



Historic Review Commission of Pittsburgh

200 Ross Street, First Floor Hearing Room
July 1, 2020

AGENDA

Lucia M. Aguirre, *Chairperson*
David Green, *PLI, Secretary*
TBD, *City Planning*
Matthew Falcone
James Hill
Karen Loysen
Richard Snipe

➤ **12:30 PM CALL TO ORDER**

➤ **12:30 PM INTERNAL BUSINESS**

Old Business-None

New Business

- Approval of the minutes from the June 2020 hearing
- Certificates of Appropriateness Report – June 2020
- Applications for a Certificate of Economic Hardship – None

➤ **1:00 PM HEARING & ACTION**

1. East Carson Street Historic District
901-905 Bingham Street
Bingham South Side LP, owner
Morgan Architecture & Design, applicant
**Alterations to previously-presented
building restoration**

2. East Carson Street Historic District
2124 E. Carson Street
Louie Popock, owner and applicant
**After-the-fact painting of storefront
panels**

~~**3. Manchester Historic District**~~
1308 Columbus Avenue
Light of the Age Mosque, owner
Gregory Peterson, applicant
~~**Construction of a new mosque**~~

4. Manchester Historic District
Liverpool Street, Lot 22-P-15
Camille Goleb & Jeffrey Rigo, owners
Robert Baumbach, applicant
Construction of a new residence

5. Manchester Historic District
1447 Stedman Street
Significance 3251, owner
Robert Baumbach, applicant
**Alterations to previously-approved
façade renovation and addition**

6. Market Square Historic District
236 Fifth Avenue
MSP Commercial Subtenant LP, owner
Fitness International LLC, applicant
Installation of new signage

➤ **DEMOLITIONS**

➤ **HISTORIC NOMINATIONS**

Gallagher-Kieffer House

234 North Ditheridge Street
Estate of Dorothy F. Gallagher, owner
Matthew Falcone, nominator

Determination of nomination viability

Hanauer-Rosenberg House

417 Lockhart Street
Matthew Falcone, owner and nominator

Determination of nomination viability

Herron Hill Pumping Station

4501 Centre Avenue
City of Pittsburgh, owner
Matthew Falcone, nominator

Determination of nomination viability

John P. Robin Civic Building

200 Ross Street
City of Pittsburgh, owner
Matthew Falcone, nominator

Determination of nomination viability

Shrine of the Blessed Mother

Wakefield Street
City of Pittsburgh, owner
Councilman Bruce Kraus, nominator

Determination of nomination viability

St. John Vianney Church

823 Climax Street
The Diocese of Pittsburgh, owner
Mark Whitman, nominator

Determination of nomination viability

Spring Hill Elementary School

1351 Damas Street
Pittsburgh Public Schools, Owner
Matthew Falcone, Nominator

Recommendation to City Council

➤ **DIRECTOR'S REPORT**

➤ **ADJOURNMENT**

Virtual meeting information can be found on our webpage:

<https://pittsburghpa.gov/dcp/virtual-hrc>

The John Robin Civic Building, located at 200 Ross St. downtown, is wheelchair accessible. This meeting is open to all members of the public. Interpreters for the hearing impaired will be provided with four days notification by contacting the ADA Coordinator Hillary Roman at hillary.roman@pittsburghpa.gov.

Please contact Sarah Quinn with questions and comments: 412-255-2243
sarah.quinn@pittsburghpa.gov



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

901-905 Bingham Street

Pittsburgh, PA 15203

OWNER:

NAME: Empire Construction - Susan Liu

ADDRESS:

PHONE: 702-289-9788

EMAIL: liususan88@yahoo.com

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

APPLICANT:

Morgan Architecture + Design

NAME: David Morgan

ADDRESS: 1234 Sarah Street

Pittsburgh, PA 15203

PHONE: 412-901-7765

EMAIL: david@morganarchitects.com

REQUIRED ATTACHMENTS:

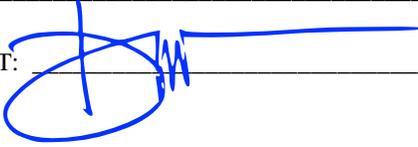
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Renovation and addition to the existing buildings located at 901-905 Bingham Street. Exterior work to include new atrium connector with metal and glass cladding, repointing and cleaning of existing brick facades, replacement of all windows (almost no existing windows remain). Replace existing roofing. Install new entrances at new stair tower and individual apartments at rear of building. Replace existing wood doors at Bingham Street elevation.

SIGNATURES:

OWNER: _____ DATE: _____

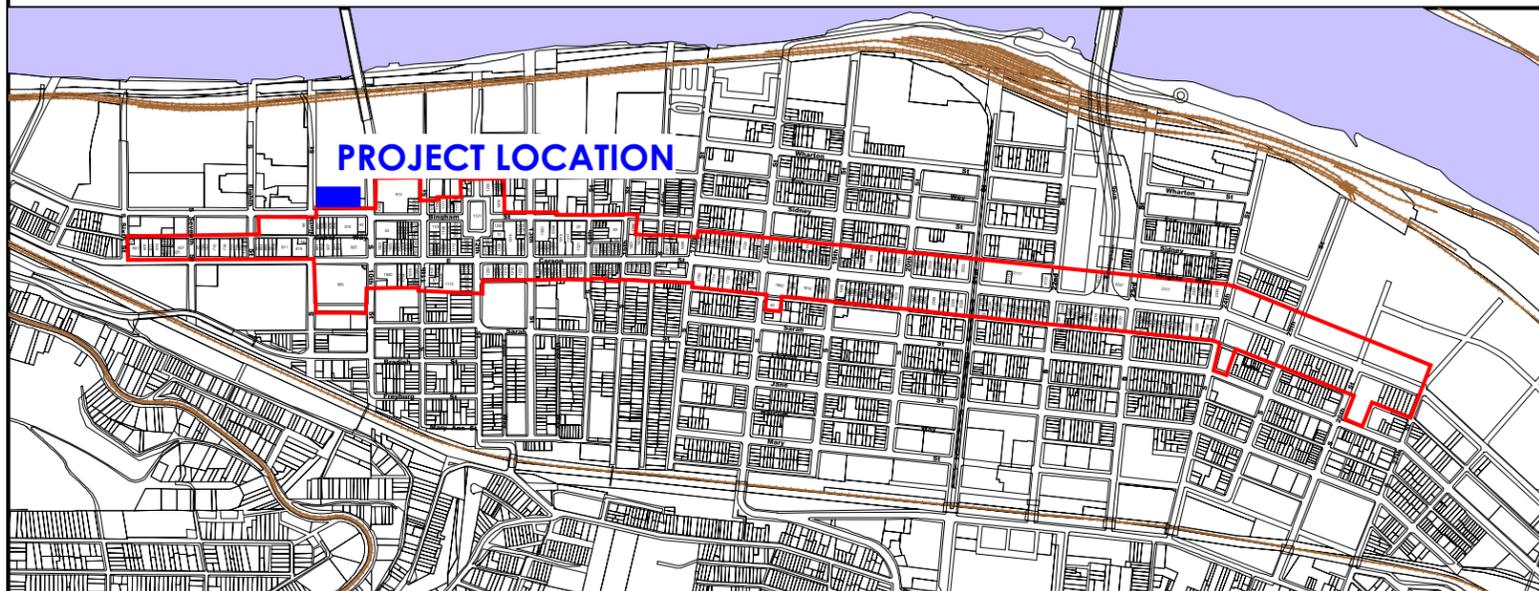
APPLICANT:  _____ DATE: 09/13/2019



901 Bingham St



East Carson City Designated Historic District

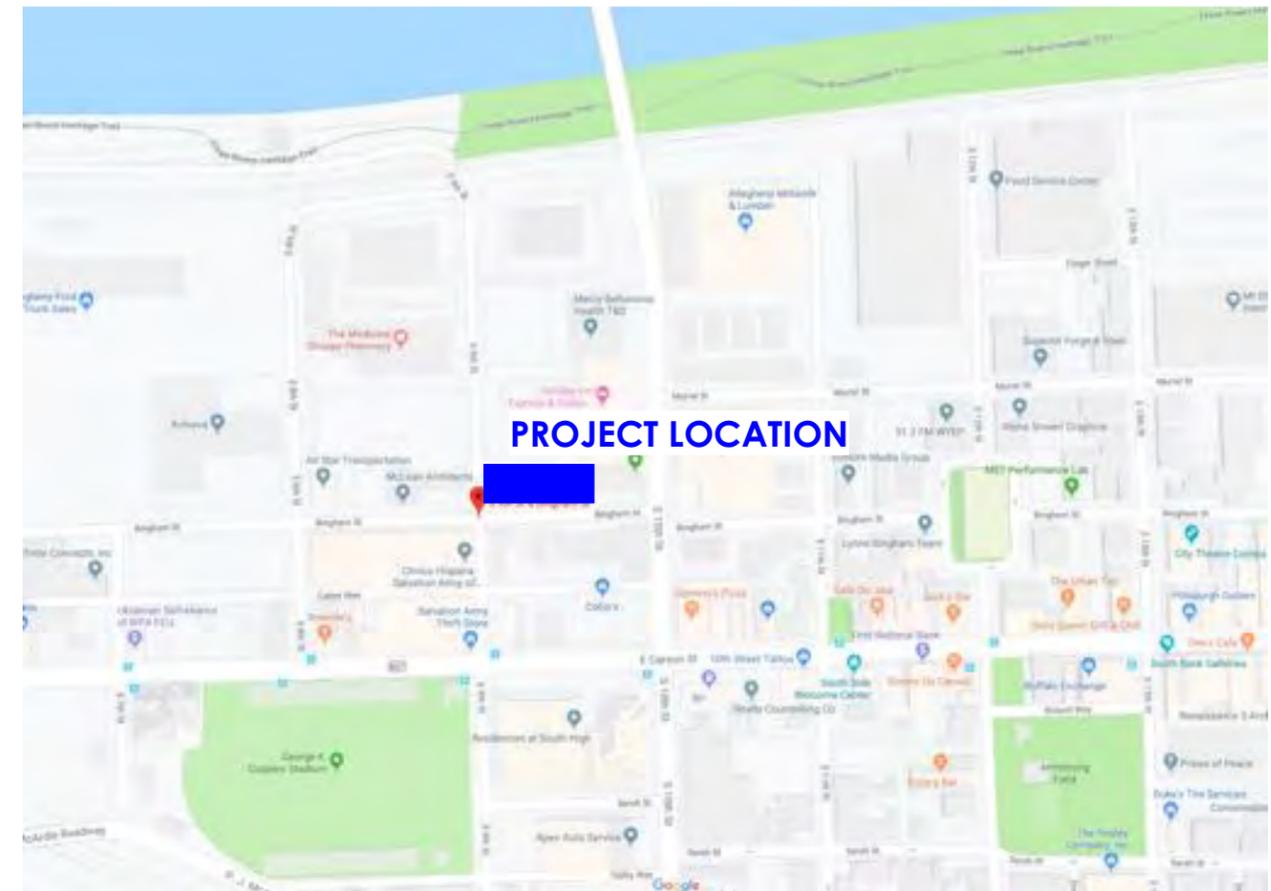


Designated August 16, 1993 - Expanded June 1999

Bedford Square - All
Bingham Street - 800-1506(even), 901-1201(odd)
Cabot Way - 600-906(even), 801-907(odd)
Carey Way - 1701-2405(odd) except 2205-2209
East Carson Street - 900-2630(even), 601-2700 block(odd)
Muriel Street - 1000-1120
Roland Steet - All (north side)
Sarah Street - 2401
Wright's Way - 1700-2144(even)
South 6th Street - 15&17
South 7th Street - 93&95
South 8th Street - 52&54
South 9th Street - 44-54(even)
South 10th Street - 42-54(even), 49-57(odd)

South 11th Street 32-50(even), 33-49(odd)
South 12th Street 52-68(even), 51&53
South 13th Street 54-72(even), 51-71(odd)
South 14th Street 20-40(even), 23-51(odd)
South 15th Street 60-80(even), 61
South 16th Street 93-101(odd)
South 17th Street - None
South 18th Street - 74-94(even), 101
South 19th Street - 78-96(even), 81-101(odd)
South 20th Street - 74-96(even), 73-93(odd)
South 21th Street - 75-93(odd)
South 22th Street - 90-94(even), 89-95(odd)
South 23th Street - 97
South 24th Street - 90&92, 95

City Historic District
Raillines
Parcels



PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

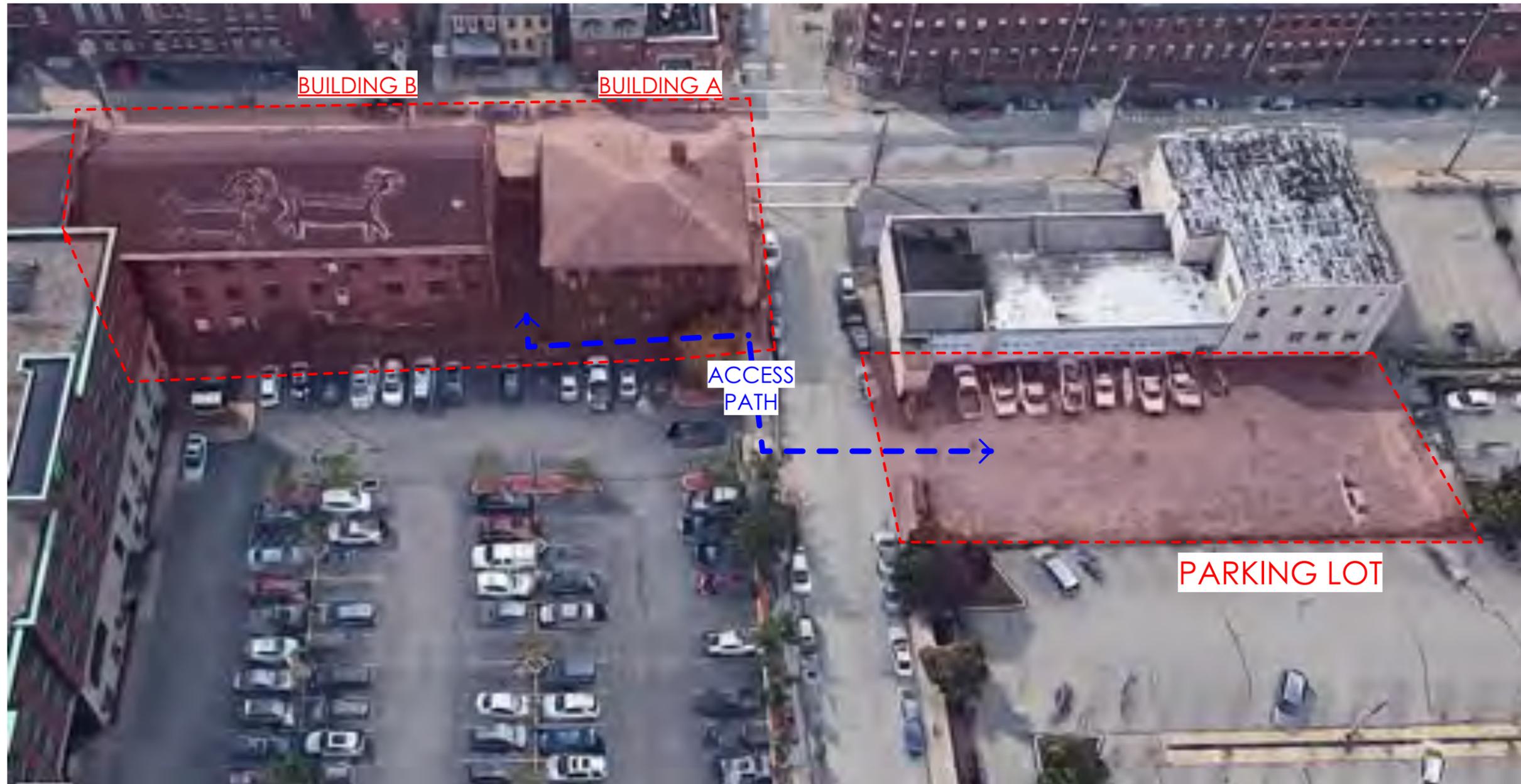
901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

DATE: 12.04.2019

REV: 03.03.2020

MAPS

A-01



PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

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CONTEXT PHOTOS

A-02



BUILDING A - CORNER OF 9TH AND BINGHAM



BUILDING A - CORNER OF 9TH AND BINGHAM

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

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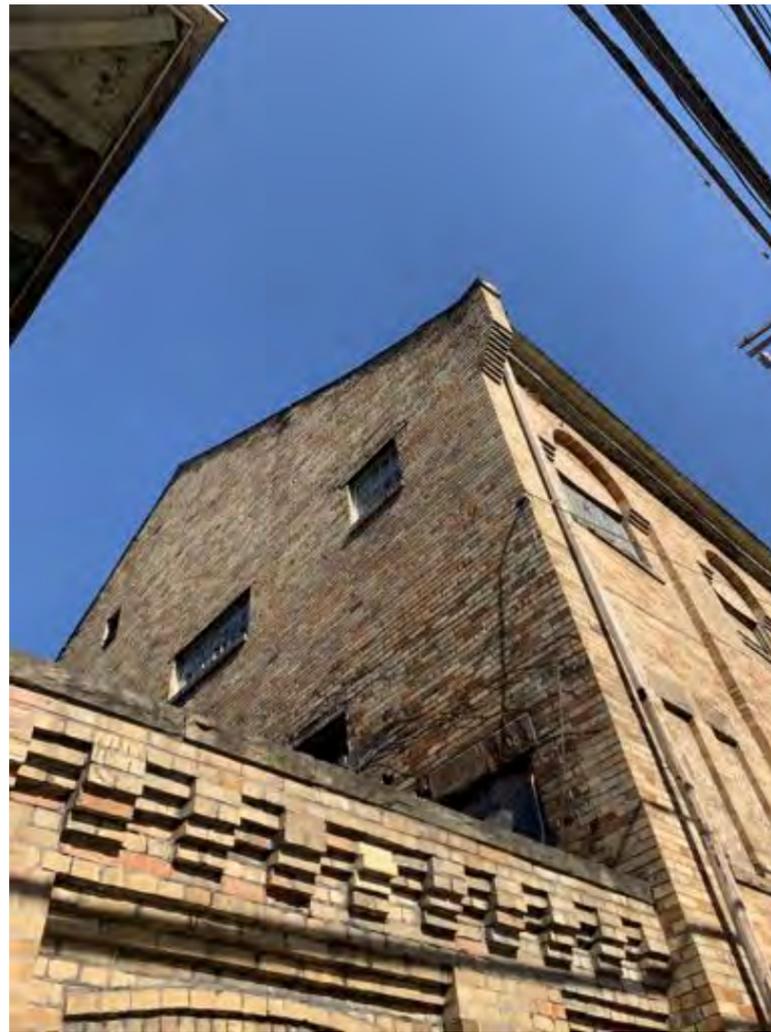
REV: 03.03.2020

CONTEXT PHOTOS

A-03



VIEW OF COURTYARD



PROPOSED RENOVATIONS TO EXISTING BUILDING:
NINTH AND BINGHAM STREET CONDOS

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CONTEXT PHOTOS

A-04



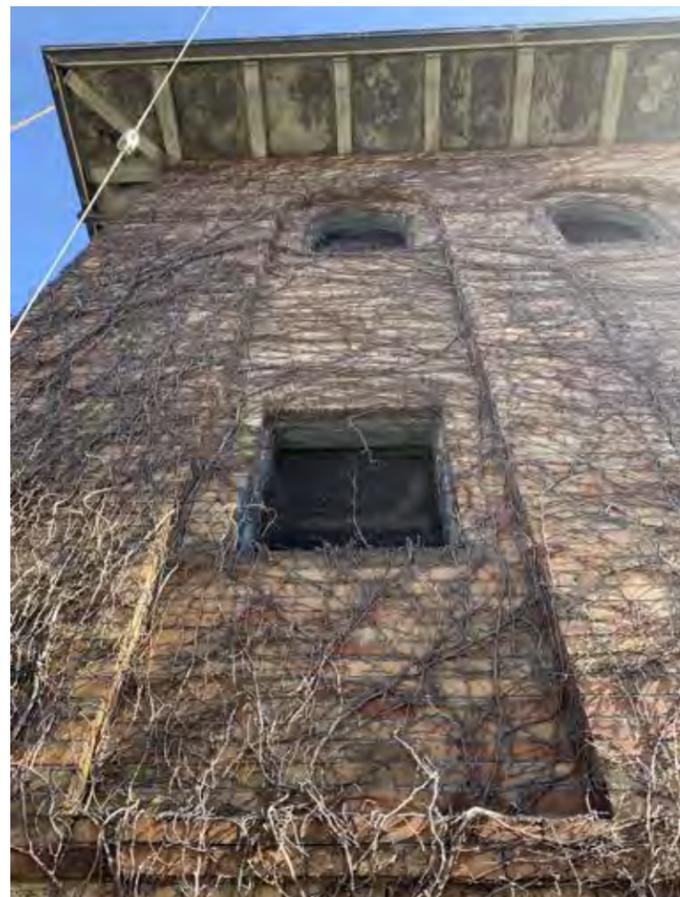
BINGHAM STREET WINDOWS



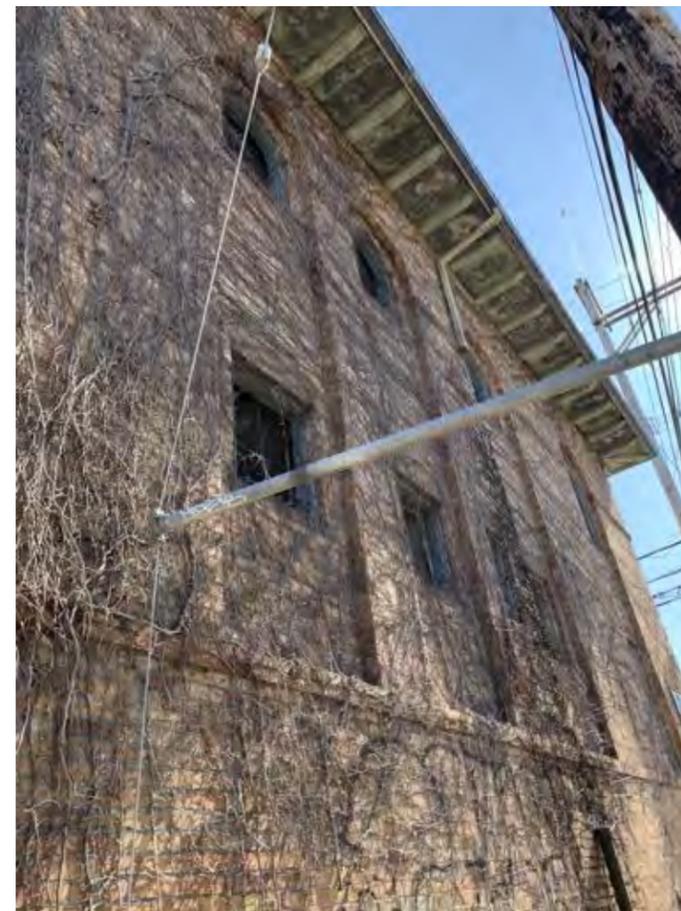
INTERIOR WINDOWS



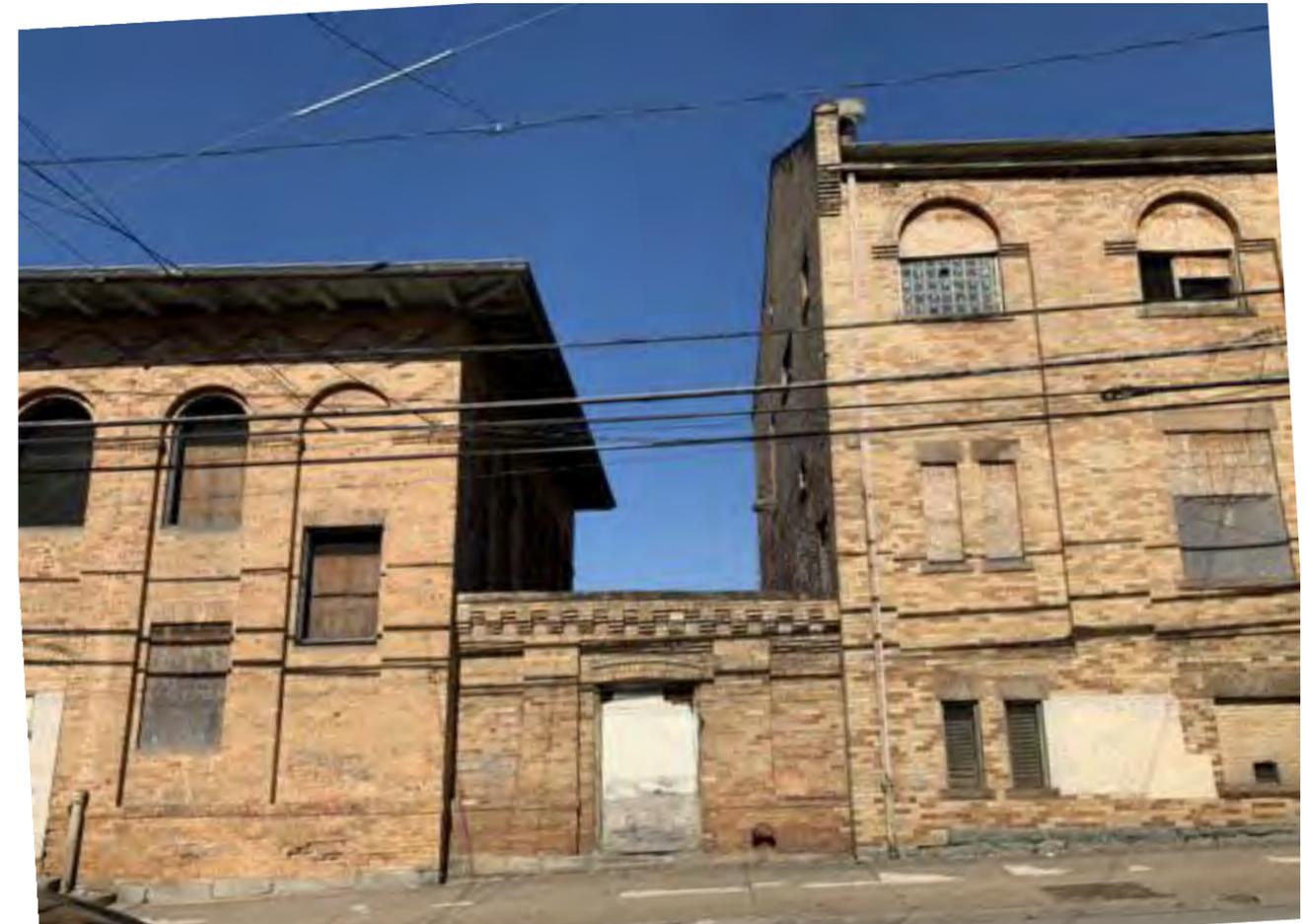
INTERIOR WINDOWS



9TH STREET WINDOWS



9TH STREET FACADE



MAIN ENTRANCE TO FOYER

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

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CONTEXT PHOTOS

A-05



ABANDONED MEMORIAL



MAIN ENTRANCE TO FOYER



BUILDING B, PROPOSED ATRIUM AND BUILDING A - 9TH STREET REAR

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

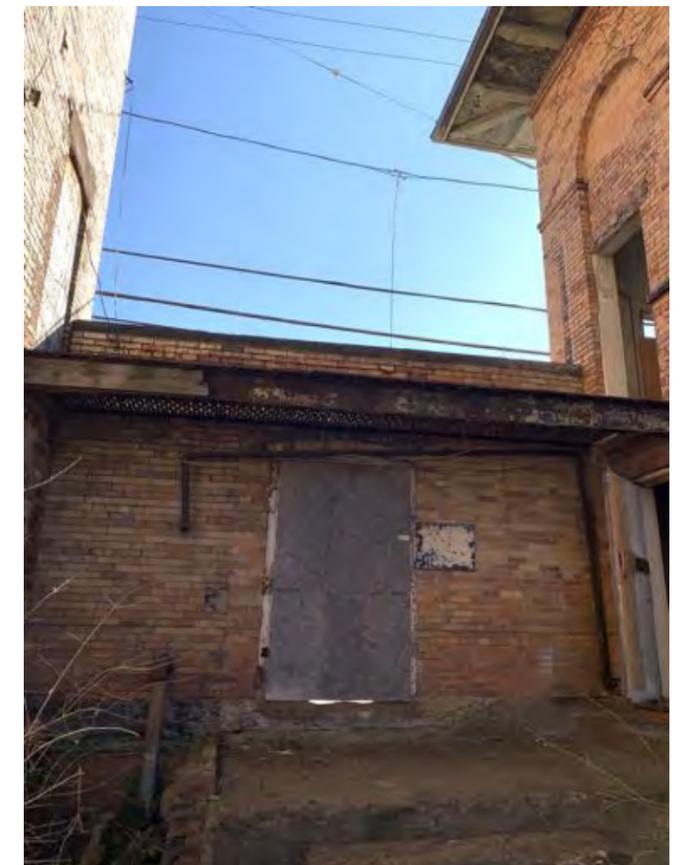
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REV: 03.03.2020

