

27 51ST STREET RENOVATIONS

CITY OF PITTSBURGH PLANNING COMMISSION HEARING

JULY 14, 2020

PERKINS —
EASTMAN



LOCATION MAP



EXISTING CONDITIONS

AERIAL VIEW LOOKING NORTH



EXISTING CONDITIONS

AERIAL VIEW LOOKING SOUTH



EXISTING CONDITIONS

SITE PHOTOS



1) SOUTHEAST CORNER - ALONG RAILROAD TRACKS



2) SOUTHWEST CORNER - ALONG 51ST STREET



3) NORTHWEST CORNER - ALONG 51ST STREET



4) NORTHEAST CORNER

EXISTING CONDITIONS

SITE PHOTOS



1) SOUTH FAÇADE



2) WEST HALF OF NORTH FAÇADE



3) EAST FAÇADE



4) WEST FAÇADE

SURROUNDING CONTEXT PHOTOS



1) LOOKING ACROSS 51ST STREET TO CAVACINI LANDSCAPING & GARDEN CENTER / MCCONWAY & TORLEY



2) LOOKING ACROSS 51ST STREET TO MCCONWAY & TORLEY / CLEAN CARE / SAUER HOLDINGS

SURROUNDING CONTEXT PHOTOS



1) LOOKING EAST AT "THE BIG EASY ANIMAL HOSPITAL" AND 'PRAXAIR DISTRIBUTION"

