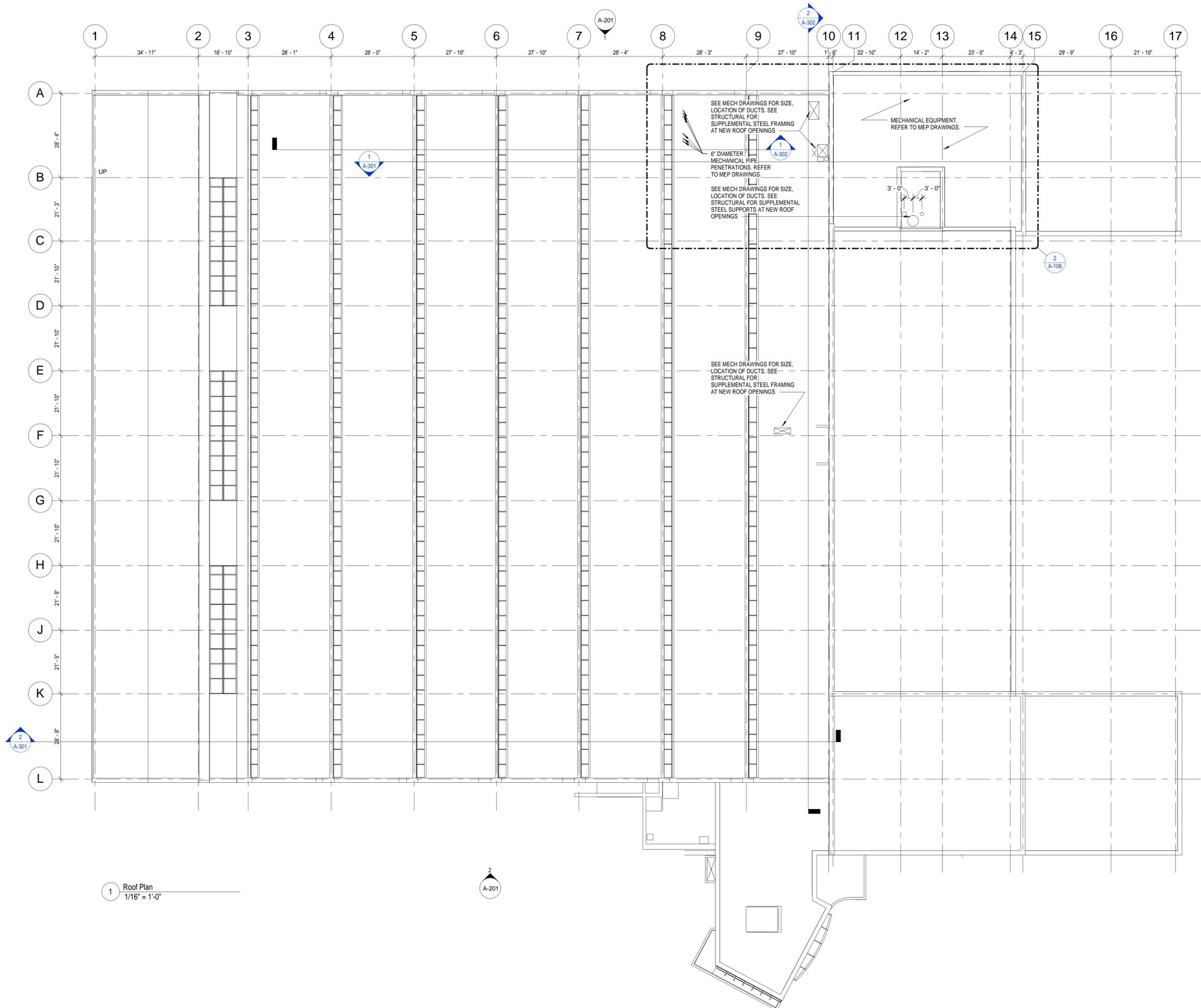
CONSTRUCTION DOCUMENTS

ISSUED: 1/18/2016

Site Plan

R3A PROJECT # 14065

A-100



- GENERAL NOTES**
- INTERIOR DIMENSION ARE FROM FACE OF FINISH WALL TO FACE OF FINISHED WALL, UNLESS NOTED OTHERWISE. DIMENSIONS CONNECT COLUMN LINES, FACE OF BRICK, FACE OF METAL SIDING. REFER TO WALL TYPES AND WALL SECTIONS FOR THICKNESS OF WALLS.
 - STOREFRONT WALL TO HAVE A MINIMUM OF 1" GAS FILLED INSULATED GLASS PANELS. ANY GLASS INSTALLED LESS THAN 36" ABOVE THE FINISHED FLOOR TO BE TEMPERED GLASS.
 - ALUMINUM CURTAIN WALL TO HAVE A MINIMUM OF 1" GAS FILLED INSULATED GLASS PANELS. REFER TO WINDOW TYPES FOR LOCATION OF CLEAR, TEXTURED AND TEMPERED GLASS.
 - CONTRACTOR SHALL PROVIDE APPROPRIATE AND LEVEL SUBSURFACE FOR FINISH MATERIAL.
 - CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AND OTHER TEMPORARY FACILITIES TO PROTECT THE PUBLIC, STORED MATERIALS AND INSTALLED MATERIALS.
 - REFER TO LIFE SAFETY PLANS (G-101 SERIES OF SHEETS) FOR LOCATION AND EXTENT OF FIRE RATED ASSEMBLIES.
 - PROVIDE BLOCKING REQUIRED FOR CASEWORK AND TOILET ACCESSORIES AND FOR FUTURE FURNITURE INSTALLATION. COORDINATE LOCATION OF BLOCKING WITH OWNER'S FURNITURE INSTALLER.
 - COORDINATE ACCESS PANEL LOCATIONS & TYPE REQUIRED WITH M.P.E. DRAWINGS & CEILING TYPE INDICATED ON THE REFLECTED CEILING PLANS.
 - COLUMN LINE DESIGNATIONS ARE FOR CENTER LINES OF COLUMNS. REFER TO STRUCTURAL DRAWINGS FOR COLUMN SIZES.
 - FINISHED FIRST FLOOR ELEVATION IS 967.71'
 - ALTERNATE #1: NEW MICROTURBINE; MEP EQUIPMENT AND CONNECTIONS, ENCLOSURE, INSULATED GWB, FRAMING AND DOOR ASSEMBLY AT F LEVEL.
 - ALTERNATE #2: NEW TPO ROOF AND SHEATHING ASSEMBLY AT 4TH FLOOR ROOF.
 - ALTERNATE #3: NEW TPO ROOF AND SHEATHING ASSEMBLY AT STACK FAN ENCLOSURE ROOF (INCLUDES DEMOLITION OF EXISTING BALLAST AND SUBSTRATE)
 - ALTERNATE #4: MOBILE LABORATORY CASEWORK PER SPECIFICATION SECTION 123553
 - ALTERNATE #5: DEDUCT ALTERNATE TO SHELL P.J. LABS (ELIMINATE FIXTURES AND FITTINGS, FUME HOODS, EQUIPMENTS, CEILINGS, AND FLOORING. GWB REMAINS.)
 - ALTERNATE #6: MECHOSHADE BOD. ALTERNATE FOR SHADING AUTOMATION CONTROLS TO DAYLIGHTING SENSORS ON ROOF INTEGRATED WITH LIGHT FIXTURES.
 - ALTERNATE #7: PIPE SYSTEM AND INFRASTRUCTURE PAINTING AT LABS AND OFFICES.
 - ALTERNATE #8: CLIFF STREET SUBSTATION SECURITY FENCE ENCLOSURE, DOOR AND LIGHTING. ALTERNATE PROVISION SHALL INCLUDE ALL DELEGATED DESIGN REQUIREMENTS BY TENANTS EQUIPMENT VENDOR FOR: EQUIPMENT, ACCESSORIES, INFRASTRUCTURE, SECURITY AND RELATED REQUIREMENTS. EATON TO SECURE ALL REQUIRED PERMITS AND APPROVALS.
 - ALTERNATE #9: CLIFF STREET SUBSTATION CONDUIT AND PATHWAY.
 - ALTERNATE #10: DEDUCT ALTERNATE: VCT FLOORING AT ALL LABS, SUPPORT SPACES.
 - ALTERNATE #11: DEDUCT ALTERNATE: EXISTING DOOR FRAMES AT CORRIDOR TO REMAIN.
 - DOOR ACCESS TO LAB 109 MECHANICAL EQUIPMENT MEZZINNE AND SUPPOR TO BE PROVIDED BY OWNER.
 - REMOVE ALL EXISTING BRACKET FASTENERS AND PLATES WHERE LAMINATED GWB OCCURS.
 - COORDINATE LOCATION OF CEILING SERVICE PANELS TO MATCH BENCH ENDCAPS FOR SERVICES.



Renaissance 3 Architects, P.C.
 48 South 14th Street
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 Fax: 412-431-2670
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 Architecture
 Engineering
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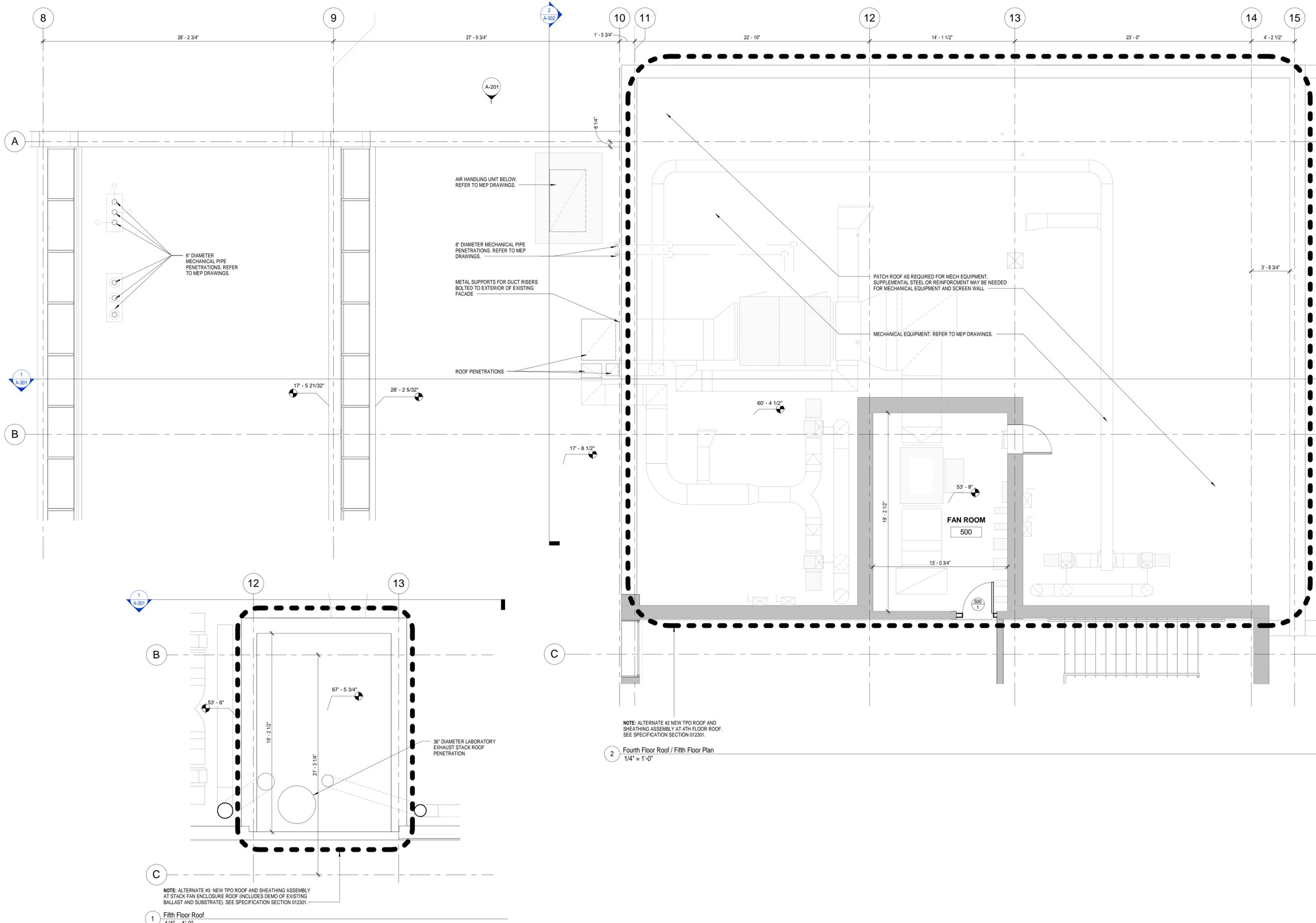
CONSTRUCTION DOCUMENTS

ISSUED: 1/18/2016

Roof Plan

R3A PROJECT # 14065

A-105



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 Pittsburgh, PA 15219

CONSTRUCTION DOCUMENTS

ISSUED: 1/18/2016

Enlarged Roof Plans

R3A PROJECT # 14065

A-106



CLIFF & CONNORS

CLIFF & CONNORS

No Parking

Handicap Accessible

CLIFF & CONNORS

ONE WAY



Manly St











**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: UPMCS		Phone Number: (412) 578-9586	
Address: 8600 Forbes Ave Iroquois Bldg.	City: Pittsburgh	State: PA	Zip Code: 15213
2. Applicant/Company Name:		Phone Number: ()	
Address: 600 Grant Street UST 01 60 03	City: Pittsburgh	State: PA	Zip Code:
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Iroquois Building			
4. Development Location: 3600 Forbes Avenue - Oakland			
5. Development Address: 3600 Forbes Avenue, Pittsburgh, PA 15213			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	N/A		
Present Use of Site: (Select from attached list)	82		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: 73165	Date Issued: 3/10/1987	Existing Use of Property: General Office/ Retail (limited)	
8. Estimated Construction:	Start Date: 4 / 1 / 16	Occupancy Date: / / Current	Project Cost: \$ unknown

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 82

10. Select the Type of Work:

<input type="checkbox"/> New Construction, New	<input type="checkbox"/> Renovation, Interior
<input type="checkbox"/> New Construction,	<input checked="" type="checkbox"/> Renovation, Exterior
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use

11. Describe the Development:

Exterior facade restoration and roof replacement

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	0	sq ft
Existing to be Retained:	140,000	sq ft
Retained Area to be Renovated:	0	sq ft
To be Constructed:	0	sq ft
Building Footprint:	23,000	sq ft

15. Height of Structures:	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	6	70	N/A	N/A
Proposed Addition/Extension			N/A	N/A

Provide Accessory Structure Type(s) and Height(s): N/A

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: N/A

17. Lot Area: 98,000 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> N/A </u>	New Water Service Connection(s)	<u> N/A </u>	Termination of Existing Water Service Tap(s)
<u> N/A </u>	New Sewer Service Connection(s)	<u> N/A </u>	Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
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- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
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- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



Iroquois Building

3600 Forbes Avenue, Pittsburgh, PA

Building Envelope Renovation

Original Building 1902

Pittsburgh Architect Frederick Osterling

Construction Completed 1902

Original Use Was Luxury Apartments

Separate Towers Allowed Ventilation

Included Retail Space at Ground Level



Current Building 2015

Retains Original Building Architecture and Most of the Original Building Materials

Conclusions of Evaluation Performed in 2015 – *“The level of deterioration is such that unless corrective action is taken in the near term, more severe damage including potential hazards from falling materials are imminent”*

Complete Building Envelope and Roofing Restoration is Recommended for 2016



Scope of 2016 Restoration

Cleaning, Pointing and Repair of All Brick Masonry Areas

Cleaning, Pointing and Repair of All Architectural Terra-Cotta

Repairs and Refinishing of Architectural Metal Cornice

Replacement of All Roofing and Flashing with System Complying with Current Energy Codes



Brick Masonry Restoration

Pointing has Deteriorated Allowing Water Infiltration Causing Spalling and Cracking of Brick Units.

Brick are “Non-Standard” Size Requiring Restoration or Replacement with Brick from More Concealed Building Areas.

All Mortar Will be Restored with Deep Pointing to Prevent Water Infiltration.

All Brick Areas will Receive Restoration Cleaning to Remove Staining and Dirt.



Terra-Cotta Restoration

Pointing has Deteriorated Allowing Water Infiltration Causing Cracking and Potential Damage to Attachments

Units are All “Custom” Configurations Requiring Patching and Repair to Existing Pieces.

All Mortar Will be Restored with Deep Pointing to Prevent Water Infiltration.

All Terra-Cotta Areas will Receive Restoration Cleaning to Remove Staining and Coating to Restore Original Appearance



Metal Cornice Restoration

Cornice is Made up of Components Soldered Together to Create a Large Architectural Unit

Many Connections Have Failed Allowing Some Components to Fall.

New Components Will be Fabricated to Replace Those Missing

All Connections Will be Inspected and Repaired as Needed

All Cornice will be Cleaned to Bare Metal and Have High Performance Coatings Applied



Retail Level Restoration

Retail Level has been Received Past Restoration Work and Recent Architectural Coating

Minor Restoration Work is Planned

Architectural Improvements May be Incorporated Based on Client Input During Design.

Sidewalk Protection will be Provided to Allow Access During Construction

Photo Reflects Similar Retail Protection During Construction.



Roof Restoration

All Roof Membrane and Flashing Will be Replaced

Insulation Will be Added to Comply with Current Energy Codes

Roof Restoration will be Phased to Prevent Damage During the Envelope Restoration Process

New Roof System Will Carry a 25+ Year Warranty



Project Community Support

- The Oakland Task Force – November 10, 2015



Project Schedule

Design – November 2015 – February 2016

Bidding – February 2016 – April 2016

Construction – April 2016 – November 2016



Iroquois Building

Building Envelope Renovation

POP 16-022

City of Pittsburgh



DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

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Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: See attached Phone Number: ()

Address: City: State: Zip Code:

2. Applicant/Company Name: Campus Advantage Development LLC Phone Number: (407) 790-7993

Address: 110 W. Basin Road City: Austin State: Texas Zip Code: 75746

Applicant/Contractor ID:(assigned by the City)

3. Development Name: Forbes Avenue Apartments

4. Development Location: 3407, 3417, 3427 Forbes Avenue

5. Development Address: 3407 Forbes Avenue, Pittsburgh, PA 15213

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District:

Present Use of Site:
(Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: Date Issued: Existing Use of Property:

8. Estimated Construction: Start Date: 10 / 1 /2016 Occupancy Date: 8 / 1 /2018 Project Cost: \$ TBD

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 5, 99, 87, 105

10. Select the Type of Work:

- New Construction, New Renovation, Interior
- New Construction, Renovation, Exterior
- Change in Use Only Renovation, Change in Use

11. Describe the Development: A 197-unit structure with structured parking and restaurant and retail use located on the first floor of the structure.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	<u>to be provided</u>	sq ft
Existing to be Retained:	_____	sq ft
Retained Area to be Renovated:	_____	sq ft
To be Constructed:	<u>280,044</u>	sq ft
Building Footprint:	<u>33,116</u>	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	1			102
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: 197

17. Lot Area: 38,071 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	57	78
Compact (7 1/4' x 16')		63
Handicap (13 1/2' x 19')		7

Off-Street Loading Spaces: N/A
 Actual: 2
 Required: 3

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- | | |
|--|---|
| <u> X </u> New Water Service Connection(s) | <u> X </u> Termination of Existing Water Service Tap(s) |
| <u> X </u> New Sewer Service Connection(s) | <u> X </u> Termination of Existing Sewer Service Tap(s) |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: Michael A Kosman (attorney)

Current Property Owner Information

3407, 3417 Forbes Avenue

UPMC FKA UPMC Health System
600 Grant Street
Floor 10
Pittsburgh, PA 15219

3427 Forbes Avenue

Jaybar Associates
8123 Penn Avenue
Pittsburgh, PA 15221



FORBES AVE. APARTMENTS

DESMONE ARCHITECTS
3400 BUTLER STREET
PITTSBURGH, PA 15201
412.683.3230

FEBRUARY 23RD, 2016

Project Number: 4083

Prepared for: Pittsburgh Planning Commission

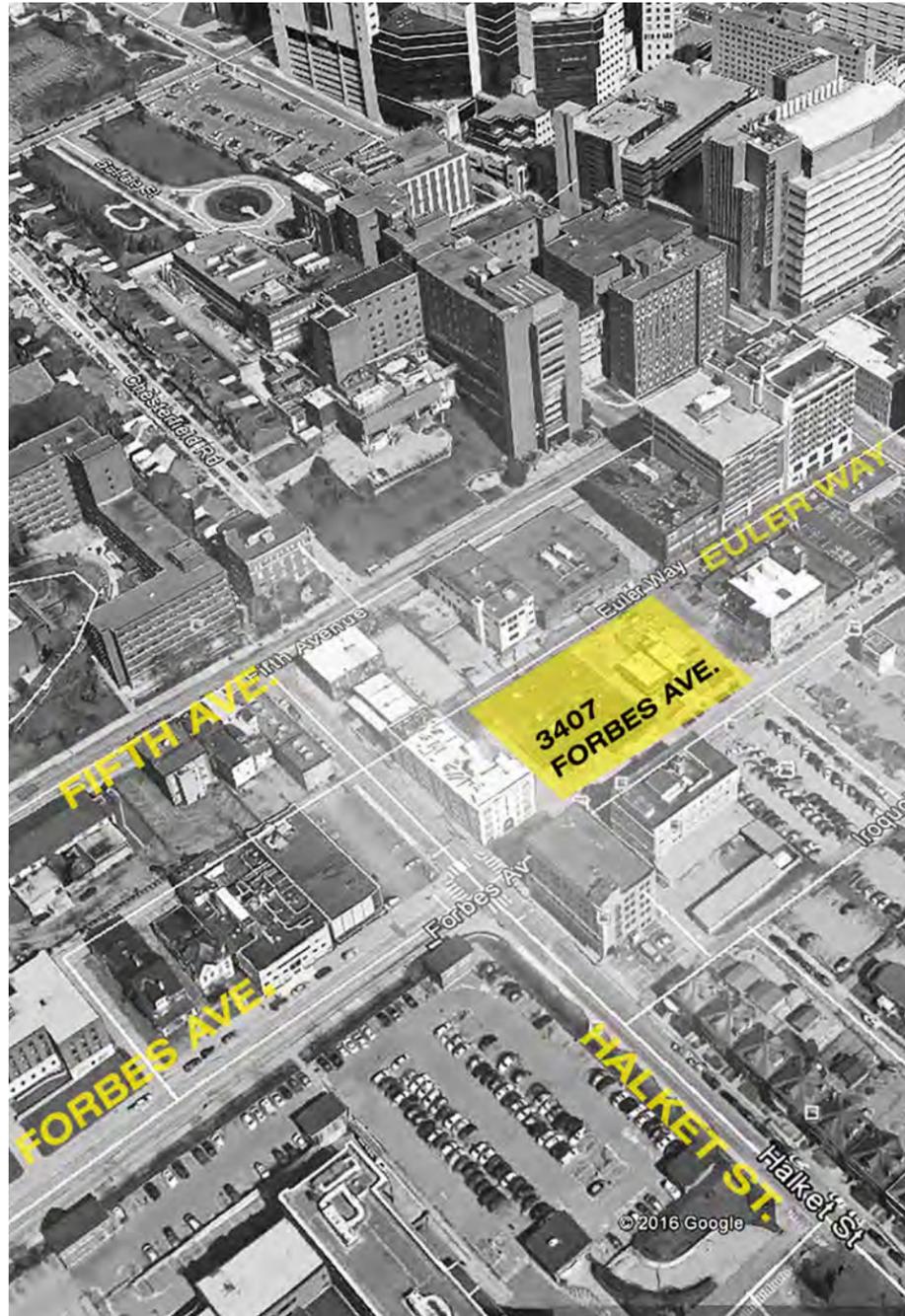
Prepared by: Desmone Architects

2	TABLE OF CONTENTS
3	SITE CONTEXT MACRO
4	SITE CONTEXT NEARBY BUILDINGS
5-6	SITE CONTEXT DIRECTIONAL VIEWS
7-10	FLOOR PLANS
11	ACCESSIBILITY SITE PLAN
12	BICYCLE ACCESS
13-14	ELEVATIONS
15	SECTION
16-18	PEDESTRIAN EXPERIENCE
19	MATERIAL PALETTE
20-21	ZONING MATRIX
22	SUSTAINABILITY
23	BIRDS EYE VIEW
24	STORMWATER MANAGEMENT
25	COMMUNITY FEEDBACK
26	PARKING REQUIREMENT SUMMARY
27-28	TRAFFIC STUDY





