



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Stadium Authority of the City of Pittsburgh		Phone Number: (412) 393-0200	
Address: 171 10th St., 2nd Fl.	City: Pittsburgh	State: PA	Zip Code: 15222
2. Applicant/Company Name: Stadium Authority of the City of Pittsburgh		Phone Number: (412) 393-0200	
Address: 171 10th St., 2nd Fl.	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Lot 1 Parking Garage Facility			
4. Development Location: North Shore; West General Robinson St. between Art Rooney Blvd. & Tony Dorsett Dr.			
5. Development Address: Not yet assigned.			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	DR-B		
Present Use of Site: (Select from attached list)	Parking, Commercial (General)		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: 59923, 59924 for 400 North Shore Drive	Date Issued: 3/28/91	Existing Use of Property: Surface Parking	
8. Estimated Construction:	Start Date: 7 / 16 / 16	Occupancy Date: 4 / 1 / 17	Project Cost: \$ 18 Million

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Parking Structure (General)

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development:

Construction of an approximately 1,000 space, 6-story parking garage on the current Lot 1 site east of Heinz Field. A net gain of approximately 600 parking spaces is anticipated.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



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DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: 1 N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	N/A	sq ft
Existing to be Retained:	N/A	sq ft
Retained Area to be Renovated:	N/A	sq ft
To be Constructed:	331,600	sq ft
Building Footprint:	59,483	sq ft

15. Height of Structures:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	N/A	N/A	6	70
Proposed Addition/Extension			N/A	N/A

Provide Accessory Structure Type(s) and Height(s):

N/A			

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: N/A

17. Lot Area: 386,000 sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')	1,121	590 (net)
Compact (7 1/4' x 16')	0	0
Handicap (13 1/2' x 19')	21	25 (net)

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



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DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<p><u> 1 </u> New Water Service Connection(s)</p> <p><u> 1 </u> New Sewer Service Connection(s)</p>	<p><u> 0 </u> Termination of Existing Water Service Tap(s)</p> <p><u> 0 </u> Termination of Existing Sewer Service Tap(s)</p>
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22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



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Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



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DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html



LOT 1 PARKING FACILITY PLANNING COMMISSION – BRIEFING

Stadium Authority of the City of Pittsburgh

March 22, 2016

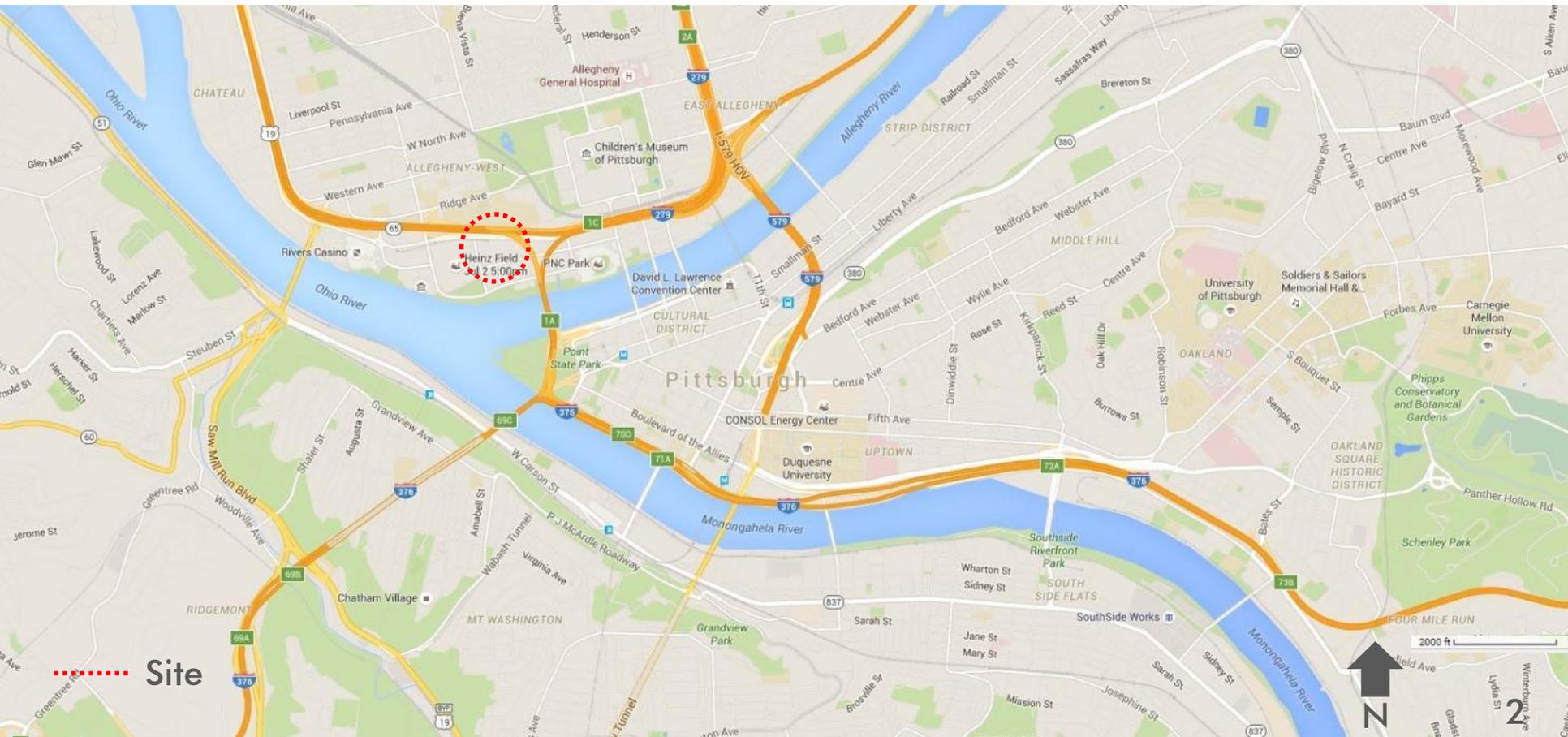
 WTW ARCHITECTS

Project Introduction

- Address:
 - Chuck Noll Way & West General Robinson Street
- Zoning District
 - Riverfront - IPOD-5 (Interim Planning Overlay District)
- Project Description
 - A new structured parking facility located within surface parking Lot 1
 - Approximately 331,600 GSF with 1,000 spaces
 - Protected bicycle parking for a minimum of 100 bicycles
 - Situated near LRT Stations, Bus Stops, Pittsburgh Bike Share Station & Heritage Trail
 - Green Garage Certification Goal – Gold Award Level



Location Map



Landscaping Plan



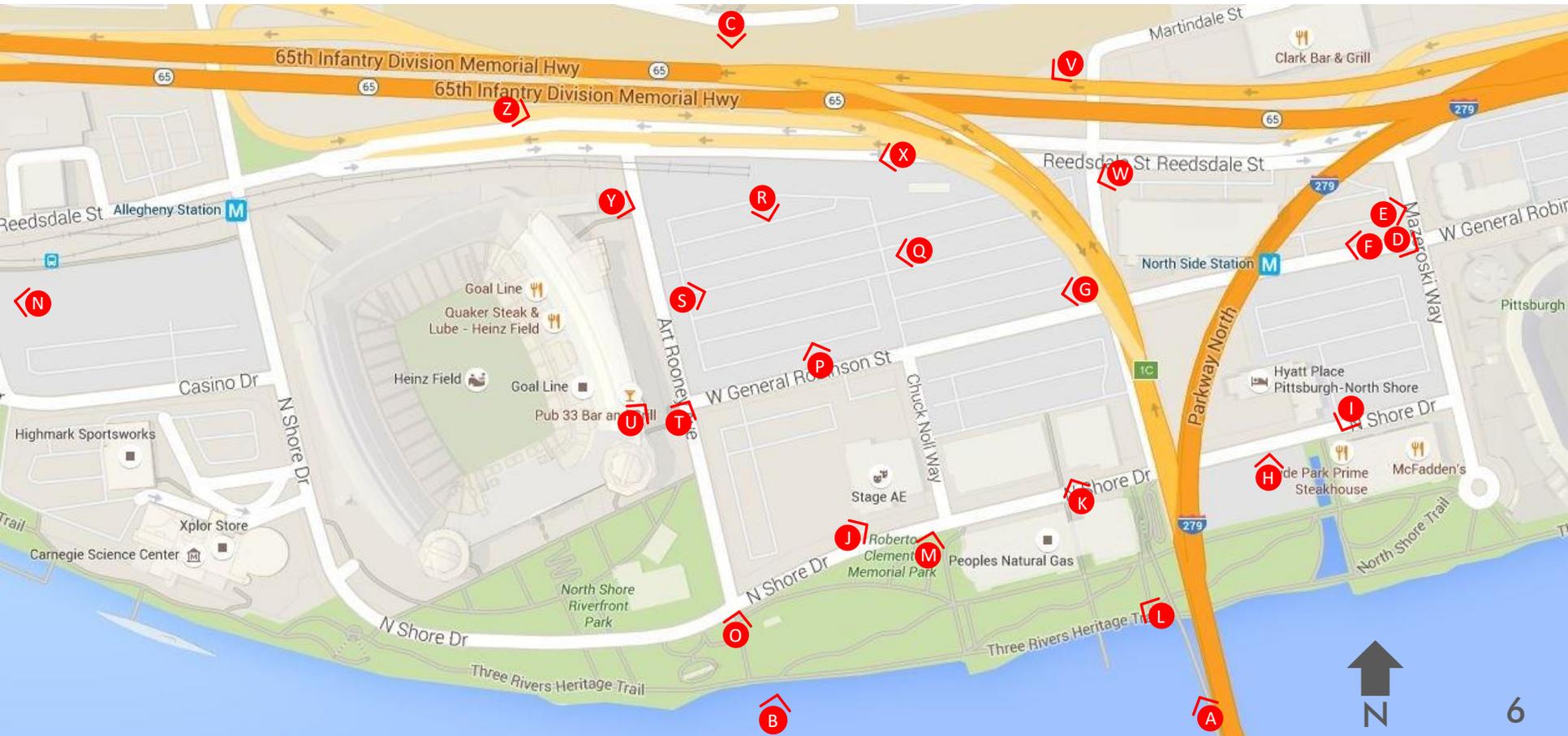
Note: All Dimensions Approximate

Proposed Plant & Landscape Materials

- Increase Pervious Surface
- Low Maintenance, Native & Indigenous
- Biodiversity
- Appropriate Mature Size
- Groundcover, Perennials, Shade Trees
- Consistent Fencing & Bollards