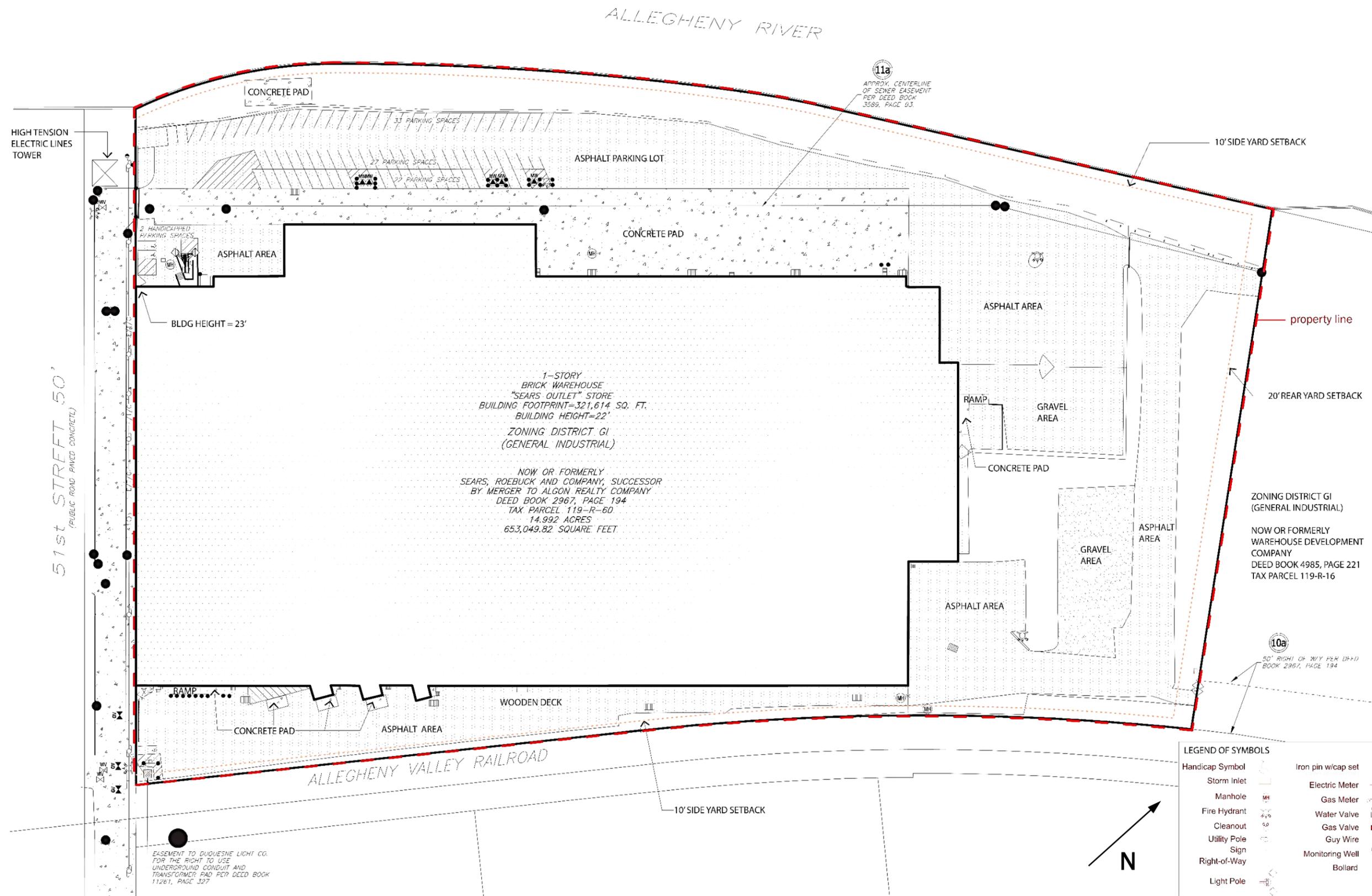


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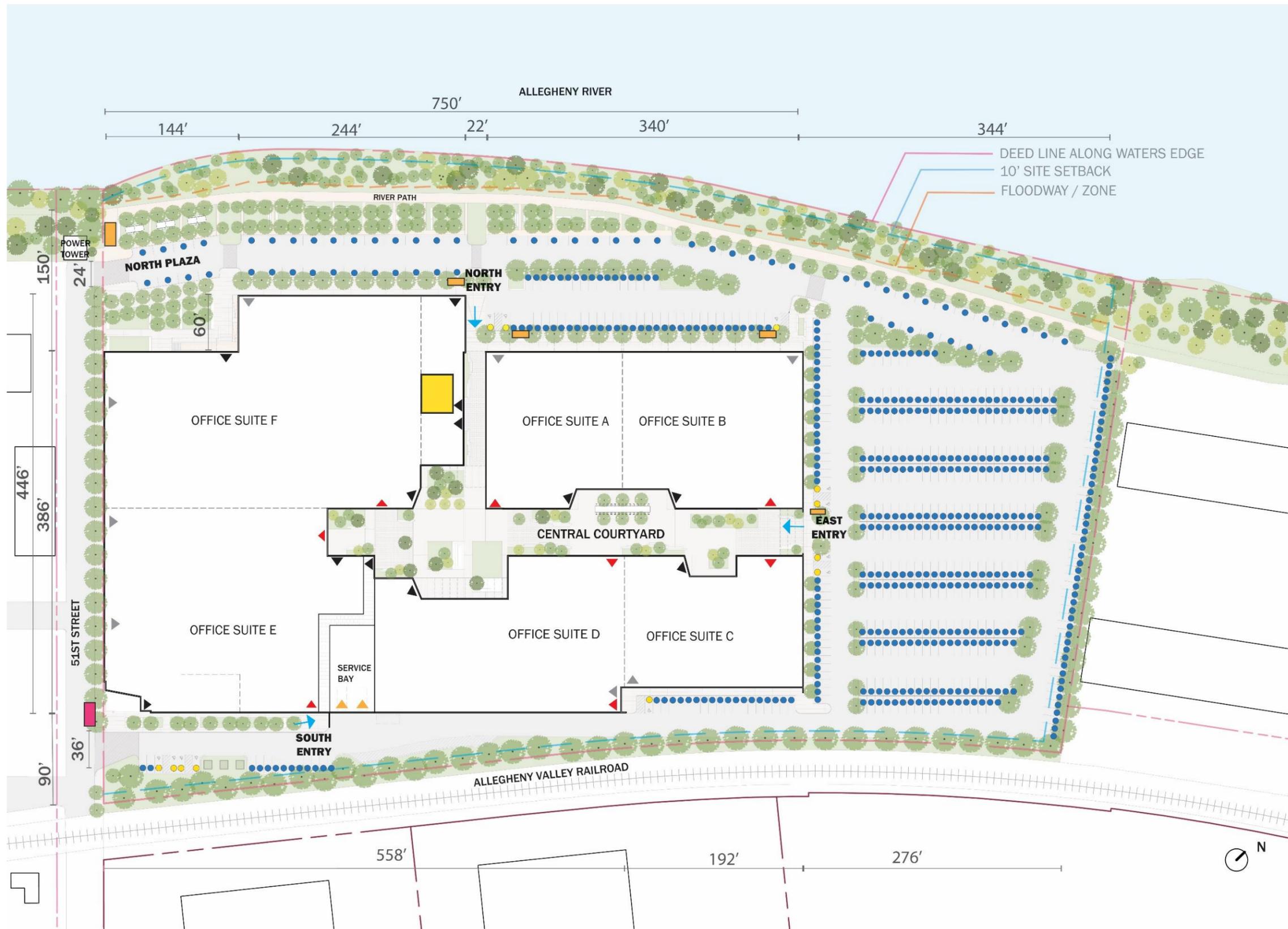


2) LOOKING ALONG 51ST STREET TOWARDS GOODWILL INDUSTRIES

EXISTING SITE SURVEY



SITE PLAN



- 508 STANDARD PARKING SPOT
- 12 ACCESSIBLE PARKING SPOT
- 520 TOTAL PARKING SPOTS***
- 32 PUBLIC BIKE PARKING
- 150 INTERIOR TENANT BIKE PARKING
- 10 PUBLIC ACCESS HEALTHY RIDE
- 192 TOTAL BICYCLES**
- ← SITE ENTRY POINTS
- ▲ MAIN ENTRANCES TO SUITES
- ▲ STAFF ENTRANCES TO SUITES
- ▲ OVERHEAD DOOR TO SUITES
- ▲ LOADING DOCK
- TRAFFIC CALMING SPEED TABLES

