



HISTORIC REVIEW COMMISSION OF PITTSBURGH
Application for a Certificate of Appropriateness

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:
 Treasurer, City of Pittsburgh.

ADDRESS OF PROPERTY:

1326 Sherman Ave
Pittsburgh, Pa. 15202

OWNER:

NAME: Westwind Construction, Inc.
 ADDRESS: 103 Springfield Dr.
Swickley, Pa. 15143
 PHONE: 412-292-7745
 EMAIL: westwindconstructioninc
@gmail.com

REQUIRED ATTACHMENTS:

- Drawings Photographs Renderings Site Plan Other

DETAILED DESCRIPTION OF PROPOSED PROJECT:

remove existing stone veneer, remove awings, repair buldge
repair brick, add stone sills, lintels, replace steps, roof, windows, door
repaint sides, repair in rear, rebuild addition with siding existing

SIGNATURES:

OWNER: [Signature] DATE: 8-28-2020
 " " " " " "

APPLICANT: _____ DATE: _____

STAFF USE ONLY:

DATE RECEIVED: _____
 LOT AND BLOCK NUMBER: _____
 WARD: _____
 FEE PAID: _____

DISTRICT:

22ND Ward

APPLICANT:

NAME: Edward Sherk
 ADDRESS: 103 Springfield Dr.
Swickley, Pa. 15143
 PHONE: (412) 292-7745
 EMAIL: edwardcharles103@gmail.com

Fee of \$50 paid. Receipt No. R37497



Sherman Ave

Veto St

psonta Way

1326 Sherman Ave



Exterior Construction Notes

Front Elevation

- install shoring to suspend roof during front elevation reconstruction
- remove awnings
- remove/replace concrete steps and railing
- remove exterior faux stone veneer
- repair existing brick bulge then paint existing brick or replace facade with 8" block giving building lateral strength and then facing with conventional red brick, add new sills and lintels
- remove metal soffit/fascia and replace with new wood crown, soffit, fascia and precast brackets, paint pebble stone gray
- install new wood double hung windows (black) and wood door as per cut sheets, add a front door transom above door

Left Elevation

- point brick as necessary, repaint brick reddish
- infill existing remodeled added doorway

Right Elevation

- repaint existing painted siding reddish
- repaint existing chimneys

Rear Elevation

- repair existing double wythe brick wall at rear and paint same color as left elevation brick
- remove failing brick at rear addition, install new footer, concrete pad, framing, flat roof, hardie horizontal siding as per structural detail, paint same as right elevation
- reuse existing double hung windows and paint black, install fiberglass door as per cut sheet, add a transom above rear entrance door
- install wood deck as per drawing
- install concrete pad at rear yard
- install new 6' privacy fence to replace existing fence

Roof

- install 30 year dimensional shingle
- repair/replace wood at dormer, paint pebble stone clay