Site Context Vantage Points



Context – W. General Robinson Street

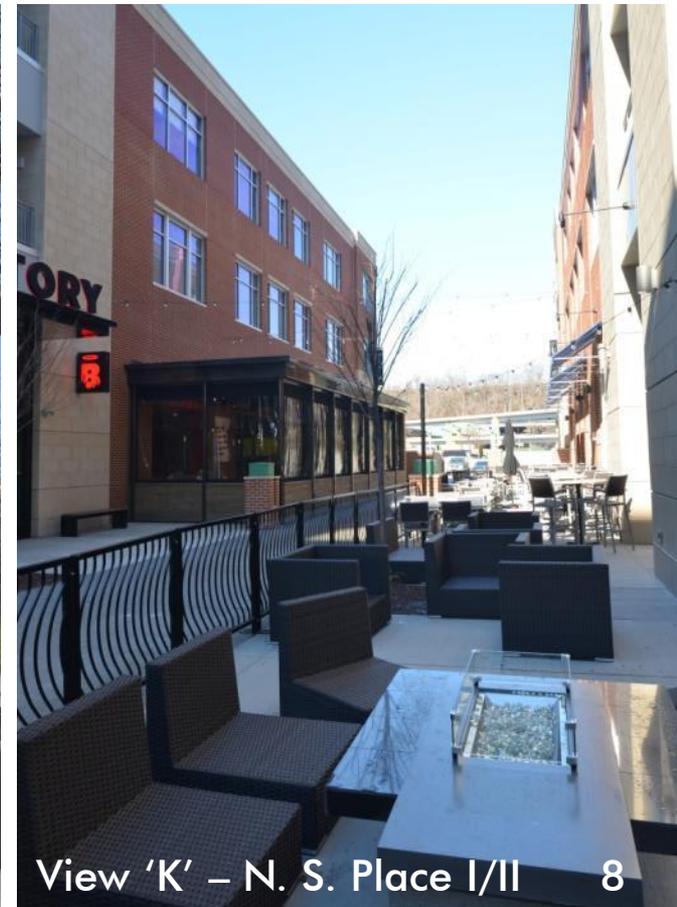


View 'F' – West General Robinson Street Garage

Context – North Shore Drive



View 'J' – Stage AE



View 'K' – N. S. Place I/II 8

Context – Three Rivers Heritage Trail



View 'L' – Big Heart Pet Brands Building

Context – Chuck Noll Way



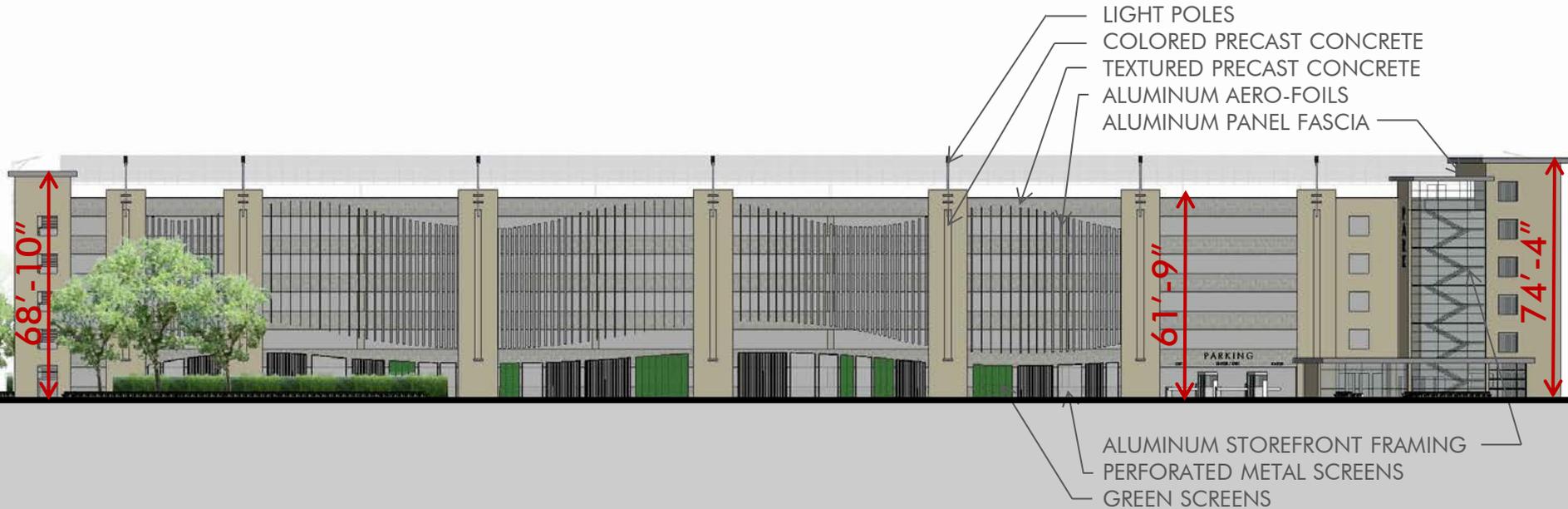
View 'M' – North Shore Place I

Context – Heinz Field



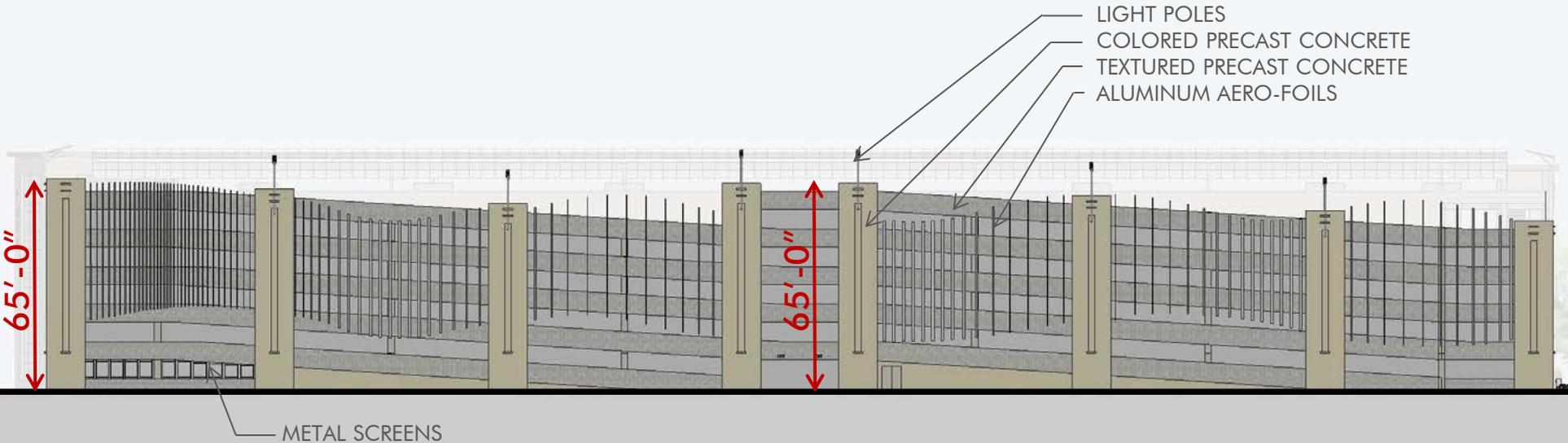
View 'U' – Looking Northeast

Building Elevations

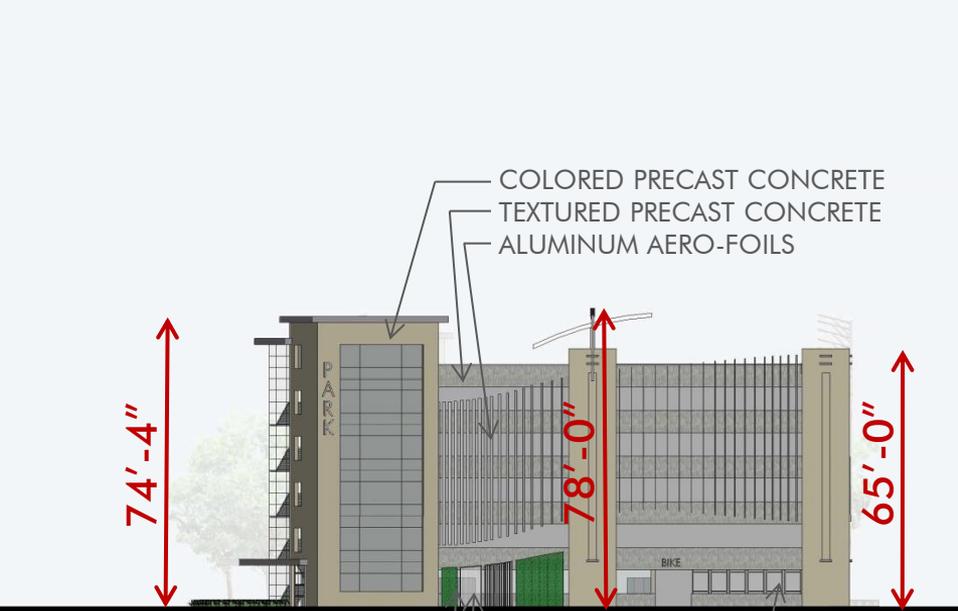


South Elevation

Building Elevations

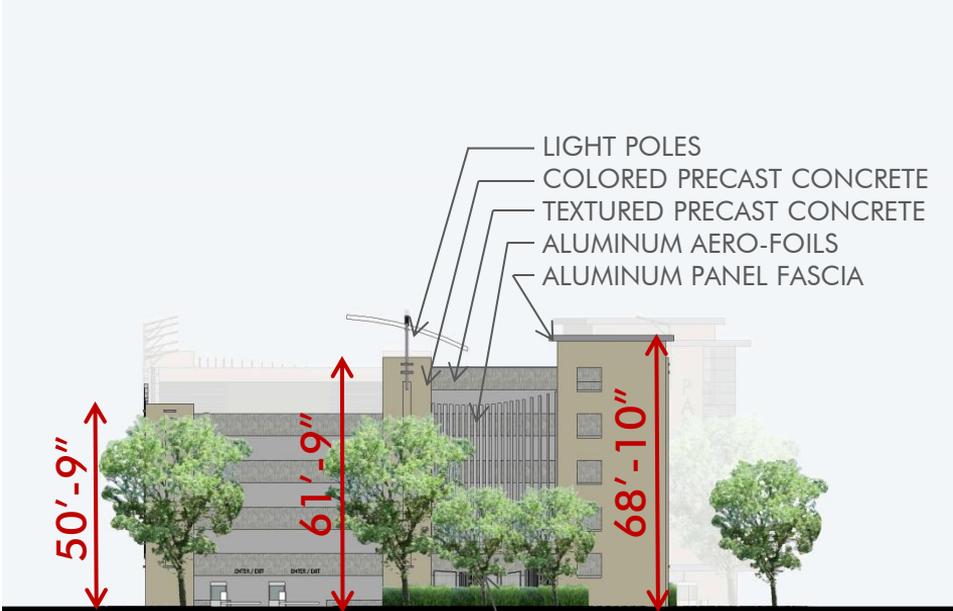


Building Elevations



- PERFORATED METAL GRILLES
- GREEN SCREENS
- METAL SCREENS

East Elevation



- PERFORATED METAL GRILLES

West Elevation

Perspective Views



Aerial Context View



Elevated View



Elevated View w/ PV Array



Chuck Noll Way – Looking North



West General Robinson – Looking West



Tony Dorsett & Reedsdale Street – Looking West

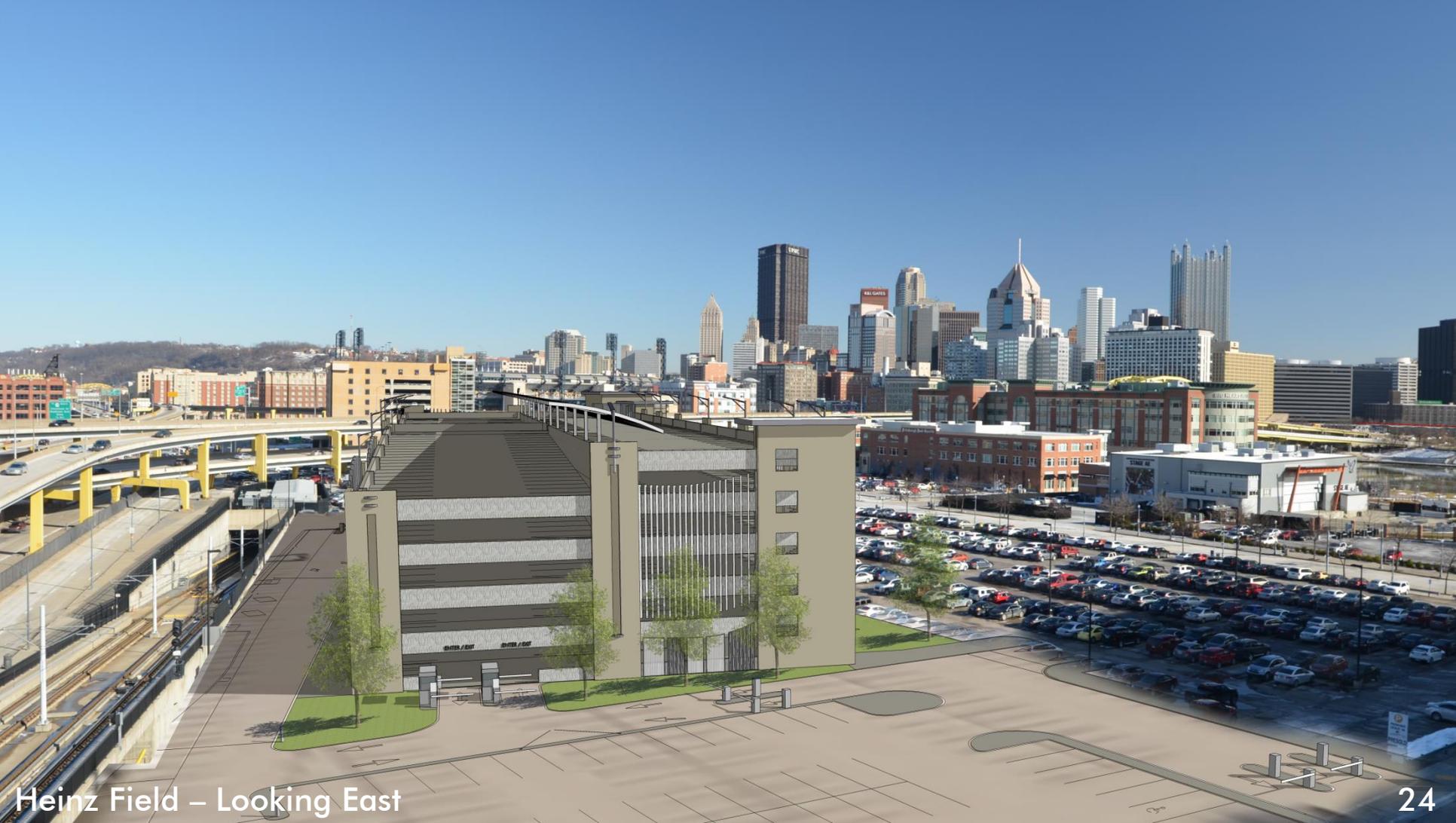


Reedsdale Street – Looking West





Fort Duquesne Bridge – Looking Northwest



Heinz Field – Looking East



West General Robinson – Looking North



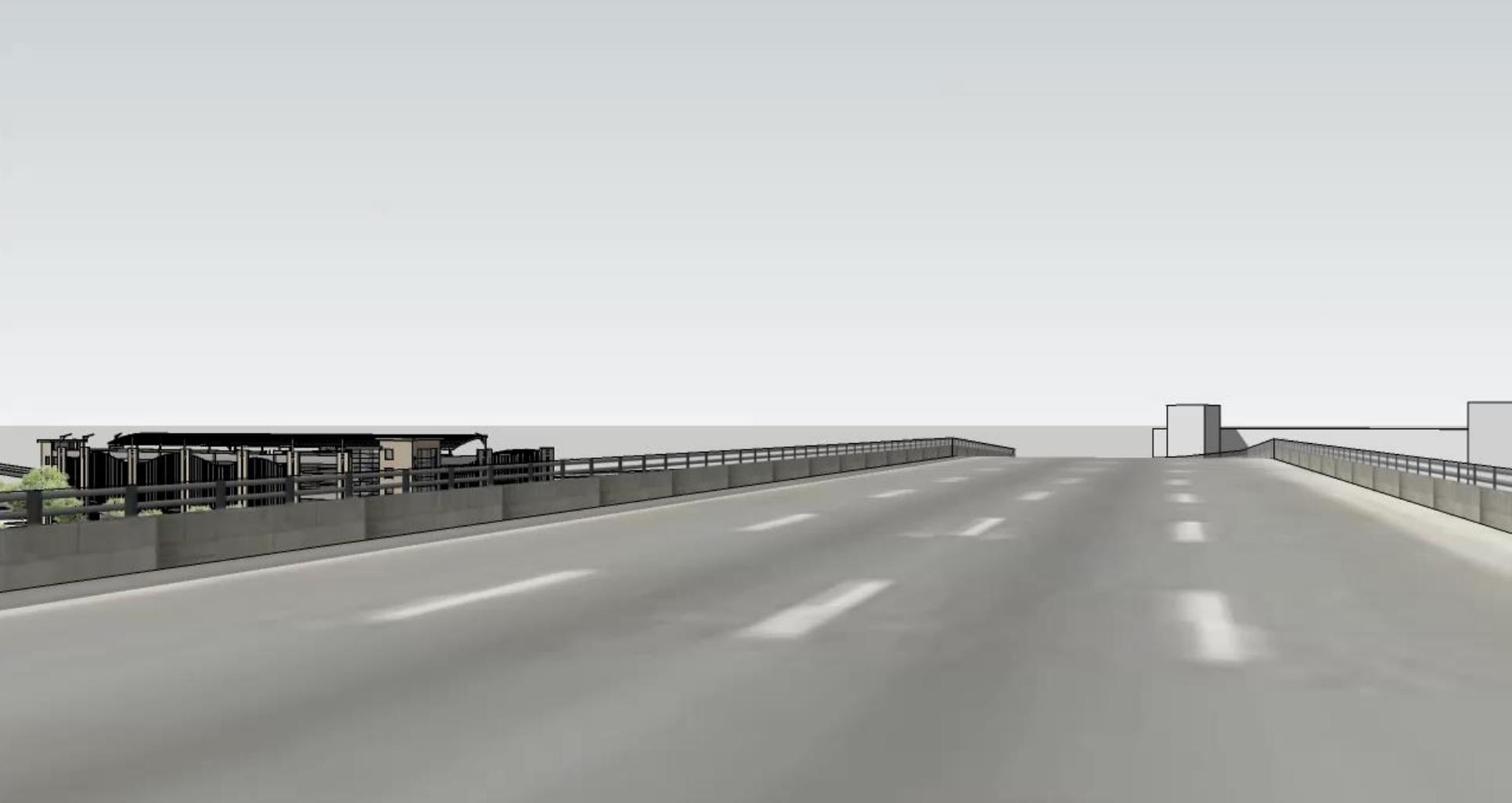
Lot 1 West – Looking East

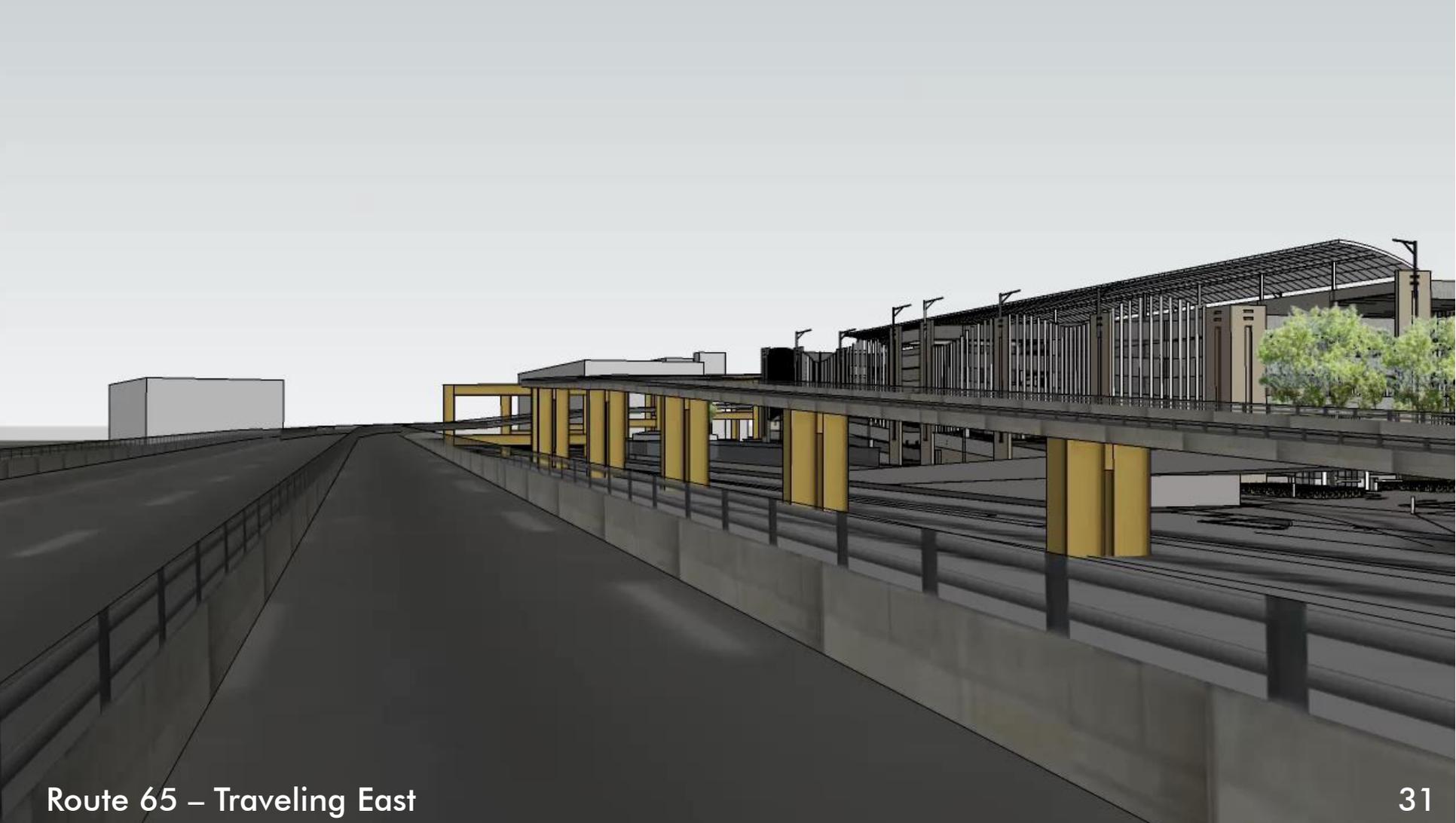




Art Rooney Avenue – Looking West







Building Materials

- Concrete: Natural & Textured
- Aluminum Louvers & Storefront Framing
- Glass
- Green Screens
- Exposed Steel
- Perforated & Wire Screens



Sustainability & Stormwater Management

- Green Parking Council
 - Increased Energy Efficiency and Performance
 - Reduced Environmental Impact
 - Efficient Parking Space Management
 - Integrated Sustainable Mobility Services and Technologies
 - Diversity of Sustainable Transportation Options
 - Stronger Community Relationships
 - Goal: Gold Green Garage Award Level
- Stormwater Management
 - Increasing Pervious Surface Area
 - Bio Swales
 - Ground Cover
 - Plant Diversity



Accessibility & Universal Design

- Accessible Car & Van Parking
- Elevators Serving all Levels
- Speed Plateau & Material Change at Main Pedestrian Crossing
- Dedicated Bike Path



Community Process

- Project Introductions & Meetings:
 - North Side Leadership Council
 - Pittsburgh Pirates & Steelers
 - Continental Development
 - Port Authority of Allegheny County
 - ALCO Parking
 - Pittsburgh Bike Share



North Shore Master Plan Addendum



Updated 2016 North Shore Plan -
provided by Pittsburgh City Planning

NORTH SHORE MASTER PLAN PROGRESS

Implementation of the 2009 North Shore Master Plan has primarily taken place on the north side of North Shore Drive. The Hyatt Place Hotel and the Stage AE entertainment center were complete as proposed in 2009.

North Shore Place I and North Shore Place II were developed opposite the Del Monte Center. The separation between these buildings extends the north-south pedestrian esplanade that connects back to the Allegheny River. The frontage of this block on the street now known as Chuck Noll Way has not yet been fully developed as is represented in the Master Plan.

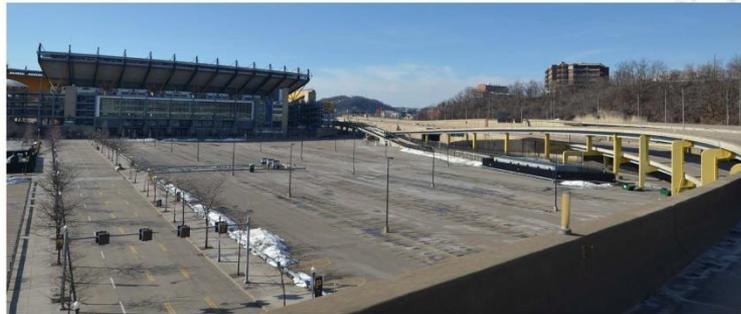
Proposed sites that have not yet been developed include the three building sites on the west side of Mazeroski Way and the site west of the Equitable Center. Neither of the parking structures proposed for the south side of General Robinson Street have been developed.

A Residence Inn was constructed in Red Lot 6 on the corner of General Robinson Street and Mazeroski Way, a site not identified in the 2009 North Shore Master Plan.

North Shore Master Plan Addendum



2009 North Shore Master Plan



NORTH SHORE MASTER PLAN ADDENDUM

All modifications to the 2009 North Shore Master Plan take place within the boundaries of Lots 1, also known as the Gold Lot. All existing rights-of-way, sidewalks, and curb cuts will remain unchanged.

In the 2009 North Shore Master Plan, the Lot 1 was identified as surface parking for the entirety of the planning horizon. A survey of the Lot 1 shows a capacity of 1,150 surface parking spaces.

The proposed parking structure will increase the total capacity of the Lot 1 to 1,765 spaces with approximately 1,002 spaces in the new structure and approximately 761 surface parking spaces. The proposed site development will also include parking for approximately 104 bicycles.

No changes to retail or office space are proposed within this addendum. The location of the proposed parking structure preserves undeveloped frontages along General Robinson Street and Art Rooney Avenue for future planning considerations.

North Shore Master Plan Addendum



Site Plan of proposed Lot 1 surface and structured parking



LOT 1 PARKING MODIFICATIONS

The most recent study initiated by the Stadium Authority of the City of Pittsburg and completed by Walker Parking Consultants (September 2015) concluded that the proposed development site is the optimal location for a new structured parking facility when considering multiple means of ingress and egress this site provides over other North Shore sites.

In addition, given the development's adjacency to bus stops, LRT stations, Pittsburgh Ride Share stations, water taxi docks and a protected bicycle parking area, the facility is uniquely situated to become a transportation hub and establish itself as the preferred location where daily, weekend and event commuters will be able to park their vehicles and have easy access to a variety of public transit and environmentally friendly transportation options.

The proposed facility bifurcates existing Lot 1 in such a way as to create dedicated access to three designated surface parking lots in addition to the parking facility. The facility has been oriented to maximize the percentage of open area available, yet still provide segregated ingress and egress from the parking facility and the surrounding surface lots. New planted areas have been created to increase pervious area and help distinguish the surface lots from adjacent ingress and egress routes while providing the lot operator(s) maximum flexibility with respect to traffic control.

North Shore Master Plan Addendum



View from General Robinson Street



ADDITIONAL RENDERINGS



View from Heinz Field

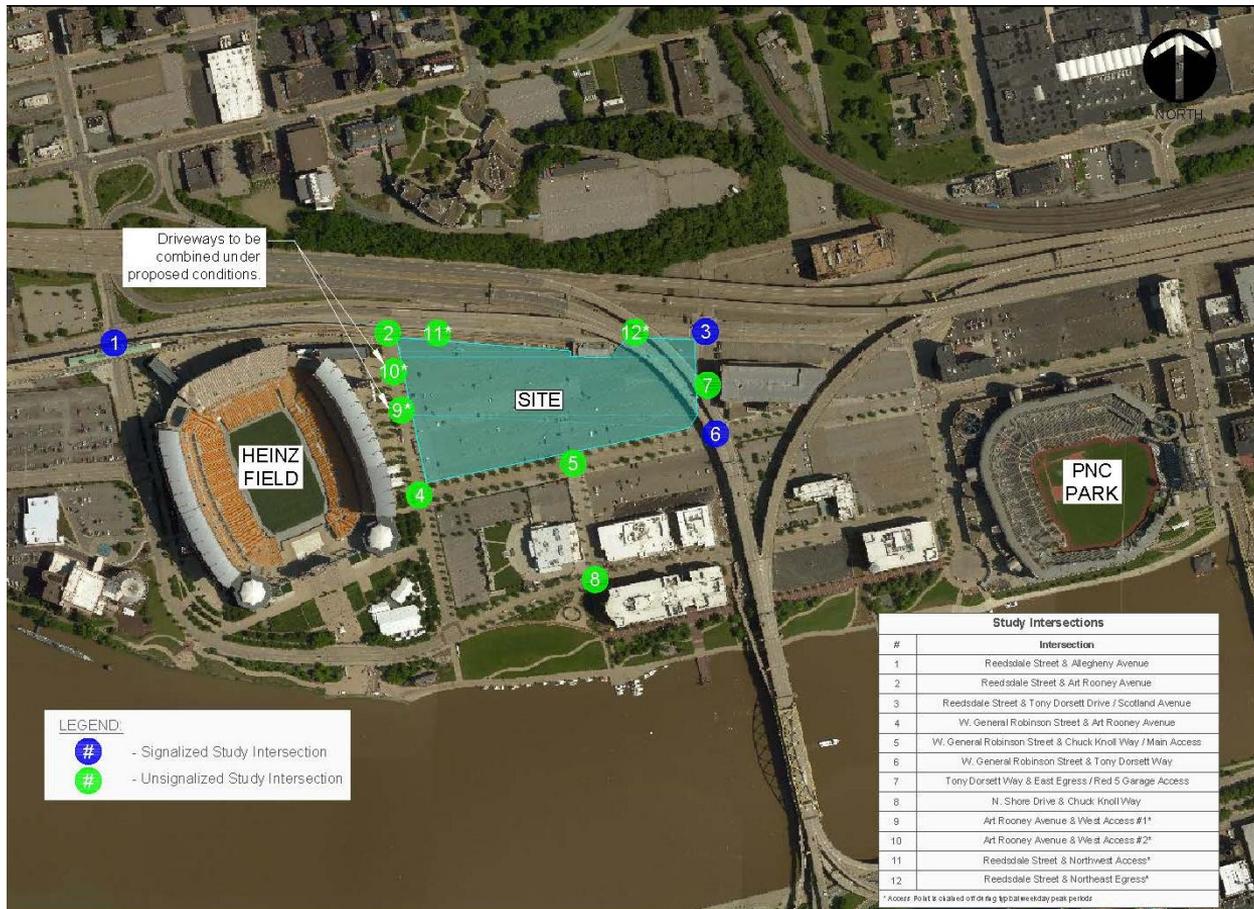


View from Route 65 Entrance Ramp

NORTH SHORE MASTER PLAN
ADDENDUM WTW ARCHITECTS MARCH 2016

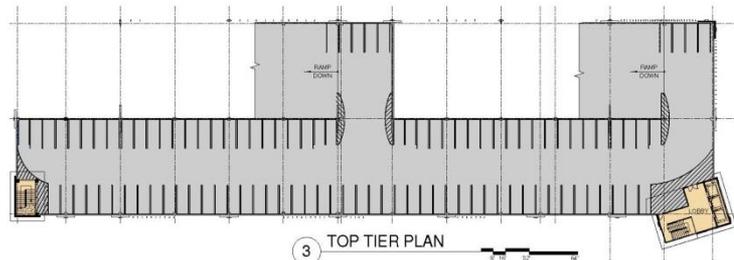
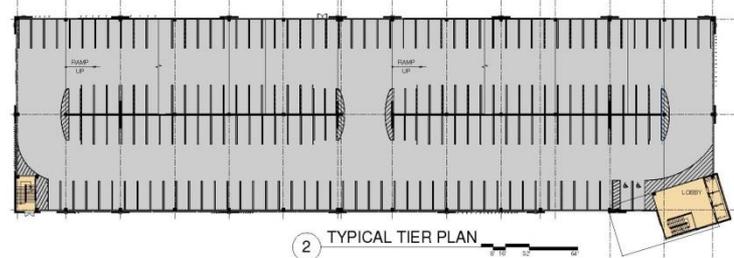
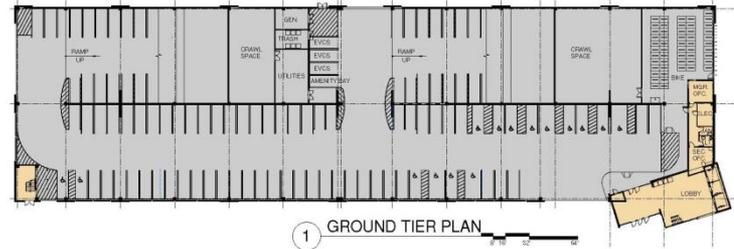
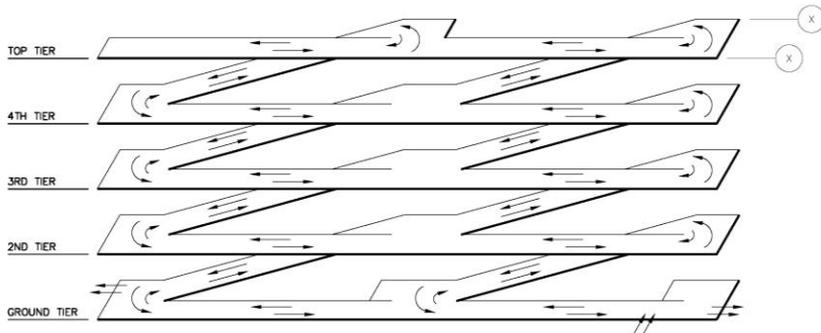
Transportation Study - Scope

- 12 Intersections Analyzed
- Coordinated w/ City Planning



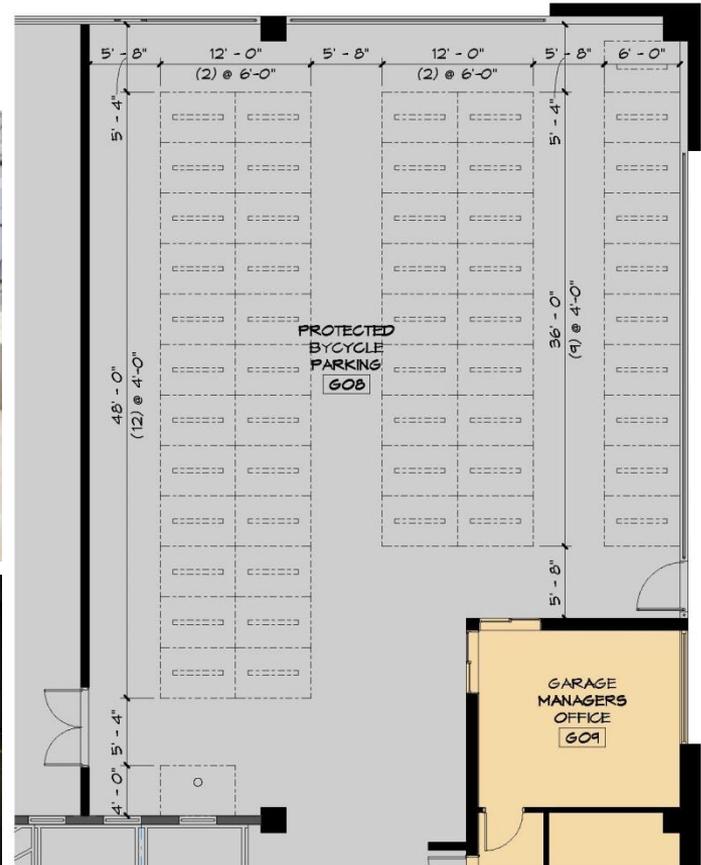
Design – Parking Statistics

- Two-way Level Floor Plates (West, East & South) w/Cascading Ramps (North)
- 90° Parking Layout
- 1,000 New Garage Spaces, Approx. 608 Net Gain in Lot 1
- Total of Approx. 1,758 Spaces



Design – Bicycle Parking

- Protected Bicycle Parking for a Minimum of 100 Bikes
- Bike Service Area
- Adjacent to Manager's Office
- Security Cameras





Updated 2016 North Shore Plan -
provided by Pittsburgh City Planning

NORTH SHORE MASTER PLAN PROGRESS

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NORTH SHORE MASTER PLAN

ADDENDUM WTW ARCHITECTS MARCH 2016

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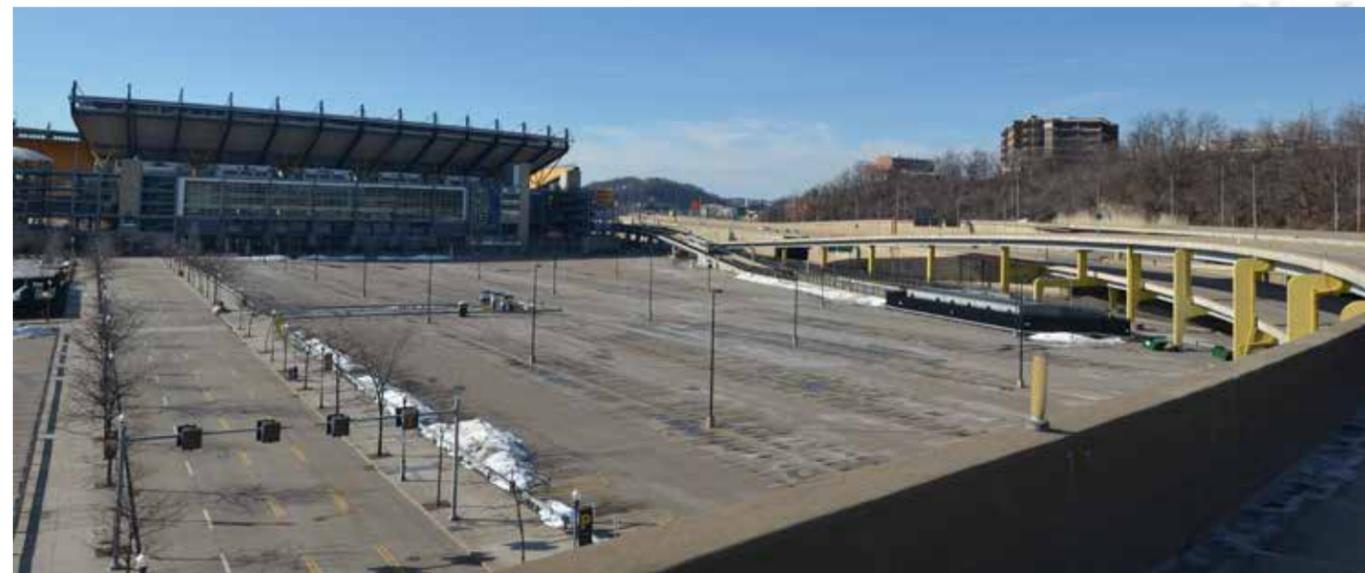
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2009 North Shore Master Plan



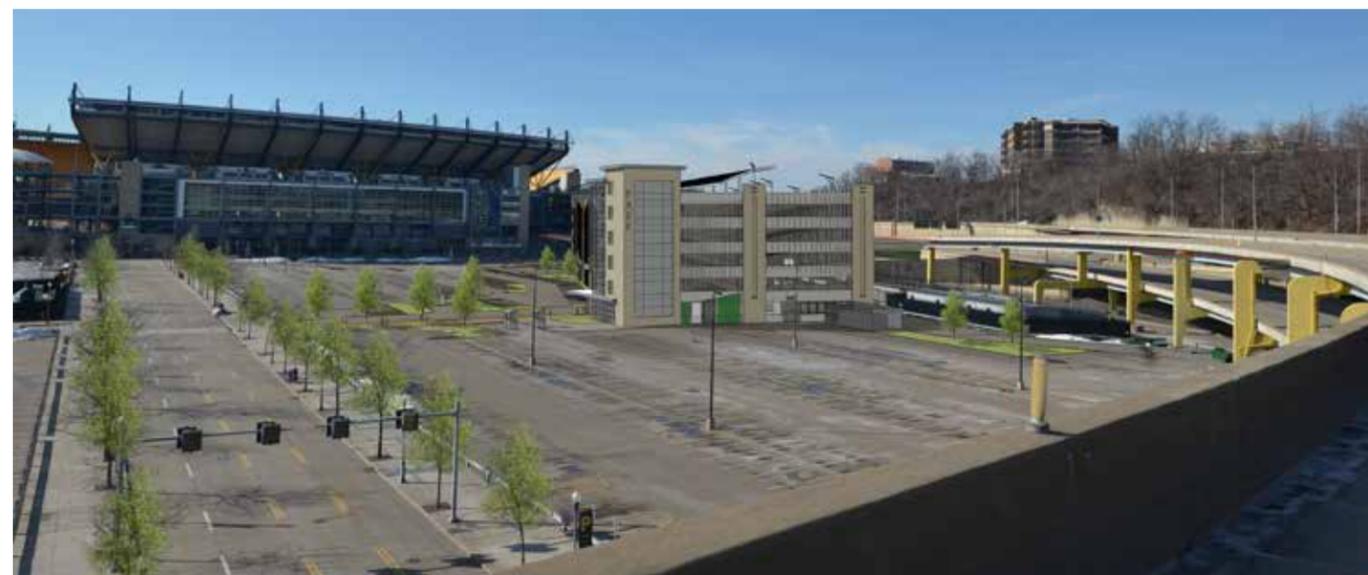
View of Lot 1 from Heinz Field

NORTH SHORE MASTER PLAN

ADDENDUM WTW ARCHITECTS MARCH 2016



Site Plan of proposed Lot 1 surface and structured parking



Rendering of proposed Lot 1 surface and structured parking

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The most recent study initiated by the Stadium Authority of the City of Pittsburgh and completed by Walker Parking Consultants (September 2015) concluded that the proposed development site is the optimal location for a new structured parking facility when considering multiple means of ingress and egress this site provides over other North Shore sites.

In addition, given the development's adjacency to bus stops, LRT stations, Pittsburgh Ride Share stations, water taxi docks and a protected bicycle parking area, the facility is uniquely situated to become a transportation hub and establish itself as the preferred location where daily, weekend and event commuters will be able to park their vehicles and have easy access to a variety of public transit and environmentally friendly transportation options.

The proposed facility bifurcates existing Lot 1 in such a way as to create dedicated access to three designated surface parking lots in addition to the parking facility. The facility has been oriented to maximize the percentage of open area available, yet still provide segregated ingress and egress from the parking facility and the surrounding surface lots. New planted areas have been created to increase pervious area and help distinguish the surface lots from adjacent ingress and egress routes while providing the lot operator(s) maximum flexibility with respect to traffic control.



