



**Division of Zoning and Development Review**

City of Pittsburgh, Department of City Planning

200 Ross Street, Third Floor

Pittsburgh, Pennsylvania 15219

**HISTORIC REVIEW COMMISSION OF PITTSBURGH**  
**Application for a Certificate of Appropriateness**

DEADLINE:

Completed applications must be received at least 13 working days prior to the HRC hearing, when a hearing is required

FEE SCHEDULE:

See attached. Please make check payable to:  
*Treasurer, City of Pittsburgh.*

**ADDRESS OF PROPERTY:**

4333 Schenley Farm Ter  
Pittsburgh PA 15213

**OWNER:**

NAME: Penn Pioneer  
422 Cavitt  
ADDRESS: Trafford, PA

PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**STAFF USE ONLY:**

DATE RECEIVED: \_\_\_\_\_

LOT AND BLOCK NUMBER: \_\_\_\_\_

WARD: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**DISTRICT:**

Schenley Farm

**APPLICANT:**

NAME: CitySTUDIO  
5150 Penn Ave  
ADDRESS: \_\_\_\_\_

PHONE: 412-427-6880

EMAIL: ryan@citystudiopgh.com

**REQUIRED ATTACHMENTS:**

- Drawings     Photographs     Renderings     Site Plan     Other

**DETAILED DESCRIPTION OF PROPOSED PROJECT:**

Repair and renovation of existing single family detached dwelling  
and two detached garages

**SIGNATURES:**

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPLICANT: Ryan England DATE: 7/15/2020