1326







← ONE WAY

Sampsonia Way

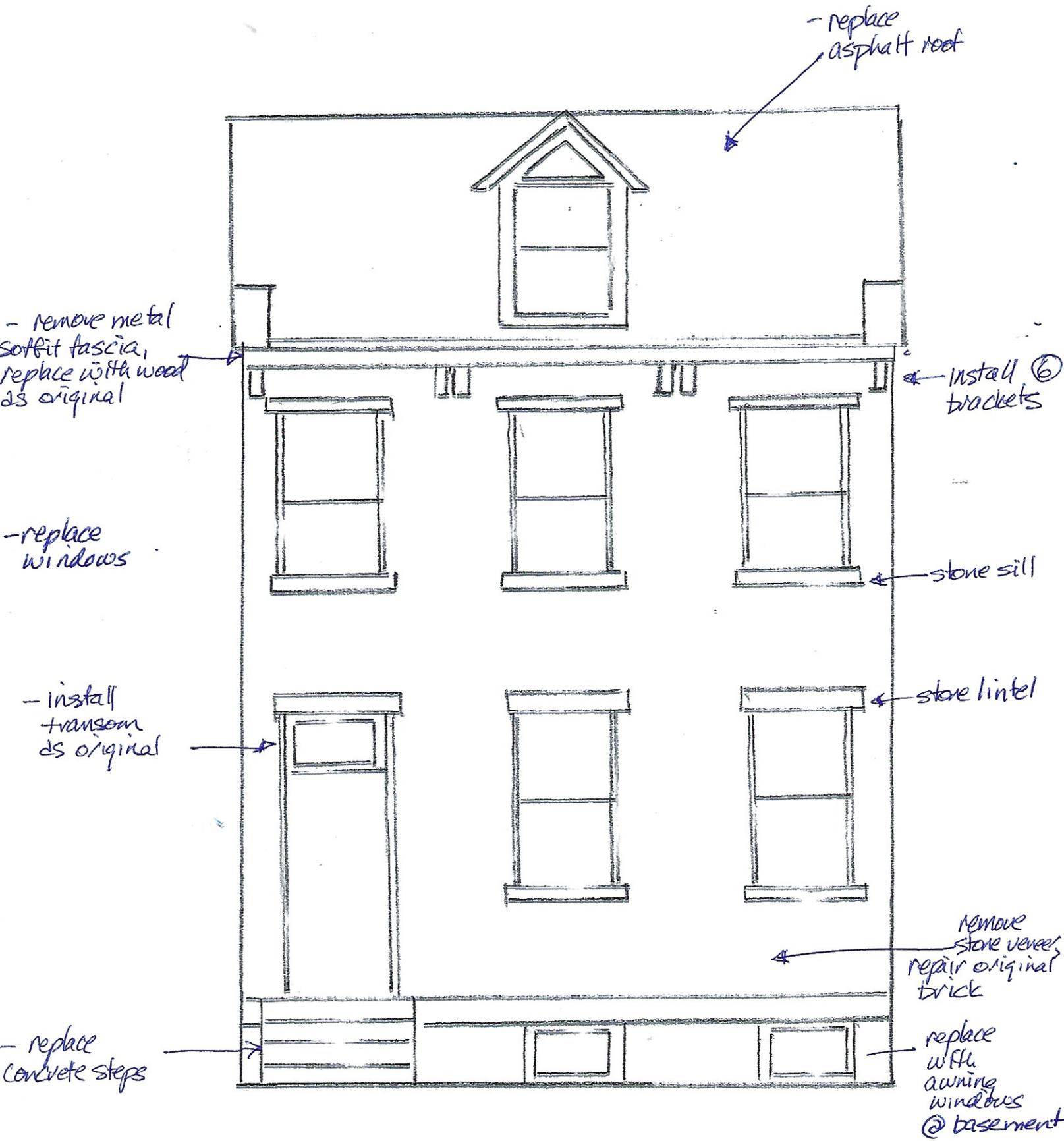