View from General Robinson Street

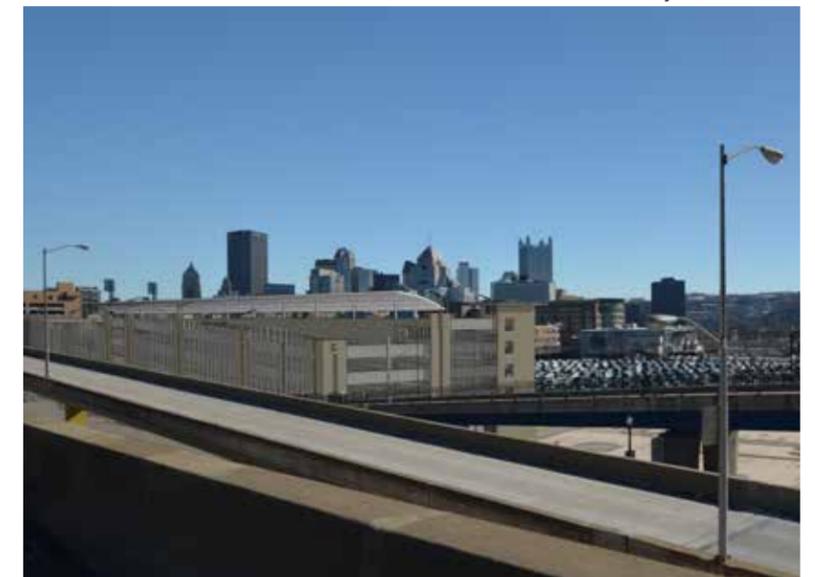


View from Point State Park

ADDITIONAL RENDERINGS



View from Heinz Field



View from Route 65 Entrance Ramp

NORTH SHORE MASTER PLAN

ADDENDUM WTW ARCHITECTS MARCH 2016



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: M&J Wilkow		Phone Number: (312)279-5962	
Address: 20 S. Clark St. Suite 3000	City: Chicago	State: IL	Zip Code: 60603
2. Applicant/Company Name: Dina Snider / Strada		Phone Number: (412) 263-3800	
Address: 611 William Penn Place Suite 700	City: Pittsburgh	State: PA	Zip Code: 15219
Applicant/Contractor ID: (assigned by the City)			
3. Development Name: 20 Stanwix Street - Plaza Upgrades			
4. Development Location: Downtown			
5. Development Address: 20 Stanwix Street			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:	GT-C		
Present Use of Site: (Select from attached list)	Office/ First Floor Retail		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property: Office/Retail	
8. Estimated Construction:	Start Date: 04/15/16	Occupancy Date: 07/15/16	Project Cost: \$ 340,000

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Existing occupied office building

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: Upgrades to the existing front and rear plazas of the building. Includes the addition of landscaped areas.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: _____ sq ft
 Existing to be Retained: 409,000 sq ft
 Retained Area to be Renovated: _____ sq ft **Exterior Site Renovation**
 To be Constructed: _____ sq ft
 Building Footprint: 17,505 sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	22	240'		
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units: **NA**
 Existing to Remain: _____ Proposed: _____

17. Lot Area: 29,806 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s)	_____ Termination of Existing Water Service Tap(s)
_____ New Sewer Service Connection(s)	_____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street
 Private Property
 Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk. **Sidewalk Replacment**
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature:



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

Development Review Application - List of Existing and Proposed Uses for Questions 6 & 9

Residential Uses

1. Single-Unit Detached Residential
2. Single-Unit Attached Residential
3. Two-Unit Residential
4. Three-Unit Residential
5. Multi-Unit Residential
6. Assisted Living Class A
7. Assisted Living Class B
8. Assisted Living Class C
9. Community Home
10. Dormitory
11. Fraternity/Sorority
12. Housing for the Elderly (Limited)
13. Housing for the Elderly (General)
14. Multi-Suite Residential (Limited)
15. Multi-Suite Residential (General)
16. Personal Care Residence (Large)
17. Personal Care Residence (Small)

Non-Residential Uses

18. Adult Entertainment
19. Agricultural Use
20. Amusement Arcade
21. Animal Care (Limited)
22. Animal Care (General)
23. Art or Music Studio
24. Public Assembly (Limited)
25. Public Assembly (General)
26. Bank or Financial Institution (Limited)
27. Bank or Financial Institution (General)
28. Basic Industry
29. Bed and Breakfast (Limited)
30. Bed and Breakfast (General)
31. Car Wash
32. Cemetery
33. Check Cashing
34. Child Care (Limited)
35. Child Care (General)
36. Club (Limited)
37. Club (General) other than the limited type described above.
38. College or University Campus
39. Communication Tower, Class A
40. Communication Tower, Class B
41. Communication Tower, Class C
42. Community Center (Limited)
43. Community Center (General)
44. Construction Contractor (Limited)
45. Construction Contractor (General)
46. Correctional Facility (Limited)
47. Correctional Facility (General)
48. Cultural Service (Limited)
49. Cultural Service (General)
50. Custodial Care Facility
51. Educational Classroom Space (Limited)

52. Educational Classroom Space (General)
53. Excavation/Grading/Fill, Major
54. Firearms Business Establishment
55. Forestry Activities
56. Freight Terminal
57. Funeral Home
58. Gaming Enterprise
59. Golf Course
60. Grocery Store (Limited)
61. Grocery Store (General)
62. Hazardous Operations
63. Helipad
64. Heliport
65. Helistop
66. Hospital
67. Hotel/Motel (Limited)
68. Hotel/Motel (General)
69. Incinerator, Solid Waste
70. Laboratory/Research Services (Limited)
71. Laboratory/Research Services (General)
72. Laundry Services
73. Library (Limited)
74. Library (General)
75. Manufacturing and Assembly (Limited)
76. Manufacturing and Assembly (General)
77. Medical Office/Clinic (Limited)
78. Medical Office/Clinic (General)
79. Nursery, Retail (Limited)
80. Nursery, Retail (General)
81. Office (Limited)
82. Office (General)
83. Outdoor Retail Sales and Service [Non-Accessory Use]
84. Parking, Commercial (Limited)
85. Parking, Commercial (General)
86. Parking Structure (Limited)
87. Parking Structure (General)
88. Parks and Recreation (Limited)
89. Parks and Recreation (General)
90. Pawn Shop
91. Recreation and Entertainment, Indoor (Limited)
92. Recreation and Entertainment, Indoor (General)
93. Recreation and Entertainment, Outdoor (Limited)
94. Recreation and Entertainment, Outdoor (General)
95. Recycling Collection Station
96. Recycling Processing Center
97. Religious Assembly (Limited)
98. Religious Assembly (General)
99. Restaurant, Fast-Food (Limited)

100. Restaurant, Fast-Food (General)
101. Restaurant (Limited)
102. Restaurant (General)
103. Restaurant, Liquor License (Limited)
104. Restaurant, Liquor License (General)
105. Retail Sales and Services (Limited)
106. Retail Sales and Services (General)
107. Retail Sales and Services, Residential Convenience
108. Safety Service
109. Salvage Yard
110. School, Elementary or Secondary (Limited)
111. School, Elementary or Secondary (General)
112. Service Station
113. Sidewalk Cafe
114. Transit Facility
115. Utility (Limited)
116. Utility (General)
117. Vehicle/Equipment Repair (Limited)
118. Vehicle/Equipment Repair (General)
119. Vehicle/Equipment Sales (Limited)
120. Vehicle/Equipment Sales (General)
121. Vocational School (Limited)
122. Vocational School (General)
123. Warehouse (Limited)
124. Warehouse (General)
125. Warehouse, Residential Storage
126. Welding or Machine Shop
127. New and Unlisted Uses



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION – CONTACT INFORMATION

Department of City Planning

200 Ross Street, Fourth Floor
Pittsburgh, PA 15219
(412) 255-2200
pittsburghpa.gov/dcp/

**Department of City Planning
Zoning Office Counter**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2246
pittsburghpa.gov/dcp/zoning/

City Zoning Code

<http://www.municode.com/index.aspx?clientId=13525>

**Department of Public Safety
Bureau of Building Inspection (BBI)**

200 Ross Street, Third Floor
Pittsburgh, PA 15219
(412) 255-2175
www.city.pittsburgh.pa.us/bbi/

**Department of Public Works (DPW)
Bureau of Engineering and Construction**

City-County Building, Room 301
441 Grant Street
Pittsburgh, PA 15219
(412) 255-2883
www.city.pittsburgh.pa.us/pw/html/permits_info.html

**Department of Public Works (DPW)
Public Space Management**

Permit Office
611 Second Avenue
Pittsburgh, PA 15219
(412) 255-2370
www.city.pittsburgh.pa.us/pw/html/permits_info.html

Pittsburgh Water and Sewer Authority (PWSA)

Penn-Liberty Plaza I
1200 Penn Avenue
Pittsburgh, PA 15222
Permits (412) 255-2443; Engineering (412) 255-8987
www.pgh2o.com
Refer to the PWSA Procedures Manual for Developers.

Allegheny County Health Department (ACHD)

Plumbing Division
3901 Penn Avenue, Building #5
Pittsburgh, PA 15224
(412) 578-8036
www.achd.net/plumbing/index.html

Allegheny County Health Department (ACHD)

Food Safety Program
3901 Penn Avenue, Building #1
Pittsburgh, PA 15224
(412) 578-8044
www.achd.net/food/foodstart.html

Allegheny County Health Department (ACHD)

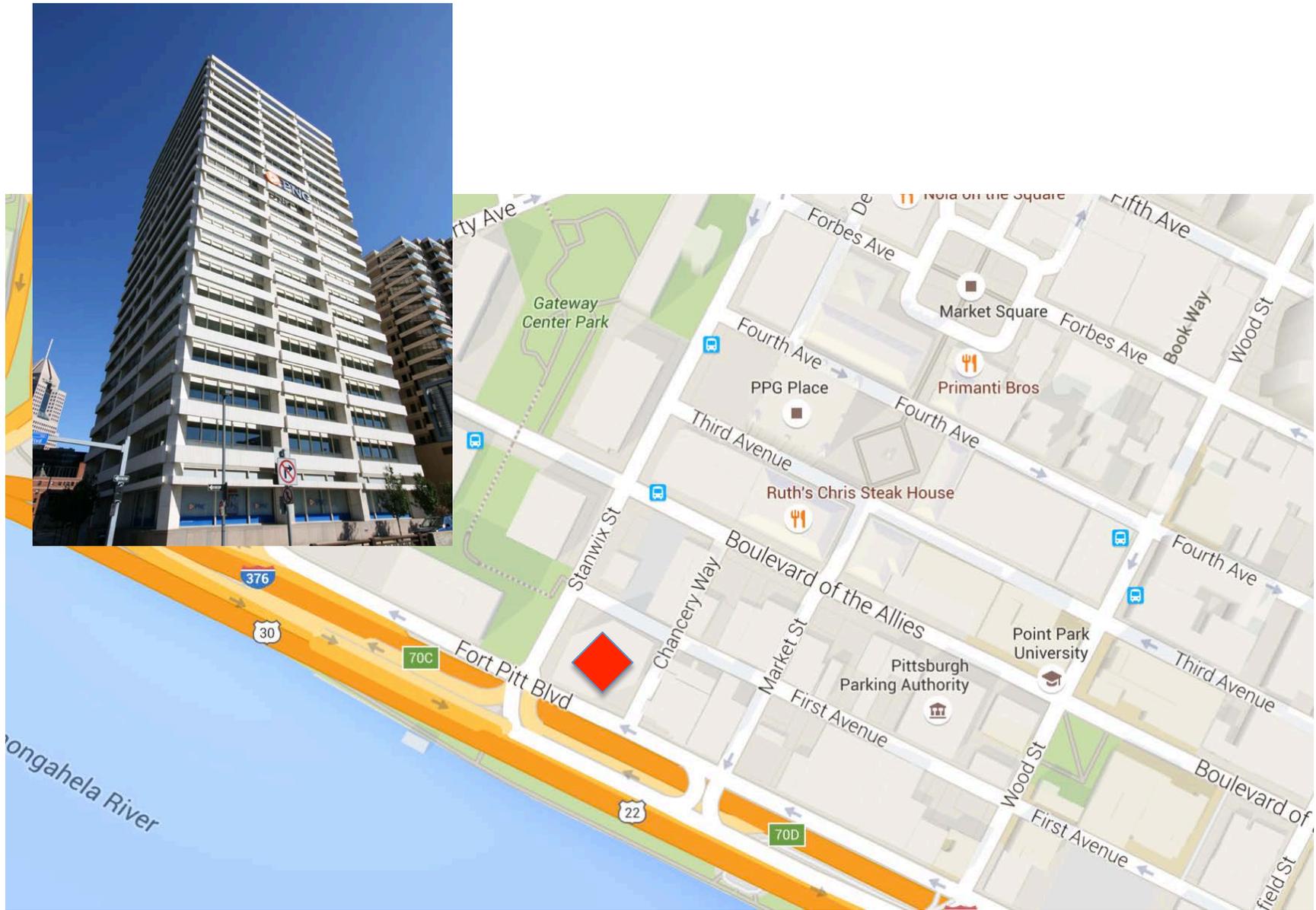
Housing and Community Environment
3190 Sassafras Way
Pittsburgh, PA 15201
(412) 350-4046
www.achd.net/housing/commenvironstart.html

20 Stanwix Street, Pittsburgh PA

Plaza Upgrades

March 14, 2016

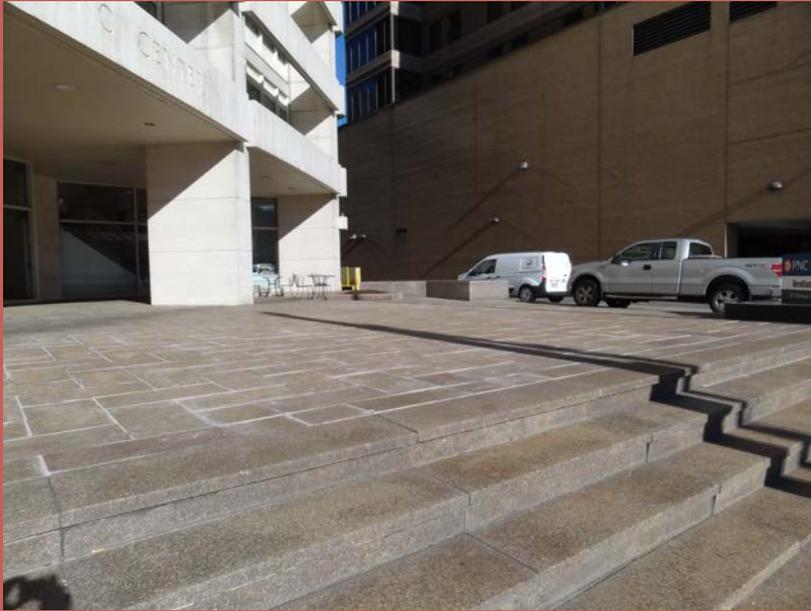
Strada



Location Map – 20 Stanwix Street



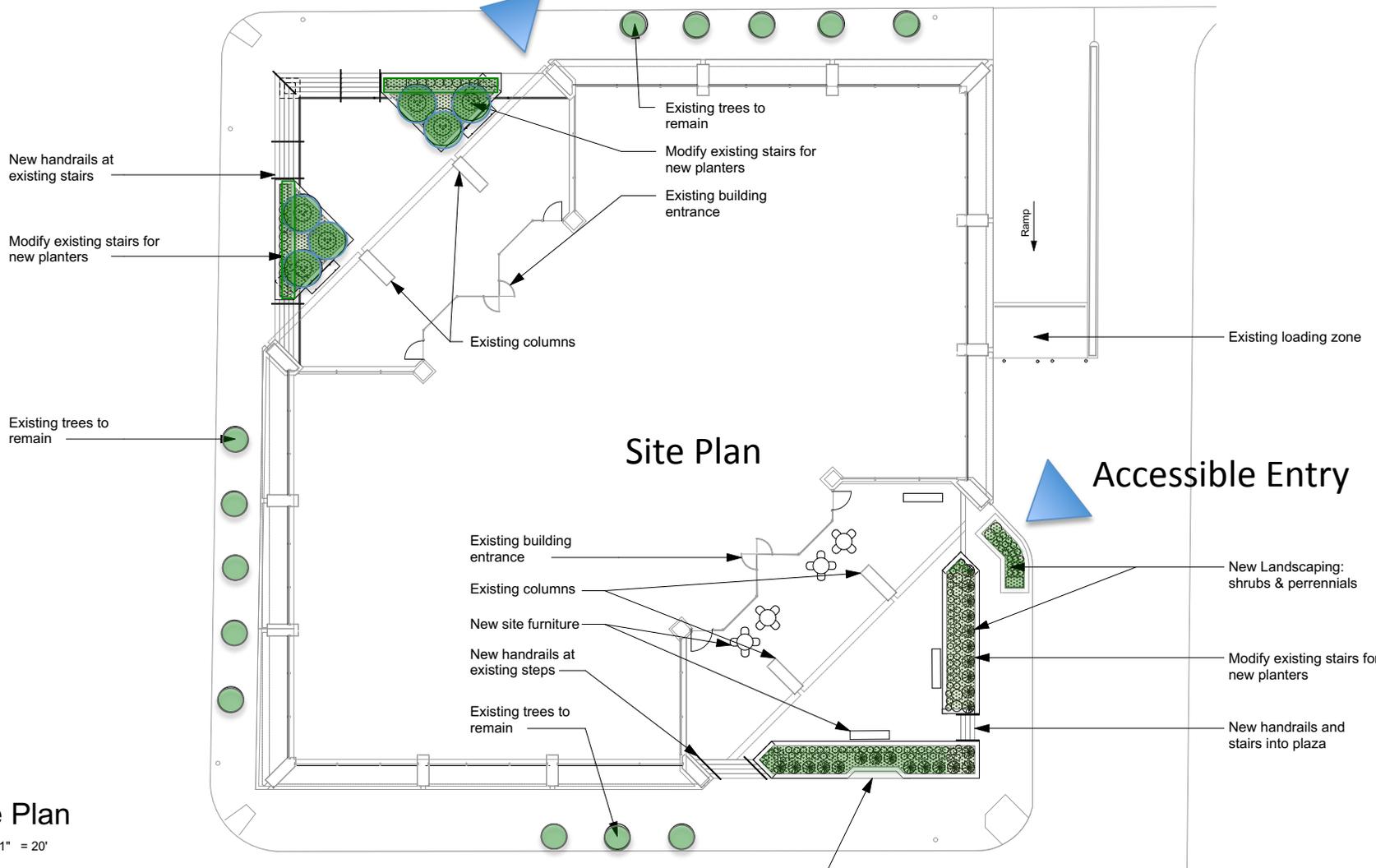
Existing Conditions – Stanwix Street Plaza



Existing Conditions – Fort Pitt Boulevard Plaza

Increased Roof Garden Area from 2% to 23% of Plaza

Accessible Entry



Site Plan

Accessible Entry

Site Plan

SCALE: 1" = 20'

Site Plan



20 Stanwix Street
Plaza Image 1
February 12, 2016

PITTSBURGH PA / M&J WILKOW

Strada www.stradallc.com
Pittsburgh | Philadelphia
©2014 Strada Architecture LLC



20 Stanwix Street
Plaza Image 2
February 12, 2016

PITTSBURGH PA / M&J WILKOW

Strada www.stradalc.com
Pittsburgh | Philadelphia
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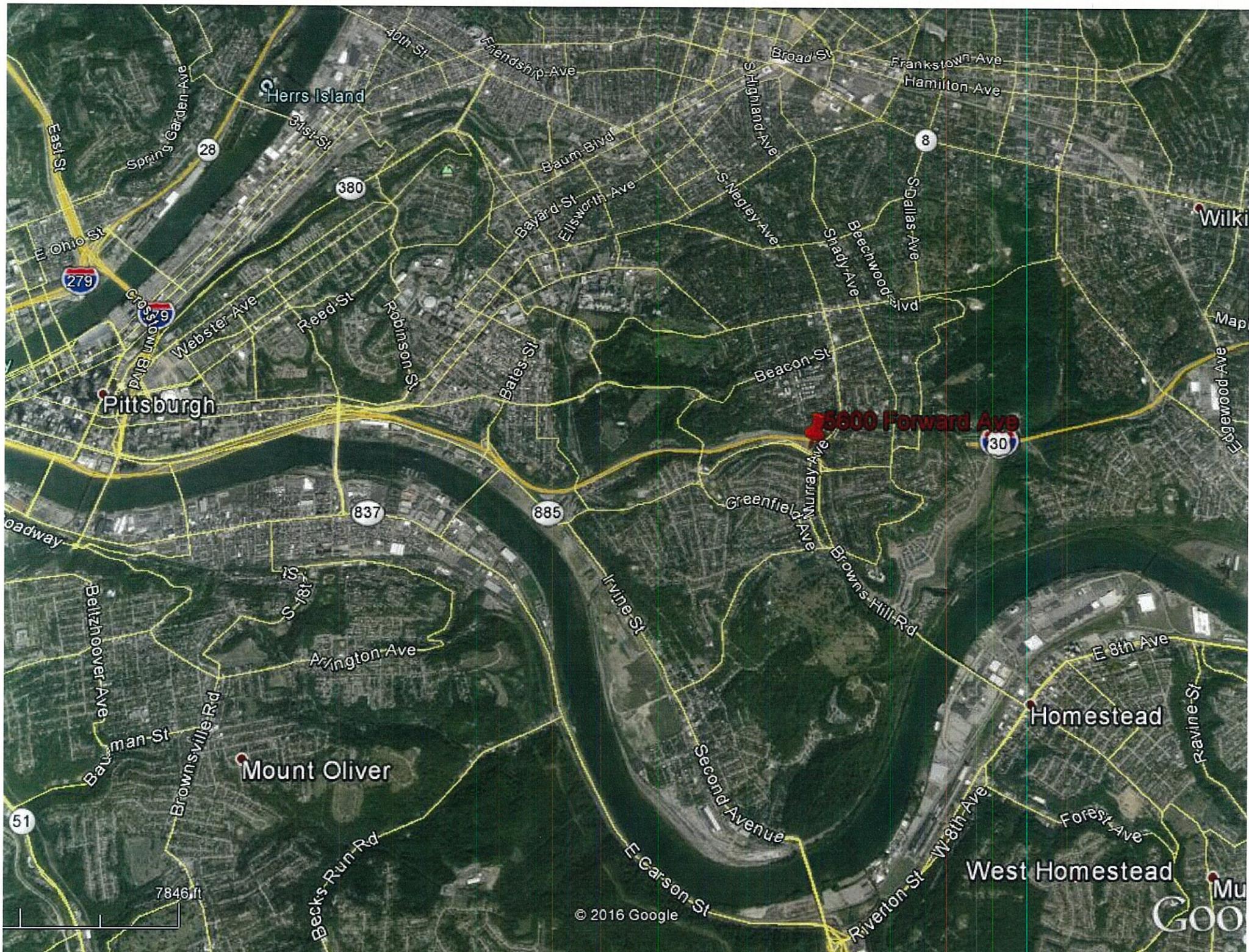


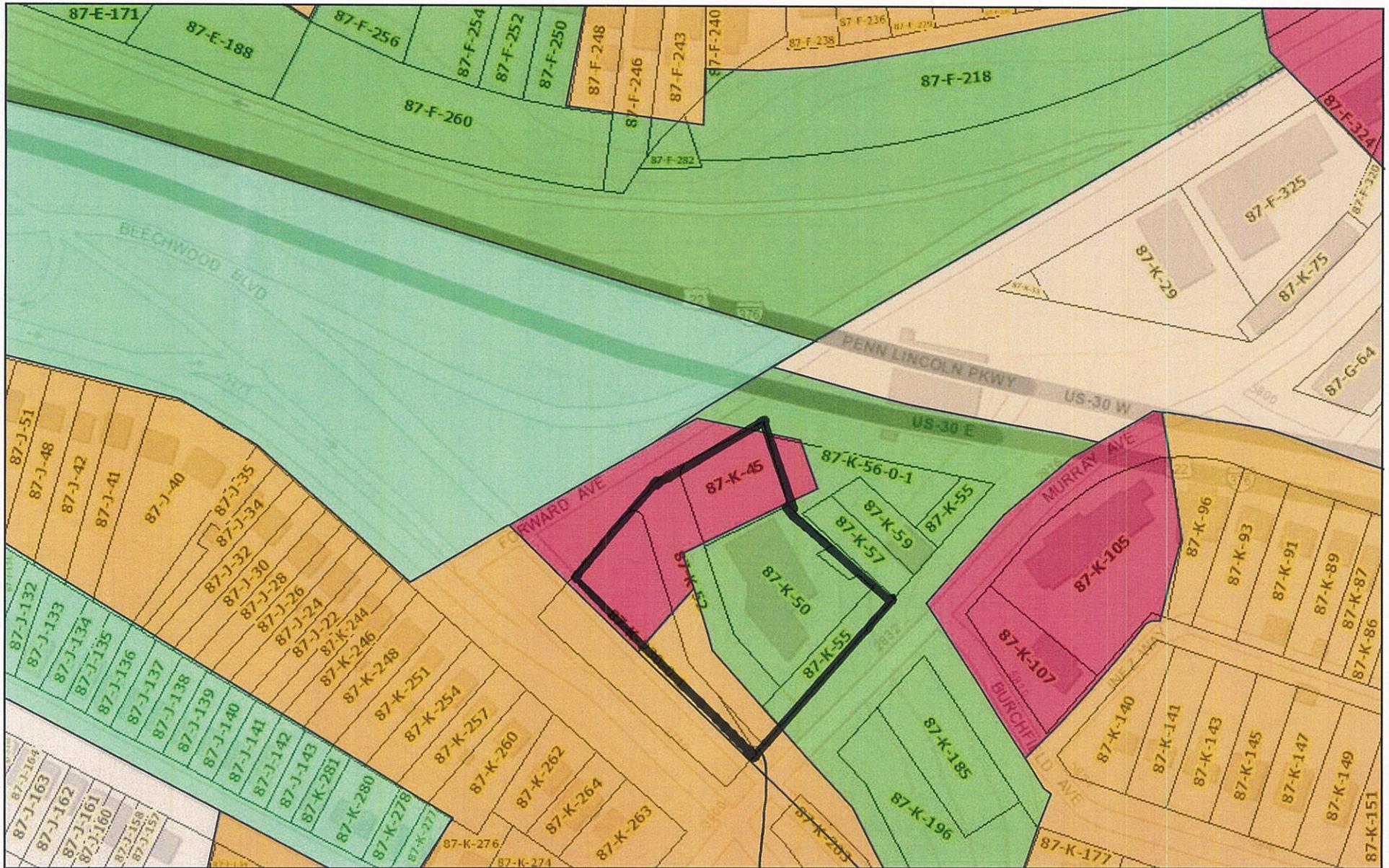
20 Stanwix Street
Plaza Image 4
February 12, 2016

PITTSBURGH PA / M&J WILKOW

Strada

www.stradallc.com
Pittsburgh | Philadelphia
©2014 Strada Architecture LLC



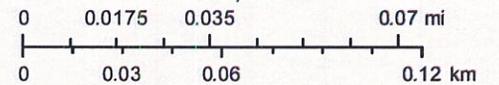


February 18, 2016

- | | | | | | |
|--|------------------|--|----------------------------------|--|-----------|
| | Zoning Districts | | Local Neighborhood Commercial | | Parcels |
| | Parks | | Single-Unit Detached Residential | | Lot Lines |
| | Hillside | | Two-Unit Residential | | |
| | | | Multi-Unit Residential | | |

87-K-210

1:2,257



Allegheny County 2012; 2010 Imagery
Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO,



© 2016 Google

Google earth

feet
meters





6 ft

5600 Forward Avenue, City of Pittsburgh

March 15, 2016

Possible Site Uses / Community Process

Currently, the site consists of approximately one acre with a one story, 7,300 square foot building. The building is vacant, was originally constructed as a warehouse, was converted to office space in the 1960's and is at or near dock height.