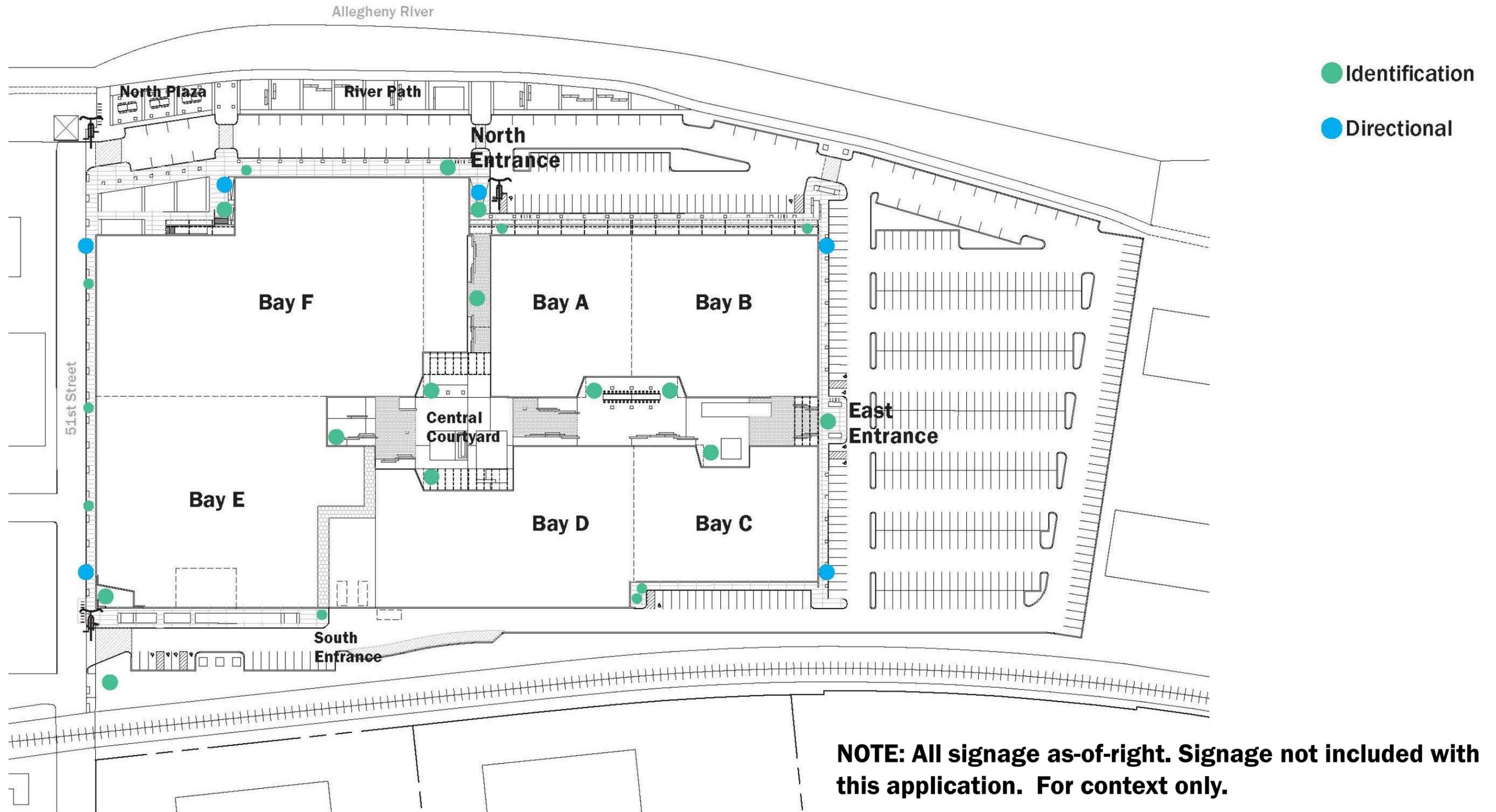
***Parking plan approved by the Zoning Board of Adjustment on March 27, 2020 at Zone Case 20 of 2020.**

ACCESSIBILITY ROUTE



- 12 ACCESSIBLE PARKING SPOT
- ▲ MAIN ENTRANCES TO SUITES
- ▲ STAFF ENTRANCES TO SUITES
- ← ACCESSIBILITY ROUTE

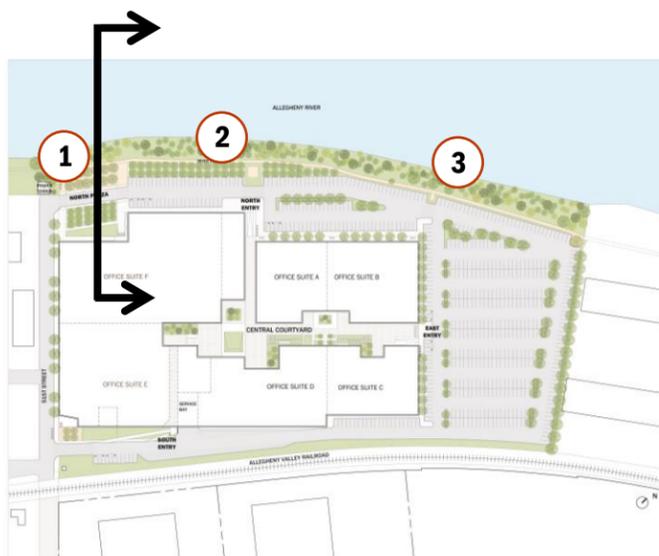
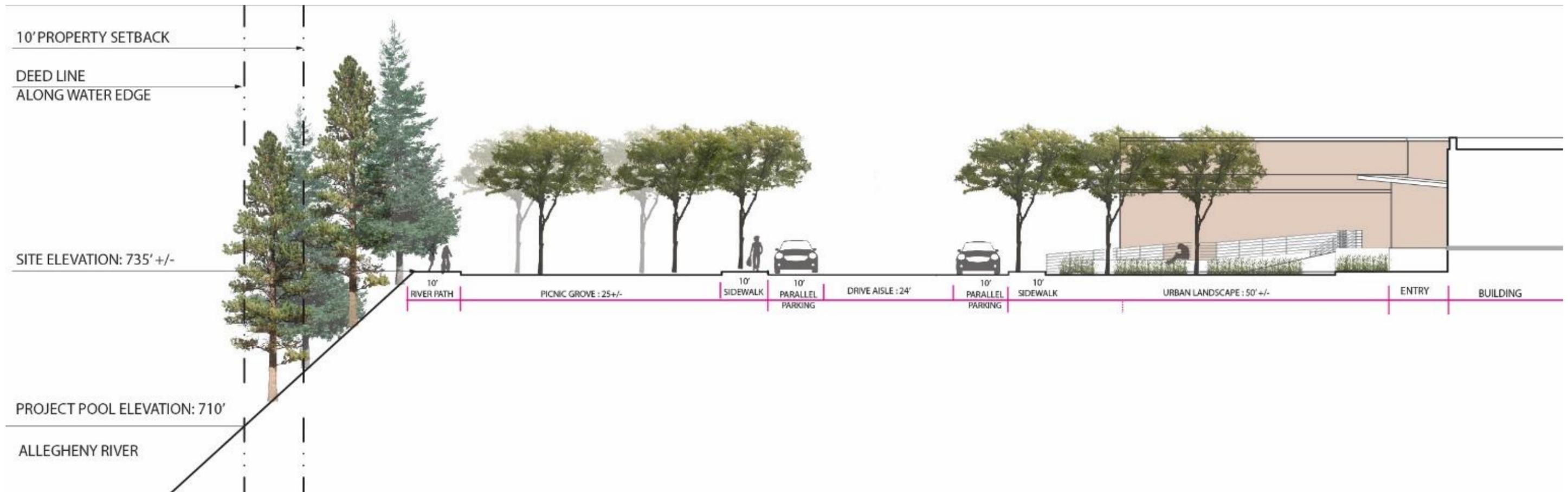
WAYFINDING STRATEGY