CONTEXT PHOTOS

A-06



PROPOSED ATRIUM- BINGHAM ST

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

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DATE: 12.04.2019

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CONTEXT PHOTOS

A-07



VIEW OF COURTYARD



VIEW OF COURTYARD



VIEW OF COURTYARD

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

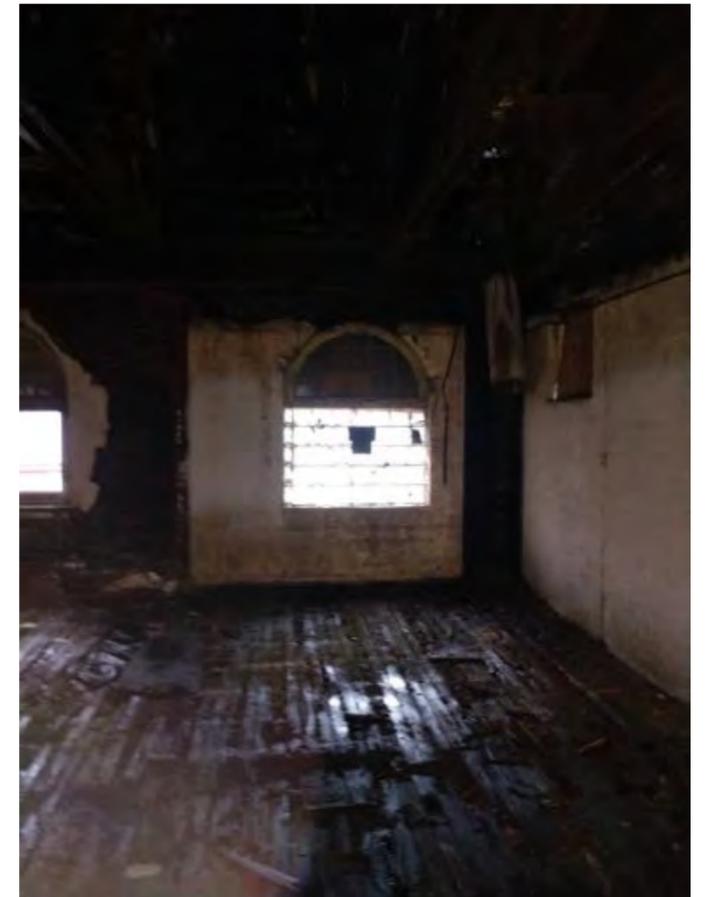
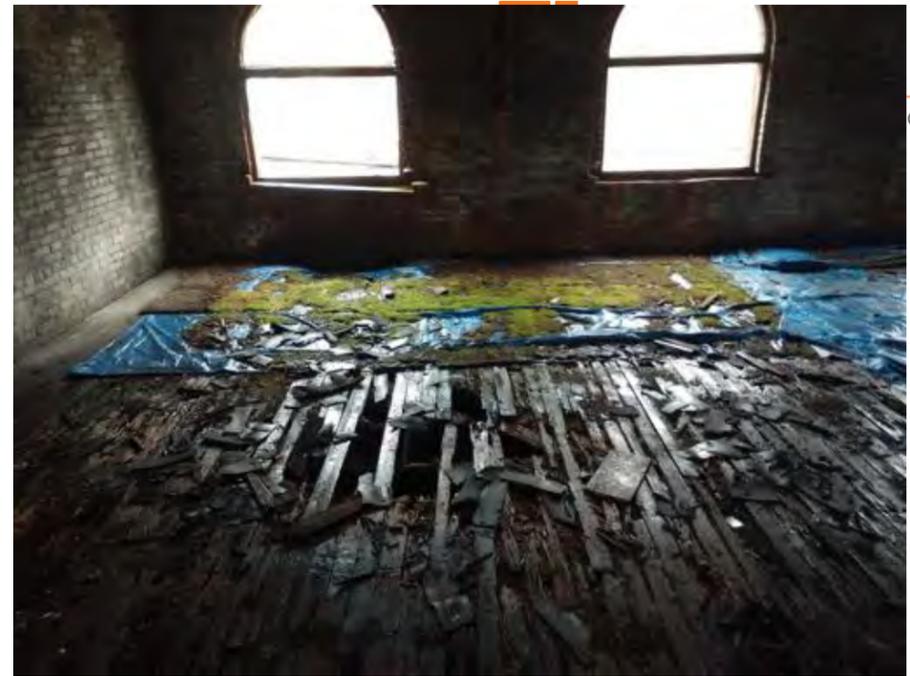
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CONTEXT PHOTOS

A-08



PROPOSED RENOVATIONS TO EXISTING BUILDING:
NINTH AND BINGHAM STREET CONDOS

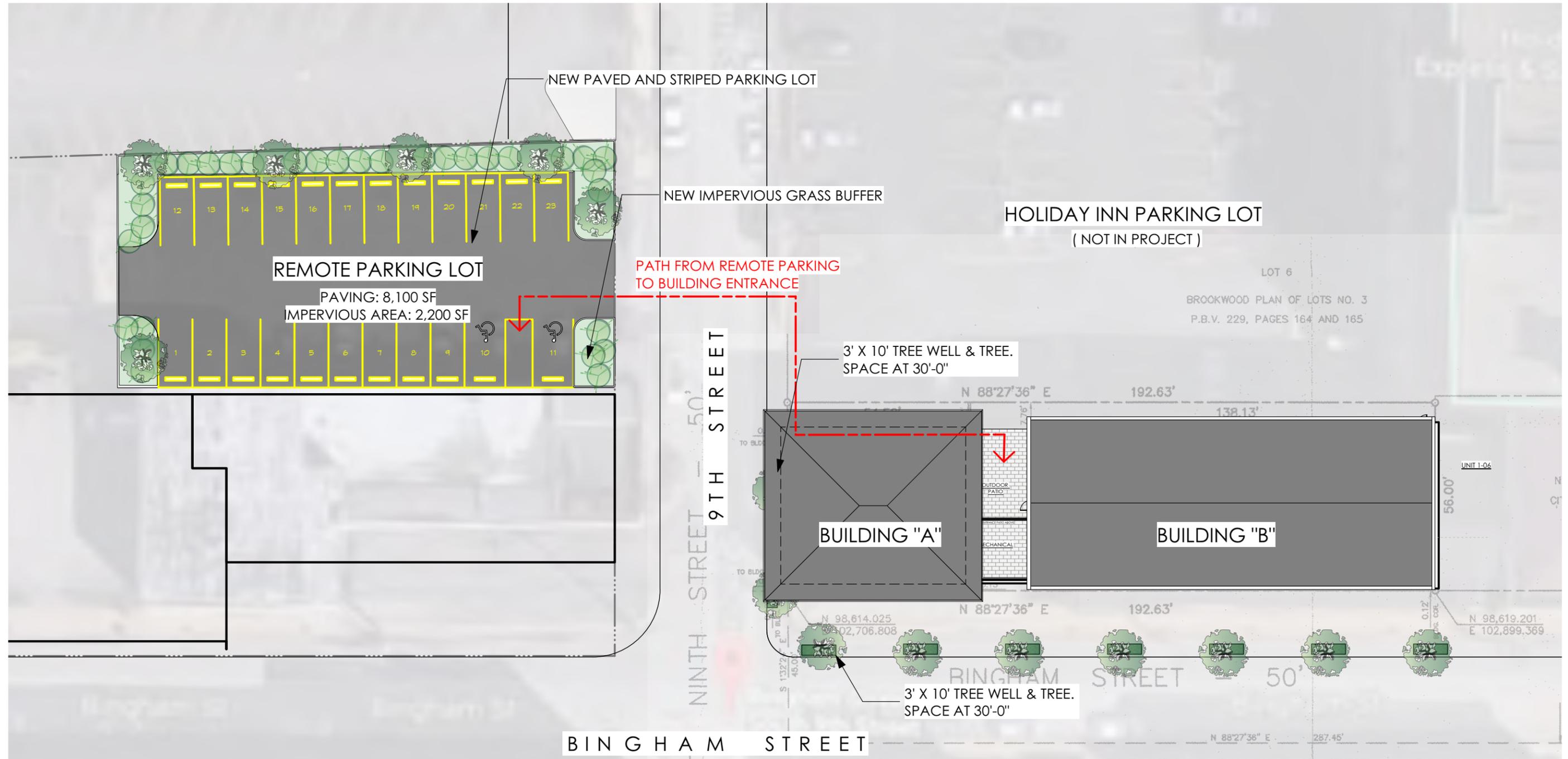
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CONTEXT PHOTOS

A-09



SITE PLAN
Scale: 1" = 30'-0"

PROPOSED RENOVATIONS TO EXISTING BUILDING:
NINTH AND BINGHAM STREET CONDOS

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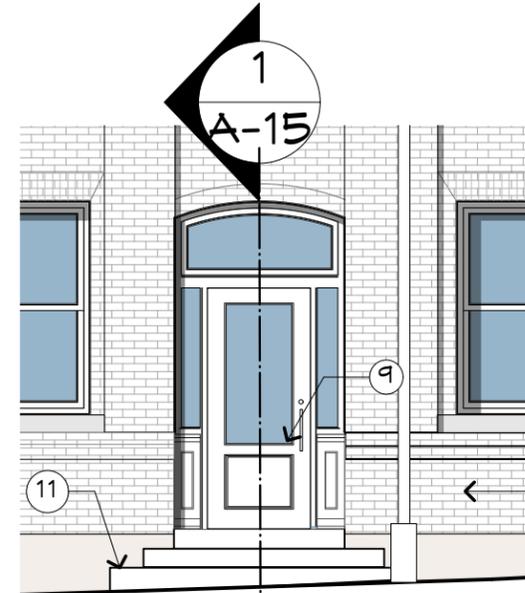
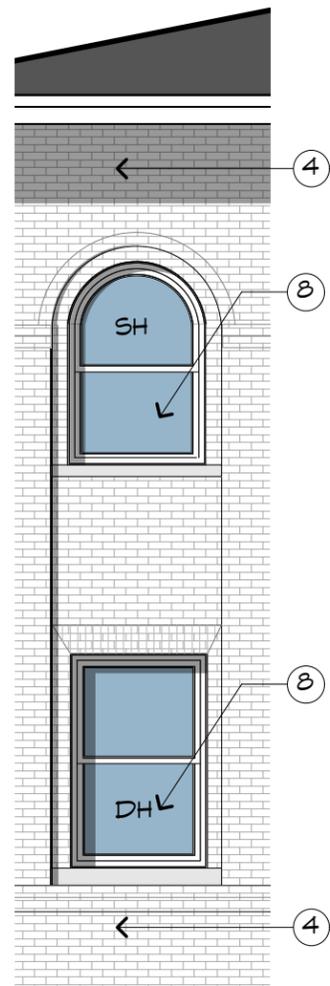
DATE: 12.04.2019
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ENLARGED SITE PLAN

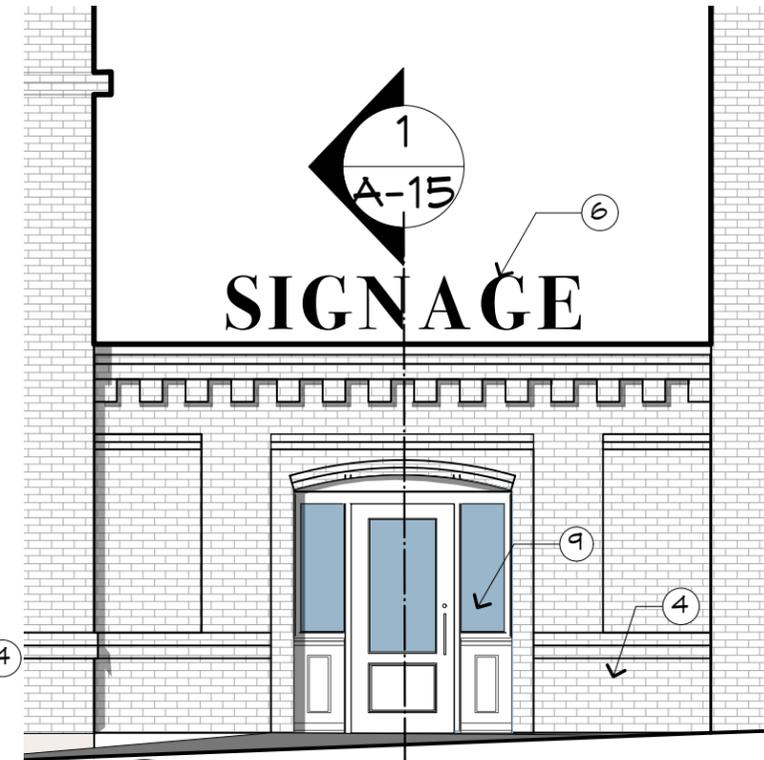
A-10

KEYNOTES:

1. INSTALL NEW FIBERGLASS WINDOW AND ALUMINUM PANNING
2. REPAIR EXISTING WOOD TRIM AT GUTTER LINE WHERE POSSIBLE. WHERE DAMAGED, REPLACE "IN KIND" WITH WOOD TO MATCH. PRIME AND PAINT.
3. REMOVE EXISTING ROOF. REMOVE EXISTING WOOD SHEATHING WHERE REQUIRED. REPLACE SHEATHING AND INSTALL NEW FIBERGLASS SHINGLES.
4. REPAIR AND POINT EXISTING BRICK WHERE REQUIRED
5. REPLACE EXISTING METAL GUTTER WITH "IN-KIND" NEW METAL GUTTER. PRIME AND PAINT. (TYPICAL)
6. INSTALL NEW SIGNAGE BY OTHERS
7. OPTION 1- REPLACE EXISTING WOOD LOUVERS WITH NEW METAL LOUVERS IN EXISTING OPENING. OPTION 2- REMOVE EXISTING LOUVERS. INSTALL NEW FIXED GLASS WINDOWS IN ORIGINAL OPENINGS
8. EXISTING WINDOW FRAMES REMAIN WHERE IN TACT. REPAIR AS REQUIRED. INSTALL EXISTING RECLAIMED WINDOW SASHES IN EXISTING OPENINGS. WHERE EXISTING SASHES DONT EXISTIN, INSTALL NEW WOOD SAHES TO MATCH ORIGINAL SAHES IN EXISTING OPENING. PRIME AND PAINT ALL WOOD WINDOWS AND FRAMES
9. REMOVE EXISTING PLYWOOD FROM ORIGINAL OPENING. INSTALL NEW WOOD AND GLASS ENTRANCE IN ORIGINAL OPENING
10. REPLACE EXISTING METAL DOWNSPOUT WITH "IN-KIND" NEW METAL DOWNSPOUT. PRIME AND PAINT. (TYPICAL)
11. EXISTING CONCRETE STEPS REMAIN

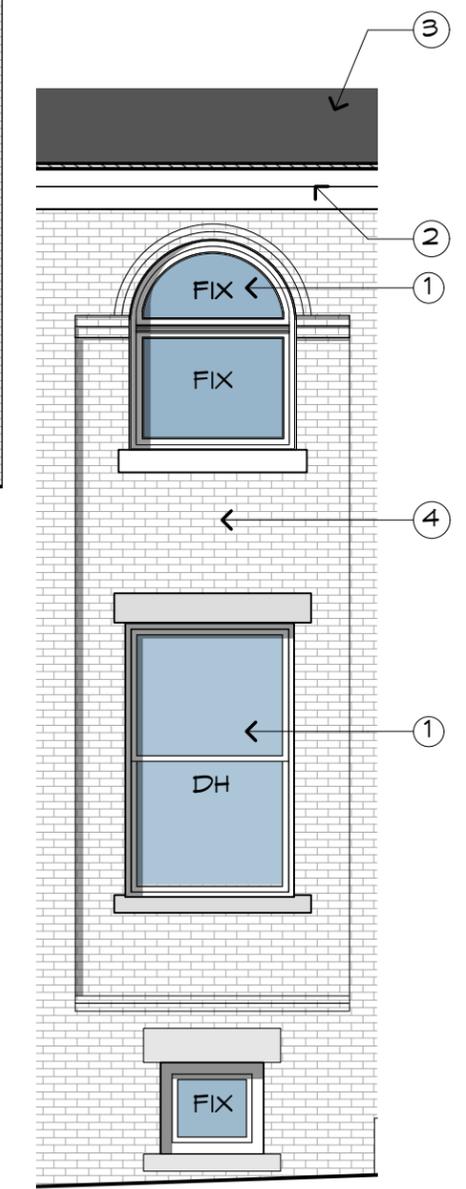


3 BUILDING A ENTRANCE
Scale: 3/16" = 1'-0"

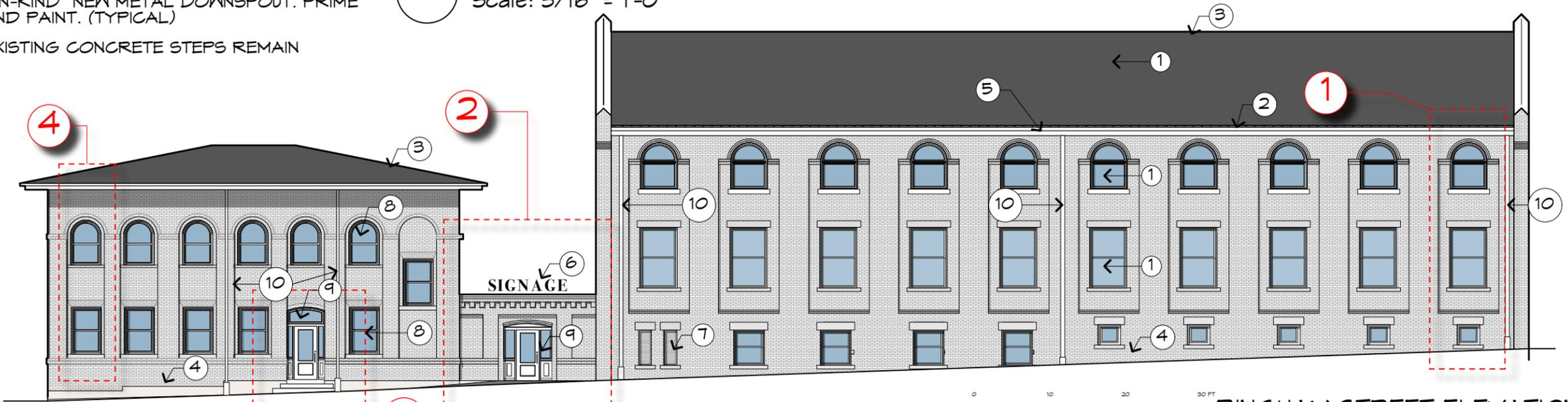


2 MAIN ENTRANCE
Scale: 3/16" = 1'-0"

4 BUILDING A WINDOWS
Scale: 3/16" = 1'-0"



1 BUILDING B WINDOWS
Scale: 3/16" = 1'-0"



BINGHAM STREET ELEVATION
Scale: 1/16" = 1'-0"

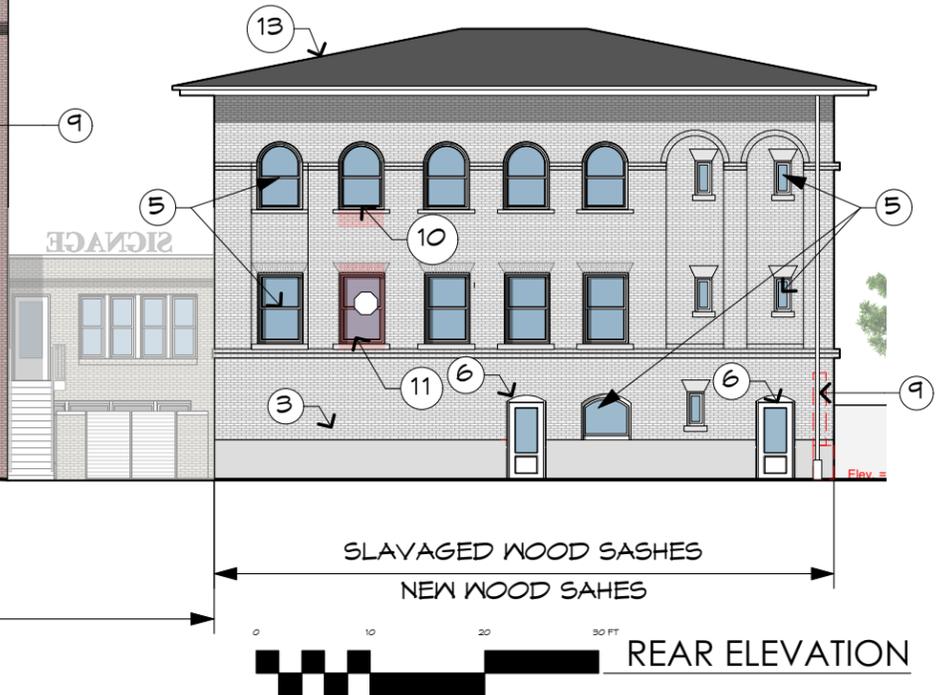
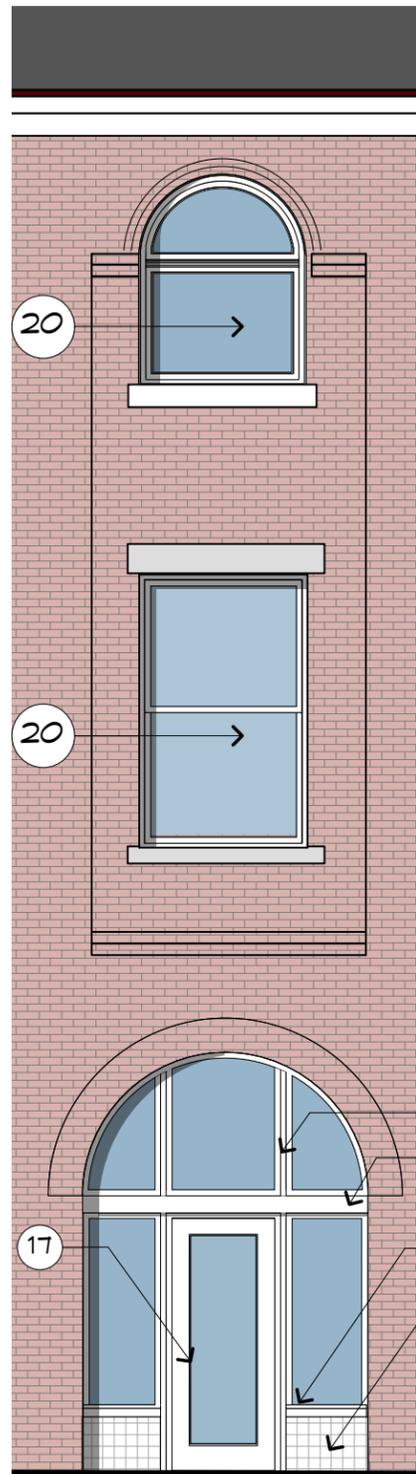
PROPOSED RENOVATIONS TO EXISTING BUILDING:
NINTH AND BINGHAM STREET CONDOS

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FOR RIVA RIDGE DEVELOPMENT

DATE: 12.04.2019
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BINGHAM STREET ELEVATION

A-11



KEYNOTES:

- 1. REPAIR EXISTING WOOD TRIM AT GUTTER LINE WHERE POSSIBLE. WHERE DAMAGED, REPLACE "IN KIND" WITH WOOD TO MATCH. PRIME AND PAINT.
- 2. ALUMINUM WRAPPED WOOD COLUMN
- 3. REPAIR AND POINT EXISTING BRICK WHERE REQUIRED
- 4. REPLACE EXISTING METAL GUTTER WITH "IN-KIND" NEW METAL GUTTER. PRIME AND PAINT. (TYPICAL)
- 5. EXISTING WINDOW FRAMES REMAIN WHERE IN TACT. REPAIR AS REQUIRED. INSTALL EXISTING RECLAIMED WINDOW SASHES IN EXISTING OPENINGS. WHERE EXISTING SASHES DON'T EXIST, INSTALL NEW WOOD SASHES TO MATCH ORIGINAL SASHES IN EXISTING OPENING. PRIME AND PAINT ALL WOOD WINDOWS AND FRAMES
- 6. REMOVE EXISTING PLYWOOD FROM ORIGINAL OPENING. INSTALL NEW WOOD AND GLASS ENTRANCE IN ORIGINAL OPENING
- 7. REPLACE EXISTING METAL DOWNSPOUT WITH "IN-KIND" NEW METAL DOWNSPOUT. PRIME AND PAINT. (TYPICAL)
- 8. REMOVE EXISTING ALUMINUM GARAGE DOOR AND INSTALL NEW ALUMINUM STOREFRONT
- 9. REMOVE EXISTING ABANDONED MEMORIAL STONE
- 10. REMOVE EXISTING DOOR FROM OPENING. BRICK IN OPENING TO MATCH SILL HEIGHT OF ORIGINAL WINDOW. INSTALL NEW WOOD WINDOW IN ORIGINAL OPENING
- 11. CUT NEW OPENING IN EXISTING BRICK WALL. INSTALL NEW WOOD DH WINDOW IN NEW OPENING. OPENING SIZE AND WINDOW TO MATCH EXISTING WINDOWS
- 12. REMOVE EXISTING STEEL FIRE ESCAPE
- 13. REMOVE EXISTING ROOF. REMOVE EXISTING WOOD SHEATHING WHERE REQUIRED. REPLACE SHEATHING AND INSTALL NEW FIBERGLASS SHINGLES.
- 14. ALUMINUM WRAPPED WOOD BEAM
- 15. ALUMINUM STOREFRONT FRAMING SYSTEM
- 16. TILE BASE
- 17. WIDE STILE ALUMINUM AND GLASS DOOR
- 18. EXISTING BEAM REMAINS. PRIME AND PAINT TO MATCH STOREFRONT
- 19. BRICK IN EXISTING OPENING TO MATCH EXISTING WALL
- 20. INSTALL NEW FIBERGLASS WINDOW AND ALUMINUM PANNING