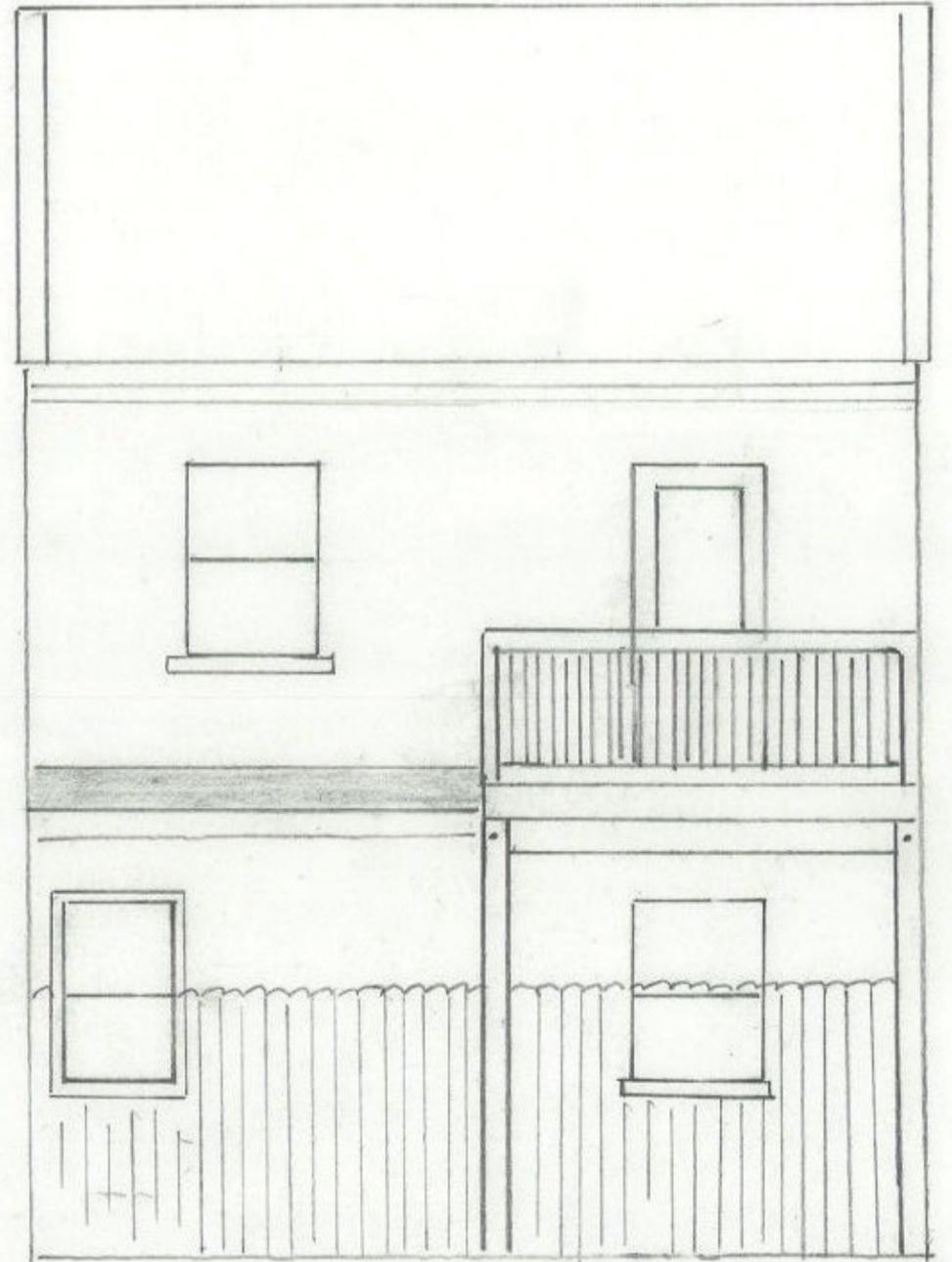
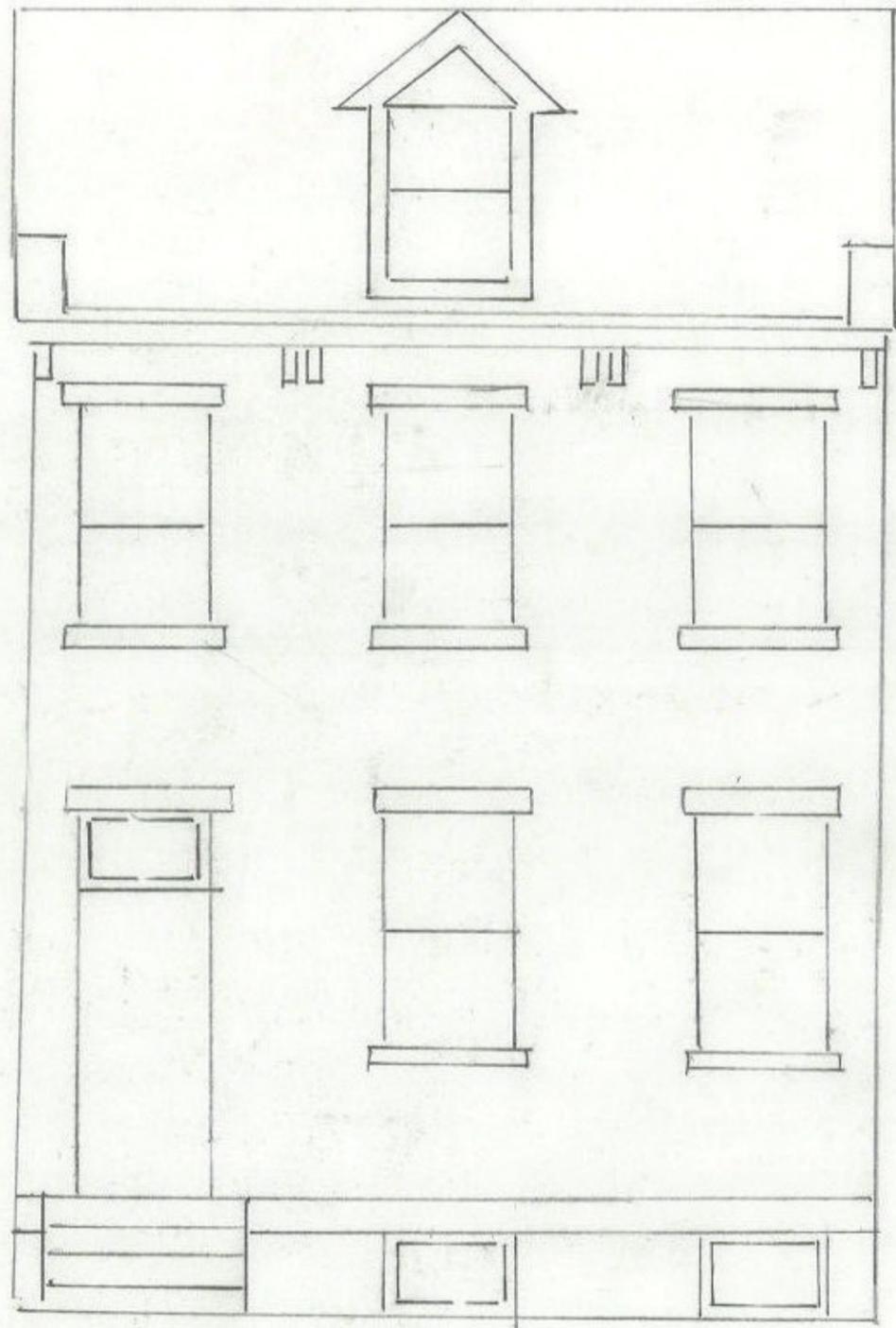