SITE CONTEXT NEARBY BUILDINGS



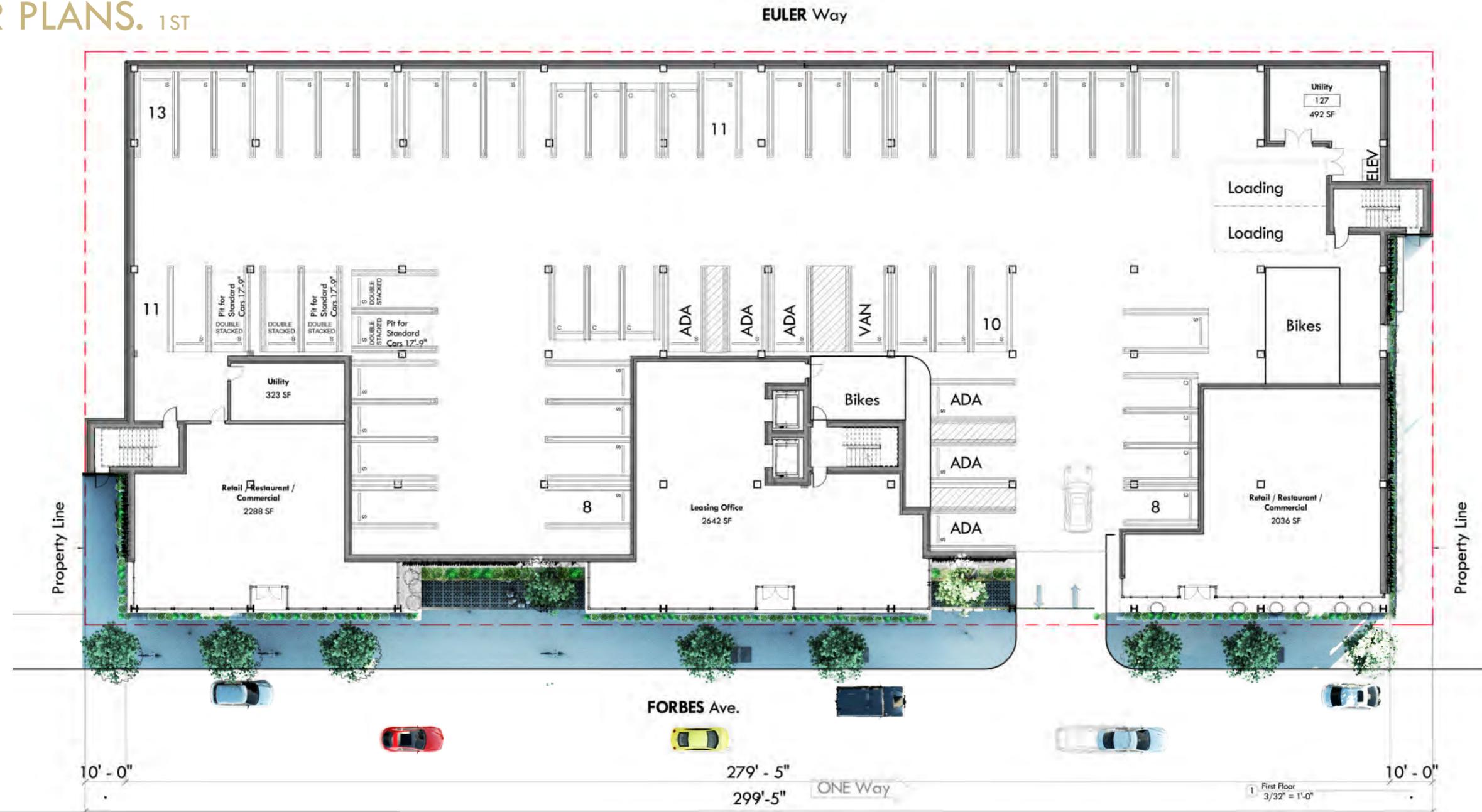


SITE CONTEXT DIRECTIONAL VIEW



Image Landsat

FLOOR PLANS. 1ST



1ST FLOOR PARKING COUNT

COMPACT	11
STANDARD	43
ADA	07
TOTAL 1ST FLOOR SPACES	61

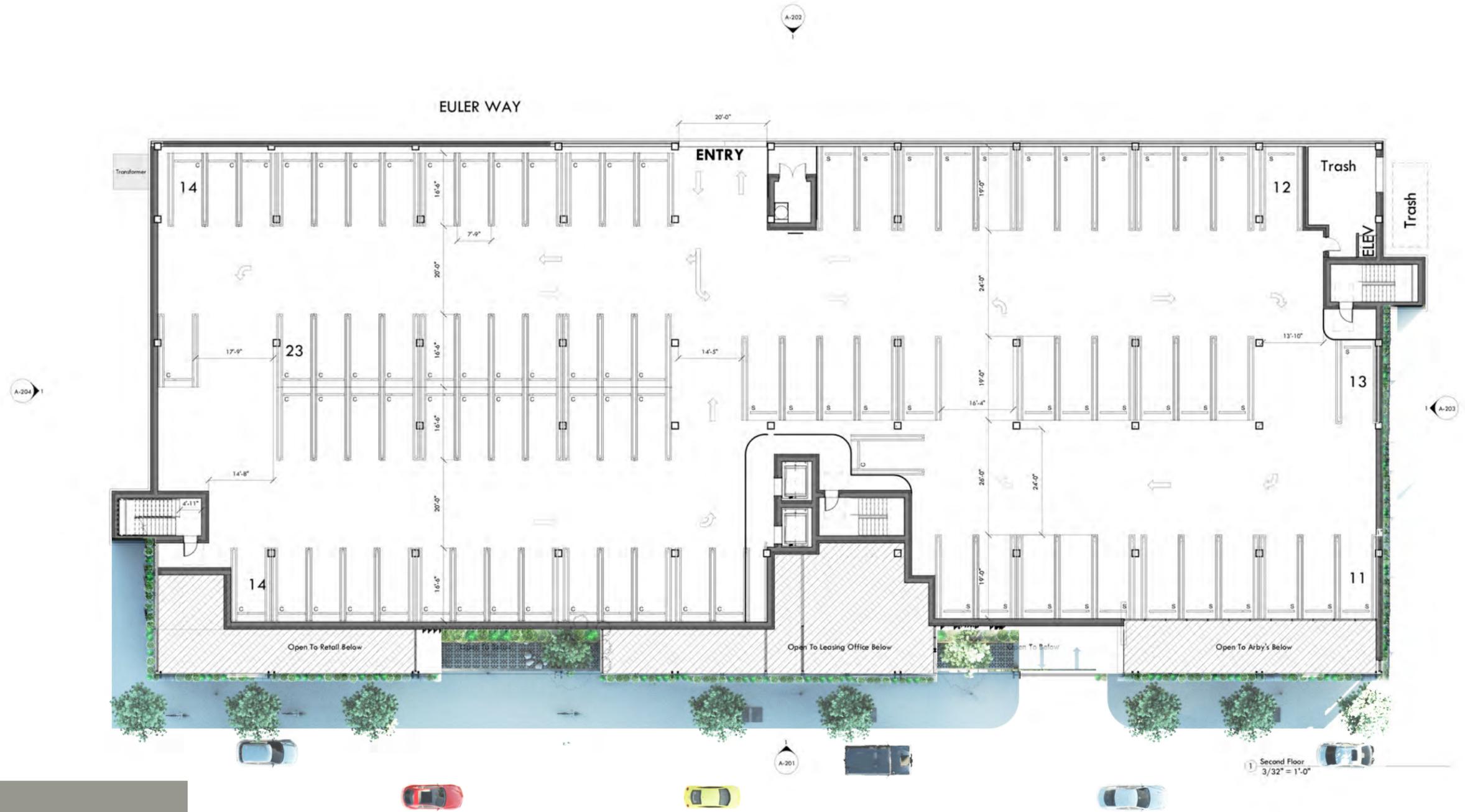
TOTAL SPACES BOTH FLOORS 148



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PITTSBURGH, PENNSYLVANIA 15213

FLOOR PLANS. 2ND



2ND FLOOR PARKING COUNT

COMPACT	52
STANDARD	35
TOTAL 1ST FLOOR SPACES	87
TOTAL SPACES BOTH FLOORS	148

FLOOR PLANS. 3RD



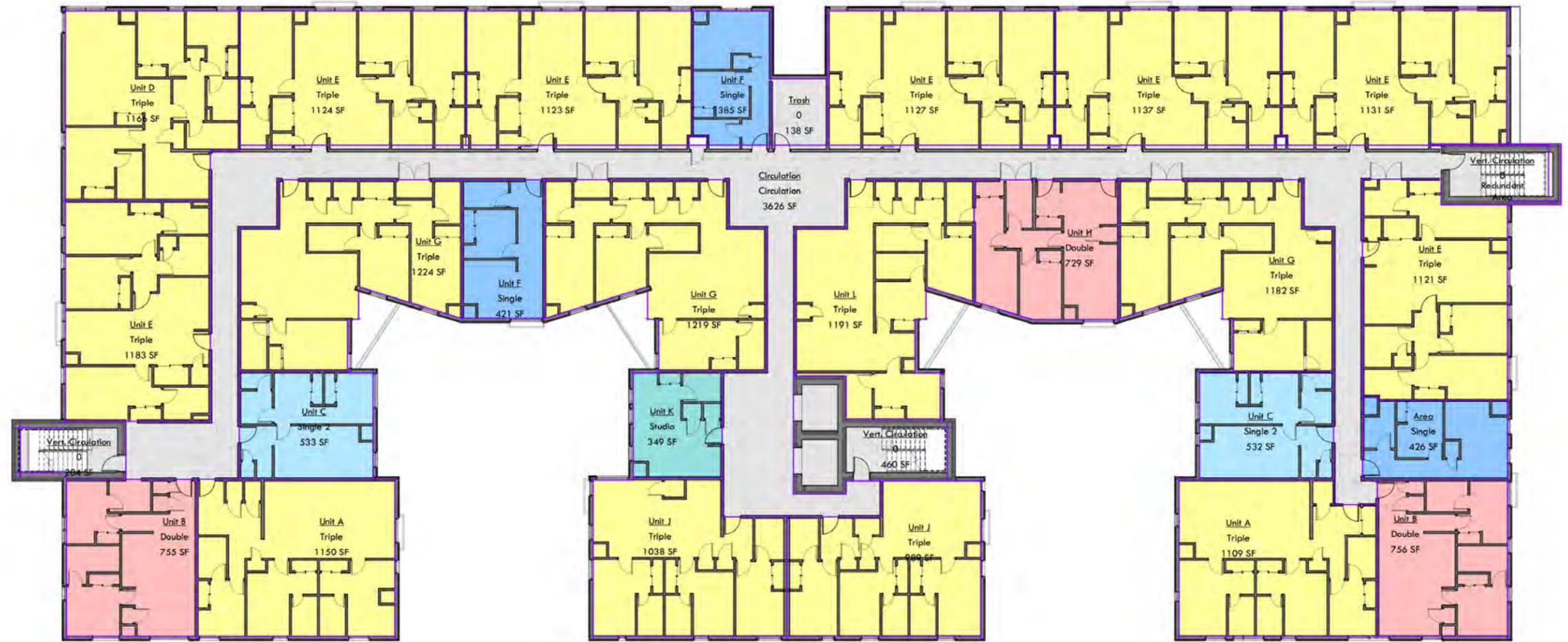
3RD FLOOR UNIT COUNT

3 SINGLE UNITS
 2 SINGLE UNITS W/2 OCC.
 3 DOUBLE UNITS
 14 TRIPLE UNITS

TOTAL UNITS ALL FLOORS 197

- 0
- Amenities
- Circulation
- Double
- Single
- Single 2
- Triple

FLOOR PLANS. 4TH

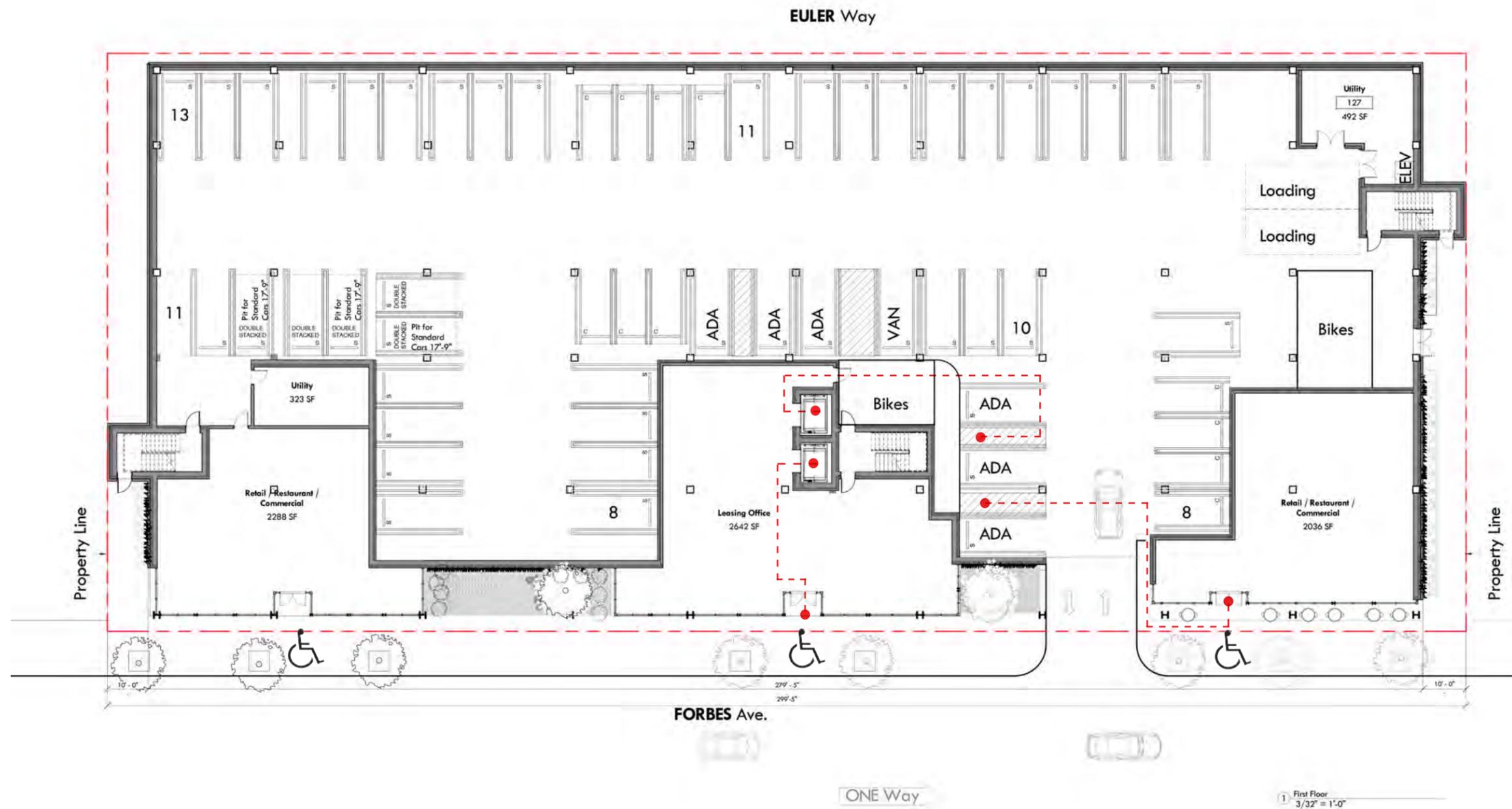


4TH FLOOR UNIT COUNT

- 1 STUDIO
- 3 SINGLE UNITS
- 2 SINGLE UNITS W/2 OCC.
- 3 DOUBLE UNITS
- 16 TRIPLE UNITS

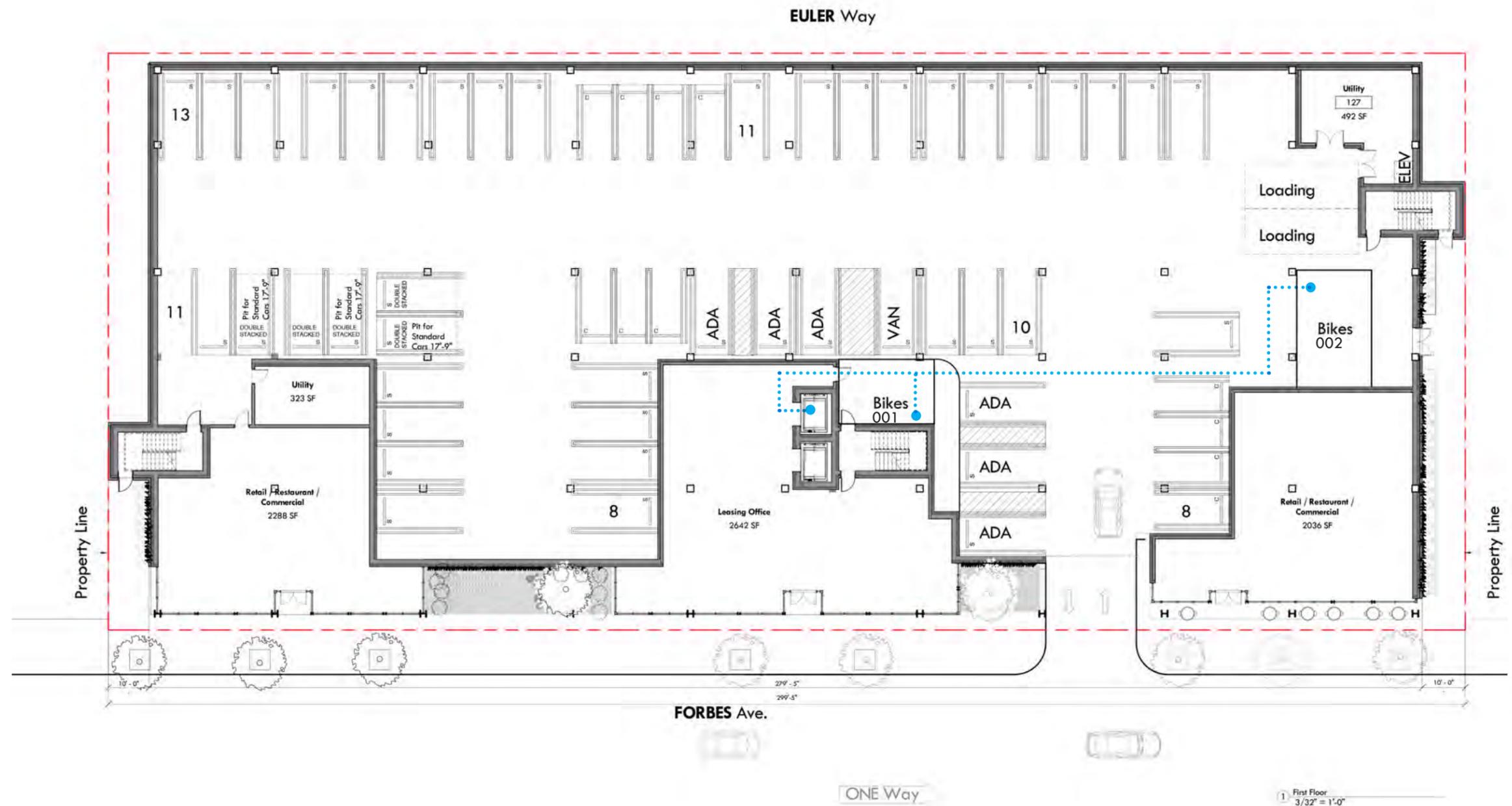
TOTAL UNITS ALL FLOORS 197

- Circulation
- Double
- Single
- Single 2
- Studio
- Triple



ACCESS ENTRY POINTS

LOBBY: DISTANCE FROM FRONT DOOR TO ELEVATOR	35'-0"
PARKING AREA: DISTANCE FROM ADA PARKING TO ELEVATOR	101'-5"
PARKING AREA: DISTANCE FROM ADA PARKING TO RETAIL	95'-3"



BICYCLE ACCESS TO ELEVATOR

BICYCLE DISTANCE FROM BIKE SPACES 001 TO ELEVATOR 50'-0"
 BICYCLE DISTANCE FROM BIKE SPACES 002 TO ELEVATOR 145'-0"

ELEVATION FORBES



ELEVATION EULER WAY



- ALL FACADES INCLUDE MATERIALS TRANSITIONS & HONED CORNICE/ROOF LINES.
- ACCENT PANELS INCLUDED ON ALL FACADES FOR ADDED COLOR AND VISUAL INTEREST.
- ALL FACADES INCLUDE RESIDENTIAL WINDOW COMPOSITION.

TOP OF PARAPET 102' -0"

ELEVATION RIGHT



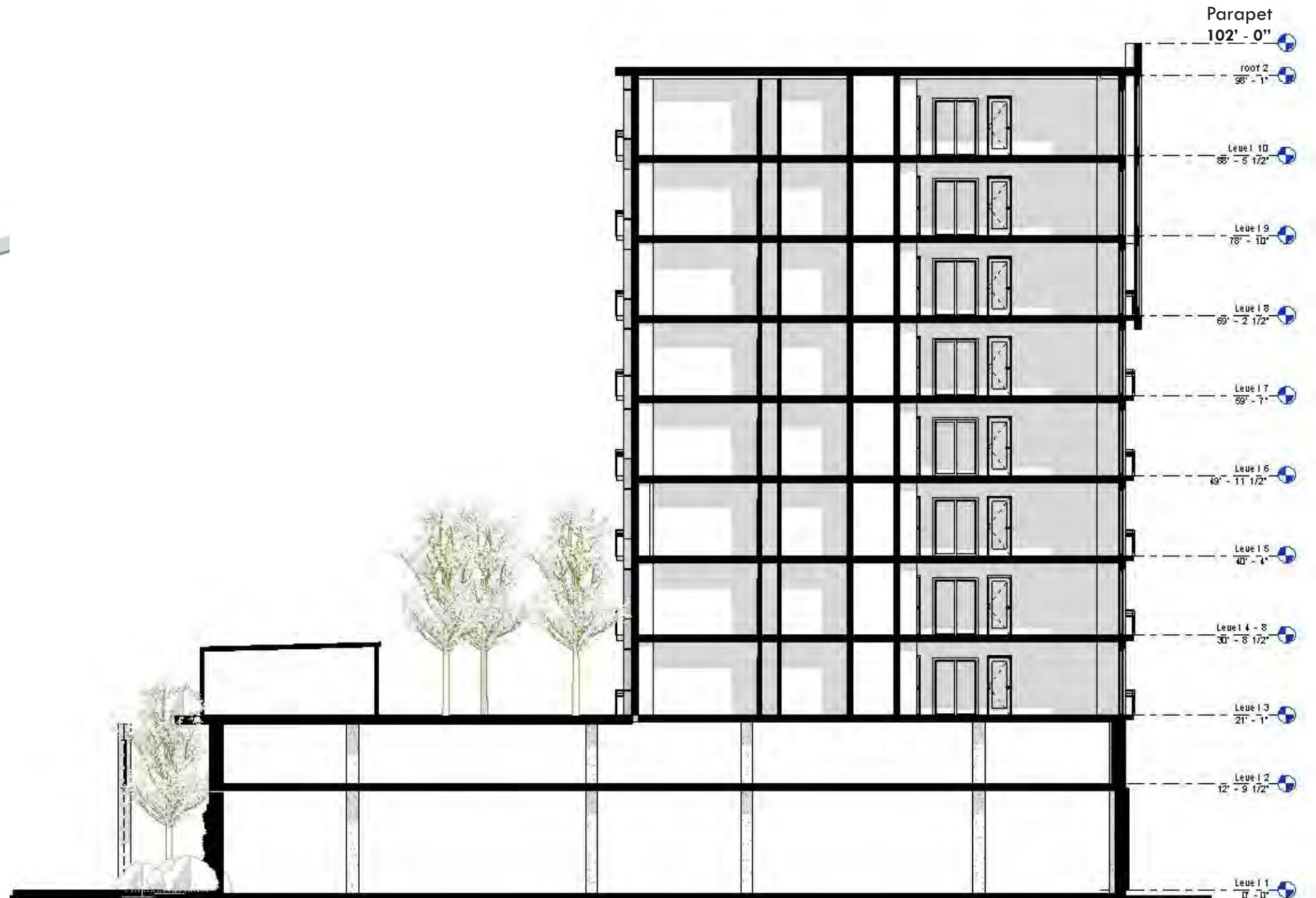
ELEVATION LEFT



- ALL FACADES INCLUDE MATERIALS TRANSITIONS & HONED CORNICE/ROOF LINES.
- ACCENT PANELS INCLUDED ON ALL FACADES FOR ADDED COLOR AND VISUAL INTEREST.
- ALL FACADES INCLUDE RESIDENTIAL WINDOW COMPOSITION.