7 ENTRANCE DOORS
Scale: 3/16" = 1'-0"

6 LARGE OPENING
Scale: 3/16" = 1'-0"

PROPOSED RENOVATIONS TO EXISTING BUILDING:
NINTH AND BINGHAM STREET CONDOS

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FOR RIVA RIDGE DEVELOPMENT

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REAR ELEVATION

A-12

KEYNOTES:

- 1. INSTALL NEW FIBERGLASS WINDOW AND ALUMINUM PANNING
- 2. REPAIR EXISTING WOOD TRIM AT GUTTER LINE WHERE POSSIBLE. WHERE DAMAGED, REPLACE "IN KIND" WITH WOOD TO MATCH. PRIME AND PAINT.
- 3. REMOVE EXISTING ROOF. REMOVE EXISTING WOOD SHEATHING WHERE REQUIRED. REPLACE SHEATHING AND INSTALL NEW FIBERGLASS SHINGLES.
- 4. REPAIR AND POINT EXISTING BRICK WHERE REQUIRED
- 5. REPLACE EXISTING METAL GUTTER WITH " IN-KIND" NEW METAL GUTTER. PRIME AND PAINT. (TYPICAL)
- 6. OPTION 1- REPLACE EXISTING WOOD LOUVERS WITH NEW METAL LOUVERS IN EXISTING OPENING. OPTION 2- REMOVE EXISTING LOUVERS. INSTALL NEW FIXED GLASS WINDOWS IN ORIGINAL OPENINGS
- 7. REPLACE EXISTING METAL DOWNSPOUT WITH " IN-KIND" NEW METAL DOWNSPOUT. PRIME AND PAINT. (TYPICAL)



FIBERGLASS SHINGLE ROOFING

ALL WINDOWS TYPE "B"
TYPICAL



BINGHAM STREET ELEVATION
Scale: 1/8" = 1'-0"

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

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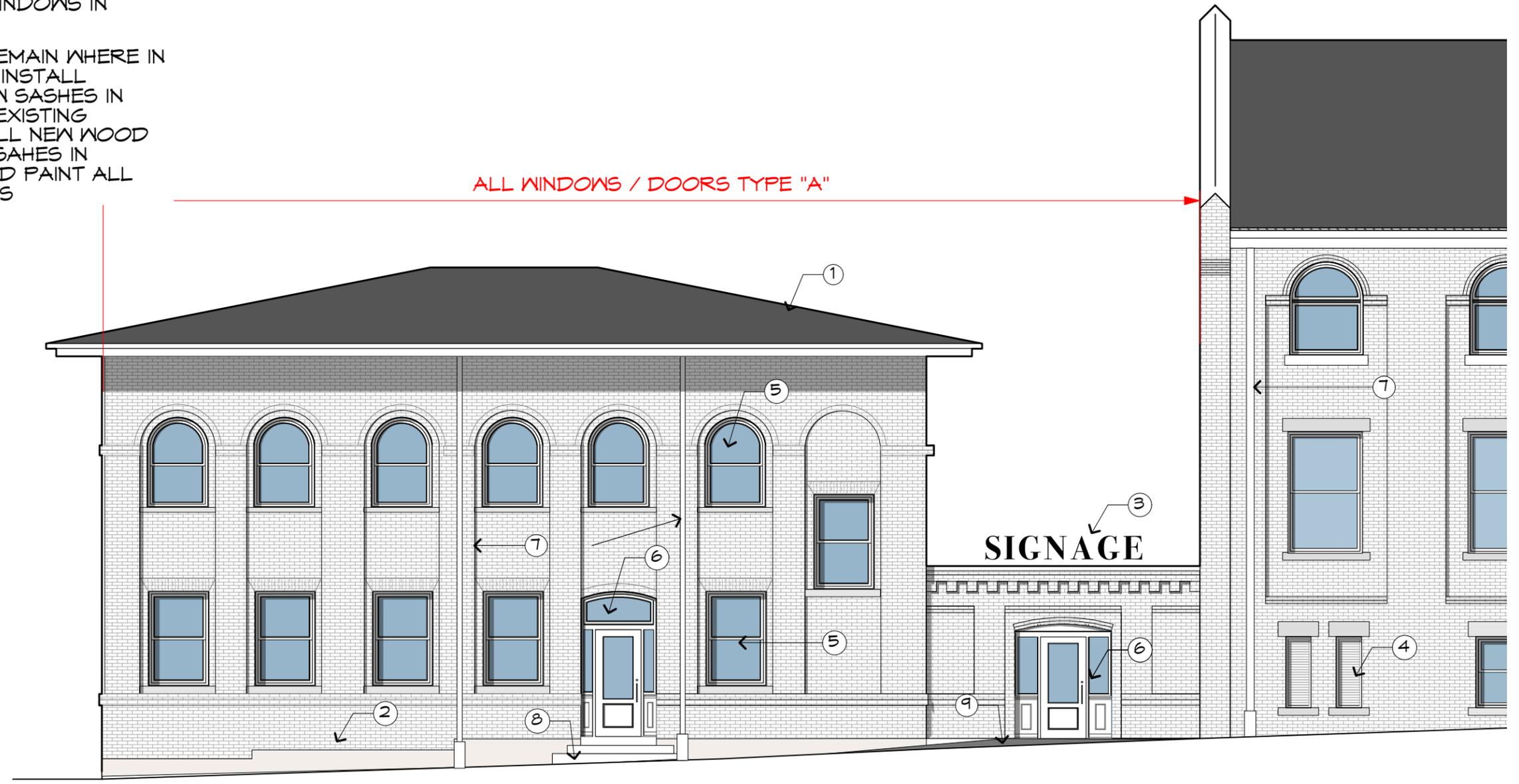
DATE: 12.04.2019
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A-13

ENLARGED BINGHAM STREET ELEVATION - BUILDING B

KEYNOTES:

- ① REMOVE EXISTING ROOF. REMOVE EXISTING WOOD SHEATHING WHERE REQUIRED. REPLACE SHEATHING AND INSTALL NEW FIBERGLASS SHINGLES.
- ② REPAIR AND POINT EXISTING BRICK WHERE REQUIRED
- ③ INSTALL NEW SIGNAGE BY OTHERS
- ④ OPTION 1- REPLACE EXISTING WOOD LOUVERS WITH NEW METAL LOUVERS IN EXISTING OPENING.
OPTION 2- REMOVE EXISTING LOUVERS. INSTALL NEW FIXED GLASS WINDOWS IN ORIGINAL OPENINGS
- ⑤ EXISTING WINDOW FRAMES REMAIN WHERE IN TACT. REPAIR AS REQUIRED. INSTALL EXISTING RECLAIMED WINDOW SASHES IN EXISTING OPENING. WHERE EXISTING SASHES DONT EXIST, INSTALL NEW WOOD SASHES TO MATCH ORIGINAL SASHES IN EXISTING OPENING. PRIME AND PAINT ALL WOOD WINDOWS AND FRAMES
- ⑥ REMOVE EXISTING PLYWOOD FROM ORIGINAL OPENING. INSTALL NEW WOOD AND GLASS ENTRANCE IN ORIGINAL OPENING
- ⑦ REPLACE EXISTING METAL DOWNSPOUT WITH " IN-KIND" NEW METAL DOWNSPOUT. PRIME AND PAINT. (TYPICAL)
- ⑧ EXISTING CONCRETE STEPS REMAIN
- ⑨ WARP EXISTING SIDEWALK TO ALLOW ADA COMPLIANT ENTRANCE

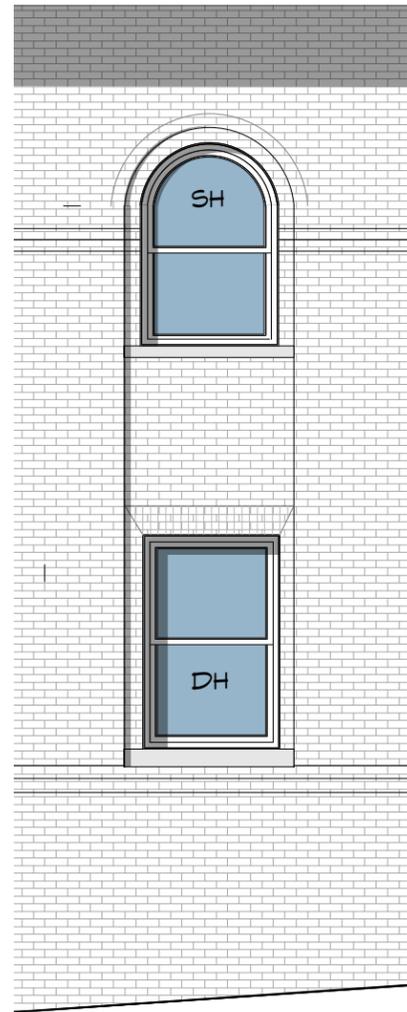
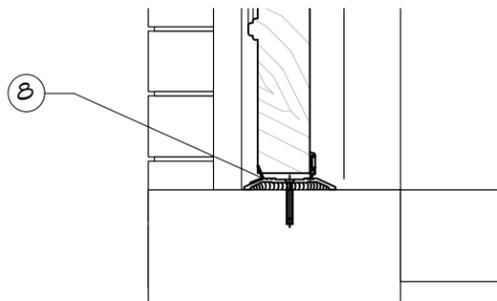
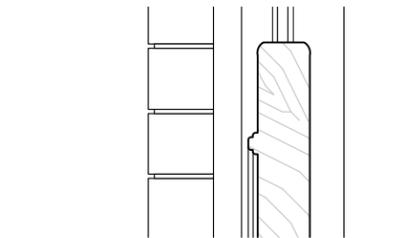
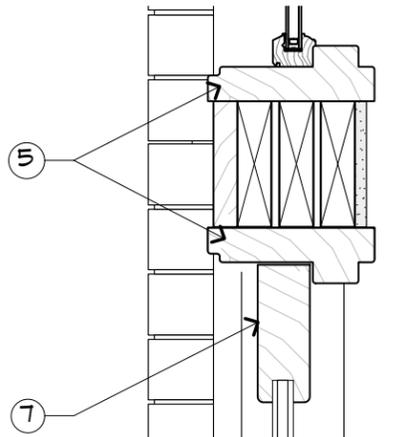
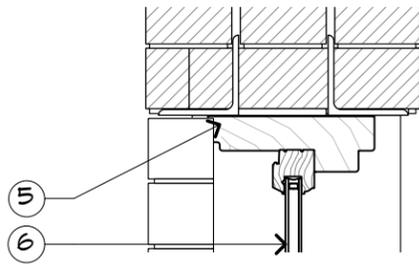


BINGHAM STREET ELEVATION
Scale: 1/8" = 1'-0"

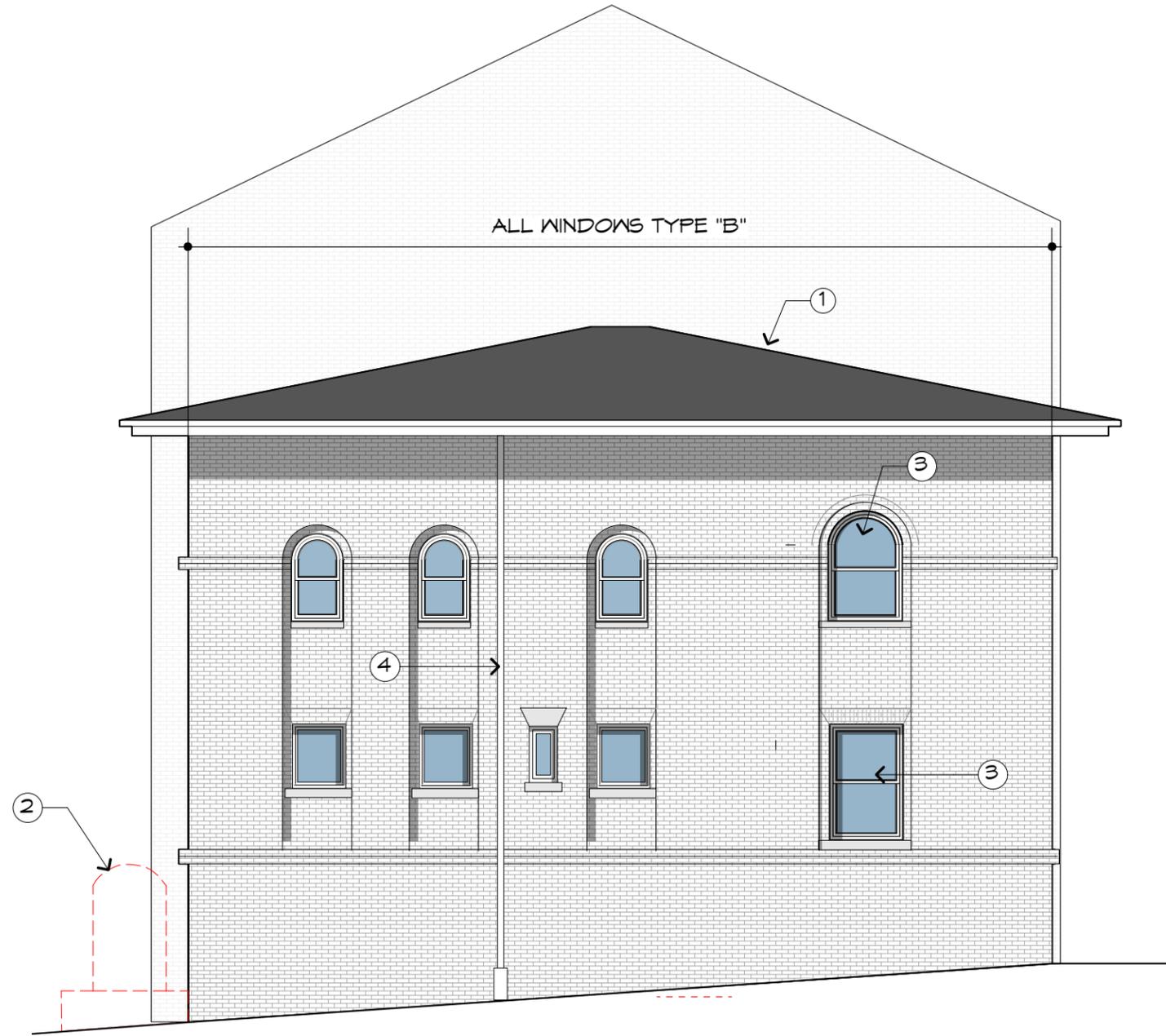


KEYNOTES:

- ① REMOVE EXISTING ROOF. REMOVE EXISTING WOOD SHEATHING WHERE REQUIRED. REPLACE SHEATHING AND INSTALL NEW FIBERGLASS SHINGLES.
- ② REMOVE EXISTING ABANDONED MEMORIAL TABLET
- ③ EXISTING WINDOW FRAMES REMAIN WHERE IN TACT. REPAIR AS REQUIRED. INSTALL EXISTING RECLAIMED WINDOW SASHES IN EXISTING OPENINGS. WHERE EXISTING SASHES DONT EXISTIN, INSTALL NEW WOOD SAHES TO MATCH ORIGINAL SAHES IN EXISTING OPENING. PRIME AND PAINT ALL WOOD WINDOWS AND FRAMES
- ④ REPLACE EXISTING METAL DOWNSPOUT WITH " IN-KIND" NEW METAL DOWNSPOUT. PRIME AND PAINT. (TYPICAL)
- ⑤ INSTALL NEW CUSTOM WOOD FRAME. PRIME AND PAINT
- ⑥ INSTALL NEW TRANSOM WINDOW. PRIME AND PAINT
- ⑦ CUSTOM WOOD DOOR. PRIME AND PAINT
- ⑧ ADA COMPLIANT THRESHOLD



ENLARGED WINDOW ELEVATION NINTH STREET ELEVATION
SCALE: 1/8" = 1'-0"



NINTH STREET ELEVATION
SCALE: 1/8" = 1'-0"

1 SECTION THRU NEW WOOD ENTRY
A-25 Scale: 1 1/2" = 1'-0"

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NINTH AND BINGHAM STREET CONDOS

901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

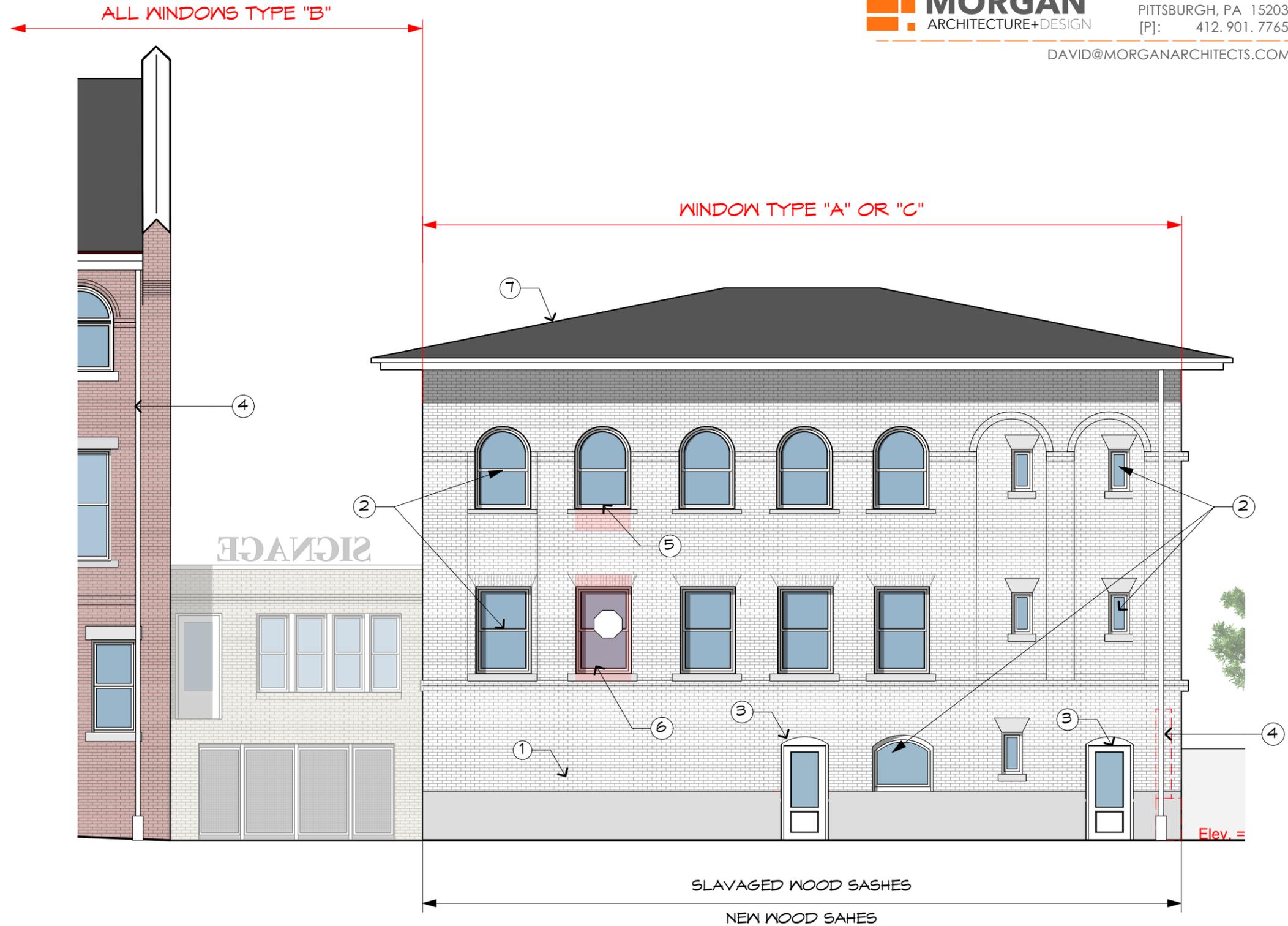
DATE: 12.04.2019
REV: 03.03.2020

A-15

ENLARGED NINTH STREET ELEVATION - BUILDING A

KEYNOTES:

1. REPAIR AND POINT EXISTING BRICK WHERE REQUIRED
2. EXISTING WINDOW FRAMES REMAIN WHERE IN TACT. REPAIR AS REQUIRED. INSTALL EXISTING RECLAIMED WINDOW SASHES IN EXISTING OPENINGS. WHERE EXISTING SASHES DON'T EXIST, INSTALL NEW WOOD SASHES TO MATCH ORIGINAL SASHES IN EXISTING OPENING. PRIME AND PAINT ALL WOOD WINDOWS AND FRAMES
3. REMOVE EXISTING PLYWOOD FROM ORIGINAL OPENING. INSTALL NEW WOOD AND GLASS ENTRANCE IN ORIGINAL OPENING
4. REMOVE EXISTING ABANDONED MEMORIAL STONE
5. REMOVE EXISTING DOOR FROM OPENING. BRICK IN OPENING TO MATCH SILL HEIGHT OF ORIGINAL WINDOW. INSTALL NEW WOOD WINDOW IN ORIGINAL OPENING
6. CUT NEW OPENING IN EXISTING BRICK WALL. INSTALL NEW WOOD DH WINDOW IN NEW OPENING. OPENING SIZE AND WINDOW TO MATCH EXISTING WINDOWS
7. REMOVE EXISTING ROOF. REMOVE EXISTING WOOD SHEATHING WHERE REQUIRED. REPLACE SHEATHING AND INSTALL NEW FIBERGLASS SHINGLES.



REAR ELEVATION
Scale: 1/8" = 1'-0"

PROPOSED RENOVATIONS TO EXISTING BUILDING:
NINTH AND BINGHAM STREET CONDOS

901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

DATE: 12.04.2019
REV: 03.03.2020

A-16

ENLARGED REAR ELEVATION - BUILDING A & ATRIUM

KEYNOTES:

1. INSTALL NEW FIBERGLASS WINDOW AND ALUMINUM PANNING
2. REPAIR EXISTING WOOD TRIM AT GUTTER LINE WHERE POSSIBLE. WHERE DAMAGED, REPLACE "IN KIND" WITH WOOD TO MATCH. PRIME AND PAINT.
3. REPAIR AND POINT EXISTING BRICK WHERE REQUIRED
4. REPLACE EXISTING METAL GUTTER WITH "IN-KIND" NEW METAL GUTTER. PRIME AND PAINT. (TYPICAL)
5. REPLACE EXISTING METAL DOWNSPOUT WITH "IN-KIND" NEW METAL DOWNSPOUT. PRIME AND PAINT. (TYPICAL)
6. REMOVE EXISTING ALUMINUM GARAGE DOOR AND INSTALL NEW ALUMINUM STOREFRONT
7. REMOVE EXISTING ABANDONED MEMORIAL STONE
8. REMOVE EXISTING DOOR FROM OPENING. BRICK IN OPENING TO MATCH SILL HEIGHT OF ORIGINAL WINDOW. INSTALL NEW WOOD WINDOW IN ORIGINAL OPENING
9. CUT NEW OPENING IN EXISTING BRICK WALL. INSTALL NEW WOOD DH WINDOW IN NEW OPENING. OPENING SIZE AND WINDOW TO MATCH EXISTING WINDOWS
10. REMOVE EXISTING STEEL FIRE ESCAPE
11. REMOVE EXISTING ROOF. REMOVE EXISTING WOOD SHEATHING WHERE REQUIRED. REPLACE SHEATHING AND INSTALL NEW FIBERGLASS SHINGLES.
12. EXISTING BEAM REMAINS. PRIME AND PAINT TO MATCH STOREFRONT
13. BRICK IN EXISTING OPENING TO MATCH EXISTING WALL



PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

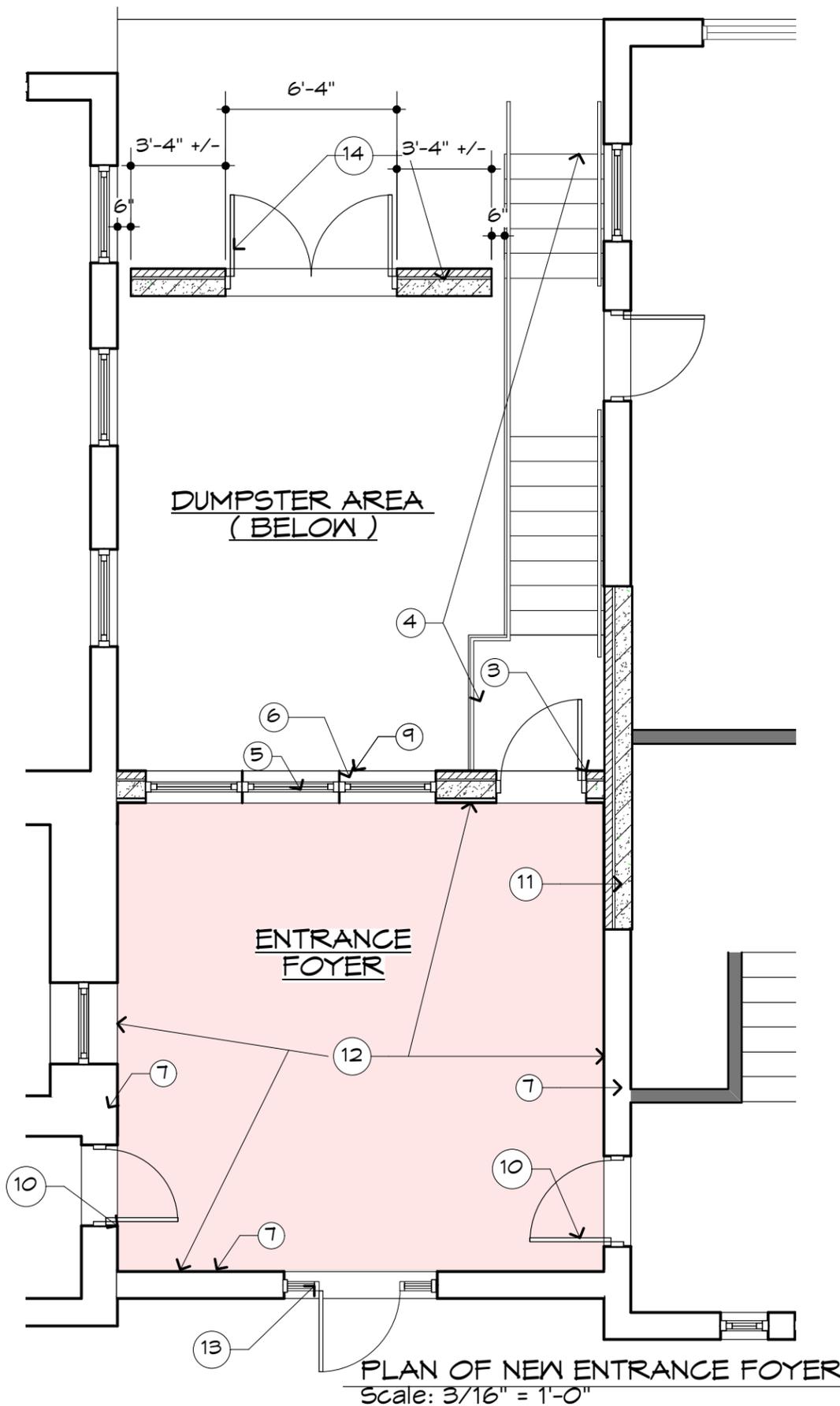
901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

