



CITY OF PITTSBURGH
Historic Review Commission

Historic Review Commission Agenda for September 2, 2020

Lucia M. Aguirre, Chairperson
David Green, PLI, Secretary
Andrew Dash, Director of City Planning
Matthew Falcone
James Hill
Karen Loysen
Richard Snipe

Commission meetings will be hosted on Zoom and streamed on YouTube Live on the [Pittsburgh City Planning YouTube page](#). To join the Zoom webinar, use the link: <https://us02web.zoom.us/j/88040687599> or call **301-715-8592** with Webinar ID: **880 4068 7599**. If you are not planning to testify, please watch the YouTube Live stream to allow those testifying to be able to join the meeting.

Presentations and information for each agenda item are posted on the [Virtual Historic Review Commission page](#). To provide public comment, you can:

- Email historicreview@pittsburghpa.gov. Email testimony will be accepted until the business day before the meeting at 12 p.m.
- Send a letter to 200 Ross St., 4th Floor, Pittsburgh, PA 15219. Mailed testimony must be received by two business days before the meeting.
- Join the virtual meeting and use raise hand function to request to speak.
- Call into the meeting on your phone and use raise hand function by pressing *9.

12:30 p.m. Call to Order

12:30 p.m. Internal Business

Old Business – None.

New Business –

- Approval of minutes from August 2020 hearing
- Certificates of Appropriateness Report from August 2020
- Applications for a Certificate of Economic Hardship – None

1:00 p.m. Hearing & Action

1. Allegheny West Historic District

930 W. North Avenue
Christopher & Colleen Storm, owners
Master Remodelers, Inc., applicant
Construction of rooftop deck

2. Individual Landmark—Cathedral of Learning

4200 Fifth Avenue
University of Pittsburgh, owner
Lori Fitzgerald, applicant
Installation of ornamental handrails

3. Individual Landmark—New Hazlett Theater

6 Allegheny Square E.
City of Pittsburgh, owner
Pfaffmann and Associates, applicant
Rehabilitation of entry steps and installation of new handrails

4. **Manchester Historic District**
1501 Allegheny Avenue
Manchester Citizens Corp., owner
Christopher A. Kim, applicant
Building renovations

5. **Manchester Historic District**
1105 Liverpool Street
Manchester Citizens Corp., owner
Christopher A. Kim, applicant
Building renovations

6. **Manchester Historic District**
1807 Fulton Street
Light of the Age Mosque, owner
Gregory Peterson, applicant
Construction of a mosque

7. **Mexican War Streets Historic District**
1206 Palo Alto Street
Edward & Barbara Ivanko, owner
John Francona, applicant
Construction of a rear garage

8. **MWS Historic District Expansion**
1326 Sherman Avenue
Westwind Construction, Inc., owner
Edward Sherk, applicant
Building renovations

9. **Schenley Farms Historic District**
4339 Schenley Farms Terrace
Doug Swanson, owner
Renewal by Andersen, applicant
Window replacement

Demolitions

Historic Nominations

St. John Vianney Church
225 Allen Street
The Diocese of Pittsburgh, owner
Mark Wittman, nominator
Recommendation to City Council

VA Facility Building 10 - Chapel
7180 Highland Drive – Building 10
Veterans Administration, owner
William Peduto, nominator
Determination of Viability

VA Facility Building 13 - Laboratory
7180 Highland Drive – Building 13
Veterans Administration, owner
William Peduto, nominator
Determination of Viability

Director's Report

Adjournment

Anyone who requires an accommodation for effective communication or a modification of policies or procedures to participate in a program, service, or activity provided by the City of Pittsburgh should contact the City ADA Coordinator as soon as possible but no later than two business days before the event. Hillary Roman, City of Pittsburgh ADA Coordinator, Hillary.Roman@pittsburghpa.gov; Remote Ph: (412) 301-7041; Office Ph: (412) 255-2102 int.457



Division of Zoning and Development Review
City of Pittsburgh, Department of City Planning
200 Ross Street, Third Floor
Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

930 West North Avenue
Pittsburgh, PA 15233

OWNER:

NAME: Christopher & Colleen Storm
ADDRESS: 930 West North Avenue
Pittsburgh, PA 15233
PHONE: 214-793-5094
EMAIL: cstorm15@gmail.com

STAFF USE ONLY:

DATE RECEIVED: _____
LOT AND BLOCK NUMBER: _____
WARD: _____
FEE PAID: _____
DISTRICT: _____

APPLICANT:

NAME: Master Remodelers, Inc.
ADDRESS: 3630 Elm Avenue
Pittsburgh, PA 15234
PHONE: 412-341-6581
EMAIL: regis@masterremodelersinc.com

REQUIRED ATTACHMENTS:

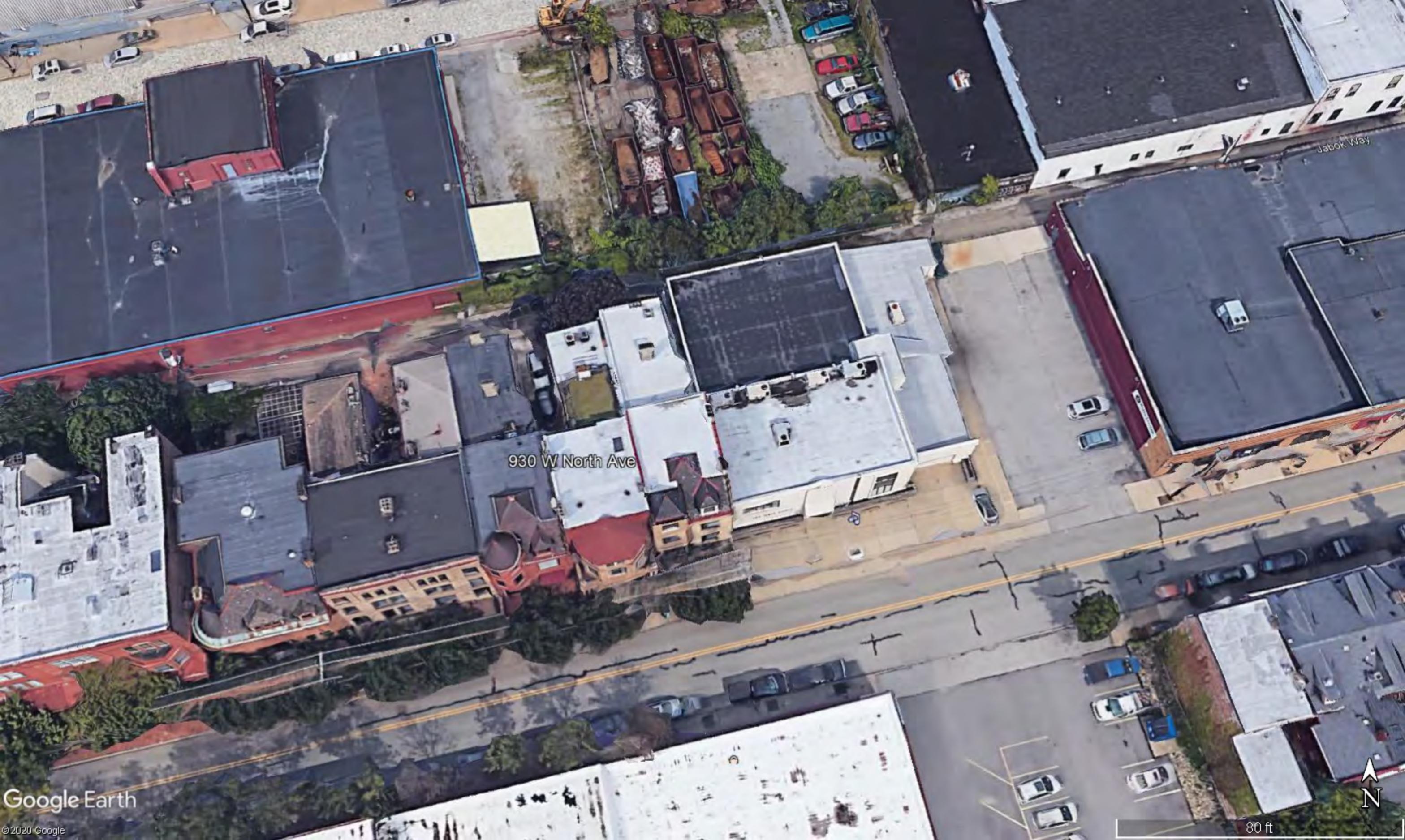
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Proposed rooftop deck addition - See Attached

SIGNATURES:

DocuSigned by: Chris Storm DocuSigned by: Colleen Storm DATE: July 29, 2020
OWNER: 573398C406374AC... C7F8C01043CB42F...
APPLICANT: [Signature] DATE: 7/27/20



930 W North Ave

Jakob Way



Detailed Description of Proposed Project

Project: Rooftop Deck Addition – 930 West North Avenue, Pittsburgh, PA 15233

Owner: Christopher & Colleen Storm

Demolition

- Remove the following:
 - Double hung window in hallway
 - Brick/Stucco exterior wall to accommodate a new door
 - Roof top vents including attic vents and plumbing vents in the rooftop deck area shall be relocate so as not to interfere with rooftop deck
 - Flashing from perimeter of wall and chimney
 - Satellite dish, wiring, and structure

Masonry

- Repair existing exterior brick wall at existing window opening and apply Sakrette stucco to patch exterior wall

Framing

- Construct new opening to accommodate new door
- Construct truss system by installing king studs to connect existing ceiling joists and roof rafters with plywood gussets plate above master bedroom and bathroom dressing area

Roofing

- Install Carlisle .060" rubber membrane roofing and ½" cellulose backerboard to existing sloped roof deck and termination bar/aluminum flashing
- Install sectional Mastec 5" aluminum gutter - white and 3"x4" downspouts

Decking (See Drawing #C-2 for material information)

- Install Bison #WT 24"x24" Ipe smooth tile deck panels to roof top on Bison #V3 adjustable pedestal system
- Install Azek 42"H cable railing and <16> square post sleeves; structural posts anchored to roof.
- Install 6" Azek decking horizontally to privacy wall with ½" spacing to both of sides of the fence. Privacy fence to be at least 6' in height above finish of top deck surface.

Exterior Door (See Drawing #C-2 for material information)

- Install <1> Thermatru #S118-LE Smooth-Star fiberglass door (White exterior) with Kwikset entry set (Oil Rubbed Bronze finish)

Electrical

- Install following items:
 - <3> 15 amp circuit to new service panel for lighting and electrical outlets
 - <1> LED twin floodlight with wall switch
 - <5> Azek low- voltage post lights with transformer with wall switch

Insulation

- Install 9" of cellulose insulation into master suite and attic

Interior Work

- Install ½" drywall to patch existing window opening
- Install paint grade casing around new door to match existing casing

Painting

- Apply two topcoats of exterior latex paint to exterior stucco wall to match existing
- Apply two topcoats of interior latex paint to interior walls, ceilings, moldings in hallway

STORM RESIDENCE

- ROOFTOP DECK ADDITION -

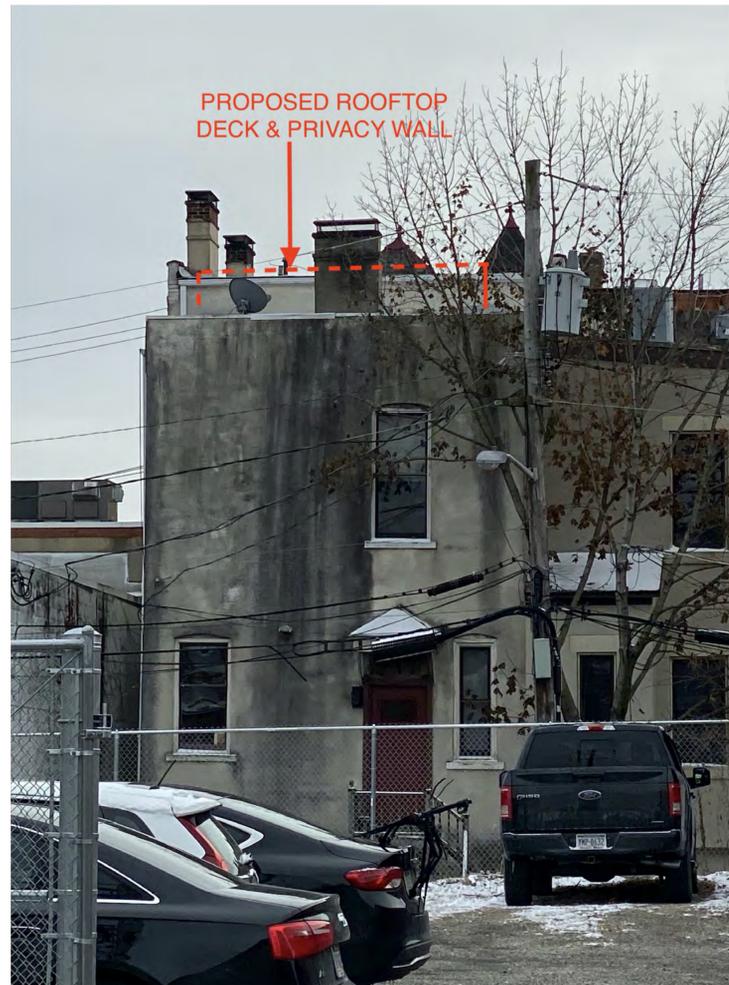
PROJECT LOCATION: 930 WEST NORTH AVENUE
PITTSBURGH, PA 15233

BOROUGH: CITY OF PITTSBURGH

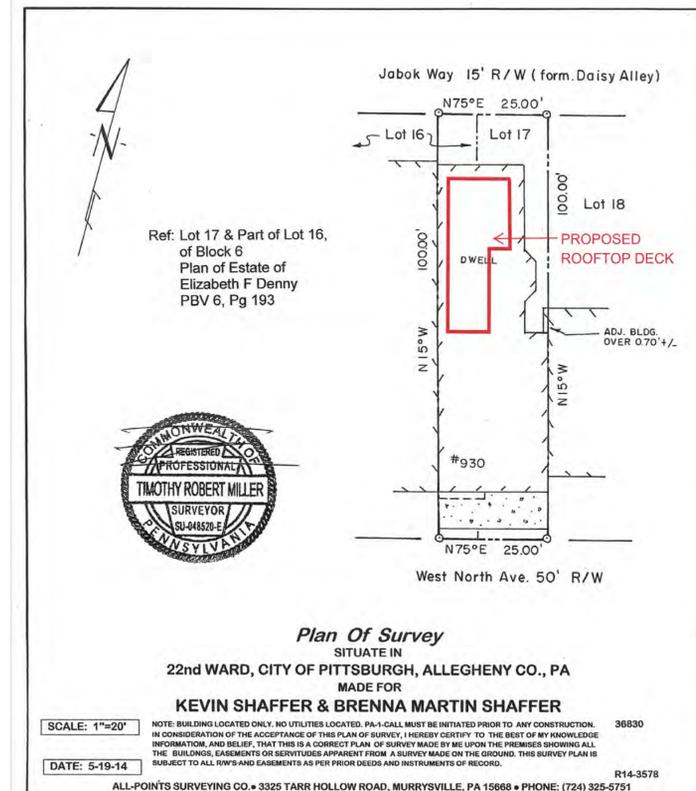
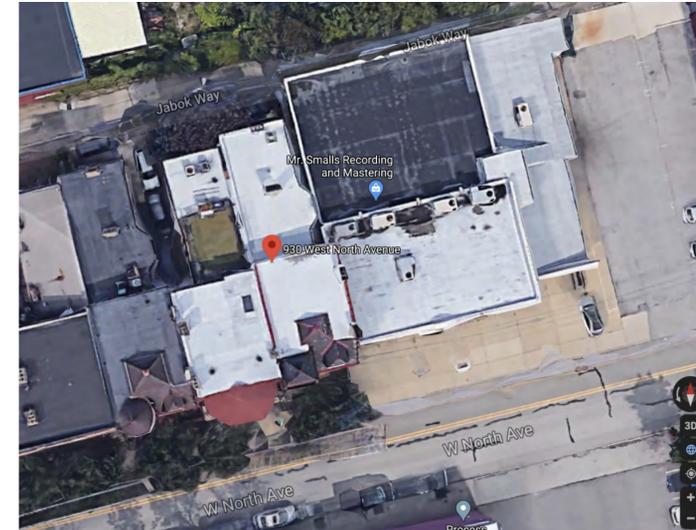
LOT & BLOCK: 0022-S-00147-0000-00

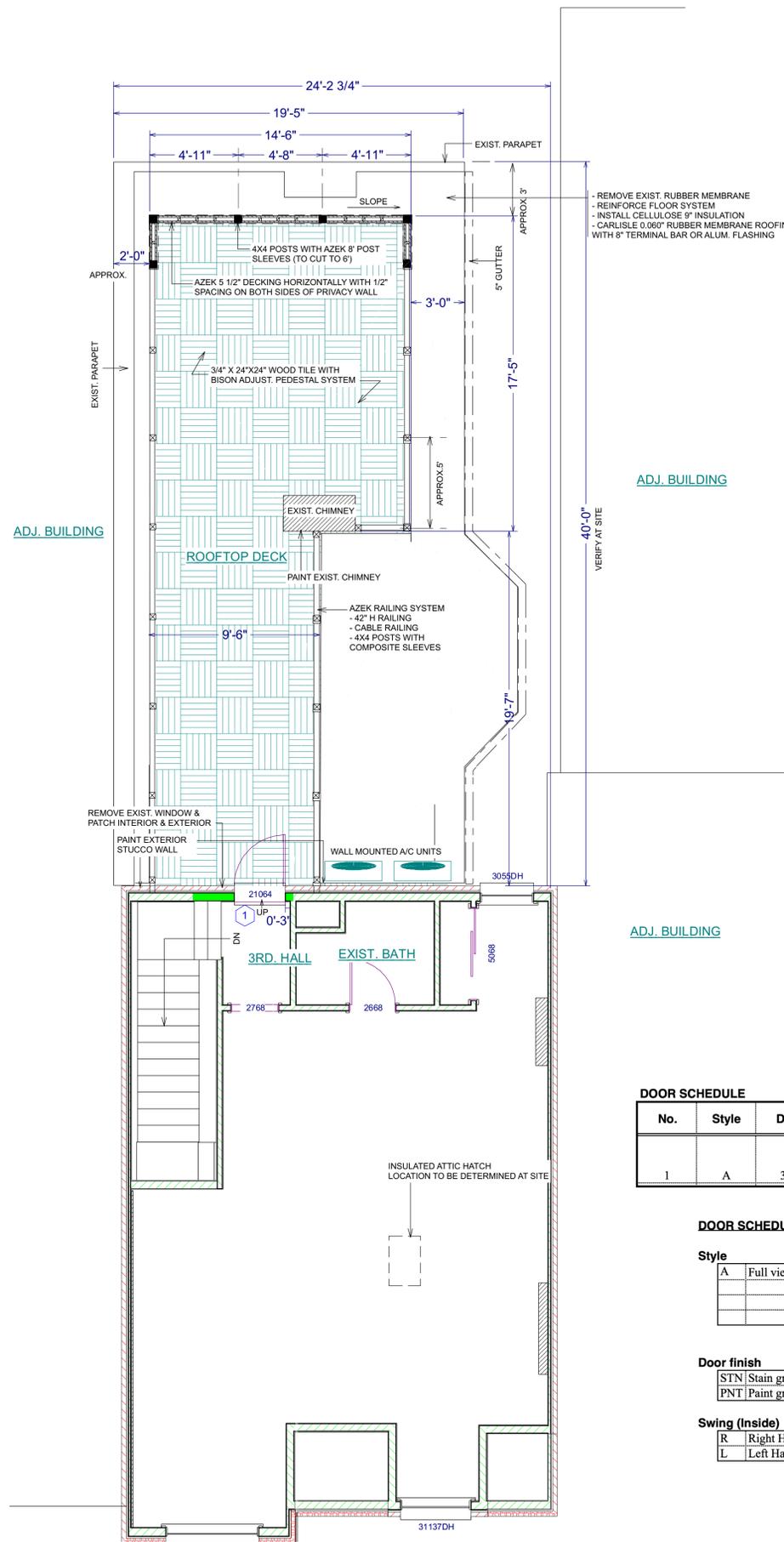


EXISTING FRONT



EXISTING REAR





THIRD FLOOR & ROOF TOP DECK PLAN
SCALE 1/4" = 1'-0"

1
A-1

DOOR SCHEDULE

No.	Style	Door Size	Door finish	Swing	Lockset Type	Lockset finish	Note
1	A	34" x 76"	Painted Ext.- White Int.-White	L	EL	ORB	Thermatru #S118-LE

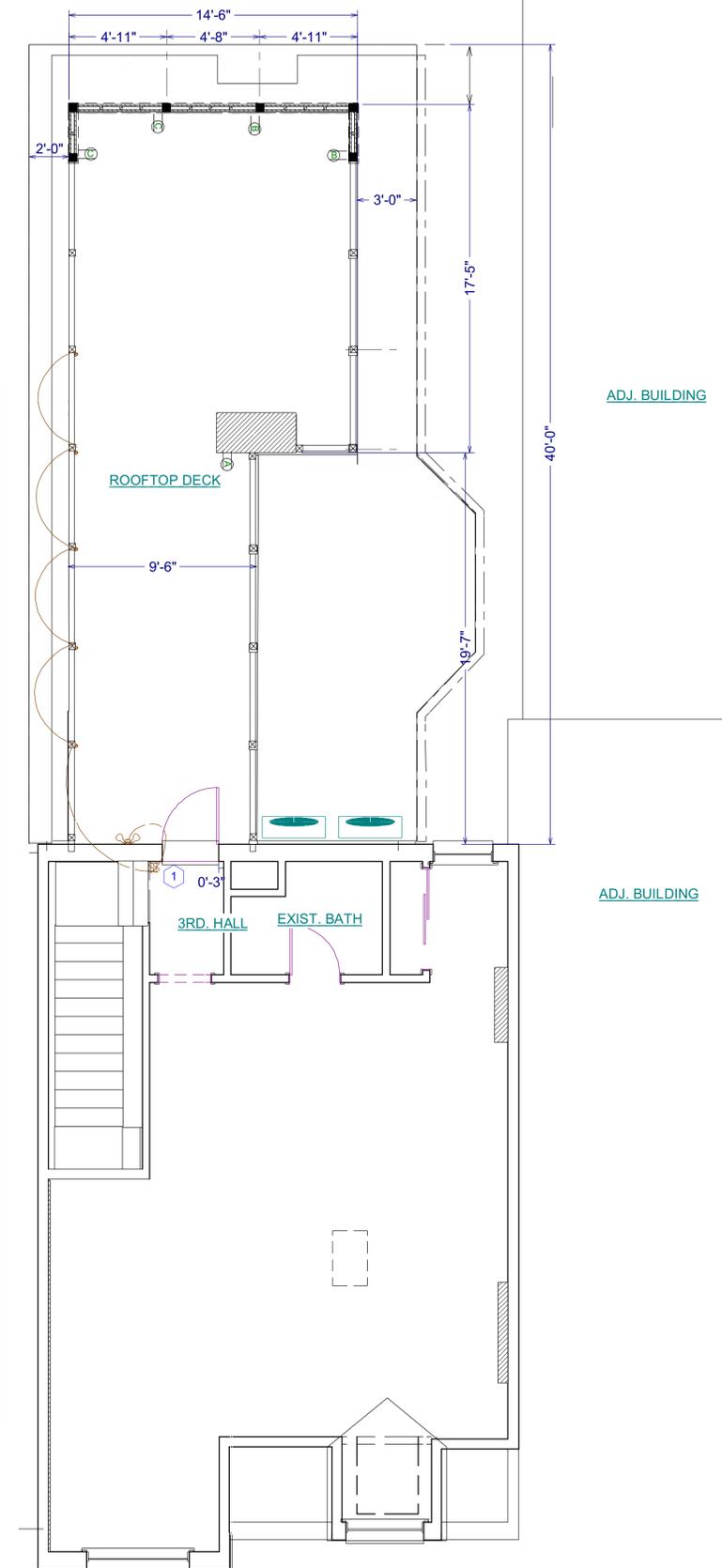
DOOR SCHEDULE LEGEND

Style	A Full view door	Lockset type	EL Entry lock set PR Privacy lock set PS Passage lock set DM Dummy
Door finish	STN Stain grade PNT Paint grade	Lockset finish	PB Polished Brass AB Antique Brass SB Satin Brass PC Polished Chrome SC Satin Chrome SN Satin Nickel AN Antique Nickel ORB Oil rubbed bronze
Swing (Inside)	R Right Hand L Left Hand		