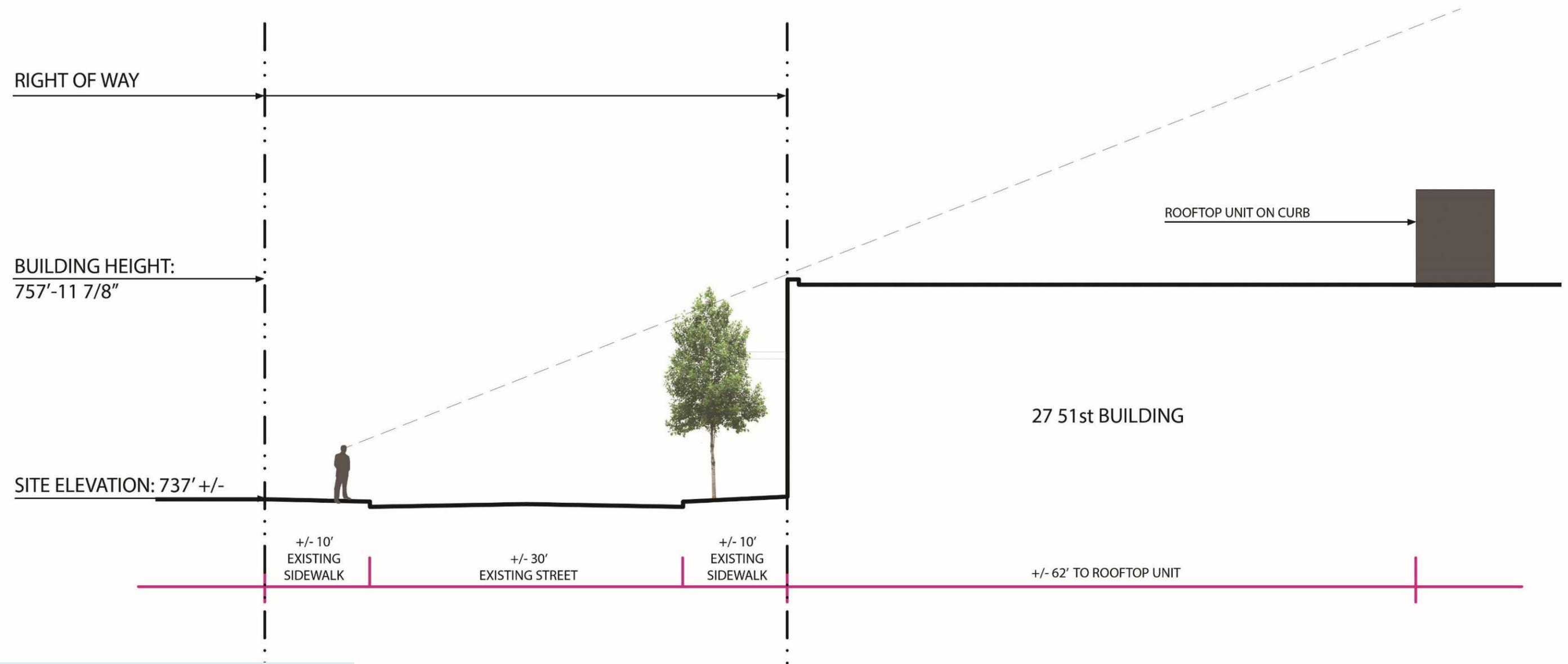
LANDSCAPE PLAN



SITE SECTION AT RIVER



ROOFTOP EQUIPMENT SIGHTLINE - AT 51ST STREET



SOUTHEAST CORNER



MATERIALS BOARD

BRICK



EXISTING BRICK



EXISTING BRICK PAINTED WHITE



EXISTING BRICK PAINTED SPLATTER ON WHITE

METAL PANEL



FLAT METAL PANEL – CENTRIA CHARCOAL GRAY, 9921



CORRUGATED METAL PANEL – CENTRIA FASHION GRAY, 9919

EXTERIOR COLUMNS



FLAT METAL PANEL – CENTRIA CHARCOAL GRAY, 9921

WOOD LOOK PANEL



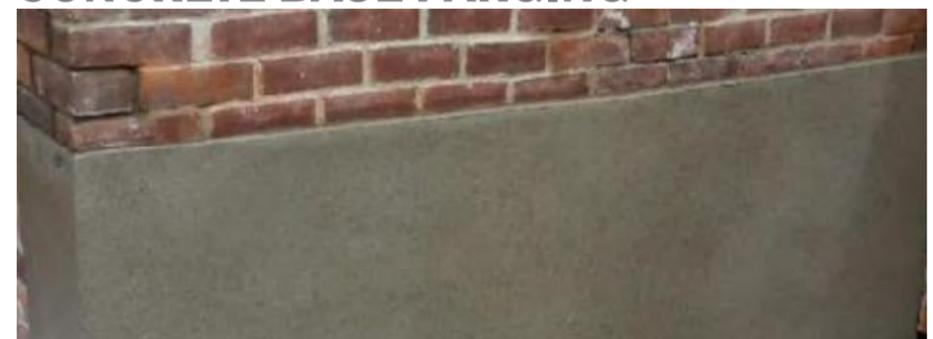
PHENOLIC WALL PANEL – HARMONY OAK

GLASS



CLEAR GLAZING WITH LOW-E COATING

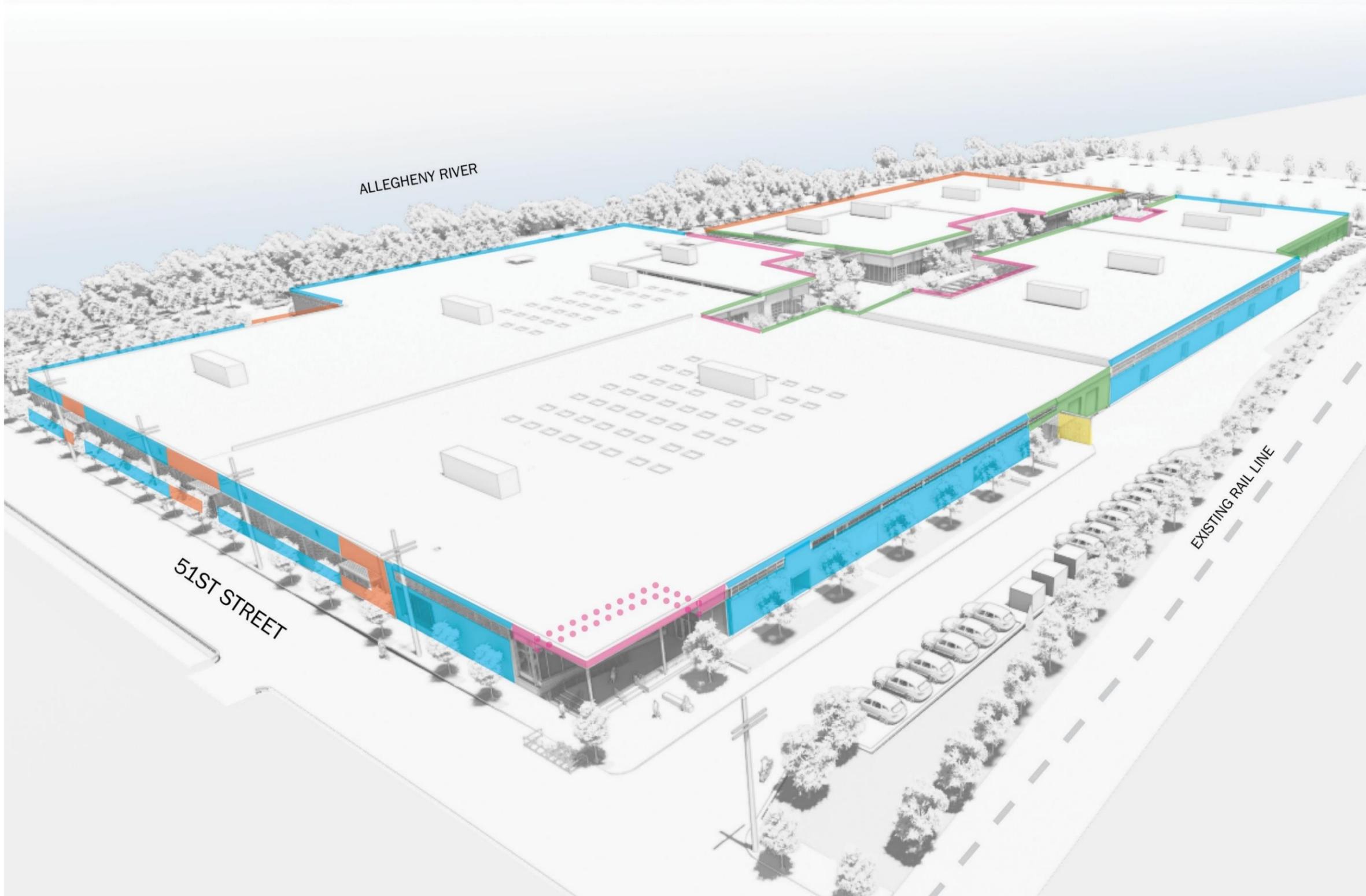
CONCRETE BASE PARGING



NATURAL CONCRETE FINISH

EXTERIOR MATERIALS

LOOKING NORTHEAST