The site is made up of five lots and three different zoning classifications (Parks, LNC & R2). Under these conditions, the site cannot be marketed or reused. The building rests in the Parks zoning classification. Utilizing the LNC classification for the entire site rather than a portion will make it possible to reactivate the consolidated site for uses permissible under LNC, including office and retail.

At this time, conversations have taken place with the City Councilman regarding the site. Councilman O'Connor is anxious to see the site reactivated. Currently, there is no project being contemplated for community review or input.

THE BUNCHER COMPANY

ALL SIGNATURES MUST BE MADE WITH A PERMANENT NAVY BLUE INK OR NAVY BLUE FELT-TIPPED PEN

By a resolution approved on the _____ day of _____, 20____, the Board of Directors of the The Buncher Company, incorporated in the Commonwealth of Pennsylvania, owner of the land shown on the The Buncher Company Lot Consolidation Plan adopted this plan as its plan of lots. This adoption shall be binding upon the corporation and upon its successors and assigns.

(Seal) _____
 The Buncher Company
 Signature/Title of officer witnessing _____
 Thomas J. Balestrieri, President

Date _____
 Before me, the undersigned Notary Public in and for the Commonwealth of Pennsylvania and County of Allegheny, personally appeared Thomas J. Balestrieri, President, of The Buncher Company, who stated that he is authorized to execute the above lot consolidation plan on behalf of the company and was present at the meeting at which the action of the company was taken to adopt the plan.

Witness my hand and notarial seal this _____ day of _____, 20____.
 My commission expires the _____ day of _____, 20____.
 (Seal) _____
 Notary Public

I, Evan D. Baker, Jr., a Registered Professional Surveyor of the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the lots, lands, streets, ways, and highways, as surveyed and plotted by me for the owners or agents.

Date _____
 Evan D. Baker, Jr.,
 P.L.S., Reg. No. 32018-E

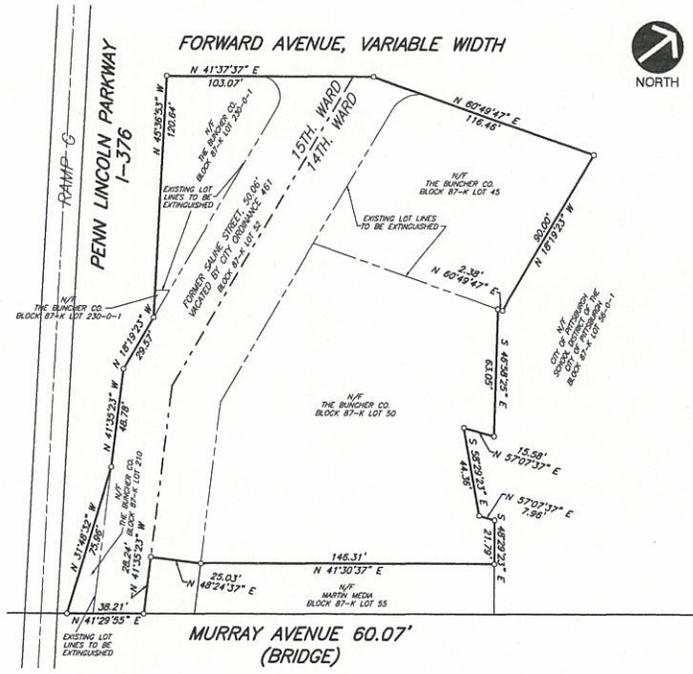
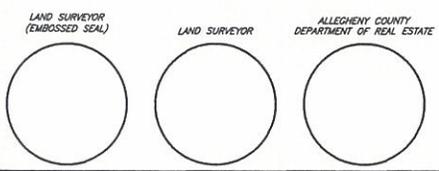
COMMONWEALTH OF PENNSYLVANIA)
 COUNTY OF ALLEGHENY)
 Recorded in the Department of Real Estate for the recording of deeds, plans, etc., in said County in Plan Book Volume _____ Page _____.
 Given under my hand and seal this _____ day of _____, 20____.

 Manager

The Buncher Company, owner of The Buncher Company Lot Consolidation Plan shown hereon, does hereby certify there is no mortgage, lien, or encumbrance against the property, and that the title of this property is in the name of The Buncher Company, pursuant to the following deeds recorded in the Allegheny County Department of Real Estate:

Thomas J. Balestrieri, President

- BEING A CONSOLIDATION OF THE FOLLOWING LOTS:
- BLOCK 87-K, LOT 230-0-1 D.B.V. 5401, PG. 59
 - BLOCK 87-K, LOT 45 D.B.V. 5280, PG. 25
 - BLOCK 87-K, LOT 50 D.B.V. 5438, PG. 293
 - BLOCK 87-K, LOT 210 D.B.V. 5781, PG. 740
 - FORMER SALINE STREET (BLOCK 87-K, LOT 52) D.B.V. 16312, PG. 296



REVISION RECORD		
NO.	DATE	DESCRIPTION
1	1/21/2016	REVISION FOR COMMENTS
2	2/15/2016	REVISED TAX PARCELS
3	2/15/2016	ADDED BLANK SHEET INFORMATION



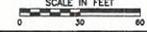
LEGEND
 _____ PROPERTY LINE
 _____ RIGHT OF WAY LINE
 - - - - - ADJACENT PROPERTY LINE
 - - - - - PROPERTY LINE TO BE REMOVED

CITY OF PITTSBURGH
 DEPARTMENT OF CITY PLANNING
 APPROVED DATE: _____
 CITY PLANNING COMMISSION

 CHAIRMAN
 ATTEST: _____
 SECRETARY

OWNER: THE BUNCHER COMPANY
 1300 PENN AVENUE
 SUITE 300
 PITTSBURGH, PA 15222-4211

TOTAL PLAN AREA
 45,437.32 SQ. FT.
 1.043 ACRES



CEC
Civil & Environmental Consultants, Inc.
 333 Baldwin Road • Pittsburgh, PA 15205
 Ph: 412.429.2324 • 800.365.2324 Fax: 412.429.2114
 www.cecinc.com

THE BUNCHER COMPANY
 LOT CONSOLIDATION PLAN
 Situate in
 14TH AND 15TH WARDS, CITY OF PITTSBURGH
 ALLEGHENY COUNTY, PENNSYLVANIA
 Made For
 THE BUNCHER COMPANY

DATE: 1/21/2016 SCALE: 1"=30' DRAWING NO.:
 DRAWN BY: MST CHECKED BY: JRB
 PROJECT NO: 164-270 APPROVED BY: EDB
CON-1
 SHEET 1 OF 1

C:\Users\jrb\OneDrive\Documents\164270\164270.dwg - 1/21/2016 11:42 AM



CITY OF PITTSBURGH
 DEPARTMENT OF CITY PLANNING
 ZONING • DEVELOPMENT REVIEW
 200 ROSS STREET • THIRD FLOOR
 PITTSBURGH • PENNSYLVANIA • 15219

ZONE CHANGE PETITION

Address

5600 Forward Avenue, Pittsburgh PA 15217

Owner:

The Buncher Company

Address:

1300 Penn Avenue, Pittsburgh PA 15222

Phone:

412-422-9900, Ext. 264

Applicant / Agent:

Same

Address:

Phone:

Property owners or representatives of property described who join this petition.

Owner's Name	Property

If additional space is required, list on a separate sheet and attach.

Block & Lot: 87-K-45, 87-K-50, 87-K-210 & 87-K-230-0-1 Ward: 14th & 15th Wards
 Sq. ft. of site: 45,437.82 or, number of acres:
 Existing Zoning: Local Neighborhood Proposed Zoning: Local Neighborhood
 Commercial/Two Unit Residential/Parks Commercial
 Present use of site:

Former Office; currently vacant

Proposed use & improvements: (attach map of proposed zone change area)

The property currently is comprised of Local Neighborhood Commercial, Two Unit Residential and Parks. The Buncher Company proposes to consolidate the four parcels and secure (see Attachment)
(if additional space is required, attach a separate sheet)

The proposed Zone Change is appropriate and desirable and that this use will not be detrimental to the immediate neighborhood because:

The zone change will enhance the neighborhood, in that the property will be able to be leased to a business that will benefit the residents of the City.

The proposed application will comply with the conditions specified in the Code by:

NOTICE TO ANYONE WHO JOINS THIS PETITION:

Despite any statements of proposed use made above, enactment of this ordinance will permit involved property to be used for any of the uses listed in the classification table of the Zoning Ordinance.

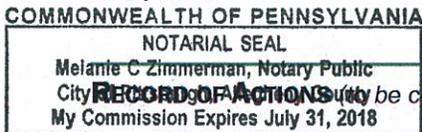
STATEMENT OF TRUTH
COMMONWEALTH OF PENNSYLVANIA, COUNTY OF ALLEGHENY

Deponent, being duly sworn, says that they are the:

- Owner of record of the property for which this application is made, and that all the statements and data furnished with this application is true and correct.
- Authorized agent for the owner of record of the property for which this application is made and as such has express authority to bind such owner to all terms and conditions of any Occupancy permit issued pursuant to this application, and that all the statements and data furnished with this application are true and correct.

Sworn to and subscribed before me this 18th day of February 2016.

Melanie C Zimmerman Joseph M Jackson Joseph M. Jackson
 Notary Public Applicant (signature) Applicant (printed)



RECORD OF ACTIONS (to be completed by City Planning)

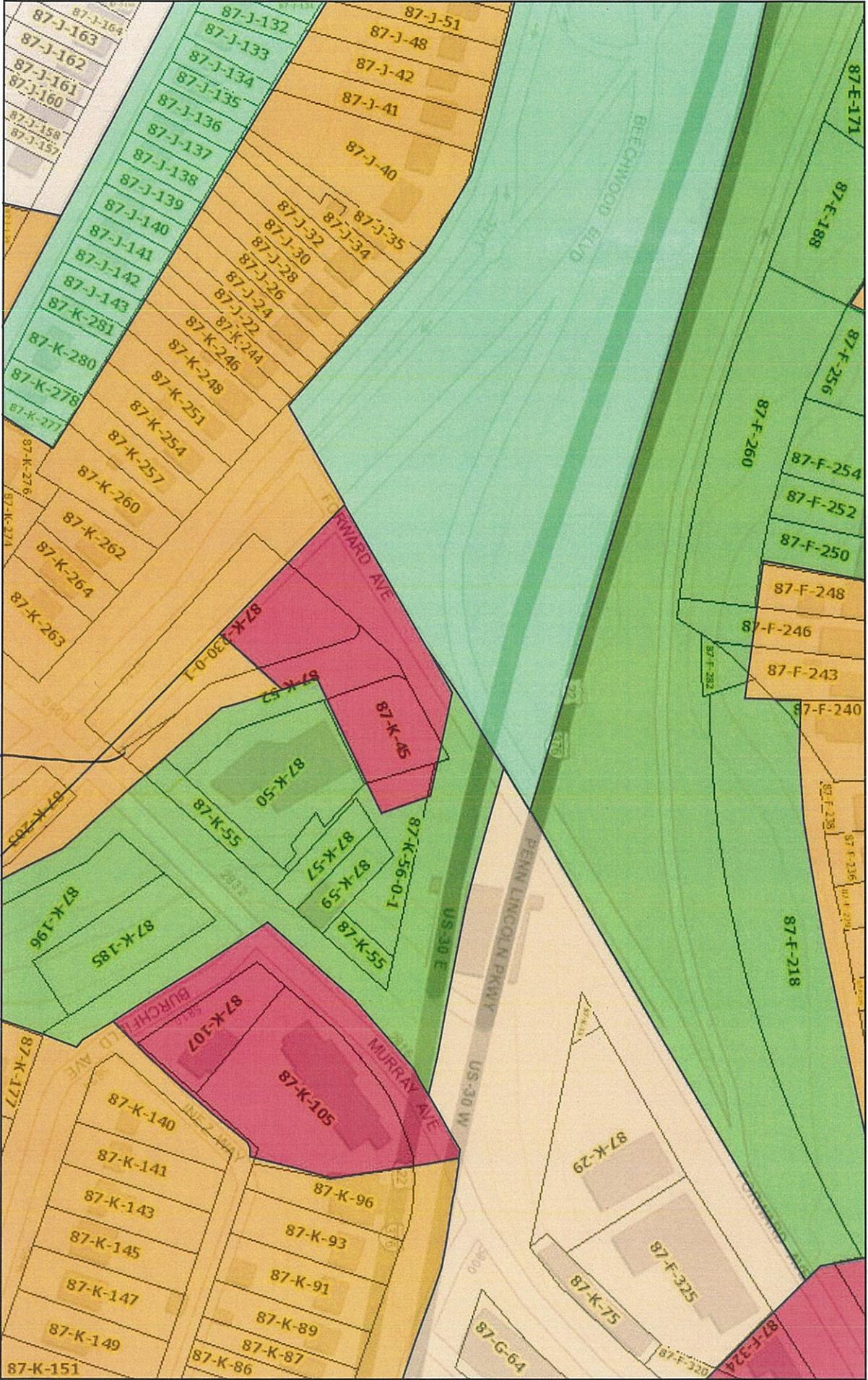
Address	_____	Check #	PAID \$ _____
Date Filed	_____	Land Use #	_____
Zoning District	_____	Zone Change #	_____
Proposed Zoning	_____		
Planning Commission recommendation			
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied	DATE OF ACTION	_____
City Council action			
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied	DATE OF ACTION	_____

ZONING CHANGE PETITION FOR THE BUNCHER COMPANY
ATTACHMENT 1

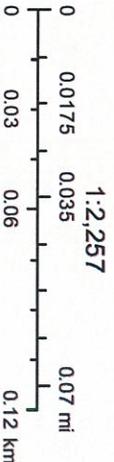
Local Neighborhood Commercial zoning for the consolidated area. Thereafter, the property will be usable and can be leased to a business. A copy of the current zoning map is attached.

February 18, 2016

- Zoning Districts
- Local Neighborhood Commercial
- Single-Unit Detached Residential
- Two-Unit Residential
- Multi-Unit Residential
- Parks
- Hillside
- Parcels
- Lot Lines



87-K-210



Alegheny County 2012, 2010 Imagery
Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO.



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

ZONING APPLICATION

The Zoning Application **can be** used for the following:

- New Construction of a 1-Family or 2-Family Dwelling;
- Repairs, Alterations, Additions to, and/or Extensions of either a 3-Family or larger Residential Dwelling or a Non-Residential Structure.

PROPERTY OWNER/APPLICANT INFORMATION

Property Owner Name: Pittsburgh Parking Authority		Phone Number: (412) 560-7275	
Address: 232 Boulevard of the Allies	City: Pittsburgh	State: PA	Zip Code: 15222
Applicant/Company Name: Nathan Contracting LP		Phone Number: (412) 487-7077	
Address: 3996 Mt. Royal Blvd	City: Allison Park	State: PA	Zip Code: 15101
Applicant/Contractor ID:(assigned by the City) 5387			

PROJECT INFORMATION

Address where Work will Occur: 239 3rd Avenue, Pittsburgh, PA 15222

Location of Work: Exterior Facades

If a Certificate of Occupancy exists, the following is required:

Certificate of Occupancy#: _____ Date Issued: _____ Existing Use of Property: Parking Garage

Estimated Construction: Start Date: 4 / 1 / 2016 Occupancy Date: / / Project Cost: \$ 769,650.00

Check the appropriate structure type:

<input type="checkbox"/> Residential, 1-Family Dwelling	<input checked="" type="checkbox"/> Non-Residential
<input type="checkbox"/> Residential, 2-Family Dwelling	
<input type="checkbox"/> Residential, 3-Family or Larger Dwelling	

Select the Type(s) of Work from the following categories:

<input type="checkbox"/> New Construction of:	<input type="checkbox"/> Addition to or <input type="checkbox"/> Extension of:	<input type="checkbox"/> Alteration or <input checked="" type="checkbox"/> Repair Type:
<input type="checkbox"/> 1-Family Dwelling Structure	<input type="checkbox"/> Existing Primary Use Structure	<input type="checkbox"/> Structural, Interior <input checked="" type="checkbox"/> Structural, Exterior
<input type="checkbox"/> 2-Family Dwelling Structure	<input type="checkbox"/> Existing Accessory Structure	<input type="checkbox"/> Aesthetic, Interior <input checked="" type="checkbox"/> Aesthetic, Exterior

New Certificate of Occupancy is Needed No

Describe the Work: Renovations to the exterior of the 3rd Avenue Parking Garage

Provide the Square Footage (sq. ft.) of each of the items listed below, even if the answer is zero:

Lot Area: 43,500	Existing Structure to be Retained: 37,728
Building Footprint: 37,728	Retained Space to be Renovated/Altered: 37,728
Existing Structure to be Razed: 0	New Structure to be Constructed: 0

	EXISTING		PROPOSED	
	Stories	Feet	Stories	Feet
Main Structure	5	56	5	56
Proposed Addition/Extension				
Accessory Structure:				
Accessory Structure:				
Accessory Structure:				

On-Site Parking: New Total Number of Spaces After Work is Complete: _____ N/A

Please check any of the following items that will be part of the proposed work:

<input type="checkbox"/> Demolition	<input type="checkbox"/> Electrical	<input type="checkbox"/> Fire Alarm	<input type="checkbox"/> Fire Protection/Sprinklers
<input type="checkbox"/> HVAC (Interior)	<input type="checkbox"/> HVAC (Exterior)	<input type="checkbox"/> Commercial Cooking Hood	<input checked="" type="checkbox"/> N/A

Please check the following items that pertain to any work proposed on private plumbing: (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No plumbing work is proposed

Applicant will be applying for Visitability Tax Credit? Yes No

Public Parking Authority of Pittsburgh

Third Avenue Parking Garage

Façade Restoration and
Refurbishment

Photographs of Current Façade – Third Avenue – Looking West



Photographs of Current Façade – Third Avenue – Looking East



Photographs of Current Façade – Third Avenue - Deterioration



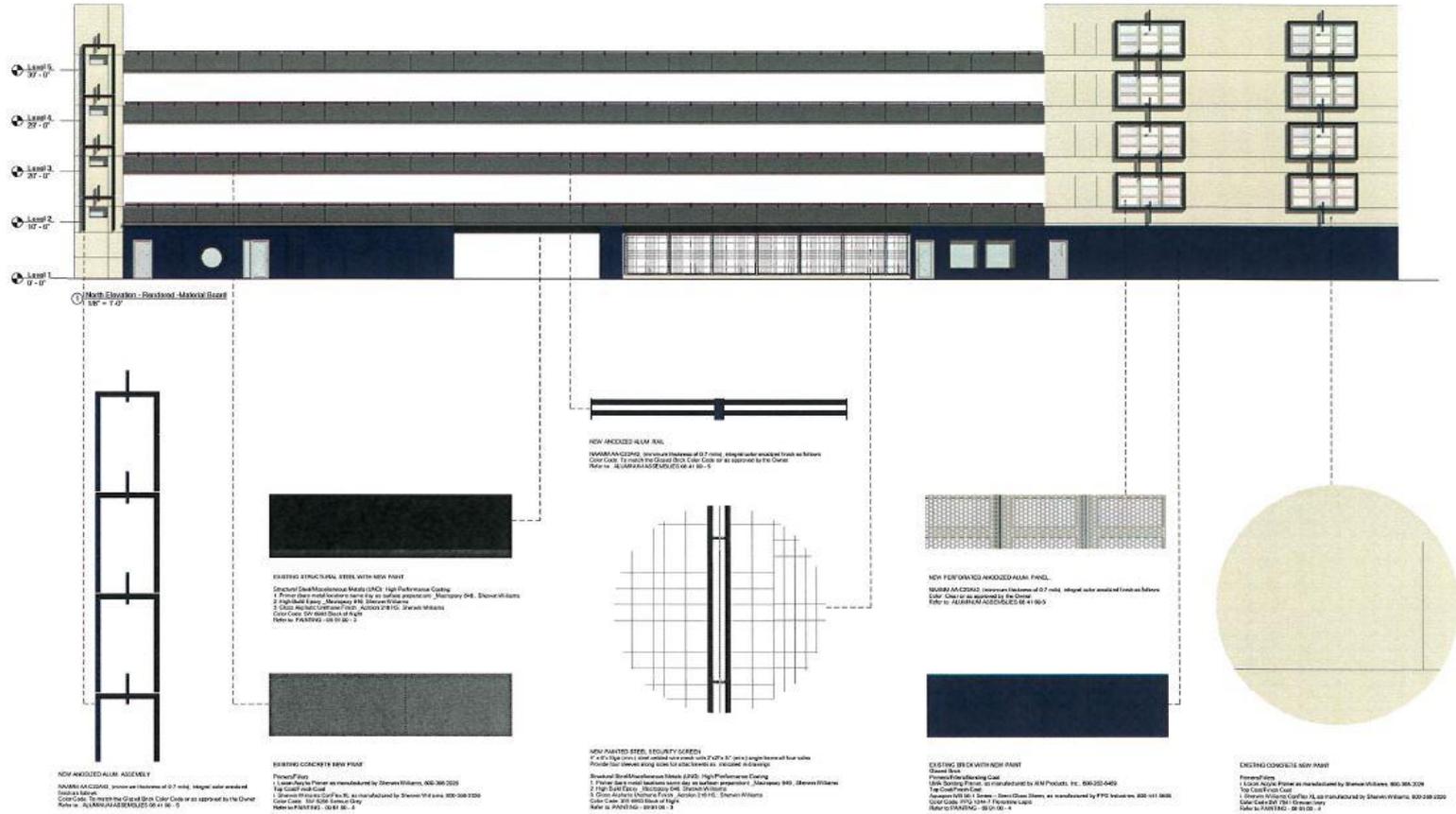
Photographs of Current Façade – Fourth Avenue - Looking West



Photographs of Current Façade – Fourth Avenue - Looking East



Façade Renderings – Fourth Avenue Elevation



NORTH ELEVATION
 02/10/16
 KGJ

Facade Study of the Third Avenue Parking Garage
 Pittsburgh, Pennsylvania
 Public Parking Authority of Pittsburgh

The intent of this document is for general material and color identification.



Photographs of Current Façade – East Building Elevation From Fourth Avenue



Photographs of Current Façade – East Building Elevation From Third Avenue





**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: First National Bank - Kevin Carhart		Phone Number: (412) 359-2552	
Address: 55 Wyoming St.	City: Pittsburgh	State: PA	Zip Code: 15211
2. Applicant/Company Name: Design 3 Architecture PC Anthony R. Scruppi, AIA		Phone Number: (412) 373-2220	
Address: 300 Oxford Dr, 120	City: Monroeville	State: PA	Zip Code: 15146
Applicant/Contractor ID: (assigned by the City)			
3. Development Name:			
4. Development Location: 100 Federal Street, Pittsburgh, PA 15212			
5. Development Address: 100 Federal Street, Pittsburgh, PA 15212			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition) N/A			
Proposed Zoning District:	DR-C		
Present Use of Site: (Select from attached list)	Bank (First Floor) & Office (Upper Floors)		
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: 24861	Date Issued: September 08, 1969	Existing Use of Property: Financial Institution	
8. Estimated Construction:	Start Date: 04/-- /2016	Occupancy Date: / / Occupied	Project Cost: \$5 million (estimate)

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list): Bank, Office, Retail/Restaurant (Limited)

10. Select the Type of Work:

New Construction, New Renovation, Interior

New Construction, Renovation, Exterior

Change in Use Only Renovation, Change in Use

11. Describe the Development: Facade renovation of existing four-story building. Scope includes removal of existing rubble stone masonry and granite panel/window system. New construction to include new brick shelf at foundation and exterior wall construction including insulation and face brick with new insulated window system. Interior renovations are part of a separate construction phase.