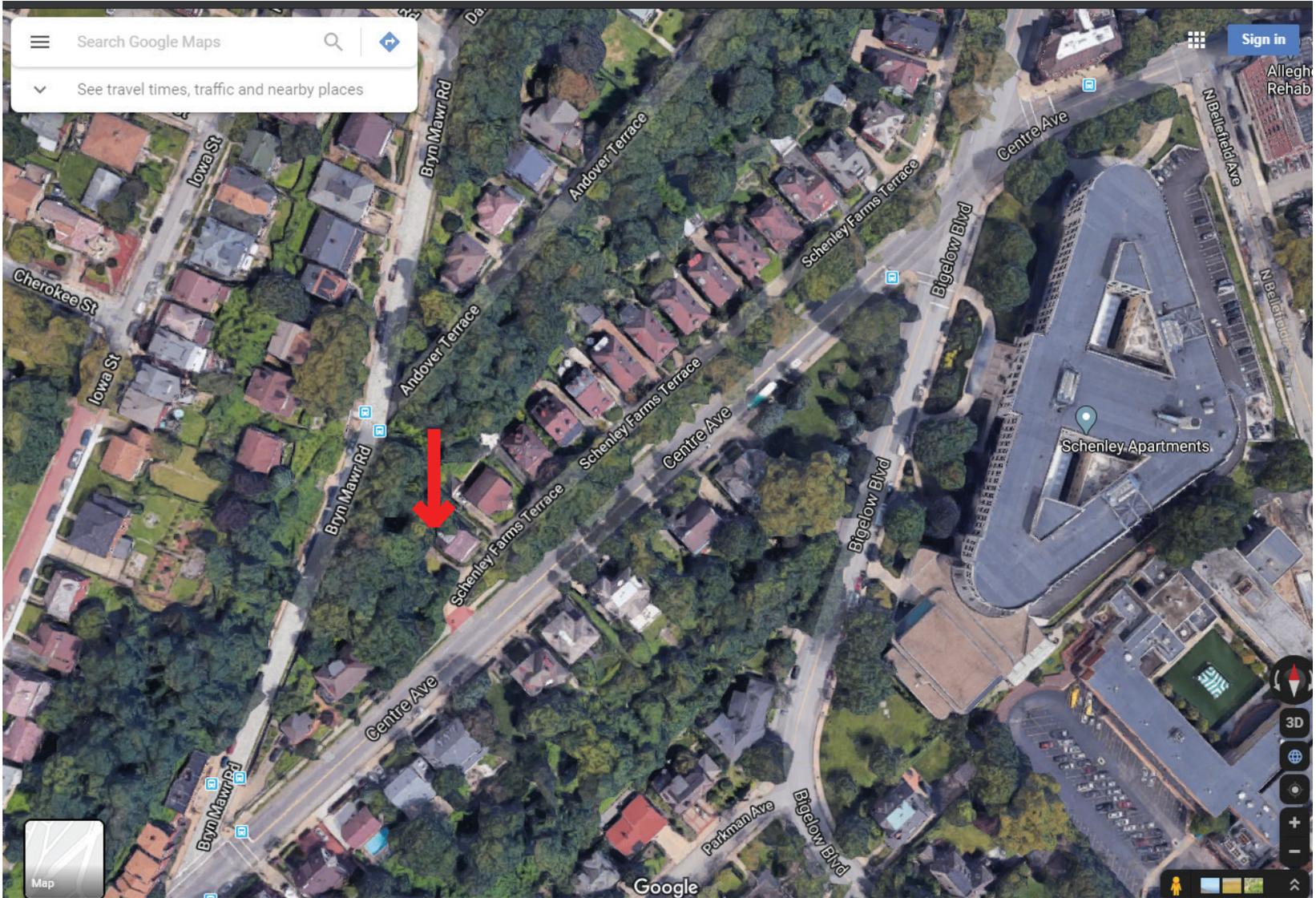
4333 Schenley Farms Terrace





## 4333 SCHENLEY FARMS TERRACE

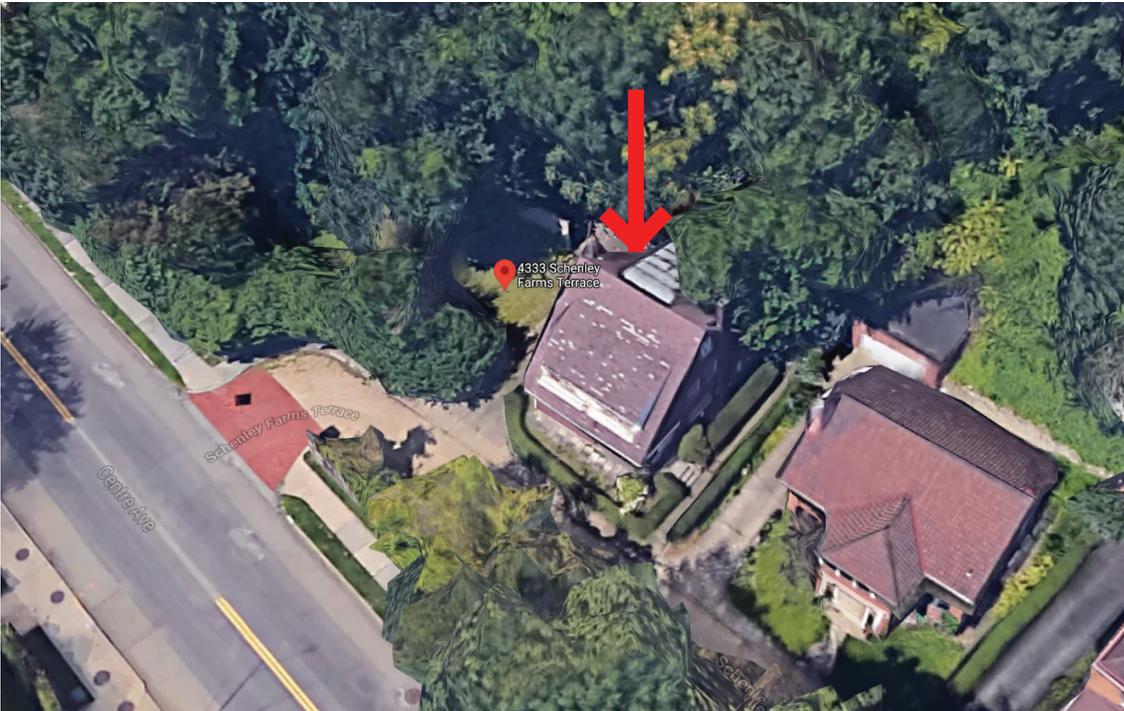
Existing 2 1/2-story early 20th-century (1915-1925) bungalow with flemish stretcher bond brick walls, two chimneys, prominent dormer window, and roof covered first floor porch.



View above property, with the intersection of Schenley Farms Terrace with Centre Avenue, and Schenley High School at the right.



View above property, facing the intersection of Schenley Farms Terrace with Centre Avenue, going down towards Schenley High School.