TOP OF PARAPET 102' -0"

SECTION



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PITTSBURGH, PENNSYLVANIA 15213

PEDESTRIAN EXPERIENCE VIEW FROM WEST



- ACTIVATES PUBLIC REALM ALONG FORBES.
- SIGNIFICANT GROUND LEVEL TRANSPARENCY.
- 3 PROMINENT FORBES AVE. ENTRANCES.
- BREAKS DOWN SCALE OF BUILDING THROUGH ARTICULATION, USE OF COLOR, AND VARIATION IN CLADDING MATERIALS.



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No. 4083

Section

16

PEDESTRIAN EXPERIENCE STREET VIEW TO EAST



- FUNCTIONAL AND VISUALLY INTERESTING SCREENING OF STRUCTURED PARKING.
- PLANTERS AT 2ND AND 3RD LEVELS FOR VISUAL INTEREST.
- HIGH QUALITY, LONG LASTING BUILDING MATERIALS

PEDESTRIAN EXPERIENCE EAST



MATERIAL PALETTE



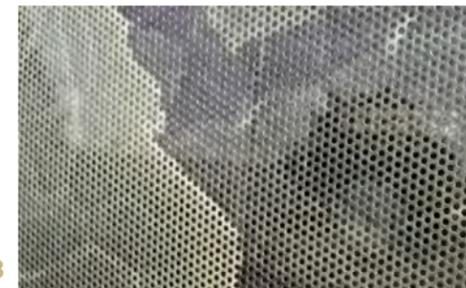
01

PLANTINGS WALL & PLANTERS



02

TEXTURED BRICK



03

PERFORATED SCREEN



04

METAL REVEALS



05

FIBER CEMENT PANELS



FORBES AVENUE APARTMENTS -- ZONING DEVELOPMENT STANDARDS OPR – C DISTRICT

197 residential units
 34,299 s.f. building footprint
 38,110 s.f. lot area
 237,708 s.f. building

ZONING PROVISION	CODE REQUIREMENT	PROVIDED
Maximum FAR (§ 908.03.D.3) (§ 915.04.D/LEED Bonus)	7.2:1 (with 20% LEED Bonus)	6.2:1 (237,707/38,110)
Maximum Lot Coverage (§ 908.03.D.3)	90% (34,299 s.f.)	86.9% (33,116 s.f.)
Maximum Building Height (§ 908.03.D.3) (§ 915.04.D/LEED Bonus)	102' (with 20% LEED Bonus)	102' (85' + 20%)





ZONING DEVELOPMENT STANDARDS – CONTINUED

ZONING PROVISION	CODE REQUIREMENT	PROVIDED
Build-To-Line Minimum (Forbes Ave.) (§ 908.03.D.3(d))	85% (255' linear feet)	93.5% (280' linear feet)
Transparency Minimum – between 3- 8 feet above walkway (First Floor/Forbes) (§ 908.03.D.3(d))	60% (900' s.f.)	67% (1005' s.f.)
Ground Floor Use/Street Level Doorway Entrances (§ 908.03.D.3(d))	Commercial/Retail and Doorway(s) Along Forbes Ave.	Retail/Leasing Office/Restaurant – 3 doorways (along Forbes)
Off-Street Loading Spaces (§ 914.10)	3 (237,708 s.f./residential)	2 (exception requested per § 914.11.B.1)





THE FOLLOWING LEED CREDITS TO BE PURSUED FOR THE PROJECT WILL INCLUDE BUT NOT BE LIMITED TO:

LEED CREDITS

- PREVIOUSLY DEVELOPED SITE
- BICYCLE STORAGE & ACCESS TO BICYCLE NETWORK
- COMPACT DEVELOPMENT
- LOW IMPACT DEVELOPMENT STORMWATER MANAGEMENT
- WATER USE REDUCTION
- EFFICIENT HOT WATER DISTRIBUTION
- LOCALLY SOURCED MATERIALS
- WASTE DIVERSION TO RECYCLING
- USE OF LOW EMITTING PRODUCTS
- ACOUSTIC COMFORT
- DESIGN FOR ACTIVE OCCUPANTS
- ENERGY EFFICIENCY GREATER THAN BASELINE PERFORMANCE OF ASHRAE90.1-2010
- LIGHT POLLUTION REDUCTION
- FUNDAMENTAL & ENHANCED REFRIGERANT MANAGEMENT
- MINIMUM INDOOR AIR QUALITY
- OUTDOOR AIR DELIVERY MONITORING & INCREASED VENTILATION
- CONSTRUCTION INDOOR AIR QUALITY MANAGEMENT PLAN
- CONTROLLABILITY OF SYSTEMS -LIGHTING & THERMAL COMFORT
- THERMAL COMFORT DESIGN & VERIFICATION

BIRDS EYE VIEW



- The vast majority of the site stormwater runoff is from the building roof.
- A small portion of the Euler Way right-of-way drains into the site, this will be intercepted via trench drains and will be routed around or through the building via storm sewer pipes to tie into the Forbes Avenue.
- The roof drain collection system will convey runoff to a detention beneath the building, consisting of a series of R-Tank HD Quad Modules 6 units wide by 13 units long, with a concrete box outlet structure.
- The detention tank will hold the 2-year volume increase to meet PADEP volume control requirements; this may be utilized for irrigation of perimeter and patio landscaped areas if feasible. The tank holds approximately 1,000 cubic-feet of runoff for re-use.
- Stormwater rate control is not needed for the project, as there is no increase in impervious cover for the site.
- The ultimate stormwater discharge is to a combined sewer on Forbes Avenue.



COMMUNITY FEEDBACK

Comment	Campus Advantage Response
Use of plantings wall and planters on Forbes Avenue Façade.	Added proposed plantings wall along Forbes and added planters (visible from street-level) at the 2 nd and 3 rd levels of the building façade.
Increase open space/sidewalk width along Forbes (better pedestrian experience).	Developer pulled building back from the property line to create street level “courtyard” space (while still meeting build-to-line requirements).
Maximize stormwater capture.	Developer added additional planters to 3 rd floor terrace area.
Mechanisms to prevent over occupation.	Building will be staffed with on-site, live-in staff who closely monitor occupation.



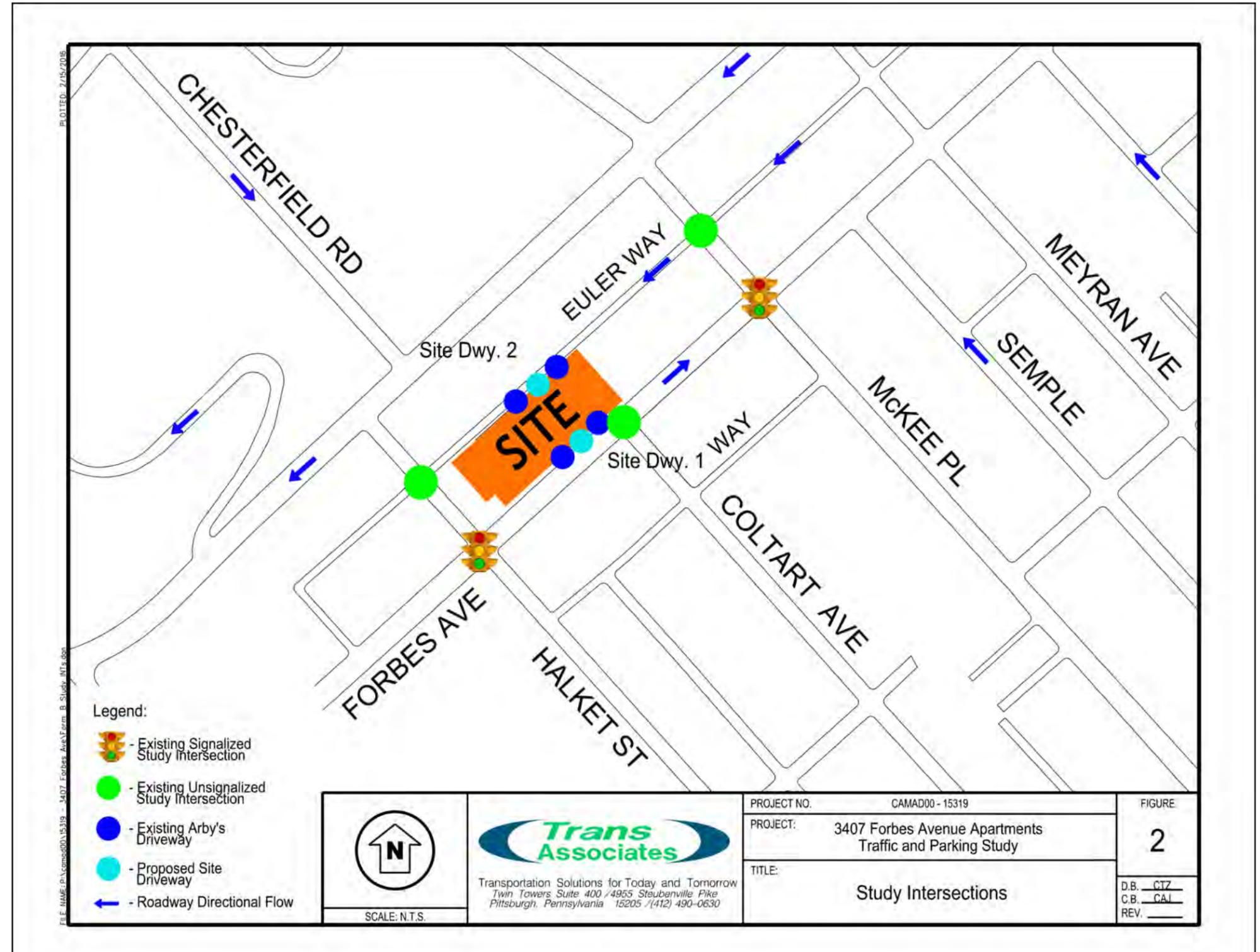
**TABLE 1
PARKING REQUIREMENT SUMMARY
3407 Forbes Avenue Apartments Traffic and Parking Study
City of Pittsburgh, Allegheny County, Pennsylvania**

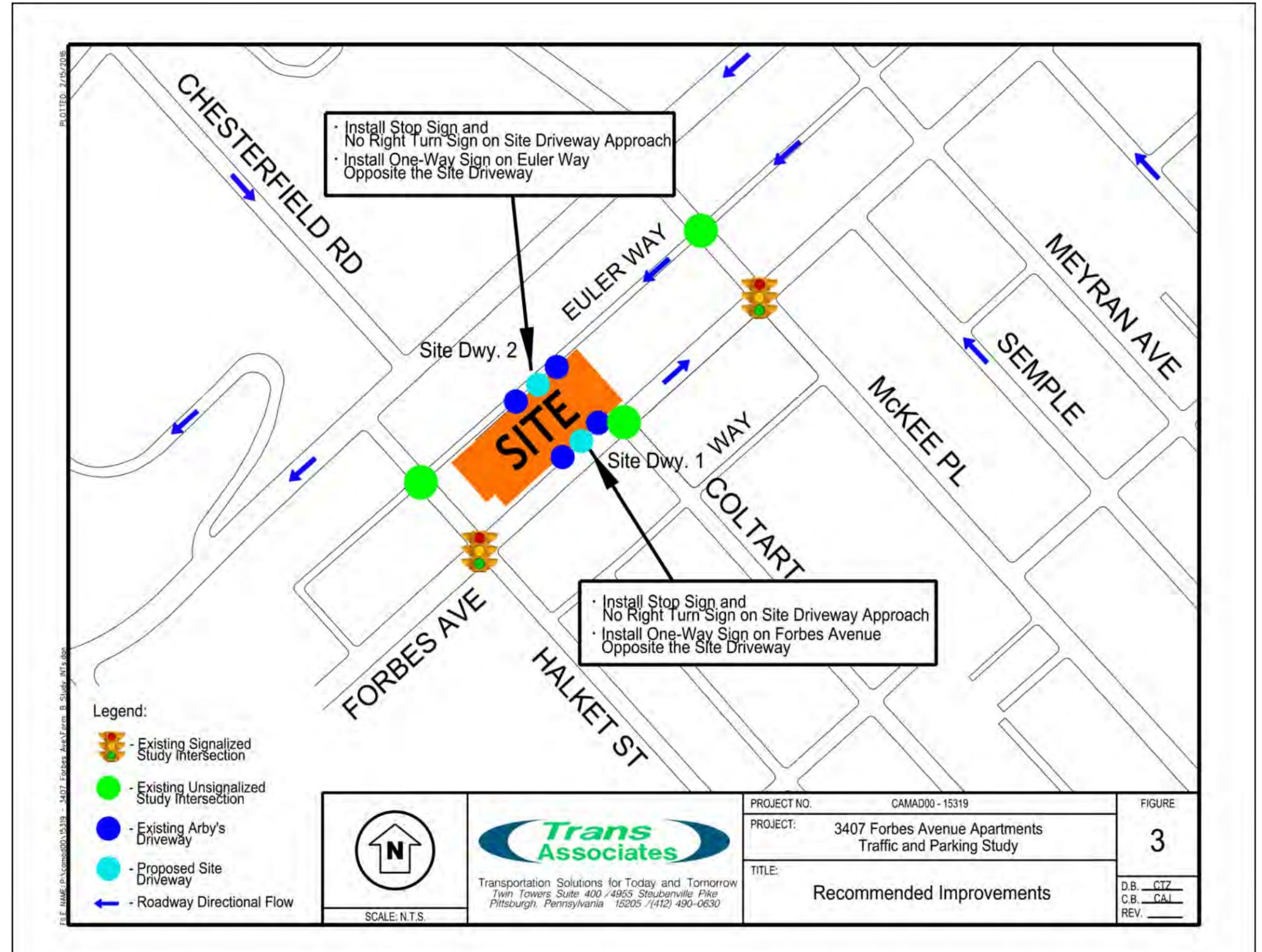
Development Components	Size	Automobile Parking Demand: City of Pittsburgh Zoning Code ⁽¹⁾			Bicycle Parking Demand: City of Pittsburgh Zoning Code ⁽¹⁾				Total Number of Automobile Parking Spaces Required with Maximum Bicycle Reductions ⁽⁶⁾
		Minimum Requirements without Bicycle Reductions			Required Minimum Bicycle Parking ⁽²⁾		Maximum Reduction of Automobile Parking Spaces Due to Implementation of Bicycle Spaces ⁽³⁾		
		Off-Street Automobile Parking Rate	Required Number of Automobile Spaces	Required Number of Reserved Spaces for Persons with Disabilities ⁽⁴⁾	Bicycle Parking Rate	Required Number of Bicycle Spaces	Maximum Bicycle Parking Reduction Rate	Maximum Reduction ⁽⁵⁾	
Apartments	197 units	1 space per unit	197	6	1 bicycle space per every 3 dwelling units	66	30% of required number automobile spaces, not including spaces reserved for persons with disabilities	58	139
Arby's	2,337 SF	1 per 75 SF of "floor area" ⁽⁷⁾⁽⁸⁾	13	1	0 bicycle spaces between 0 to 6,000 SF	0		4	9
Retail	1,864 SF	1 per 500 SF above first 2,400 SF	0	0	0 bicycle spaces between 0 to 6,000 SF	0		0	0
TOTAL 3407 FORBES AVENUE			210	7	--	66	--	62	148

- (1) Based on the City of Pittsburgh Urban Zoning Code, Chapter 914: Parking Loading and Access. Parking spaces determined based on results of the parking Demand Study.
- (2) Bicycle parking requirements are detailed in Section 914.05D of the City of Pittsburgh Urban Zoning Code.
- (3) Section 914.05E of the City of Pittsburgh Urban Zoning Code indicates that the reduction in the number of automobile parking spaces shall be reduced by no more than one (1) space for each Bicycle Parking Space (minimum reduction), but by no more than thirty (30) percent of the total required spaces (maximum reduction), not including spaces reserved for persons with disabilities.
- (4) Parking spaces reserved for persons with disabilities shall be counted toward fulfilling overall off-street parking standards. The number of spaces reserved for persons with disabilities is detailed in Section 914.06.A of the City of Pittsburgh Urban Zoning Code. At least one (1) of these spaces must be van accessible.
- (5) Maximum bicycle reduction = [(137 spaces - 5 handicapped spaces) x 0.30] = 40 spaces
- (6) Total number of automobile spaces required with maximum bicycle reductions = (137 total spaces - 40 bicycle spaces) = 97 spaces. It should be noted that of the 97 spaces, 5 spaces must be reserved for persons with disabilities.
- (7) Section 914.03C of the City of Pittsburgh Urban Zoning Code indicates that the off-street parking standards should be computed on the basis of gross floor area used or intended to be used for service to customers. The "floor area" should be assumed to be no less than 80 percent of the total gross floor area.
- (8) Section 914.04 of the City of Pittsburgh Urban Zoning Code indicates a 50 percent off-street parking exemption/reduction.

Source: Analysis by Trans Associates.

File - camad00/15061/Tables 02-10-2016





FORBES AVE. APARTMENTS

DESMONE ARCHITECTS
3400 BUTLER STREET
PITTSBURGH, PA 15201
412.683.3230

FEBRUARY 23RD, 2016



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DESIGNING FOR YOUR FUTURE

Project Number: 4083
Prepared for: Pittsburgh Planning Commission
Prepared by: Desmone Architects

FORBES AVENUE APARTMENT BUILDING
PITTSBURGH, PENNSYLVANIA 15213

No. 4083

Section

29

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: PRESSLEY RIDGE		Phone Number: (412) 872-9400	
Address: 5500 CORP. DR. SUITE 400 City: PITTSBURGH		State: PA	Zip Code: 15237
2. Applicant/Company Name: RADELET MCCARTHY POLLETTA		Phone Number: (412) 471-4445	
Address: 300 1ST AVENUE MARKET City: PITTSBURGH		State: PA	Zip Code: 15222
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: PRESSLEY RIDGE SCHOOL, MARSHALL AVE CAMPUS			
4. Development Location: 530 MARSHALL AVENUE			
5. Development Address: PITTSBURGH, PA 15214			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) NO CHANGE			
Proposed Zoning District:	N/A		
Present Use of Site: (Select from attached list)	N/A		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: / /	Occupancy Date: / /	Project Cost: \$
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
CURRENT USES			
9. Proposed Use of Site (Select from attached list): 1, 2, 9, 82, 87, 89, 111 (NO CHANGE)			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New <input type="checkbox"/> Renovation, Interior <input type="checkbox"/> New Construction, <input type="checkbox"/> Renovation, Exterior <input type="checkbox"/> Change in Use Only <input type="checkbox"/> Renovation, Change in Use			
11. Describe the Development: SEE IMP			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			

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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A (SEE IMP)
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
Existing to be Razed: _____ sq ft
Existing to be Retained: _____ sq ft
Retained Area to be Renovated: _____ sq ft
To be Constructed: _____ sq ft
Building Footprint: _____ sq ft

NA FOR IMP

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure				
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
Existing to Remain: _____ Proposed: _____

17. Lot Area: _____ sq ft EXISTING CAMPOS IS ABOUT 18 ACRES

18. On Site Parking: N/A SEE TRAFFIC & PARKING STUDY

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
Actual: _____
Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
(i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

NA FOR IMP

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s) _____ Termination of Existing Water Service Tap(s)
_____ New Sewer Service Connection(s) _____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

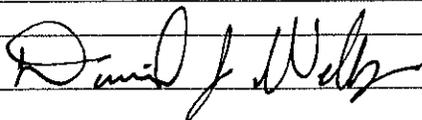
- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs. (US 19, MARSHALL AVE)
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: 

N/A FOR IMP



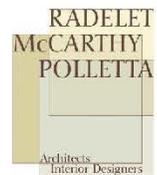
Institutional Master Plan (IMP) – Presentation
Pressley Ridge – Marshall Avenue Campus

RADELET
McCARTHY
POLLETTA
Architects
Interior Designers

WALSH
PRESSLEY
RIDGE



The Marshall Avenue Campus is located in the Perry South neighborhood and occupies approximately 18 acres



Existing Structures

School / Admin
55,300 sq. ft.

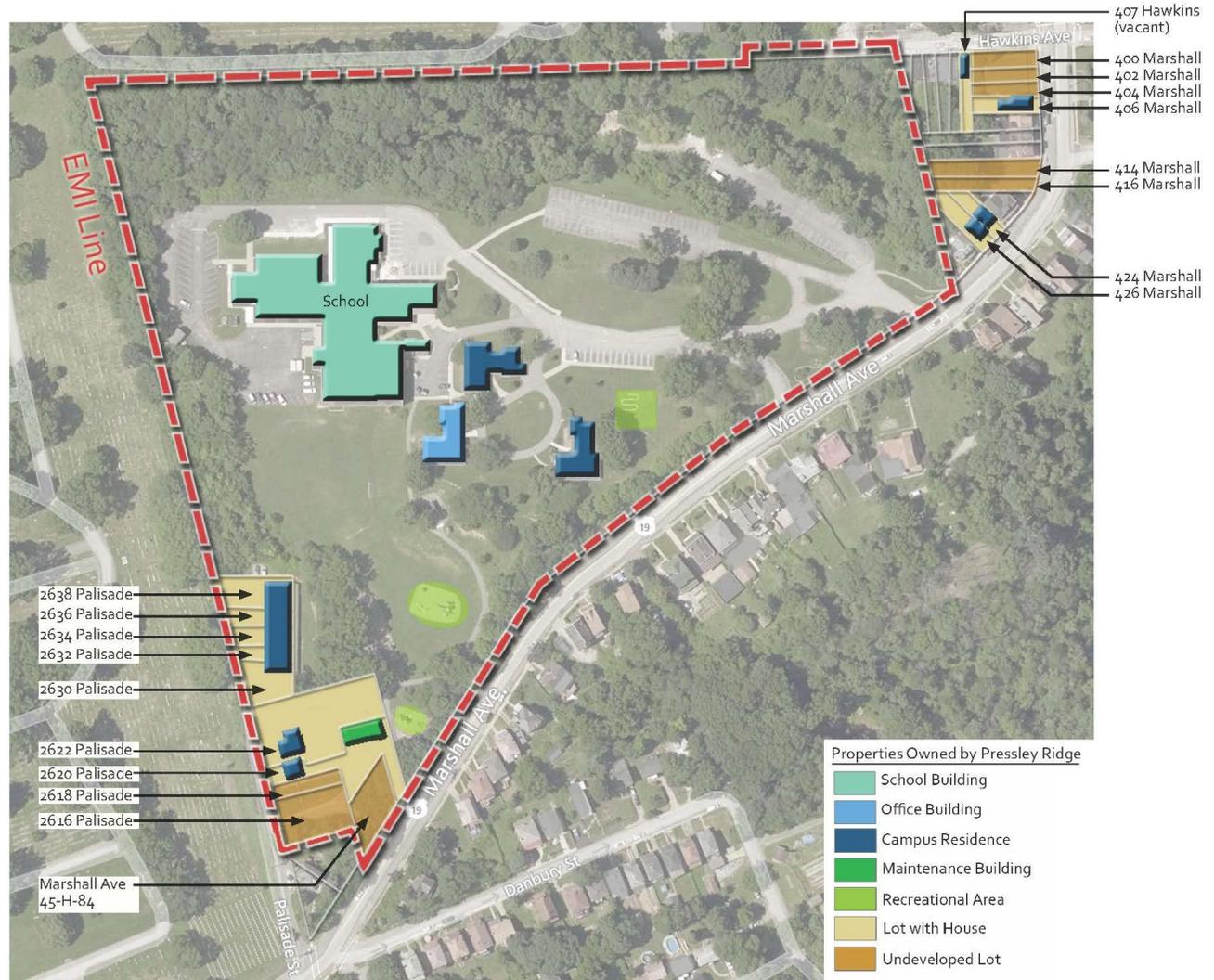
Cottages (2)
3,600 sq. ft. ea.