12. Is a Land Operations Permit needed? YES NO

(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, <http://www.city.pittsburgh.pa.us/bbi/>)



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	N/A	sq ft
Existing to be Retained:	N/A	sq ft
Retained Area to be Renovated:	N/A	sq ft
To be Constructed:	612	sq ft NEW FRONT ENTRY PORTICO
Building Footprint:	6,000	sq ft

	<u>Existing</u>		<u>Proposed</u>	
	<u>Stories</u>	<u>Feet</u>	<u>Stories</u>	<u>Feet</u>
Main Structure	4	56'		
Proposed Addition/Extension			0	

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: N/A Proposed: N/A

17. Lot Area: 10,368 sq ft

18. On Site Parking: N/A

	<u>Existing</u>	<u>Proposed</u>
Full (8 1/2' x 19')	8	0
Compact (7 1/4' x 16')	0	0
Handicap (13 1/2' x 19')	0	0

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET ♦ THIRD FLOOR ♦ PITTSBURGH ♦ PENNSYLVANIA ♦ 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

<u> 0 </u> New Water Service Connection(s)	<u> 0 </u> Termination of Existing Water Service Tap(s)
<u> 0 </u> New Sewer Service Connection(s)	<u> 0 </u> Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

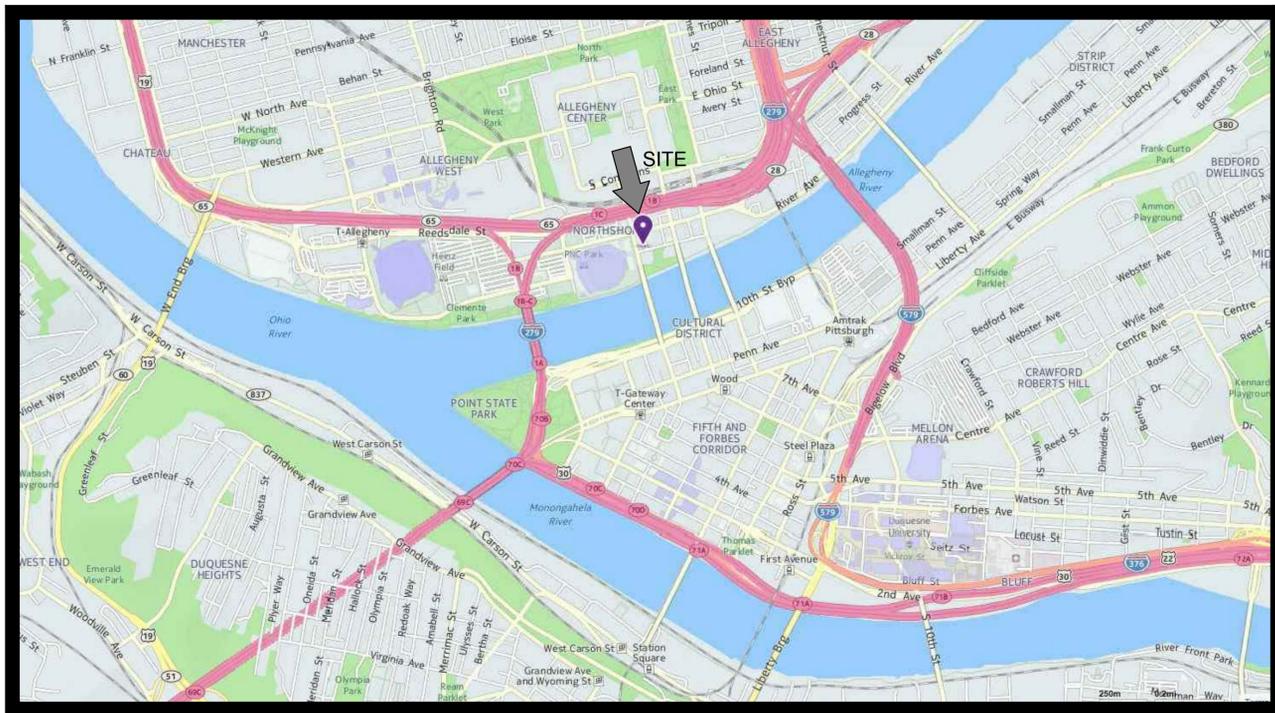
- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____



Planning Commission Review Drawings for:
 Exterior Shell Renovation
First National Bank
 100 Federal Street
 Zoning-District DR-C
 Pittsburgh, Pa



SITE LOCATION MAP
 Scale: Not to Scale

List of Documents:
 Architectural Drawings
 Cover Sheet

Site Plan

Context

Proposed Exterior
 Elevations

Exterior Perspective Views
 (Proposed)

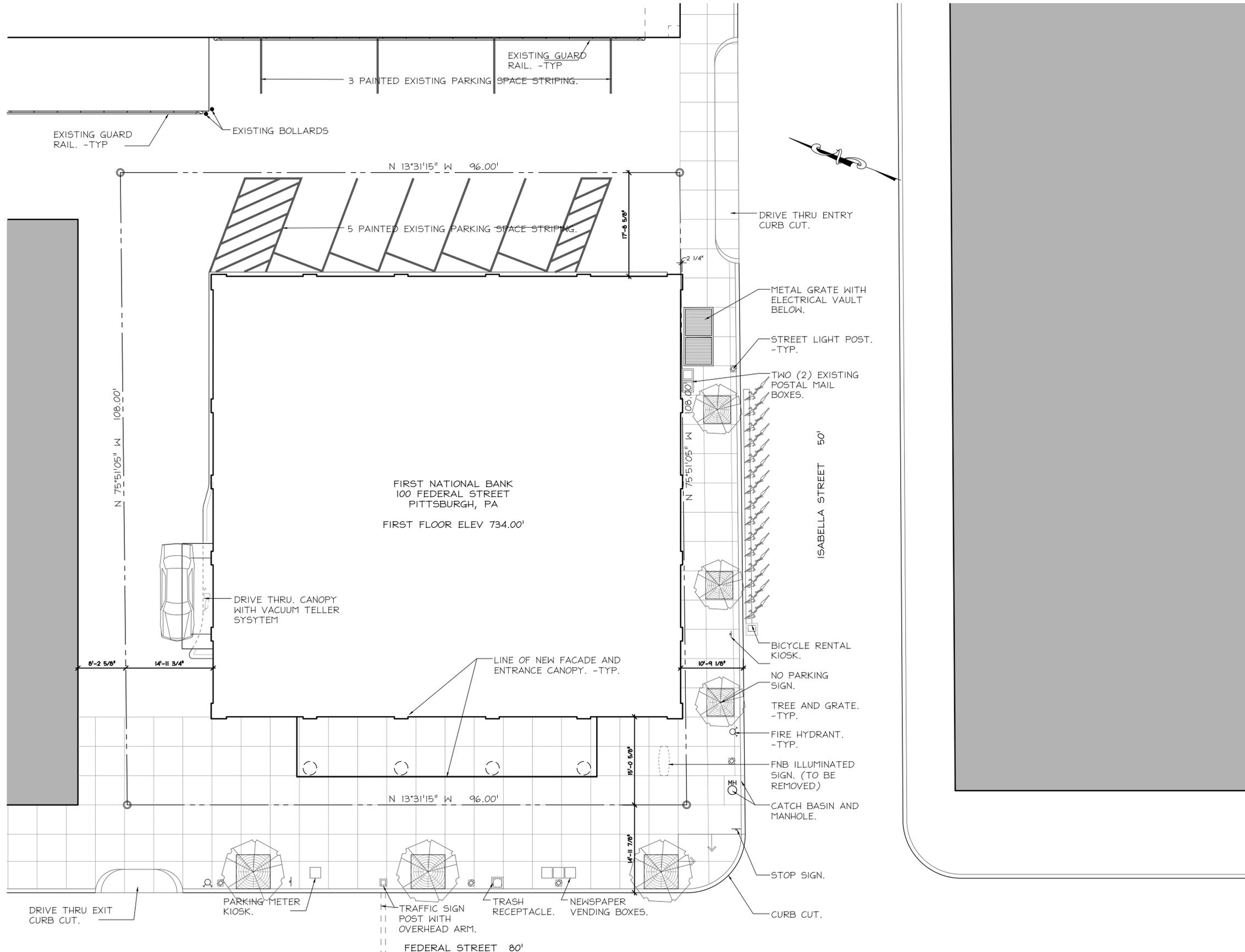
Sustainability Comparison

Visibility Impact Study
 and Roof Plan

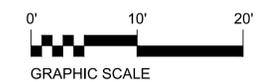
Project Description:

Exterior shell renovation of existing granite panel and stone masonry building. Scope of work to include the following:

1. Demolition of existing building facade including windows.
2. New exterior wall construction consisting of cast stone, brick masonry, and window system. New facade wall to include upgraded insulation.
3. Reroofing of existing building including upgraded roof insulation and overflow drains.
4. Removal of existing rooftop condenser units. New rooftop HVAC units to be installed as part on complete HVAC system re-design.



1 SITE PLAN
SCALE: 1/8"=1'-0"



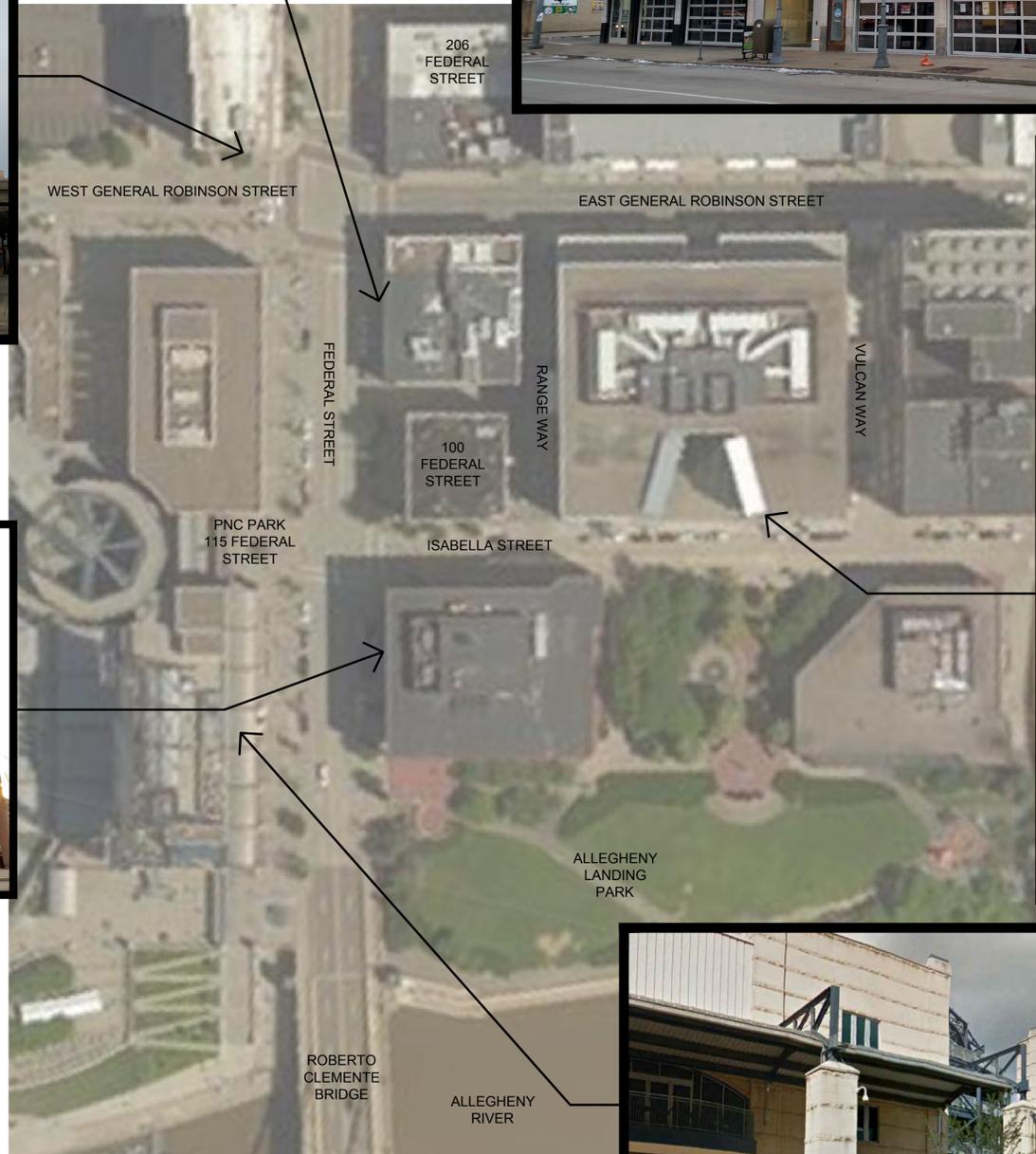
Design 3 Architecture 300 Oxford Drive Suite 120 Monroeville, PA 15146 TEL (412) 373-2220 FAX (412) 373-4571 www.d3a.com	
Project:	First National Bank Facade 100 Federal Street Pittsburgh, PA
Title:	Site Plan
No.:	2014-10.10E
Date:	03/01/16
Revised:	



228 FEDERAL STREET



140 FEDERAL STREET



AERIAL SITE LOCATION VIEW
SCALE: NTS



ONE NORTH SHORE CENTER

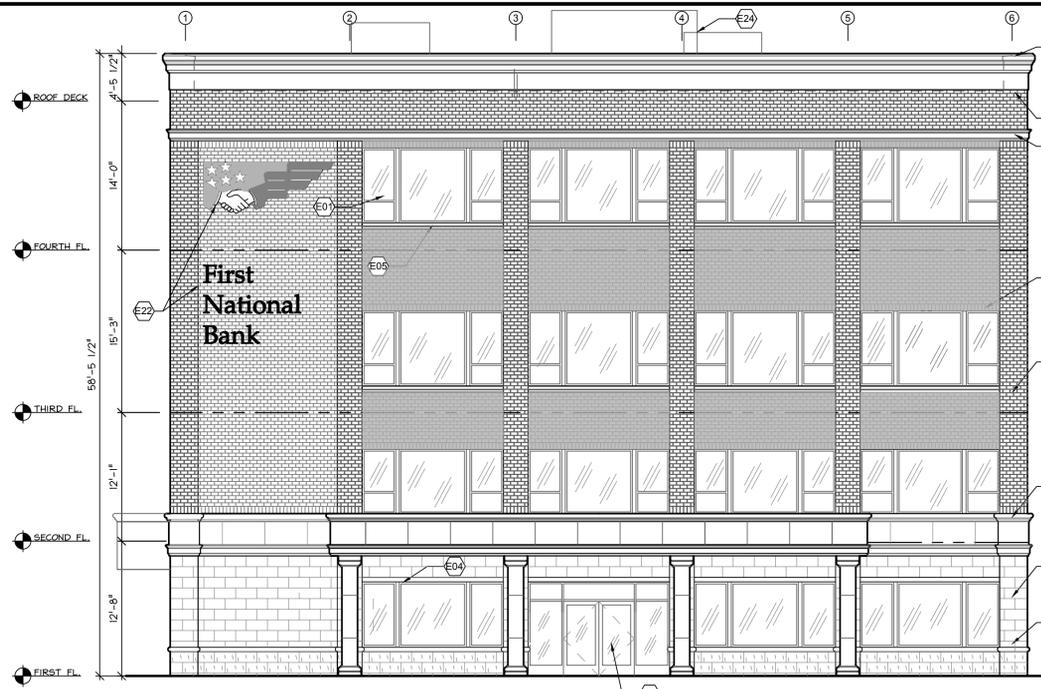


130 FEDERAL STREET

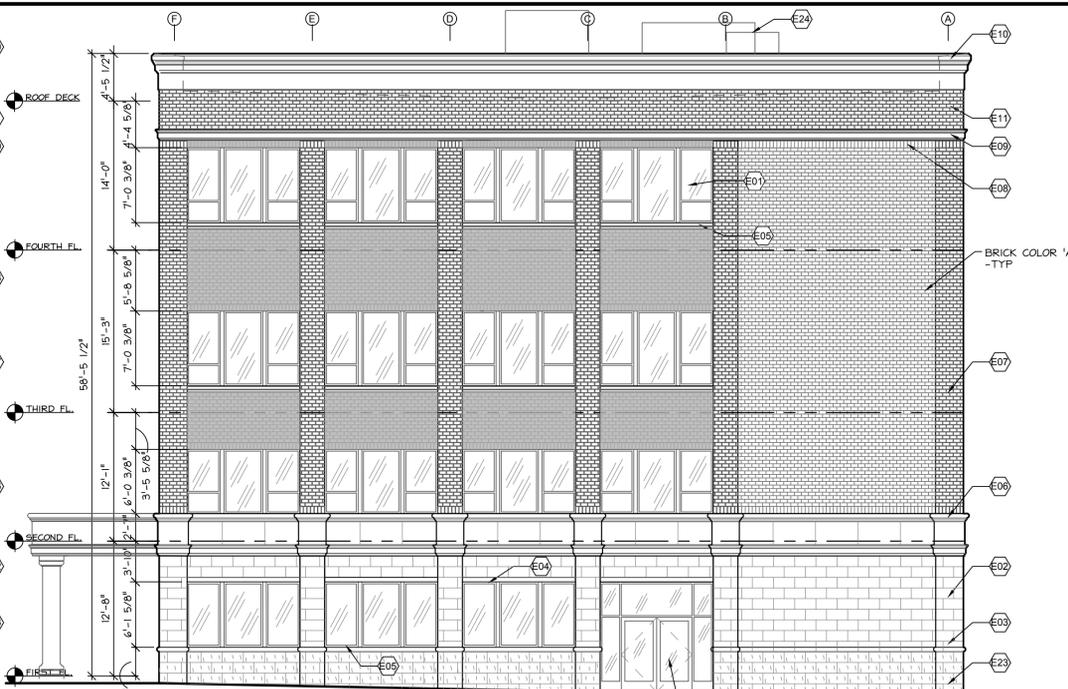


PNC PARK

<p>Design 3 Architecture 300 Oxford Drive Suite 120 Monroeville, PA 15146</p>		<p>TEL (412) 373-2220 FAX (412) 373-4571 www.d3a.com</p>
<p>Project: First National Bank Facade 100 Federal Street Pittsburgh, PA</p>		
<p>Title: Context</p>		
<p>No. 2014-10.10E Date: 03/01/16</p>		<p>3</p>



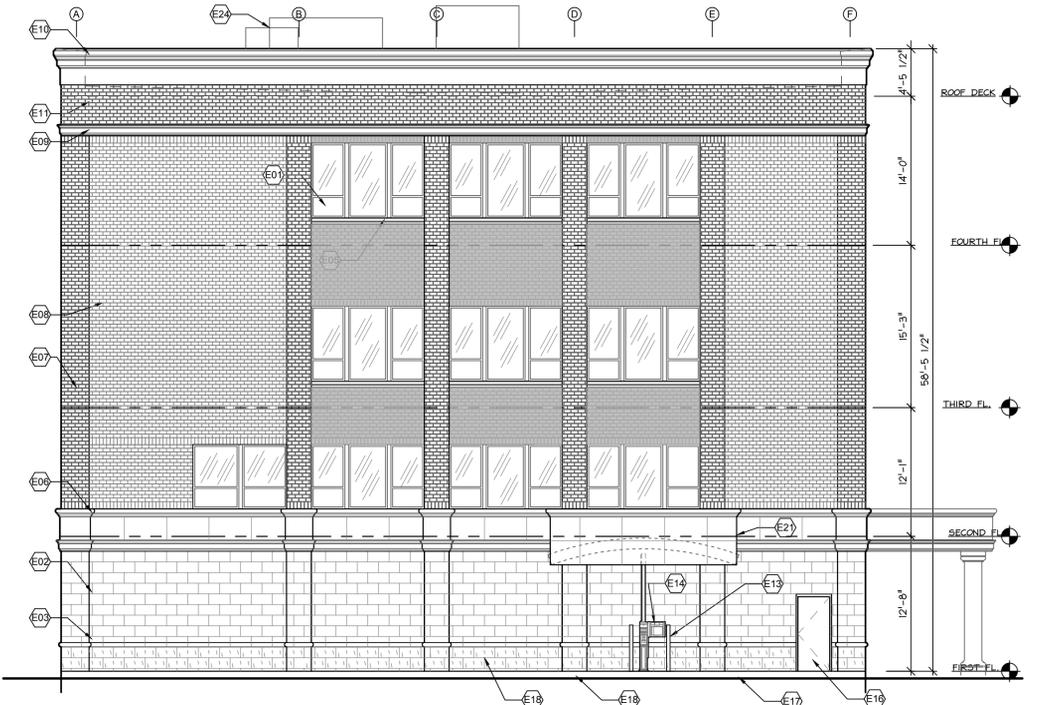
A FEDERAL STREET ELEVATION
SCALE: 1/8"=1'-0"



B ISABELLA STREET ELEVATION
SCALE: 1/8"=1'-0"



C REAR ELEVATION
SCALE: 1/8"=1'-0"



D DRIVE THRU ELEVATION
SCALE: 1/8"=1'-0"

KEYED ELEVATION NOTES

- E01. NEW INSULATED WINDOWS. -TYP. (SEE SCHEDULE)
- E02. NEW PRECAST STONE WATER TABLE.
- E03. NEW PRECAST STONE TRIM.
- E04. NEW PRECAST STONE WINDOW HEAD TRIM.
- E05. NEW PRECAST STONE WINDOW SILL.
- E06. NEW PRECAST STONE BAND TRIM.
- E07. NEW BRICK VENEER.
- E08. NEW BRICK SOLDIER COURSE.
- E09. NEW PRECAST STONE CORNICE TRIM.
- E10. NEW PRECAST STONE COPING.
- E11. NEW BRICK FIELD.
- E12. NEW ALUMINUM AND GLASS ENTRY SYSTEM. (SEE SCHEDULE)
- E13. NEW BOLLARD.
- E14. NEW VACUUM TUBE DRIVE THRU SYSTEM WITH TWO WAY CUSTOMER CAMERA AND DISPLAY UNIT.
- E15. NOT USED
- E16. NEW H.M. INSULATED METAL DOOR AND FRAME. (SEE SCHEDULE)
- E17. EXISTING SIDEWALK/PAVING.
- E18. EXISTING CONCRETE CURB.
- E19. NEW H.M. INSULATED METAL DOOR AND FRAME. PROVIDE NEW STEEL LINTEL. (SEE SCHEDULE)
- E20. MODIFY PAVING AS REQUIRED TO ACCOMMODATE POSITIVE DRAINAGE AWAY FROM DOOR THRESHOLD.
- E21. EXISTING DRIVE THRU CANOPY FRAMING TO REMAIN. RE-WRAP WITH METAL FRAMING AND EIFS FINISH TO MATCH PRECAST STONE FIELD AND TRIM BEYOND.
- E22. FNB SIGN PACKAGE.
- E23. ROCK FACED PRECAST STONE VENEER.
- E24. ROOF TOP HVAC EQUIPMENT BEYOND. -TYP.

Design 3 Architecture

300 Oxford Drive
Suite 120
Monroeville, PA 15146
TEL (412) 373-2220
FAX (412) 373-4571
www.d3a.com

Project:
First National Bank Facade
100 Federal Street
Pittsburgh, PA

Title:
Proposed Exterior Elevation

No. 2014-10.10E
Date: 03/01/16



EXISTING PERSPECTIVE VIEW
SCALE: NTS

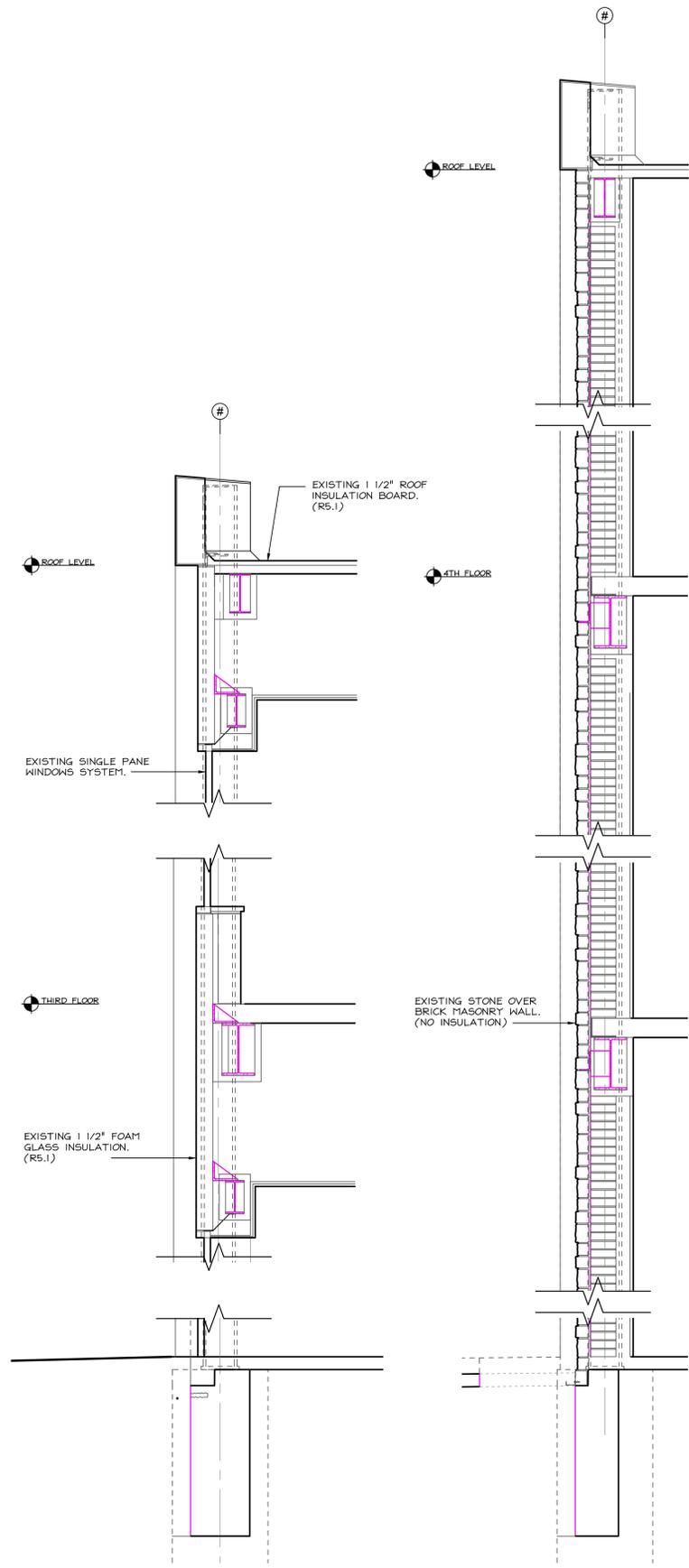


PROPOSED PERSPECTIVE VIEW
SCALE: NTS

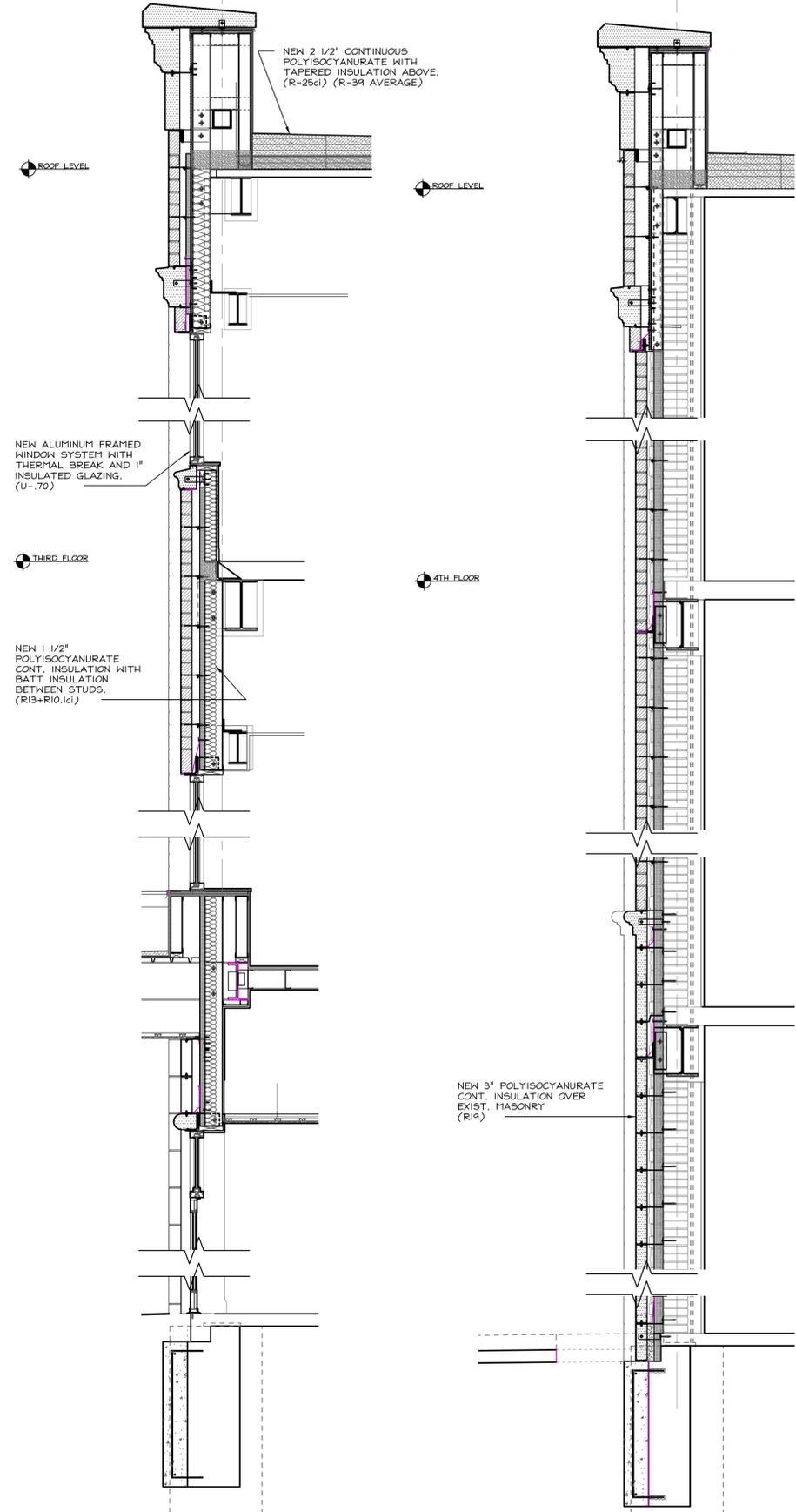


PROPOSED CANOPY VIEW
SCALE: NTS

<p>Design 3 Architecture</p> <p>300 Oxford Drive Suite 120 Monroeville, PA 15146</p> <p>TEL (412) 373-2220 FAX (412) 373-4571 www.d3a.com</p>	
<p>Project: First National Bank Facade 100 Federal Street Pittsburgh, PA</p>	
<p>Title: Exterior Perspective Views (Proposed)</p>	
<p>No. 2014-10.10E Date: 03/01/16</p>	
<p>Revised: 5</p>	