DATE: 12.04.2019

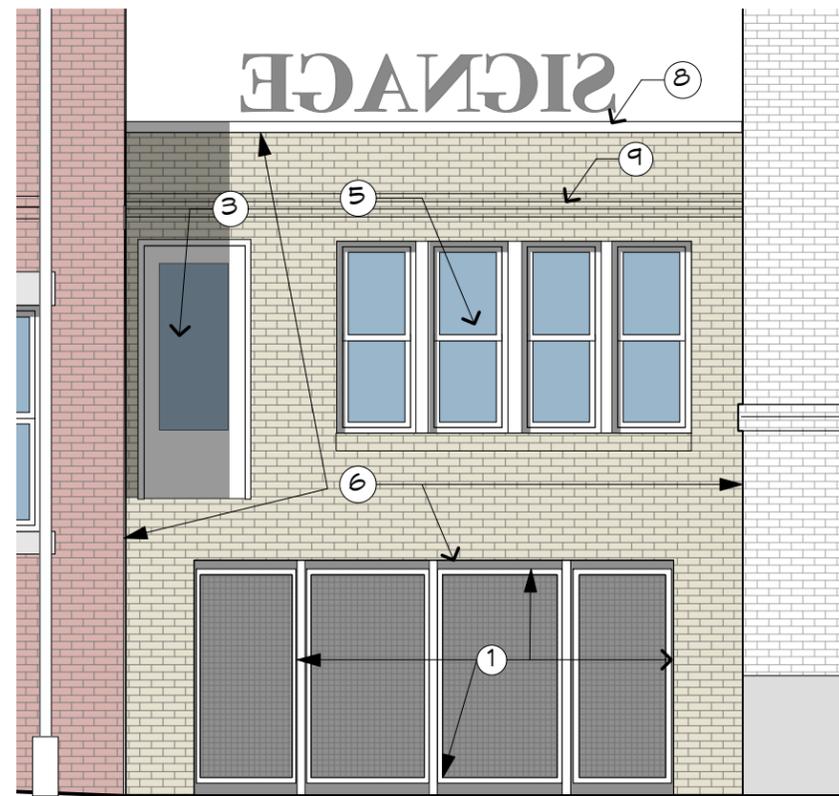
REV: 03.03.2020

ENLARGD REAR ELEVATION BUILDING B

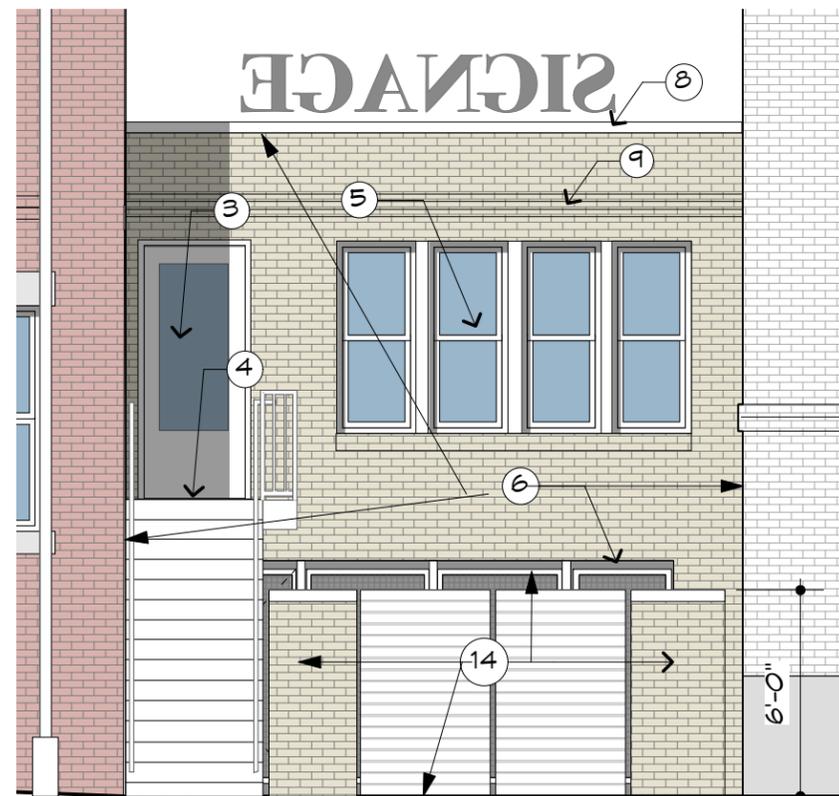
A-17



PLAN OF NEW ENTRANCE FOYER
Scale: 3/16" = 1'-0"



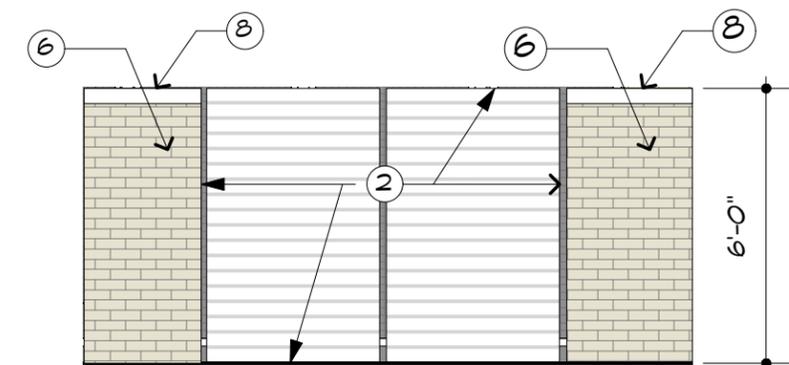
REAR ELEVATION OF NEW ENTRANCE FOYER
Scale: 3/16" = 1'-0" NOTE: DUMPSTER ENCLOSURE + STAIR NOT SHOWN



REAR ELEVATION OF NEW ENTRANCE FOYER
Scale: 3/16" = 1'-0" SHOWING STAIR AND DUMPSTER ENCLOSURE

KEYNOTES:

- ①. INSTALL NEW STEEL MESH PANELS. PRIME AND PAINT
- ②. INSTALL NEW TREATED, STAINED WOOD BOARD ON BOARD GATES
- ③. WIDE STILE ALUMINUM AND GLASS DOOR
- ④. INSTALL NEW STEEL STAIR, LANDING AND RAILING SYSTEM
- ⑤. INSTALL NEW FIBERGLASS WINDOW AND ALUMINUM PANNING
- ⑥. INSTALL NEW BUFF BRICK MASONRY WALL.
- ⑦. EXISTING BRICK WALL REMAINS
- ⑧. NEW STONE COPING
- ⑨. CORBELL NEW BRICK
- ⑩. EXISTING DOOR REMAINS
- ⑪. FILL IN EXISTING OPENING WITH BRICK TO MATCH EXISTING
- ⑫. NEW CONCRETE FLOOR AT SIDEWALK LEVEL
- ⑬. INSTALL NEW DOOR AND SIDELIGHTS IN EXISTING OPENING
- ⑭. INSTALL NEW BRICK AND WOOD DUMSTER ENCLOSURE



ELEVATION OF DUMPSTER GATE
Scale: 1/4" = 1'-0"

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

DATE: 12.04.2019

REV: 03.03.2020

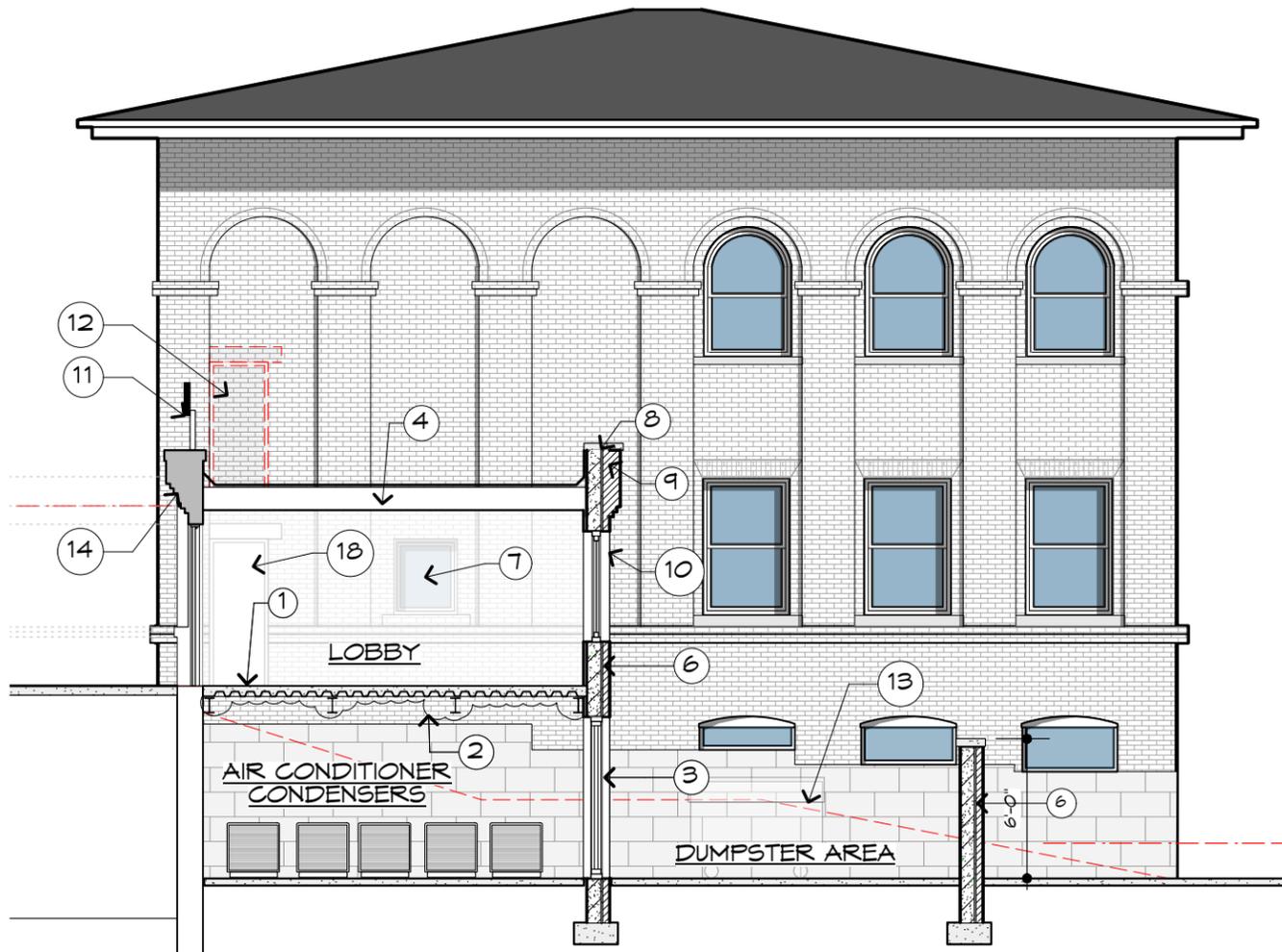
ENTRY COURTYARD

A-18

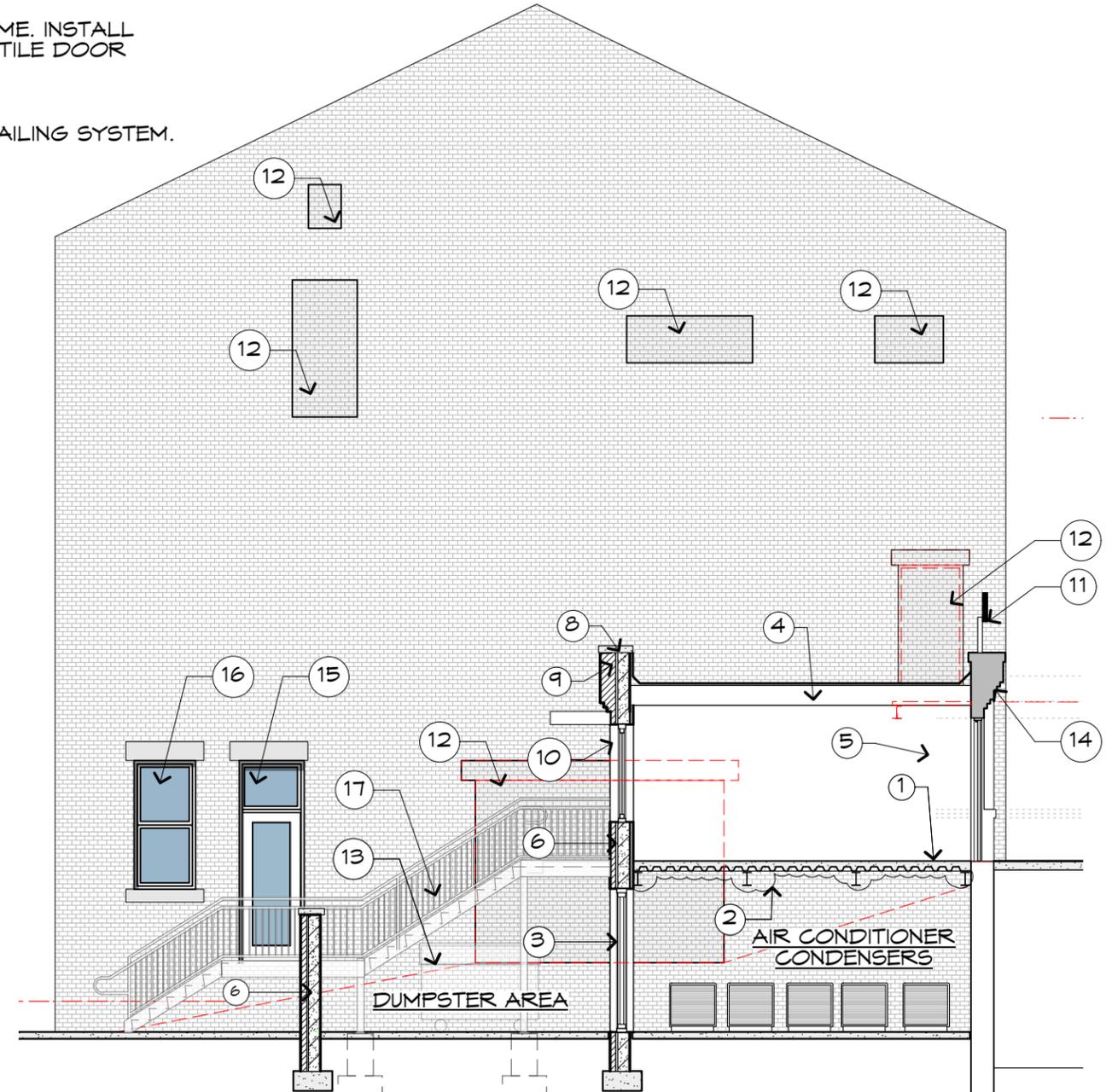
KEYNOTES:

- 1. INSTALL NEW CONCRETE SLAB AND STRUCTURE
- 2. SPRAY ON INSULATION
- 3. INSTALL NEW METAL MESH PANELS
- 4. INSTALL NEW ROOF AND STRUCTURE
- 5. INSTALL NEW GYPSUM WALL BOARD OVER EXISTING MASONRY WALL
- 6. INSTALL NEW BUFF BRICK MASONRY WALL.
- 7. NEW WOOD WINDOW IN EXISTING OPENING
- 8. NEW STONE COPING
- 9. CORBELL NEW BRICK

- 10. NEW WINDOWS
- 11. LOCATION OF FUTURE SIGNAGE
- 12. REMOVE EXISTING DOOR AND FRAME. FILL IN EXISTING OPENING WITH RECLAIMED BRICK TO MATCH ADJACENT BRICK
- 13. EXCAVATE EXISTING COURTYARD TO LEVEL OF EXISTING REAR SIDEWALK
- 14. EXISTING BRICK MASONRY WALL REMAINS.
- 15. REMOVE EXISTING PLYWOOD, DOOR AND FRAME. INSTALL NEW ALUMINUM DOOR AND FRAME WITH WIDE STILE DOOR
- 16. INSTALL NEW WINDOW IN EXISTING OPENING
- 17. NEW EXTERIOR STEEL STAIR, LANDINGS AND RAILING SYSTEM. PRIME AND PAINT
- 18. EXPOSED BRICK WALL



SECTION THRU FOYER / COURTYARD
Scale: 1/8" = 1'-0"



SECTION THRU FOYER / COURTYARD
Scale: 1/8" = 1'-0"

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

DATE: 12.04.2019
REV: 03.03.2020

ENTRY COURTYARD

A-19

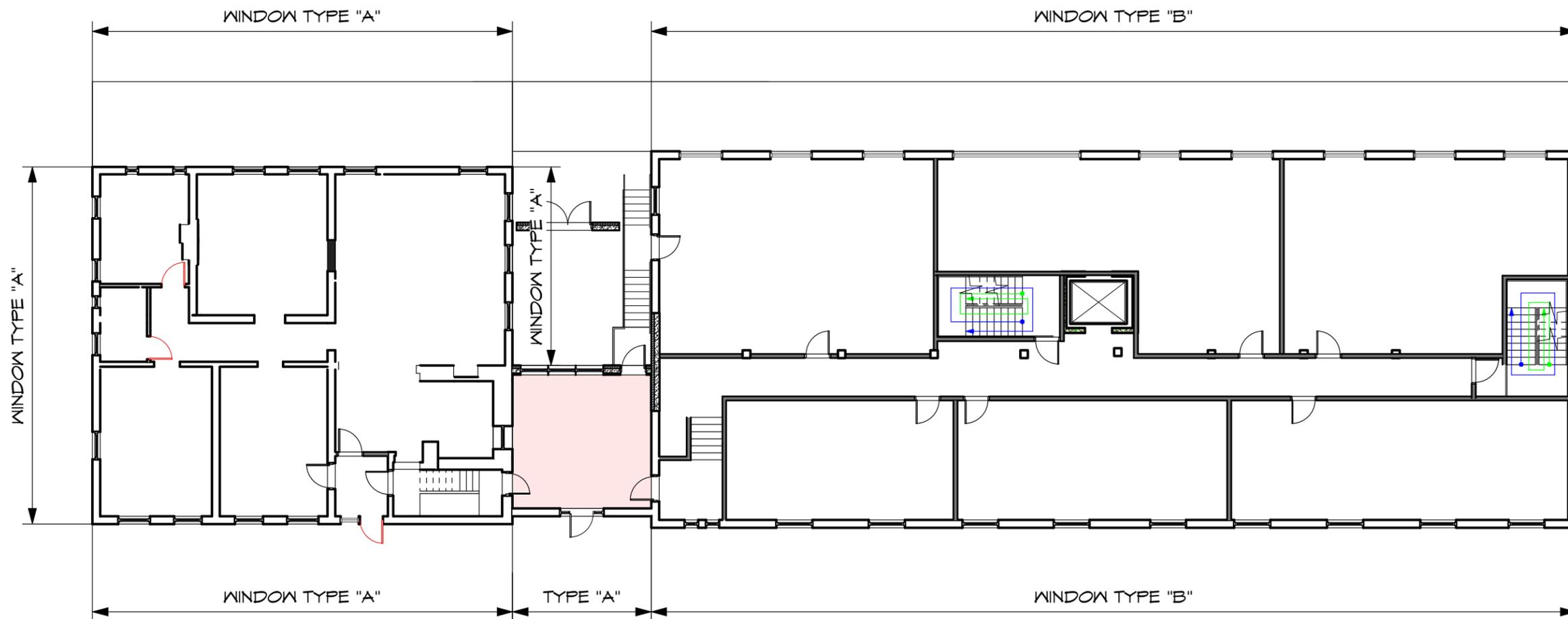
WINDOW TYPES:

WINDOW TYPE "A":

RESTORATION OF EXISTING WINDOW FRAMES AND SASHED WHERE APPLICABLE.
INSTALLATION OF NEW WOOD WINDOW AND BRICK MOULD IN OPENINGS THAT CAN'T BE RESTORED

WINDOW TYPE "B":

EXISTING WOOD FRAMES REMAIN.
INSTALL NEW PELLA "IMPERVIA" FIBERGLASS WINDOW IN EXISTING WOOD FRAME.
INSTALL NEW ALUMINUM PANNING AROUND EXISTING WOOD FRAME.



1 WINDOW REPLACEMENT OPTION 1
Scale: 1/16" = 1'-0"

PROPOSED RENOVATIONS TO EXISTING BUILDING:
NINTH AND BINGHAM STREET CONDOS

901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

DATE: 12.04.2019
REV: 03.03.2020

WINDOW CONCEPT 1

A-20

WINDOW TYPES:

WINDOW TYPE "A":

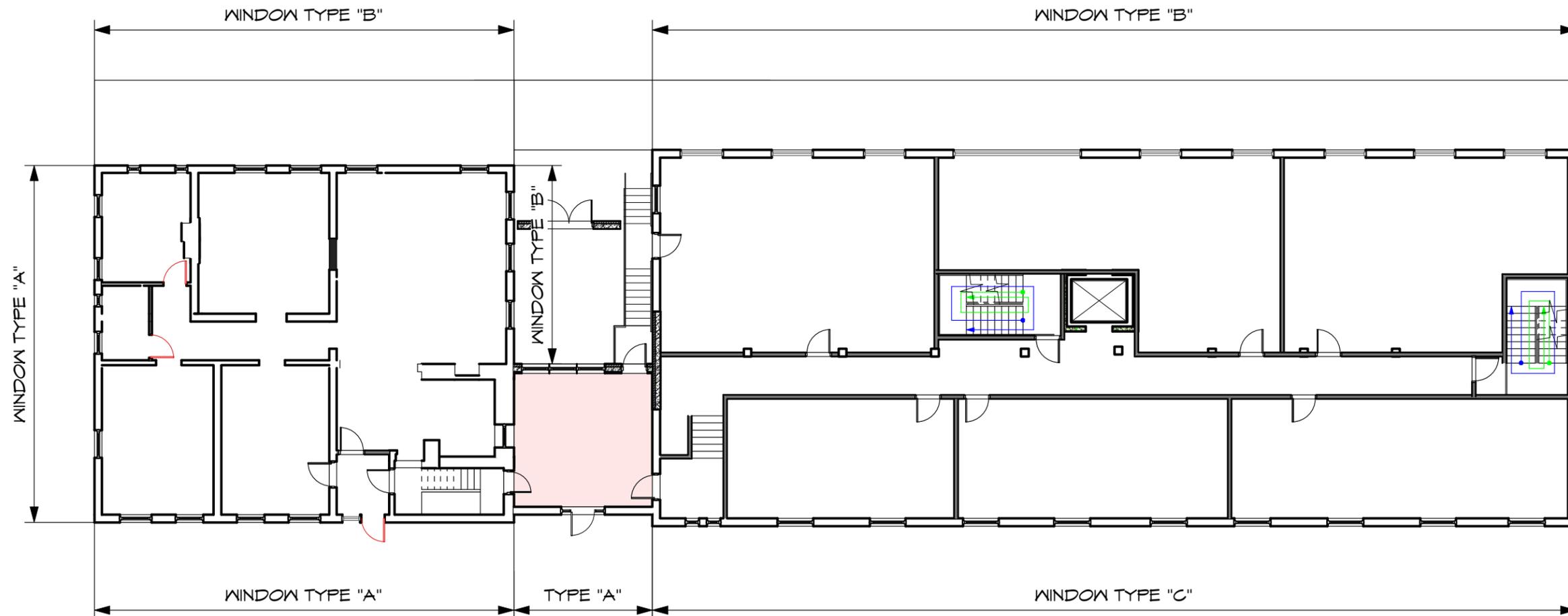
RESTORATION OF EXISTING WINDOW FRAMES AND SASHED WHERE APPLICABLE.
INSTALLATION OF NEW WOOD WINDOW AND BRICK MOULD IN OPENINGS THAT CAN'T BE RESTORED

WINDOW TYPE "B":

EXISTING WOOD FRAMES REMAIN.
INSTALL NEW PELLA "IMPERVIA" FIBERGLASS WINDOW IN EXISTING WOOD FRAME.
INSTALL NEW ALUMINUM PANNING AROUND EXISTING WOOD FRAME.

WINDOW TYPE "C":

EXISTING WOOD FRAMES REMAIN.
INSTALL NEW PELLA "ARCHITECT RESERVE" WOOD WINDOWS.
INSTALL NEW ALUMINUM PANNING AROUND EXISTING WOOD FRAME.



2 WINDOW REPLACEMENT OPTION 2
Scale: 1/16" = 1'-0"

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

DATE: 12.04.2019

REV: 2/22/18

WINDOW CONCEPT 2

A-21



FIBERGLASS

Pella® Impervia®

\$\$



Pella Impervia casement window

FEATURES

Made with Pella's patented fiberglass material, Duracast™
Exceptionally energy efficient and durable in extreme heat and cold
Versatile design features and options to deliver any style

WINDOW STYLES

Specialty shapes, custom sizes and fixed configurations are also available.*



PATIO DOOR STYLES



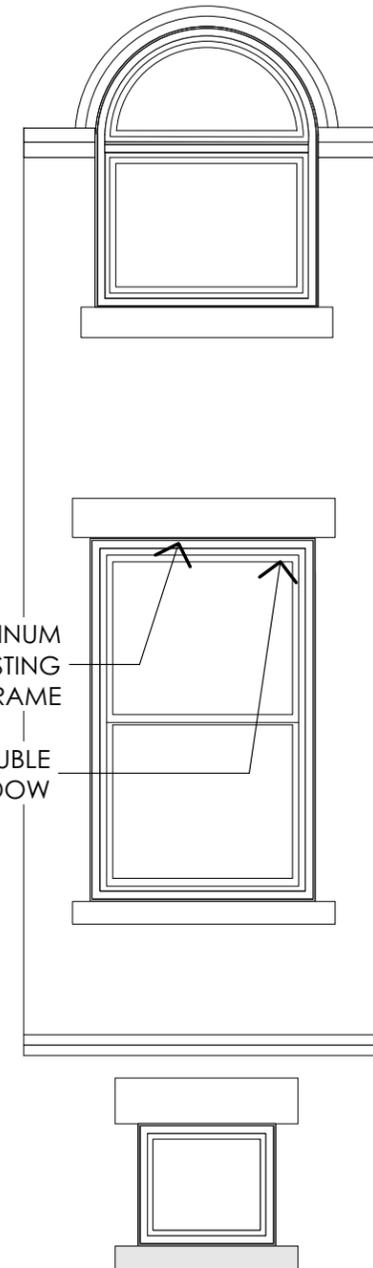
SLIDING

*In testing performed in accordance with ASTM testing standards, Pella's Duracast has displayed superior performance in strength, ability to withstand extreme heat and cold, and resistance to dents and scratches. Special shape windows are made from a non-Duracast fiberglass composite.