View above property, facing the intersection of Schenley Farms Terrace with Centre Avenue, going up towards UPMC Hospitals.

## SURROUNDING CONTEXT



View of existing house, at the entrance to Schenley Farms Terrace, from Centre Avenue.



View of existing of house, seen from Centre Avenue.



View of existing of house, seen looking up Schenley Farms Terrace, with Centre Avenue on the right, down towards Schenley High School.

## SURROUNDING CONTEXT



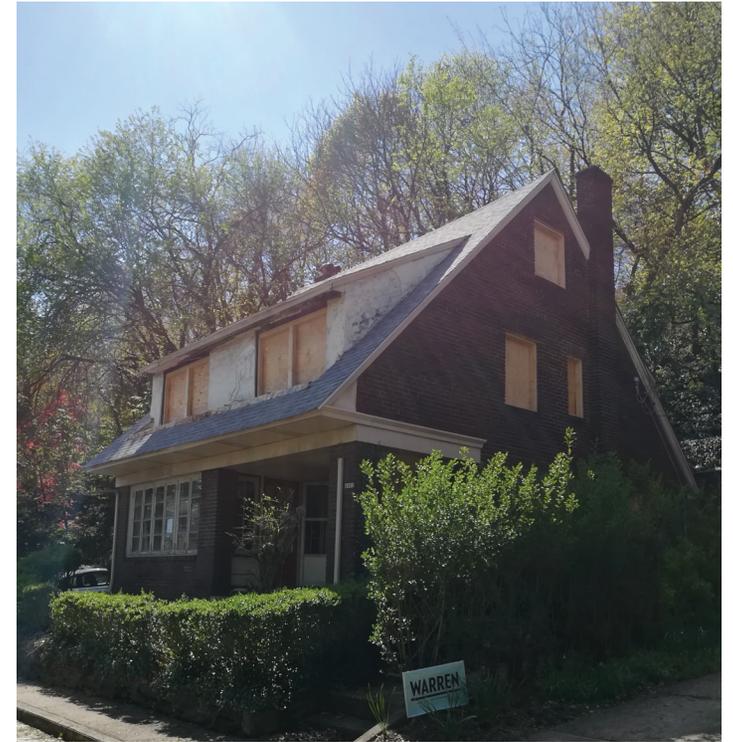
View of existing front elevation of house, from the street (Schenley Farms Terrace).