ELECTRICAL LEGEND

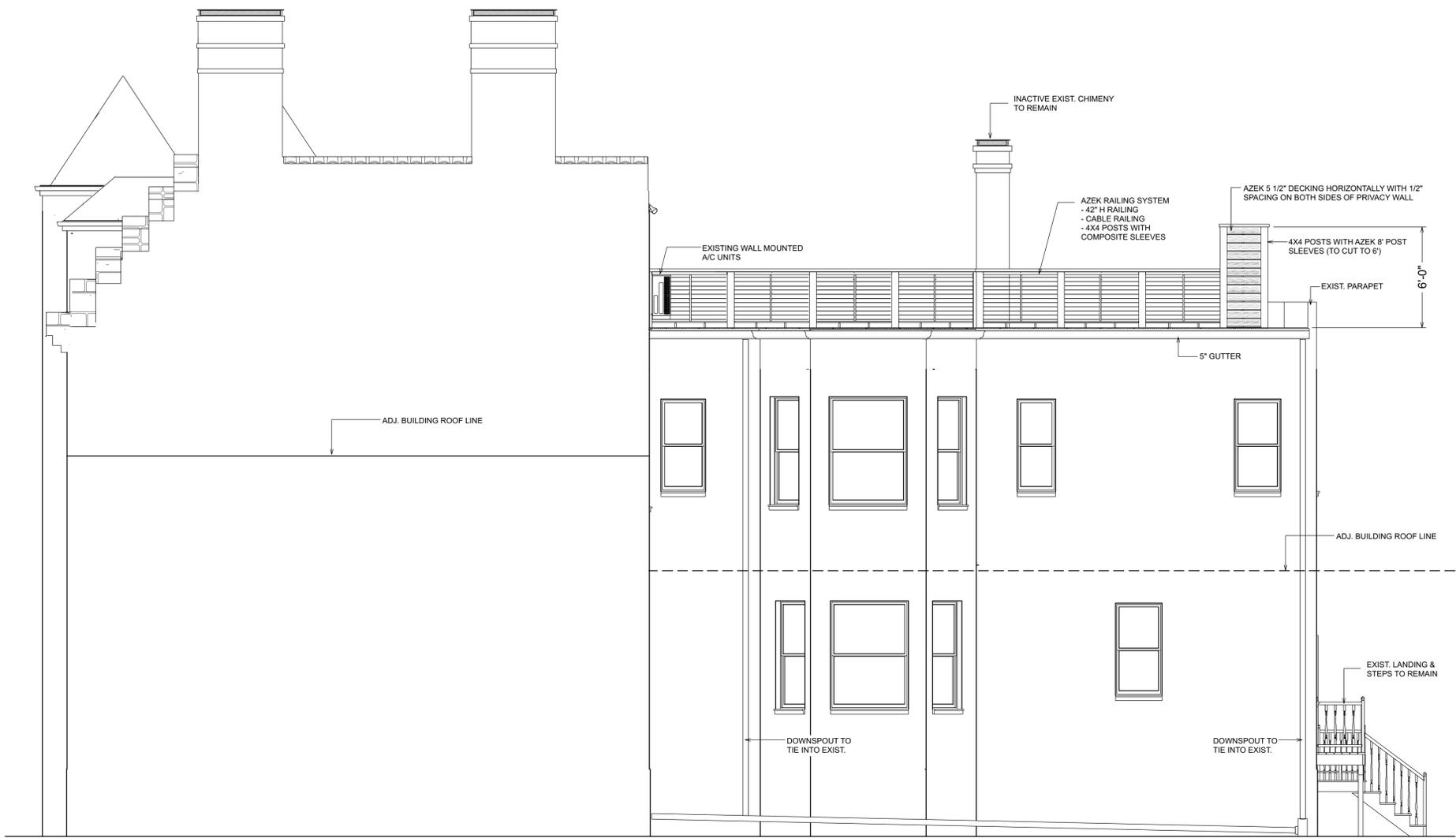
SYMBOL	DESCRIPTION
	CEILING LIGHT
	WALL SCONCE
	4" RECESSED LIGHT
	FLUORESCENT LIGHT
	UNDER CAB. LIGHT
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	FLOODLIGHT
	110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED OUTLETS (3) FROM 15AMP CIRCUIT
	110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED OUTLETS (2) FROM FIRST 15AMP CIRCUIT
	110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED OUTLETS (2) FROM SECOND 15AMP CIRCUIT
	TELEVISION JACKS
	SMOKE DETECTOR
	DECK LIGHT/WALL WASH LIGHT
	CLOTHES DRYER
	CLOTHES WASHER
	CEILING FAN W/ LIGHT
	EXHAUST FAN
	EXHAUST FAN W/ LIGHT

NOTE:
1. DIMMER SWITCHES FOR ALL RECESSED LIGHTS & UNDER CAB. LIGHTS
2. TV & PHONE LOCATIONS TO BE DETERMINED AT SITE W/ CLIENT
3. AUTO-OFF TIMER SWITCH FOR BATHROOM EXHAUST FAN



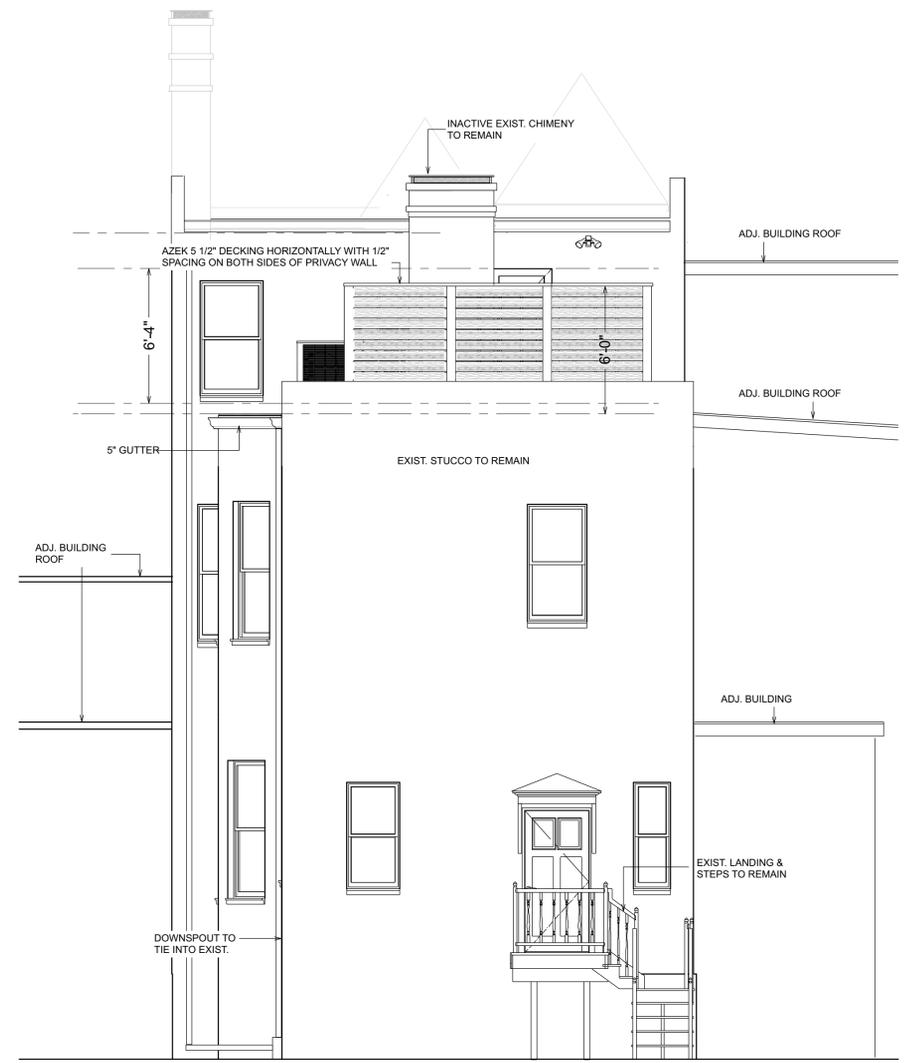
ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

2
A-1



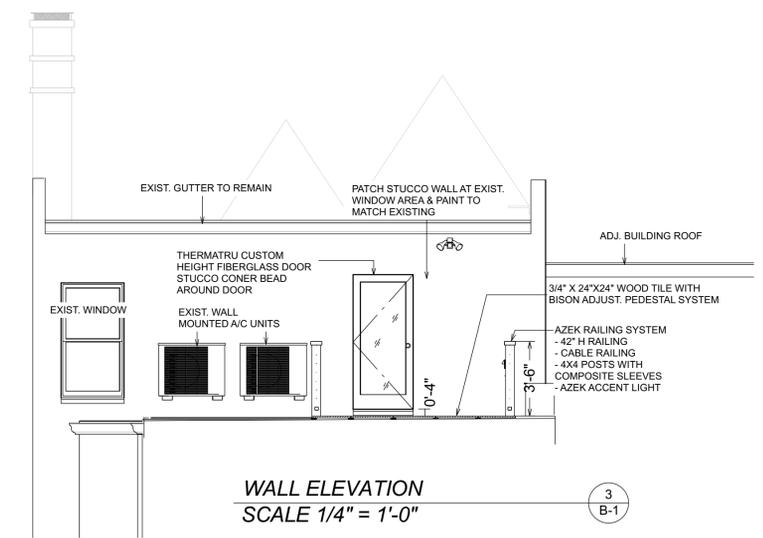
SIDE (EAST) ELEVATION
SCALE 1/4" = 1'-0"

1
B-1



REAR (NORTH) ELEVATION
SCALE 1/4" = 1'-0"

2
B-1



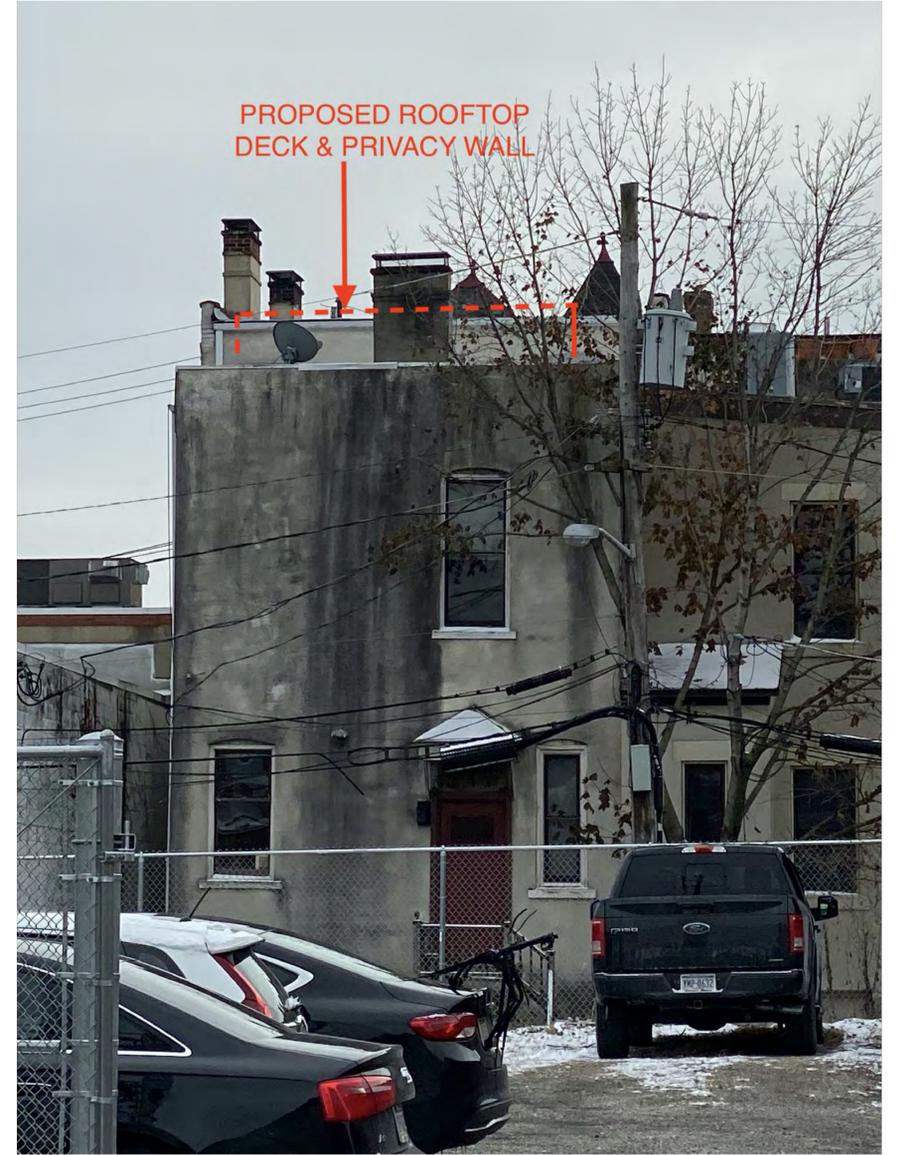
WALL ELEVATION
SCALE 1/4" = 1'-0"

3
B-1

MASTERmodelers
 DESIGN BUILD
 3630 ELM AVENUE
 PITTSBURGH, PA 15234
 WWW.MASTERMODELERSINC.COM

CLIENT CHRISTOPHER & COLLEEN STORM
LOCATION 930 WEST NORTH AVENUE
 PITTSBURGH, PA 15233
 CITY OF PITTSBURGH
LOT & BLOCK NO. 0022-S-00147-0000-00

DRAWING TITLE
 SIDE (EAST) ELEVATION
 REAR (NORTH) ELEVATION
 WALL ELEVATION
DATE 07/24/20
DRAWING NO. B-1



RAILING SYSTEM



TOP RAIL: AZEK CONTEMPORARY RAIL 6.35"W x 1.9"H (CLASSIC BLACK)

INFILLS: AZEK CABLE RAIL (STAINLESS STEEL CABLE & ALUMINUM BALUSTER)

POST SLEEVES: AZEK 5" x 5" x 42" (CLASSIC BLACK)

POST SKIRT: AZEK 5" x 5" (CLASSIC BLACK)

DECK LIGHT: AZEK ACCENT LIGHT (BRONZE)

PRIVACY WALL: AZEK VINTAGE COLLECTION COASTLINE



DECKING SYSTEM



DECK PEDESTAL: BISON ADJUSTABLE PEDESTAL

DECKING: 24" x 24" x 3/4" IPE WOOD TILE - SMOOTH



EXTERIOR DOOR



DOOR: THERMATRU #S118-LE SMOOTH-STAR FIBERGLASS W/ LOW-E GLASS & CUSTOM HEIGHT (WHITE INTERIOR & EXTERIOR)

DOOR HARDWARE: KWIKSET #400CV COVE KNOB KEYED (VENETIAN BRONZE)



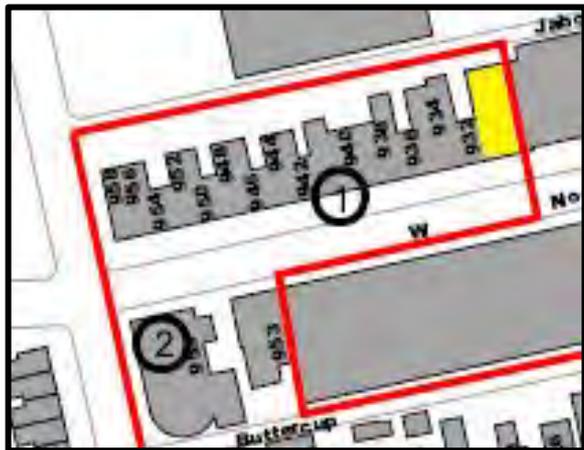
		3630 ELM AVENUE PITTSBURGH, PA 15234 WWW.MASTERREMODELERSINC.COM
CLIENT	CHRISTOPHER & COLLEEN STORM 930 WEST NORTH AVENUE PITTSBURGH, PA 15233 CITY OF PITTSBURGH	LOT & BLOCK NO. 0022-S-00147-0000-00
DRAWING TITLE	PRODUCT INFORMATION	
DATE	07/24/20	
DRAWING NO.	C-2	

Allegheny West Rooftop Decks

Neighborhood Context for
930 West North Avenue Project

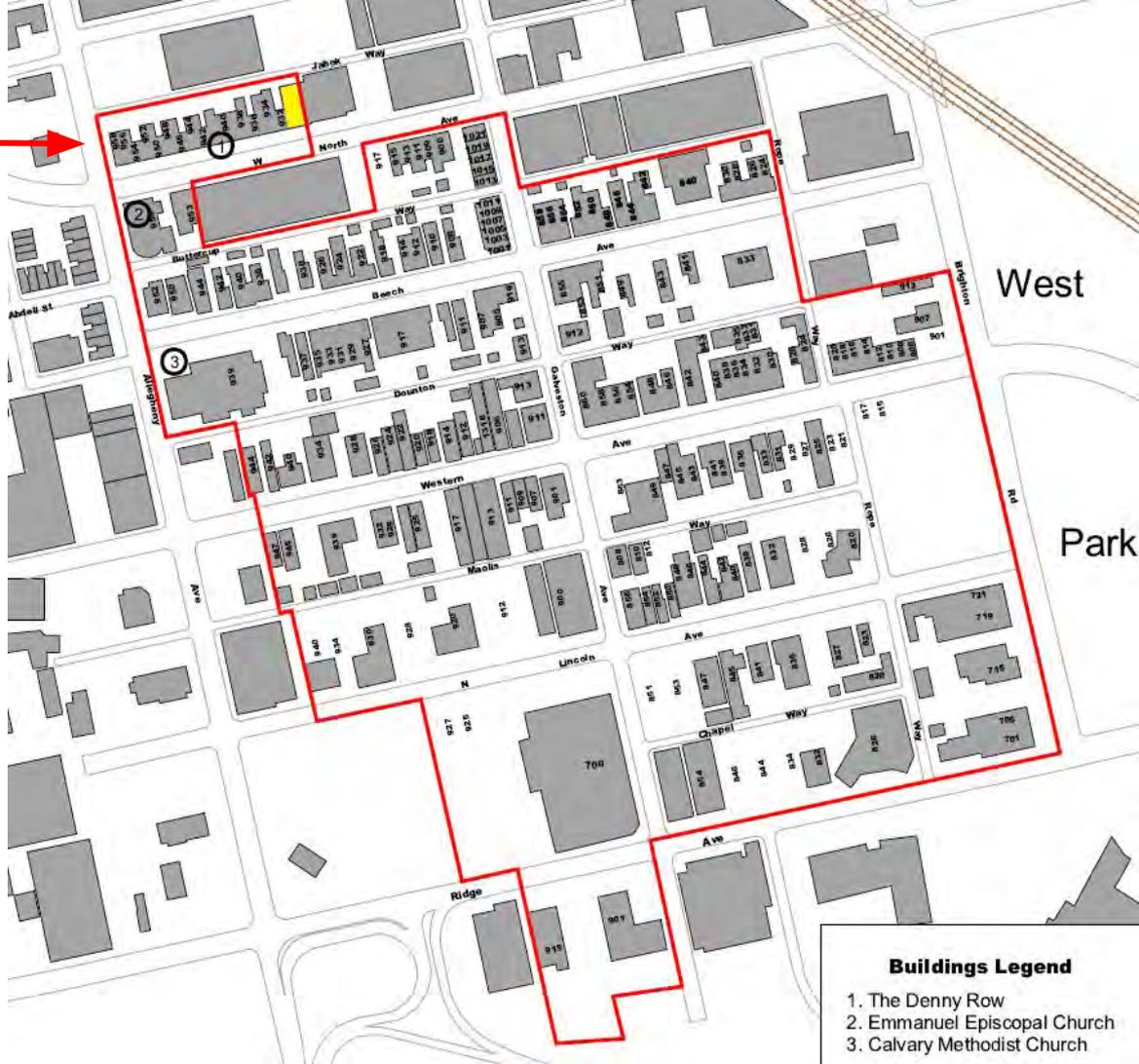
930 West North Avenue





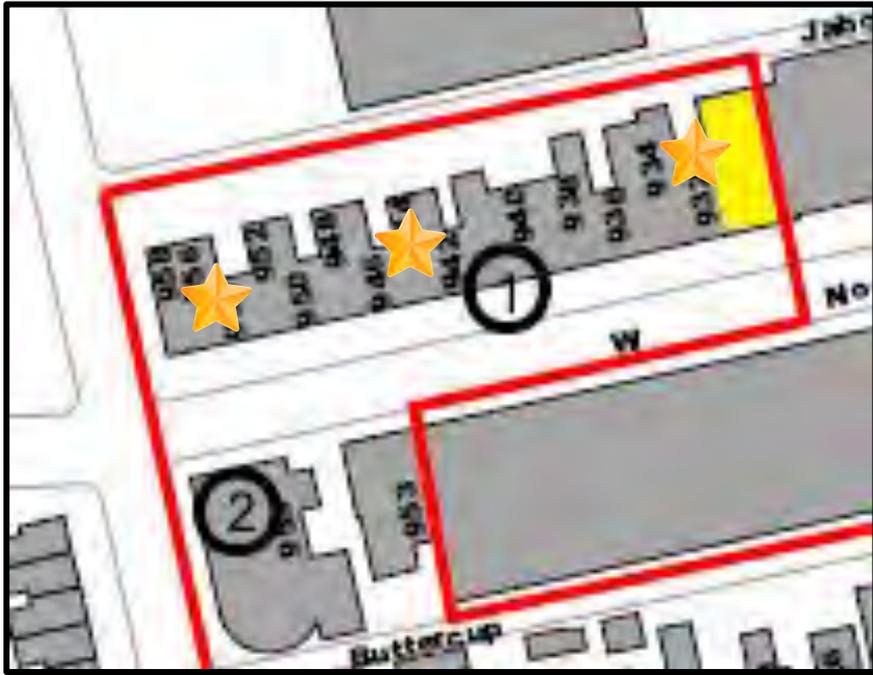
The location of the property within the neighborhood is highlighted in yellow. It is the last house on the row.

The property is surrounded by non-historic warehouses and commercial buildings on three sides.

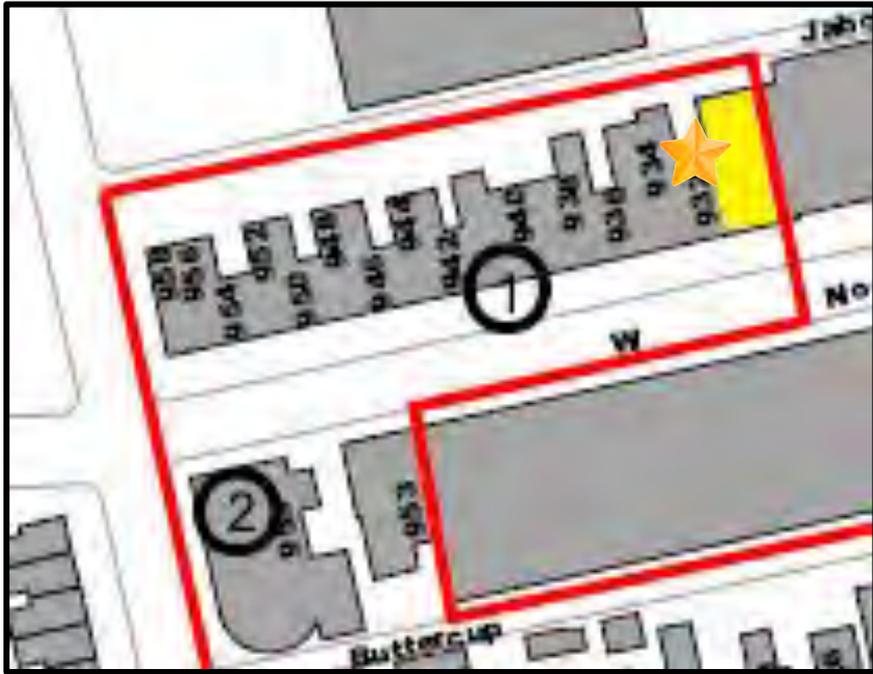


Buildings Legend

- 1. The Denny Row
- 2. Emmanuel Episcopal Church
- 3. Calvary Methodist Church

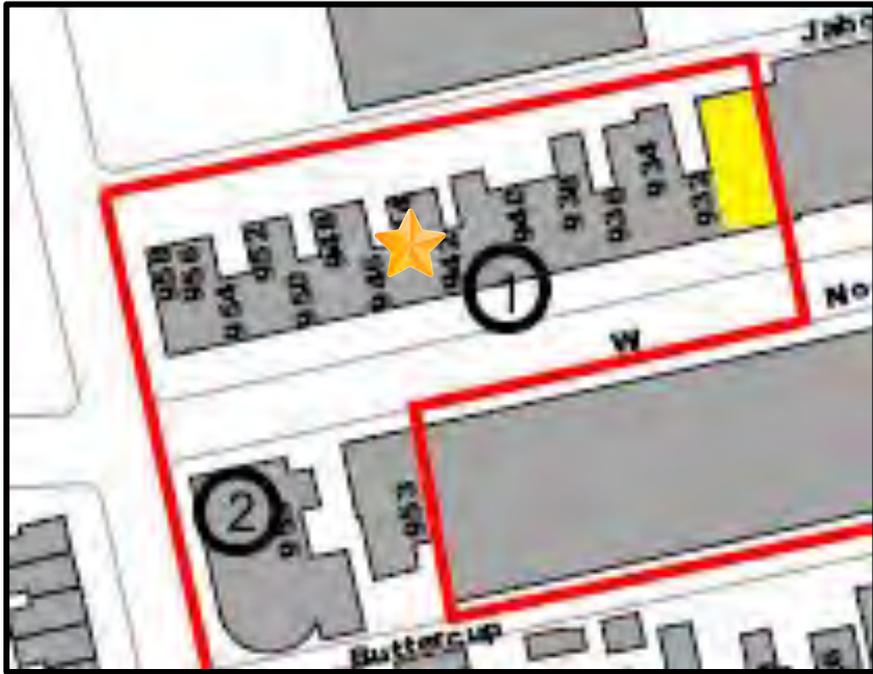


Each star represents an existing rooftop deck on the same block.