Office Building
3,600 sq. ft.

Townhomes (5)
1,400 sq. ft. ea.

Single Family (2)
1,270 & 1,480 sq. ft.

Maintenance Bldg.
800 sq. ft.



In addition to the structures on Campus, Pressley Ridge also owns (9) Properties on Marshall Ave, (4) of which include single family homes.

RADELET
McCARTHY
POLLETTA
Architects
Interior Designers

Existing Properties



Proposed Structures

New School
60,000 – 75,000 sq. ft.

Renovate Ex. School
Ex. 55,300 sq. ft.
Addition 20,000 –
30,000 sq. ft.

Renovate Ex. Cottage
3,600 sq. ft.

New Cottage
3,600 – 4,000 sq. ft.

New Maint. Bldg.
10,000 sq. ft.

New Parking Deck
26,000 sq. ft.

In addition to the new structures, the 10-Year development includes:

- Reconfiguration of vehicular and pedestrian circulation
- New surface parking (220 spaces over 10 years)

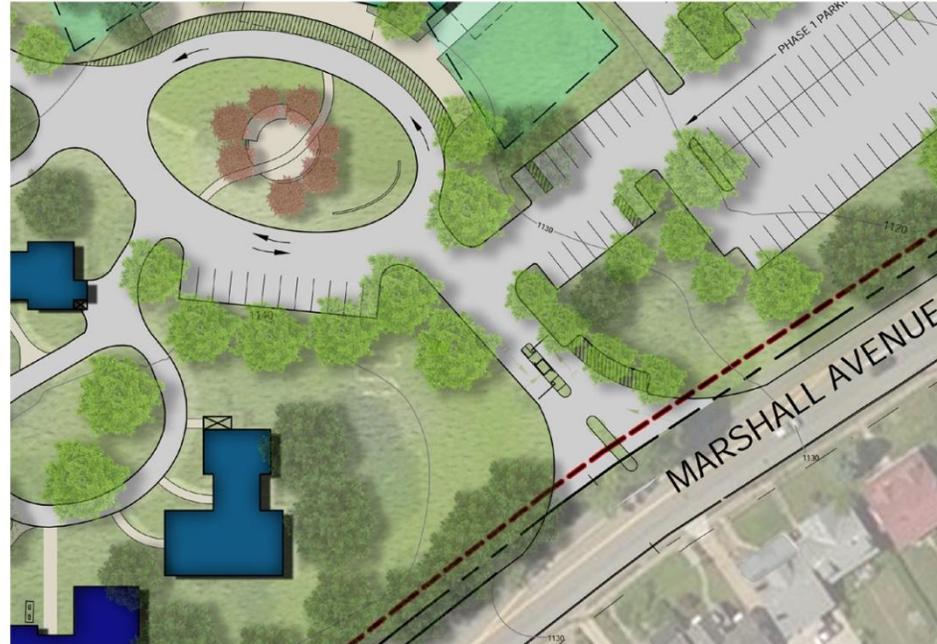


Traffic Study Summary

Analyses show acceptable traffic operations at the new access drive (level of service B or better during peak periods).

Queues will not be excessive, nor will they impact adjacent street traffic.

Sight distance at the relocated access drive has been evaluated and exceeds minimum requirements.



RADELET
McCARTHY
POLLETTA
Architects
Interior Designers

Stormwater Management

Stormwater runoff currently flows into two separate watersheds towards the Ohio River.

Stormwater management facilities are being proposed to account for the increased runoff from proposed development in the 10-Year Plan. These include:

- Permeable Paver Systems
- Rain Gardens, Landscaping, and Trees
- Underground Storage Systems



RADELET
McCARTHY
POLLETTA
Architects
Interior Designers

Accessibility and Universal Design

Pressley Ridge serves children and families with special needs. As a result they have a strong commitment to applying Universal Design principals throughout their campus.

New and existing facilities will be designed and improved to meet the needs of everyone.

The natural terrain of the campus poses challenges as well as opportunities. New structures will be situated to improve accessibility on the campus and improve circulation between new and existing buildings.



RADELET
McCARTHY
POLLETTA
Architects
Interior Designers

Accessibility



PRESSLEY
RIDGE

Community Process

Pressley Ridge and specifically the Marshall Avenue Campus have been part of the Perry South neighborhood since 1959.

As part of the outreach to the community, Pressley Ridge was invited to present the Master Plan to the Perry Hill Top Citizens Council in November 2015.

The Council provided insight into the history of the Marshall Avenue site.

Campus access, security, and use of the gym was discussed.

Pressley Ridge will continue to involve the community as they improve the campus.

12/31/2015 Community Based Support | Pressley Ridge

MAKE A DONATION TODAY

WHAT WE DO WHO WE ARE HOW WE EXCEL GET INVOLVED

CONTACT US VIEW ADOPTION

Grow Stronger, Together

Our Community-Based Support helps to strengthen and keep families together, to empower youth and to offer coaching and self-discovery - in the home, in the moment, and over time.

Home > Community Based Support

In Home

Programs offer specialized treatment and supervision within the home setting, including aftercare services, crisis support, foster family training and consultation and mental health services.

In Community

Programs offer case management and therapy treatment for families, groups and individuals, through intervention services, adoption and permanency needs, outpatient mental health and parenting training and seminars.

In School

Programs offer specialized therapy in schools, psychiatric services for a mental health diagnosis and teen pregnancy classes and workshops.

Contact

<http://www.pressleyridge.org/community-based-support/>

1/2

RADELET
McCARTHY
POLLETTA
Architects
Interior Designers

Community Process



PRESSLEY
RIDGE

FLDP 16-023

City of Pittsburgh

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Date Filed:

[Empty box for Date Filed]

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Urban Redevelopment Authority Phone Number: (412) 255-6664

Address: 200 Ross St City: Pittsburgh State: PA Zip Code: 15219

2. Applicant/Company Name: same as above Phone Number: ()

Address: City: State: Zip Code:

Applicant/Contractor ID: (assigned by the City)

3. Development Name: South Shore Riverfront Park

4. Development Location: South Water Street at 27th Street and Tunnel Blvd

5. Development Address: see above

6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)

Proposed Zoning District: N/A

Present Use of Site: (Select from attached list)

7. If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy #: Date Issued: Existing Use of Property:

8. Estimated Construction: Start Date: 06/01/16 Occupancy Date: 1 ongoing Project Cost: \$ 600,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): 93

10. Select the Type of Work:
- New Construction, New Renovation, Interior
- New Construction, Renovation, Exterior
- Change in Use Only Renovation, Change in Use

11. Describe the Development: New sidewalks, trellis, valet structure and drop off

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 1 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: 0 sq ft
 Existing to be Retained: 0 sq ft
 Retained Area to be Renovated: 0 sq ft
 To be Constructed: 119 sq ft
 Building Footprint: 119 sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure			1	13'-0"
Proposed Addition/Extension				
Provide Accessory Structure Type(s) and Height(s):				
<u>Colonnade/trellis</u>			1	14'-0"

16. Number of Dwelling Units: N/A
 Existing to Remain: _____ Proposed: _____

17. Lot Area: 40,600 sq ft total includes portions of SSRP and Tunnel Park

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition, site HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

N/A

_____ New Water Service Connection(s) _____ Termination of Existing Water Service Tap(s)
_____ New Sewer Service Connection(s) _____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: Mamuel Hook, VRA

Part A: Southshore Riverfront Park

Address: South 27th &
South Water Street
Pittsburgh, PA 15203

Zoning District: SP-5 Southside Works

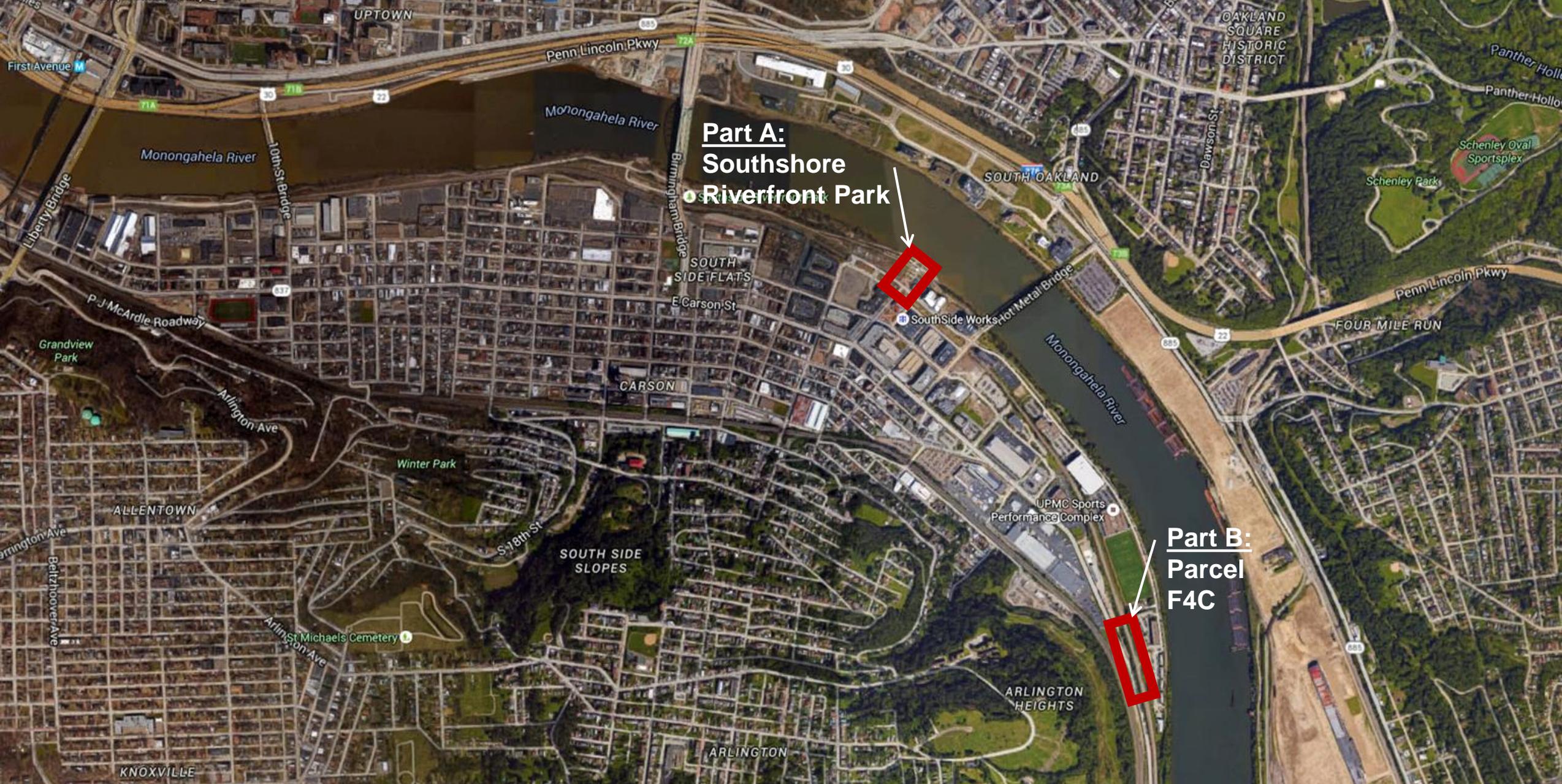
Project Description: The project includes new sidewalks, seating areas, landscaping, & decorative colonnade to strengthen the connection between the Southside Works mixed-use development, Southshore Riverfront Park, & the Three Rivers Heritage Trail. The project creates a physical & visual tie across Tunnel Park to encourage users of the Trail & Southside Works to travel between & patronize the other - for the benefit of each.

Part B: Parcel F4C

Address: 3447 East Carson Street
Pittsburgh, PA 15203

Zoning District: SP-5 Southside Works

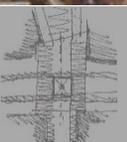
Project Description: The project site is an under-utilized sliver of land situated between railroad tracks & E. Carson Street. New landscaping, decorative fencing, lighting & new signage is intended to beautify the site, discourage illegal dumping & parking, and become a “Southern Gateway” along E. Carson Street to the South Side Works mixed-use development located a short distance to the north.

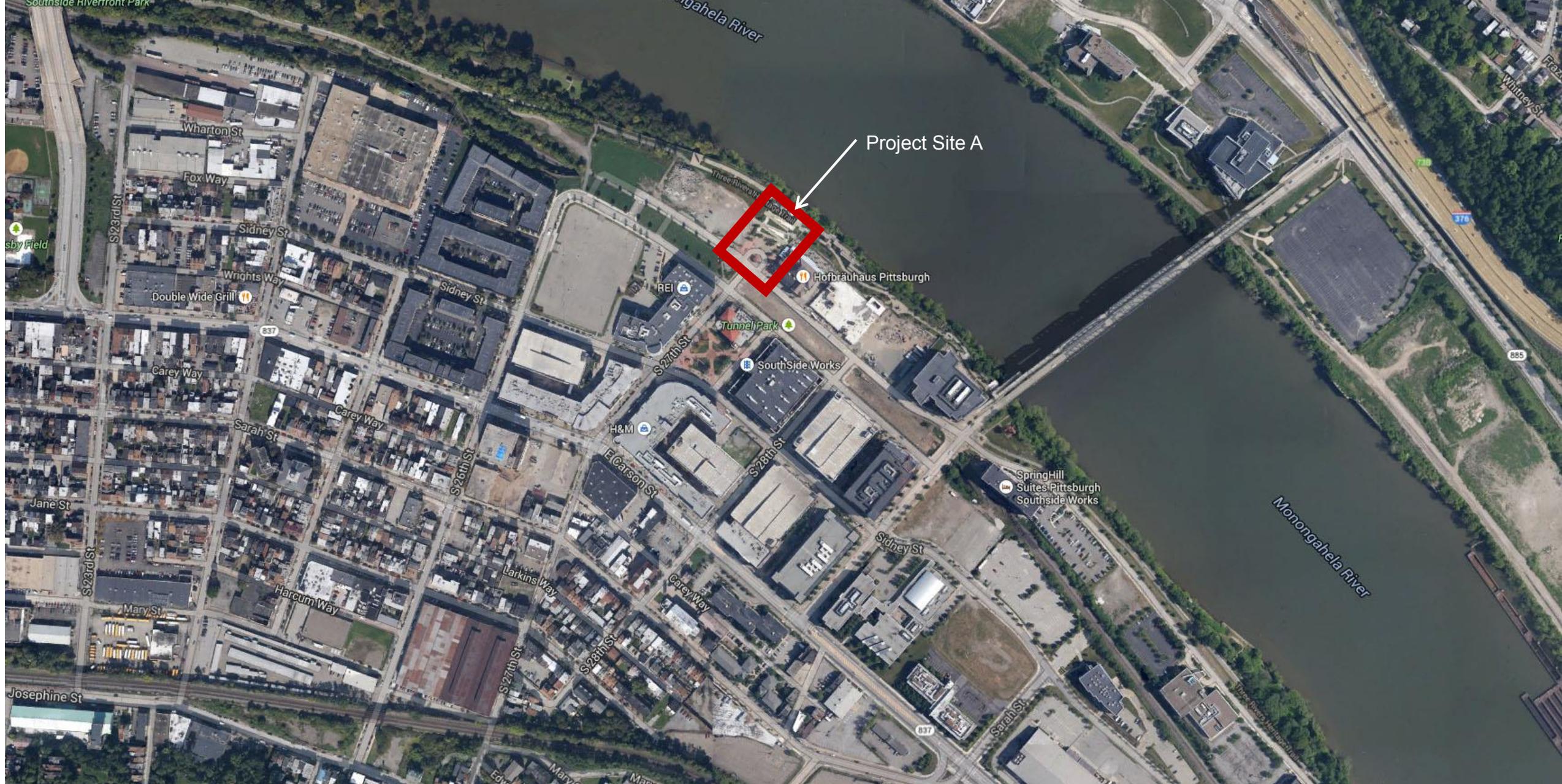


Part A:
Southshore
Riverfront Park

Part B:
Parcel
F4C

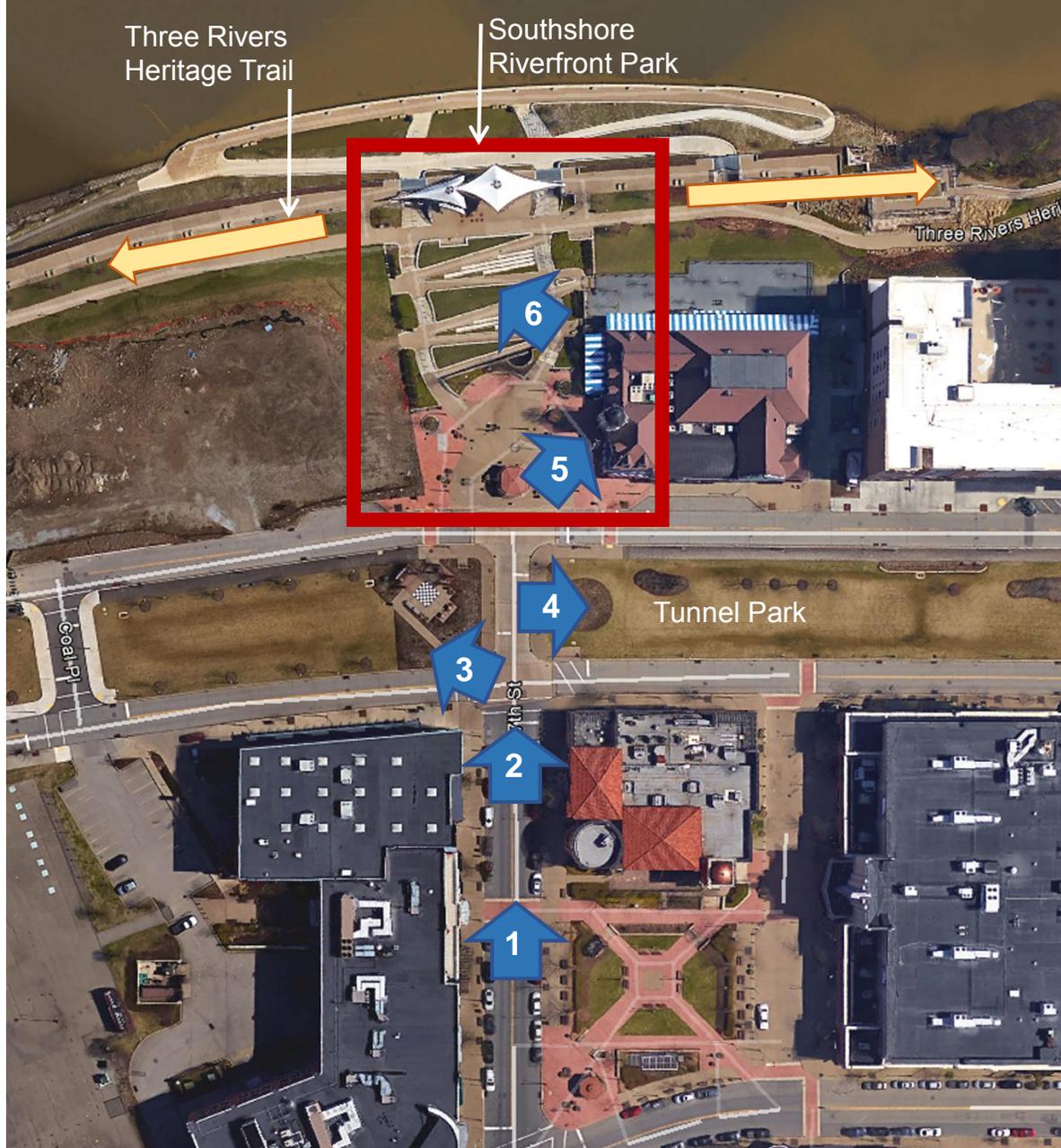
Southshore Riverfront Gateway Park & Parcel F4C – Project Locations