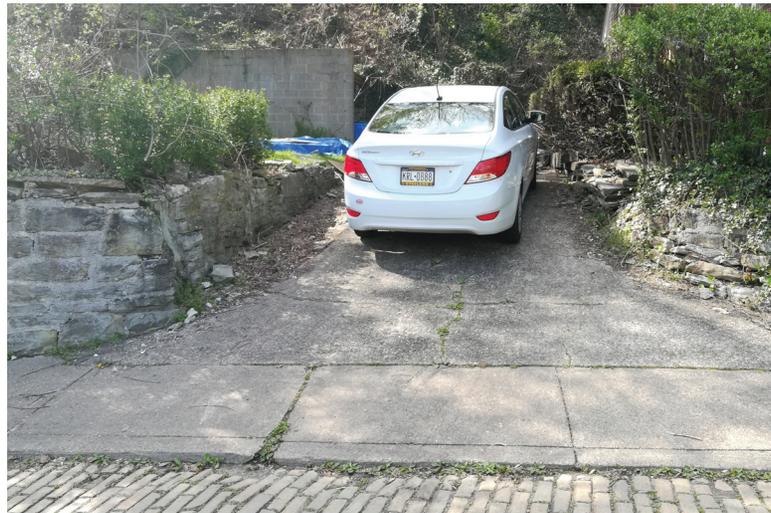
View of existing side of single car brick garage, from the street, with 4333 Schenley on the left.



View of existing corner of house, from the entrance to Schenley Farms Terrace.