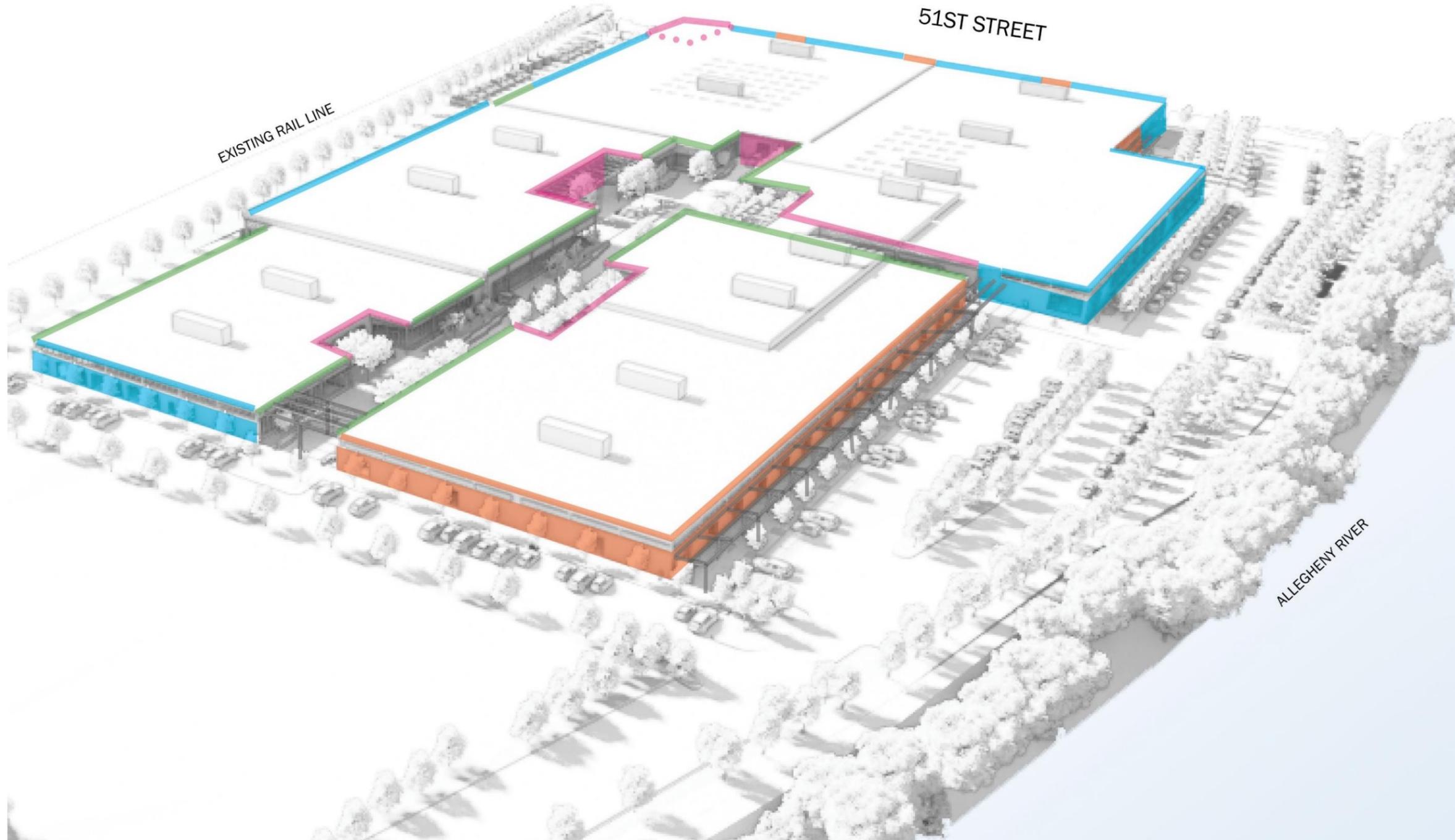


MATERIALS LEGEND

- EXISTING BRICK - PAINTED WHITE
- EXISTING BRICK
- NEW METAL PANEL / STOREFRONT
- NEW WOOD LOOK LAMINATE
- NEW CONCRETE SCREEN WALL

EXTERIOR MATERIALS

LOOKING SOUTHWEST



MATERIALS LEGEND

-  EXISTING BRICK - PAINTED WHITE
-  EXISTING BRICK
-  NEW METAL PANEL / STOREFRONT
-  NEW WOOD LOOK LAMINATE

EXTERIOR MATERIALS

LOOKING SOUTHEAST



MATERIALS LEGEND

-  EXISTING BRICK - PAINTED WHITE
-  EXISTING BRICK
-  NEW METAL PANEL / STOREFRONT
-  NEW WOOD LOOK LAMINATE

EXTERIOR ELEVATIONS

BUILDING MATERIAL LEGEND

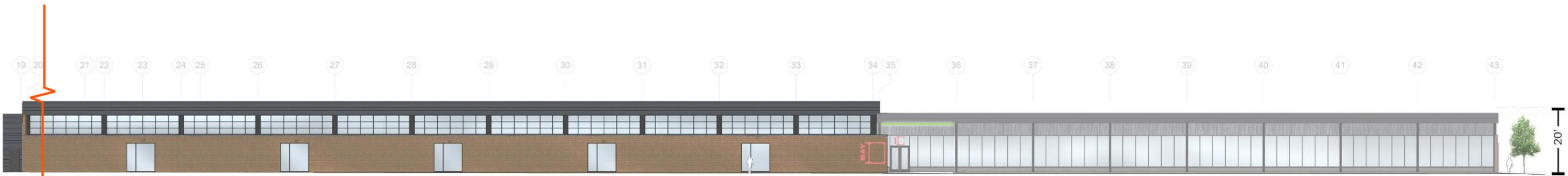
-  EXISTING BRICK
-  EXISTING BRICK PAINTED WHITE
-  EXISTING BRICK PAINTED SPLATTER ON WHITE