PRIVATE
PROPERTY

NO
PARKING

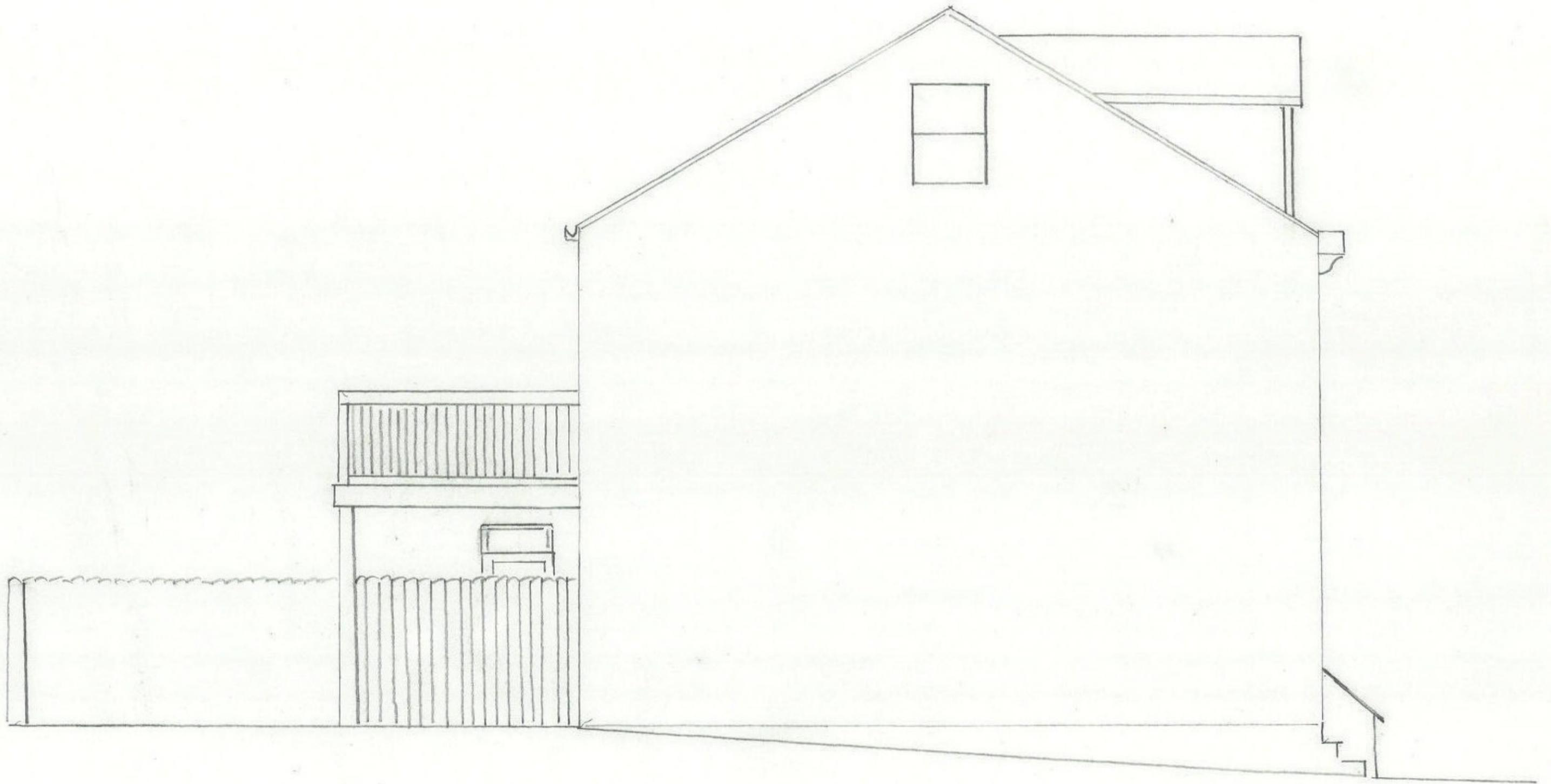






REAR ELEVATION

1326 Sherman Ave.