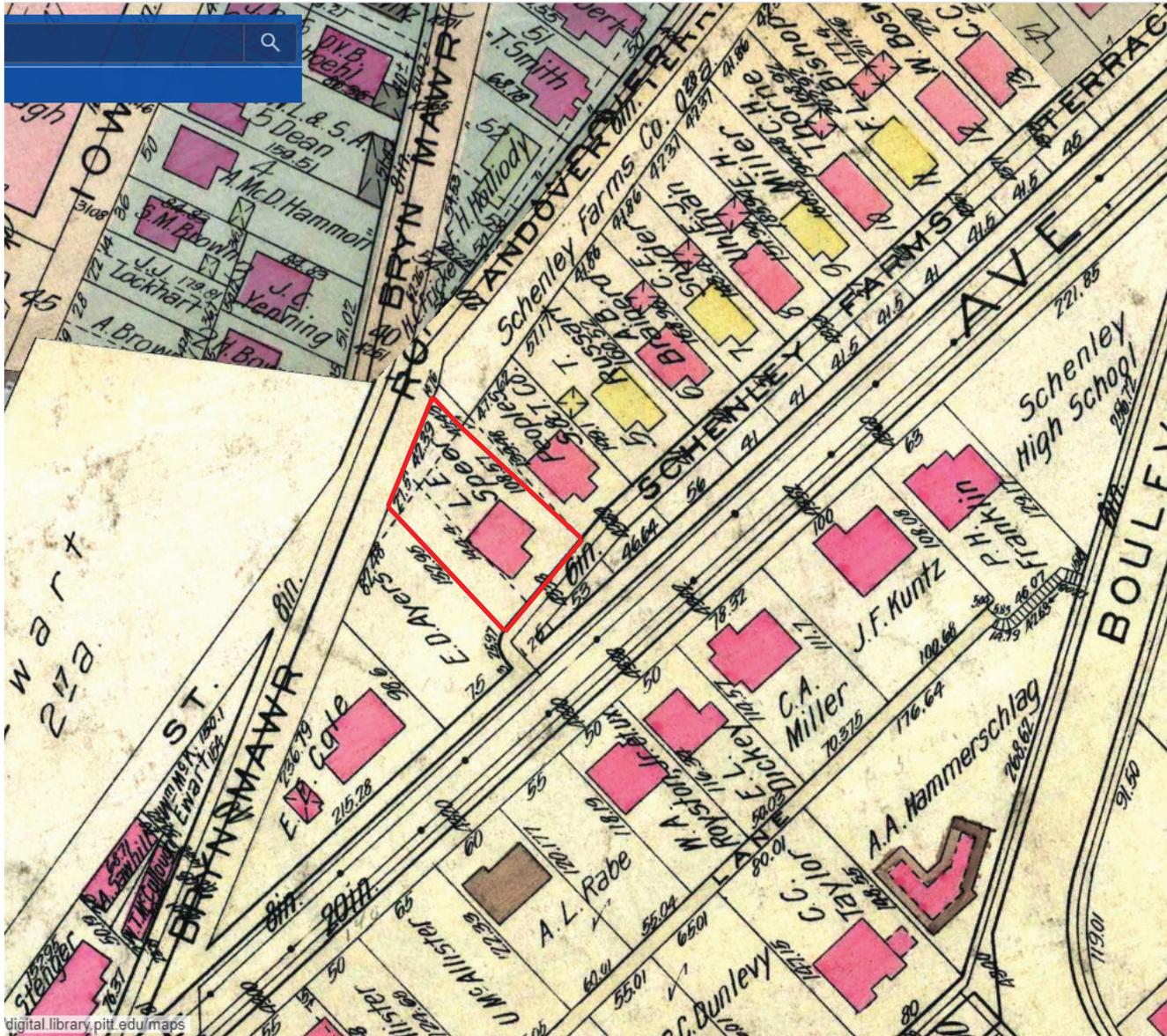


View of existing corner of house, towards the entrance to Schenley Farms Terrace and Centre Avenue.



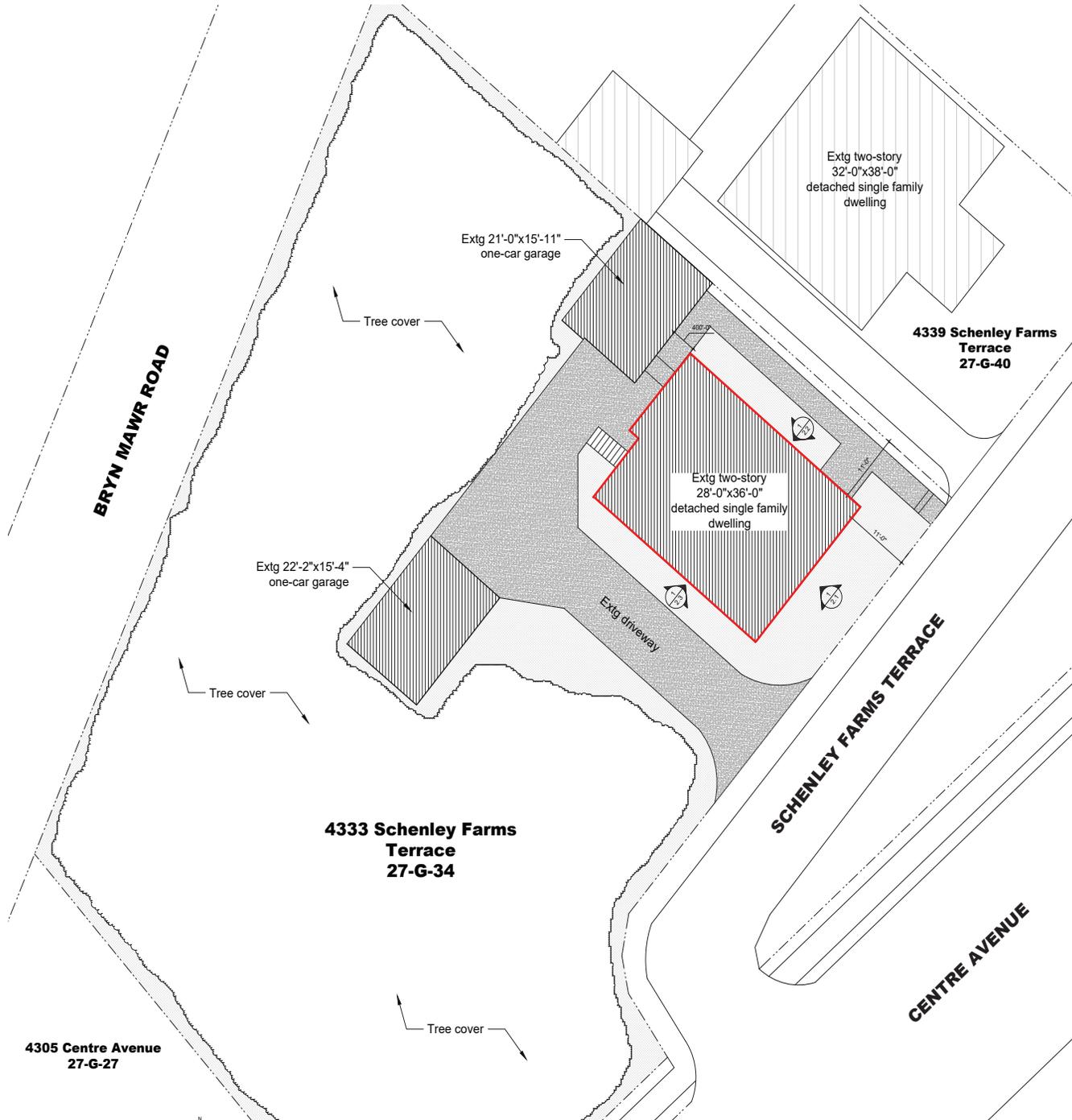
View of existing side of single car CMU garage, from the street, with 4333 Schenley on the right.

## CURRENT CONDITIONS



The structure appears on the 1923 Hopkins Map, making it approximately 100 years old.