-  FLAT METAL PANEL
-  CORRUGATED METAL PANEL
-  WOOD LOOK LAMINATE PANEL
-  GLASS



E – EAST ELEVATION



S1 - SOUTH ELEVATION



S2 - SOUTH ELEVATION

EXTERIOR ELEVATIONS

BUILDING MATERIAL LEGEND

-  EXISTING BRICK
-  EXISTING BRICK PAINTED WHITE
-  EXISTING BRICK PAINTED SPLATTER ON WHITE
-  FLAT METAL PANEL
-  CORRUGATED METAL PANEL
-  WOOD LOOK LAMINATE PANEL
-  GLASS



W - ELEVATION - 51ST STREET



N2 - NORTH ELEVATION

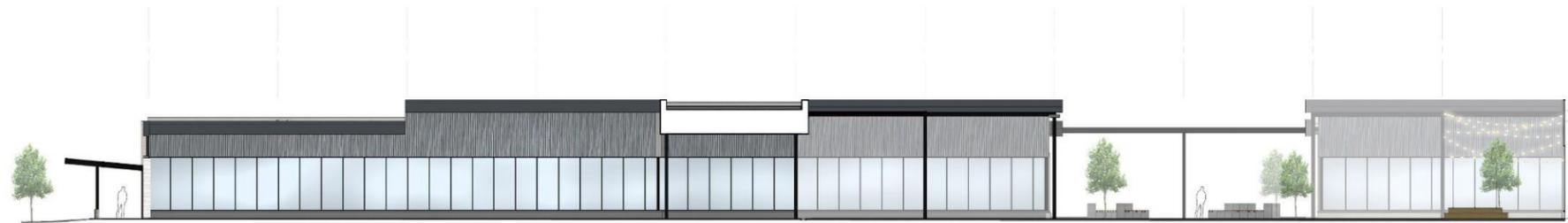


N1 - NORTH ELEVATION

COURTYARD ELEVATIONS

BUILDING MATERIAL LEGEND

-  EXISTING BRICK
-  EXISTING BRICK PAINTED WHITE
-  EXISTING BRICK PAINTED SPLATTER ON WHITE
-  FLAT METAL PANEL
-  CORRUGATED METAL PANEL
-  WOOD LOOK LAMINATE PANEL
-  GLASS