Southshore Riverfront Gateway Park – Project Location



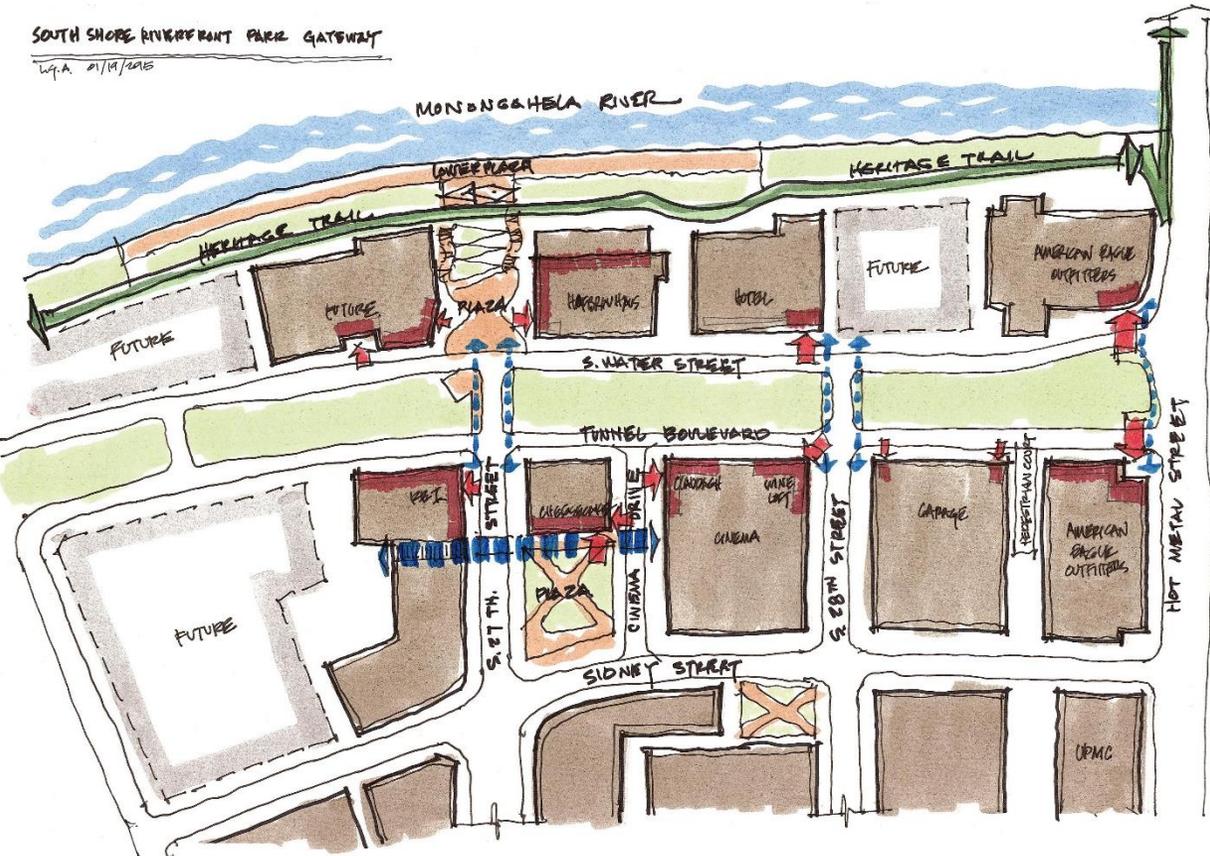


Southshore Riverfront Gateway Park – Existing Conditions



SOUTH SHORE RIVERFRONT PARK GATEWAY

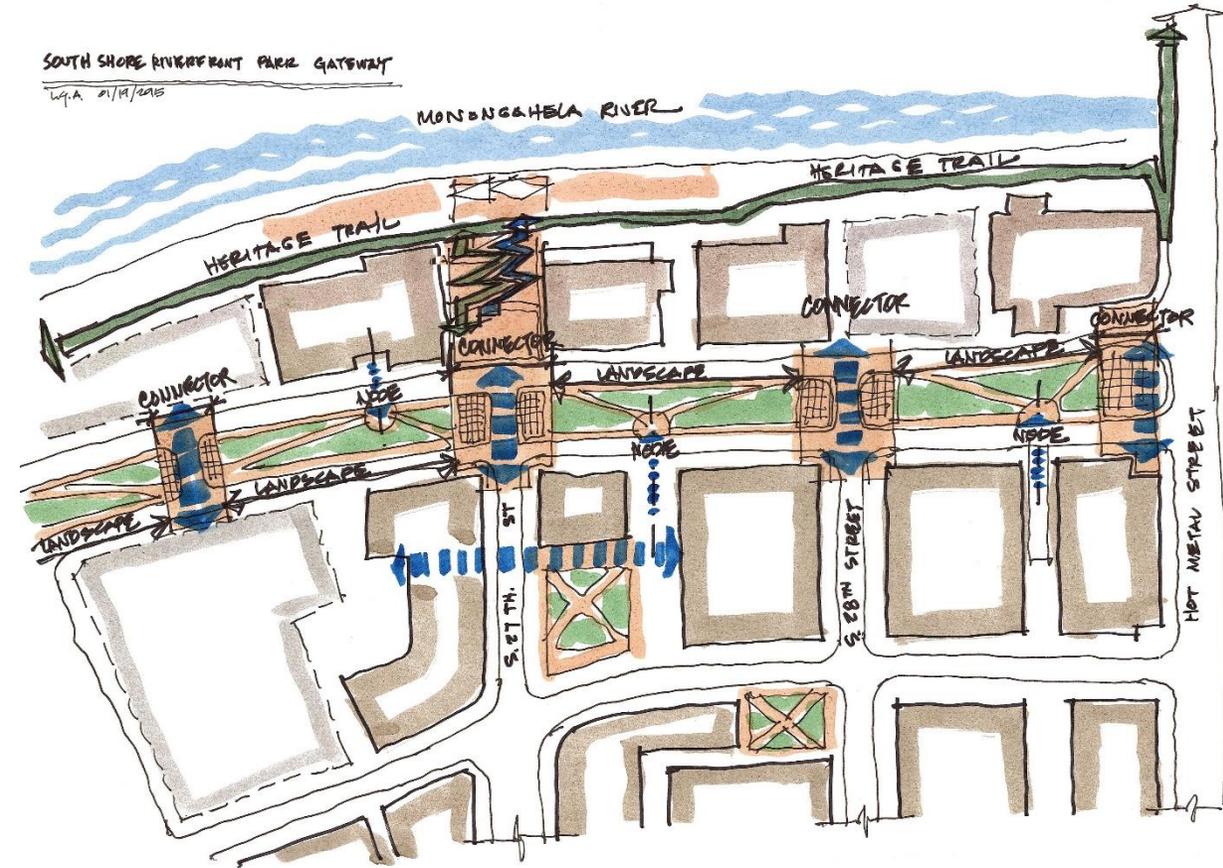
L.A. 01/14/2015



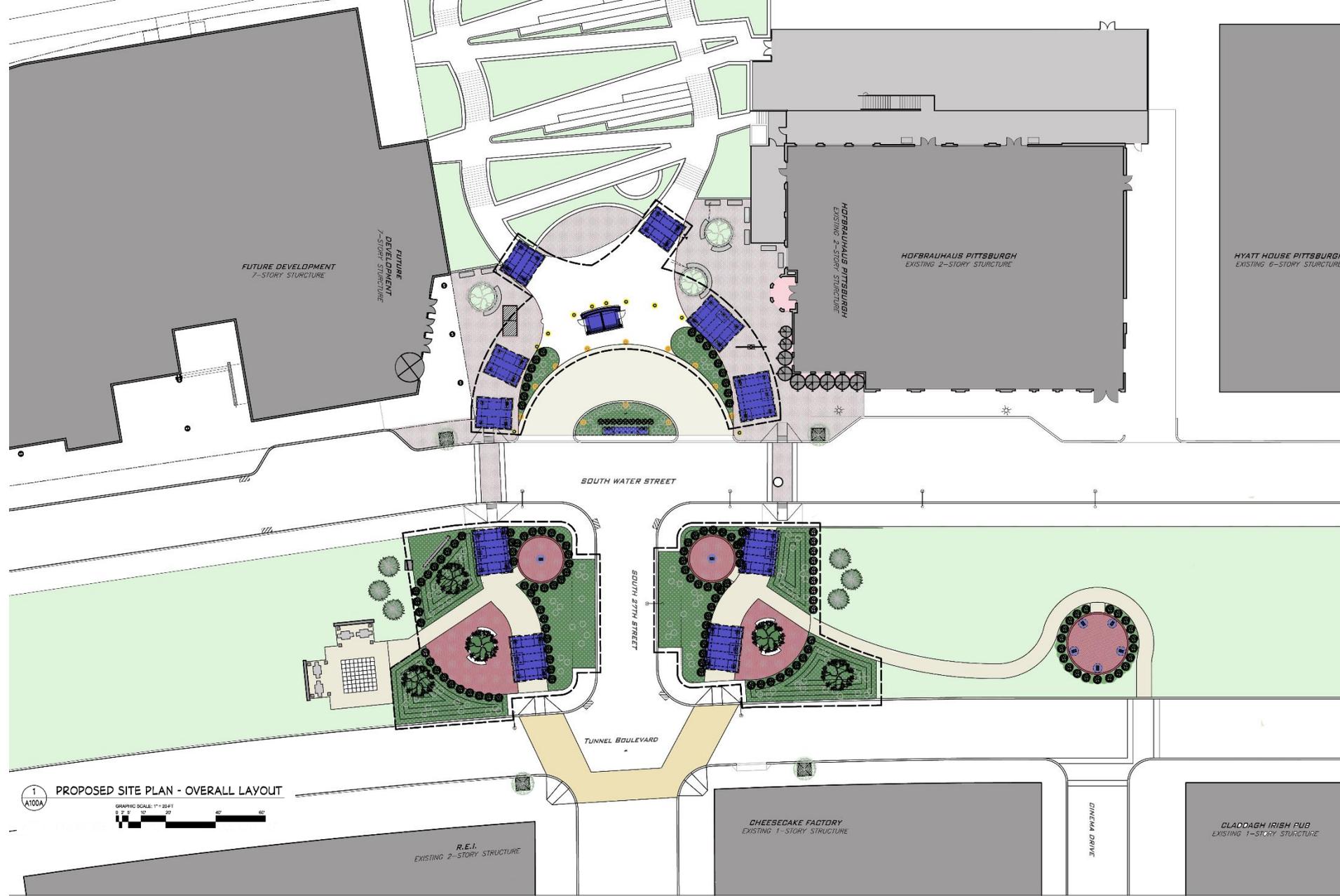
Existing Site Connectivity

SOUTH SHORE RIVERFRONT PARK GATEWAY

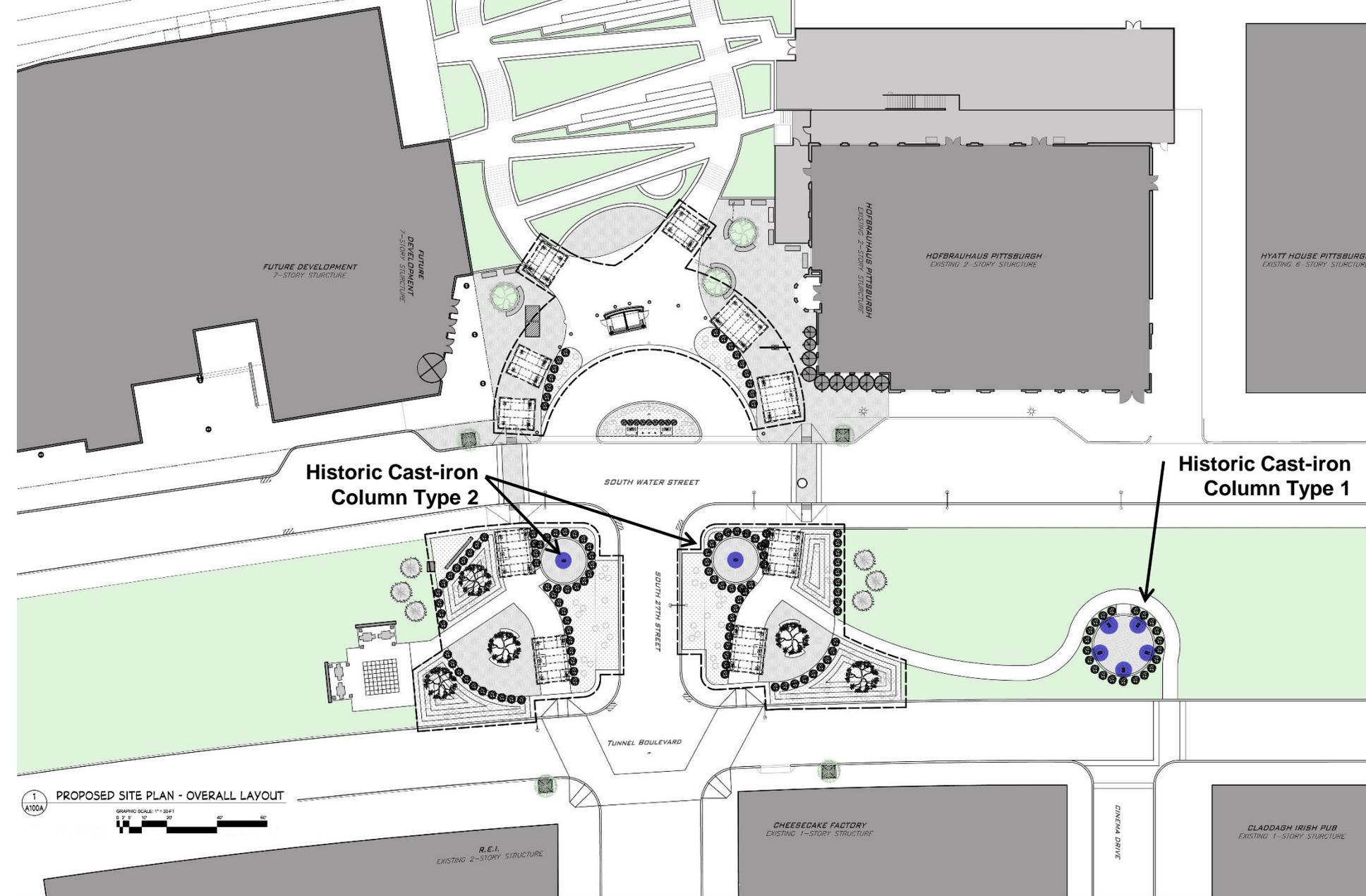
L.A. 01/14/2015



Proposed Site Connectivity

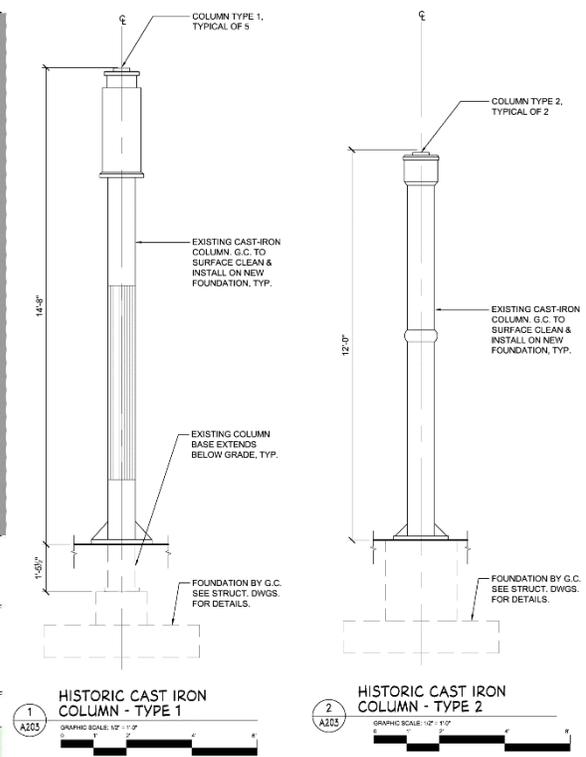


Southshore Riverfront Park – Site Plan: Overall Layout

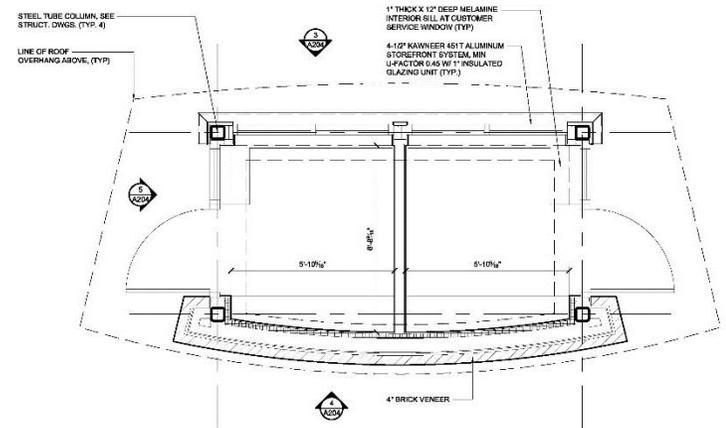
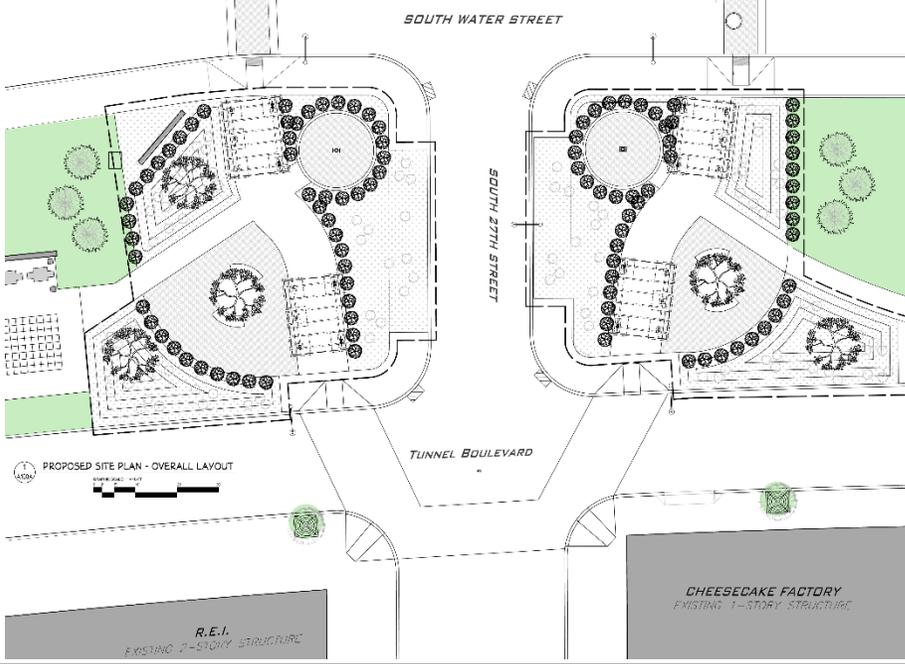
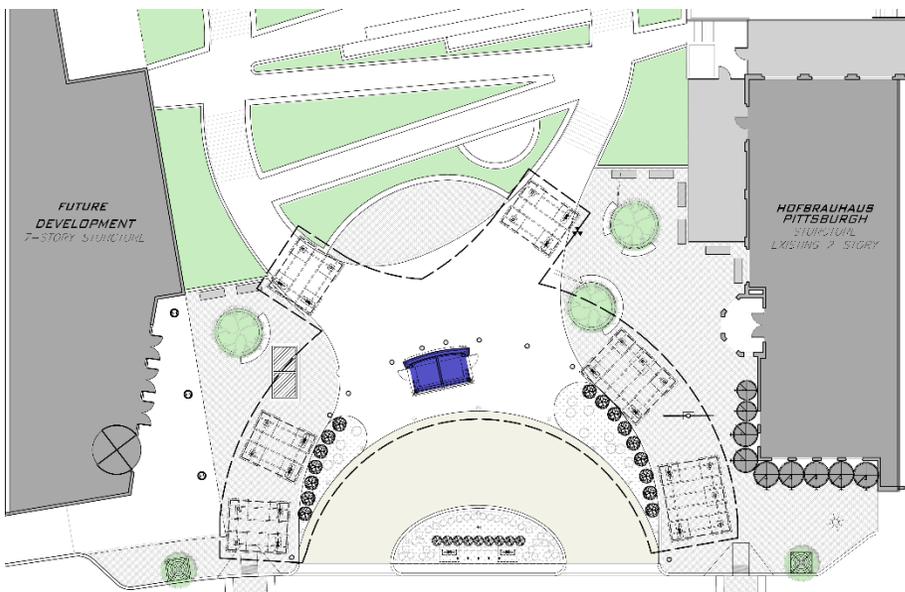


Historic Cast-iron Column Type 2

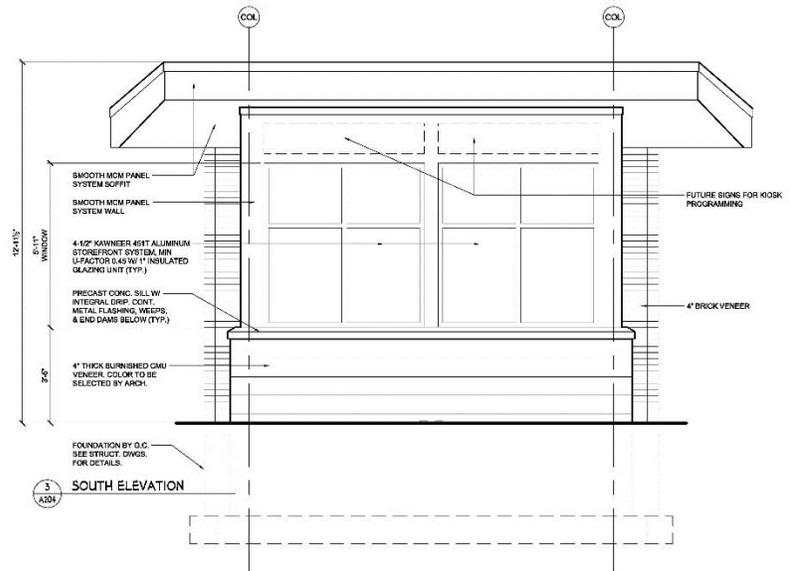
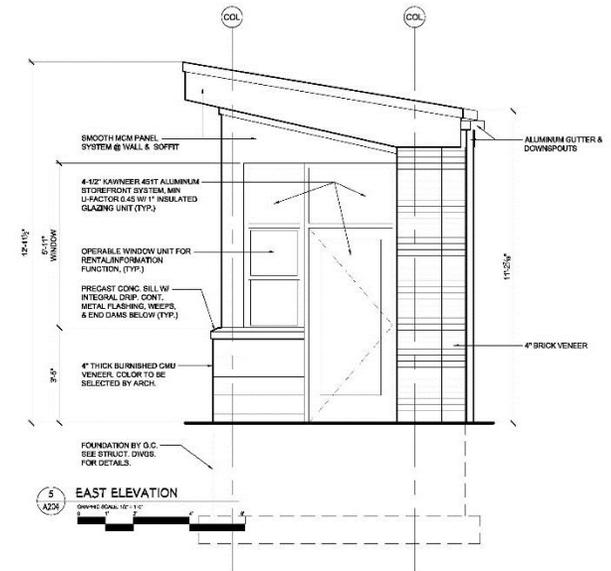
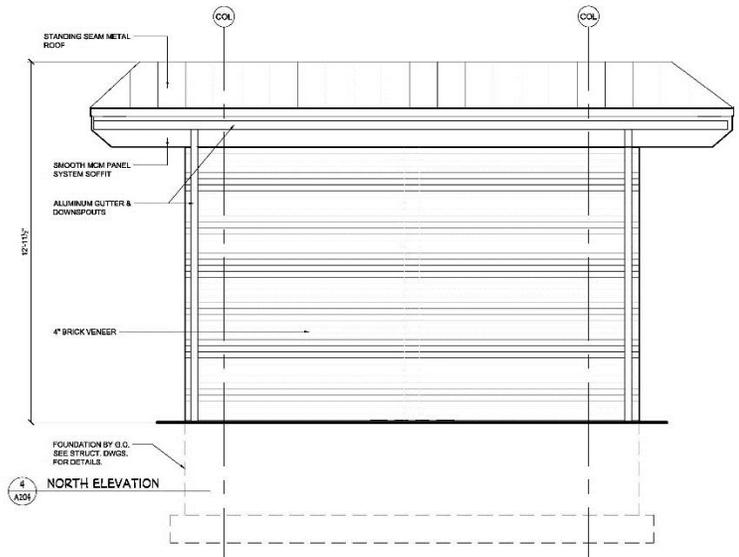
Historic Cast-iron Column Type 1