**HISTORIC MAPS**



**4305 Centre Avenue  
27-G-27**

**4333 Schenley Farms  
Terrace  
27-G-34**

**4339 Schenley Farms  
Terrace  
27-G-40**

**1 SITE PLAN**  
Scale: 1/16"=1'-0"



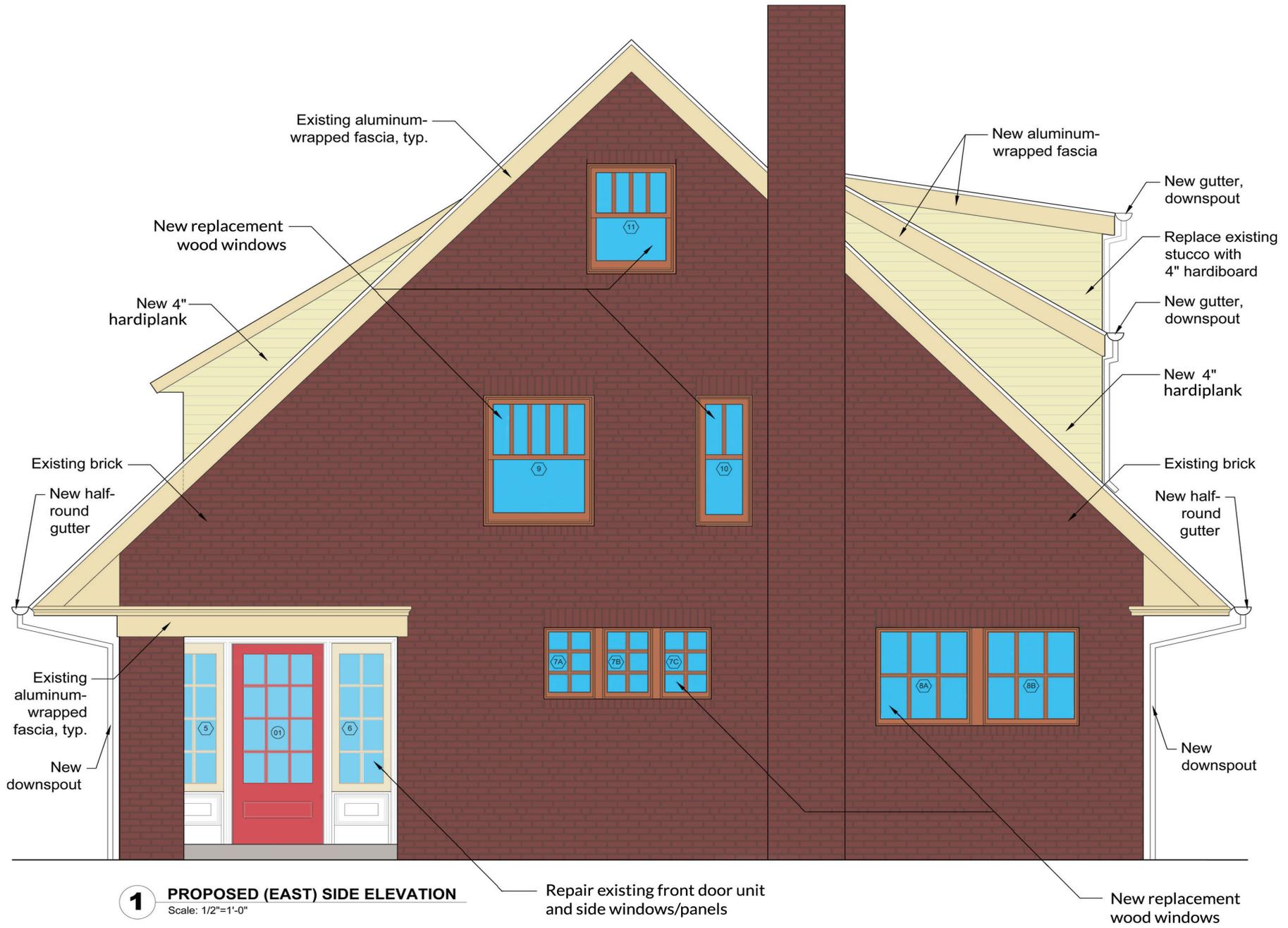
**SITE PLAN**



**1** PROPOSED (SOUTH) FRONT ELEVATION  
Scale: 1/2"=1'-0"

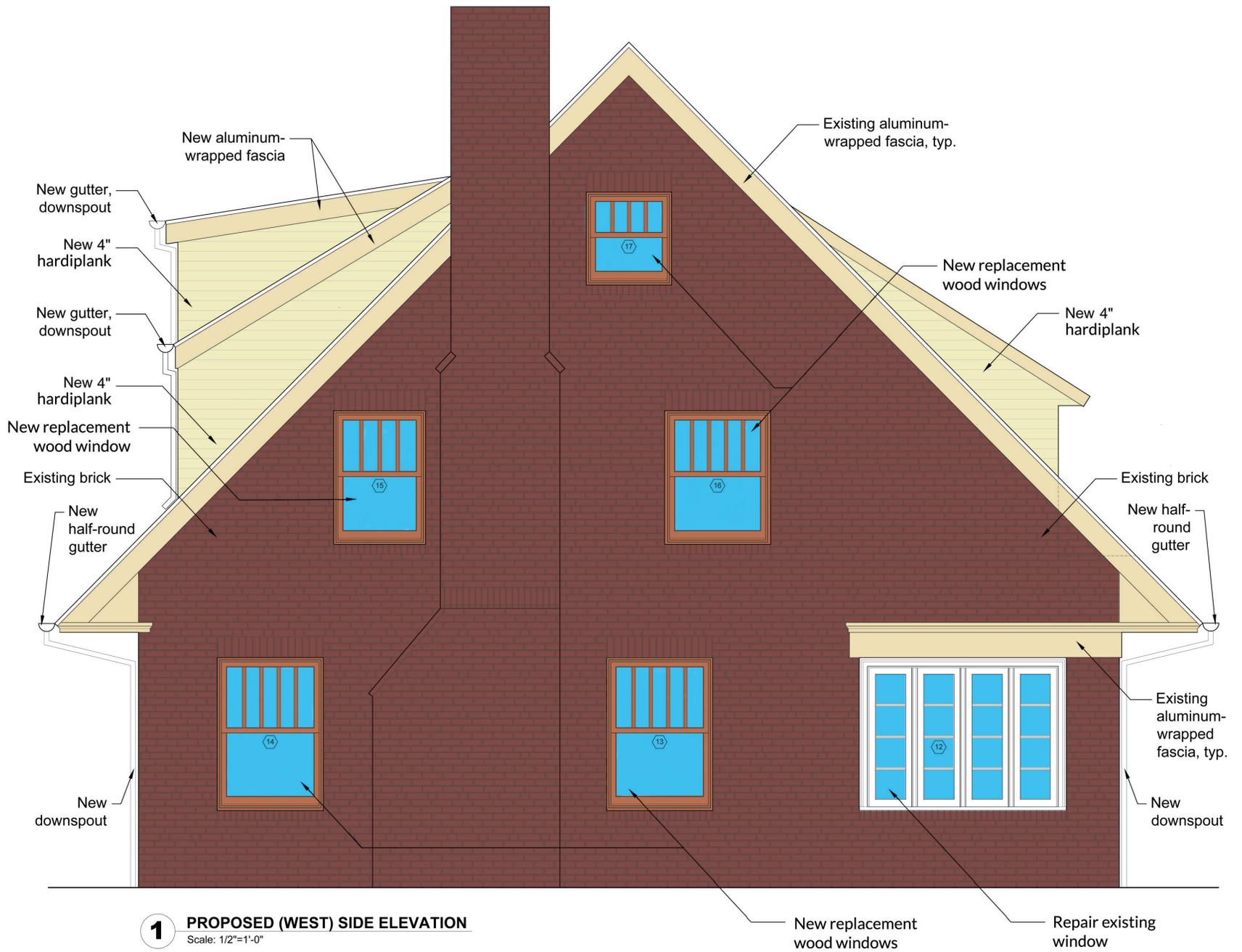
View of proposed front (south) elevation.

**PROPOSED ELEVATIONS**



View of proposed side (east) elevation.

**PROPOSED ELEVATIONS**

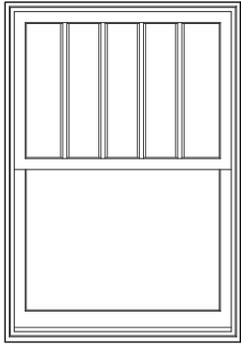


**1** **PROPOSED (WEST) SIDE ELEVATION**  
Scale: 1/2"=1'-0"

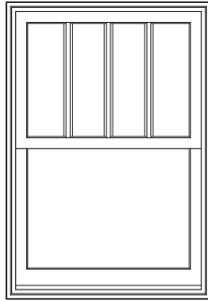
View of proposed side (west) elevation.