PROPOSED RENOVATIONS TO EXISTING BUILDING:
NINTH AND BINGHAM STREET CONDOS

901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

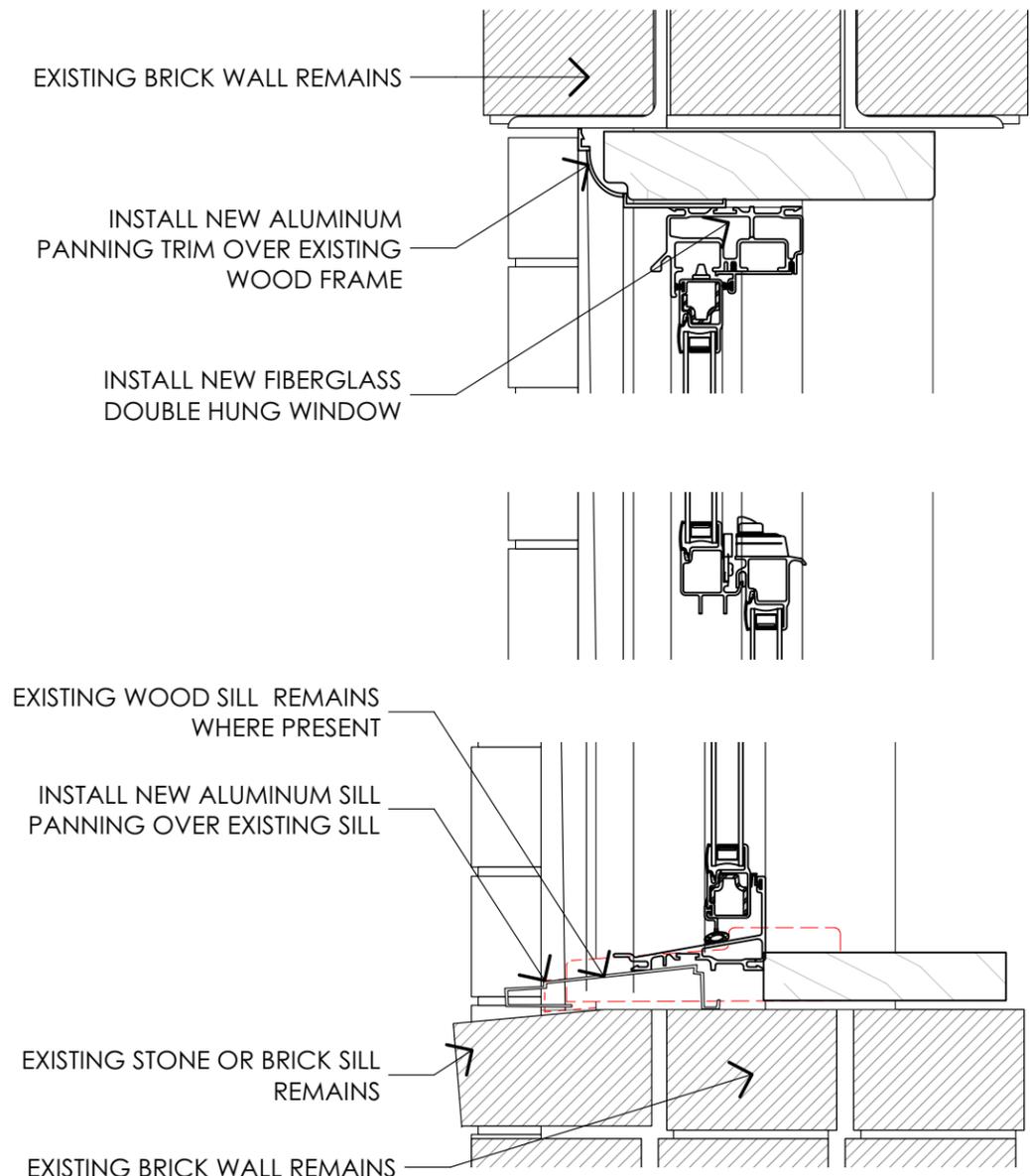


INSTALL NEW ALUMINUM
PANNING TRIM OVER EXISTING
WOOD FRAME

NEW FIBERGLASS DOUBLE
HUNG WINDOW

FIBERGLASS WINDOW ELEVATION
Scale: 1/4" = 1'-0"

TYPE "B" WINDOW



EXISTING BRICK WALL REMAINS

INSTALL NEW ALUMINUM
PANNING TRIM OVER EXISTING
WOOD FRAME

INSTALL NEW FIBERGLASS
DOUBLE HUNG WINDOW

EXISTING WOOD SILL REMAINS
WHERE PRESENT

INSTALL NEW ALUMINUM SILL
PANNING OVER EXISTING SILL

EXISTING STONE OR BRICK SILL
REMAINS

EXISTING BRICK WALL REMAINS

FIBERGLASS WINDOW SECTION
Scale: 3" = 1'-0"

DATE: 12.04.2019
REV: 03.03.2020

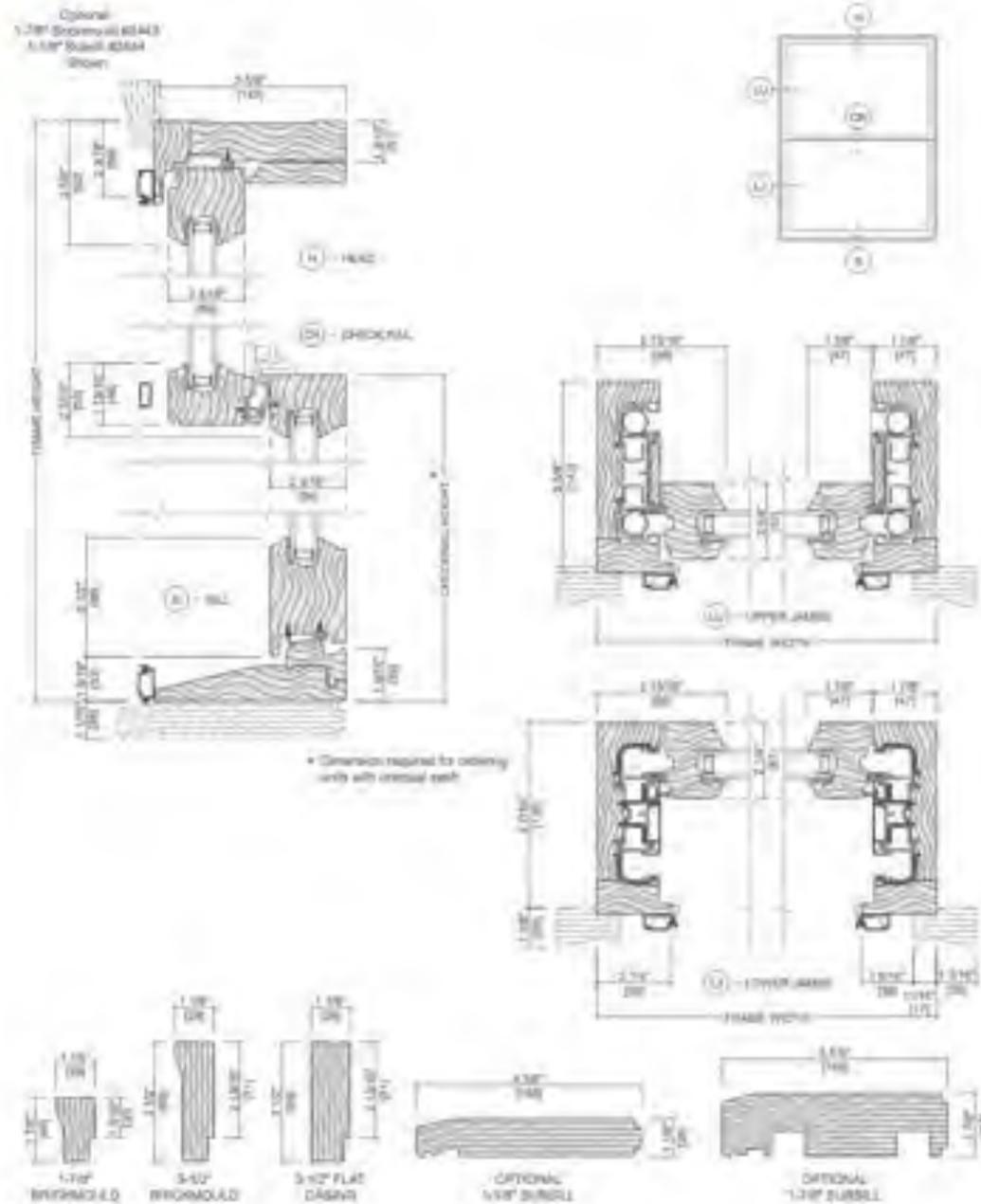
WINDOW SECTIONS

A-22



Pella® Reserve™ Traditional Monumental-Hung Window

Unit Sections · Wood Exterior, Dual-Pane Double-Hung

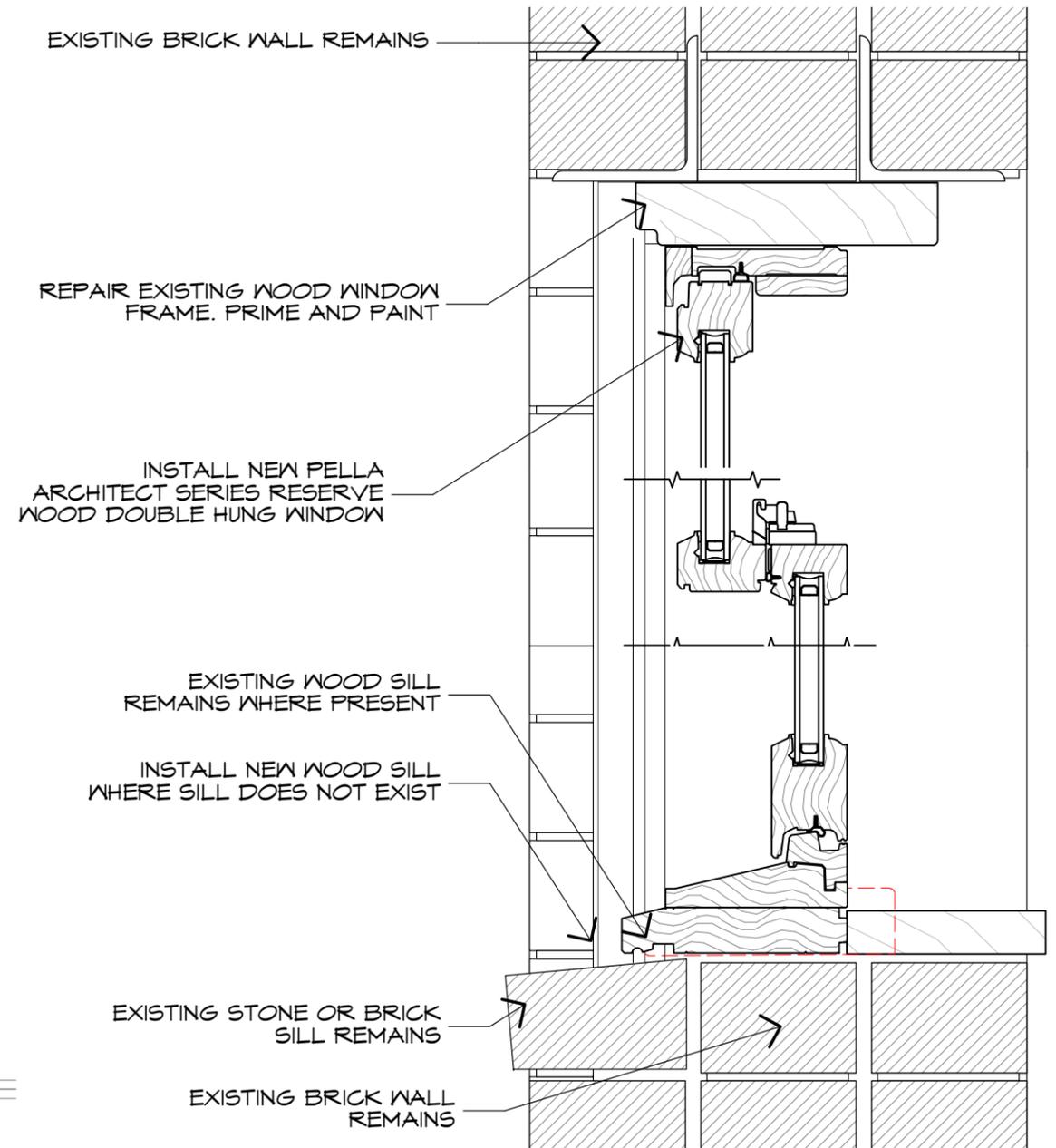


REPAIR EXISTING WOOD WINDOW FRAME. PRIME AND PAINT

PELLA ARCHITECT SERIES RESERVE WOOD DOUBLE HUNG WINDOW

WOOD WINDOW ELEVATION
Scale: 1/4" = 1'-0"

TYPE "A" WINDOW



PELLA WOOD TRADITIONAL MONUMENTAL WINDOW
Scale: 3" = 1'-0"

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

DATE: 12.04.2019

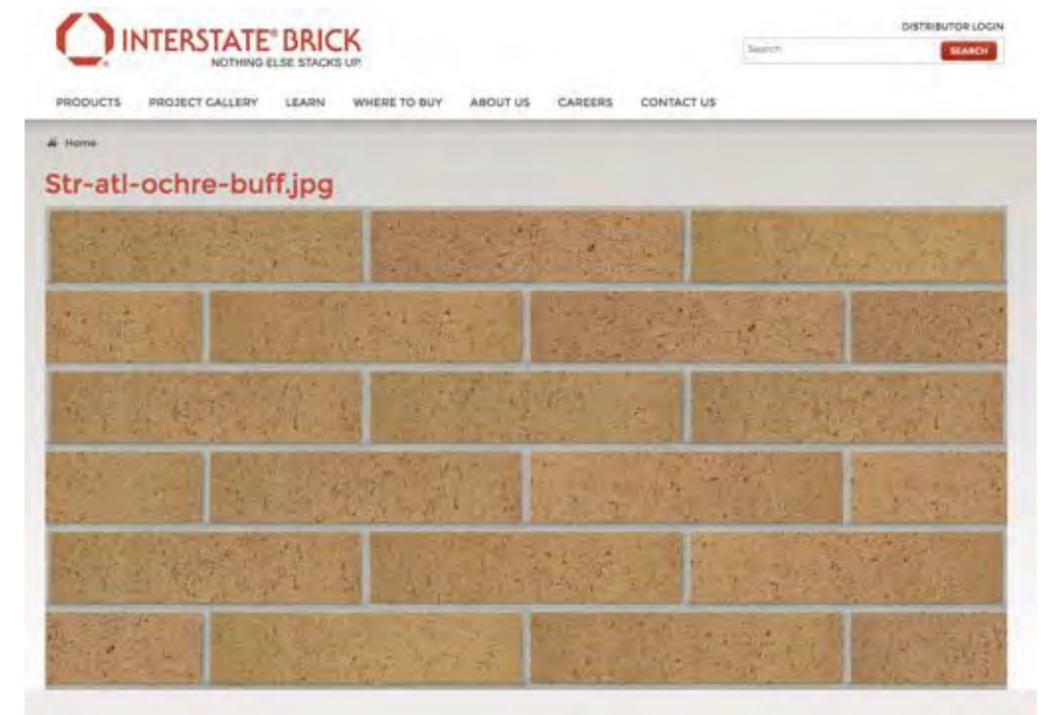
REV: 03.03.2020

WINDOW SECTIONS

A-23



FIBERGLASS SHINGLE ROOFING



NEW BUFF BRICK

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

DATE: 12.04.2019

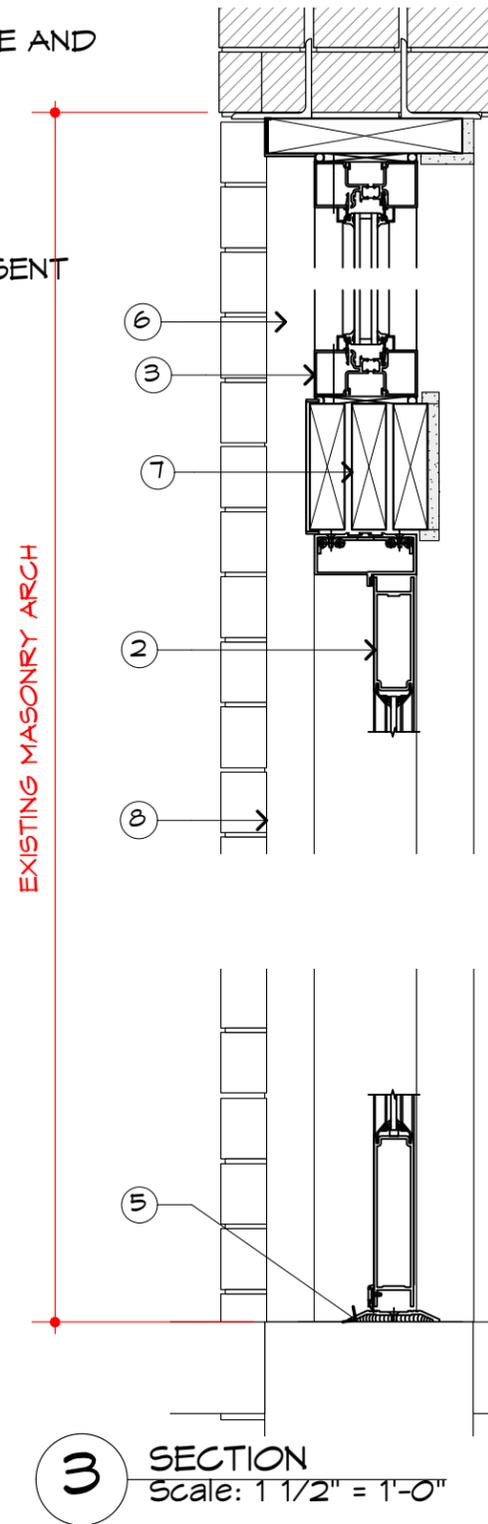
REV: 03.03.2020

MATERIALS

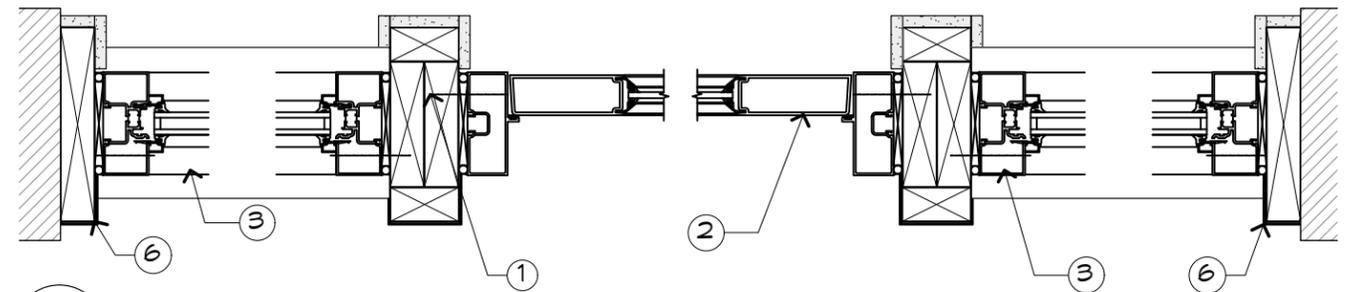
A-24

KEYNOTES:

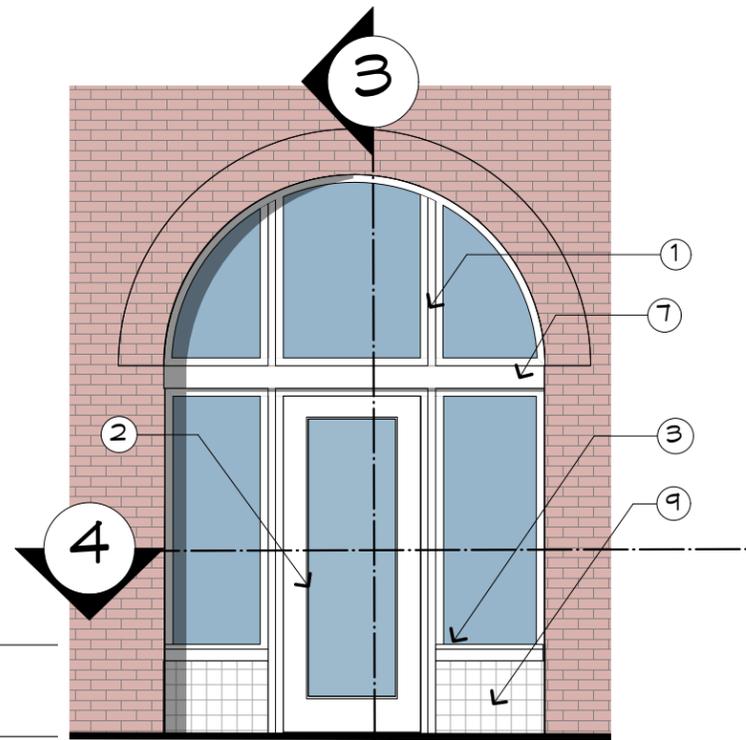
- 1. ALUMINUM WRAPPED WOOD COLUMN
- 2. WIDE STILE ALUMINUM AND GLASS DOOR
- 3. ALUMINUM STOREFRONT FRAMING SYSTEM
- 4. REPAIR EXISTING LINTEL AS REQUIRED. PRIME AND PAINT
- 5. ADA COMPLIANT THRESHOLD
- 6. ALUMINUM WRAPPED WOOD JAMB
- 7. ALUMINUM WRAPPED WOOD BEAM
- 8. REMOVE EXISTING BRICK INFILL WHERE PRESENT
- 9. TILE BASE
- 10. ALUMINUM SILL



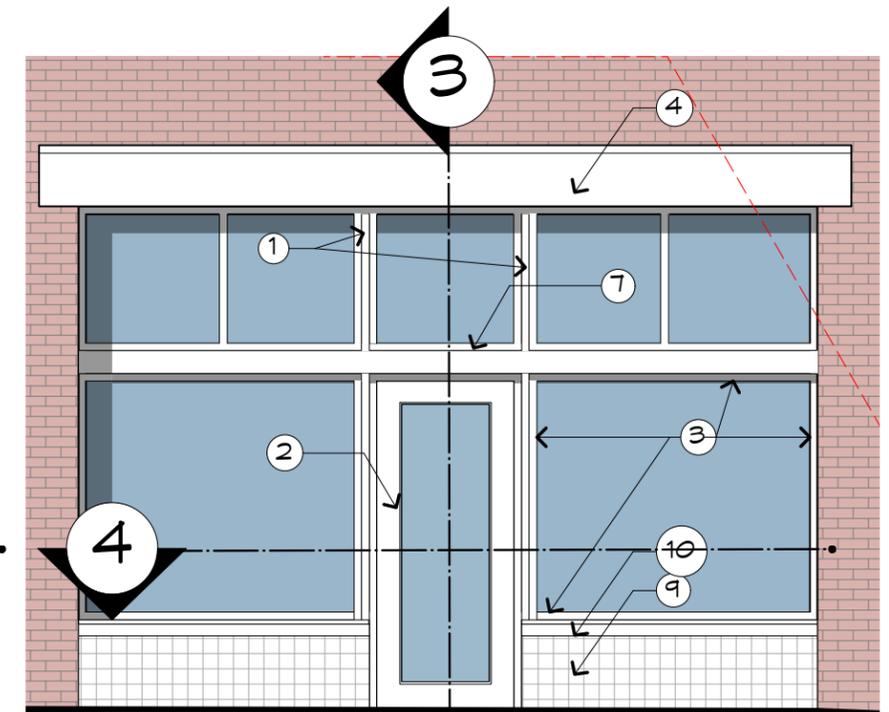
3 SECTION
Scale: 1 1/2" = 1'-0"



4 PLAN DETAIL
Scale: 1 1/2" = 1'-0"



2 ELEVATION OF ARCHED DOORS
Scale: 1/4" = 1'-0"



1 ELEVATION OF LARGE OPENING
Scale: 1/4" = 1'-0"

PROPOSED RENOVATIONS TO EXISTING BUILDING:

NINTH AND BINGHAM STREET CONDOS

901-905 BINGHAM STREET | SOUTH SIDE | PITTSBURGH | PENNSYLVANIA 15203
FOR RIVA RIDGE DEVELOPMENT

DATE: 12.04.2019
REV: 03.03.2020

WINDOW SECTIONS



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

DISTRICT:

ADDRESS OF PROPERTY:

2124 E Carson Street
 Pittsburgh PA 15203

OWNER:

NAME: Louise Popack
 ADDRESS: 24 Hillel Place
Brooklyn NY 11210
 PHONE: 347-420-3065
 EMAIL: _____

APPLICANT:

NAME: Louise Popack
 ADDRESS: 24 Hillel Place
Brooklyn NY 11210
 PHONE: 347-420-3065
 EMAIL: _____

REQUIRED ATTACHMENTS:

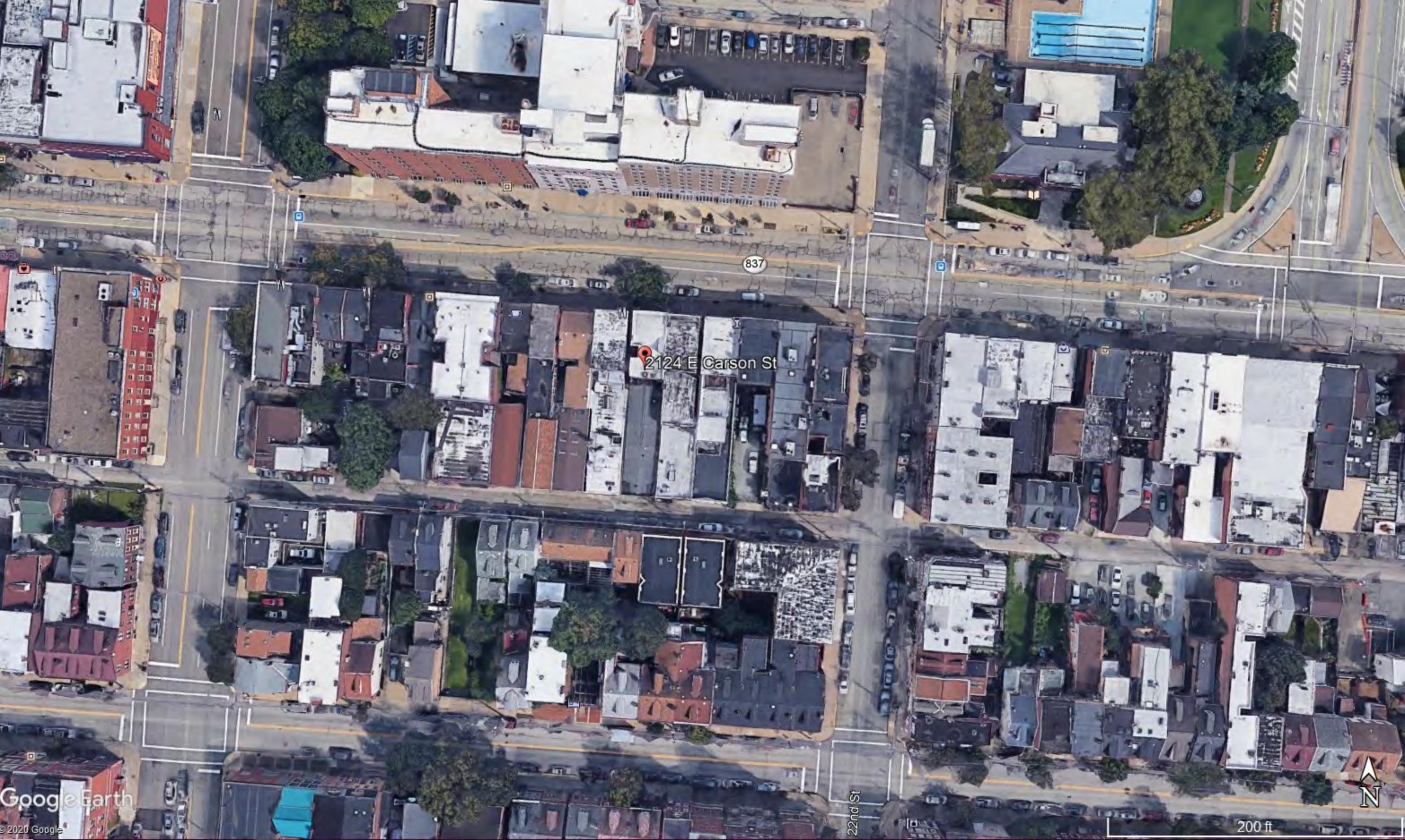
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

See attachment.