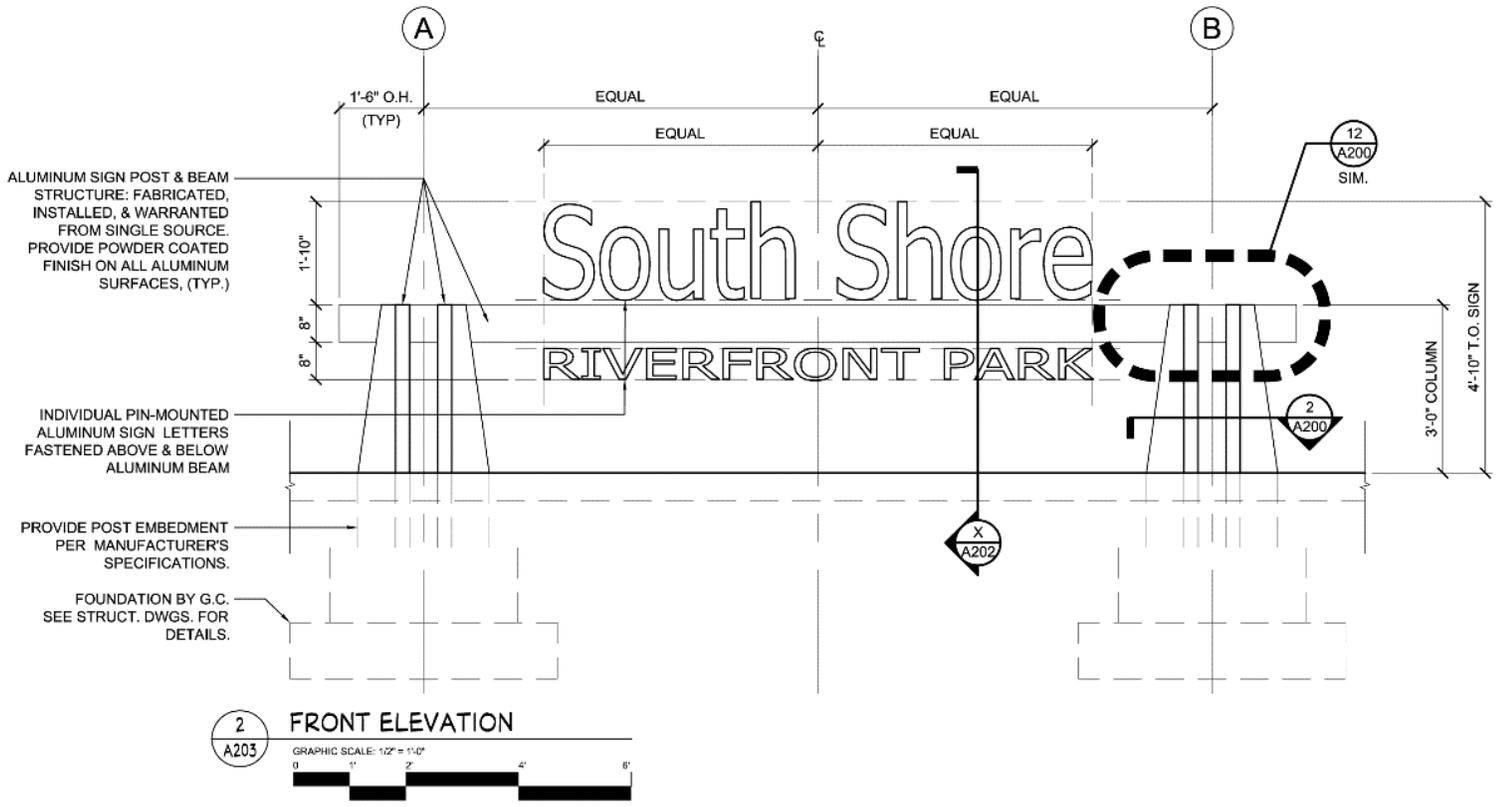
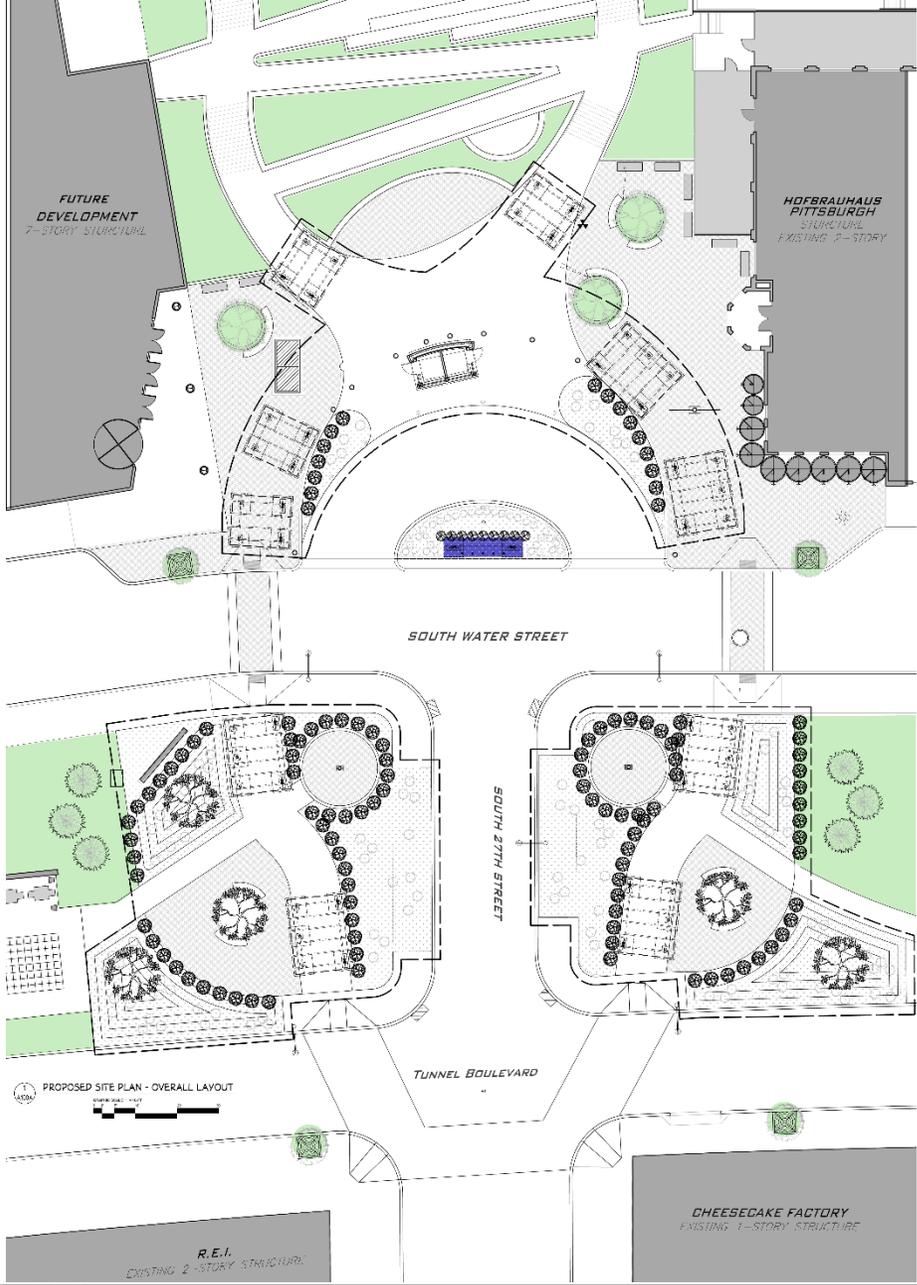
Southshore Riverfront Park – Site Plan: Historic Cast Iron Columns



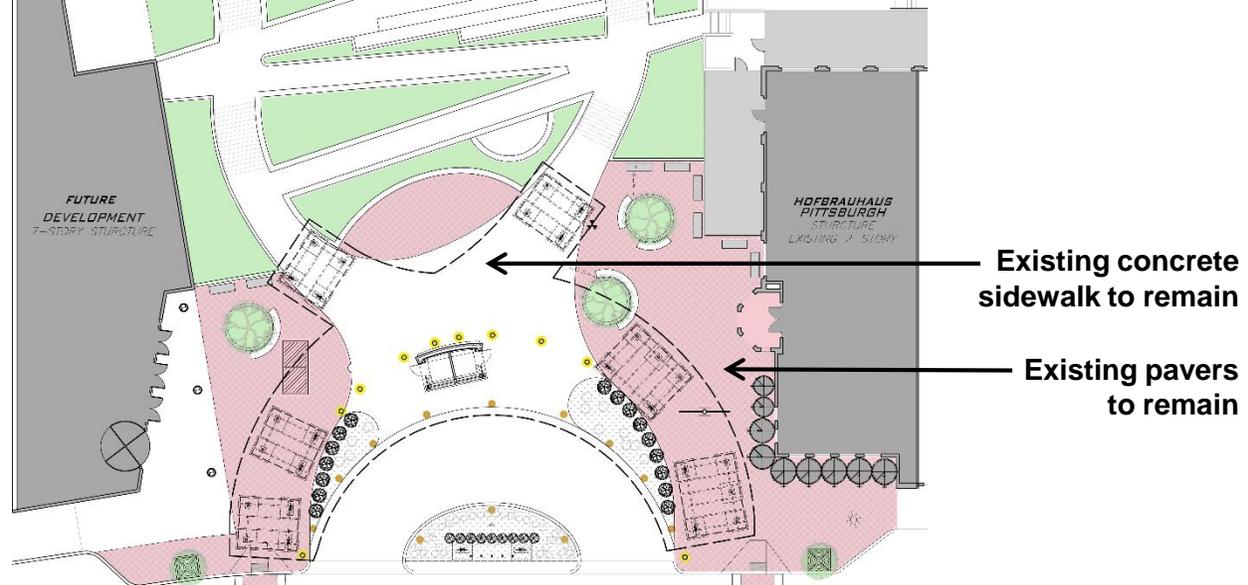
1 ENLARGED KIOSK PLAN
SCALE: 1/8" = 1'-0"



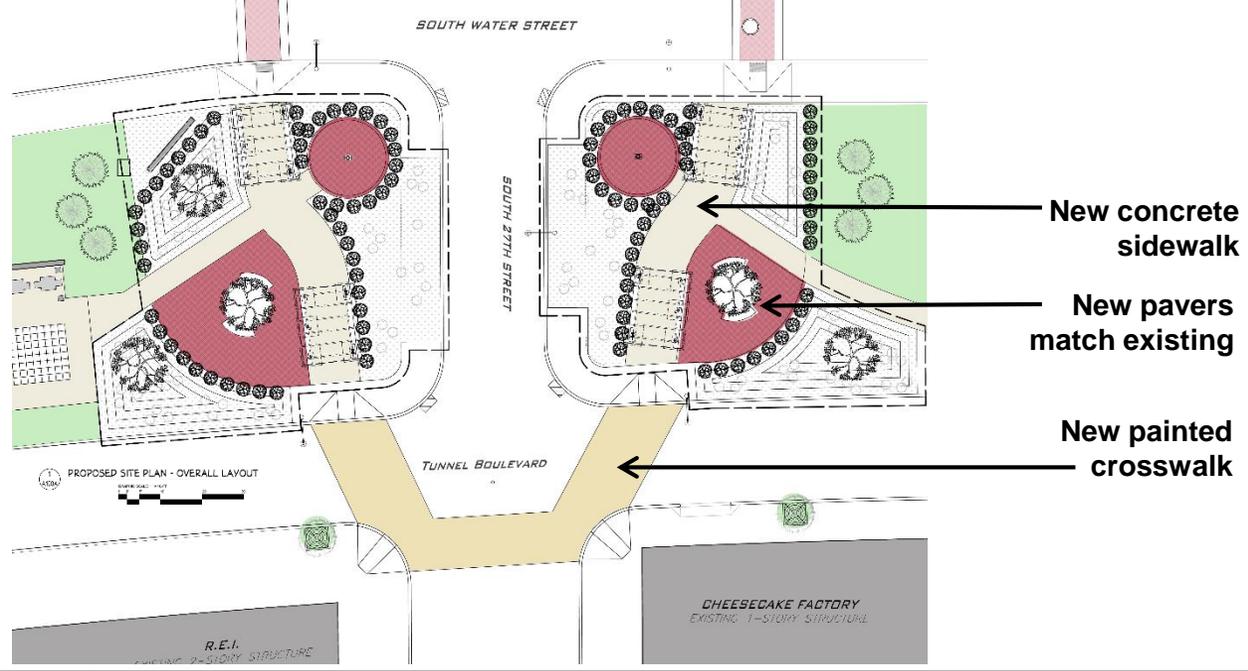
Southshore Riverfront Park – Site Plan: Valet Kiosk



Southshore Riverfront Park – Site Plan: Southshore Riverfront Park Signage

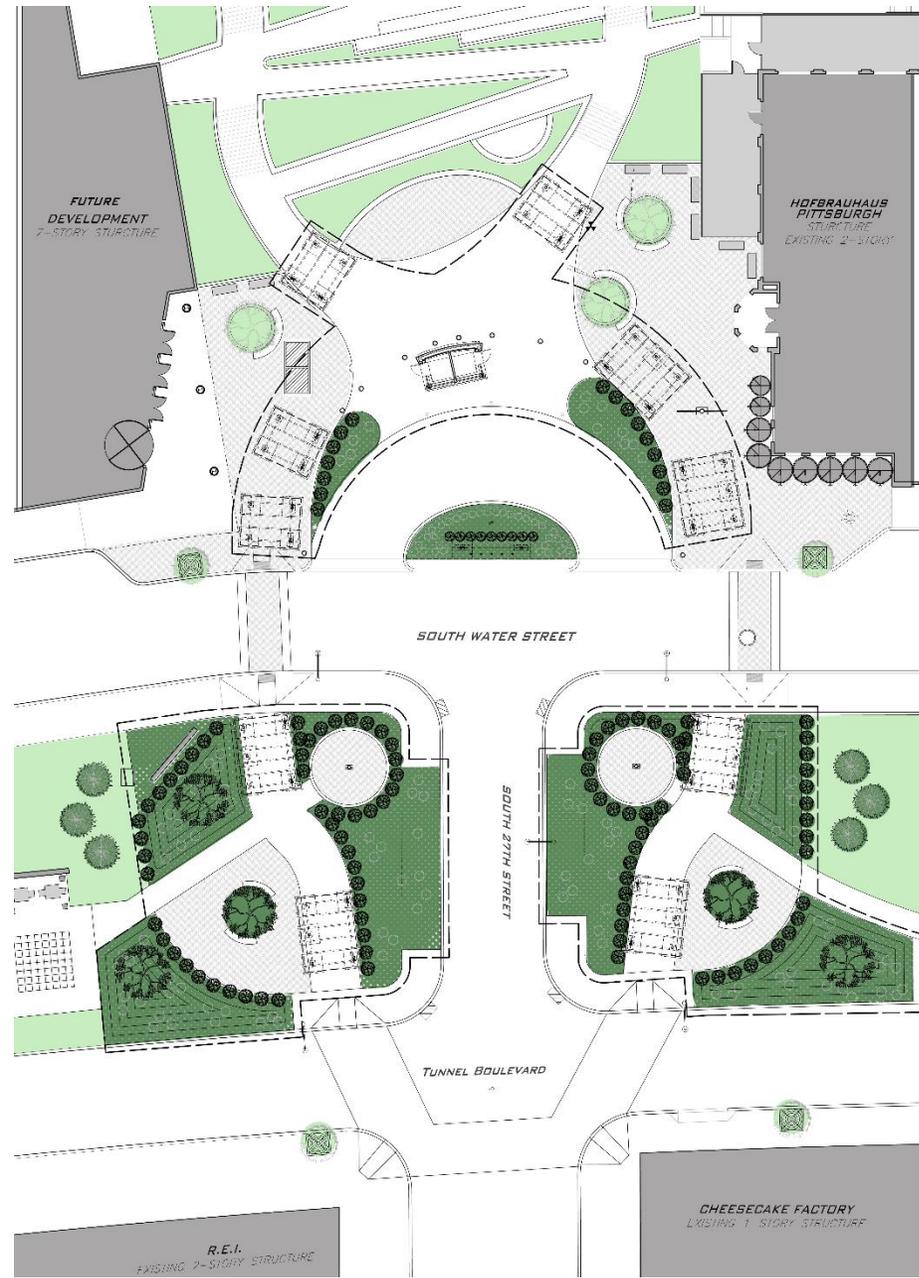


Concrete Sidewalks
Exposed Aggregate



Masonry Pavers

Southshore Riverfront Park – Site Plan: New & Existing Walkways



Redbud Forest Pansy [CC]



Ginkgo Biloba [GB]



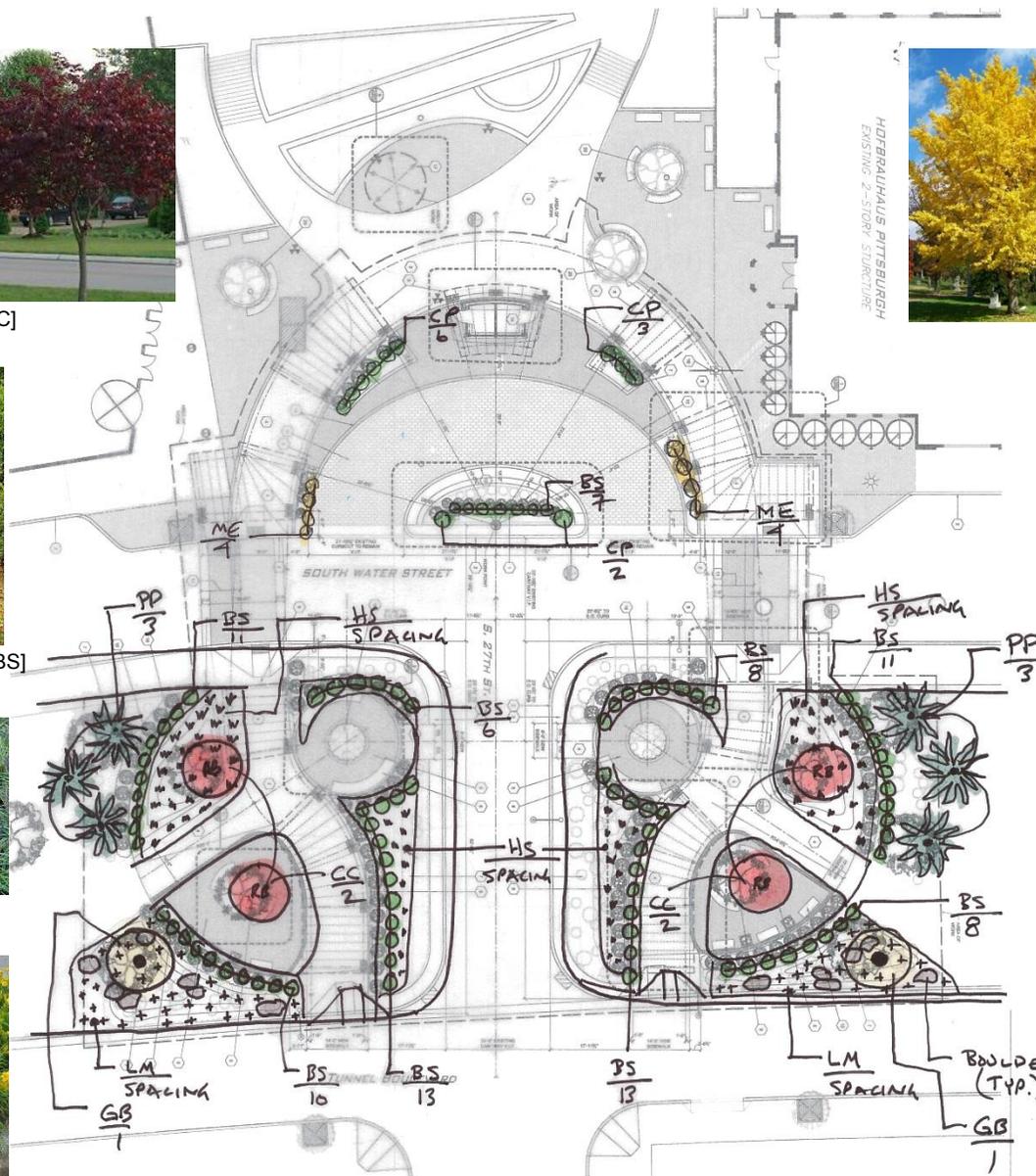
Green Velvet Boxwood [BS]



Liriope Muscari [LM]



Stella Doro Lily [HS]



Soft Serve False Cypress [CC]



Moonshadow Euonymous [ME]



Engelm Blue Spruce [PP]

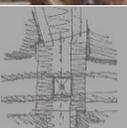
Southshore Riverfront Park – Site Plan: New Landscaping



**Southshore
Riverfront Park**

**Parcel
F4C**

Southshore Riverfront Gateway Park & Parcel F4C – Project Locations



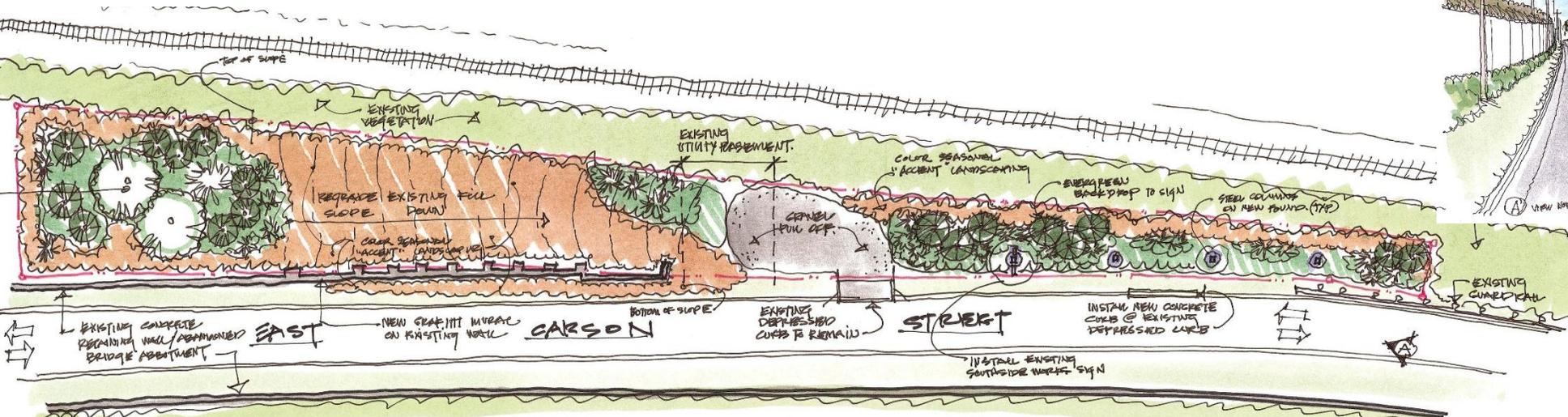


Project Site B

Monongahela River

Monongahela River

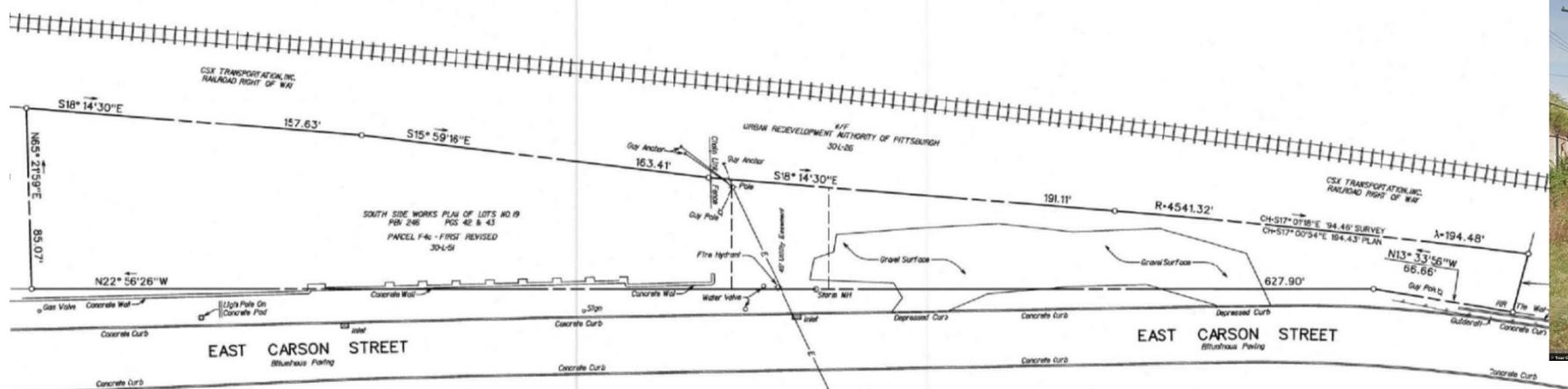
Southshore Riverfront Gateway Park – Project Location



Proposed Site



Proposed View



Existing Site



Existing View

Southshore Riverfront Park – Adjacent Parcel, F4C



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: HRLP Fourth Avenue, LLC c/o Highwoods Properties		Phone Number: (412) 434-1900	
Address: 200 Three PPG Place, Suite 200	City: Pittsburgh	State: Pennsylvania	Zip Code: 15222
2. Applicant/Company Name: Bottleneck PPG LLC, c/o Bottleneck Management, Inc.		Phone Number: (312) 212-8878	
Address: 2211 North Elston Avenue Suite 206	City: Chicago	State: Illinois	Zip Code: 60614
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: City Works (Restaurant)			
4. Development Location: PPG Place			
5. Development Address: Building Two of PPG Place			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) Not Applicable			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required: Not Applicable			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction:	Start Date: 04/01/2016	Occupancy Date: 10/15/2016	Project Cost: \$ 4 million

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Restaurant, Liquor License (General)

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: Interior tenant build-out with work involving transformation of interior atrium and PPG shops into a new City Works Restaurant. Included in scope of work is exterior renovation at ground floor elevation surrounding tenant build-out perimeter that faces in the right-of-way. Also included is a new raised patio with louvered roof for seasonal protection to serve as a built extension of the restaurant that is to be built on the perimeter sidewalk of Market Square's right-of-way.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 1 (Patio) N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed: _____ sq ft
 Existing to be Retained: _____ sq ft
 Retained Area to be Renovated: 10,500 sq ft (Tenant Build-Out)
 To be Constructed: 866 sq ft (New Patio in Right-Of-Way)
 Building Footprint: _____ sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure (Building Two of PPG)	4 stories (includes mezz)	85 ft (including merlons)		
Proposed Addition/Extension (Patio)			1 story	11 ft