**PROPOSED ELEVATIONS**

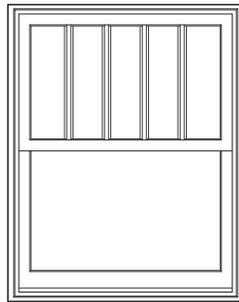
(West) Side elevation windows



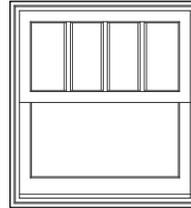
3'-7" x 5'-2"  
Double-Hung



3'-1" x 4'-6"  
Double-Hung

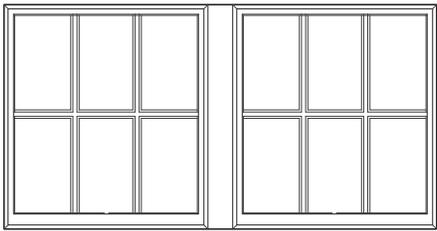


3'-7" x 4'-6"  
Double-Hung

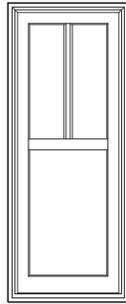


2'-10" x 3'-1"  
Double-Hung

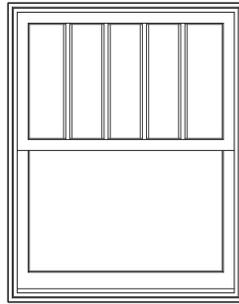
(East) Side elevation windows



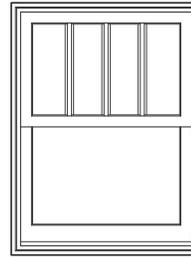
6'-7" x 5'-5"  
Paired Accent Picture



1'-10" x 4'-6"  
Casement

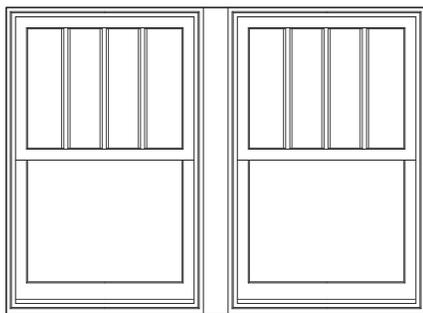


3'-7" x 4'-6"  
Double-Hung

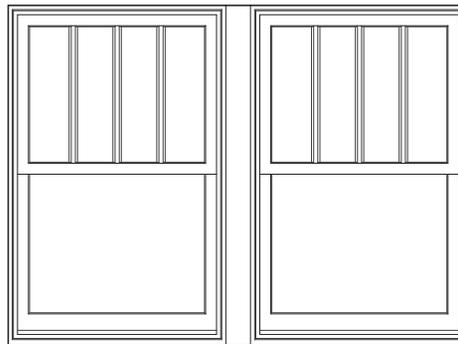


2'-10" x 3'-10"  
Double-Hung

Front elevation windows



6'-4" x 4'-8"  
Paired Double-Hung



7'-0" x 5'-2"  
Paired Double-Hung

Sash & Grille Design

Craftsman Bungalow style windows offer rich character that greatly contributes to the overall look of the home.

The sash thickness is traditionally 1 3/8" with a deep glass setback placed near the middle of that measurement. Additionally, grille profiles are alike on the interior and exterior respectively.

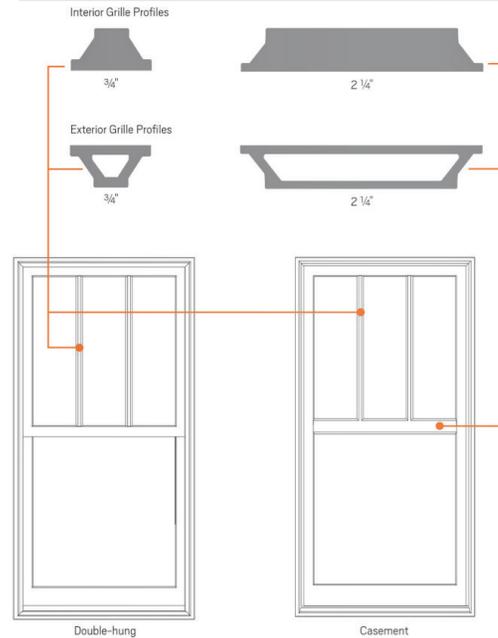
For double-hung windows, the top rail of the sash should be the same width as the stiles. Also, the bottom rail should be wider than the stiles and the top rail.

• ANDERSEN AUTHENTICITY •

Andersen® A-Series windows were designed in conjunction with leading architects. As such, double-hung, casement and picture windows feature these sash and grille details for architectural authenticity:

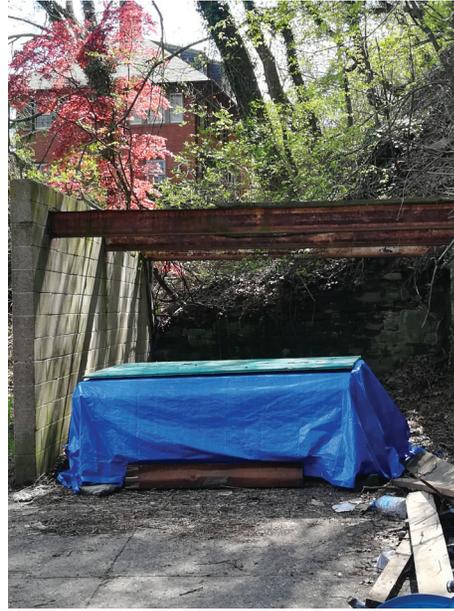
- Bottom rail of the sash is wider than the stiles and top rail
- A deep glass setback for historical accuracy
- Grille profile faces that are flush with the sash face to simulate traditional wood muntins
- Exterior grille profiles accurately simulate the look of putty glazing on a historic window

Andersen products allow you to specify custom grille patterns, making it easy to create an exact match in historical applications.