SIGNATURES:

OWNER: Louise Popack DATE: 11/27/19
 APPLICANT: Louise Popack DATE: 11/27/19



2124 E Carson St

837

22nd St

200 ft

Google Earth

© 2020 Google





DoneWright Custom Painting
622 Florence Avenue; Pittsburgh, PA 15202
DoneWrightCustomPainting@Gmail.com
(412) 689-8756

MPower
24 Hillel Place
Brooklyn, NY 11210
Site: www.mpowerenergy.com

Work Performed at: 2124 East Carson Street
Pittsburgh, PA

The following pricing is submitted to furnish necessary equipment, labor and materials to perform exterior work as outlined below for painting of the front of the building located at 2124 East Carson Street Pittsburgh, PA **The sides and back of the building will not be painted.**

The project will include the following work scope:

Power Washing of Building Exterior

- Remove all mildew off brick.
- Remove the mildew with chlorine.
- Power wash only the exterior front of the building.
- Rinse with water.

Prep work to be completed

- Hand scrape, caulk and hand sand specific areas as needed as necessary in preparation.
- I will dig out the old existing caulk around windows and recaulk around the windows.

Yogurt decal

- I will remove the Yogurt decal from the building.

Prep Exterior brick of Building

- Please note, I will apply a bonding primer on the top half of the building.
- Please note, the bottom half of the building will not need to be primed.



DoneWright Custom Painting
622 Florence Avenue; Pittsburgh, PA 15202
DoneWrightCustomPainting@Gmail.com
(412) 689-8756

- I will mask off all brick located on the exterior of the building with plastic and drop cloths as necessary to protect from our work and drop plastic and drop cloths below on ground surface to protect from paint splatters.
- I will apply masonry primer on the bricks (on the top half) to ensure the paint sticks and there is no peeling.
- It is imperative that the weather be at least 50 degrees for at least 3 days so that the paint can cure and bond.

Front of the building only will be painted

- Hand scrape and hand sand to ensure a smooth finish, and caulk as necessary in preparation.
- I will prime and paint the front top half of the building only with Benjamin Moore exterior paint on the brick area of the building by painting blue.
- The bottom half of the building does not need to be primed. I will paint the brick area of the bottom half of the building by painting multicolored boxes, blue (dark blue, light blue, and navy blue), white, and purple squares and rectangles on this specific area as notated in the diagram from Elizabeth.
- I will remove the stickers off the building.
- I will paint in white lettering "M POWER DIRECT with the symbol listed on diagram.
- The exterior doors will be painted a dark blue. Customers choice of blue paint color.
- I will paint the windows, the trim will be painted white, and the exterior surrounding the windows will be painted a dark blue.
- The customers will choose the paint colors.
- Furnish and supply a high-quality exterior paint from Benjamin Moore
- All proposed coatings will be applied per manufacturer's currently published data and industry standard "Good Painting Practice."
- Mask all adjacent surfaces as necessary to protect from our work and drop plastic to protect from paint splatters.
- Clean work area daily.

Payments: ½ down at start of the job. The balance is due upon the completion of the job.

All checks are to be made payable to James Wright or Wright Enterprises.



DoneWright Custom Painting
622 Florence Avenue; Pittsburgh, PA 15202
DoneWrightCustomPainting@Gmail.com
(412) 689-8756

Total: \$4950.00

This estimate is valid for up to six months after date of submittal. Work started after six months subject to cost revision and approval by all parties.

Very truly yours,

James J. Wright

ACCEPTANCE OF PROPOSAL: The above prices and specifications are satisfactory and hear by accepted. Acceptance of this job proposal is seven days of the submission date.

Signature _____

Date _____



DoneWright Custom Painting
622 Florence Avenue; Pittsburgh, PA 15202
DoneWrightCustomPainting@Gmail.com
(412) 689-8756

December 4, 2018

Elizabeth Cancellieri- Sales Operations Coordinator
24 Hillel Place
Brooklyn, NY 11210
Site: www.mpowerenergy.com
Phone (718) 360-1404

Work Performed at: 2124 East Carson Street
Pittsburgh, PA
Attention: Elizabeth Cancellieri
Email address: ElizabethC@mpowerenergy.com

The following pricing is submitted to furnish necessary equipment, labor and materials to perform exterior work as outlined below for painting of the **bottom half of the building** located at 2124 East Carson Street Pittsburgh, PA **The sides and back of the building will not be painted.**

The project will include the following work scope:

Power Washing of Front of the Building Exterior Only

- Remove all mildew off brick.
- Remove the mildew with chlorine.
- Power wash only the exterior front of the building.
- Rinse with water.

Prep work to be completed

- Hand scrape, caulk and hand sand specific areas as needed as necessary in preparation.
- I will dig out the old existing caulk around windows and, I will recaulk around the windows.

Yogurt decal

- I will remove the Yogurt decal from the building



DoneWright Custom Painting
622 Florence Avenue; Pittsburgh, PA 15202
DoneWrightCustomPainting@Gmail.com
(412) 689-8756

Prep Exterior brick of Building

- I will mask off all brick located on the exterior of the building with plastic and drop cloths as necessary to protect from our work and drop plastic and drop cloths below on ground surface to protect from paint splatters.
- It is imperative that the weather be at least 50 degrees for at least 3 days so that the paint can cure and bond.

Front of the building only will be painted

- Hand scrape and hand sand to ensure a smooth finish, and caulk as necessary in preparation.
- The bottom half of the building does not need to be primed. I will paint the brick area of the bottom half of the building by painting multicolored boxes, blue (dark blue, light blue, and navy blue), white, and purple squares and rectangles on this specific area as notated in the diagram from Elizabeth.
- I will remove the stickers off the building.
- I will paint in white lettering "M POWER DIRECT with the symbol listed on diagram.
- The exterior doors will be painted a dark blue. Customers choice of blue paint color.
- I will paint the windows, and the exterior surrounding the windows below on the bottom half.
- The customer will choose the paint colors.
- Furnish and supply a high-quality exterior paint from Benjamin Moore
- All proposed coatings will be applied per manufacturer's currently published data and industry standard "Good Painting Practice."
- Mask all adjacent surfaces as necessary to protect from our work and drop plastic to protect from paint splatters.
- Clean work area daily.

Payments: ½ down at start of the job. The balance is due upon the completion of the job.

All checks are to be made payable to James Wright or Wright Enterprises.



DoneWright Custom Painting
622 Florence Avenue; Pittsburgh, PA 15202
DoneWrightCustomPainting@Gmail.com
(412) 689-8756

Total: Discount for customer **\$2,100.00**

This estimate is valid for up to six months after date of submittal. Work started after six months subject to cost revision and approval by all parties.

Very truly yours,

James J. Wright

ACCEPTANCE OF PROPOSAL: The above prices and specifications are satisfactory and hereby accepted. Acceptance of this job proposal is seven days of the submission date.

Signature

Date




yogurt

2124





Division of Zoning and Development Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

LOT 22-P-15, LIVERPOOL ST.
PITTSBURGH PA 15233

OWNER:

NAME: CAMILLE GOLEB & JEFFREY RIGO

ADDRESS: 4124 BULTER ST #4
PITTSBURGH PA 15201

PHONE: _____

EMAIL: _____

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

APPLICANT:

NAME: ROBERT BAUMBACH

ADDRESS: 900 MIDDLE ST.
PITTSBURGH PA 15212

PHONE: 412.266.4425

EMAIL: bob.baumbach@comcast.net

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

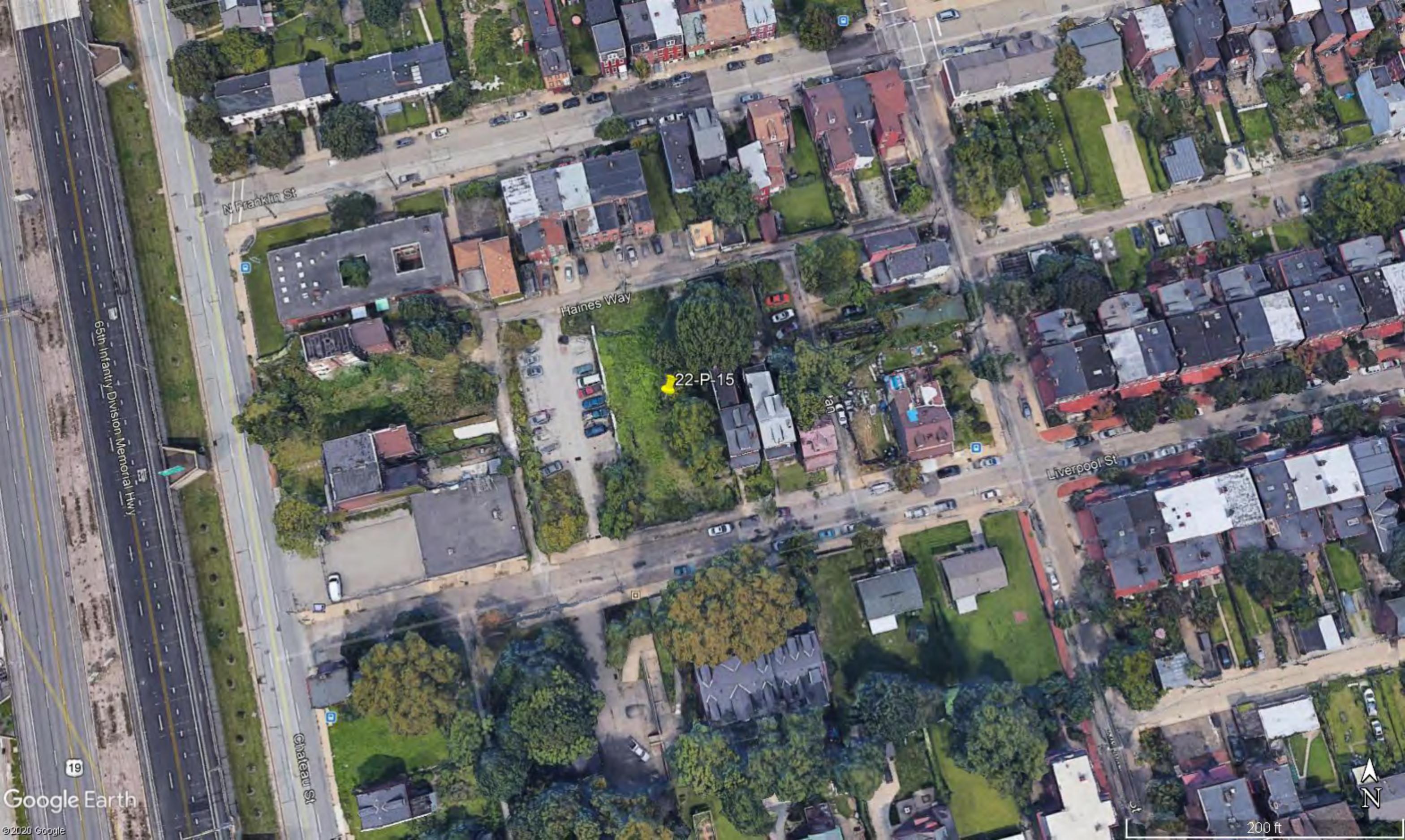
DETAILED DESCRIPTION OF PROPOSED PROJECT:

NEW 2-STORY RESIDENCE WITH FRONT & REAR PORCHES,
FENCE AND DETACHED GARAGE

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: Robert Baumbach DATE: 5/15/2020



N Franklin St

Haines Way

22-P-15

Liverpool St

Chateau St

65th Infantry Division Memorial Hwy

19

Google Earth

©2020 Google

200 ft





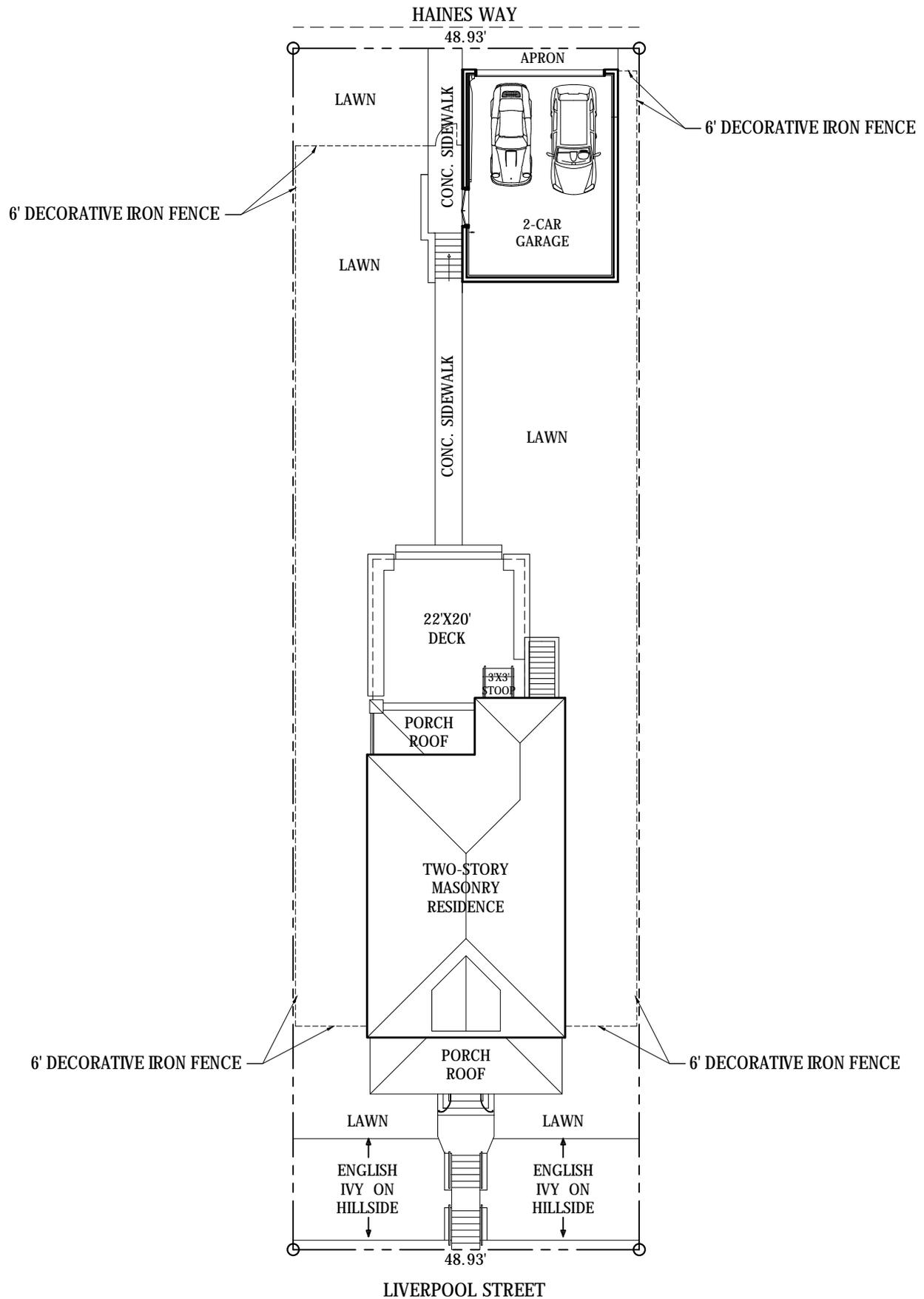
LIVERPOOL STREETVIEW, LOOKING WEST TOWARDS PROPOSED SITE



LIVERPOOL STREETVIEW, LOOKING EAST WITH SITE ON LEFT SIDE

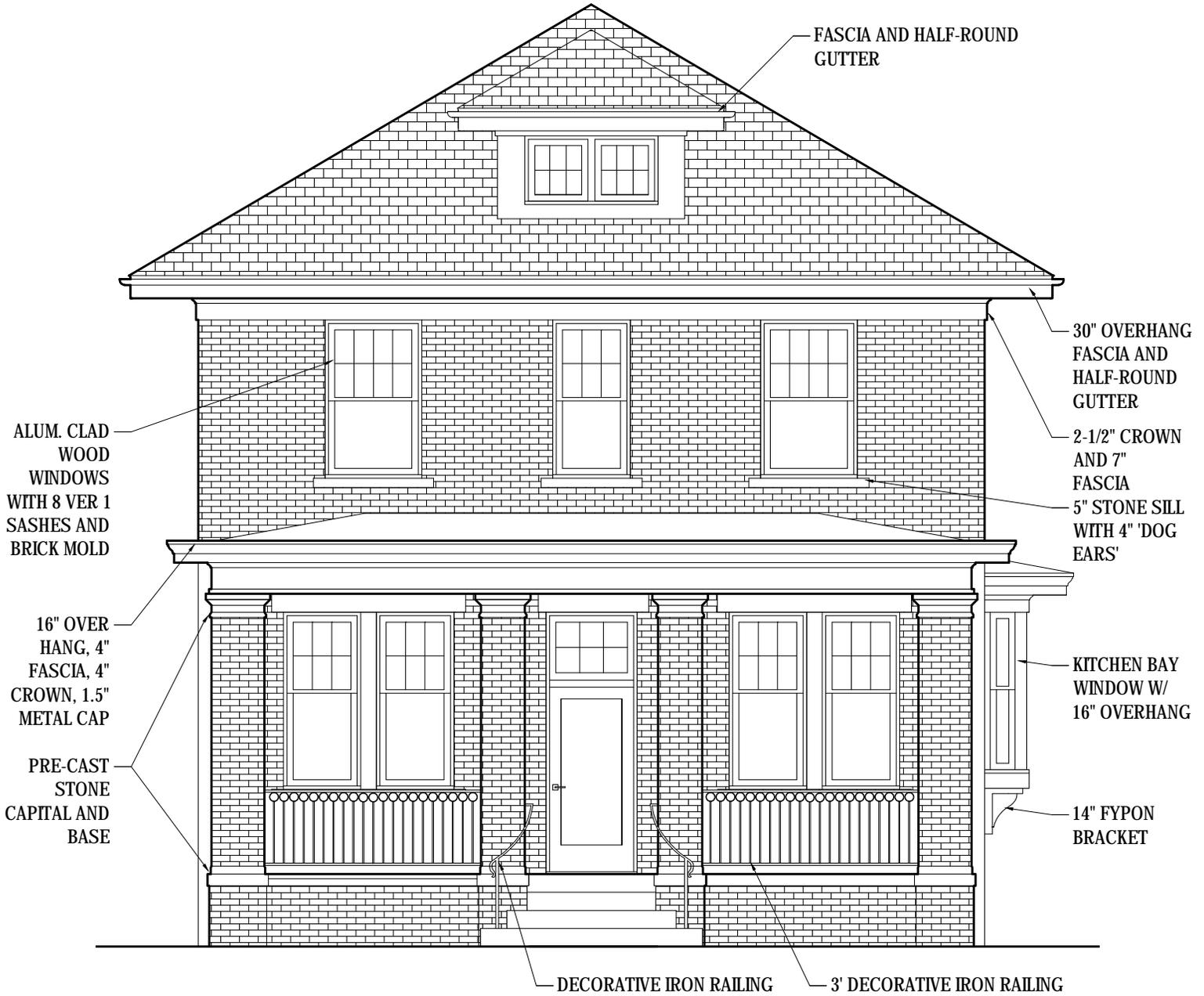


EXAMPLE HOUSE



01 PROPOSED SITE PLAN

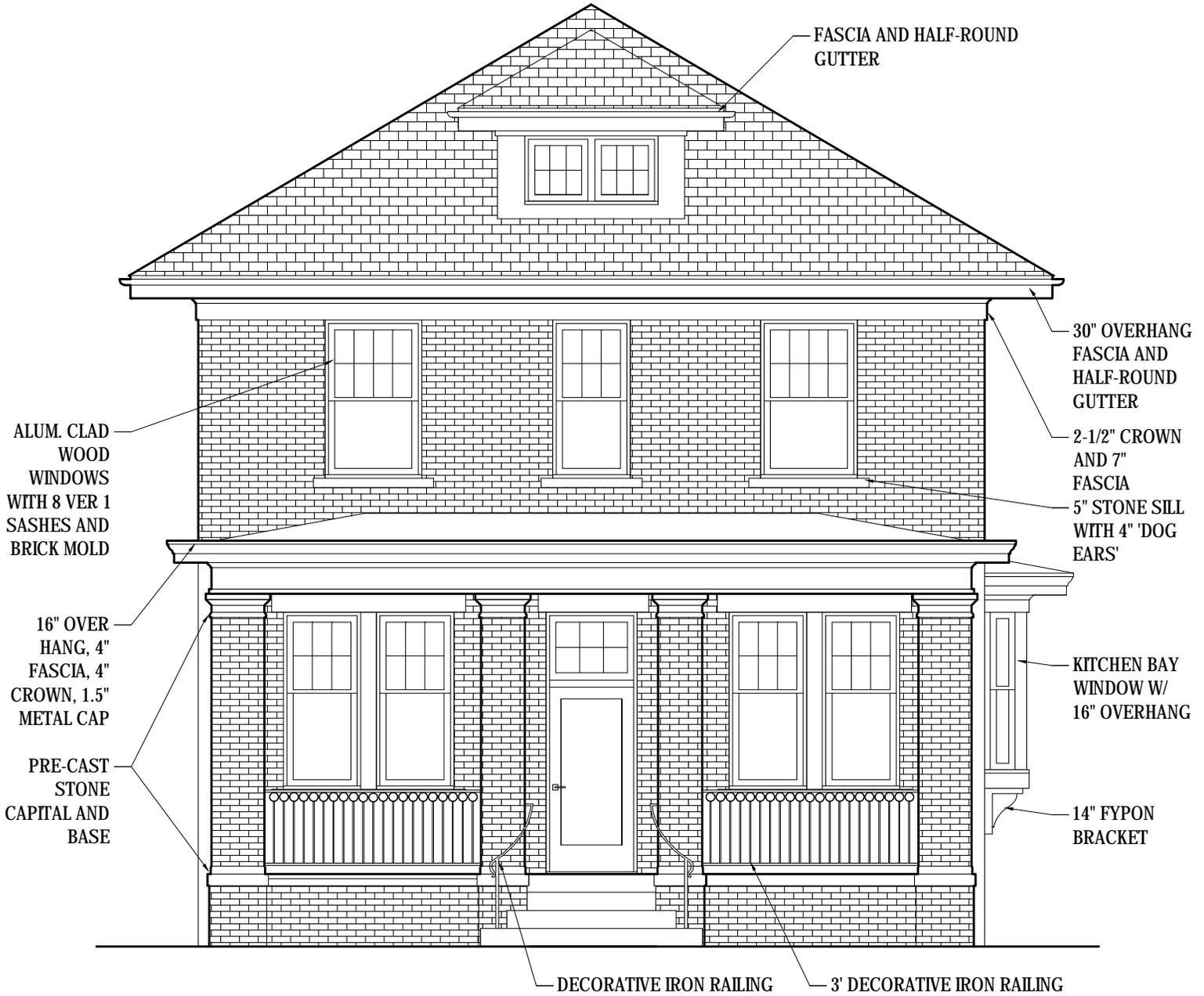
SCALE: 1":20' 5-15-2020



02 PROPOSED SOUTH ELEVATION

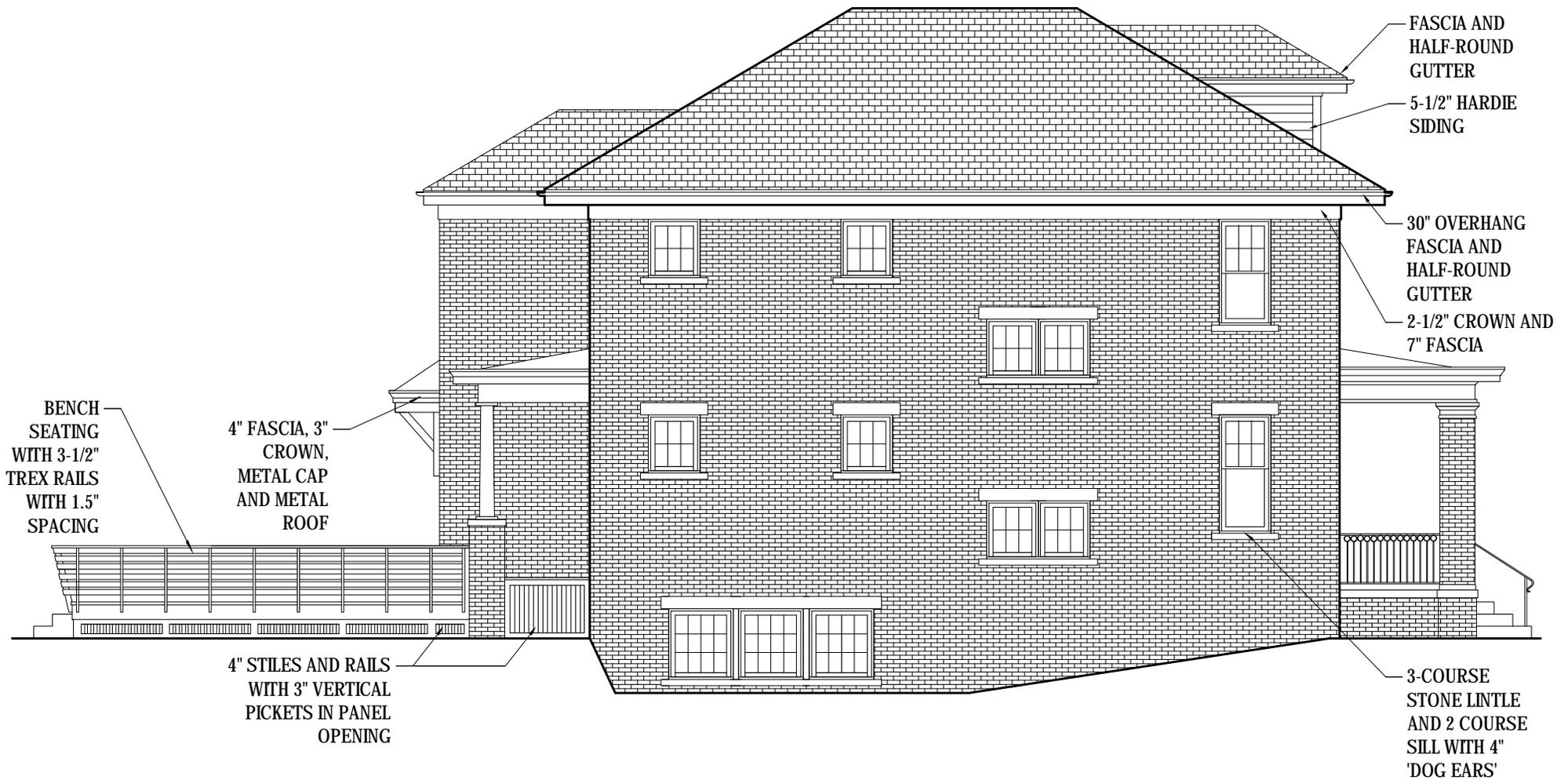
SCALE: 3/16":1'-0"