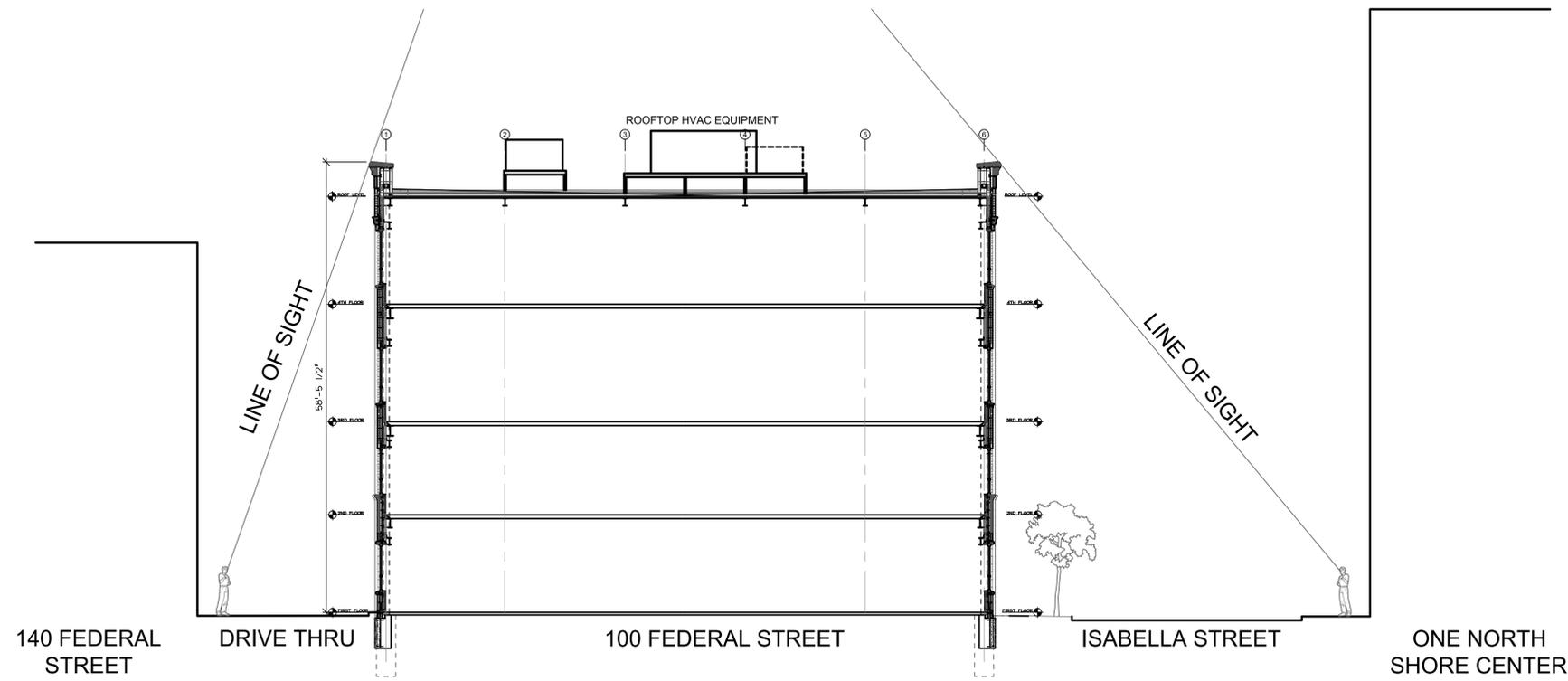


1 EXISTING CONDITIONS
SCALE: 1/2"=1'-0"

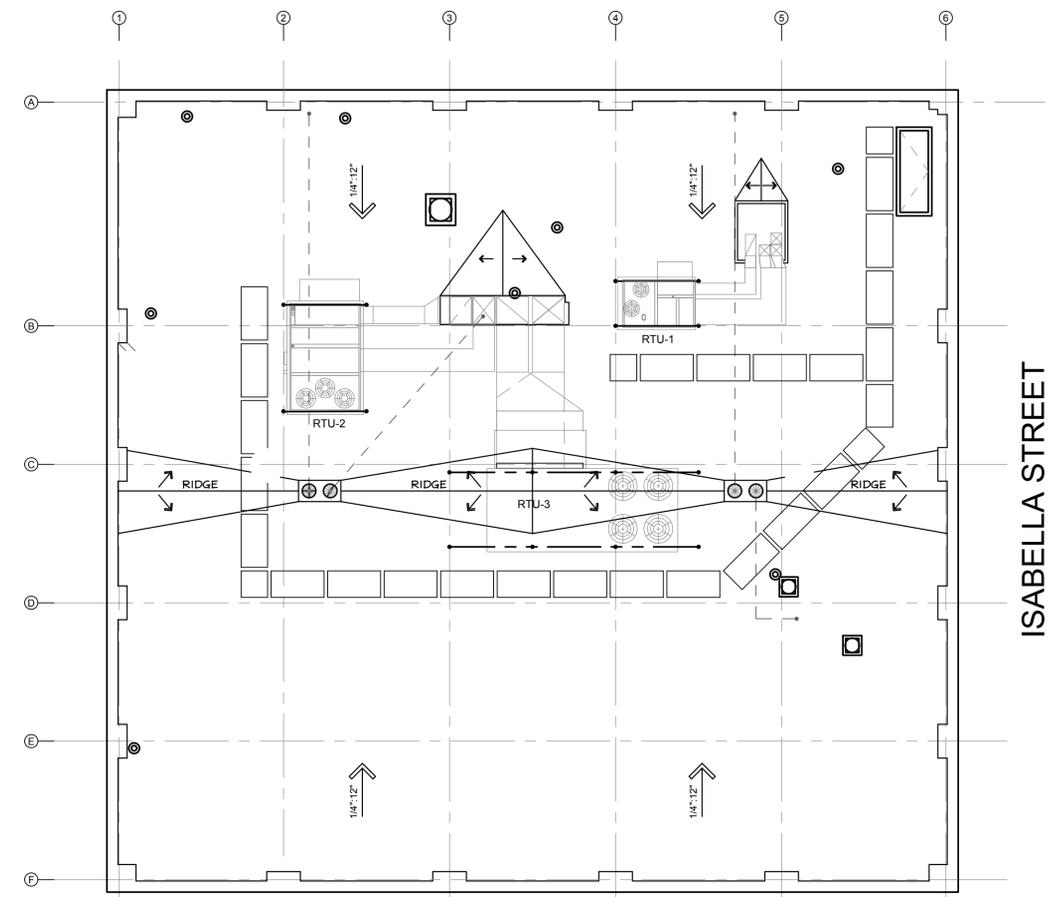


2 NEW WORK CONDITIONS
SCALE: 1/2"=1'-0"

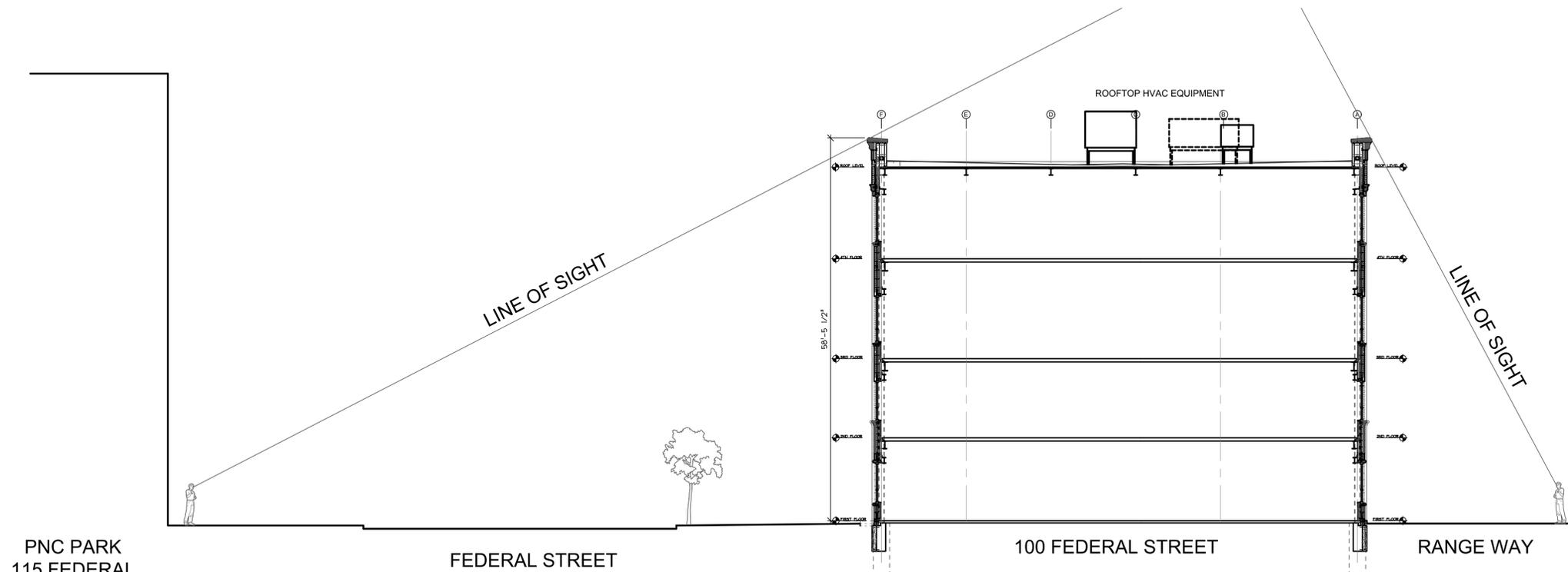
Design 3 Architecture	
300 Oxford Drive Suite 120 Monroeville, PA 15146	TEL (412) 373-2220 FAX (412) 373-4571 www.d3a.com
Project: First National Bank Facade 100 Federal Street Pittsburgh, PA	
Title: Sustainability Comparison	
No. 2014-10.10E	Date: 03/01/16
Revised:	



SIGHT LINE STUDY AT ISABELLA STREET
SCALE: 1"=10'-0"



1 ROOF PLAN
SCALE: 1/8"=1'-0"



SIGHT LINE STUDY AT FEDERAL STREET
SCALE: 1"=10'-0"

<p>Design 3 Architecture</p> <p>300 Oxford Drive Suite 120 Monroeville, PA 15146</p> <p>TEL (412) 373-2220 FAX (412) 373-4571 www.d3a.com</p>	
<p>Project: First National Bank Facade 100 Federal Street Pittsburgh, PA</p>	
<p>Title: Visibility Impact Study and Roof Plan</p>	
<p>No. 2014-10.10E Date: 03/01/16</p>	
<p>Revised:</p>	

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application can be used for the following:

- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: <i>EDWARD J LESOON JR</i>		Phone Number: (412) <i>441 1160</i>	
Address: <i>6025 BROAD</i> City: <i>SP</i> <i>Pgh</i>		State: <i>PA</i>	Zip Code: <i>15206</i>
2. Applicant/Company Name: <i>SAME</i>		Phone Number: ()	
Address:	City:	State:	Zip Code:
Applicant/Contractor ID:(assigned by the City) <i>Edward J. Lesoon Jr</i>			
3. Development Name:			
4. Development Location: <i>EAST Liberty</i>			
5. Development Address: <i>208-218 N. Highland Ave 15206</i>			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#:	Date Issued:	Existing Use of Property:	
8. Estimated Construction:	Start Date: <i>/ /</i>	Occupancy Date: <i>/ /</i>	Project Cost: \$
Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.			
9. Proposed Use of Site (Select from attached list):			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New		<input type="checkbox"/> Renovation, Interior	
<input type="checkbox"/> New Construction,		<input type="checkbox"/> Renovation, Exterior	
<input type="checkbox"/> Change in Use Only		<input type="checkbox"/> Renovation, Change in Use	
11. Describe the Development: <i>NEW FACADES ON THREE STORE FRONTS</i> <i>5 APARTMENTS ON 2ND & 3RD FLOOR</i> <i>RESTAURANT ON 1ST FLOOR</i>			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			

**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:
 Existing to be Razed: - 0 - sq ft
 Existing to be Retained: 4400 sq ft
 Retained Area to be Renovated: 4400 sq ft
 To be Constructed: _____ sq ft
 Building Footprint: _____ sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	3 (+basement) approx. 36' ?			
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: 5

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: 11
 Required: 5 (1 per apartment) + 6 (restaurant) = 11

19. Please check any of the following items that will be part of the proposed work: N/A
 Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood (Sign)

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).
 Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed

DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s) _____ Termination of Existing Water Service Tap(s)
_____ New Sewer Service Connection(s) _____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

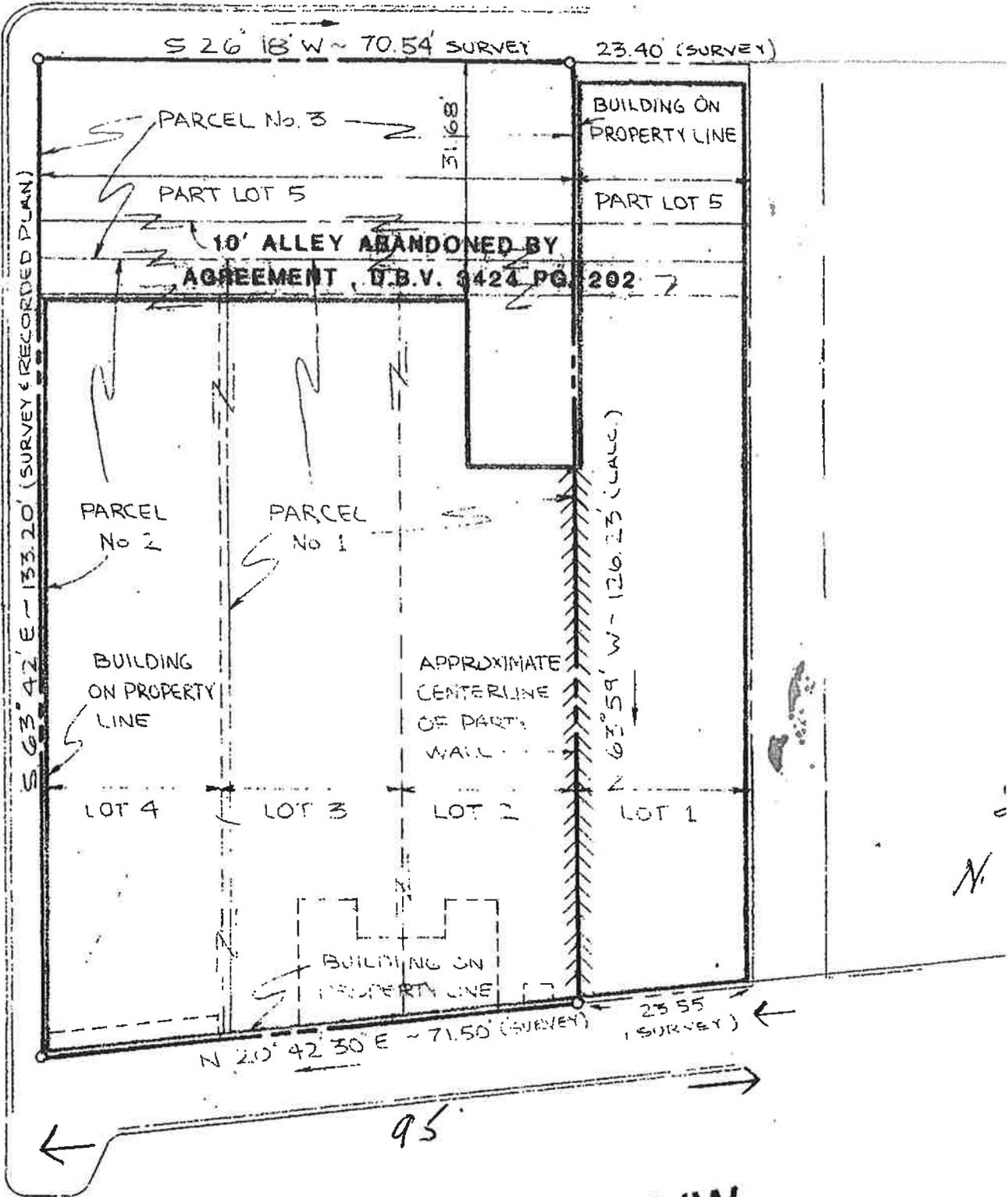
- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

Applicant Signature: _____

133'

HARVARD STREET 30' R/W



NORTH HIGHLAND 60' R/W

153'

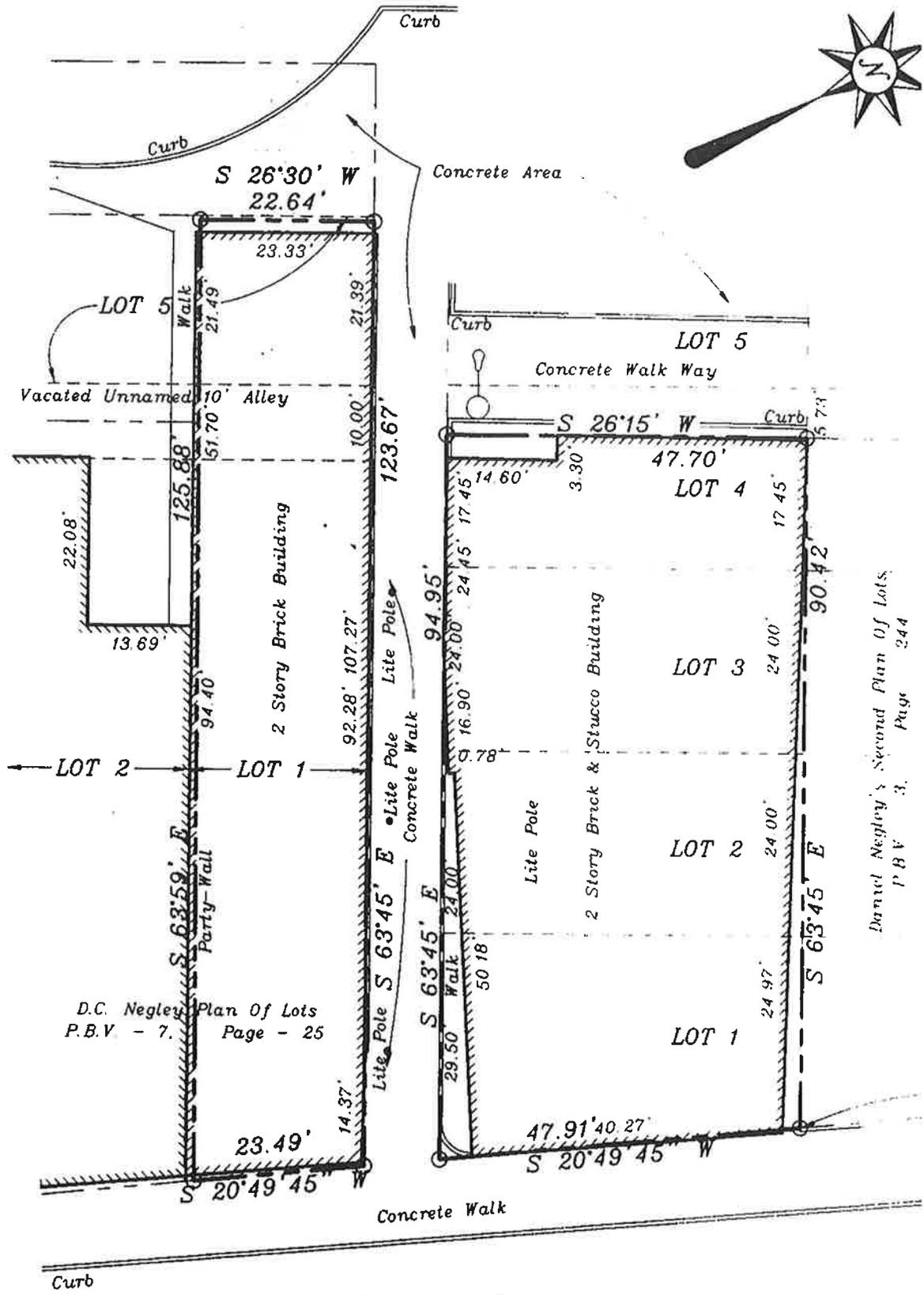
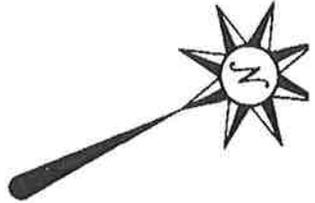
95'

←

←

→

→



Now Or Formerly Francis O'hara Moreland

D.C. Negley Plan Of Lots
P.B.V - 7. Page - 25

Daniel Negley's Second Plan Of Lots.
P.B.V - 3. Page 244

NORTH HIGHLAND AVENUE -

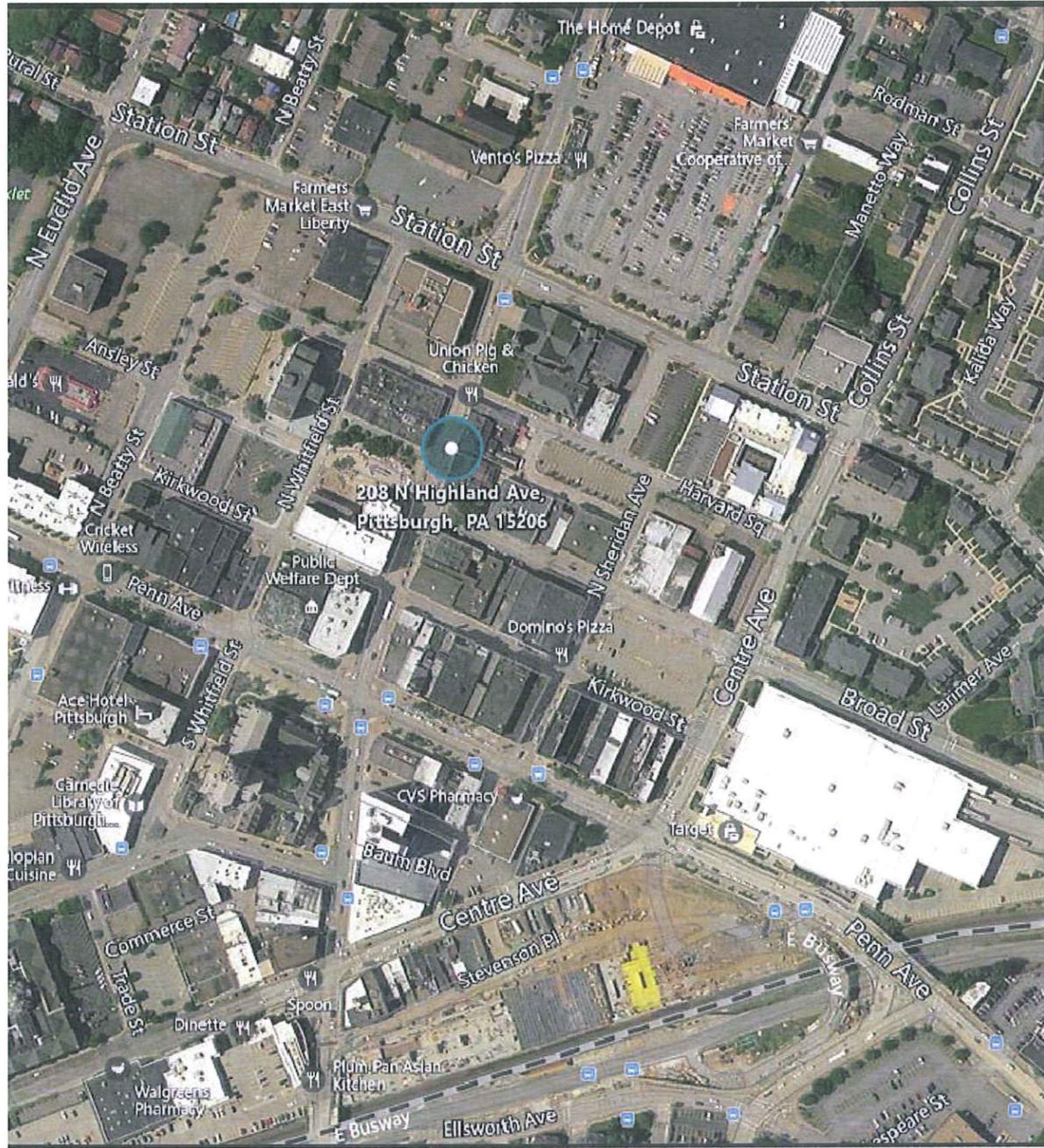
Blacktop Surface

INTRODUCTORY INFORMATION

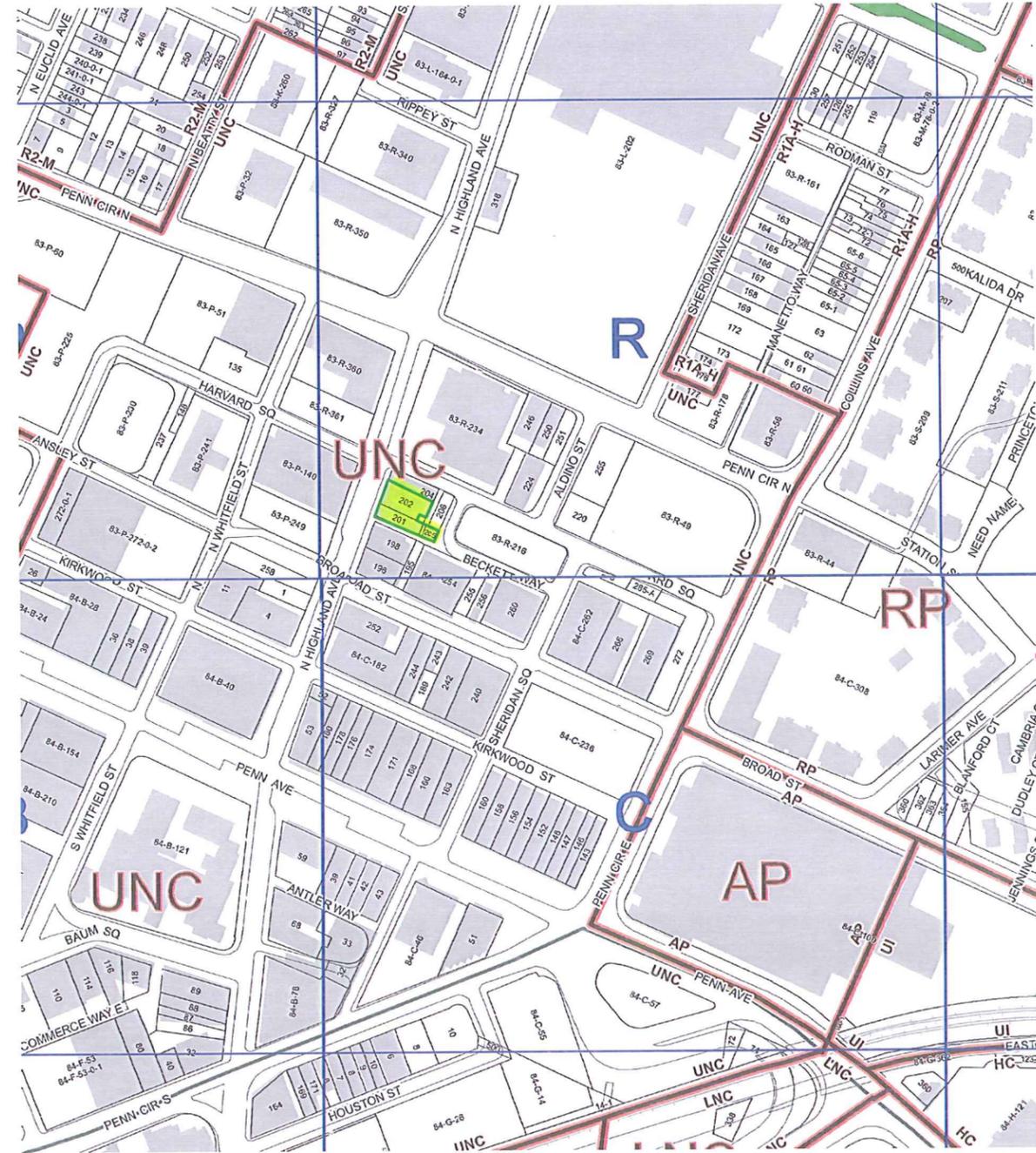
Location: **208-218 North Highland Ave.**
Pittsburgh, PA 15206

Zoning District: **UNC – Urban Neighborhood Commercial**

Description: Property is an existing three-story mixed use building, with three separate retail areas denoted with street-level storefronts with windows and separate entrances. Parking for up to 9 cars is located at the rear of the building. The parking area accommodates the (5) residential units and the commercial uses of the building. Special exception has been granted for the proposed restaurant use, finding it to be consistent with the UNC neighborhood and the uses in the surrounding area. The proposed new façade design is traditional and respectful to historical proportions and context, and includes new brick, dark aluminum framed windows and storefronts, stone sills, and traditional crown cornice at the façade parapet.