E – EAST COURTYARD ELEVATION



N1 – NORTH COURTYARD ELEVATION



N2 – NORTH COURTYARD ELEVATION

COURTYARD ELEVATIONS

BUILDING MATERIAL LEGEND

-  EXISTING BRICK
-  EXISTING BRICK PAINTED WHITE
-  EXISTING BRICK PAINTED SPLATTER ON WHITE
-  FLAT METAL PANEL
-  CORRUGATED METAL PANEL
-  WOOD LOOK LAMINATE PANEL
-  GLASS



W – WEST COURTYARD ELEVATION



S1 – SOUTH COURTYARD ELEVATION



S2 – SOUTH COURTYARD ELEVATION

STREETSCAPE RENDERING

VIEW AT 51ST STREET AND RAILROAD TRACKS



STREETSCAPE RENDERING

VIEW AT SW CORNER SUITE ENTRY (SUITE E)



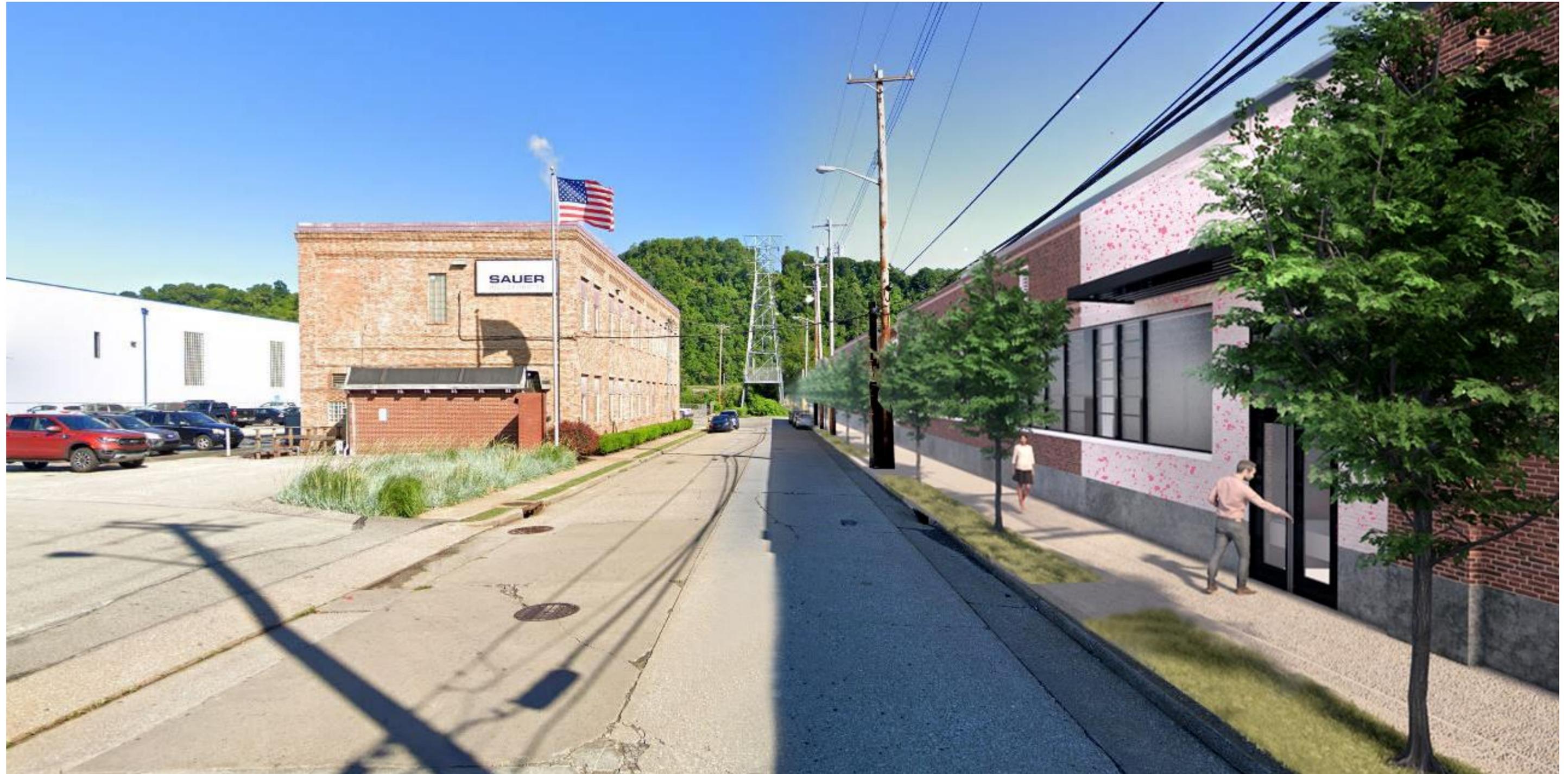
STREETSCAPE RENDERING

VIEW ALONG 51ST STREET (SOUTHERN PORTION)



STREETSCAPE RENDERING

VIEW ALONG 51ST STREET (NORTHERN PORTION)



RIVER TRAIL RENDERING

VIEW AT NORTH GROVE



RENDERING

LOOKING SOUTH FROM RIVER TRAIL



RENDERING

NORTHWEST SUITE ENTRY (SUITE F)