5-15-2020



02 PROPOSED SOUTH ELEVATION
 SCALE: 3/16":1'-0"

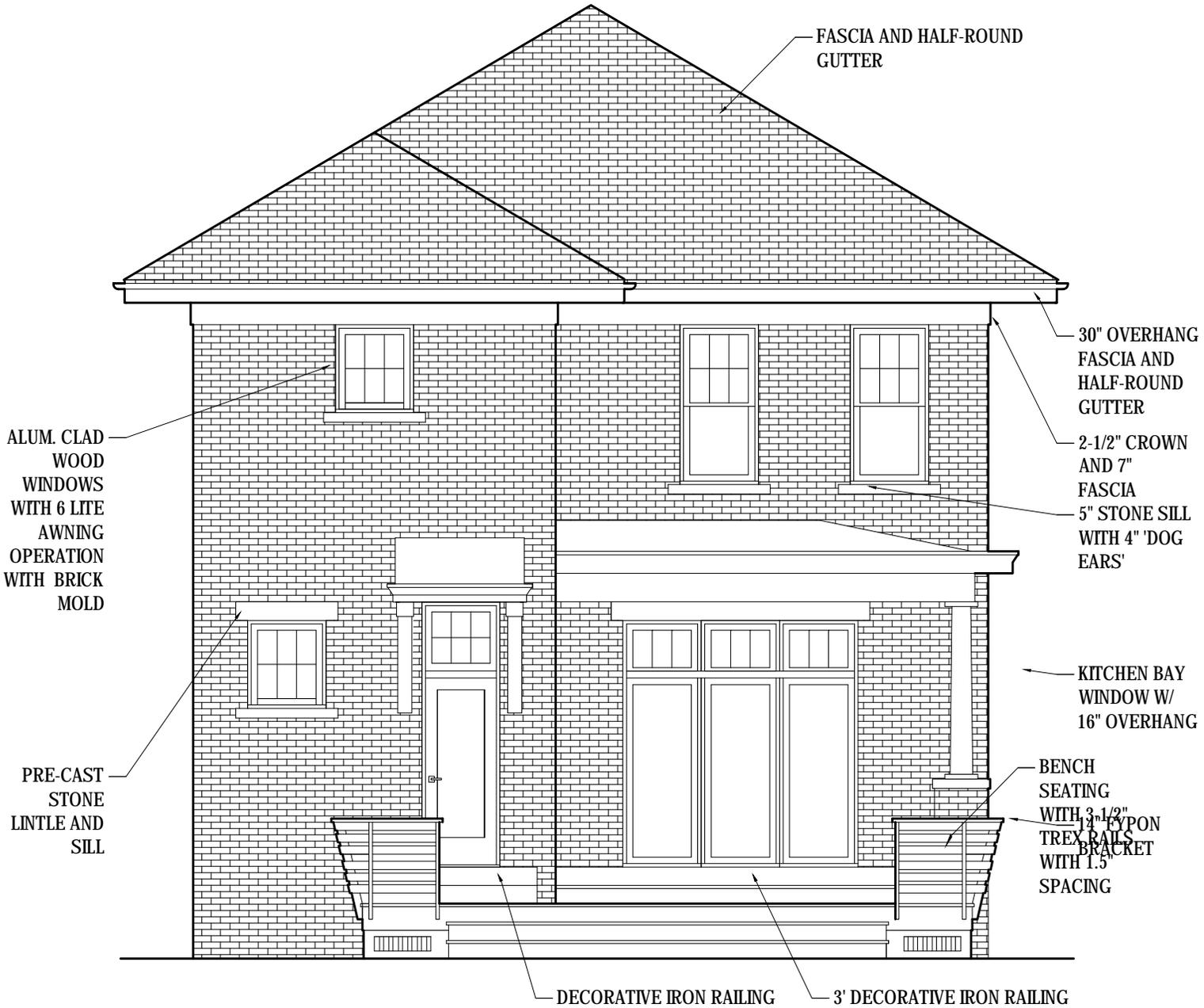
5-15-2020



03 PROPOSED WEST ELEVATION

SCALE: 1/8"=1'-0"

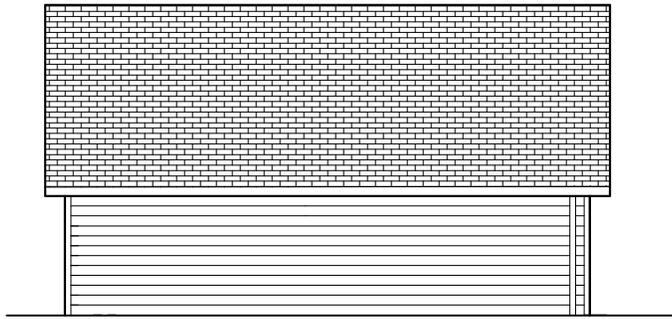
5-15-2020



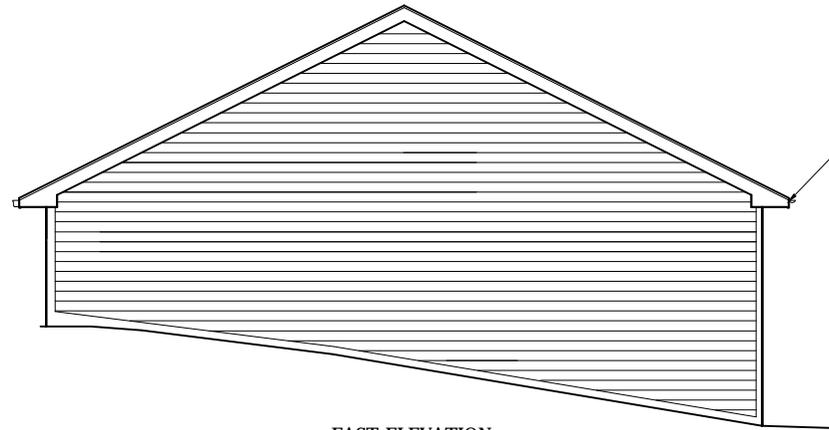
04 PROPOSED NORTH ELEVATION
 SCALE: 3/16":1'-0" 5-15-2020



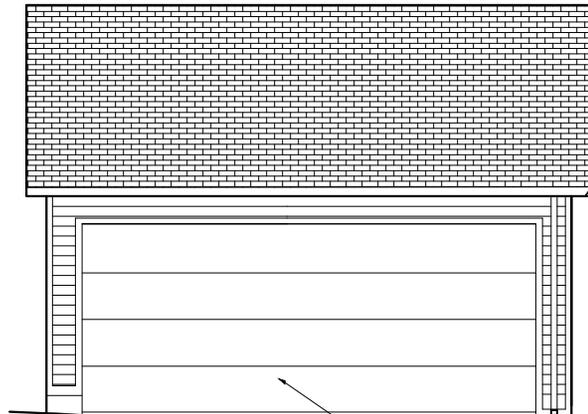
05 PROPOSED EAST ELEVATION
 SCALE: 1/8"=1'-0" 5-15-2020



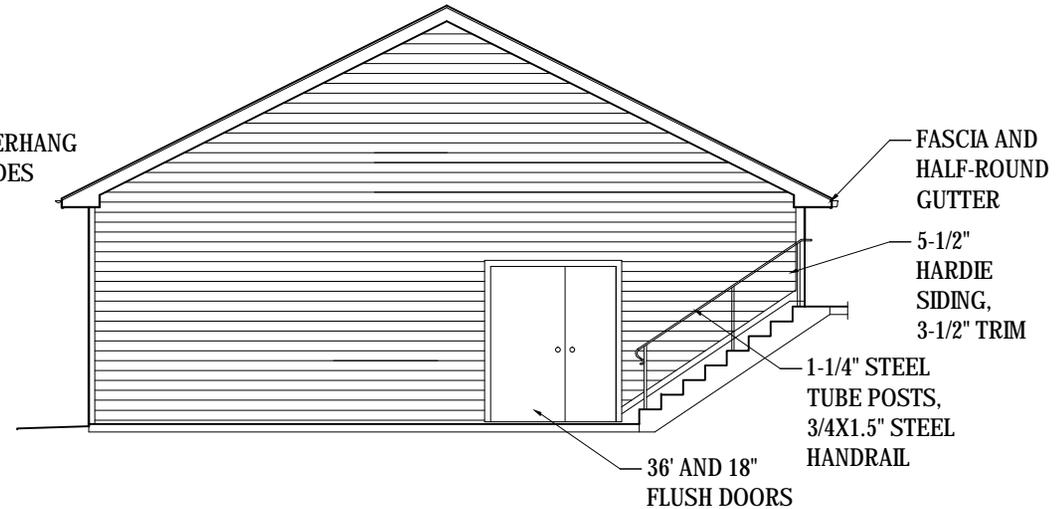
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

06 PROPOSED GARAGE ELEVATIONS
 SCALE: 1/8"=1'-0" 5-15-2020

Camille Goleb and Jeffrey Rigo
Historic Review Commission
Railing Photo



4.5-ft x 6.31-ft) Aluminum Flat-Top Decorative Metal Fence



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1447 STEDMAN STREET
PITTSBURGH PA 15233

OWNER:

NAME: SIGNIFICANCE 3251 INC
 ADDRESS: 1426 SHEFFIELD ST
PITTSBURGH PA 15233

PHONE: _____

EMAIL: _____

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

MANCHESTER

APPLICANT:

NAME: ROBERT BAUMBACH

ADDRESS: 900 MIDDLE ST

PHONE: 412.266.4425

EMAIL: bob.baumbach@comcast.net

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

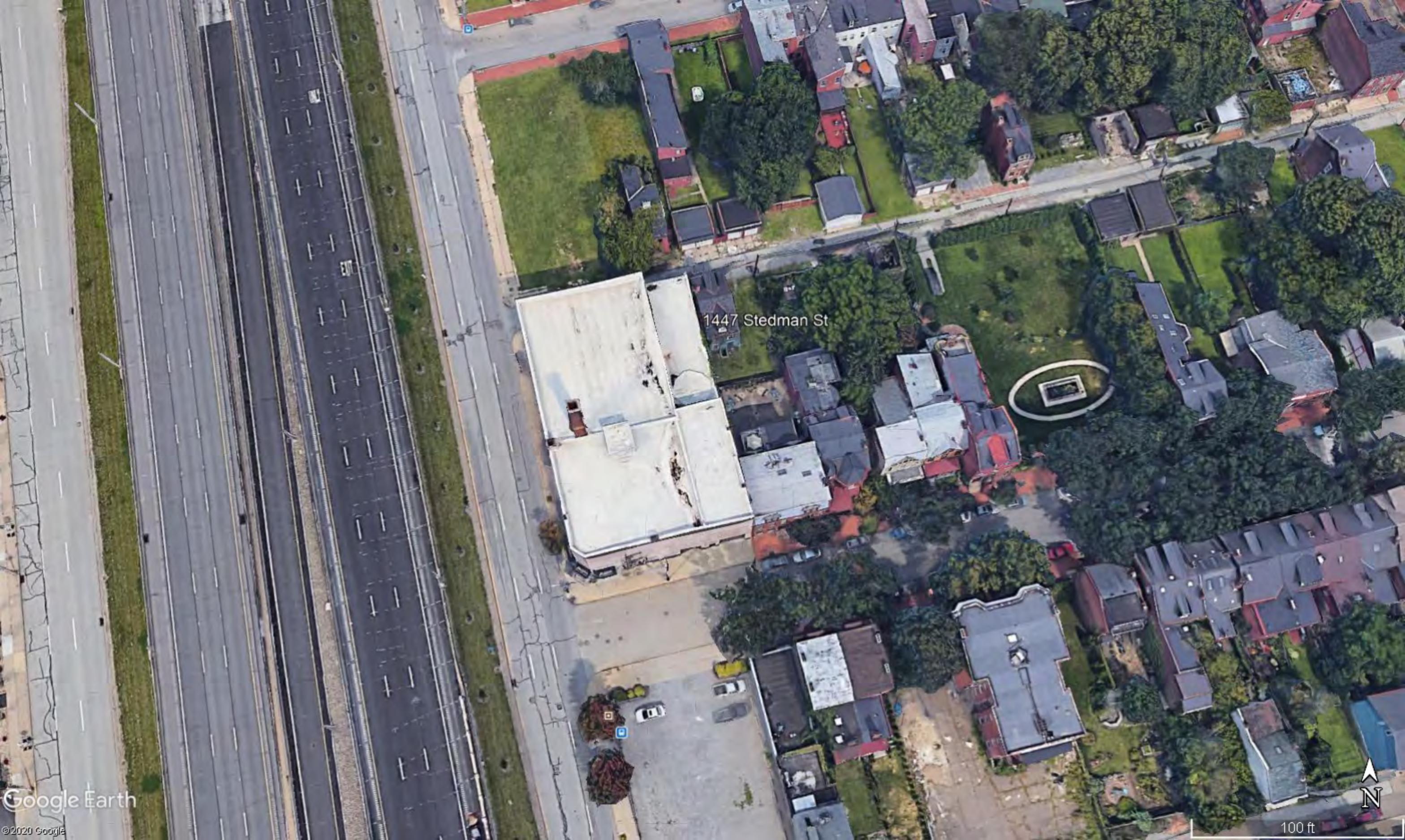
OWNER HAS REQUESTED THE FOLLOWING CHANGES FROM ORIGINAL HRC
APPROVAL: NEW WINDOW AT GABLE END, REDUCED WINDOWS ON NORTH ELE.
CURVED CHEEK WALLS ON STEPS

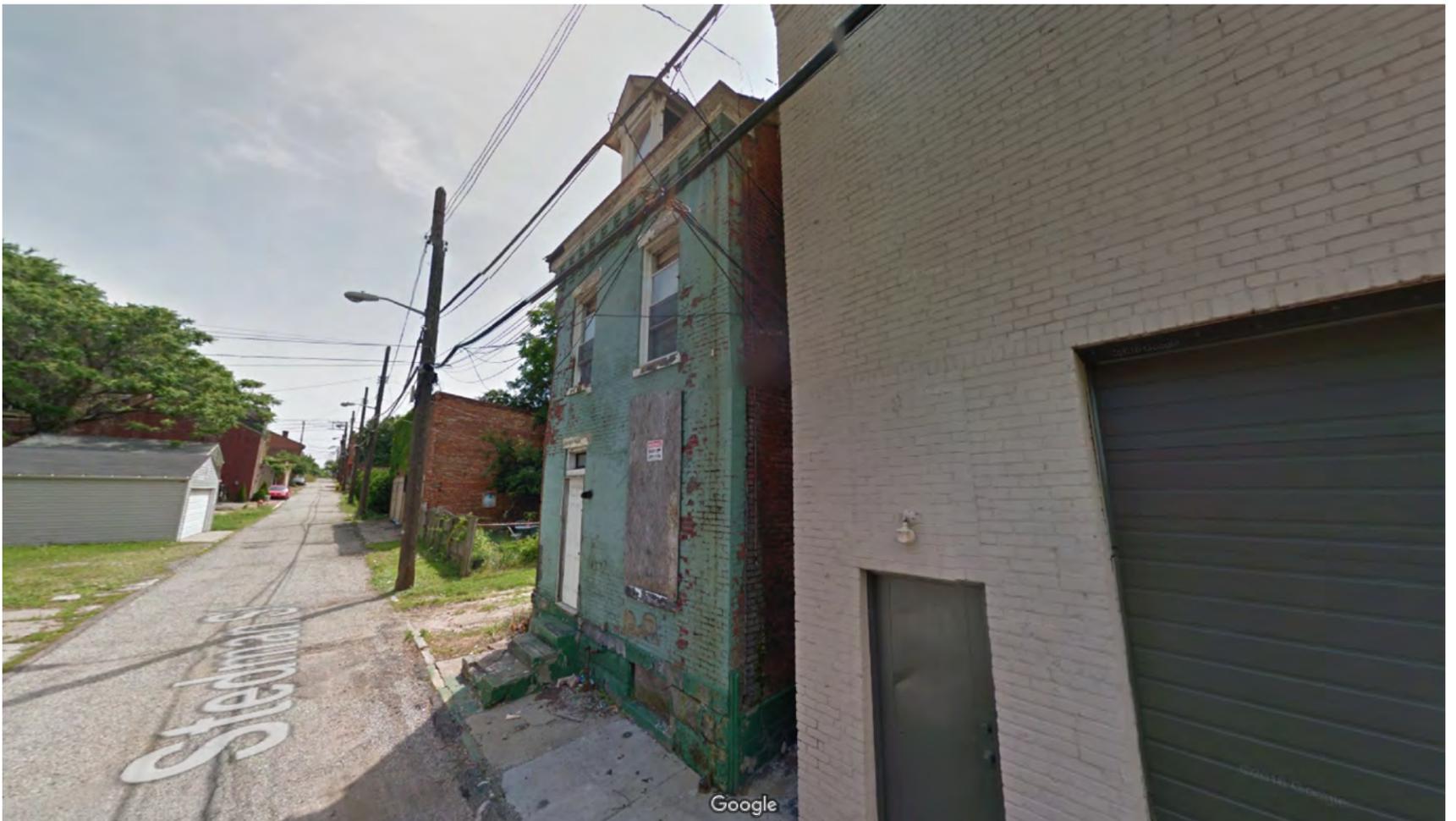
SIGNATURES:

OWNER: _____ DATE: _____

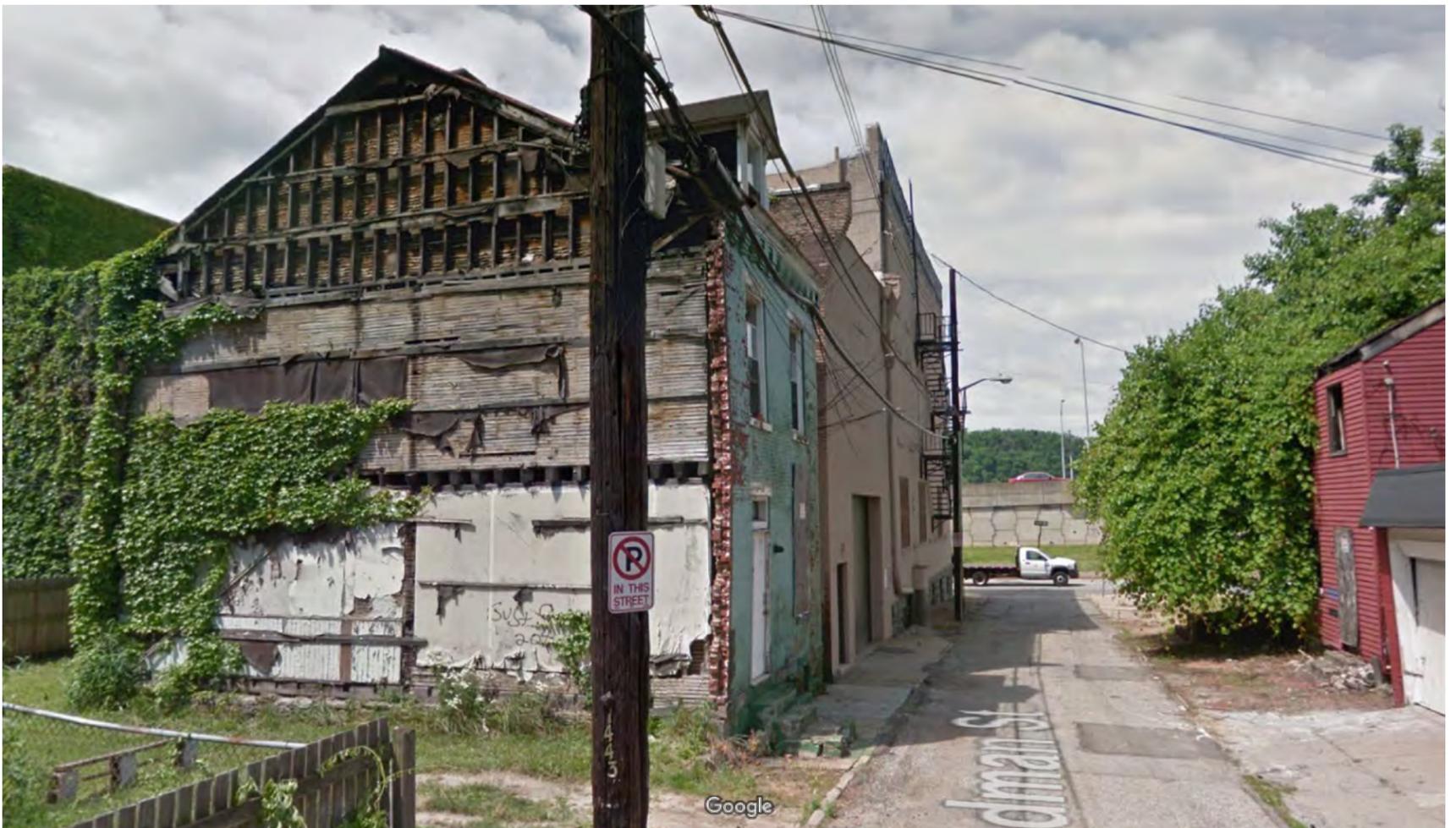
APPLICANT: Robert Baumbach DATE: 6/10/2020

1447 Stedman St



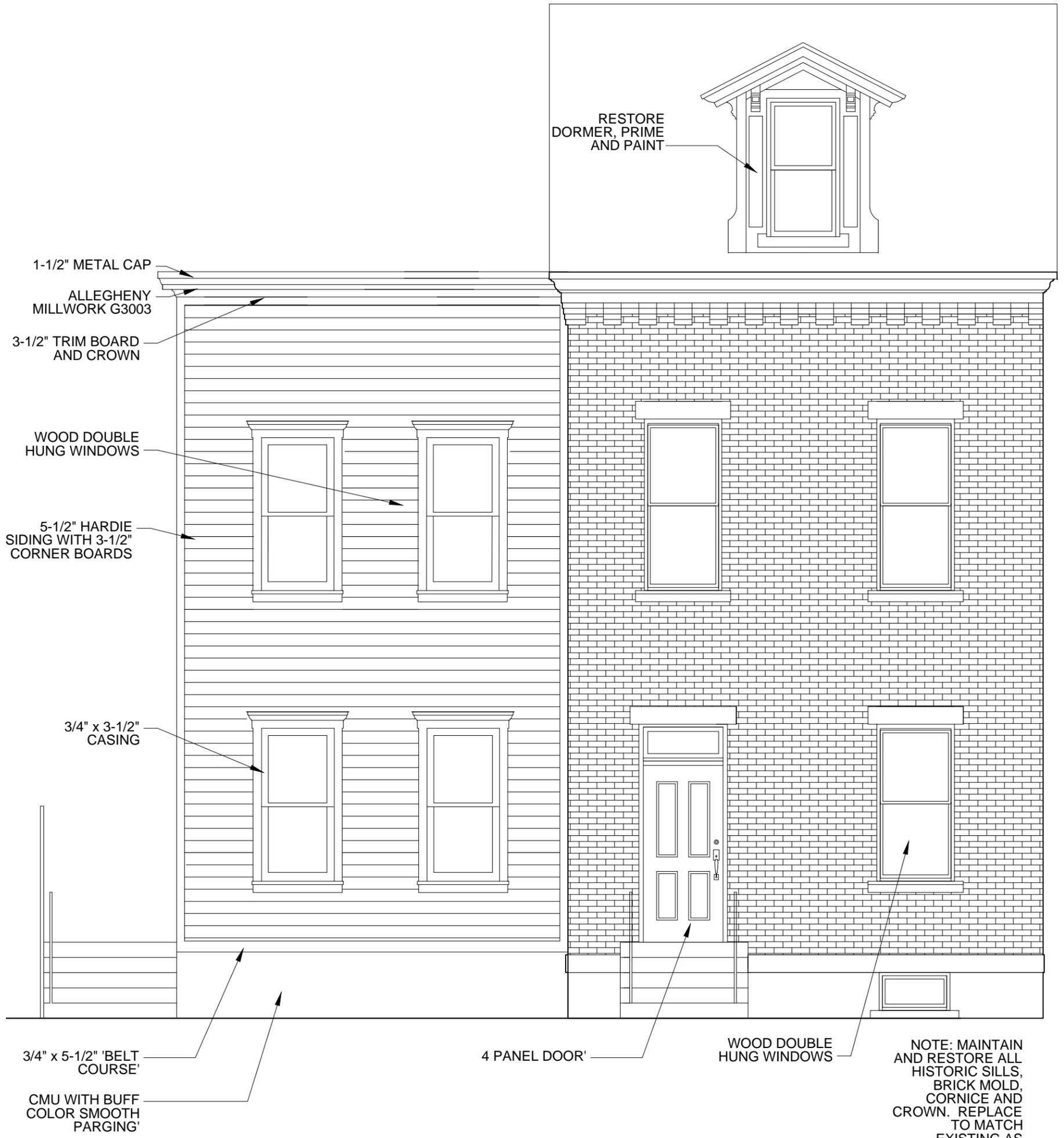


STEDMAN STREET - LOOKING EAST TOWARD MANHATTAN ST.