LOCATION PLAN - AERIAL
SCALE: NOT TO SCALE



LOCATION PLAN - ZONING
SCALE: NOT TO SCALE

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.

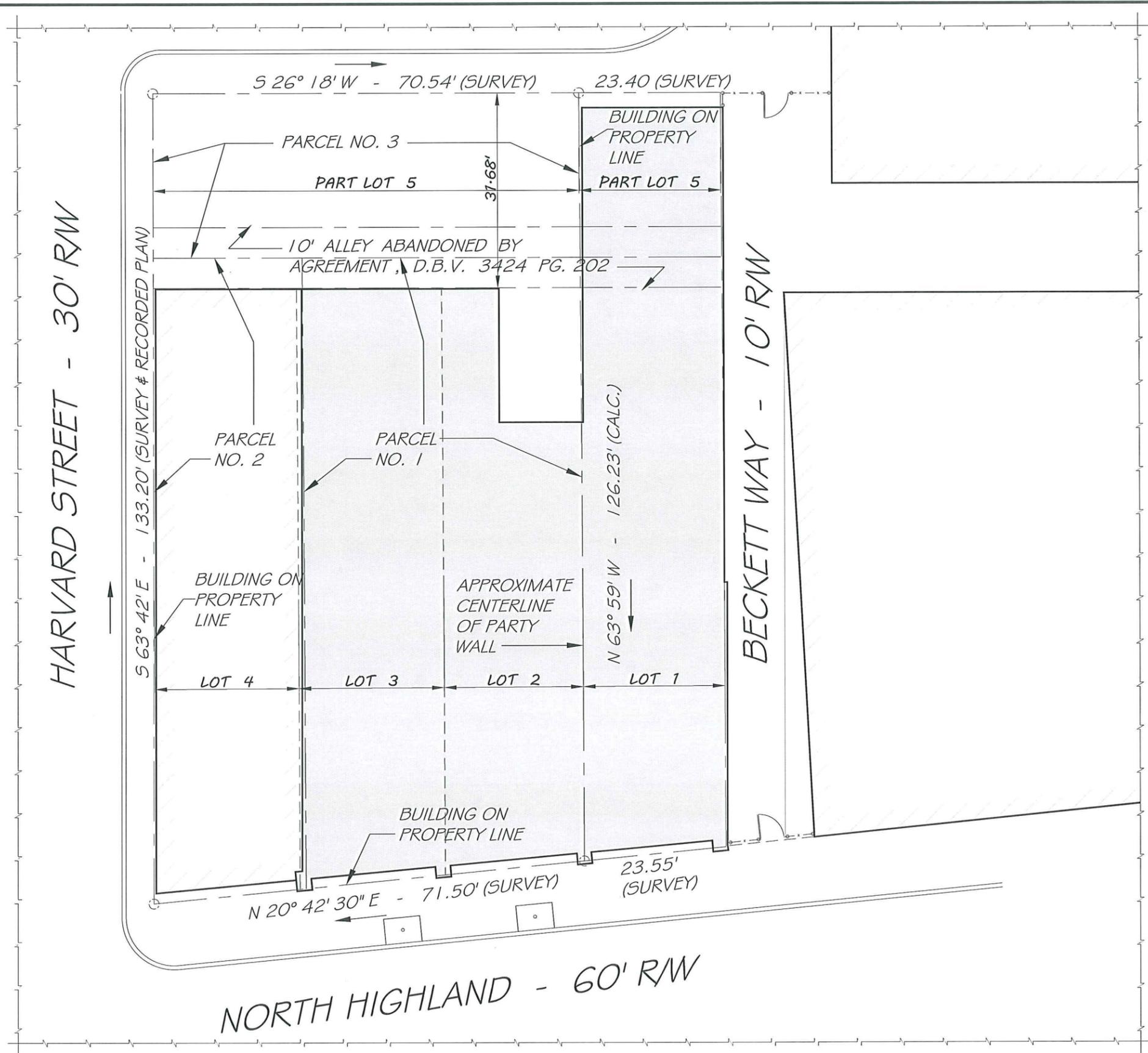


Improvements
to
208-218 North Highland Avenue
Pittsburgh, PA 15206

SITE PLAN	
DRAWN BY: CAD	SCALE: NTS
DATE: 2/26/16	PROJECT NO: MA194
REVISION:	APPROVED BY:

LOCATION PLAN
McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mclan@mcleanarchitects.net
Architects

DRAWING NO.
1



EXISTING PLAN OF PROPERTY
SCALE: 1/8" = 1'-0"

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.



EXISTING PLAN OF PROPERTY

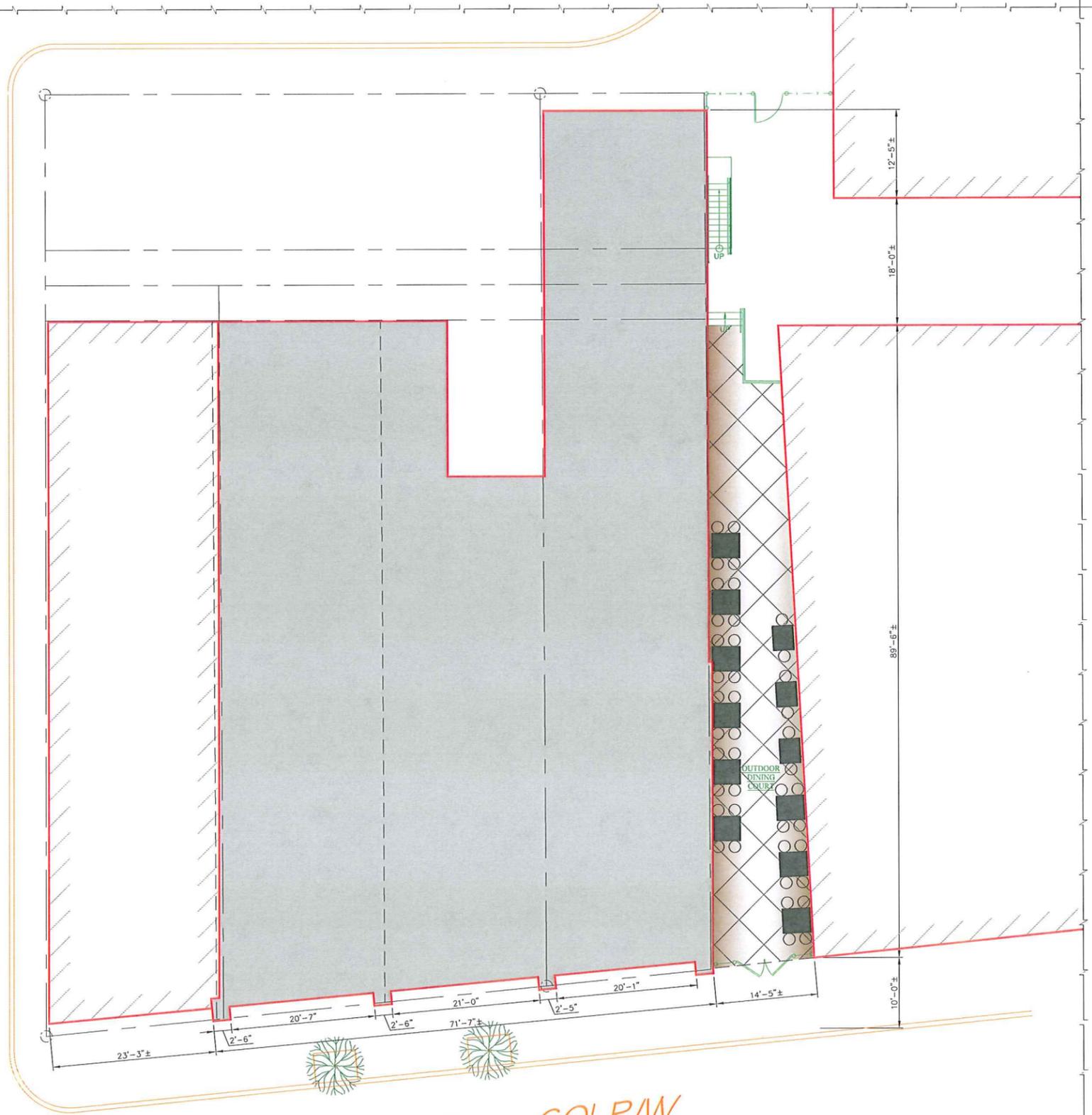
McLean Architects
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mclean@mcleanarchitects.net

SITE PLAN
DRAWN BY: CAD
DATE: 2/26/16
SCALE: 1/8" = 1'-0"
REVISED:
APPROVED BY:

Improvements

to
208-218 North Highland Avenue
Pittsburgh, PA 15206

HARVARD STREET - 30' RW



NORTH HIGHLAND - 60' RW

SITE PLAN
SCALE: 1/8" = 1'-0"

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.



Improvements
to
208-218 North Highland Avenue
Pittsburgh, PA 15206

SITE PLAN

McLean Architects
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mclean@mcleanarchitects.net

SITE PLAN
DRAWN BY: CAD SCALE: 1/8" = 1'-0"
DATE: 2/28/16 REVISED: 3/11/14
APPROVED BY:

DRAWING NO.

3

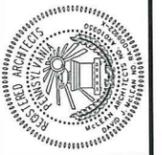


VIEW FROM SOUTHWEST (NORTH HIGHLAND AVE. AT BROAD ST.)
SCALE: NOT TO SCALE



VIEW FROM NORTHWEST (NORTH HIGHLAND AVE. AT HARVARD SQ.)
SCALE: NOT TO SCALE

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.



Improvements
to
208-218 North Highland Avenue
Pittsburgh, PA 15206

PHOTOS OF SURROUNDING CONTEXT

EXTERIOR PHOTOS	DATE	SCALE	NTS
DRAWN BY: MJA/SJA	2/26/16		
DATE	REVISED	APPROVED BY:	

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mcleam@mcleanarchitects.net

McLean Architects

DRAWING NO.

4



VIEW FROM SOUTHEAST (NORTH HIGHLAND AVE. AT BROAD ST.)
SCALE: NOT TO SCALE



VIEW FROM NORTH HIGHLAND AVE. INTO BECKETT WAY COURT
SCALE: NOT TO SCALE



VIEW FROM EAST (REAR ELEVATION)
SCALE: NOT TO SCALE

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.

Improvements
to
208-218 North Highland Avenue
Pittsburgh, PA 15206



PHOTOS OF SURROUNDING CONTEXT

EXTERIOR PHOTOS	
DRAWN BY: CAD	SCALE: NTS
DATE: 2/26/16	REVISION: MAJ/14
APPROVED BY:	

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mcleam@mcleanarchitects.net

DRAWING NO.
5

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.

Improvements
to
208-218 North Highland Avenue
Pittsburgh, PA 15206



ELEVATIONS VISIBLE FROM STREET

BUILDING ELEVATIONS			
DRAWN BY:	CAD SCALE:	DATE:	APPROVED BY:
2/24/16	1/4" = 1'-0"	2/24/16	

McLean Architects, LLC
809 Bingham St., Pittsburgh, PA 15203
412-381-3300 Fax: 412-381-2530
E-mail: mclean@mcleanarchitects.net

DRAWING NO.
6

TOP OF PARAPET
ELEV.+ 31'-8"±

THIRD FL.
ELEV.+ 28'-0"±

SECOND FL.
ELEV.+ 17'-0"±

MEZZANINE FL.
ELEV.+ 8'-0"±

FIRST FL.
ELEV.+ 0'-0"



FRONT ELEVATION (NORTH HIGHLAND AVENUE)
SCALE: 1/4" = 1'-0"



SIDE ELEVATION (BECKETT WAY)
SCALE: 1/4" = 1'-0"



PERSPECTIVE VIEW FROM SOUTHWEST (NORTH HIGHLAND AVE.)
 SCALE: NOT TO SCALE

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.



Improvements
 to
 208-218 North Highland Avenue
 Pittsburgh, PA 15206

PERSPECTIVE	
DRAWN BY: CAD	SCALE: NTS
DATE: 2/26/16	REVISION:
APPROVED BY:	

PERSPECTIVE VIEW
McLean Architects, LLC
 809 Bingham St., Pittsburgh, PA 15203
 412-381-3300 Fax: 412-381-2530
 E-mail: mclean@mcleanarchitects.net

DRAWING NO.
7

SUSTAINABILITY & STORMWATER MANAGEMENT SUMMARY

- NO ADDITIONS OR EXPANSIONS OF EXISTING BUILDING AREAS ARE PROPOSED.
- ALL EXISTING ROOF SYSTEMS REMAIN.
- NO ADDITIONAL HARD SURFACE AREAS ADDED TO SITE.
- NO ADDITIONAL RUN-OFF OF STORMWATER.
- NEW FAÇADE MATERIALS ARE SELECTED AND DESIGNED FOR SUSTAINABILITY AND PERMANANCE.

ACCESSIBILITY & UNIVERSAL DESIGN SUMMARY

- ALL HIGHLAND AVE. ENTRANCES (208-218) WILL BE FLUSH AT THRESHOLDS AND ACCESSIBLE.
- THE MAIN PUBLIC ENTRANCE TO THE OUTDOOR DINING COURT WILL BE FLUSH AT THRESHOLD AND FULLY ACCESSIBLE.
- THE DINING COURT WILL BE LEVEL – WITH SLOPE FOR DRAINAGE ONLY, RESURFACED WITH EXPOSED AGGREGATE CONCRETE.
- INTERIOR WORK FOR THE RESTAURANT SPACE (208) WILL INCLUDE FULLY ACCESSIBLE RESTROOMS.

COMMUNITY PROCESS SUMMARY

- ZONING APPROVAL WAS GRANTED ON SEPTEMBER 17, 2015.
- CONCURRENT WITH ZONING APPROVAL, THE PROPOSED IMPROVEMENTS WERE REVIEWED AND SUPPORTED BY THE BAUM-CENTER INITIATIVE.
- DEPARTMENT OF CITY PLANNING STAFF REVIEWED THE FAÇADE DESIGN ON FEBRUARY 8, 2016 AND FOUND IT ADDRESSES URBAN DESIGN TARGETS IN THAT IT KEEPS TRADITIONAL MATERIALS AND COORDINATES WITH THE NEIGHBORHOOD CHARACTER.



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Date Filed:

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

(Zoning Use Only)

DEVELOPMENT REVIEW APPLICATION

The Development Review Application **can be** used for the following:

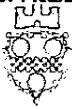
- New Construction of a Primary Use Structure larger than a 2-Family Dwelling. (Including new Non-Residential Primary Use Structures);
- Any project or development that requires a Land Operations Permit;
- Any other types of work not listed under the Walk-Through and Zoning Applications.

GENERAL INFORMATION

1. Property Owner Name: Pittsburgh Gateways		Phone Number: (412) 802-0988	
Address: 1435 Bedford Ave	City: Pittsburgh	State: Pennsylvania	Zip Code: 15219
2. Applicant/Company Name: Renaissance 3 Architects		Phone Number: (412) 431-2480	
Address: 48 S. 14th St.	City: Pittsburgh	State: Pennsylvania	Zip Code: 15203
Applicant/Contractor ID:(assigned by the City)			
3. Development Name: Pitt Energy Innovation Center			
4. Development Location:			
5. Development Address: 1435 Bedford Ave, Pittsburgh, Pennsylvania 15219			
6. If applicant is proposing a change to the Zoning District, the following is required: (Attach Zone Change Petition)			
Proposed Zoning District:			
Present Use of Site: (Select from attached list)			
7. If a Certificate of Occupancy exists, the following is required:			
Certificate of Occupancy#: 14-OCC-00697	Date Issued: 11/14/2014	Existing Use of Property: B	
8. Estimated Construction:	Start Date: / /	Occupancy Date: / /	Project Cost: \$ 7.7 mil

Use the attached Worksheet to continue answering the questions. For additional reference in answering Items 9-12 go to pittsburghpa.gov/dcp/zoning/ and select the link for the City Zoning Code maintained at the Municode.com website.

9. Proposed Use of Site (Select from attached list):			
10. Select the Type of Work:			
<input type="checkbox"/> New Construction, New	<input checked="" type="checkbox"/> Renovation, Interior	and roof top hvac	
<input type="checkbox"/> New Construction,	<input type="checkbox"/> Renovation, Exterior		
<input type="checkbox"/> Change in Use Only	<input type="checkbox"/> Renovation, Change in Use		
11. Describe the Development: Exterior and roof mounted exhaust stacks required for dilution and expulsion of gases from specialized research labs.			
12. Is a Land Operations Permit needed? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
(See the Bureau of Building Inspection (BBI) website for activities requiring a Land Operations Permit, http://www.city.pittsburgh.pa.us/bbi/)			



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

LAND AND BUILDING INFORMATION

13. Proposed Number of New Structures or Building Additions: N/A
 Residential Commercial Recreational Industrial Institutional

14. Gross Floor Area:

Existing to be Razed:	0	sq ft
Existing to be Retained:	60,000	sq ft
Retained Area to be Renovated:	15,000	sq ft
To be Constructed:	0	sq ft
Building Footprint:	22,000	sq ft

	Existing		Proposed	
	Stories	Feet	Stories	Feet
Main Structure	5	55		
Proposed Addition/Extension				

Provide Accessory Structure Type(s) and Height(s):

16. Number of Dwelling Units:
 Existing to Remain: _____ Proposed: _____

17. Lot Area: _____ sq ft

18. On Site Parking: N/A

	Existing	Proposed
Full (8 1/2' x 19')		
Compact (7 1/4' x 16')		
Handicap (13 1/2' x 19')		

Off-Street Loading Spaces: N/A
 Actual: _____
 Required: _____

19. Please check any of the following items that will be part of the proposed work: N/A

Demolition HVAC (Interior) HVAC (Exterior) Electrical Fire Alarm
 Fire Protection/Sprinklers Deck Construction Commercial Cooking Hood Sign

20. Please check the following items that pertain to any work proposed on private plumbing:
 (i.e. plumbing between a public sewer or water line and a building, including plumbing inside the building).

Repair or Replace Existing Plumbing New Construction of Plumbing No Plumbing Work is Proposed



**DEPARTMENT OF CITY PLANNING
DEVELOPMENT ADMINISTRATION AND REVIEW (ZONING)**

Office of the Zoning Administrator

200 ROSS STREET • THIRD FLOOR • PITTSBURGH • PENNSYLVANIA • 15219

DEVELOPMENT REVIEW APPLICATION

WATER AND SEWER INFORMATION

NOTE: The term "sewer" refers to sanitary sewers, storm sewers and combined sewers owned by the City of Pittsburgh.

For reference in answering Items 21-24, please refer to the Pittsburgh Water and Sewer Authority's Procedures Manual for Developers (available at www.pgh2o.com).

21. Please indicate the number (e.g. 0, 1, 2,...) of each of the following sewer and/or water items that will be part of the work:

_____ New Water Service Connection(s) _____ Termination of Existing Water Service Tap(s)
 _____ New Sewer Service Connection(s) _____ Termination of Existing Sewer Service Tap(s)

22. Will the proposed work change the current water consumption and sewer discharge of the building or site?

YES NO

23. If the Development includes the construction of main sewer and/or water lines, then the Applicant is required to select a course of action with regard to ownership of those utilities:

- Applicant requests PWSA to accept ownership of the sewer mains and/or water lines
- Applicant retains private ownership of sewer mains and/or water lines
- Not Applicable (Development does not include construction of sewer mains and/or water lines)

24. If Yes to the first or second statement in Item 23, then identify the type of property where the sewer mains and/or water lines will be constructed:

- Public Property, Existing City Street Private Property Not Applicable
- Public Property, New City Street to be constructed as part of the development/project

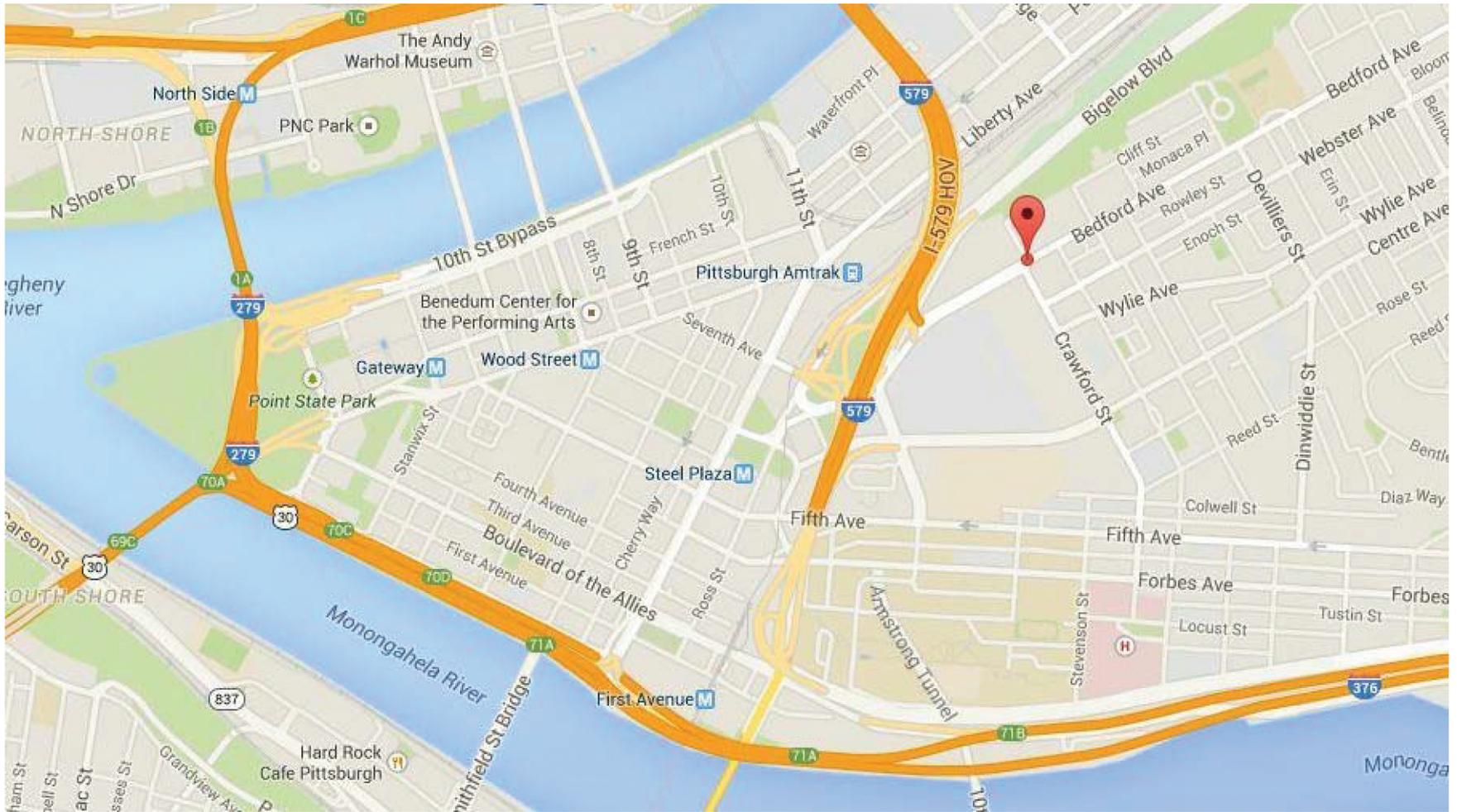
WORK IN AND AROUND THE CITY RIGHTS-OF-WAY

25. Please select the following items that apply to the proposed work:

- Applicant requests to change or designate the name of a City Street.
- The proposed work includes a private structure (e.g. deck, porch, awning, sign, etc.) encroaching on a City dedicated right-of-way.
- Modification or reconstruction of City curbs.
- Design and construction of a new street where the Applicant will request the City to accept ownership of the street.
- Applicant requests the City to vacate an existing City street/sidewalk so the Applicant can use the property for private development.
- The proposed work will create an obstruction of traffic on City rights-of-way.
- The proposed work includes the excavation of a City street or sidewalk.
- The proposed work includes the placement of a demolition dumpster in a City right-of-way.
- The proposed work includes the addition, deletion and/or relocation of City street lights in a City right-of-way.