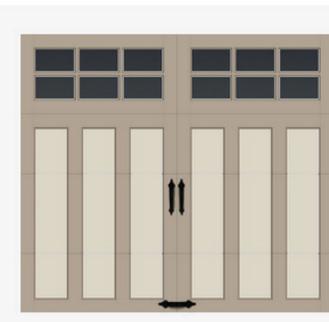
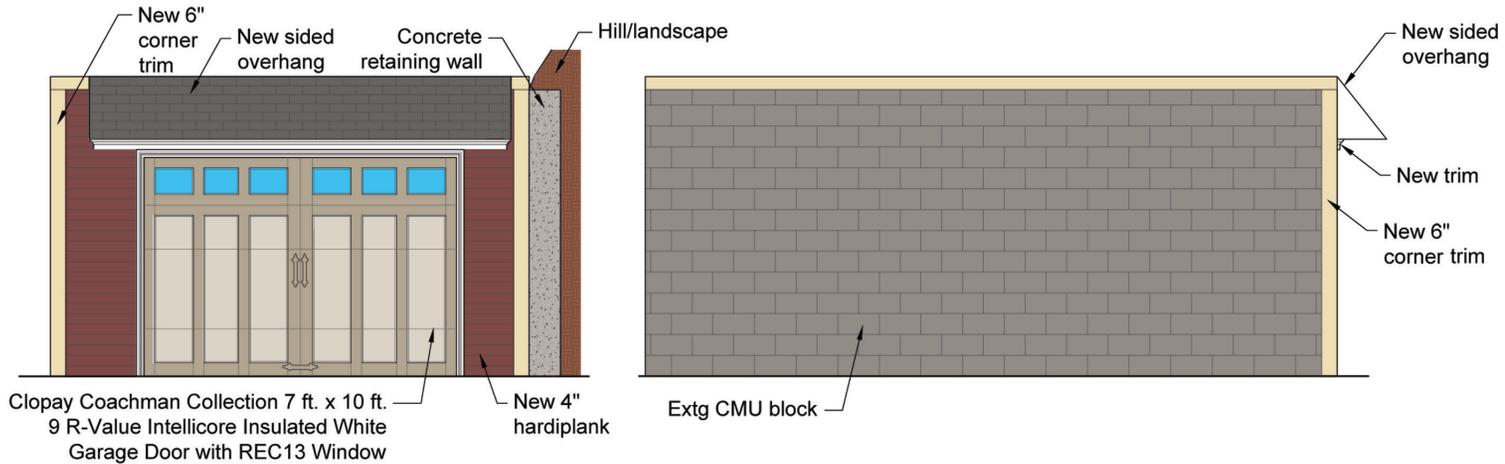
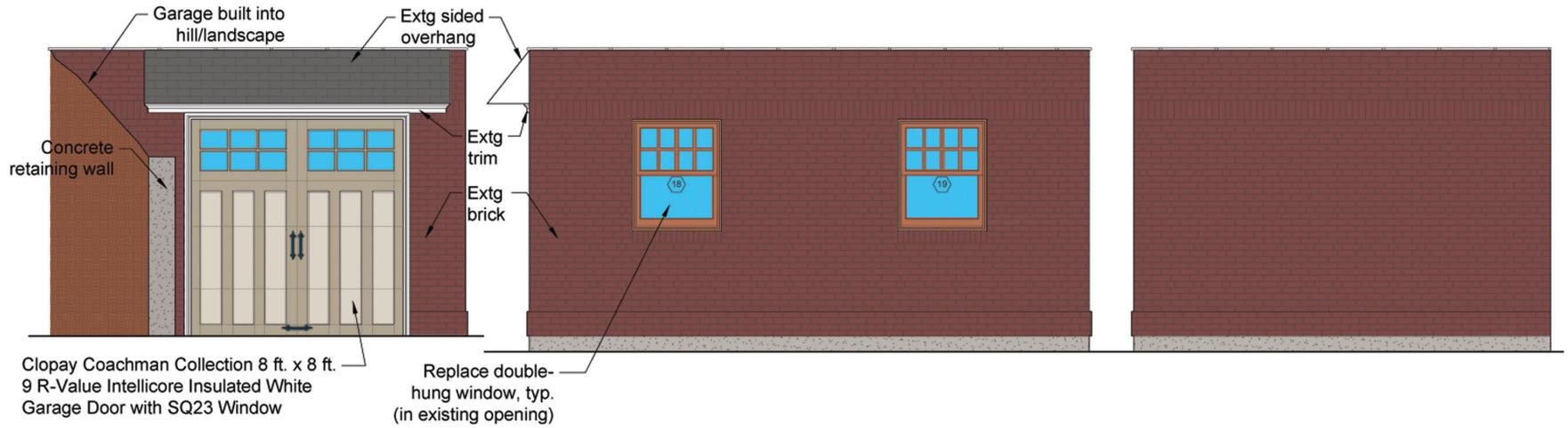


Our 2 1/4" wide grille can be positioned horizontally across a casement window to simulate the look of a double-hung window.

PROPOSED WINDOWS



**EXISTING GARAGES**



**Coachman®**  
 Size : 8w X 8h  
 Style : Design13  
 Construction : 4-layer 2" Polystyrene Insulation R-Value 9.0  
 Base Color : Almond  
 Overlay : Sandtone

**Top Section :** SQ23  
**Glass :** DSB Strength Clear Glass (Non-Insulated)  
**Handle :** Spade Lift Handle x1  
**StepPlate :** Spade Step Plate x1  
**Hinge :** No Hinge x1



**Coachman®**  
 Size : 10w X 7h  
 Style : Design13  
 Construction : 4-layer 2" Polystyrene Insulation R-Value 9.0  
 Base Color : Almond  
 Overlay : Sandtone

**Top Section :** REC13  
**Glass :** DSB Strength Clear Glass (Non-Insulated)  
**Handle :** Spade Lift Handle x1  
**StepPlate :** Spade Step Plate x1  
**Hinge :** No Hinge x1

## PROPOSED GARAGES