STEDMAN STREET - LOOKING WEST TOWARD RT. 65

1447
STEDMAN ST.
PITTSBURGH, PA 15219



RESTORE
DORMER, PRIME
AND PAINT

1-1/2" METAL CAP

ALLEGHENY
MILLWORK G3003

3-1/2" TRIM BOARD
AND CROWN

WOOD DOUBLE
HUNG WINDOWS

5-1/2" HARDIE
SIDING WITH 3-1/2"
CORNER BOARDS

3/4" x 3-1/2"
CASING

3/4" x 5-1/2" 'BELT
COURSE'

CMU WITH BUFF
COLOR SMOOTH
PARGING'

4 PANEL DOOR'

WOOD DOUBLE
HUNG WINDOWS

NOTE: MAINTAIN
AND RESTORE ALL
HISTORIC SILLS,
BRICK MOLD,
CORNICE AND
CROWN. REPLACE
TO MATCH
EXISTING AS
NEEDED.

01 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

1447
STEDMAN ST.
PITTSBURGH, PA 15219



02 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

1447
STEDMAN ST.
PITTSBURGH, PA 15219



STEDMAN STREET ELEVATION - SPRING OF 2020

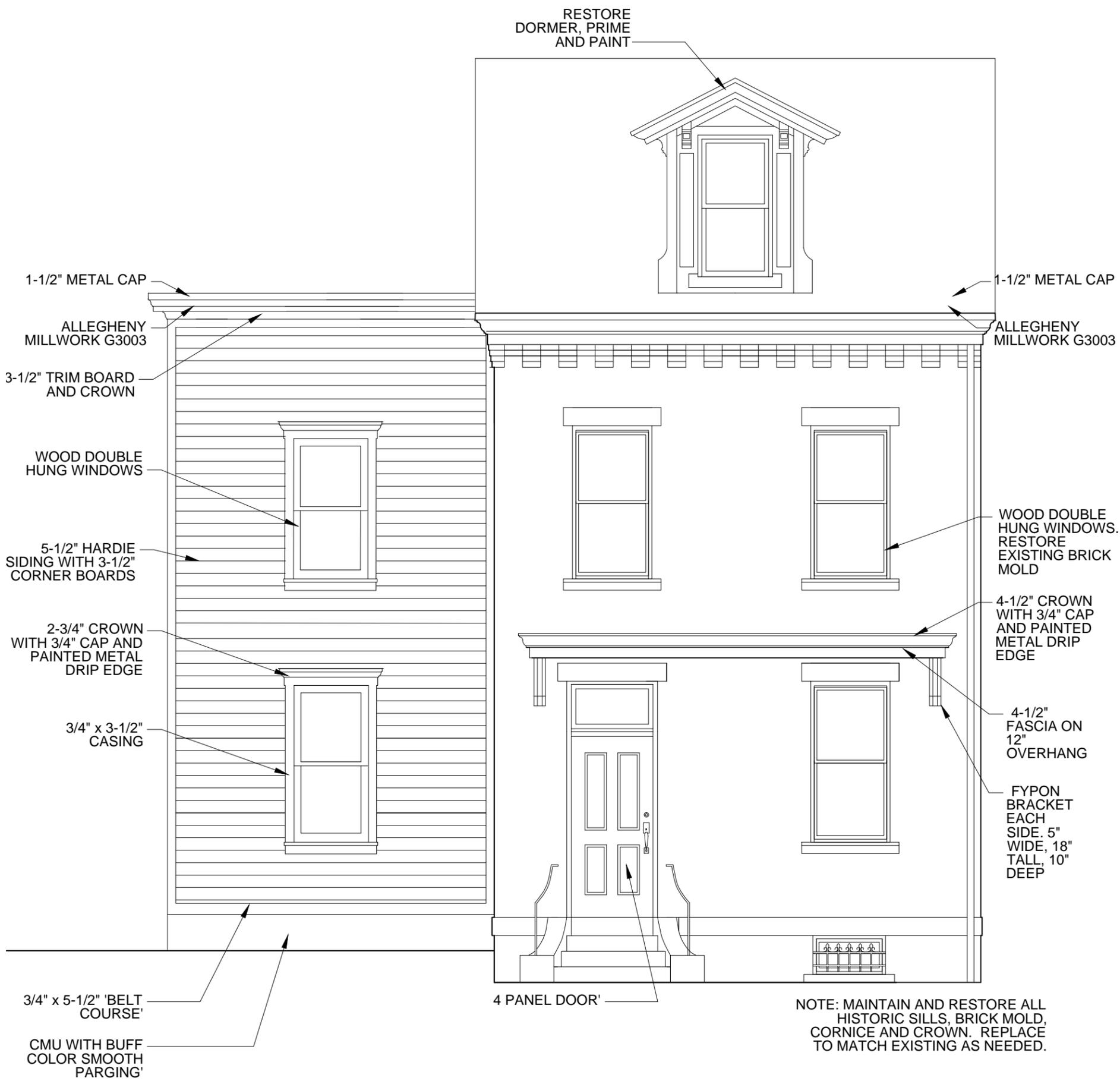
1447

STEDMAN ST.
PITTSBURGH, PA 15219



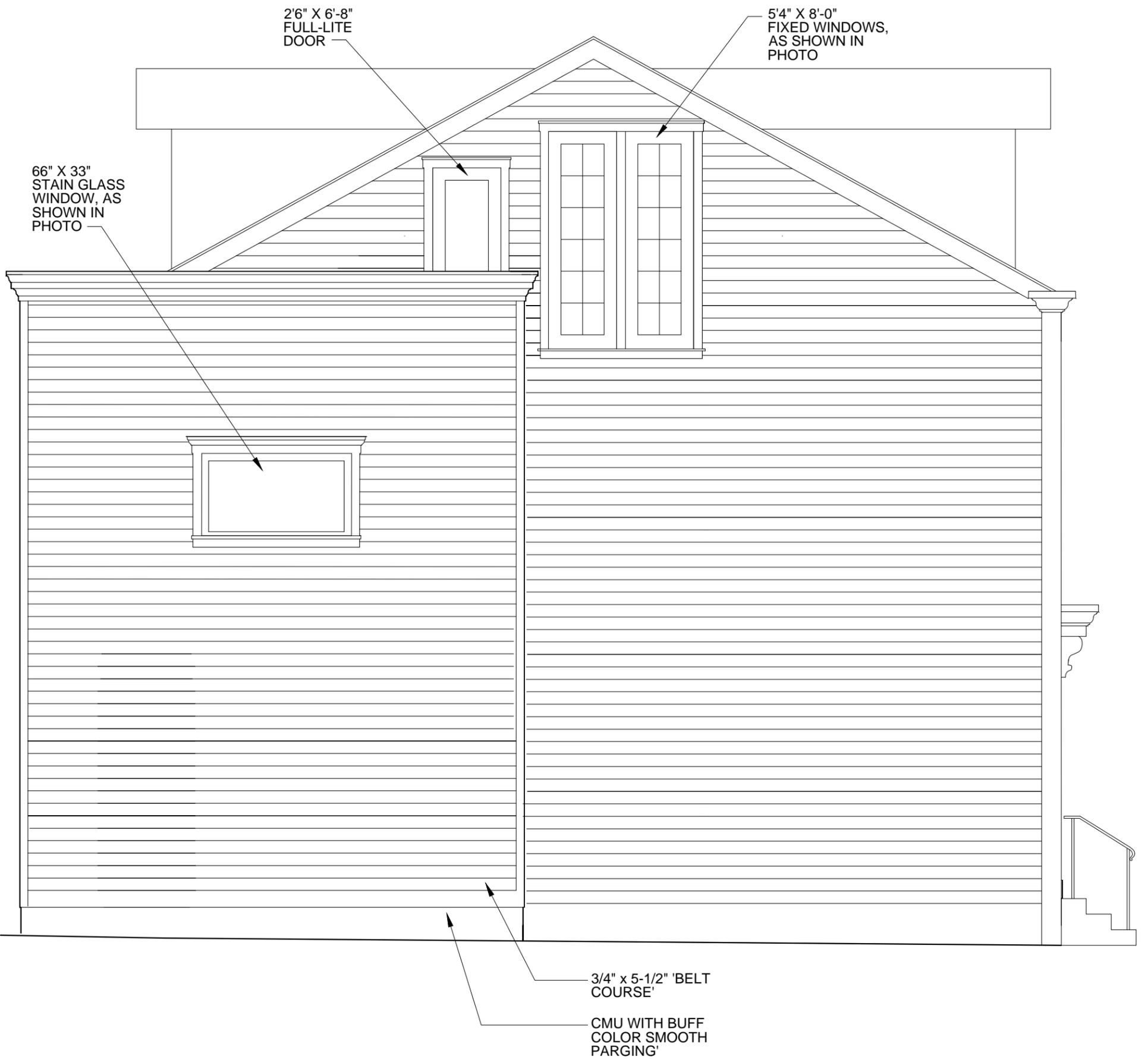
STEDMAN STREET - LOOKING WEST TOWARD RT. 65

1447
STEDMAN ST.
PITTSBURGH, PA 15219



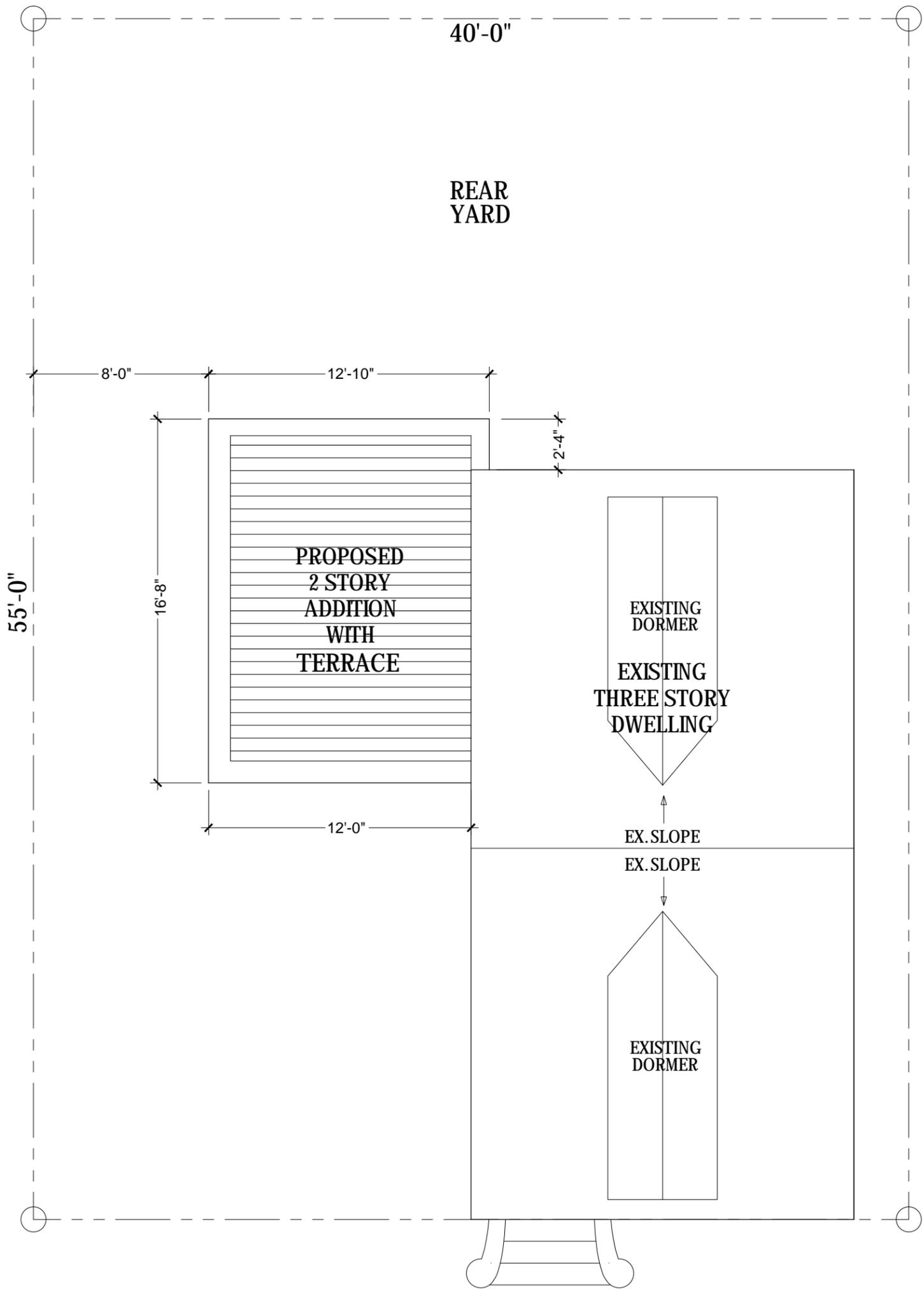
01 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

1447
STEDMAN ST.
PITTSBURGH, PA 15219



02 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

1447
STEDMAN ST.
PITTSBURGH, PA 15219

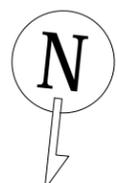


STEDMAN STREET



SIGNIFICANCE 3251 INC.

1447
STEDMAN ST.
PITTSBURGH, PA 15219





HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

236 Fifth Avenue
Pittsburgh, PA

OWNER:

NAME: MSP COMMERCIAL SUBTENANT, L.P
 ADDRESS: 380 SOUTHPOINT BLVD, 400
CANNONSBURG, PA 15317
 PHONE: 724-554-0831
 EMAIL: CWHEATLEY@MILLCRAFTIDEAS.COM

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

MARKET SQUARE

APPLICANT:

NAME: FITNESS INTERNATIONAL, LLC
 ADDRESS: 3161 MICHELSON DRIVE, SUITE 600
IRVINE, CA 92612
 PHONE: 224-244-8422
 EMAIL: GARYC@FITNESSINTL.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

TENANT SIGNAGE AND AWNINGS FOR FITNESS INTERNATIONAL, LLC (HEALTH CLUB)
TO OCCUPY APPROX. 36,546 SQUARE FEET WITHIN THE EXISTING MULTI-TENANT
BUILDING.

SIGNATURES:

OWNER: _____ DATE: _____
CHAD R. WHEATLEY, SR. VICE PRESIDENT, DEVELOPMENT & CONSTRUCTION

APPLICANT:  _____ DATE: FEBRUARY 4, 2020
Digitally signed by garyc@lafitness.com
 Date: 2020.02.04 15:06:33 -06'00'
GARY COLLINS, VICE PRESIDENT, DEVELOPMENT



236 Fifth Ave





Fifth Avenue Elevation

GENERAL NOTES:

1. Information provided for design intent only. Design professional of record is responsible for verification of all applicable code requirements. Wall types illustrated are for preliminary space planning only; the design professional shall be responsible for code conformance and floor plan development per LAF's programming criteria. These plans are specifically not for use as layers to be imported into documents / files or to be used as tracing underlayment(s) for construction documents / files by the professional of record for this or any other project.



Forbes Avenue Elevation

GENERAL NOTES:

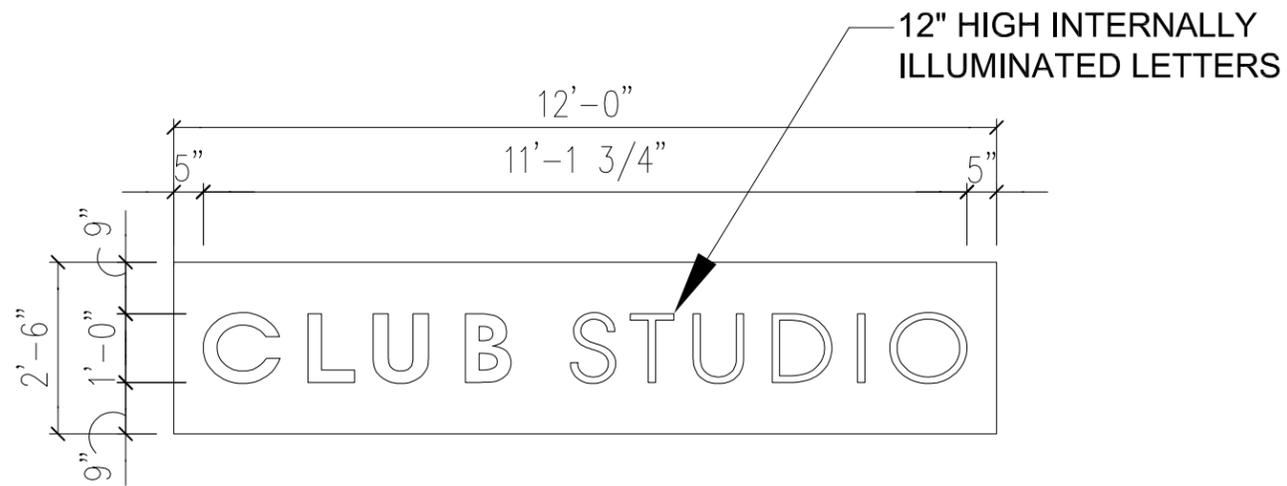
1. Information provided for design intent only. Design professional of record is responsible for verification of all applicable code requirements. Wall types illustrated are for preliminary space planning only; the design professional shall be responsible for code conformance and floor plan development per LAF's programming criteria. These plans are specifically not for use as layers to be imported into documents / files or to be used as tracing underlayment(s) for construction documents / files by the professional of record for this or any other project.



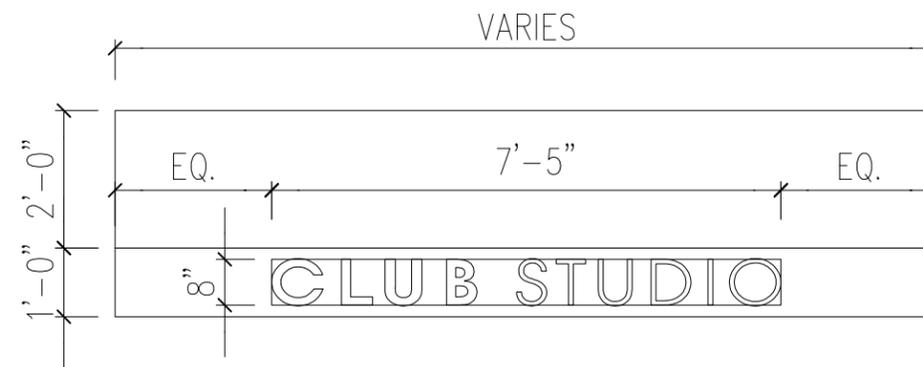
McMasters Way Elevation

GENERAL NOTES:

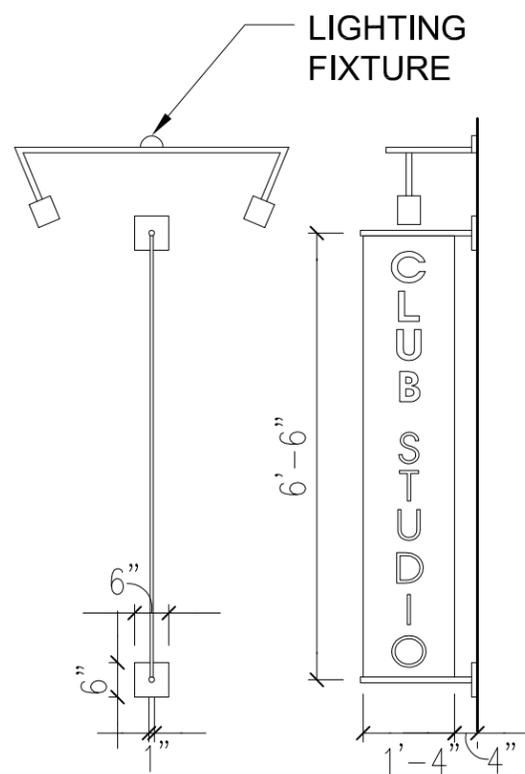
1. Information provided for design intent only. Design professional of record is responsible for verification of all applicable code requirements. Wall types illustrated are for preliminary space planning only; the design professional shall be responsible for code conformance and floor plan development per LAF's programming criteria. These plans are specifically not for use as layers to be imported into documents / files or to be used as tracing underlayment(s) for construction documents / files by the professional of record for this or any other project.



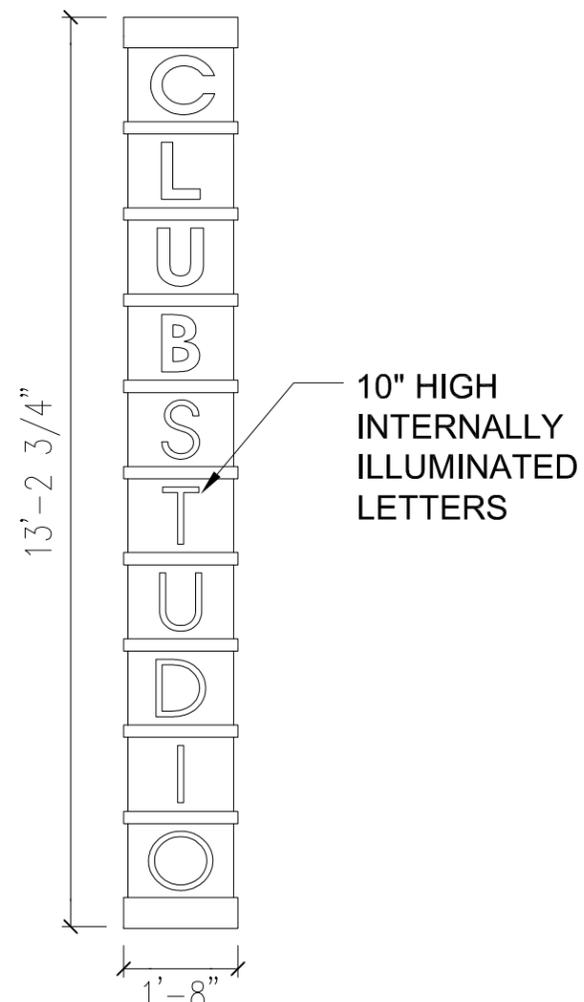
A SIGN "A" DETAIL (WALL)
SCALE: 3/8" = 1'-0"



B SIGN "B" DETAIL (CANOPY)
SCALE: 3/8" = 1'-0"



C SIGN "C" DETAIL (BANNER)
SCALE: 3/8" = 1'-0"



D SIGN "D" DETAIL (WALL)
SCALE: 3/8" = 1'-0"

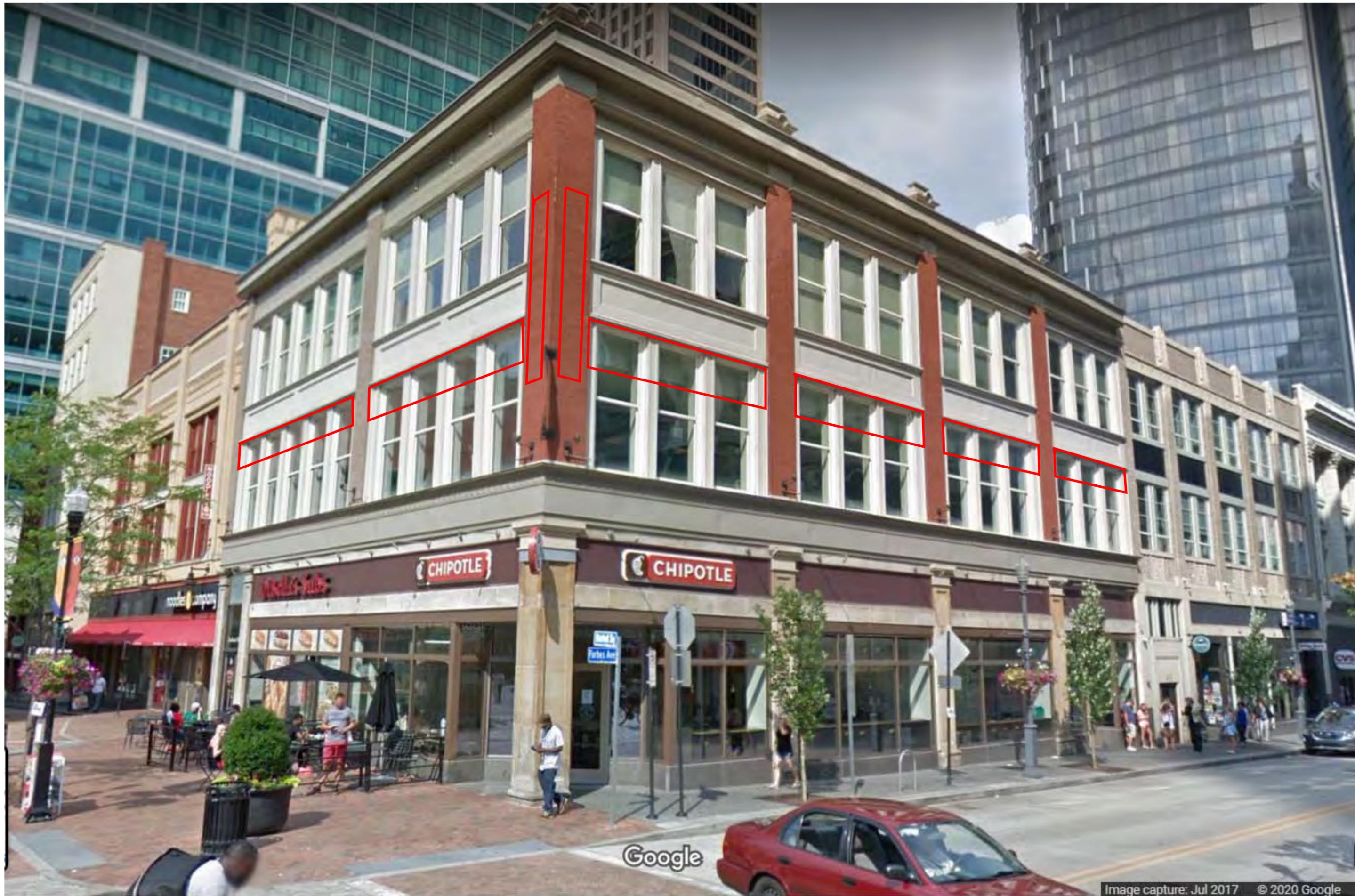
SIGN TYPES

SIGN TYPE	A (WALL)	B (CANOPY)	C (BANNER)	D (WALL)	TOTAL SF
SF	30 SF	5 SF	8.5 SF	22 SF	
DIMENSIONS	2'-6" X 12'-2"	7'-5" X 8"	1'-4" X 6'-6"	1'-8" X 13'-2 3/4"	
QUANTITY	1	13	2	2	
TOTAL SF	30 SF	65 SF	17 SF	44 SF	156 SF

SIGN SUMMARY

FACADE	WALL		PROJECTING		TOTAL	
	QTY	AREA	QTY	AREA	QTY	AREA
FIFTH AVE	6	55 SF	2	17 SF	8	72
FORBES AVE	5	42 SF	0	0	5	42
McMASTERS WAY	5	42 SF	0	0	5	42
TOTAL SF	16	139 SF	2	17 SF	18	156 SF





Google