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units: Not Applicable
 Existing to Remain: _____ Proposed: _____

17. Lot Area: 30,892 sq ft (Parcel C-1)

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- 0 New Water Service Connection(s) 0 Termination of Existing Water Service Tap(s)
- 0 New Sewer Service Connection(s) 0 Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:





**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
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68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
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80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
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89. Parks and Recreation (General)
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94. Recreation and Entertainment, Outdoor (General)
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96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
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118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
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127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: HRLP Fourth Avenue, LLC c/o Highwoods Properties		Phone Number: (412) 434-1900	
Address: 200 Three PPG Place, Suite 200	City: Pittsburgh	State: Pennsylvania	Zip Code: 15222
2. Applicant/Company Name: Bottleneck PPG LLC, c/o Bottleneck Management, Inc.		Phone Number: (312) 212-8878	
Address: 2211 North Elston Avenue Suite 206	City: Chicago	State: Illinois	Zip Code: 60614
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: City Works (Restaurant)			
4. Development Location: PPG Place			
5. Development Address: Building Two of PPG Place			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) Not Applicable			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required: Not Applicable			
Certificate of Occupancy#:		Date Issued:	Existing Use of Property:
8. Estimated Construction:	Start Date: 04/01/2016	Occupancy Date: 10/15/2016	Project Cost: \$ 4 million

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Restaurant, Liquor License (General)

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: Interior tenant build-out with work involving transformation of interior atrium and PPG shops into a new City Works Restaurant. Included in scope of work is exterior renovation at ground floor elevation surrounding tenant build-out perimeter that faces in the right-of-way. Also included is a new raised patio with louvered roof for seasonal protection to serve as a built extension of the restaurant that is to be built on the perimeter sidewalk of Market Square's right-of-way.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

- | | |
|--|---|
| <u> 0 </u> New Water Service Connection(s) | <u> 0 </u> Termination of Existing Water Service Tap(s) |
| <u> 0 </u> New Sewer Service Connection(s) | <u> 0 </u> Termination of Existing Sewer Service Tap(s) |

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

- YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
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24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

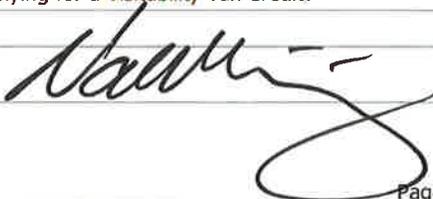
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WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
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26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: 



**DEPARTMENT OF CITY PLANNING
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Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

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**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

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DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

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City Zoning Code

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Allegheny County Health Department (ACHD)

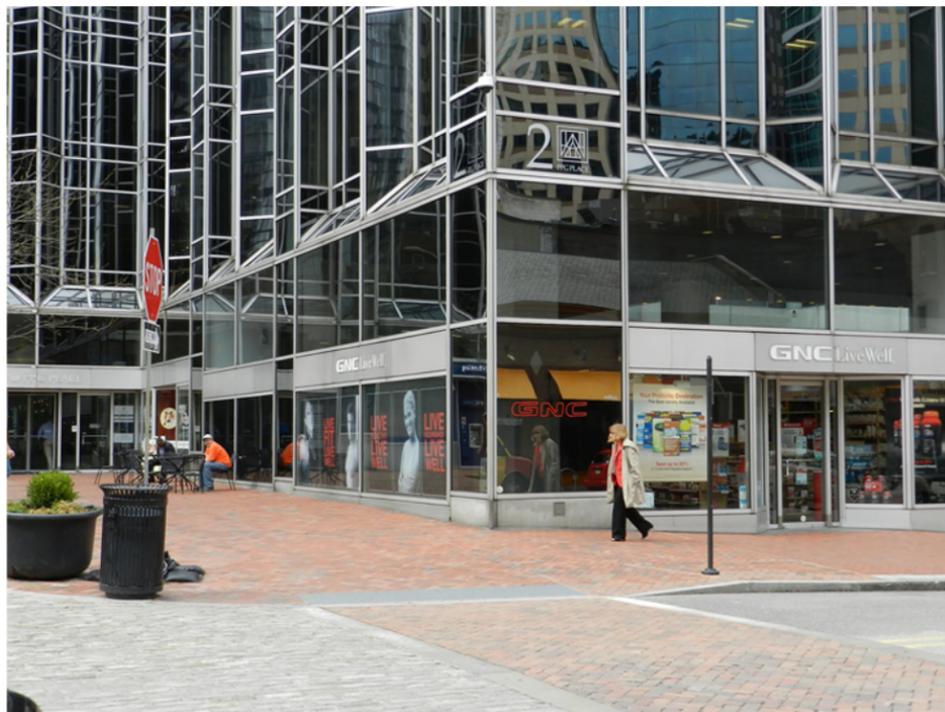
Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

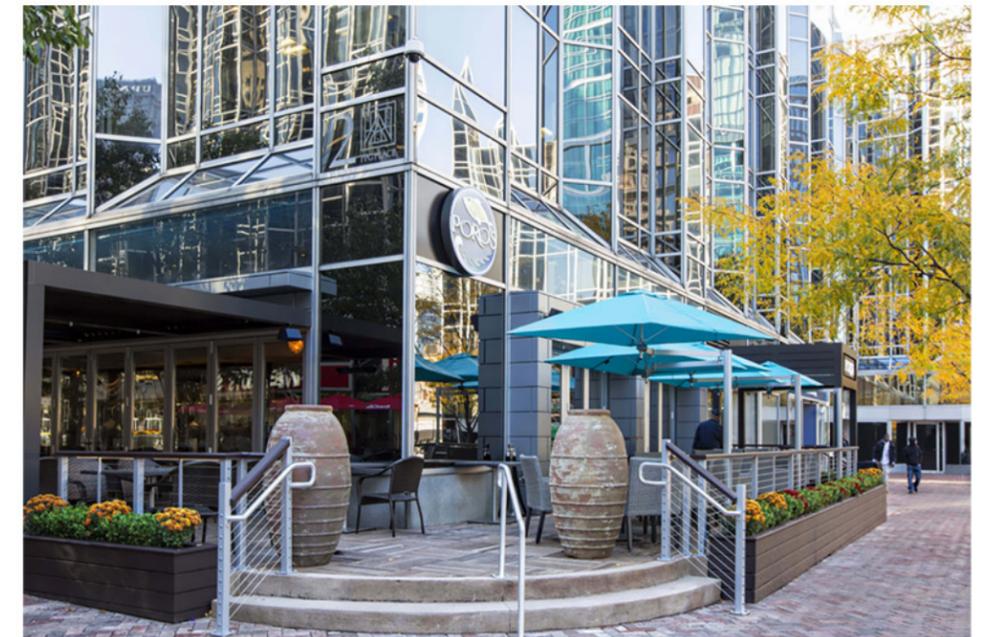
Allegheny County Health Department (ACHD)

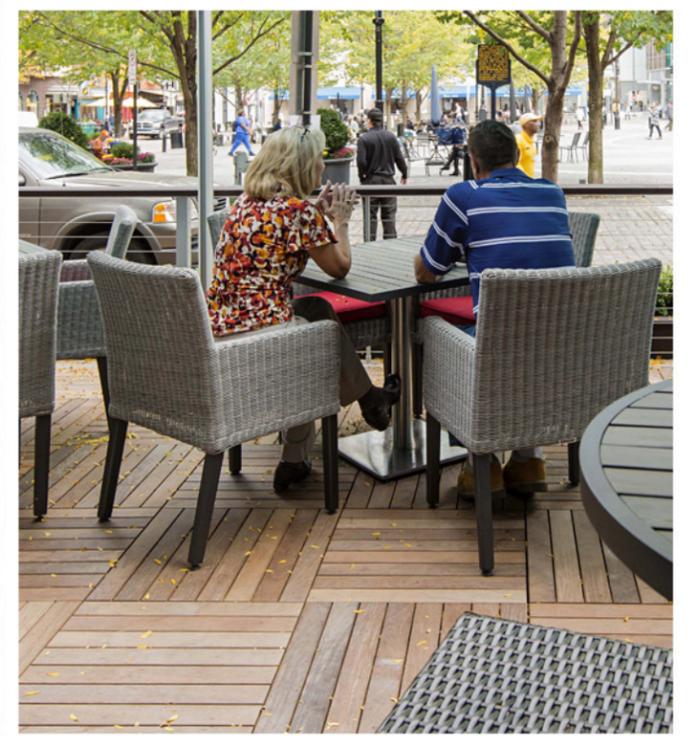
Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
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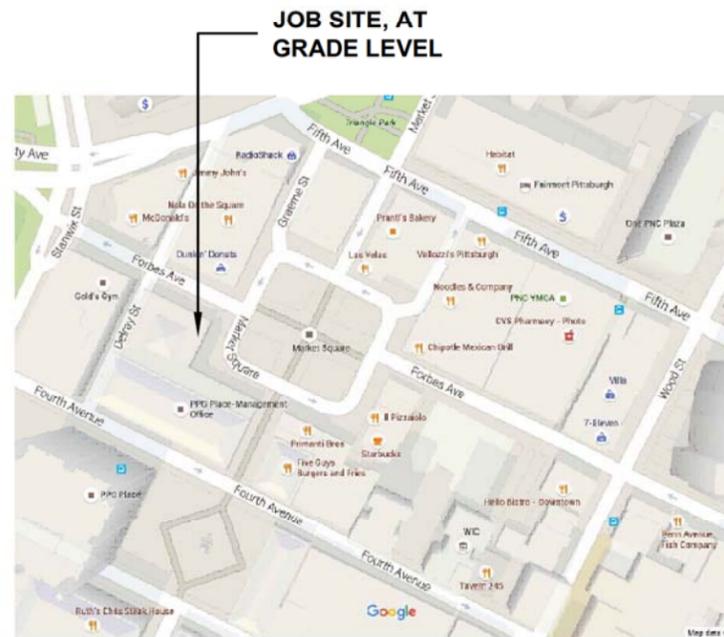






**Building Two at PPG Place
Pittsburgh, PA 15222**

December 01, 2015
Revised: February 16, 2016



Vicinity Map



BRIEF DESCRIPTION OF PROPOSED PROJECT:

Interior tenant build-out with work involving transformation of interior atrium and PPG shops into a new City Works Restaurant. Included in scope of work is exterior renovation at ground floor elevation surrounding tenant build-out perimeter that faces in the right-of-way. Also included is a new raised patio with louvered roof for seasonal protection to serve as a built extension of the restaurant that is to be built on the perimeter sidewalk of Market Square's right-of-way.

Along with City Works signage, proposed finishes include copper diamond shaped shingles, wood glulam beams & posts, ipe wood decking, operable aluminum louvers at patio roof, operable storefronts, aluminum planters, glass railings, and concrete panel cladding (no vinyl enclosure surrounding patio).

Drawing Index

Title Sheet
Exterior Rendering 1
Exterior Rendering 2
Exterior Rendering 3
Exterior Rendering 4

Plot Plan A1
Proposed Patio Plan A2
Proposed Patio Reflected Ceiling Plan A3
Proposed East Exterior Elevation A4
Proposed North Exterior Elevation A5
Sections A6
3D Views A7
3D Views A8
Photographs A9

Tenant:
Bottleneck Management, LLC
2211 N. Elston, Suite 206
Chicago, IL 60614
www.bottleneckmgmt.com

Owner / Landlord:
Highwoods Properties
200 Three PPG Place
Pittsburgh, PA 15222
www.highwoods.com

Owner's Representative:
Bramco Construction
211 N. Clinton St, Suite 2N
Chicago, IL 60661
www.bramcoconstruction.com

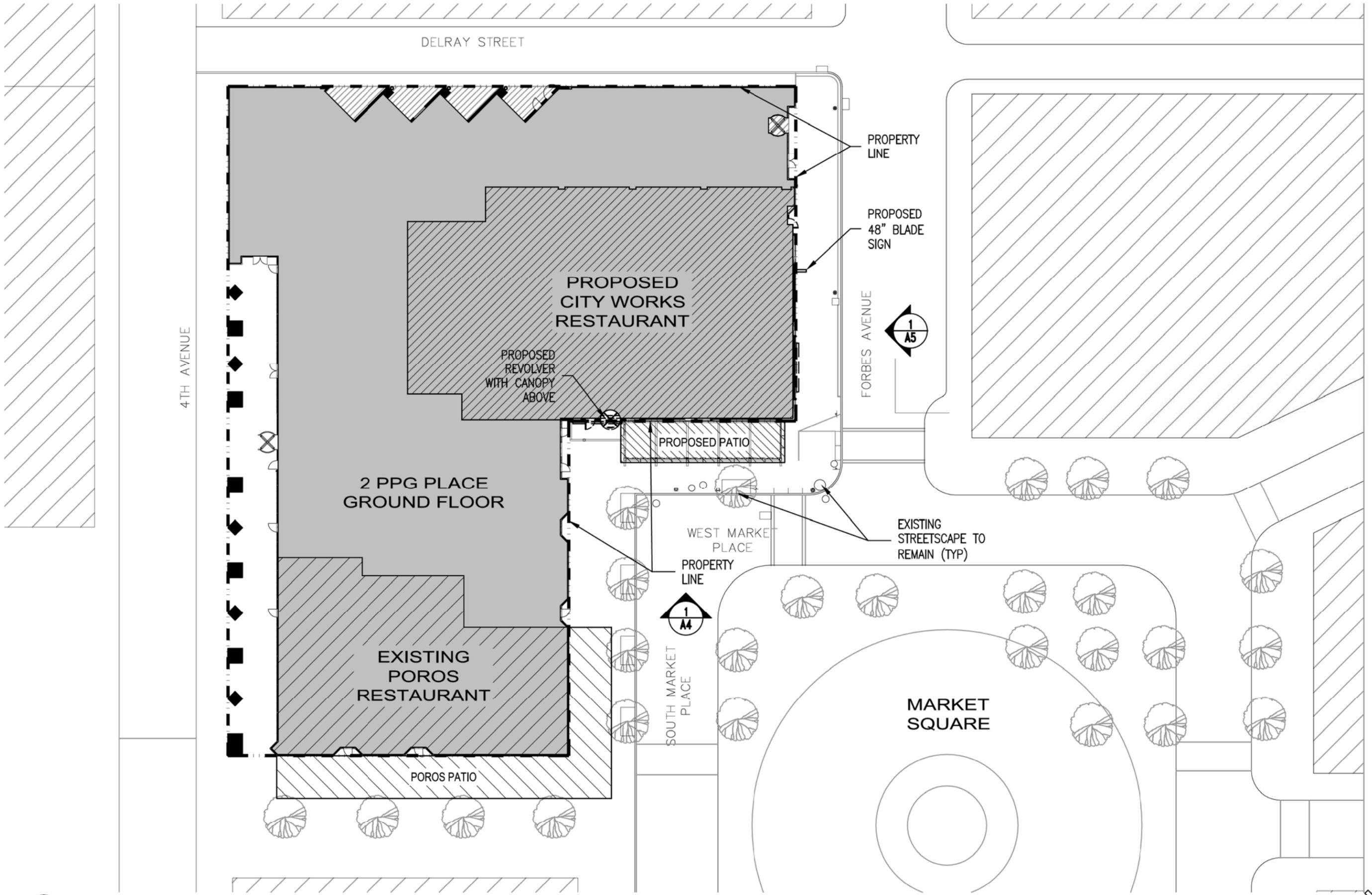
Architect | Interior Designer:
Dacre & Youngquist, LLC
118 North Peoria St. Suite 4s
Chicago, IL 60607
www.dandyarchitects.com

M.E.P. Engineer:
Larson Binkley
310 West 20th St., Floor 2
Kansas City, MO 64108
www.larsonbinkley.com

Structural Engineer:
Atlantic Engineering Services
650 Smithfield St., Suite 1200
Pittsburgh, PA 15222
www.aesj.com

Kitchen Consultant:
TriMark Marlin
6100 W. 73rd St.
Bedford Park, IL 60638
www.trimarkusa.com

Signage:
Spectrum Sign Corp.
28 Vincent Drive
Clifton, NJ 07013
www.spectrumsigncorp.com



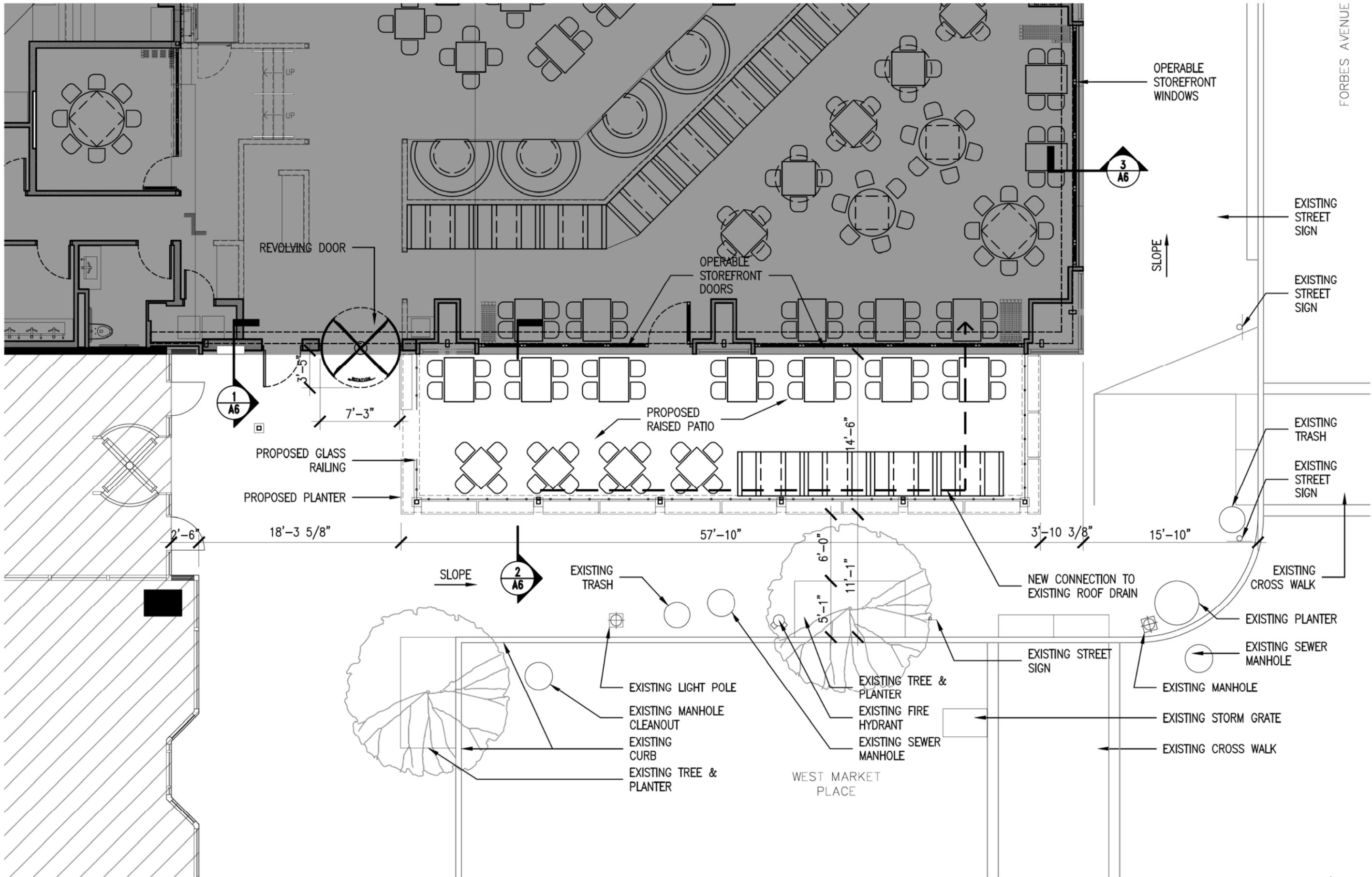
1 PLOT PLAN
SCALE: 1/32"=1'-0"

DACRE & YOUNGQUIST, LLC
ARCHITECTURE | INTERIOR DESIGN
Phone (312) 477-0774
Fax (312) 477-0775
www.dandysarchitects.com

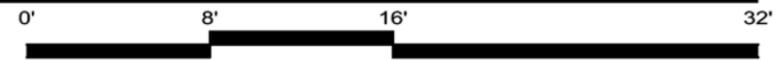
City Works
at PPG Place
Two PPG Place
Pittsburgh, PA 15222

Date: 12.01.2015
Revised: 02.16.2016
Plot Plan

Drawing No:
A1



1 PROPOSED PATIO PLAN
SCALE: 1/8"=1'-0"



FORBES AVENUE

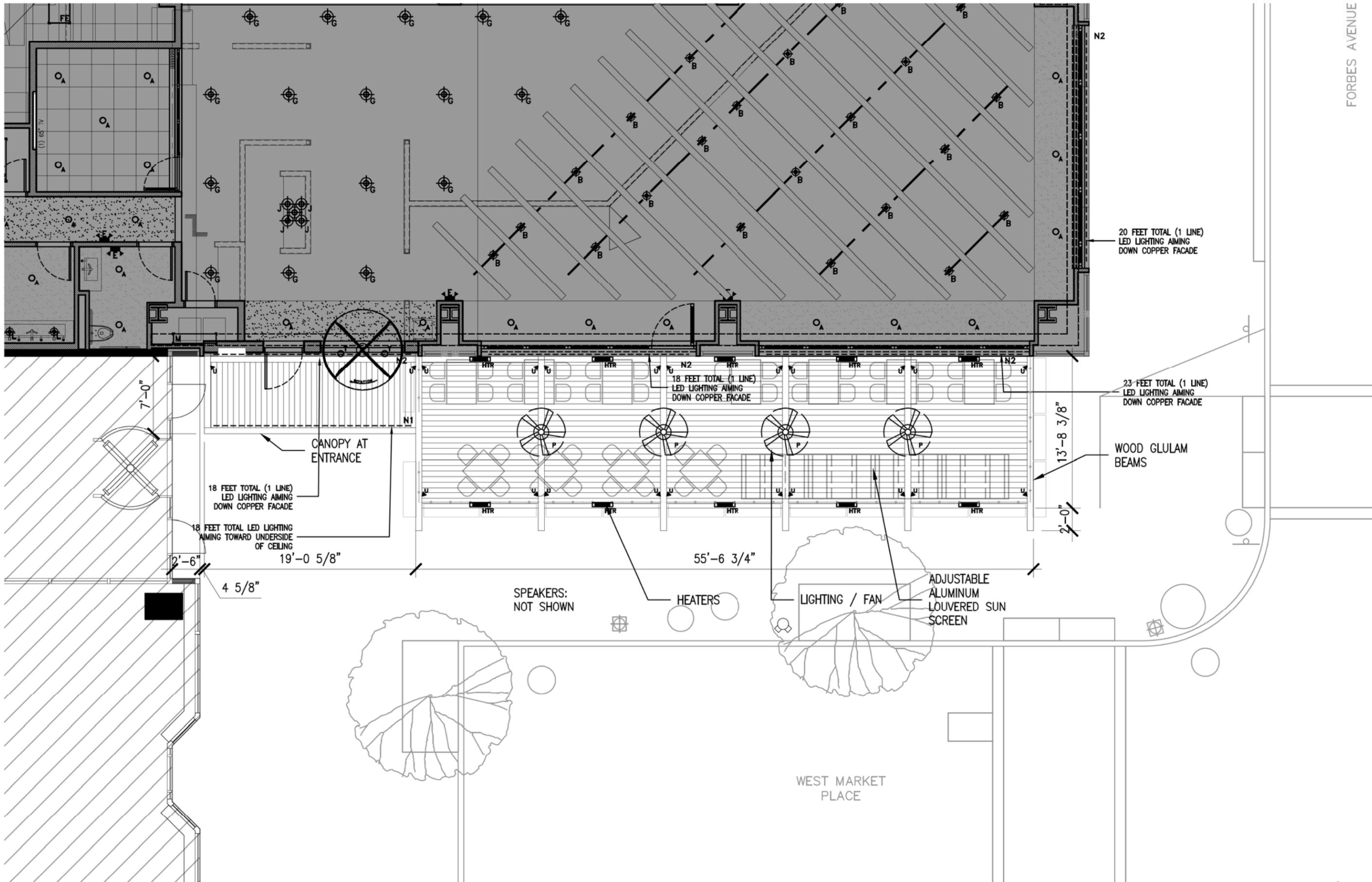
DACRE & YOUNGQUIST, LLC
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www.dandysarchitects.com