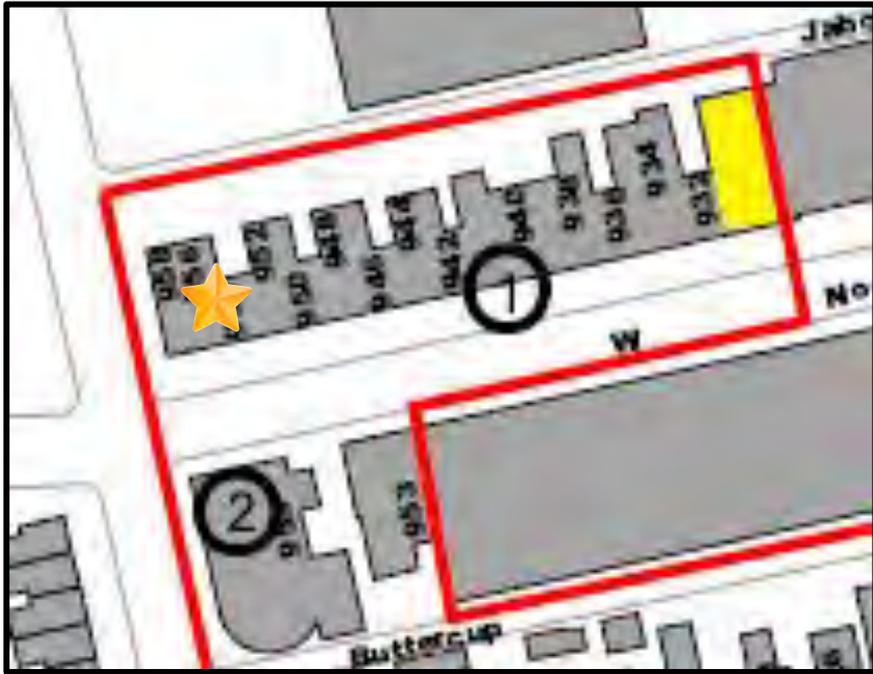
932 West North Avenue





944 West North Avenue





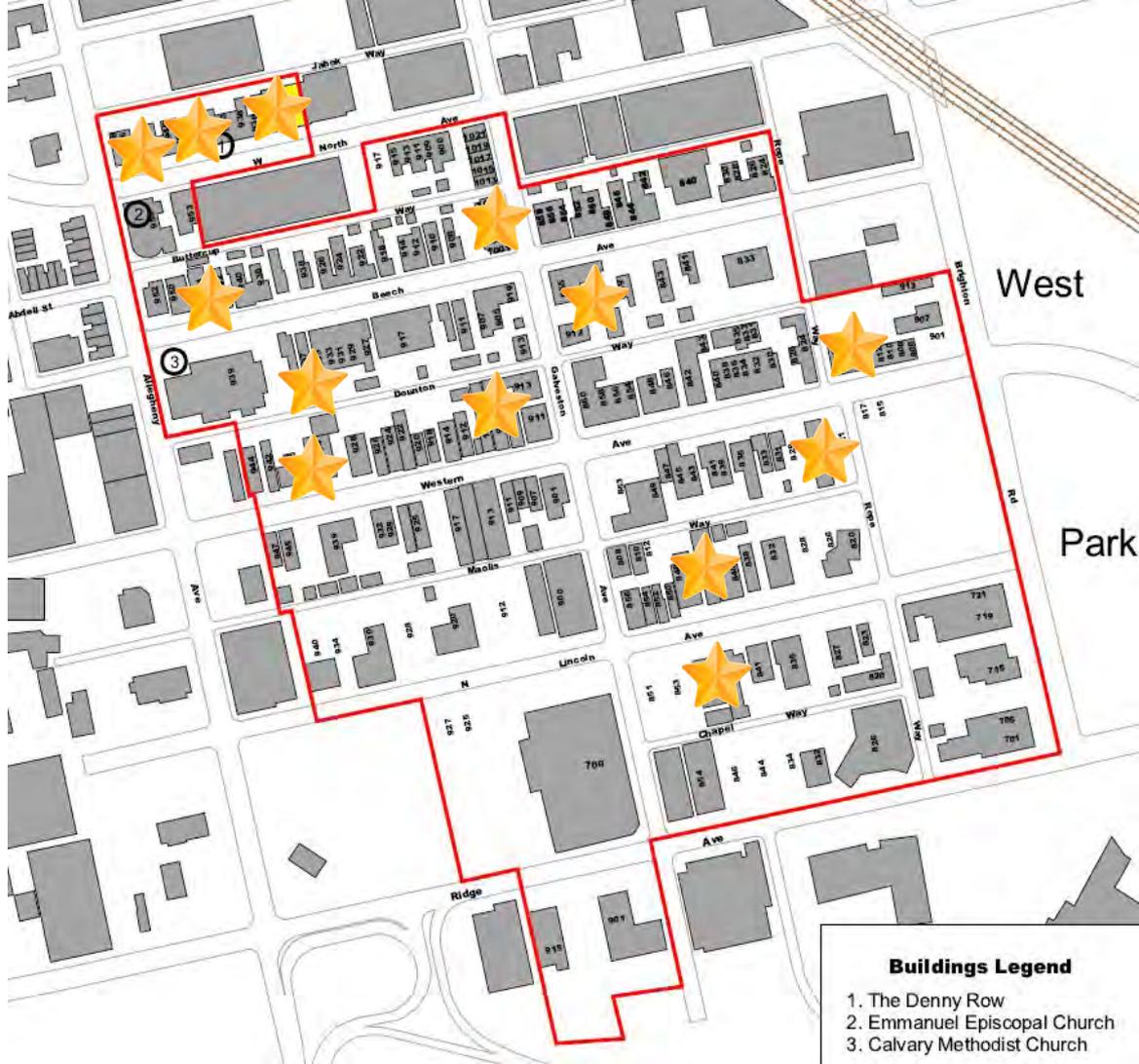
956 West North Avenue



Additional examples of rooftop decks are found throughout the neighborhood.

For simplicity, they are grouped into three categories.

Examples from each category are shown on the following three slides.



Buildings Legend

- 1. The Denny Row
- 2. Emmanuel Episcopal Church
- 3. Calvary Methodist Church

Category 1: Primarily Visible From an Alley w/in District



937 Beech Ave



818 Western Avenue

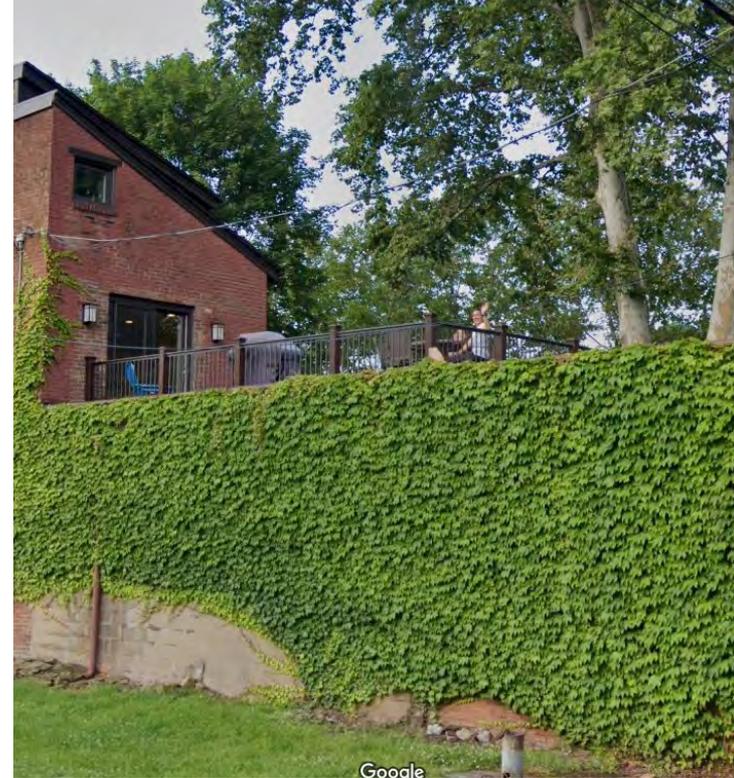


934 Western Avenue

Category 2: Visible from a Historic Street Due to Nearby Empty or Underdeveloped Lots

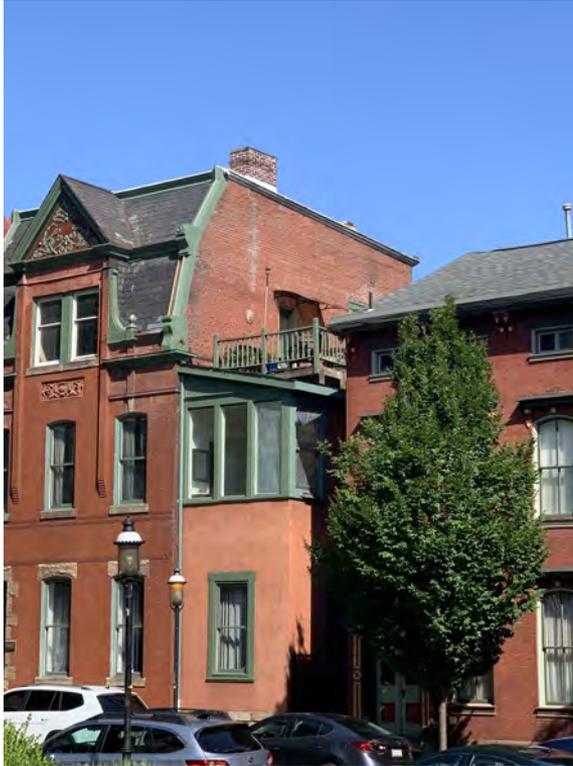


849 North Lincoln Ave



825 Western Avenue

Category 3: Fully Visible From Historic Street (Visibility Not Aided by Empty Lots)



946 Beech Ave



1007 Galveston Ave

930 West North Avenue

930 West North Avenue

Proposed project compares favorably to other projects in the neighborhood.

The recording studio next door at 922 West North Avenue blocks most views of the rear roof of the property.



View #1

This photo was
taken from 907
West North Avenue.

This is the most
visible view within
the historic district.



View #1

This photo was taken from 907 West North Avenue.

This is the most visible view within the historic district.



View #2

This photo was taken from the alley (Jabok Way) behind the North Eastern Uniforms & Equipment store at 900 West North Avenue.

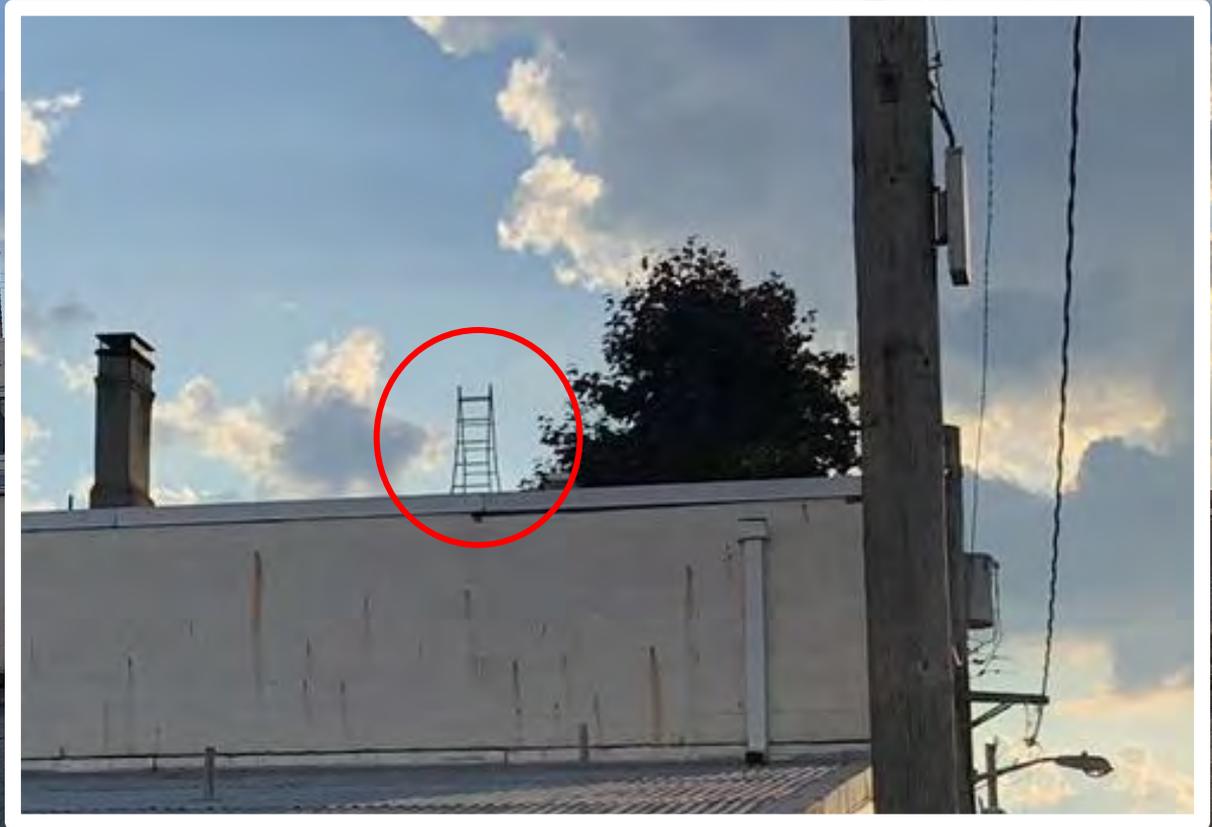
This location is the most visible view outside the historic district.



View #2

This photo was taken from the alley (Jabok Way) behind the North Eastern Uniforms & Equipment store at 900 West North Avenue.

This location is the most visible view outside the historic district.



View #3

This photo was taken from the alley (Jabok Way) directly behind the home.



View #3

This photo was taken from the alley (Jabok Way) directly behind the home.





HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

4200 5th Avenue 27-S-125
Pittsburgh PA 15213

OWNER:

NAME: Owen Cooks
 ADDRESS: University of Pittsburgh
3400 Forbes Avenue
Pittsburgh PA 15260
 PHONE: Owen Cooks - (412) 383-2621
 EMAIL: Owen Cooks - owenjcooks@pitt.edu

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

Oakland Civic Center

APPLICANT:

NAME: Lori Fitzgerald, RA
 ADDRESS: Margittai Architects
2110 Sarah Street
Pittsburgh PA 15203
 PHONE: Lori Fitzgerald - 412-780-6344
 EMAIL: Lori Fitzgerald - lori@margittai.com

REQUIRED ATTACHMENTS:

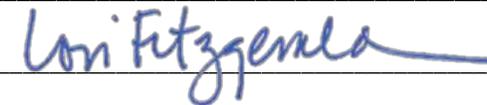
- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Provision of new ornamental metal handrails at existing exterior landscape stairs and walkways.
Proposed ornamental handrails replicate existing, original, Yellin-designed handrails already on site at Heinz Chapel.

SIGNATURES:

OWNER:  DATE: July 20, 2020

APPLICANT:  DATE: July 20, 2020



Tennyson Ave

Lytton Ave

Bigelow Blvd

Fifth Avenue

4200 Fifth Ave

S Belknap Ave

S Clarksbridge St

Forbes Ave

Filmore St

Winthrop St

Ulster Way



FIFTH AVE.

BIGELOW BLVD.

BELLEFIELD AVE.

BELLEFE HALL

80' OF
PUB.
ED.

Cathedral of Learning

Location 5&6

Location 3&4

Location 2

Location 1

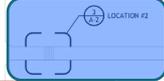
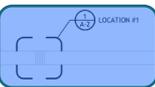
Location 11A

Location 11B

1

2

3



PHOTOS FOR
REFERENCE ONLY
N.I.C.

PHOTOS FOR
REFERENCE ONLY
N.I.C.

LOCATION #11A
DEDUCT ALT.#1

PHOTOS FOR
REFERENCE ONLY
N.I.C.

LOCATION #11B
DEDUCT ALT.#1

LOCATION #1

LOCATION #2

LOCATION #3 AND #4

LOCATION #5 AND #6

LILLY COURT

STEPHEN
FOSTER
MEMORIAL

LOADING
DOCK

3F
PARKING
LOT

LOG
CABIN

FORBES AVE.

Site Plan

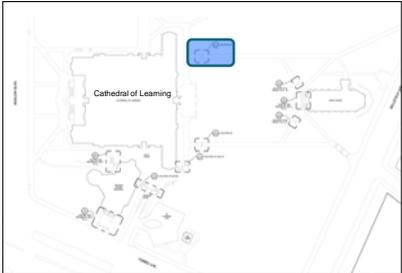
*Note: Similar colors
have similar details



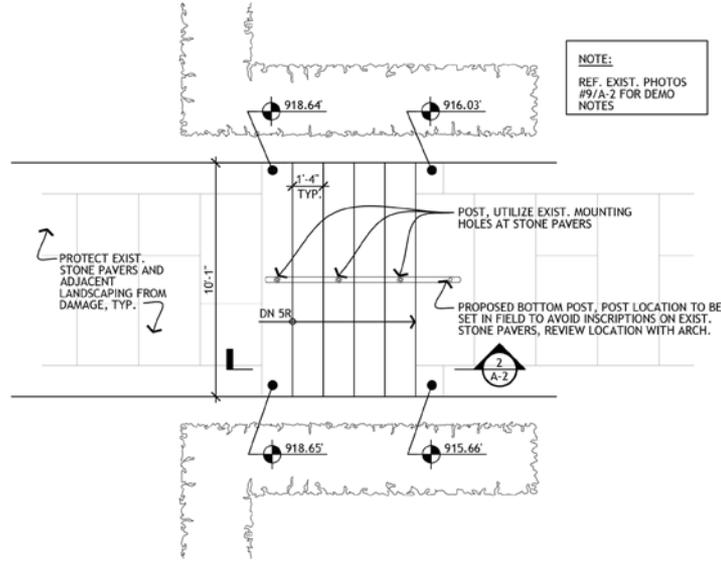
Locations



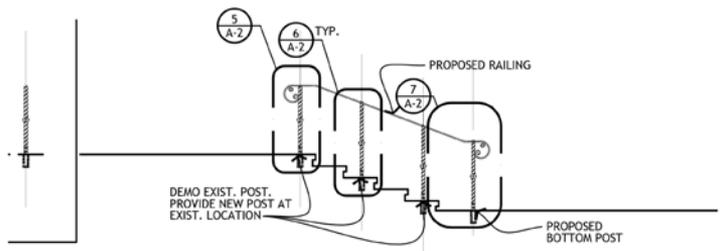
Referenced
Photos



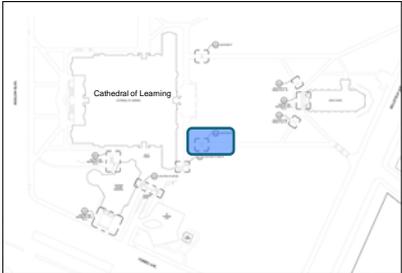
Location 1



1 PLAN - LOCATION #1
SCALE: 1/4"=1'-0"



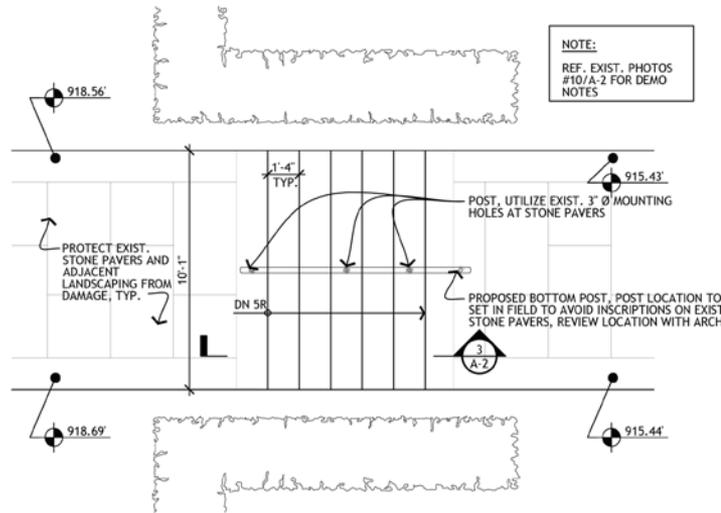
2 SECTION - LOCATION #1
SCALE: 1/4"=1'-0"



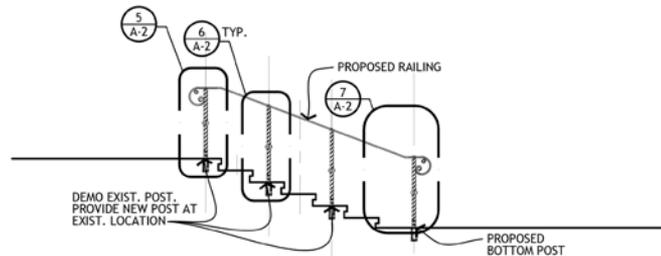
Location 2



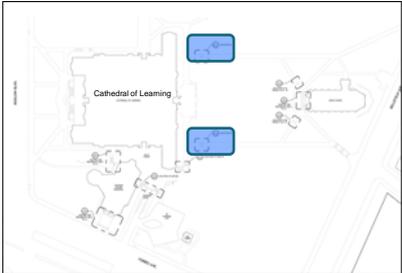
DEMO EXIST. RAILING & POSTS
EXIST. STONE STEPS & PAVERS



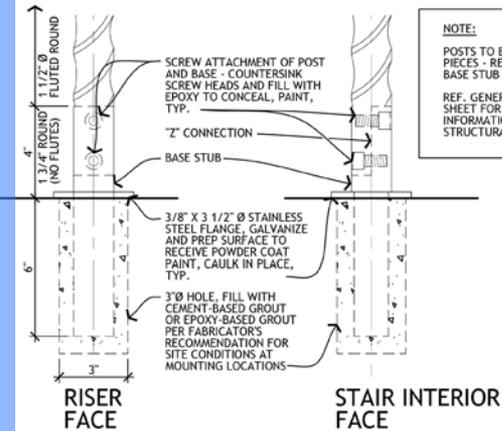
3 PLAN - LOCATION #2
SCALE: 1/4"=1'-0"



4 SECTION - LOCATION #2
SCALE: 1/4"=1'-0"

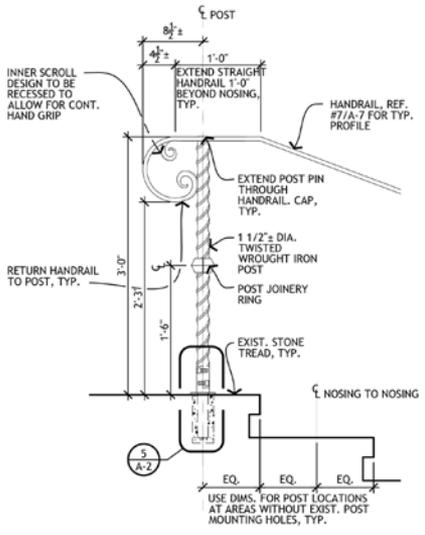


Location 1&2

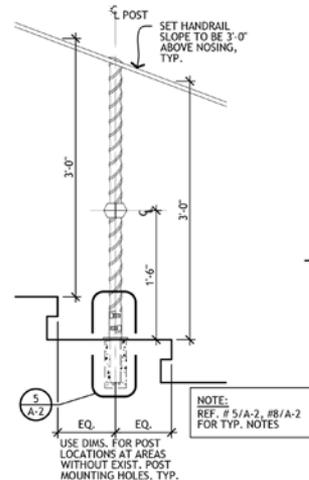


NOTE:
POSTS TO BE FABRICATED IN (2) PIECES - REMOVABLE POST + FIXED BASE STUB SET IN GROUT.
REF. GENERAL NOTES ON COVER SHEET FOR PRODUCT INFORMATION, FINISHES AND STRUCTURAL REQUIREMENTS.