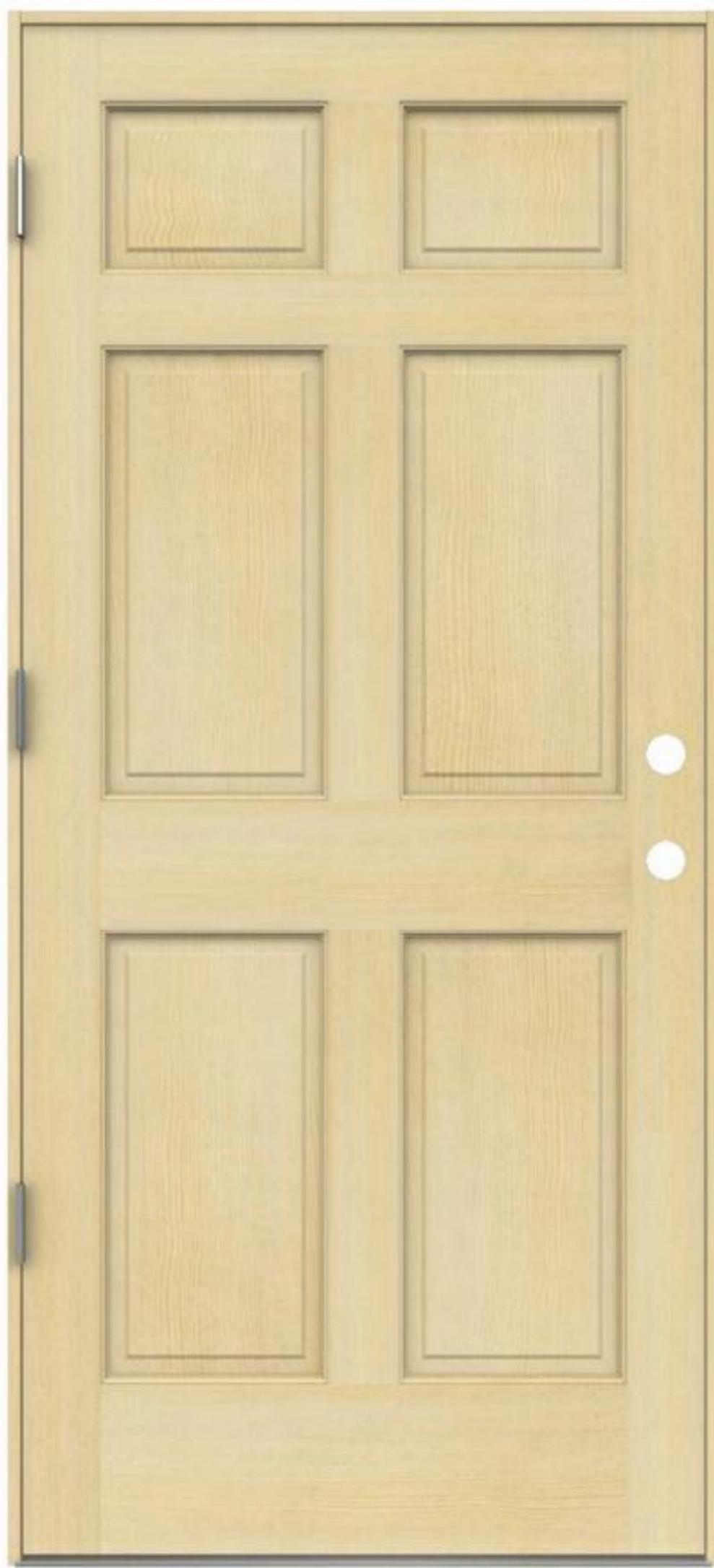


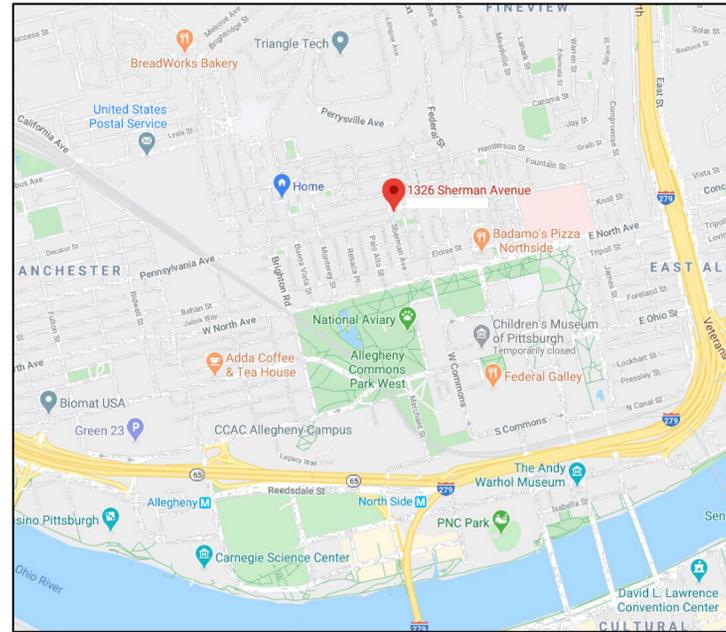
LEFT ELEVATION



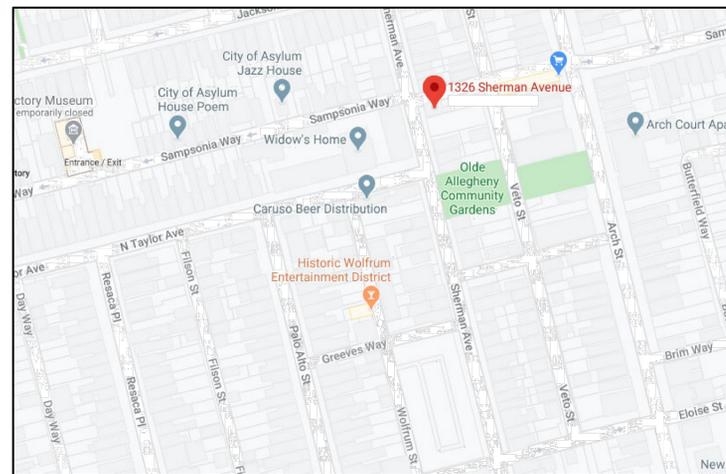