City Works
at PPG Place
Two PPG Place
Pittsburgh, PA 15222

Date: 12.01.2015
Revised: 02.16.2016
Proposed Patio Plan

Drawing No:

A2



FORBES AVENUE

DACRE & YOUNGQUIST, LLC
 ARCHITECTURE | INTERIOR DESIGN
 Phone (312) 477-0774
 Fax (312) 477-0775
 www.dandysarchitects.com

City Works
 at PPG Place
 Two PPG Place
 Pittsburgh, PA 15222

Date: 12.01.2015
 Revised: 02.16.2016
Proposed Patio
Reflected Ceiling Plan

Drawing No:

A3

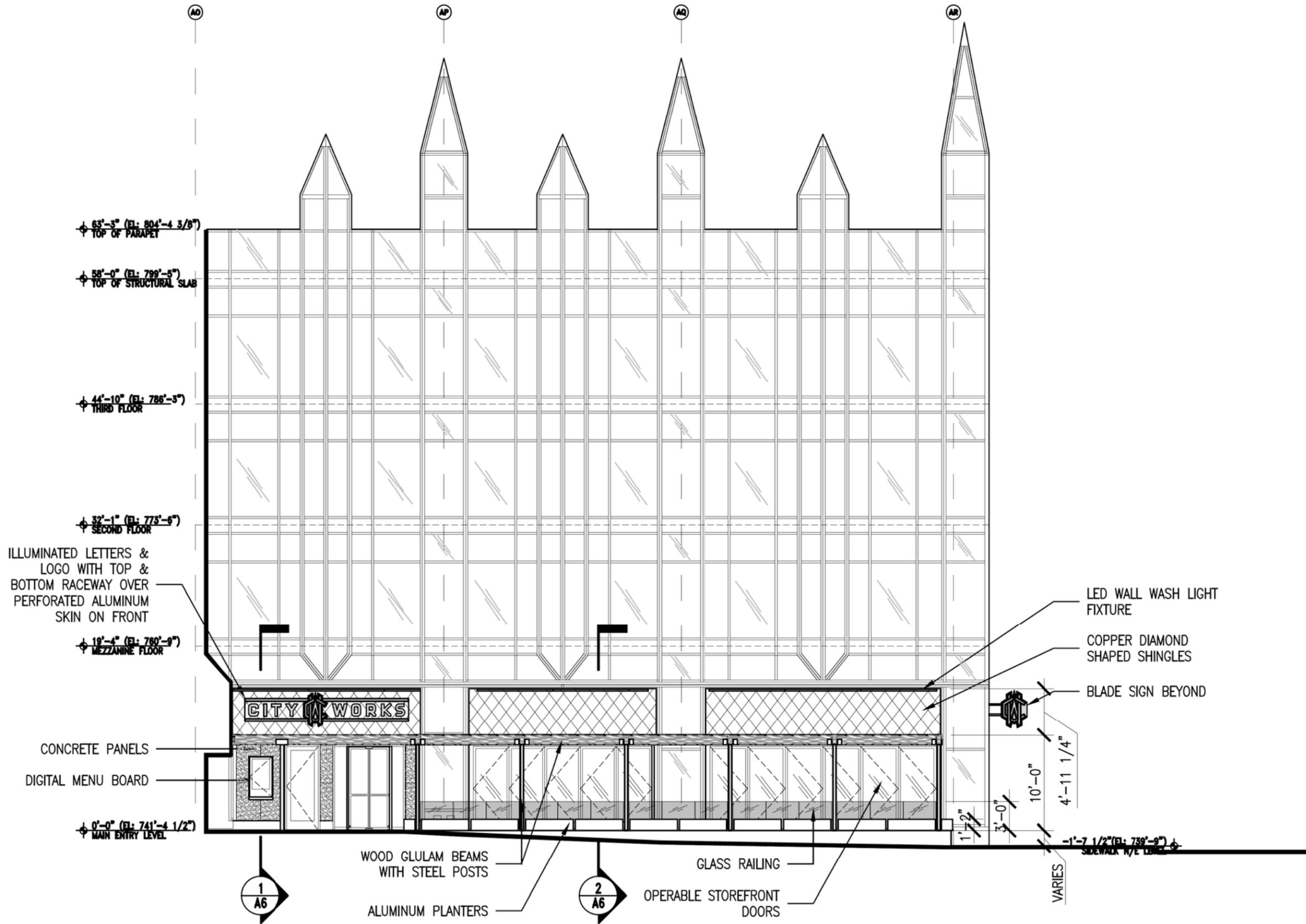
1

PROPOSED PATIO REFLECTED CEILING PLAN

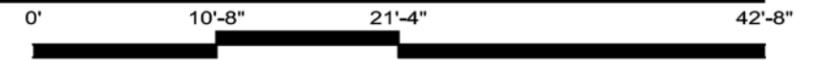
SCALE: 1/8"=1'-0"

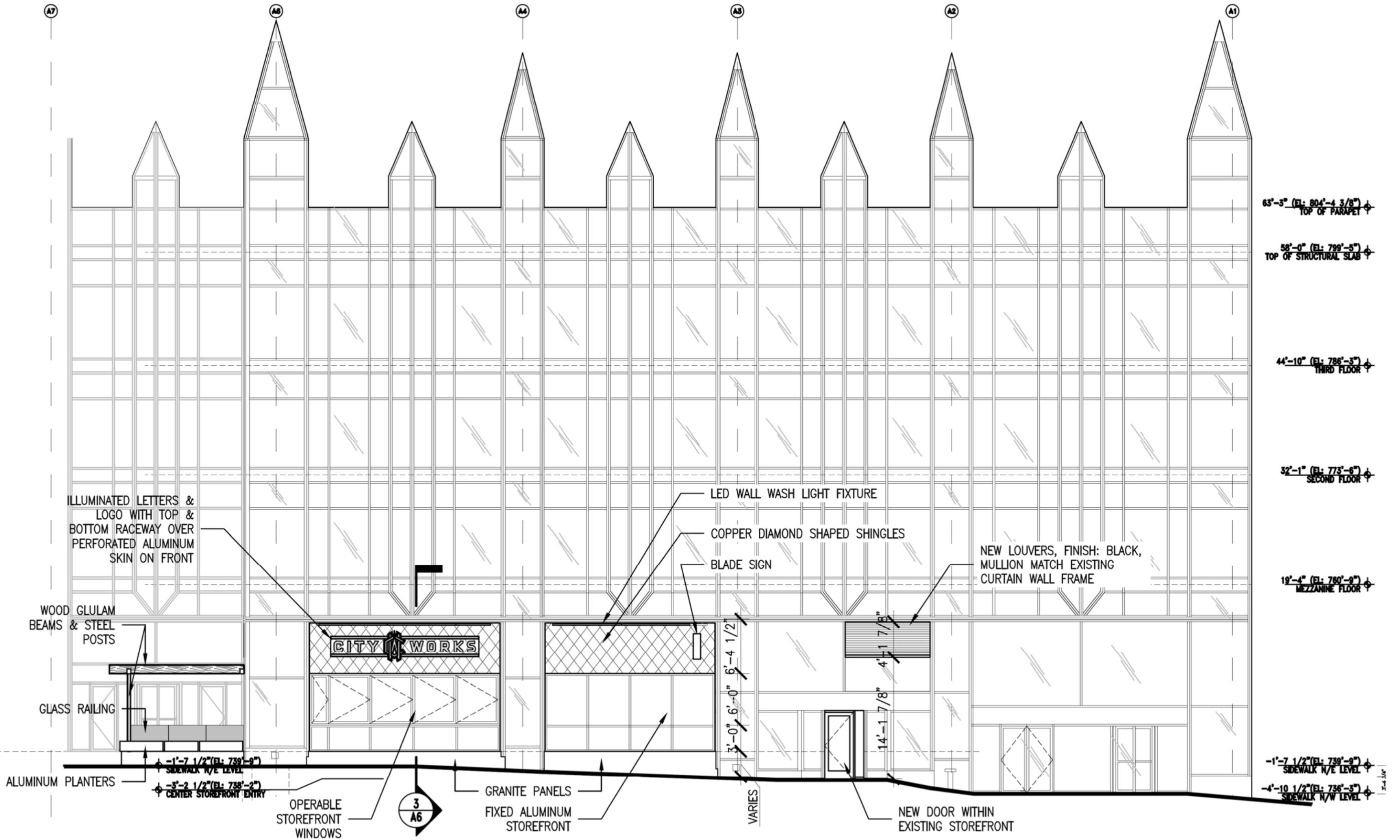
0' 8' 16' 32'





1 EAST EXTERIOR ELEVATION
 SCALE: 3/32"=1'-0"





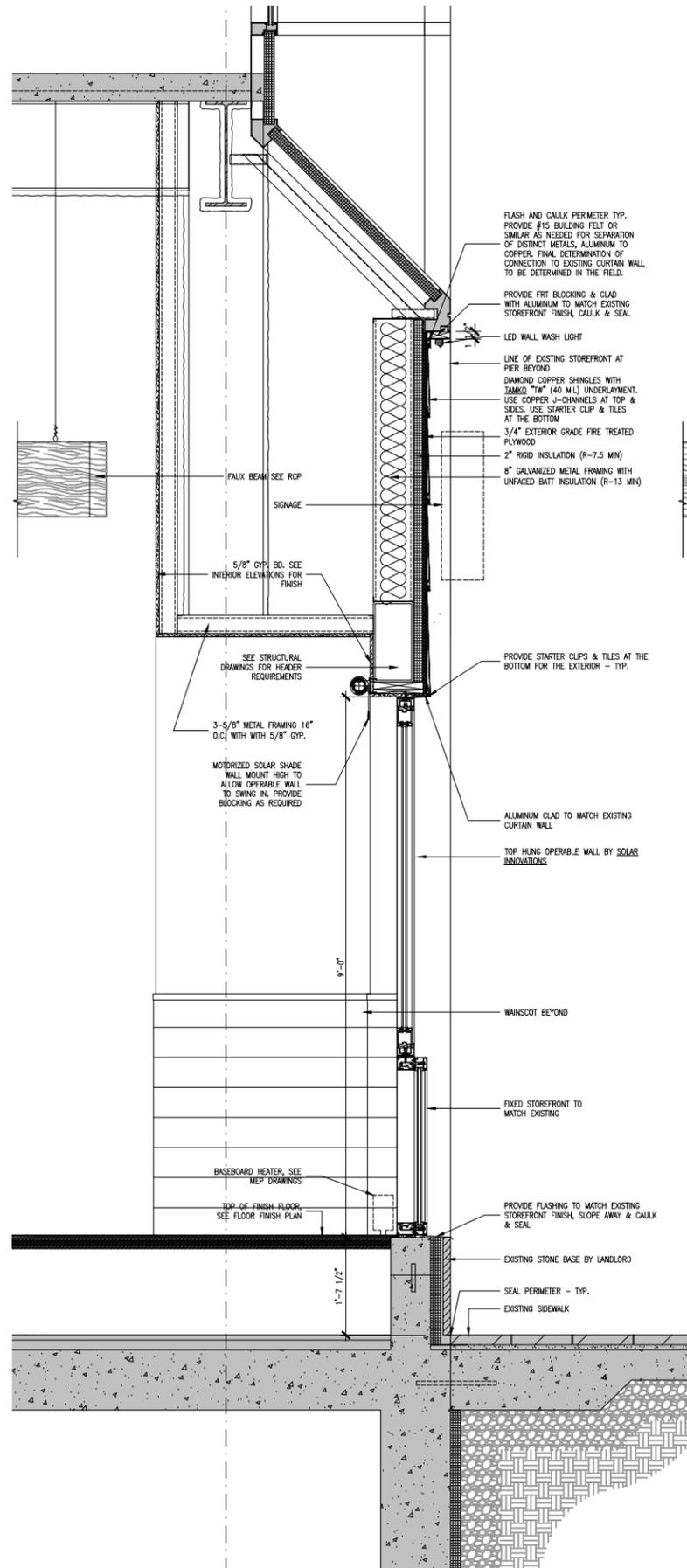
1 NORTH EXTERIOR ELEVATION
SCALE: 3/32"=1'-0"

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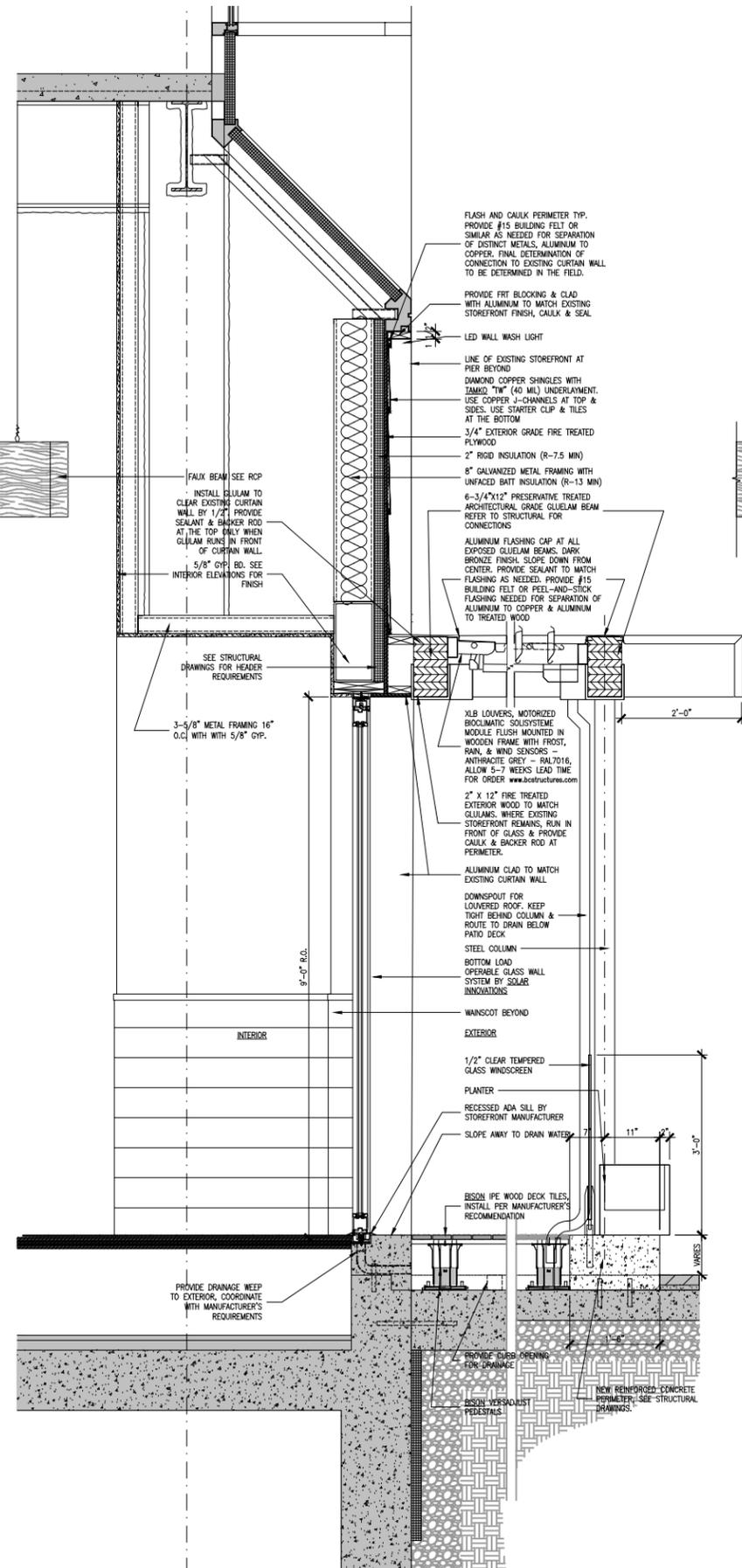
City Works
at PPG Place
Two PPG Place
Pittsburgh, PA 15222

Date: 12.01.2015
Revised: 02.16.2016
Proposed
North Exterior Elevation

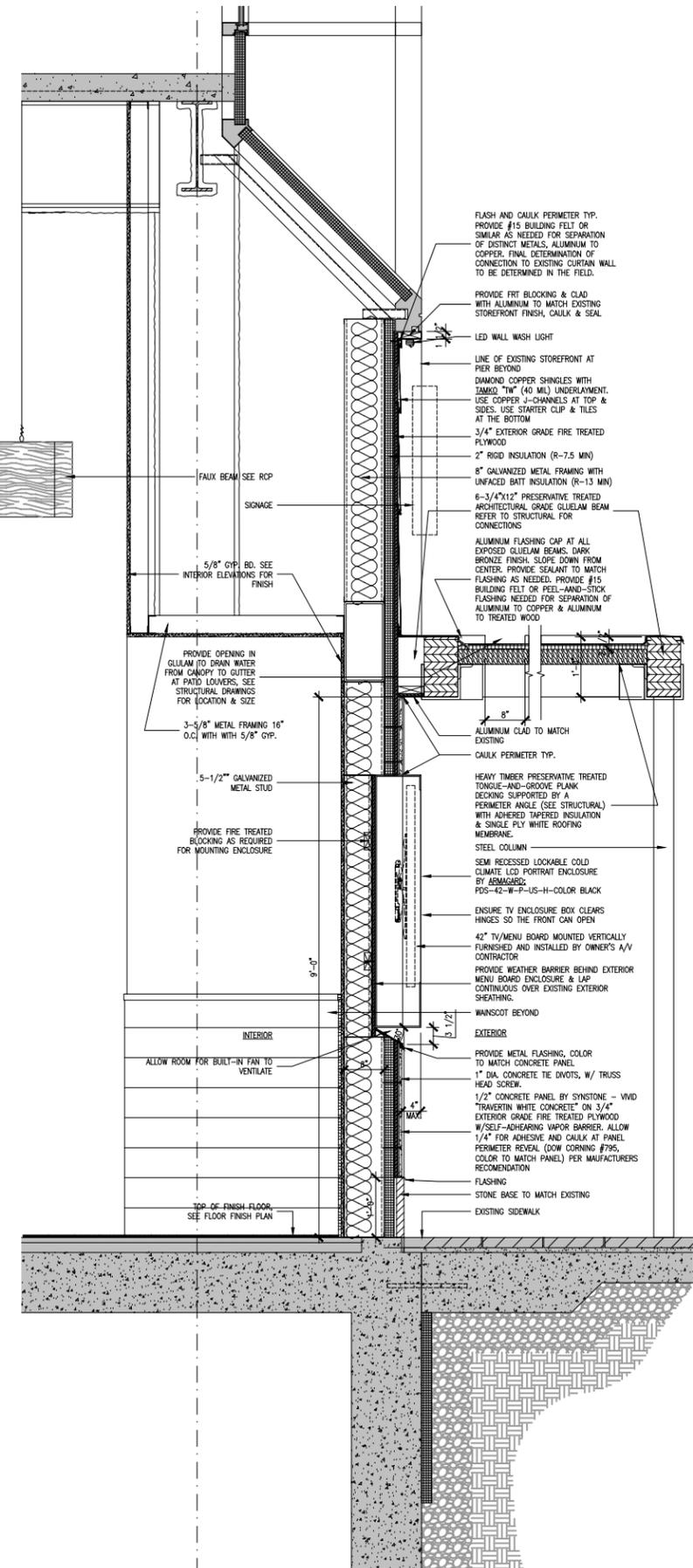
Drawing No:
A5



3 SECTION @ SIDE STOREFRONT
SCALE: 3/8"=1'-0"



2 SECTION @ PATIO
SCALE: 3/8"=1'-0"



1 SECTION @ CANOPY
SCALE: 3/8"=1'-0"



Corner View



Front View

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Date: 12.01.2015
 Revised: 01.13.2016

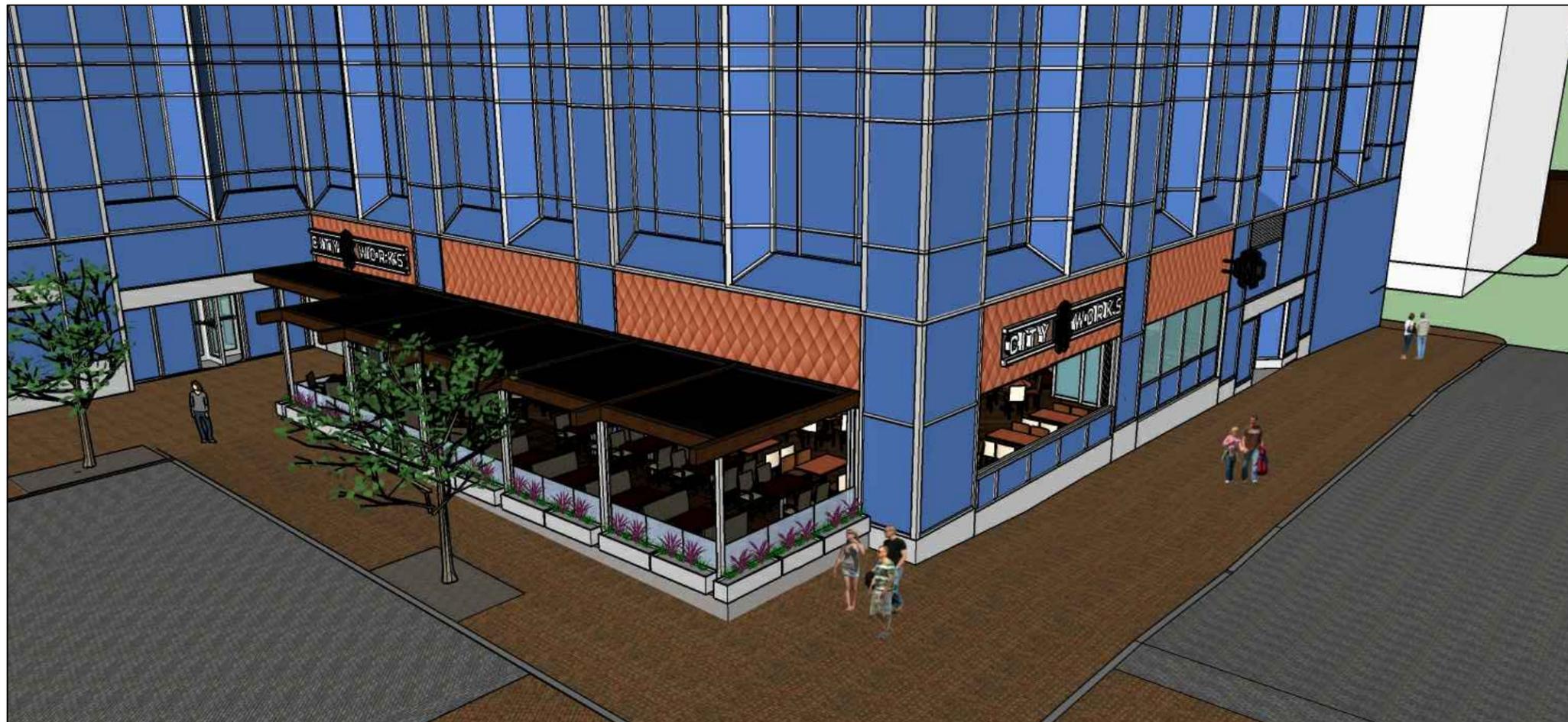
3D Views

Drawing No:

A7



Front Entry View



Aerial View

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 Revised: 01.13.2016

3D Views

Drawing No:

A8