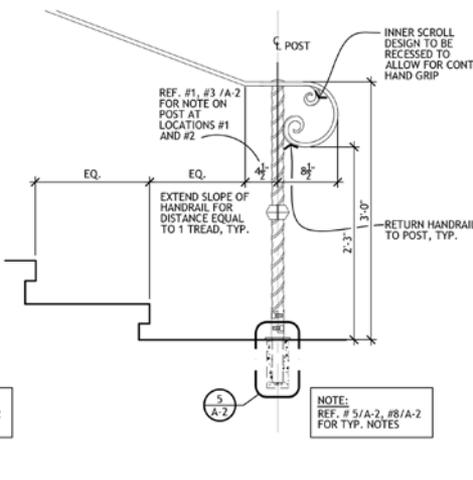
8 DETAIL - TYP. POST MOUNT
SCALE: 3"=1'-0"



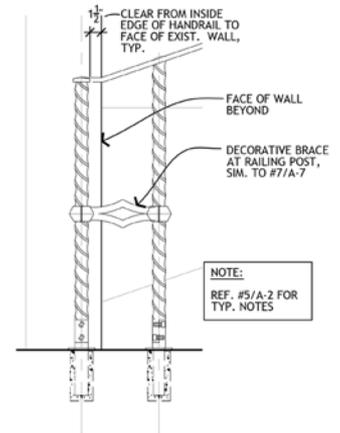
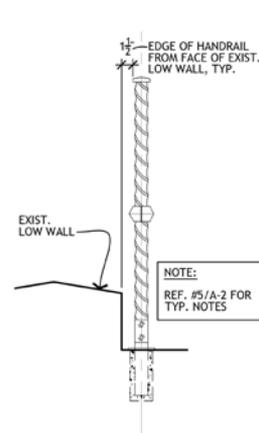
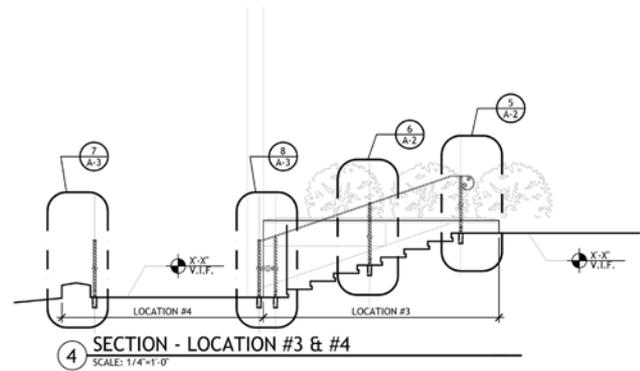
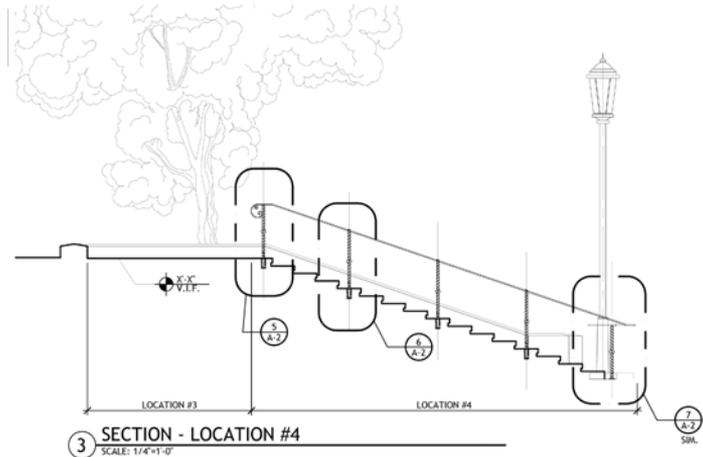
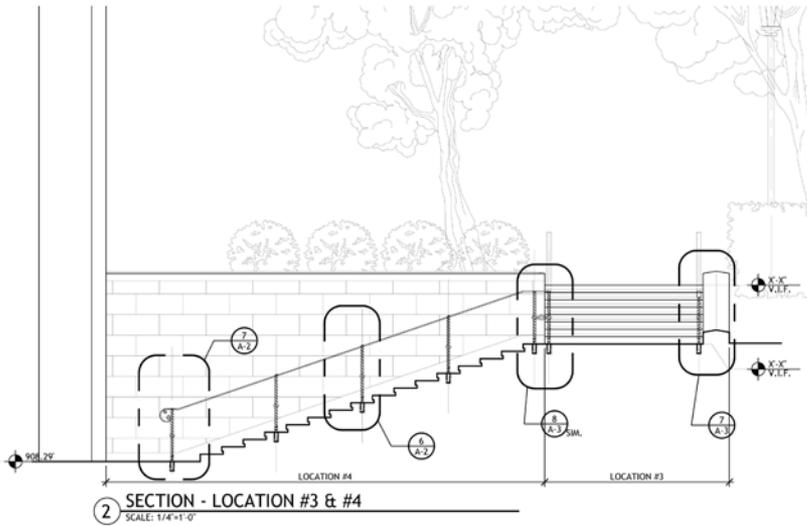
5 TOP POST ELEVATION DETAIL
SCALE: 1"=1'-0"

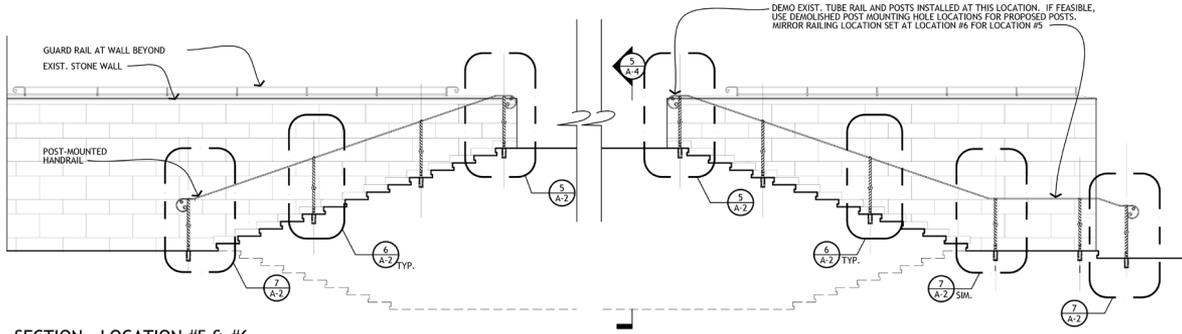


6 MIDSPAN POST ELEVATION DETAIL
SCALE: 1"=1'-0"



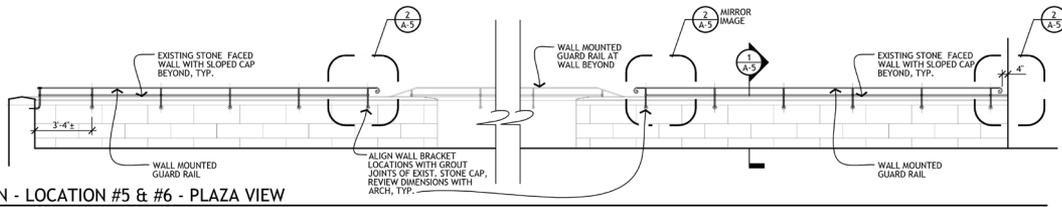
7 BOTTOM POST ELEVATION DETAIL
SCALE: 1"=1'-0"



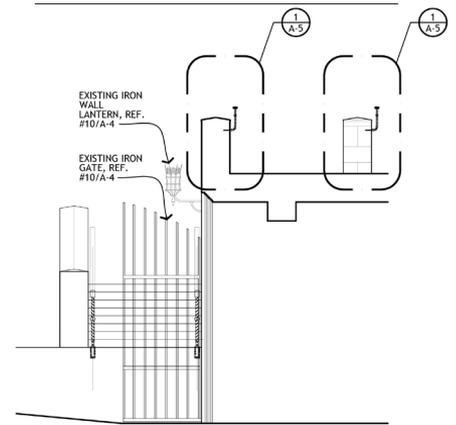


2 SECTION - LOCATION #5 & #6
SCALE: 1/4"=1'-0"

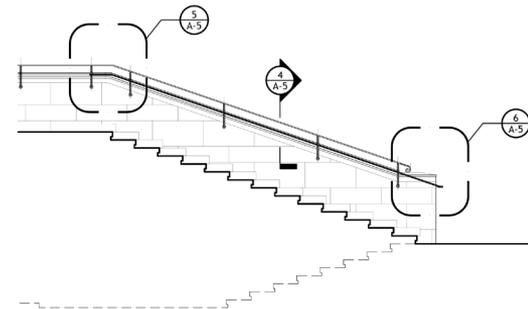
RAILING / GUARD / BRACKET / POST FINISH GENERAL NOTE:
ALL TO BE WROUGHT IRON WITH GALVANIZED (NO QUENCH) ZINC RICH PRIMER, TIGER DRY-LAC SERIES 38 SATIN BLACK POWDER COAT FINISH.



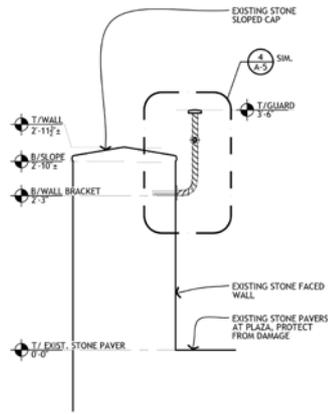
3 SECTION - LOCATION #5 & #6 - PLAZA VIEW
SCALE: 1/4"=1'-0"



5 SECTION - LOCATION #5 & #6
SCALE: 1/4"=1'-0"

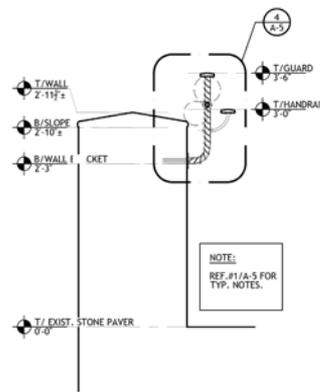


6 SECTION - LOCATION #5 & #6 - PROPOSED
SCALE: 1/4"=1'-0"



1 SECTION DETAIL
SCALE: 1"=1'-0"

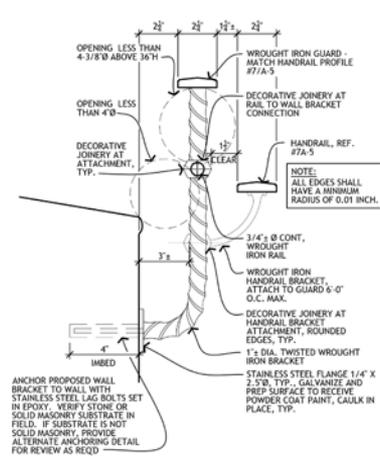
WALL MOUNTED
42" H GUARD ONLY



3 SECTION DETAIL
SCALE: 1"=1'-0"

WALL MOUNTED
42" H GUARD WITH
36" H HANDRAIL

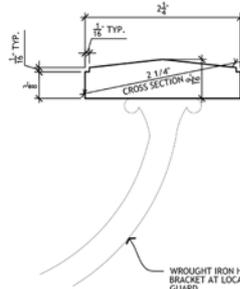
NOTE:
REF. #1(A)-5 FOR
TYP. NOTES.



4 SECTION DETAIL
SCALE: 3"=1'-0"

NOTE:
ALL EDGES SHALL
HAVE A MINIMUM
RADIUS OF 0.01 INCH.

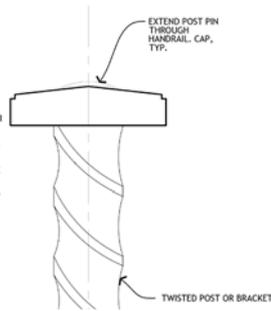
ANCHOR PROPOSED WALL BRACKET TO WALL WITH STAINLESS STEEL LAG BOLTS SET IN EPOXY. VERIFY STONE OR SOLID MASONRY SUBSTRATE IN FIELD. IF SUBSTRATE IS NOT SOLID MASONRY, PROVIDE ALTERNATE ANCHORING DETAIL FOR REVIEW AS REQD.



7 SECTION DETAIL
SCALE: FULL

TYP. HANDRAIL / GUARDRAIL PROFILE

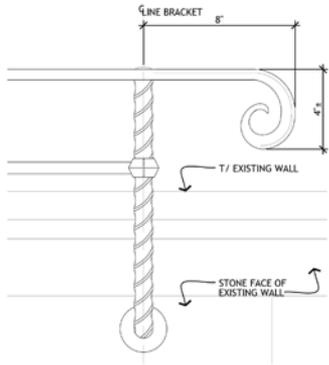
HANDRAIL:
WROUGHT IRON "NON-CIRCULAR" TYPE I
HANDRAIL TO MATCH PROFILE OF
EXISTING HANDRAIL - REF. PHOTOS
#7, #8, #6-7 (WITH MODIFIED DIMENSIONS
NOTED AS REQD BY IBC 2015 1014.3.1)
HANDRAIL PERIMETER DIMENSION TO BE
APPR. 5'-3 3/8" (4" MIN. AND 6" 1/4" MAX.)
CROSS-SECTIONAL DIMENSION OF 2 1/4"
MAX. AND MINIMUM CROSS-SECTION
DIMENSION OF 1".
ALL EDGES SHALL HAVE A MINIMUM
RADIUS OF 0.01 INCH.



8 SECTION DETAIL
SCALE: 1"=1'-0"

WALL MOUNTED HANDRAIL
(NO GUARD)

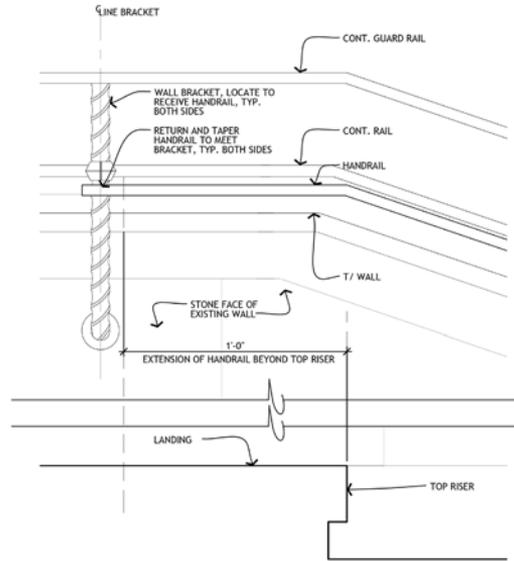
NOTE:
REF. #1(A)-5 FOR
TYP. NOTES.



2 ELEVATION DETAIL

SCALE: 3"=1'-0"

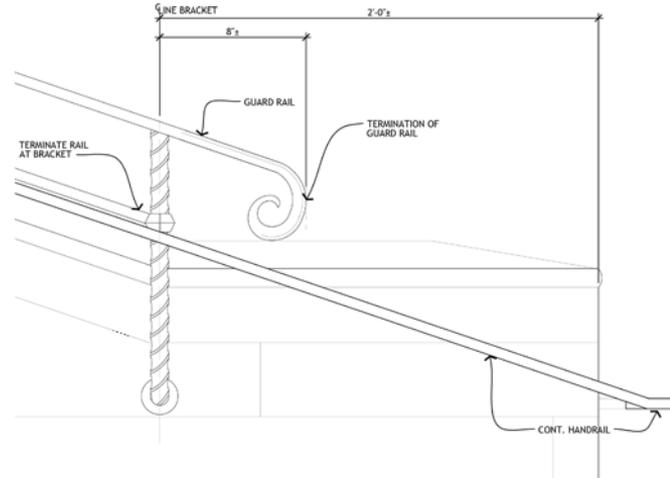
WALL MOUNTED
42"H GUARD ONLY



5 ELEVATION DETAIL

SCALE: 3"=1'-0"

CONT. WALL MOUNTED 42"H GUARD
36"H HANDRAIL TERMINATION AT TOP OF RUN



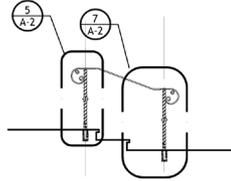
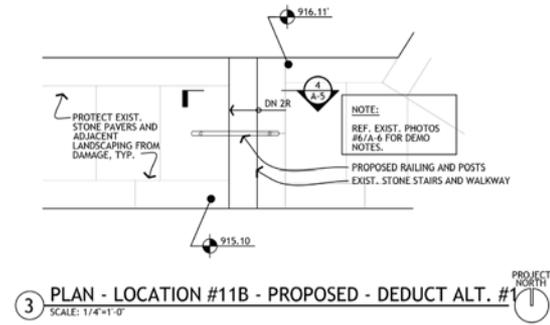
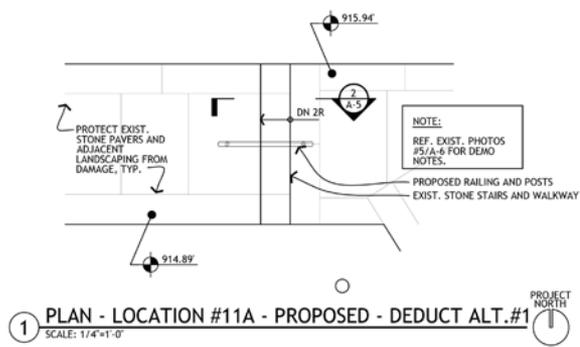
6 ELEVATION DETAIL

SCALE: 3"=1'-0"

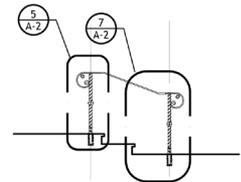
WALL MOUNTED 42"H GUARD TERMINATION
CONT. 36"H HANDRAIL



Location 11A & 11B



2 SECTION - LOCATION #11A - PROPOSED - DEDUCT ALT. #1
SCALE: 1/4"=1'-0"



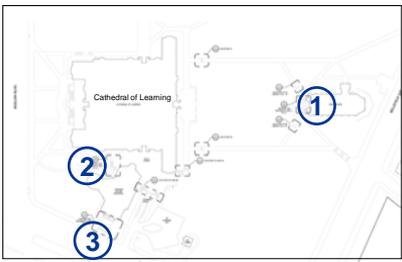
4 SECTION - LOCATION #11B - PROPOSED - DEDUCT ALT. #1
SCALE: 1/4"=1'-0"



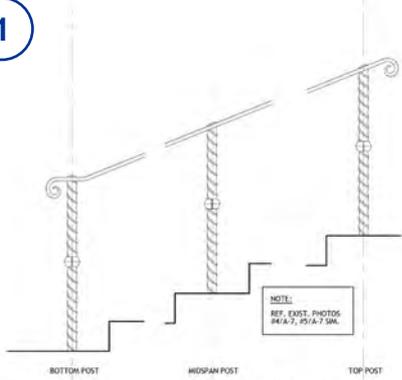
6 PHOTOS - LOCATION #11B - EXISTING



5 PHOTOS - LOCATION #11A - EXISTING



1



EXISTING RAILING

ELEVATION DETAIL - HEINZ CHAPEL FRONT STEPS (WEST)

1
SCALE: 1"=1'-0"

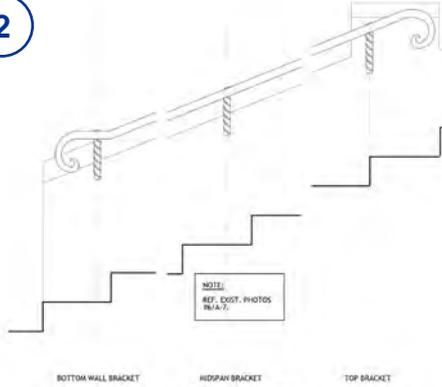


4 PHOTO - HEINZ CHAPEL
SCALE: N.T.S.



5 PHOTO - COL NORTH
SCALE: N.T.S.

2



EXISTING RAILING

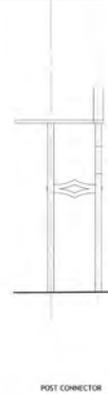
ELEVATION DETAIL - STEPHEN FOSTER WEST

2
SCALE: 1"=1'-0"



6 PHOTOS - STEPHEN FOSTER - WEST
SCALE: N.T.S.

3



EXISTING RAILING

ELEVATION DETAIL - STEPHEN FOSTER FORBES ENTRANCE (SOUTH)

3
SCALE: 1"=1'-0"



7 PHOTO- STEPHEN FOSTER FORBES ENTRANCE (SOUTH)
SCALE: 1"=1'-0"





CITY OF PITTSBURGH

Historic Review Commission Application for a Certificate of Appropriateness

DIRECTIONS:

Please note: You must complete a Zoning and Development Review Application (ZDR) along with this Application. The ZDR can be filed and fees paid online after creating an account at OneStopPGH. Please upload this Application when submitting the ZDR along with your supporting documentation.

DEADLINE:

Completed applications must be received at least 13 business days prior to the HRC hearing, when a hearing is required. In order to confirm your spot on the agenda, you must confirm that your application has been received by emailing historicreview@pittsburghpa.gov.

FEE SCHEDULE:

See attached.

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

DISTRICT: _____

ZDR#: _____

FEE PAID: _____

ADDRESS OF PROPERTY:

6 Allegheny Square E, Pittsburgh, PA 15212

APPLICANT/PROPERTY OWNER INFORMATION

OWNER NAME: City of Pittsburgh COMPANY NAME: New Hazlette Theater

OWNER ADDRESS: 6 Allegheny Square E, Pittsburgh, PA 15212

APPLICANT NAME: Robert S. Pfaffmann, FAIA, AICP COMPANY NAME: Pfaffmann + Associates PC

APPLICANT ADDRESS: 223 Fourth Avenue

APPLICANT CONTACT (EMAIL): rob@pfaffmann.com (PHONE): 412.398.7546

SUPPORTING DOCUMENTATION (REQUIRED):

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT (ATTACH ANOTHER SHEET IF NEEDED):

Rehabilitate existing granite steps for the New Hazlett Theater.
Work includes new ADA compliant handrails with integral LED lighting.
Work also includes onsite stormwater storage (for steps only) under concrete paving replacement.
Note: this is a city owned structure operated and managed by the New Hazlette Theater.

APPLICANT OR PROPERTY OWNER SIGNATURE:

SIGN:

DATE: 8-12-20



6 Allegheny Square E

Allegheny Square E





Steps Rehabilitation, on

6 Allegheny Square E, Pittsburgh, PA 15212

Historic Review Commission September 2020

Project Summary

Masonry Restoration, on

Paving

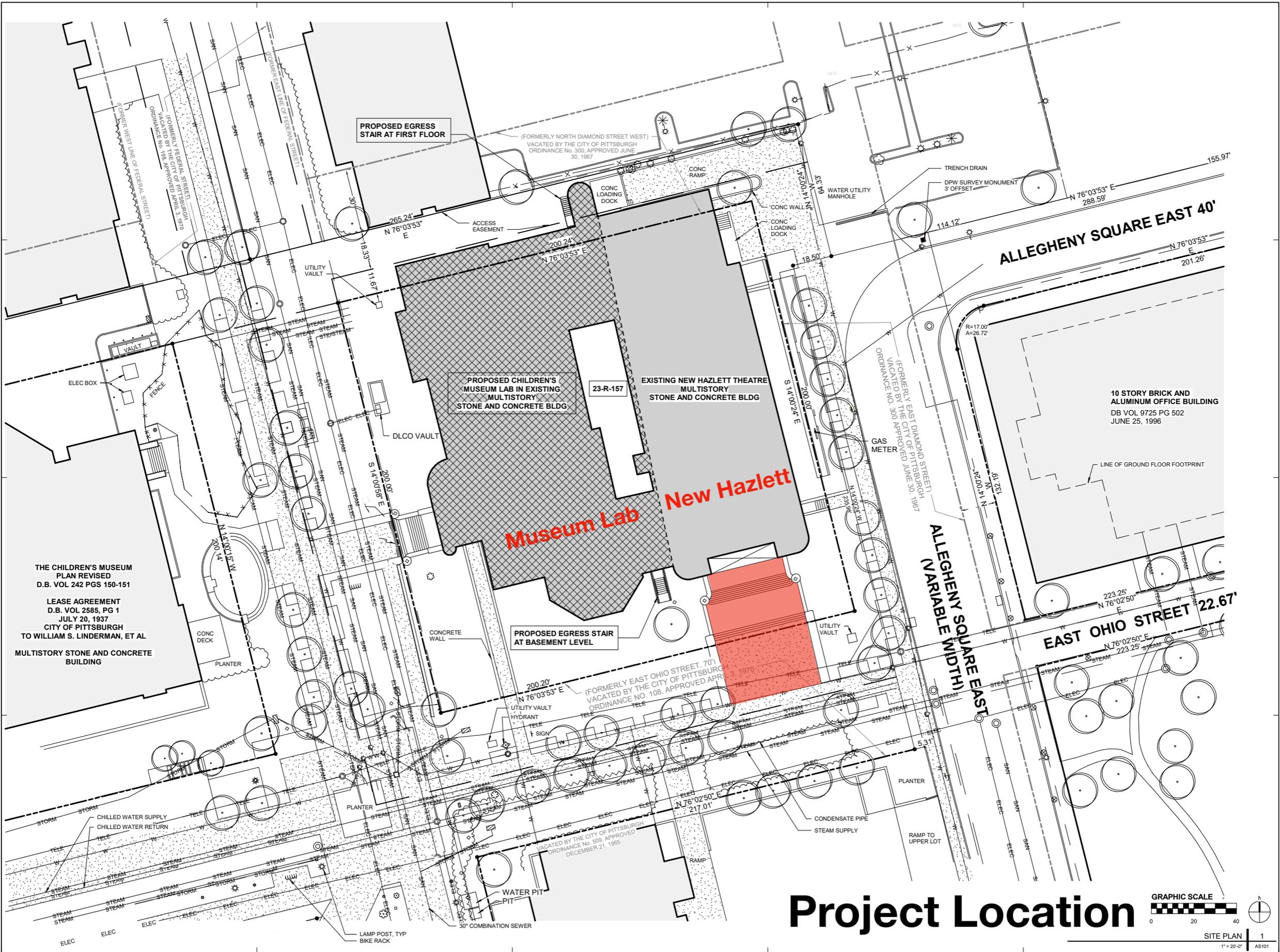
Rails & Lighting

Stormwater Management

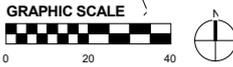
PFAFFMANN + ASSOCIATES, Architecture & Preservation, on Planning
THE GATEWAY ENGINEERS, Civil & Structural Engineering