26. Applicant will be applying for a Visitability Tax Credit? Yes No

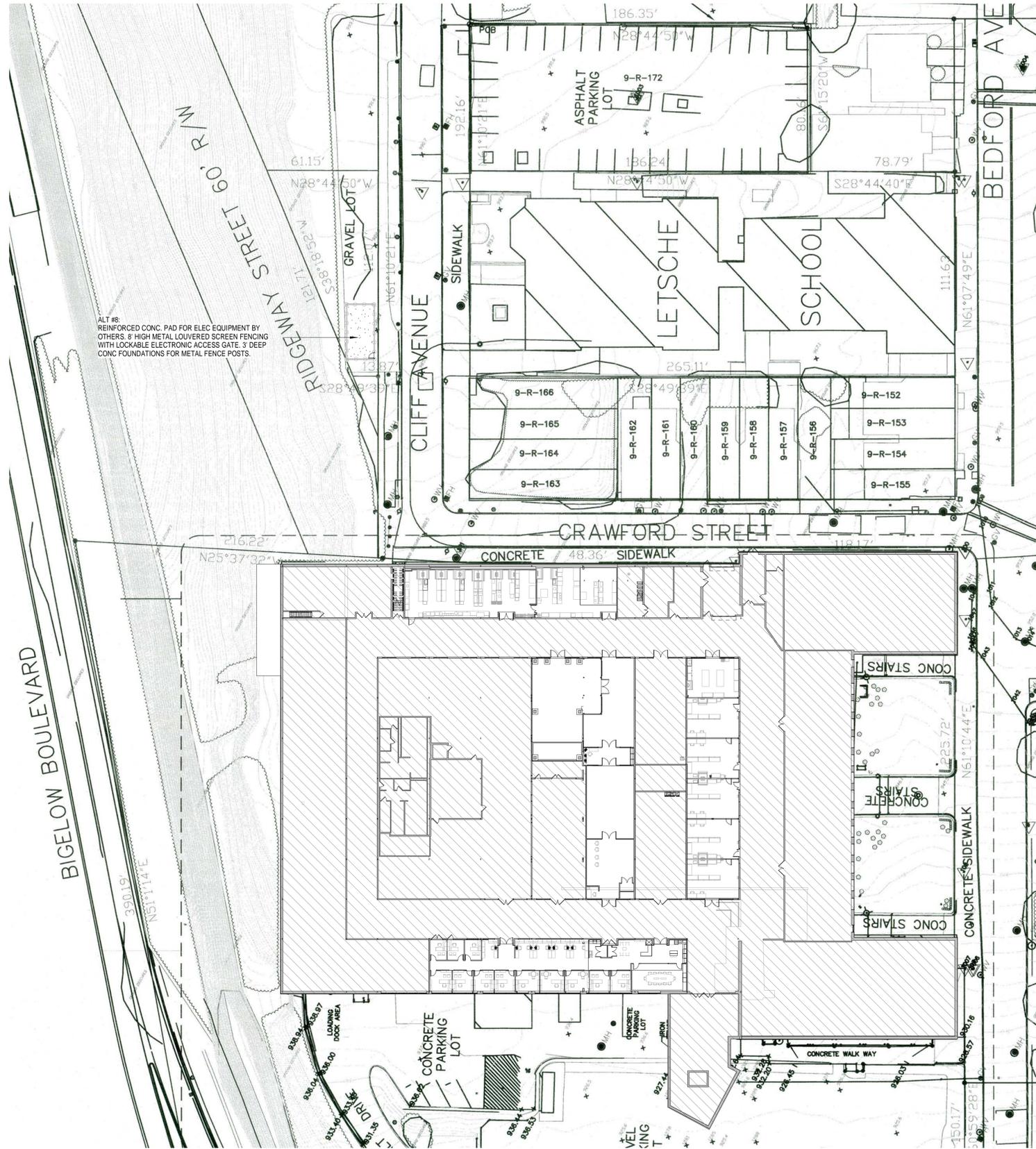
Applicant Signature: _____



1

Location Map
NOT TO SCALE





1 First Floor Plan(1)
1/32" = 1'-0"



Renaissance 3 Architects, P.C.
48 South 14th Street
Pittsburgh, PA 15203
Phone: 412-431-2480
Fax: 412-431-2670
www.r3a.com
Architecture
Engineering
Interiors
Development Management

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Pittsburgh Gateways

Energy Innovation Center - University of Pittsburgh, Swanson School of Engineering

1435 Bedford Avenue
Pittsburgh, PA 15219

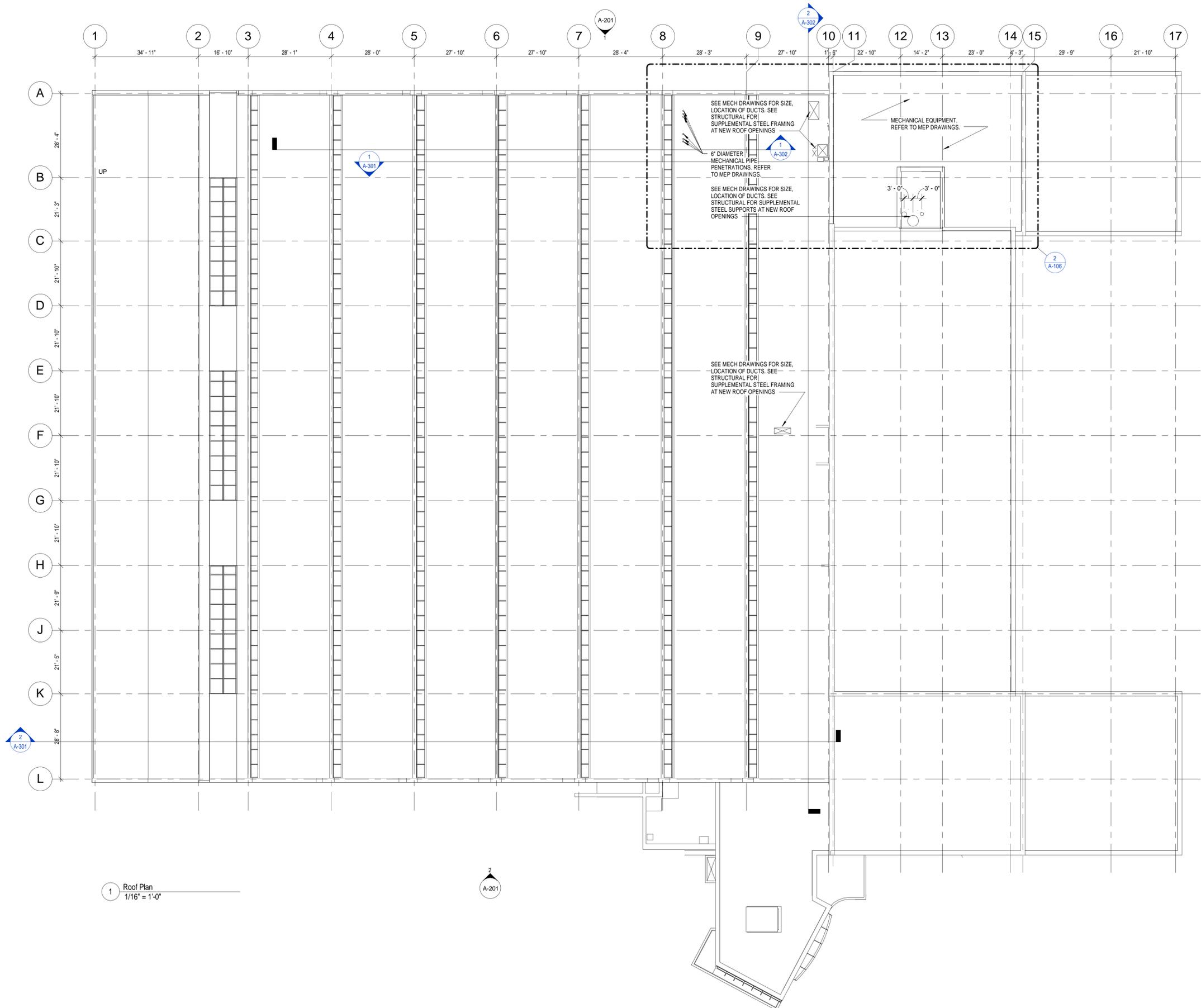
CONSTRUCTION DOCUMENTS

ISSUED: 1/18/2016

Site Plan

R3A PROJECT # 14065

A-100



- GENERAL NOTES**
- INTERIOR DIMENSION ARE FROM FACE OF FINISH WALL TO FACE OF FINISHED WALL, UNLESS NOTED OTHERWISE. DIMENSIONS CONNECT COLUMN LINES, FACE OF BRICK, FACE OF METAL SIDING. REFER TO WALL TYPES AND WALL SECTIONS FOR THICKNESS OF WALLS.
 - STOREFRONT WALL TO HAVE A MINIMUM OF 1" GAS FILLED INSULATED GLASS PANELS. ANY GLASS INSTALLED LESS THAN 36" ABOVE THE FINISHED FLOOR TO BE TEMPERED GLASS.
 - ALUMINUM CURTAIN WALL TO HAVE A MINIMUM OF 1" GAS FILLED INSULATED GLASS PANELS. REFER TO WINDOW TYPES FOR LOCATION OF CLEAR, TEXTURED AND TEMPERED GLASS.
 - CONTRACTOR SHALL PROVIDE APPROPRIATE AND LEVEL SUBSURFACE FOR FINISH MATERIAL.
 - CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES AND OTHER TEMPORARY FACILITIES TO PROTECT THE PUBLIC, STORED MATERIALS AND INSTALLED MATERIALS.
 - REFER TO LIFE SAFETY PLANS (G-101 SERIES OF SHEETS) FOR LOCATION AND EXTENT OF FIRE RATED ASSEMBLIES.
 - PROVIDE BLOCKING REQUIRED FOR CASEWORK AND TOILET ACCESSORIES AND FOR FUTURE FURNITURE INSTALLATION. COORDINATE LOCATION OF BLOCKING WITH OWNER'S FURNITURE INSTALLER.
 - COORDINATE ACCESS PANEL LOCATIONS & TYPE REQUIRED WITH M.P.E. DRAWINGS & CEILING TYPE INDICATED ON THE REFLECTED CEILING PLANS.
 - COLUMN LINE DESIGNATIONS ARE FOR CENTER LINES OF COLUMNS. REFER TO STRUCTURAL DRAWINGS FOR COLUMN SIZES.
 - FINISHED FIRST FLOOR ELEVATION IS 967.71'
 - ALTERNATE #1: NEW MICROTURBINE; MEP EQUIPMENT AND CONNECTIONS, ENCLOSURE, INSULATED GWB, FRAMING AND DOOR ASSEMBLY AT F LEVEL.
 - ALTERNATE #2: NEW TPO ROOF AND SHEATHING ASSEMBLY AT 4TH FLOOR ROOF
 - ALTERNATE #3: NEW TPO ROOF AND SHEATHING ASSEMBLY AT STACK FAN ENCLOSURE ROOF (INCLUDES DEMOLITION OF EXISTING BALLAST AND SUBSTRATE)
 - ALTERNATE #4: MOBILE LABORATORY CASEWORK PER SPECIFICATION SECTION 123553
 - ALTERNATE #5: DEDUCT ALTERNATE TO SHELL P.J. LABS (ELIMINATE FIXTURES AND FITTINGS, FUME HOODS, EQUIPMENTS, CEILINGS, AND FLOORING. GWB REMAINS.)
 - ALTERNATE #6: MECHOSHAD BOD. ALTERNATE FOR SHADING AUTOMATION CONTROLS TO DAYLIGHTING SENSORS ON ROOF INTEGRATED WITH LIGHT FIXTURES.
 - ALTERNATE #7: PIPE SYSTEM AND INFRASTRUCTURE PAINTING AT LABS AND OFFICES.
 - ALTERNATE #8: CLIFF STREET SUBSTATION SECURITY FENCE ENCLOSURE, DOOR AND LIGHTING. ALTERNATE PROVISION SHALL INCLUDE ALL DELEGATED DESIGN REQUIREMENTS BY TENANTS EQUIPMENT VENDOR FOR: EQUIPMENT, ACCESSORIES, INFRASTRUCTURE, SECURITY AND RELATED REQUIREMENTS. EATON TO SECURE ALL REQUIRED PERMITS AND APPROVALS.
 - ALTERNATE #9: CLIFF STREET SUBSTATION CONDUIT AND PATHWAY.
 - ALTERNATE #10: DEDUCT ALTERNATE: VCT FLOORING AT ALL LABS, SUPPORT SPACES.
 - ALTERNATE #11: DEDUCT ALTERNATE: EXISTING DOOR FRAMES AT CORRIDOR TO REMAIN.
 - DOOR ACCESS TO LAB 109 MECHANICAL EQUIPMENT MEZZINNE AND SUPPOR TO BE PROVIDED BY OWNER.
 - REMOVE ALL EXISTING BRACKET FASTENERS AND PLATES WHERE LAMINATED GWB OCCURS.
 - COORDINATE LOCATION OF CEILING SERVICE PANELS TO MATCH BENCH ENDCAPS FOR SERVICES.



Renaissance 3 Architects, P.C.
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 Fax: 412-431-2670
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Pittsburgh Gateways

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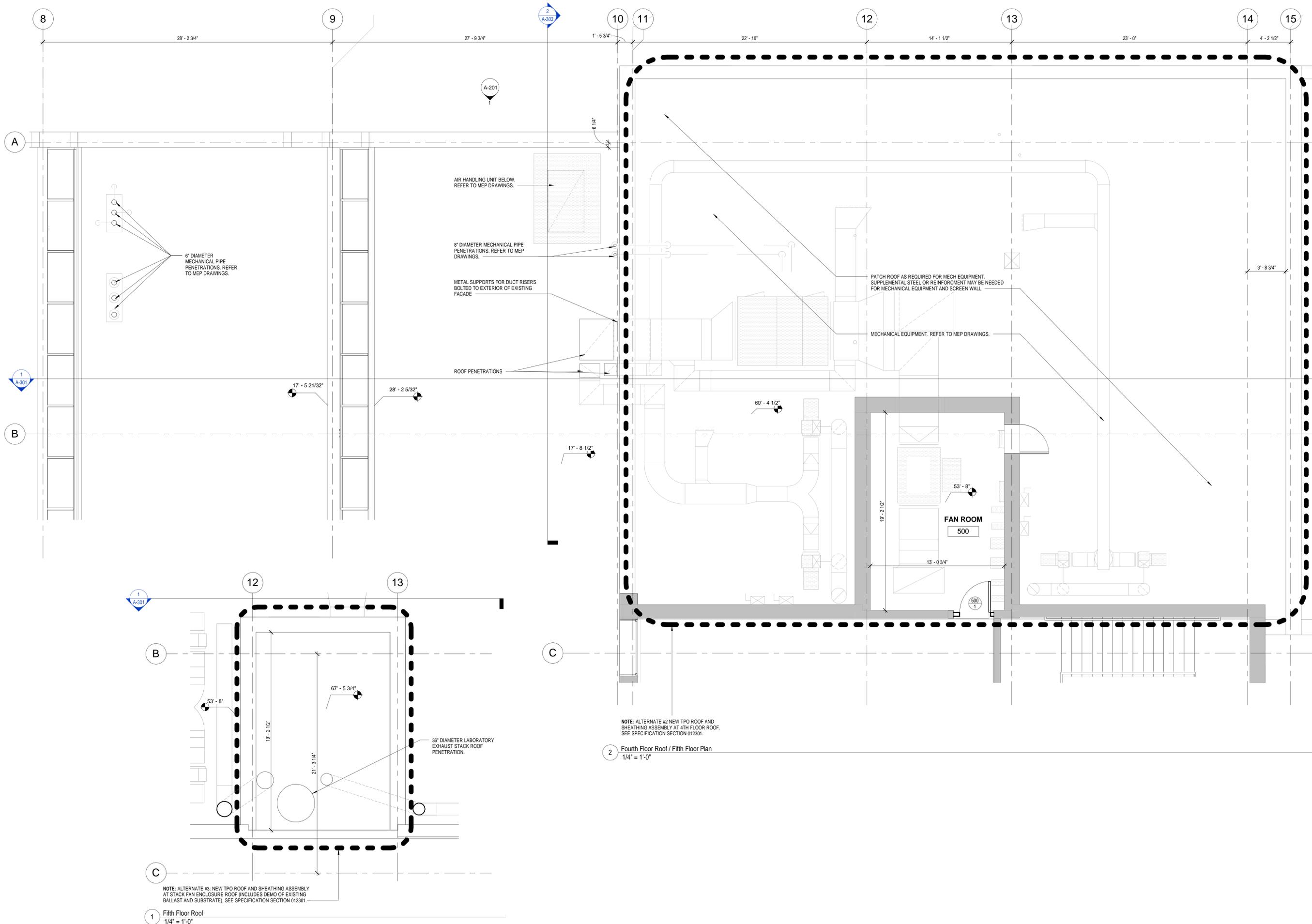
CONSTRUCTION DOCUMENTS

ISSUED: 1/18/2016

Roof Plan

R3A PROJECT # 14065

A-105



Renaissance 3 Architects, P.C.
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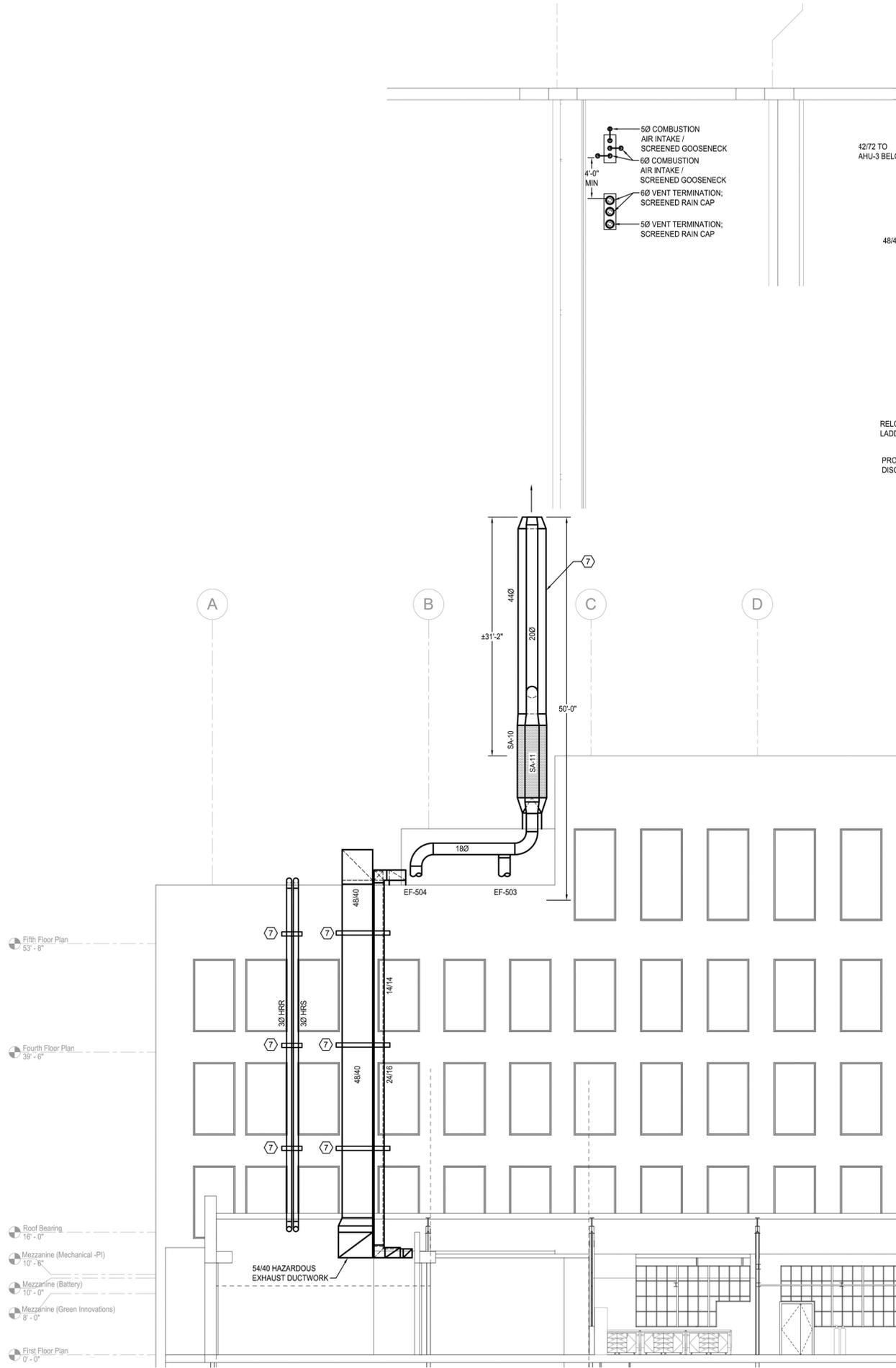
CONSTRUCTION DOCUMENTS

ISSUED: 1/18/2016

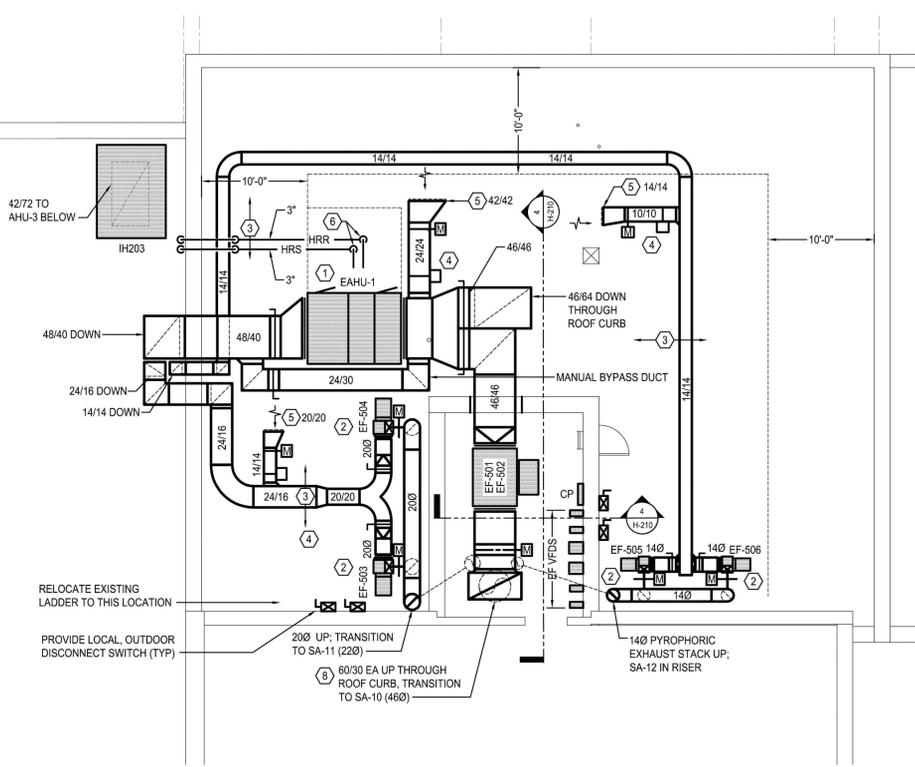
Enlarged Roof Plans

R3A PROJECT # 14065

A-106



3 Exterior Elevation
H-210 1/8" = 1'-0"



4 EXHAUST FAN ROOM SECTIONS
H-210 1/8" = 1'-0"

GENERAL NOTES

- COORDINATE NEW DUCT AND PIPING ROUTING, ELEVATIONS, ETC. WITH EXISTING UTILITIES AND WITHIN THE EXISTING AREAS.
- SUPPORT ALL ROOF MOUNTED DUCTWORK AND PIPING WITH NON-PENETRATING ROOF SUPPORTS SIMILAR TO MIRO INDUSTRIES.
- ALL MANUAL AND AUTOMATIC DAMPERS ASSOCIATED WITH THE LABORATORY EXHAUST SYSTEM SHALL BE INDUSTRIAL GRADE, ULTRA-LOW LEAKAGE DAMPERS RATED FOR ±10 INCHES WG.

NUMBERED NOTES

- PROVIDE NON-PENETRATING ROOF SUPPORT STAND FOR EAHU-1. SUPPORT SHALL BE SIMILAR TO MIRO INDUSTRIES MODEL MECH-SUPPORT-HD. ALIGN PEDESTAL SUPPORTS WITH EXISTING BEAMS.
- INSTALL EXHAUST FAN ON EQUIPMENT RAILS AND MANUFACTURER FURNISHED ISOLATION BASE.
- PROVIDE NON ROOF PENETRATING BRIDGE CROSSOVER / RAMP SIMILAR TO MIRO INDUSTRIES.
- PROVIDE MODULATING BYPASS DAMPER AND ASSOCIATED AIRFLOW MEASURING STATION.
- PROVIDE SCREENED OPENING, SIZE AS INDICATED, A MINIMUM OF 18" ABOVE THE ROOF.
- PROVIDE AUTOMATIC AIR VENT AT HIGH POINT IN PIPING SYSTEM. TERMINATE DISCHARGE AT ROOF DRAIN.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL STEEL SUPPORTS.
- COORDINATE ROOF PENETRATION AND DUCT SIZE WITH EXISTING STRUCTURAL FRAMING.



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Architecture
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Interiors
Development Management

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CONSULTANT:
QJL ENGINEERING
1501 Cassattville Piquette Road, Suite 400
Monaca, Tennessee, TN 37088
ph (412) 262-1232 fax (412) 262-2872
C/A Project #14065

Pittsburgh Gateways

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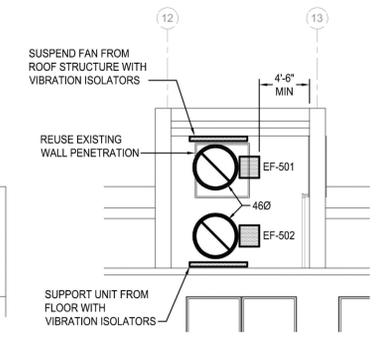
CONSTRUCTION DOCUMENTS

ISSUED: 1/18/2016

Roof Plan & Exterior Elevation

R3A PROJECT # 14065

H-210





CLIFF & CONNORS

CLIFF & CONNORS

No Parking

Handicap Accessible

CLIFF & CONNORS

ONE WAY



Manly St

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