RENDERING

NORTH ENTRY TO COURTYARD



RENDERING

NORTH ENTRY TO COURTYARD & COFFEESHOP



RENDERING

NORTHEAST CORNER (SUITE B)



RENDERING

EAST ENTRY TO COURTYARD



RENDERING

COURTYARD - LOOKING SOUTHEAST



RENDERING

SOUTHEAST CORNER



RENDERING

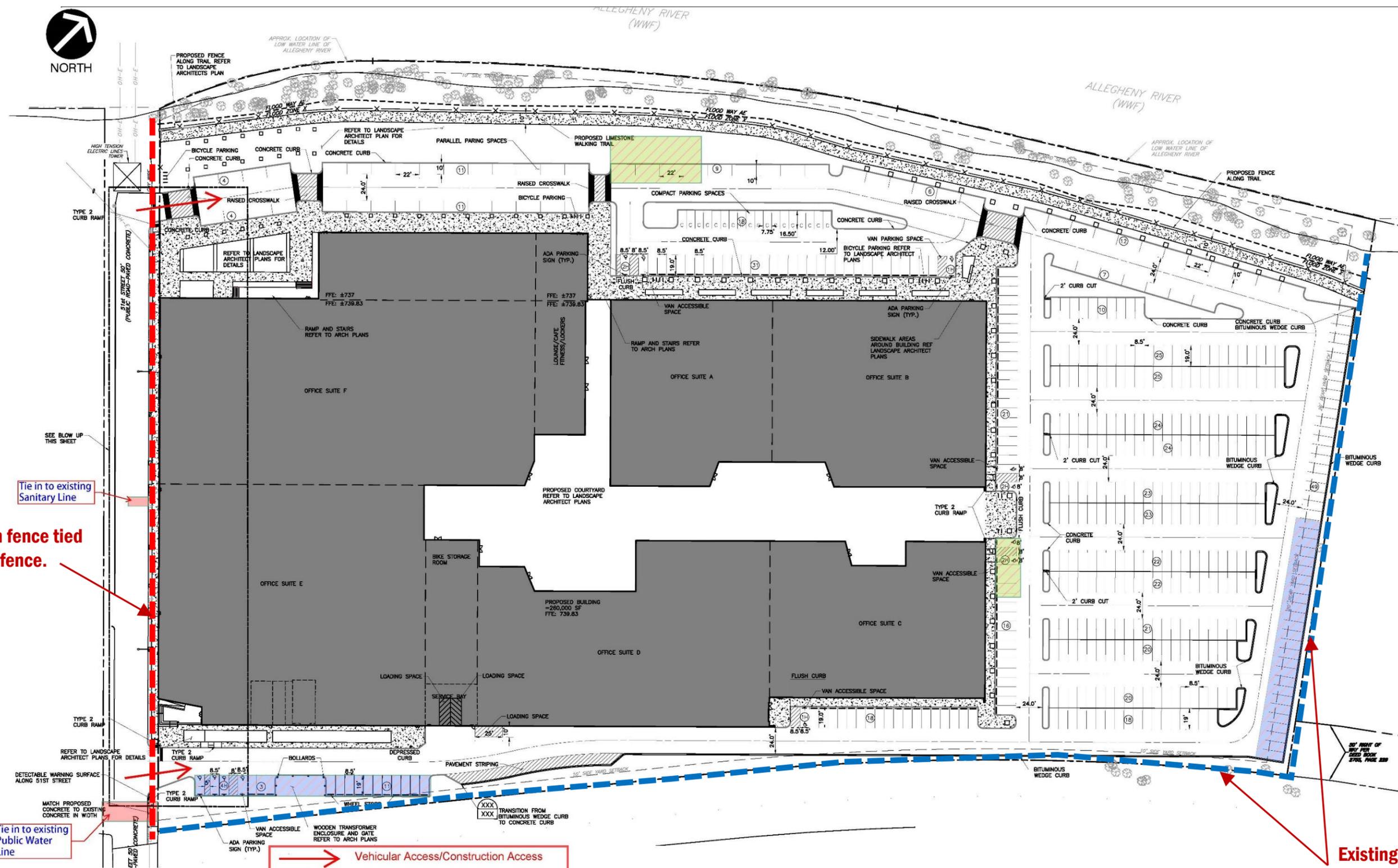
SOUTH ENTRY & LOADING DOCK SCREEN



SUSTAINABILITY MEASURES

- Adaptive reuse of existing building.
- Existing uninsulated façade enhanced with continuous insulation and high-performance glazing and storefront system.
- New energy efficient HVAC systems – exceeding ASHRAE targeted 2023 Integrated Energy Efficiency Ratios (IEER).
- LED lighting provided throughout.
- Cool roof.
- Addition of 150 skylights.
- Reduced impervious surface across site by more than 1 acre.
- Separated stormwater and sewer lines – removing roughly 13 acres of stormwater discharge from ALCOSAN system. Instead will be treated onsite with R-Tank system. Site will no longer contribute to CSO sewage overflow into Alleghany River.

CONSTRUCTION MANAGEMENT PLAN



New construction fence tied into existing site fence.

Existing fence to be used to secure site.

COMMUNITY ENGAGEMENT PROCESS

- Introductory Meeting with Lawrenceville Corp. 8/9/2019
- Introductory Meeting with Mayor's Office 9/3/2019
- Introductory Meeting with Councilwoman Gross 9/3/2019
- Meeting with Lawrenceville Corp. Real Estate Committee 10/4/2019
- Meeting with Riverlife Riverfront Design Committee 10/8/2019
- Public Meeting & Discussion w/ Lawrenceville United/10th Ward Block Watch 10/8/2019
- Riverlife Design Workshop 11/11/2019

Note: Additionally, multiple telephone conversations and exchanges of ideas and information with Lawrenceville Corp., Lawrenceville United and Riverlife from January 2020, leading to letter of commitment incorporated in Zoning Board of Adjustment decision.

THANK YOU