Project Summary

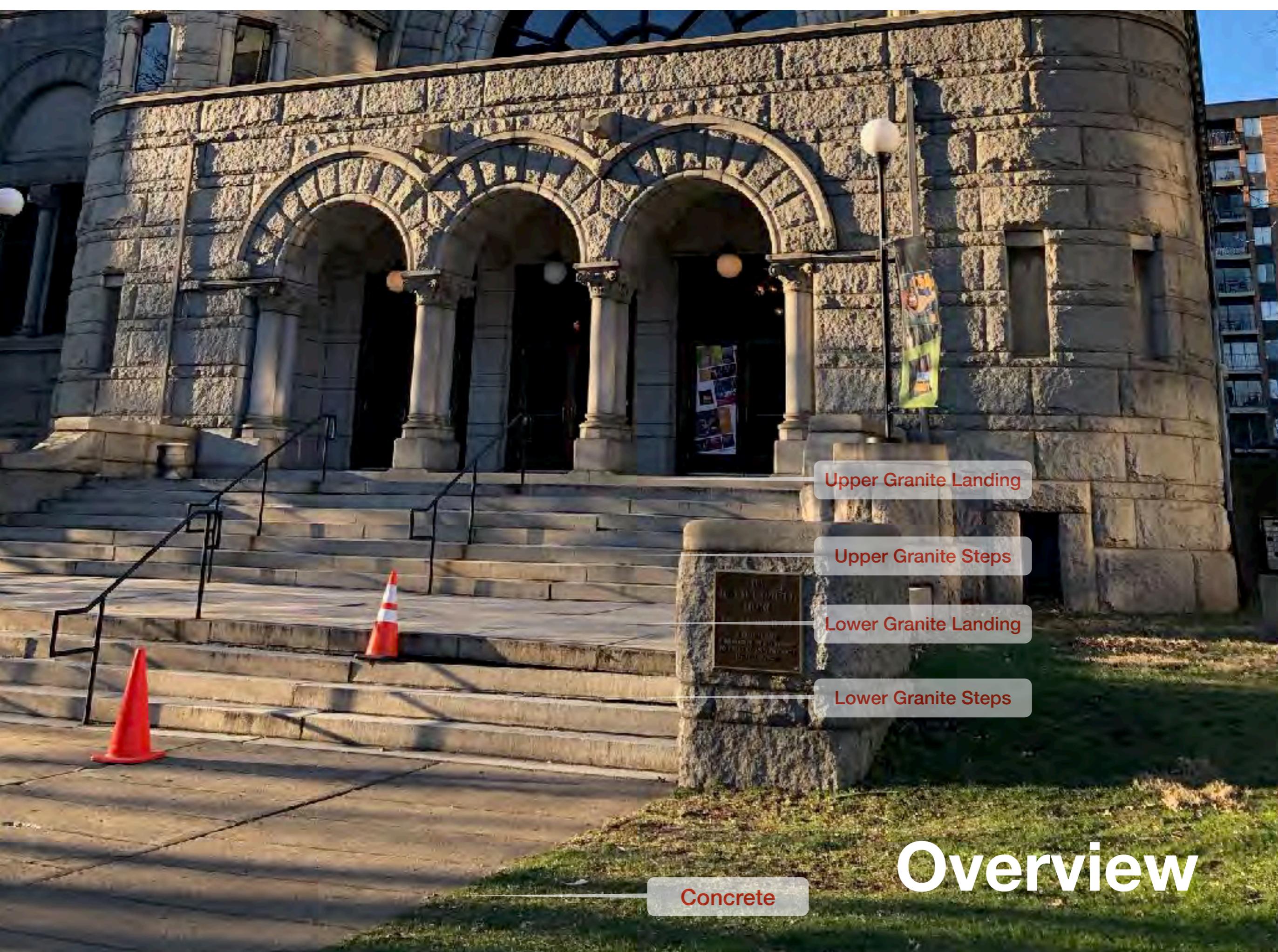
- Building is owned by the City of Pittsburgh
- New Hazlette Theater shares the former Library and Music Hall with Pittsburgh Children's Museum
- The NHT has received PHMC Keystone Funding for this project, which is part of ongoing maintenance obligations to the City.
- The Scope of the project is to reconstruct the failing granite entry steps and associated concrete paving.
- Stormwater is a major problem underneath in support areas of the theater which is introduced through the steps.
- The steps become a hazard due to standing water, ice. Some Patrons have difficulty navigating the steps (depth perception, lighting and access to handrails)



Project Location



10/31/2017 11:46:34 PM



Upper Granite Landing

Upper Granite Steps

Lower Granite Landing

Lower Granite Steps

Concrete

Overview



Existing Upper Landing from Below



Existing Rails (2)



Existing Granite Steps



 GUIDELINE FOR WRITING SPECIFICATIONS WHEN USING
JAHN M70, M90, M160
RESTORATION MORTARS

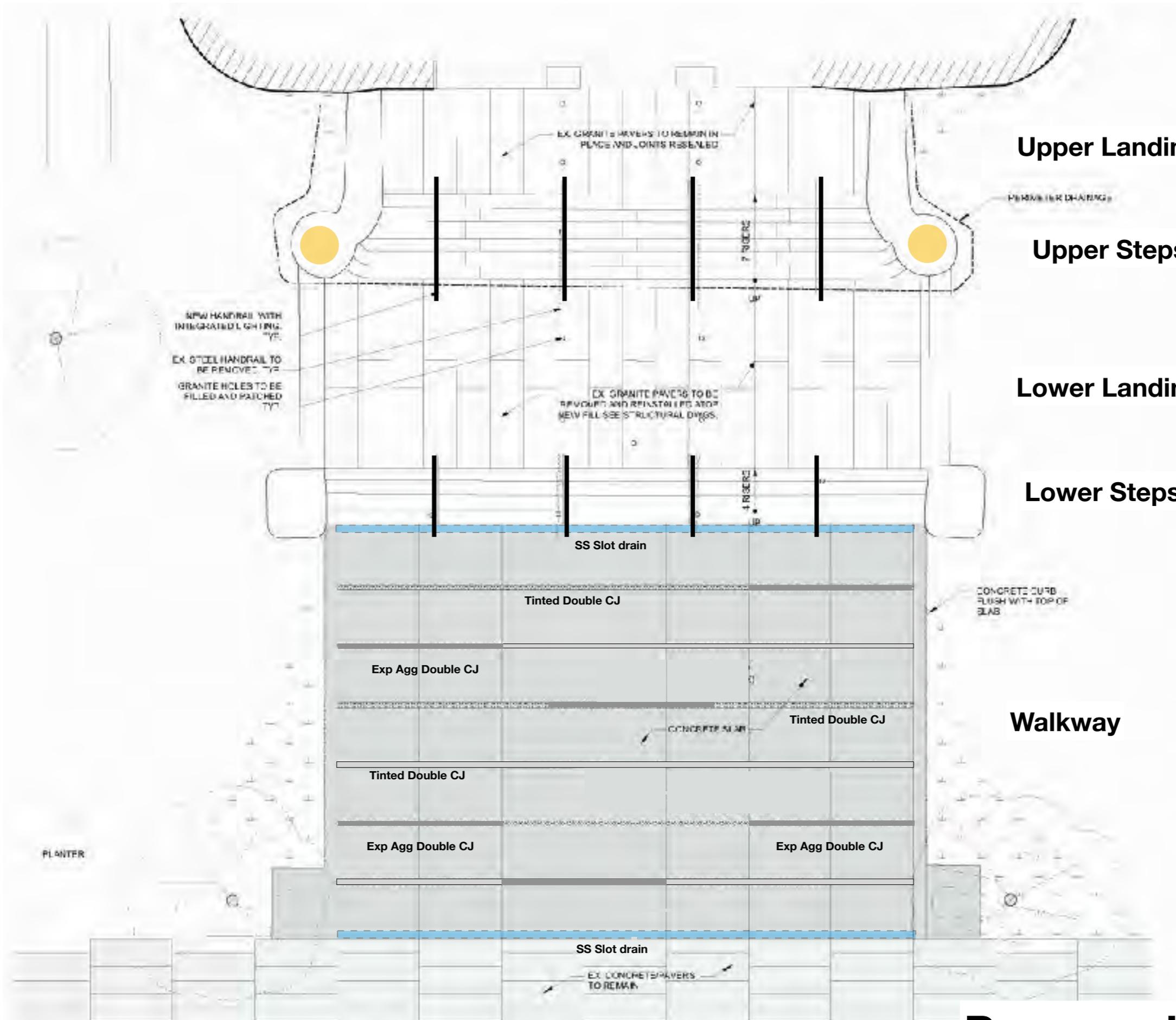
Existing Granite Steps



Lower Landing (Granite)



Existing Concrete Walk



Upper Landing

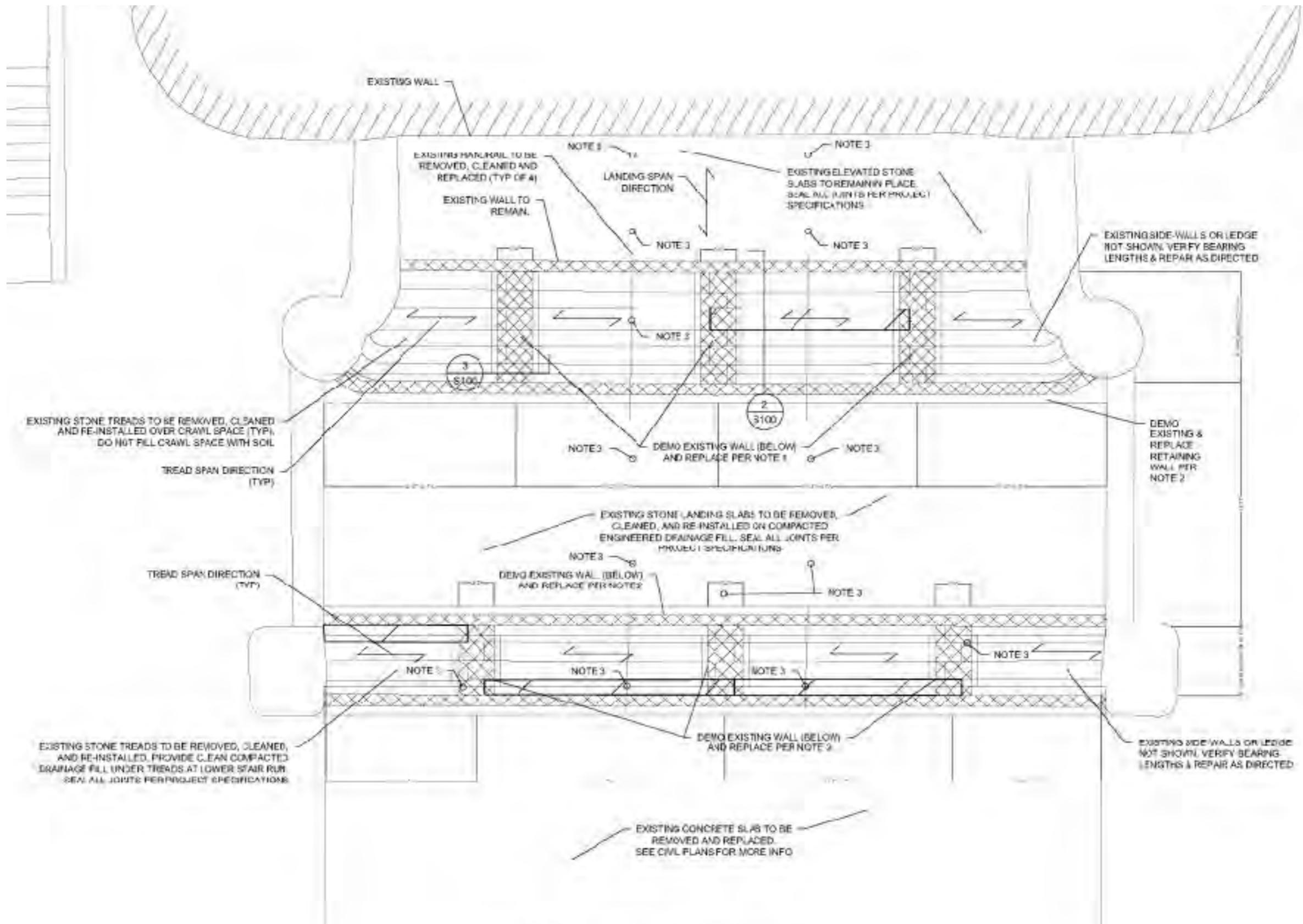
Upper Steps

Lower Landing

Lower Steps

Walkway

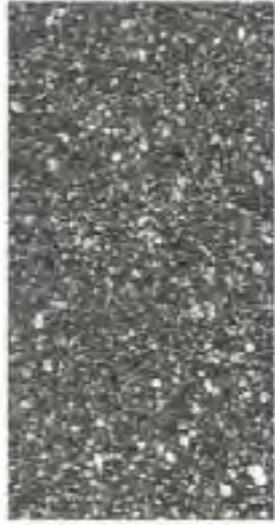
Proposed Plan



Structural Rehabilitation



Limestone Gray



Charcoal



Natural*

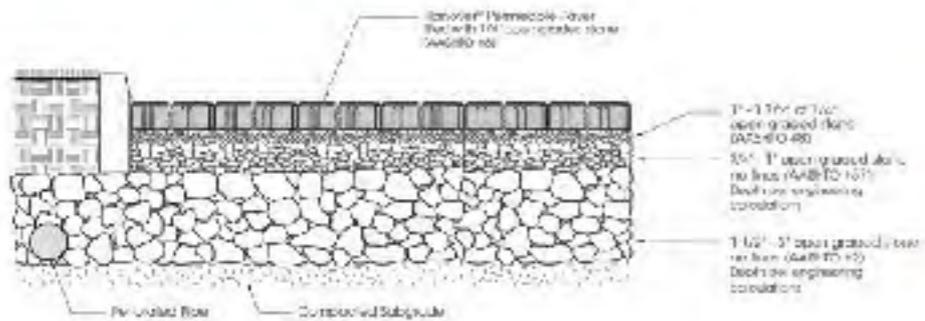


PERMEABLE 12" X 18"

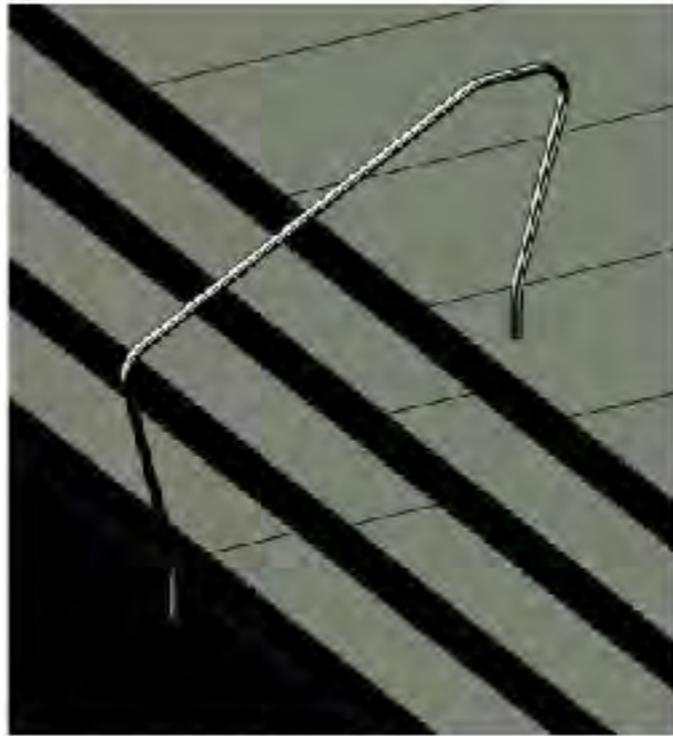
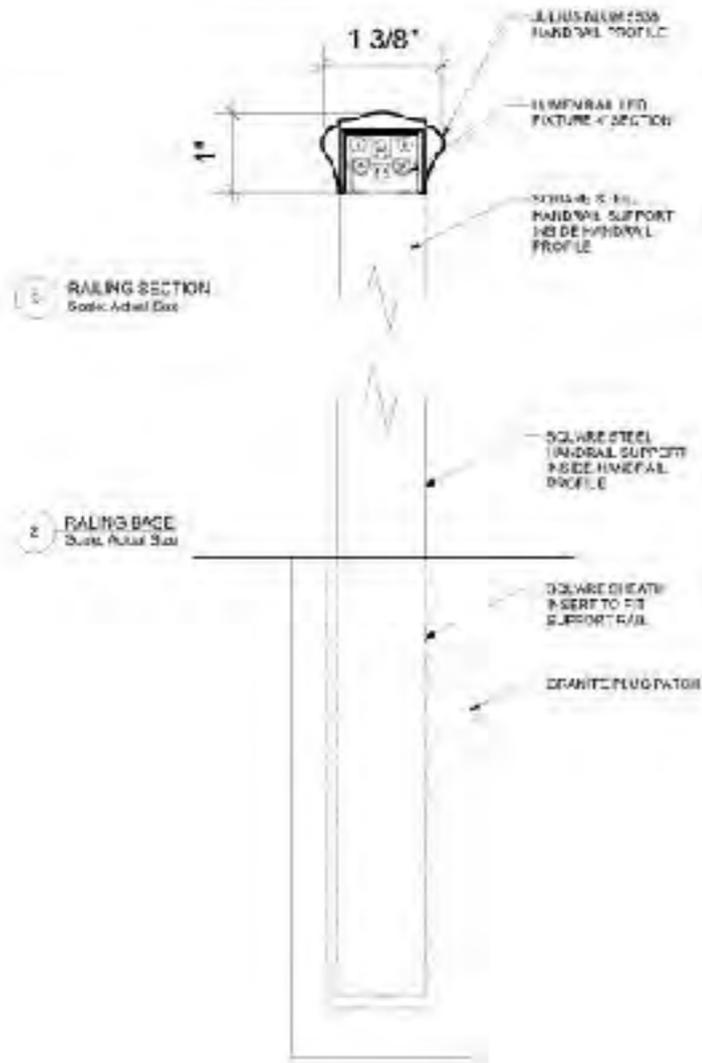


Permeable paving stones are 12" x 18" with edge dimensions of 11 1/2" x 17 1/2". The permeable 12" x 18" has internal joints designed to allow water to pass through the stone and into the aggregate below. The stones are made of concrete and are available in a variety of colors and finishes. The stones are made of concrete and are available in a variety of colors and finishes.

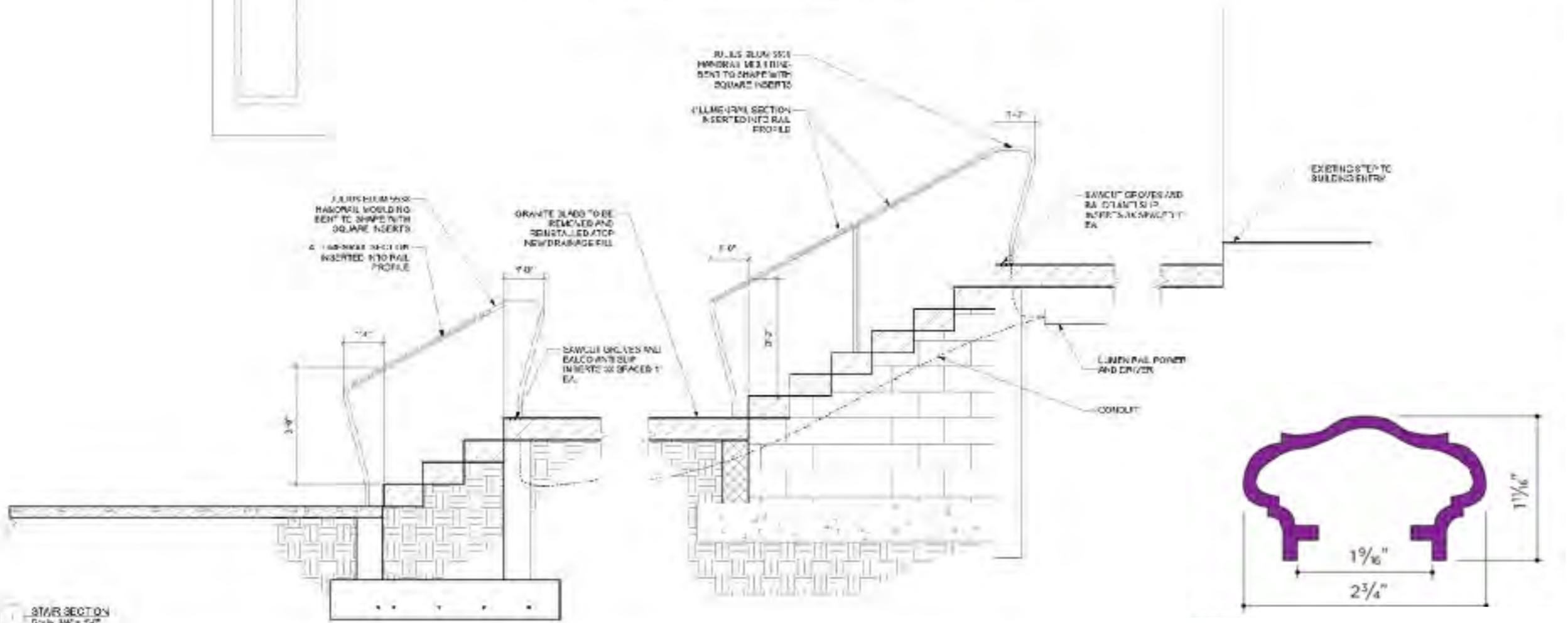
- Grade: 1/4" x 1/4" x 1/4"
- Stone thickness: 2"
- Channel thickness ranging from 2"-3" available upon request
- Channel color: available in a variety of colors
- Suggested by manufacturer for use in pedestrian areas
- Joint spacing: per lot



Examples of Cast and Precast paving options



ISOMETRIC VIEW OF HANDRAIL AT SHORT STAIRS



1 STAIR SECTION
Scale: 3/4" = 1'-0"

Rail Details



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1501 Allegheny Ave.

Pittsburgh, PA 15233

OWNER:

NAME: Manchester Citizens Group

ADDRESS: 1319 Allegheny Ave.
 Pittsburgh, PA 15233

PHONE: _____

EMAIL: _____

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

APPLICANT:

NAME: Christopher A. Kim, P.E.