Exterior View

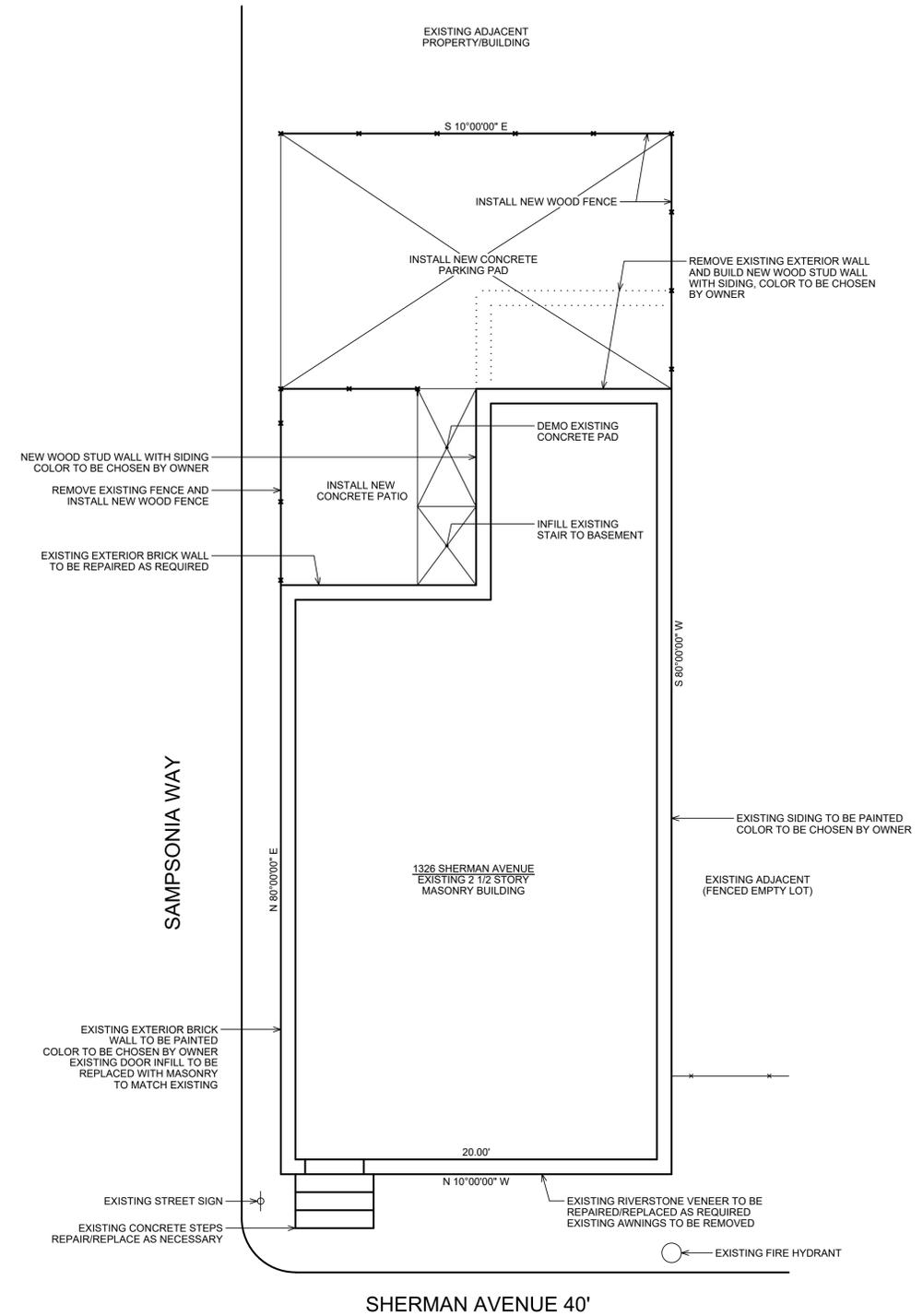




VICINTY MAP



LOCATION MAP



SITE PLAN
SCALE: 1/4" = 1'-0"