ADDRESS: 132 Oakwood Ave.
 Pittsburgh, PA 15229

PHONE: (412)818-3312

EMAIL: chrisakim213@gmail.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

General renovations, including the following exterior upgrades/changes:

- Replace windows
- Re-paint brick w/ historic color (existing brick is painted by chipping)
- Replace siding adjacent to adjacent vacant lot

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT:  _____ DATE: 8/14/20



1501 Allegheny Ave

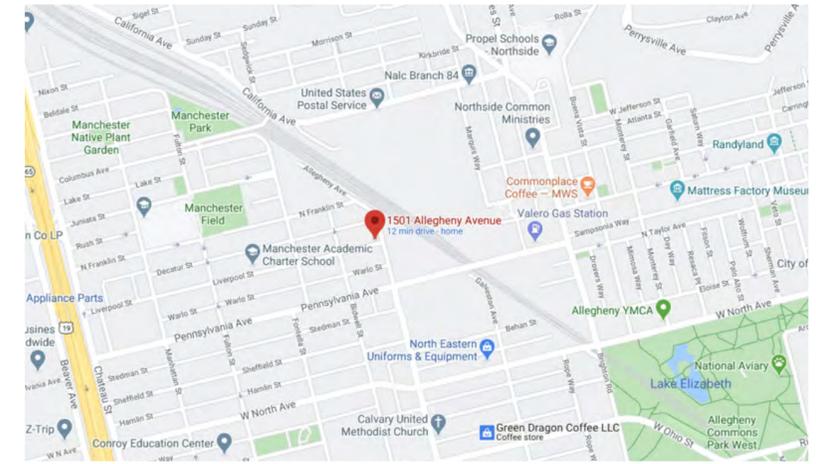
Allegheny Ave



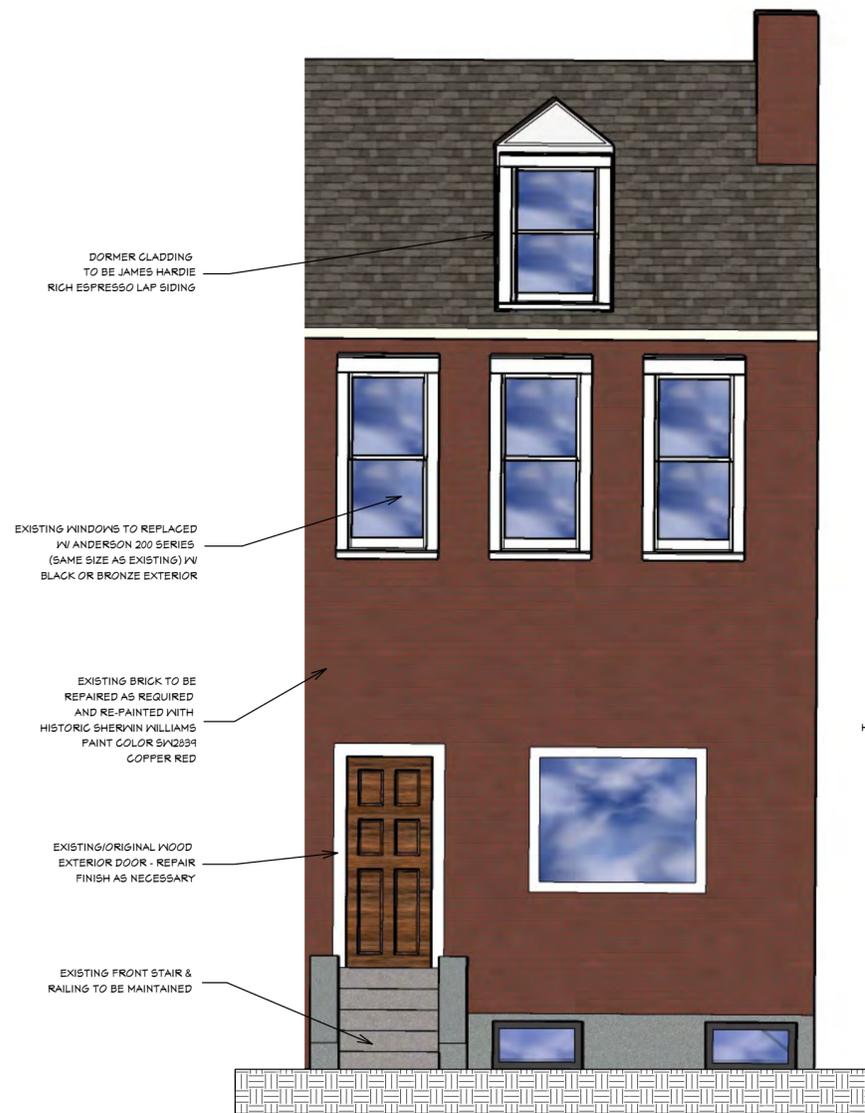


EXISTING PHOTOS
SCALE: NO SCALE

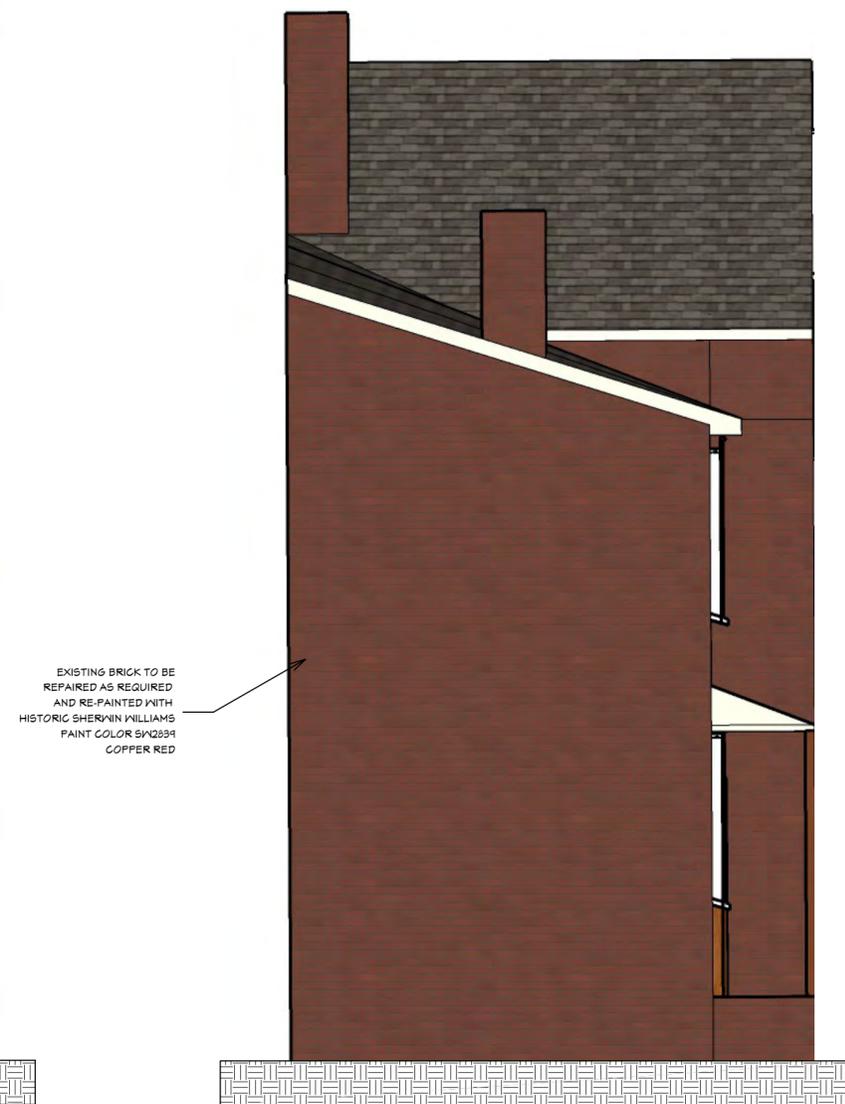
**PROPOSED RENOVATION
OF
1501 ALLEGHENY AVE.
PITTSBURGH, PA 15233**



PROJECT VICINITY MAP



PROPOSED EAST/FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST/REAR ELEVATION
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELEVATIONS

PROJECT DESCRIPTION:
**1501 ALLEGHENY AVE.
Pittsburgh, PA 15233**

DRAWINGS PROVIDED BY:
HOUSE & BUILDING ENGINEERING
2020 Creekside Circle, Unit #2514
Cranberry Township, PA 16066
(412) 816-3312

DATE:
8/18/20

SCALE:
AS INDICATED

SHEET:
A-1



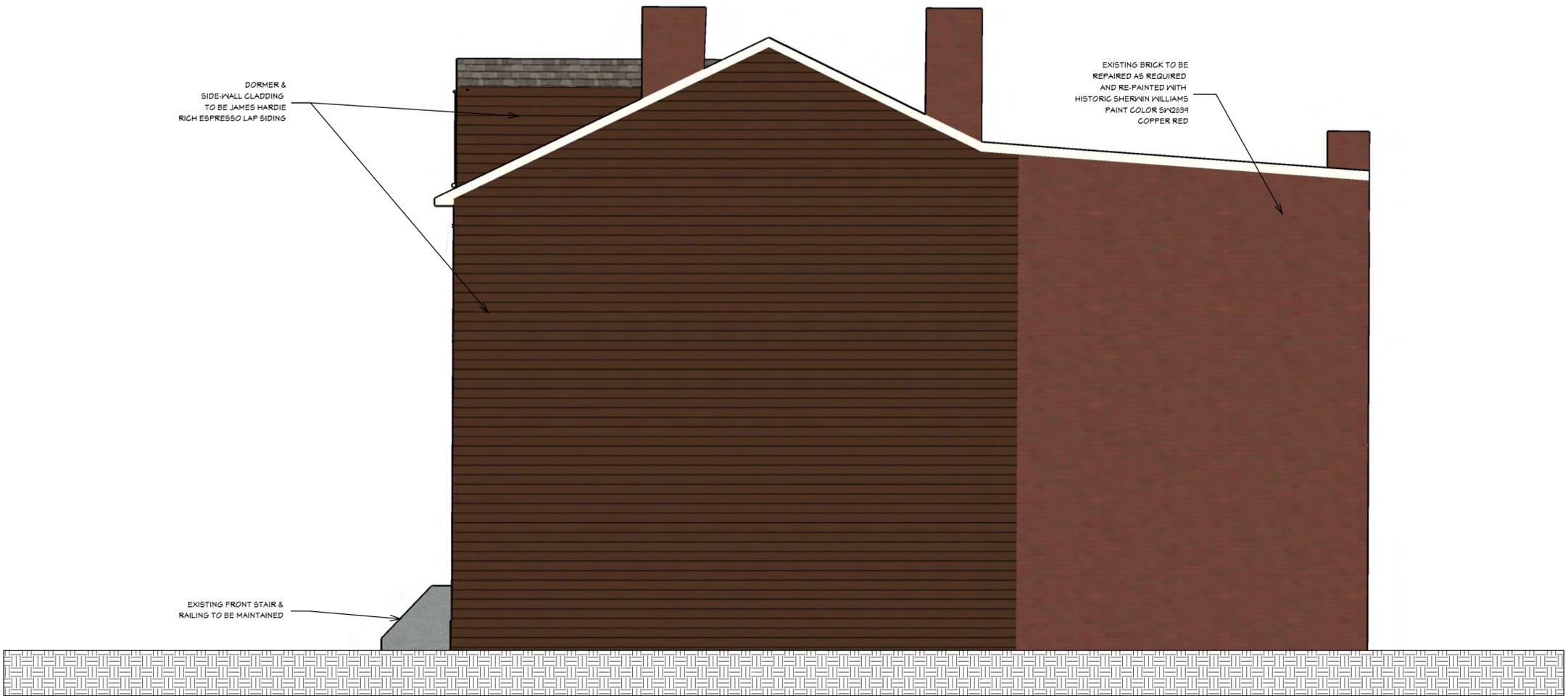
EXISTING WINDOWS TO BE REPLACED
W/ ANDERSON 100 SERIES
(SAME SIZE AS EXISTING) W/
BLACK OR BRONZE EXTERIOR

EXISTING BRICK TO BE
REPAIRED AS REQUIRED
AND RE-PAINTED WITH
HISTORIC SHERWIN WILLIAMS
PAINT COLOR SW2834
COPPER RED

DORMER GLADDING
TO BE JAMES HARDIE
RICH ESPRESSO LAP SIDING

PROPOSED SOUTH/SIDE ELEVATION

SCALE: 1/4" = 1'-0"



DORMER &
SIDE-WALL GLADDING
TO BE JAMES HARDIE
RICH ESPRESSO LAP SIDING

EXISTING BRICK TO BE
REPAIRED AS REQUIRED
AND RE-PAINTED WITH
HISTORIC SHERWIN WILLIAMS
PAINT COLOR SW2834
COPPER RED

EXISTING FRONT STAIR &
RAILING TO BE MAINTAINED

PROPOSED NORTH/SIDE ELEVATION

SCALE: 3/16" = 1'-0"

ISSUED FOR HISTORIC REVIEW
AUGUST 14, 2020

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELEVATIONS

PROJECT DESCRIPTION:
**1501 ALLEGHENY AVE.
Pittsburgh, PA 15233**

DRAWINGS PROVIDED BY:
HOUSE & BUILDING ENGINEERING
2020 Creekside Circle, Unit #2314
Charmery Township, PA 16066
(412) 215-3312

DATE:
8/18/20

SCALE:
AS INDICATED

SHEET:
A-2



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1105 Liverpool St.
 Pittsburgh, PA 15233

OWNER:

NAME: Manchester Citizens Group
 ADDRESS: 1319 Allegheny Ave.
 Pittsburgh, PA 15233

PHONE: _____
 EMAIL: _____

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

APPLICANT:

NAME: Christopher A. Kim, P.E.
 ADDRESS: 132 Oakwood Ave.
 Pittsburgh, PA 15229

PHONE: (412)818-3312
 EMAIL: chrisakim213@gmail.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

General renovations, including the following exterior upgrades/changes:
 -Replace windows
 -Replace siding

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT:  _____ DATE: 8/14/20



Sagamore St

Liverpool St

1105 Liverpool St

Wario St

Google Earth

©2020 Google

100 ft





EXISTING PHOTOS
SCALE: NO SCALE

**PROPOSED RENOVATION
OF
1105 LIVERPOOL ST.
PITTSBURGH, PA 15233**

SIDING SPECIFICATIONS:
ALL SIDING TO BE CLAPBOARD HORIZONTAL SIDING HAVING A 6" EXPOSURE

HARDIE (WHERE INDICATED):
-PRODUCT: HARDIEPLANK CEDARMILL LAP SIDING W/ 6" EXPOSURE
-COLOR: MOUNTAIN SAGE



PROJECT VICINITY MAP



Front Elevation

PROPOSED NORTH/FRONT ELEVATION
SCALE: 1/4" = 1'-0"

WINDOWS TO BE REPLACED
W/ ANDERSON 200 SERIES
DOUBLE HUNG WINDOWS
(SIZE TO MATCH EXISTING TO
EXTENT POSSIBLE)

HARDIEPLANK
SIDING

HARDIEPLANK
SIDING

4" HARDIE
EDGE TRIM-
COLOR TO
MATCH SIDING

ROGUE VALLEY 4130
6-PANEL MAHOGANY
DOOR



Back Elevation

PROPOSED SOUTH/REAR ELEVATION
SCALE: 1/4" = 1'-0"

WINDOWS TO BE REPLACED
W/ ANDERSON 200 SERIES
DOUBLE HUNG WINDOWS
(SIZE TO MATCH EXISTING TO
EXTENT POSSIBLE)

4" HARDIE
EDGE TRIM-
COLOR TO
MATCH SIDING

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELEVATIONS

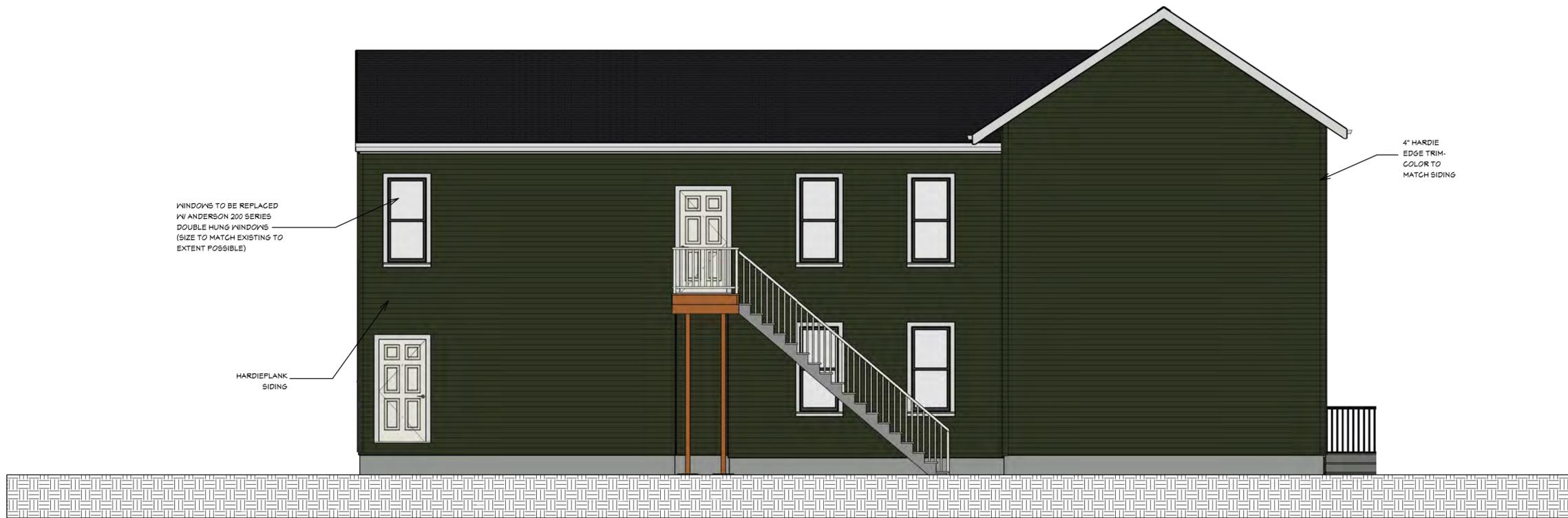
PROJECT DESCRIPTION:
**1105 Liverpool St.
Pittsburgh, PA 15233**

DRAWINGS PROVIDED BY:
HOUSE & BUILDING ENGINEERING
2020 Creekside Circle, Unit #2514
Charmberg Township, PA 16066
(412) 916-3312

DATE:
8/18/20

SCALE:
AS INDICATED

SHEET:
A-1



PROPOSED EAST/SIDE ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST/SIDE ELEVATION

SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
ELEVATIONS

PROJECT DESCRIPTION:
1105 Liverpool St.
Pittsburgh, PA 15233

DRAWINGS PROVIDED BY:
HOUSE & BUILDING ENGINEERING
2020 Creekside Circle, Unit #2514
Charmery Township, PA 16066
(412) 215-3312

DATE:
8/18/20

SCALE:
AS INDICATED

SHEET:
A-2



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1807 FULTON

DISTRICT:

MCC.

OWNER:

NAME: LIGHT OF THE AGE MUSQUE

ADDRESS: 1320 BOMLE ST.
PITTSBURGH

PHONE: 412.728.7037

EMAIL: 75NOW10330@AOL.COM.

APPLICANT:

NAME: GREN PETERSON / IOLU ARCHITECTURE

ADDRESS: 277 SPRING RUN RD
CRESCENT, PA 15246

PHONE: 412.496.9261

EMAIL: G.PETERSON@IOLU.PA.COM

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

NEW 3600 SF. SINGLE FLOOR + UNFINISHED BASEMENT MUSQUE.

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT: [Signature] DATE: _____



1807 Fulton St

Columbus Ave

Arthur Ralph Way

Betty Jane Ralph Way













Division of Zoning and Development Review
City of Pittsburgh, Department of City Planning
200 Ross Street, Third Floor
Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH

Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1206 PALO ALTO STREET

PITTSBURGH, PA 15212

OWNER:

NAME: EDWARD & BARBARA IVANKO

ADDRESS: 1206 PALO ALTO STREET
PITTSBURGH, PA 15233

PHONE: (561) 818-4446

EMAIL: tropich2o@gmail.com

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

MEXICAN WAR STREETS

APPLICANT:

NAME: JOHN FRANCONA

ADDRESS: 1234 RESACA PLACE
PITTSBURGH, PA 15212

PHONE: 412-596-3477

EMAIL: john@johnfrancona.com

REQUIRED ATTACHMENTS:

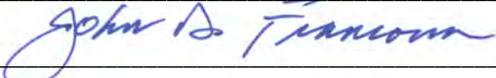
Drawings Photographs Renderings Site Plan Other

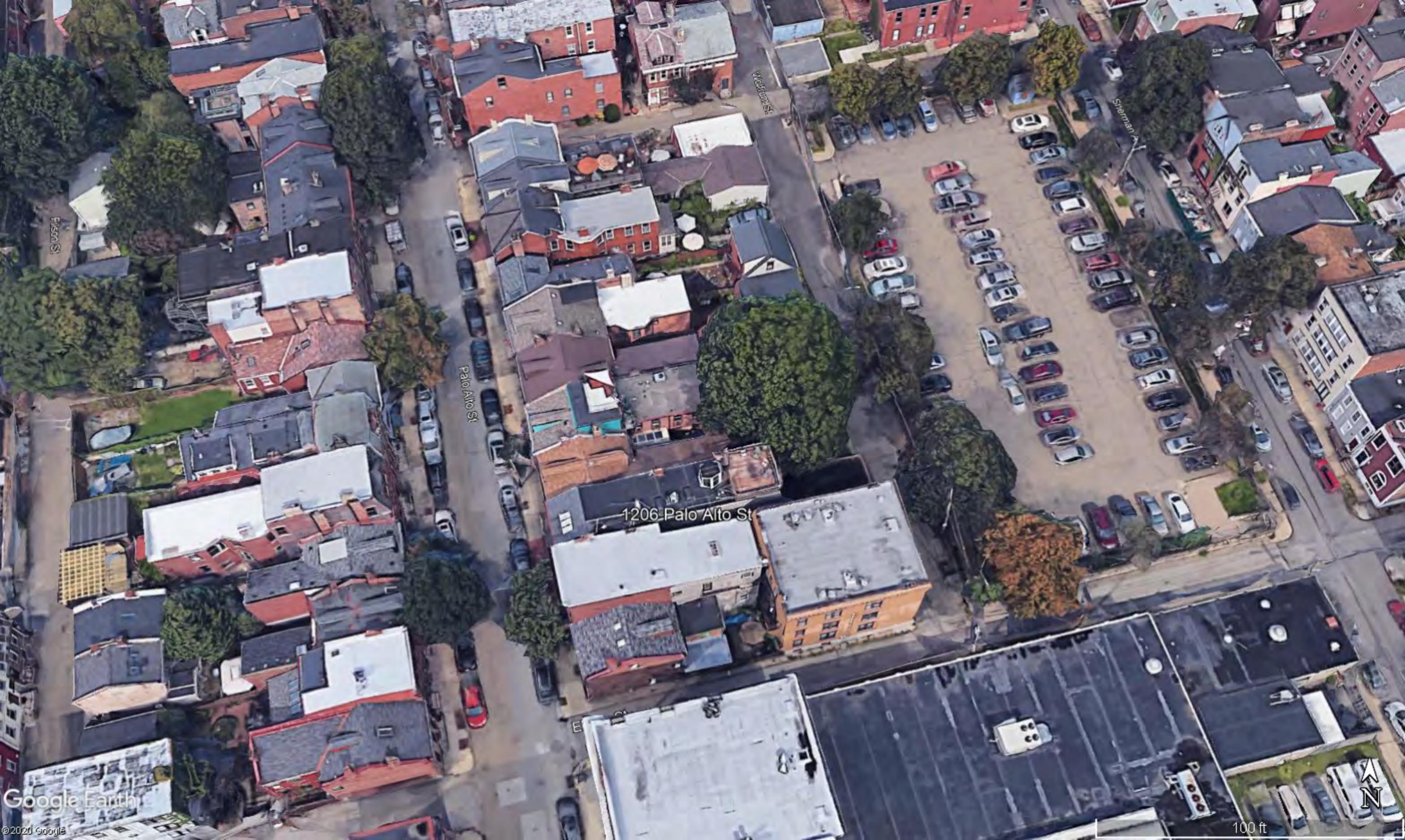
DETAILED DESCRIPTION OF PROPOSED PROJECT:

Construction of a new 2 car garage at rear of property along Wolfrum Way.

SIGNATURES:

OWNER: _____ DATE: _____

APPLICANT:  DATE: 07 AUGUST 2020



Fison St

Wilson St

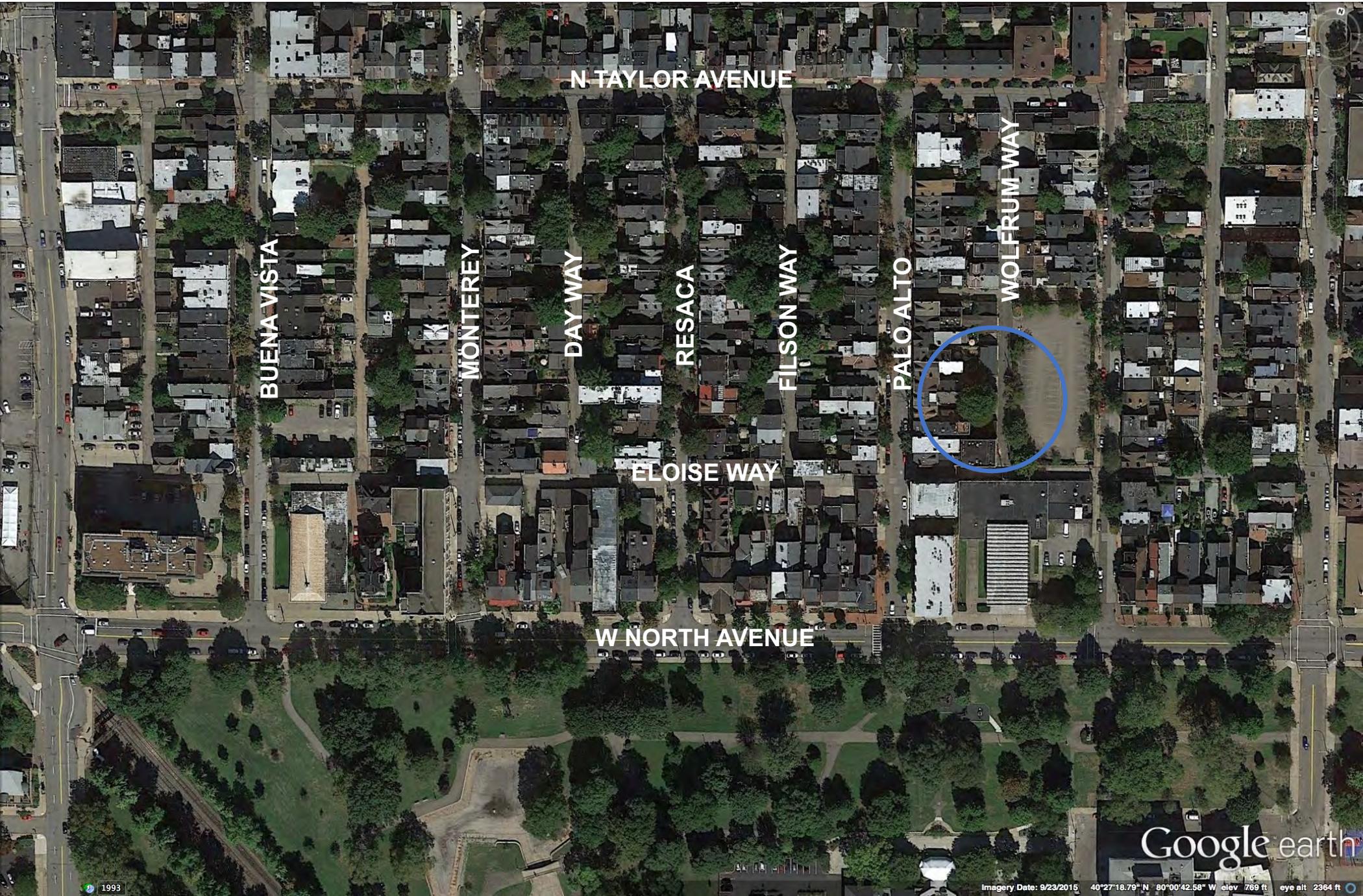
Sherman St

Palo Alto St

1206 Palo Alto St

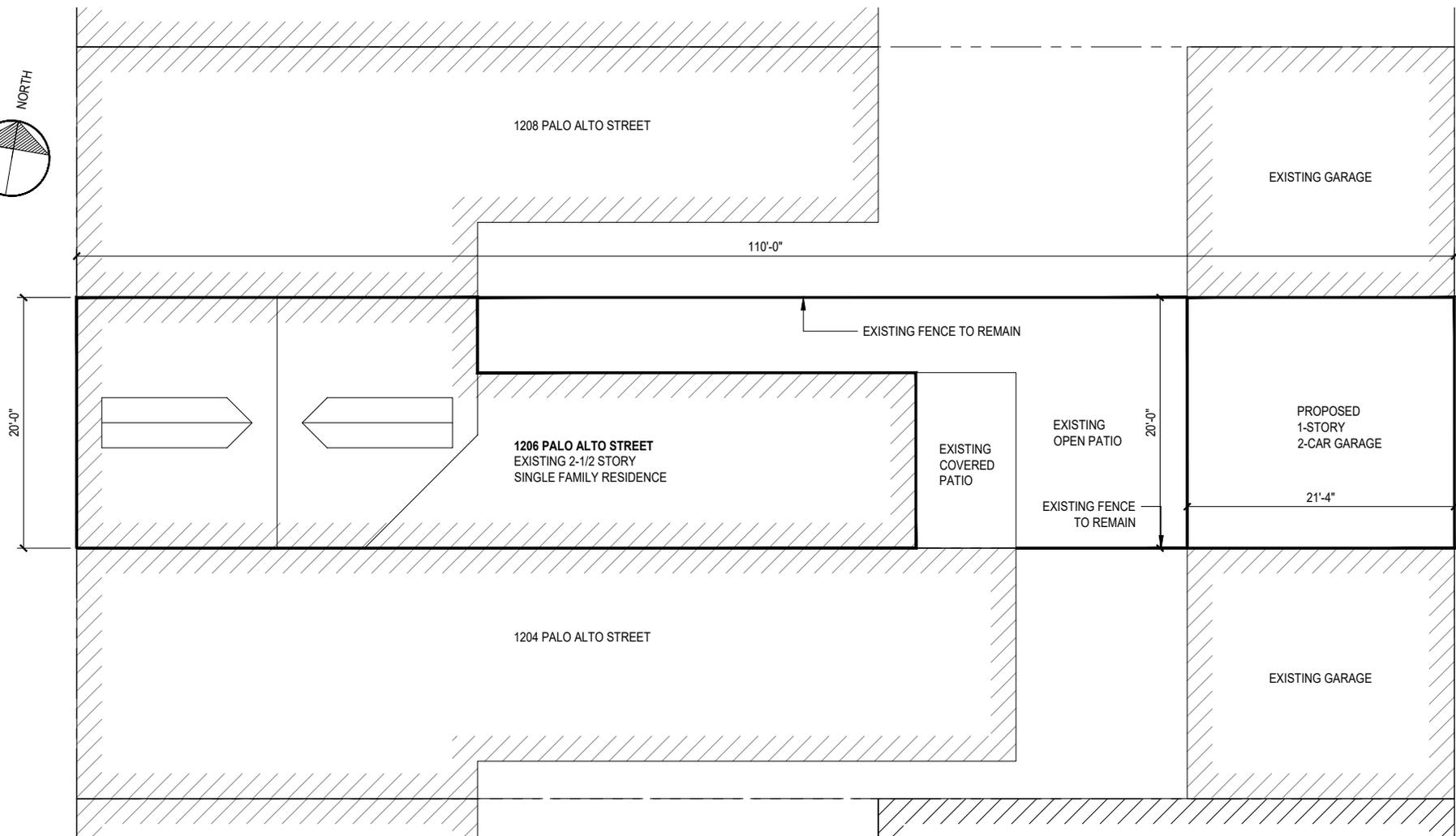
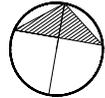