TSE
Taylor Structural Engineers, Inc.
2275 Swallow Hill Road, Building 100
Pittsburgh, Pennsylvania 15220
Phone: (412) 722-0880
Fax: (412) 722-0887

Project Title:
**RENOVATIONS TO 1326 SHERMAN AVENUE
PITTSBURGH, PA 15212**
Owner:
EDWARD SHERK

Drawing Title:
SITE PLAN

Project Number: 6292

Date: AUGUST 3, 2020
Scale: 1/4" = 1'-0"

Drawing Number:

S101



TSE
Taylor Structural Engineers, Inc.
 2275 Swallow Hill Road, Building 100
 Pittsburgh, Pennsylvania 15220
 Phone: (412) 722-0880
 Fax: (412) 722-0887

Project Title:
**RENOVATIONS TO 1326 SHERMAN AVENUE
 PITTSBURGH, PA 15212**

Owner:
EDWARD SHERK

Drawing Title:
**STRUCTURAL
 PLANS**

Project Number: 6292

Date: AUGUST 27, 2020
 Scale: 1/4" = 1'-0"

Drawing Number:

S102

BASEMENT/FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- PLAN NOTES:
- INFILL EXISTING MASONRY DOOR OPENING WITH NEW 10" CMU (GROUT SOLID). REINFORCE WITH #5 HORIZONTAL BARS AT 24 INCHES ON CENTER (CENTER IN WALL). DRILL AND EMBED 4 INCHES INTO EXISTING FOUNDATION WALL.
 - REFER TO DRAWING S201 FOR GENERAL NOTES AND TYPICAL DETAILS.

FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

- PLAN NOTES:
- 3/4" APA RATED WOOD FLOOR SHEATHING.
 - "F1" - INDICATES 2'-0" WIDE BY 1'-0" DEEP FOOTING. REINFORCE WITH (3) #5 CONTINUOUS BARS AND #5 TRANSVERSE BARS AT 16 INCHES ON CENTER.
 - TF - INDICATES TOP OF FOOTING.
 - REFERENCE ELEVATION 100'-0" INDICATES EXISTING FINISHED FLOOR ELEVATION.
 - 16" DIAMETER x 3'-6" DEEP SONOTUBE FOUNDATION. FASTEN TIMBER POST TO FOUNDATION WITH SIMPSON POST BASE LCB66.
 - CUT EXISTING JOIST BACK AS REQUIRED TO INSTALL NEW (2) LVL BEAMS. FRAME EXISTING JOISTS INTO NEW BEAMS WITH SIMPSON LUS310 FACEMOUNT JOIST HANGERS.
 - PROVIDE CONTROL JOINTS IN SLAB-ON-GRADE AT A MAXIMUM SPACING OF 15 FEET ON CENTER IN EACH DIRECTION.
 - (2) LVL BEAM TO BEAR ON TREATED 2X PLATE. PACK MASONRY POCKET TIGHT WITH TREATED BLOCKING AND INSTALL MASONRY TIGHT TO TREATED BLOCKING.
 - ATTACH STAIR STRINGER TO MASONRY WALL WITH 1/2" DIAMETER HILTI HY270 ADHESIVE ANCHORS AT 16 INCHES ON CENTER (2" EMBEDMENT).
 - AT INTERSECTION OF NEW AND EXISTING MASONRY. PROVIDE #5x1'-8" LONG HORIZONTAL DOWELS AT 24 INCHES ON CENTER. DRILL AND EMBED 4 INCHES INTO EXISTING MASONRY WALL.
 - PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED TO DEMO AND REBUILD EXISTING DOUBLE WYTHE MASONRY WALL. NEW WALL CONSTRUCTION TO CONSIST OF 4" MASONRY VENEER WITH 8" CMU BACKUP. REINFORCE 8" CMU WITH #4 VERTICAL BARS AT 32 INCHES ON CENTER. PROVIDE VENEER TIES AT 32 INCHES ON CENTER HORIZONTAL AND 16 INCHES ON CENTER VERTICAL.
 - REFER TO DRAWING S201 FOR GENERAL NOTES AND TYPICAL DETAILS.

SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

- PLAN NOTES:
- 5/8" APA RATED WOOD ROOF SHEATHING.
 - 3/4" APA RATED WOOD FLOOR SHEATHING.
 - COMPOSITE OR 5/4 WOOD DECKING PER OWNER.
 - CUT EXISTING JOIST BACK AS REQUIRED TO INSTALL NEW (2) LVL BEAMS. FRAME EXISTING JOISTS INTO NEW BEAMS WITH SIMPSON LUS310 FACEMOUNT JOIST HANGERS.
 - PROVIDE TEMPORARY SHORING AS REQUIRED TO DEMO AND REBUILD EXISTING DOUBLE WYTHE MASONRY WALL TO MATCH EXISTING WALL CONSTRUCTION FROM SECOND FLOOR TO THIRD FLOOR/ROOF.
 - (2) LVL BEAM TO BEAR ON TREATED 2X PLATE. PACK MASONRY POCKET TIGHT WITH TREATED BLOCKING AND INSTALL MASONRY TIGHT TO TREATED BLOCKING.
 - ATTACH STAIR STRINGER TO MASONRY WALL WITH 1/2" DIAMETER HILTI HY270 ADHESIVE ANCHORS AT 16 INCHES ON CENTER (2" EMBEDMENT).
 - AT INTERSECTION OF NEW AND EXISTING MASONRY. PROVIDE #5x1'-8" LONG HORIZONTAL DOWELS AT 24 INCHES ON CENTER. DRILL AND EMBED 4 INCHES INTO EXISTING MASONRY WALL.
 - PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED TO DEMO AND REBUILD EXISTING DOUBLE WYTHE MASONRY WALL. NEW WALL CONSTRUCTION TO CONSIST OF 4" MASONRY VENEER WITH 8" CMU BACKUP. REINFORCE 8" CMU WITH #4 VERTICAL BARS AT 32 INCHES ON CENTER. PROVIDE VENEER TIES AT 32 INCHES ON CENTER HORIZONTAL AND 16 INCHES ON CENTER VERTICAL.
 - REFER TO DRAWING S201 FOR GENERAL NOTES AND TYPICAL DETAILS.

THIRD FLOOR/ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

- PLAN NOTES:
- CUT EXISTING JOIST BACK AS REQUIRED TO INSTALL NEW (3) LVL BEAMS. FRAME EXISTING JOISTS INTO NEW BEAMS WITH SIMPSON LUS310 FACEMOUNT JOIST HANGERS.
 - PROVIDE TEMPORARY SHORING AS REQUIRED TO DEMO AND REBUILD EXISTING DOUBLE WYTHE MASONRY WALL TO MATCH EXISTING WALL CONSTRUCTION FROM SECOND FLOOR TO THIRD FLOOR/ROOF. PROVIDE TREATED 2x8 PLATE AT TOP OF WALL FOR JOIST BEARING. FASTEN PLATE TO WALL WITH 3/8" DIAMETER HILTI KWIK HUS-EZ SCREW ANCHORS AT 16 INCHES ON CENTER. PROVIDE SIMPSON H2.5A TIES AT EACH ROOF JOIST.
 - 3/4" APA RATED WOOD FLOOR SHEATHING.
 - REMOVE EXISTING CEILING JOIST TO ALLOW FOR INSTALLATION OF NEW STAIR. EXISTING ROOF RAFTER TO REMAIN.
 - REMOVE PORTION OF EXISTING PARTITION WALL TO ALLOW FOR INSTALLATION OF NEW STAIR.
 - ATTACH EXISTING ROOF RAFTER TO MASONRY WALL WITH 1/2" DIAMETER HILTI HY270 ADHESIVE ANCHORS AT 16 INCHES ON CENTER (2" EMBEDMENT).
 - AT INTERSECTION OF NEW AND EXISTING MASONRY. PROVIDE #5x1'-8" LONG HORIZONTAL DOWELS AT 24 INCHES ON CENTER. DRILL AND EMBED 4 INCHES INTO EXISTING MASONRY WALL.
 - PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED TO DEMO AND REBUILD EXISTING DOUBLE WYTHE MASONRY WALL. NEW WALL CONSTRUCTION TO CONSIST OF 4" MASONRY VENEER WITH 8" CMU BACKUP. REINFORCE 8" CMU WITH #4 VERTICAL BARS AT 32 INCHES ON CENTER. PROVIDE VENEER TIES AT 32 INCHES ON CENTER HORIZONTAL AND 16 INCHES ON CENTER VERTICAL. PROVIDE TREATED 2x8 PLATE AT TOP OF WALL FOR JOIST BEARING. FASTEN PLATE TO WALL WITH 3/8" DIAMETER HILTI KWIK HUS-EZ SCREW ANCHORS AT 16 INCHES ON CENTER. PROVIDE SIMPSON H2.5A TIES AT EACH ROOF JOIST.
 - REFER TO DRAWING S201 FOR GENERAL NOTES AND TYPICAL DETAILS.