1206 PALO ALTO STREET



PALO ALTO STREET

NORTH



WOLFRUM WAY

JOHN D FRANCONA
ARCHITECT LLC

1206 PALO ALTO STREET
LOT AND BLOCK: 0023-K-00153-0000-00

EDWARD AND BARBARA IVANKO



SITE PLAN

SCALE: 1/8" = 1'-0"

07 AUGUST 2020

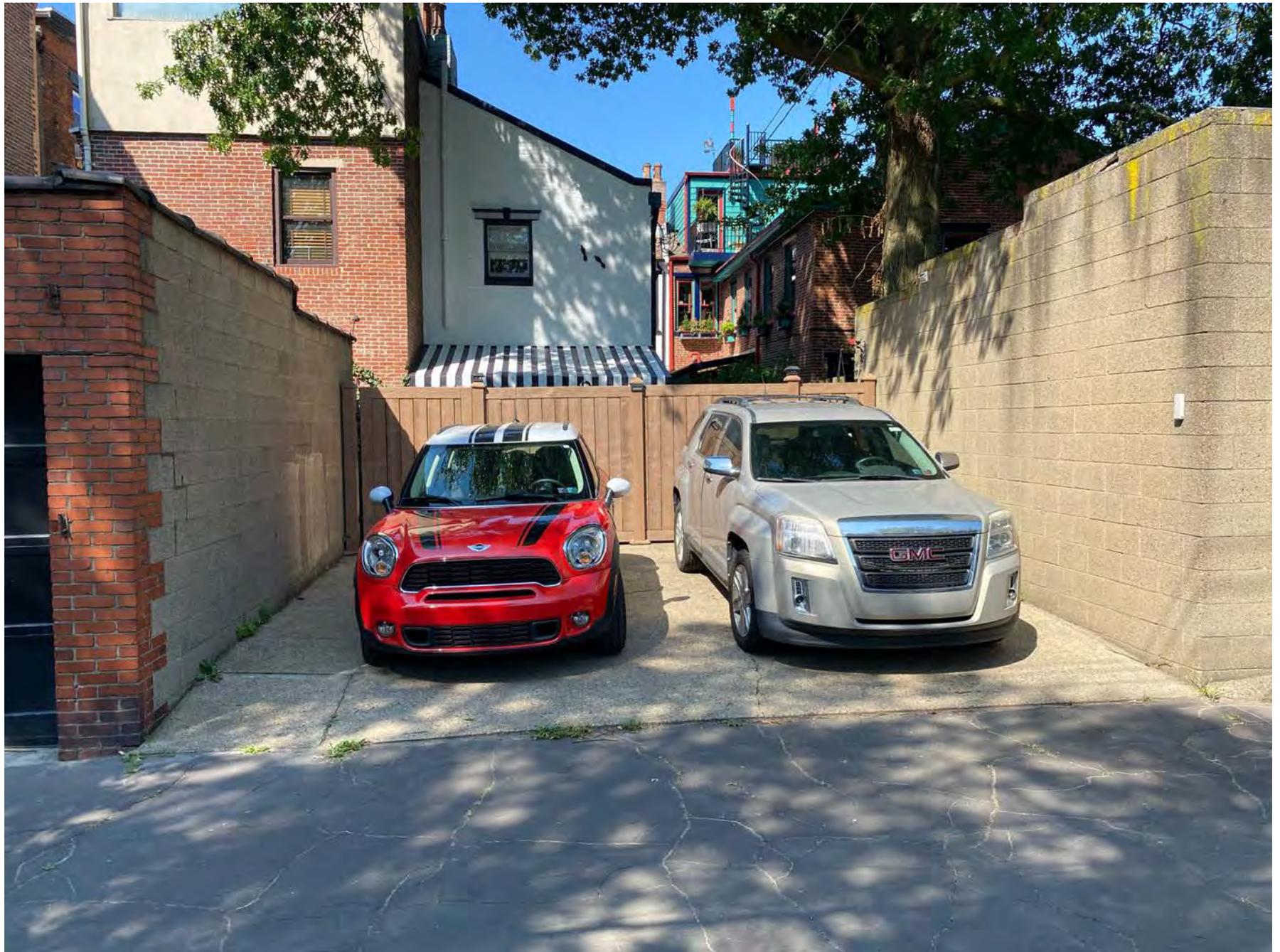
SITE PLAN



WOLFRUM WAY LOOKING NORTH



WOLFRUM WAY LOOKING SOUTH



1206 PALO ALTO



1204 PALO ALTO



1208 PALO ALTO



1212 PALO ALTO



1214 PALO ALTO



1218 PALO ALTO

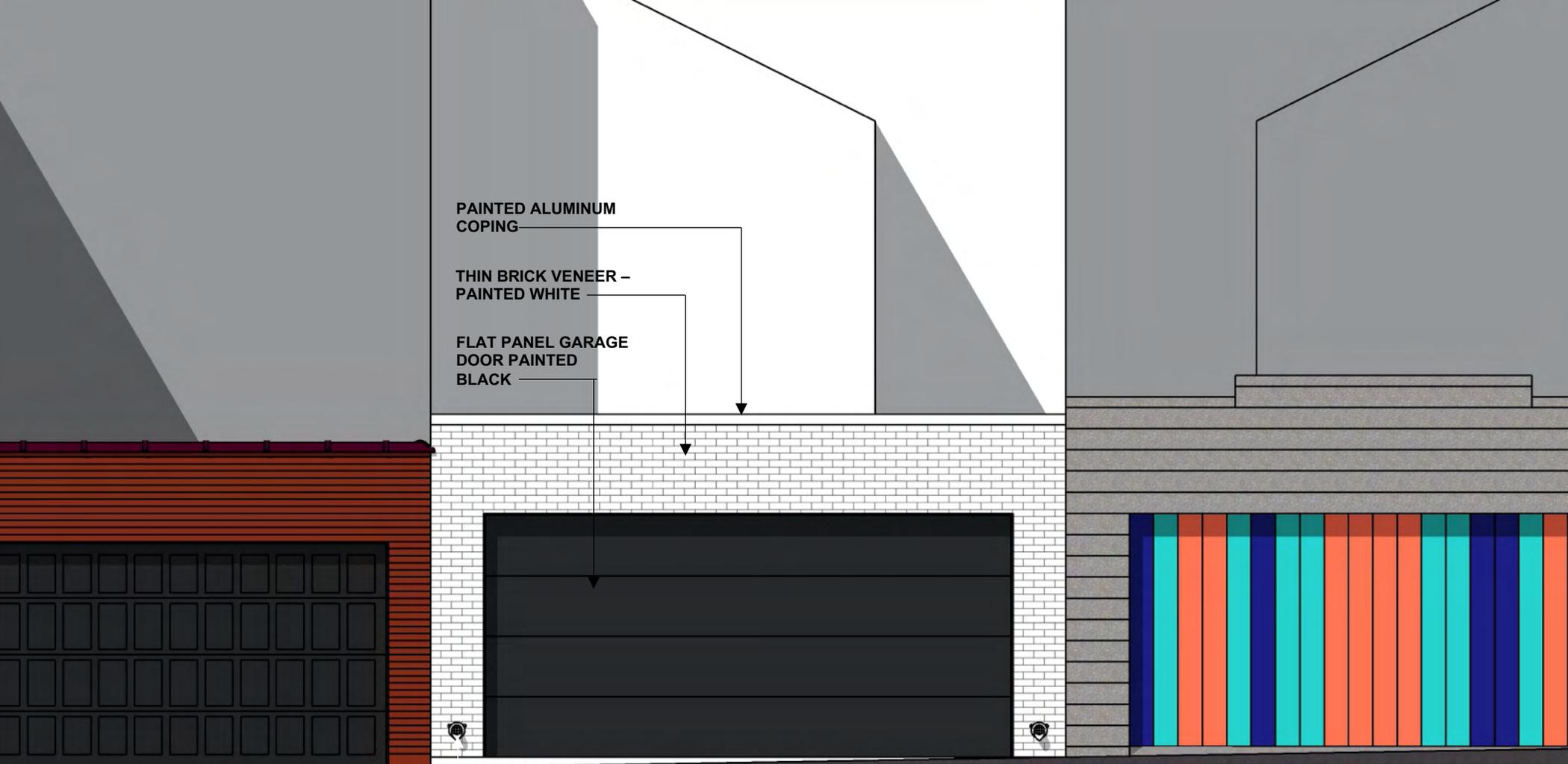


1220 PALO ALTO

OTHER GARAGES ON THE BLOCK



WOLFRUM ELEVATION



PAINTED ALUMINUM
COPING

THIN BRICK VENEER -
PAINTED WHITE

FLAT PANEL GARAGE
DOOR PAINTED
BLACK

BRONZE SCUPPER

WOLFRUM ELEVATION



WOLFRUM AXONOMETRIC



WOLFRUM PERSPECTIVE



WHITE PAINTED BRICK



STEEL GARAGE DOOR



BRONZE SCUPPER

PRODUCTS



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to: Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1326 Sherman Ave
Pittsburgh, Pa. 15202

OWNER:

NAME: Westwind Construction, Inc.
 ADDRESS: 103 Springfield Dr.
Swickley, Pa. 15143
 PHONE: 412-292-7745
 EMAIL: westwindconstructioninc
@gmail.com

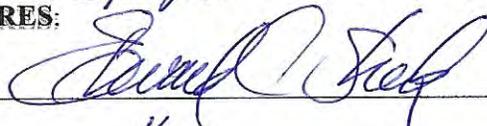
REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

remove existing stone veneer, remove awings, repair buldge
repair brick, add stone sills, lintels, replace steps, roof, windows, door
repaint sides, repair in rear, rebuild addition with siding existing

SIGNATURES:

OWNER:  DATE: 8-28-2020
 " " " " " "

APPLICANT: _____ DATE: _____

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

DISTRICT:

22ND Ward

APPLICANT:

NAME: Edward Sherk
 ADDRESS: 103 Springfield Dr.
Swickley, Pa. 15143
 PHONE: (412) 292-7745
 EMAIL: edwardcharles103@gmail.com

Fee of \$50 paid. Receipt No. R37497



Sherman Ave

Veto St

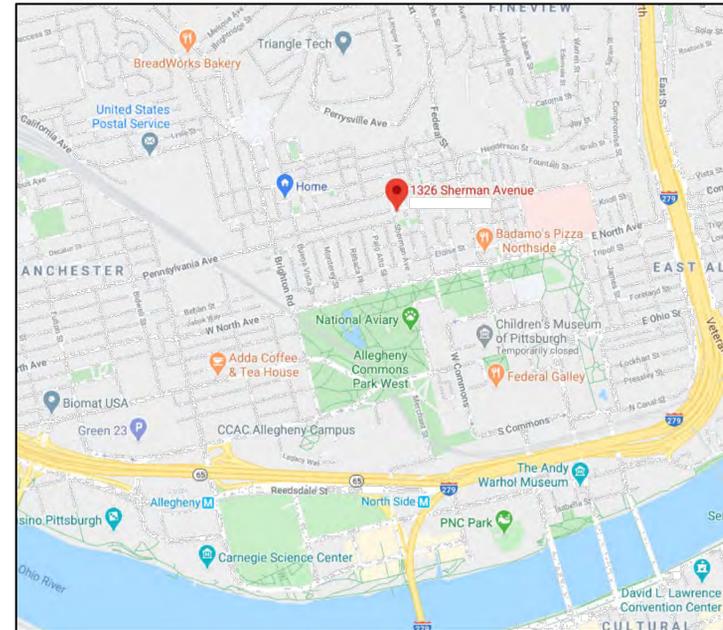
psonta Way

1326 Sherman Ave

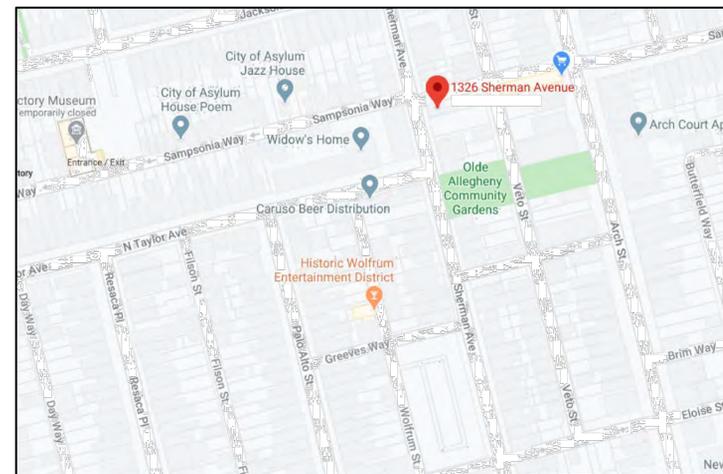


EXTERIOR SCOPE

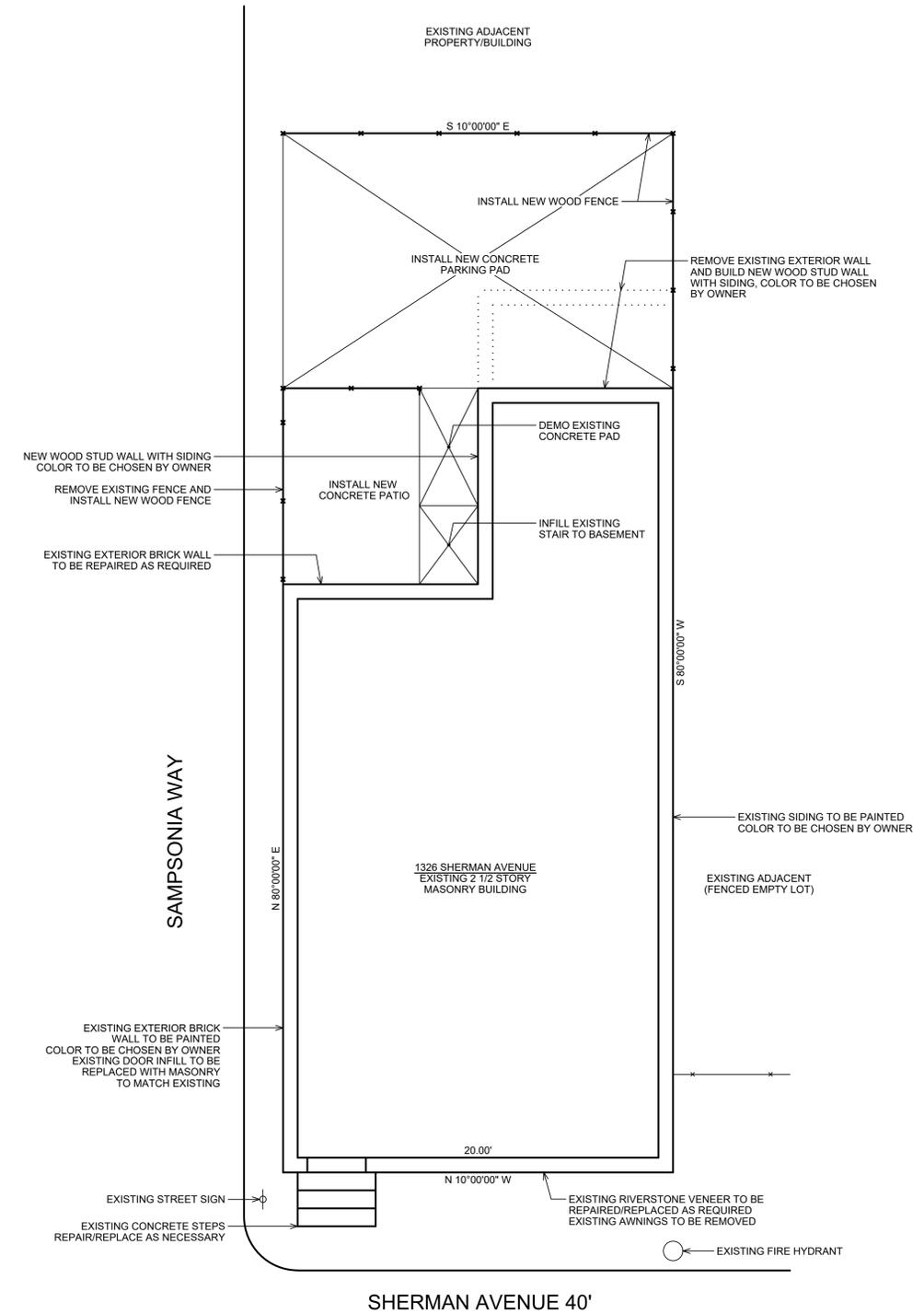
- replace existing vinyl windows throughout
- replace existing asphalt shingle
- remove/replace existing entry (steel) doors with fiberglass (stained) doors
- remove existing aluminium awnings from front facade
- remove (possibly) existing river stone veneer from front facade and replace with thin brick veneer
- repair existing wood soffit and fascia and add decorative trim and brackets to soffit underside
- repair front box gutter
- replace rear hanging gutter and downspout
- remove existing concrete steps and replace with new concrete steps and railing



VICINTY MAP



LOCATION MAP



SHERMAN AVENUE 40'

SITE PLAN
SCALE: 1/4" = 1'-0"



TSE
Taylor Structural Engineers, Inc.
2275 Swallow Hill Road, Building 100
Pittsburgh, Pennsylvania 15220
Phone: (412) 722-0880
Fax: (412) 722-0887

Project Title:
**RENOVATIONS TO 1326 SHERMAN AVENUE
PITTSBURGH, PA 15212**
Owner:
EDWARD SHERK

Drawing Title:
SITE PLAN

Project Number: 6292

Date: AUGUST 3, 2020
Scale: 1/4" = 1'-0"

Drawing Number:

S101



1326

NO LOITERING

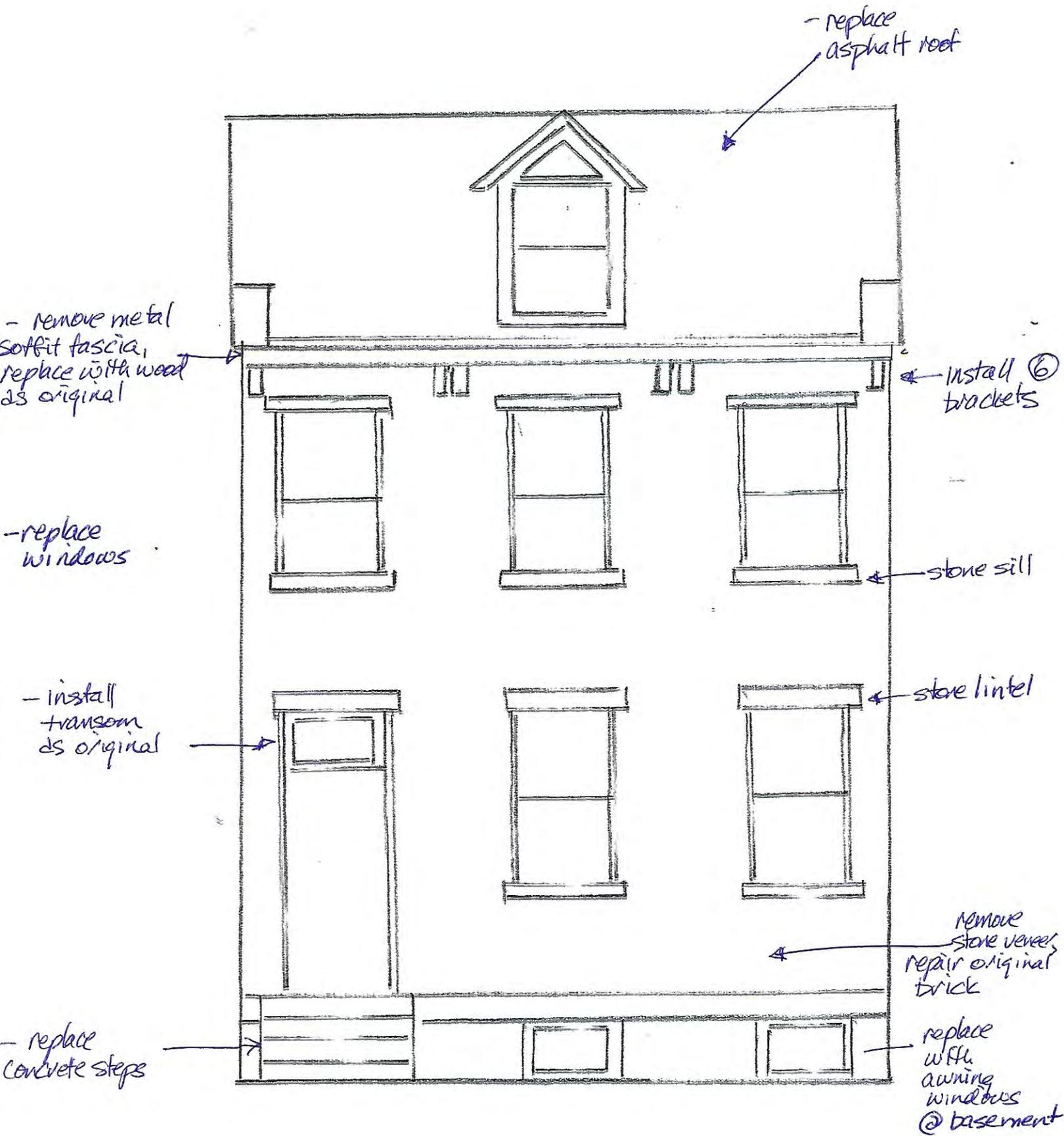




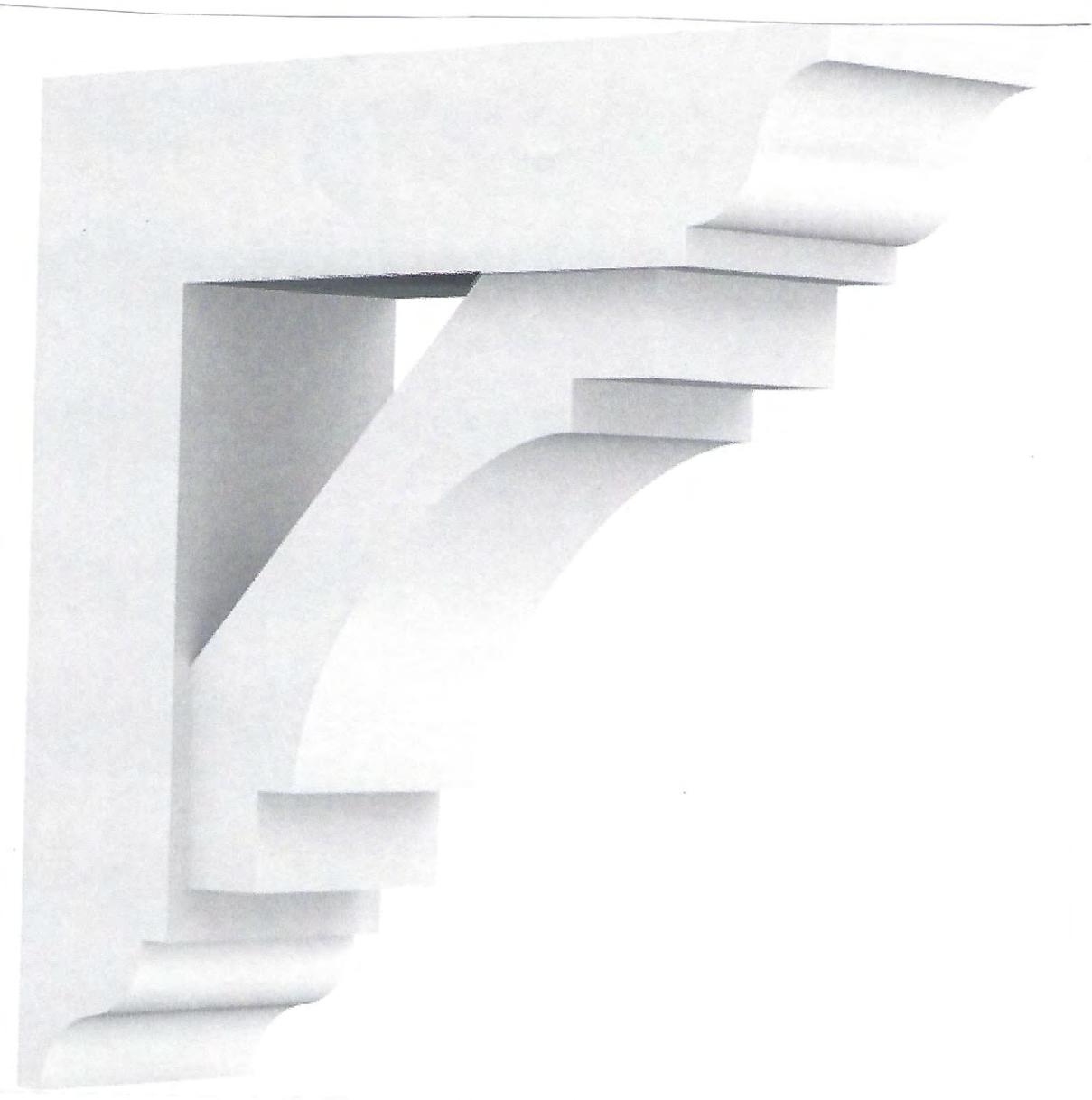
PRIVATE
PROPERTY
NO TRESPASSING













Division of Zoning and Development Review
 City of Pittsburgh, Department of City Planning
 200 Ross Street, Third Floor
 Pittsburgh, Pennsylvania 15219

HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

STAFF USE ONLY:

DATE RECEIVED: _____

LOT AND BLOCK NUMBER: _____

WARD: _____

FEE PAID: _____

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

DISTRICT:

ADDRESS OF PROPERTY:

4339 Schenley Farms Drive
 Pittsburgh, PA 15213

Schenley Farms

OWNER:

NAME: Doug Swanson

ADDRESS: Same as above

PHONE: 817-253-0817

EMAIL: doug.swanson@gmail.com

APPLICANT:

NAME: Renewal by Andersen

ADDRESS: 1640 Golden Mile Hwy
 Monroeville, PA 15146

PHONE: 724-387-1631

EMAIL: joanna.graf@andersencorp.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

Replacement of 13 windows and 1 entry door.

SIGNATURES:

OWNER:

DATE: 3/12/2020

APPLICANT:

DATE: 3/11/20



4339 Schenley Farms Terrace

Centre Ave



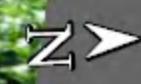


4339

PA FOR
WARREN











4339

PA FOR
WARREN

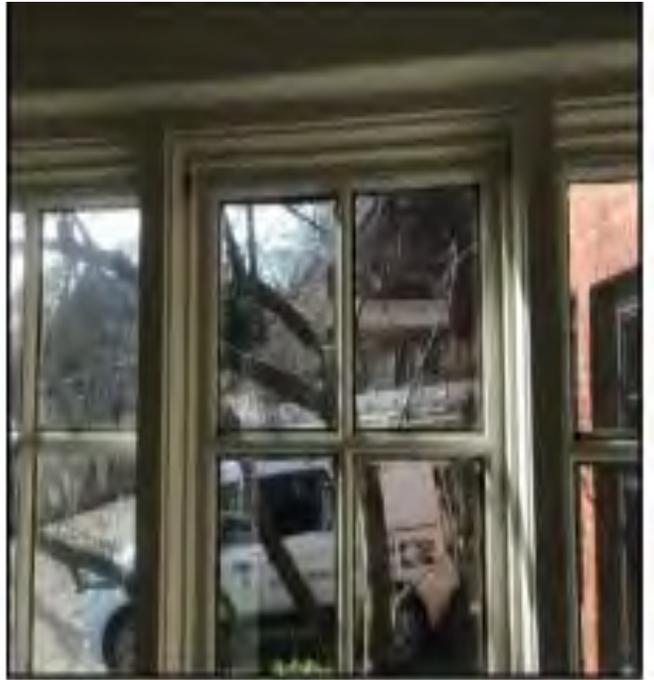
10 ft





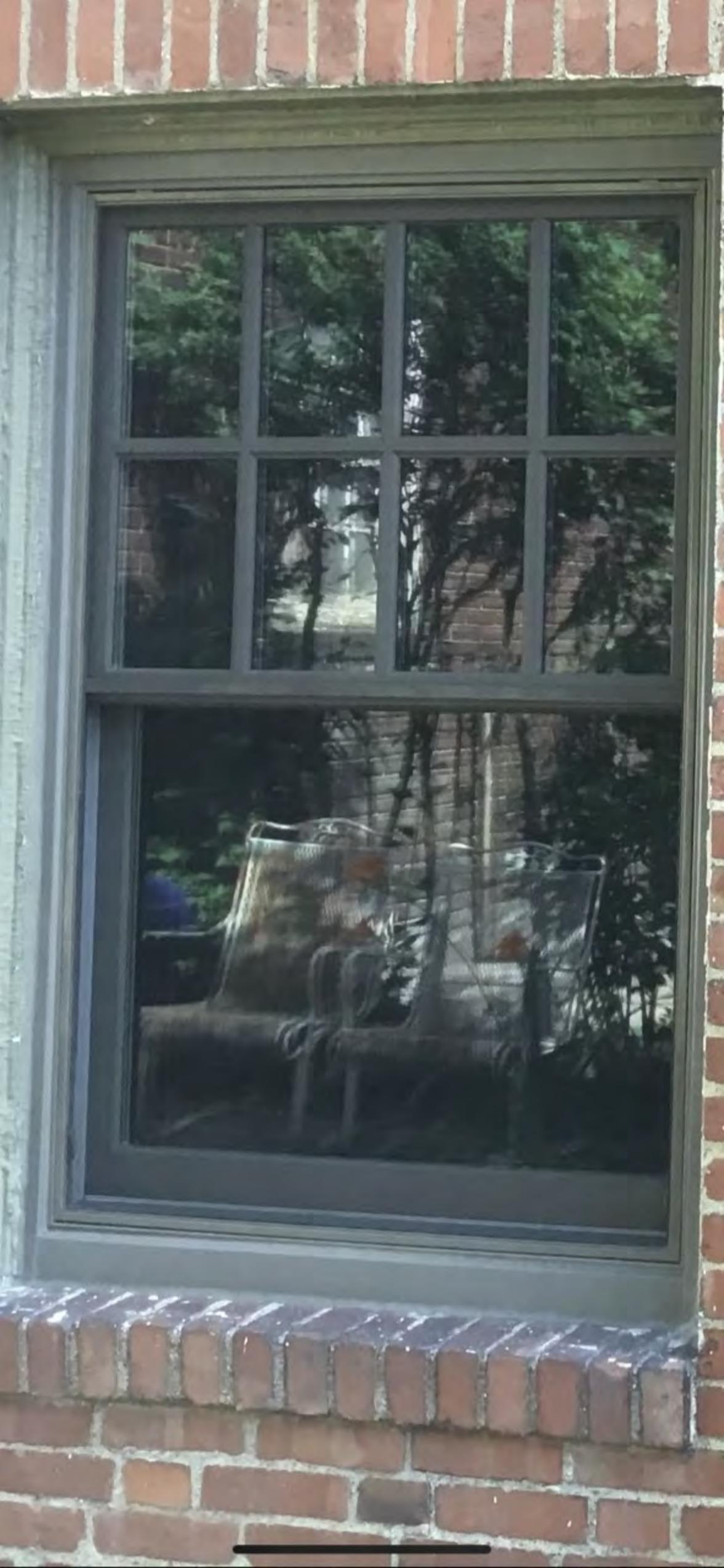
















102

sunporch
22-5/8" W 57" H
Window, Double-Hung



Window: Double-Hung, 1:1, Flat Sill Insert, Traditional Checkrail, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Bright Brass **Screen:** TruScene, Full Screen **Grille Style:** Full Divided Light (FDL with spacer), Wide Bar, Permanently Applied Interior Wood Grille **Grille Pattern:** All Sash: Colonial 2w x 2h **Misc:** None **Construction:** Lead Charge Per Window (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.1500000059604645), White Shoe - 8' (1), White Shoe - 12' (1)

UNIT NOTES

Doing insert — minimal coil — inside use shoe — chop rabbited stops

UNIT CONSTRUCTION

Lead Charge Per Window **1**

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
TRIM	White Shoe - 8'	1 x 8ft
TRIM	White Shoe - 12'	1 x 12ft

UNIT PHOTOS



Image 1



Image 2

103

sunporch
22-5/8" W 57" H
Window, Double-Hung



Window: Double-Hung, 1:1, Flat Sill Insert, Traditional Checkrail, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Bright Brass **Screen:** TruScene, Full Screen **Grille Style:** Full Divided Light (FDL with spacer), Wide Bar, Permanently Applied Interior Wood Grille **Grille Pattern:** All Sash: Colonial 2w x 2h **Misc:** None **Construction:** Lead Charge Per Window (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.1500000059604645), White Shoe - 8' (1), White Shoe - 12' (1)

UNIT NOTES

Doing insert — minimal coil — inside use shoe — chop rabbited stops

UNIT CONSTRUCTION

Lead Charge Per Window **1**

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
TRIM	White Shoe - 8'	1 x 8ft
TRIM	White Shoe - 12'	1 x 12ft

UNIT PHOTOS



Image 1



Image 2



104

dba: RENEWAL BY ANDERSEN LLC - CORO MONROEVILLE, PA

Legal Name: Renewal by Andersen LLC | License #
 1640 Golden Mile Highway Route 286 | Monroeville, PA 15146
 Phone: 724-387-1631 | Fax: | RbATechMeasure@andersencorp.com
 Measure Tech: John Simmons,

DOUG SWANSON

4339 Schenley Farms Dr
 Pittsburgh, PA 15213
 H: (817)253-0817 | C:

104 sunporch
 22-5/8" W 57" H
 Window, Double-Hung



Window: Double-Hung, 1:1, Flat Sill Insert, Traditional Checkrail, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Bright Brass **Screen:** TruScene, Full Screen **Grille Style:** Full Divided Light (FDL with spacer), Wide Bar, Permanently Applied Interior Wood Grille **Grille Pattern:** All Sash: Colonial 2w x 2h **Misc:** None **Construction:** Lead Charge Per Window (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.1500000059604645), White Shoe - 8' (1), White Shoe - 12' (1)

UNIT NOTES

Doing insert — minimal coil — inside use shoe — chop rabbited stops

UNIT CONSTRUCTION

Lead Charge Per Window **1**

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
TRIM	White Shoe - 8'	1 x 8ft
TRIM	White Shoe - 12'	1 x 12ft

UNIT PHOTOS



Image 1



Image 2



Image 3



105

dba: RENEWAL BY ANDERSEN LLC - CORO MONROEVILLE, PA

Legal Name: Renewal by Andersen LLC | License #
 1640 Golden Mile Highway Route 286 | Monroeville, PA 15146
 Phone: 724-387-1631 | Fax: | RbATechMeasure@andersencorp.com
 Measure Tech: John Simmons,

DOUG SWANSON

4339 Schenley Farms Dr
 Pittsburgh, PA 15213
 H: (817)253-0817 | C:

105 sunporch
 22-5/8" W 57" H
 Window, Double-Hung



Window: Double-Hung, 1:1, Flat Sill Insert, Traditional Checkrail, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Bright Brass **Screen:** TruScene, Full Screen **Grille Style:** Full Divided Light (FDL with spacer), Wide Bar, Permanently Applied Interior Wood Grille **Grille Pattern:** All Sash: Colonial 2w x 2h **Misc:** None **Construction:** Lead Charge Per Window (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.1500000059604645), White Shoe - 8' (1), White Shoe - 12' (1)

UNIT NOTES

UNIT CONSTRUCTION

Lead Charge Per Window **1**

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
TRIM	White Shoe - 8'	1 x 8ft
TRIM	White Shoe - 12'	1 x 12ft

UNIT PHOTOS



Image 1



Image 2



106

dba: RENEWAL BY ANDERSEN LLC - CORO MONROEVILLE, PA

Legal Name: Renewal by Andersen LLC | License #
 1640 Golden Mile Highway Route 286 | Monroeville, PA 15146
 Phone: 724-387-1631 | Fax: | RbATechMeasure@andersencorp.com
 Measure Tech: John Simmons,

DOUG SWANSON

4339 Schenley Farms Dr
 Pittsburgh, PA 15213
 H: (817)253-0817 | C:

106 sunporch
 22-5/8" W 57" H
 Window, Double-Hung



Window: Double-Hung, 1:1, Flat Sill Insert, Traditional Checkrail, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern **Hardware:** Bright Brass **Screen:** TruScene, Full Screen **Grille Style:** Full Divided Light (FDL with spacer), Wide Bar, Permanently Applied Interior Wood Grille **Grille Pattern:** All Sash: Colonial 2w x 2h **Misc:** None **Construction:** Lead Charge Per Window (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.1500000059604645), White Shoe - 8' (1), White Shoe - 12' (1)

UNIT NOTES

UNIT CONSTRUCTION

Lead Charge Per Window **1**

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
TRIM	White Shoe - 8'	1 x 8ft
TRIM	White Shoe - 12'	1 x 12ft

UNIT PHOTOS



Image 1



Image 2

107

stairs
21-5/8" W 45-5/8" H
Window, Casement - Single



Window: Casement, Single, Left, Base Frame, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern, Tempered Glass **Hardware:** Bright Brass **Screen:** TruScene, Full Screen **Grille Style:** Full Divided Light (FDL with spacer), Wide Bar, Permanently Applied Interior Wood Grille **Grille Pattern:** All Sash: Colonial 2w x 3h **Misc:** None **Construction:** Full Tear with Trim Kit (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.1500000059604645), White Shoe - 8' (1), White Shoe - 12' (1)

UNIT NOTES

Doing insert — minimal coil — inside use shoe — chop rabbited stops

UNIT CONSTRUCTION

Full Tear with Trim Kit **1**

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
TRIM	White Shoe - 8'	1 x 8ft
TRIM	White Shoe - 12'	1 x 12ft

UNIT PHOTOS



Image 1



Image 2



108

dba: RENEWAL BY ANDERSEN LLC - CORO MONROEVILLE, PA

Legal Name: Renewal by Andersen LLC | License #
1640 Golden Mile Highway Route 286 | Monroeville, PA 15146
Phone: 724-387-1631 | Fax: | RbATechMeasure@andersencorp.com
Measure Tech: John Simmons,

DOUG SWANSON

4339 Schenley Farms Dr
Pittsburgh, PA 15213
H: (817)253-0817 | C:

108 stairs 21-5/8" W 45-5/8" H Window, Casement - Single



Window: Casement, Single, Right, Base Frame, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern, Tempered Glass **Hardware:** Bright Brass **Screen:** TruScene, Full Screen **Grille Style:** Full Divided Light (FDL with spacer) **Grille Pattern:** All Sash: Colonial 2w x 3h **Misc:** None **Construction:** Full Tear with Trim Kit (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.150000059604645), White Shoe - 8' (1), White Shoe - 12' (1)

UNIT NOTES

Doing insert — minimal coil — inside use shoe — chop rabbited stops

UNIT CONSTRUCTION

Full Tear with Trim Kit 1

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
TRIM	White Shoe - 8'	1 x 8ft
TRIM	White Shoe - 12'	1 x 12ft

UNIT PHOTOS



Image 1



109

dba: RENEWAL BY ANDERSEN LLC - CORO MONROEVILLE, PA

Legal Name: Renewal by Andersen LLC | License #
1640 Golden Mile Highway Route 286 | Monroeville, PA 15146
Phone: 724-387-1631 | Fax: | RbATechMeasure@andersencorp.com
Measure Tech: John Simmons,

DOUG SWANSON

4339 Schenley Farms Dr
Pittsburgh, PA 15213
H: (817)253-0817 | C:

109

stairs
21-5/8" W 45-5/8" H
Window, Casement - Single



Window: Casement, Single, Right, Base Frame, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern, Tempered Glass **Hardware:** Bright Brass **Screen:** TruScene, Full Screen **Grille Style:** Full Divided Light (FDL with spacer), Wide Bar, Permanently Applied Interior Wood Grille **Grille Pattern:** All Sash: Colonial 2w x 3h **Misc:** None **Construction:** Full Tear with Trim Kit (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.1500000059604645), White Shoe - 8' (1), White Shoe - 12' (1)

UNIT NOTES

UNIT CONSTRUCTION

Full Tear with Trim Kit 1

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
TRIM	White Shoe - 8'	1 x 8ft
TRIM	White Shoe - 12'	1 x 12ft

UNIT PHOTOS



Image 1



Image 2



110

dba: RENEWAL BY ANDERSEN LLC - CORO MONROEVILLE, PA

Legal Name: Renewal by Andersen LLC | License #
 1640 Golden Mile Highway Route 286 | Monroeville, PA 15146
 Phone: 724-387-1631 | Fax: | RbATechMeasure@andersencorp.com
 Measure Tech: John Simmons,

DOUG SWANSON

4339 Schenley Farms Dr
 Pittsburgh, PA 15213
 H: (817)253-0817 | C:

110 stairs

21-5/8" W 45-5/8" H
Window, Casement - Single



Window: Casement, Single, Left, Base Frame, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, No Pattern, Tempered Glass **Hardware:** Bright Brass **Screen:** TruScene, Full Screen **Grille Style:** Full Divided Light (FDL with spacer), Wide Bar, Permanently Applied Interior Wood Grille **Grille Pattern:** All Sash: Colonial 2w x 3h **Misc:** None **Construction:** Full Tear with Trim Kit (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.1500000059604645), White Shoe - 8' (1), White Shoe - 12' (1)

UNIT NOTES

Doing insert — minimal coil — inside use shoe — chop rabbited stops

UNIT CONSTRUCTION

Full Tear with Trim Kit **1**

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
TRIM	White Shoe - 8'	1 x 8ft
TRIM	White Shoe - 12'	1 x 12ft

UNIT PHOTOS



Image 1



211

dba: RENEWAL BY ANDERSEN LLC - CORO MONROEVILLE, PA

Legal Name: Renewal by Andersen LLC | License #
 1640 Golden Mile Highway Route 286 | Monroeville, PA 15146
 Phone: 724-387-1631 | Fax: | RbATechMeasure@andersencorp.com
 Measure Tech: John Simmons,

DOUG SWANSON

4339 Schenley Farms Dr
 Pittsburgh, PA 15213
 H: (817)253-0817 | C:

211 bathroom
22-1/2" W 22-1/4" H
Window, Awning



Window: Awning, Base Frame, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, Obscure, Tempered Glass **Hardware:** Polished Chrome **Screen:** TruScene, Full Screen **Grille Style:** No Grille **Misc:** None **Construction:** Lead Charge Per Window (1), Aluminum / Vinyl Single hung (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.1500000059604645), White fibrex shoe from the shop need 3 at 8' (1)

UNIT NOTES

UNIT CONSTRUCTION

Lead Charge Per Window	1
Aluminum / Vinyl Single hung	1

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
CUSTOM	White fibrex shoe from the shop need 3 at 8'	1 PER UNIT

UNIT PHOTOS



Image 1



212

dba: RENEWAL BY ANDERSEN LLC - CORO MONROEVILLE, PA

Legal Name: Renewal by Andersen LLC | License #
 1640 Golden Mile Highway Route 286 | Monroeville, PA 15146
 Phone: 724-387-1631 | Fax: | RbATechMeasure@andersencorp.com
 Measure Tech: John Simmons,

DOUG SWANSON

4339 Schenley Farms Dr
 Pittsburgh, PA 15213
 H: (817)253-0817 | C:

212 master bath
 25-3/8" W 25-1/4" H
 Window, Awning



Window: Awning, Base Frame, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, Obscure, Tempered Glass **Hardware:** Polished Chrome **Screen:** TruScene, Full Screen **Grille Style:** No Grille **Misc:** None **Construction:** Lead Charge Per Window (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.1500000059604645), White Shoe - 8' (1), White Shoe - 12' (1)

UNIT NOTES

Doing insert — minimal coil — inside use shoe — chop rabbited stops

UNIT CONSTRUCTION

Lead Charge Per Window **1**

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
TRIM	White Shoe - 8'	1 x 8ft
TRIM	White Shoe - 12'	1 x 12ft

UNIT PHOTOS



Image 1



Image 2



213

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213 master bath 25-3/8" W 25-1/4" H Window, Awning



Window: Awning, Base Frame, Exterior Terratone, Interior White **Glass:** All Sash: High Performance SmartSun Glass, Obscure, Tempered Glass **Hardware:** Polished Chrome **Screen:** TruScene, Full Screen **Grille Style:** No Grille **Misc:** None **Construction:** Lead Charge Per Window (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Coil - Terratone (0.125), Caulk -Terratone Silicone (1.5), Caulk -White Paintable (0.1500000059604645), White Shoe - 8' (1), White Shoe - 12' (1)

UNIT NOTES

Doing insert — minimal coil — inside use shoe — chop rabbited stops

UNIT CONSTRUCTION

Lead Charge Per Window **1**

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Coil - Terratone	0.12 rolls
MATERIAL	Caulk -Terratone Silicone	1.5 tubes
MATERIAL	Caulk -White Paintable	0.15 tubes
TRIM	White Shoe - 8'	1 x 8ft
TRIM	White Shoe - 12'	1 x 12ft

UNIT PHOTOS



Image 1



114

dba: RENEWAL BY ANDERSEN LLC - CORO MONROEVILLE, PA

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 1640 Golden Mile Highway Route 286 | Monroeville, PA 15146
 Phone: 724-387-1631 | Fax: | RbATechMeasure@andersencorp.com
 Measure Tech: John Simmons,

DOUG SWANSON

4339 Schenley Farms Dr
 Pittsburgh, PA 15213
 H: (817)253-0817 | C:

114 sunporch

Misc

Misc: Misc, Entry Door/sidelites, Installing double door the new door will fit inside the old jamb remove slabs only — outside use flat stop to finish off into the existing trim — same on the inside — call John Simmons when doing this job — the side lites will need shoe mold on the outside and inside use flat stop — pull new side lite into the tile on the floor **Construction:** Lead Charge Per Window (3), Double Entry Door (1), Sidelight - Transom (2), Extra trim work to finish off inside and out (1) **Material:** Foam Can (0.125), Fiberglass Insulation (0.25), Flashing Tape 6" (1), Caulk -White Paintable (3), Caulk -Clear Silicone (2), White 2 1/4" stop - 8' (15), White Shoe - 8' (6)

UNIT NOTES

Installing double door the new door will fit inside the old jamb remove slabs only — outside use flat stop to finish off into the existing trim — same on the inside — call John Simmons when doing this job — the side lites will need shoe mold on the outside and inside use flat stop — pull new side lite into the tile on the floor

UNIT CONSTRUCTION

Lead Charge Per Window	3
Double Entry Door	1
Sidelight - Transom	2
Extra trim work to finish off inside and out	1

UNIT MATERIALS

MATERIAL	Foam Can	0.12 cans
MATERIAL	Fiberglass Insulation	0.25 rolls
MATERIAL	Flashing Tape 6"	1 x 75ft
MATERIAL	Caulk -White Paintable	3 tubes
MATERIAL	Caulk -Clear Silicone	2 tubes
TRIM	White 2 1/4" stop - 8'	15 x 8ft
TRIM	White Shoe - 8'	6 x 8ft

UNIT PHOTOS